



VIEW FROM US 101 FREEWAY

The Residences @ Shoreline Gateway

MOUNTAIN VIEW, CA

SARES | REGIS

LH SHORELINE LP,
A DELAWARE LIMITED PARTNERSHIP



PROJECT DESCRIPTION

The Residences @ Shoreline Gateway ("Project") is Phase II of the 7.81 acre mixed-use development site located at 1001 North Shoreline Boulevard in Mountain View ("City"). The Phase I office portion was approved in 2015 and construction was completed in 2017. Phase II is the development of 203 rental apartments and 100 for-sale condominiums and an above-ground stand-alone parking structure on the existing surface parking lot serving the office. Given its location adjacent to public transportation on Shoreline Boulevard, the 101 North on-ramp and existing industrial parcels, The Residences @ Shoreline Gateway will meet the City's transit-oriented housing needs. In addition, the Project will provide much-needed housing near the North Bayshore employment area.

The Phase I Office building includes 111,443 square feet of office space and surface parking for 371 cars newly completed. The office will remain in operation during the entirety of the Project's development.

The proposed apartment building, located at the North West corner of the site, is a Type IIIA construction 5-story wood structure on a 2-story concrete parking podium. There are 203 one-, two-, and three-bedroom units. Designed to park at a 1.2 ratio, with 244 parking spaces in the garage. The building has amenity spaces and a roof deck. The Project's architecture takes it cues from 20th Century, modern industrial design to make a harmonious transition from the office to the residential units along the N. Shoreline Boulevard frontage. The curved wall with accent panels at the north-western corner is a featured element for the Project.

The condominium building, located at the South East corner of the site, is a Type IIIA construction with 5 floors of units over 2 floors of parking podium. There are 100 one-, two- and three-bedroom units. The parking ratio is 1.28, totaling 128 spaces in the podium level garage. The exterior material is a combination of accent tiles, sidings and stucco. The building also has amenity spaces at the podium level.

PROJECT TEAM

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A DELAWARE LIMITED PARTNERSHIP
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The Residences
@ Shoreline Gateway

Mountain View, California

Sheet Title:
PROJECT
DESCRIPTION
& SHEET INDEX

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

G000



VIEW FROM SHORELINE BLVD.

The Residences @ Shoreline Gateway

MOUNTAIN VIEW, CA

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VIEW FROM SHORELINE BLVD

The Residences @ Shoreline Gateway

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VIEW OF CENTRAL PLAZA

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VIEW FROM TERRA BELLA AVE.

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VIEW FROM TERRA BELLA AVE.

The Residences @ Shoreline Gateway

MOUNTAIN VIEW, CA

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PROJECT SUMMARY

| PLANNING AND BUILDING CODE DATA | | | |
|---|-------|--|--|
| Address 1001 North Shoreline BLVD., Mountain View, CA 94043 | | | |
| Previous 9 parcels' APN numbers are 153-15-015, 153-15-016, 153-15-022, 153-15-014, 153-15-017, 153-15-018, 153-15-024, 153-15-026, 153-15-028, and single Caltrain parcel. They have merged into one parcel per the title reports. New APN number has not been assigned yet. | | | |
| APN: | | | |
| Existing Land Use Designations: | | | |
| General Plan Designation: | | General Industrial | |
| Zoning Designation: | | MM (General Industrial), and ML (Limited Industrial) | |
| Proposed Land Use Designations: | | | |
| General Plan Designation: | | Mixed-Use Center | |
| Zoning Designation: | | P (Planned Community) | |
| Building Code | | | |
| Construction shall comply with the 2016 California Building Code. The building shall be of mixed occupancy. | | | |
| Occupancy Groups | | | |
| Residential | R-2 | R-2 | Type IIIA, Fully sprinklered (block A & block B) |
| Garage | S-2 | S-2 | Type IA, Fully sprinklered |
| Amenity | A/B/M | A/B/M | Type IIIA, Fully sprinklered |
| Office (Existing office on the site) | B | | |
| Building Height (allowable) | | | |
| Bayshore Precise Plan Code | | 110' Core Area North of 101 Freeway UL on Type 1A; 85' to Roof on Type IIIA | |
| Lot Area (Includes N. shoreline 22' Street Frontage dedication) | | 340,294.7 sf | 7.81 |
| F.A.R. (Includes existing office, block A (retail, residential and podium garage), block B (residential and podium garage) - excludes office garage). | | | 2.01 |
| Building Coverage (Phase II Residential + Phase I office over the entire site) | | 160,501 sf | 47.2% |
| Paving Area | | 56,551 sf | 16.6% 100% |
| Landscaping Area (Ground Level Area Only) | | 123,243 sf | 36.6% |
| Open Area | | 496 sf/unit | (See Sheet A610 for Detail) |
| Residential Density (based on entire parcel area, units/acre) | | 38.8 du/ac | |

| PROGRAM | Number | Pkg Ratio Required | Pkg Required | | | Pkg Ratio Proposed | Pkg Provided | EVCS Provided | Accessible Provided | Tandem Provided |
|--|------------|--------------------|------------------|---------------|-------|--------------------|--------------|---------------|---------------------|-----------------|
| | | | Resident Parking | Guest Parking | Total | | | | | |
| Office (Existing structure to remain on site) | 111,443 sf | 1 pkg / 300 sf | | | 371 | 1 pkg / 310 sf | 359 | 36 | 8 | |
| Block A Residential Units | 203 du | 1.0-2.0 | 243 | 43 | 286 | 1.20 | 244 | 25 | 7 | |
| Block B Residential Units | 100 du | 1.0-2.0 | 137 | 24 | 161 | 1.28 | 128 | 13 | 5 | 6 |
| Assigned Guest Parking Surface Spaces | | | | | | | 15 | | | |
| Unassigned Shared Surface Parking Spaces | | | | | | | 25 | | | |
| Block A Retail (Surface Parking) | 3,113 sf | 1 pkg / 100 sf | | | 30 | 1 pkg / 250 sf | 12 | | | |
| Block A Bike Storage | 2,300 sf | | | | | | | | | |
| Block B Bike Storage | 1,120 sf | | | | | | | | | |
| Block A Residential, Garage and Retail total GFA | 369,614 sf | | | | | | | | | |
| Block B Residential and Garage total GFA | 203,885 sf | | | | | | | | | |
| Block B Office Garage | 131,030 sf | | | | | | | | | |
| Block B Office Garage Flex Space | 0 sf | | | | | | | | | |
| Total | | | | | | | 783 | 74 | 20 | 6 |
| Total Parking Reduction | | | | | | | | | | 7.66% |
| FAR** | | | | | | | | | | 2.01 |

Note: Parking Ratio Required based on the City's Model Parking Standard
EVCS Requirement per Mountain View Multiple code, 10% of total parking for residential and office

| Required Bike Parking for residential : 1 Per Unit | Bike Parking Required | | | Bike Parking Provided | | | |
|--|---------------------------------------|-------|-------|-----------------------|----------------|-------|-----|
| | Resident | Guest | Total | Resident(indoor) | Guest(outdoor) | Total | |
| | For residential guest: 1 Per 10 Units | 203 | 21 | 224 | 204 | 22 | 226 |
| | Block A | 100 | 10 | 110 | 100 | 12 | 112 |

| Existing Office Bike Parking | | | |
|------------------------------|-----------------|---------|-------|
| Regular (indoor) | E-bike (indoor) | Outdoor | Total |
| 48 | 12 | 46 | 106 |

| BLOCK A and BLOCK B FLOOR AREA CALCULATIONS (GROSS) | | | | | | | | | | | |
|---|-------------------|---------------|---------------|--------------|-------------------------------|-------------------|----------------|---------------------------|-------------------------------|----------------|----------------|
| | BLOCK A | | | | BLOCK B | | | | | | |
| | Gross Residential | Amenities | Garage | Retail | Residential with Garage total | Gross Residential | Amenities | Residential Podium garage | Residential with Garage total | Office Garage | |
| Level 1 | 7,539 | 4,372 | 50,382 | 3,113 | 65,406 | Level 1 | 9,615 | 1,298 | 26,703 | 37,616 | 23,280 |
| Level 2 | 11,397 | 3,369 | 49,176 | 1,733 | 65,674 | Level 2 | 11,622 | 711 | 24,761 | 37,094 | 23,100 |
| Level 3 | 44,693 | 3,249 | | | 47,942 | Level 3 | 25,927 | 874 | 0 | 26,801 | 23,100 |
| Level 4 | 46,024 | 2,093 | | | 48,117 | Level 4 | 27,445 | | 0 | 27,445 | 23,100 |
| Level 5 | 48,255 | | | | 48,255 | Level 5 | 27,450 | | 0 | 27,450 | 23,100 |
| Level 6 | 48,255 | | | | 48,255 | Level 6 | 26,337 | | 0 | 26,337 | 15,350 |
| Level 7 | 44,469 | | | | 44,469 | Level 7 | 20,197 | | 0 | 20,197 | |
| Level - Roof | 1,496 | | | | 1,496 | Roof | 946 | | | 946 | |
| Subtotal | 252,128 | 13,083 | 99,558 | 4,846 | 369,614 | | 149,539 | 2,882 | 51,464 | 203,885 | 131,030 |
| Total GFA excluding the office garage | | | | | | | | | | | 573,499 |
| Total GFA including office garage | | | | | | | | | | | 704,529 |

*Note: Area measured to the exterior face of building walls, including decks that are not open to the sky and enclosed on three sides. Excludes portions of decks which project beyond the face of the building. No Deductions for shafts or stairways are included.

**Note: Area of block B office garage is not included in the FAR calculation

***Note: Including high volume space floor area (over 16')

BLOCK A: Apartment Program Summary

| RESIDENTIAL UNIT TYPE | Quan. | NET S.F. (rentable) | Unit Mix | BOMA NET S.F. | Parking Ratio | Parking Provided | Storage Required | Storage Provided Balcony (cf) | Storage Provided Corridor (cf) |
|--------------------------|------------|---------------------|---------------|----------------|---------------|------------------|------------------|-------------------------------|--------------------------------|
| J1 | 15 | 635 | 7.4% | 9,525 | 1.2 | 18 | 164 | | 183 |
| J2 | 10 | 704 | 4.9% | 7,040 | 1.2 | 12 | 164 | | 213 |
| J2.1 | 8 | 699 | 3.9% | 5,592 | 1.2 | 10 | 164 | | 227 |
| J2.2 J2.1 UPPER | 2 | 658 | 1.0% | 1,316 | 1.2 | 2 | 164 | | 227 |
| JR Units Total | 35 | 671 | 17.2% | 23,473 | | 42 | | | |
| 1A LINER | 24 | 759 | 11.8% | 18,216 | 1.2 | 29 | 164 | 164 | |
| 1A.1 LINER | 5 | 725 | 2.5% | 3,625 | 1.2 | 6 | 164 | | 183 |
| 1A.2 LINER | 1 | 716 | 0.5% | 716 | 1.2 | 1 | 164 | | 187 |
| 1A.3 | 12 | 766 | 5.9% | 9,192 | 1.2 | 14 | 164 | | 182 |
| 1A.4 1A UPPER | 6 | 693 | 3.0% | 4,158 | 1.2 | 7 | 164 | | 252 |
| 1B CURVE (1BR+DEN) | 16 | 1,008 | 7.9% | 16,128 | 1.2 | 19 | 164 | | 183 |
| 1B.1 1B UPPER | 4 | 844 | 2.0% | 3,376 | 1.2 | 5 | 164 | | 191 |
| 1C | 16 | 760 | 7.9% | 12,160 | 1.2 | 19 | 164 | 164 | |
| 1D 2C UPPER | 1 | 1,012 | 0.5% | 1,012 | 1.2 | 1 | 164 | | 238 |
| 1BR Units Total | 85 | 807 | 41.9% | 68,583 | | 102 | | | |
| 2A SMALL LINER | 11 | 1,048 | 5.4% | 11,528 | 1.2 | 13 | 164 | 164 | |
| 2A.1 SMALL LINER | 11 | 1,025 | 5.4% | 11,275 | 1.2 | 13 | 164 | 164 | |
| 2A.2 2A UPPER | 1 | 998 | 0.5% | 998 | 1.2 | 1 | 164 | 164 | |
| 2A.3 | 6 | 978 | 3.0% | 5,868 | 1.2 | 7 | 164 | | 199 |
| 2B LARGE LINER | 19 | 1,083 | 9.4% | 20,577 | 1.2 | 23 | 164 | 197 | |
| 2C LARGE LINER | 4 | 1,260 | 2.0% | 5,040 | 1.2 | 5 | 164 | | 329 |
| 2D SMALL LINER | 5 | 1,010 | 2.5% | 5,050 | 1.2 | 6 | 164 | | 183 |
| 2E SHALLOW | 2 | 1,004 | 1.0% | 2,008 | 1.2 | 2 | 164 | | 320 |
| 2F CORNER | 10 | 1,307 | 4.9% | 13,070 | 1.2 | 12 | 164 | | 230 |
| 2BR Units Total | 69 | 1,093 | 34.0% | 75,414 | | 83 | | | |
| 3A CORNER | 5 | 1,391 | 2.5% | 6,955 | 1.2 | 6 | 164 | | 215 |
| 3A.1 CORNER | 5 | 1,464 | 2.5% | 7,320 | 1.2 | 6 | 164 | | 289 |
| 3B CORNER | 4 | 1,381 | 2.0% | 5,524 | 1.2 | 5 | 164 | | 230 |
| 3BR Units Total | 14 | 1,414 | 6.9% | 19,799 | | 17 | | | |
| All Units - Total | 203 | 923 | 100.0% | 187,269 | | 244 | | | |

| AMENITY PROGRAM + RETAIL | SF |
|--------------------------|---------------|
| Main Lobby | 900 |
| Mail Box and Package | 300 |
| Leasing office | 2,480 |
| Fitness | 1,500 |
| Clubroom | 1,270 |
| Business Lounge | 400 |
| Seating Area | 550 |
| Retail | 3,000 |
| Pet Spa | 240 |
| Roof Deck | 1,070 |
| Total | 11,710 |

BLOCK B: Condo Program Summary

| RESIDENTIAL UNIT TYPE | Quan. | NET S.F. (interior) | Unit Mix | BOMA NET S.F. | Parking Ratio | Parking Provided | Storage Required each | Storage Provided each in Balcony (cf) | Storage Provided each in Hallway (cf) |
|-----------------------------|------------|---------------------|---------------|----------------|---------------|------------------|-----------------------|---------------------------------------|---------------------------------------|
| 1A.1 liner | 4 | 813 | 4.0% | 3,252 | 1.28 | 5 | 164 | | |
| 1A.2 Inside corner | 3 | 886 | 3.0% | 2,658 | 1.28 | 4 | 164 | 200 | 202 |
| 1A.3 | 1 | 865 | 1.0% | 865 | 1.28 | 1 | 164 | | 238 |
| 1B shallow | 4 | 828 | 4.0% | 3,312 | 1.28 | 5 | 164 | | 192 |
| 1C One plus | 4 | 903 | 4.0% | 3,612 | 1.28 | 5 | 164 | 181 | |
| 1C.1 One plus | 6 | 875 | 6.0% | 5,250 | 1.28 | 8 | 164 | | 209 |
| 1C.2 One plus | 5 | 908 | 5.0% | 4,540 | 1.28 | 6 | 164 | 173 | |
| 1D | 5 | 739 | 5.0% | 3,695 | 1.28 | 6 | 164 | 164 | |
| 1E Shallow | 6 | 848 | 6.0% | 5,088 | 1.28 | 8 | 164 | | 181 |
| 1F Shallow | 1 | 749 | 1.0% | 749 | 1.28 | 1 | 164 | | 164 |
| 1BR Units Total | 39 | 847 | 39.0% | 33,021 | | 50 | | | |
| 2A small liner | 2 | 1,135 | 2.0% | 2,270 | 1.28 | 3 | 164 | | 215 |
| 2B | 24 | 1,120 | 24.0% | 26,880 | 1.28 | 31 | 164 | | 175 |
| 2B.1 | 3 | 1,087 | 3.0% | 3,261 | 1.28 | 4 | 164 | | 178 |
| 2B.2 | 3 | 1,100 | 3.0% | 3,300 | 1.28 | 4 | 164 | 180 | |
| 2B.3 | 1 | 1,049 | 1.0% | 1,049 | 1.28 | 1 | 164 | | 178 |
| 2C Large two | 4 | 1,074 | 4.0% | 4,296 | 1.28 | 5 | 164 | | 192 |
| 2D Outside Corner | 4 | 1,292 | 4.0% | 5,168 | 1.28 | 5 | 164 | | 387 |
| 2D.1 Outside Corner top L | 1 | 1,233 | 1.0% | 1,233 | 1.28 | 1 | 164 | | 238 |
| 2E Outside Corner | 6 | 1,185 | 6.0% | 7,110 | 1.28 | 8 | 164 | | 238 |
| 2F Inside Corner | 5 | 1,096 | 5.0% | 5,480 | 1.28 | 6 | 164 | 225 | |
| 2BR Units Total | 53 | 1,133 | 53.0% | 60,047 | | 68 | | | |
| 3A liner | 5 | 1,560 | 5.0% | 7,800 | 1.28 | 6 | 164 | 227 | |
| 3BR Units Total | 5 | 1,560 | 5.0% | 7,800 | | 6 | | | |
| TH-1 (3BR) | 1 | 1,895 | 1.0% | 1,895 | 1.28 | 1 | 164 | 293 | |
| TH-2 (2BR+FAMILY ROOM) | 2 | 1,462 | 2.0% | 2,924 | 1.28 | 3 | 164 | 224 | |
| TOWNHOME Units Total | 3 | 1,534 | 3.0% | 4,819 | | 4 | | | |
| All Units - Total | 100 | 1057 | 100.0% | 105,687 | | 128 | | | |

| AMENITY PROGRAM | SF |
|---------------------|--------------|
| Lobby | 550 |
| Mailbox and Package | 300 |
| Clubroom | 800 |
| Total | 1,650 |



STUDIO T SQUARE

: Architecture
: Planning
: Urban Design

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: Oakland, California 94612
: (510) 451-2850

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@ Shoreline Gateway

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Sheet Title:

PROJECT SUMMARY

Job No. 16021
Date: 03/09/2020

Scale:
Drawn By:

Sheet No:

G001



2. NORTH SHORELINE LOOKING NORTH WEST



3. US 101 FREEWAY LOOKING SOUTH



4. US 101 FREEWAY LOOKING SOUTH WEST



1. NORTH SHORELINE LOOKING NORTH WEST



5. TERRA BELLA AVE LOOKING EAST



8. NORTH SHORELINE BLVD LOOKING WEST



7. TERRA BELLA AVE LOOKING SOUTH



6. TERRA BELLA AVE LOOKING NORTH



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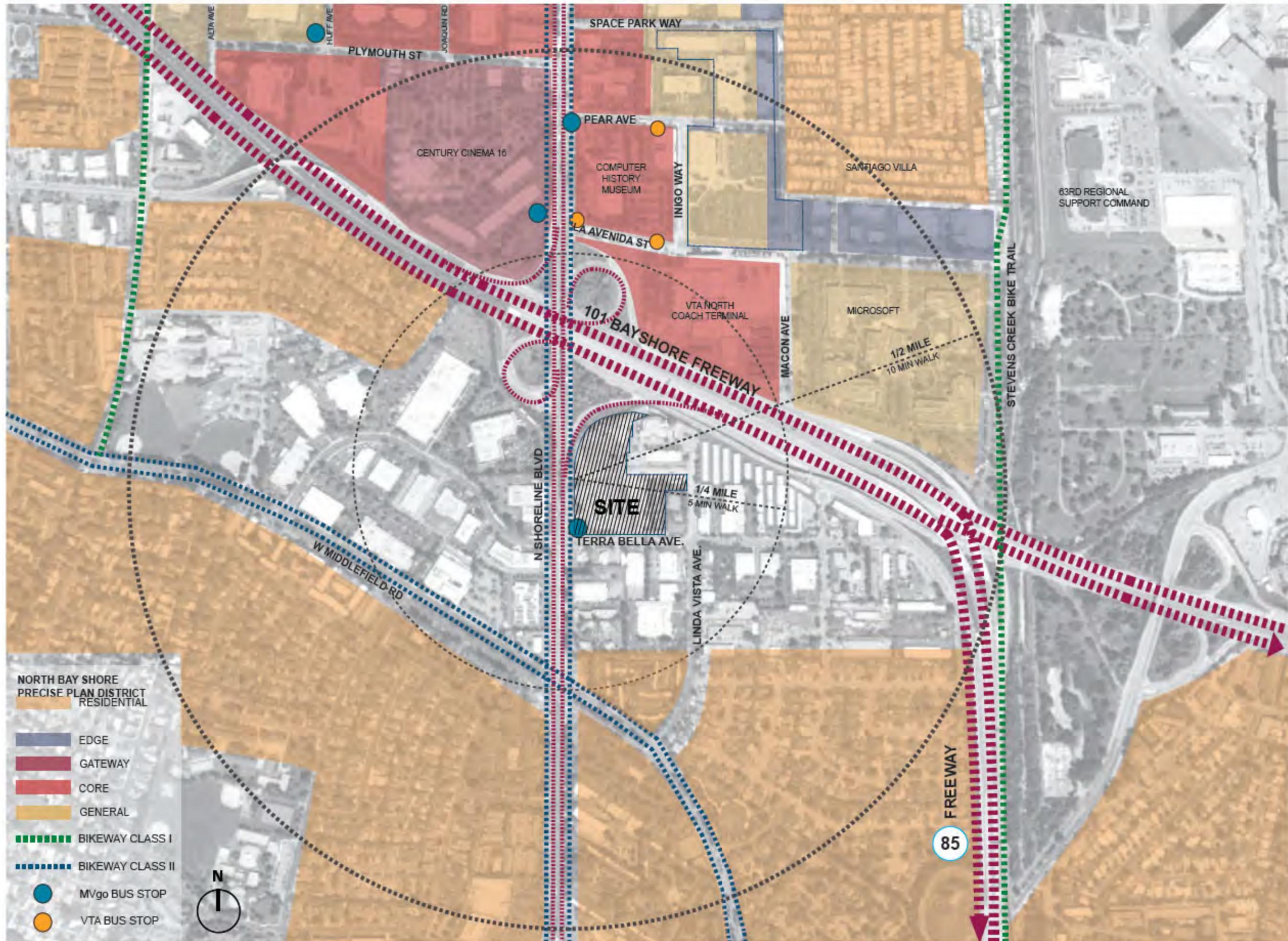
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Sheet Title:
**EXISTING
CONDITIONS**

Job No. 16021
Date: 03/09/2020
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 CONTEXT**

Job No. 16021
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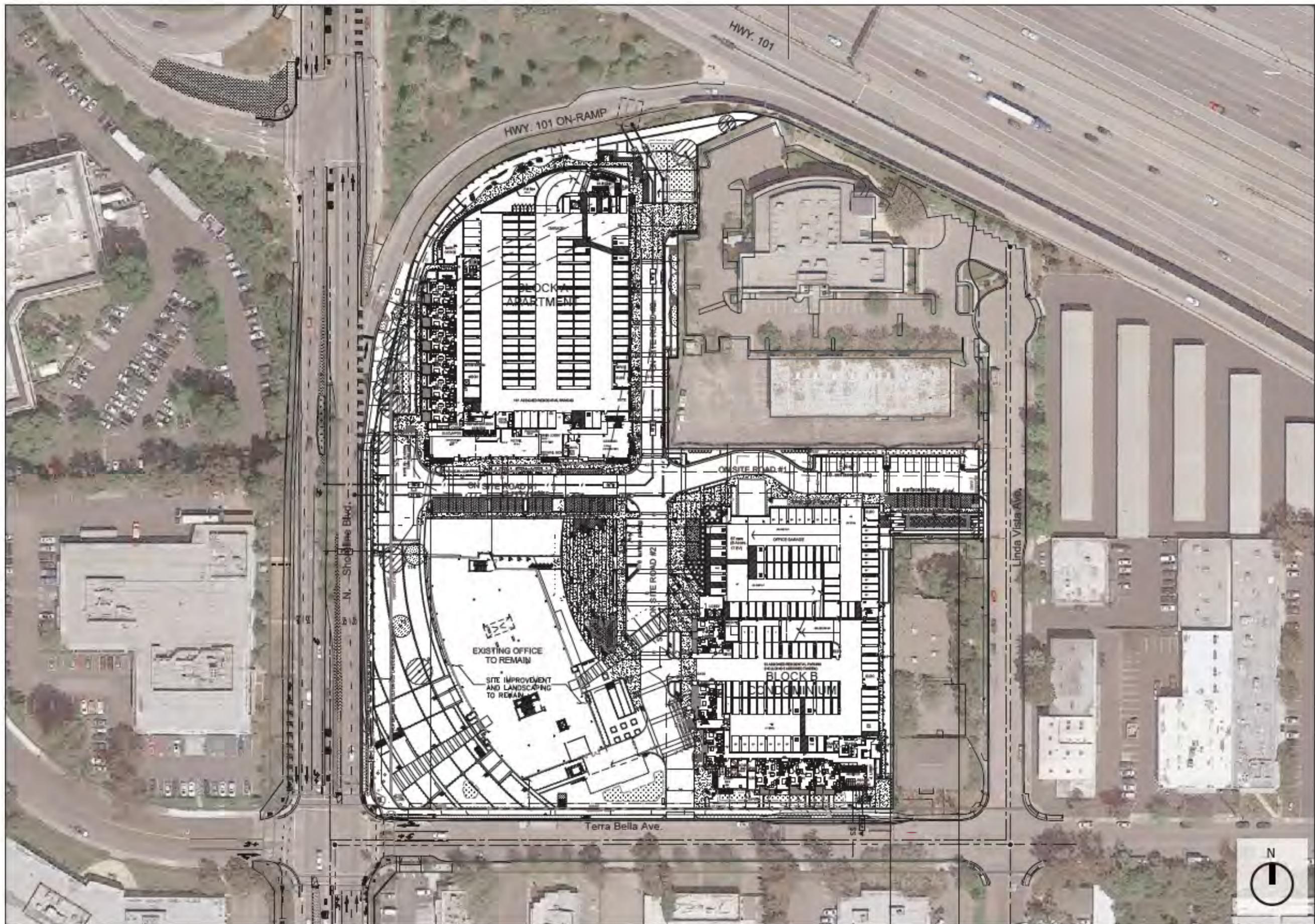
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Sheet Title:
**ILLUSTRATIVE
 SITE PLAN**

Job No. 16021
 Date: 03/09/2020
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Sheet No:
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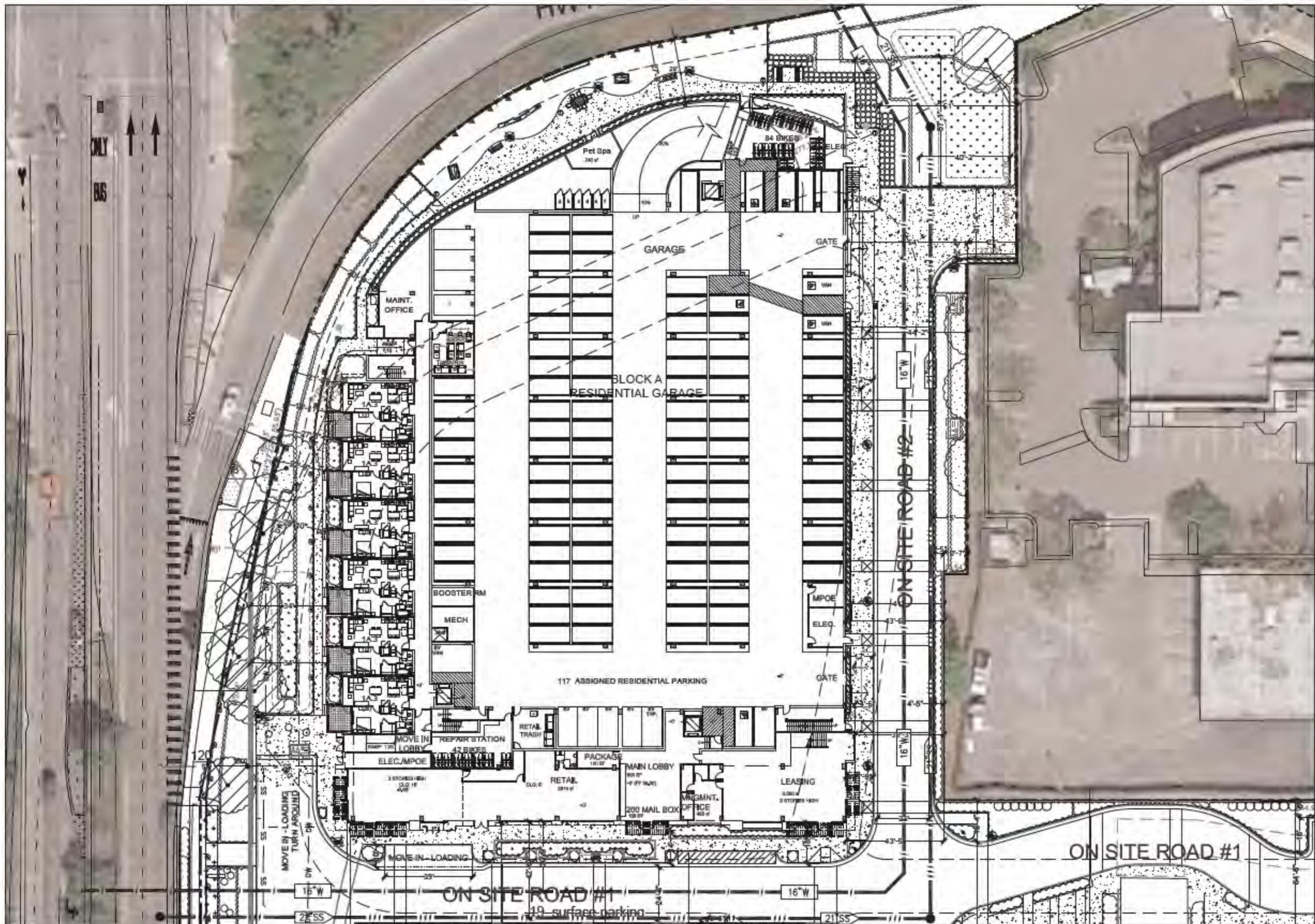
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Sheet Title:
SITE PLAN

Job No. 16021
 Date: 03/09/2020
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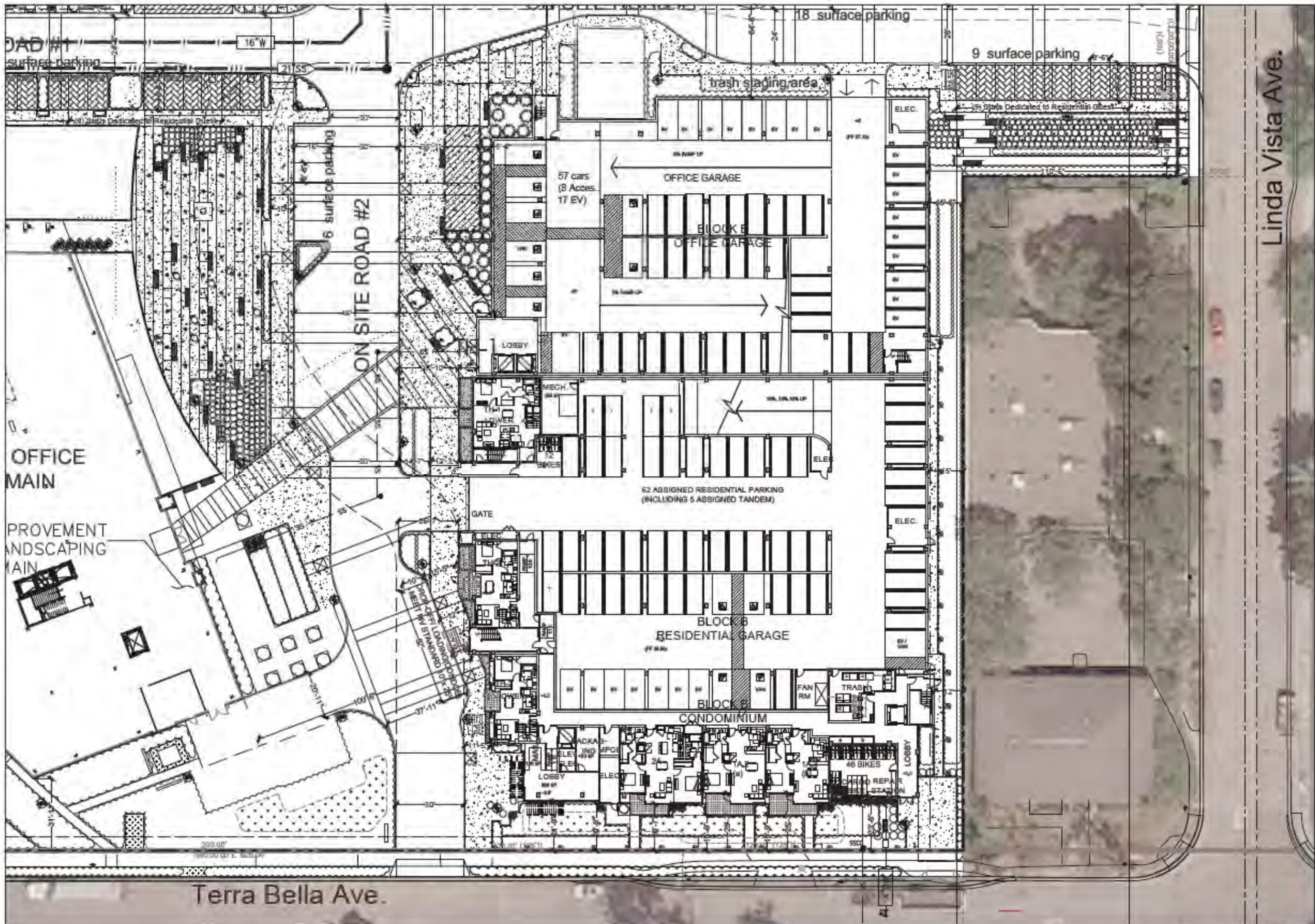
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Sheet Title:
SITE PLAN
BLOCK A

Job No. 16021
Date: 03/09/2020
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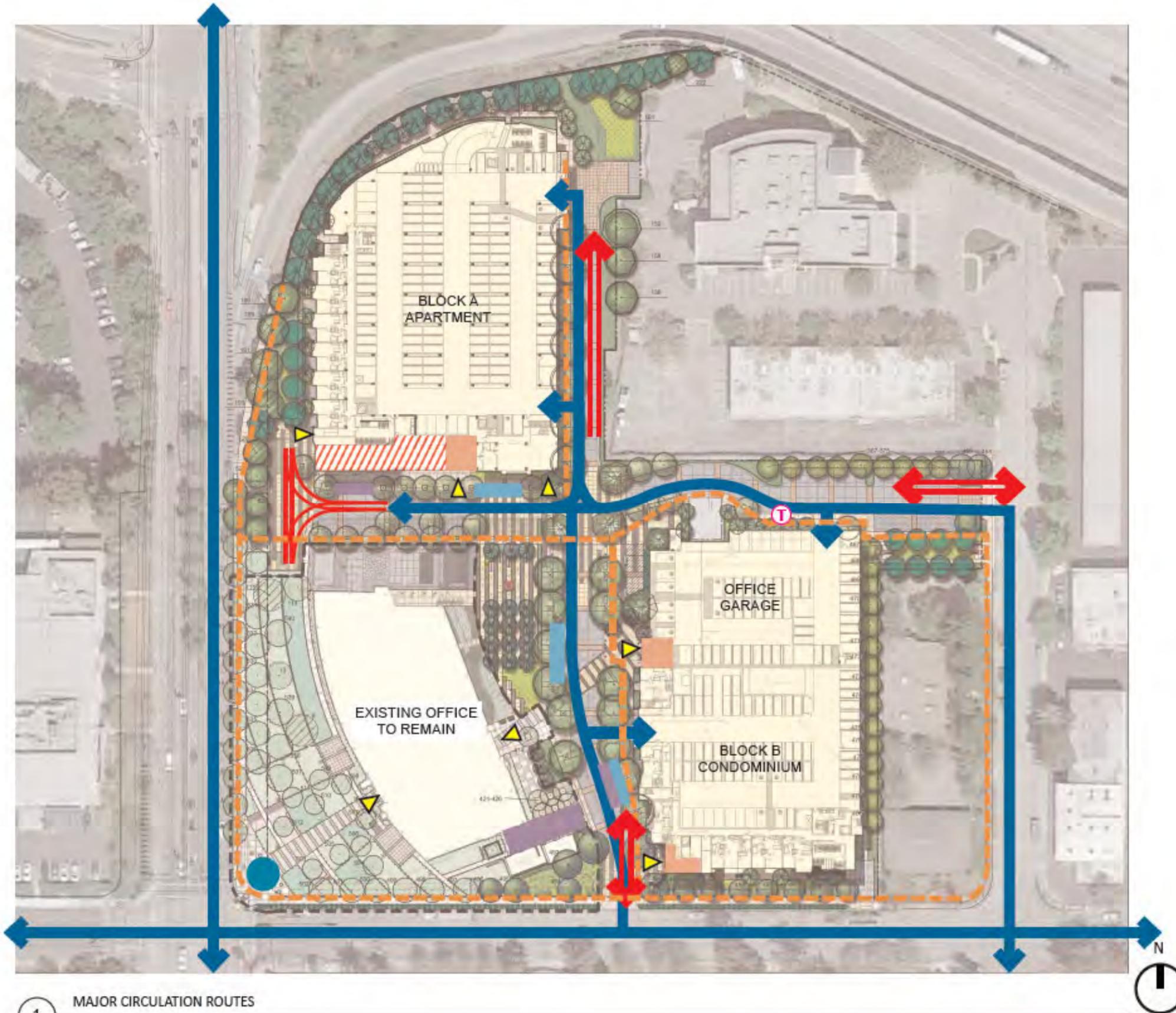
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Sheet Title:
 SITE PLAN
 BLOCK B

Job No. 16021
 Date: 03/09/2020
 Scale:
 Drawn By:

Sheet No:
SP203



1 MAJOR CIRCULATION ROUTES
SCALE: 1" = 100' - 0"

LEGEND:

- VEHICULAR PARKING CIRCULATION
- PEDESTRIAN
- RETAIL
- LOBBY & AMENITY
- LOADING ZONE
- EVA ACCESS
- LOBBY ENTRY
- DROP-OFF
- MVgo BUS STOP
- TRASH STAGING AREA FOR CONDOMINIUM AND APARTMENT



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Sheet Title:
MAJOR CIRCULATION ROUTES

Job No. 16021
Date: 03/09/2020
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Sheet No:
SP300



1 BICYCLE LOCATION AND CIRCULATION DIAGRAM
SCALE: 1" = 100' - 0"



4 OUTDOOR BIKE RACKS
N.T.S.



3 INDOOR BIKE RACKS
N.T.S.



2 MONUMENT SIGNAGE
N.T.S.

- LEGEND:**
-  EXISTING SHORT TERM BICYCLE PARKING LOCATION (TOTAL 46 BICYCLE RACKS)
 -  PROPOSED SHORT TERM BICYCLE PARKING LOCATION (TOTAL 34 BICYCLE RACKS)
 -  BICYCLE CIRCULATION
 -  EXISTING BIKE PARKING ROOM
 -  PROPOSED BIKE PARKING ROOM AND BIKE REPAIR STATIONS
 -  BIKE AND PEDESTRIAN ENTRANCE



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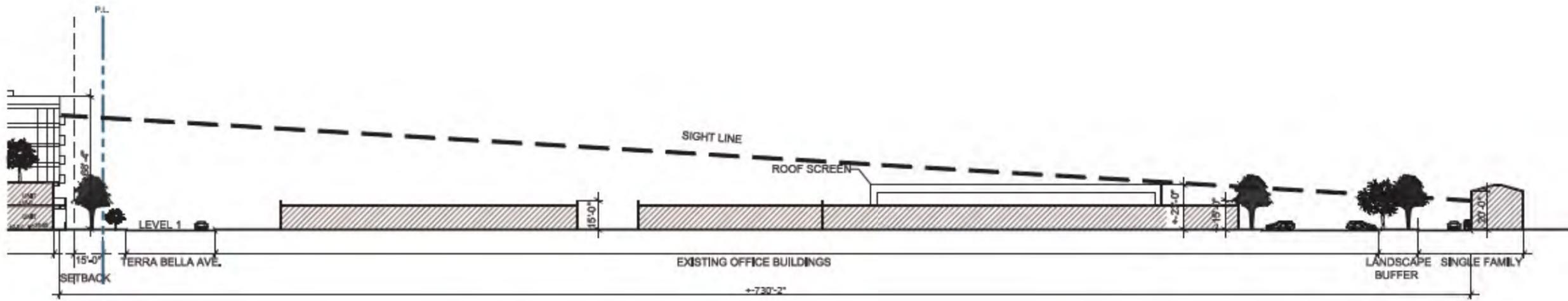
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Sheet Title:
BICYCLE LOCATION AND CIRCULATION DIAGRAM

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
SP400



SECTION A-A'



EXISTING CONTEXT OF SECTION A-A'

MINIMUM WINDOW OPENINGS AT NORTH SIDE OF DISTANT RESIDENTIAL BUILDINGS
 HEAVY TREES AS VISUAL BUFFER FROM PROPOSED BUILDING 730FT AWAY.

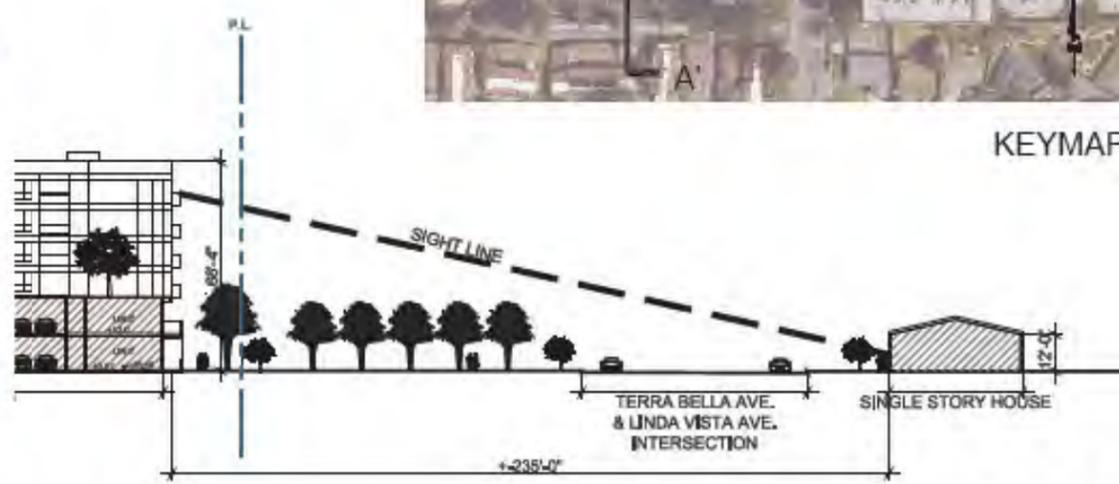


KEYMAP



EXISTING CONTEXT OF SECTION B-B'

SINGLE STORY HOUSE CURRENTLY USED FOR INDUSTRIAL PURPOSE SITUATED
 AMONG OTHER INDUSTRIAL BUILDINGS



SECTION B-B'



1" = 60'



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Sheet Title:
SITE SECTION

Job No. 16021
 Date: 03/09/2020
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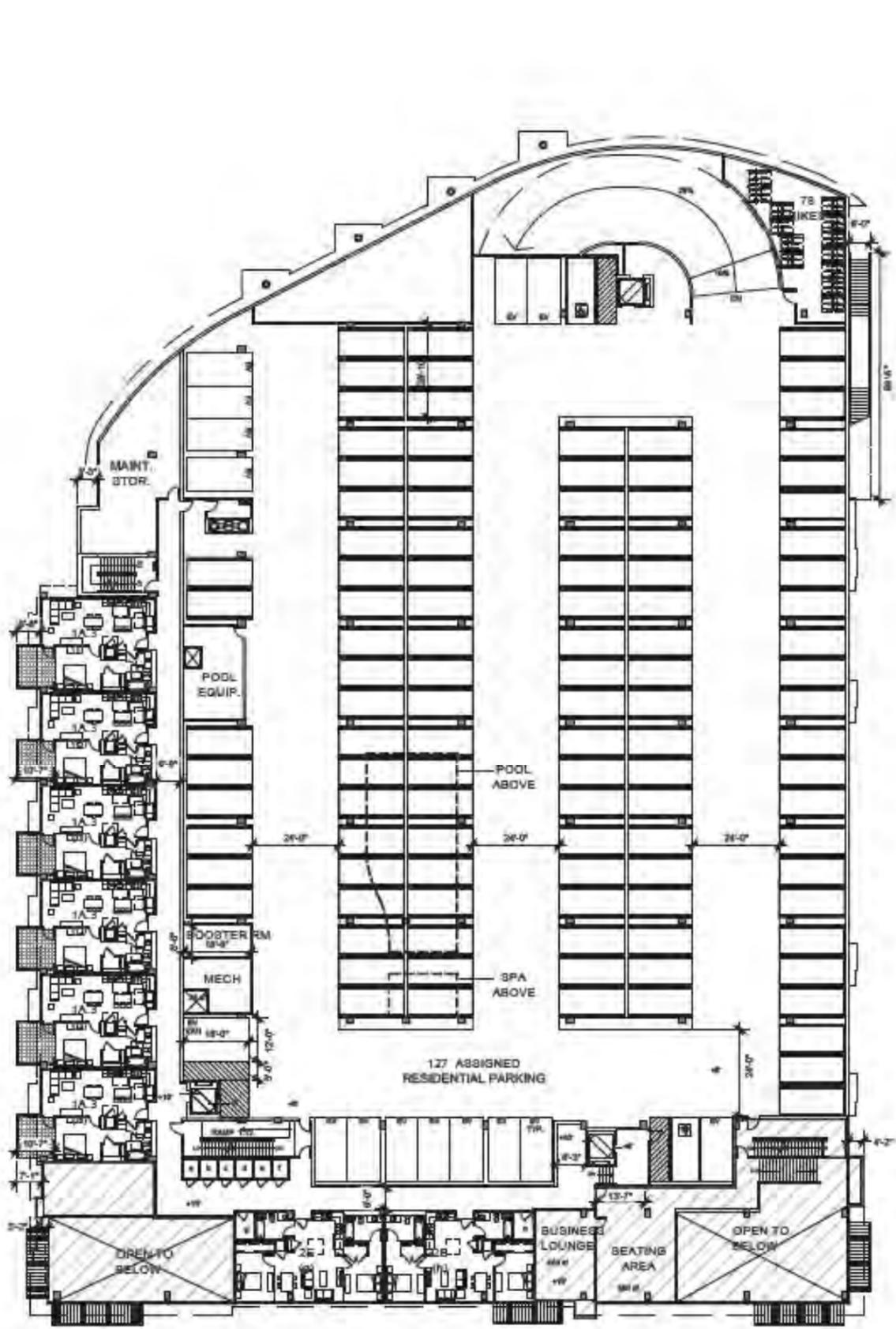
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Sheet Title:
LEVEL 1-2 PLANS
BLOCK A

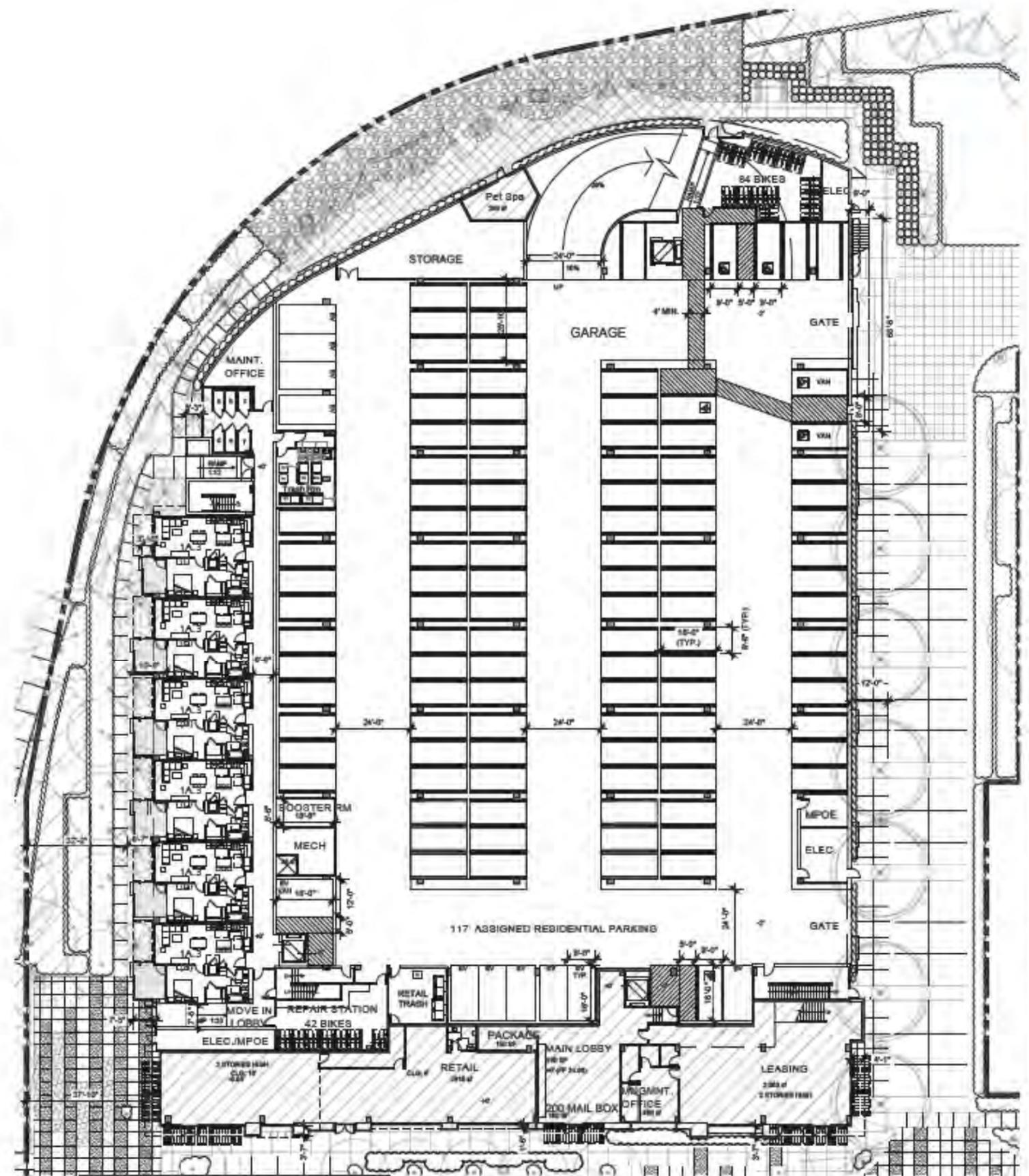
Job No. 16021
Date: 03/09/2020
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A210



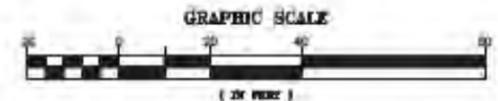
| UNIT TYPE | 1A.3 | | | | | | 2E | | TOTAL |
|-----------|------|-----|-----|-----|-----|-----|-----|-----|-------|
| STORAGE | a | b | c | d | e | f | g | h | |
| CF | 182 | 182 | 182 | 182 | 182 | 182 | 320 | 320 | 1732 |

2 LEVEL 2
SCALE: 1" = 20' - 0"



| UNIT TYPE | 1A.3 | | | | | | TOTAL |
|-----------|------|-----|-----|-----|-----|-----|-------|
| STORAGE | a | b | c | d | e | f | |
| CF | 186 | 186 | 186 | 186 | 186 | 186 | 1116 |

1 LEVEL 1
SCALE: 1" = 20' - 0"





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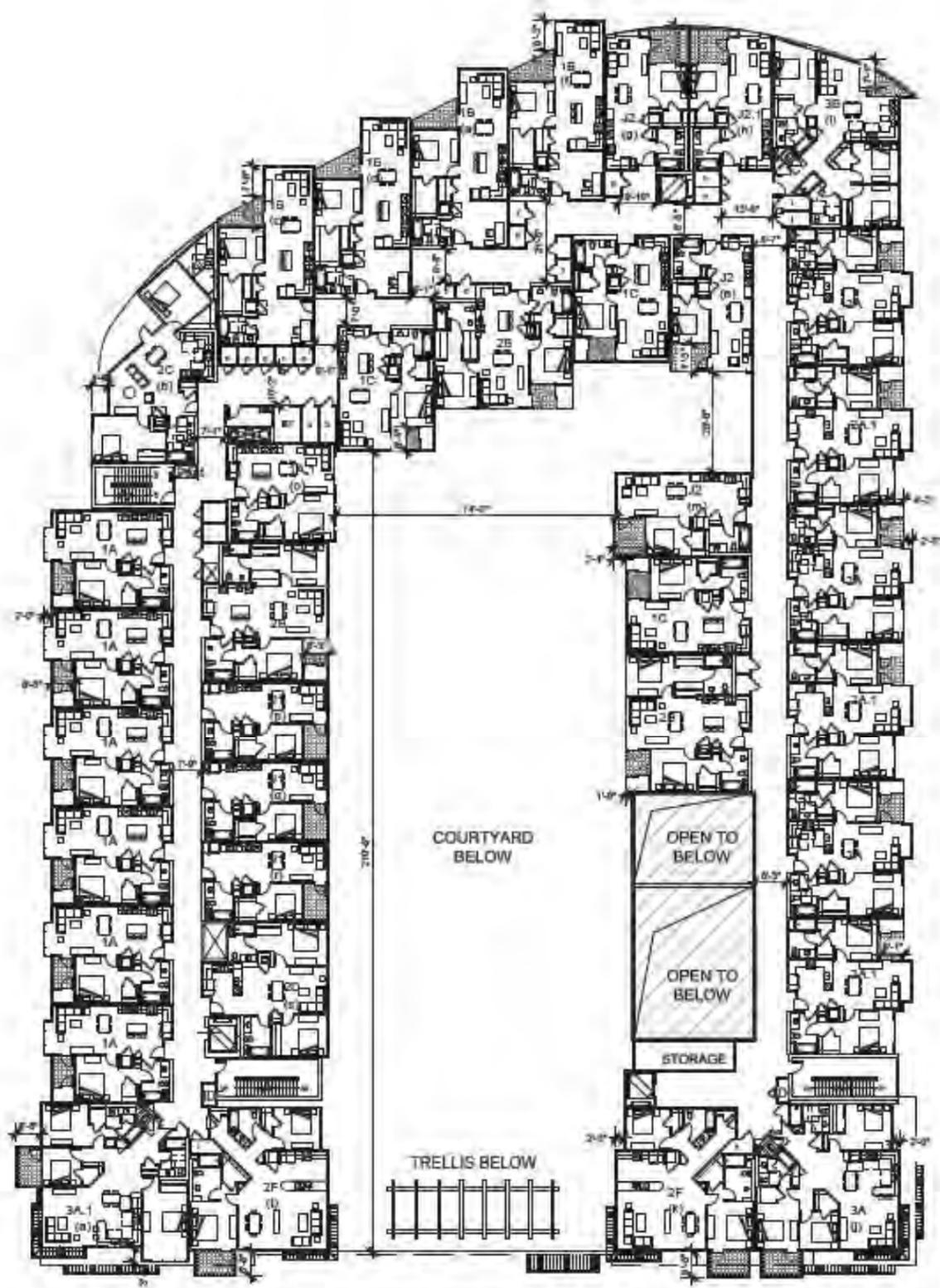
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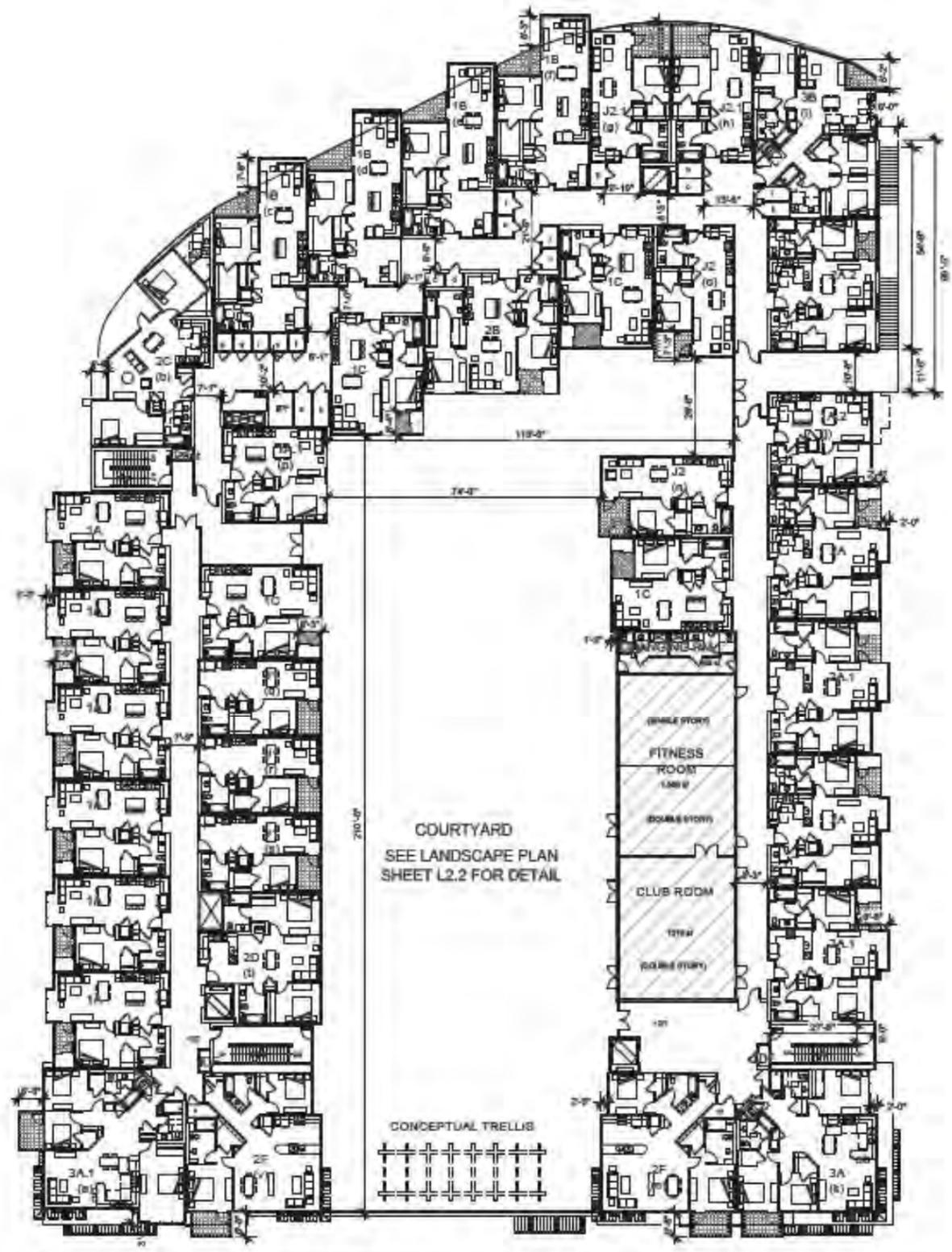
Sheet Title:
LEVEL 3-4 PLANS
BLOCK A

Job No. 18021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A211



| UNIT TYPE | 3A.1 | 2C | 1B | | | | J2.1 | | 3B | 3A | 2F | J2 | 1A.1 | | J1 | 2D | 2F | TOTAL | |
|-----------|------|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-------|------|
| STORAGE | a | b | c | d | e | f | g | h | i | j | k | m | n | o | p | q | r | s | t |
| GF | 329 | 329 | 170 | 170 | 196 | 196 | 227 | 227 | 230 | 230 | 230 | 227 | 187 | 183 | 183 | 183 | 183 | 230 | 4093 |

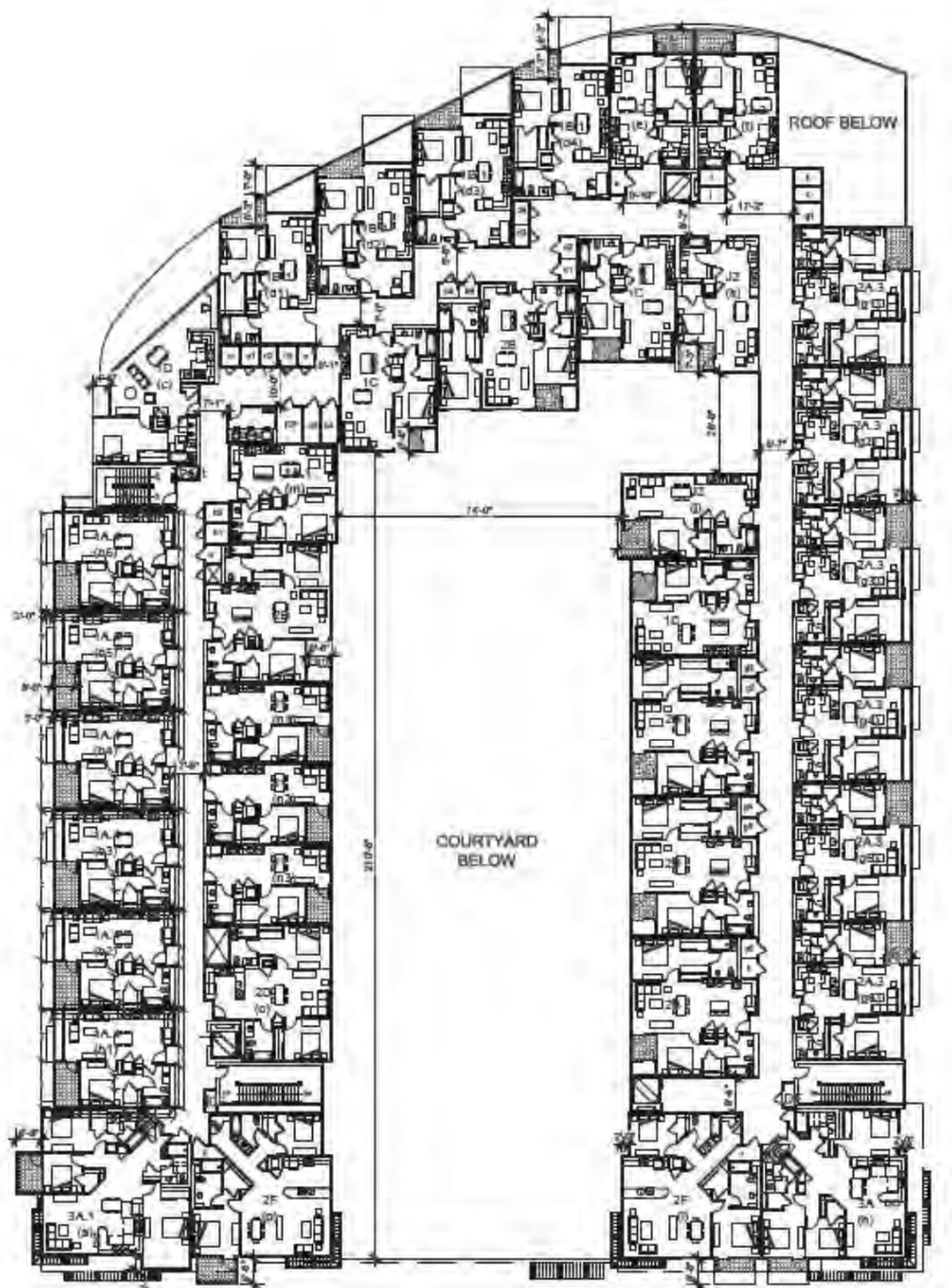


| UNIT TYPE | 3A.1 | 2C | 1B | | | | J2.1 | | 3B | 1A.2 | 3A | 2F | J2 | 1A.1 | | J1 | 2D | 2F | TOTAL | | |
|-----------|------|-----|-----|-----|-----|-----|------|-----|-----|------|-----|-----|-----|------|-----|-----|-----|-----|-------|-----|------|
| STORAGE | a | b | c | d | e | f | g | h | i | j | k | m | n | o | p | q | r | s | t | v | |
| GF | 328 | 329 | 170 | 170 | 196 | 196 | 227 | 227 | 230 | 187 | 230 | 230 | 187 | 227 | 183 | 183 | 183 | 183 | 183 | 230 | 4280 |

2 LEVEL 4
SCALE: 1" = 20' - 0"

1 LEVEL 3 (PODIUM LEVEL)
SCALE: 1" = 20' - 0"

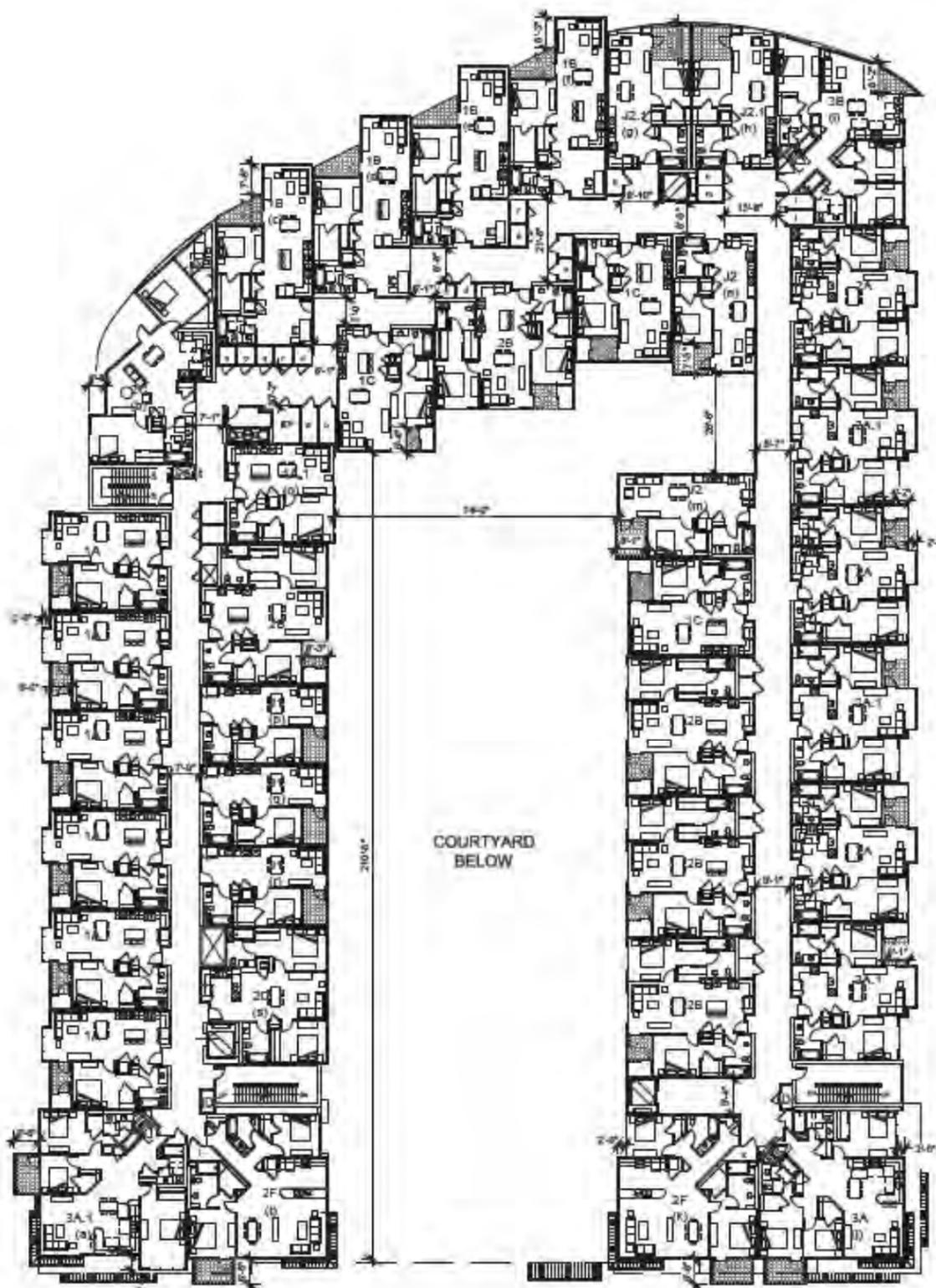




| UNIT TYPE | 3A.1 | 1A.4 | | | | | | 1D | 1B.1 | | | | J2.2 | | | | | 2A.3 | | | | | 3A | 2F |
|-----------|------|------|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|------|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|----|
| STORAGE | a | b1 | b2 | b3 | b4 | b5 | b6 | c | d1 | d2 | d3 | d4 | e | f | g1 | g2 | g3 | g4 | g5 | g6 | h | i | | |
| CF | 189 | 258 | 258 | 329 | 329 | 170 | 170 | 238 | 187 | 187 | 198 | 198 | 227 | 227 | 349 | 189 | 189 | 189 | 188 | 189 | 189 | 189 | 230 | |

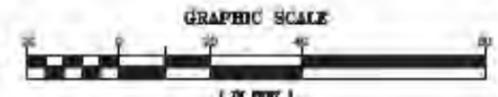
2 LEVEL 7
SCALE: 1" = 20'-0"

| UNIT TYPE | J2 | 1A.1 | J1 | 2D | 2F | TOTAL | | | |
|-----------|-----|------|-----|-----|-----|-------|-----|-----|------|
| STORAGE | j | k | m | n1 | n2 | n3 | o | p | |
| CF | 227 | 238 | 183 | 183 | 183 | 183 | 183 | 230 | 8344 |



| UNIT TYPE | 3A.1 | 2C | 1B | | | | J2.1 | 3B | 3A | 2F | J2 | 1A.1 | J1 | 2D | 2F | TOTAL | | | | |
|-----------|------|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|------|-----|-----|-----|-------|-----|-----|-----|------|
| STORAGE | a | b | c | d | e | f | g | h | i | j | k | m | n | o | p | q | r | s | t | |
| CF | 329 | 329 | 170 | 170 | 198 | 198 | 227 | 227 | 230 | 230 | 227 | 187 | 183 | 183 | 183 | 183 | 183 | 183 | 230 | 4093 |

1 LEVEL 5-6
SCALE: 1" = 20'-0"



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Sheet Title:
LEVEL 5-7 PLANS
BLOCK A

Job No. 18021
Date: 03/09/2020
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Drawn By:

Sheet No:
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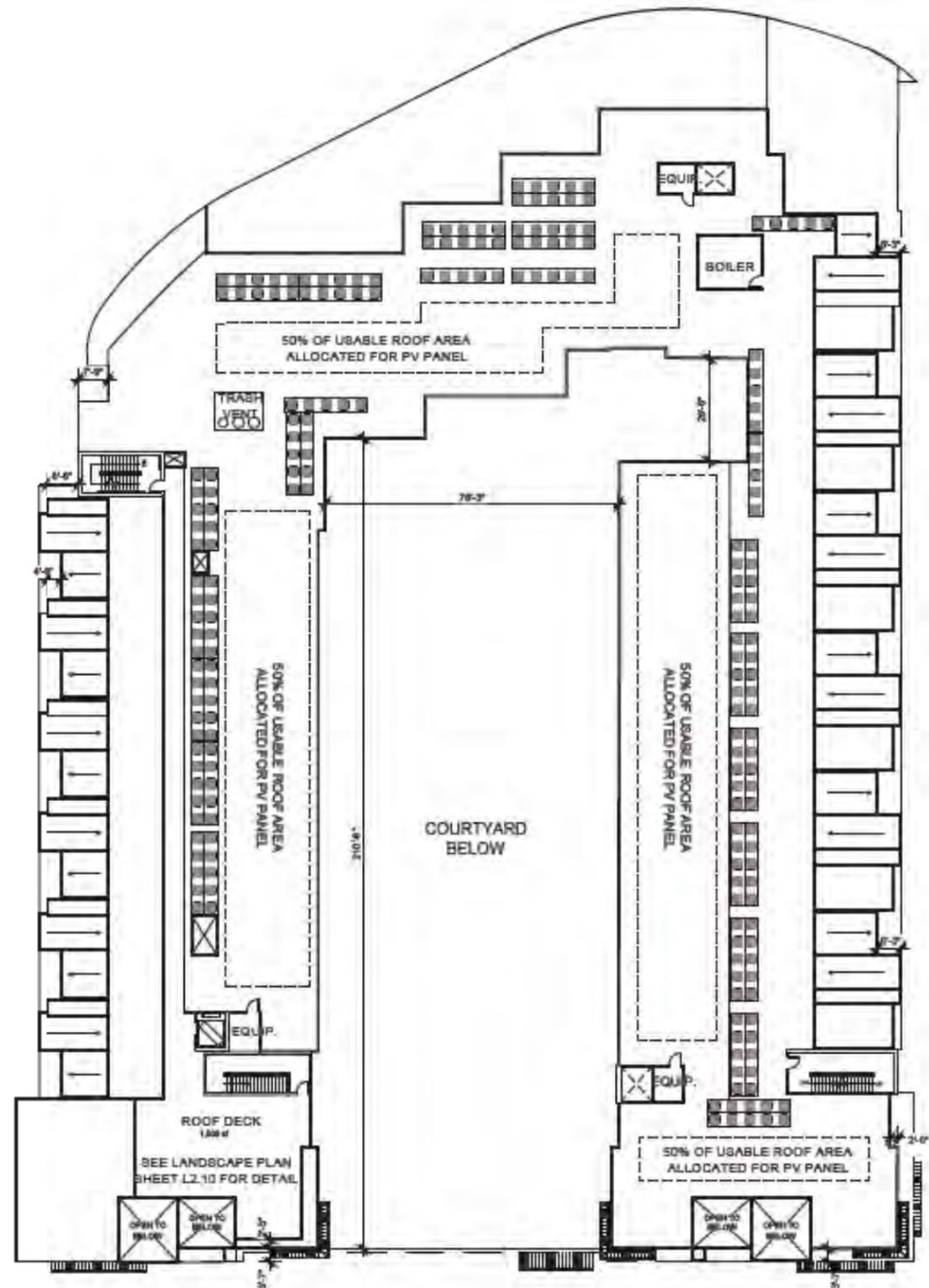
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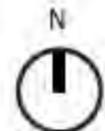
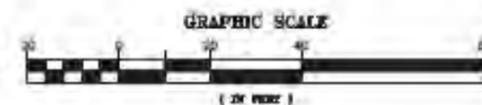
Sheet Title:
ROOF PLANS
BLOCK A

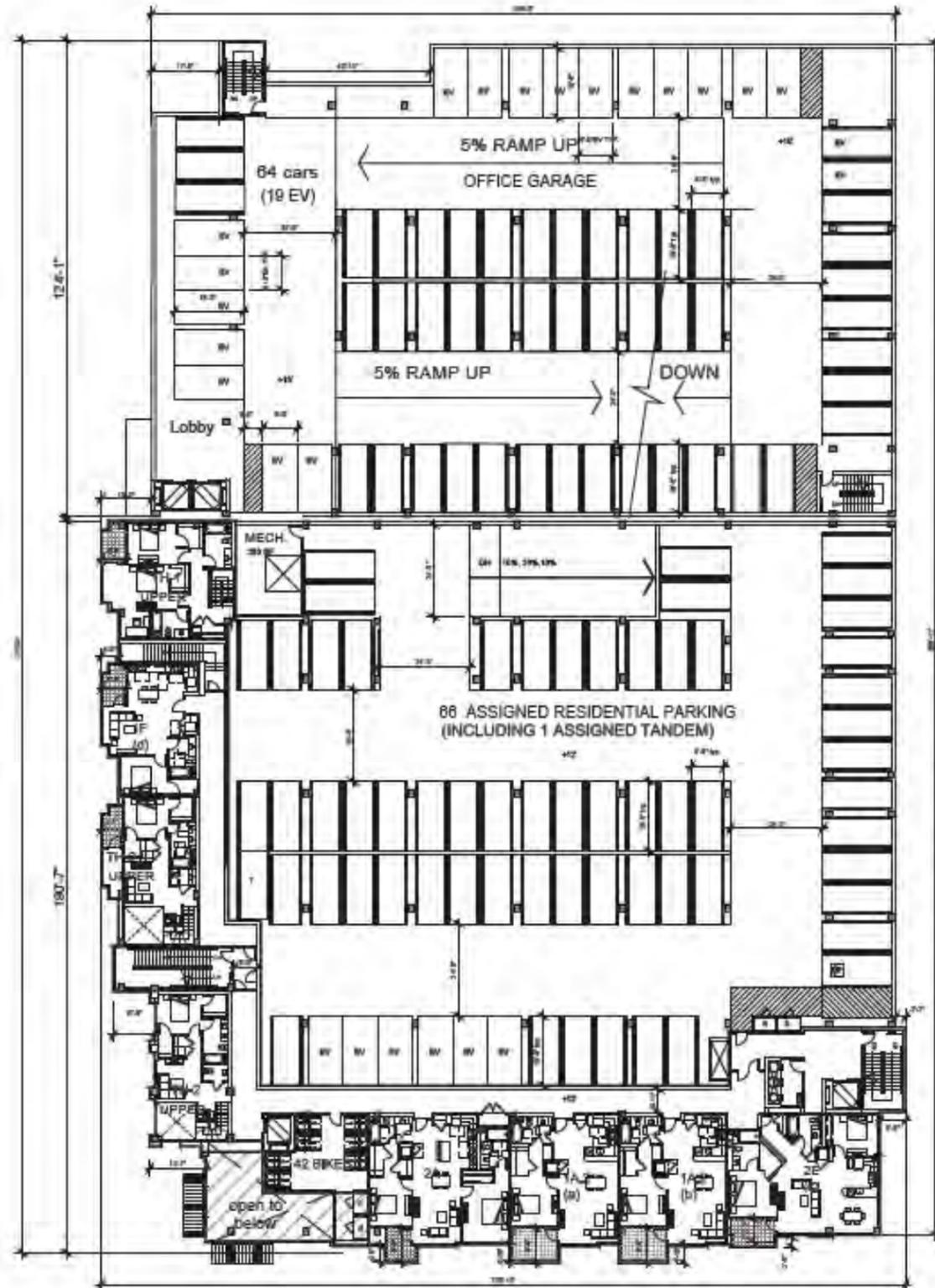
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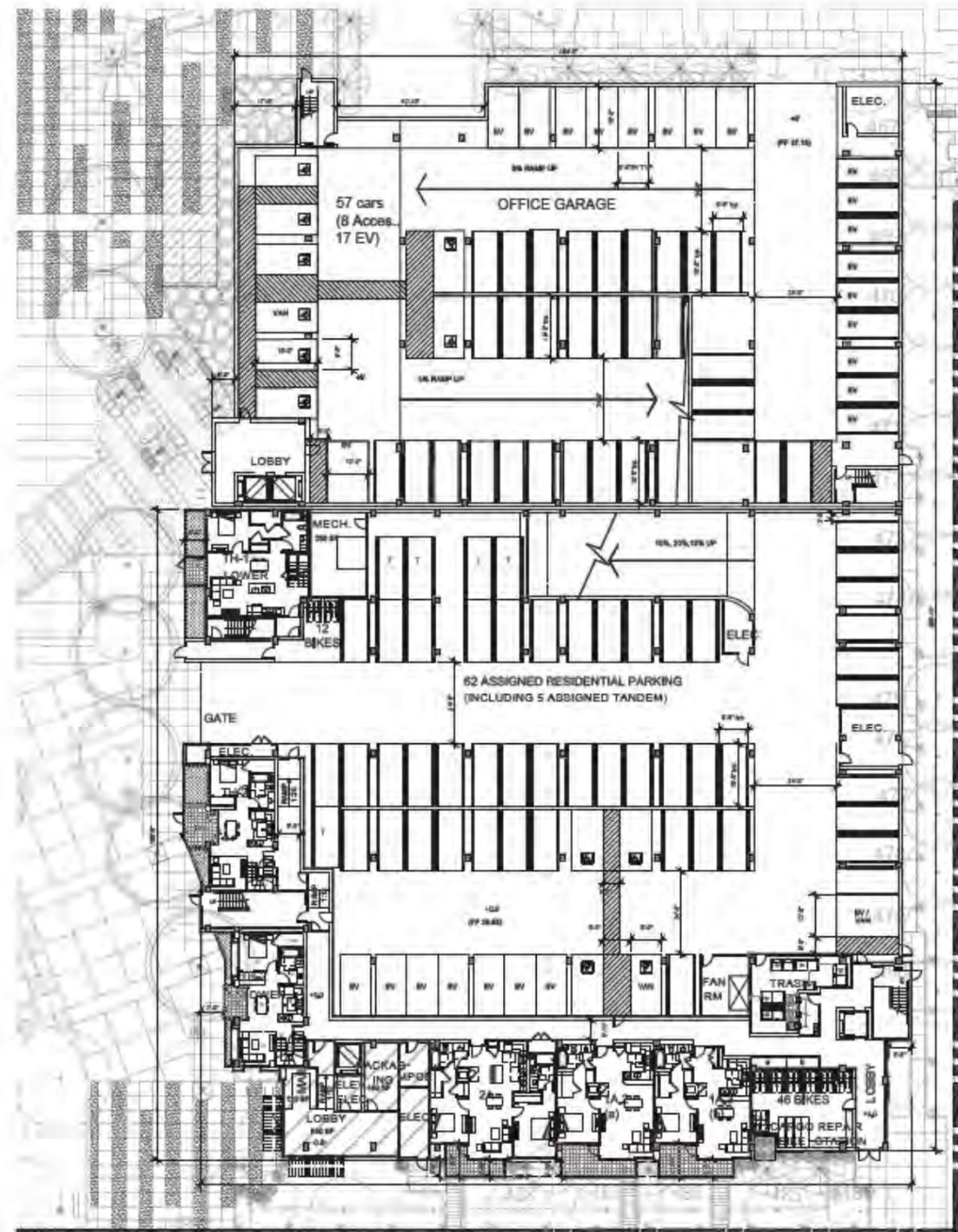
1 ROOF LEVEL
SCALE: 1" = 20'-0"





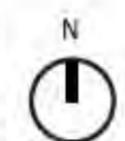
| UNIT TYPE | 1A.2 | 2E | 1F | |
|-----------|------|-----|-----|-----|
| STORAGE | a | b | c | d |
| CF | 167 | 167 | 167 | 167 |
| TOTAL | 668 | | | |

2 LEVEL 2
SCALE: 1" = 20'-0"



| UNIT TYPE | 1A.2 | 1A.3 | |
|-----------|------|------|-------|
| STORAGE | a | b | TOTAL |
| CF | 238 | 238 | 478 |

1 LEVEL 1
SCALE: 1" = 20'-0"



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Sheet Title:
LEVEL 1-2 PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
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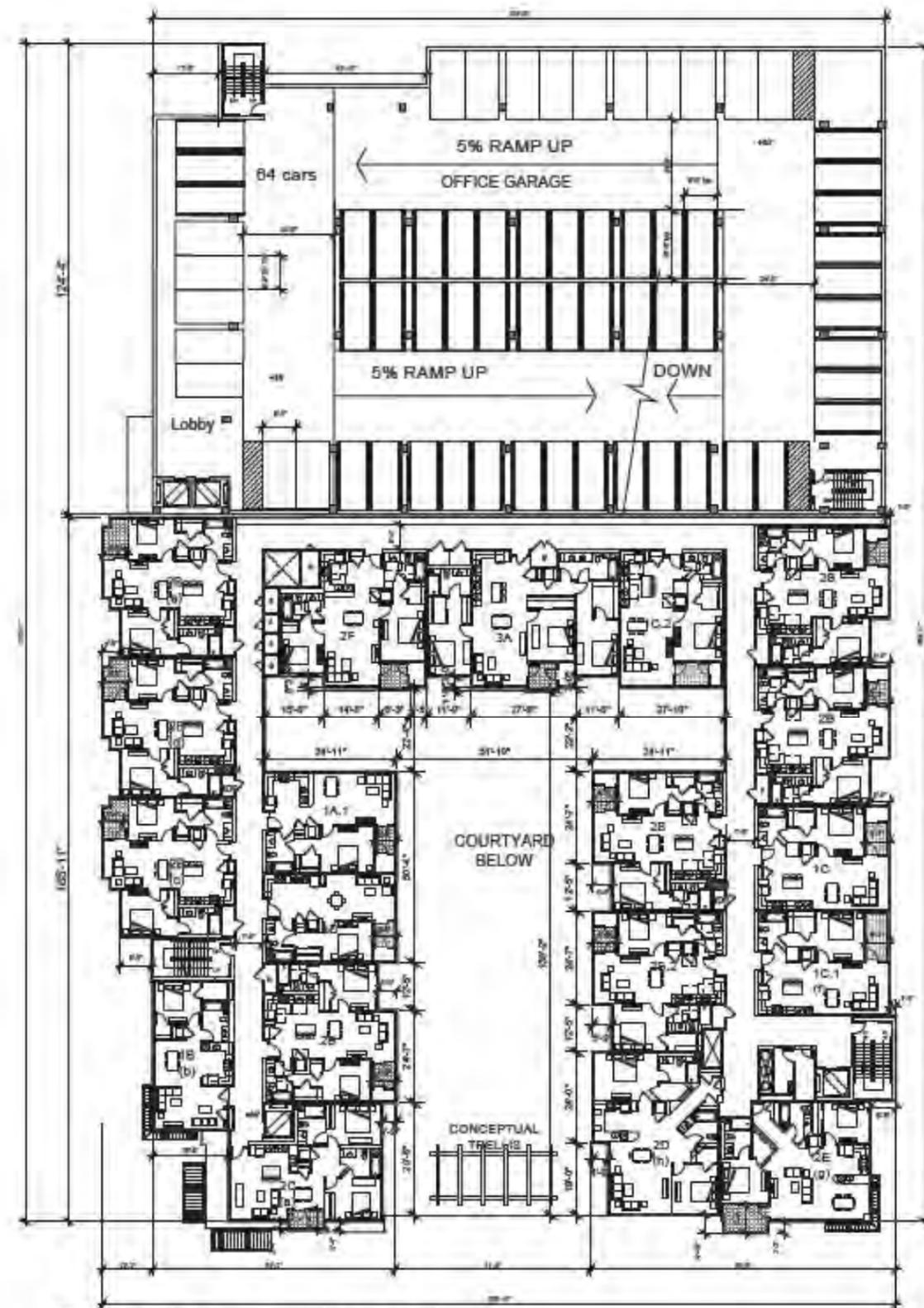
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BLOCK B

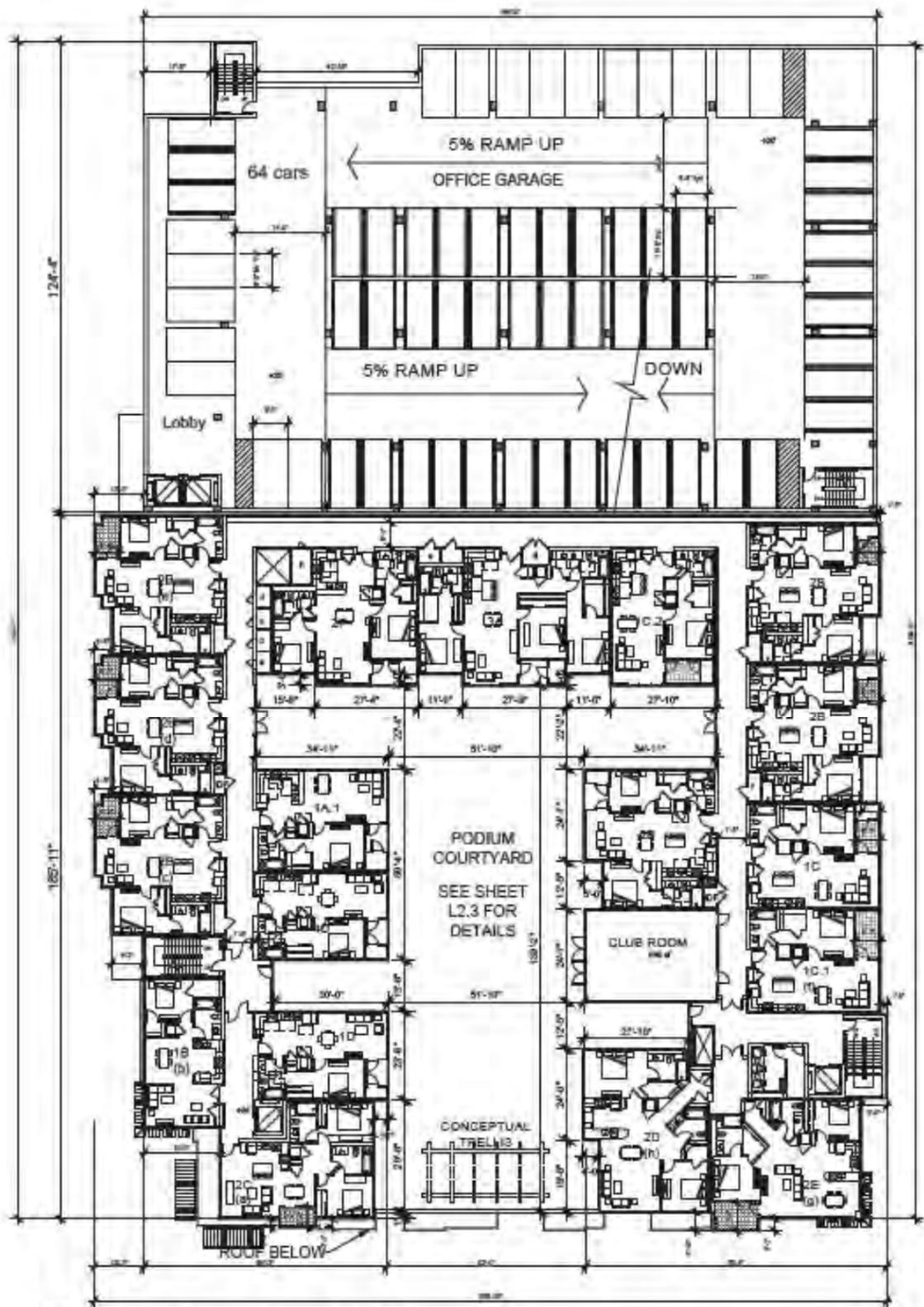
Job No. 16021
Date: 03/09/2020
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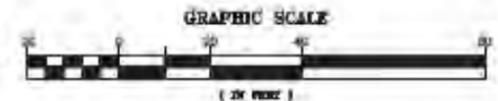
| UNIT TYPE | 2C | 1B | 2B | | 1C.1 | 2E | 2D | | |
|-----------|-----|-----|-----|-----|------|-----|-----|-----|------|
| STORAGE | a | b | c | d | e | f | g | h | |
| DF | 178 | 176 | 176 | 178 | 176 | 209 | 238 | 387 | 1714 |

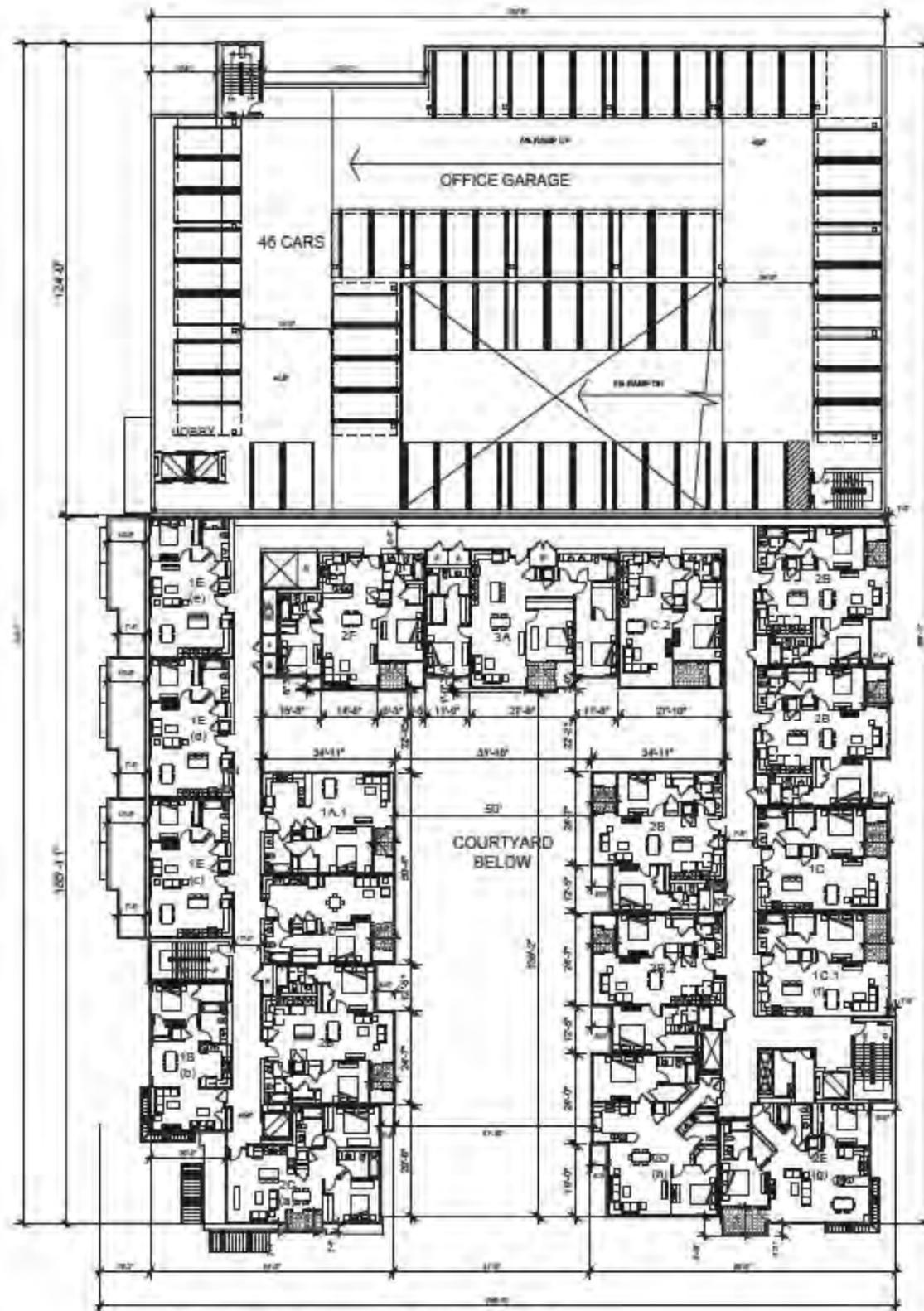
2 LEVEL 4
SCALE: 1" = 20'-0"



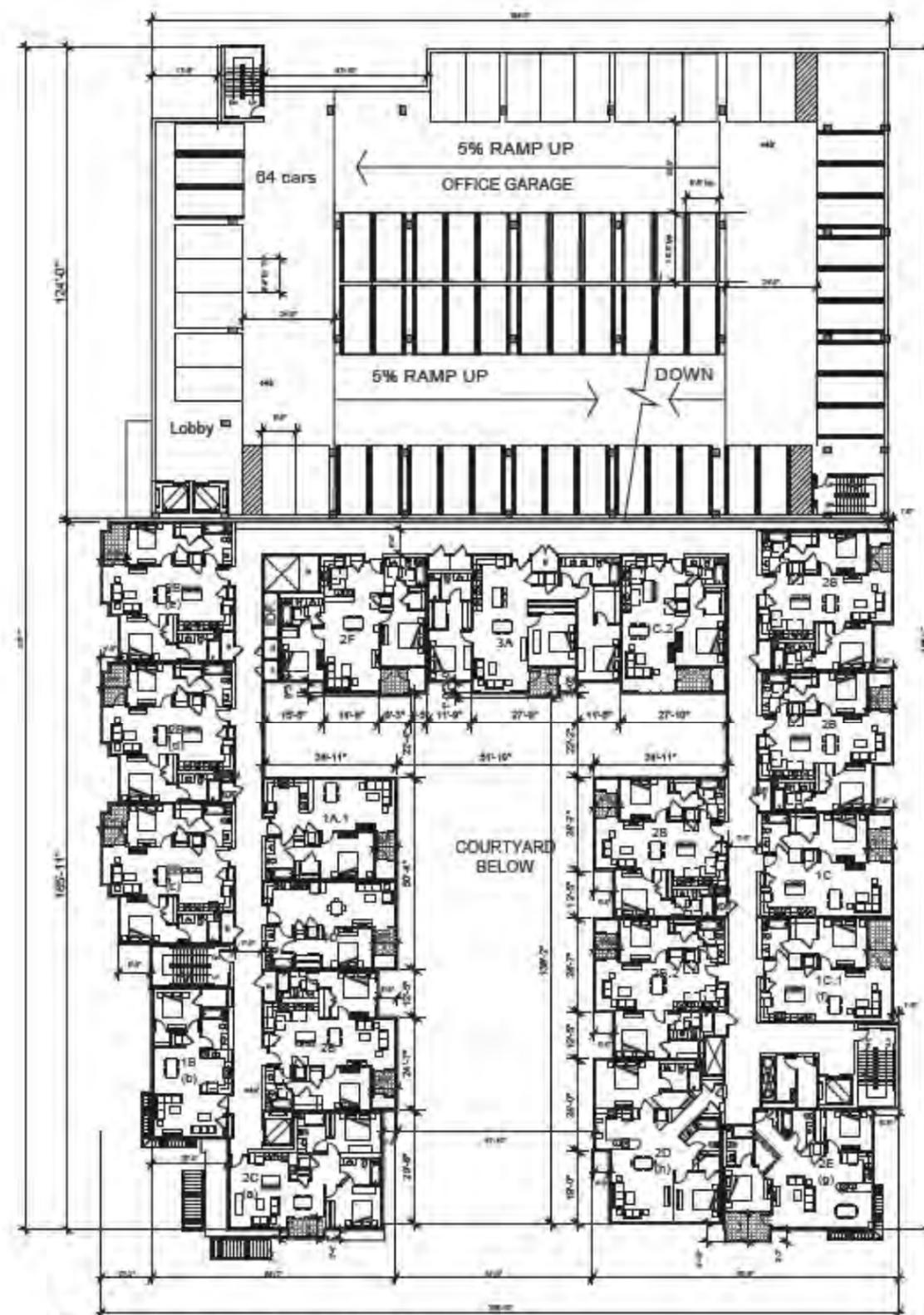
| UNIT TYPE | 2C | 1B | 2B | | 1C.1 | 2E | 2D | | |
|-----------|-----|-----|-----|-----|------|-----|-----|-----|------|
| STORAGE | a | b | c | d | e | f | g | h | |
| DF | 178 | 176 | 176 | 178 | 176 | 209 | 238 | 387 | 1714 |

1 LEVEL 3 (PODIUM LEVEL)
SCALE: 1" = 20'-0"





| UNIT TYPE | 2C | 1B | 1E | | 1C.1 | 2E | 2D | | |
|-----------|-----|-----|-----|-----|------|-----|-----|-----|-------|
| STORAGE | a | b | c | d | e | f | g | h | TOTAL |
| CF | 209 | 185 | 165 | 170 | 170 | 209 | 238 | 387 | 1713 |



| UNIT TYPE | 2C | 1B | 2B | | 1C.1 | 2E | 2D | | |
|-----------|-----|-----|-----|-----|------|-----|-----|-----|-------|
| STORAGE | a | b | c | d | e | f | g | h | TOTAL |
| CF | 209 | 209 | 185 | 185 | 209 | 209 | 238 | 387 | 1791 |

2 LEVEL 6
SCALE: 1" = 20' - 0"

1 LEVEL 5
SCALE: 1" = 20' - 0"




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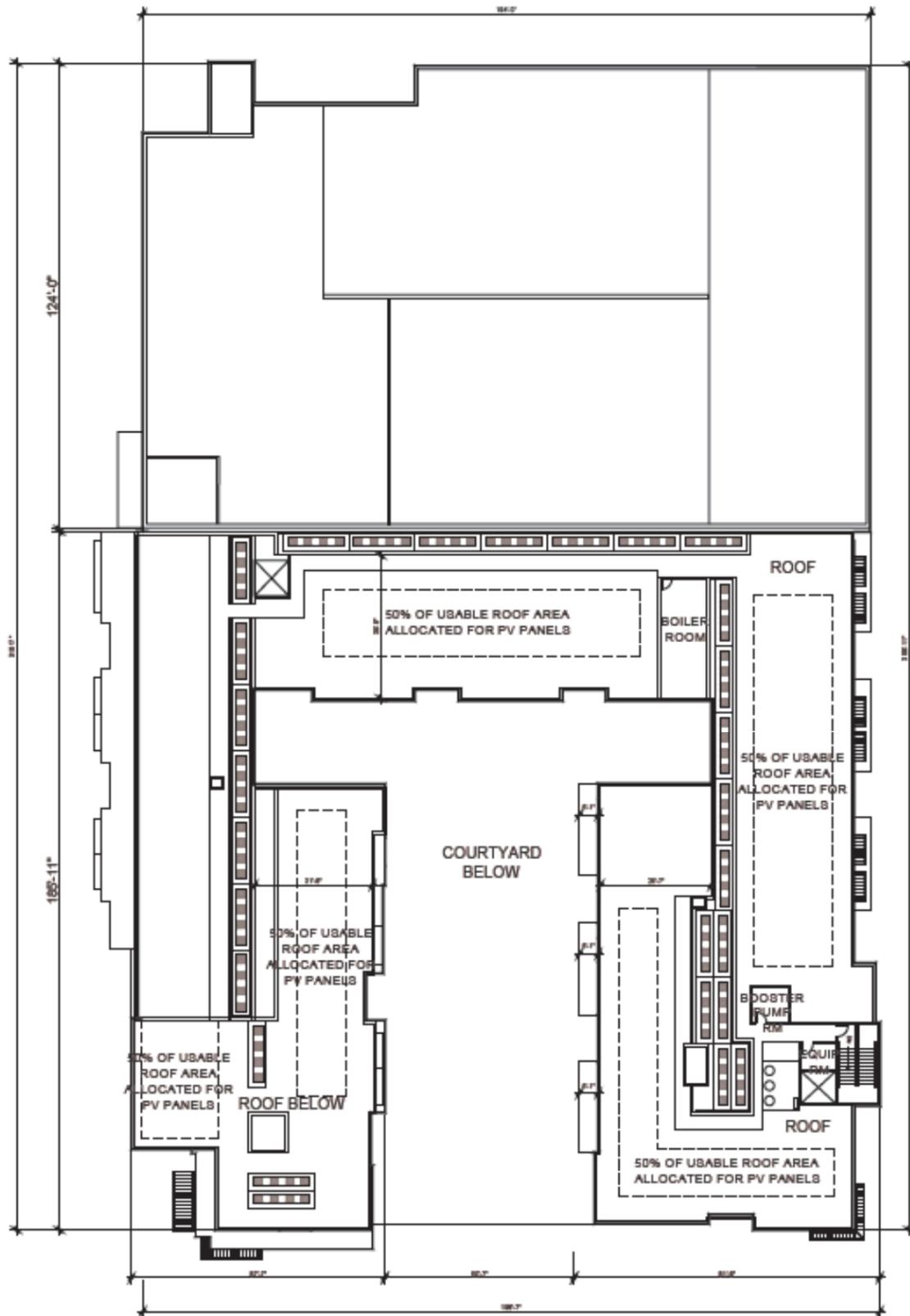
The Residences
@ Shoreline Gateway

Mountain View, California

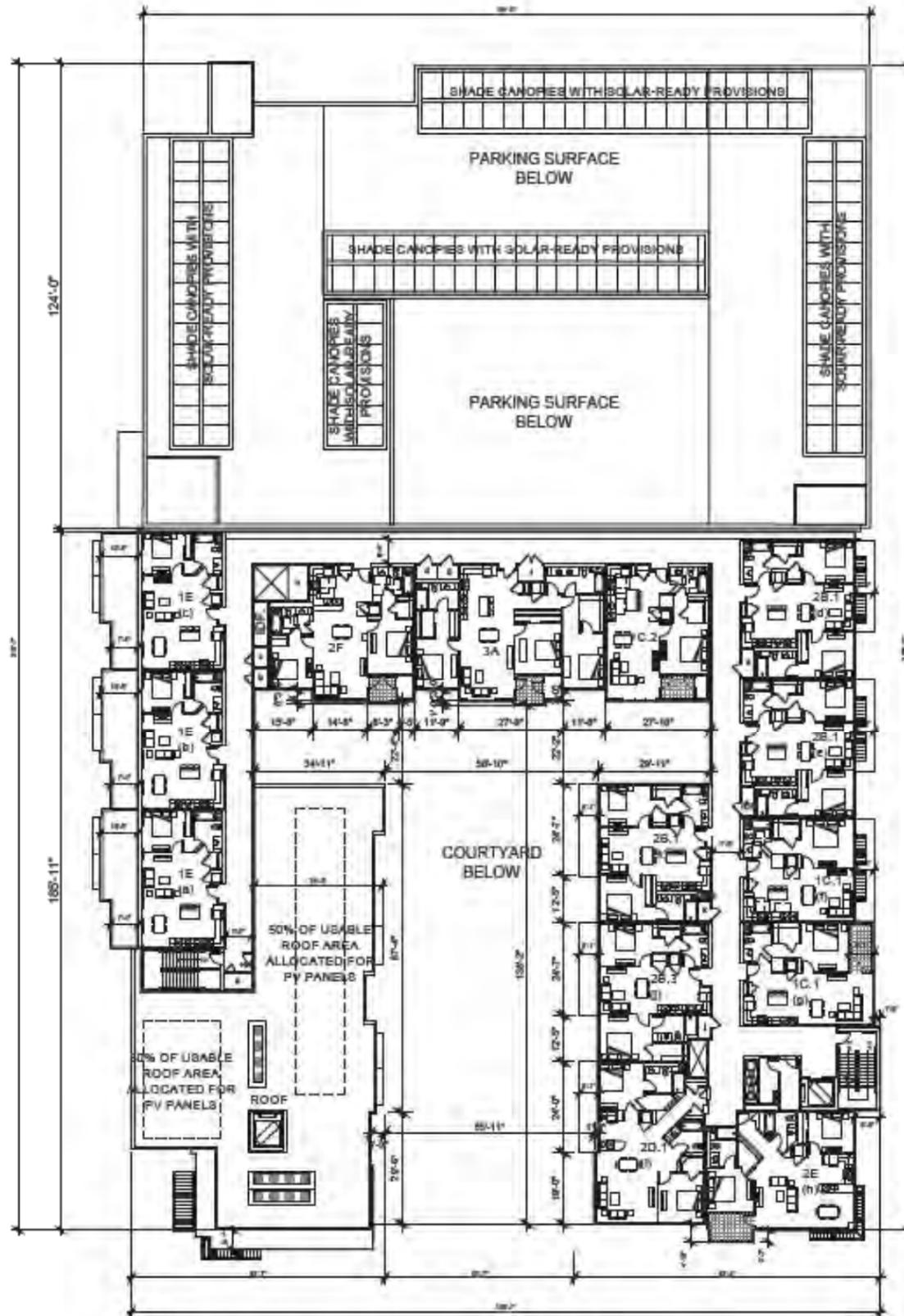
Sheet Title:
LEVEL 5-8 PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A222

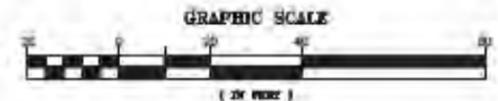


2 ROOF LEVEL
SCALE: 1" = 20' - 0"



| UNIT TYPE | 1E | | 2B.1 | | 1C.1 | | 2E | 2D.1 | 2B.3 | 2B.1 | | |
|-----------|-----|-----|------|-----|------|-----|-----|------|------|------|-----|-------|
| STORAGE | a | b | c | d | e | f | g | h | i | j | k | TOTAL |
| CF | 255 | 165 | 165 | 170 | 220 | 220 | 170 | 387 | 238 | 176 | 148 | 2315 |

1 LEVEL 7
SCALE: 1" = 20' - 0"



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Sheet Title:
LEVEL 7 &
ROOF PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A223



2 NORTH ELEVATION

SCALE: 1" = 20' - 0"

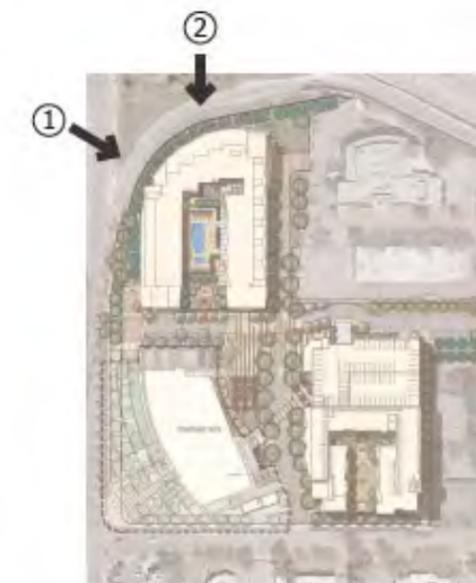
| | |
|------|--|
| A1-1 | Stucco Finish - White |
| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| B1 | Siding - Brown |
| B2 | Siding - Yellow |
| B3 | Siding - Medium Grey |
| B4 | Siding - Light Brown |
| C1 | Tiles - Brown |
| C2 | Tiles - Beige |
| C3 | Tiles - Grey |
| D1 | Metal Panel - Grey |
| D2 | Metal Panel - Light Grey |
| D3 | Metal Panel - Orange |
| E1 | Vinyl Window |
| E2 | Storefront Window |
| F1 | Balcony - Metal Open Rail |
| F2 | Balcony - Perforated Metal Panel |
| F3 | Balcony - Glass Panel |
| G1 | Sun Shade - Metal Square Awning |
| G2 | Sun Shade - Metal Tapered Awning |
| H1 | Panel Facade - Perforated |
| H2 | Panel Facade - Corrugated / Perforated |

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW LOOKING NORTH WEST ON SHORELINE BLVD OVERPASS

N.T.S.



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ELEVATION &
PERSPECTIVE -
BLOCK A

Job No. 16021
Date: 03/09/2020
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Drawn By:

Sheet No:

A310



2 WEST ELEVATION
SCALE: 1" = 20' - 0"

| | |
|------|--|
| A1-1 | Stucco Finish - White |
| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| D3 | Panel Facade - Perforated |
| D4 | Panel Facade - Corrugated / Perforated |

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW LOOKING NORTH WEST ON HWY . 101 RAMP
N.T.S.



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BLOCK A

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

A311



2 SOUTH ELEVATION

SCALE: 1" = 20' - 0"

| | |
|------|--|
| A1-1 | Stucco Finish - White |
| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| D3 | Panel Facade - Perforated |
| D4 | Panel Facade - Corrugated / Perforated |

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW LOOKING SOUTH WEST FROM PARKING GARAGE

N.T.S.



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Sheet Title:
ELEVATION &
PERSPECTIVE -
BLOCK A

Job No. 16021
Date: 03/09/2020
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Drawn By:

Sheet No:

A312



2 EAST ELEVATION

SCALE: 1" = 20' - 0"

| | |
|--------|--|
| (A1-1) | Stucco Finish - White |
| (A1-2) | Stucco Finish - Grey |
| (A1-3) | Stucco Finish - Light Grey |
| (A1-4) | Stucco Finish - Dark Grey |
| (A1-5) | Stucco Finish - Amber |
| (A1-6) | Stucco Finish - Beige |
| (A1-7) | Stucco Finish - Grey |
| (A1-8) | Stucco Finish - Khaki |
| (B1) | Siding - Brown |
| (B2) | Siding - Yellow |
| (B3) | Siding - Medium Grey |
| (C1) | Siding - Light Brown |
| (C2) | Tiles - Brown |
| (C3) | Tiles - Beige |
| (C4) | Tiles - Grey |
| (D1) | Metal Panel - Grey |
| (D2) | Metal Panel - Light Grey |
| (D3) | Metal Panel - Orange |
| (E1) | Vinyl Window |
| (E2) | Storefront Window |
| (F1) | Balcony - Metal Open Rail |
| (F2) | Balcony - Perforated Metal Panel |
| (F3) | Balcony - Glass Panel |
| (G1) | Sun Shade - Metal Square Awning |
| (G2) | Sun Shade - Metal Tapered Awning |
| (G3) | Panel Facade - Perforated |
| (G4) | Panel Facade - Corrugated / Perforated |

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW FROM LINDA VISTA AVE LOOKING AT APARTMENT

N.T.S.



KEY PLAN



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BLOCK A

Job No. 16021
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A313



2 SOUTH ELEVATION

SCALE: 1" = 20' - 0"

| | |
|------|--|
| A1-1 | Stucco Finish - White |
| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| D3 | Panel Facade - Perforated |
| D4 | Panel Facade - Corrugated / Perforated |

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW FROM TERRA BELLA AVE. LOOKING AT SOUTH WEST CORNER

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BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

A320



2 EAST ELEVATION

SCALE: 1" = 20' - 0"

| | |
|--------|--|
| (A1-1) | Stucco Finish - White |
| (A1-2) | Stucco Finish - Grey |
| (A1-3) | Stucco Finish - Light Grey |
| (A1-4) | Stucco Finish - Dark Grey |
| (A1-5) | Stucco Finish - Amber |
| (A1-6) | Stucco Finish - Beige |
| (A1-7) | Stucco Finish - Grey |
| (A1-8) | Stucco Finish - Khaki |
| (A2-1) | Siding - Brown |
| (A2-2) | Siding - Yellow |
| (A2-3) | Siding - Medium Grey |
| (A2-4) | Siding - Light Brown |
| (C1) | Tiles - Brown |
| (C2) | Tiles - Beige |
| (C3) | Tiles - Grey |
| (D1) | Metal Panel - Grey |
| (D2) | Metal Panel - Light Grey |
| (D3) | Metal Panel - Orange |
| (B1) | Vinyl Window |
| (B2) | Storefront Window |
| (C1) | Balcony - Metal Open Rail |
| (C2) | Balcony - Perforated Metal Panel |
| (C3) | Balcony - Glass Panel |
| (D1) | Sun Shade - Metal Square Awning |
| (D2) | Sun Shade - Metal Tapered Awning |
| (D3) | Panel Facade - Perforated |
| (D4) | Panel Facade - Corrugated / Perforated |

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1 VIEW FROM TERRA BELLA AVE. LOOKING AT SOUTH EAST CORNER

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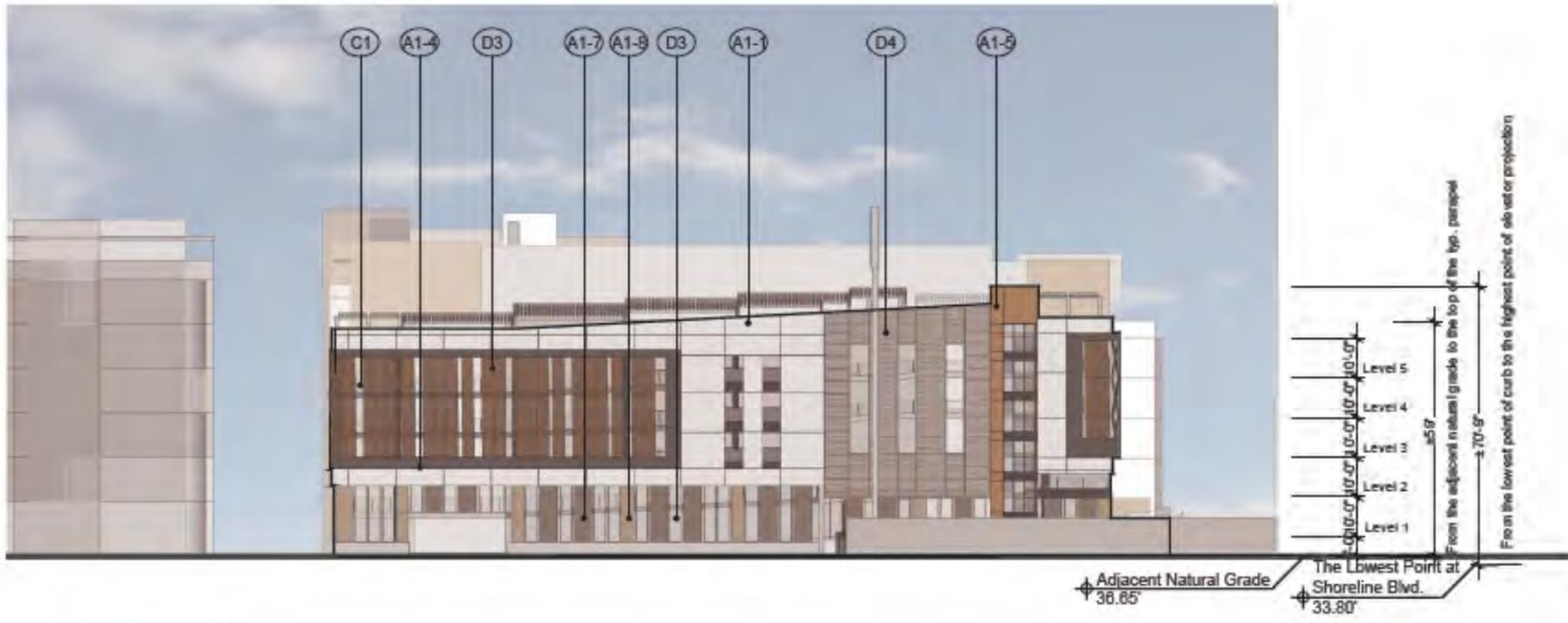
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Sheet Title:
ELEVATION &
PERSPECTIVE -
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
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Sheet No:

A321



2 NORTH ELEVATION

SCALE: 1" = 20' - 0"

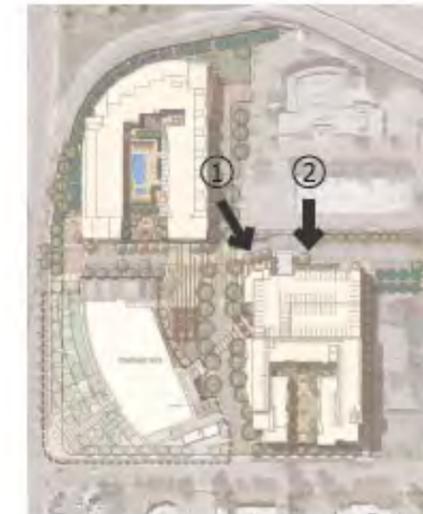
| | |
|------|--|
| A1-1 | Stucco Finish - White |
| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A1-9 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| D3 | Panel Facade - Perforated |
| D4 | Panel Facade - Corrugated / Perforated |

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW LOOKING AT NORTH EAST GARAGE

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Sheet Title:
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BLOCK B

Job No. 16021
Date: 03/09/2020
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Sheet No:

A322



2 WEST ELEVATION

SCALE: 1" = 20' - 0"

| | |
|--------|--|
| (A1-6) | Stucco Finish - White |
| (A1-5) | Stucco Finish - Grey |
| (A1-4) | Stucco Finish - Light Grey |
| (A1-3) | Stucco Finish - Dark Grey |
| (A1-2) | Stucco Finish - Amber |
| (A1-1) | Stucco Finish - Beige |
| (A1-0) | Stucco Finish - Grey |
| (A2-3) | Stucco Finish - Khaki |
| (A2-2) | Siding - Brown |
| (A2-1) | Siding - Yellow |
| (A2-0) | Siding - Medium Grey |
| (A3-2) | Siding - Light Brown |
| (A3-1) | Tiles - Brown |
| (A3-0) | Tiles - Beige |
| (A4-2) | Tiles - Grey |
| (A4-1) | Metal Panel - Grey |
| (A4-0) | Metal Panel - Light Grey |
| (A5-3) | Metal Panel - Orange |
| (B1) | Vinyl Window |
| (B2) | Storefront Window |
| (C1) | Balcony - Metal Open Rail |
| (C2) | Balcony - Perforated Metal Panel |
| (C3) | Balcony - Glass Panel |
| (D1) | Sun Shade - Metal Square Awning |
| (D2) | Sun Shade - Metal Tapered Awning |
| (D3) | Panel Facade - Perforated |
| (D4) | Panel Facade - Corrugated / Perforated |

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW FROM TERRA BELLA AVE. LOOKING AT SOUTH WEST CORNER

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Sheet No:

A323



VIEW 1: Perspective View on N Shoreline BLVD looking from North to South



VIEW 2: Perspective View on N Shoreline BLVD looking from South to North



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VIEW 3: Perspective View Looking from Parking Garage to Southwest



VIEW 4: Perspective View on HWY.101 Looking from Northeast to Southeast



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VIEW 5: Condo's Perspective View on Terra Bella Ave Looking at Southwestern Corner



VIEW 6: Condo's Perspective View on Terra Bella Ave Looking at Southeastern Corner



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VIEW 7: Office Garage's Perspective View at Northwestern Corner



VIEW 8: Condo and Garage's Perspective View Looking at Eastern Elevation



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VIEW 10: Block "A" Apartment's Perspective View



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VIEW 9: Block "B" Condo's Perspective View



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2 COURTYARD ELEVATION 2-2

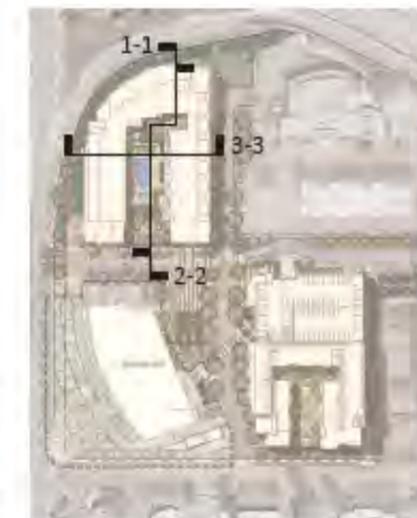
N.T.S.



1 COURTYARD ELEVATION 1-1

N.T.S.

| | |
|------|--|
| A1-1 | Stucco Finish - White |
| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| D3 | Panel Facade - Perforated |
| D4 | Panel Facade - Corrugated / Perforated |



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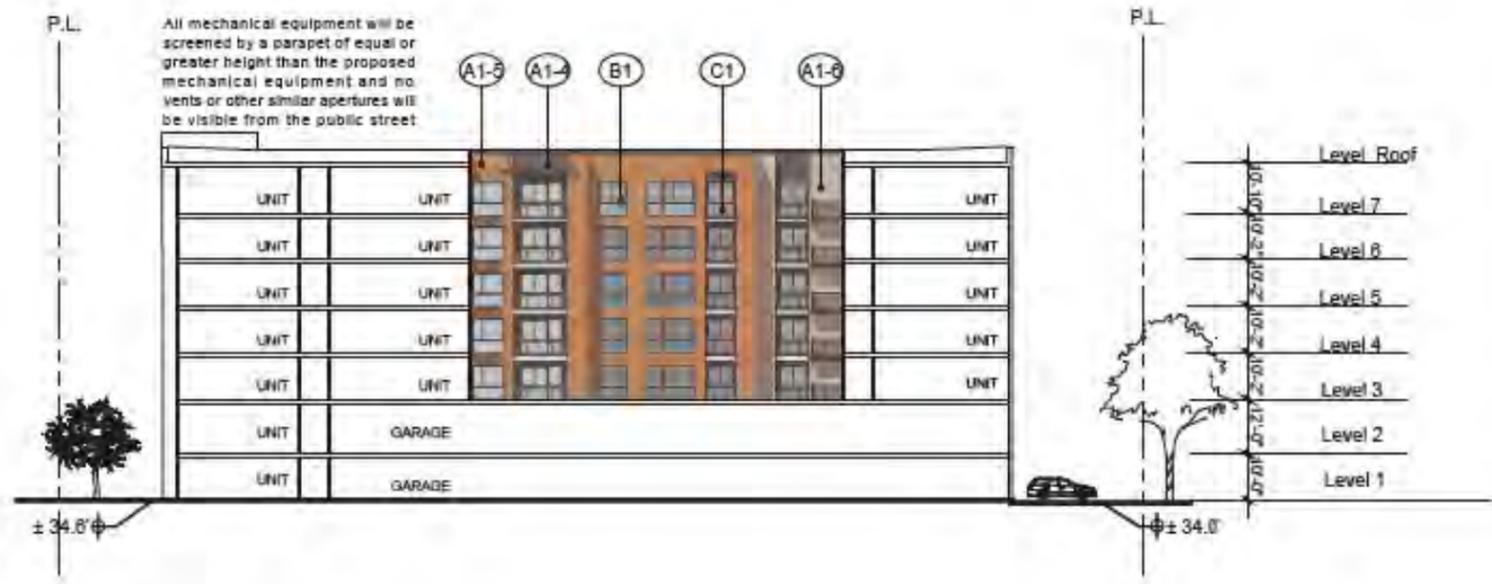
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A410



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| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| D3 | Panel Facade - Perforated |
| D4 | Panel Facade - Corrugated / Perforated |

1 COURTYARD ELEVATION 3-3
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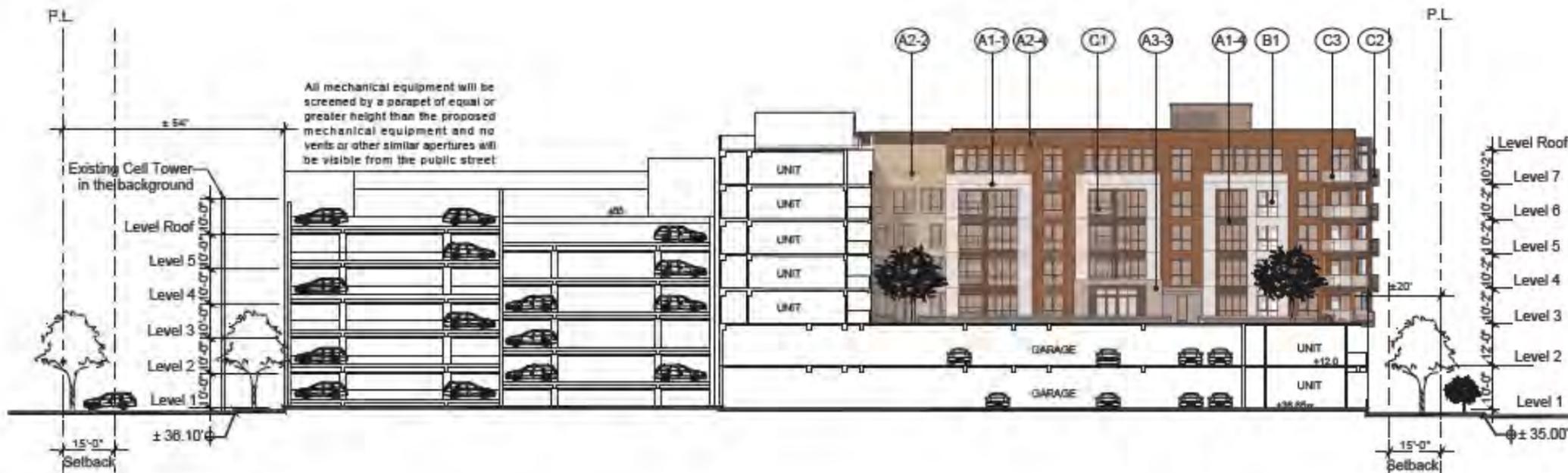
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COURTYARD ELEVATION 2-2

2

N.T.S.



COURTYARD ELEVATION 1-1

1

N.T.S.

| | |
|------|--|
| A1-1 | Stucco Finish - White |
| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
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| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| O3 | Panel Facade - Perforated |
| O4 | Panel Facade - Corrugated / Perforated |



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| A1-2 | Stucco Finish - Grey |
| A1-3 | Stucco Finish - Light Grey |
| A1-4 | Stucco Finish - Dark Grey |
| A1-5 | Stucco Finish - Amber |
| A1-6 | Stucco Finish - Beige |
| A1-7 | Stucco Finish - Grey |
| A1-8 | Stucco Finish - Khaki |
| A2-1 | Siding - Brown |
| A2-2 | Siding - Yellow |
| A2-3 | Siding - Medium Grey |
| A2-4 | Siding - Light Brown |
| A3-1 | Tiles - Brown |
| A3-2 | Tiles - Beige |
| A3-3 | Tiles - Grey |
| A4-1 | Metal Panel - Grey |
| A4-2 | Metal Panel - Light Grey |
| A4-3 | Metal Panel - Orange |
| B1 | Vinyl Window |
| B2 | Storefront Window |
| C1 | Balcony - Metal Open Rail |
| C2 | Balcony - Perforated Metal Panel |
| C3 | Balcony - Glass Panel |
| D1 | Sun Shade - Metal Square Awning |
| D2 | Sun Shade - Metal Tapered Awning |
| D3 | Panel Facade - Perforated |
| D4 | Panel Facade - Corrugated / Perforated |

1 COURTYARD ELEVATION 3-3
N.T.S.



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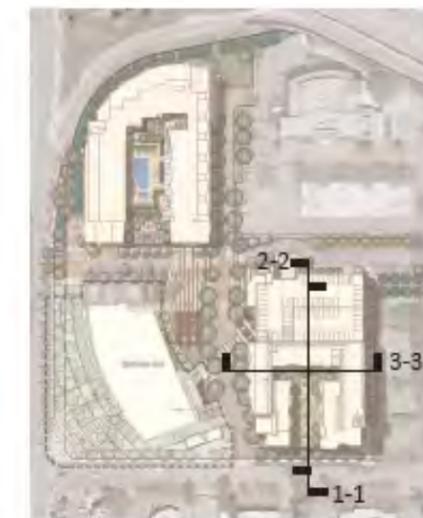
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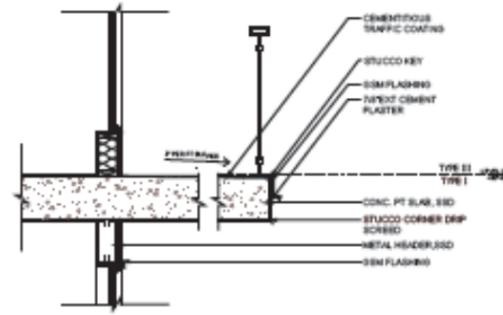
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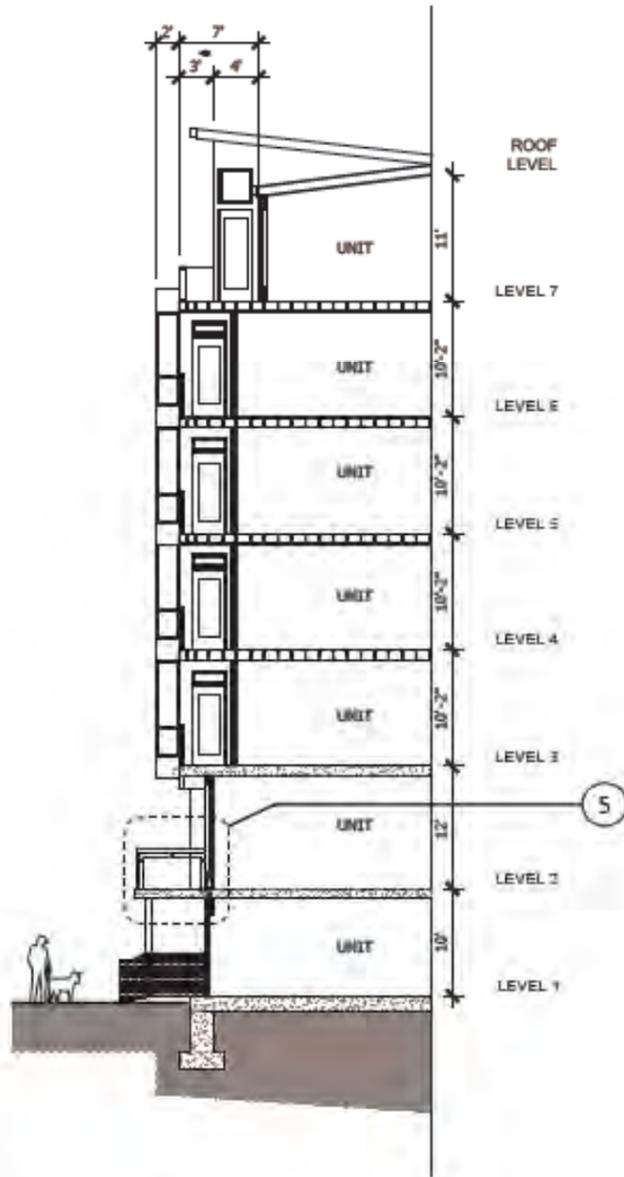




CONCRETE SLAB BALCONY DETAIL

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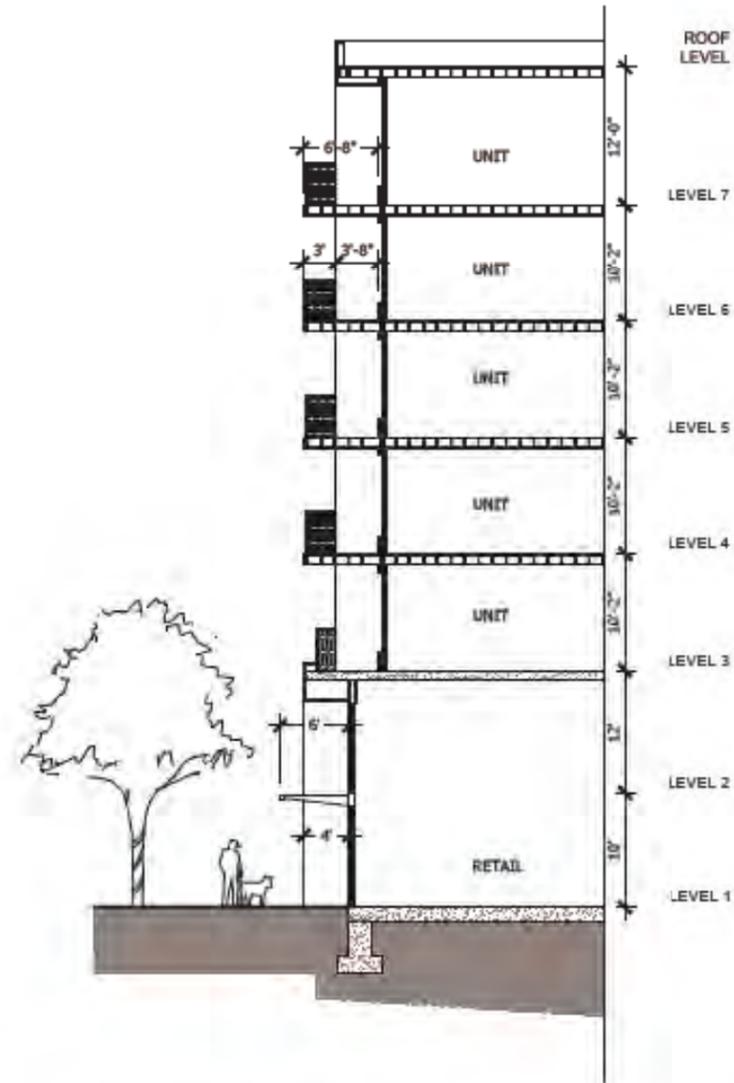
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TYPICAL WALL SECTION

4

SCALE: 1/8" = 1'-0"



TYPICAL WALL SECTION

3

SCALE: 1/8" = 1'-0"



BLOCK "A" APARTMENT - GROUND LEVEL

2

N.T.S.



BLOCK "A" APARTMENT

1

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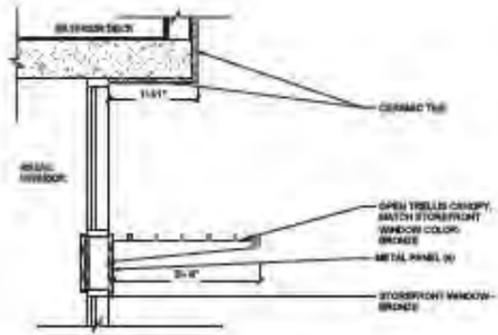
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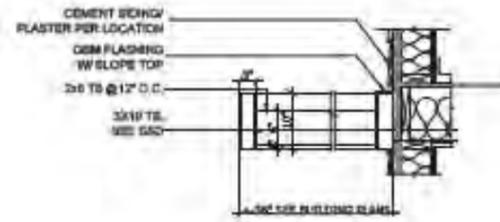
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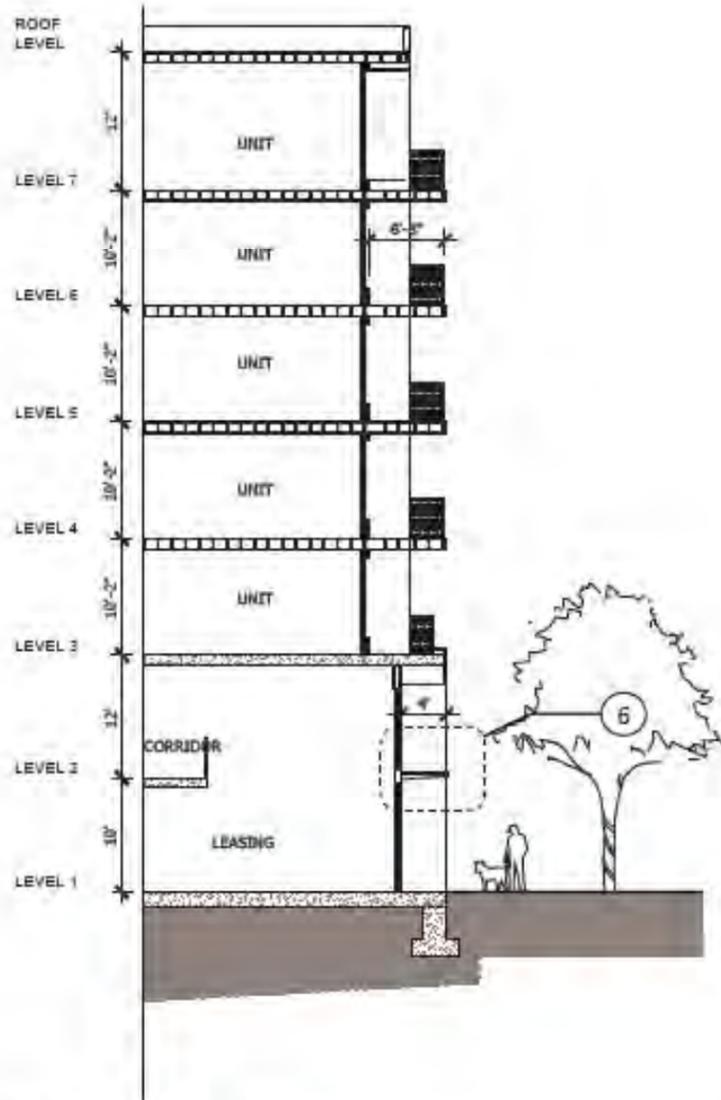
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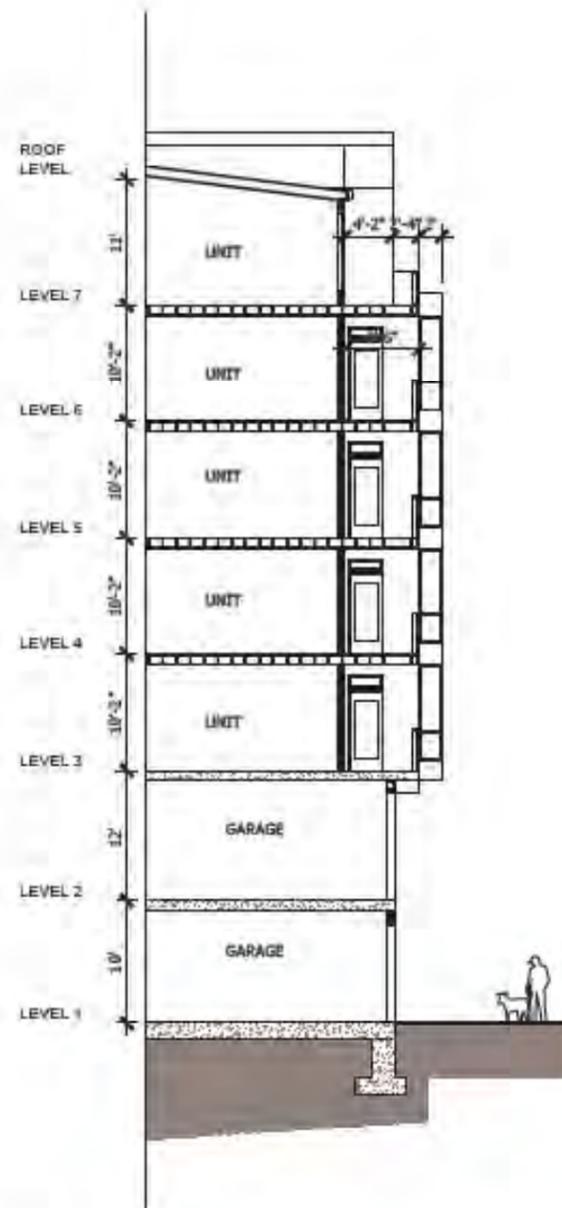
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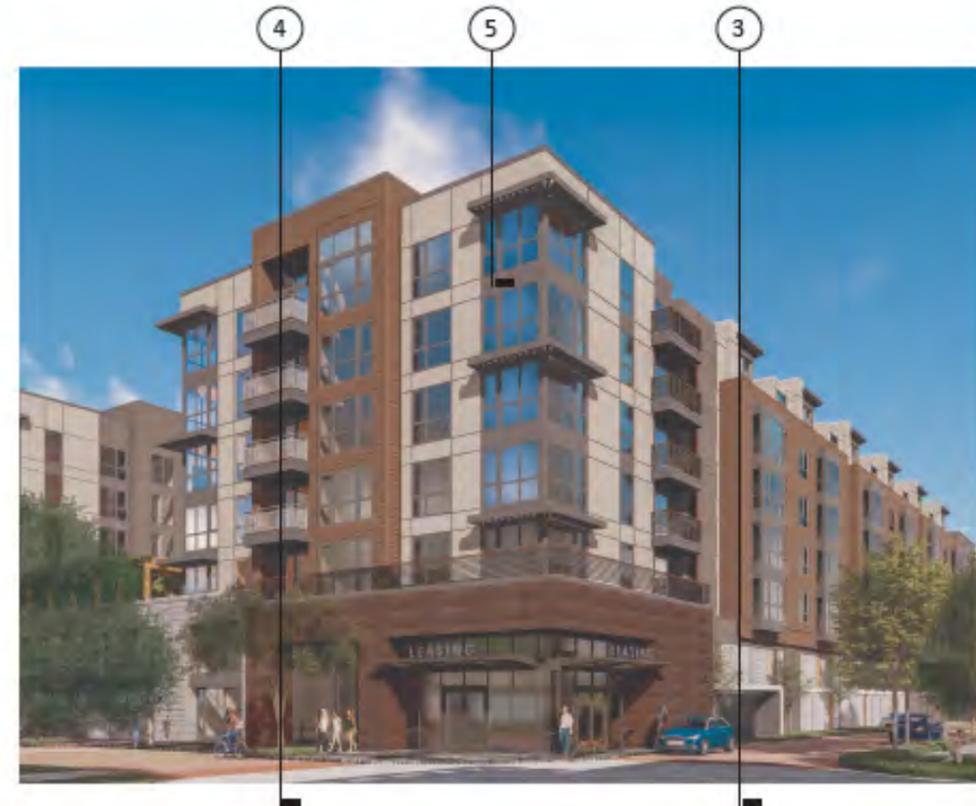
2 LEASING OFFICE
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4 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



3 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



1 BLOCK "A" APARTMENT
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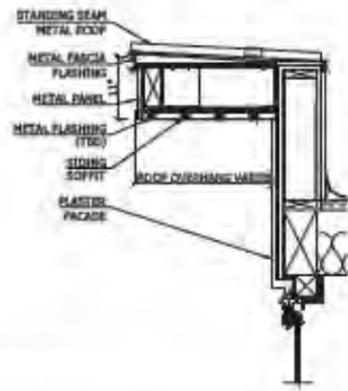
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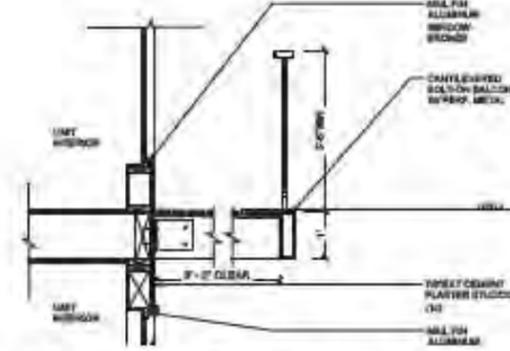
1 BLOCK "A" APARTMENT

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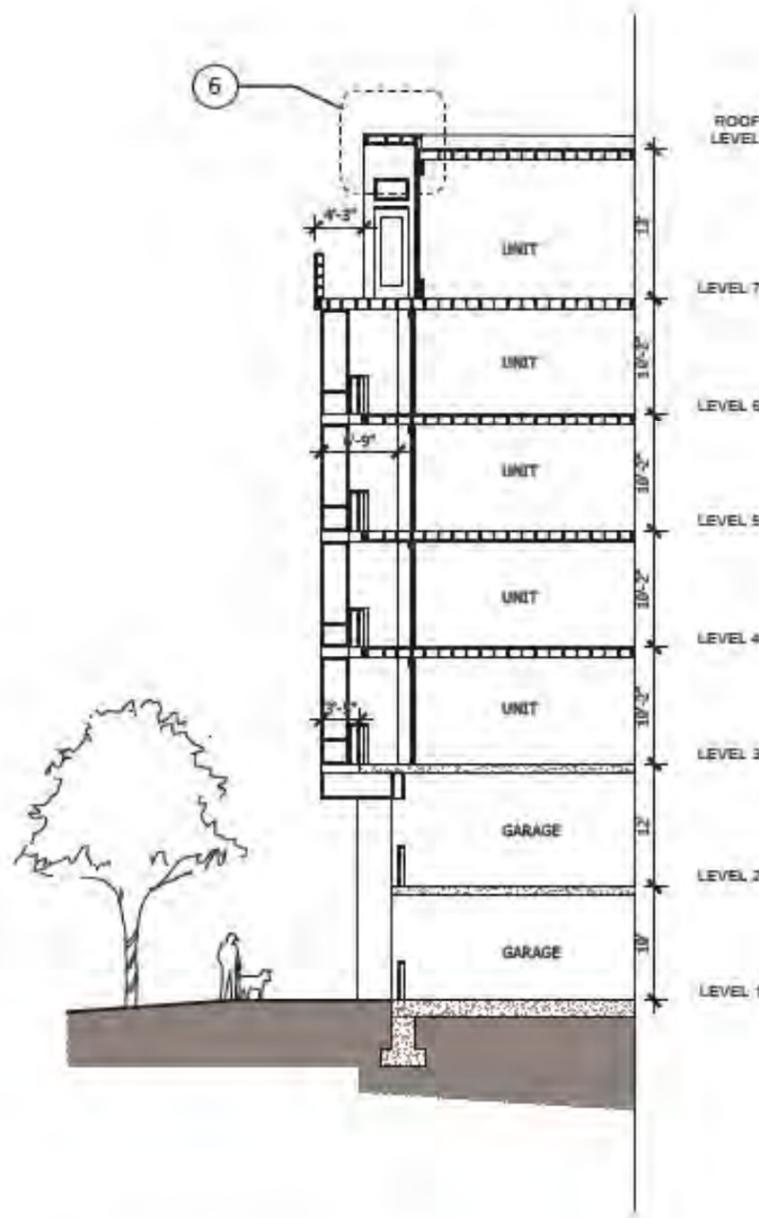
6 EAVES DETAILS

SCALE: 3/4" = 1'-0"



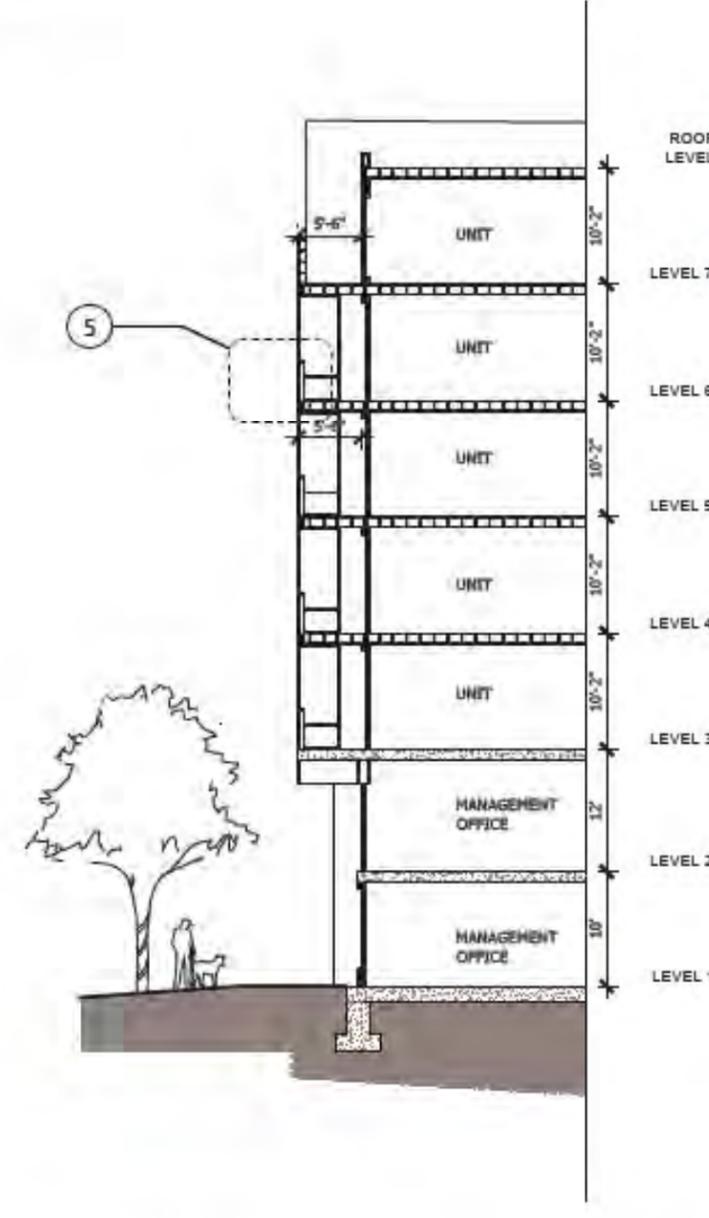
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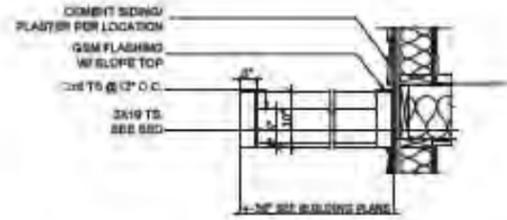
4 TYPICAL WALL SECTION

SCALE: 1/8" = 1'-0"

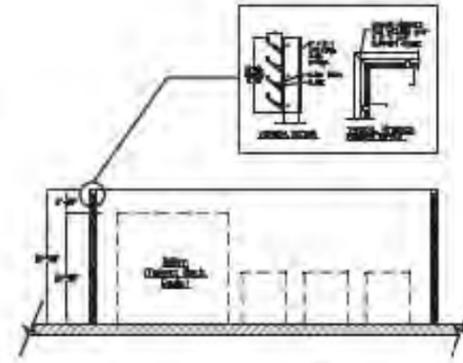


3 TYPICAL WALL SECTION

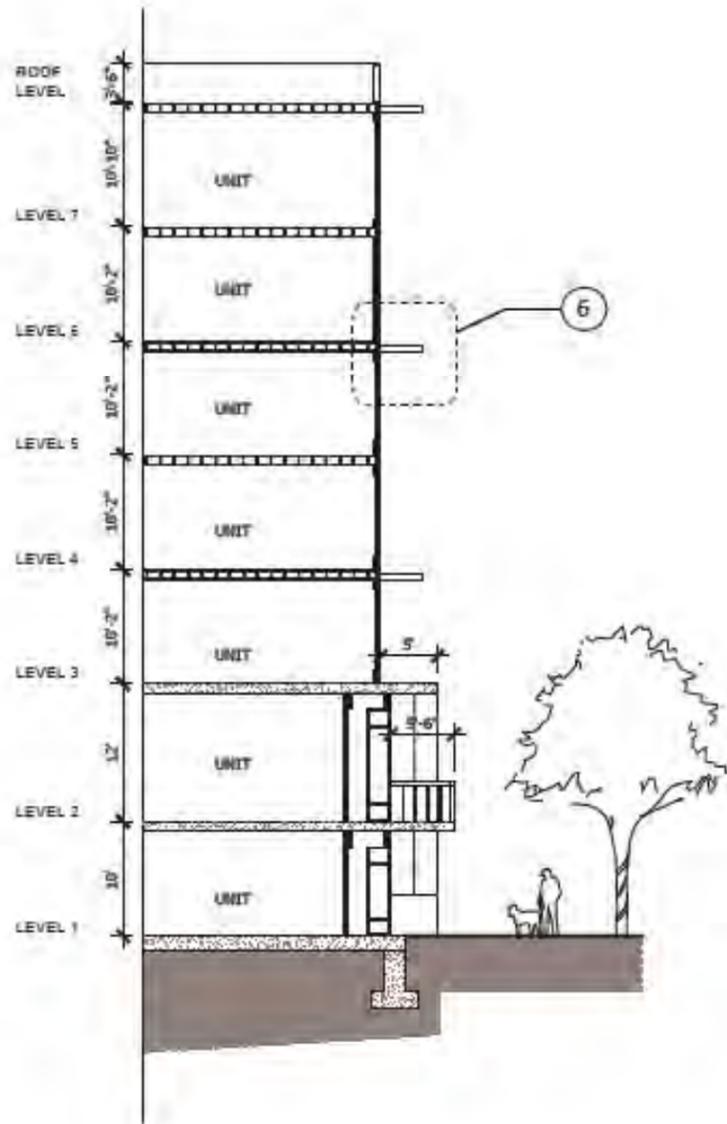
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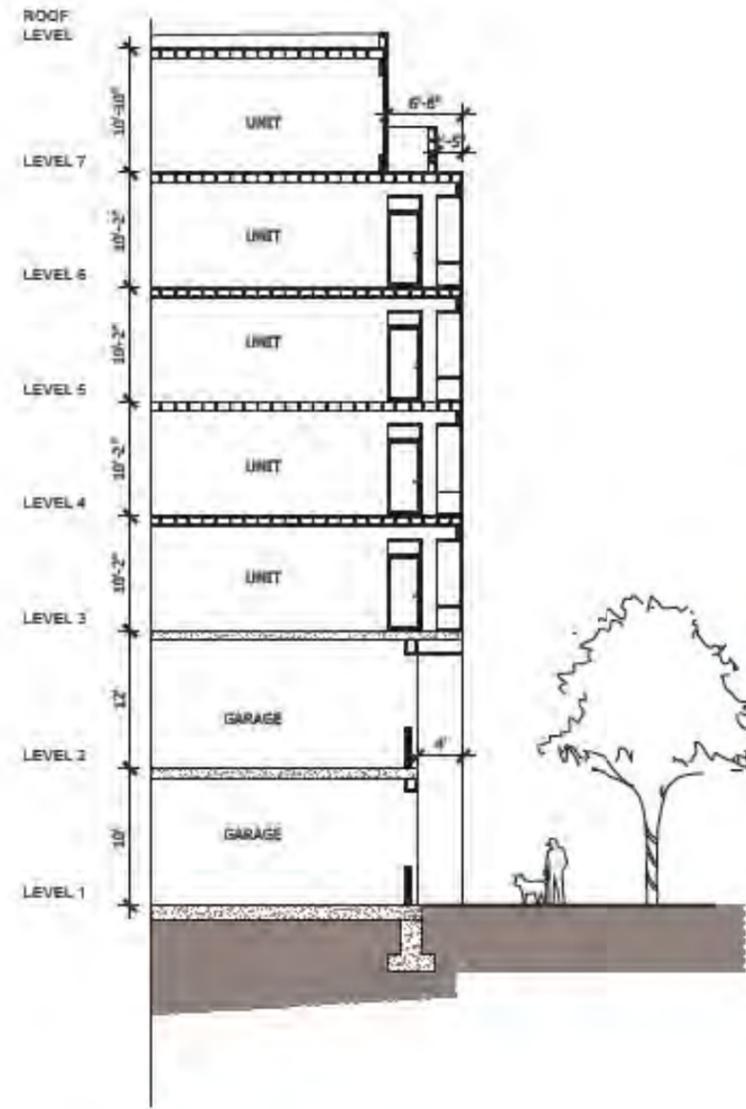
6 TYPICAL WINDOW AWNING DETAILS
SCALE: 3/4" = 1'-0"



5 TYPICAL MECHANICAL SCREEN DETAIL
* ALL MECHANICAL EQUIPMENT WILL BE SCREENED BY A PARAPET OF EQUAL OR GREATER HEIGHT THAN THE PROPOSED MECHANICAL EQUIPMENT AND NO VENTS OR OTHER SIMILAR APERTURES WILL BE VISIBLE FROM THE PUBLIC STREET



4 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



3 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



2 BLOCK "B" CONDOMINIUM - GROUND LEVEL
N.T.S.



1 BLOCK "B" CONDOMINIUM
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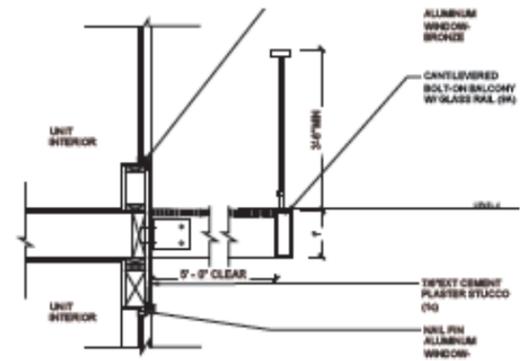
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GLASS PANEL BALCONY DETAIL

5

SCALE: 1/2" = 1'-0"



BLOCK "B" CONDO - COURTYARD VIEW

2

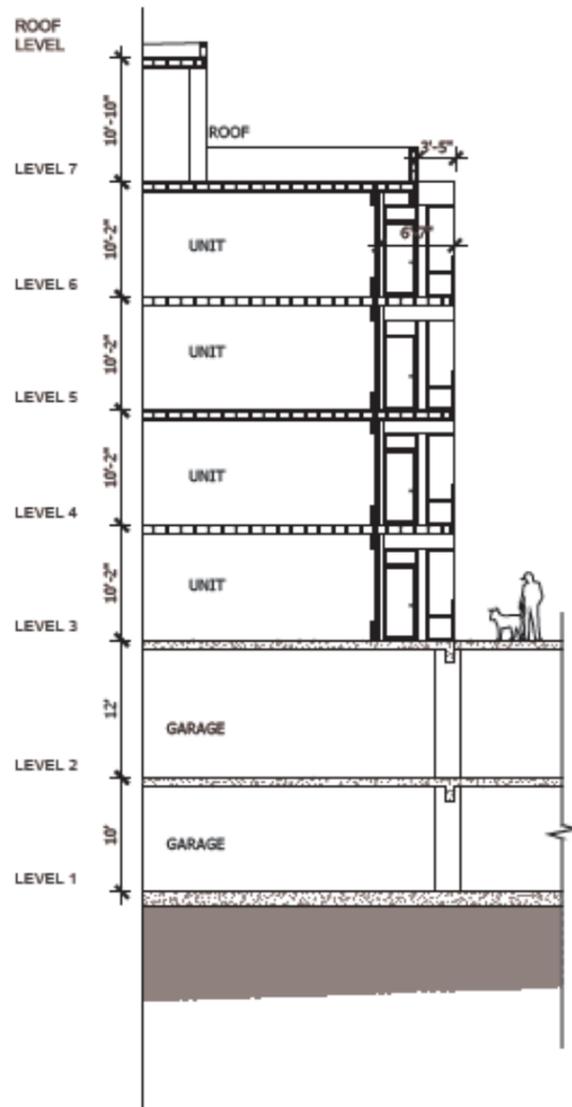
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BLOCK "B" CONDO - COURTYARD VIEW

1

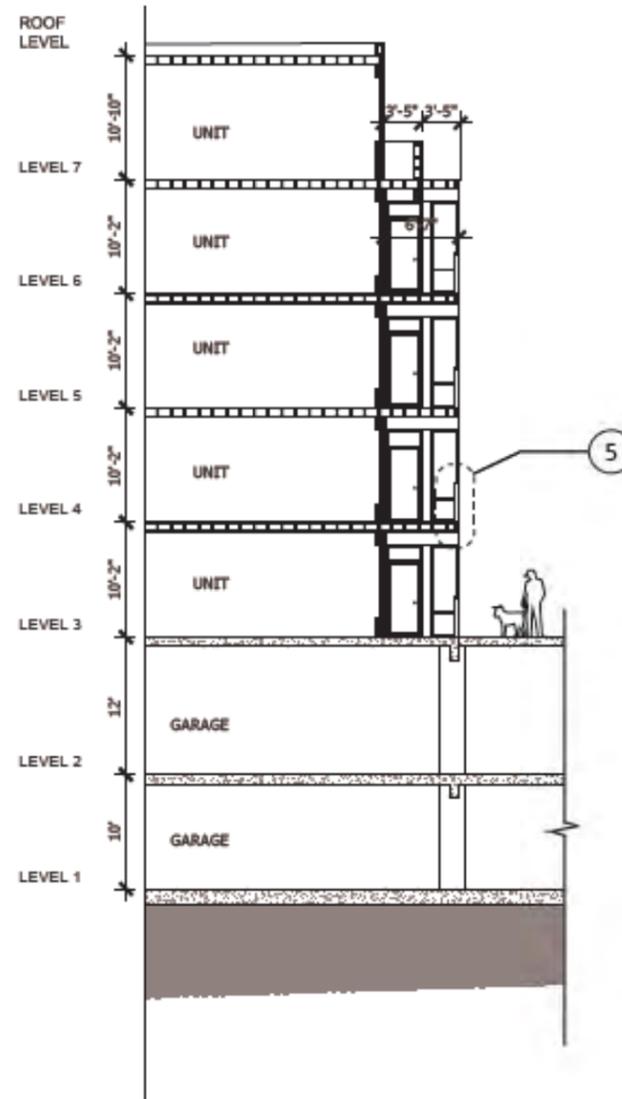
N.T.S.



TYPICAL WALL SECTION

4

SCALE: 1/8" = 1'-0"



TYPICAL WALL SECTION

3

SCALE: 1/8" = 1'-0"



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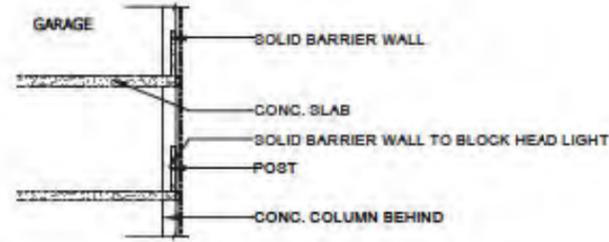
Mountain View, California

Sheet Title:
SCHEMATIC
DETAILS
- BLOCK B

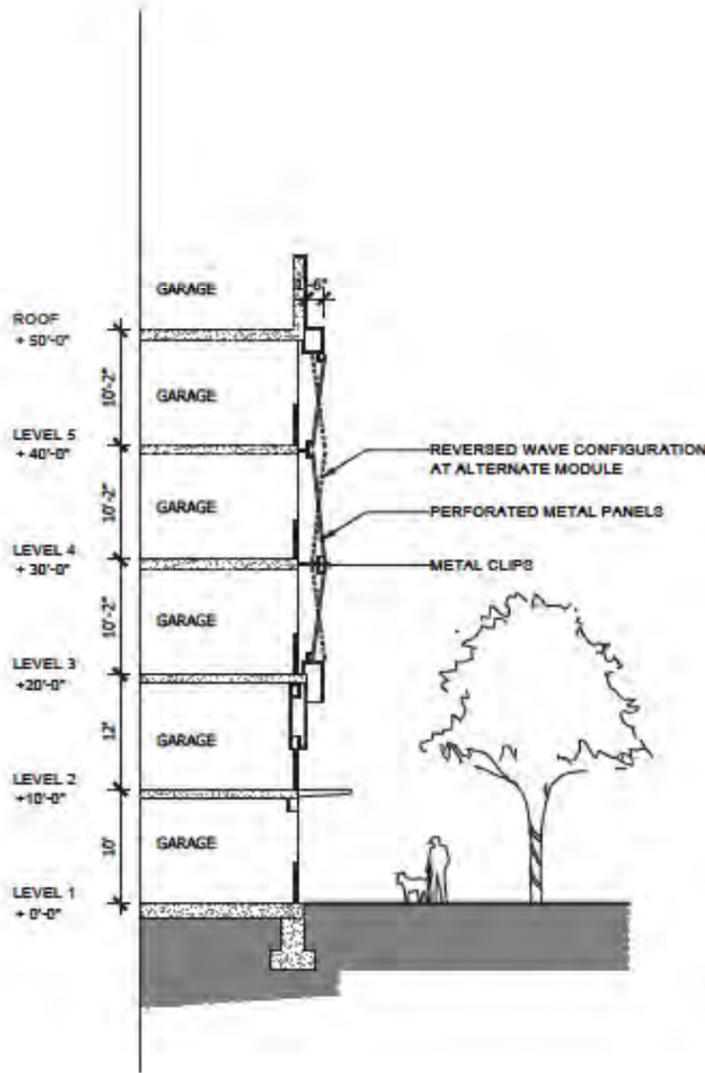
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Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

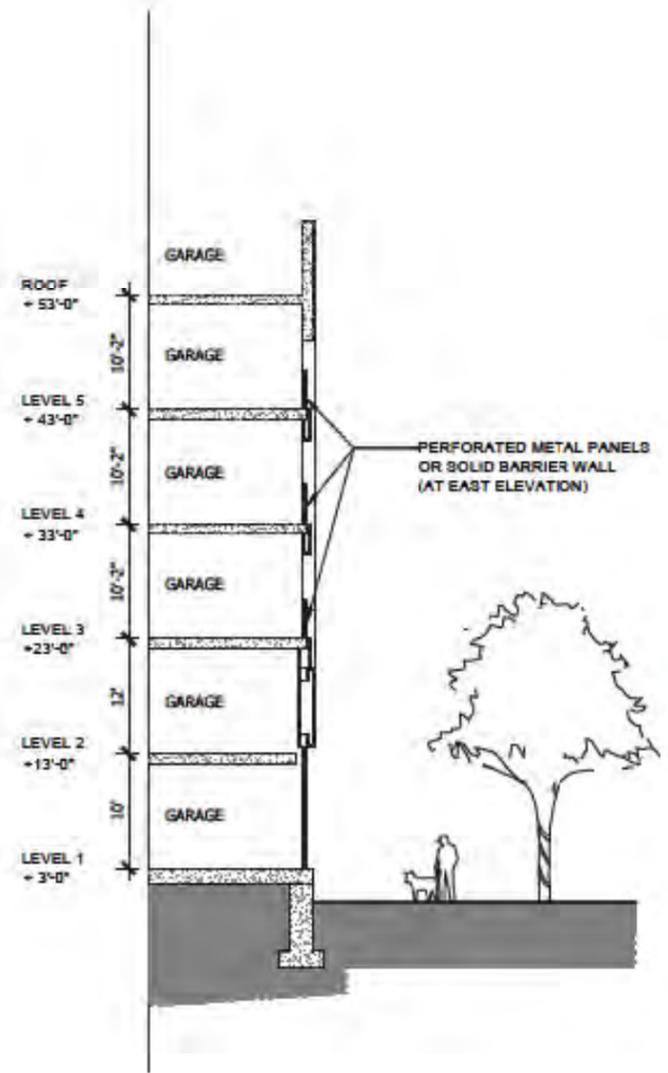
A435



5 GARAGE FACADE SECTION AT EAST ELEVATION
SCALE: 1/8" = 1'-0"



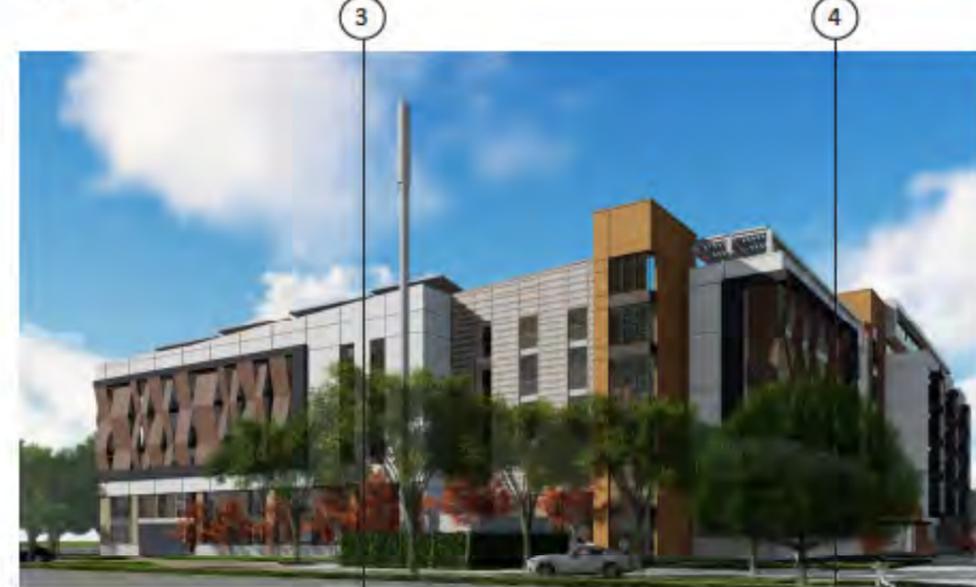
4 WALL SECTION WITH PERFORATED PANELS
SCALE: 1/8" = 1'-0"



3 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



2 GARAGE
N.T.S.



1 GARAGE
N.T.S.



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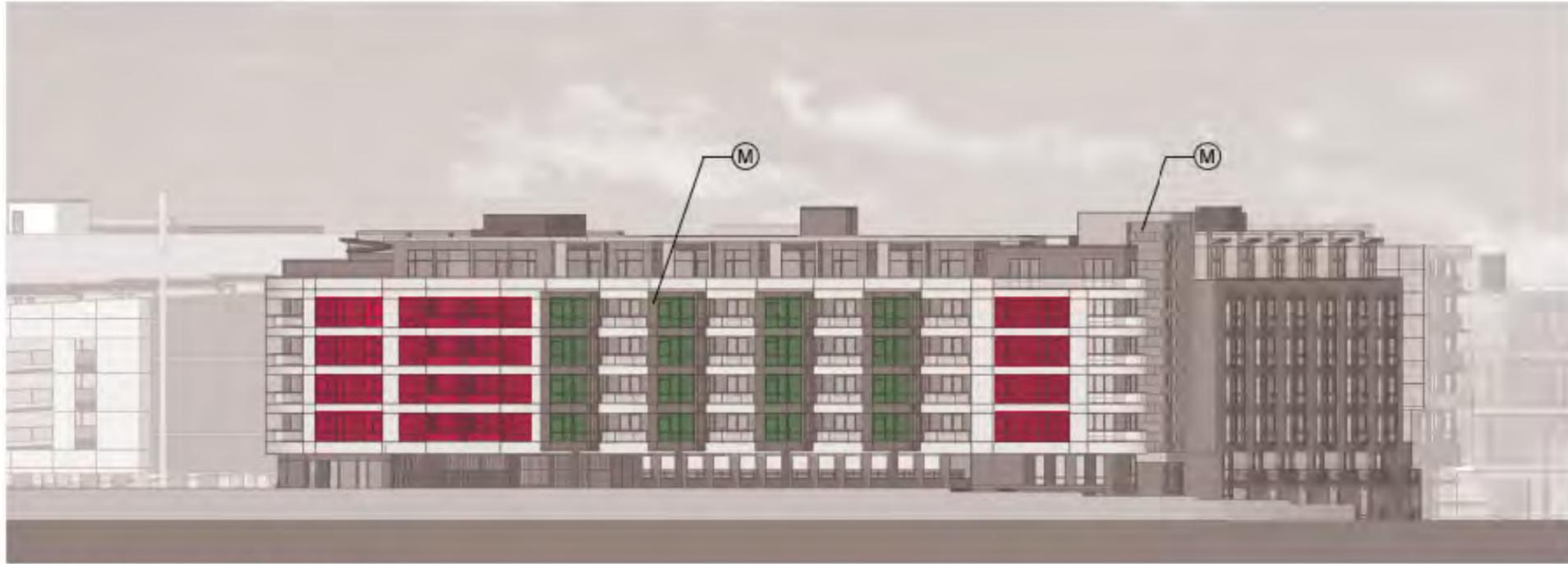
Mountain View, California

Sheet Title:
SCHEMATIC
DETAILS
- GARAGE

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Sheet No:

A436



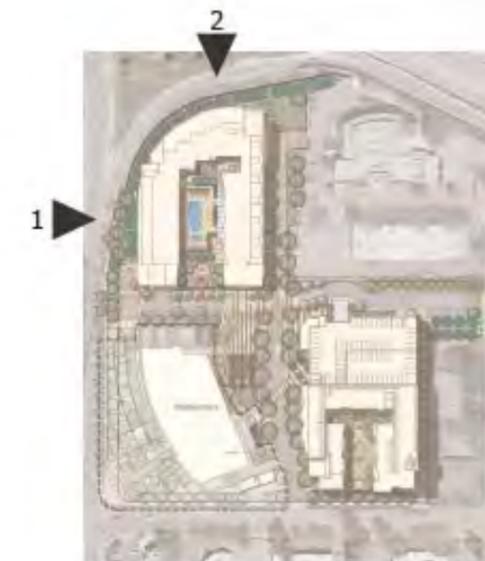
2 BLOCK A APARTMENT - NORTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK A APARTMENT - WEST ELEVATION
1" = 20' - 0"



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A437



2 BLOCK A APARTMENT - SOUTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK A APARTMENT - EAST ELEVATION
1" = 20' - 0"



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2 BLOCK B CONDOMINIUM - NORTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK B CONDOMINIUM - WEST ELEVATION
1" = 20' - 0"



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A439



2 BLOCK B CONDOMINIUM - SOUTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK B CONDOMINIUM - EAST ELEVATION
1" = 20' - 0"



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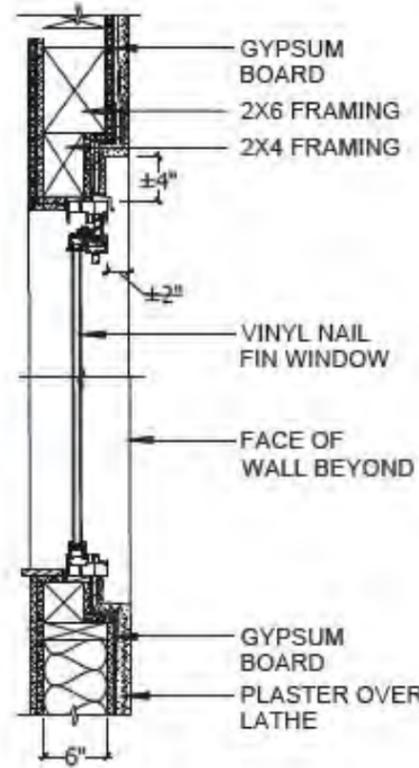
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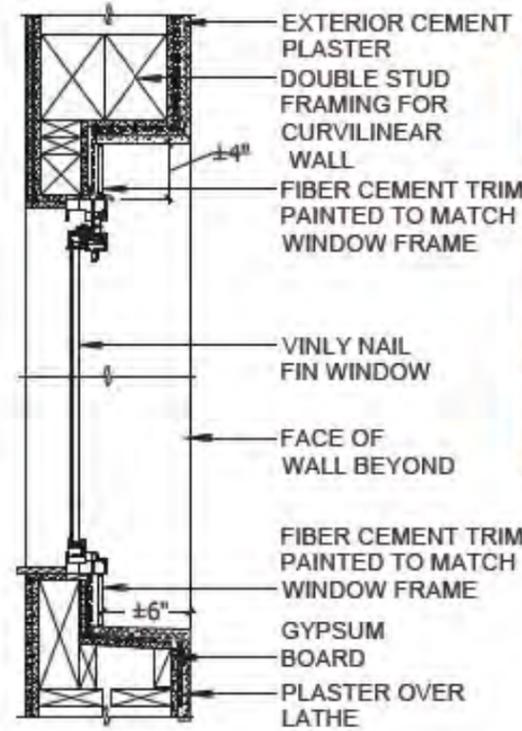
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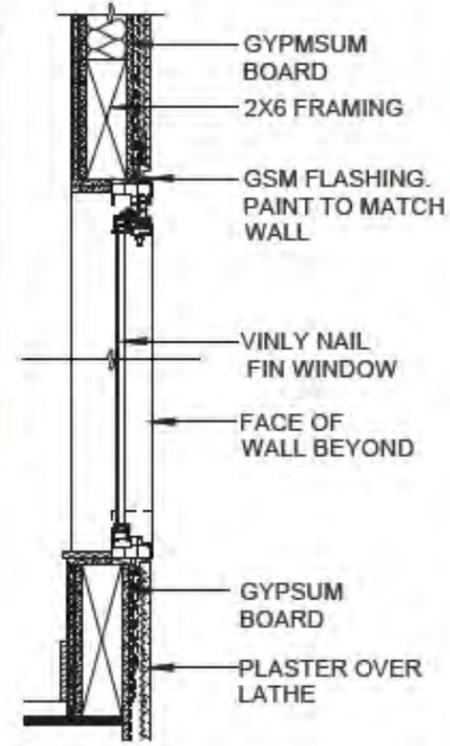
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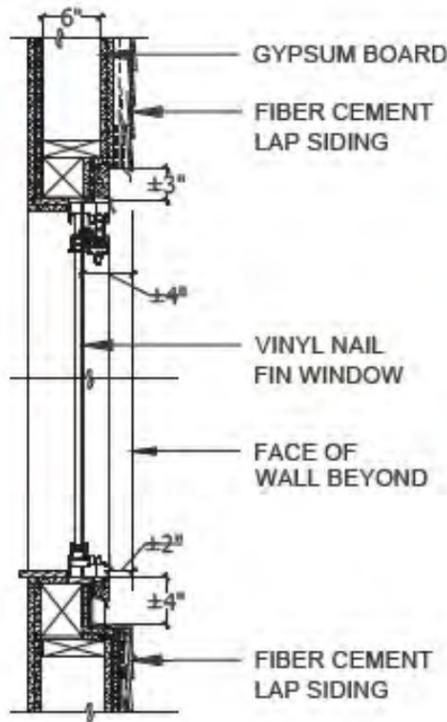
6 2" RECESS WINDOW DETAIL AT STUCCO WALLS
SCALE: 1 1/2" = 1'-0"



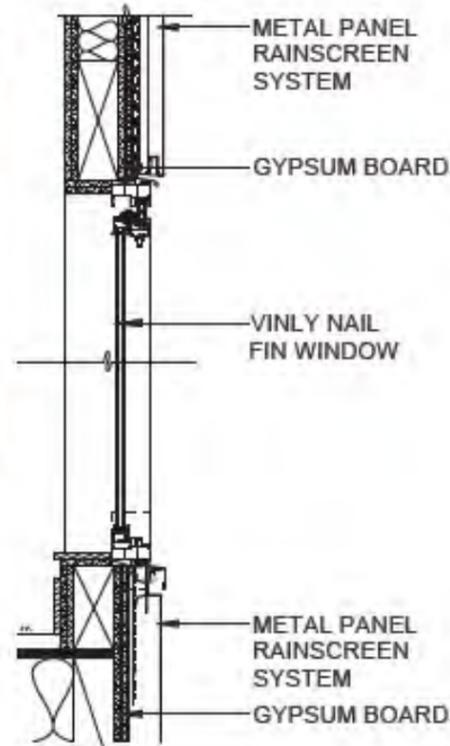
4 6" RECESS WINDOW DETAIL AT STUCCO WALLS
SCALE: 1 1/2" = 1'-0"



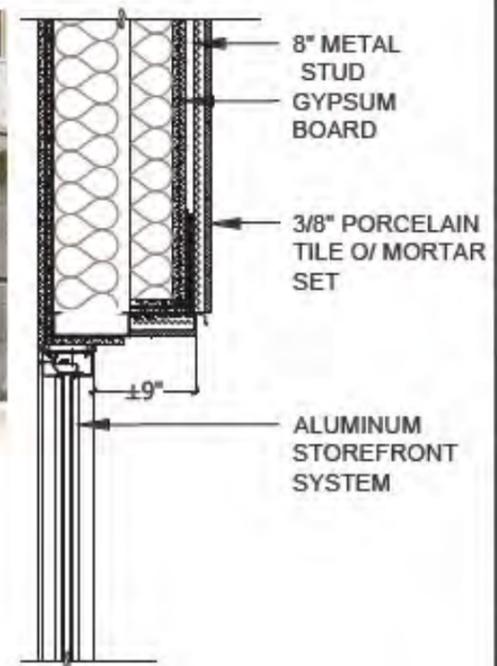
2 WINDOW DETAIL ON FLUSH STUCCO WALLS
SCALE: 1 1/2" = 1'-0"



5 WINDOW DETAIL AT FIBER CEMENT SIDING
SCALE: 1 1/2" = 1'-0"



3 WINDOW DETAIL AT METAL PANEL WALLS
SCALE: 1 1/2" = 1'-0"



1 WINDOW DETAIL ON PORCELAIN TILE PANEL
SCALE: 1 1/2" = 1'-0"



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DETAILS

Job No. 16021
Date: 03/09/2020
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Sheet No:
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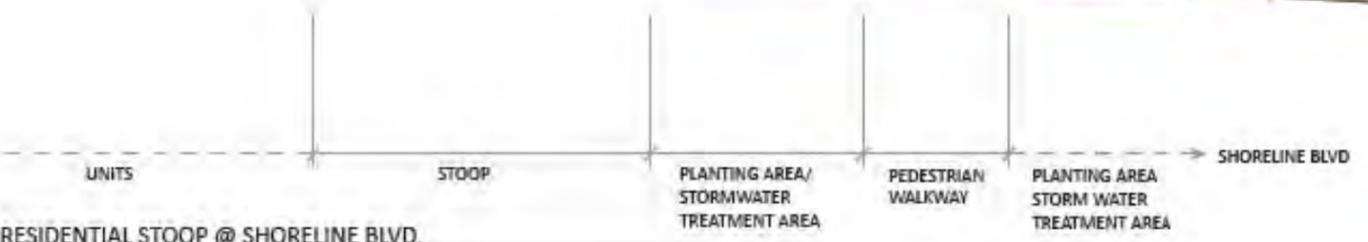
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- FIBER CEMENT SIDING
- METAL RAILING W/ WOOD HANDRAIL
- WOOD COLOR FASCIA SIDING
- CEILING MOUNTED DOWN LIGHT
- VINYL WINDOW
- COMPOSITE WOOD LOUVER FENCE/SCREEN
- UNIT NUMBER
- EXTERIOR PLASTER
- EXTERIOR PLASTER



3 GROUND LEVEL RESIDENTIAL STOOP @ SHORELINE BLVD.
N.T.S.



1. ARCHITECTURAL WALL SCONCE @ RESIDENTIAL ENTRANCES
BEGA 33 - GRAPHITE - 3000K OR SIMILAR

Protection class: IP 65
Cast aluminium and stainless steel
Crystal glass, inside white
33 334 DALI controllable

| Lamp | Beam | A | B | C | AC/DC | |
|--------------|-------|-------------------------|-----|-----|-------|---|
| 33 334K3 LED | 4.9W | 255lm on/off | 250 | 115 | 135 | |
| 33 334K3 LED | 14.2W | 895lm DALI controllable | 350 | 140 | 185 | ✓ |

2. SURFACE MOUNTED DOWNLIGHT @ PATIO SOFFIT
BEGA 66 - GRAPHITE - 3000K OR SIMILAR

Surface mounted ceiling luminaires with die-cast aluminum housing. Clear tempered glass and anodized aluminum reflector.
LED color temperature available in 2700K, 3000K, 3500K, or 4000K. See individual specification sheet to specify.
NRTL listed to North American Standards.
Protection class: IP65
Finish: Standard BEGA colors.

| Lamp | β | A | B | C |
|--------|-----------------|-----|--------|--------|
| 66 973 | 4.9W LED 24V DC | 89° | 3 3/4" | 3 1/2" |
| 66 975 | 3.0W LED | 89° | 3 3/4" | 3 1/2" |
| 66 977 | 4.9W LED | 90° | 5" | 4 3/8" |

2 BUILDING LIGHTING CONCEPT & FIXTURE SCHEDULE
N.T.S.



1 STOOP ELEVATION PERSPECTIVE @ SHORELINE BLVD.
N.T.S.

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EXTERIOR DETAILS

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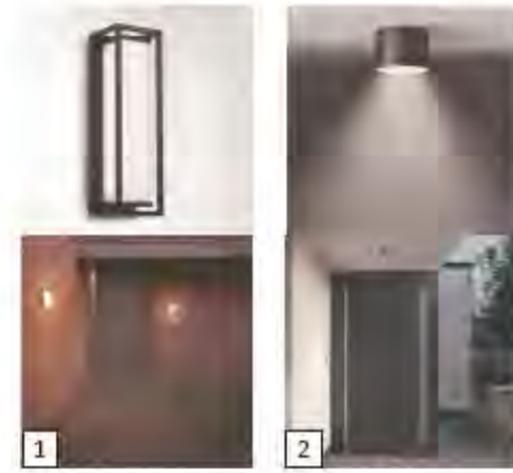
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3 GROUND LEVEL RESIDENTIAL STOOP @ TERRA BELLA AVE.
N.T.S.



1. ARCHITECTURAL WALL SCONCE @ RESIDENTIAL ENTRANCES
DELTA LIGHT MONTUR L PC LED - BLACK - 3000K OR SIMILAR

| | |
|-----------------------------|---|
| Location | INTERIOR-EXTERIOR |
| Fixation | Wall Surface-mounted |
| Information | INCL.PC SBL INCL LED CLUSTER 14.7W / CRI>80 / 3000K / 2300lm INCL LED POWER SUPPLY 700mA-DC |
| CRI | CR1 80 |
| Colour temp | Warm White (+3000K) |
| LED Technics (light source) | 1960 lm // 14 W // 133 lm/W |
| LED Technics (luminaire) | 950 lm // 17 W // 56 lm/W |
| Electrical | 220-240V / 0 50-60Hz |
| Class | Class I |
| Nett weight | 2.6 Kg |

2. SURFACE MOUNTED DOWNLIGHT @ PATIO SOFFIT
BEGA 66 - GRAPHITE - 3000K OR SIMILAR

Surface mounted ceiling luminaires with die-cast aluminum housing. Clear tempered glass and anodized aluminum reflector. LED color temperature available in 2700K, 3000K, 3500K, or 4000K. See individual specification sheet to specify. NRTL listed to North American Standards. Protection class: IP65. Finish: Standard BEGA colors.

| Lamp | β | A | B | C |
|------------------------|-----|--------|--------|---|
| 66 973 4.9W LED 24V DC | 89° | 3 3/4" | 3 1/2" | |
| 66 975 3.0W LED | 89° | 3 3/4" | 3 1/2" | |
| 66 977 4.9W LED | 90° | 5" | 4 3/8" | |



1 GROUND LEVEL RESIDENTIAL STOOP @ TERRA BELLA AVE.
N.T.S.

2 BUILDING LIGHTING CONCEPT & FIXTURE SCHEDULE
N.T.S.

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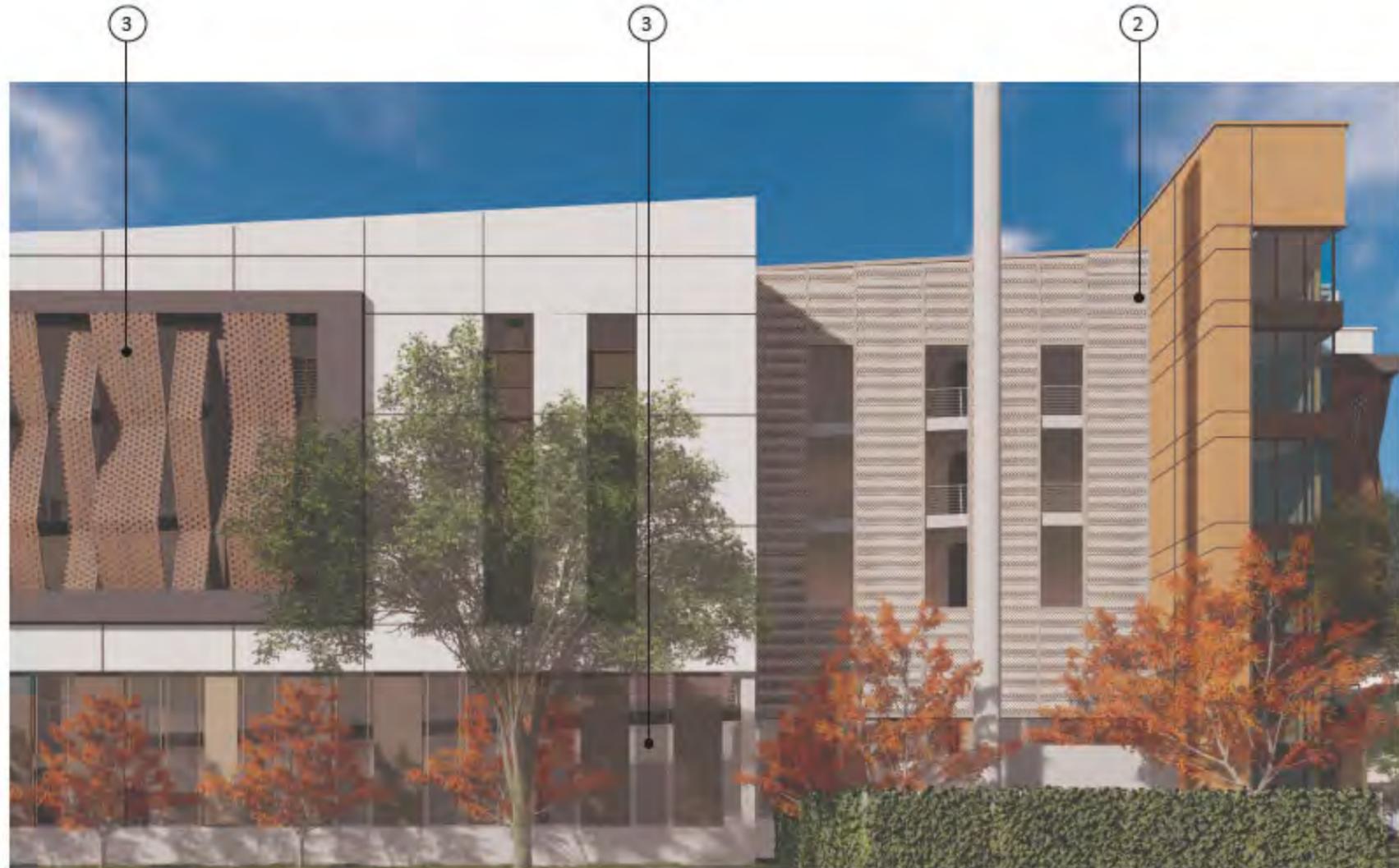
Sheet No:
A443



3 PAINTED PERFORATED METAL
N.T.S.



2 CORRUGATED PERFORATED METAL PANEL
N.T.S.



1 BLOCK "B" OFFICE GARAGE - NORTH ELEVATION
N.T.S.



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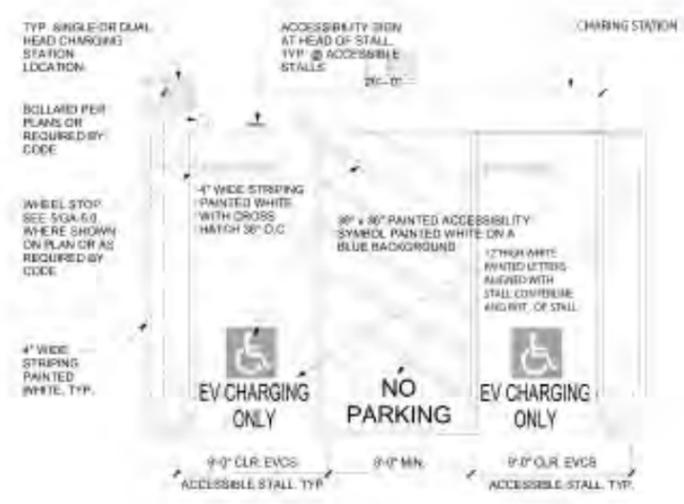
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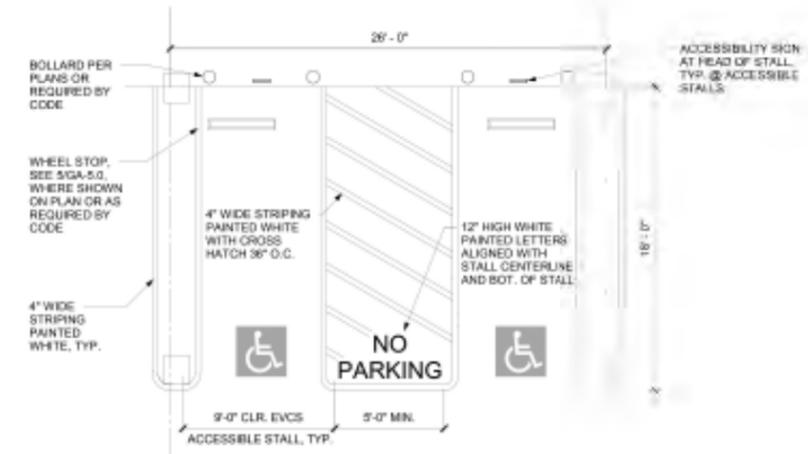
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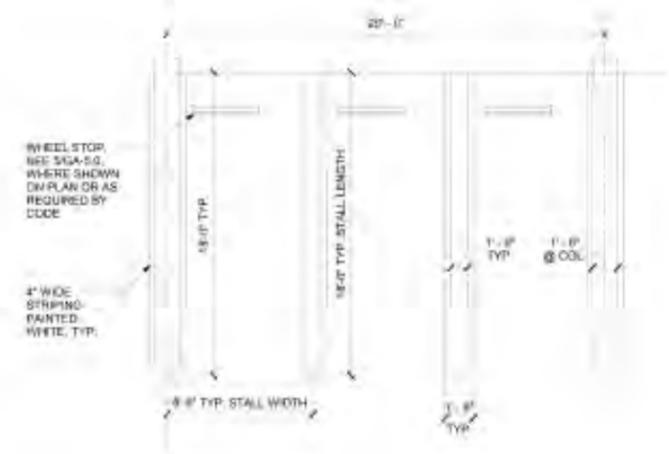
4 STANDARD VAN ACCESSIBLE SPACE
1/4" = 1'-0"



2 VAN ACCESSIBLE EVCS TYPICAL
1/4" = 1'-0"



3 STANDARD ACCESSIBLE DUAL SPACE
1/4" = 1'-0"



1 TYPICAL PARKING BAY
1/4" = 1'-0"



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PARKING DETAILS

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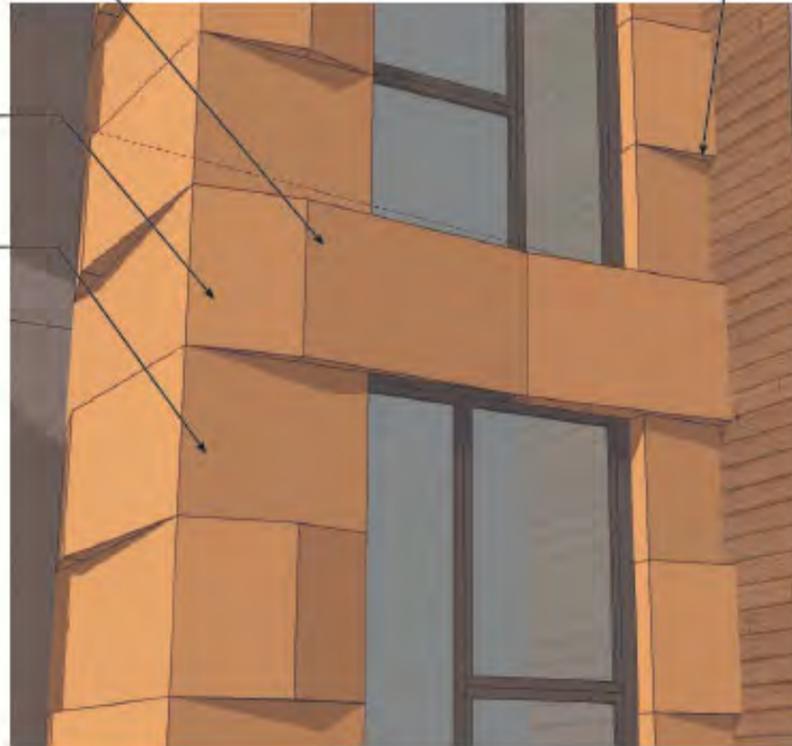
A4-3 Metal Panel - Copper Penny

2'-6" X 4'-10"
maximum length

2'-6" X 2'-1"

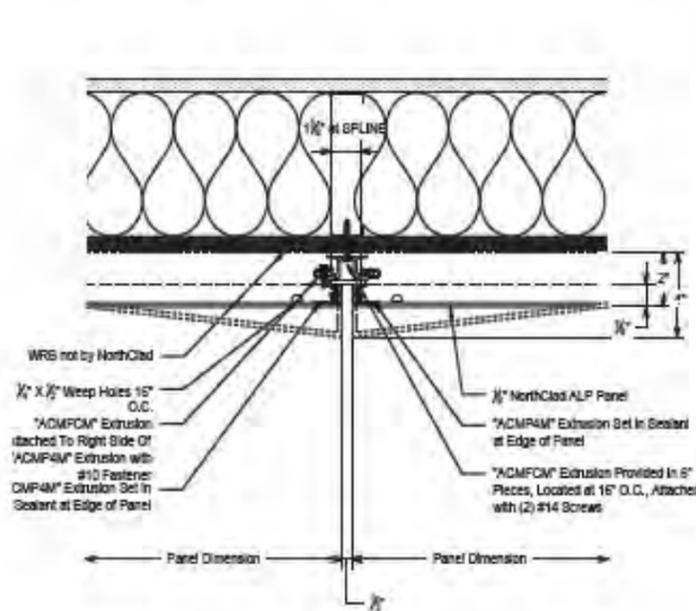
2'-6" X 3'-5"

4" angle depth
maximum

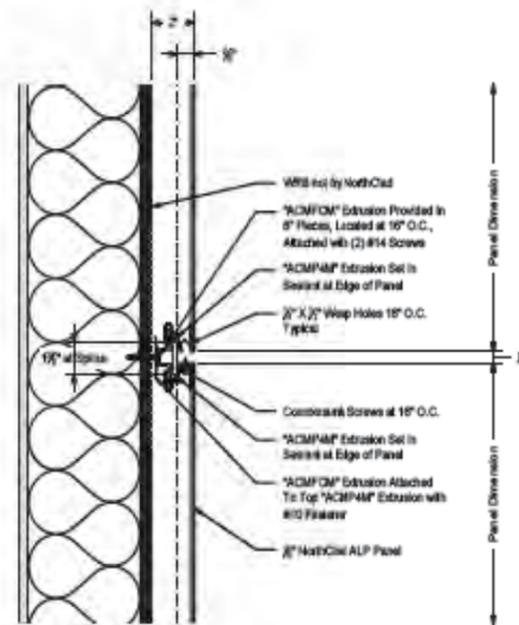


**NorthClad Panel System with angled orientation
(Solid Panels)**

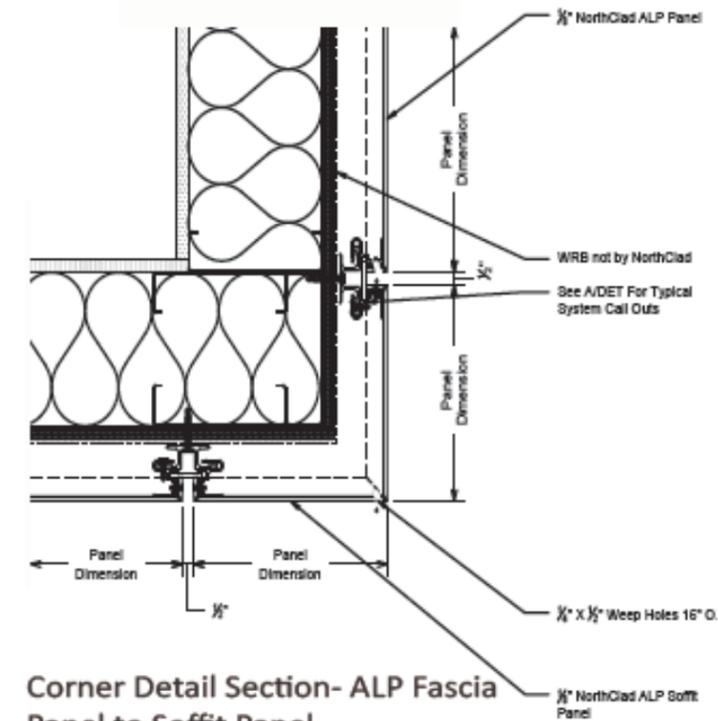
Manufacturer's actual installation picture



Plan - TYP. panel (with dry seal)



**Horizontal Section- TYP. ALP Panel
Joint (dry seal)**



**Corner Detail Section- ALP Fascia
Panel to Soffit Panel**



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Sheet Title:
**MATERIALS
DETAILS - METAL
PANEL**

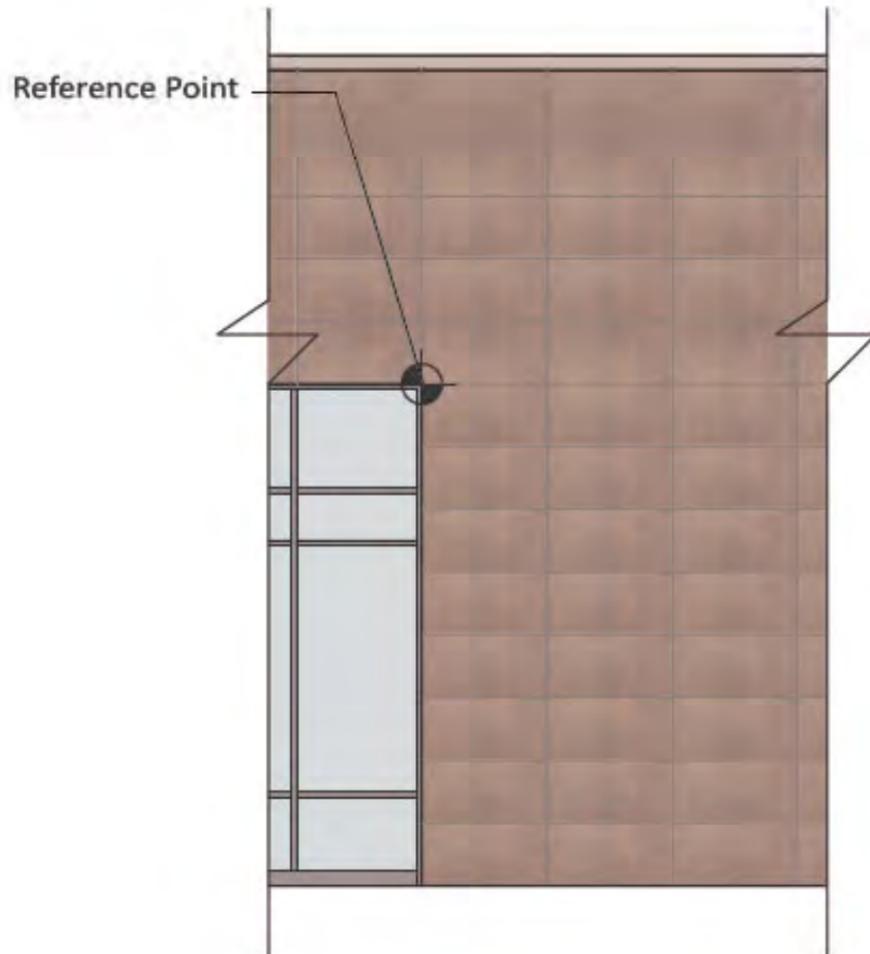
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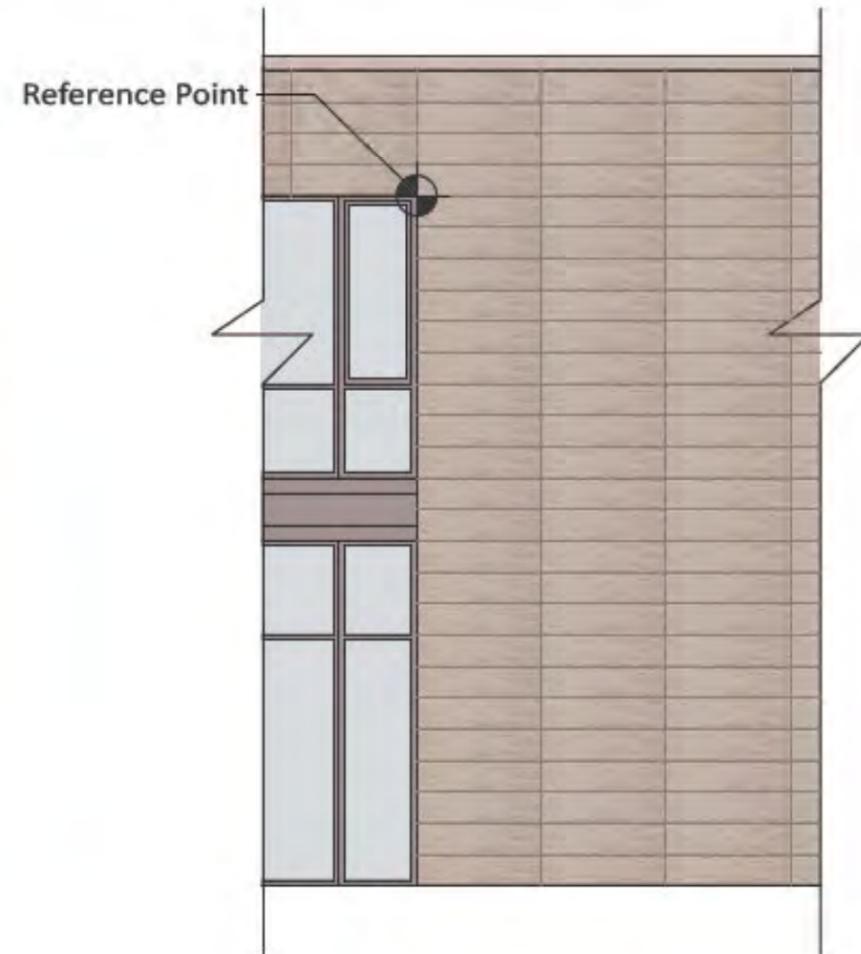
A3-1

Tiles - Brown
SpecCeramics or Neolith
Iron Corten - Satin Finish
Seam + Trim Condition
1200 mm x 600 mm x 6 mm
Stacked bond pattern
1/16" grout of matching color



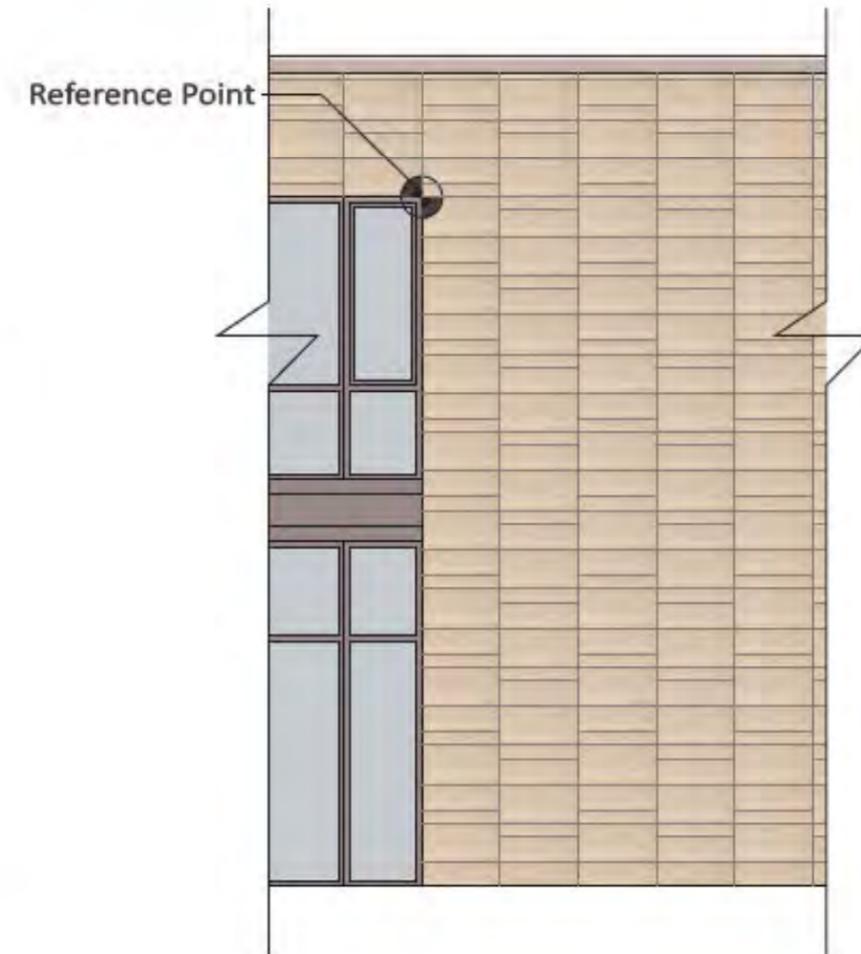
A3-2

Porcelain Tile - Grey
Verse
Cloud - Matte Finish
1200 mm x 300 mm x 9.5 mm
Stacked bond pattern
1/16" grout of matching color



A3-3

Porcelain Tiles - Beige
Verse
Sugar - Matte Finish
750 mm x 375 mm x 9.5 mm,
750 mm x 250 mm x 9.5 mm,
750 mm x 125 mm x 9.5 mm
Running bond pattern
1/16" grout of matching color



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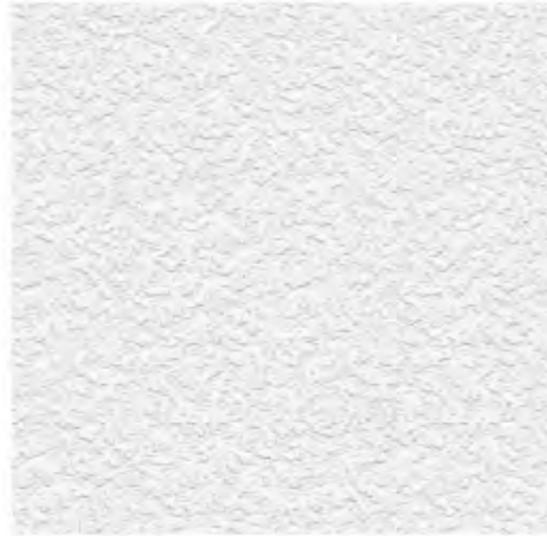
Mountain View, California

Sheet Title:
MATERIALS
DETAILS - TILE

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A447

Stucco - Fine Sand Finish (20/30)



A1 Stucco - Typical Condition

Standard acrylic-modified plaster with fine sand finish



Stucco - Smooth troweled acrylic



A1 Stucco - Corner Condition

Hard-troweled acrylic-modified plaster



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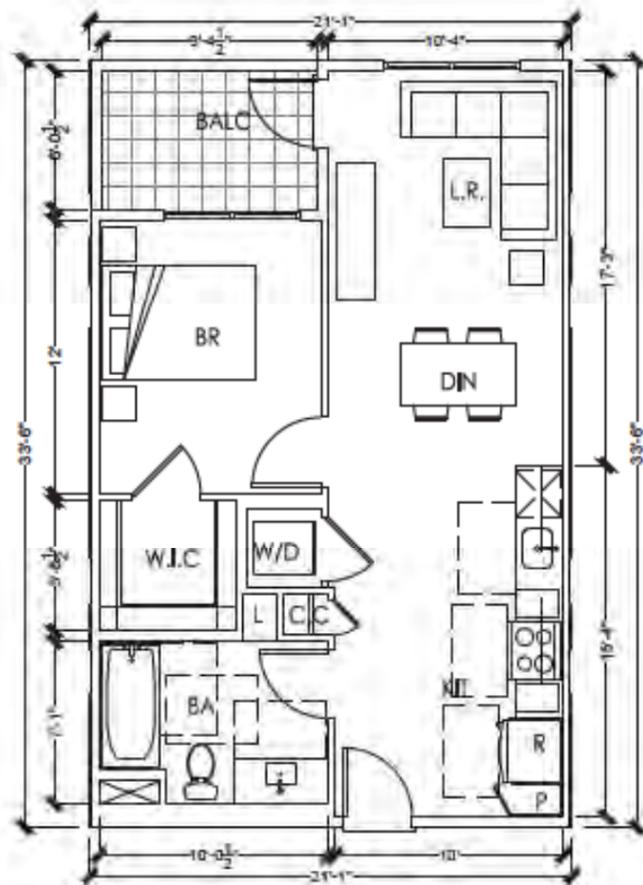
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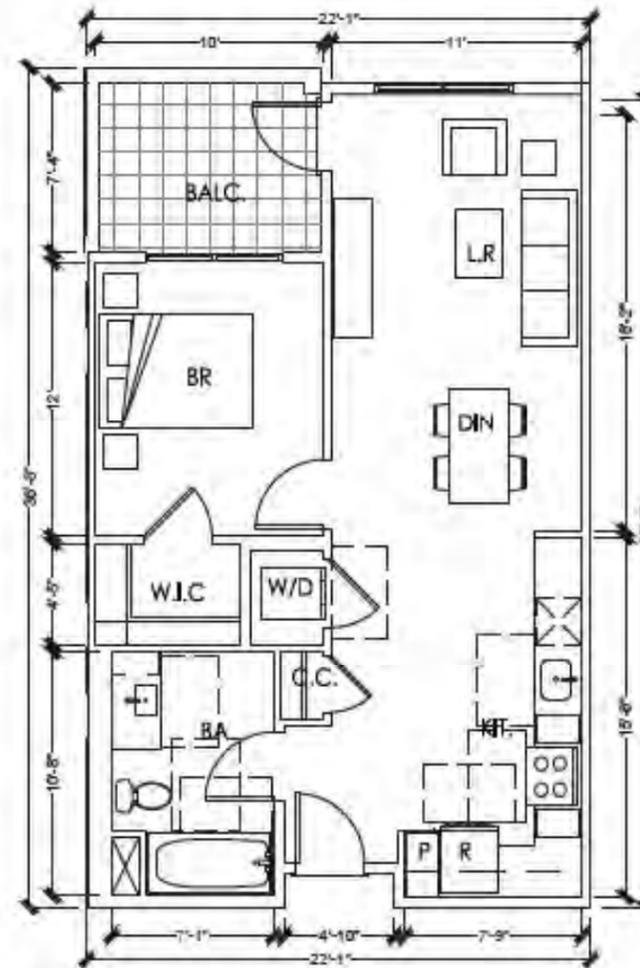
Sheet Title:
MATERIALS
DETAILS -
PLASTER

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A448



UNIT J1
 NRSF: 635 s.f. (gross)
 Balcony: 52 s.f.
 Storage: 164 c.f.
 Number: 15



UNIT J2
 NRSF: 704 s.f. (gross)
 Balcony: 65 s.f.
 Storage: 164 c.f. (Outside the unit on the corridor)
 Number: 10



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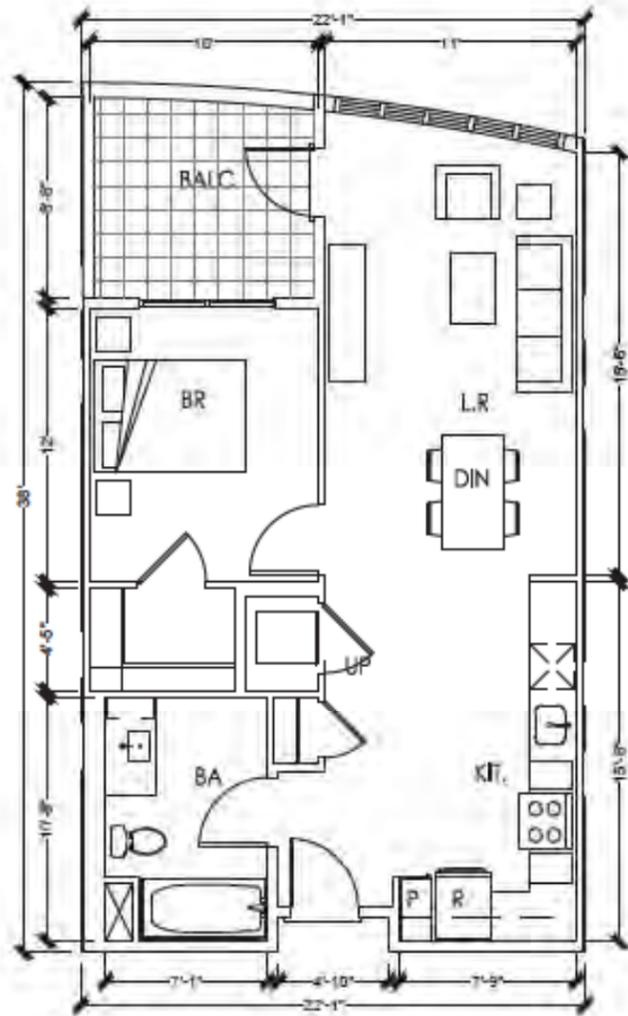
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 BLOCK A

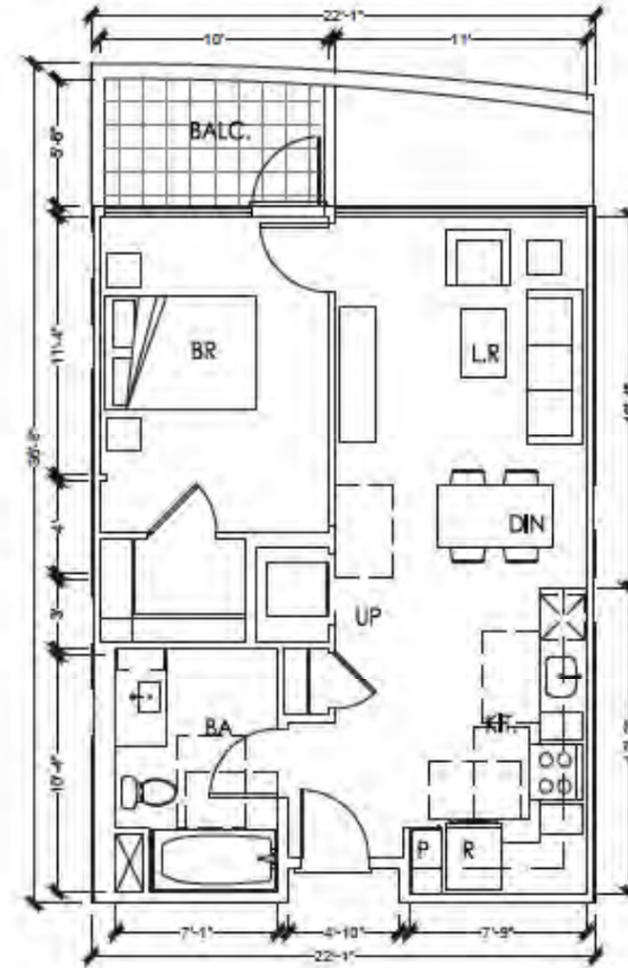
Job No. 16021
 Date: 03/09/2020
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Sheet No:

A510



UNIT J2.1
 NRSF: 699 s.f. (gross)
 Balcony: 65 s.f.
 Storage: 164 c.f. (Outside the unit on the corridor)
 Number: 8



UNIT J2.2
 NRSF: 658 s.f. (gross)
 Balcony: 52 s.f.
 Storage: 164 c.f. (Outside the unit on the corridor)
 Number: 2



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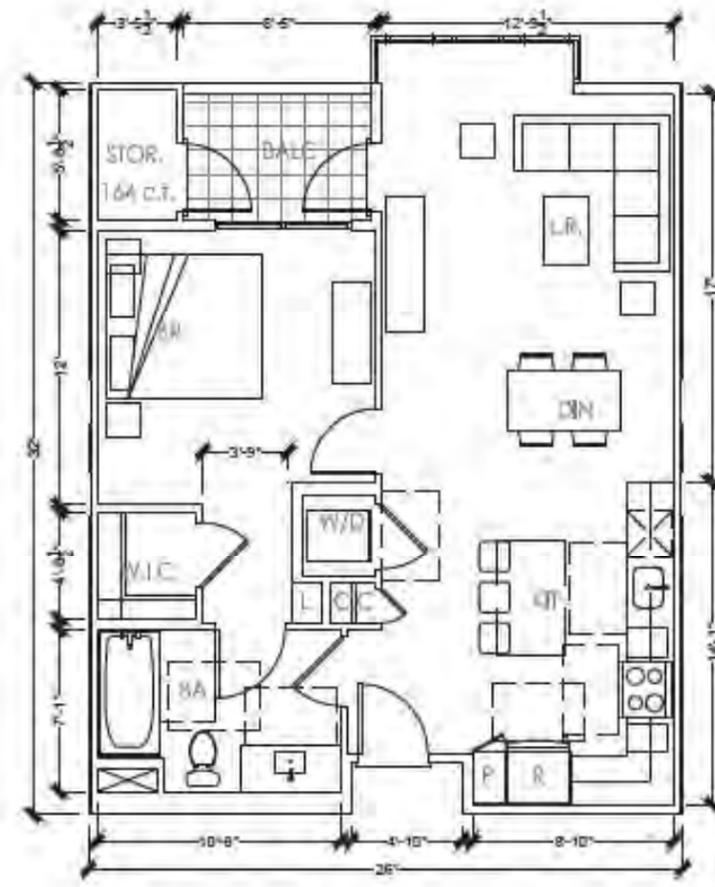
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Mountain View, California

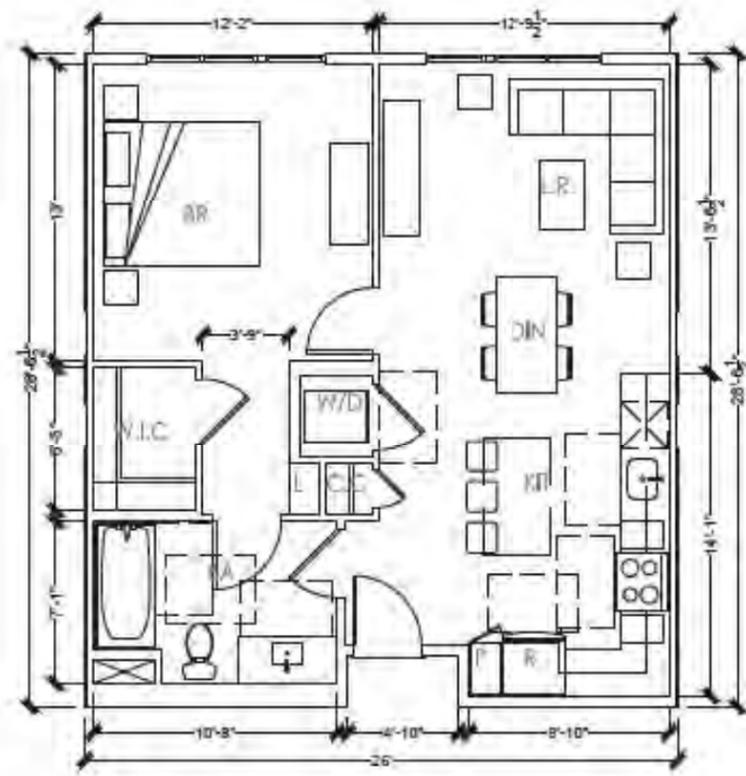
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Job No. 16021
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Scale:
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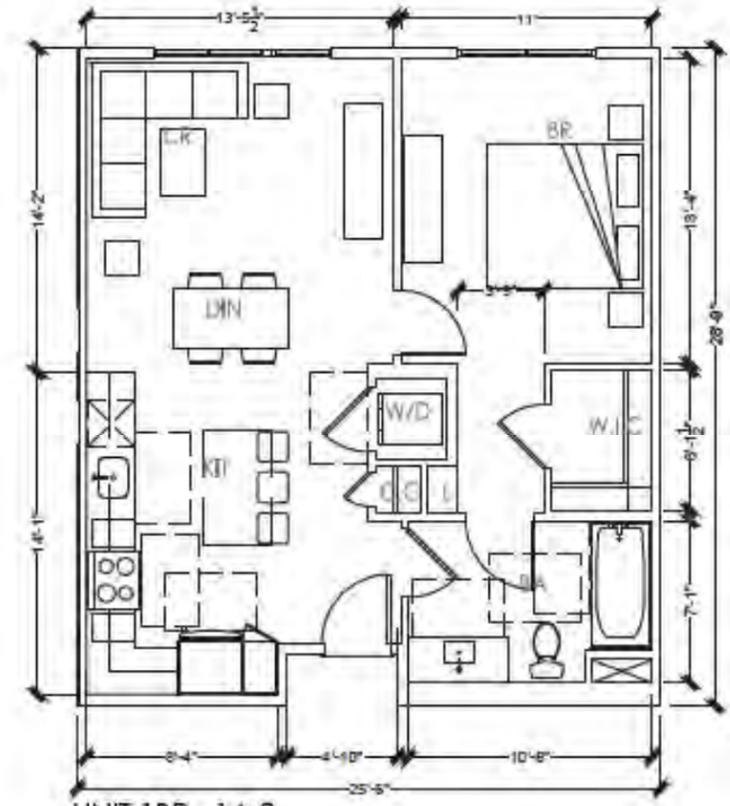
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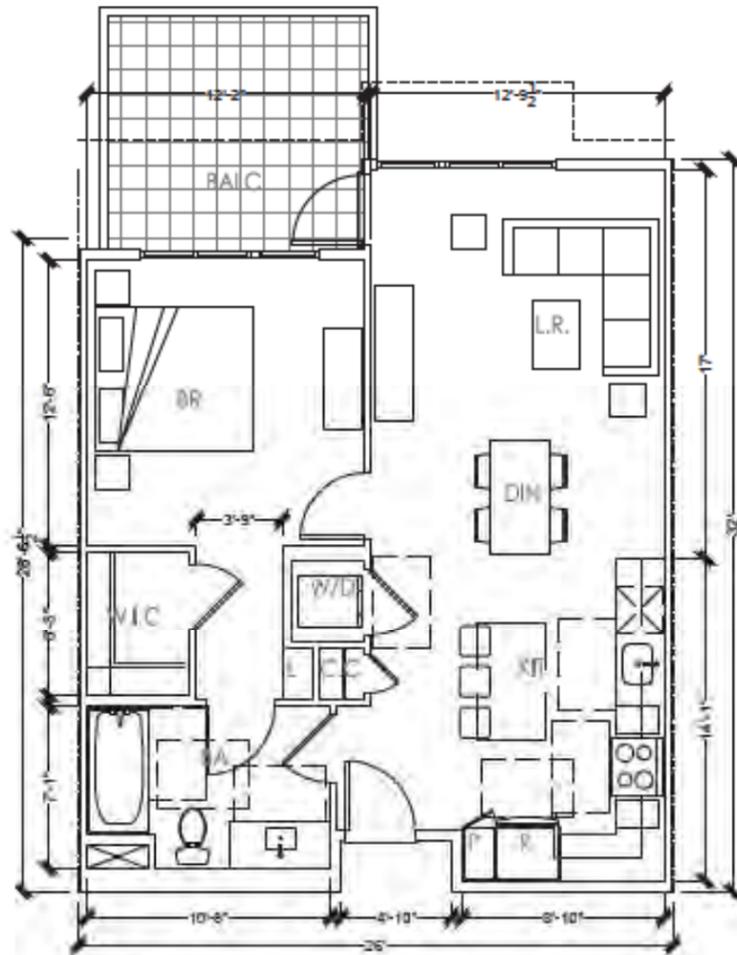
UNIT 1BR - 1A
NRSF: 759 s.f. (gross)
Balcony: 42 s.f.
Storage: 164 c.f. (On deck/Outside the unit in the cor
Number: 24



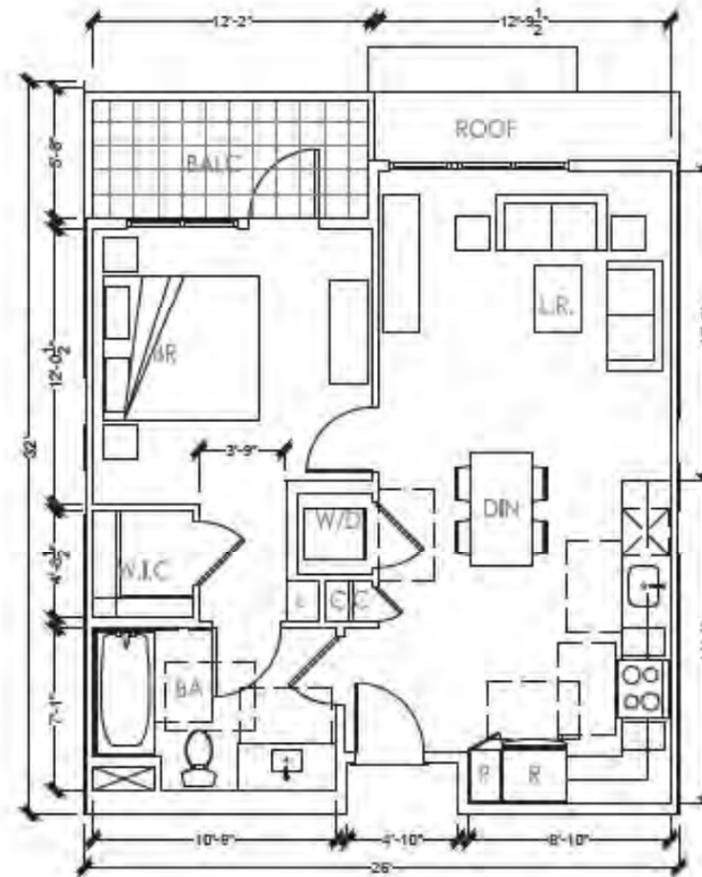
UNIT 1BR - 1A.1
NRSF: 725 s.f. (gross)
Storage: 164 c.f. (Outside the unit in the corridor)
Number: 5



UNIT 1BR - 1A.2
NRSF: 716 s.f. (gross)
Balcony: 0 s.f.
Storage: 164 c.f. min
Number: 1



UNIT 1BR - 1A.3
 NRSF: 766 s.f. (gross)
 Balcony: 60s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 6



UNIT 1BR 1A.4
 NRSF: 693 s.f. (gross)
 Balcony: 62 s.f.
 Storage: 164 c.f. (On deck/Outside the unit in the corridor)
 Number: 6



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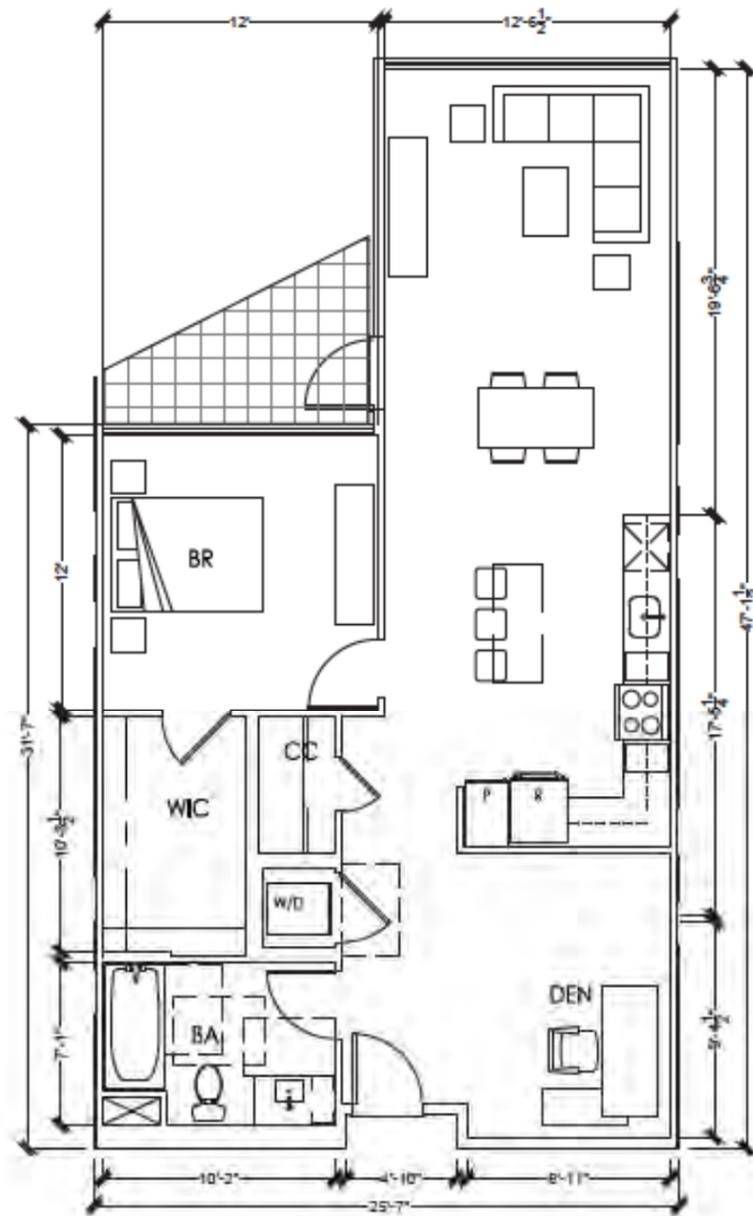
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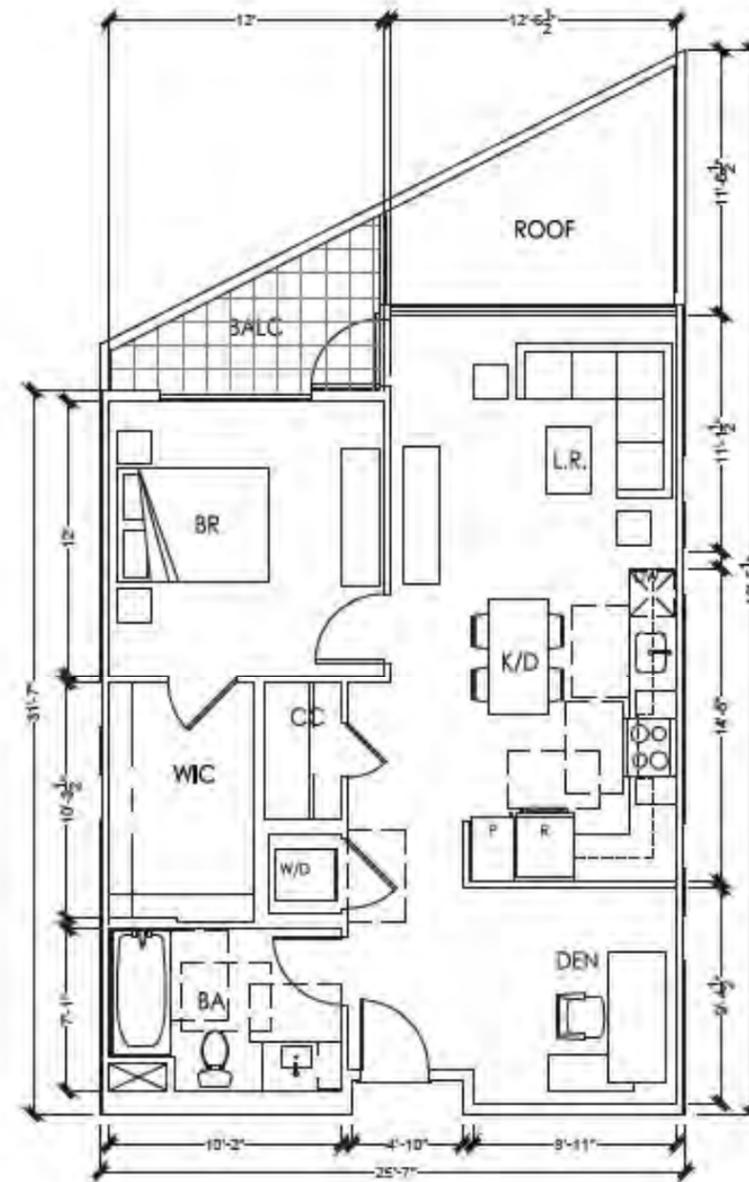
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 Date: 03/09/2020
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Sheet No:

A513



UNIT 1BR_1B
 NRSF: 1008 s.f. (gross)
 Balcony: 60 s.f.
 Storage: 22 s.f. (164 c.f. min.)
 Number: 16



UNIT 1BR_1B.1
 NRSF: 844 s.f. (gross)
 Balcony: 55 s.f.
 Storage: 22 s.f. (164 c.f. min.)
 Number: 4



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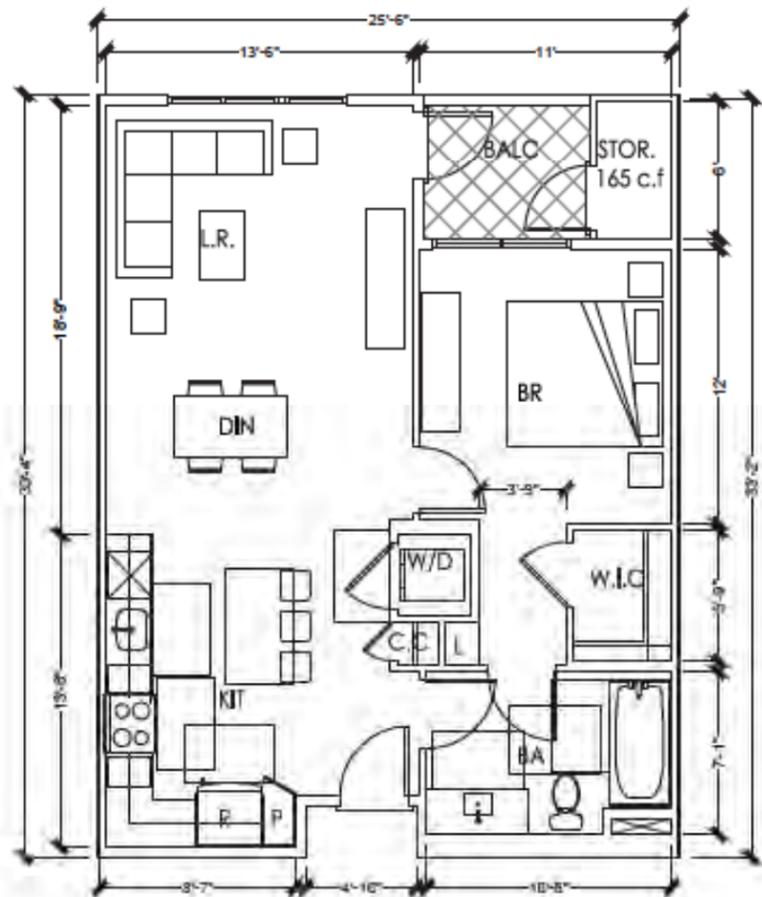
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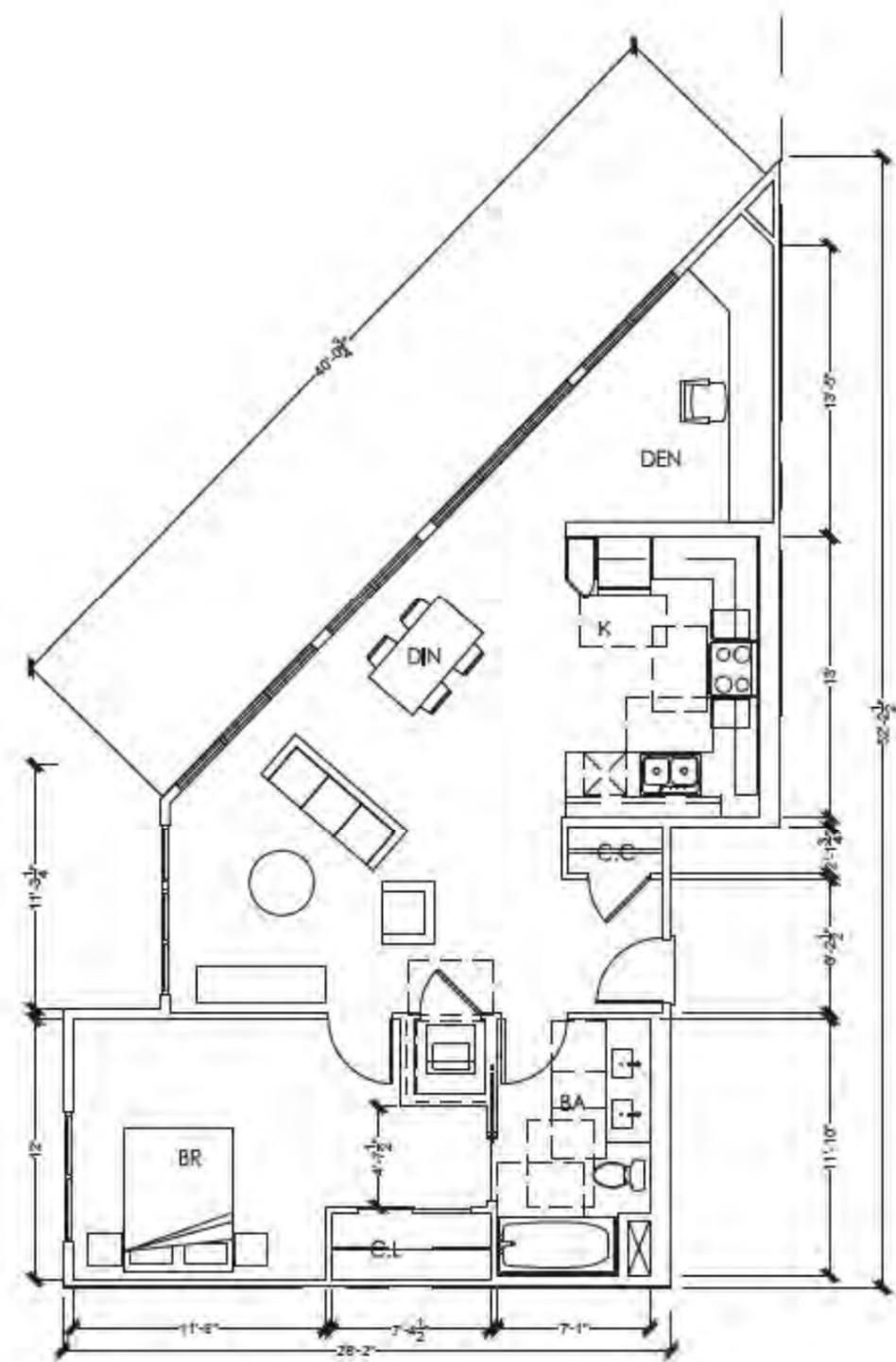
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A514



UNIT 1C
 NRSF: 760 s.f. (gross)
 Balcony: 40 s.f.
 Storage: 180 c.f.
 Number: 16



UNIT 1BR 1D
 NRSF: 1,012 s.f. (gross)
 Balcony: - s.f.
 Storage: 164 c.f.
 Number: 1



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 UNIT PLANS
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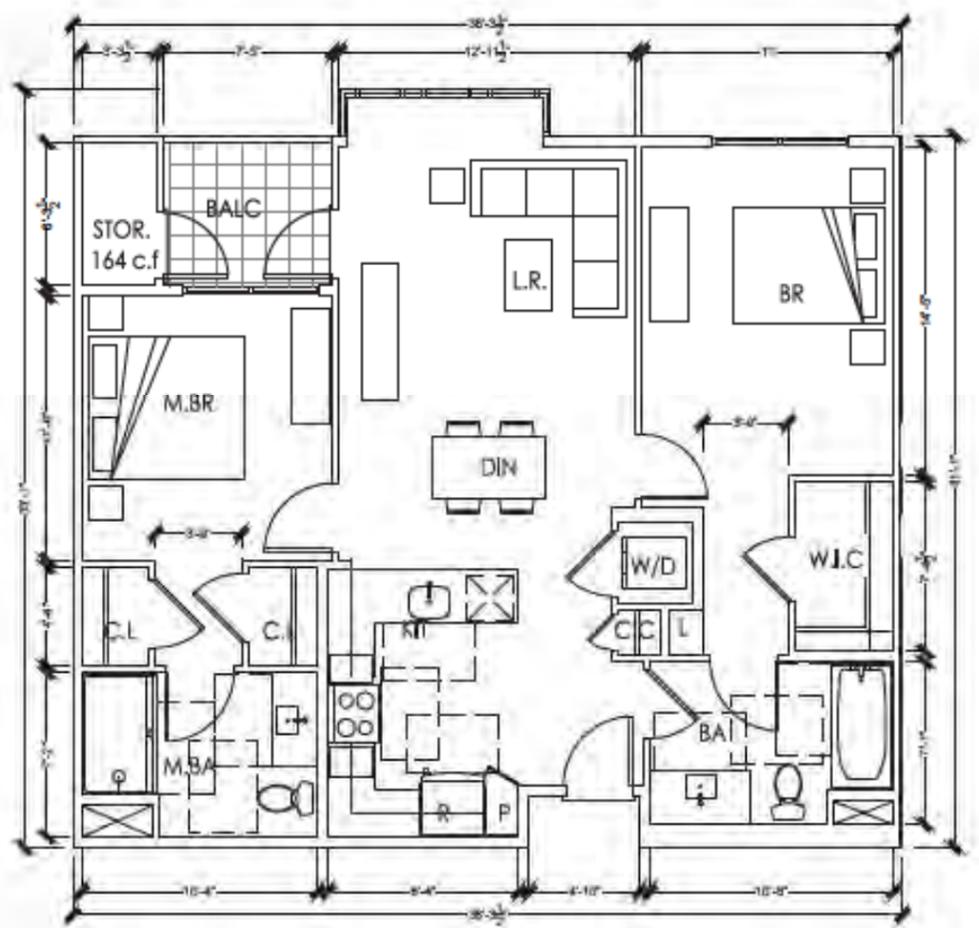
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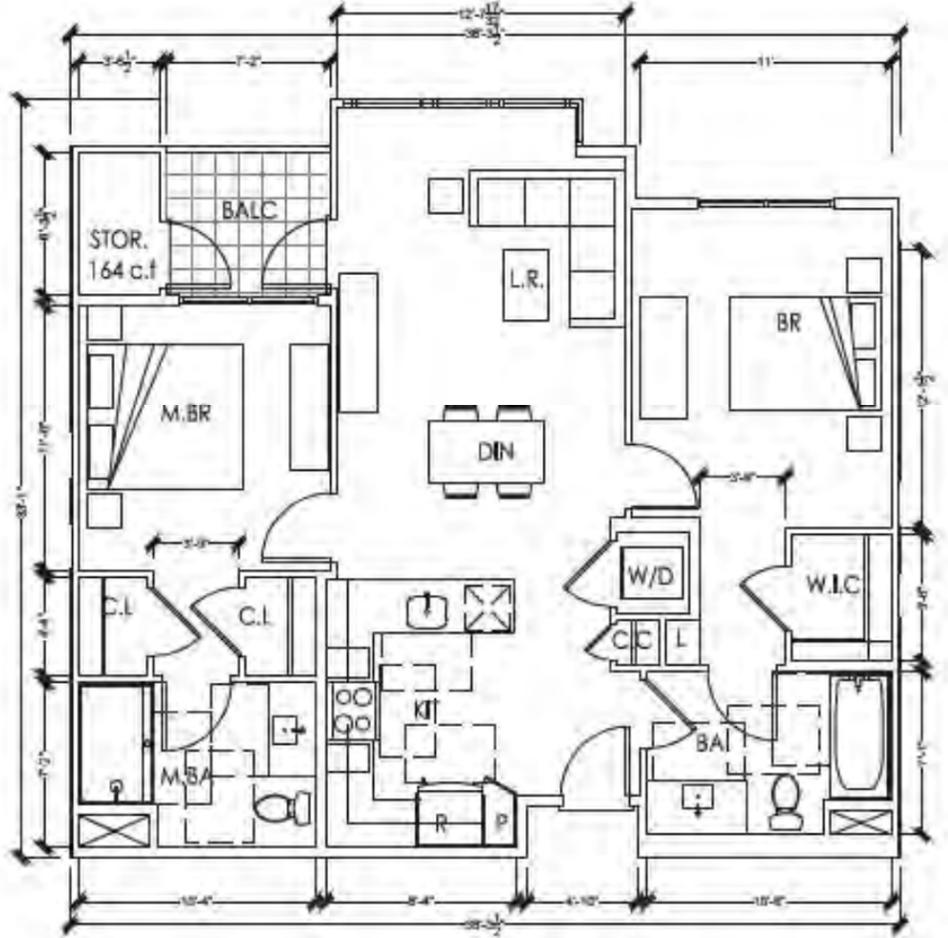
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UNIT PLANS
BLOCK A

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A516



UNIT 2BR_2A
NRSF: 1,048 s.f. (gross)
Balcony : 40 s.f.
Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
Number: 12



UNIT 2BR_2A.1
NRSF: 1,025 s.f. (gross)
Balcony : 40 s.f.
Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
Number: 11



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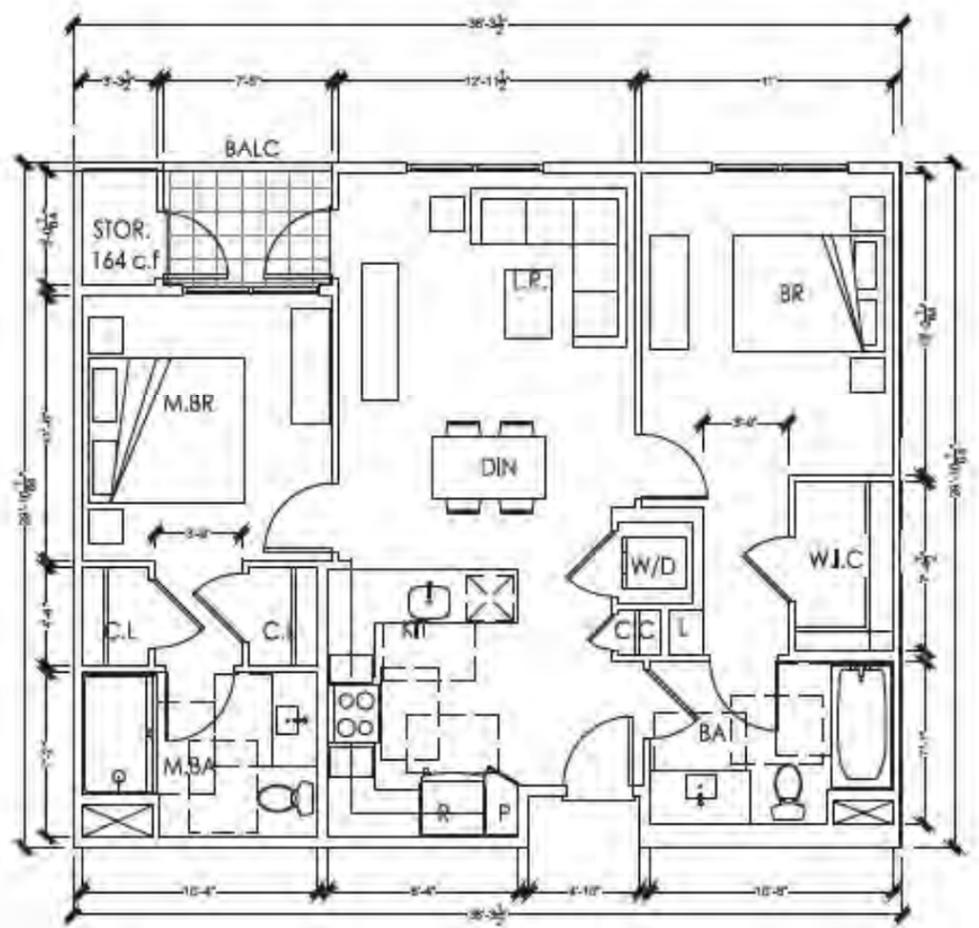
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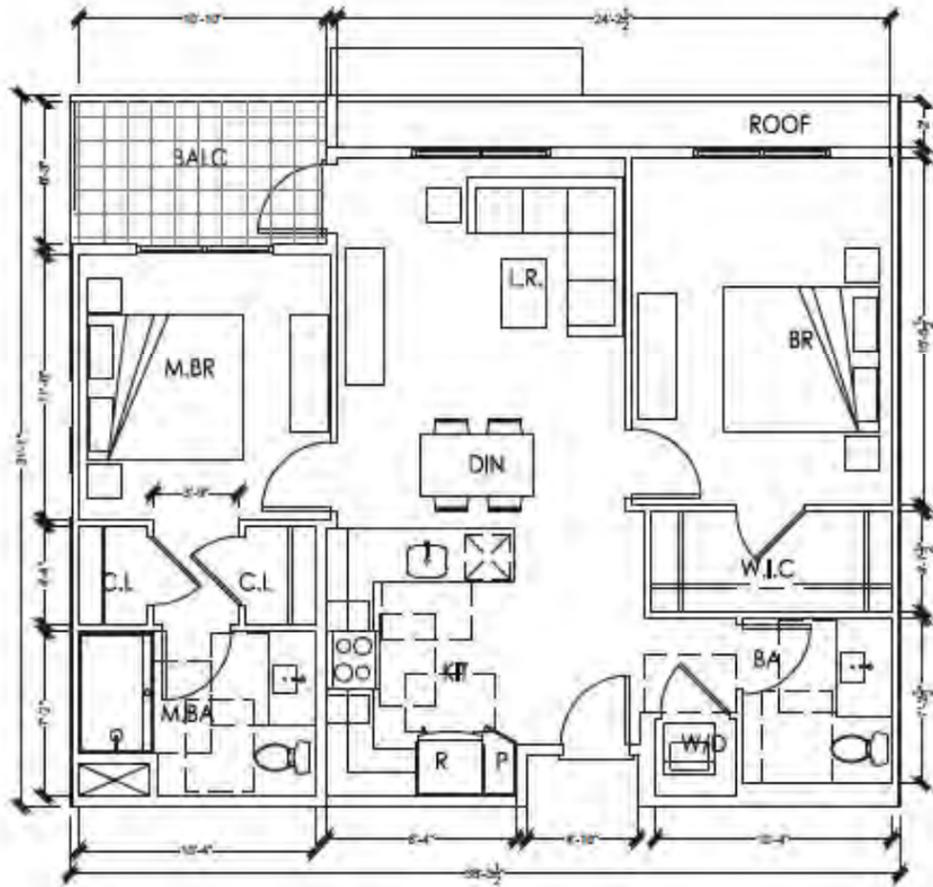
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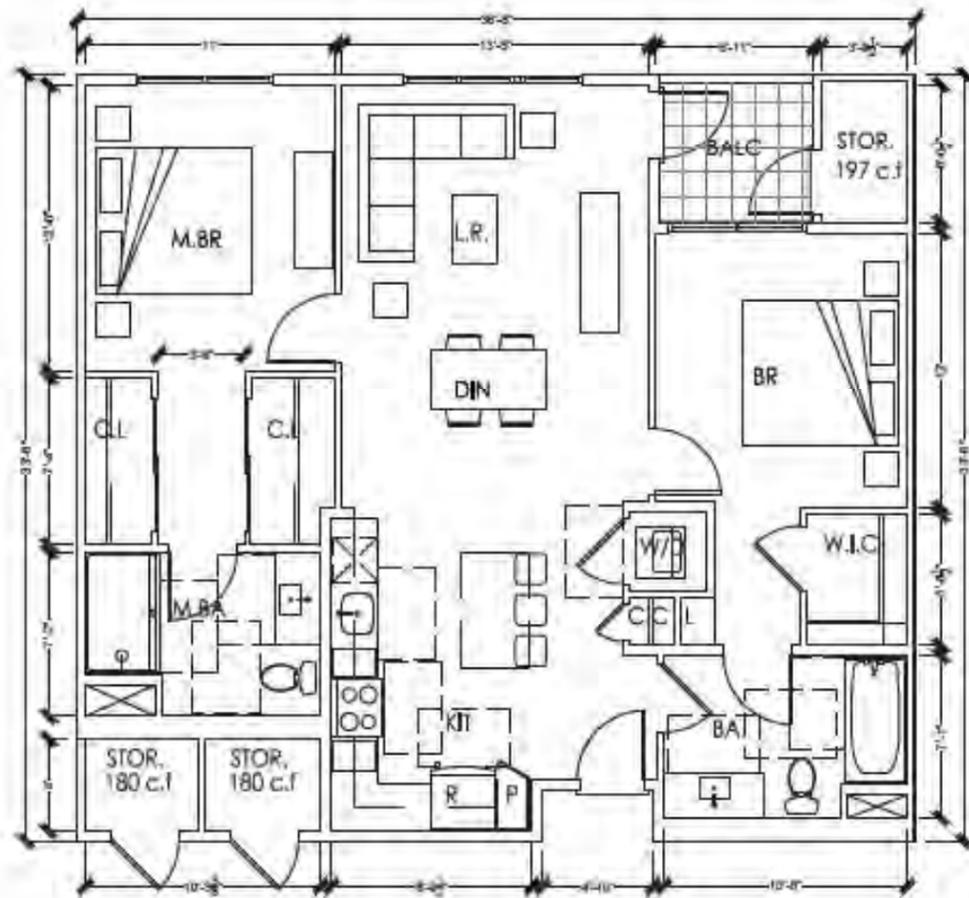
Sheet No:
A517



UNIT 2BR_2A.2
NRSF: 998 s.f. (gross)
Balcony : 35 s.f.
Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
Number: 1



UNIT 2BR_2A.3
NRSF: 978s.f. (gross)
Balcony : 60 s.f.
Storage: 164 c.f. (Outside of the Unit in the corridor)
Number: 6



UNIT 2BR_2B
 NRSF: 1,083s.f. (gross)
 Balcony : 40 s.f.
 Storage: 180 c.f. (On the deck)
 Number: 19



UNIT 2BR 2C
 NRSF: 1,260 s.f. (gross)
 Balcony: – s.f.
 Storage: 164 c.f.
 Number: 4



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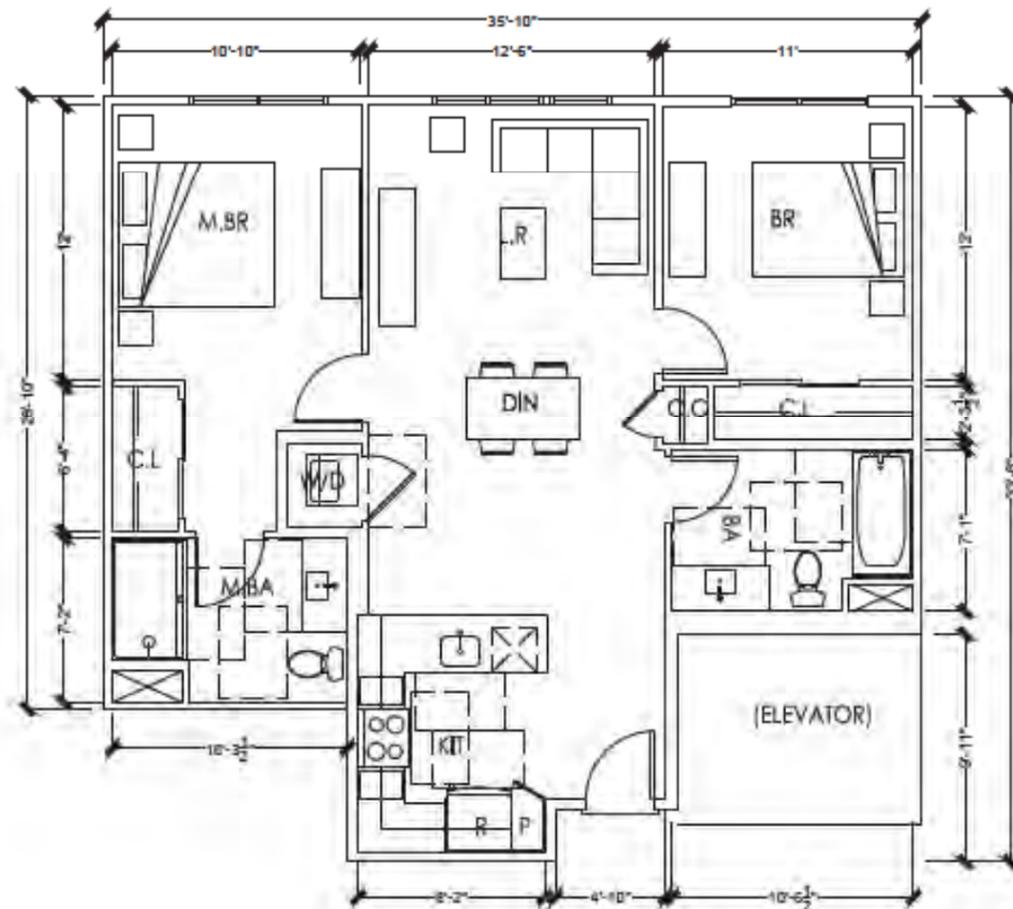
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UNIT PLANS
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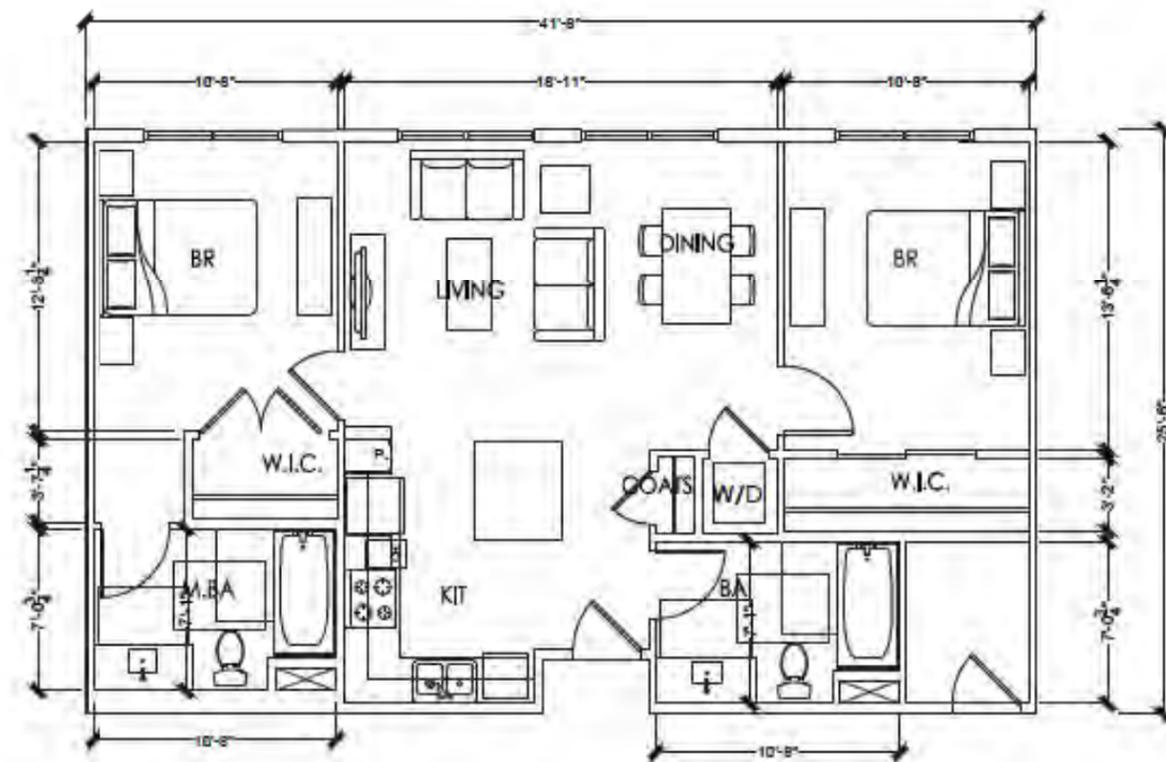
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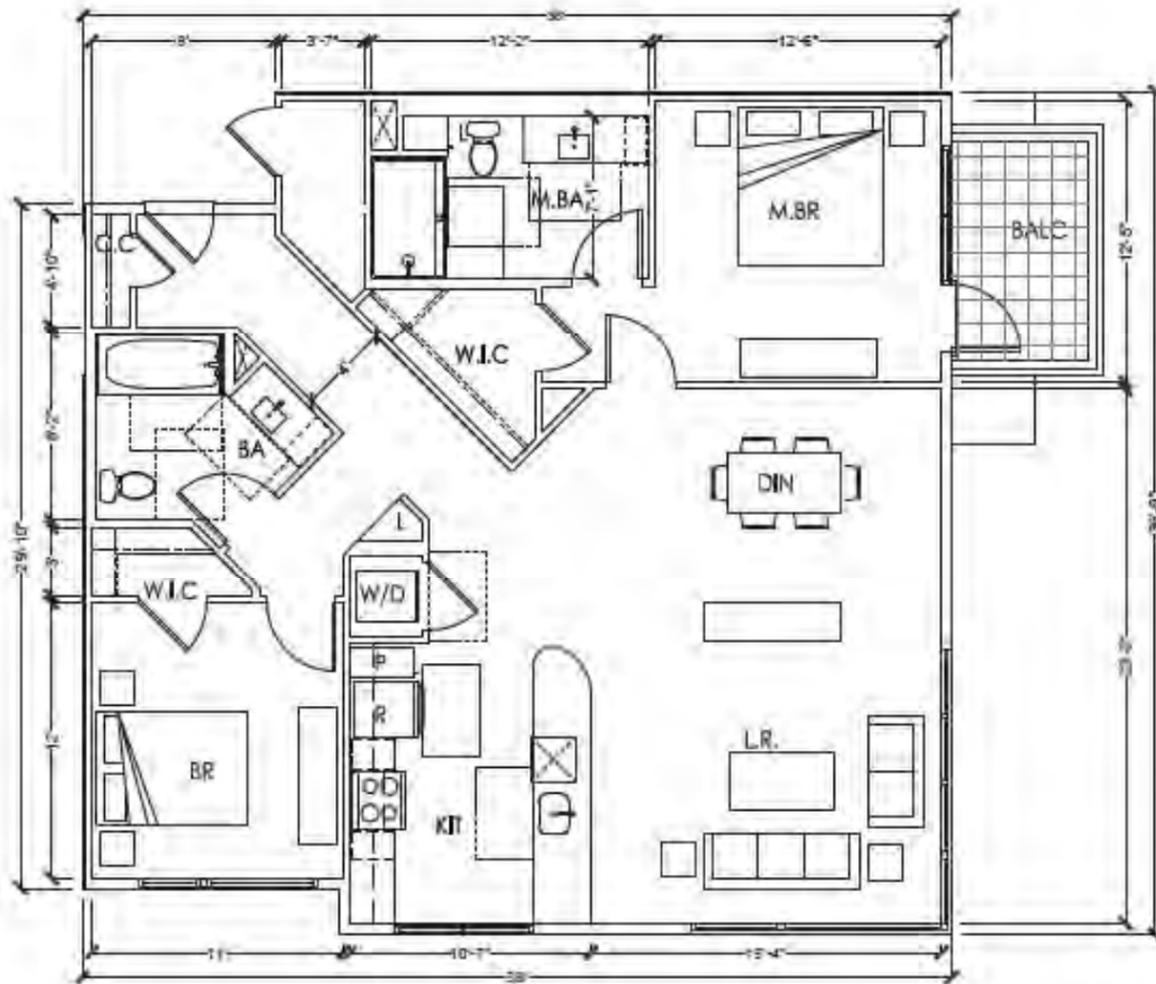
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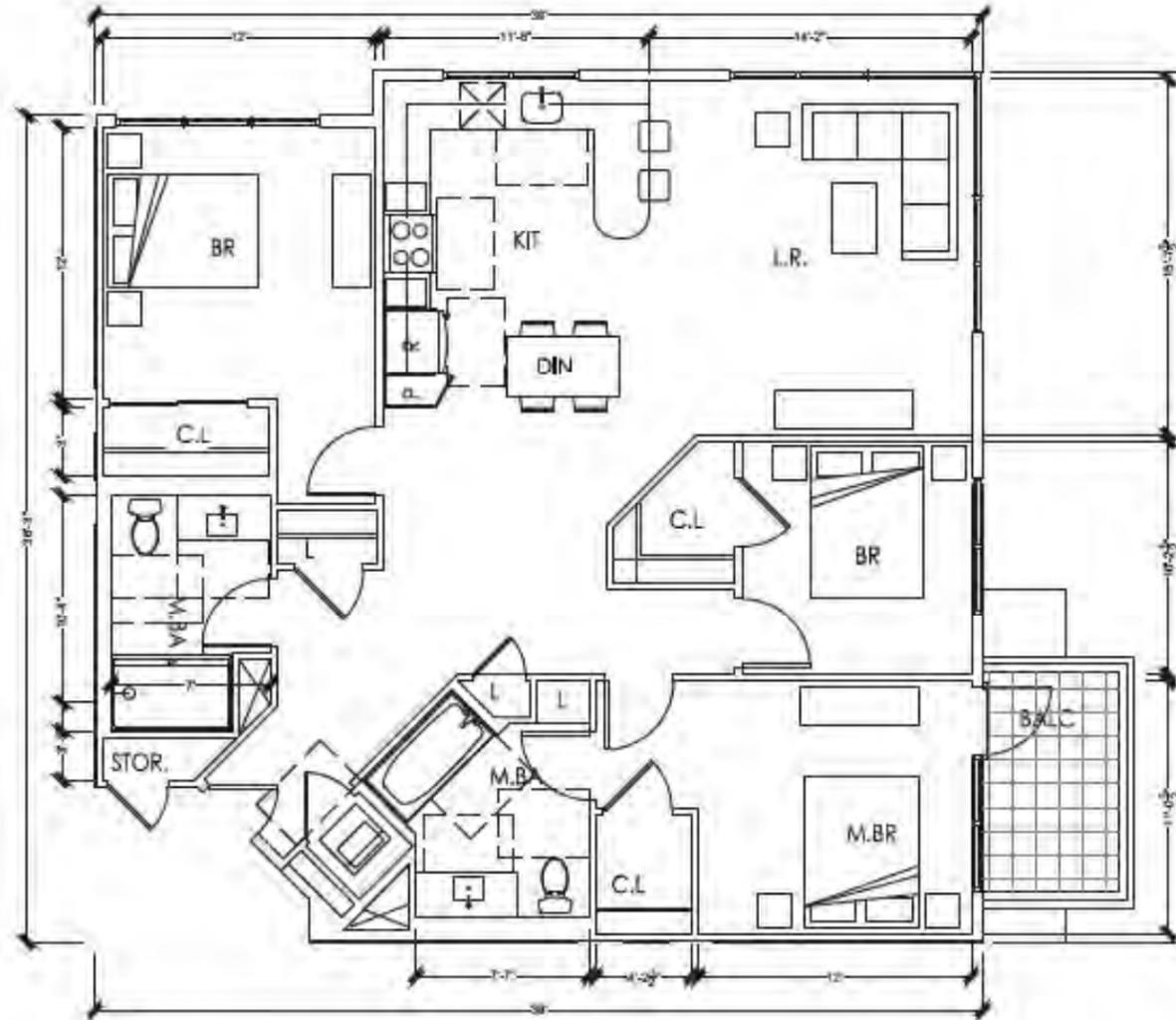
UNIT_2D
NRSF: 1,010 s.f. (gross)
Balcony : 0 s.f.
Storage: 21 s.f. (164 c.f. min.)
Number: 5



UNIT 2E
NRSF: 1,004 s.f. (gross)
Balcony: - s.f.
Storage: 290 c.f. (Outside the unit in the corridor)
Number: 2



UNIT 2F
 NRSF: 1,307 s.f. (gross)
 Balcony : 55 s.f.
 Storage: 190 c.f. (Outside the unit in the corridor)
 Number: 10



UNIT 3A (UNIT 3A.1 SIMILAR)
 NRSF: 1,391 s.f. (gross)
 Balcony : 55 s.f.
 Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
 Number: 10



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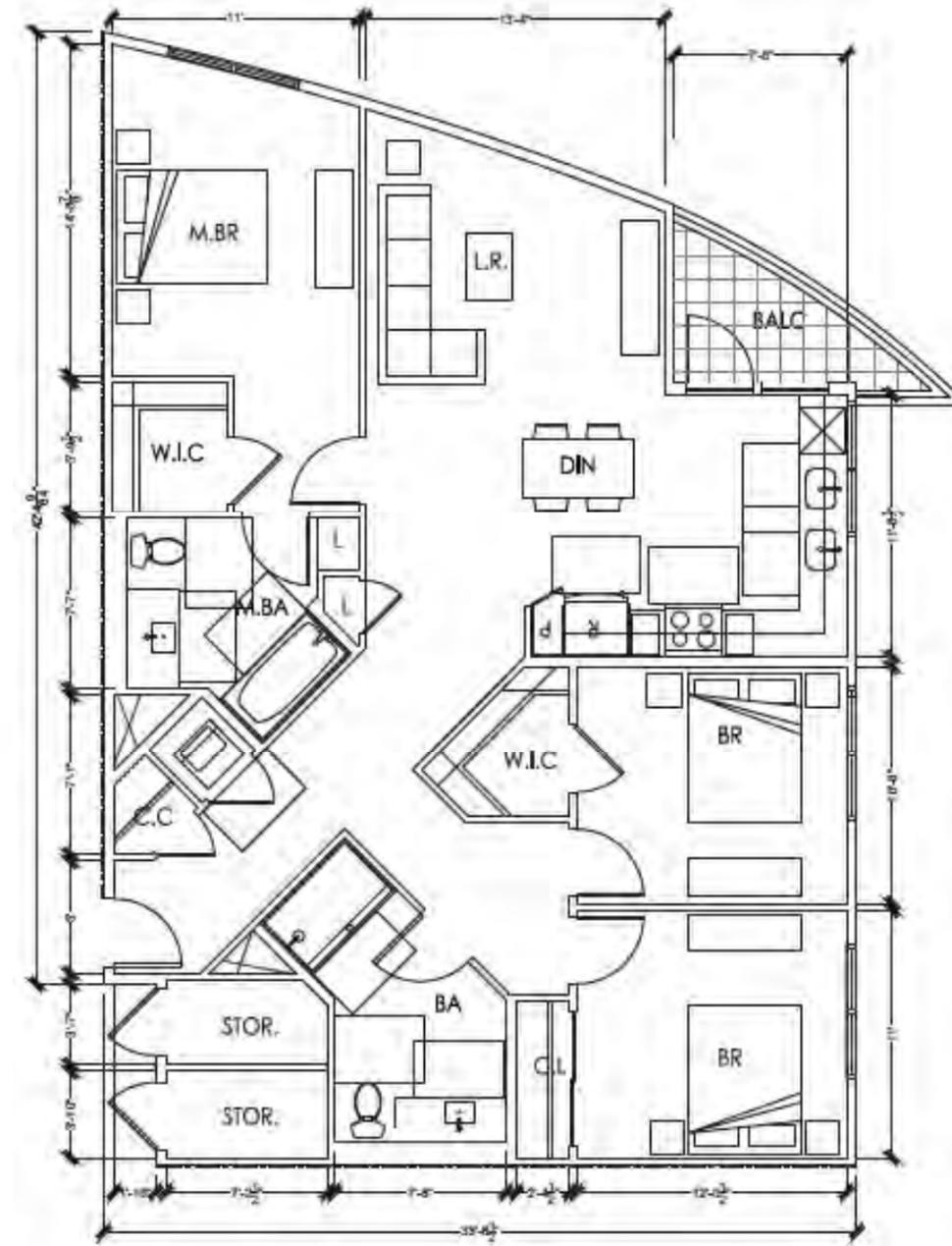
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A520



UNIT 3A.1
 NRSF: 1,464 s.f. (gross)
 Balcony : 55 s.f.
 Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
 Number: 10



UNIT 3B
 NRSF: 1,381 s.f. (gross)
 Balcony : 45 s.f.
 Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
 Number: 4



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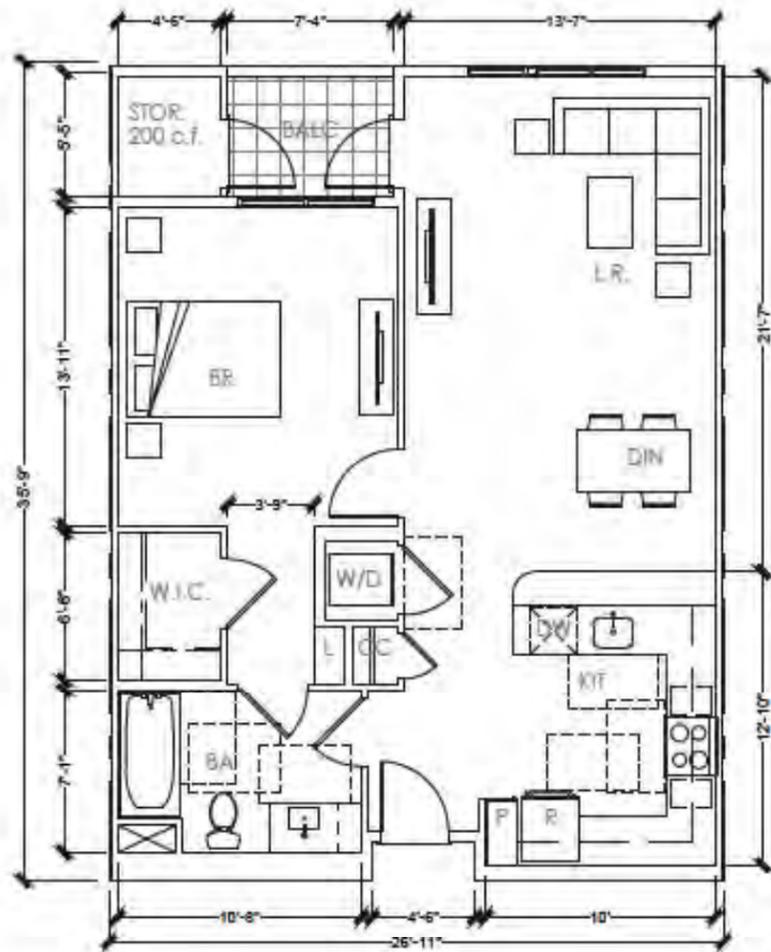
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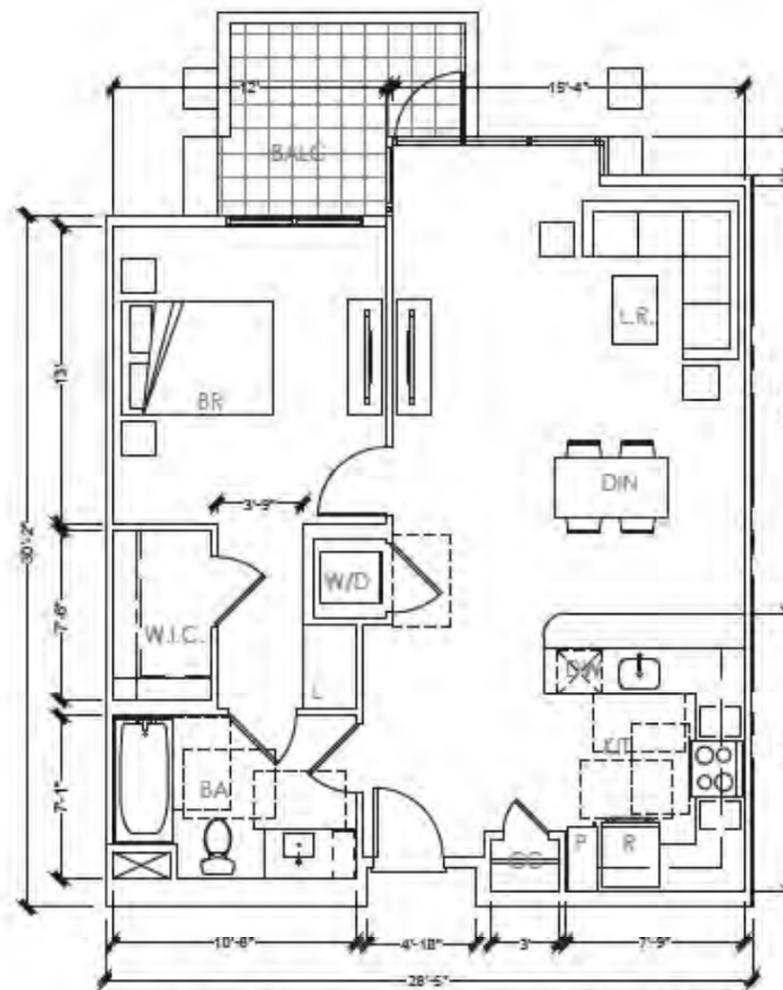
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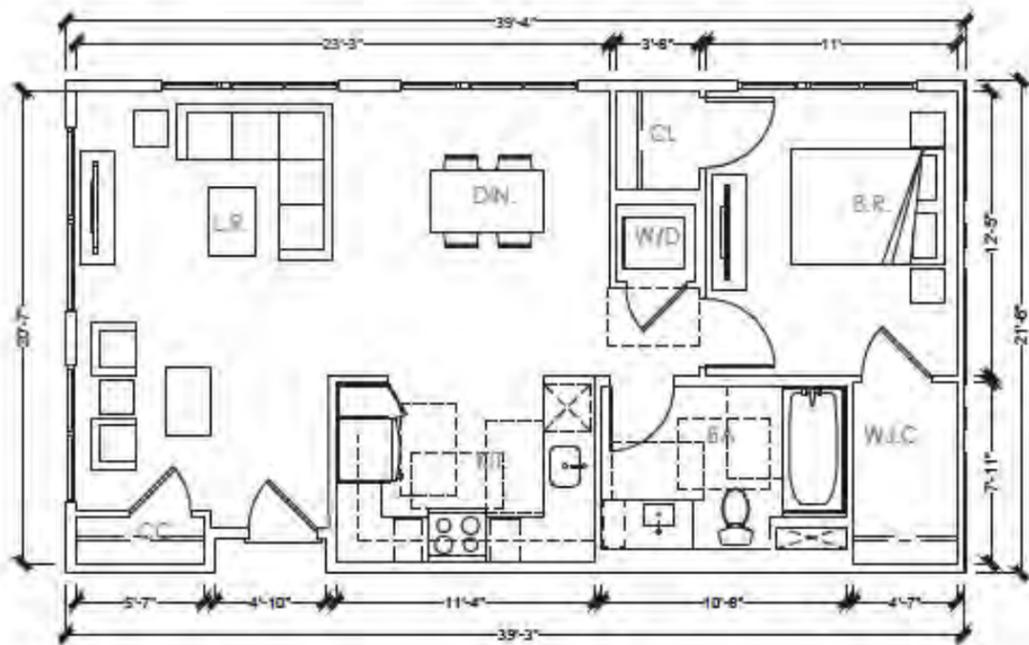
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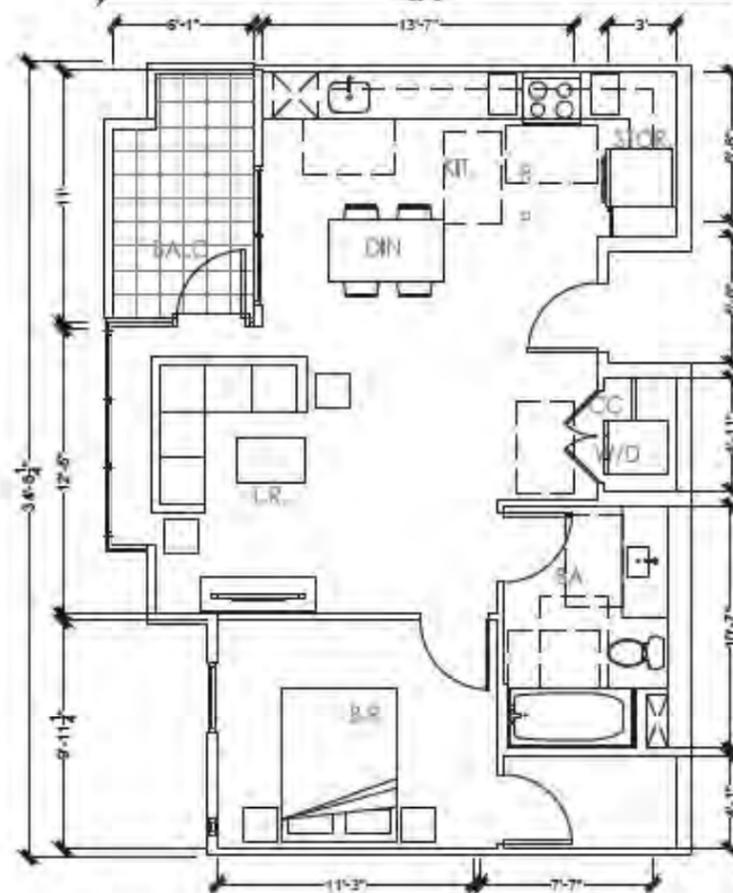
UNIT 1A.1
 NRSF: 813 s.f. (gross)
 Balcony: 42 s.f.
 Storage: 230 c.f. (On deck)
 Number: 14



UNIT 1A.2 (1A.3 SIMILAR)
 NRSF: 886 s.f. (gross)
 Balcony: 70 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 4



UNIT 1B
 NRSF: 828 s.f. (gross)
 Balcony: 0 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 4



UNIT 1F-1BR 1BATH
 NRSF: 749 s.f. (gross)
 PATIO: 57 s.f.
 Storage: 288 c.f.
 Number: 1



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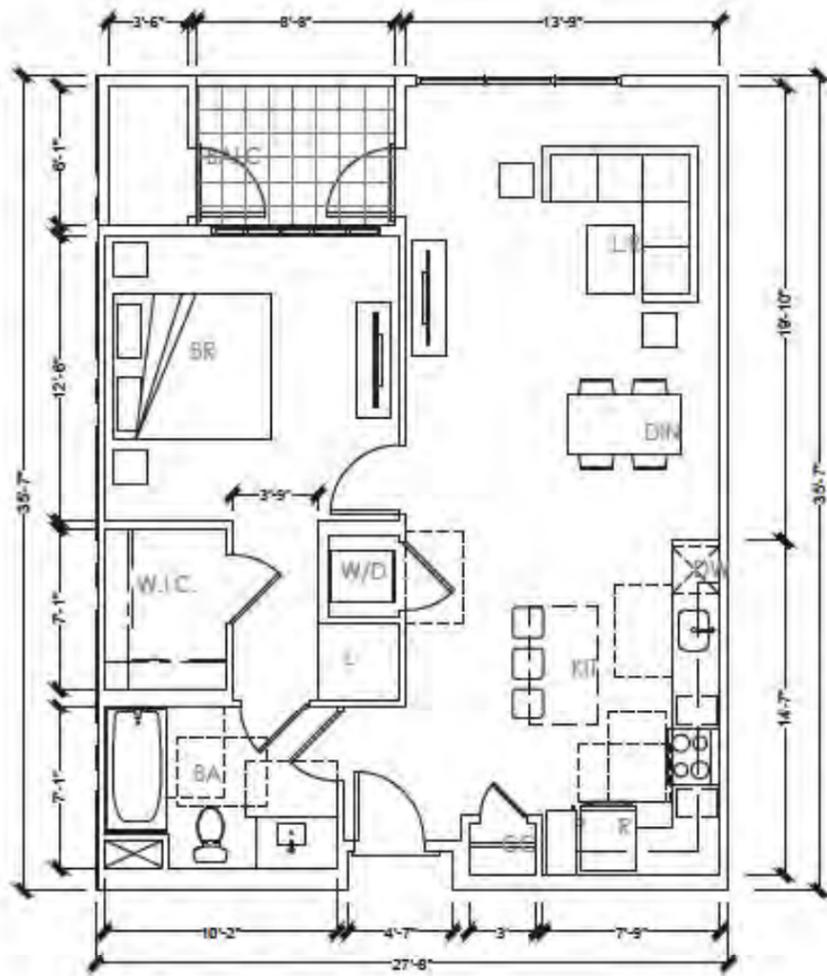
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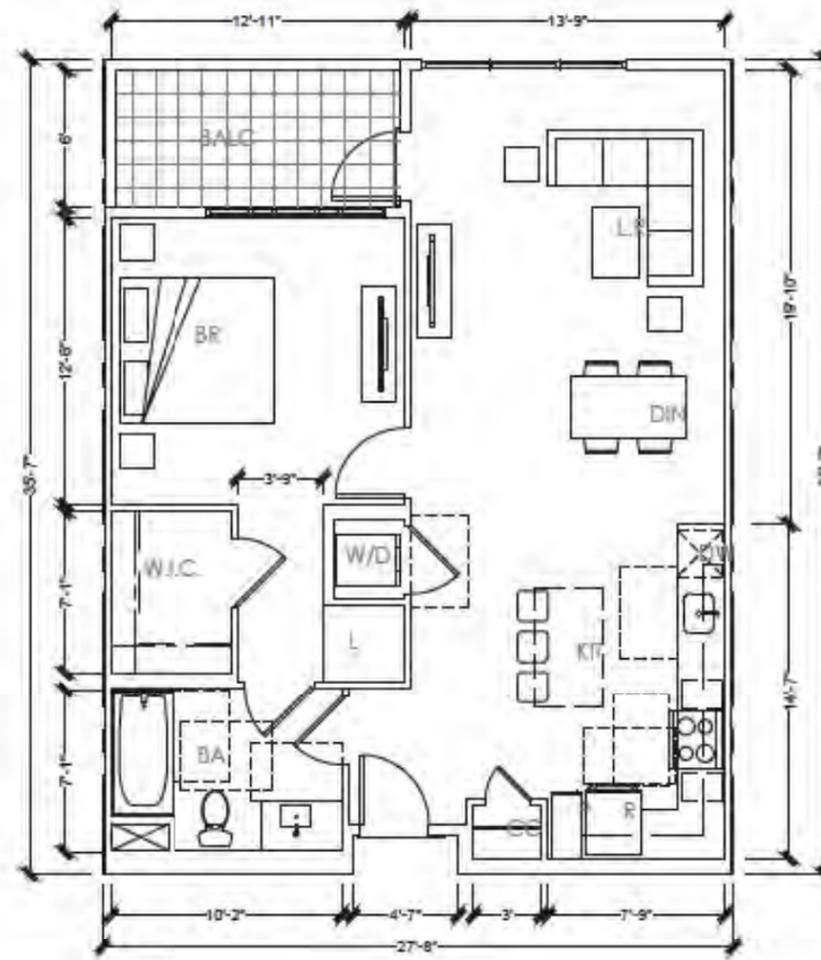
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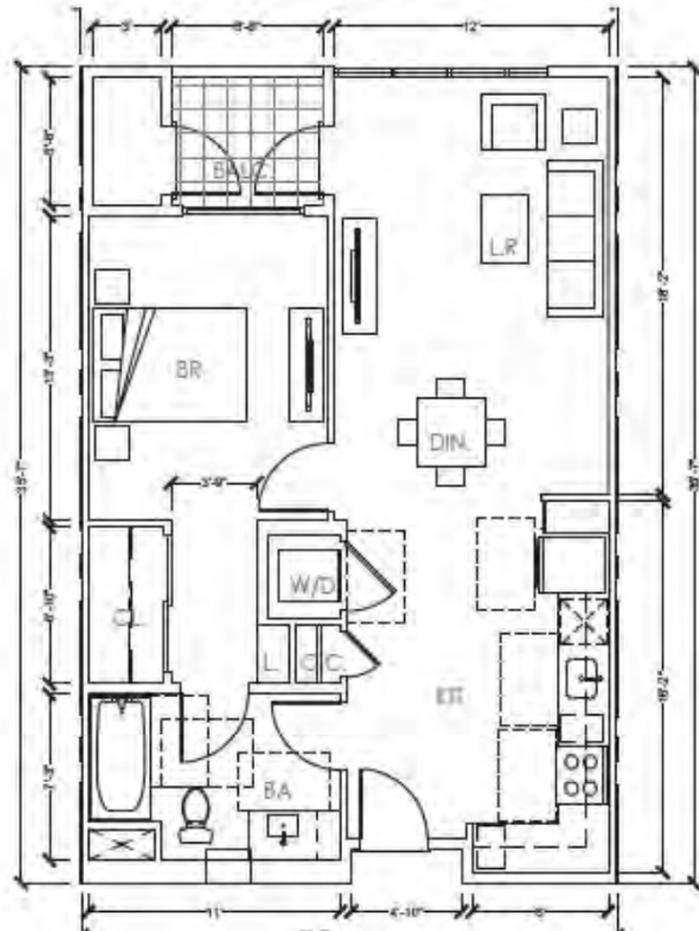
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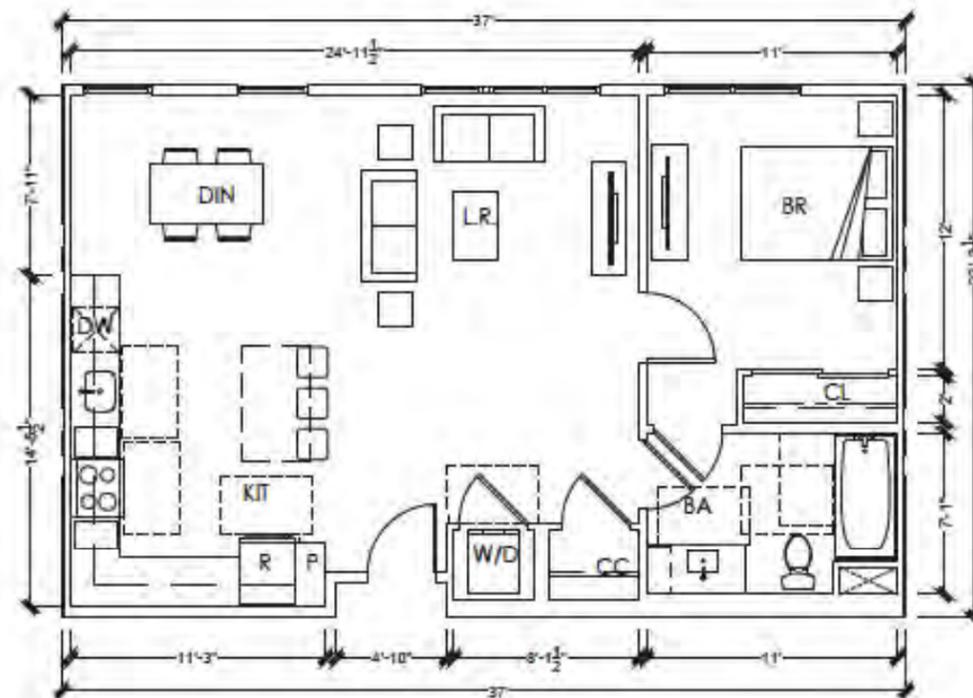
UNIT 1C
 NRSF: 903 s.f. (gross)
 Balcony: 56 s.f.
 Storage: 164 c.f. (Outside unit in the corridor)
 Number: 4



UNIT 1C.1 (1C.2 SIMILAR)
 NRSF: 875 s.f. (gross)
 Balcony: 0 s.f.
 Storage: 200 c.f. (Outside unit in the corridor)
 Number: 1



UNIT 1D
 NRSF: 739 s.f. (gross)
 Balcony : 50 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 5



UNIT 1E
 NRSF: 848s.f. (gross)
 Balcony : 0 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 6



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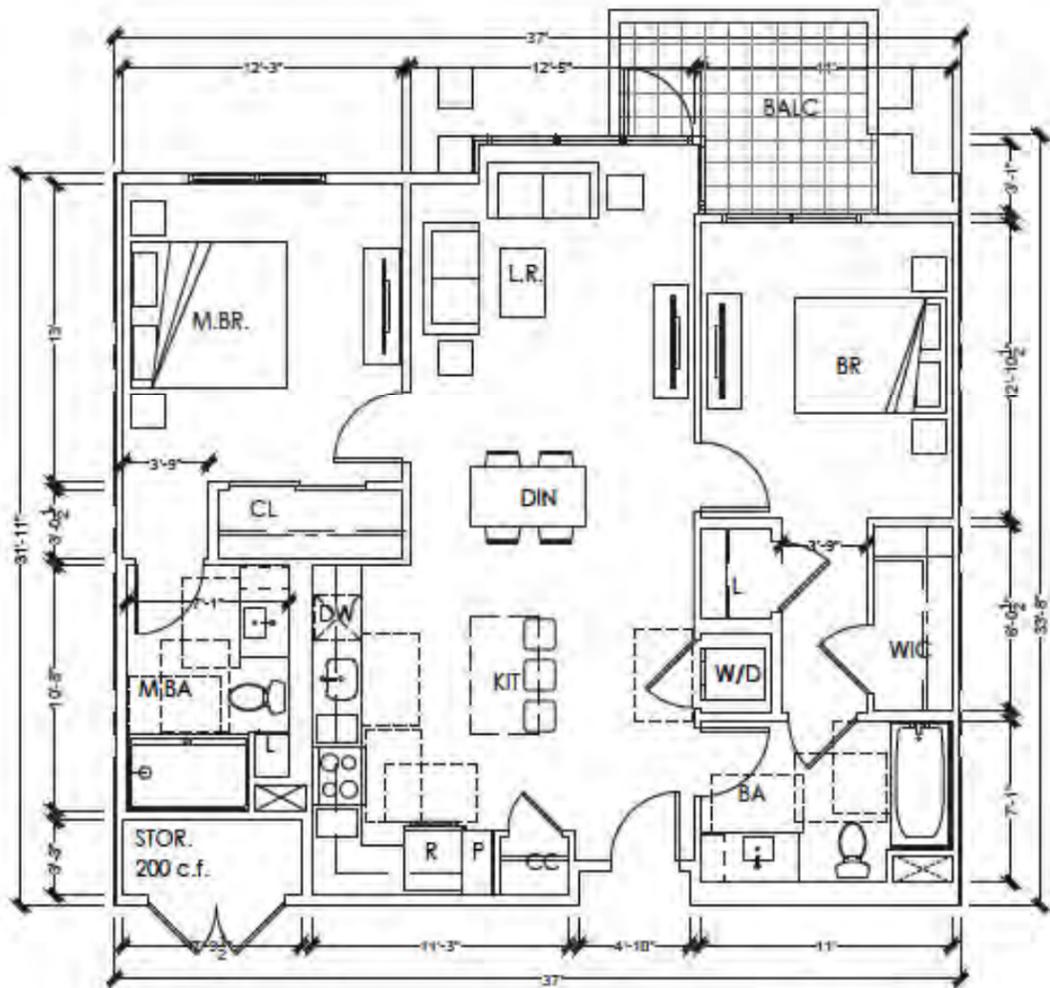
Mountain View, California

Sheet Title:
**UNIT PLANS
 BLOCK B**

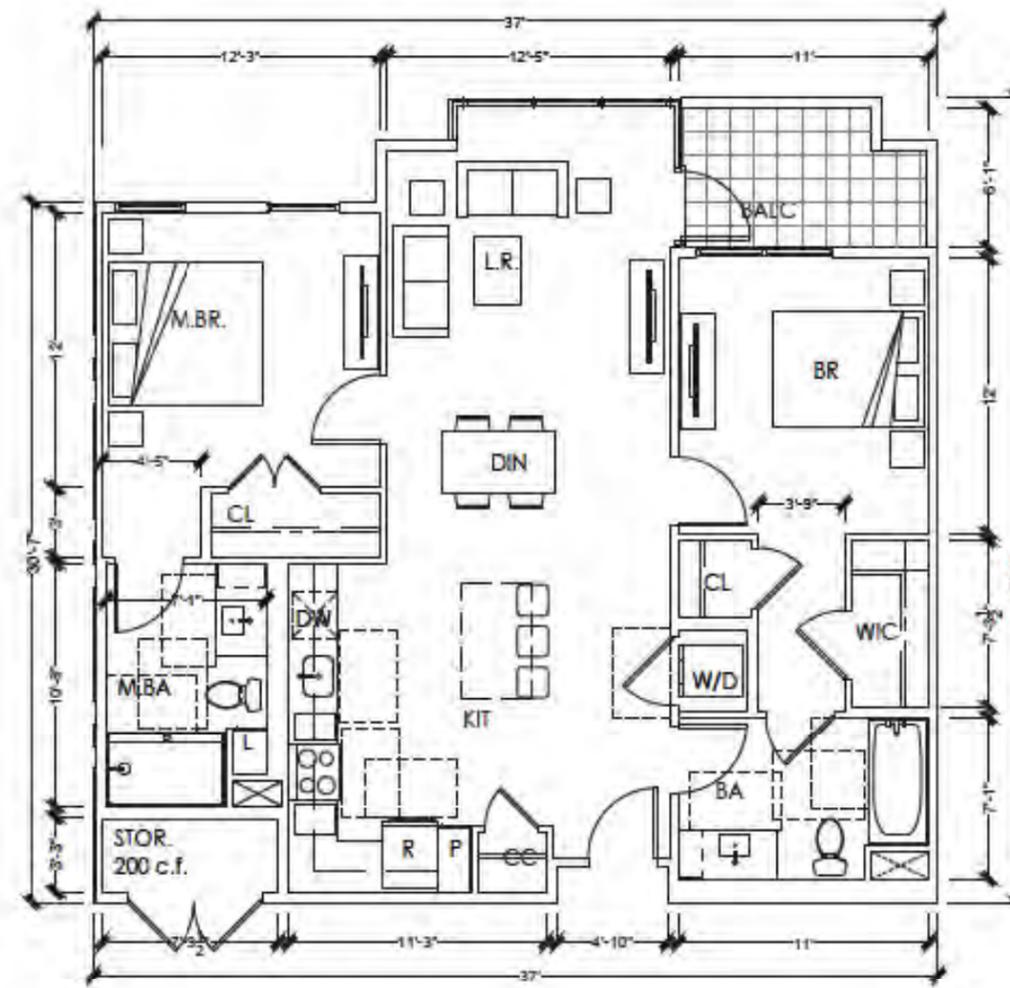
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 Date: 03/09/2020
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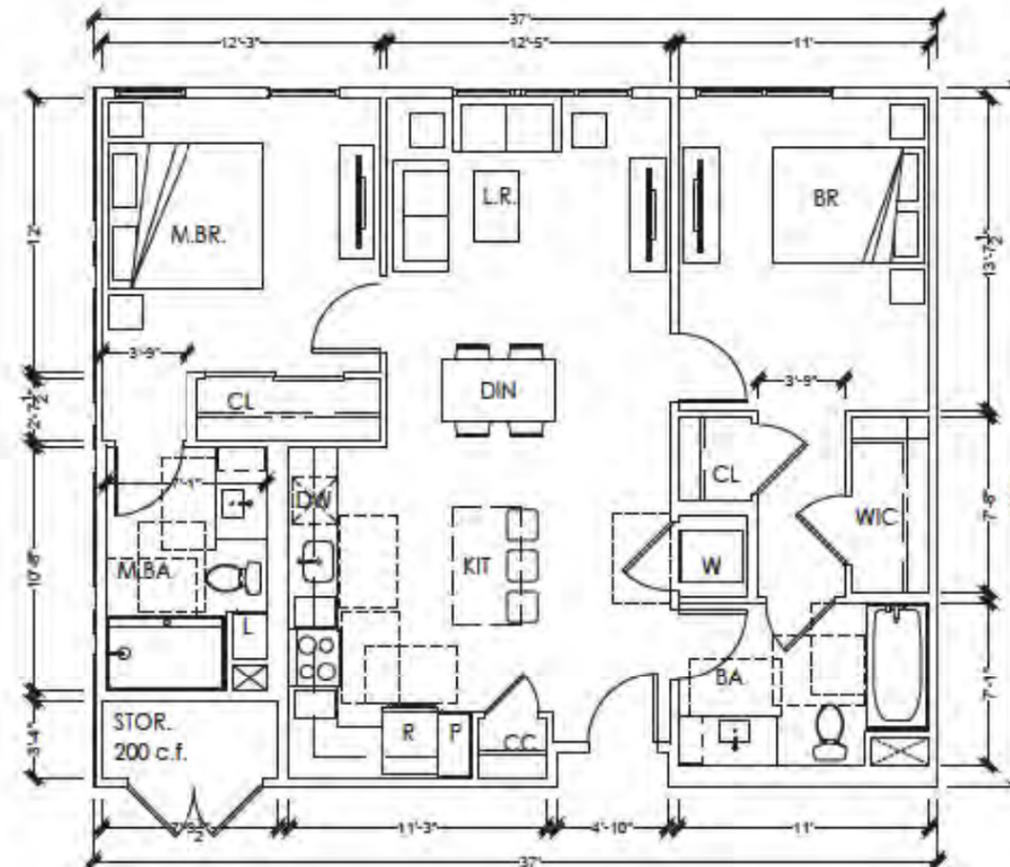
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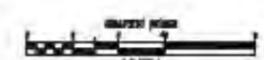
UNIT 2A
 NRSF: 1,135 s.f. (gross)
 Balcony: 70 s.f.
 Storage: 200 c.f. (Outside unit in the corridor)
 Number: 2



UNIT 2B
 NRSF: 1,120 s.f. (gross)
 Balcony: 57 s.f.
 Storage: 200 c.f. (Outside unit on the corridor)
 Number: 27



UNIT 2B.1 (2B.2, 2B.3 SIMILAR)
 NRSF: 1,087 s.f. (gross)
 Balcony: 0 s.f.
 Storage: 200 c.f. (Outside unit on the corridor)
 Number: 4



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 UNIT PLANS
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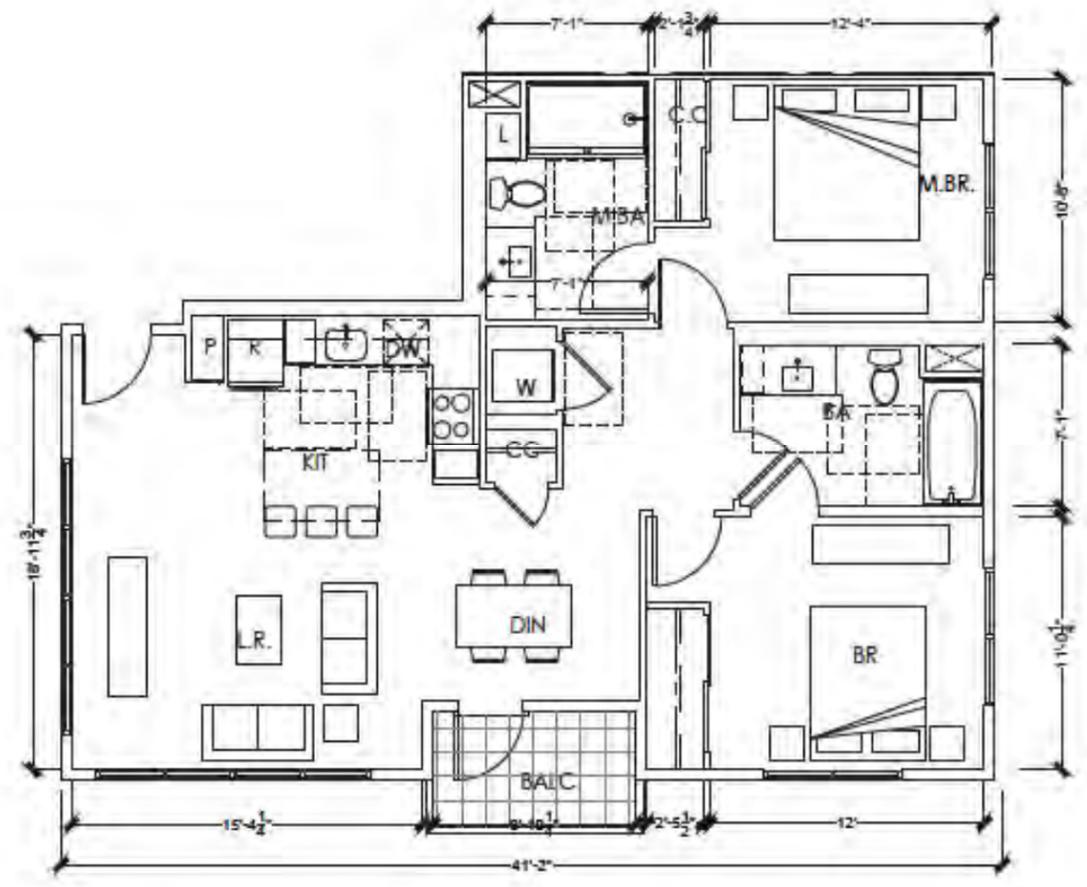
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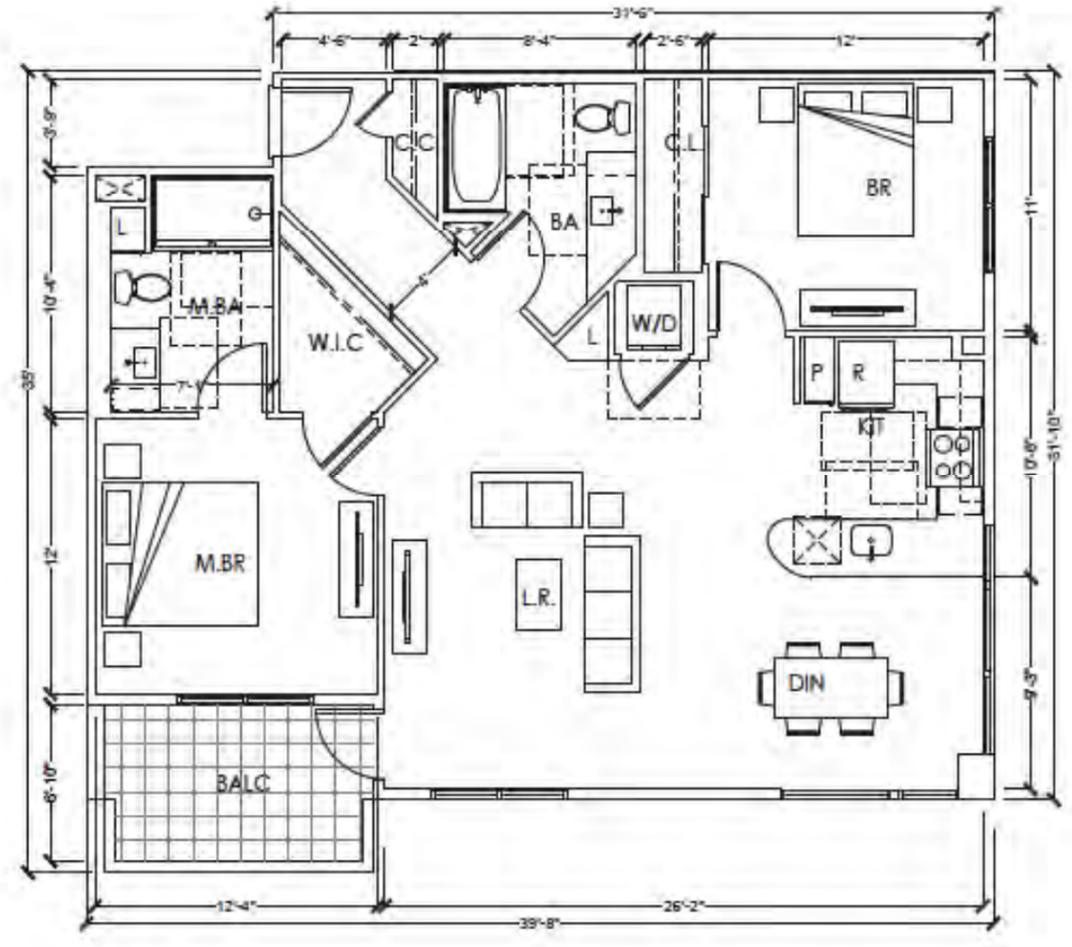
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UNIT PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A533



UNIT 2C
NRSF: 1,074 s.f. (gross)
Balcony: 43s.f.
Storage: 200 c.f. (Outside unit on the corridor)
Number: 4



UNIT 2E
NRSF: 1,185 s.f. (gross)
Balcony: 58 s.f.
Storage: 164 c.f. (Outside the unit in the corridor)
Number: 6



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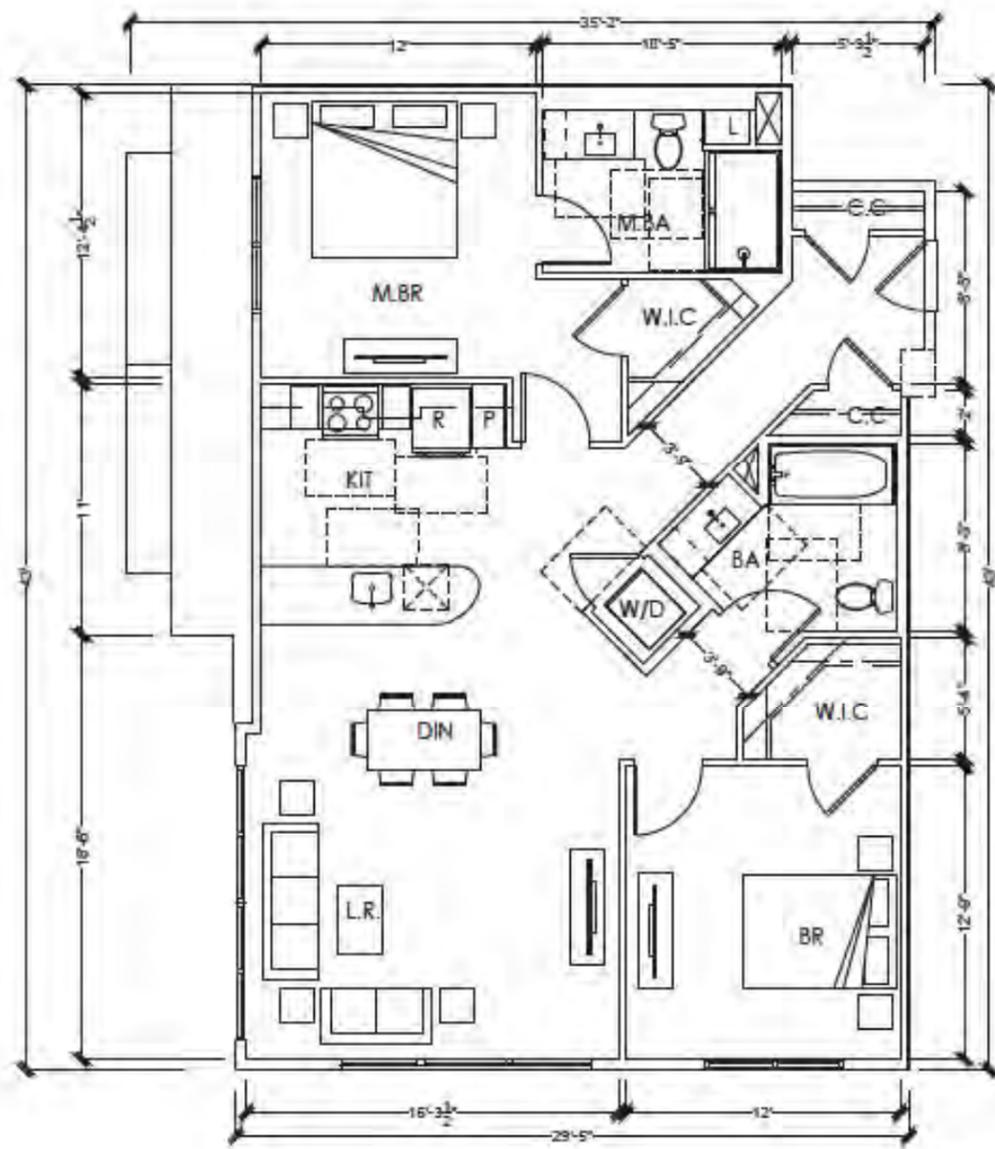
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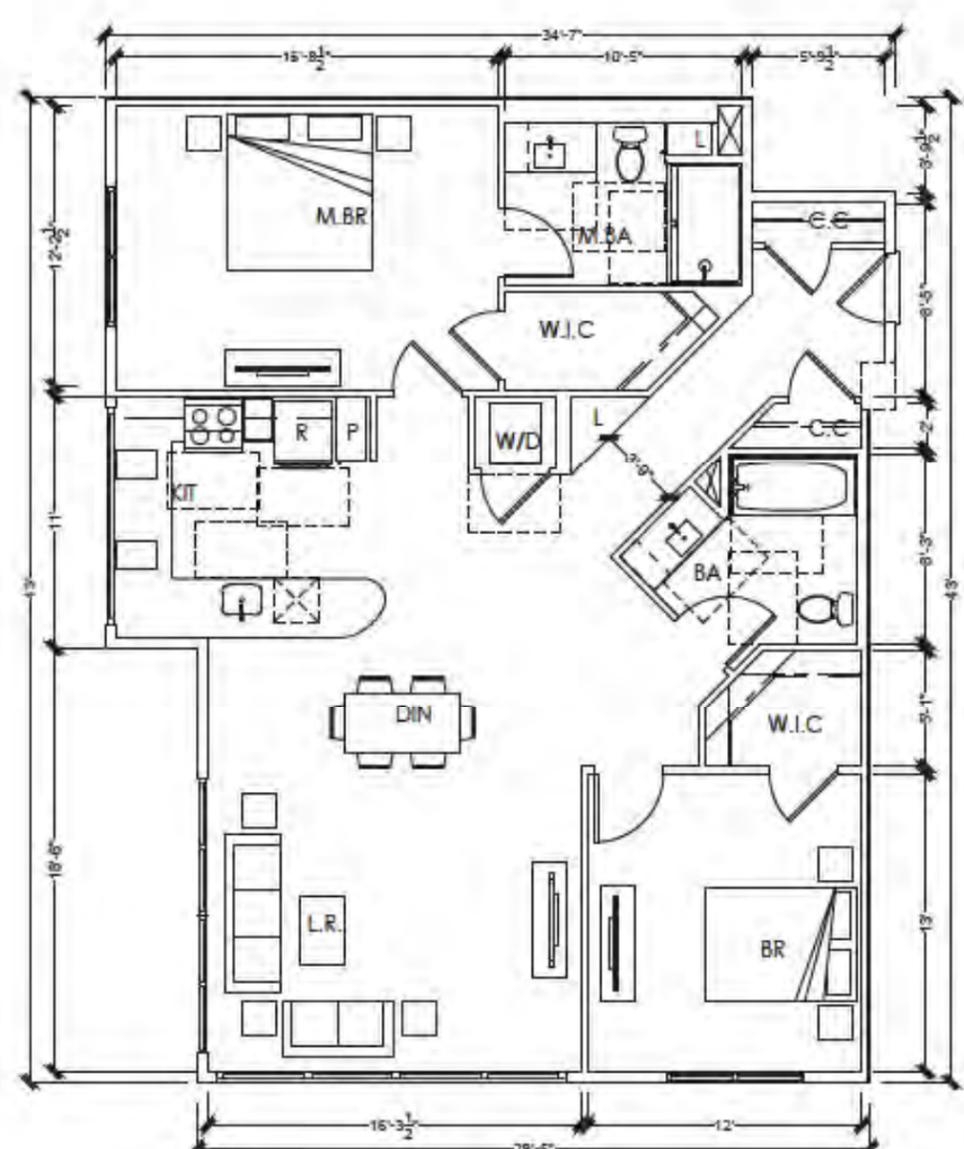
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UNIT PLANS
BLOCK B

Job No. 16021
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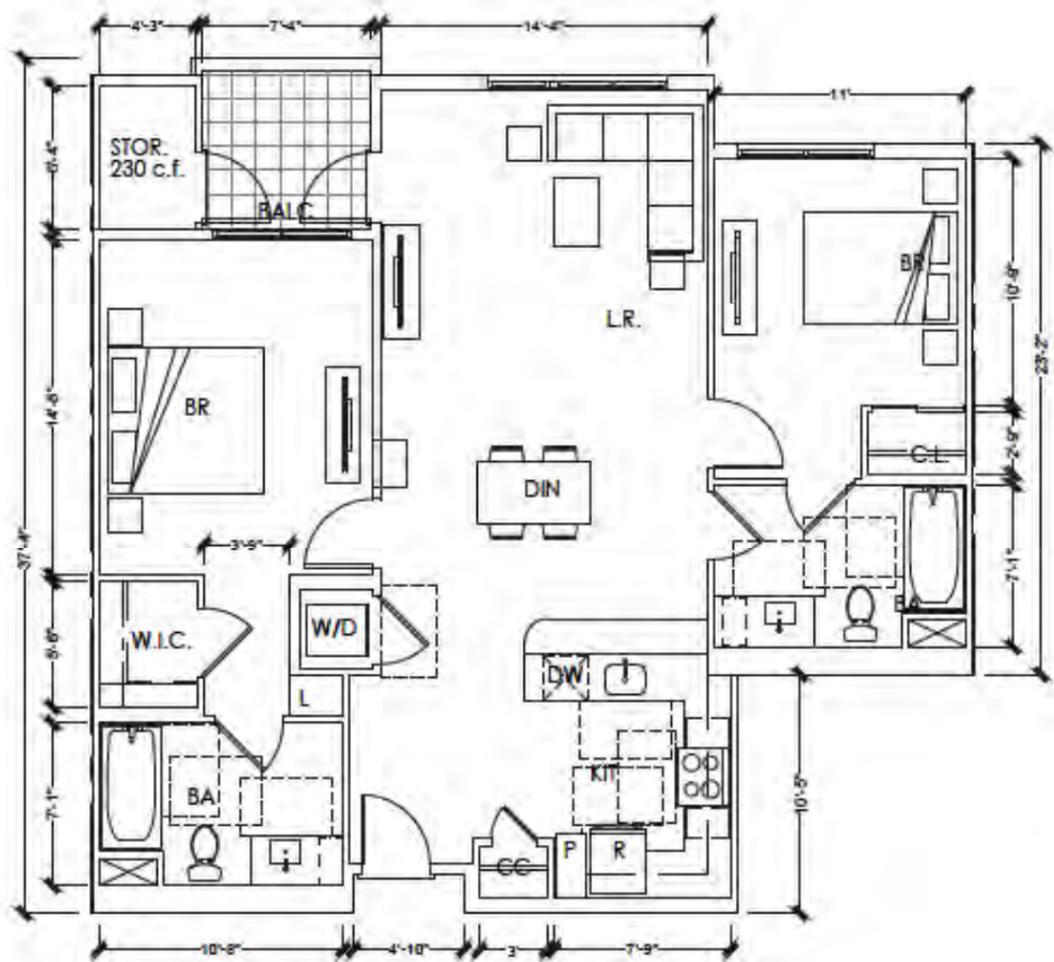


UNIT 2D.1
NRSF: 1,233s.f. (gross)
Balcony: 0s.f.
Storage: 200 c.f. (Outside the unit in the corridor)
Number: 1

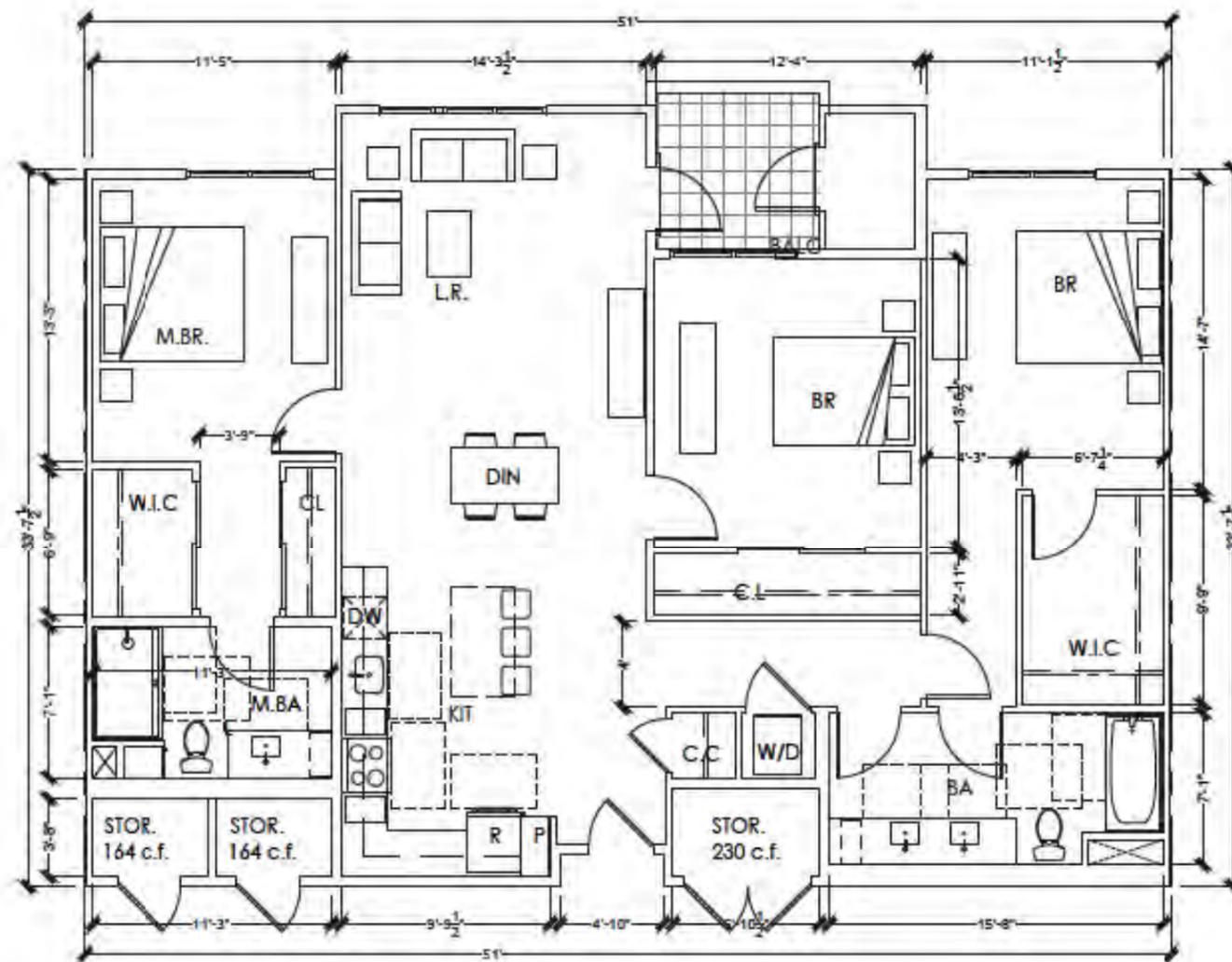


UNIT 2D
NRSF: 1,292s.f. (gross)
Balcony: 52 s.f.
Storage: 200 c.f. (Outside the unit in the corridor)
Number: 4





UNIT 2F
 NRSF: 1,096 s.f. (gross)
 Balcony: 43s.f.
 Storage: 200 c.f. (Outside unit on the corridor)
 Number: 5



UNIT 3A
 NRSF: 1,560 s.f. (gross)
 Balcony: 130 s.f.
 Storage: 200 c.f. (Outside unit on the corridor)
 Number: 5



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 UNIT PLANS
 BLOCK B

Job No. 16021
 Date: 03/09/2020
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A535



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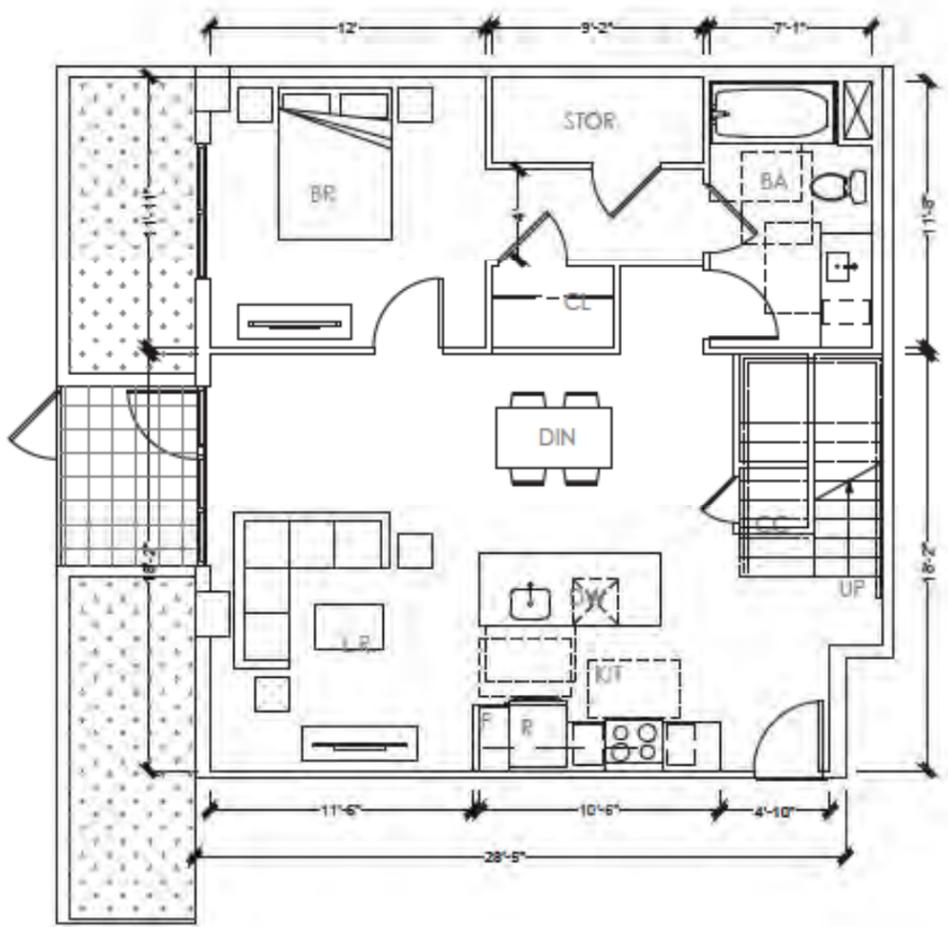
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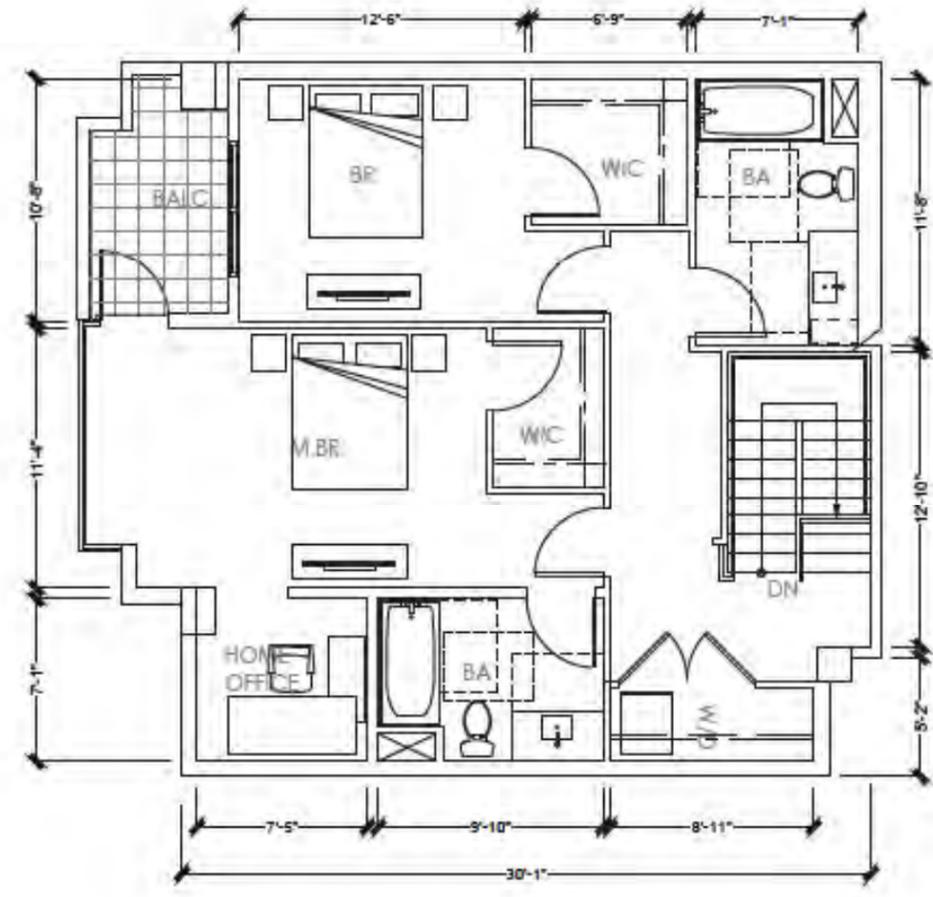
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UNIT PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
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Sheet No:
A536

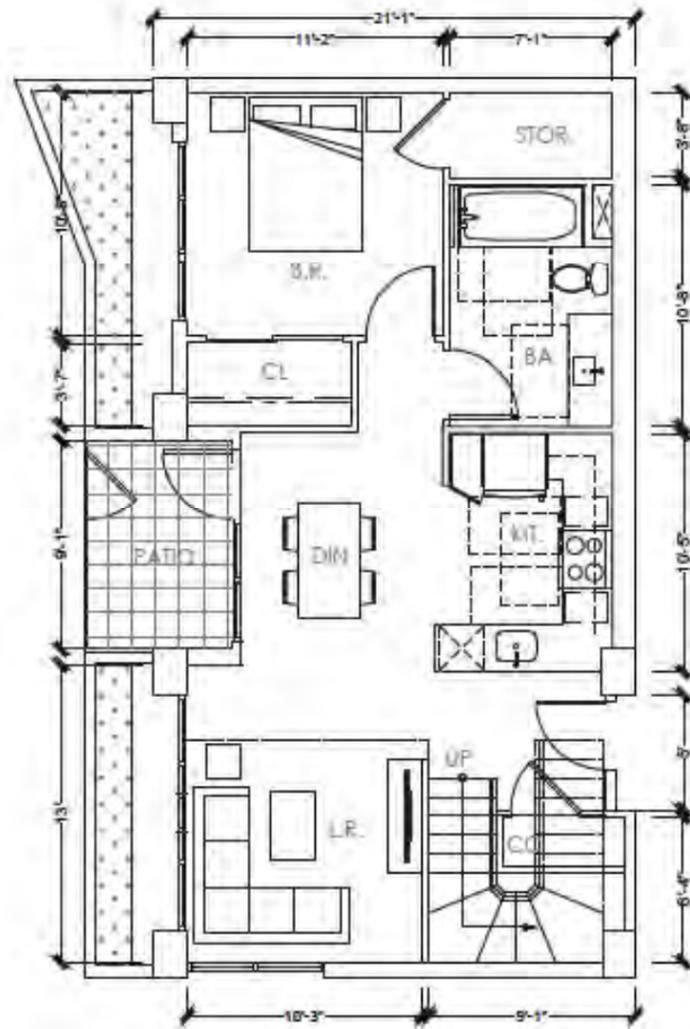


UNIT TH-1, LOWER LEVEL

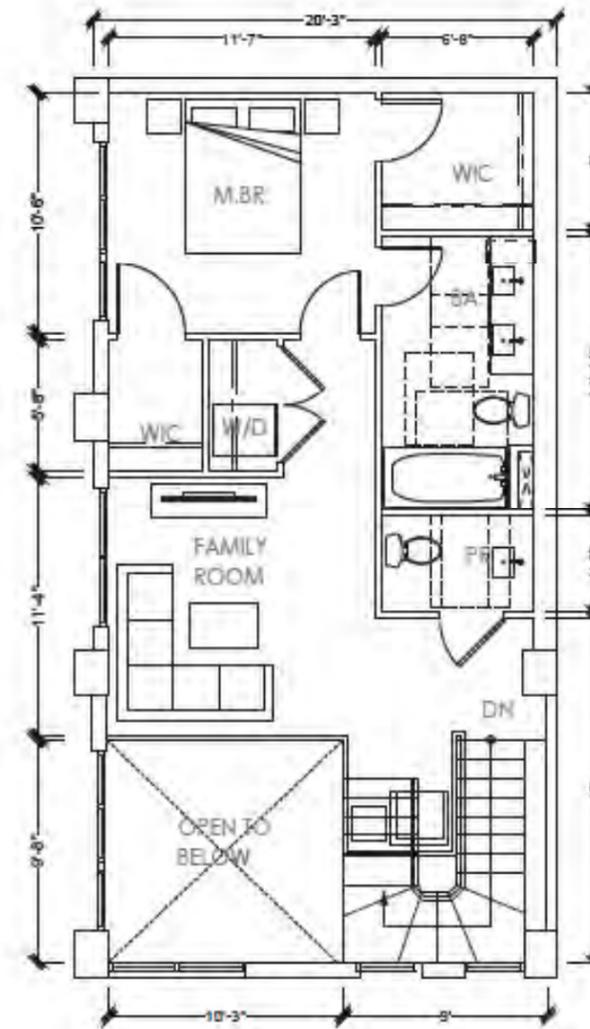


UNIT TH-1, UPPER LEVEL
3 BR, 3 BATH PLUS DEN
NRSF: 934 + 961 = 1,895 s.f.
Balcony: 55 s.f.
Patio: 47 s.f.
Storage: 200 c.f. (in unit)
Number: 1





UNIT TH-2 , LOWER LEVEL



UNIT TH-2 , UPPER LEVEL
 2 BR, 2.5 BATH PLUS FAMILY ROOM
 NRSF: 767 + 695 = 1,462 s.f.
 Patio: 57 s.f.
 Storage: 288 c.f. (in unit)
 Number: 2



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 UNIT PLANS
 BLOCK B

Job No. 16021
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A537



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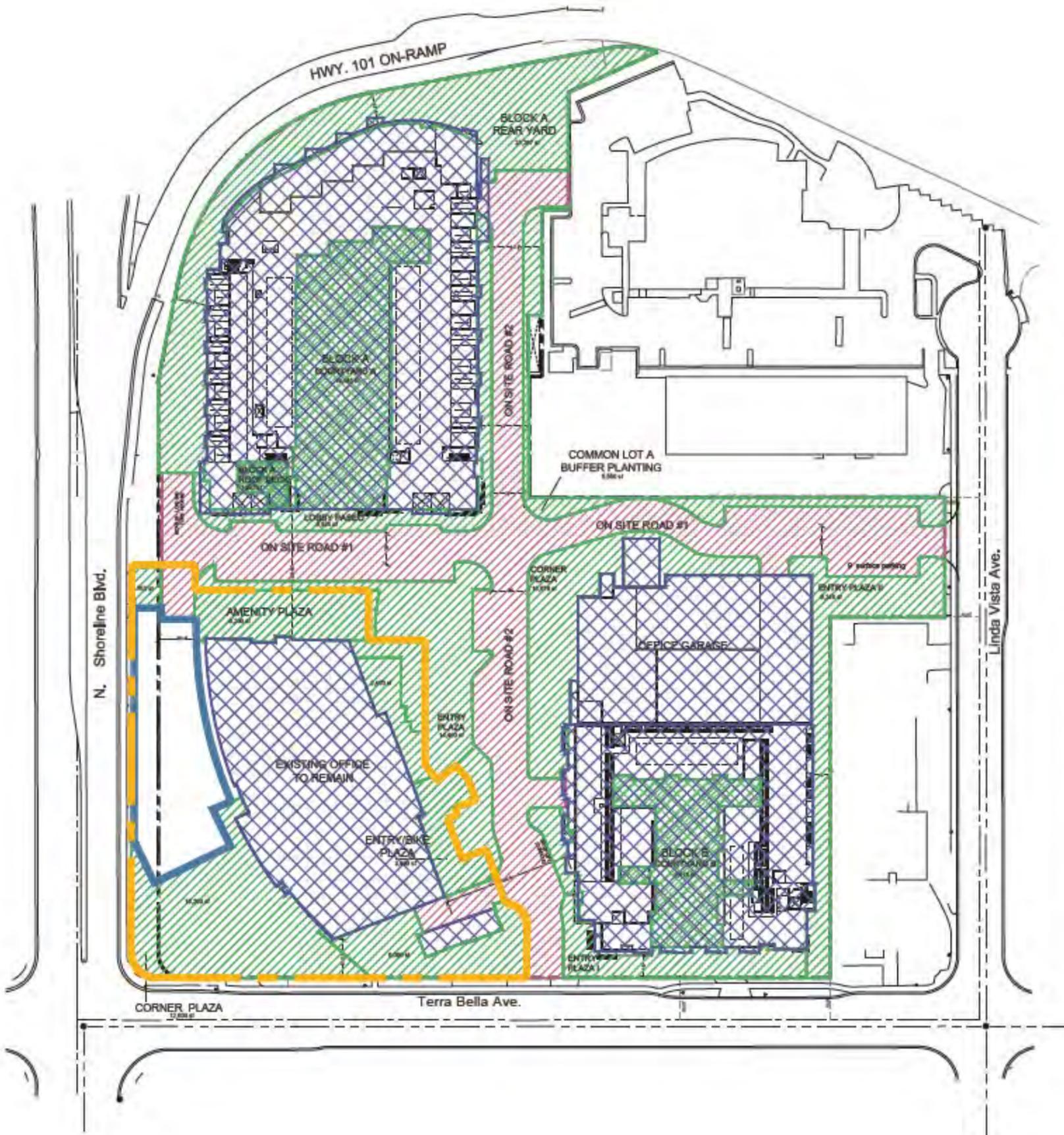
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Mountain View, California

Sheet Title:
ZONING
CALCULATION

Job No. 16021
Date: 03/09/2020
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Sheet No:
A600



| PROPOSED ZONING CALCULATIONS | | |
|------------------------------------|---------------|------------|
| | AREA | PERCENTAGE |
| TOTAL SITE AREA | 340,294.7 SF | 112% |
| SETBACKS | NOTE ON PLANS | |
| PAVING COVERAGE | 53,324 SF | 15.7% |
| BUILDING COVERAGE | | |
| BLOCK A | 65,406 SF | |
| BLOCK B | 37,616 SF | |
| OFFICE BUILDING | 31,650 SF | |
| OFFICE GARAGE | 23,100 SF | |
| OFFICE GARAGE FLEX SPACE | 900 SF | |
| ACCESSORY | 2,550 SF | |
| TOTAL | 161,221 SF | 47.4% |
| OPEN SPACE | | |
| PHASE II COMMON+PRIVATE OPEN SPACE | 150,263 SF | 44.2% |
| PHASE I OPEN SPACE | 13,130 SF | 3.9% |
| TOTAL | 163,393 SF | 48.0% |

| EXISTING ZONING CALCULATIONS | | |
|------------------------------|---|------------|
| | AREA | PERCENTAGE |
| TOTAL SITE AREA | 340,310.9 SF | 106% |
| SETBACKS | "ML" Front yard :30' Average with 20' min "ML" Rear yard: None "ML" Side yard :30' Average with 10' min | |
| PAVING COVERAGE | 170,425 SF | 50.1% |
| BUILDING COVERAGE | 28,031 SF | 8.2% |
| OPEN SPACE | 162,383 SF | 47.7% |





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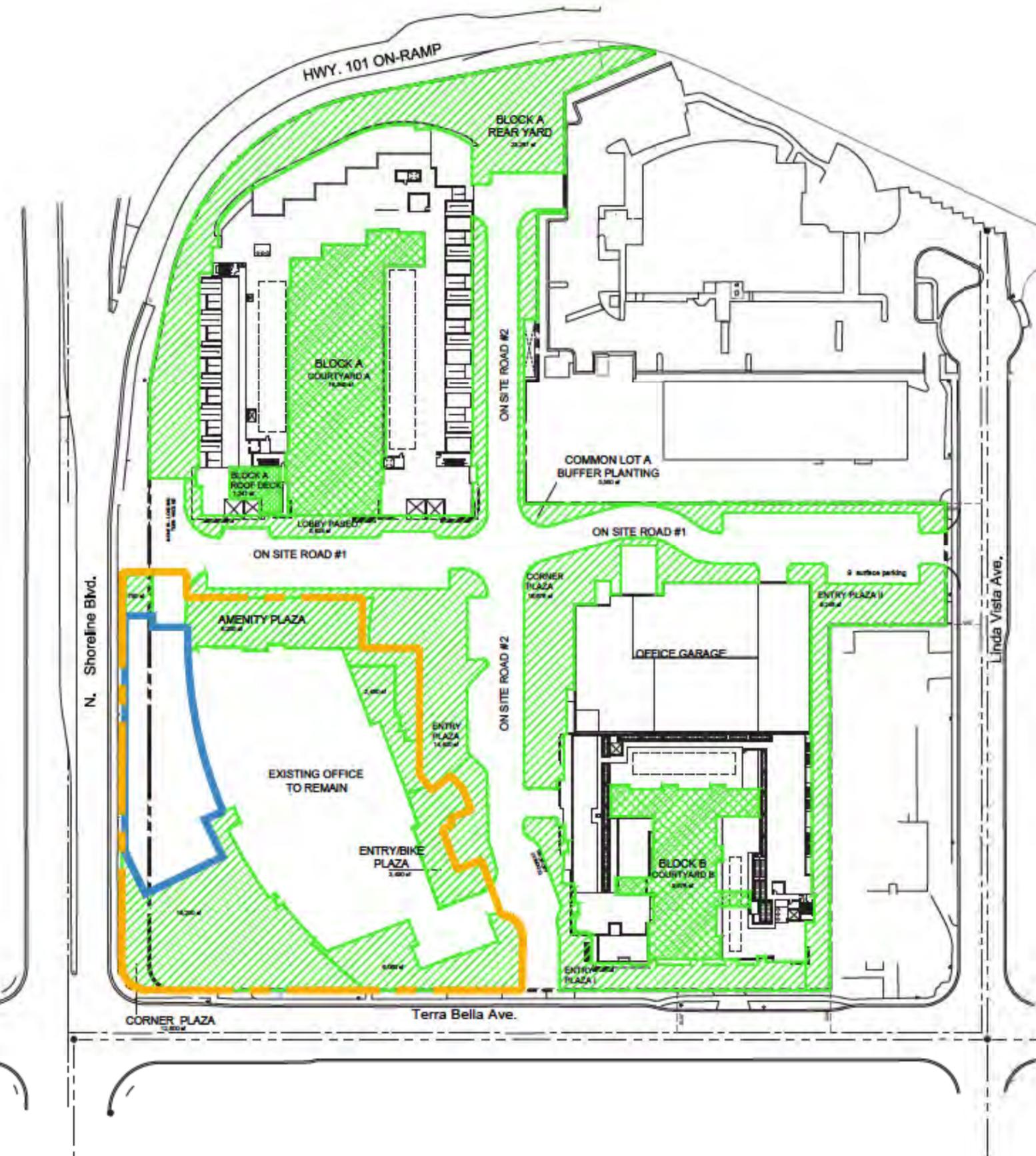
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Mountain View, California

Sheet Title:
OPEN SPACE
CALCULATION

Job No. 16021
Date: 03/09/2020
Scale:
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Sheet No:
A610



PHASE II RESIDENTIAL AREA

-  COMMON OPEN SPACE (COURTYARD)
-  COMMON OPEN SPACE (ROOF DECK)
-  COMMON OPEN SPACE (REAR YARD, PASEO, PLAZA AND PARK)

PHASE I COMMERCIAL AREA

-  PHASE 1 OFFICE SITE AREA EXISTING TO REMAIN
-  PHASE 1 OFFICE LANDSCAPING AREA (15% of the Phase 1 Existing To Remain Office Site Area)

| PHASE II RESIDENTIAL OPEN SPACE | | |
|--|--------------------|-------------------------------|
| | REQUIRED | PROVIDED |
| COMMON USABLE OPEN SPACE | | |
| BLOCK A COURTYARD A | | 18,345 SF |
| BLOCK B COURTYARD B | | 9,878 SF |
| BLOCK A REAR YARD | | 23,267 SF |
| BLOCK A ROOF DECK | | 1,247 SF |
| BLOCK A LOBBY PASEO | | 6,824 SF |
| BLOCK B CORNER PLAZA AND ENTRY PLAZA I | | 16,676 SF |
| BLOCK B ENTRY PLAZA II | | 9,246 SF |
| BUFFER PLANTING | | 5,550 SF |
| OFFICE BLOCK PARK AND ENTRY PLAZA | | 48,550 SF |
| COMMON OPEN SPACE TOTAL | | 139,583 SF |
| COMMON OPEN SPACE AVERAGE PER UNIT | | 461 SF/UNIT |
| PRIVATE USABLE OPEN SPACE (BALCONIES) | | |
| PRIVATE OPEN SPACE TOTAL | | 10,680 SF |
| PRIVATE OPEN SPACE AVERAGE PER UNIT | | 40 SF (267 deck units) |
| TOTAL COMMON+PRIVATE OPEN SPACE | 24,240 SF | 150,263 SF |
| TOTAL USABLE OPEN SPACE PER UNIT | 80 SF/UNIT* | 496 SF/UNIT |

| PHASE 1 COMMERCIAL OPEN AREA | |
|------------------------------|-----------|
| LANDSCAPING AREA | 13,130 SF |

* Per North Bayshore Precise Plan public draft Oct, 2016





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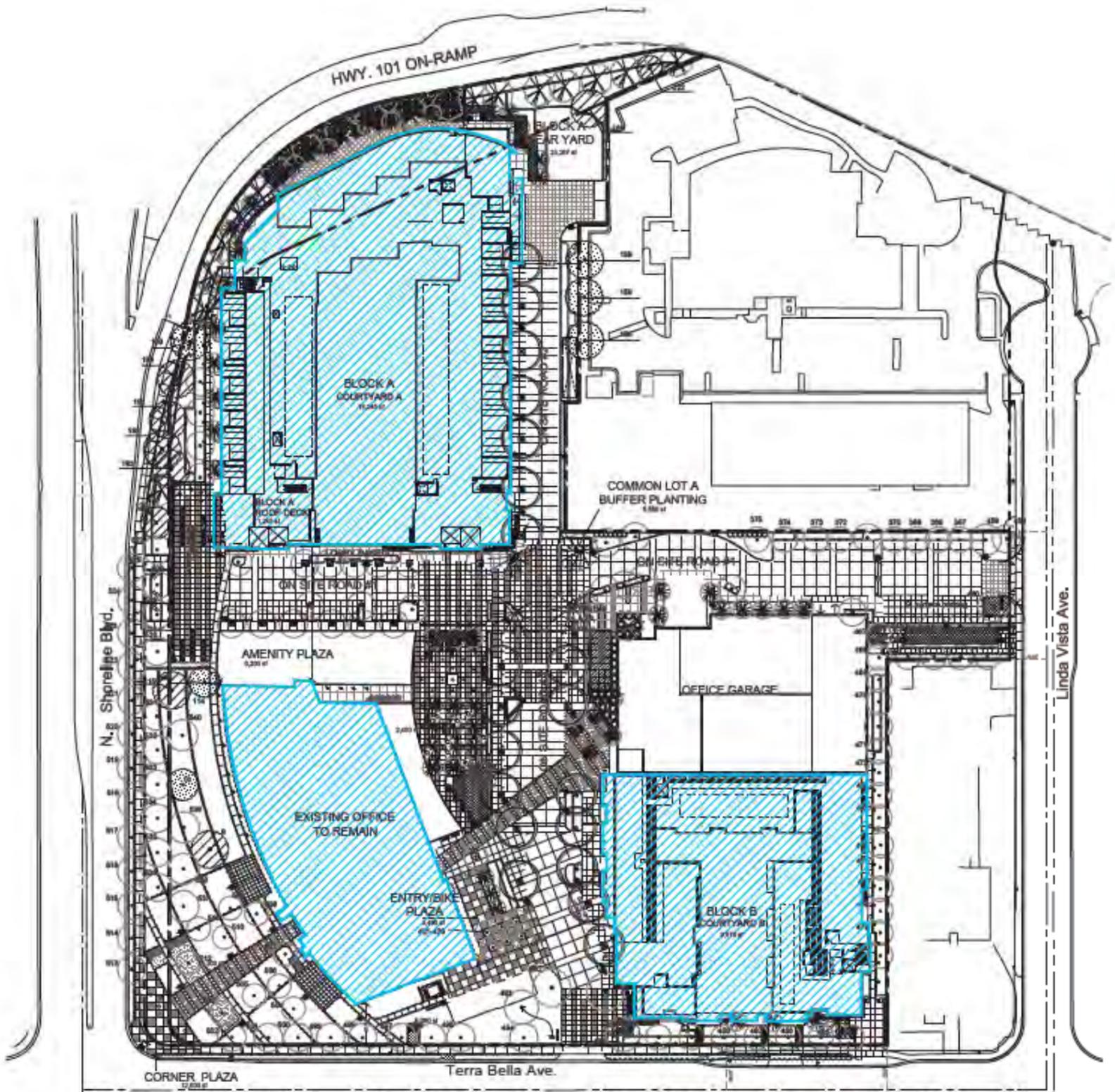
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Sheet Title: OVERALL F.A.R. CALCULATION

Job No. 16021
Date: 03/09/2020
Scale:
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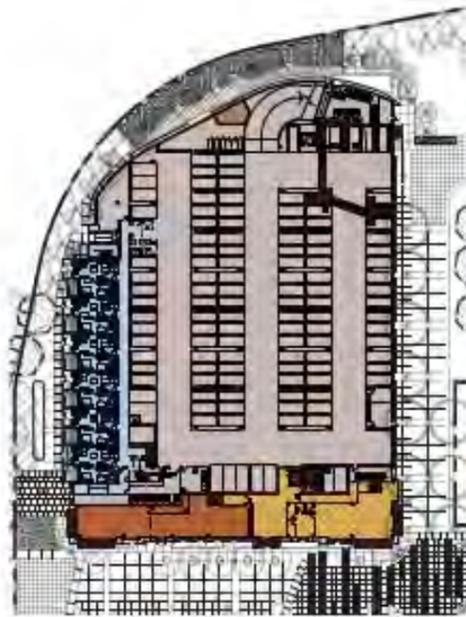
Sheet No: A620



 FAR OUTLINE
(See A621, A622 for details)

| Phase I + Phase II PROGRAM | Number |
|--|------------|
| Office (Existing structure to remain on site) | 111,443 sf |
| Block A Residential, Garage and Retail total GFA | 369,614 sf |
| Block B Residential and Garage total GFA | 203,885 sf |
| Total | 684,942 sf |
| Total Lot Area | 340,295 sf |
| FAR | 2.01 |

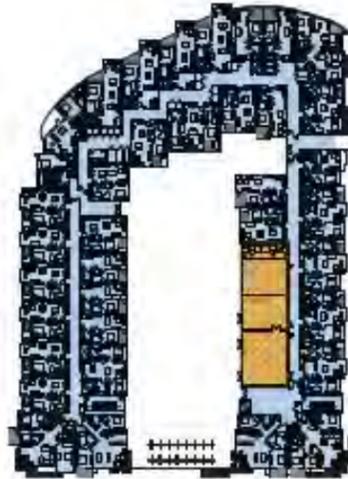




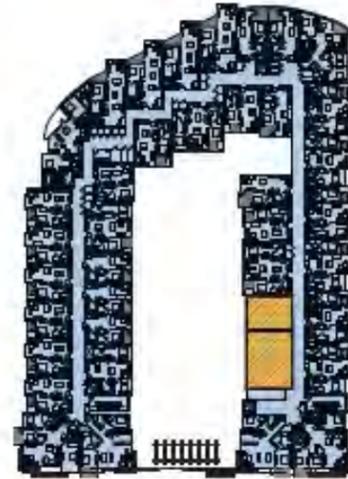
Level 1



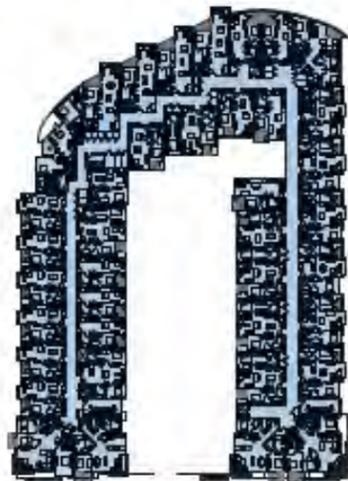
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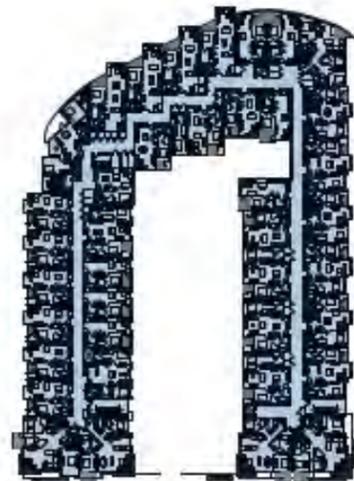
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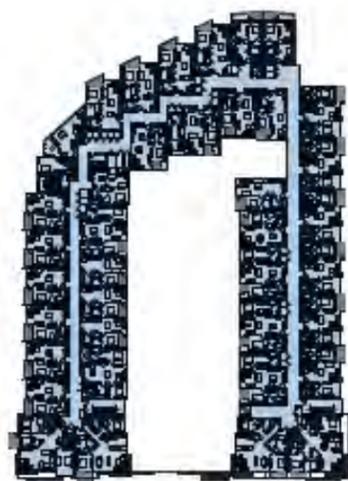
Level 4



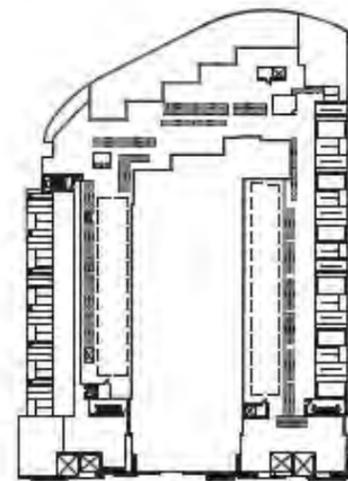
Level 5



Level 6



Level 7



Roof Level

| | | | |
|---|-------------|---|--------------------|
|  | RESIDENTIAL |  | RETAIL |
|  | AMENITIES |  | RESIDENTIAL GARAGE |

| | BLOCK A | | | | |
|--------------|-------------------|-----------|--------|--------|-------------------------------|
| | Gross Residential | Amenities | Garage | Retail | Residential with Garage total |
| Level 1 | 7,509 | 4,272 | 50,083 | 3,113 | 65,057 |
| Level 2 | 11,197 | 3,109 | 49,176 | 1,733 | 65,674 |
| Level 3 | 44,693 | 3,749 | | | 47,942 |
| Level 4 | 46,024 | 3,000 | | | 48,117 |
| Level 5 | 48,255 | | | | 48,255 |
| Level 6 | 48,255 | | | | 48,255 |
| Level 7 | 44,469 | | | | 44,469 |
| Level - Roof | 1,490 | | | | 1,490 |
| Subtotal | 252,134 | 11,120 | 99,359 | 4,846 | 367,619 |

*Note: Area measured to the exterior face of building walls, including decks that are not open to the sky. Excludes portions of decks which project beyond the face of the building. No Deductions for shafts or stairways are included.

BLOCK A RESIDENTIAL FLOOR PLANS

1" = 60'



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Sheet Title:

G.F.A.
CALCULATION
BLOCK A

Job No. 16021
Date: 03/09/2020
Scale:
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Sheet No:

A621

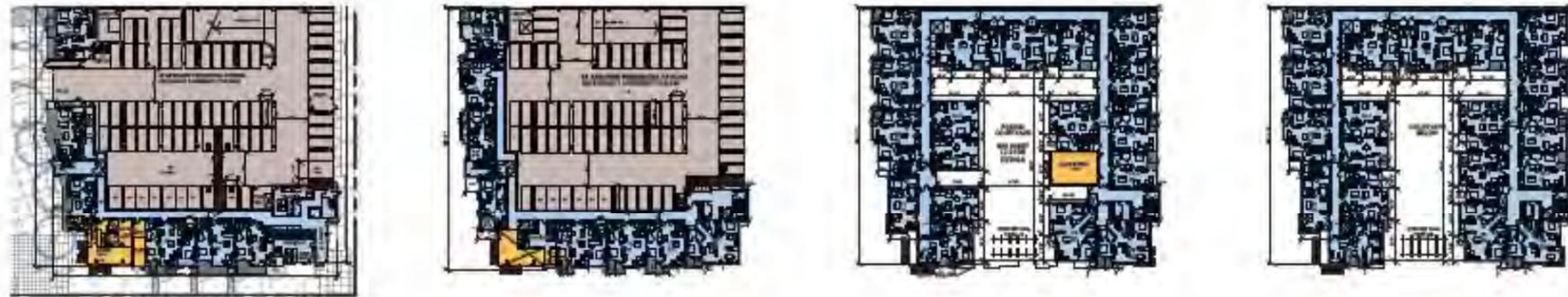




BLOCK B OFFICE GARAGE FLOOR PLANS

Office Garage is NOT included in F.A.R calculation.

1
1" = 60'



Level 1

Level 2

Level 3

Level 2



BLOCK B RESIDENTIAL FLOOR PLANS

2
1" = 60'

| BLOCK B | | | | | |
|---------|-------------------|-----------|---------------------------|-------------------------------|---------------|
| | Gross Residential | Amenities | Residential Podium garage | Residential with Garage total | Office Garage |
| Level 1 | 5,613 | 1,298 | 38,703 | 57,616 | 23,280 |
| Level 2 | 11,622 | 711 | 34,761 | 57,094 | 23,300 |
| Level 3 | 25,927 | 874 | 0 | 26,801 | 23,300 |
| Level 4 | 27,445 | | 0 | 27,445 | 23,300 |
| Level 5 | 27,450 | | 0 | 27,450 | 23,300 |
| Level 6 | 26,357 | | 0 | 26,357 | 23,300 |
| Level 7 | 30,197 | | 0 | 30,197 | |
| Roof | 948 | | | 948 | |
| | 149,539 | 2,882 | 51,464 | 303,815 | 131,010 |

Total GFA excluding the office garage 203,895 SF
 Total GFA including the office garage 335,152 SF

*Note: Area measured to the exterior face of building walls, including decks that are not open to the sky. Excludes portions of decks which project beyond the face of the building. No Deductions for shafts or stairways are included.

**Note: Office Garage is NOT included in F.A.R calculation.



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G.F.A.
 CALCULATION
 BLOCK B

Job No. 16021
 Date: 03/09/2020
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A622





MAR/SEP 21st 10AM



JUN 21st 10AM



DEC 21st 10AM



MAR/SEP 21st 12PM



JUN 21st 12PM



DEC 21st 12PM



MAR/SEP 21st 3PM



JUN 21st 3PM



DEC 21st 3PM



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Sheet Title:
SOLAR STUDY

Job No. 16021
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A640





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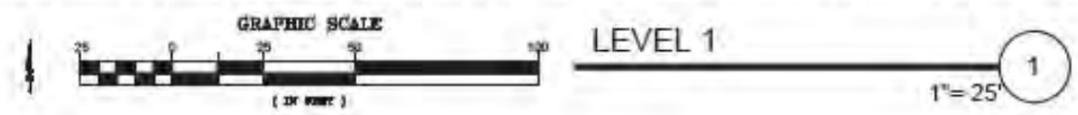
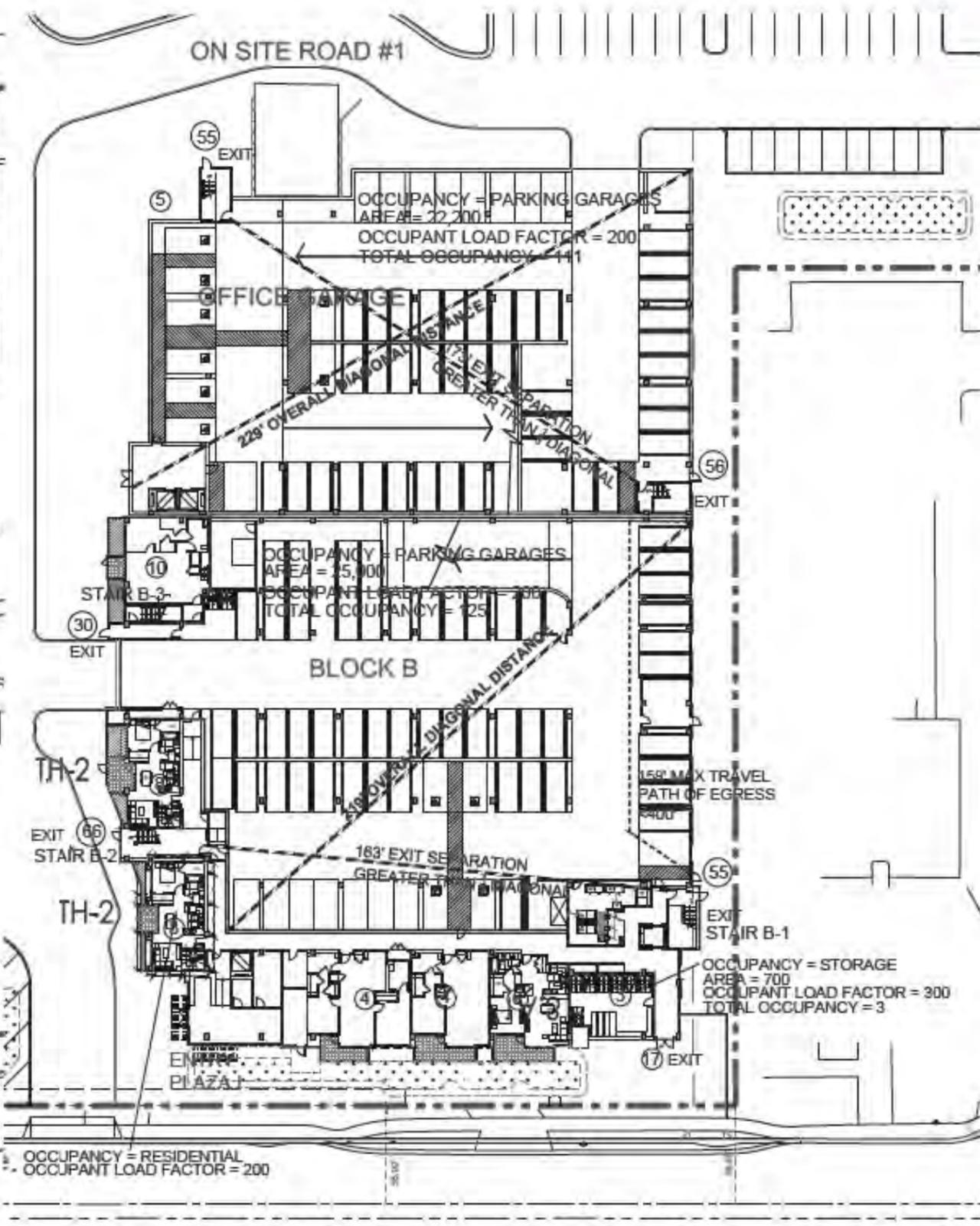
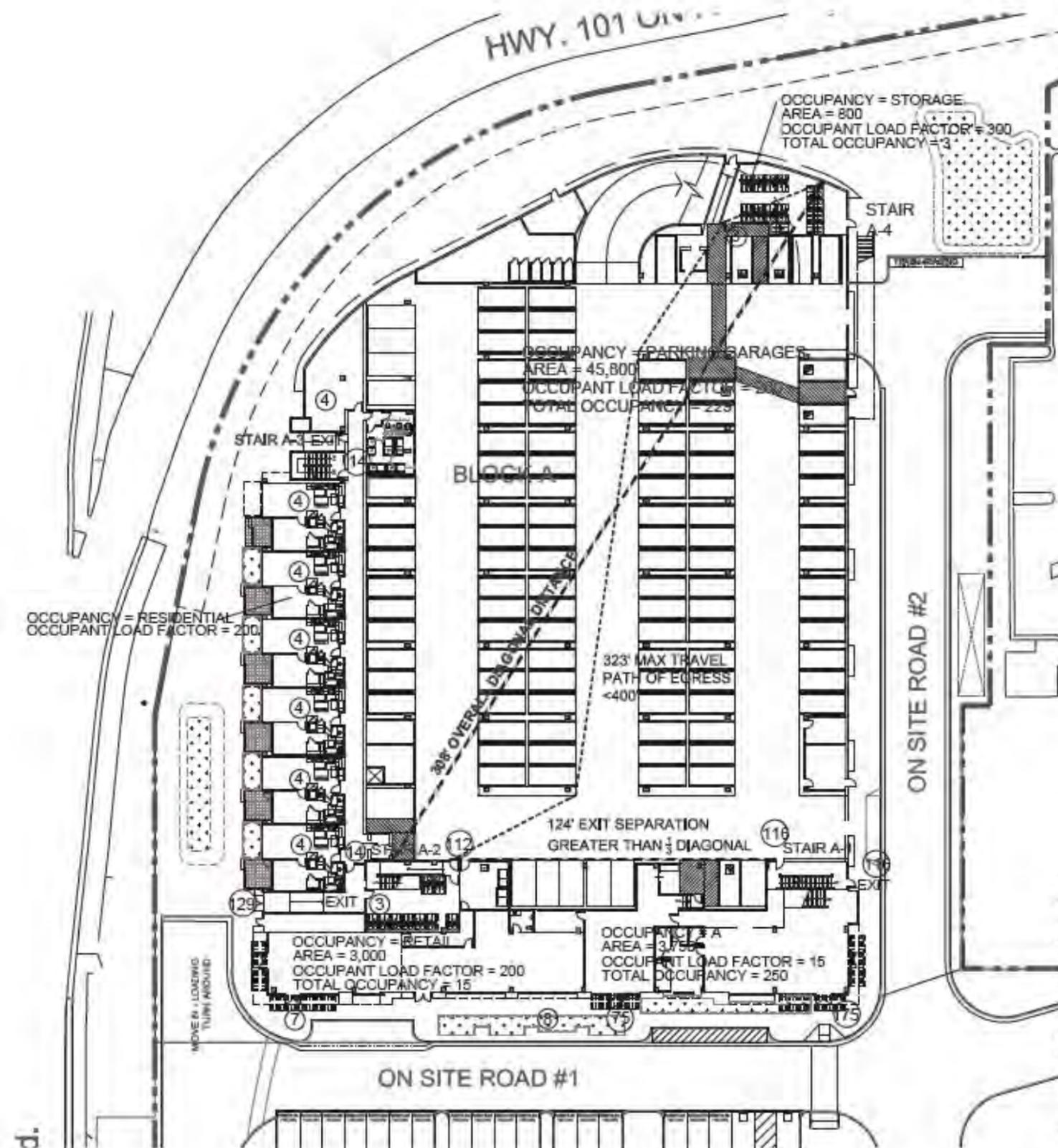
The Residences
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Mountain View, California

Sheet Title:
OCCUPANT LOAD CALCULATION

Job No. 16021
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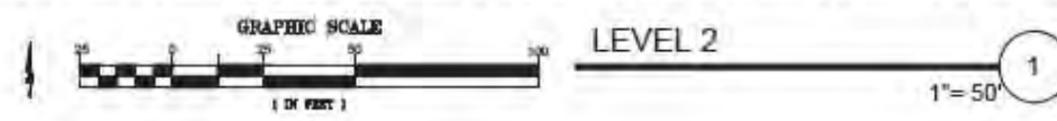
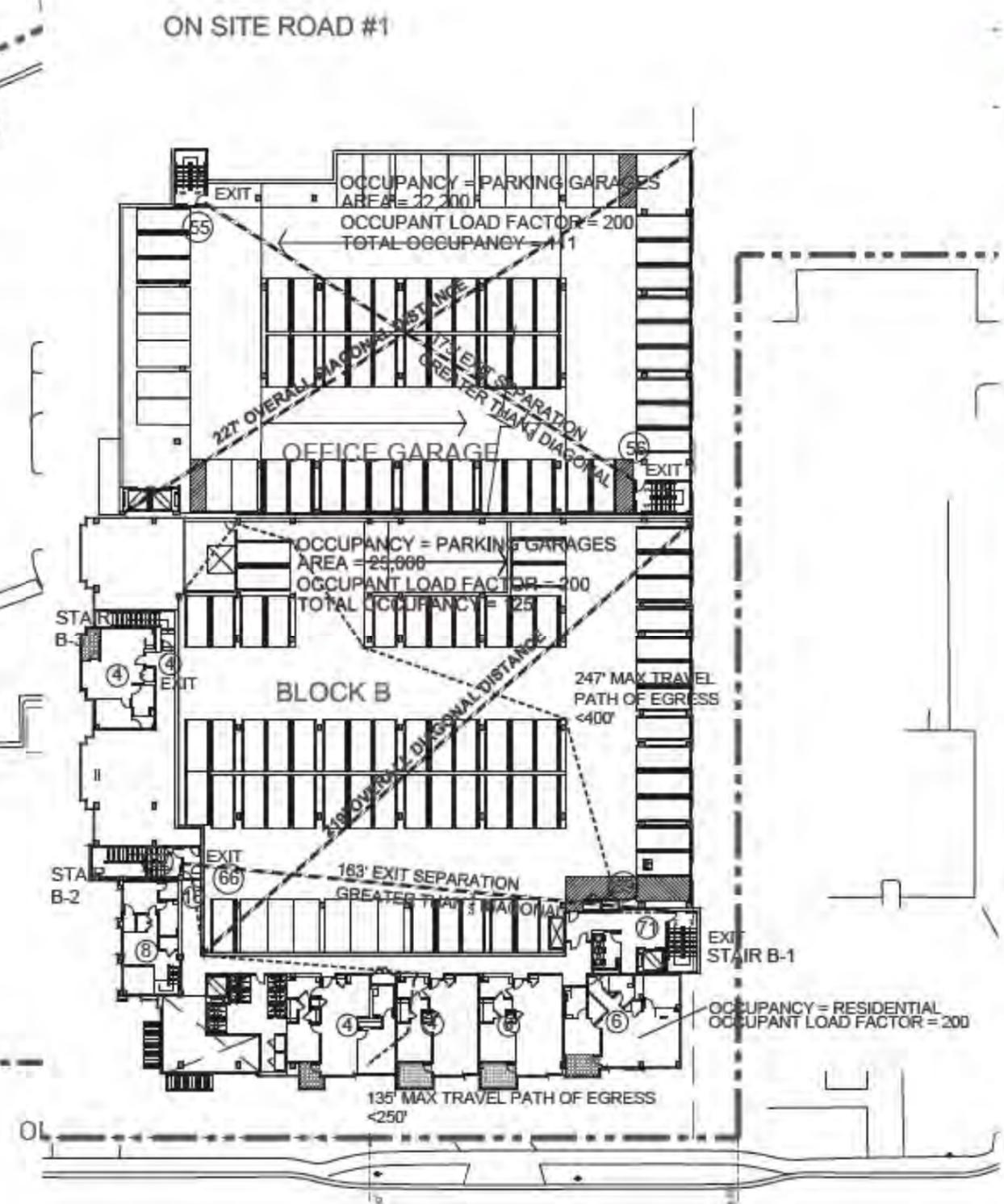
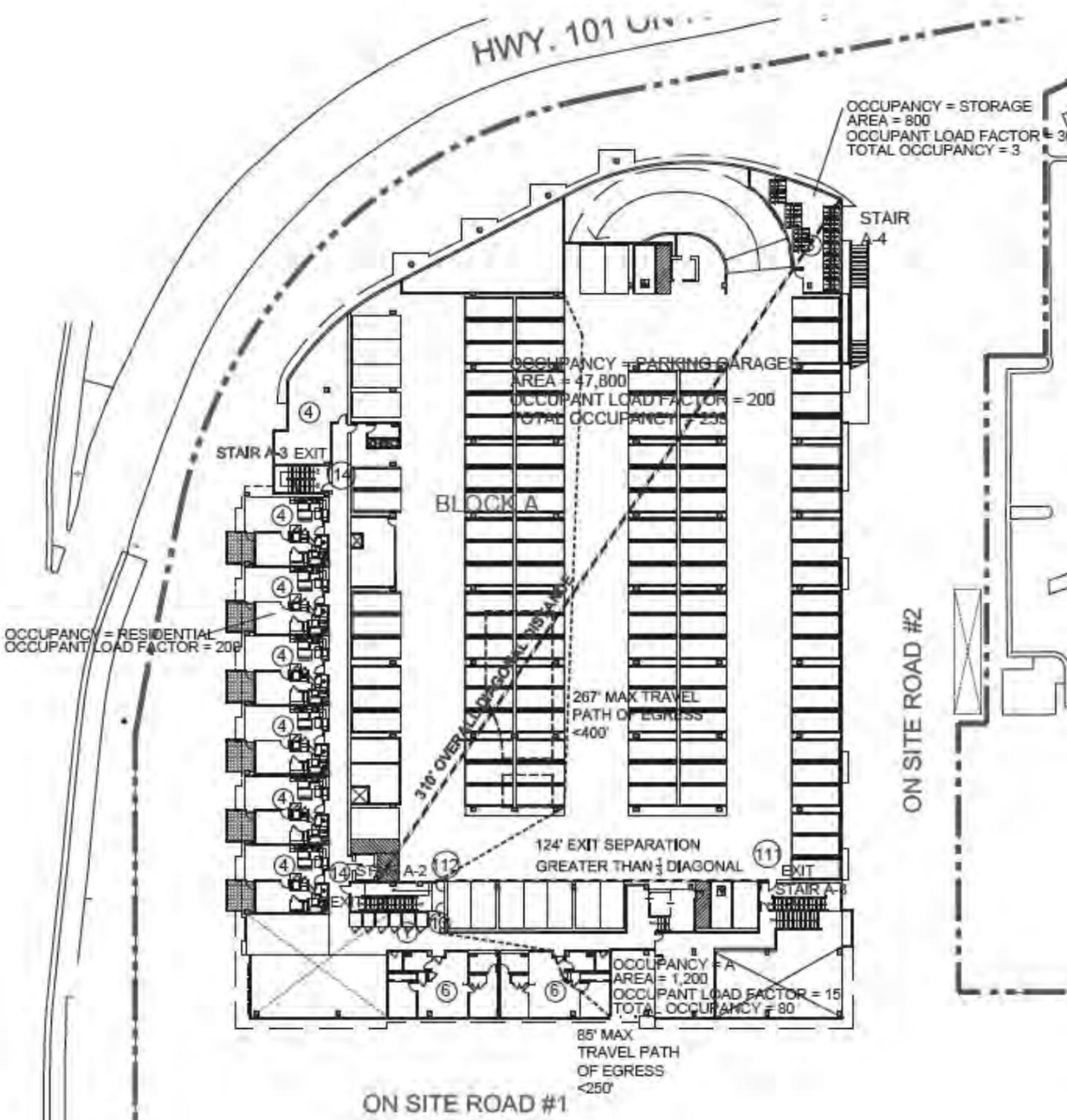
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Job No. 16021
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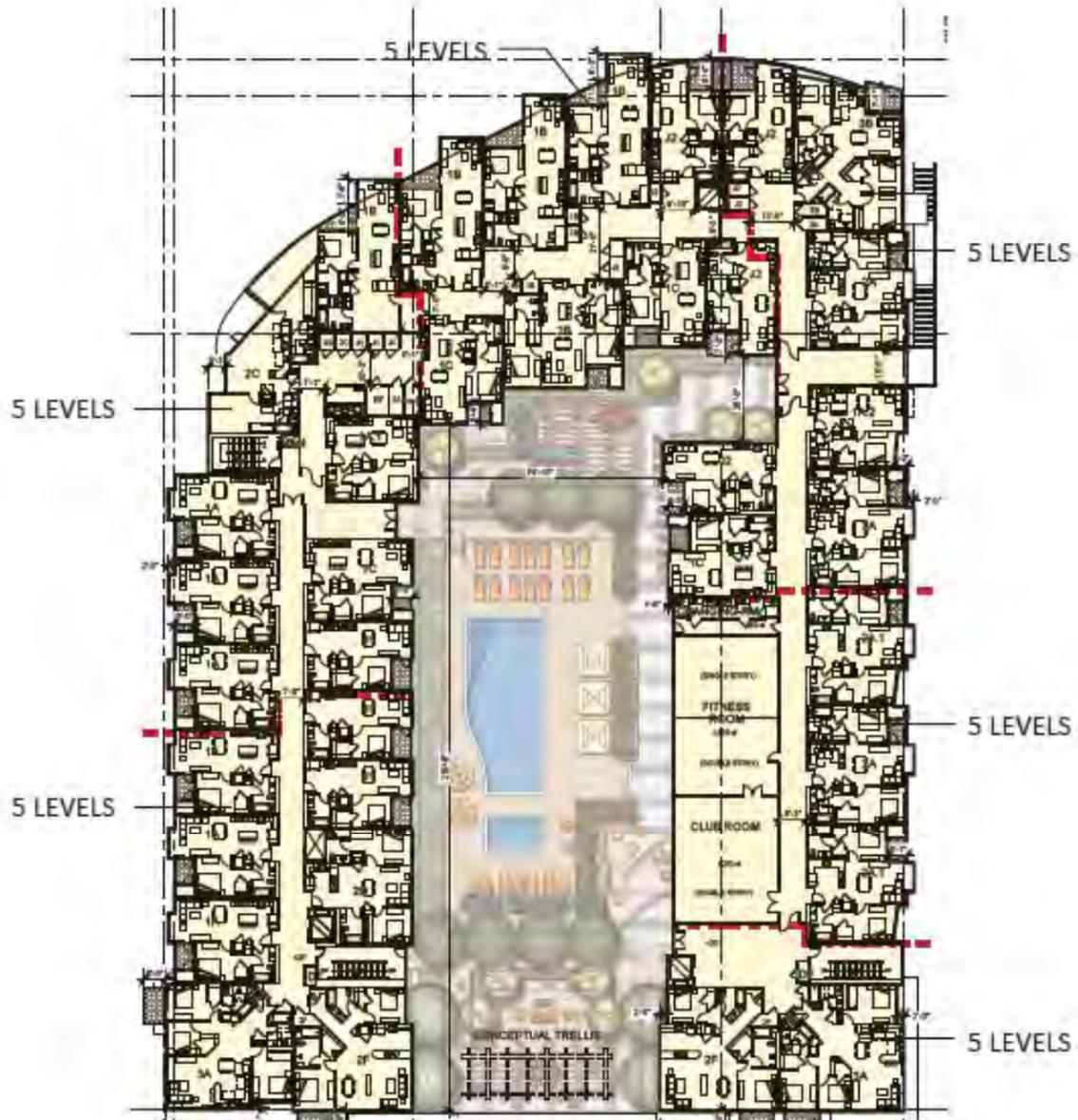
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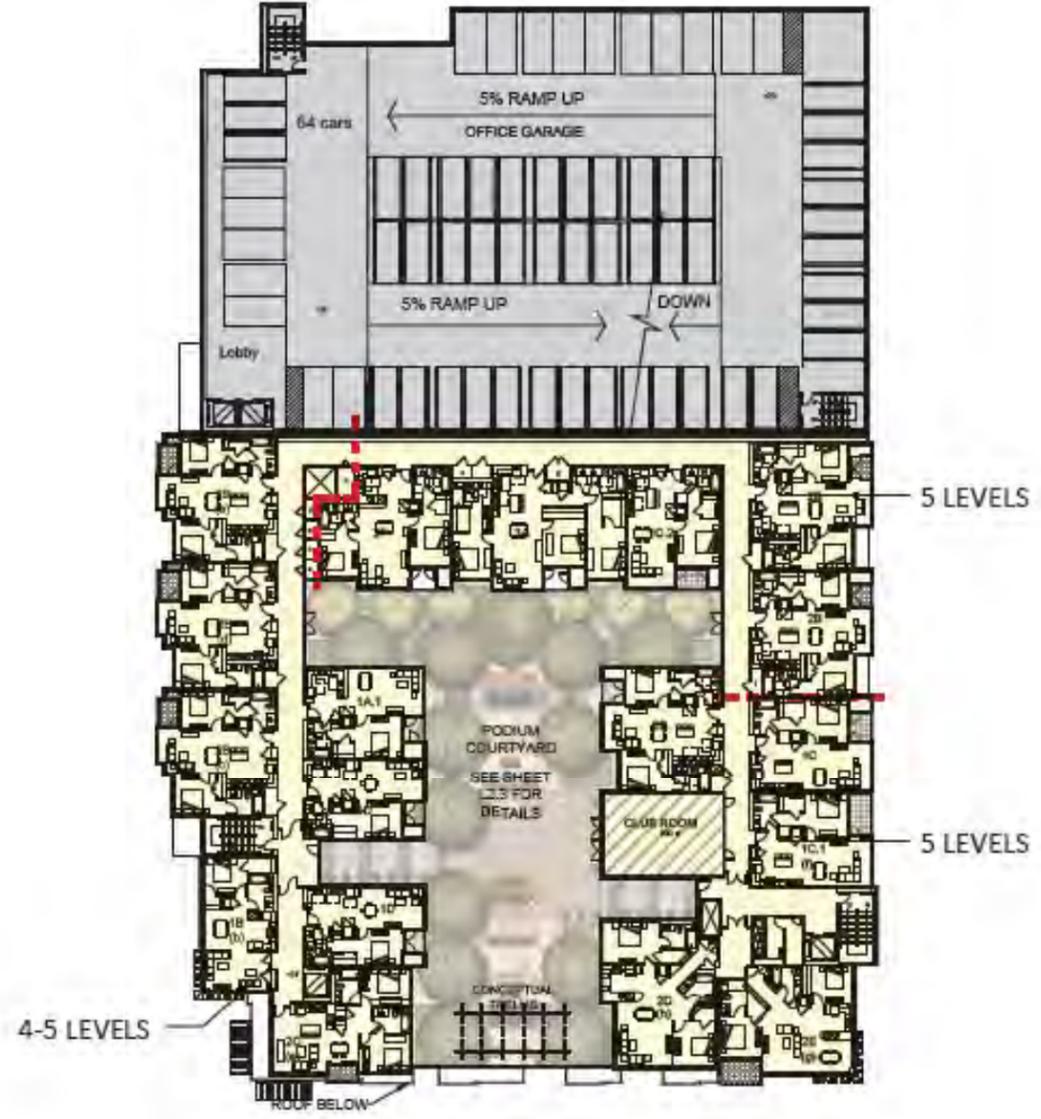
Sheet Title:
**ALLOWABLE AREA
CALCULATION AND
FIRE SEPARATION**

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A660



**BLOCK A - APARTMENT
LEVEL 3 - TYPICAL**



**BLOCK B - CONDOMINIUM
LEVEL 3 - TYPICAL**

ALLOWABLE BUILDING AREA PLAN

| | RESIDENTIAL BUILDING: TYPE III-A OCCUPANCY: R-2 | RESIDENTIAL BUILDING: TYPE I-A OCCUPANCY: R-2 | PARKING STRUCTURE: TYPE I-A OCCUPANCY: S-2 |
|---|--|--|---|
| TABLE 504.3 -ALLOWABLE BUILDING HEIGHT | 5 (WITH HEIGHT INCREASE) | UL | UL |
| TABLE 504.4 -ALLOWABLE BUILDING HEIGHT | 85 FT. | UL | UL |
| TABLE 505.2 -ALLOWABLE AREA | 24,000 S.F. | UL | UL |
| TABLE 506.2.3 -AREA INCREASE SINGLE OCCUPANCY, MULTISTORY BUILDINGS (EQUATION 5-2) $A_a = [A_t + (N \times k)] \times S_a$ | 48,000 S.F. (9,600 S.F. PER LEVEL) | N/A | N/A |

----- 3 HOUR FIRE WALL, TYP.
TERMINATE AT INTERIOR SURFACE OF EXTERIOR SHEATHING PROVIDED.
NO EXTERIOR PENETRATIONS FOR 4' ON EITHER SIDE.

NOTE:
- ALL ELEVATORS EMPLOY EMERGENCY POWER BY BACKUP GENERATOR
- ALL ELEVATORS ARE SIZED TO ACCOMMODATE GURNEYS
- ALL BLDG. EXITS LEAD TO ADA ACCESSIBLE EXIT TO PUBLIC SIDEWALK



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Sheet Title:
PODIUM EXITING
PLAN - BLOCK A

Job No. 16021
Date: 03/09/2020
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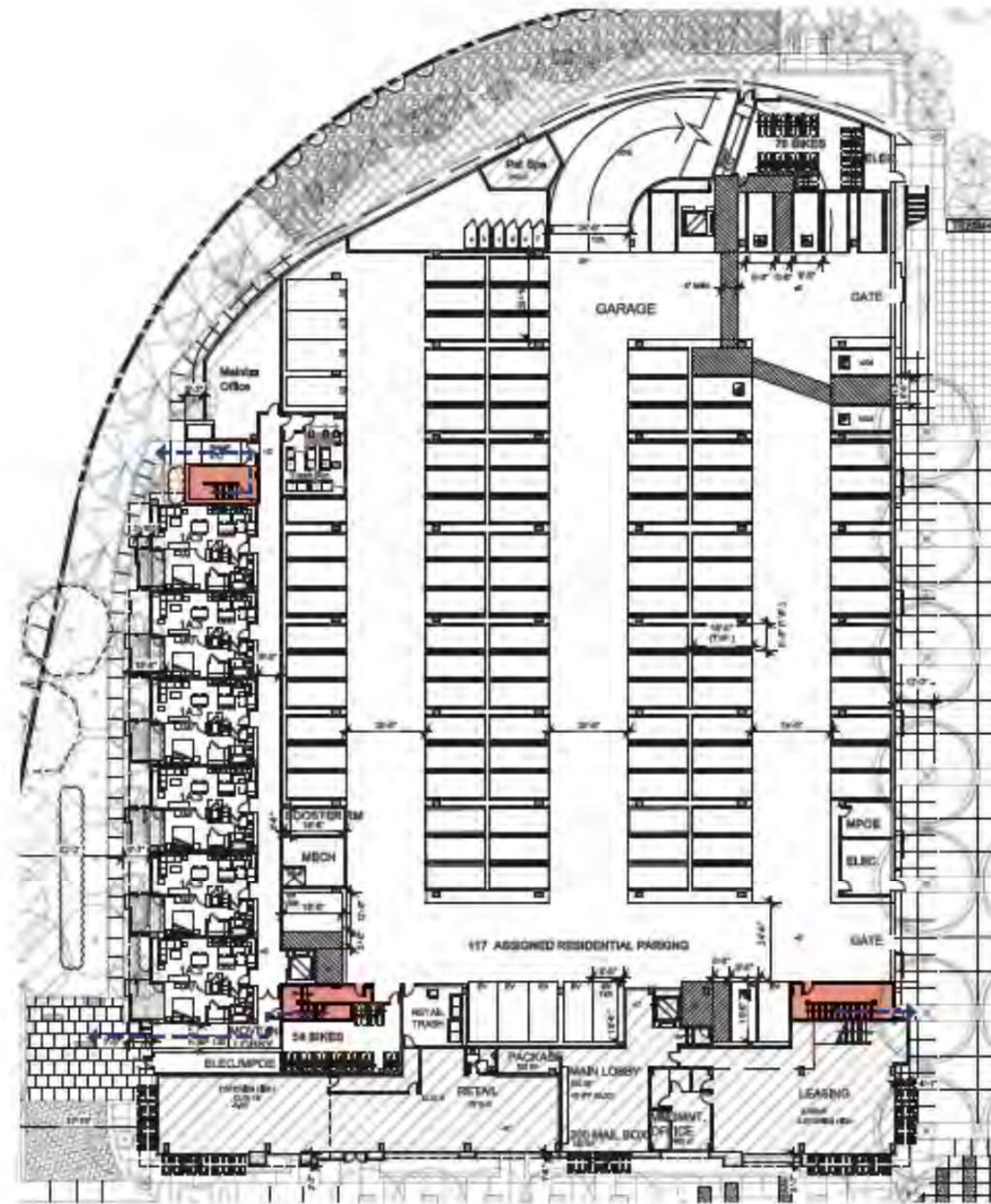
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BLOCK A - APARTMENT - PODIUM LEVEL

-  OVERALL DIAGONAL
-  EXITING ROUTES
-  2HR EXIT STAIRCASES

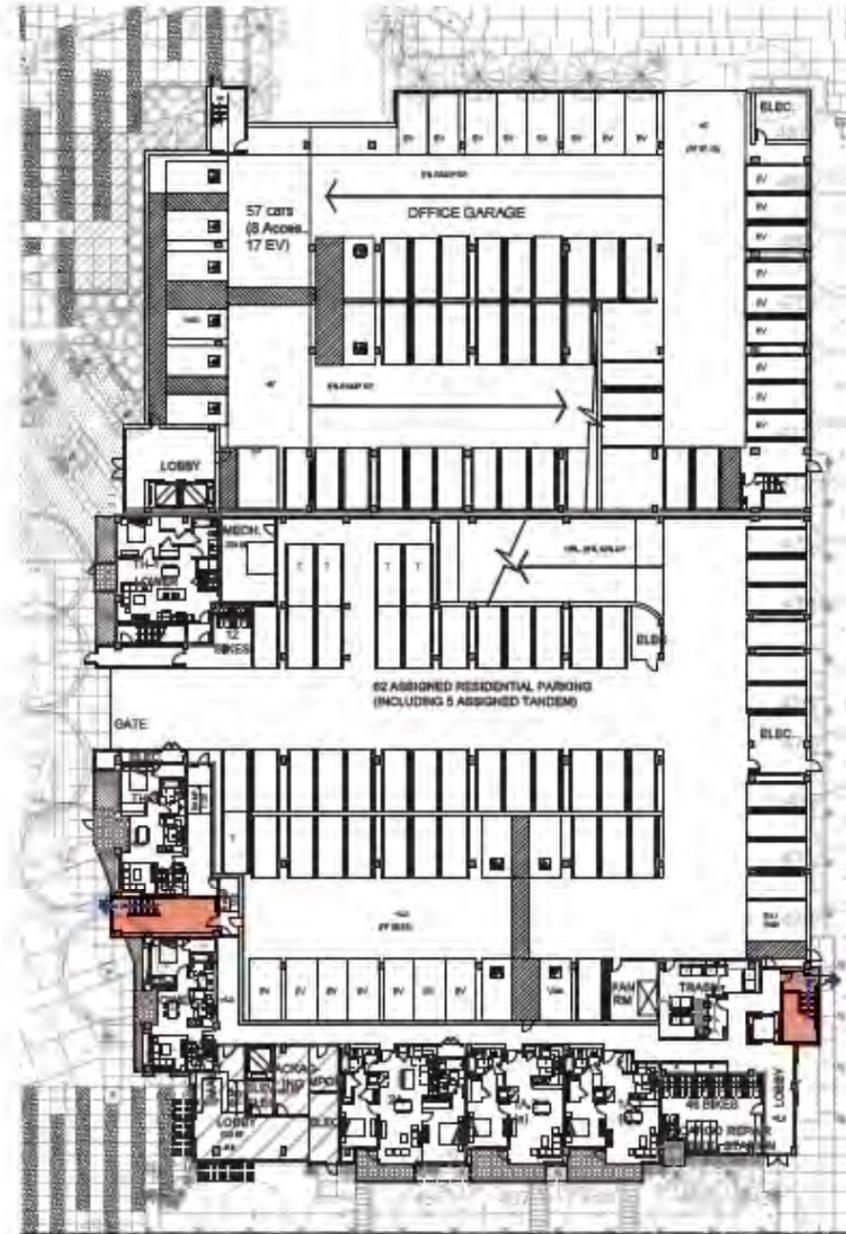


BLOCK A - APARTMENT - GROUND LEVEL



BLOCK B - CONDOMINIUM - PODIUM LEVEL

- - - OVERALL DIAGONAL
- - - EXITING ROUTES
- 2HR EXIT STAIRCASES



BLOCK B - CONDOMINIUM - GROUND LEVEL



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PLAN - BLOCK B

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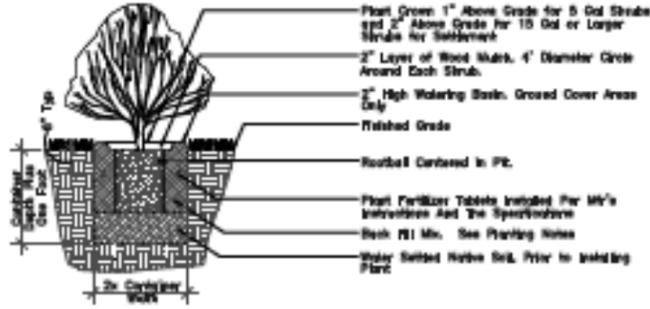
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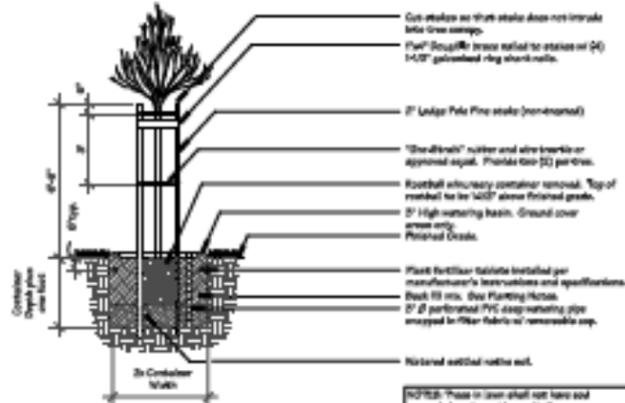
PLANTING NOTES

THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY

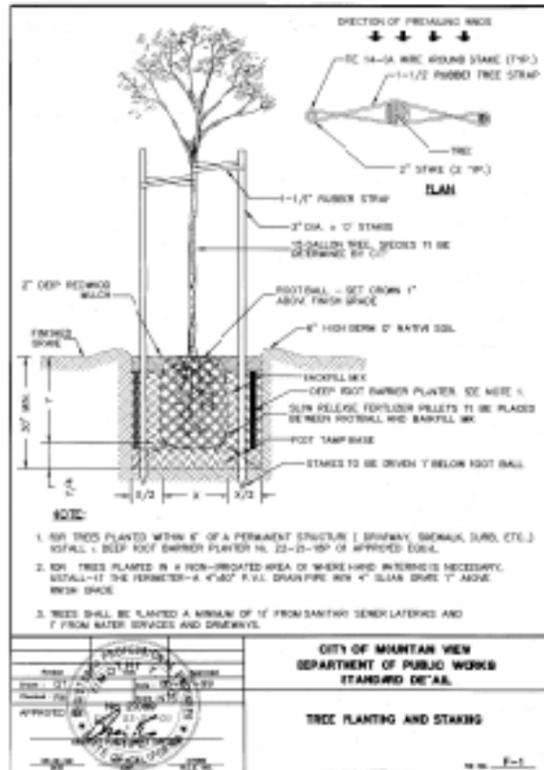
- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any unlabeled or un-sized tree, 5 gallon plant for any unlabeled or un-sized shrub; and 4" pots @ 12" o.c. (not flats) for any unlabeled ground cover. All planting beds, except for lawns, are to receive ground cover plant installation in addition to the shrubs and trees shown on the plans.
- The planting area shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sq ft and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfi.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 5-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil.
- The General Contractor is to provide an agricultural soil analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All street trees to be installed in accordance with the standards and specifications of the City of Mountain View. Contractor to verify tree species/cultivar specification(s) with City Arborist (or designated municipal authority) prior to acquisition and installation of all street trees. Contractor to obtain written, signed documentation from the City Arborist (or designated municipal authority) confirming the species/cultivar specification(s) to be installed including installation site and installation detailing.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- All planting areas, except lawn and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-plant planting jobs. Mulch shall be brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Mountain View, California.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- The lawn shall be Pacific Sod "Medallion", installed per Pacific Sod's specifications. Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for treeing purposes.
- Trees shall be planted to anticipate settlement.
- Plant material requiring iron supplements shall have chelated iron foliar feeding applications per manufacturer's specifications. See specifications for materials.
- All trees noted with "deep root" and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications for materials.
- Ground cover shall be planted as shown on the plan, including under shrubs and in tree watering basins.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.



Shrub Planting Detail
Not to Scale



Tree Staking Diagram
Not to Scale



Tree Staking Diagram for Trees within the Public Rights-of-Way

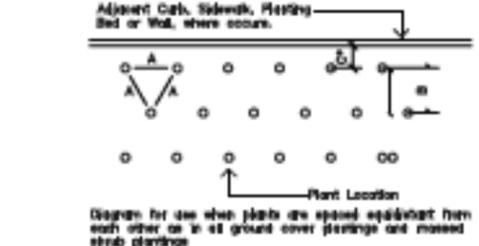
PLANT PALETTE

| KEY | QTY | BOTANICAL NAME | COMMON NAME | CULTIVAR | COMMENTS | APPROX QTY | WUOLLS | CA NATIVE |
|----------------------|----------|--------------------------|---------------------------|-------------|--|------------|--------|-----------|
| ACC PAL | See Plan | Acer palmatum | Corel Bark Japanese Maple | 'Sangozan' | | 34 | M | |
| ACE RUB | See Plan | Acer rubrum | Red Maple | 'Bowhall' | | 11 | M | |
| CHA HUM | See Plan | Chamaecyparis funifolia | Minimus Japanese Fan Palm | | | 17 | L | |
| LAG YUS | See Plan | Lagerströmia speciosa | Crape Myrtle | 'Tuscarora' | Standard | 14 | L | |
| MAG GRA | See Plan | Magnolia grandiflora | Southern Magnolia | 'Russell' | | 16 | M | |
| OLE EUR | See Plan | Olea europaea (Fraxinus) | Fraxinus Olive | | | 16 | VL | |
| PLA ACE | See Plan | Platanus acerifolia | London Plane Tree | 'Columbia' | | 20 | M | |
| POP FRE | See Plan | Populus fremontii | Freemont Cottonwood | | | 27 | M | Y |
| QUE VER | See Plan | Quercus venusta | Southern Live Oak | | | 8 | M | |
| TR CON | See Plan | Tilia cordata | Melrose Elm | | per City Master Plan Street Tree List 2013 | 4 | M | |
| ULM PAR | See Plan | Ulmus parviflorus | Evergreen Elm | 'Synaui' | | 26 | L | |
| Total Proposed Trees | | | | | | 182 | | |

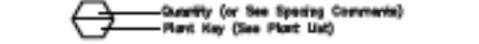
| KEY | QTY | BOTANICAL NAME | COMMON NAME | CULTIVAR | COMMENTS/SPACING | APPROX QTY | WUOLLS | CA NATIVE |
|-----|-----------|------------------------|------------------------------|-------------------|------------------|------------|--------|-----------|
| ACC | 5 gallon | Acacia cognata | Dwarf Acacia | 'Cousin Et' | 48" x 60" | 142 | L | |
| AGA | 15 gallon | Agave americana | Hanford's Century Plant | | 42" x 60" | 8 | VL | |
| ALY | 5 gallon | Albizia julibrissis | Blue Hibiscus | 'Woodbridge' | 48" x 60" | 91 | L | |
| AMB | 5 gallon | Andropogon scoparius | Kangaroo Paw | 'Bush Red' | 30" x 60" | 268 | L | |
| ASP | 5 gallon | Asparagus densiflorus | Myers Asparagus | 'Myers' | 36" x 60" | 131 | M | |
| GAA | 5 gallon | Galium aparine | Rice Grass | | 30" x 60" | 79 | M | Y |
| CA | 5 gallon | Callistemon viminalis | Dwarf Callistemon | 'Little Jewel' | 36" x 60" | 31 | L | |
| DAR | 5 gallon | Darwinia acuminata | Slender Sedge | | 36" x 60" | 20 | L | Y |
| DHO | 5 gallon | Dichropteryx aegyptia | Olea Rush | | 30" x 60" | 369 | L | |
| DA | 5 gallon | Dianella caerulea | Flax Lily | 'Baby Blue' | 18" x 60" | 131 | M | |
| DE | 5 gallon | Dielsia bicolor | Dwarf Fennel Lily | 'Orange Drop' | 30" x 60" | 568 | L | |
| ELY | 5 gallon | Elymus glaucus | Blue Wildrye | | 30" x 60" | 34 | L | Y |
| ESC | 5 gallon | Escallonia ovata | Escallonia | 'Yves' | 48" x 60" | 18 | M | |
| FES | 5 gallon | Festuca californica | California Fescue | 'Serpentine Blue' | 18" x 60" | 378 | L | Y |
| HSM | 5 gallon | Hemerocallis cultivars | Daylily | 'Odds and Ends' | 30" x 60" | 45 | M | |
| JL | 5 gallon | Juncus virens | Dwarf Yarrow Herb | 'Stakeout Dwarf' | 30" x 60" | 8 | L | |
| JE | 5 gallon | Juniperus horizontalis | Douglas Juniper | | 30" x 60" | 429 | L | Y |
| JUN | 5 gallon | Juniperus effusa | Common Juniper | | 36" x 60" | 1876 | M | Y |
| LAG | 15 gallon | Lagerströmia indica | Crape Red Dwarf Crape Myrtle | 'Mardi' | See Plan | 3 | L | |
| LAV | 5 gallon | Lavandula angustifolia | True Lavender | 'Major' | 30" x 60" | 365 | L | |
| LAT | 5 gallon | Lavatera thuringiaca | Tree Malva | 'Red Run' | 30" x 60" | 16 | M | |
| LOM | 5 gallon | Lonicera longifolia | Dwarf Wax Bush | 'Breeze' | 30" x 60" | 763 | L | |
| MN | 5 gallon | Mitella aurea | Holly Money Tree | | 30" x 60" | 13 | VL | Y |
| MUH | 5 gallon | Muhlenbergia ovata | Flax Flamingo Muntz | 'Flax Flamingo' | 30" x 60" | 85 | L | |
| PHO | 5 gallon | Phoradendron | New Zealand Flax | 'Sweeping Red' | 30" x 60" | 83 | L | |
| PH | 5 gallon | Phoradendron | New Zealand Flax | 'Dust' | 36" x 60" | 304 | L | |
| POL | 5 gallon | Polypodium | Sweet Pea Shrub | 'Miss Malabar' | 30" x 60" | 198 | M | |
| PRU | 5 gallon | Prunus laurocerasus | Dwarf English Laurel | 'Olio Layton' | 48" x 60" | 20 | M | |
| RHA | 5 gallon | Rhamnus californica | California Coffee Bush | 'Mount San Bruno' | 30" x 60" | 74 | L | Y |
| ROA | 5 gallon | Rosa californica | California Rose | | 48" x 60" | 13 | L | Y |
| SAL | 5 gallon | Salvia leucantha | Cleveland Sage | | 30" x 60" | 12 | L | Y |
| VER | 15 gallon | Verbena stricta | Sweet Verbena | 'Cinder' | 60" x 60" | 13 | M | |

| KEY | QTY | BOTANICAL NAME | COMMON NAME | CULTIVAR | COMMENTS/SPACING | APPROX QTY | WUOLLS | CA NATIVE |
|-----|----------|-------------------------|---------------------|-----------------|--------------------|------------|--------|-----------|
| MOU | Sod | Monarda pauciflora | Hybrid Fescue Grass | | See Planting Notes | 913 sf | | |
| AJ | 1 gallon | Arctostaphylos uva-ursi | Common Bearberry | 'Massachusetts' | 48" x 60" | 187 | L | |
| EW | 1 gallon | Elymus ovatus | Wayne Russian Oat | 'Wayne Russian' | 30" x 60" | 67 | M | |
| MP | 1 gallon | Myoporum parviflorum | Creeper Myoporum | | 30" x 60" | 9 | L | |
| SA | 1 gallon | Sedum album | White Stonecrop | | 6" x 60" | 1488 | L | |
| SR | 1 gallon | Sedum ruberum | Red Stonecrop | | 6" x 60" | 468 | L | |
| TJ | 1 gallon | Trachypogon barbatus | Star Jasmine | | 36" x 60" | 267 | L | |

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

| SPACING 'A' | SPACING 'B' | SPACING 'C' | NO. OF PLANTS/SQUARE FOOT |
|-------------|-------------|-------------|---------------------------|
| 8" O.C. | 3.30' | 3.90' | 4.80 |
| 8" O.C. | 8.83" | 3.47' | 2.80 |
| 8" O.C. | 7.70" | 3.90' | 1.78 |
| 10" O.C. | 8.89" | 4.33' | 1.88 |
| 12" O.C. | 10.40" | 5.30' | 1.18 |
| 15" O.C. | 13.00" | 6.50' | 0.74 |
| 18" O.C. | 15.80" | 7.80' | 0.51 |
| 24" O.C. | 20.80" | 10.40" | 0.29 |
| 30" O.C. | 25.80" | 13.00" | 0.18 |
| 36" O.C. | 30.80" | 15.80" | 0.13 |
| 48" O.C. | 40.80" | 20.80" | 0.07 |
| 72" O.C. | 62.35" | 31.18" | 0.04 |

See Plant Spacing Diagram for minimum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.
* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant densities from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.



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Sheet Title
PLANTING NOTES AND LEGEND

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L1.2

TREES



Acer palmatum 'SangoKaku'



Acer rubrum 'Bowhall'



Chamaerops humilis



Lagerstroemia x 'Tuscarora'



Magnolia grandiflora 'Russet'



Olea europaea (Fruitless)



Platanus acerifolia 'Columbia'



Populus fremontii



Quercus virginiana



Tristania conferta



Ulmus parvifolia 'Dynasty'

SHRUBS /
GRASSES



Acacia cognata 'Cousin Itt'



Agave havardiana



Alyogyne huegelii 'Mood Indigo'



Anigozanthos 'Bush Red'



Asparagus d. 'Myers'



Calamagrostis nutkaensis



Callistemon v. 'Little John'



Carex tumulicola



Chondropetalum tectorum



Dianella revoluta 'Baby Bliss'



Diets bicolor 'Orange Drop'



Elymus glaucus



Escallonia 'Fradesii'



Festuca californica 'Serpentine Blue'



Hemerocallis - Gold



Hemerocallis - Red



Ilex vomitoria 'Stokes Dwarf'



Iris douglasiana



Juncus effusus



Lagerstroemia indica 'Moned'



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SHRUBS /
GRASSES



Lavandula x intermedia 'Alba'



Lavatera thuringiaca 'Red Rum'



Lomandra longifolia 'Breeze'



Mimulus aurantiacus



Muhlenbergia 'Pink Flamingo'



Phormium 'Amazing Red'



Phormium 'Duet'



Polygala 'Alta Mariposa'



Prunus laurocerasus 'Otto Luyken'



Rhamnus cal. 'Mound San Bruno'



Rosa californica



Salvia clevelandii



Viburnum awabuki 'Chindo'

GROUND-
COVERS



'No-Mow' Fescue



Arctostaphylos u. 'Massachusetts'



Erigeron 'Wayne Roderick'



Myoporum parvifolium



Sedum album



Sedum reflexum



Trachelospermum jasminoides



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Planting
Imagery

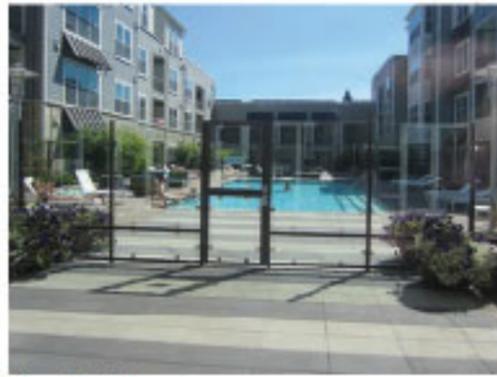
Job No: 15021
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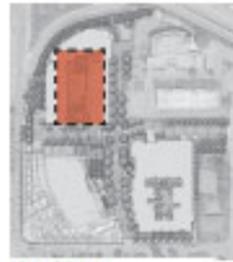
Cabanas at Pool Deck



Glass Pool Fence



BBQ Area



Key Map



Pool Deck



Fireplace



Metal Trellis



Dining Area under Metal Trellis



Raised Planter Wall with Wall Light



Outdoor Lounge with String Light



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Sheel TSK
**Conceptual
 Plan - Block
 A Podium**

Job No. 15021
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See-through Fireplace



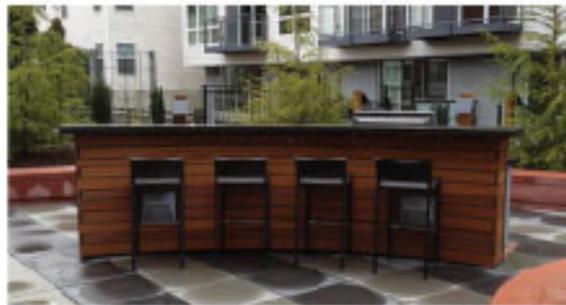
Trash Receptacle



String Light



Planter Pots on Gravel



BBQ Island with Bar Top Table and Stools



Outdoor Lounge



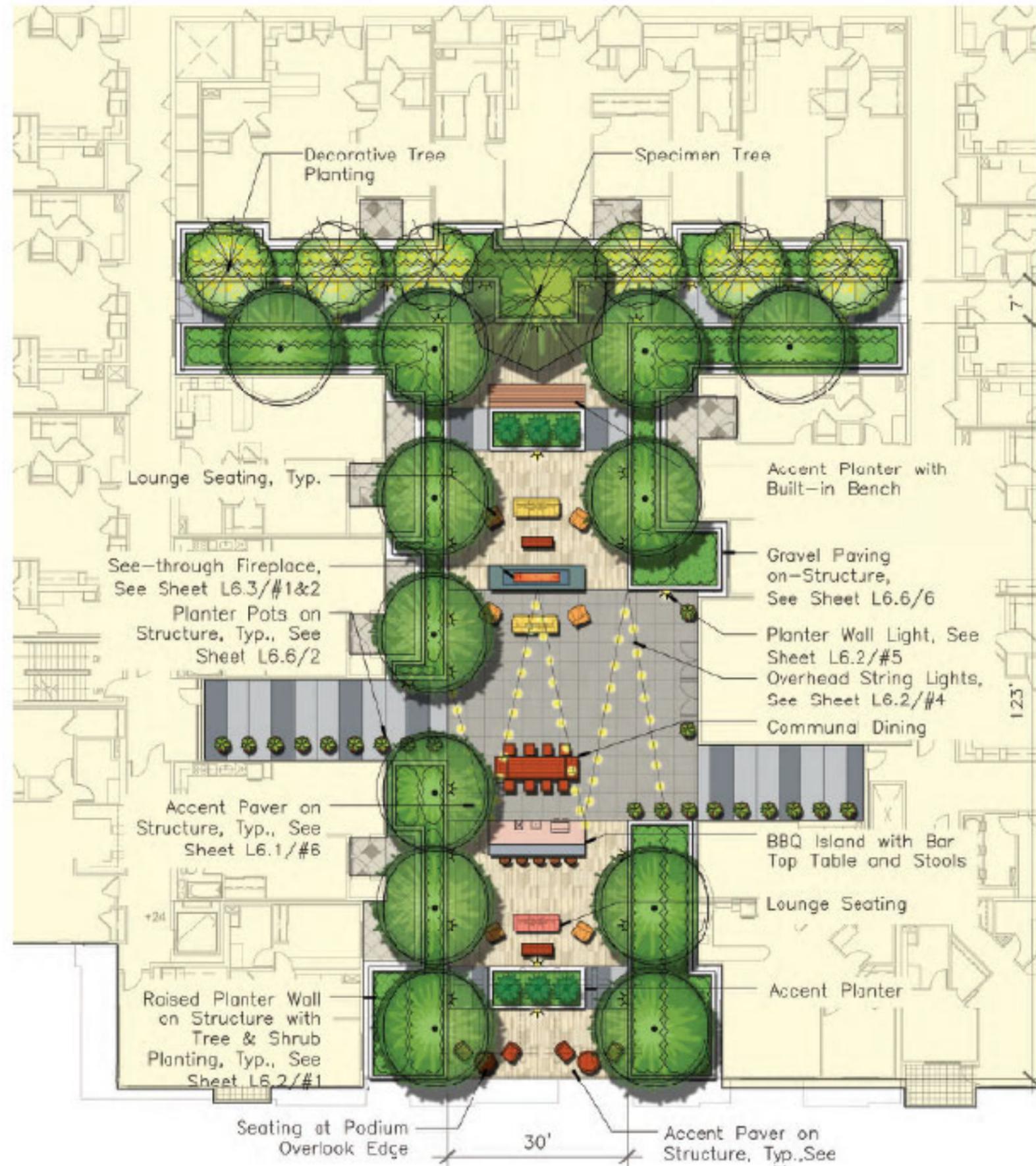
Community Dining with String Light



Raised Planter Wall with Wall Light



Key Map



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Conceptual Plan - Block B Podium

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Central Plaza



Accent Stripe Paving



Art Sculpture



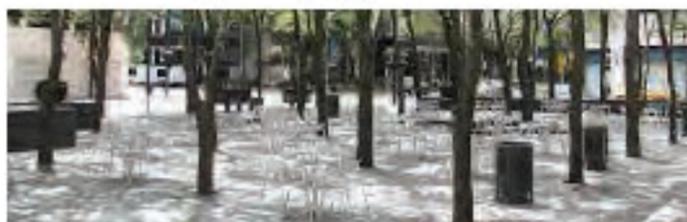
Bollard Light



Serrated Planting Edge



Tree Grove with In-ground Lighting



Tables and Chairs under Tree Grove



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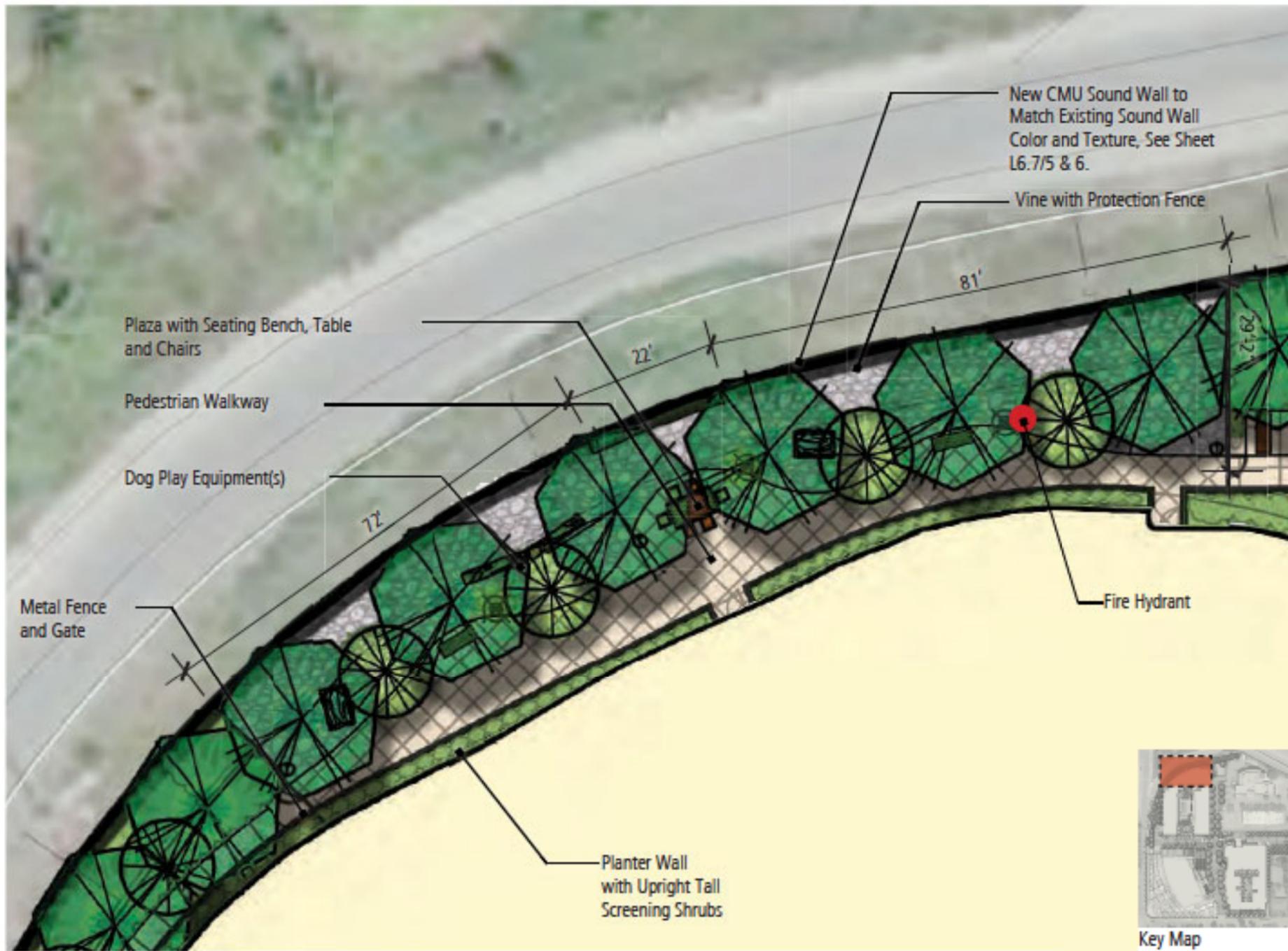
Mountain View, California

28 West 11th St.
Central Plaza Enlargement

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Date: 03/09/2020
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Pet Spa



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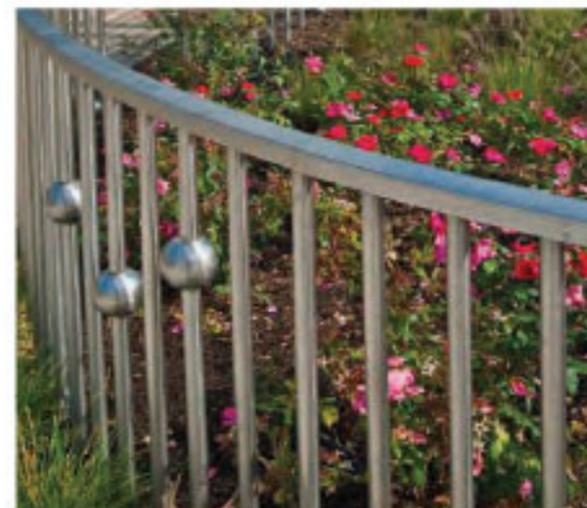
Mountain View, California

Sheet Title:
**Dog Run Park
Enlargement**

Job No. 15021
 Date: 03/09/2020
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Sheet No:

L2.5



Vine Fence



Dog Run Park Fence and Gate



Gravel Paving

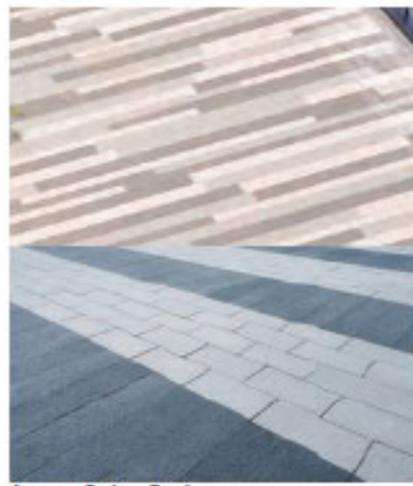


Dog Run Park





Vehicular Checker Block Paving



Accent Stripe Paving



Entry Sign Wall



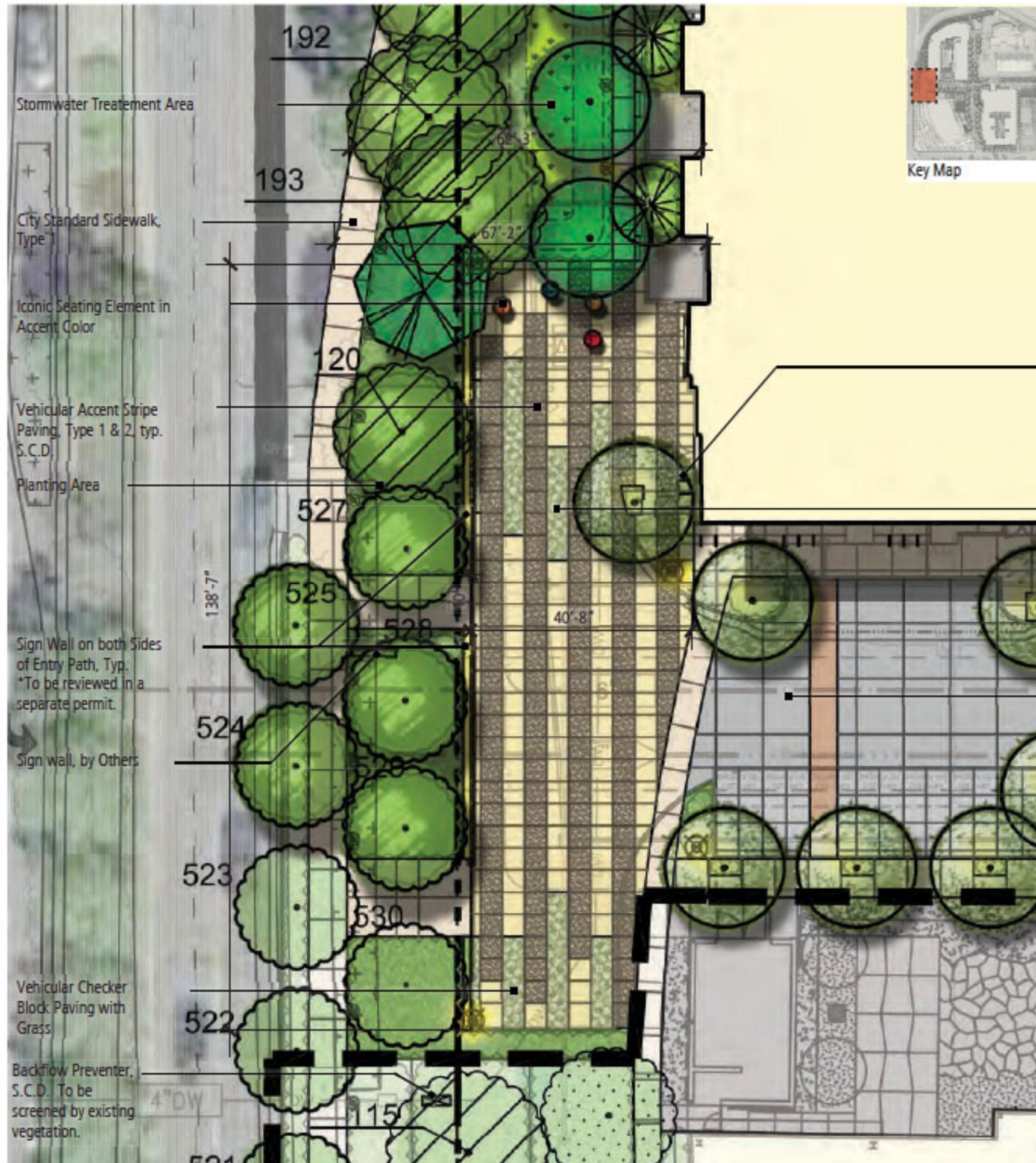
Iconic Seating Element



Tree Grate



Vehicular Stamped Asphalt Paving



Key Map

Bike Racks, Typ.

Vehicular Checker Block Paving with Grass

Vehicular Stamped Asphalt Paving Type 2, Typ., S.C.D.



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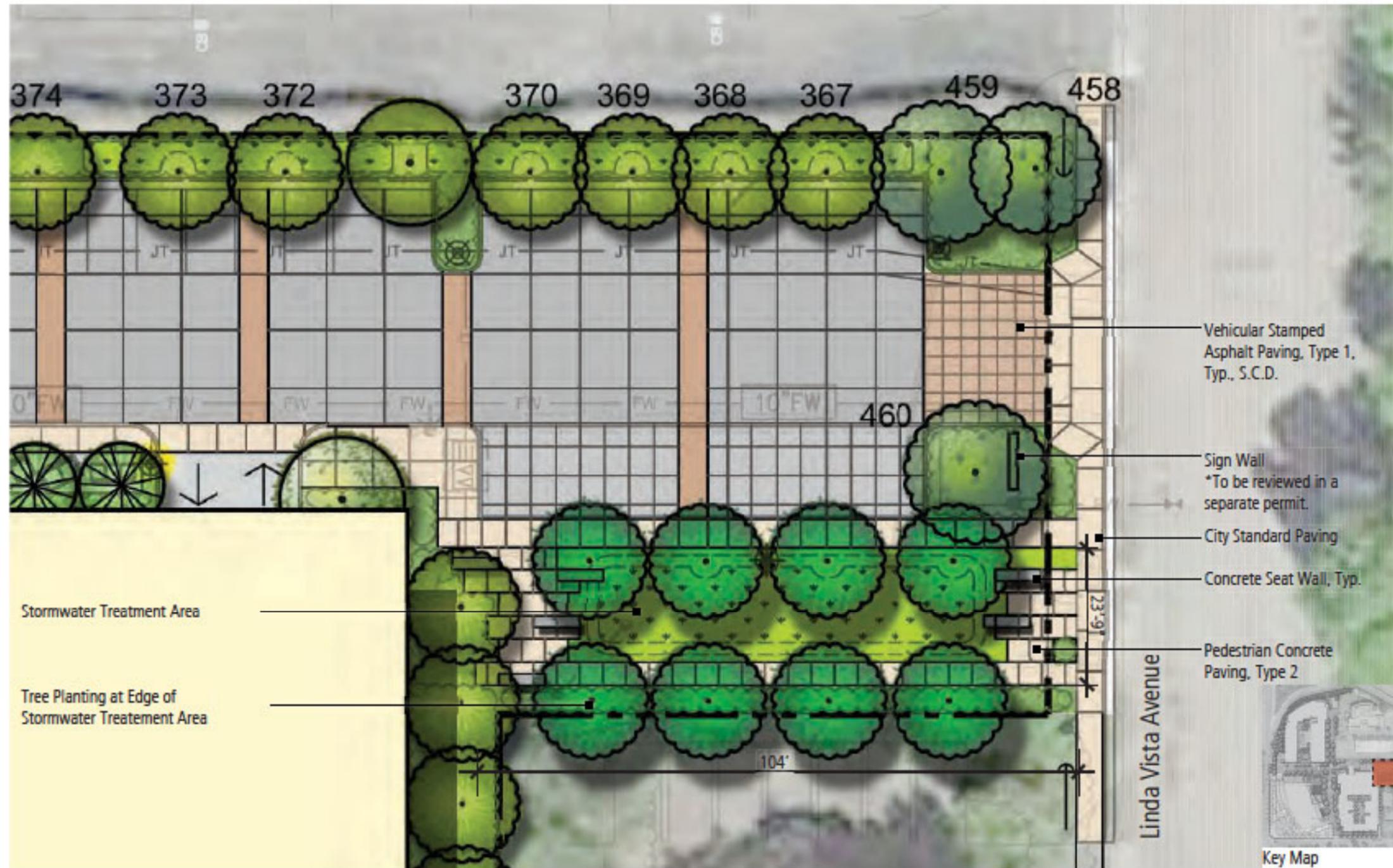
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Sheet Title:
Roundabout Enlargement

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Sheet Title:
**Dual Plaza
 Enlargement**

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Concrete Seat Block



Stormwater Treatment Area



Vehicular Stamped Asphalt Paving



Stormwater Treatment Planting

Existing Trash Enclosure

Transplanted Phase 1 Tree -
Quercus virginiana



Specimen Tree - Quercus virginiana



Phase 1 Planted Trees to
Remain-Quercus virginiana

New Quercus virginiana at
Project Entrance

Bike Racks

Vehicular Accent Stripe Paving
Type 1 & 2, typ. S.C.D.

Iconic Seating Element in Accent Color

Phase 1 Planted Trees to
Remain-Quercus virginiana

Project Entry Sign Wall,
to be reviewed in a
separate permit

TERRA BELLA AVENUE



Key Map



Bike Rack



Monument Signage



Ornamental Planting at Monument Signage



Accent Stripe Paving



Iconic Seating Element



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Sheet Title:
Project Entry
Enlargement

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Date: 03/09/2020
Scale: 1"=5'
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Iconic Seating Element in Accent Color

Pedestrian Scale Pole Light

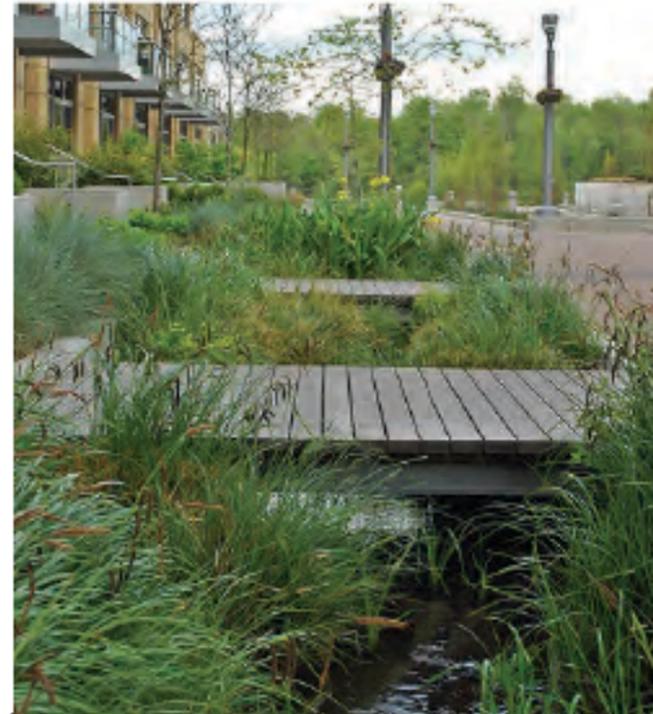
Stoop Wood Deck Access with Stormwater Treatment underneath



Iconic Seating Element



Pedestrian Scale Pole Light



Stormwater Treatment underneath



Stoop Wood Deck Access



Key Map



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**Terra Bella
Enlargement**

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Pre-cast Planter Pot



Glass Guardrail



Key Map



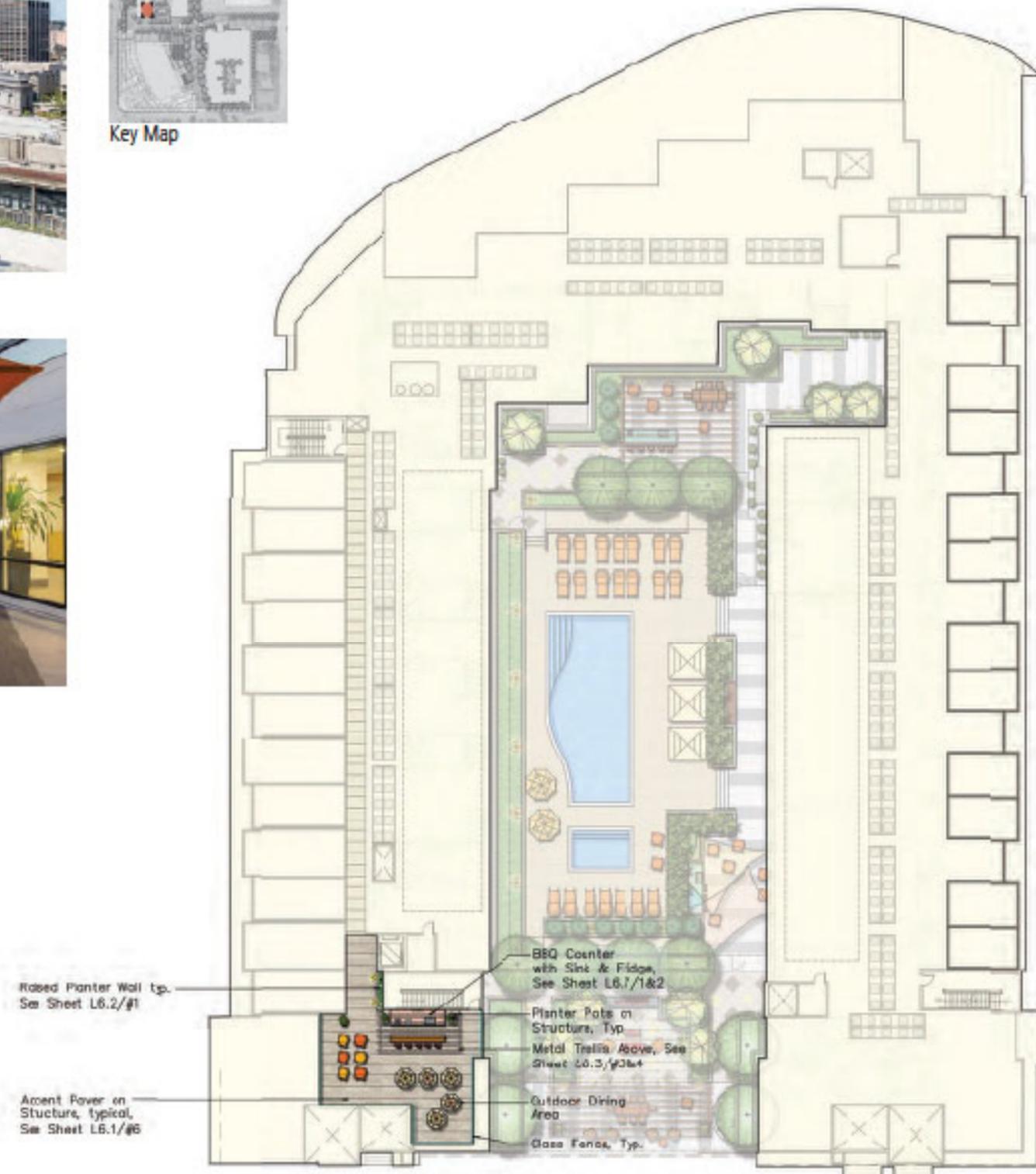
Metal Trellis



Dining Table Set with Umbrella



BBQ Island with Dining Table Set



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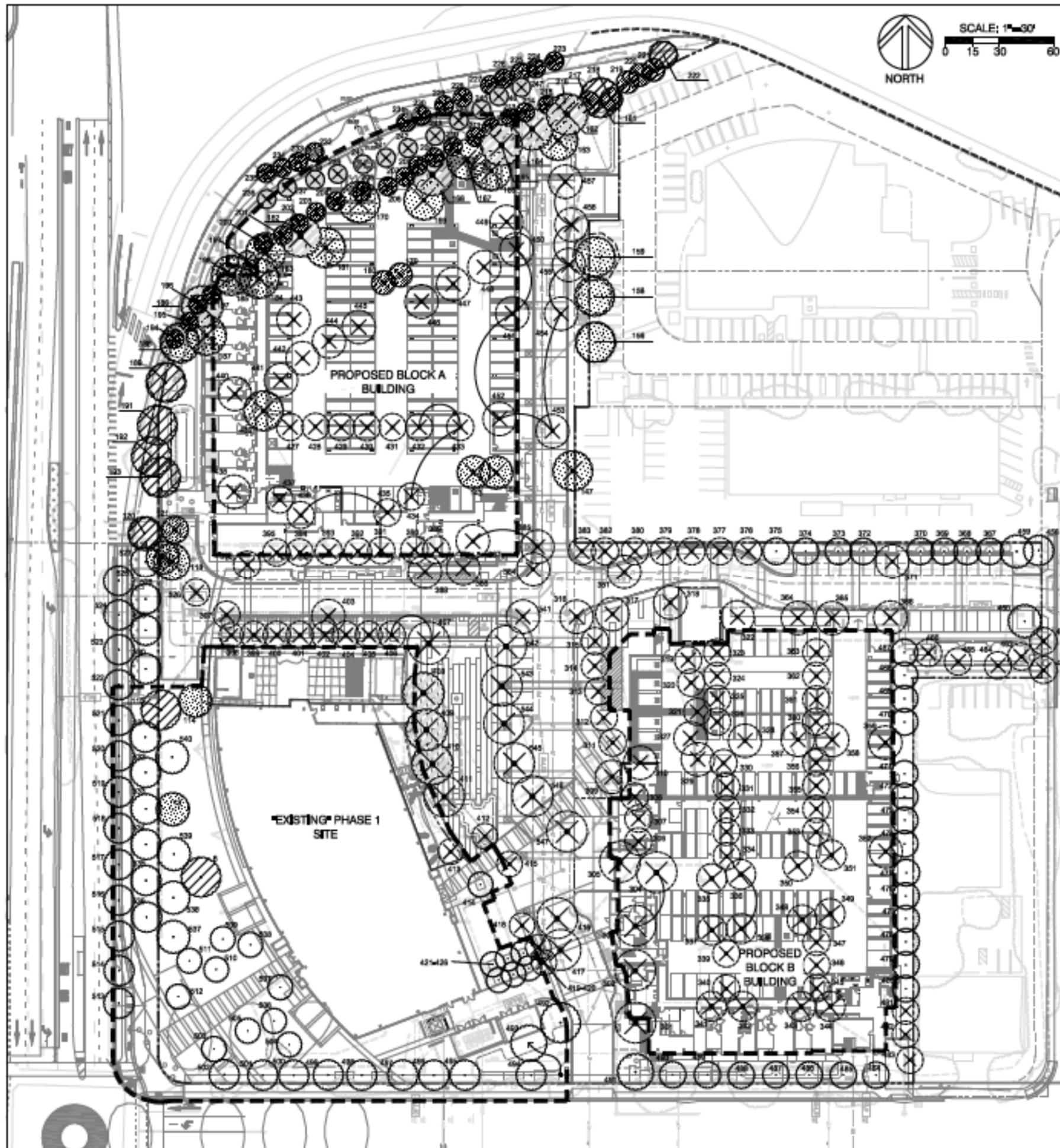
Mountain View, California

Sheet Title:
Conceptual Landscape Plan - Rooftop

Job No. 15021
 Date: 03/09/2020
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Sheet No:

L2.10



Tree Disposition Summary Table

| Description | Heritage | Non-Heritage, Pre-Phase 1 | Non-Heritage, Phase 1 | Total |
|------------------------|--------------------------------------|---------------------------|-------------------------|-------|
| Existing Trees on Site | 32 | 66 | 243 | 341 |
| To Remain | 9 <i>(Tree protection fences)</i> | 6 | 87 | 102 |
| To be Transplanted | 0 | 0 | 1 <i>(Tree #493)</i> | 1 |
| To be Removed | 23 | 60 | 155 * | 238 |

| Description | Mitigation Trees, 36" box | Non-Mitigation, 36" box | Non-Mitigation, 24" box | Total |
|------------------------|---------------------------|-------------------------|-------------------------|-------|
| Proposed Trees on Site | 60 ** | 36 | 96 | 192 |

| | |
|---|-----|
| Estimated Trees to be On Site at Time of Project Completion | 295 |
|---|-----|

Notes:

* Tree removal contingent upon condition of tree at time of construction.

** Required Mitigation - 23 trees @ 2:1 ratio = 46 trees, 24" box min. required
Proposed Mitigation Replacement Trees - 60 Trees
Replacement Ratio - 60/23 = 2.6:1

Refer to Arborist Report by Ray Morneau for existing tree type, size, and condition.

Ray Morneau, Arborist



204 GARDEN WING ROAD, WOODBRIDGE, ONTARIO

5.0 Tree Preservation Guidelines: Tree Protection Measures

- 5.1 Fencing and other root zone protection
 - 5.1.1 Must be in place before demolition or any other project site work.
 - 5.1.2 Fencing generally expected to extend to the drip line, but the LPP can be installed as close to that as possible.
 - 5.1.3 One 24- to 36-inch opening or gate should be left for inspection access to each area.
 - 5.1.4 Fence material is to be 6-foot-high chain link fence supported by 4-foot long, 2-inch diameter galvanized fence posts driven 2-feet into the soil.
 - 5.1.5 Where no plant material root zone buffer is growing (e.g., ivy, shrubs, turf), a wood chip mulch is to be spread evenly to a 6-inch depth from the drip line to 6-inches from the base of the trunk. Taper to existing ground level at the base of the trunk with a slope of about 2:1.
 - 5.1.6 Additional root zone area requiring protection can be buffered as Project Arborist requires, e.g., if project scope changes. Commonly acceptable buffer materials often include wood chips, crushed rock, plywood, steel trench plates, and/or a combination of such materials. Consult Project Arborist for depth specifications (which vary depending on use of area and/or specific traffic).
 - 5.1.7 Root zone areas to be protected may be modified by the Municipal Arborist or Project Arborist as plans develop.
 - 5.2 Prohibited Acts & Additional Tree Care Requirements
 - 5.2.1 No parking or vehicle traffic over any root zones, unless using buffers approved by Project Arborist.
 - 5.2.2 Monitor root zone moisture and maintain as per above.
 - 5.2.3 Have a certified arborist repair any damage promptly.
 - 5.2.4 No piling or storage of fuel, oil, chemicals, or hazardous materials under these foliage canopies.
 - 5.2.5 No grade changes (cuts, fills, etc.) under these foliage canopies without prior Project Arborist approval. For instance, hand excavation and thinner base prep may be required in the reduced root zone areas.
 - 5.2.6 Any additional pruning required must be performed under arborist supervision - including root pruning - clean, smooth cuts with no breaking, scalping, shattering, or tearing of wood tissue and/or bark.
 - 5.2.7 No storage of construction materials under any foliage canopy without prior Project Arborist approval.
 - 5.2.8 No trenching within the critical root zone area. Consult Project Arborist before any trenching or root cutting beneath any tree's foliage canopy. It is best to route all trenching out from under trees' drip lines. Often trenches in root zones must be hand excavated to leave roots intact.
 - 5.2.9 No clean out of trucks, racks, or other equipment over the critical root zone. Keep this debris outside of any existing or future root zone.
 - 5.2.10 No attachment of signs or other construction apparatus to these trees.
 - 5.3 Construction-time Maintenance & Follow-up
 - 5.3.1 Monitor root zone moisture and maintain as per above (5.4.1).
 - 5.3.2 Maintain repair tree protection fences and/or root zone materials.
 - 5.3.3 Have a certified arborist promptly repair any damage to trees.
 - 5.3.4 Routine survival monitoring for the first five years is required by the City and typically includes at least quarterly project arborist inspections with summary report and recommendations filed to Planning and to Owner.
- Remedial measures/actions are also required to be stated in this tree preservation plan for trees that consistently fail customary performance standards, the remedial measures will be hand-watered at that time to meet the specific degree of failure - may include efforts as minor as adjusting irrigation ... and/or pruning ... or increased frequency of inspections ... or ultimately, if necessary replacement with additional tree(s) planted of acceptable size and species.



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TREE DISPOSITION
PLAN

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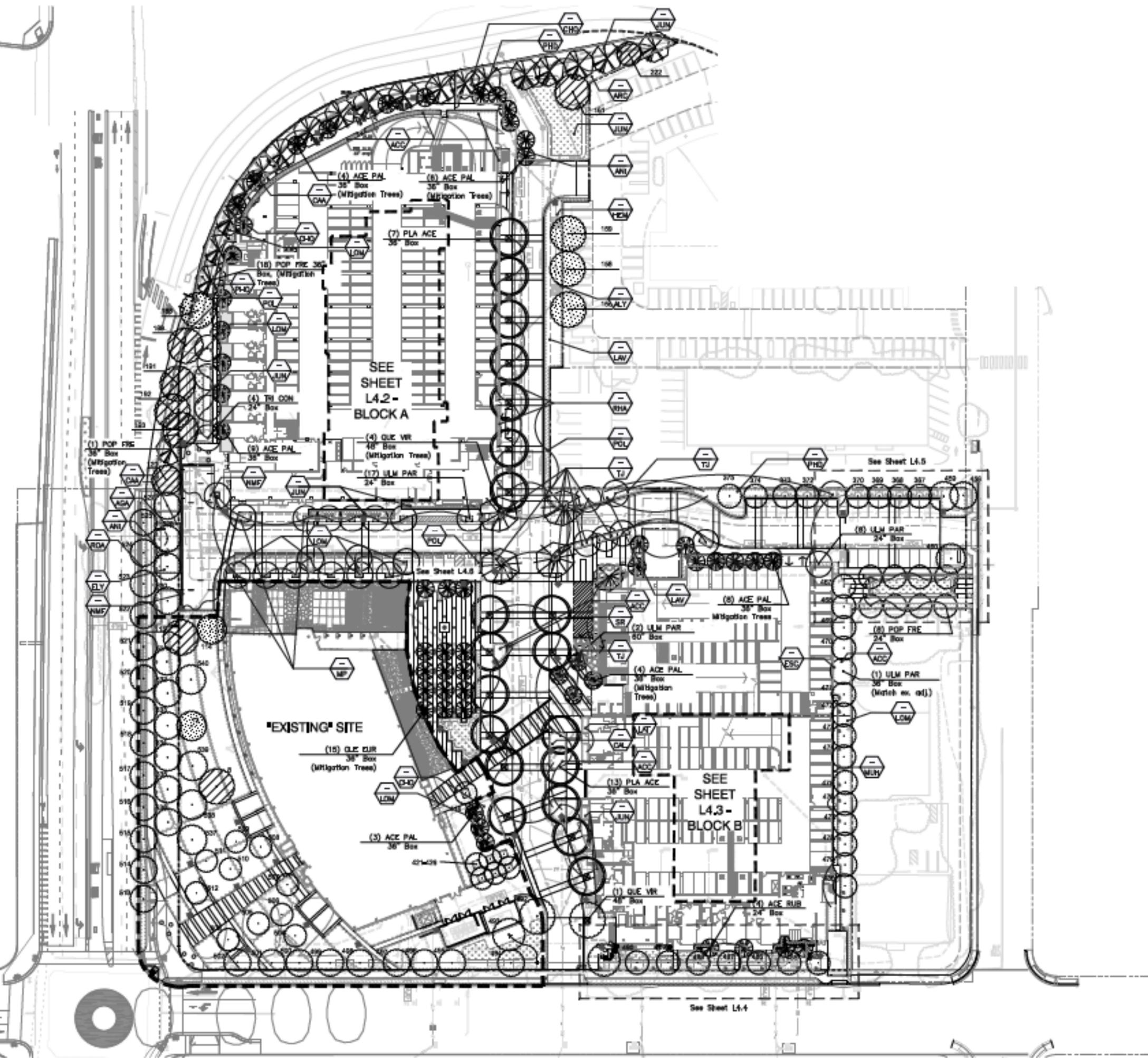
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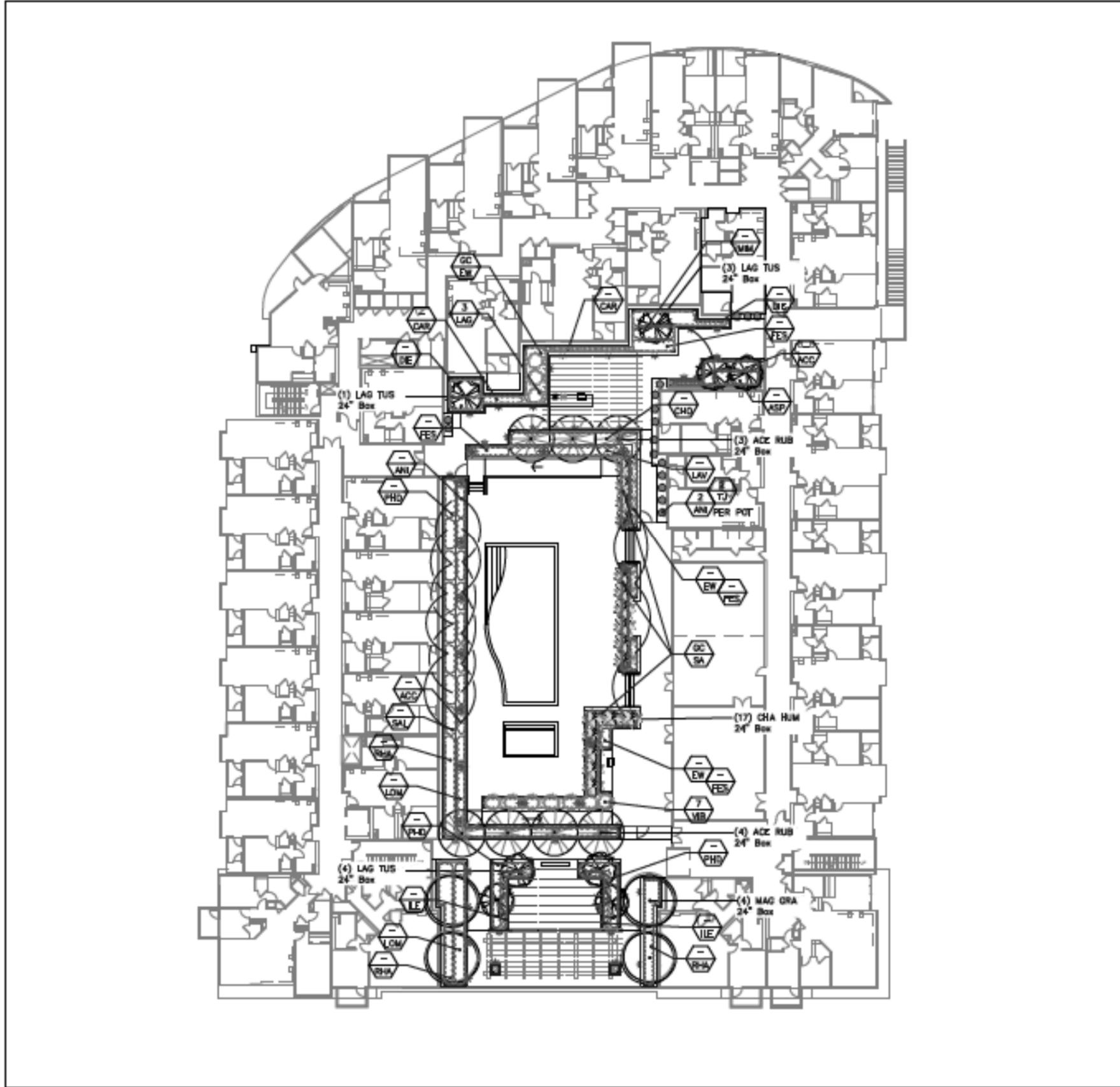
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 SITE**

Job No. 18021
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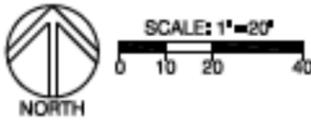
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Key Map



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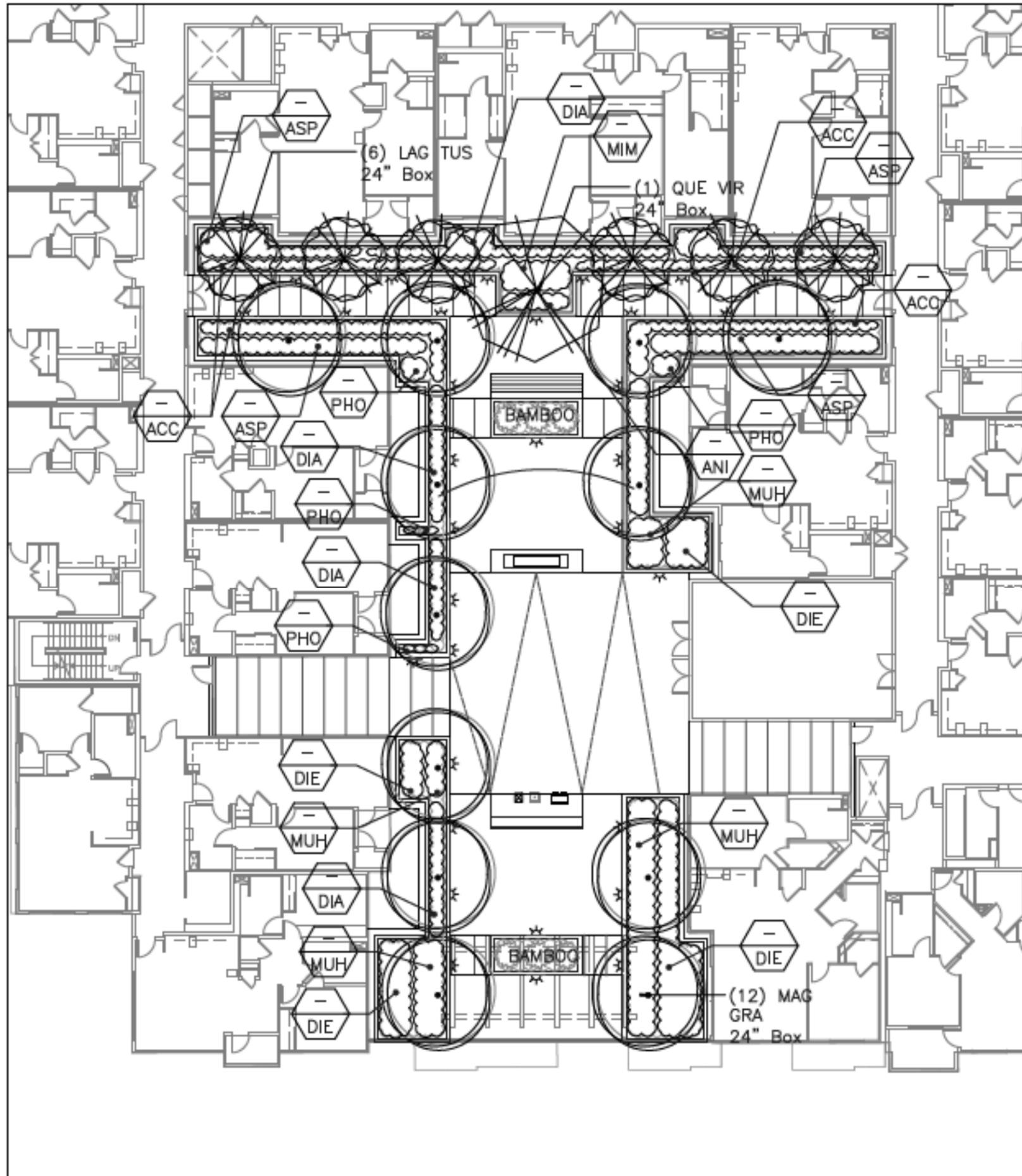
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Sheet Title
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 BLOCK A PODIUM**

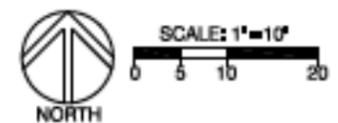
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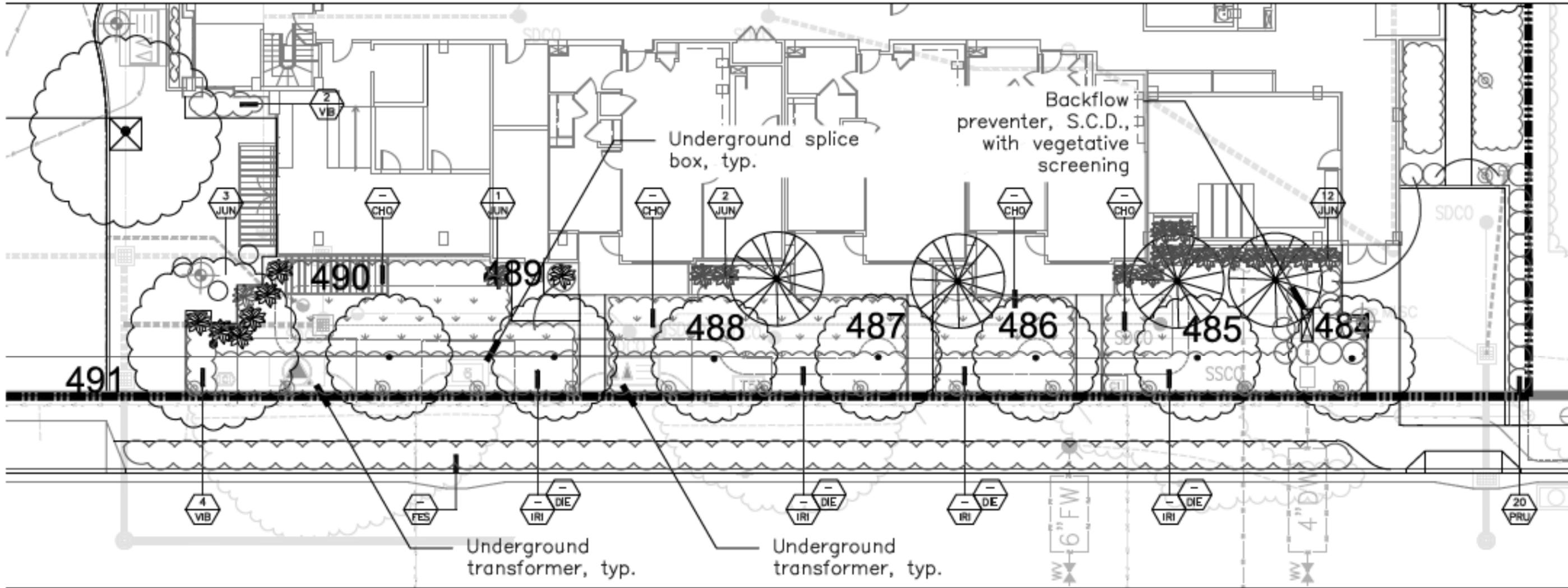
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CONCEPTUAL
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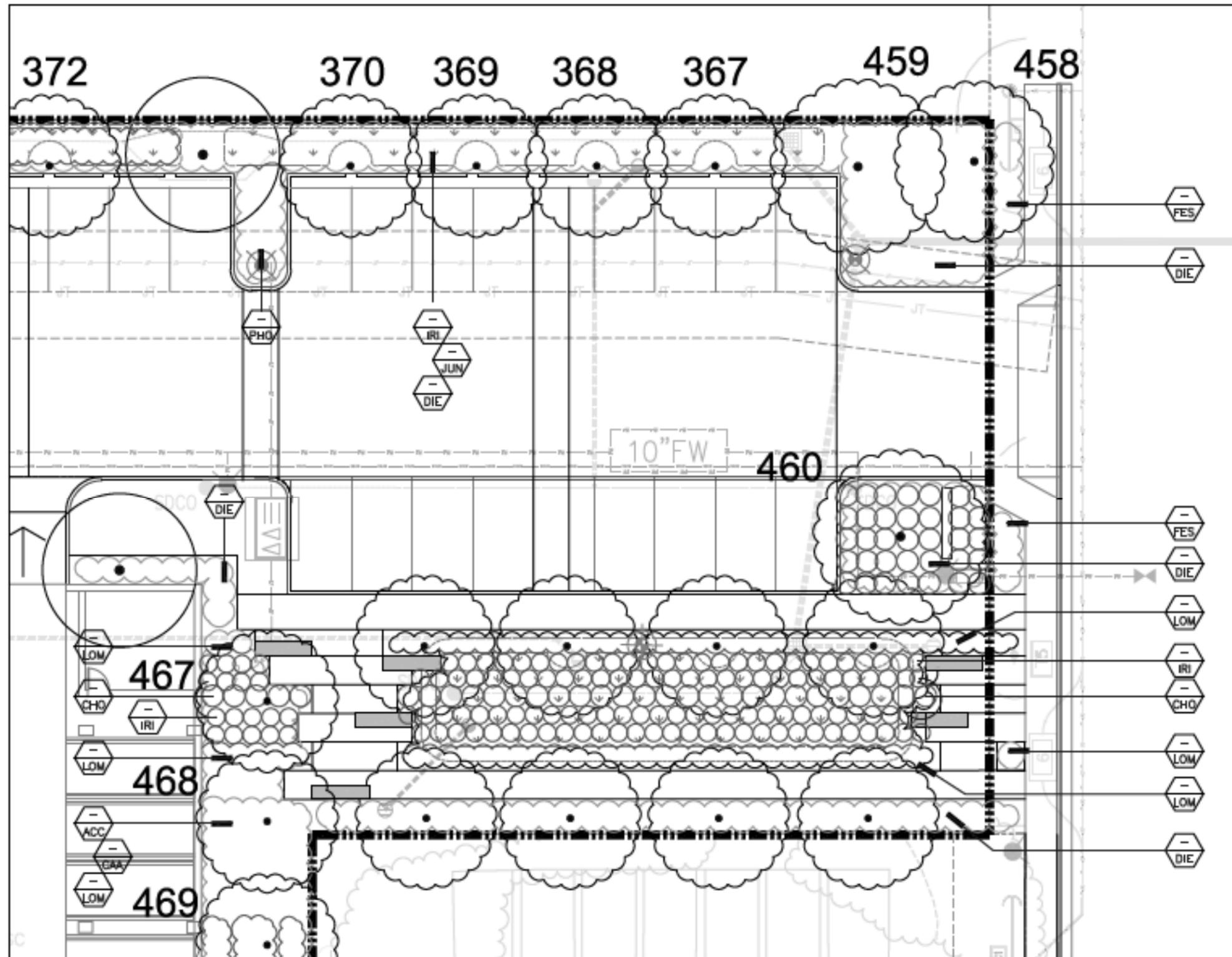
TERRA BELLA ENTRANCE AND STREETSCAPE



Key Map



Key Map



LINDA VISTA STREETSCAPE



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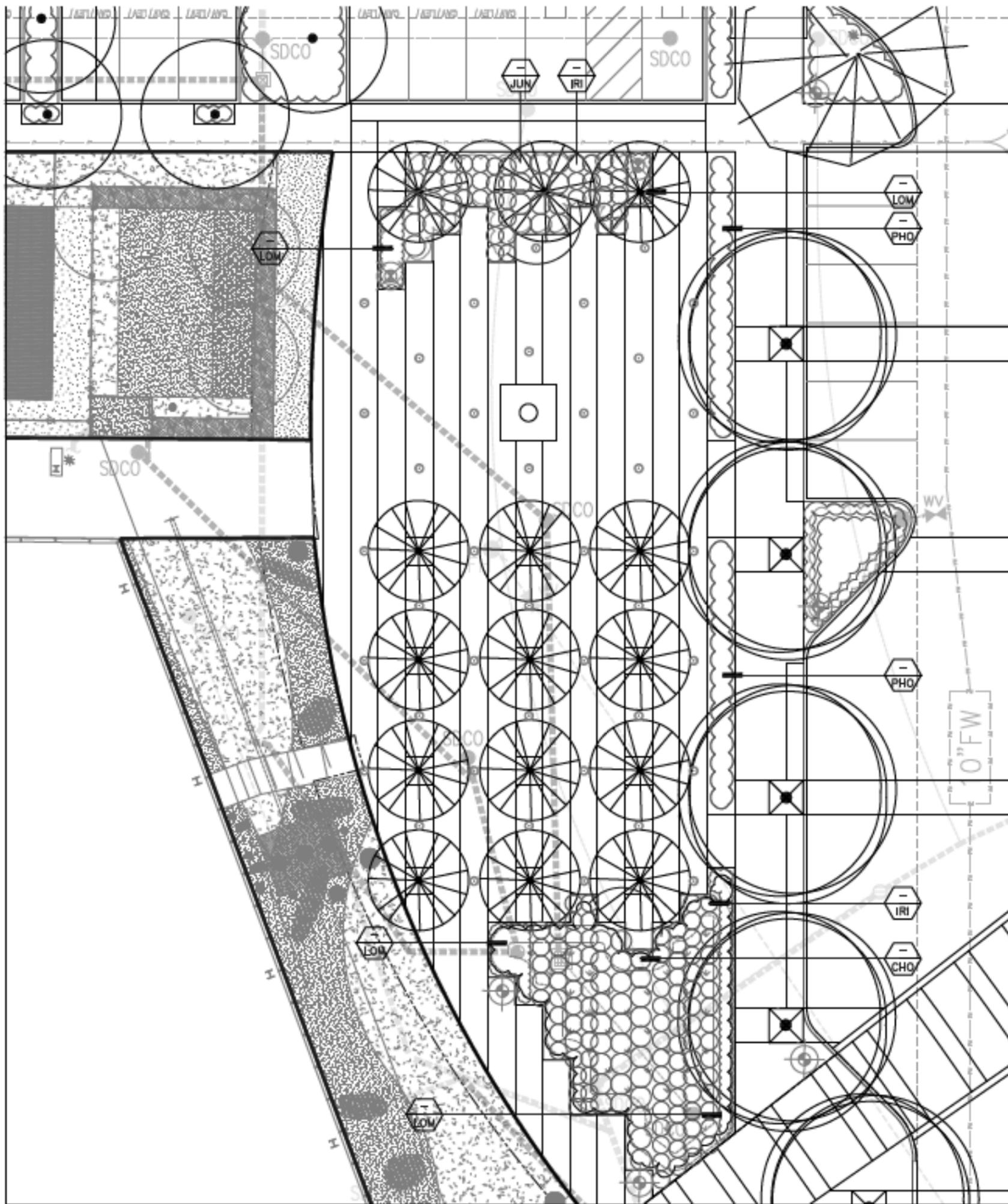
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**CONCEPTUAL
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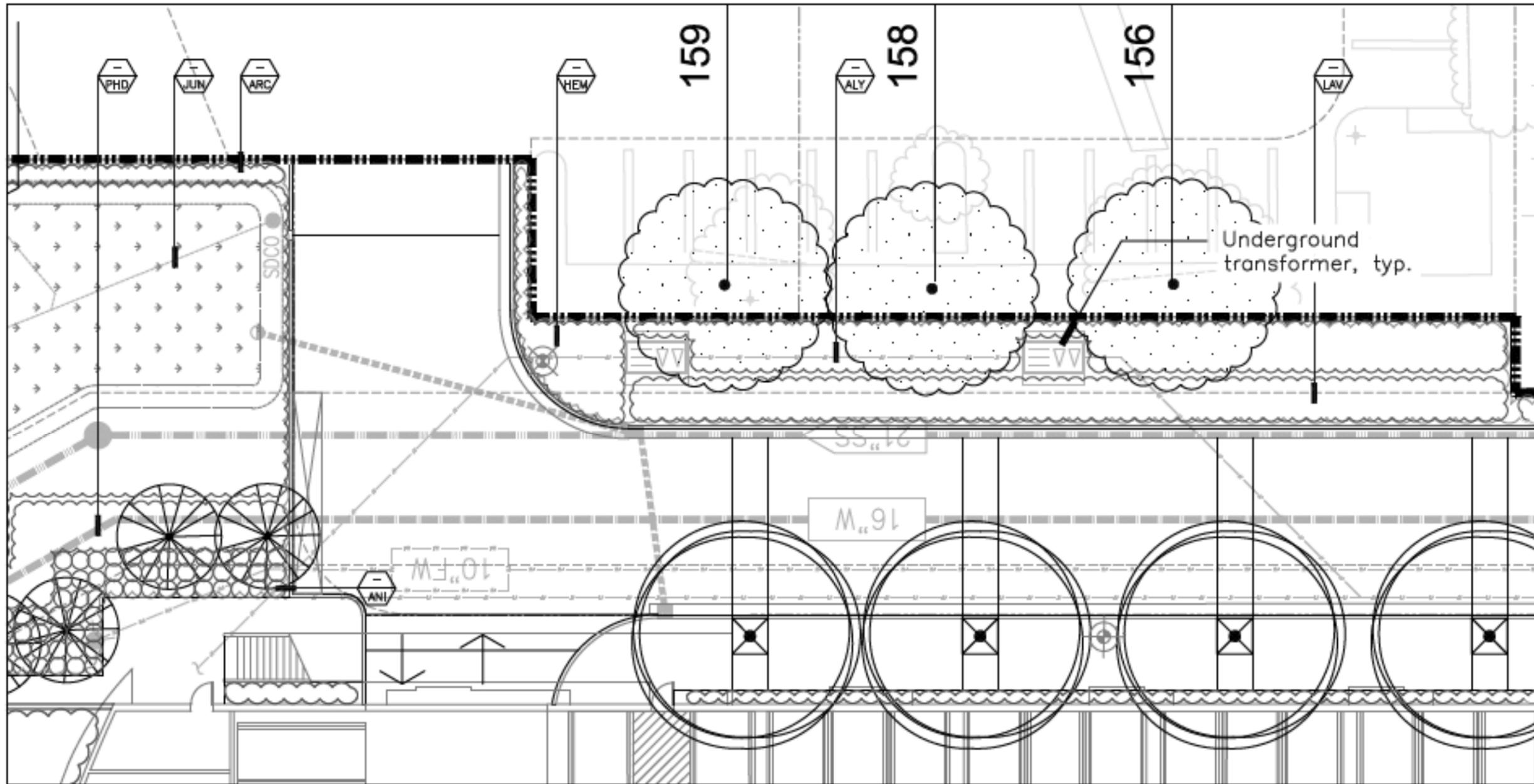
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Sheet Title
**CONCEPTUAL
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 CENTRAL PLAZA**
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UTILITIES SCREENING AT ENTRY FROM CHURCH



Key Map



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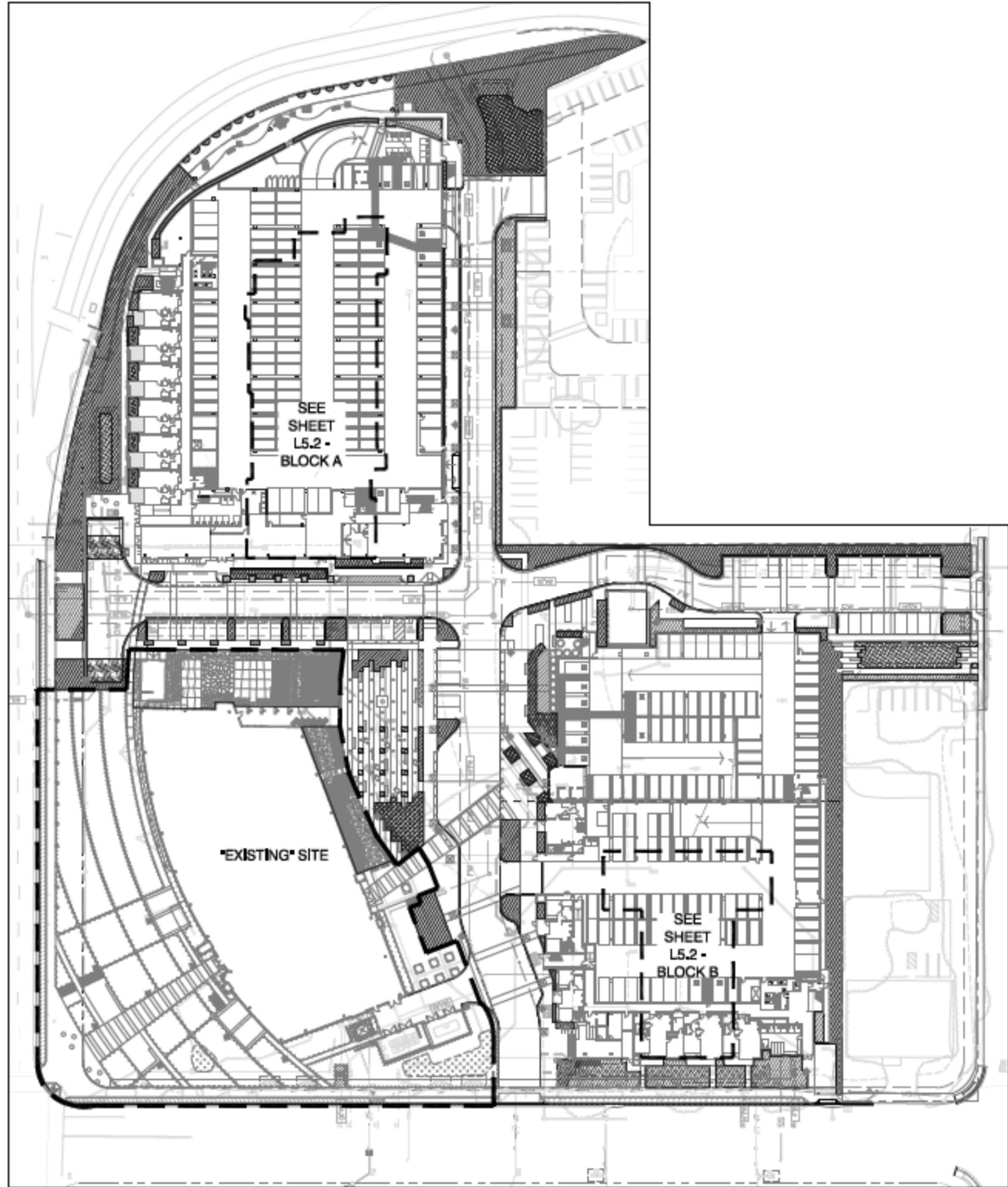
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Sheet Title
**CONCEPTUAL
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 GROUNDCOVER PLAN -
 UTILITIES SCREENING**
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WATER USE LEGEND

| Key | WUCOLS Category | Medium Water Use |
|-----|-------------------|------------------|
| | Low Water Use | |
| | WUCOLS: 37,034 SF | WUCOLS: 7,292 SF |
| | Block A: 4,203 SF | Block A: 0 SF |
| | Block B: 2,467 SF | Block B: 105 SF |
| | Rooftops: 36 SF | TOTAL: 7,397 SF |
| | TOTAL: 43,840 SF | |
| | High Water Use | |
| | WUCOLS: 1,042 SF | |
| | Block A: 1,284 SF | |
| | Block B: 0 SF | |
| | TOTAL: 2,326 SF | |



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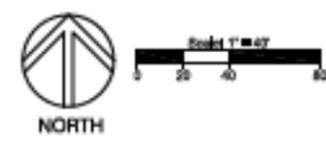
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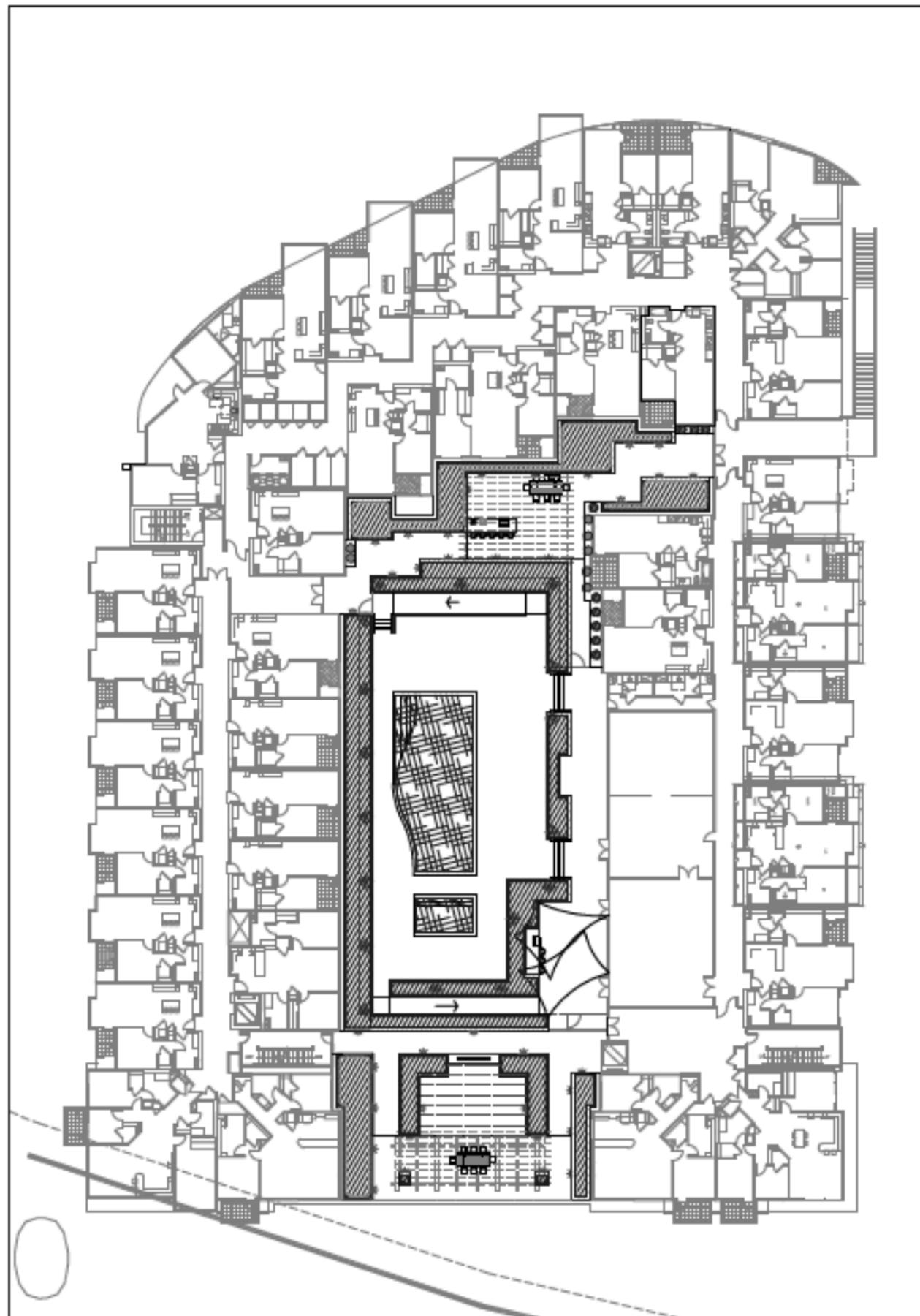
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Sheet No.

L5.1

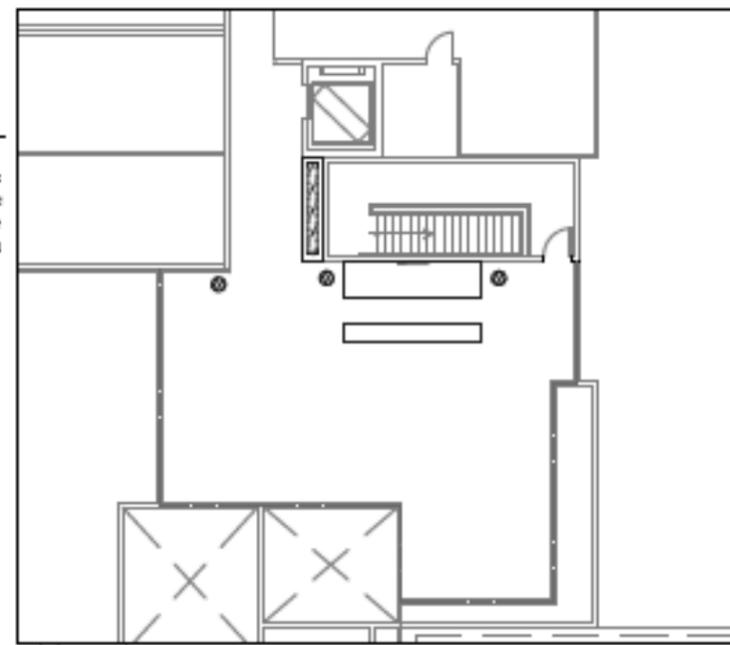




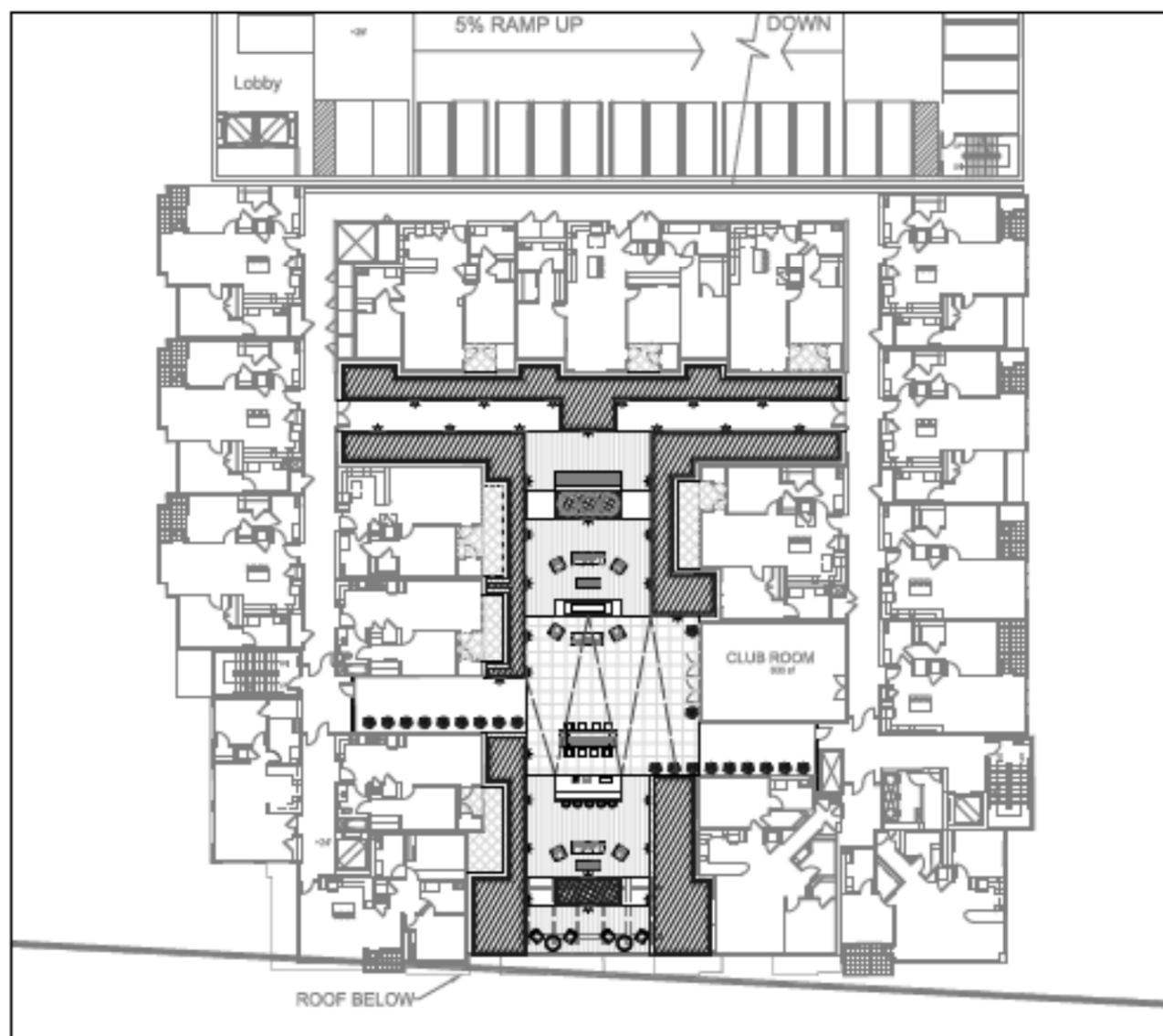
BLOCK A

WATER USE LEGEND

| Key | WUCOLS Category | |
|-------------------------|-----------------------|-------------------------|
| | Low Water Use | |
| Site: 37,124 SF | | Medium Water Use |
| Block A: 4,213 SF | | Site: 7,562 SF |
| Block B: 2,487 SF | | Block A: 0 SF |
| Rooftop: 36 SF | | Block B: 163 SF |
| TOTAL: 43,640 SF | | TOTAL: 7,727 SF |
| | High Water Use | |
| Site: 1,042 SF | | |
| Block A: 1,294 SF | | |
| Block B: 0 SF | | |
| TOTAL: 2,336 SF | | |



ROOF DECK



BLOCK B

ROOF BELOW



NORTH



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Mountain View, California

Sheet Title:
IRRIGATION ZONE DIAGRAM - PODIUMS

Job No. 18021
 Date 03/09/2020
 Scale:
 Drawn By:

Sheet No:

L5.2



WATER BUDGET CALCULATION WORKSHEET - ELECTRONIC

[1]

Project Site address: 1500 Salado Drive

Please Note: A Water Budget Calculation Worksheet is required ONLY if:

- (1) High-water-use plants are included in the landscaped area, and/or
(2) Less than 80% of the landscape area is planted with California Native and/or low-water-use plants.

SECTION A. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

Table A-1 Hydrozone Area Information

Table with 4 columns: Hydrozone Label, Plant Water Use Type, Plant Type, Hydrozone Area (square feet). Rows include High (water feature), High, Medium, and Low.

[4] Summary of Hydrozone Area Information

Summary table with 2 columns: Summary Area, Area (square feet). Rows include Sum of Low Water-Use Areas, Sum of Moderate & Mixed-Water-Use Areas, Sum of High-Water-Use Areas, Sum of Special Landscape Areas, and Sum of all Landscape Areas.

[1]

Maximum Applied Water Allowance = 665,648 gallons per year.

Date Printed: 5/16/2019

1 of 2

Version: December 8, 2010

SECTION B. ESTIMATED TOTAL WATER USE (ETWU)

Table B-1 Plant Factor and Irrigation System Information

Table with 8 columns: Hydrozone Label, Plant Water Use Type, Plant Type, Plant Factor (PF), Hydrozone Area (HA) square feet, Irrigation Method, Irrigation Efficiency (IE), and ETWU (gpyr). Rows include High (water feature), High, Medium, and Low.

[1]

Hydrozone areas, irrigation methods and efficiencies are entered where required:

OK

[4]

Estimated Total Water Use = 624,171 gallons/year

[1]

SECTION C. COMPARISON OF ETWU AND MAWA

The calculated ETWU may not exceed the calculated MAWA.

MAWA = 665,648 >= ETWU = 624,171

[1]

Congratulations! Your electronic Water Budget Calculation Worksheet is complete.

Please print sections A, B & C and submit them with your application.

Date Printed: 5/16/2019

2 of 2

Version: December 8, 2010

IRRIGATION NOTES

- 1. All plants... 2. All plants... 3. All plants... 4. All plants... 5. All plants... 6. All plants... 7. All plants... 8. All plants... 9. All plants... 10. All plants... 11. All plants... 12. All plants... 13. All plants... 14. All plants... 15. All plants...

IRRIGATION PERFORMANCE SPECIFICATIONS

- The contractor shall include in the bid a proposal to install... 1. Planting Areas and Method of Irrigation... 2. Irrigation Equipment... 3. Controller and Valve... 4. Pipe and Fittings... 5. Backflow Prevention... 6. Backflow Prevention... 7. Backflow Prevention... 8. Backflow Prevention... 9. Backflow Prevention... 10. Backflow Prevention... 11. Backflow Prevention... 12. Backflow Prevention... 13. Backflow Prevention... 14. Backflow Prevention... 15. Backflow Prevention...

PROPOSED EQUIPMENT LIST table with 2 columns: Description, Quantity. Lists items like Solenoid Valve, Electric Control Valves, Backflow Preventer, etc.



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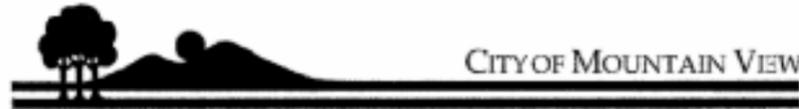
Mountain View, California

Sheet Title: IRRIGATION NOTES AND WATER CALCULATIONS

Job No. 18021, Date: 03/09/2020, Scale, Drawn By:

Sheet No.

L5.3



WATER-EFFICIENT DESIGN AND MAINTENANCE CHECKLIST

Project Site Address: 1001 N. Shoreline Blvd.

Required Submittals (check if completed)

- 1. Water-Efficient Design and Maintenance Checklist
- 2. Landscape Design Plan
- 3. Irrigation Design Plan
- 4. Water Budget Calculation Worksheet (NOT needed if Plant-Type Restriction Option is chosen)
- 5. Certification of Installation (Within 60 days of installation)

Landscape Design Plan Requirements

| Parameter | Requirements | Completed |
|-----------------------------------|---|-------------------------------------|
| Plantings | Plant Table included in plan with plant symbol, common name, botanical name, container size, quantity, type (e.g., grass, succulent, vine, shrub, tree), water-efficient species identification (low, moderate, high), and unique physical specifications of plants, if applicable. | <input checked="" type="checkbox"/> |
| | Plant types are assigned appropriate water-use levels based on the WUCOLS species evaluation list (i.e., "turf" is not assigned a "low"-water use). | <input checked="" type="checkbox"/> |
| | Avoid invasive plants in plan, such as those listed by the California Invasive Plant Council. | <input checked="" type="checkbox"/> |
| | Square footages of planted areas and water features (i.e., fountains and pools) noted on the Landscape Design Plan and match areas listed in Compliance Option 1 calculations on Page 2, if applicable. | <input checked="" type="checkbox"/> |
| | Turf areas are at least 10' wide, unless watered with subsurface drip irrigation. | <input type="checkbox"/> |
| Turf Blooms | Turf is not planted on slopes of 25 percent grade or more. | <input checked="" type="checkbox"/> |
| | Turf is at least 24" away from nonpermeable hardscape (except internal pathways), unless watered with subsurface drip irrigation. | <input checked="" type="checkbox"/> |
| Special Landscape Areas | Areas identified as SLAs meet the definition of Special Landscape Area: <i>An area of landscape dedicated solely to aesthetic plants, areas irrigated with nonpotable water, water features using nonpotable water, and areas dedicated to active play (parks, sports fields, golf courses). SLAs DO NOT INCLUDE front-yard and backyard lawns of private residences or water features that use potable water.</i> | <input type="checkbox"/> N/A |
| Hydrozones | Plants are grouped by hydrozone (similar water needs, sun exposure, slope, soil). | <input checked="" type="checkbox"/> |
| | Hydrozones, including SLAs, are delineated and labeled with square footages. | <input checked="" type="checkbox"/> |
| | Hydrozones are labeled as low, moderate, high, or mixed (low/moderate) water use. | <input checked="" type="checkbox"/> |
| | High-water-use plants are confined to their own hydrozones (not mixed with plants with low- or moderate-water needs). | <input checked="" type="checkbox"/> |
| | Single hydrozones with both low- and moderate-water-use plants are labeled "mixed." | <input type="checkbox"/> N/A |
| | Hardscapes are identified. | <input checked="" type="checkbox"/> |
| | Square footages for hydrozones, water features, and SLAs on plan match those listed on the Water Budget Calculation Worksheets (if Compliance Option 2 is chosen). | <input checked="" type="checkbox"/> |
| Mulch | Mulch is at least 2" deep on exposed soil surfaces. Depth and type of mulch are noted in plan. | <input checked="" type="checkbox"/> |
| Water Features | Recirculating (if water features are included in plan). | <input type="checkbox"/> |
| | Pool/spa cover (if pool/spa is included in plan). | <input checked="" type="checkbox"/> |
| Grading and Stormwater Management | Grading contours and quantities shown on Landscape Design and/or Irrigation Design Plan. | <input type="checkbox"/> N/A |
| | Grading meets applicable requirements of City Standard Design Criteria. | <input type="checkbox"/> N/A |
| | Stormwater management practices are incorporated appropriately. | <input checked="" type="checkbox"/> |

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Page 1 of 3

Landscape and Irrigation Maintenance Checklist

Pursuant to the City of Mountain View's Water Conservation in Landscaping Regulations, landscapes and irrigation systems shall be maintained to ensure successful establishment following installation, and to ensure the efficient use of water. Maintenance shall be performed regularly and *must* include, at a minimum, the following components:

| Parameter | Components | Completed |
|-------------------|---|--------------------------|
| Irrigation System | System check (every six months) | <input type="checkbox"/> |
| | Routine inspection (monthly) | <input type="checkbox"/> |
| | Adjustment and repair | <input type="checkbox"/> |
| | Failed irrigation hardware components shall be replaced with the same or functionally equivalent components | <input type="checkbox"/> |
| Landscape | Replenish mulch | <input type="checkbox"/> |
| | Fertilize | <input type="checkbox"/> |
| | Prune | <input type="checkbox"/> |
| | Weed control | <input type="checkbox"/> |
| | Pest control | <input type="checkbox"/> |
| | Aeration and dethatching of turf areas | <input type="checkbox"/> |
| | Failed plants shall be replaced with the same or functionally equivalent plants | <input type="checkbox"/> |

To the best of my ability, the landscape and irrigation systems installed as part of this project will be maintained on a regular basis and in compliance with the Water Conservation in Landscaping Regulations.

X Ernest Lettman 02/07/2020
Signature of Project Applicant or Authorized Representative Date

Irrigation Design Plan Requirements

| Parameter | Requirements | Completed | |
|-----------|--|--|--------------------------|
| Design | Irrigation system is designed to avoid overspray and runoff. | <input checked="" type="checkbox"/> | |
| | Overhead irrigation is NOT used in the following locations: on slopes greater than 25 percent (except in defined amphitheaters), within 24' of an impervious surface (except for internal pathways) or in any narrow or irregularly shaped area that is less than 10' in width in any direction. | <input checked="" type="checkbox"/> | |
| | Each irrigation valve waters only one type of hydrozone. | <input checked="" type="checkbox"/> | |
| Equipment | Location, type, and size of all irrigation system components are noted in plan. Components may include controllers, main and lateral lines, valves, sprinkler heads, quick couplers, pressure regulators, and backflow prevention devices. | <input checked="" type="checkbox"/> | |
| | The following irrigation components are included and noted in plan: | | |
| | Automatic irrigation controllers | <input checked="" type="checkbox"/> Rain-sensing shut-off devices | |
| | Master shut-off valves or equivalent technology | <input type="checkbox"/> Check valves or anti-drift valves | |
| | Swing joints or other non-protection components | <input type="checkbox"/> Flow sensors | |
| | Pressure regulators or booster pumps (if applicable) | <input type="checkbox"/> Flow/application rate and operating pressure for each station | |
| | Static water pressure at point of connection to public water supply. | <input checked="" type="checkbox"/> | |
| | Location and size of dedicated irrigation meter (if landscape area is > 1,000 square feet). | <input checked="" type="checkbox"/> | |
| | Scheduling | Proposed irrigation schedule is provided. | <input type="checkbox"/> |
| | | System only operates between 8:00 p.m. and 10:00 a.m. | <input type="checkbox"/> |

**NOTE: "Overhead irrigation" means water distributed through sprinkler heads or nozzles.

Compliance Option Requirements

| | |
|----------------------------------|-------------------------------------|
| Option 1: Plant-Type Restriction | <input type="checkbox"/> |
| Option 2: Water Budget | <input checked="" type="checkbox"/> |

Option 1: Plant-Type Restriction Requirements

| | |
|---|--------------------------|
| High-water-use plants (e.g., turf) are not used in the landscape area. | <input type="checkbox"/> |
| At least 80 percent of plantings are California native or low-water-use plants. | <input type="checkbox"/> |

Option 2: Water Budget Calculation Requirements

A water budget calculation is NOT required if plans comply with Compliance Option 1. Water Budget Calculations worksheets are available in hard copy at the City of Mountain View's Planning office or online: mountainview.gov/depts/comdev/planning/application.asp

| Parameter | Requirements | Completed |
|----------------------|---|-------------------------------------|
| Compliance | Water Budget Calculation worksheet completed and printed for submission. | <input checked="" type="checkbox"/> |
| | Landscape's water use is within budget: MAWA ≥ ETWL. | <input checked="" type="checkbox"/> |
| Appropriate Labeling | Plant factors in calculation worksheet are assigned as follows: 0.3 for low-water-use plants; 0.5 for moderate-water-use plants; and 0.8 for high-water-use plants. "Mixed" hydrozone areas are considered moderate-water-use areas and are assigned a factor of 0.5. | <input checked="" type="checkbox"/> |
| | Irrigation methods are assigned appropriate water-use levels (Spray=0.75 Drip=0.5). | <input type="checkbox"/> |

I certify that information provided on this checklist is correct and meets the specified requirements of the Water Conservation in Landscaping Regulations.

X Ernest Lettman 02/07/2020
Signature of Project Applicant or Authorized Representative Date

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Page 2 of 3



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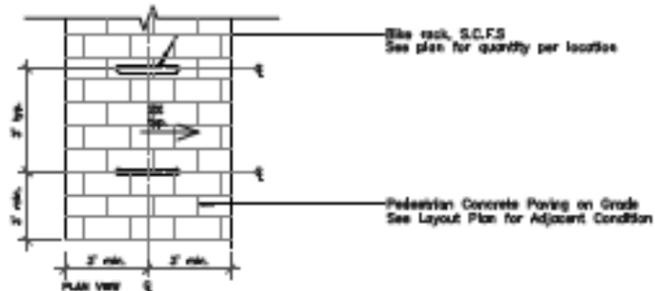
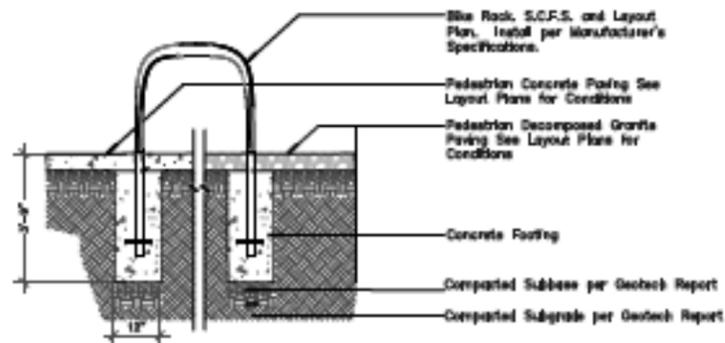
Mountain View, California

Sheet Title
**IRRIGATION NOTES
AND WATER
CALCULATIONS**

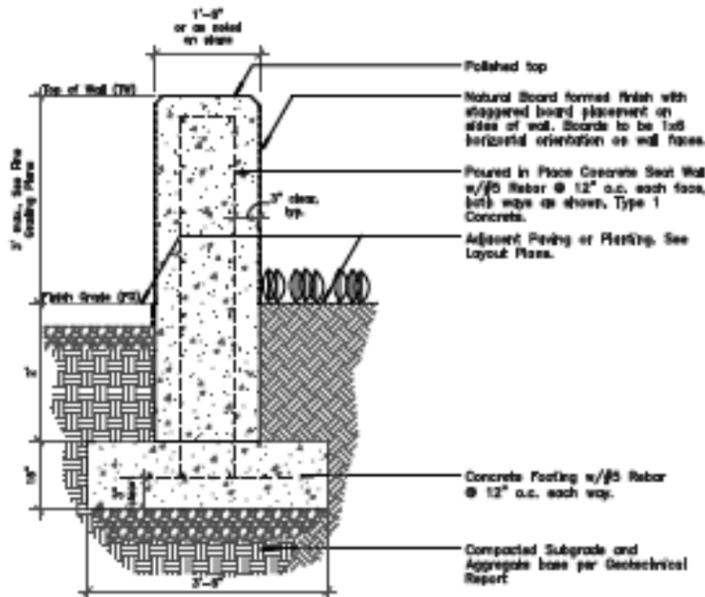
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Date 03/09/2020
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Sheet No.

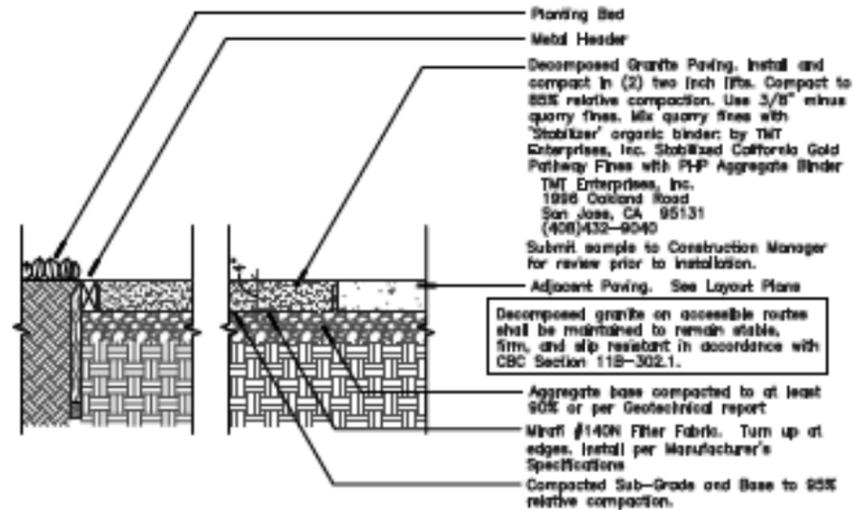
L5.4



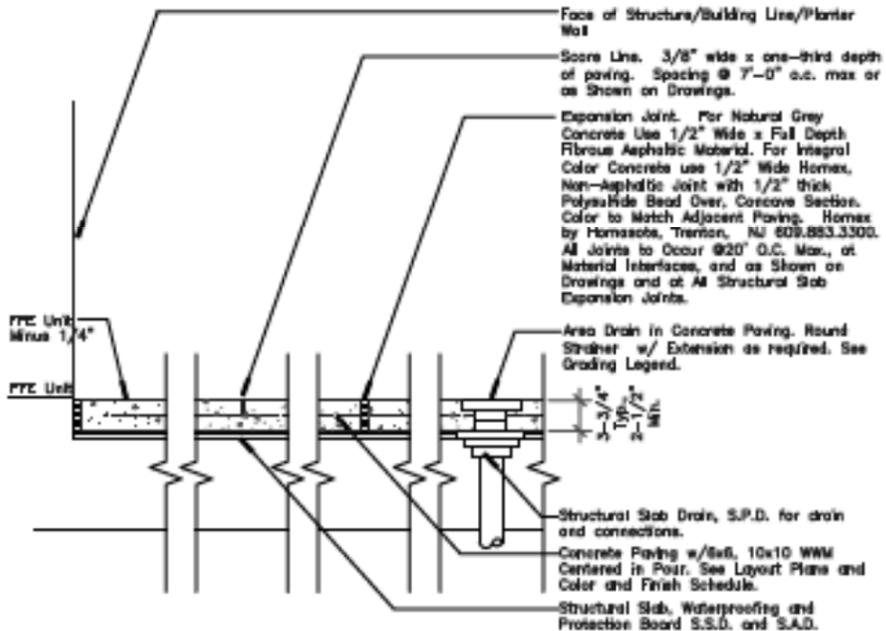
7 Bike Rack
Scale: 3/4" = 1'-0"



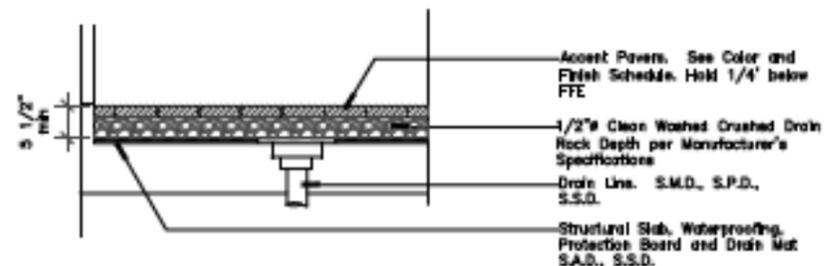
8 Concrete Seat Wall
Scale: 3/4" = 1'-0"



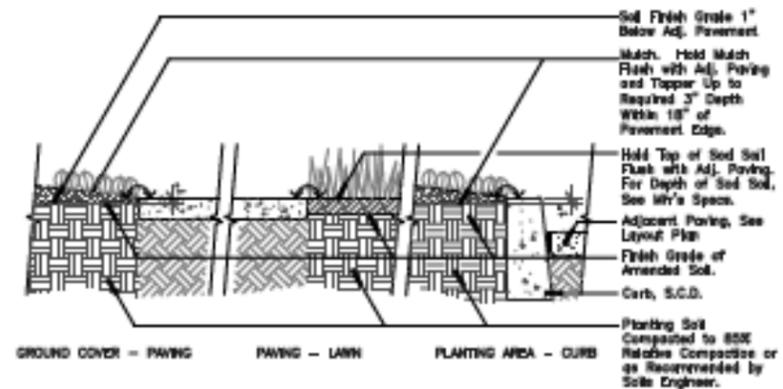
4 Pedestrian Decomposed Granite Paving
Scale: 1" = 1'-0"



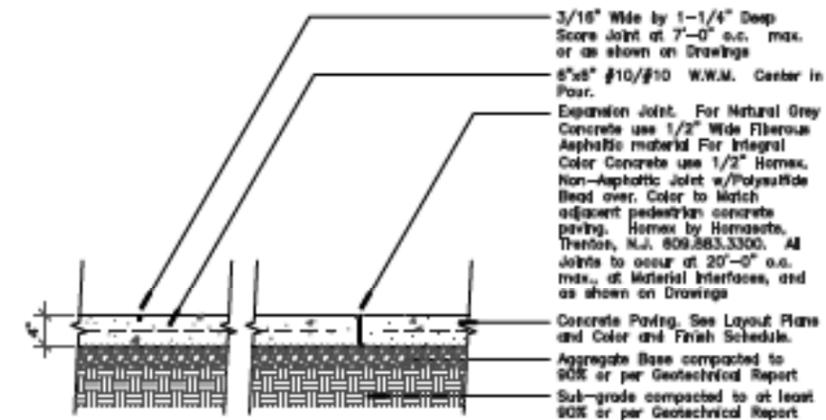
5 Concrete Paving On-Structure
Scale: 1" = 1'-0"



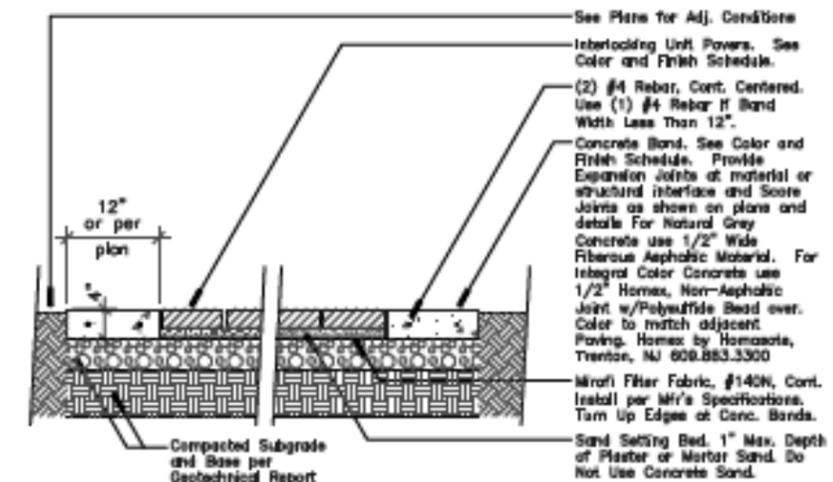
6 Pedestrian Accent Paver On-Structure
Scale: 1/2" = 1'-0"



1 Fine Grading @ Paving Edges
Scale: 3/4" = 1'-0"



2 Pedestrian Concrete Paving on-Grade
Scale: 1" = 1'-0"



3 Pedestrian Accent Paver on-Grade
Scale: 1" = 1'-0"



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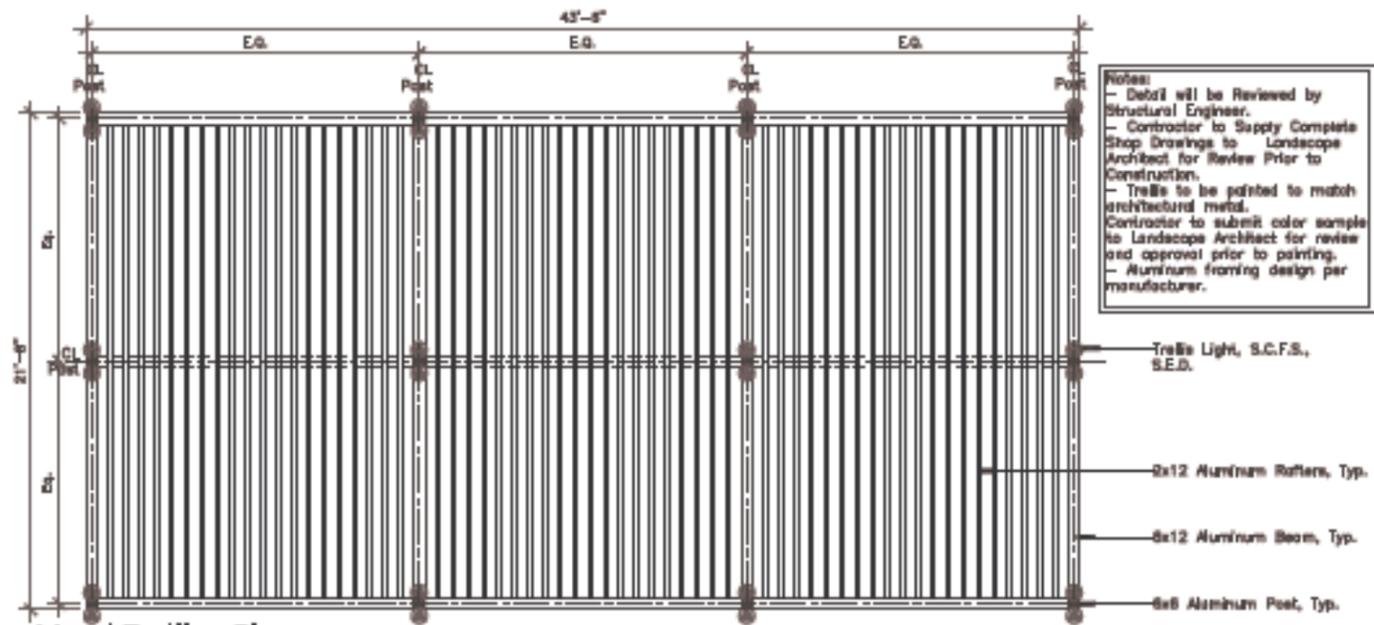
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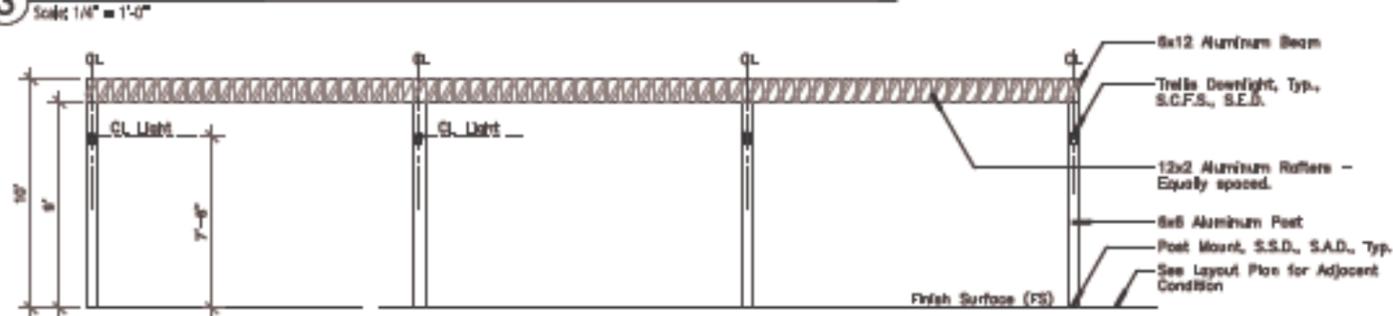
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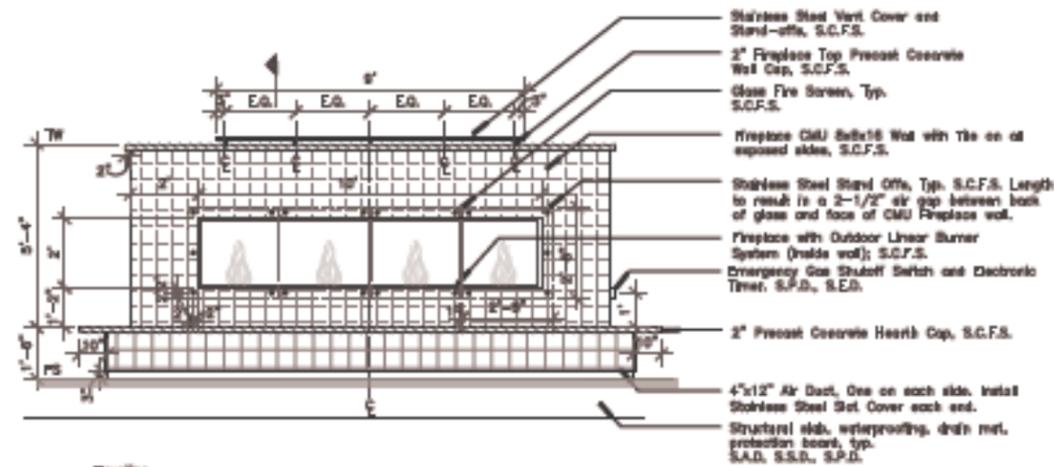
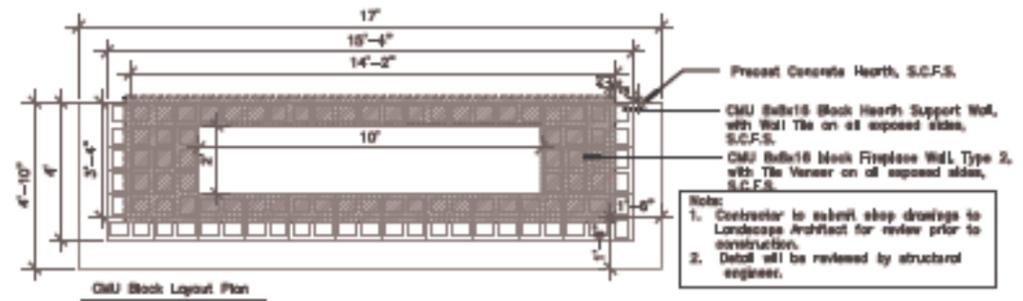
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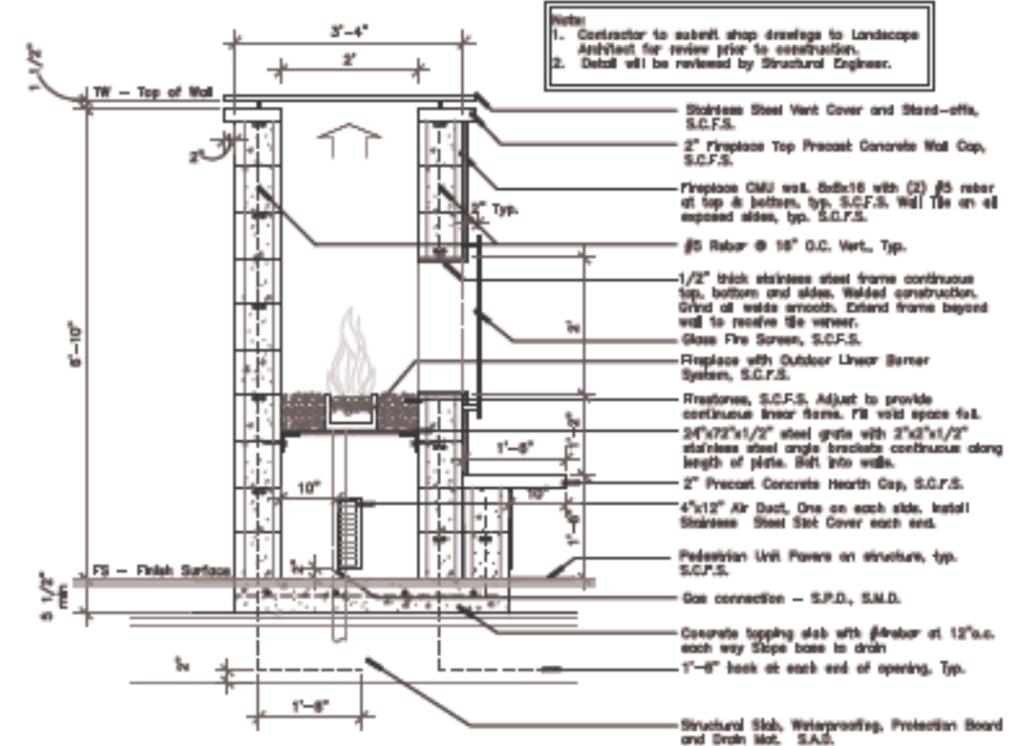
3 Metal Trellis - Plan



4 Metal Trellis - Elevation



1 Fireplace - Section



2 Fireplace - Section



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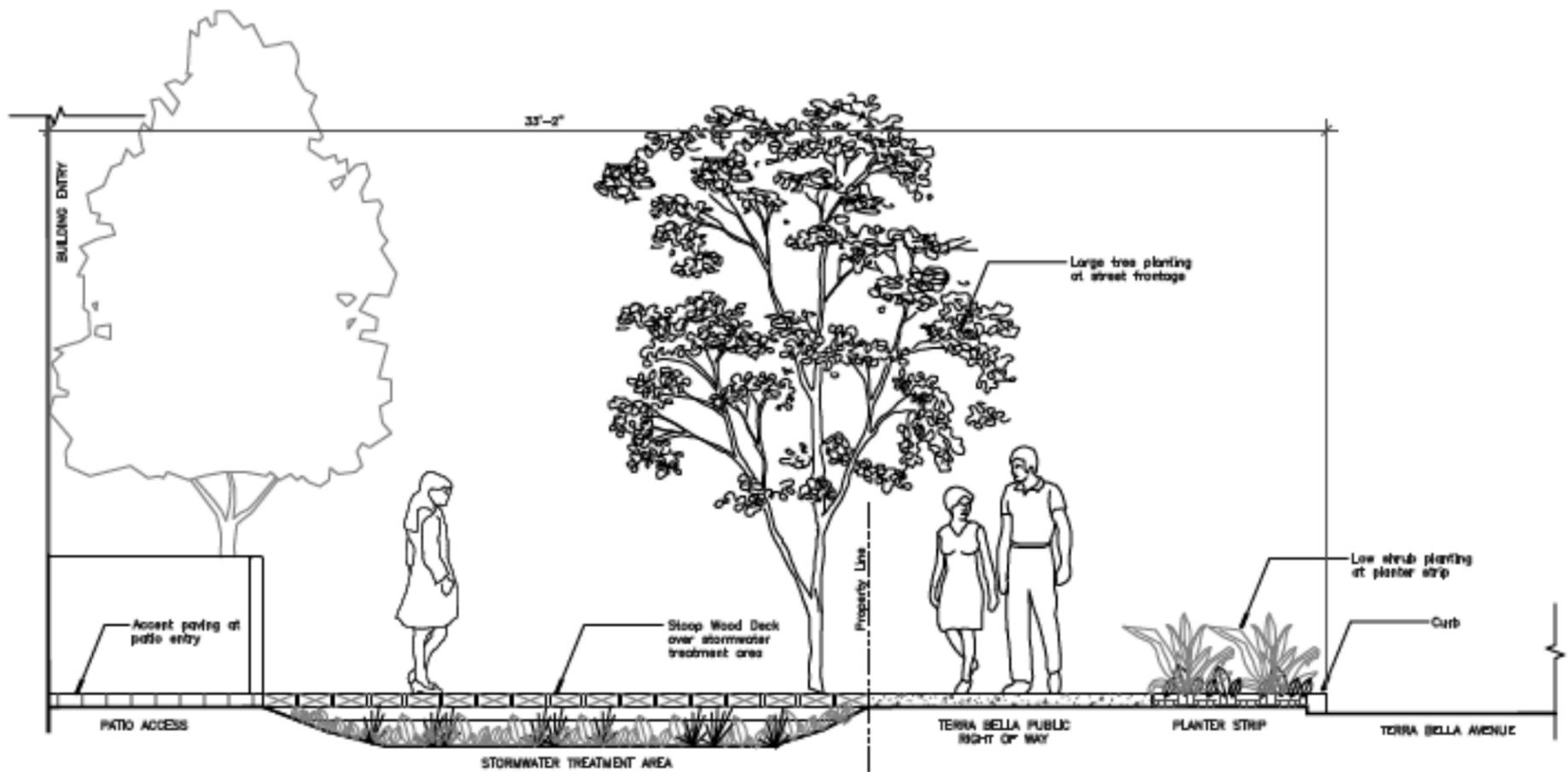
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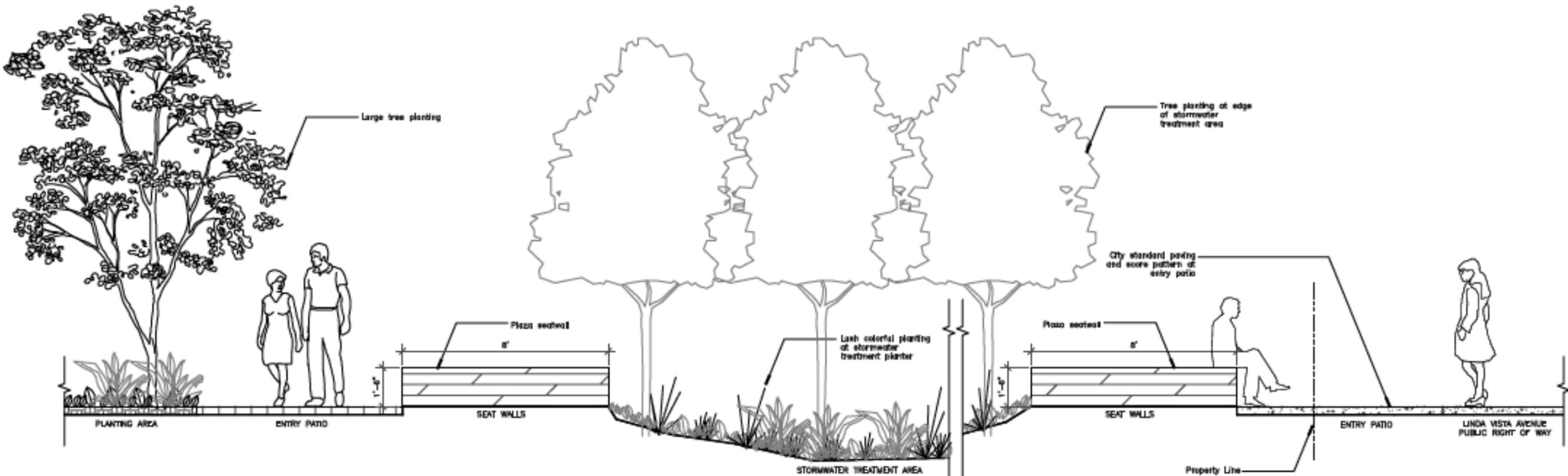
Sheet No.

L6.3



1 Terra Bella Ave. Frontage Elevation

Scale: 1/8" = 1'-0"



2 Linda Vista Ave. Dual Plaza Entry Elevation

Scale: 1/8" = 1'-0"



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L6.4



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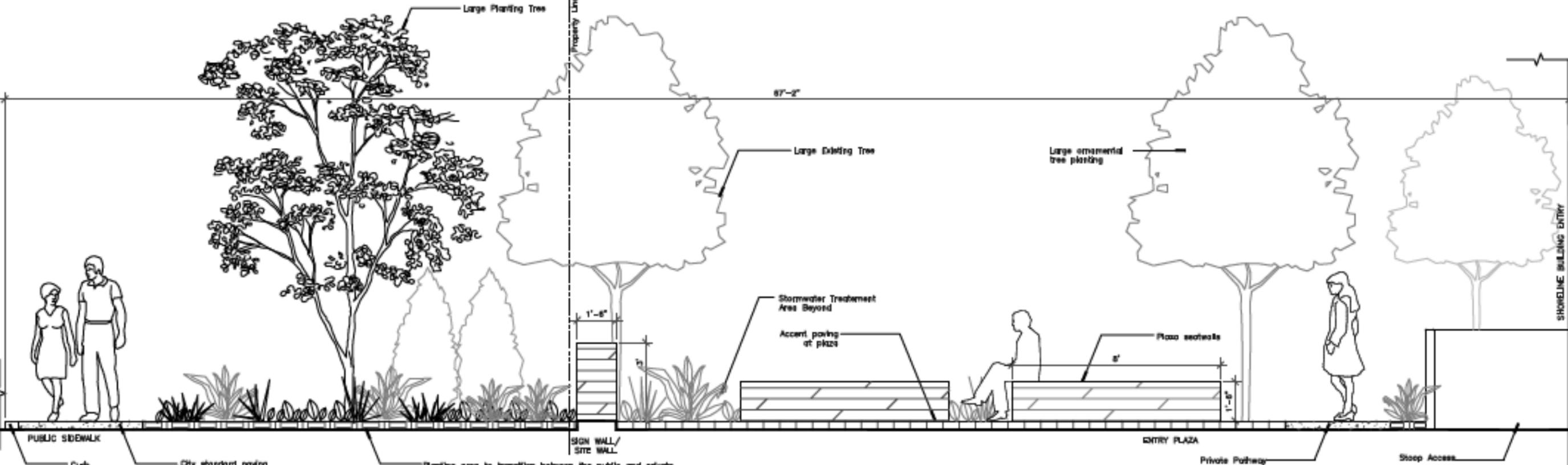
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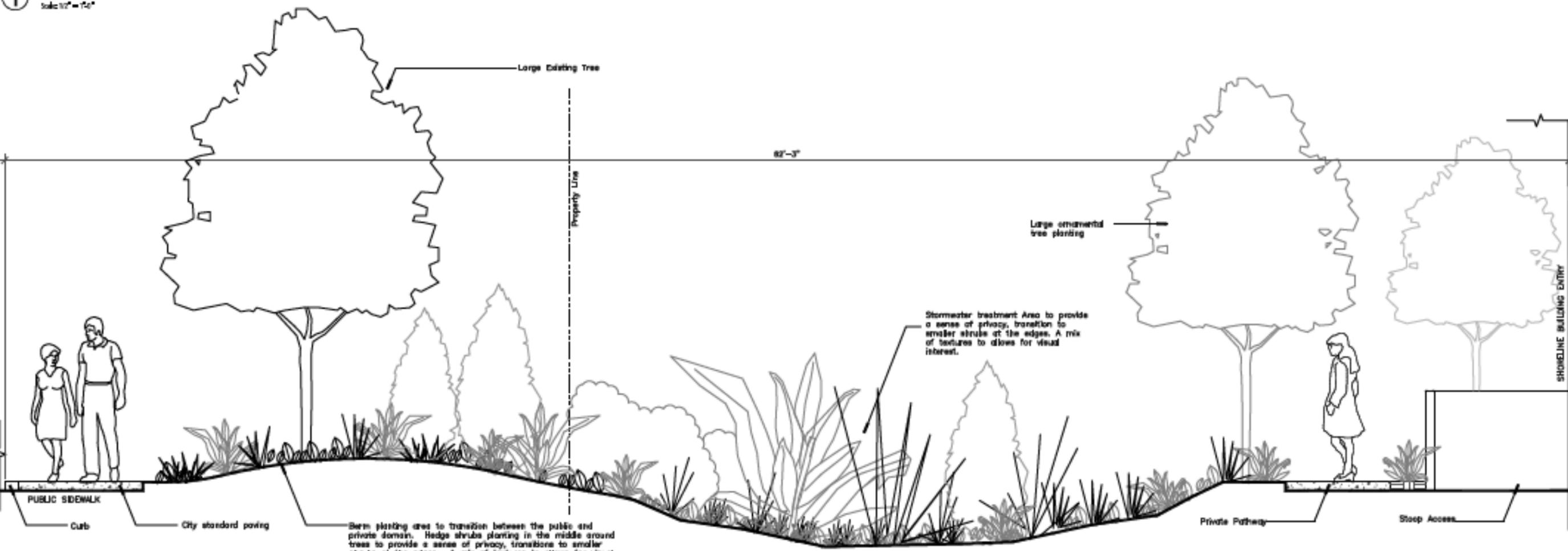
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L6.5



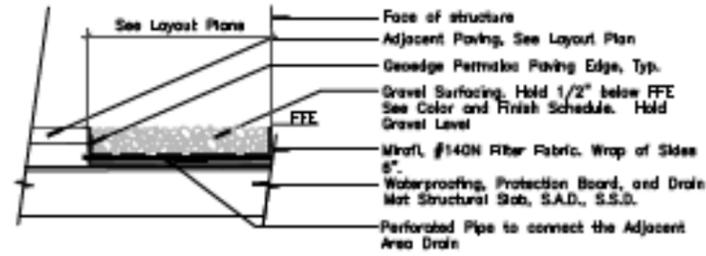
1 Shoreline Blvd Plaza Section
 Scale: 1/2" = 1'-0"

Planting area to transition between the public and private domain. Hedge shrubs planting in the middle around trees to provide a sense of privacy, transition to smaller shrubs at the edges. A mix of textures to allow for visual interest.

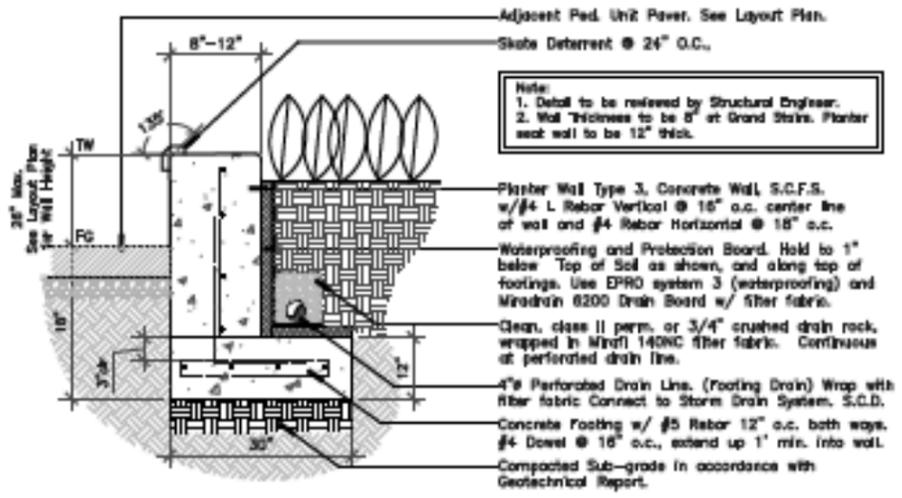


2 Shoreline Residential Entrances Section
 Scale: 1/2" = 1'-0"

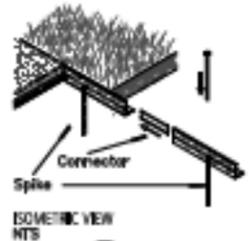
Berm planting area to transition between the public and private domain. Hedge shrubs planting in the middle around trees to provide a sense of privacy, transition to smaller shrubs at the edges. A mix of textures to allow for visual interest.



7 Gravel Surfacing on-Structure
Scale: 1/2" = 1'-0"



4 Raised Concrete Planter Wall On-Grade
Scale: 1" = 1'-0"

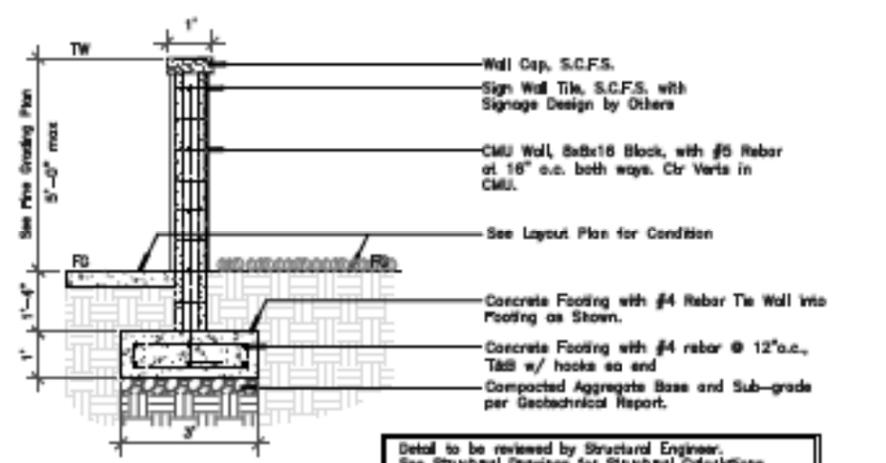


FIN LEGEND
(MF) MILL FINISH-NATURAL ALUMINUM MEETS
(BL) BLACK DURAFLEX-ELECTROSTATICALLY APPLIED
BAKED ON PAINT, MEETS AAMA 2603

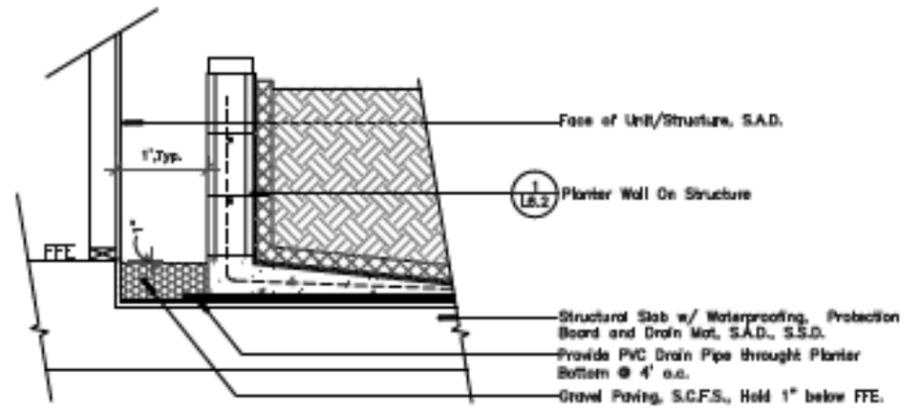
SIZE
3/8" X 26" (3.2MM X 57MM)
w/ 0.190" (4.83MM) TOP LIP

NOTE:
1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
2. CONNECTION BETWEEN SECTIONS TO UTILIZE MANUFACTURER'S SLIDING CONNECTOR SYSTEM
3. CORNERS: NOTCH BASE ONLY AND FORM A CONTINUOUS CORNER
4. PERMALOC STRUCTUREEDGE AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND MI, (800) 358-9880, (516) 399-9800
5. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT: WWW.PERMALOC.COM

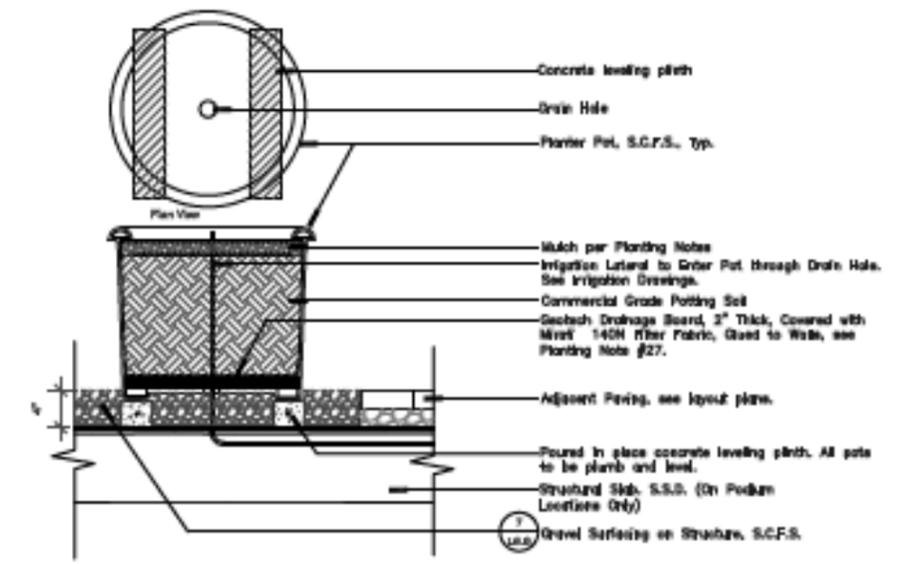
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Scale: 1" = 1'-0"



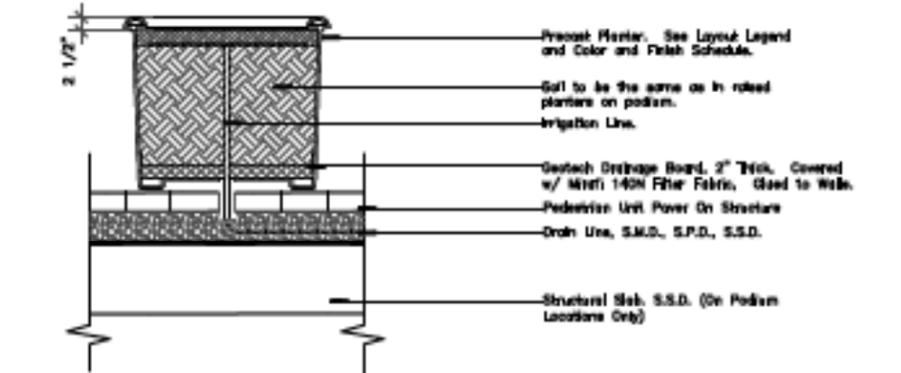
5 Sign Wall Section
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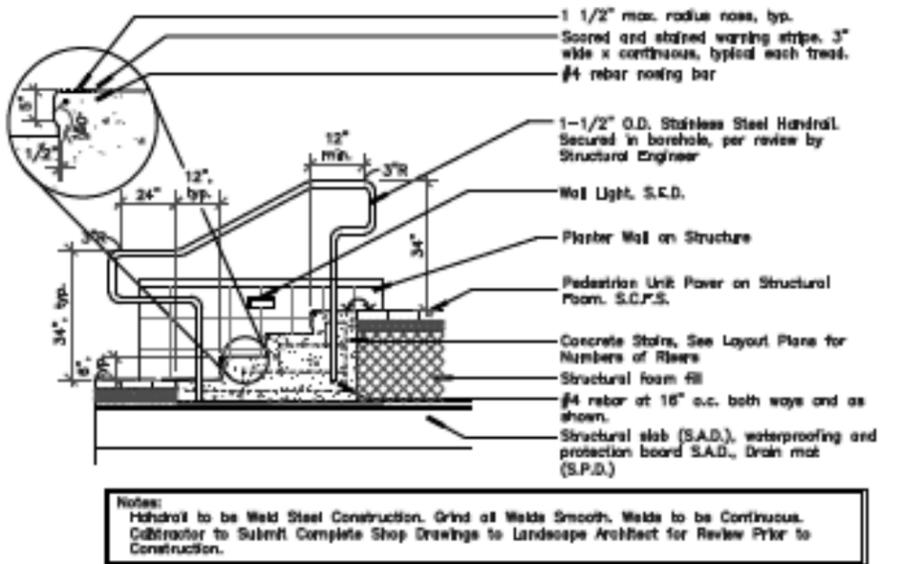
6 Gravel Band at Planter Wall
Scale: 1" = 1'-0"



1 Pre-Cast Planter Pot in Gravel On-Structure
Scale: 3/4" = 1'-0"



2 Precast Planter Pot On-Structure
Scale: 3/4" = 1'-0"



3 Concrete Stairs with Handrails on Structure
Scale: 1/2" = 1'-0"



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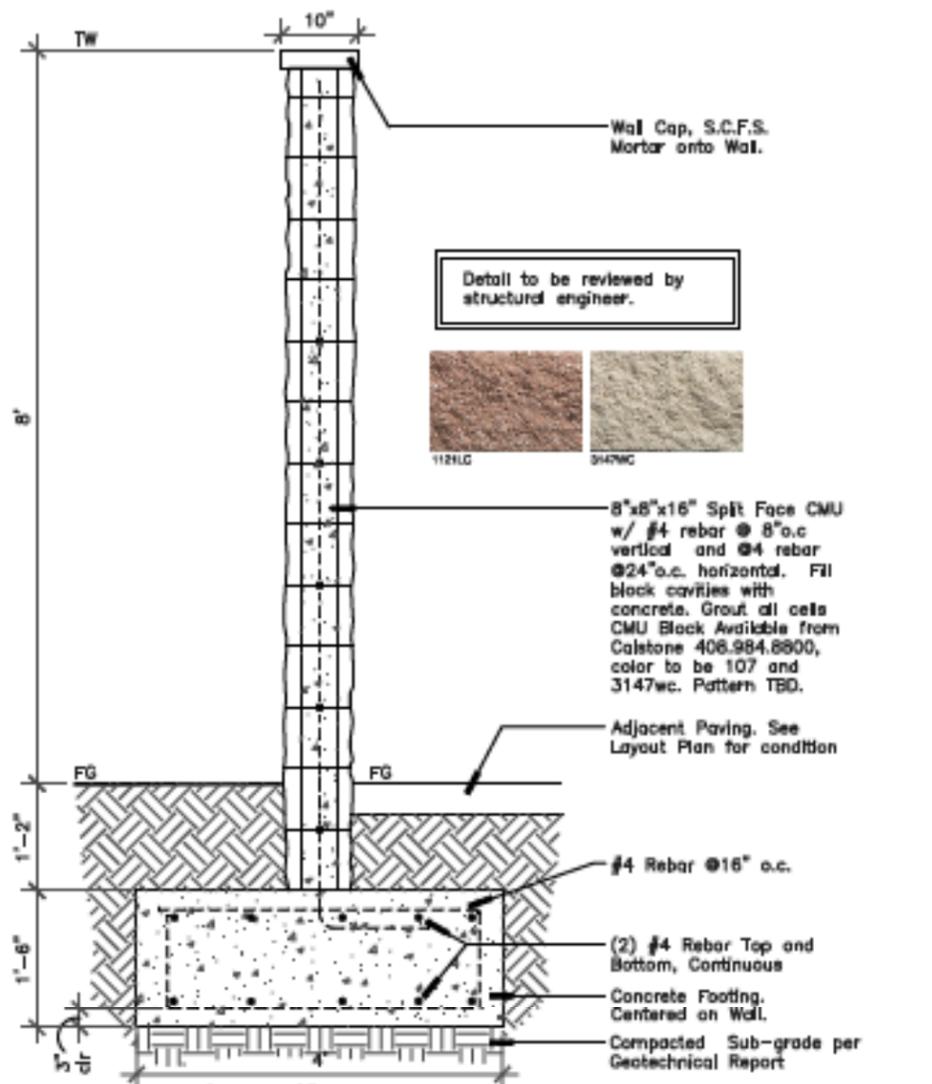
Mountain View, California

Sheet Title
CONCEPTUAL LANDSCAPE DETAILS

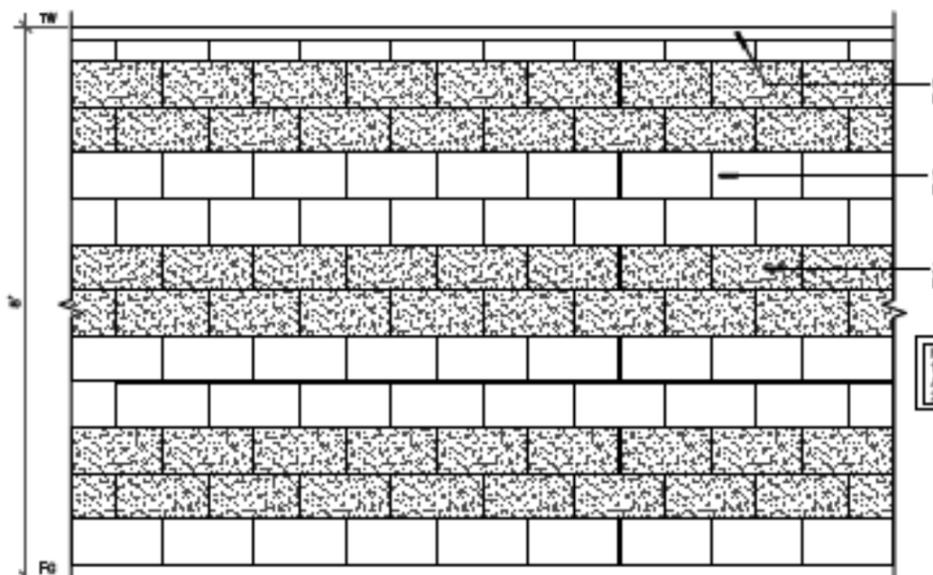
Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

Sheet No:

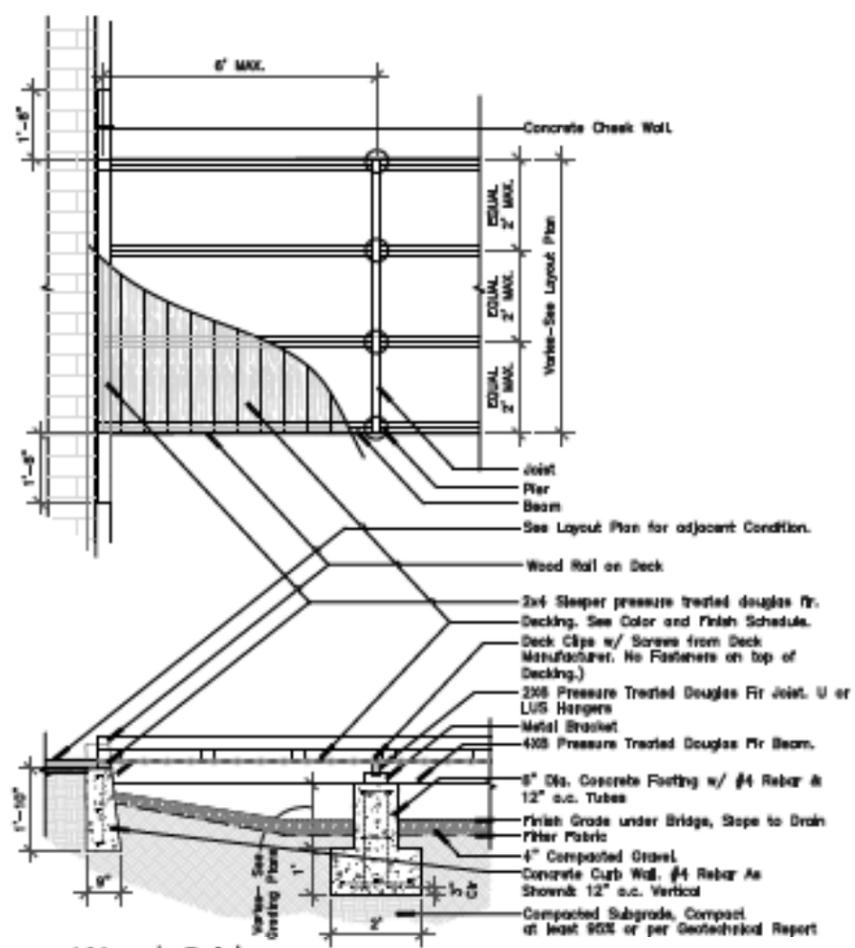
L6.6



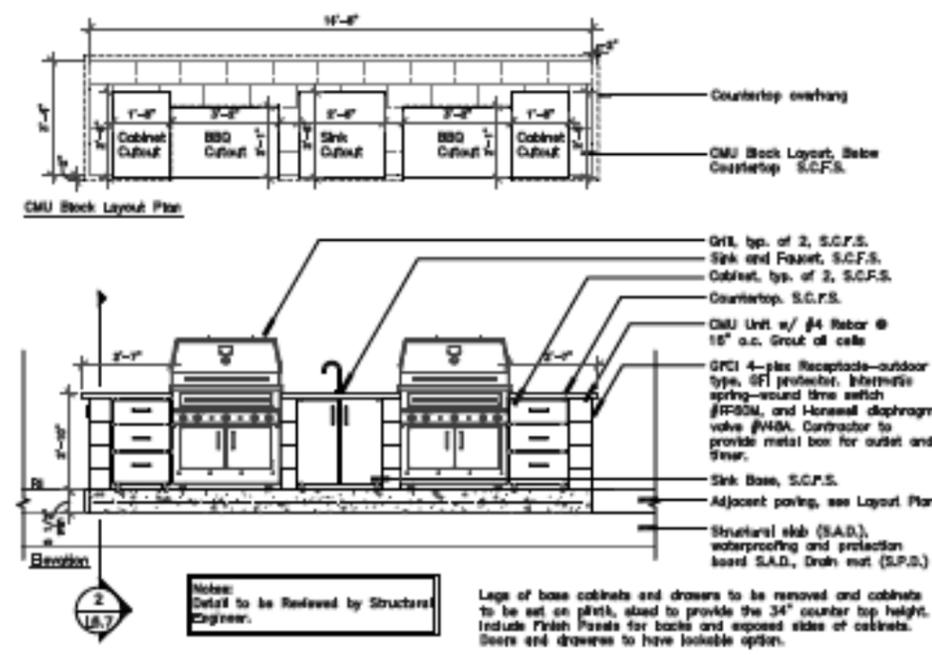
5 Sound Wall
Scale: 1/4" = 1'-0"



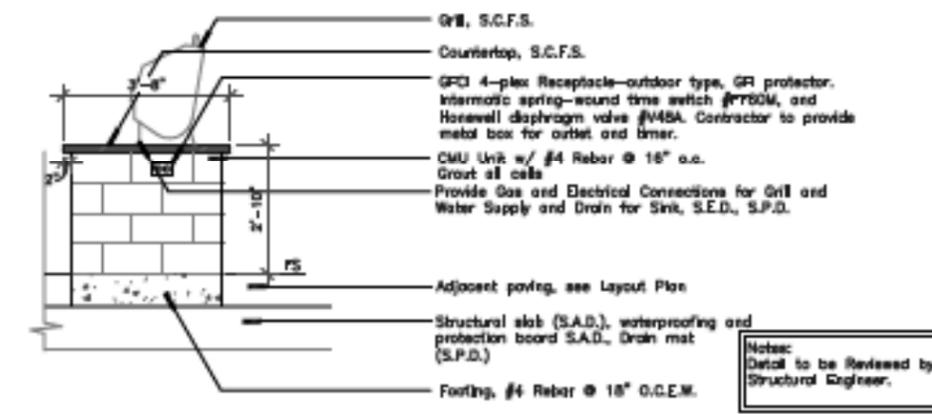
6 Sound Wall
Scale: 1/2" = 1'-0"



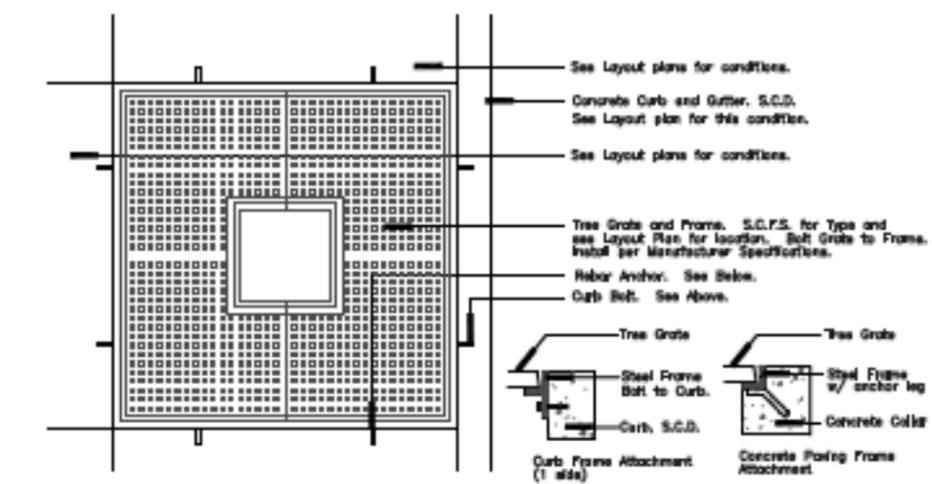
4 Wood Bridge
Scale: 1/2" = 1'-0"



1 Outdoor BBQ on Structure
Scale: 3/8" = 1'-0"



2 Outdoor BBQ on Structure - Section
Scale: 1/2" = 1'-0"



3 Tree Grate with Paving Conditions
Scale: 3/4" = 1'-0"



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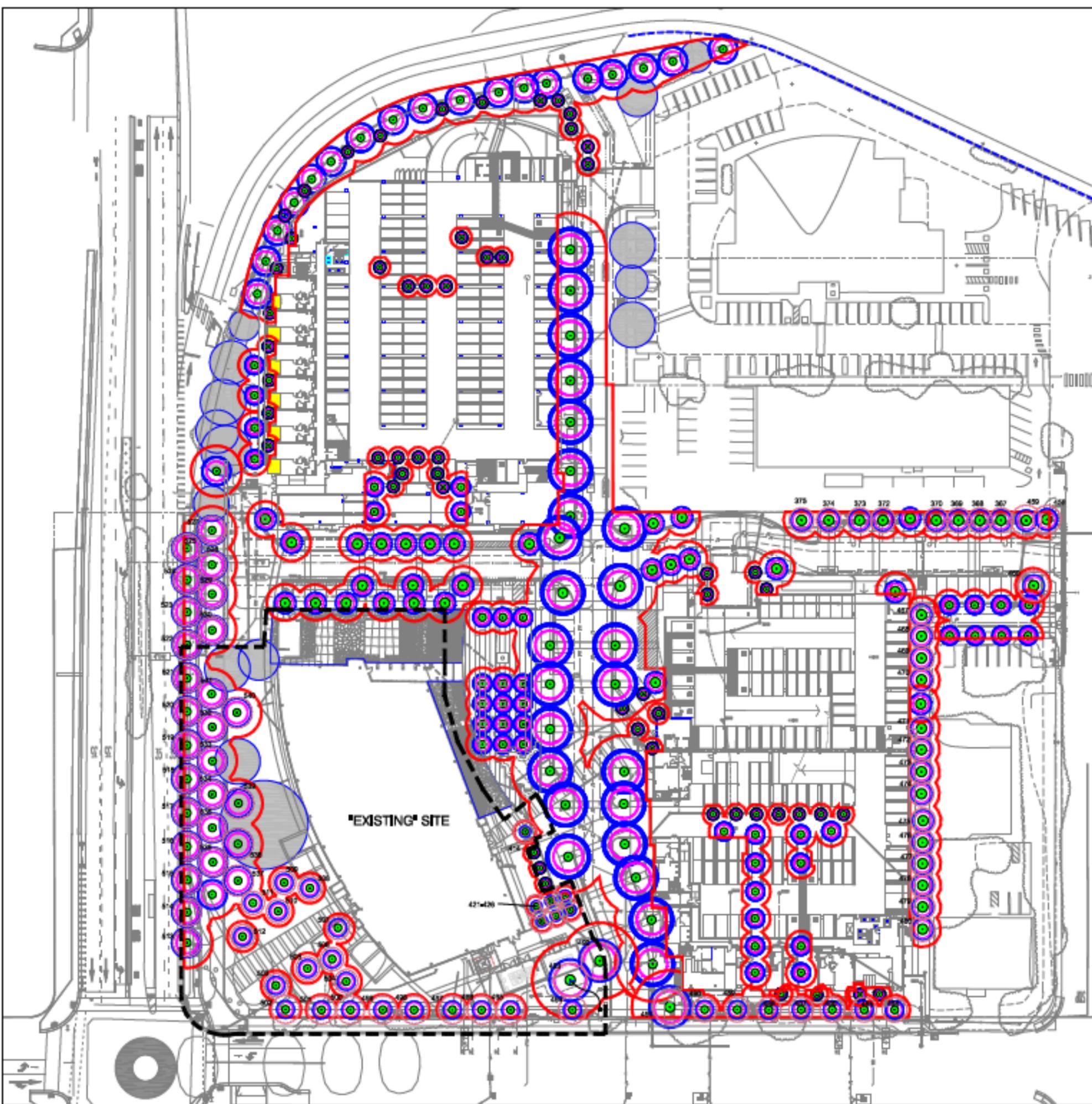
Mountain View, California

Sheet Title
CONCEPTUAL LANDSCAPE DETAILS

Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

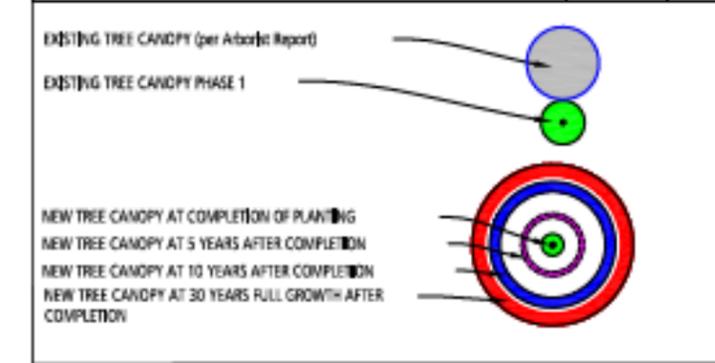
Sheet No.

L6.7



TREE CANOPY TABLE AND LEGEND

| CATEGORY | SQFT. AREA | % SITE |
|--|------------|--------|
| TOTAL SITE AREA | 240,311 | 100.0% |
| EXISTING TREE CANOPY (per Arborist Report) | 16,182 | 4.7% |
| CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT CONSTRUCTION COMPLETION | 3,185 | 0.9% |
| CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT 5 YEARS | 14,372 | 4.2% |
| CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT 10 YEARS | 29,891 | 7.0% |
| CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT FULL GROWTH | 72,822 | 21.4% |
| CANOPY AT PLANTING (NEW ONLY) | 4,174 | 1.2% |
| CANOPY AT 5 YEARS (NEW ONLY) | 22,348 | 6.5% |
| CANOPY AT 10 YEARS (NEW ONLY) | 60,706 | 17.8% |
| CANOPY AT 30 YEARS FULL GROWTH (NEW ONLY) | 84,875 | 27.8% |
| CANOPY AT PLANTING (EXISTING TO REMAIN + NEW) | 23,494 | 6.9% |
| CANOPY AT 5 YEARS (EXISTING TO REMAIN + NEW) | 62,673 | 18.2% |
| CANOPY AT 10 YEARS (EXISTING TO REMAIN + NEW) | 102,736 | 28.8% |
| CANOPY AT 30 YEARS FULL GROWTH (EXISTING TO REMAIN + NEW) | 163,650 | 44.7% |




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Sheet Title
TREE CANOPY STUDY

Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

Sheet No.

L7.1



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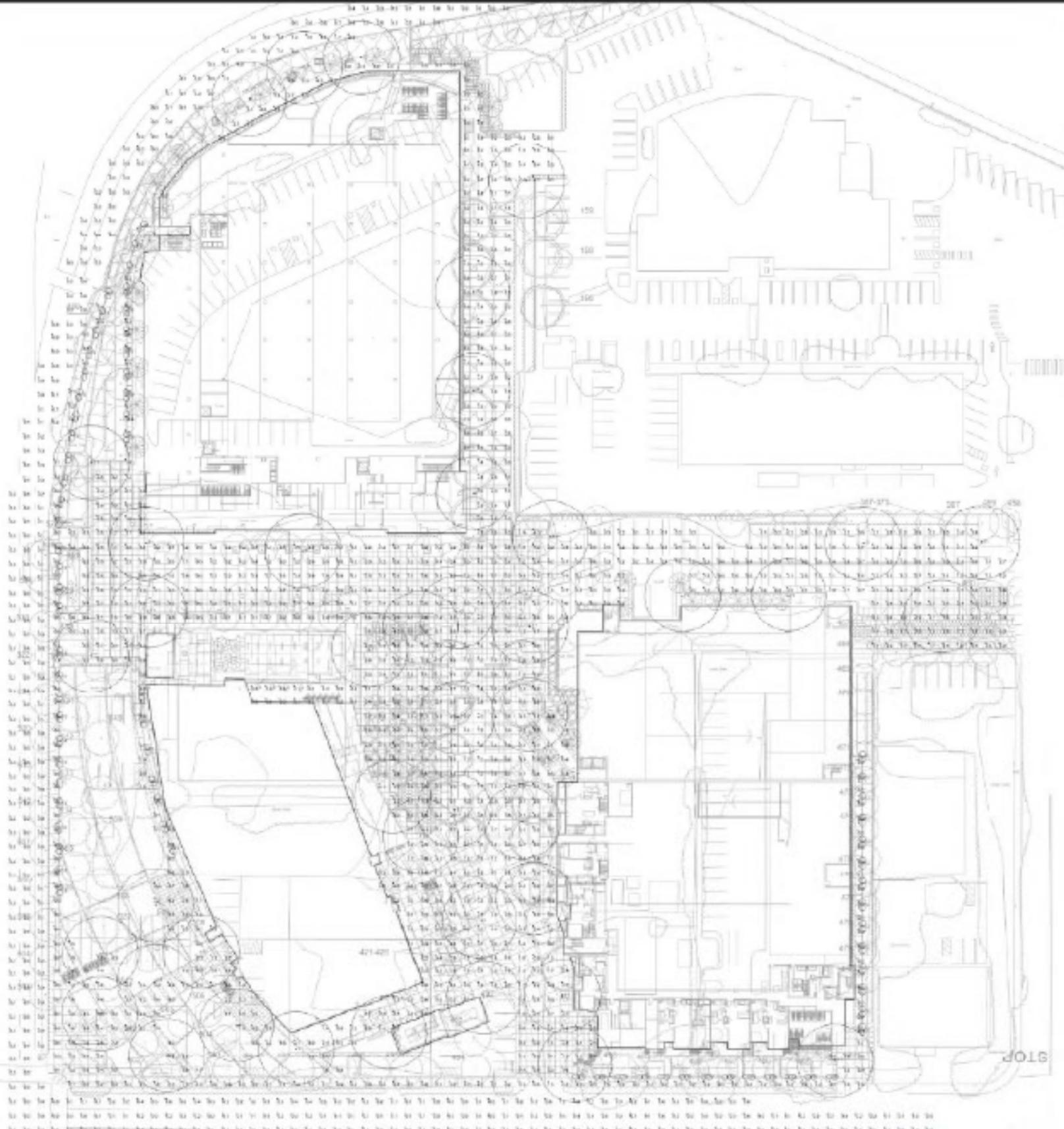
Mountain View, California

Sheet Title
 PHOTOMETRIC
 STUDY

Job No. 18021
 Date 03/09/2020
 Scale:
 Drawn By:

Sheet No.

L8.1



| Symbol | Unit | Label | Color | Line Style | Line Weight | Line Dash | Line Color | Line Type | Line Weight | Line Dash | Line Color |
|--------|------|-------|-------|------------|-------------|-----------|------------|-----------|-------------|-----------|------------|
| ○ | ft | 100 | Red | Solid | 1.00 | | Red | Circle | 1.00 | | Red |
| ○ | ft | 200 | Red | Solid | 1.00 | | Red | Circle | 1.00 | | Red |

| Label | Color | Line Style | Line Weight | Line Dash | Line Color |
|------------------|-------|------------|-------------|-----------|------------|
| Circle Footprint | Red | Solid | 1.00 | | Red |
| Site Boundary | Red | Solid | 2.00 | | Red |

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT 5 FT AIT

PHOTOMETRIC DATA BASED ON INPUT FOR THIS CALCULATION IS BASED ON ESTABLISHED METHODS AND PUBLISHED LAMP DATA. FIELD MEASUREMENTS WILL VARY FROM ACTUAL LIGHT OUTPUT, DISTRIBUTION, AND SITE CHARACTERISTICS.

Calculations have been performed according to standards and good practice. Some differences between manufacturer's values and calculations may occur due to differences in calculation methods, lighting product data, measurement uncertainties, measurement techniques, and other conditions. Input data and assumptions for calculation are subject to change. Calculations are based on the best available information. Field measurements will vary from actual lighting conditions. Plans and elevations are subject to change. The best available information has been used to prepare these calculations. Plans and elevations are subject to change. The best available information has been used to prepare these calculations.

Associated Lighting Representatives, Inc.

AR

ASSOCIATED LIGHTING REPRESENTATIVES, INC.
 1777 ALABAMA LANE
 P.O. BOX 7155
 SAN ANGELO, TEXAS 76901
 PHONE: (361) 838-3158, FAX: (361) 838-3268

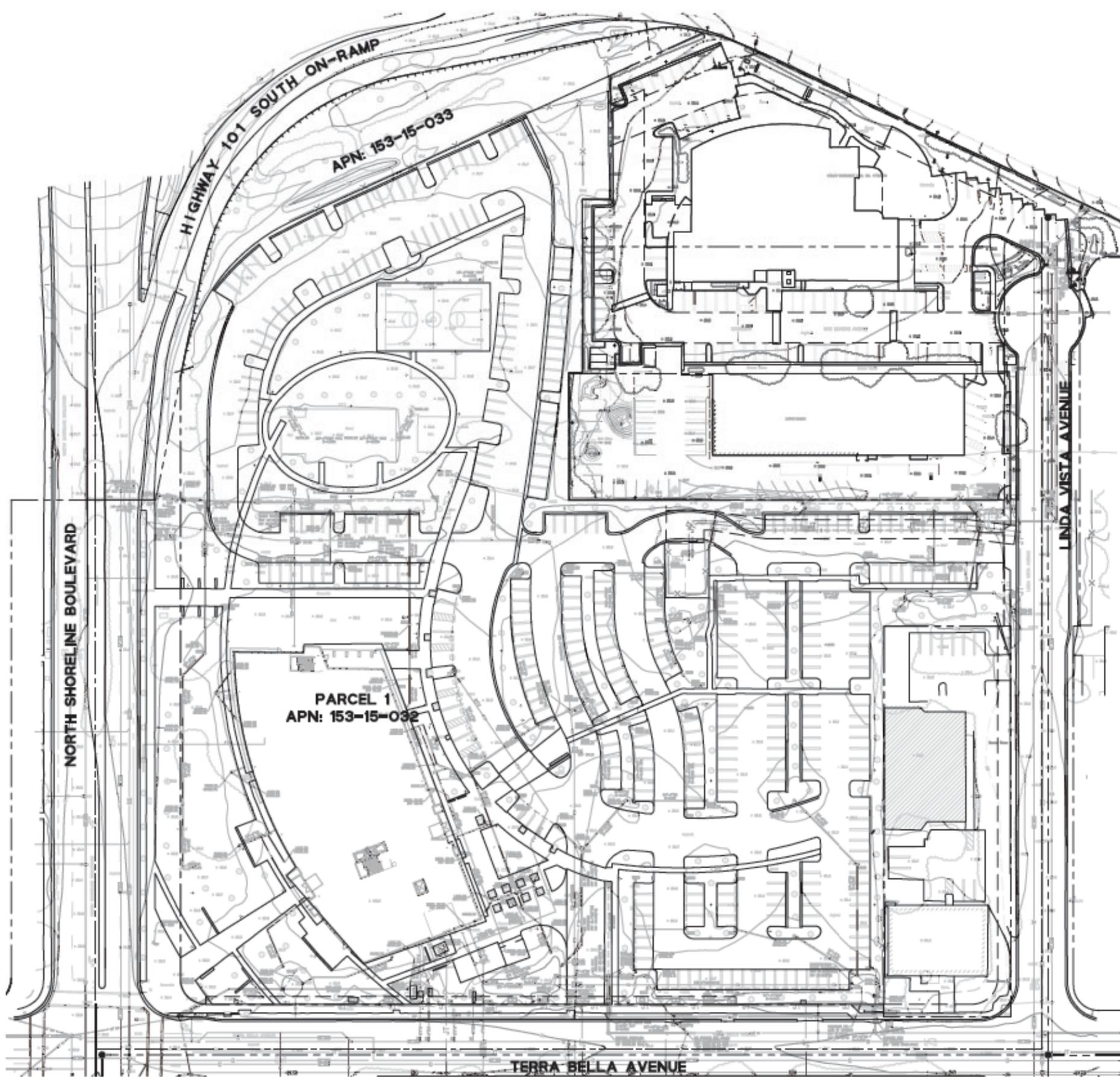
FOR OFFICE: THE GUZZARDO PARTNERSHIP INC. 1000 PLYMOUTH
 ST. APPOLO, CALIFORNIA 94508
 EXTERIOR REPRESENTATIVE: S.R. TROTT

AGSI

AGSI VERSION 10.2
 4800 78th Street East, Suite 100
 Everett, WA 98203
 PHONE: (425) 335-1111

1001 SHORELINE - ALTERNATE
 MOUNTAIN VIEW, CA

| DATE | BY | APP'D | REV |
|------------|----------|----------|-----|
| 03/09/2020 | J. H. H. | J. H. H. | 1 |



LEGEND AND ABBREVIATIONS

| | | | |
|--|-----|-----|---------------------------------|
| STORM DRAIN LINE | --- | ACP | ASBESTOS CEMENT PIPE |
| SANITARY SEWER LINE | --- | BL | BUILDING |
| WATER LINE | --- | BW | BACK OF WALK/ BOTTOM OF WALL |
| GAS LINE | --- | CB | CATCH BASIN |
| TELEPHONE/TRAFFIC SIGNAL LINE | --- | CD | CLEAN OUT |
| ELECTRICAL LINE | --- | DMV | DRIVEWAY |
| FIBER OPTIC LINE | --- | EP | EDGE OF PAVEMENT |
| JOINT TRENCH LINE | --- | EW | EDGE OF WALK |
| OVERHEAD WIRE | --- | FF | FINISHED FLOOR |
| CONTOUR LINE | --- | FL | FLOW LINE |
| CURB AND GUTTER | --- | FNC | FENCE |
| STORM DRAIN MANHOLE | ○ | OB | GRADE BREAK |
| SANITARY SEWER MANHOLE | ○ | INV | INVERT |
| UTILITY MANHOLE | ○ | LIP | LIP OF GUTTER |
| CATCH BASIN | ○ | PTR | PRELIMINARY TITLE REPORT |
| WATER BOX | ○ | SD | STORM DRAIN |
| GAS METER | ○ | SS | SANITARY SEWER |
| ELECTROLIER | ○ | TC | TOP OF CURB |
| TRAFFIC SIGNAL | ○ | TMH | TYPICAL MANHOLE |
| WATER VALVE | ○ | TW | TOP OF WALL |
| TREE | ○ | VCP | VITRIFIED CLAY PIPE |
| TRAFFIC SIGN | ○ | | |
| ELEVATION SPOT SHOT | ○ | | |
| STORM DRAIN/SANITARY SEWER CLEANOUT | ○ | | |
| ELECTRICAL METERS | ○ | | |
| STREET LIGHT BOX | ○ | | |
| CITY MONUMENT | ○ | | |
| EXISTING BOUNDARY LINE | --- | | |
| ADJACENT PARCEL LINES | --- | | |
| NO ACCESS LINE | --- | | |
| MONUMENT LINE | --- | | |
| CENTER LINE | --- | | |
| VERIZON LEASE LINE | --- | | |
| EASEMENT LINE (E) TO REMAIN | --- | | |

SHEET INDEX

| NO. | SHEET | TITLE |
|-----|-------|---------------------------------------|
| 1 | C1.0 | EXISTING CONDITIONS |
| 2 | C2.0 | CONCEPTUAL GRADING PLAN SOUTH |
| 3 | C2.1 | CONCEPTUAL GRADING PLAN NORTH |
| 4 | C2.2 | CROSS SECTIONS |
| 5 | C3.0 | CONCEPTUAL UTILITY PLAN |
| 6 | C4.0 | CONCEPTUAL STORMWATER CONTROL PLAN |
| 7 | C4.1 | CONCEPTUAL STORMWATER CONTROL DETAILS |

NOTE:

AERIAL TOPOGRAPHIC SURVEY TAKEN FROM ALTA SURVEY PREPARED BY BKF DATED MARCH 2018.

BENCHMARK:

CITY OF MOUNTAIN VIEW BM II-09; BRONZE DISK STAMPED "II-09" SET IN THE TOP OF CURB AT THE SOUTH END OF THE SOUTHEAST RETURN OF NORTH SHORELINE BOULEVARD AT TERRA BELLA AVENUE. ELEVATION: 35.903 (NAVD 1988 DATUM)

BASIS OF BEARING:

THE BEARING OF EAST TAKEN ON THE CENTERLINE OF TERRA BELLA AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON DECEMBER 18, 1979 IN BOOK 455 OF MAPS AT PAGES 56 & 57, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.



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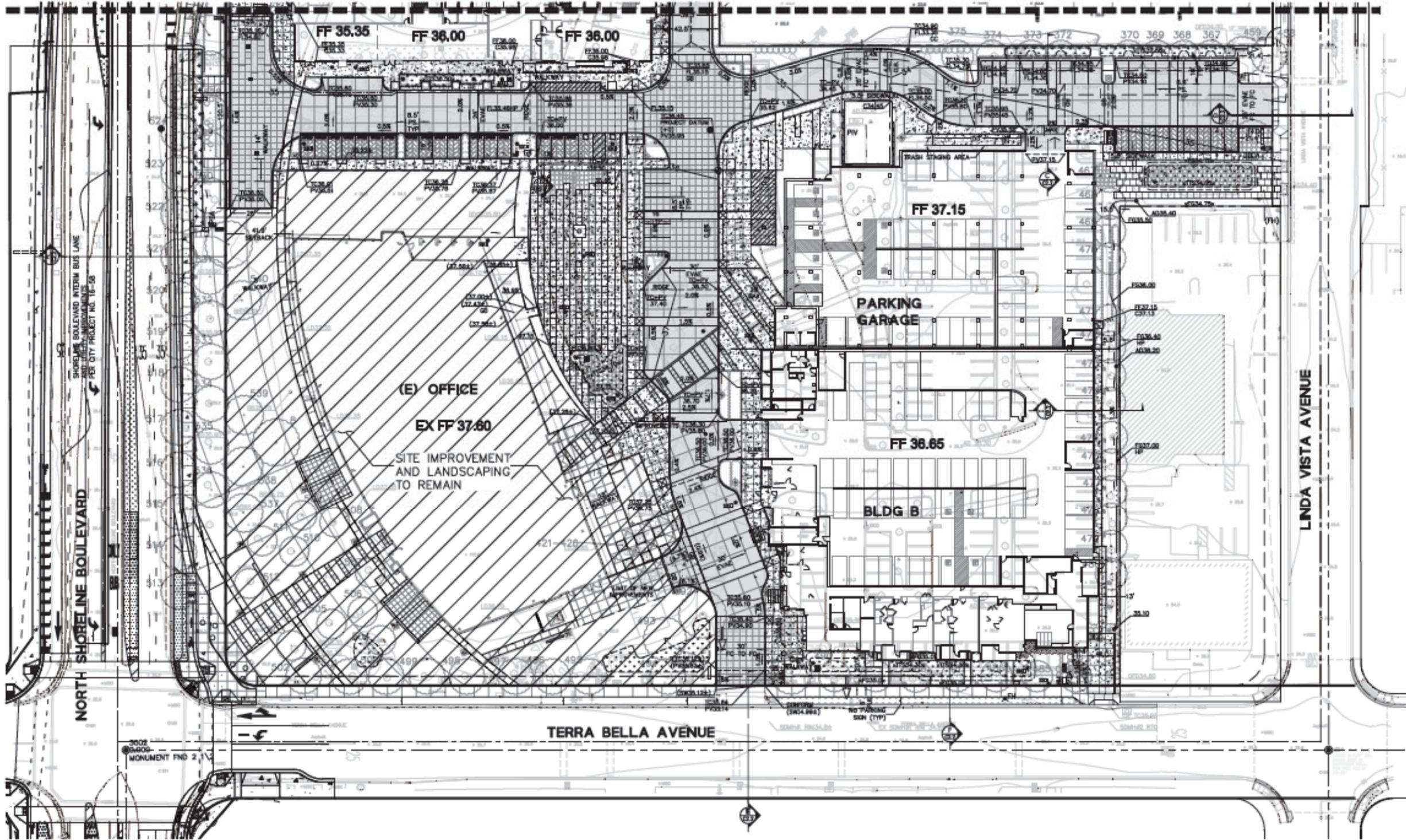
Mountain View, California

Sheet Title:
**EXISTING
CONDITIONS**

Job No. 16021
BKF Job No. 20126019
Date: 01/22/2020
Scale: 1" = 40'
Drawn By:

Sheet No:
C1.0

MATCHLINE - SEE SHEET C2.1



Notes:
 1. ALL TRANSFORMERS ARE UNDERGROUND
 2. NO STREET PARKING ALLOWED ON TERRA BELLA AVENUE

LEGEND

| | |
|--|--------------------|
| | CURB AND GUTTER |
| | AC PAVEMENT |
| | VEHICULAR CONCRETE |
| | PERVIOUS PAVERS |
| | NEW SIDEWALK |
| | RETAINING WALL |
| | BIORETENTION BASIN |
| | OVERLAND RELEASE |
| | SLOPE DIRECTION |
| | HARDSCAPE |
| | SOFTSCAPE |

| | |
|--|-----------------|
| | EXISTING GRADE |
| | PROJECT DATUM |
| | NO PARKING SIGN |

ABBREVIATIONS

| | | | |
|------|----------------------------|-----|--------------------------|
| AD | AREA DRAIN | SB | SEE LANDSCAPE DRAWING(S) |
| BS | BUBBLER BOX | SLD | TOP OF CURB |
| BW | BACK OF WALK | TC | TOP OF WALL |
| BOW | BOTTOM OF WALL | | |
| BFP | BACKFLOW PREVENTION DEVICE | | |
| CC | CURB CUT | | |
| CMV | CITY OF MOUNTAIN VIEW | | |
| DI | DROP INLET GRATE | | |
| DW | DOMESTIC WATER | | |
| FC | FACE OF CURB | | |
| FF | FINISHED FLOOR | | |
| FW | FIRE WATER | | |
| G | GROUND | | |
| GB | GRADE BREAK | | |
| RR | IRRIGATION | | |
| OFD | OVERFLOW DRAIN | | |
| P/L | PROPERTY LINE | | |
| PV | PAVEMENT | | |
| SCOD | STORMDRAIN CLEANOUT | | |



GRAPHIC SCALE: 1"=30'



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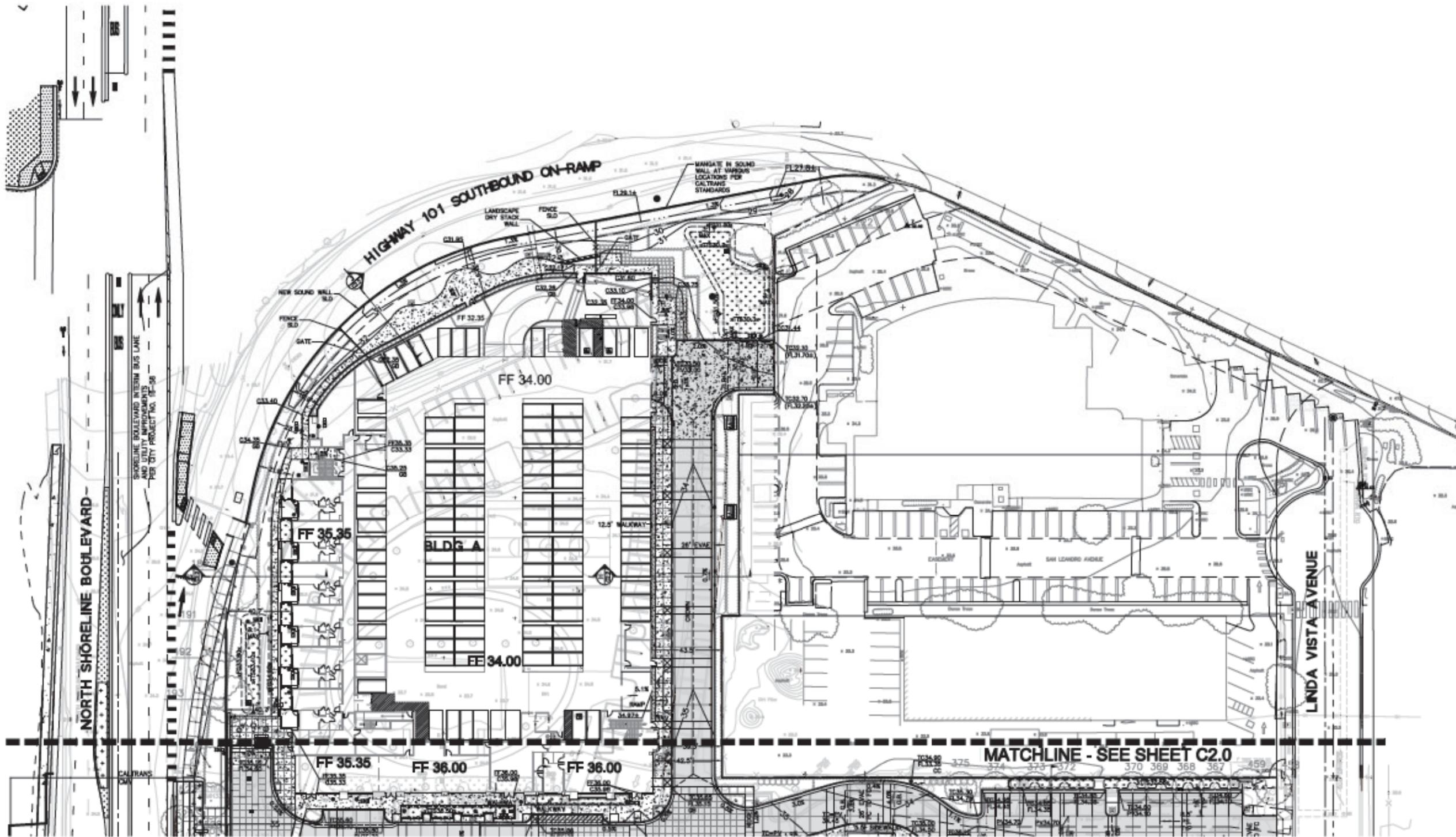
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Mountain View, California

Sheet Title:
**CONCEPTUAL
 GRADING PLAN
 SOUTH**

Job No. 16021
 BKF Job No. 20126019
 Date: 01/22/2020
 Scale: 1" = 30'
 Drawn By:

Sheet No:
C2.0



Note:
 1. ALL TRANSFORMERS ARE UNDERGROUND

LEGEND

- CURB AND GUTTER
- AC PAVEMENT
- VEHICULAR CONCRETE
- PERMEOUS PAVERS
- NEW SIDEWALK
- RETAINING WALL
- BIORETENTION BASIN
- OVERLAND RELEASE
- SLOPE DIRECTION
- HARDSCAPE
- SOFTSCAPE



- EXISTING GRADE
- PROJECT DATUM
- NO PARKING SIGN

ABBREVIATIONS

- AD AREA DRAIN
- BS BUBBLER BOX
- BW BACK OF WALK
- BOW BOTTOM OF WALL
- BFP BACKFLOW PREVENTION DEVICE
- CC CURB CUT
- CMV CITY OF MOUNTAIN VIEW
- DI DROP INLET GRATE
- DW DOMESTIC WATER
- FC FACE OF CURB
- FF FINISHED FLOOR
- FW FIRE WATER
- G GROUND
- GB GRADE BREAK
- IR IRRIGATION
- OFD OVERFLOW DRAIN
- P/L PROPERTY LINE
- PV PAVEMENT
- SDCO STORMDRAIN CLEANOUT
- SW SIDEWALK
- SLO SEE LANDSCAPE DRAWING(S)



GRAPHIC SCALE: 1"=30'



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Sheet Title:
**CONCEPTUAL
 GRADING PLAN
 NORTH**

Job No. 16021
 BKF Job No. 20126019
 Date: 01/22/2020
 Scale: 1" = 30'
 Drawn By:

Sheet No:
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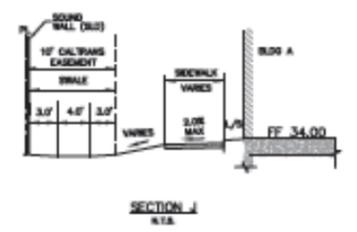
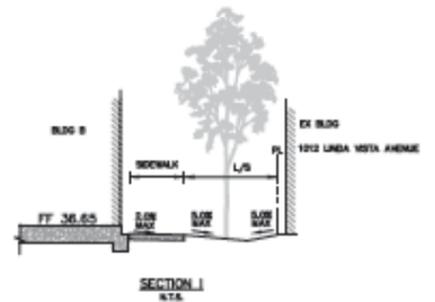
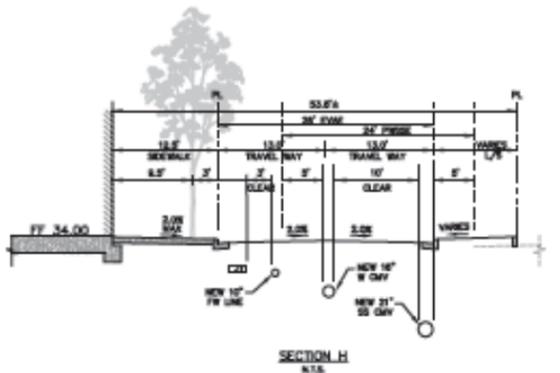
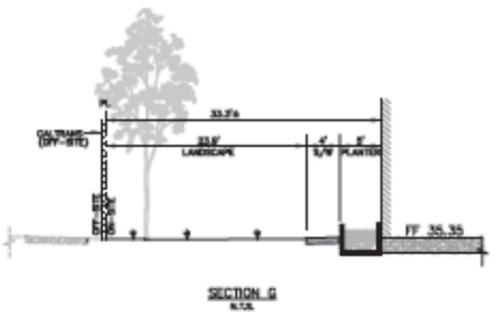
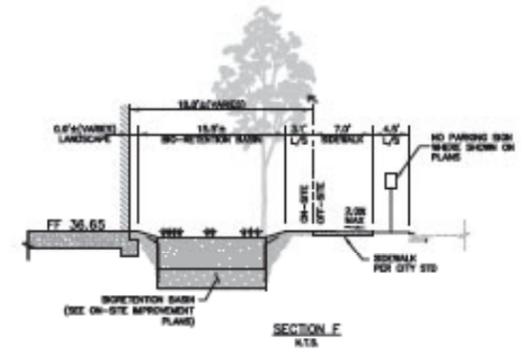
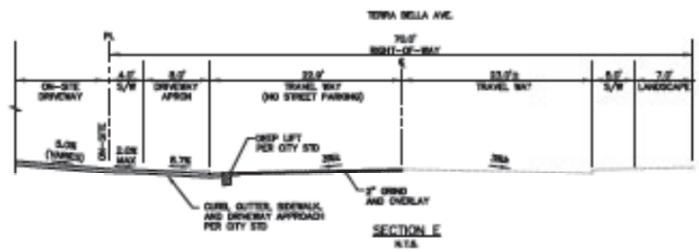
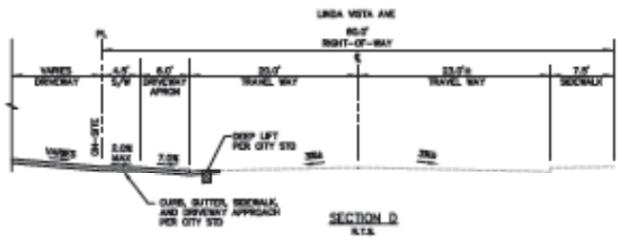
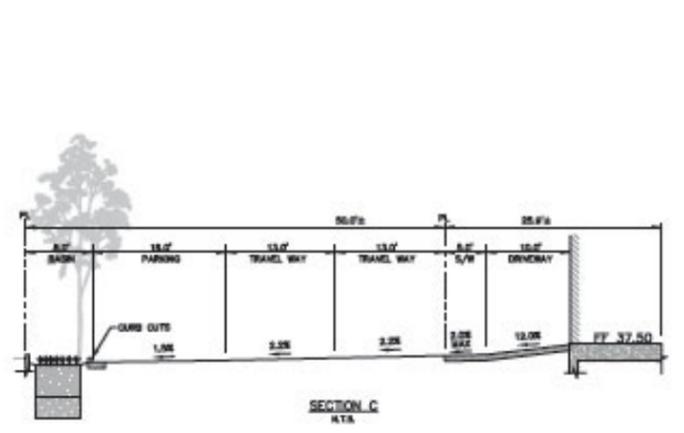
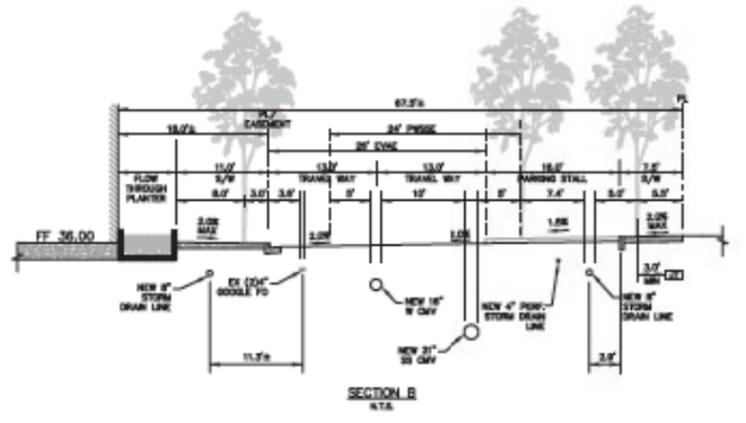
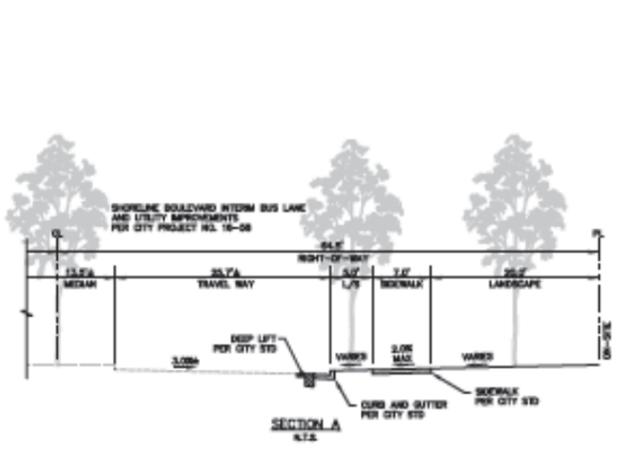
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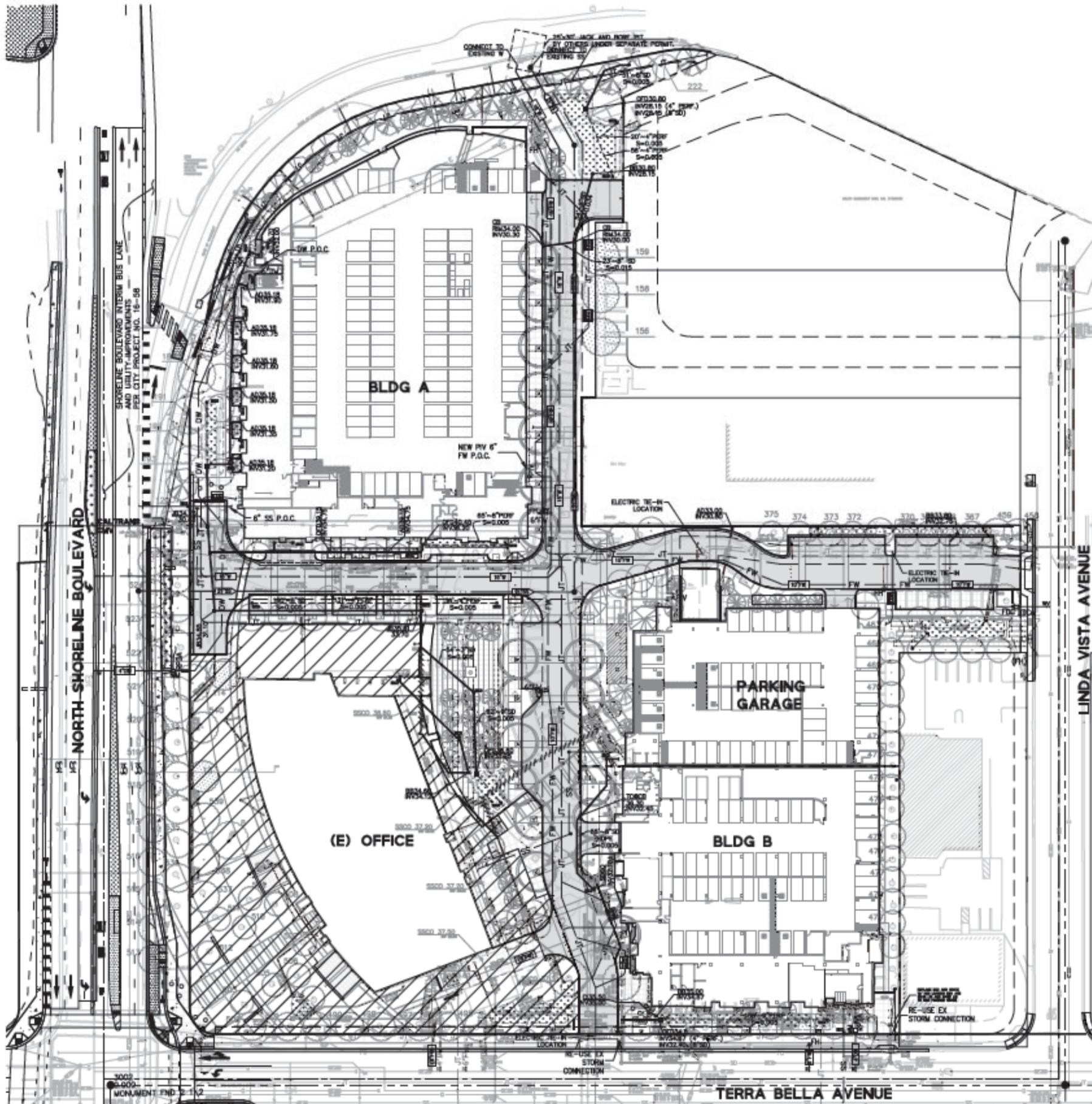
Sheet Title:
CROSS SECTIONS

Job No. 16021
BKF Job No. 20126019
Date: 01/22/2020
Scale: AS SHOWN
Drawn By:

Sheet No:
C2.2



Note:
1. ON-STREET PARKING NOT ALLOWED ON TERRA BELLA AVE.



ABBREVIATIONS

| | |
|--------|---------------------|
| P.O.C. | POINT OF CONNECTION |
| DW | DOMESTIC WATER |
| FW | FIRE WATER |
| SS | SANITARY SEWER |
| SD | STORM DRAIN |

LEGEND

| | |
|---|-------|
| PROPERTY LINE | --- |
| LOT LINE | ---- |
| STREET CENTERLINE | ----- |
| RIGHT-OF-WAY | ===== |
| CURB AND GUTTER | ===== |
| VERTICAL CURB | ===== |
| CITY OF MOUNTAIN VIEW SANITARY SEWER MAIN | ----- |
| SANITARY LINE | ----- |
| STORM DRAIN LINE | ----- |
| STORM DRAIN LINE (PERF.) | ----- |
| JOINT TRENCH LINE | ----- |
| CITY OF MOUNTAIN VIEW WATER MAIN | ----- |
| DOMESTIC WATER SERVICE | ----- |
| FIRE WATER SERVICE | ----- |
| LINE TO BE REMOVED | ----- |
| AREA DRAIN | ----- |
| STORM DRAIN CLEANOUT | ----- |
| OVERFLOW DRAIN/SUBBER | ----- |
| SANITARY SEWER CLEANOUT | ----- |
| WATER METER BOX | ----- |
| DOUBLE DETECTOR CHECK ASSEMBLY | ----- |
| REDUCE PRESSURE DETECTOR ASSEMBLY | ----- |
| FIRE HYDRANT WITH 150' RADIUS | ----- |
| FIRE DEPARTMENT CONNECTION | ----- |
| TRANSFORMER | ----- |

Note:
1. ALL TRANSFORMERS ARE UNDERGROUND



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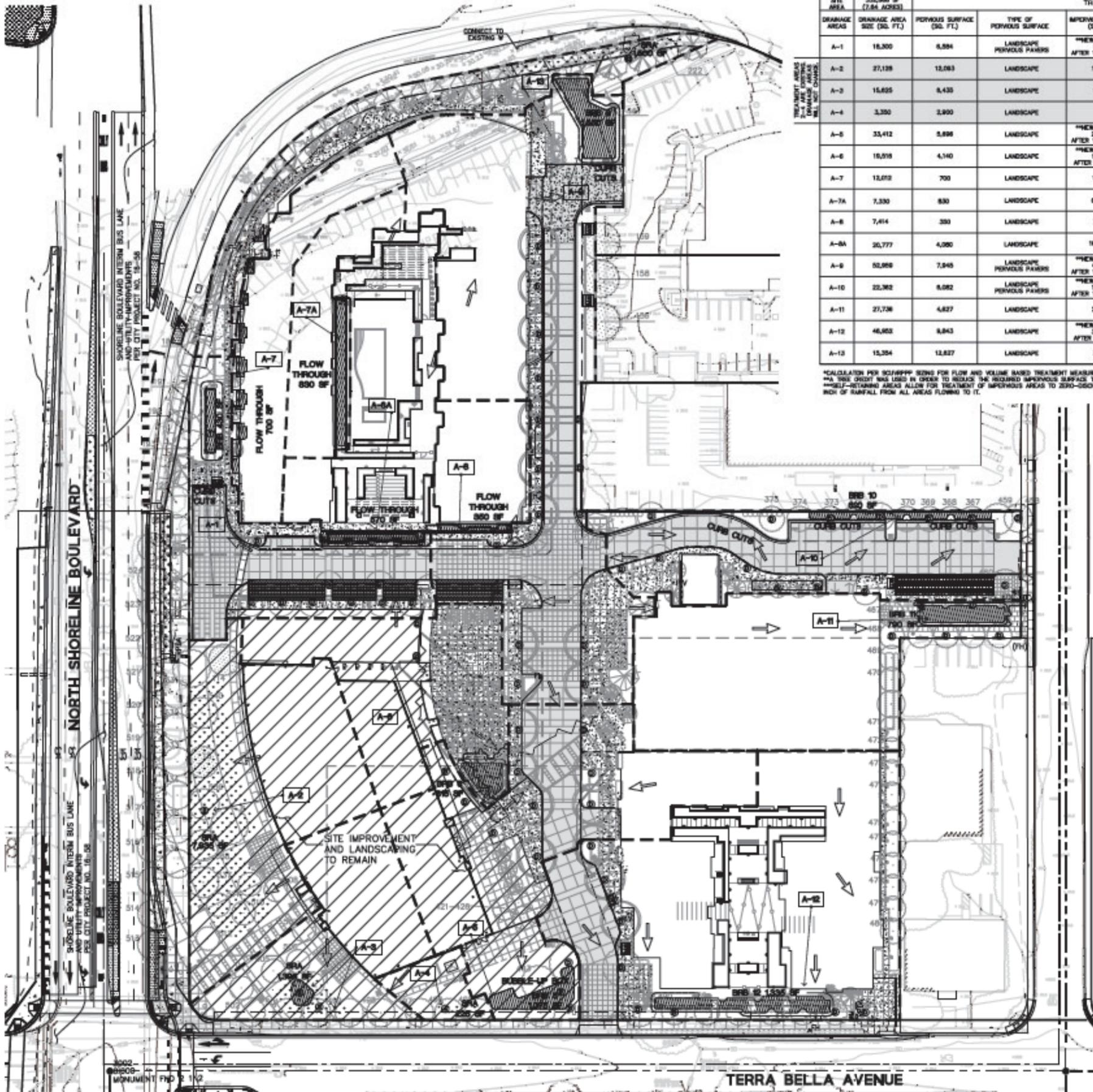
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Sheet Title:
**CONCEPTUAL
UTILITY PLAN**

Job No. 16021
BKF Job No. 20126019
Date: 01/22/2020
Scale: 1" = 40'
Drawn By:

Sheet No:
C3.0



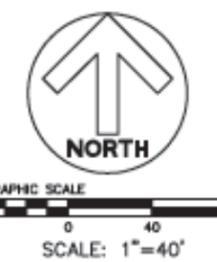
| SITE AREA | 332,986 SF (7.64 ACRES) | TREATMENT CONTROL MEASURE SUMMARY | | | | | | |
|-----------|-------------------------|-----------------------------------|----------------------------|---|------------------------------|-----------------------------|-------------------|---------------------------|
| | | DRAINAGE AREA SIZE (SQ. FT.) | PERVIOUS SURFACE (SQ. FT.) | TYPE OF PERVIOUS SURFACE | IMPERVIOUS SURFACE (SQ. FT.) | TYPE OF IMPERVIOUS SURFACE | TREATMENT CONTROL | CONFORMS TO SITE STANDARD |
| A-1 | 18,200 | 8,884 | LANDSCAPE PERVIOUS PAVERS | **NEW IMP. AREA 8,318 AFTER 1,800 CREDIT | ASPHALT CONCRETE ROOF | BORETENTION BASIN (SRB) 1 | YES | |
| A-2 | 27,128 | 12,063 | LANDSCAPE | 10,535 | CONCRETE ROOF | SELF-RETAINING AREA (SRA) 2 | YES | |
| A-3 | 15,425 | 8,430 | LANDSCAPE | 8,415 | CONCRETE ROOF | COMBINATION DRB 3 AND SRA 3 | YES | |
| A-4 | 3,350 | 2,800 | LANDSCAPE | 450 | CONCRETE | SELF-RETAINING AREA 4 | YES | |
| A-5 | 33,412 | 8,886 | LANDSCAPE | **NEW IMP. AREA 28,043 AFTER 1,800 CREDIT | ASPHALT CONCRETE ROOF | BORETENTION BASIN 5 | YES | |
| A-6 | 18,518 | 4,140 | LANDSCAPE | **NEW IMP. AREA 14,778 AFTER 800 CREDIT | ASPHALT CONCRETE ROOF | BORETENTION BASIN 6 | YES | |
| A-7 | 12,010 | 700 | LANDSCAPE | 11,312 | CONCRETE ROOF | FLOW THROUGH PLANTER 7 | YES | |
| A-7A | 7,530 | 830 | LANDSCAPE | 8,500 | CONCRETE ROOF | FLOW THROUGH PLANTER 7A | YES | |
| A-8 | 7,414 | 330 | LANDSCAPE | 7,083 | ASPHALT CONCRETE ROOF | FLOW THROUGH PLANTER 8 | YES | |
| A-8A | 26,777 | 4,080 | LANDSCAPE | 16,887 | ASPHALT CONCRETE ROOF | FLOW THROUGH PLANTER 8A | YES | |
| A-9 | 50,886 | 7,845 | LANDSCAPE PERVIOUS PAVERS | **NEW IMP. AREA 47,813 AFTER 1,500 CREDIT | ASPHALT CONCRETE ROOF | BORETENTION BASIN 9 | YES | |
| A-10 | 22,382 | 8,582 | LANDSCAPE PERVIOUS PAVERS | **NEW IMP. AREA 14,800 AFTER 1,400 CREDIT | ASPHALT CONCRETE | BORETENTION BASIN 10 | YES | |
| A-11 | 27,738 | 4,827 | LANDSCAPE | 23,108 | ROOF | BORETENTION BASIN 11 | YES | |
| A-12 | 48,952 | 8,843 | LANDSCAPE | **NEW IMP. AREA 38,283 AFTER 800 CREDIT | ASPHALT CONCRETE ROOF | BORETENTION BASIN 12 | YES | |
| A-13 | 15,354 | 12,827 | LANDSCAPE | 2,727 | CONCRETE | SELF-RETAINING AREA 13 | YES | |

*CALCULATION PER SCS TR-55 FOR FLOW AND VOLUME BASED TREATMENT MEASURES (COMBINATION FLOW AND VOLUME APPROACH)
 **A TREE CREDIT WAS USED IN ORDER TO REDUCE THE REQUIRED IMPERVIOUS SURFACE TO BE TREATED. SEE INTERCEPTOR TREE CREDIT TABLE BELOW.
 ***SELF-RETAINING AREAS ALLOW FOR TREATMENT OF IMPERVIOUS AREAS TO ZERO-COVERAGE LANDSCAPE AREAS AT A 2:1 IMPERVIOUS TO PERVIOUS RATIO. THE LANDSCAPE AREA ONLY NEEDS TO BE ABLE TO HOLD AN INCH OF RAINFALL FROM ALL AREAS FLOWING TO IT.

| AREA | IMPERVIOUS SURFACE (SQ. FT.) | NUMBER OF TREES | TREE TYPE | CREDIT ALLOWED (SQ. FT.) | TOTAL CREDIT | NEW IMPERVIOUS AREA |
|------|------------------------------|-----------------|-----------|--------------------------|--------------|---------------------|
| A-1 | 13,343 | 8 | ⊙ | 100 | 800 | 12,543 |
| A-5 | 27,443 | 14 | ⊙ | 100 | 1,400 | 26,043 |
| A-6 | 18,518 | 8 | ⊙ | 100 | 800 | 14,778 |
| A-9 | 49,805 | 15 | ⊙ | 100 | 1,500 | 48,405 |
| A-10 | 16,280 | 14 | ⊙ | 100 | 1,400 | 14,880 |
| A-12 | 37,083 | 8 | ⊙ | 100 | 800 | 36,283 |

LEGEND

- PROPERTY LINE
- DRAINAGE AREA BOUNDARY
- PROPOSED WATERSHED BOUNDARY
- EXISTING WATERSHED BOUNDARY
- BORETENTION BASIN
- PERVIOUS PAVERS
- SELF-RETAINING AREA
- OVERFLOW DRAIN
- BUBBLER BOX
- STORM DRAIN LINE
- EXISTING INTERCEPTOR TREE WITH CANOPY SIZE
D = DECIDUOUS
E = EVERGREEN
- PROPOSED INTERCEPTOR TREE
DECIDUOUS
EVERGREEN



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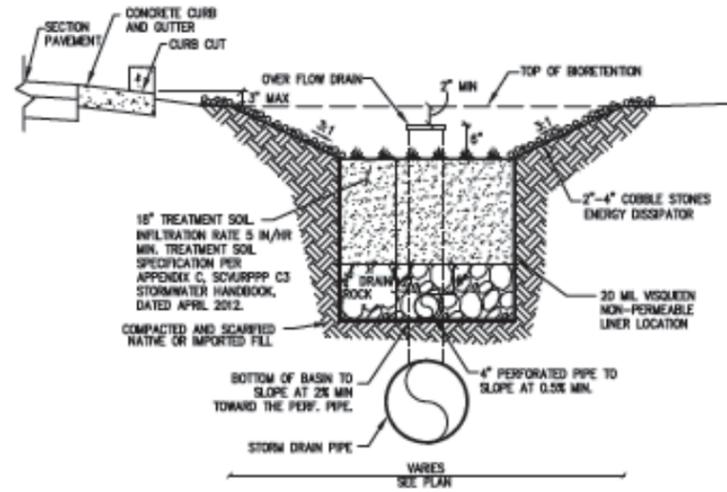
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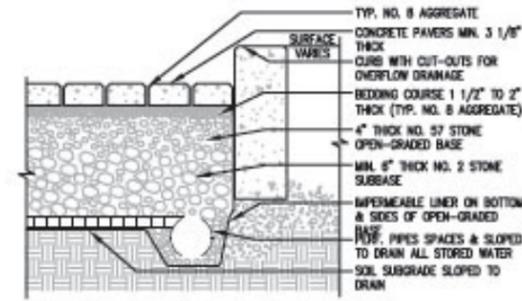
Sheet Title:
**CONCEPTUAL
 STORMWATER
 CONTROL PLAN**

Job No. 16021
 BKF Job No. 20126019
 Date: 01/22/2020
 Scale: 1" = 40'
 Drawn By:

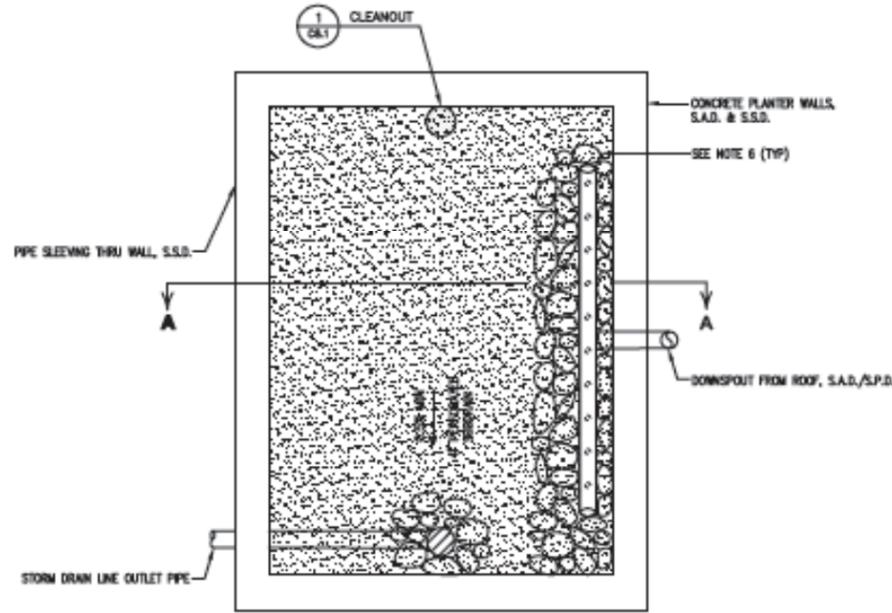
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C4.0



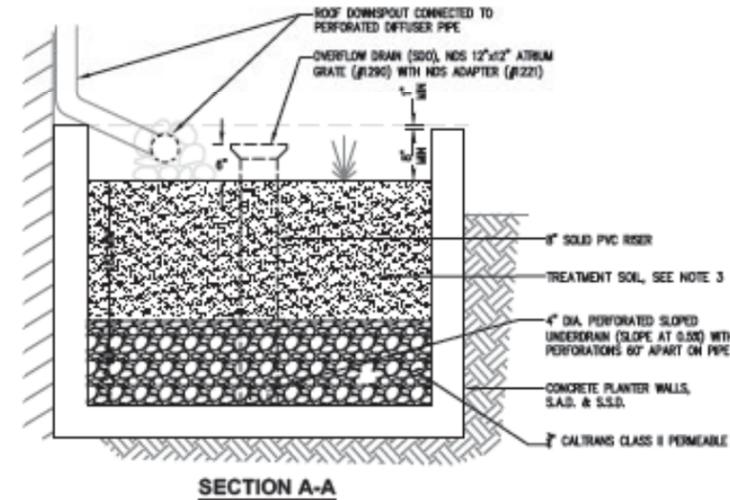
1 BIORETENTION AREA SCALE: NO SCALE



3 TYPICAL PERVIOUS PAVER DETAIL SCALE: NO SCALE



2 FLOW-THROUGH PLANTER SCALE: NO SCALE



- NOTES:**
- SEE LANDSCAPE PLANS & SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION AREAS
 - PLACE 4" MIN. DIA. APPROVED NOYO COBBLE (OR APPROVED EQUIVALENT) FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" FROM EDGE OF STRUCTURE.
 - SOILS IN THE FACILITY SHOULD MEET BIOTREATMENT SOIL SPECIFICATIONS APPROVED BY THE REGIONAL WATER BOARD (SANTA CLARA COUNTY C.J. STORMWATER TECHNICAL GUIDANCE). A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM PERCOLATION RATE OF 10 INCHES/HOUR ARE REQUIRED (INITIAL INFILTRATION RATE MAY EXCEED THIS TO ALLOW FOR TENDENCY OF INFILTRATION RATE TO REDUCE OVER TIME). PLANTING SOIL LAYER SHOULD BE AT LEAST 18 INCHES DEEP. CONTRACTOR TO SUBMIT MATERIAL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CERTIFYING THAT SOIL COMPLIES WITH OR EXCEEDS SPECIFIED REQUIREMENTS.
 - FOR DETAILS AND SPECIFICATIONS OF CONCRETE PLANTER WALLS, S.S.D. AND S.A.D.
 - EXPOSED PVC PIPE WITHIN BIORETENTION AREAS, SUCH AS OVERFLOW RISERS, SHALL BE PAINTED BLACK.
 - NOYO COBBLES (4"-6" IN DIA.), OR APPROVED EQUIVALENT, SHALL BE PLACED AROUND DIFFUSER PIPE TO THE TOP OF TREATMENT SOIL (TTS), FLUSH WITH PLANTING SURFACE, EXTENDING A MINIMUM OF 6" ON ALL SIDES OF DRAINAGE STRUCTURE/PIPE.



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Sheet Title:
**CONCEPTUAL
STORMWATER
CONTROL DETAILS**

Job No. 16021
BKF Job No. 20126019
Date: 01/22/2020
Scale: **AS SHOWN**
Drawn By:

Sheet No:
C4.1



**VESTING TENTATIVE MAP
1001 N. SHORELINE BLVD.
LINE AND CURVE TABLE**

MOUNTAIN VIEW SANTA CLARA CALIFORNIA

| LINE TABLE | | |
|------------|--------|-------------|
| LINE NO. | LENGTH | DIRECTION |
| L1 | 80.58 | N89°58'15"W |
| L2 | 7.13 | S00°01'45"W |
| L4 | 267.82 | S00°01'25"E |
| L6 | 17.38 | N89°59'55"W |
| L8 | 44.00 | N90°00'00"W |
| L10 | 81.40 | N89°59'56"W |
| L12 | 3.00 | N00°00'05"E |
| L13 | 38.00 | N90°00'00"W |
| L14 | 2.92 | S00°00'00"E |
| L17 | 19.50 | N00°02'06"E |
| L18 | 29.03 | N90°00'00"W |
| L19 | 28.97 | N90°00'00"E |
| L20 | 19.00 | N00°00'00"E |
| L23 | 20.10 | S00°00'00"E |
| L24 | 136.72 | N90°00'00"E |
| L26 | 45.33 | N52°08'36"E |
| L27 | 12.16 | S45°00'00"E |
| L29 | 42.40 | S00°00'00"E |
| L31 | 69.42 | S20°41'27"E |
| L33 | 42.13 | S00°00'00"E |

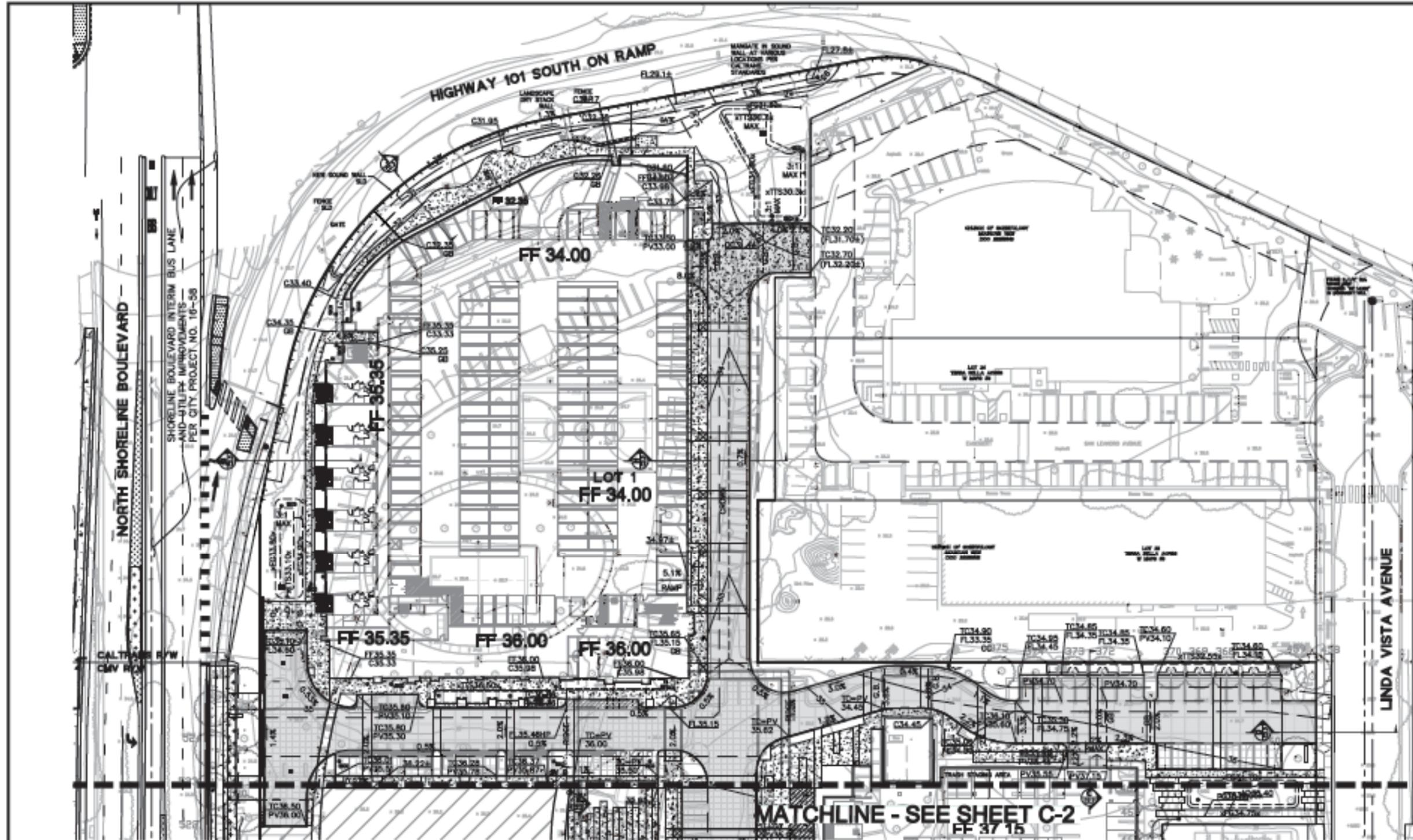
| LINE TABLE | | |
|------------|--------|-------------|
| LINE NO. | LENGTH | DIRECTION |
| L34 | 42.13 | N00°00'00"E |
| L37 | 5.60 | N24°18'33"E |
| L39 | 52.00 | N20°41'27"W |
| L41 | 3.93 | N65°41'27"W |
| L43 | 77.39 | N00°00'00"E |
| L44 | 251.02 | N90°00'00"W |
| L45 | 121.26 | N00°00'00"W |
| L47 | 64.69 | N74°01'04"E |
| L49 | 16.84 | N89°59'19"E |
| L51 | 10.56 | S54°12'39"E |
| L53 | 85.02 | S89°59'59"E |
| L55 | 13.00 | S00°00'00"E |
| L56 | 76.50 | N90°00'00"E |
| L57 | 13.00 | N00°00'00"E |
| L59 | 18.45 | N90°00'00"E |

| CURVE TABLE | | | |
|-------------|--------|--------|------------|
| CURVE NO. | LENGTH | RADIUS | DELTA |
| C1 | 4.71 | 3.00 | 089°58'15" |
| C2 | 33.00 | 21.00 | 090°01'30" |
| C3 | 7.85 | 5.00 | 090°00'00" |
| C4 | 7.96 | 5.00 | 091°12'00" |
| C5 | 7.85 | 5.00 | 090°00'00" |
| C6 | 8.27 | 5.00 | 094°48'15" |
| C7 | 41.63 | 28.00 | 085°11'45" |
| C8 | 32.09 | 28.00 | 065°40'24" |
| C9 | 1.99 | 1.00 | 114°03'06" |
| C10 | 172.02 | 178.08 | 055°21'05" |
| C11 | 7.85 | 10.00 | 045°00'00" |
| C12 | 18.06 | 50.00 | 020°41'27" |
| C13 | 7.22 | 20.00 | 020°41'27" |
| C14 | 12.61 | 50.00 | 014°27'09" |
| C15 | 6.77 | 10.00 | 038°45'41" |
| C16 | 3.93 | 5.00 | 045°00'00" |
| C17 | 3.93 | 5.00 | 045°00'00" |
| C18 | 11.47 | 10.00 | 065°41'27" |
| C19 | 27.13 | 21.00 | 074°01'07" |
| C20 | 8.36 | 30.00 | 015°58'14" |

| CURVE TABLE | | | |
|-------------|--------|--------|------------|
| CURVE NO. | LENGTH | RADIUS | DELTA |
| C21 | 18.75 | 30.00 | 035°48'02" |
| C22 | 32.48 | 52.00 | 035°47'21" |
| C23 | 4.71 | 3.00 | 090°00'06" |
| C24 | 4.71 | 3.00 | 090°00'00" |

BKF100.dwg 11/22/2020 11:52:27 AM 1001 N. SHORELINE BLVD. TM-4.dwg
 11/22/2020 11:52:27 AM 1001 N. SHORELINE BLVD. TM-4.dwg

| | | | | |
|------------------|-------------|-------------|------------|---------------|
| Date: 01/22/2020 | Scale: NONE | Design: FCG | Drawn: FCG | Approved: FCG |
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| Job No: 20126019 | | | | |
| TM-4 | | | | |
| 4 OF 4 | | | | |



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SUPPLEMENTAL INFORMATION
1001 N. SHORELINE BLVD.
GRADING AND DRAINAGE PLAN NORTH
 MOUNTAIN VIEW SANTA CLARA CALIFORNIA

NOTES

1. SEE SHEET C-3 FOR SUPPLEMENTAL CROSS-SECTIONS.

ABBREVIATIONS

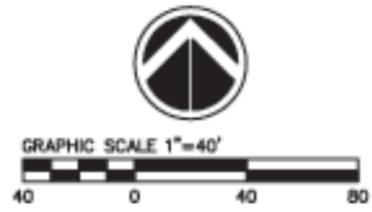
| | |
|-----|------------------------|
| C | CONCRETE |
| (E) | EXISTING |
| FF | FINISHED FLOOR |
| FG | FINISHED GRADE |
| FL | FLOW LINE |
| GB | GRADE BREAK |
| MAX | MAXIMUM |
| PV | PAVEMENT |
| TC | TOP OF CURB |
| TTS | TOP OF TREATMENT SOIL |
| SLD | SEE LANDSCAPE DRAWINGS |

LEGEND

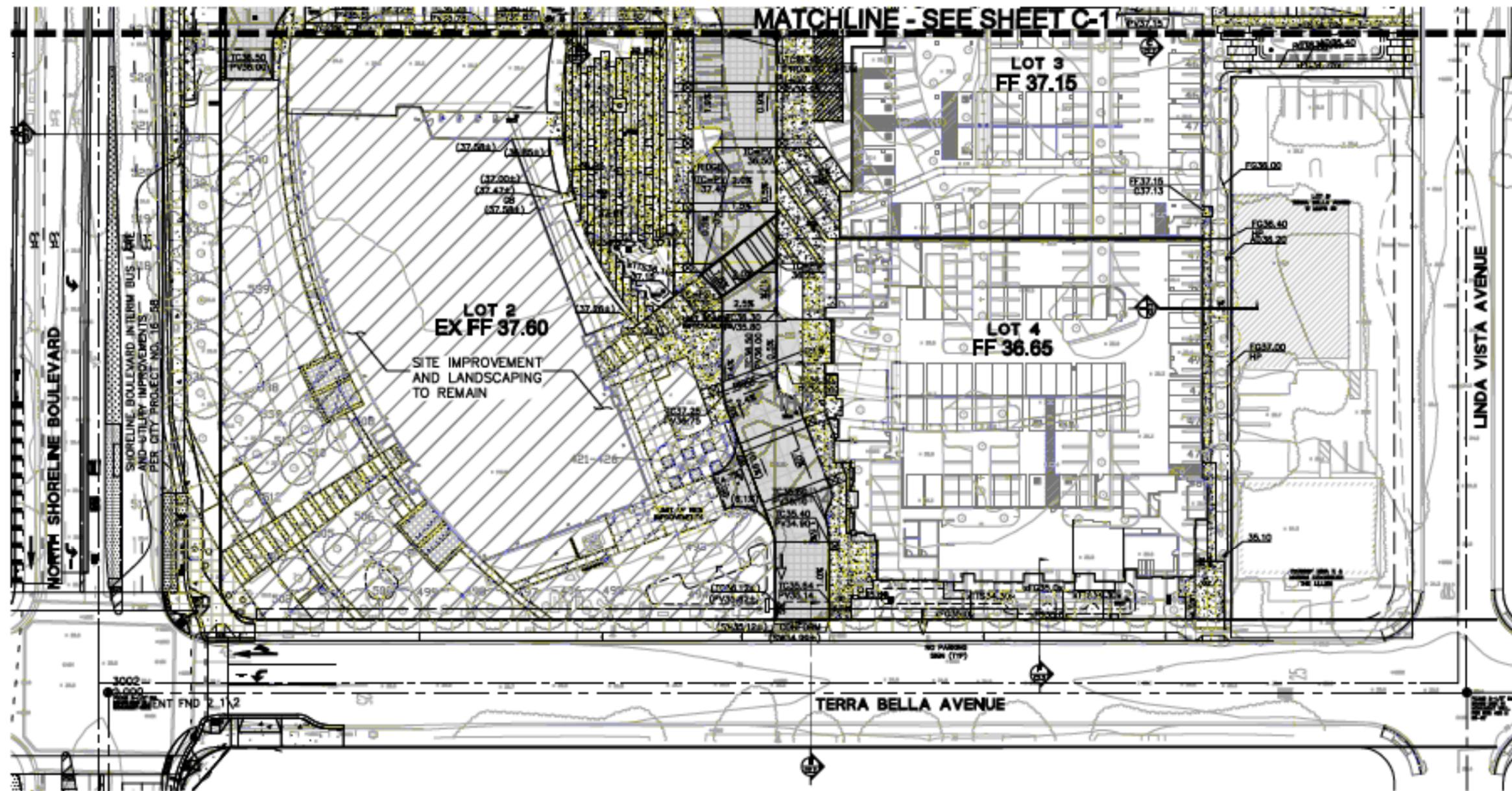
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|-----------------------------|-------|
| EXISTING BOUNDARY LINE | _____ |
| NEW LOT LINES | ----- |
| ADJACENT PARCEL LINES | ----- |
| NO ACCESS LINE | ----- |
| MONUMENT LINE | ----- |
| CENTER LINE | ----- |
| VERIZON LEASE LINE | ----- |
| EASEMENT LINE (NEW) | ----- |
| EASEMENT LINE (E) TO REMAIN | ----- |
| FLOW LINE | |

SUPPLEMENTAL INFORMATION SHEET INDEX

| | |
|-----|---------------------------------|
| C-1 | GRADING AND DRAINAGE PLAN NORTH |
| C-2 | GRADING AND DRAINAGE PLAN SOUTH |
| C-3 | SUPPLEMENTAL CROSS SECTIONS |
| T-1 | TREE DISPOSITION PLAN |



| | | | | | | | |
|----------------------------|-----|------------------|-----------------|-------------|------------|---------------|------------------|
| Revisions | No. | Date: 01/22/2020 | Scale: 1" = 40' | Design: FOG | Drawn: FOG | Approved: FOG | Job No: 20120019 |
| Drawing Number: C-1 | | | | | | | |
| 1 of 4 | | | | | | | |



NOTES

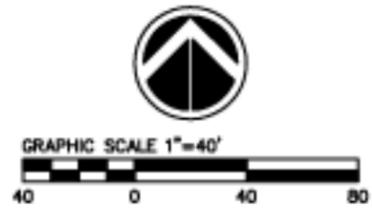
- SEE SHEET C-3 FOR SUPPLEMENTAL CROSS-SECTIONS.

ABBREVIATIONS

| | |
|-----|------------------------|
| C | CONCRETE |
| (E) | EXISTING |
| FF | FINISHED FLOOR |
| FG | FINISHED GRADE |
| FL | FLOW LINE |
| GB | GRADE BREAK |
| MAX | MAXIMUM |
| PV | PAVEMENT |
| SW | SIDEWALK |
| TC | TOP OF CURB |
| TTS | TOP OF TREATMENT SOIL |
| SLD | SEE LANDSCAPE DRAWINGS |

LEGEND

| | |
|--|--|
| EXISTING BOUNDARY LINE | |
| NEW LOT LINES | |
| ADJACENT PARCEL LINES | |
| NO ACCESS LINE | |
| MONUMENT LINE | |
| CENTER LINE | |
| VERIZON LEASE LINE | |
| EASEMENT LINE (NEW) | |
| EASEMENT LINE (E) TO REMAIN | |
| FLOW LINE | |
| EXISTING OFFICE BUILDING AND SITE IMPROVEMENTS TO REMAIN | |



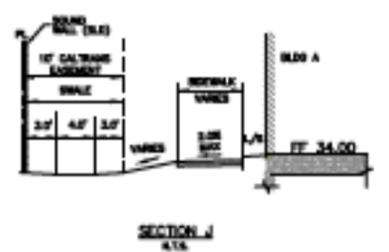
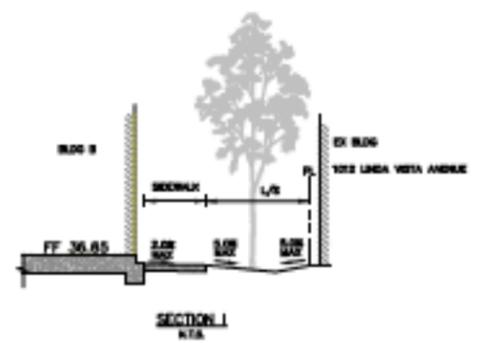
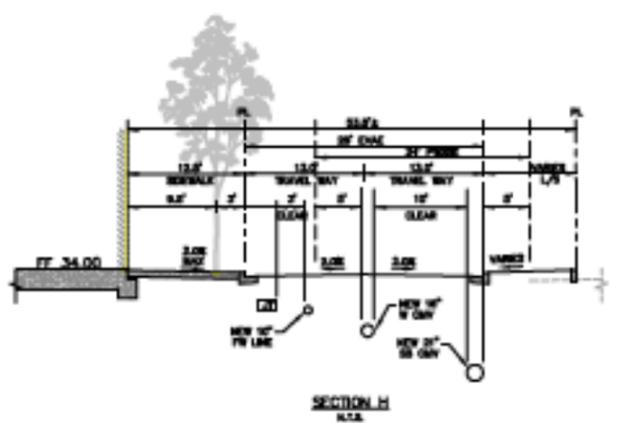
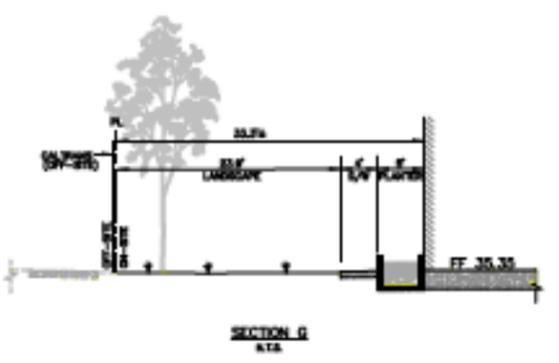
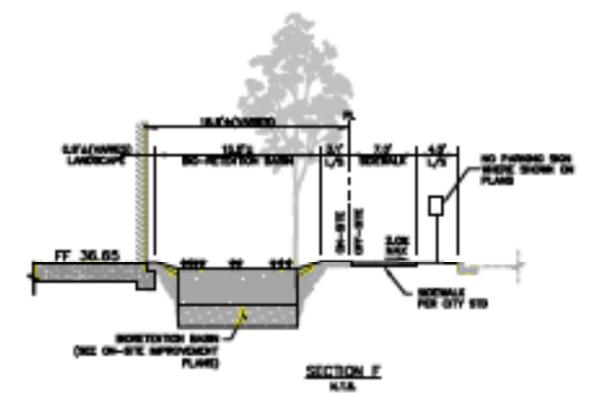
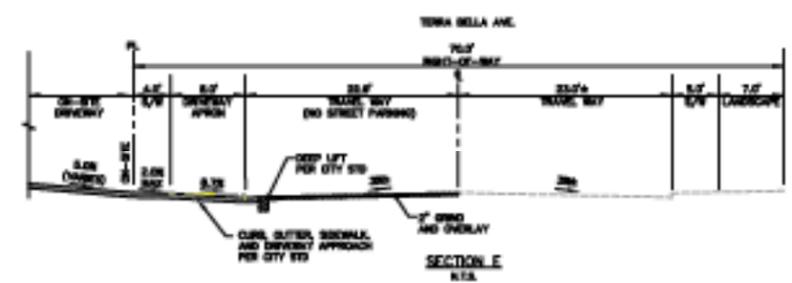
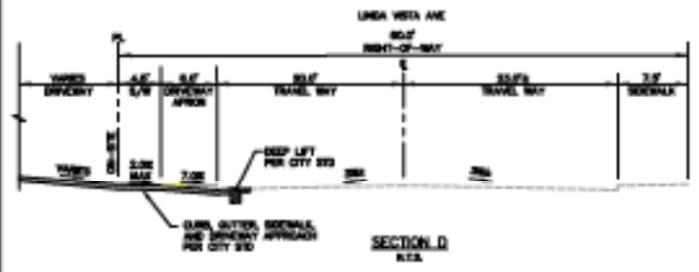
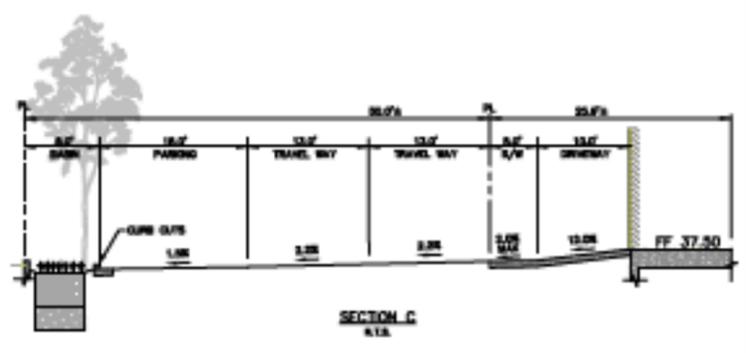
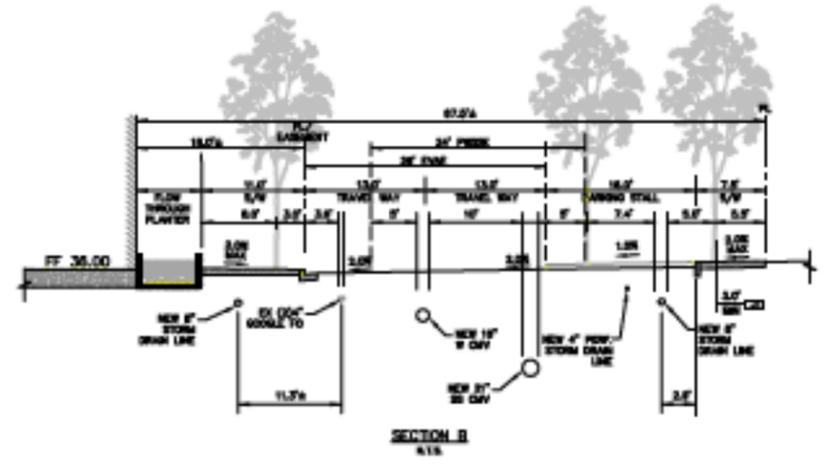
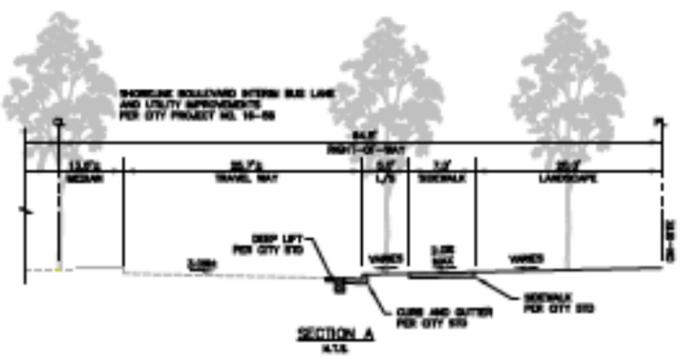
SUPPLEMENTAL INFORMATION
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GRADING AND DRAINAGE PLAN SOUTH
 MOUNTAIN VIEW SANTA CLARA CALIFORNIA

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| Drawn: FOG | | |
| Approved: FOG | | |
| Job No: 20126019 | | |

Drawing Number:
C-2
 2 of 4



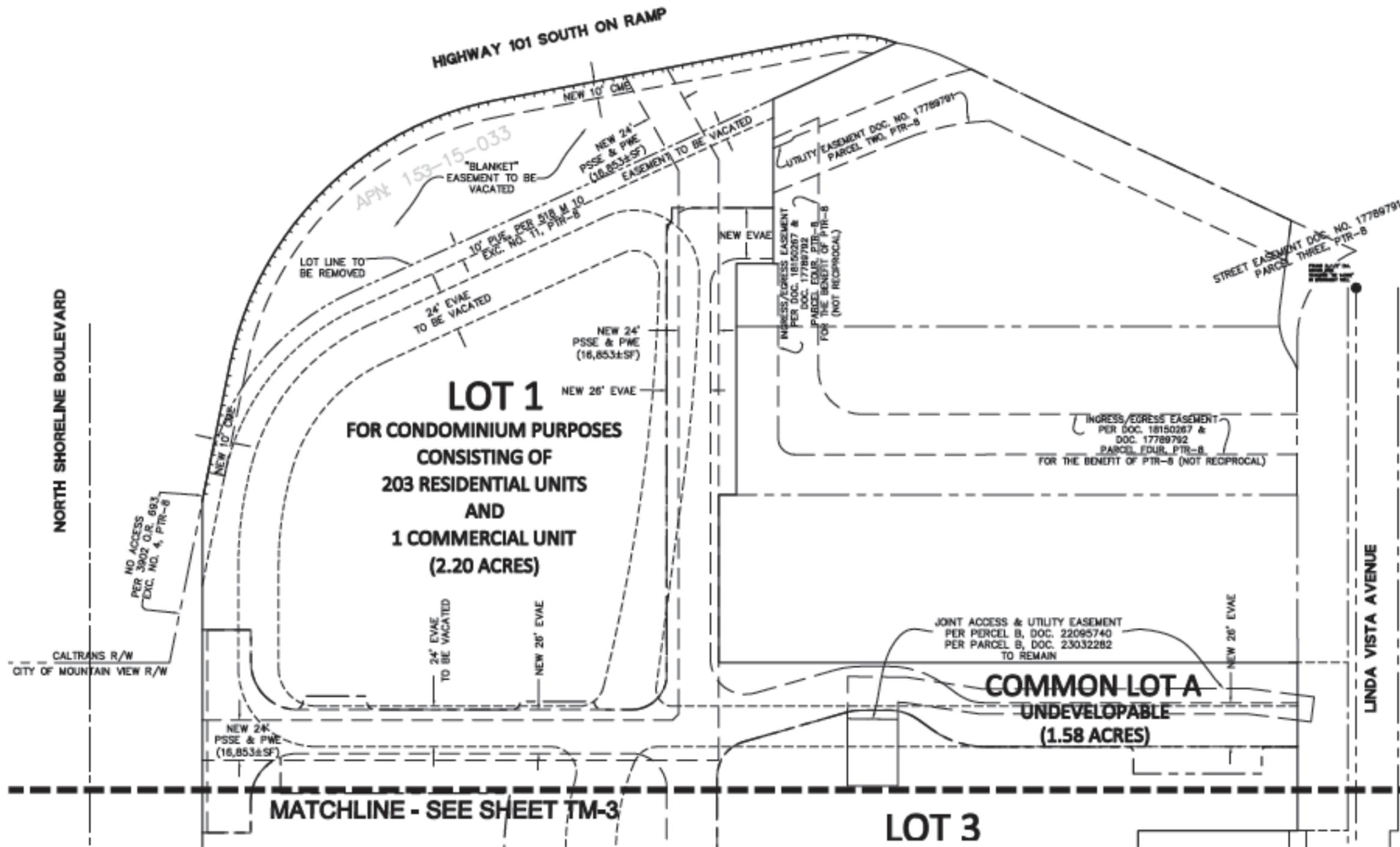
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SUPPLEMENTAL INFORMATION
1001 N. SHORELINE BLVD.
SUPPLEMENTAL CROSS SECTIONS
MOUNTAIN VIEW SANTA CLARA CALIFORNIA

| No. | Revisions |
|-----|-----------|
| | |
| | |
| | |
| | |

Date: 01/22/2020
Scale: N.T.S.
Design: FOG
Drawn: FOG
Approved: FOG
Job No: 20120019



APN 153-15-033

LOT 1
FOR CONDOMINIUM PURPOSES
CONSISTING OF
203 RESIDENTIAL UNITS
AND
1 COMMERCIAL UNIT
(2.20 ACRES)

COMMON LOT A
UNDEVELOPABLE
(1.58 ACRES)

LOT 3

MATCHLINE - SEE SHEET TM-3

ABBREVIATIONS

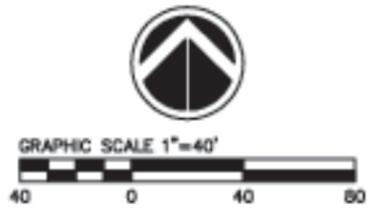
| | |
|----------|---|
| CALTRANS | CALIFORNIA DEPARTMENT OF TRANSPORTATION |
| CME | CALTRANS MAINTENANCE EASEMENT |
| DOC | DOCUMENT |
| EVAE | EMERGENCY VEHICLE ACCESS EASEMENT |
| EXC. | EXCEPTION |
| NO | NUMBER |
| O.R. | OFFICIAL RECORD |
| PSSE | PUBLIC SANITARY SEWER EASEMENT |
| PTR | PRELIMINARY TITLE REPORT |
| PWE | PUBLIC WATER EASEMENT |
| PUE | PUBLIC UTILITY EASEMENT |

LEGEND

| | |
|-----------------------------|-----------------------------------|
| EXISTING BOUNDARY LINE | _____ |
| NEW LOT LINES | ----- |
| ADJACENT PARCEL LINES | ----- |
| NO ACCESS LINE | ----- |
| MONUMENT LINE | ----- |
| CENTER LINE | ----- |
| VERIZON LEASE LINE | ----- |
| EASEMENT LINE (NEW) | ----- |
| EASEMENT LINE (E) TO REMAIN | ----- |
| IN | DISTANCE INSIDE SUBJECT BOUNDARY |
| M-M | DISTANCE TO MONUMENT DISTANCE |
| OUT | DISTANCE OUTSIDE SUBJECT BOUNDARY |
| { 1 | RECORD DATA PER W MAPS 56 |
| { 2 | RECORD DATA PER 455 ROS 56-57 |
| { 3 | RECORD DATA PER DOC NO. 21494974 |
| { 4 | RECORD DATA PER DOC NO. 14046575 |

NOTES

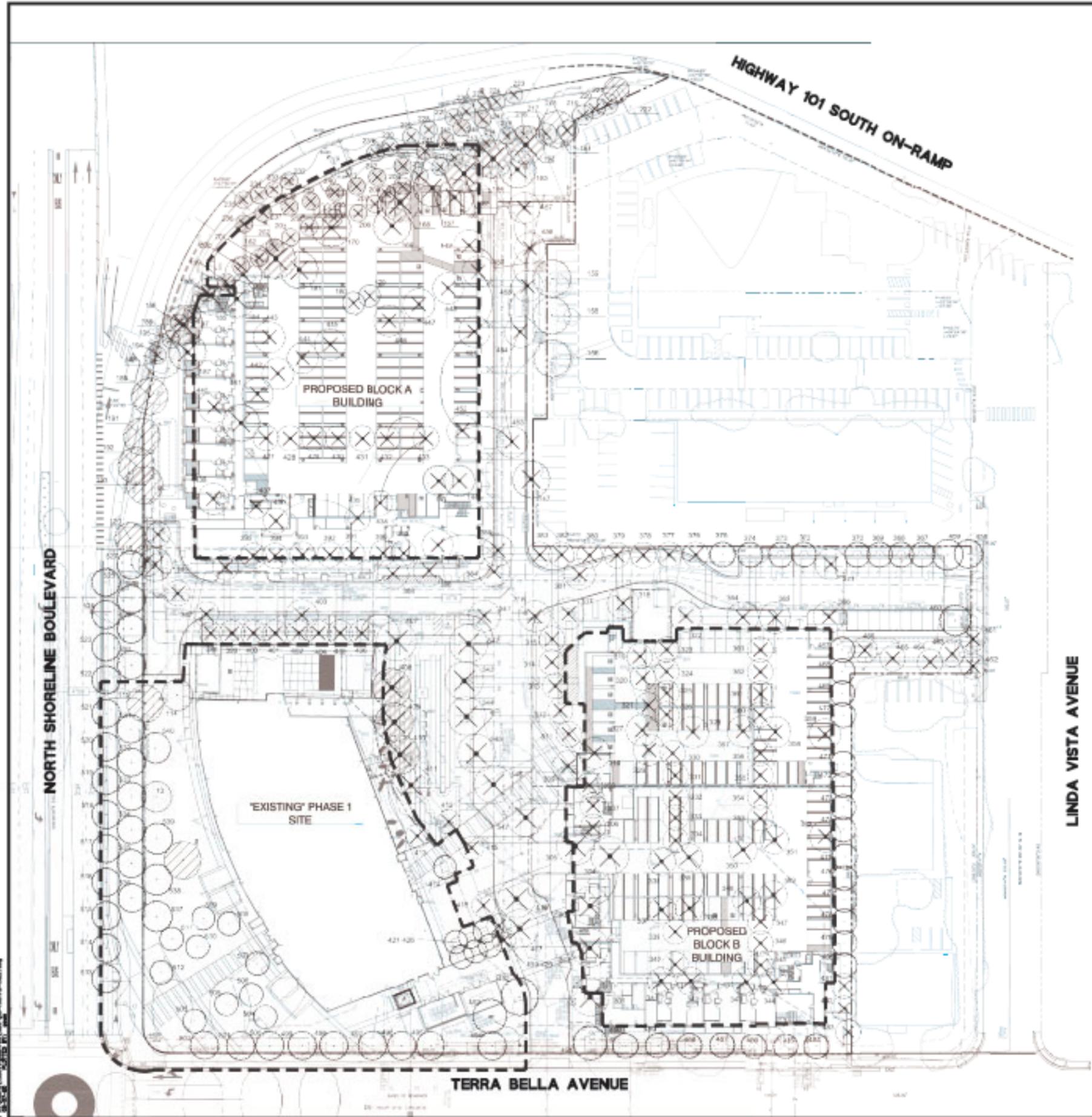
1. BEARINGS AND DISTANCES OF EXISTING PARCEL ARE SHOWN ON SHEET TM-4.



VESTING TENTATIVE MAP
1001 N. SHORELINE BLVD.
MAP PLAN NORTH
MOUNTAIN VIEW SANTA CLARA CALIFORNIA

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| No. | |
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| Scale: 1" = 40' | |
| Design: FCG | |
| Drawn: FCG | |
| Approved: FCG | |
| Job No: 20126019 | |
| Drawing Number: | TM-2 |
| | 2 OF 4 |



TREE DISPOSITION LEGEND

| KEY | DESCRIPTION | QUANTITY |
|-----|---|----------|
| | EXISTING TREE TO REMAIN | 6 |
| | PHASE 1 TREES TO REMAIN <small>(Dependent upon retention of tree at construction time)</small> | 87 |
| | PHASE 1 TREES TO TRANSPLANT | 1 |
| | EXISTING HERITAGE TREE TO REMAIN | 9 |
| | HERITAGE TREES TO BE REMOVED | 23 |
| | PHASE 1 TREES TO BE REMOVED | 155 |
| | EXISTING TREES TO BE REMOVED | 60 |
| | TOTAL TREES TO BE PLANTED DUE TO PROJECT | 192 |
| | TOTAL TREES ESTIMATED FOR ON-SITE AT TIME OF PROJECT COMPLETION | 295 |

Note: See Arborist Report for Existing Tree Numbers

SUPPLEMENTAL INFORMATION
1001 N. SHORELINE BLVD.
TREE DISPOSITION PLAN
 MOUNTAIN VIEW SANTA CLARA CALIFORNIA

BKF100
 1730 N. FIRST STREET
 SUITE 600
 SAN JOSE, CA 95112
 408-487-9100
 408-487-9199 (FAX)
 ENGINEERS . SURVEYORS . PLANNERS

| | |
|------------------|-----------|
| Date: 01/22/2020 | Revisions |
| Scale: N.T.S. | |
| Design: FOG | |
| Drawn: FOG | |
| Approved: FOG | |
| Job No: 20180019 | |