



VIEW FROM US 101 FREEWAY

The Residences @ Shoreline Gateway

MOUNTAIN VIEW, CA

SARES | **REGIS**
LH SHORELINE LP,
A DELAWARE LIMITED PARTNERSHIP



PROJECT DESCRIPTION

The Residences @ Shoreline Gateway ("Project") is Phase II of the 7.81 acre mixed-use development site located at 1001 North Shoreline Boulevard in Mountain View ("City"). The Phase I office portion was approved in 2015 and construction was completed in 2017. Phase II is the development of 203 rental apartments and 100 for-sale condominiums and an above-ground stand-alone parking structure on the existing surface parking lot serving the office. Given its location adjacent to public transportation on Shoreline Boulevard, the 101 North on-ramp and existing industrial parcels, The Residences @ Shoreline Gateway will meet the City's transit-oriented housing needs. In addition, the Project will provide much-needed housing near the North Bayshore employment area.

The Phase I Office building includes 111,443 square feet of office space and surface parking for 371 cars newly completed. The office will remain in operation during the entirety of the Project's development.

The proposed apartment building, located at the North West corner of the site, is a Type IIIA construction 5-story wood structure on a 2-story concrete parking podium. There are 203 one-, two-, and three-bedroom units. Designed to park at a 1.2 ratio, with 244 parking spaces in the garage. The building has amenity spaces and a roof deck. The Project's architecture takes it cues from 20th Century, modern industrial design to make a harmonious transition from the office to the residential units along the N. Shoreline Boulevard frontage. The curved wall with accent panels at the north-western corner is a featured element for the Project.

The condominium building, located at the South East corner of the site, is a Type IIIA construction with 5 floors of units over 2 floors of parking podium. There are 100 one-, two- and three-bedroom units. The parking ratio is 1.28, totaling 128 spaces in the podium level garage. The exterior material is a combination of accent tiles, sidings and stucco. The building also has amenity spaces at the podium level.

PROJECT TEAM

DEVELOPER:

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A DELAWARE LIMITED PARTNERSHIP
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@ Shoreline Gateway

Mountain View, California

Sheet Title:

PROJECT
DESCRIPTION
& SHEET INDEX

Job No. 16021

Date: 03/09/2020

Scale:

Drawn By:

Sheet No:

G000



VIEW FROM SHORELINE BLVD.

The Residences @ Shoreline Gateway

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VIEW FROM SHORELINE BLVD

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VIEW OF CENTRAL PLAZA

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VIEW FROM TERRA BELLA AVE.

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VIEW FROM TERRA BELLA AVE.

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PROJECT SUMMARY

PLANNING AND BUILDING CODE DATA			
Address 1001 North Shoreline BLVD., Mountain View, CA 94043			
Previous 9 parcels' APN numbers are 153-15-015, 153-15-016, 153-15-022, 153-15-014, 153-15-017, 153-15-018, 153-15-024, 153-15-026, 153-15-028, and single Caltrain parcel . They have merged into one parcel per the title reports. New APN number has not been assigned yet.			
APN:			
Existing Land Use Designations:			
General Plan Designation: General Industrial			
Zoning Designation: MM (General Industrial), and ML (Limited Industrial)			
Proposed Land Use Designations:			
General Plan Designation: Mixed-Use Center			
Zoning Designation: P (Planned Community)			
Building Code			
Construction shall comply with the 2016 California Building Code. The building shall be of mixed occupancy.			
Occupancy Groups			
Residential	R-2	R-2	Type IIIA, Fully sprinklered (block A & block B)
Garage	S-2	S-2	Type IA, Fully sprinklered
Amenity	A/B/M	A/B/M	Type IIIA, Fully sprinklered
Office (Existing office on the site)	B		
Building Height (allowable)			
Bayshore Precise Plan Code		110' Core Area North of 101 Freeway UL on Type 1A; 85' to Roof on Type IIIA	
Lot Area (Includes N. shoreline 22' Street Frontage dedication)		340,294.7 sf	7.81
F.A.R. (Includes existing office, block A (retail, residential and podium garage), block B (residential and podium garage) - excludes office garage).			2.01
Building Coverage (Phase II Residential + Phase I office over the entire site)		160,501 sf	47.2%
Paving Area		56,551 sf	16.6% 100%
Landscaping Area (Ground Level Area Only)		123,243 sf	36.6%
Open Area		496 sf/unit	(See Sheet A610 for Detail)
Residential Density (based on entire parcel area, units/acre)		38.8 du/ac	

PROGRAM	Number	Pkg Ratio Required	Pkg Required			Pkg Ratio Proposed	Pkg Provided	EVCS Provided	Accessible Provided	Tandem Provided
			Resident Parking	Guest Parking	Total					
Office (Existing structure to remain on site)	111,443 sf	1 pkg / 300 sf			371	1 pkg / 310 sf	359	36	8	
Block A Residential Units	203 du	1.0-2.0	243	43	286	1.20	244	25	7	
Block B Residential Units	100 du	1.0-2.0	137	24	161	1.28	128	13	5	6
Assigned Guest Parking Surface Spaces							15			
Unassigned Shared Surface Parking Spaces							25			
Block A Retail (Surface Parking)	3,113 sf	1 pkg / 100 sf			30	1 pkg / 250 sf	12			
Block A Bike Storage	2,300 sf									
Block B Bike Storage	1,120 sf									
Block A Residential, Garage and Retail total GFA					369,614 sf					
Block B Residential and Garage total GFA					203,885 sf					
Block B Office Garage					131,030 sf					
Block B Office Garage Flex Space					0 sf					
Total							783	74	20	6
Total Parking Reduction										7.66%
FAR**										2.01

Note: Parking Ratio Required based on the City's Model Parking Standard
EVCS Requirement per Mountain View Multiple code, 10% of total parking for residential and office

Required Bike Parking for residential : 1 Per Unit	Bike Parking Required			Bike Parking Provided		
	Resident	Guest	Total	Resident(indoor)	Guest(outdoor)	Total
For residential guest: 1 Per 10 Units	203	21	224	204	22	226
	100	10	110	100	12	112

Existing Office Bike Parking			
Regular (indoor)	E-bike (indoor)	Outdoor	Total
48	12	46	106

BLOCK A and BLOCK B FLOOR AREA CALCULATIONS (GROSS)											
	BLOCK A				BLOCK B						
	Gross Residential	Amenities	Garage	Retail	Residential with Garage total	Gross Residential	Amenities	Residential Podium garage	Residential with Garage total	Office Garage	
Level 1	7,539	4,372	50,382	3,113	65,406	Level 1	9,615	1,298	26,703	37,616	23,280
Level 2	11,397	3,369	49,176	1,733	65,674	Level 2	11,622	711	24,761	37,094	23,100
Level 3	44,693	3,249			47,942	Level 3	25,927	874	0	26,801	23,100
Level 4	46,024	2,093			48,117	Level 4	27,445		0	27,445	23,100
Level 5	48,255				48,255	Level 5	27,450		0	27,450	23,100
Level 6	48,255				48,255	Level 6	26,337		0	26,337	15,350
Level 7	44,469				44,469	Level 7	20,197		0	20,197	
Level - Roof	1,496				1,496	Roof	946			946	
Subtotal	252,128	13,083	99,558	4,846	369,614						131,030
Total GFA excluding the office garage										573,499	
Total GFA including office garage										704,529	

*Note: Area measured to the exterior face of building walls, including decks that are not open to the sky and enclosed on three sides. Excludes portions of decks which project beyond the face of the building. No Deductions for shafts or stairways are included.

**Note: Area of block B office garage is not included in the FAR calculation

***Note: Including high volume space floor area (over 16')

BLOCK A: Apartment Program Summary

RESIDENTIAL UNIT TYPE	Quan.	NET S.F. (rentable)	Unit Mix	BOMA NET S.F.	Parking Ratio	Parking Provided	Storage Required	Storage Provided Balcony (cf)	Storage Provided Corridor (cf)
J1	15	635	7.4%	9,525	1.2	18	164		183
J2	10	704	4.9%	7,040	1.2	12	164		213
J2.1	8	699	3.9%	5,592	1.2	10	164		227
J2.2 J2.1 UPPER	2	658	1.0%	1,316	1.2	2	164		227
JR Units Total	35	671	17.2%	23,473		42			
1A LINER	24	759	11.8%	18,216	1.2	29	164	164	
1A.1 LINER	5	725	2.5%	3,625	1.2	6	164		183
1A.2 LINER	1	716	0.5%	716	1.2	1	164		187
1A.3	12	766	5.9%	9,192	1.2	14	164		182
1A.4 1A UPPER	6	693	3.0%	4,158	1.2	7	164		252
1B CURVE (1BR+DEN)	16	1,008	7.9%	16,128	1.2	19	164		183
1B.1 1B UPPER	4	844	2.0%	3,376	1.2	5	164		191
1C	16	760	7.9%	12,160	1.2	19	164	164	
1D 2C UPPER	1	1,012	0.5%	1,012	1.2	1	164		238
1BR Units Total	85	807	41.9%	68,583		102			
2A SMALL LINER	11	1,048	5.4%	11,528	1.2	13	164	164	
2A.1 SMALL LINER	11	1,025	5.4%	11,275	1.2	13	164	164	
2A.2 2A UPPER	1	998	0.5%	998	1.2	1	164	164	
2A.3	6	978	3.0%	5,868	1.2	7	164		199
2B LARGE LINER	19	1,083	9.4%	20,577	1.2	23	164	197	
2C LARGE LINER	4	1,260	2.0%	5,040	1.2	5	164		329
2D SMALL LINER	5	1,010	2.5%	5,050	1.2	6	164		183
2E SHALLOW	2	1,004	1.0%	2,008	1.2	2	164		320
2F CORNER	10	1,307	4.9%	13,070	1.2	12	164		230
2BR Units Total	69	1,093	34.0%	75,414		83			
3A CORNER	5	1,391	2.5%	6,955	1.2	6	164		215
3A.1 CORNER	5	1,464	2.5%	7,320	1.2	6	164		289
3B CORNER	4	1,381	2.0%	5,524	1.2	5	164		230
3BR Units Total	14	1,414	6.9%	19,799		17			
All Units - Total	203	923	100.0%	187,269		244			

AMENITY PROGRAM + RETAIL	SF
Main Lobby	900
Mail Box and Package	300
Leasing office	2,480
Fitness	1,500
Clubroom	1,270
Business Lounge	400
Seating Area	550
Retail	3,000
Pet Spa	240
Roof Deck	1,070
Total	11,710

BLOCK B: Condo Program Summary

RESIDENTIAL UNIT TYPE	Quan.	NET S.F. (interior)	Unit Mix	BOMA NET S.F.	Parking Ratio	Parking Provided	Storage Required each	Storage Provided each in Balcony (cf)	Storage Provided each in Hallway (cf)
1A.1 liner	4	813	4.0%	3,252	1.28	5	164		
1A.2 Inside corner	3	886	3.0%	2,658	1.28	4	164	200	202
1A.3	1	865	1.0%	865	1.28	1	164		238
1B shallow	4	828	4.0%	3,312	1.28	5	164		192
1C One plus	4	903	4.0%	3,612	1.28	5	164	181	
1C.1 One plus	6	875	6.0%	5,250	1.28	8	164		209
1C.2 One plus	5	908	5.0%	4,540	1.28	6	164	173	
1D	5	739	5.0%	3,695	1.28	6	164	164	
1E Shallow	6	848	6.0%	5,088	1.28	8	164		181
1F Shallow	1	749	1.0%	749	1.28	1	164		164
1BR Units Total	39	847	39.0%	33,021		50			
2A small liner	2	1,135	2.0%	2,270	1.28	3	164		215
2B	24	1,120	24.0%	26,880	1.28	31	164		175
2B.1	3	1,087	3.0%	3,261	1.28	4	164		178
2B.2	3	1,100	3.0%	3,300	1.28	4	164	180	
2B.3	1	1,049	1.0%	1,049	1.28	1	164		178
2C Large two	4	1,074	4.0%	4,296	1.28	5	164		192
2D Outside Corner	4	1,292	4.0%	5,168	1.28	5	164		387
2D.1 Outside Corner top L	1	1,233	1.0%	1,233	1.28	1	164		238
2E Outside Corner	6	1,185	6.0%	7,110	1.28	8	164		238
2F Inside Corner	5	1,096	5.0%	5,480	1.28	6	164	225	
2BR Units Total	53	1,133	53.0%	60,047		68			
3A liner	5	1,560	5.0%	7,800	1.28	6	164	227	
3BR Units Total	5	1,560	5.0%	7,800		6			
TH-1 (3BR)	1	1,895	1.0%	1,895	1.28	1	164	293	
TH-2 (2BR+FAMILY ROOM)	2	1,462	2.0%	2,924	1.28	3	164	224	
TOWNHOME Units Total	3	1,534	3.0%	4,819		4			
All Units - Total	100	1057	100.0%	105,687		128			

AMENITY PROGRAM	SF
Lobby	550
Mailbox and Package	300
Clubroom	800
Total	1,650



STUDIO T SQUARE

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: Planning
: Urban Design

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Mountain View, California

Sheet Title:
PROJECT
SUMMARY

Job No. 16021
Date: 03/09/2020
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Sheet No:

G001



2. NORTH SHORELINE LOOKING NORTH WEST



3. US 101 FREEWAY LOOKING SOUTH



4. US 101 FREEWAY LOOKING SOUTH WEST



1. NORTH SHORELINE LOOKING NORTH WEST



5. TERRA BELLA AVE LOOKING EAST



8. NORTH SHORELINE BLVD LOOKING WEST



7. TERRA BELLA AVE LOOKING SOUTH



6. TERRA BELLA AVE LOOKING NORTH



**STUDIO
T SQUARE**

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: Planning
: Urban Design

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: (510) 451-2850

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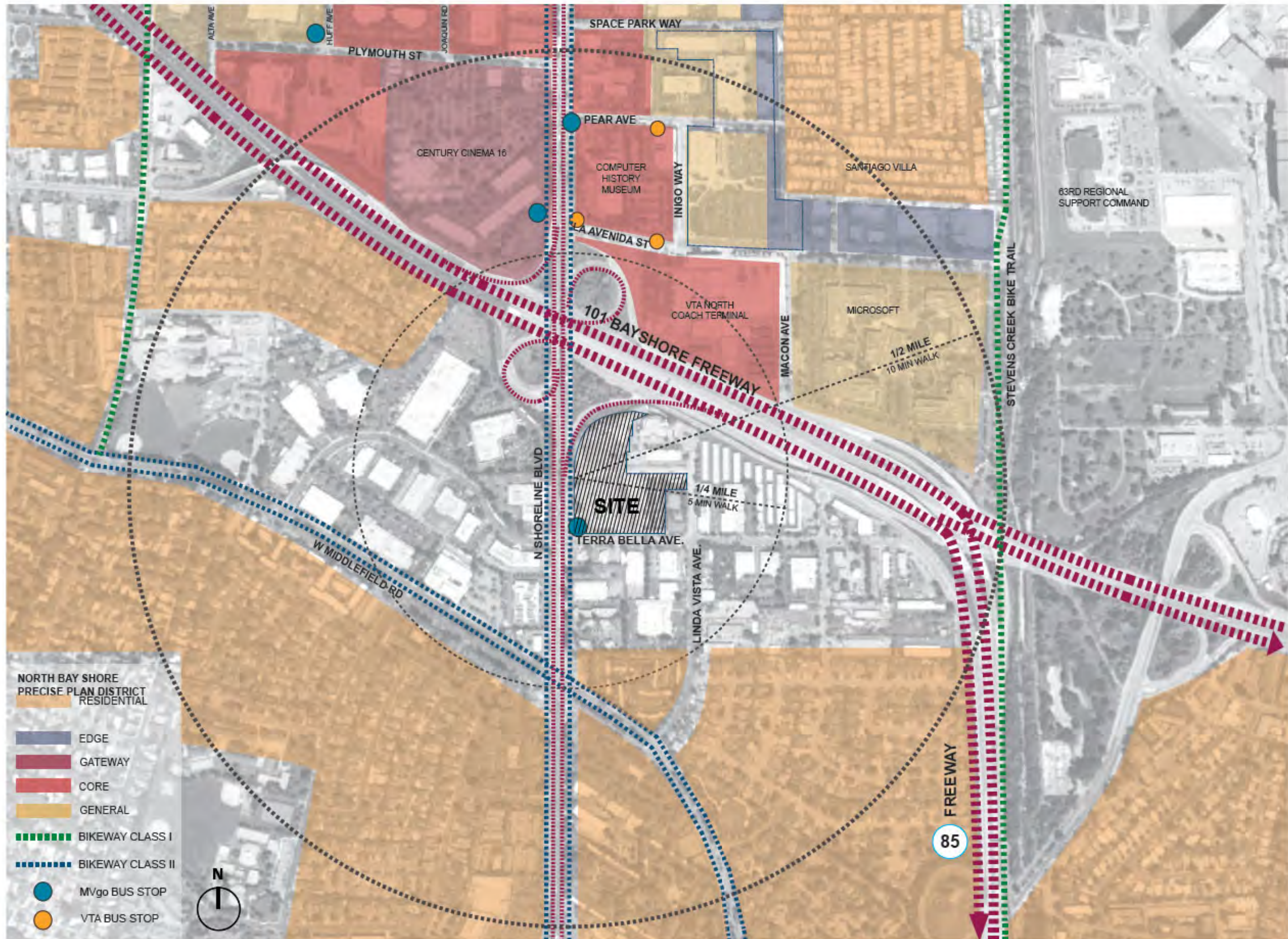
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Mountain View, California

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Sheet Title:
 NEIGHBORHOOD
 CONTEXT

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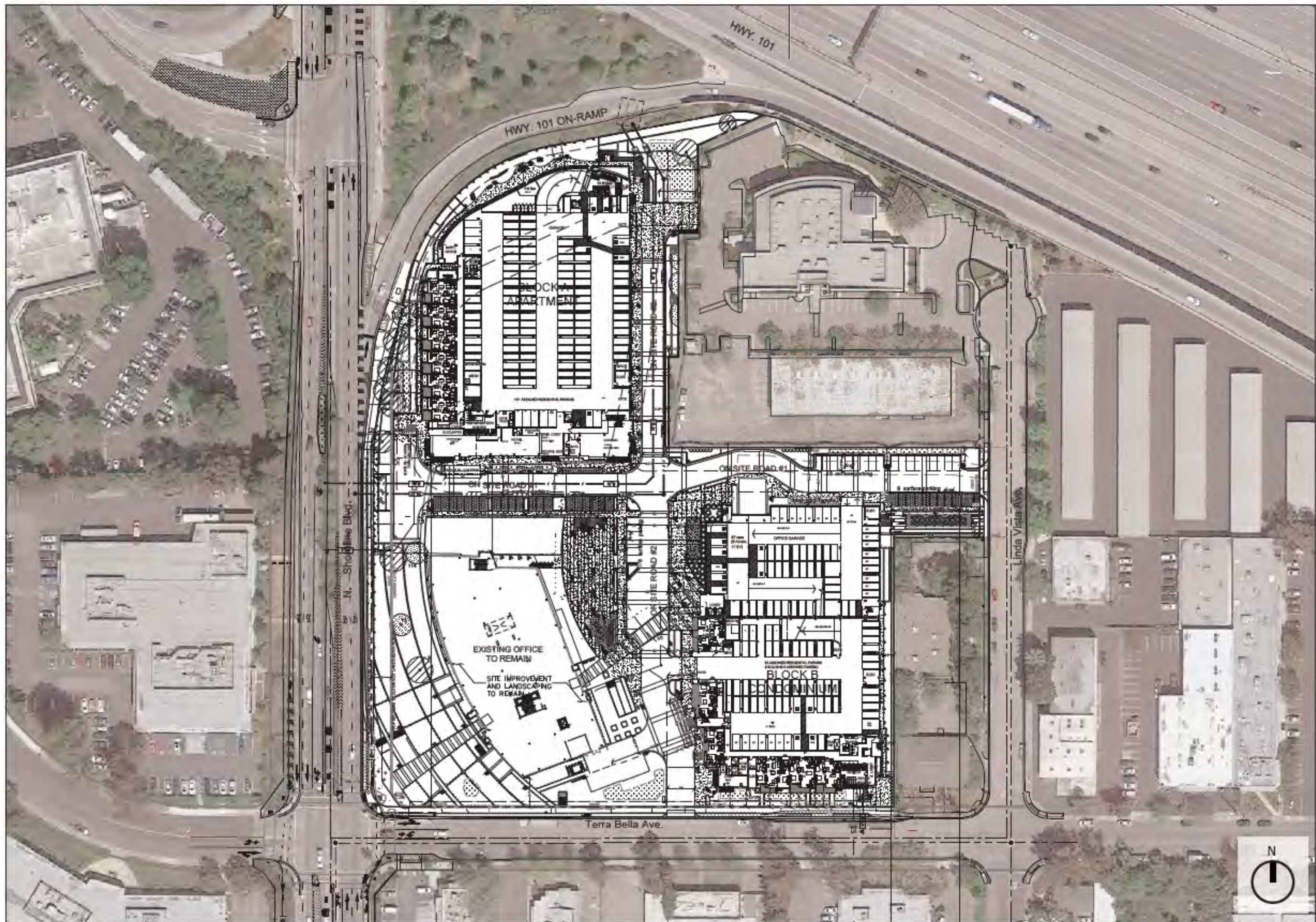
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Mountain View, California

Sheet Title:
**ILLUSTRATIVE
 SITE PLAN**

Job No. 16021
 Date: 03/09/2020
 Scale:
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SP200



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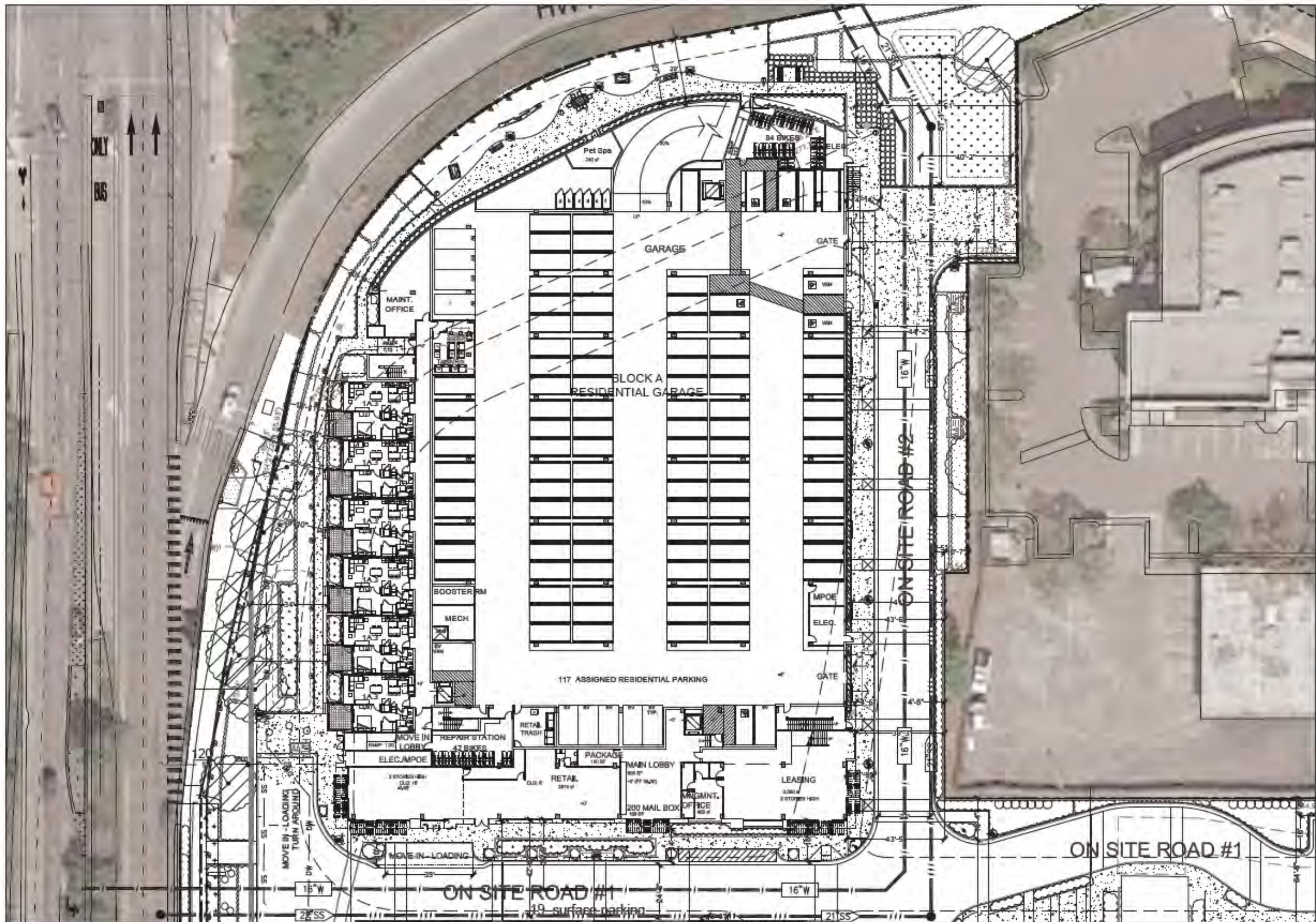
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SITE PLAN

Job No. 16021
 Date: 03/09/2020
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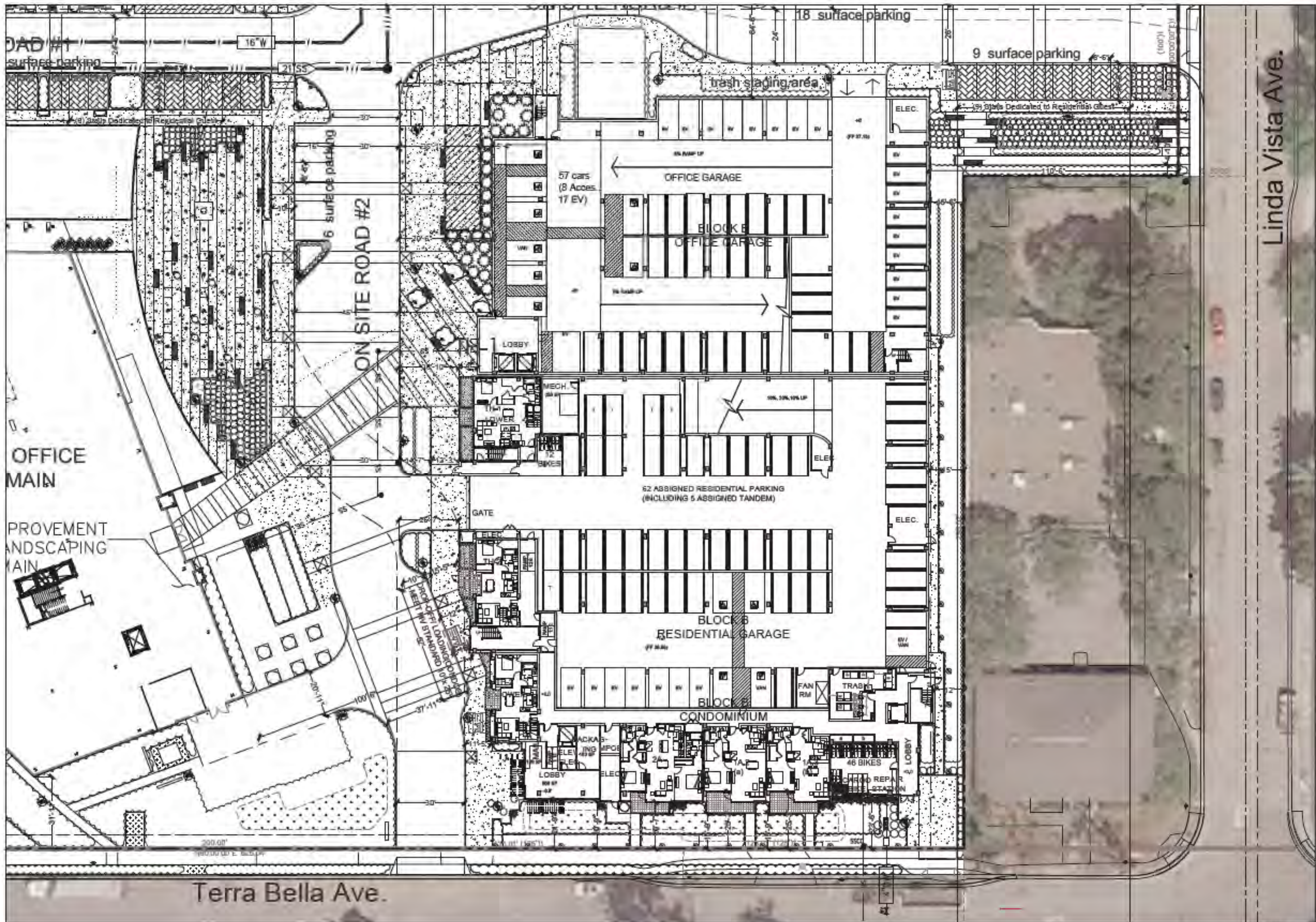
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Sheet Title:
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BLOCK A**

Job No. 16021
Date: 03/09/2020
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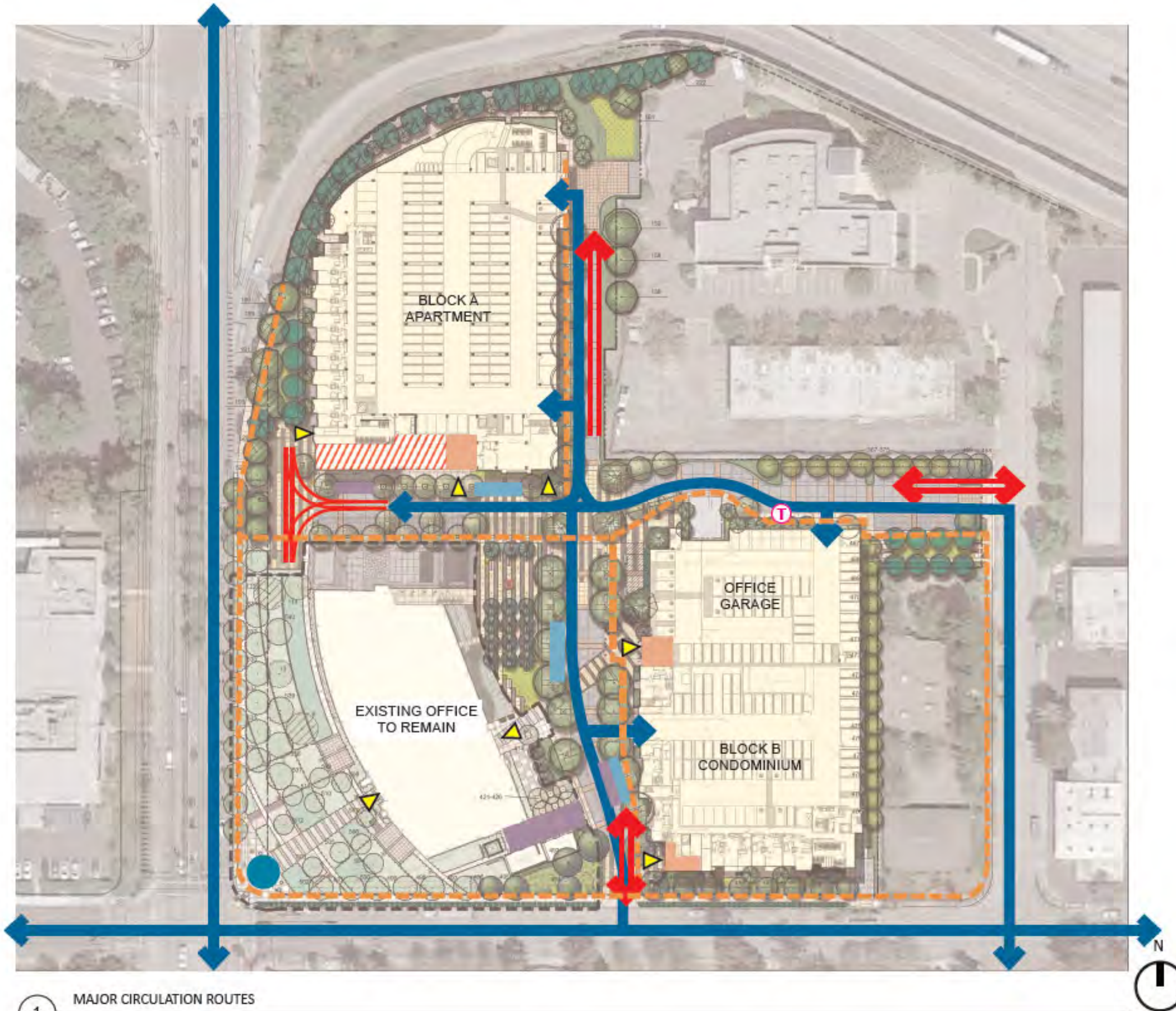
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Sheet Title:
SITE PLAN
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
SP203



1 MAJOR CIRCULATION ROUTES
SCALE: 1" = 100' - 0"

LEGEND:

- VEHICULAR PARKING CIRCULATION
- PEDESTRIAN
- RETAIL
- LOBBY & AMENITY
- LOADING ZONE
- EVA ACCESS
- LOBBY ENTRY
- DROP-OFF
- MVgo BUS STOP
- TRASH STAGING AREA FOR CONDOMINIUM AND APARTMENT



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Sheet Title:
MAJOR CIRCULATION ROUTES

Job No. 16021
Date: 03/09/2020
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Sheet No:
SP300



1 BICYCLE LOCATION AND CIRCULATION DIAGRAM
SCALE: 1" = 100' - 0"



4 OUTDOOR BIKE RACKS
N.T.S.



3 INDOOR BIKE RACKS
N.T.S.



2 MONUMENT SIGNAGE
N.T.S.

LEGEND:

-  EXISTING SHORT TERM BICYCLE PARKING LOCATION (TOTAL 46 BICYCLE RACKS)
-  PROPOSED SHORT TERM BICYCLE PARKING LOCATION (TOTAL 34 BICYCLE RACKS)
-  BICYCLE CIRCULATION
-  EXISTING BIKE PARKING ROOM
-  PROPOSED BIKE PARKING ROOM AND BIKE REPAIR STATIONS
-  BIKE AND PEDESTRIAN ENTRANCE



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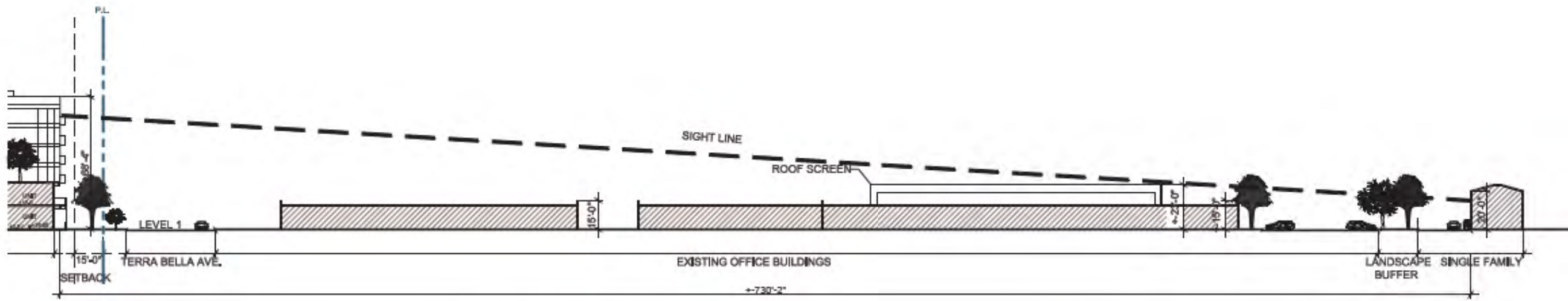
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Sheet Title:
BICYCLE LOCATION AND CIRCULATION DIAGRAM

Job No. 16021
Date: 03/09/2020
Scale:
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Sheet No:
SP400



SECTION A-A'



EXISTING CONTEXT OF SECTION A-A'

MINIMUM WINDOW OPENINGS AT NORTH SIDE OF DISTANT RESIDENTIAL BUILDINGS
 HEAVY TREES AS VISUAL BUFFER FROM PROPOSED BUILDING 730FT AWAY.

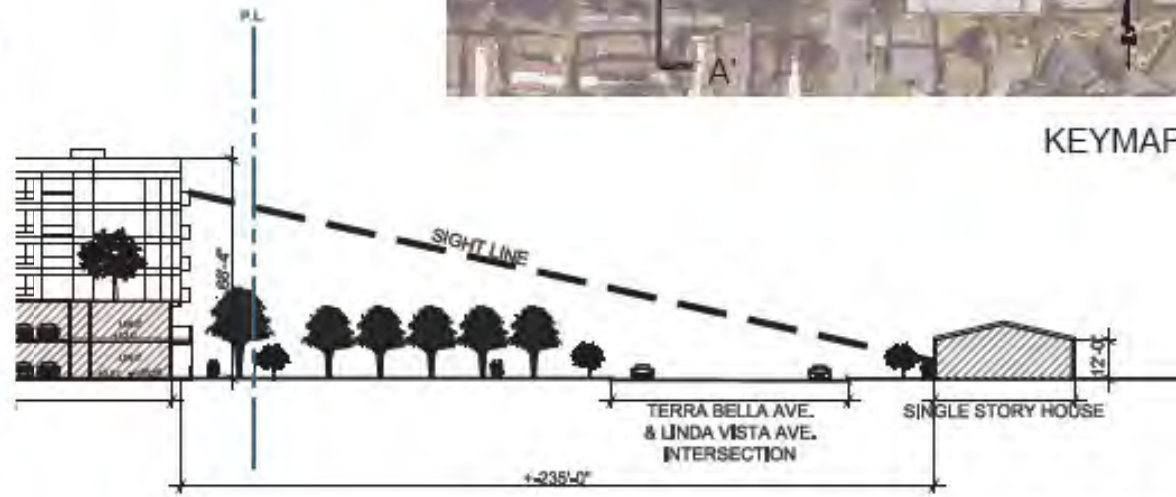


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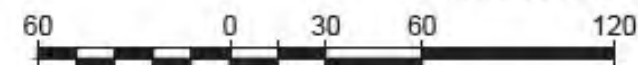


EXISTING CONTEXT OF SECTION B-B'

SINGLE STORY HOUSE CURRENTLY USED FOR INDUSTRIAL PURPOSE SITUATED
 AMONG OTHER INDUSTRIAL BUILDINGS



SECTION B-B'



1" = 60'



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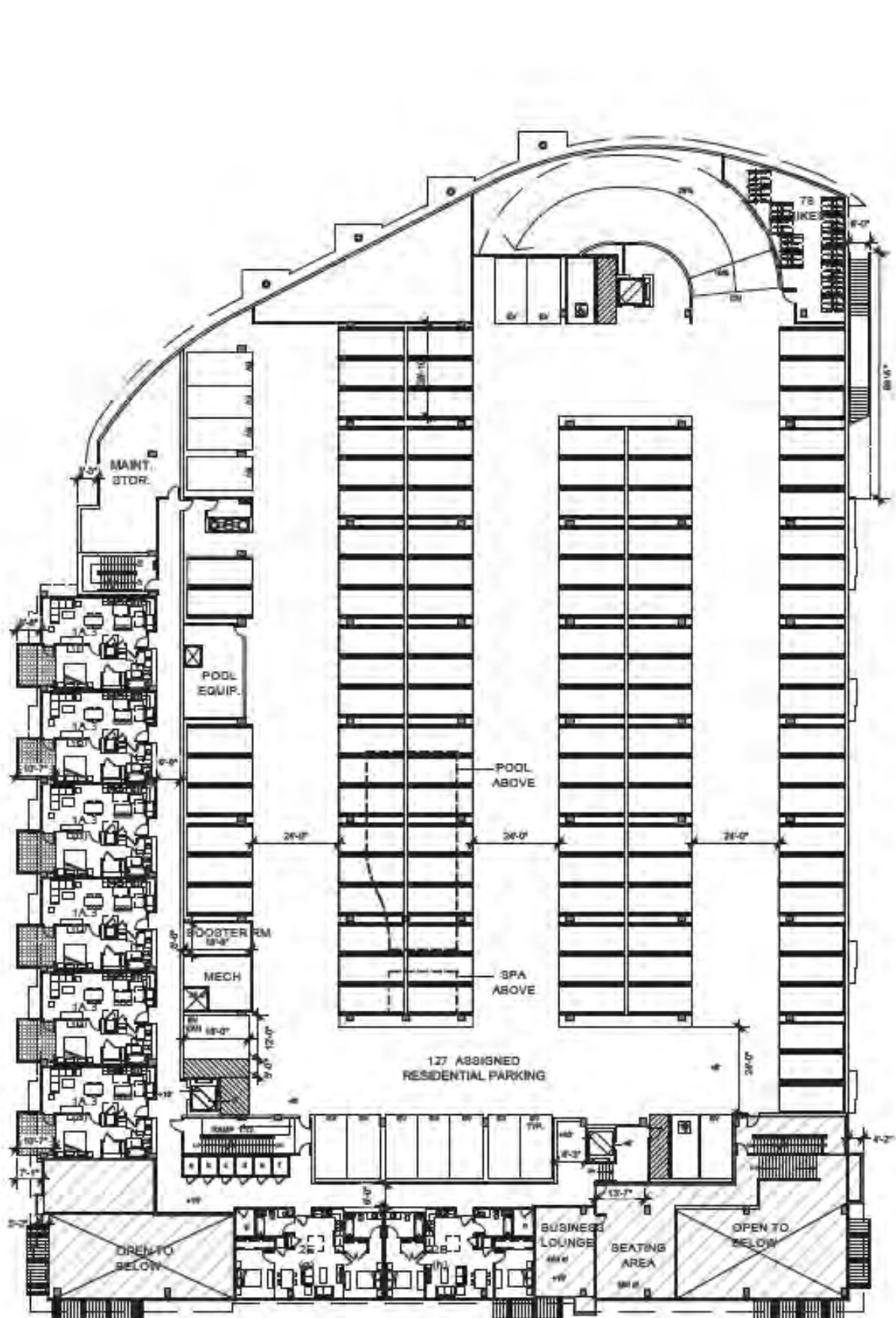
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Sheet Title:
 SITE SECTION

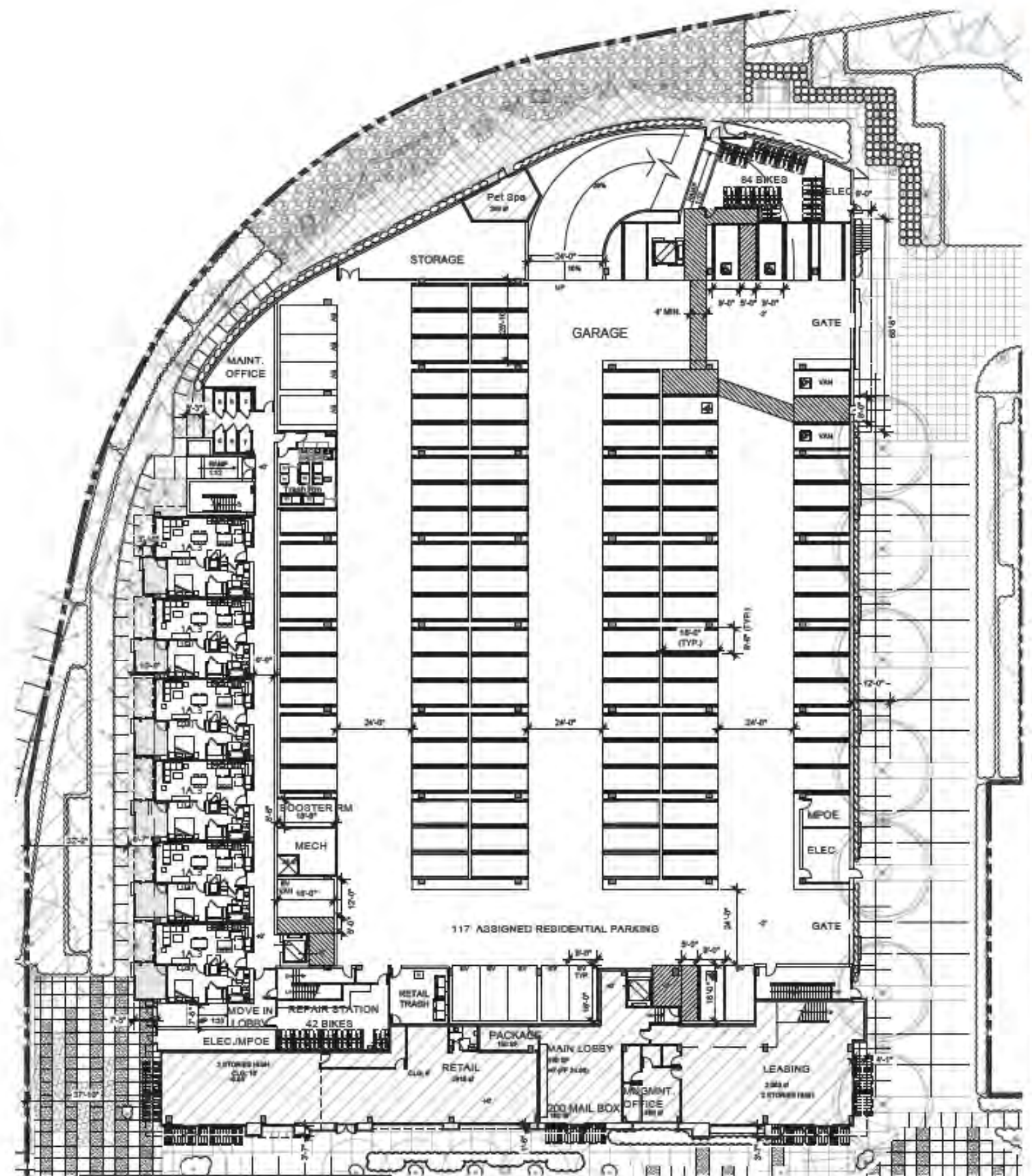
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SP500



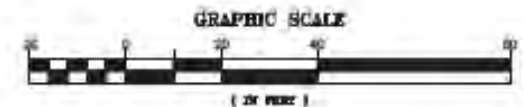
UNIT TYPE	1A.3						2E		TOTAL
STORAGE	a	b	c	d	e	f	g	h	
CF	182	182	182	182	182	182	320	320	1732

2 LEVEL 2
SCALE: 1" = 20' - 0"



UNIT TYPE	1A.3						TOTAL
STORAGE	a	b	c	d	e	f	
CF	186	186	186	186	186	186	1116

1 LEVEL 1
SCALE: 1" = 20' - 0"



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Sheet Title:
LEVEL 1-2 PLANS
BLOCK A

Job No. 16021
Date: 03/09/2020
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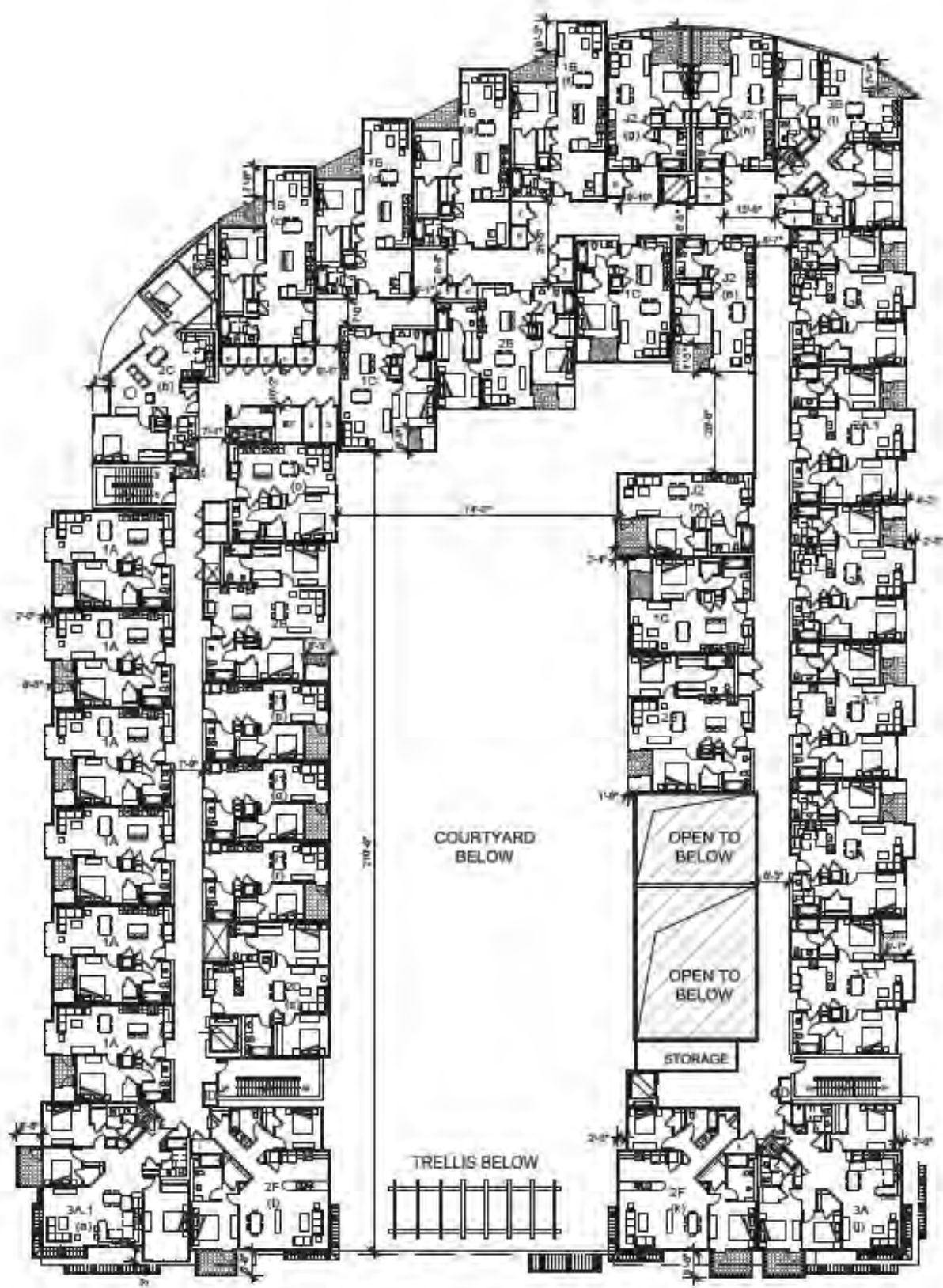
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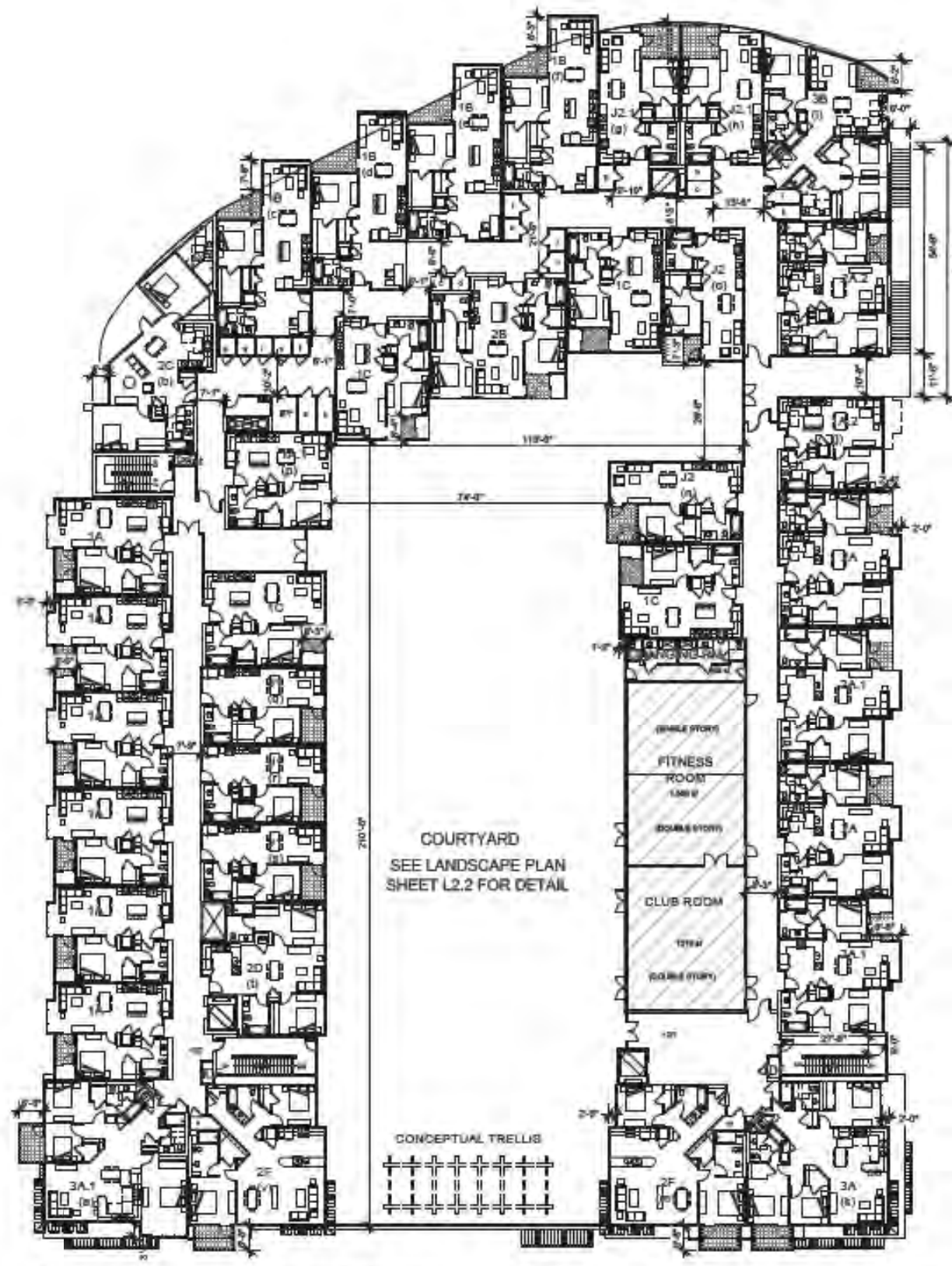
Sheet Title:
LEVEL 3-4 PLANS
BLOCK A

Job No. 18021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A211



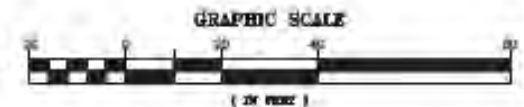
UNIT TYPE	3A.1	2C	1B				J2.1		3B	3A	2F	J2	1A.1		J1	2D	2F	TOTAL	
STORAGE	a	b	c	d	e	f	g	h	i	j	k	m	n	o	p	q	r	s	t
GF	329	329	170	170	196	196	227	227	230	230	230	227	187	183	183	183	183	230	4093

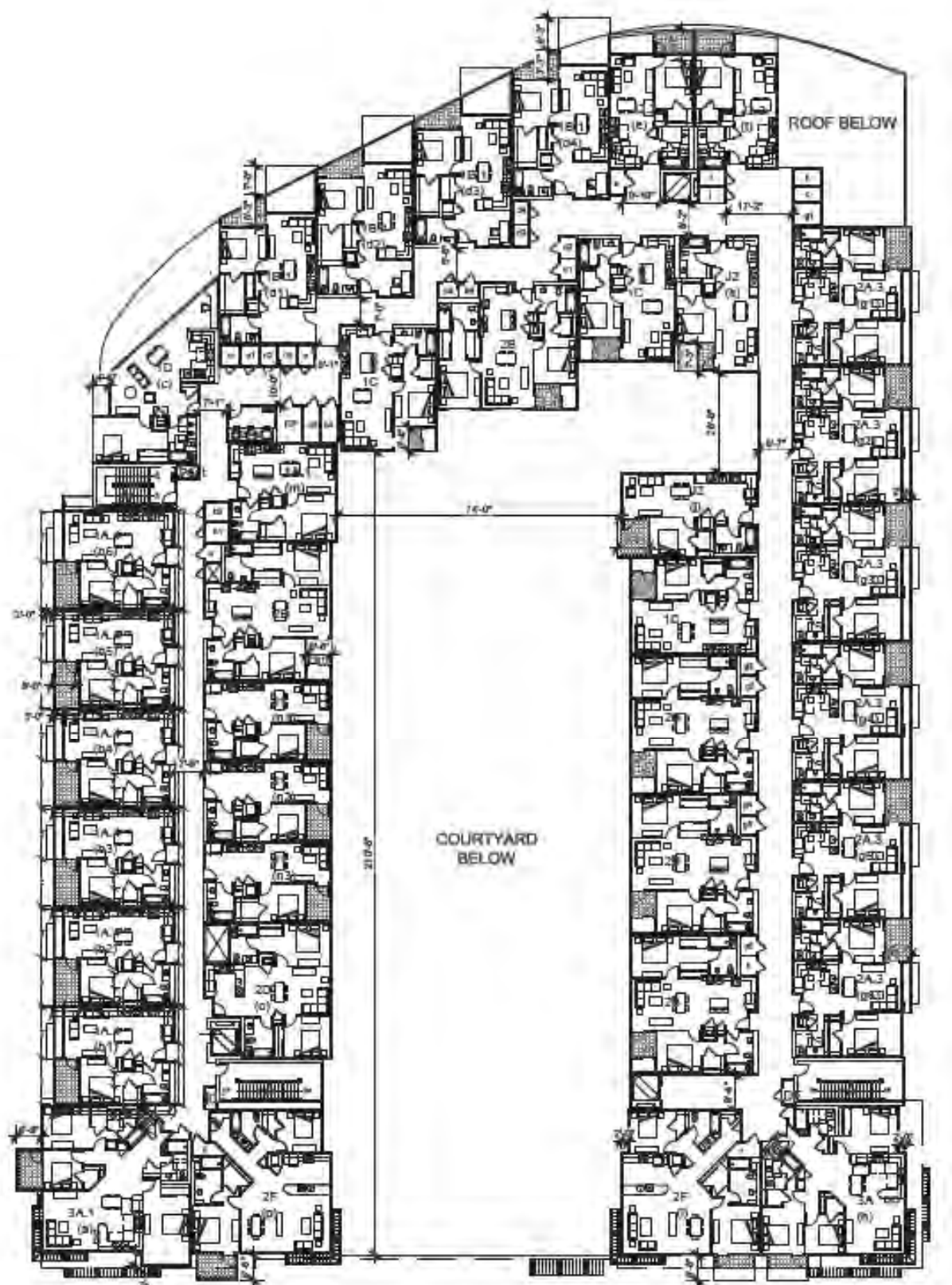


UNIT TYPE	3A.1	2C	1B				J2.1		3B	1A.2	3A	2F	J2	1A.1		J1	2D	2F	TOTAL		
STORAGE	a	b	c	d	e	f	g	h	i	j	k	m	n	o	p	q	r	s	t	v	
GF	328	329	170	170	196	196	227	227	230	187	230	230	187	227	183	183	183	183	183	230	4280

2 LEVEL 4
SCALE: 1" = 20'-0"

1 LEVEL 3 (PODIUM LEVEL)
SCALE: 1" = 20'-0"

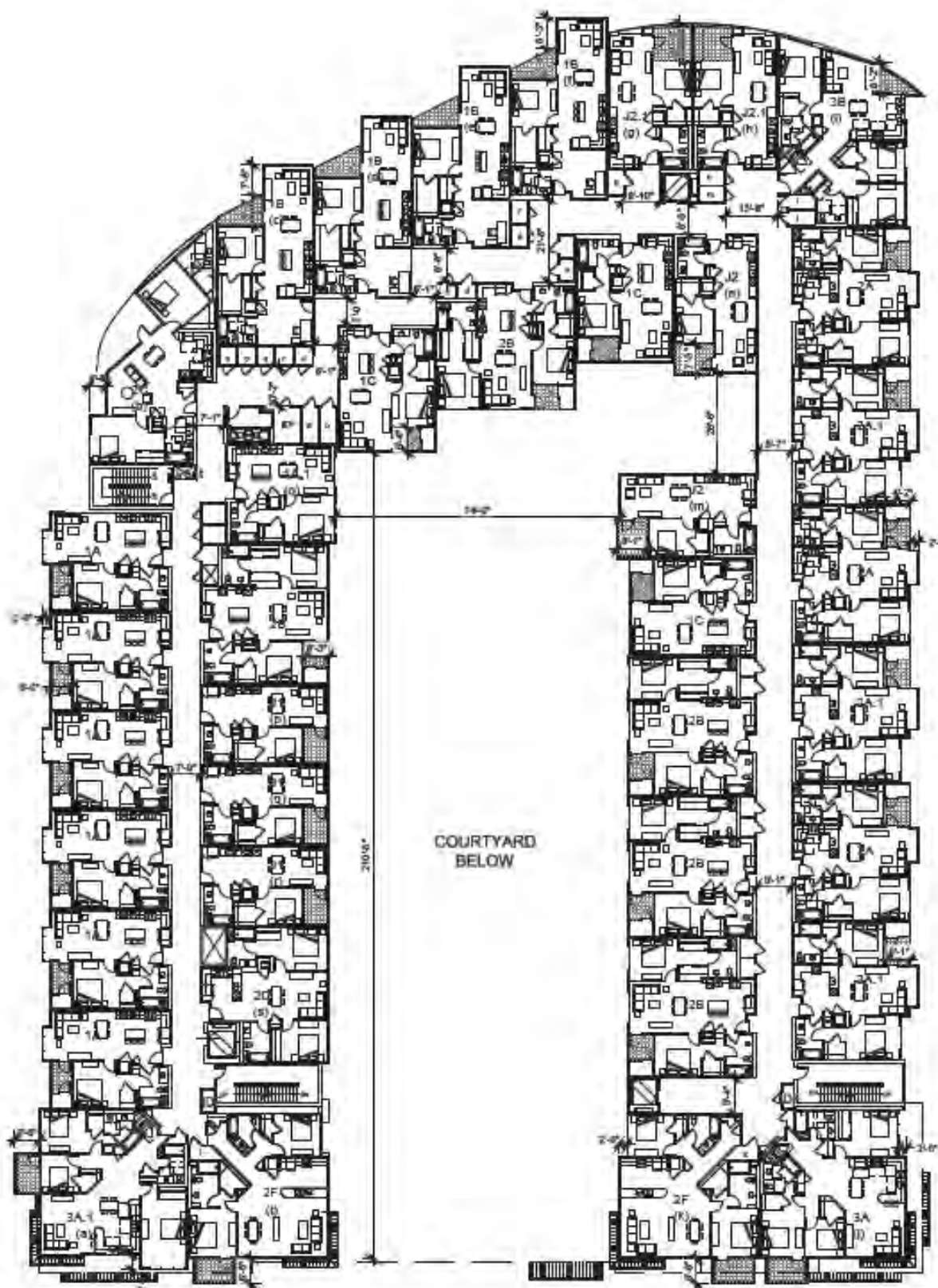




UNIT TYPE	3A.1	1A.4						1D	1B.1				J2.2						2A.3						3A	2F
STORAGE	a	b1	b2	b3	b4	b5	b6	c	d1	d2	d3	d4	e	f	g1	g2	g3	g4	g5	g6	h	i				
CF	189	258	258	329	329	170	170	238	187	187	198	198	227	227	349	189	189	189	188	189	189	189	230			

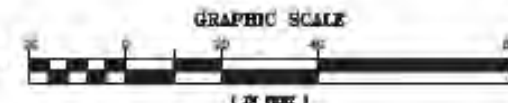
2 LEVEL 7
SCALE: 1" = 20'-0"

UNIT TYPE	J2	1A.1	J1	2D	2F	TOTAL			
STORAGE	j	k	m	n1	n2	n3	o	p	
CF	227	238	183	183	183	183	183	230	8344



UNIT TYPE	3A.1	2C	1B				J2.1	3B	3A	2F	J2	1A.1	J1	2D	2F	TOTAL				
STORAGE	a	b	c	d	e	f	g	h	i	j	k	m	n	o	p	q	r	s	t	
CF	329	329	170	170	198	198	227	227	230	230	230	227	187	183	183	183	183	183	230	4093

1 LEVEL 5-6
SCALE: 1" = 20'-0"



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Sheet Title:
LEVEL 5-7 PLANS
BLOCK A

Job No. 18021
Date: 03/09/2020
Scale:
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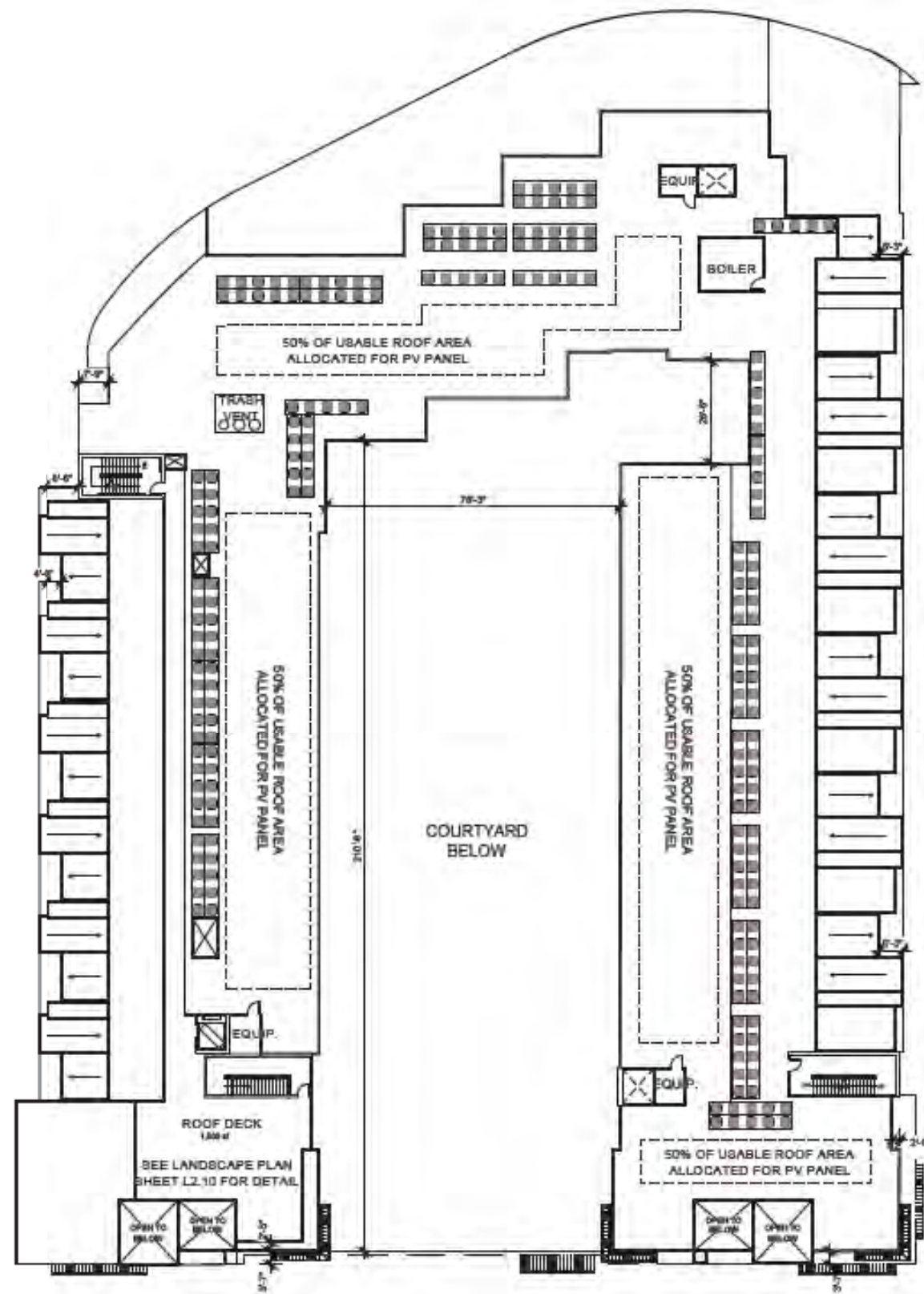
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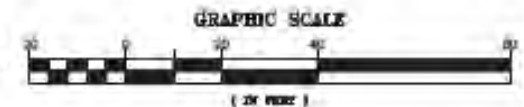
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ROOF PLANS
BLOCK A

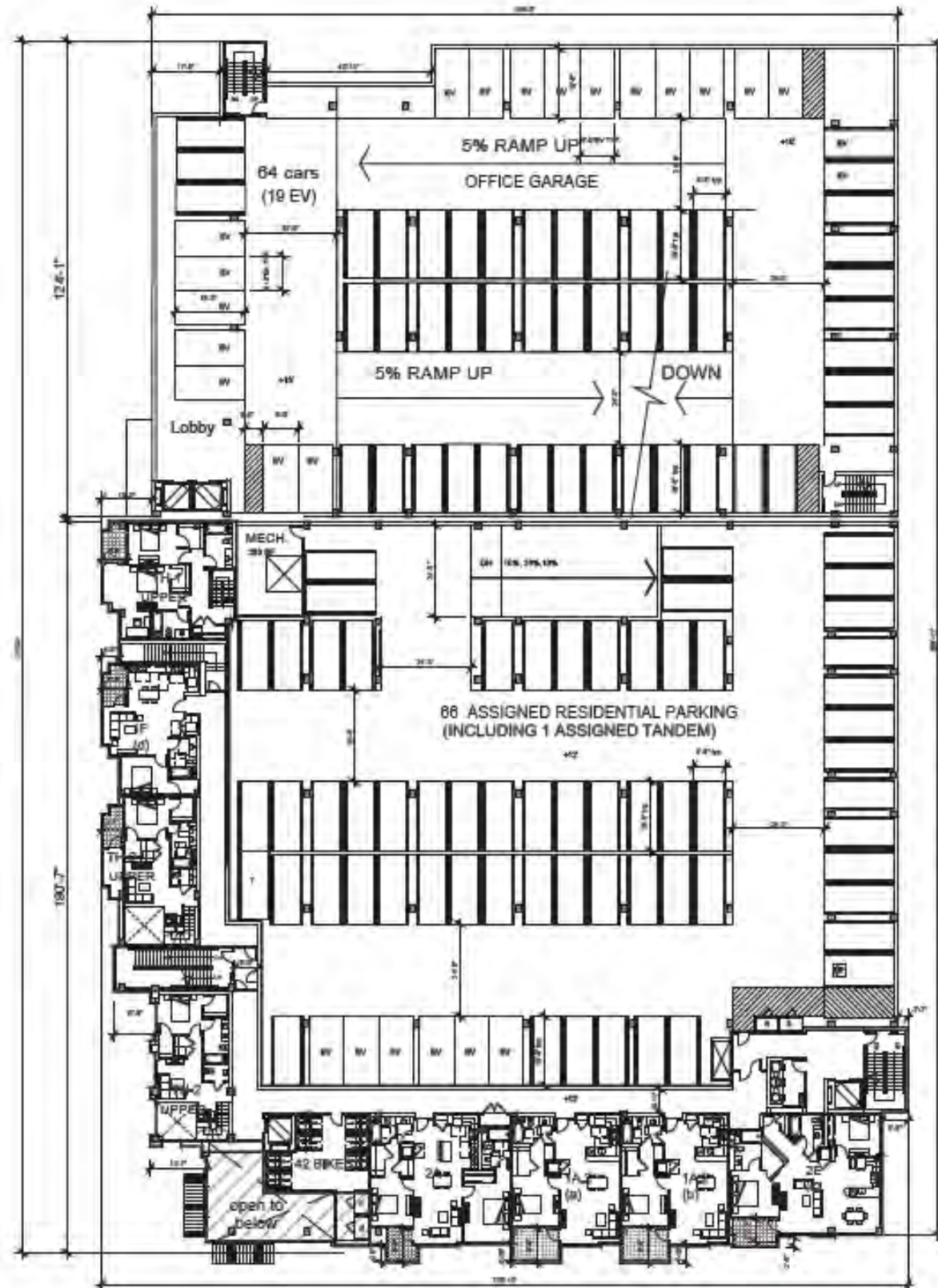
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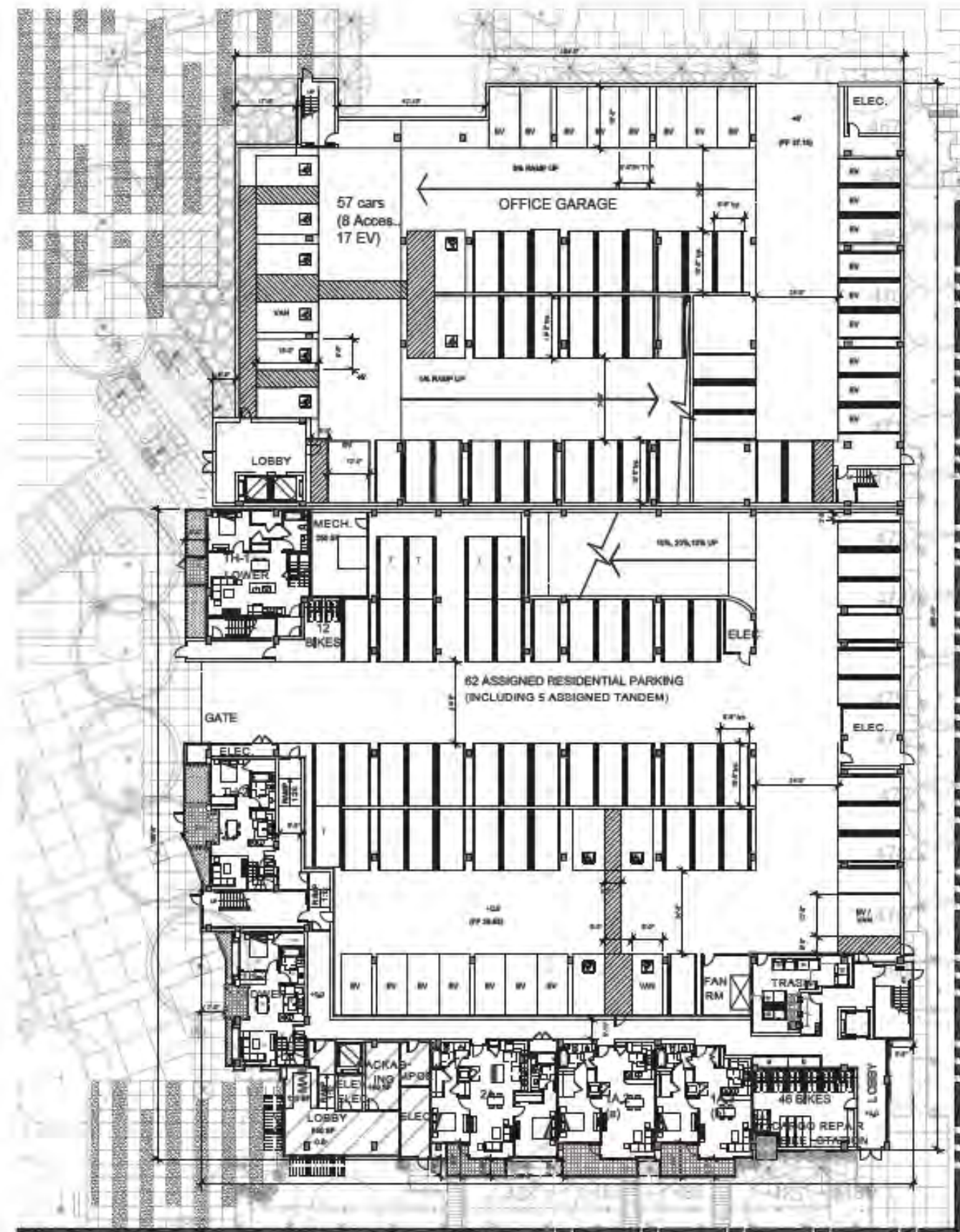
1 ROOF LEVEL
SCALE: 1" = 20' - 0"





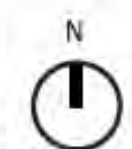
UNIT TYPE	1A.2	2E	1F	
STORAGE	a	b	c	d
CF	167	167	167	167
TOTAL	668			

2 LEVEL 2
SCALE: 1" = 20'-0"



UNIT TYPE	1A.2	1A.3	
STORAGE	a	b	TOTAL
CF	238	238	478

1 LEVEL 1
SCALE: 1" = 20'-0"



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Sheet Title:
LEVEL 1-2 PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
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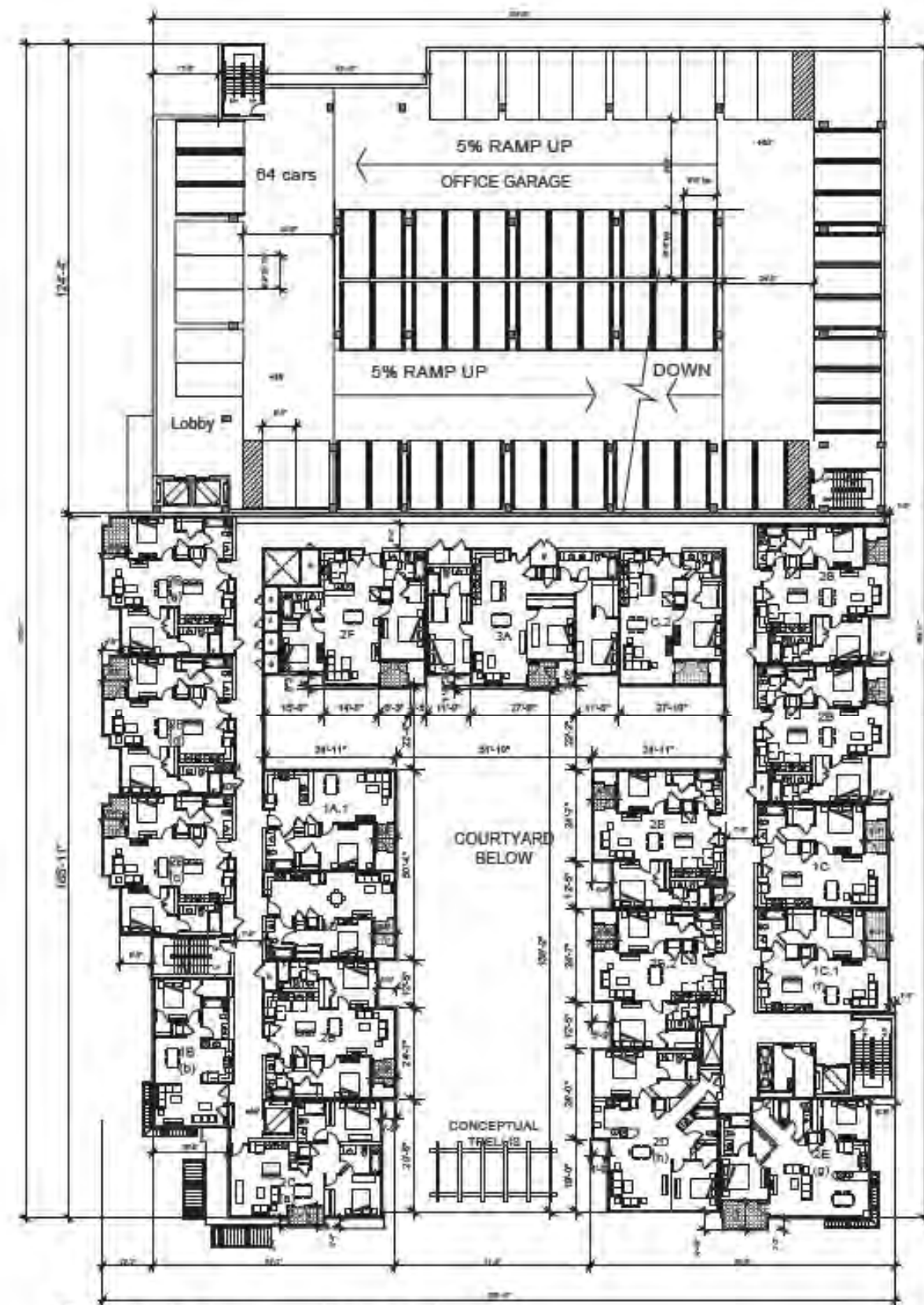
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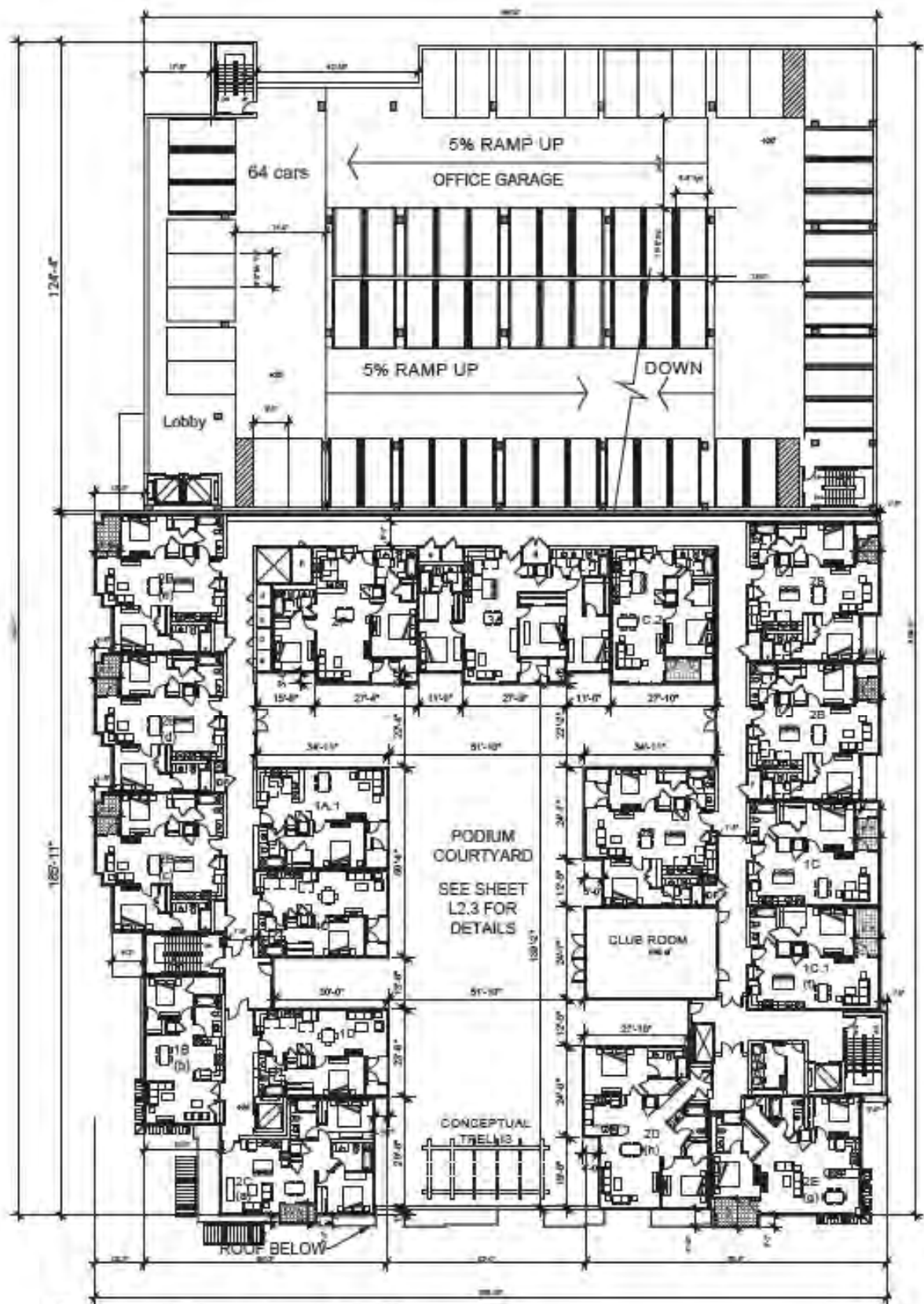
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LEVEL 3-4 PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
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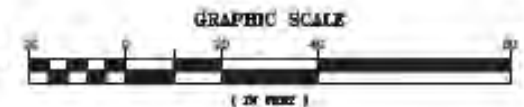
UNIT TYPE	2C	1B	2B		1C.1	2E	2D		
STORAGE	a	b	c	d	e	f	g	h	
DF	178	176	176	178	176	209	238	387	1714

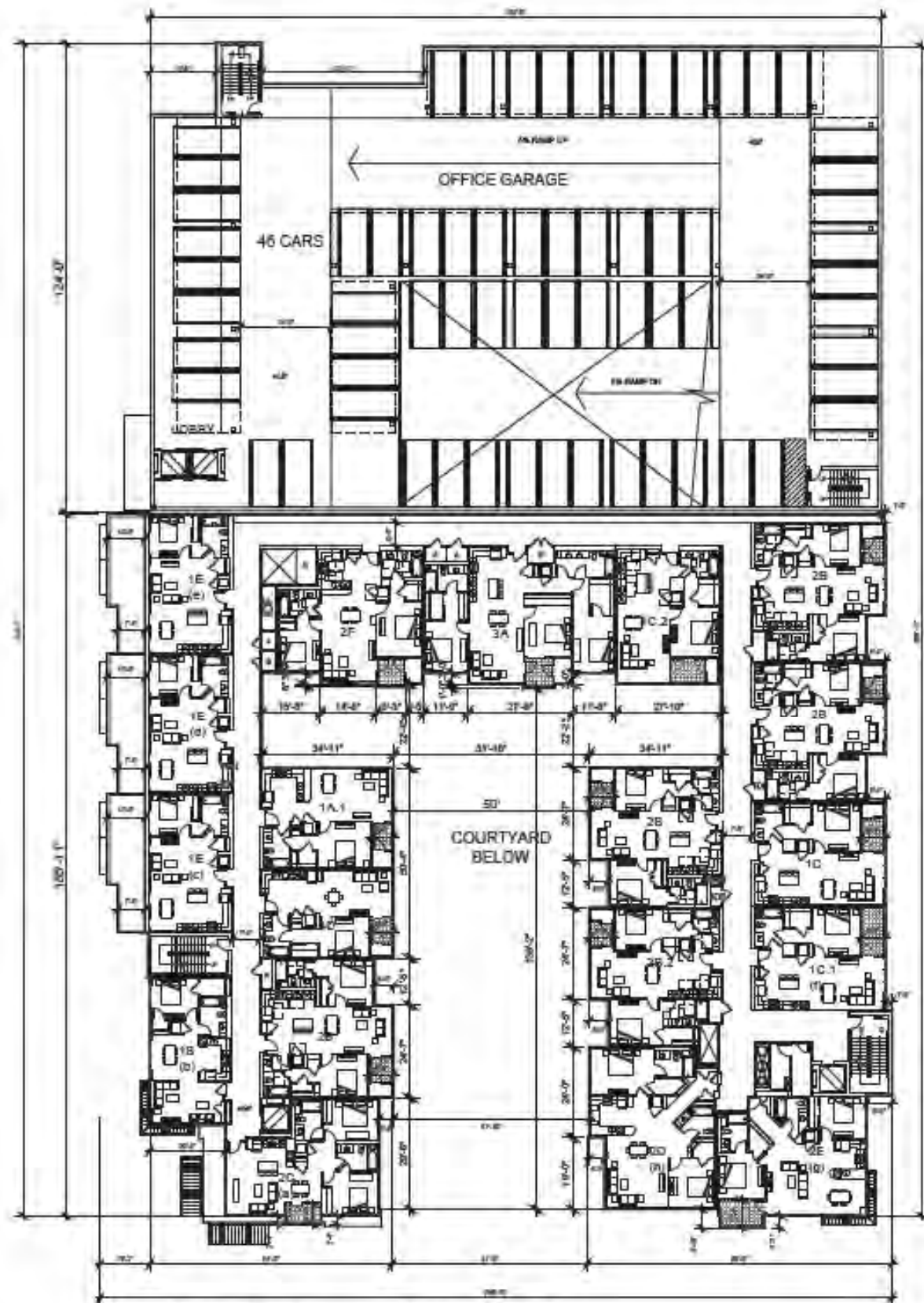


UNIT TYPE	2C	1B	2B		1C.1	2E	2D		
STORAGE	a	b	c	d	e	f	g	h	
DF	178	176	176	178	176	209	238	387	1714

2 LEVEL 4
SCALE: 1" = 20'-0"

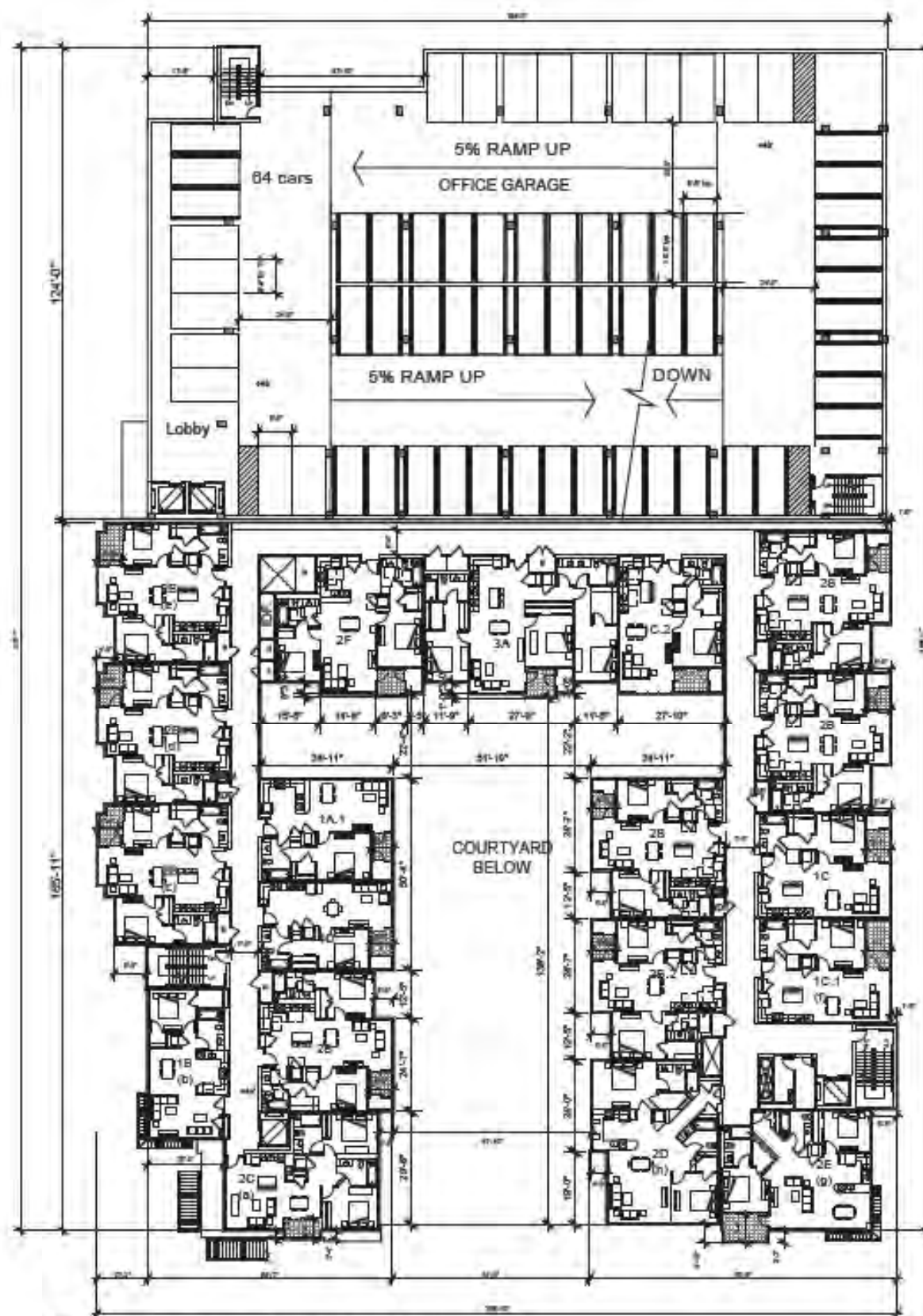
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SCALE: 1" = 20'-0"





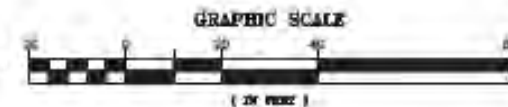
UNIT TYPE	2C	1B	1E		1C.1	2E	2D		
STORAGE	a	b	c	d	e	f	g	h	TOTAL
CF	209	185	165	170	170	209	238	387	1713

2 LEVEL 6
SCALE: 1" = 20' - 0"



UNIT TYPE	2C	1B	2B		1C.1	2E	2D		
STORAGE	a	b	c	d	e	f	g	h	TOTAL
CF	209	209	185	185	209	209	238	387	1791

1 LEVEL 5
SCALE: 1" = 20' - 0"



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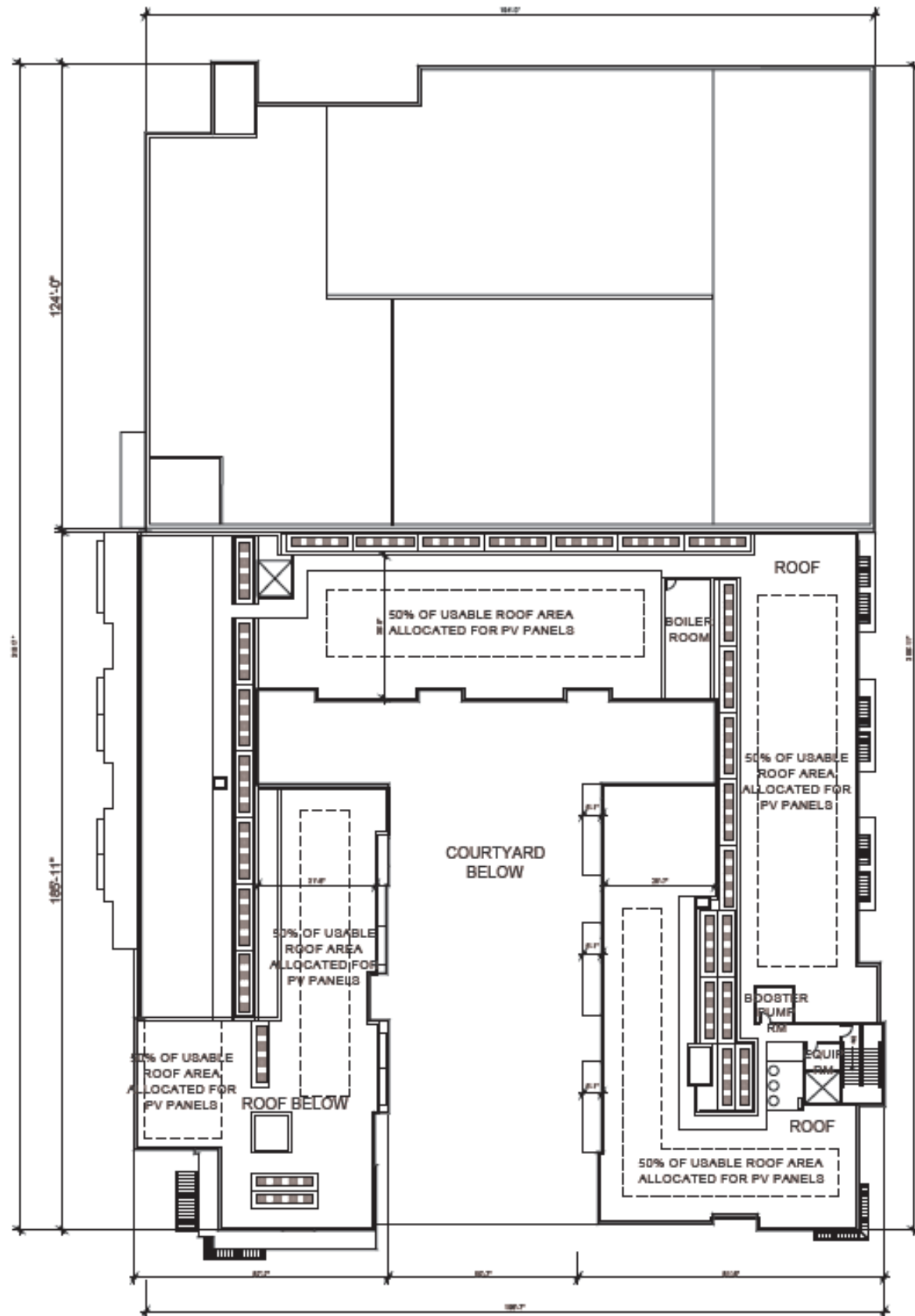
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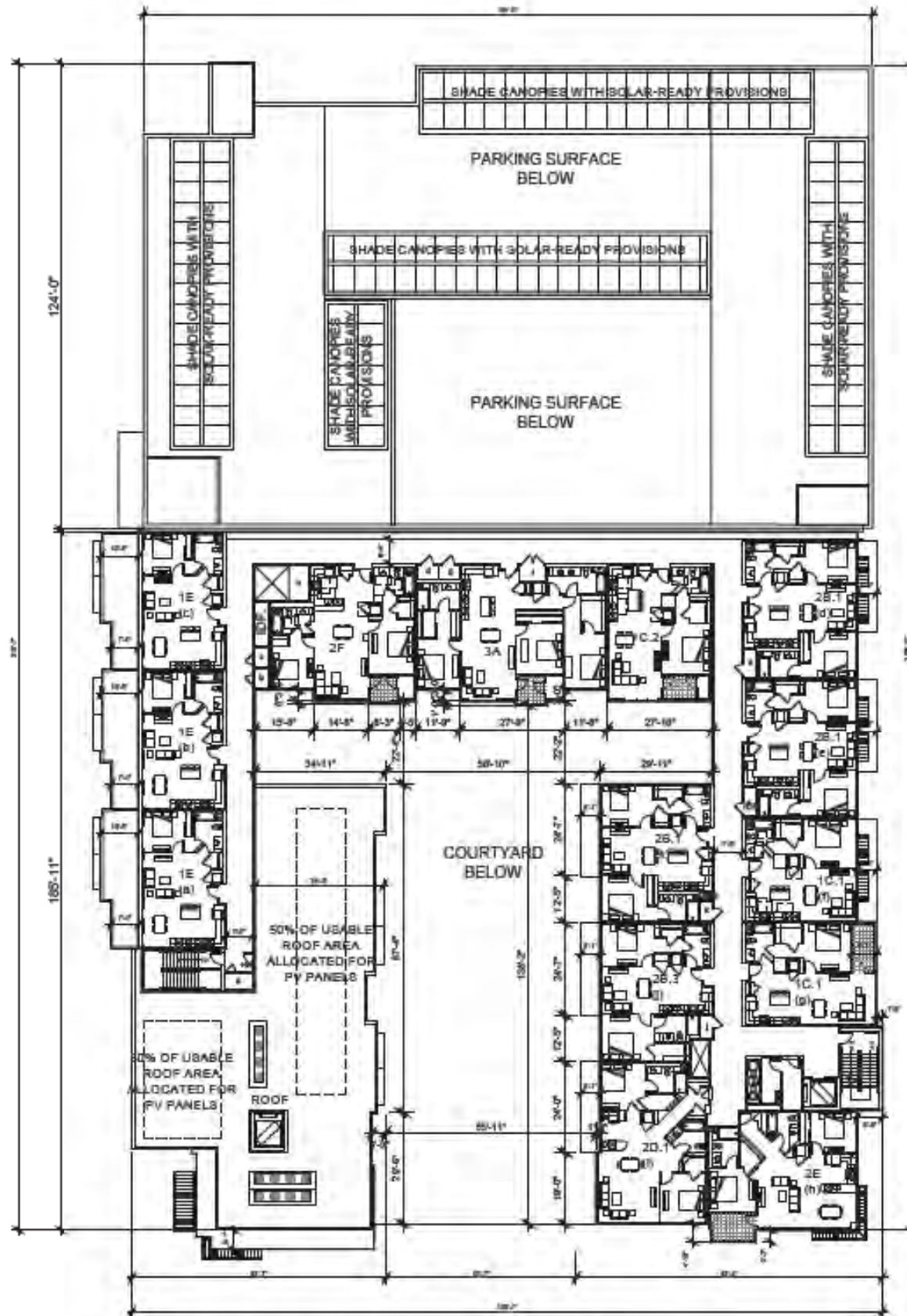
Sheet Title:
LEVEL 5-8 PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
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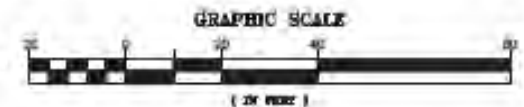


2 ROOF LEVEL
SCALE: 1" = 20'-0"



UNIT TYPE	1E			2B.1			1C.1			2E			2D.1			2B.3			2B.1			TOTAL
STORAGE	a	b	c	d	e	f	g	h	i	j	k	l	m	n	o	p	q	r				
CF	255	185	165	170	220	220	170	387	238	176	148								2315			

1 LEVEL 7
SCALE: 1" = 20'-0"



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Sheet Title:
LEVEL 7 &
ROOF PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A223



2 NORTH ELEVATION

SCALE: 1" = 20' - 0"

A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
B1-1	Siding - Brown
B1-2	Siding - Yellow
B1-3	Siding - Medium Grey
B1-4	Siding - Light Brown
C1-1	Tiles - Brown
C1-2	Tiles - Beige
C1-3	Tiles - Grey
D1-1	Metal Panel - Grey
D1-2	Metal Panel - Light Grey
D1-3	Metal Panel - Orange
E1	Vinyl Window
E2	Storefront Window
F1	Balcony - Metal Open Rail
F2	Balcony - Perforated Metal Panel
F3	Balcony - Glass Panel
G1	Sun Shade - Metal Square Awning
G2	Sun Shade - Metal Tapered Awning
H1	Panel Facade - Perforated
H2	Panel Facade - Corrugated / Perforated

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW LOOKING NORTH WEST ON SHORELINE BLVD OVERPASS

N.T.S.



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Job No. 16021
Date: 03/09/2020
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Sheet No:

A310



2 WEST ELEVATION

SCALE: 1" = 20' - 0"

A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
E1	Panel Facade - Perforated
E2	Panel Facade - Corrugated / Perforated

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1 VIEW LOOKING NORTH WEST ON HWY . 101 RAMP

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PERSPECTIVE -
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Job No. 16021
Date: 03/09/2020
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Sheet No:

A311



2 SOUTH ELEVATION

SCALE: 1" = 20' - 0"

A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
D3	Panel Facade - Perforated
D4	Panel Facade - Corrugated / Perforated

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW LOOKING SOUTH WEST FROM PARKING GARAGE

N.T.S.



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PERSPECTIVE -
BLOCK A

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

A312



2 EAST ELEVATION
SCALE: 1" = 20' - 0"

(A1-1)	Stucco Finish - White
(A1-2)	Stucco Finish - Grey
(A1-3)	Stucco Finish - Light Grey
(A1-4)	Stucco Finish - Dark Grey
(A1-5)	Stucco Finish - Amber
(A1-6)	Stucco Finish - Grey
(A1-7)	Stucco Finish - Khaki
(B1)	Siding - Brown
(B2)	Siding - Yellow
(B3)	Siding - Medium Grey
(C1)	Siding - Light Brown
(C2)	Tiles - Brown
(C3)	Tiles - Beige
(C4)	Tiles - Grey
(D1)	Metal Panel - Grey
(D2)	Metal Panel - Light Grey
(D3)	Metal Panel - Orange
(E1)	Vinyl Window
(E2)	Storefront Window
(F1)	Balcony - Metal Open Rail
(F2)	Balcony - Perforated Metal Panel
(F3)	Balcony - Glass Panel
(G1)	Sun Shade - Metal Square Awning
(G2)	Sun Shade - Metal Tapered Awning
(G3)	Panel Facade - Perforated
(G4)	Panel Facade - Corrugated / Perforated

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW FROM LINDA VISTA AVE LOOKING AT APARTMENT
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BLOCK A

Job No. 16021
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A313



2 SOUTH ELEVATION

SCALE: 1" = 20' - 0"

A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
D3	Panel Facade - Perforated
D4	Panel Facade - Corrugated / Perforated

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW FROM TERRA BELLA AVE. LOOKING AT SOUTH WEST CORNER

N.T.S.



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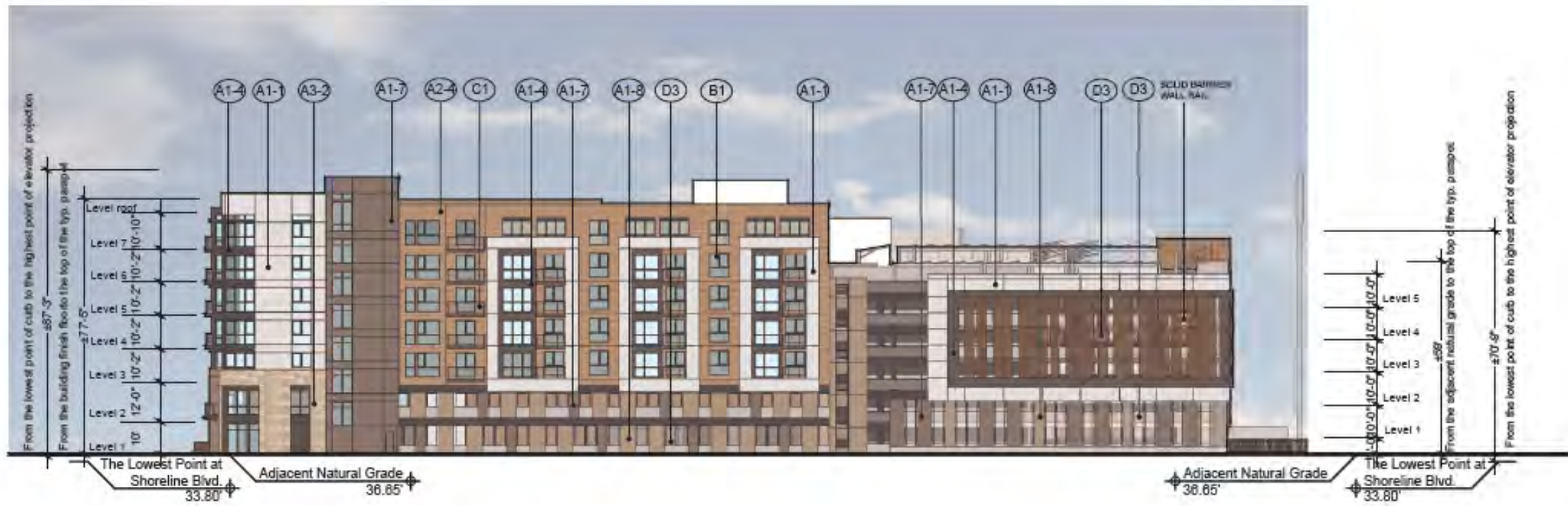
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Sheet Title:
ELEVATION &
PERSPECTIVE -
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

A320



2 EAST ELEVATION

SCALE: 1" = 20' - 0"

A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
D3	Panel Facade - Perforated
D4	Panel Facade - Corrugated / Perforated

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW FROM TERRA BELLA AVE. LOOKING AT SOUTH EAST CORNER

N.T.S.



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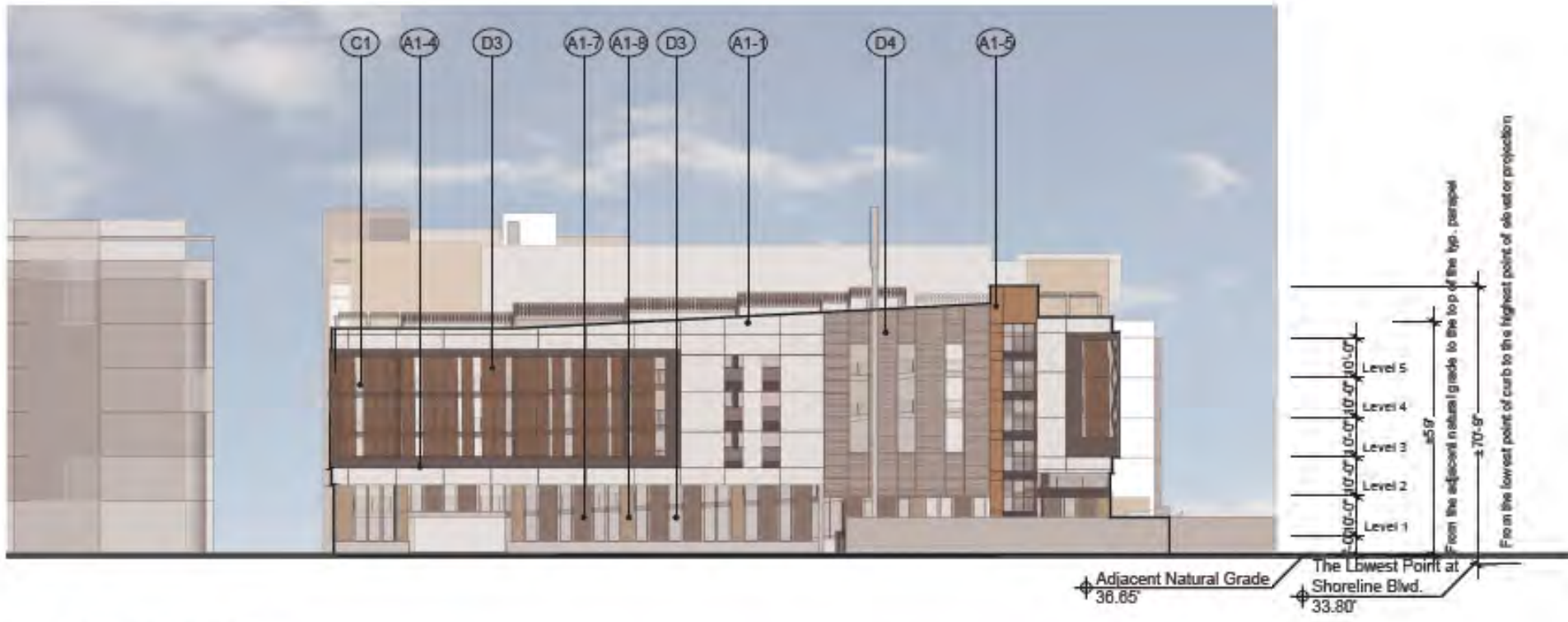
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Job No. 16021
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A321



2 NORTH ELEVATION

SCALE: 1" = 20' - 0"

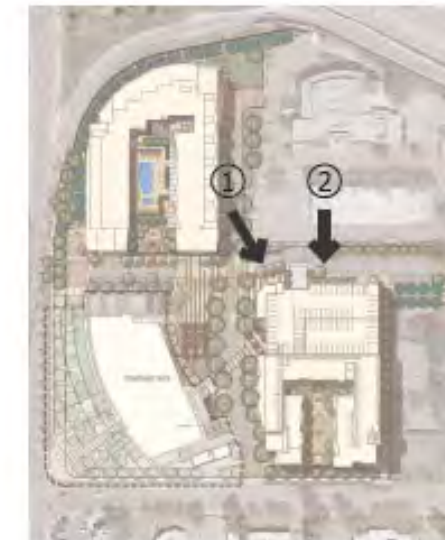
A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A1-9	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
D3	Panel Facade - Perforated
D4	Panel Facade - Corrugated / Perforated

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW LOOKING AT NORTH EAST GARAGE

N.T.S.



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Job No. 16021
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A322



2 WEST ELEVATION

SCALE: 1" = 20' - 0"

(A1-1)	Stucco Finish - White
(A1-2)	Stucco Finish - Grey
(A1-3)	Stucco Finish - Light Grey
(A1-4)	Stucco Finish - Dark Grey
(A1-5)	Stucco Finish - Amber
(A1-6)	Stucco Finish - Beige
(A1-7)	Stucco Finish - Grey
(A1-8)	Stucco Finish - Khaki
(A1-9)	Sliding - Brown
(A2-1)	Sliding - Yellow
(A2-2)	Sliding - Medium Grey
(A2-3)	Sliding - Light Brown
(A3-1)	Tiles - Brown
(A3-2)	Tiles - Beige
(A3-3)	Tiles - Grey
(A4-1)	Metal Panel - Grey
(A4-2)	Metal Panel - Light Grey
(A4-3)	Metal Panel - Orange
(B1)	Vinyl Window
(B2)	Storefront Window
(C1)	Balcony - Metal Open Rail
(C2)	Balcony - Perforated Metal Panel
(C3)	Balcony - Glass Panel
(D1)	Sun Shade - Metal Square Awning
(D2)	Sun Shade - Metal Tapered Awning
(D3)	Panel Facade - Perforated
(D4)	Panel Facade - Corrugated / Perforated

(SEE MATERIAL BOARD FOR DETAILS)



1 VIEW FROM TERRA BELLA AVE. LOOKING AT SOUTH WEST CORNER

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A323



VIEW 1: Perspective View on N Shoreline BLVD looking from North to South



VIEW 2: Perspective View on N Shoreline BLVD looking from South to North



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VIEW 3: Perspective View Looking from Parking Garage to Southwest



VIEW 4: Perspective View on HWY.101 Looking from Northeast to Southeast



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VIEW 5: Condo's Perspective View on Terra Bella Ave Looking at Southwestern Corner



VIEW 6: Condo's Perspective View on Terra Bella Ave Looking at Southeastern Corner



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A332



VIEW 7: Office Garage's Perspective View at Northwestern Corner



VIEW 8: Condo and Garage's Perspective View Looking at Eastern Elevation



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VIEW 10: Block "A" Apartment's Perspective View



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VIEW 9: Block "B" Condo's Perspective View



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A335



COURTYARD ELEVATION 2-2

2

N.T.S.

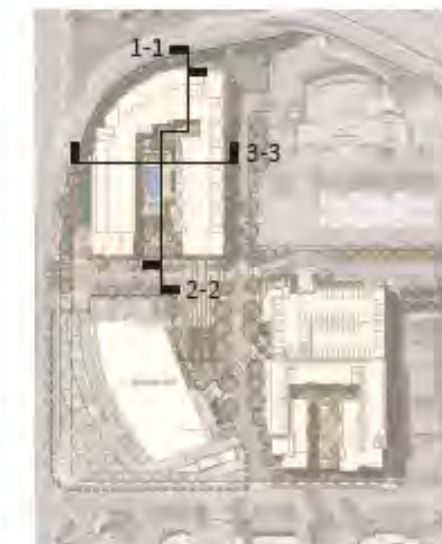


COURTYARD ELEVATION 1-1

1

N.T.S.

A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
D3	Panel Facade - Perforated
D4	Panel Facade - Corrugated / Perforated



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BLOCK A

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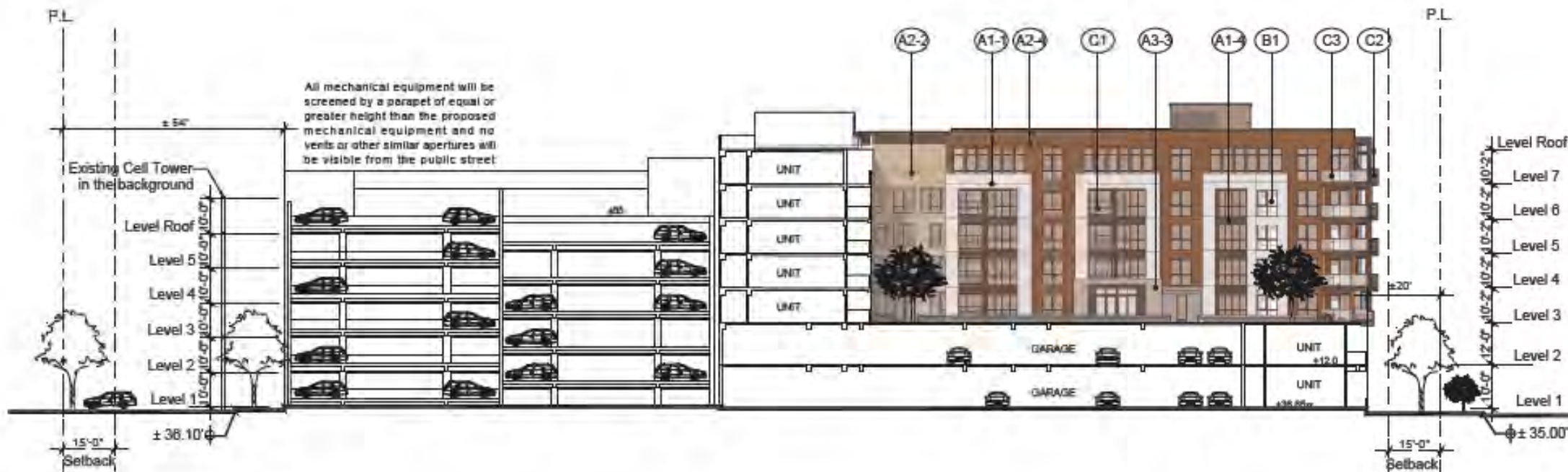
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COURTYARD ELEVATION 2-2

2

N.T.S.

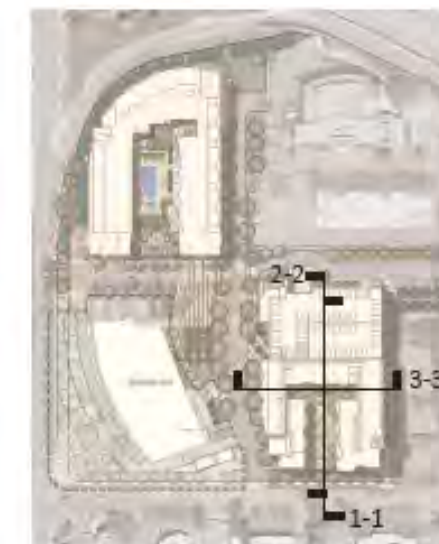


COURTYARD ELEVATION 1-1

1

N.T.S.

A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
O3	Panel Facade - Perforated
O4	Panel Facade - Corrugated / Perforated



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A420



A1-1	Stucco Finish - White
A1-2	Stucco Finish - Grey
A1-3	Stucco Finish - Light Grey
A1-4	Stucco Finish - Dark Grey
A1-5	Stucco Finish - Amber
A1-6	Stucco Finish - Beige
A1-7	Stucco Finish - Grey
A1-8	Stucco Finish - Khaki
A2-1	Siding - Brown
A2-2	Siding - Yellow
A2-3	Siding - Medium Grey
A2-4	Siding - Light Brown
A3-1	Tiles - Brown
A3-2	Tiles - Beige
A3-3	Tiles - Grey
A4-1	Metal Panel - Grey
A4-2	Metal Panel - Light Grey
A4-3	Metal Panel - Orange
B1	Vinyl Window
B2	Storefront Window
C1	Balcony - Metal Open Rail
C2	Balcony - Perforated Metal Panel
C3	Balcony - Glass Panel
D1	Sun Shade - Metal Square Awning
D2	Sun Shade - Metal Tapered Awning
D3	Panel Facade - Perforated
D4	Panel Facade - Corrugated / Perforated

1 COURTYARD ELEVATION 3-3
N.T.S.



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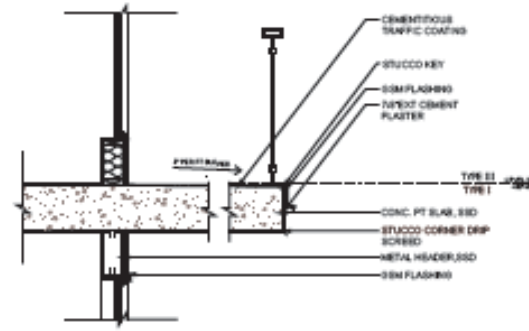
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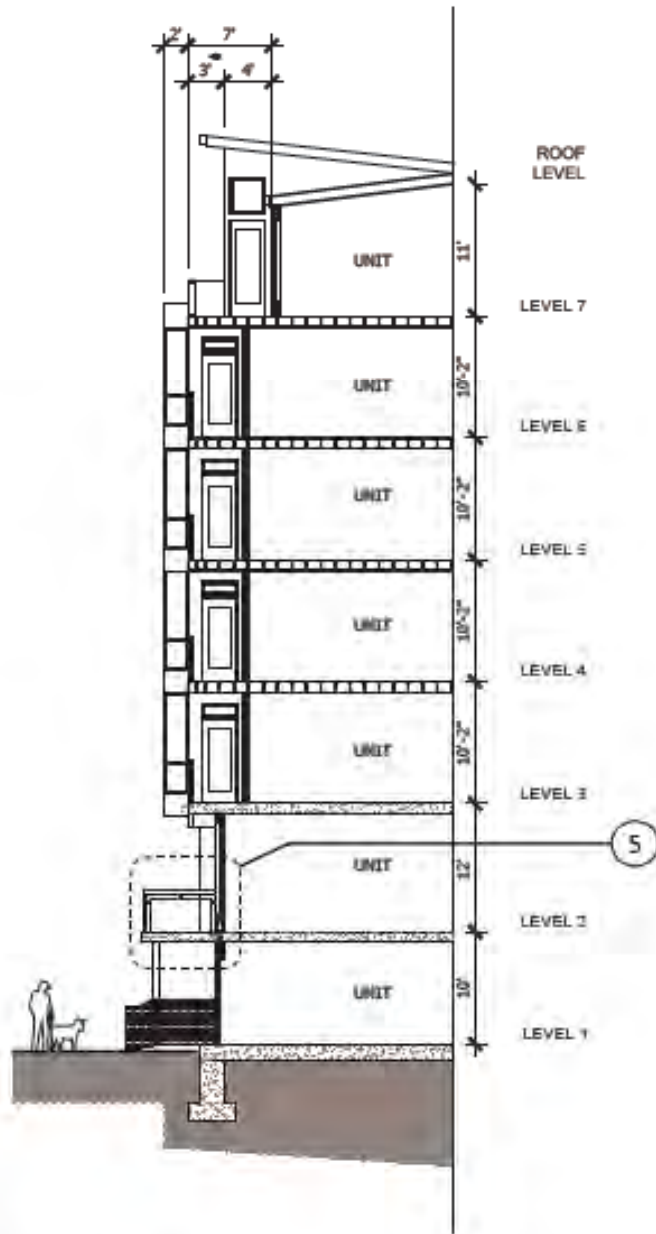
KEY PLAN



CONCRETE SLAB BALCONY DETAIL

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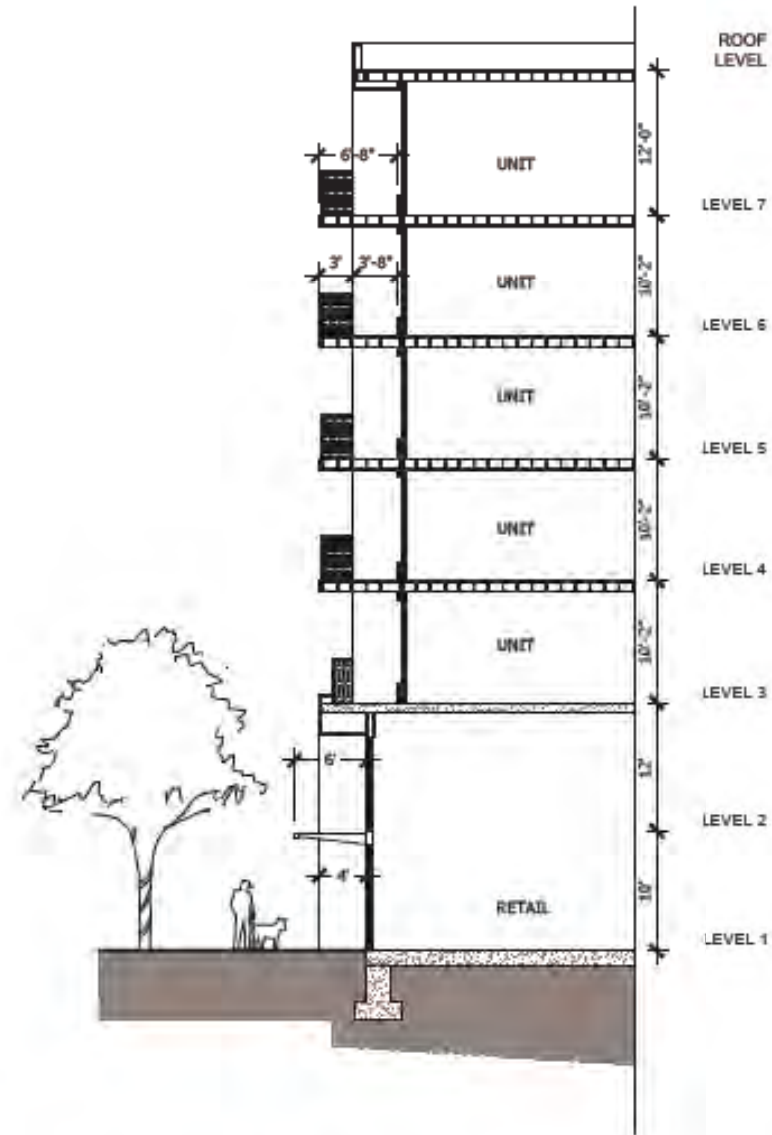
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TYPICAL WALL SECTION

4

SCALE: 1/8" = 1'-0"



TYPICAL WALL SECTION

3

SCALE: 1/8" = 1'-0"



BLOCK "A" APARTMENT - GROUND LEVEL

2

N.T.S.



BLOCK "A" APARTMENT

1

N.T.S.



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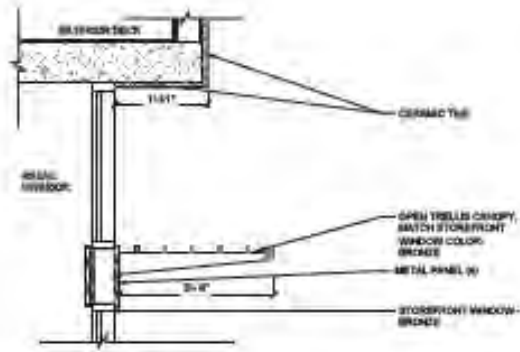
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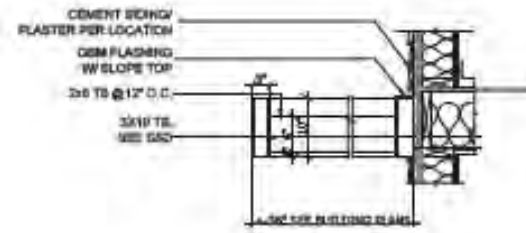
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Sheet No:

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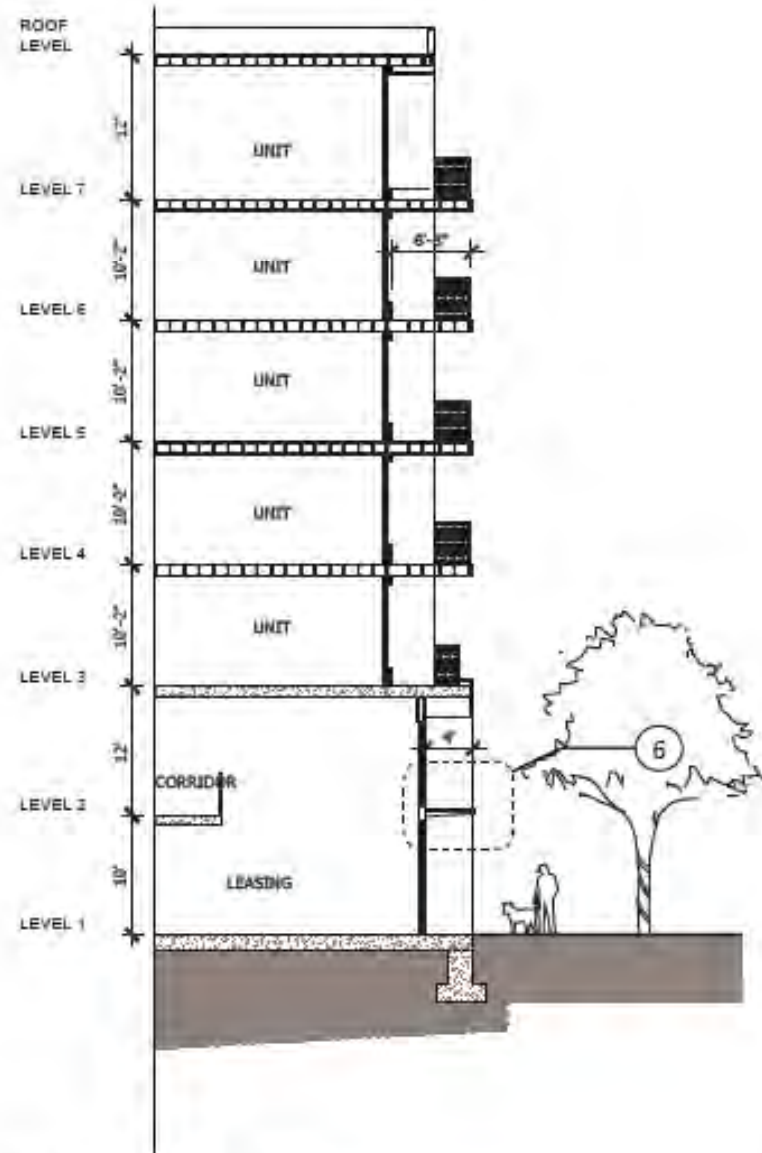
6 STOREFRONT AWNING DETAIL
SCALE: 1/2" = 1'-0"



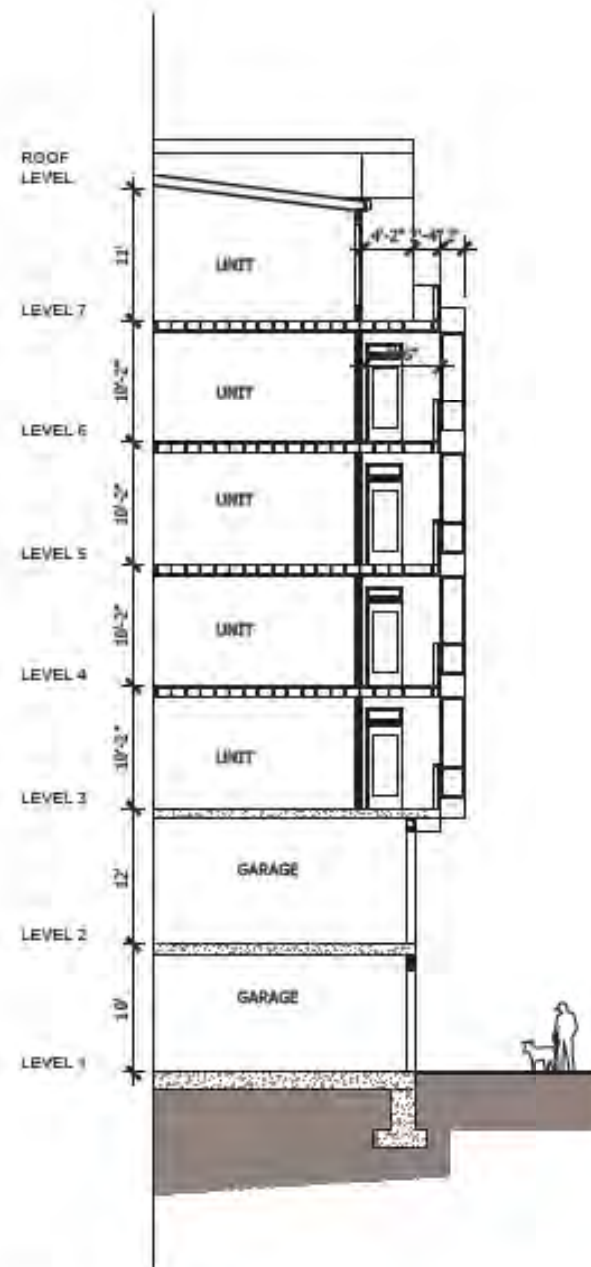
5 TYPICAL WINDOW AWNING DETAILS
SCALE: 3/4" = 1'-0"



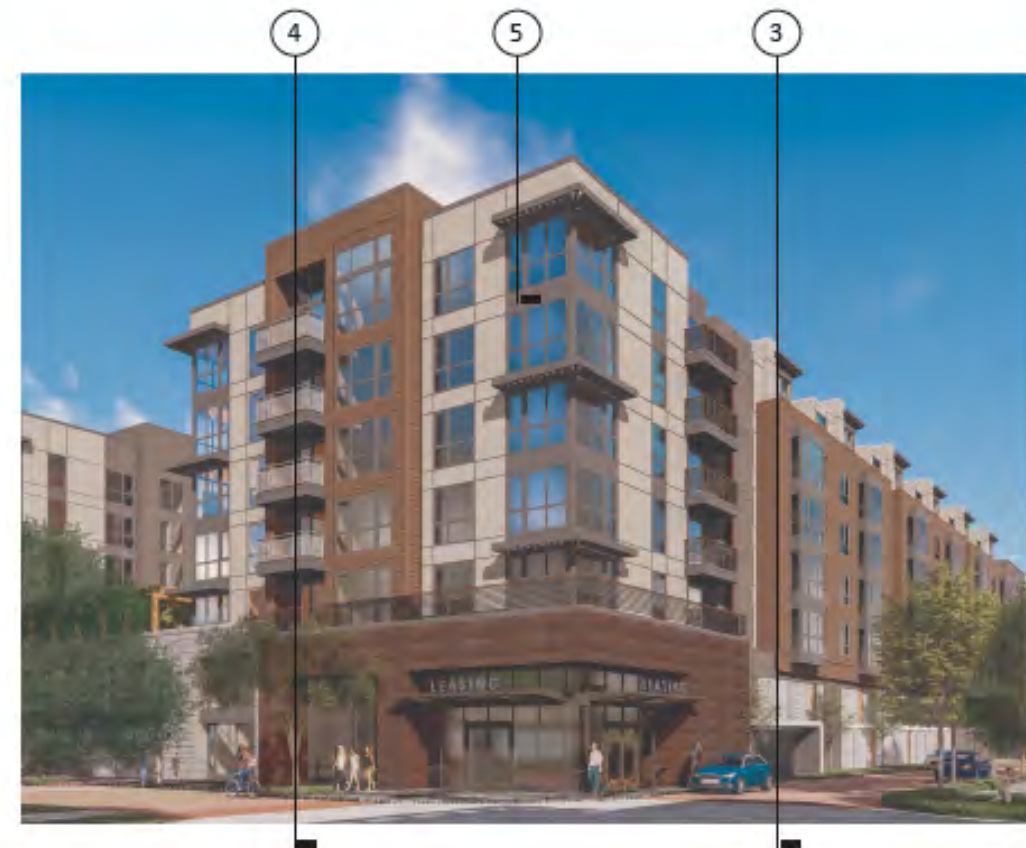
2 LEASING OFFICE
N.T.S.



4 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



3 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



1 BLOCK "A" APARTMENT
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DETAILS
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Job No. 16021
Date: 03/09/2020
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Sheet No:

A432



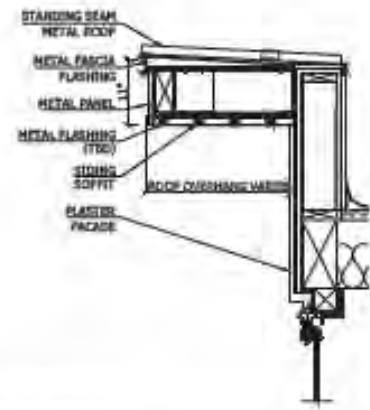
2 BLOCK "A" APARTMENT - GROUND LEVEL

N.T.S.



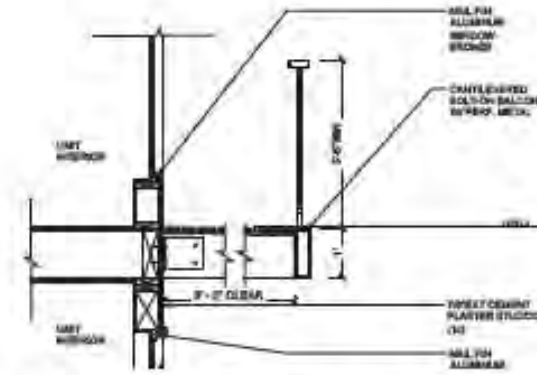
1 BLOCK "A" APARTMENT

N.T.S.



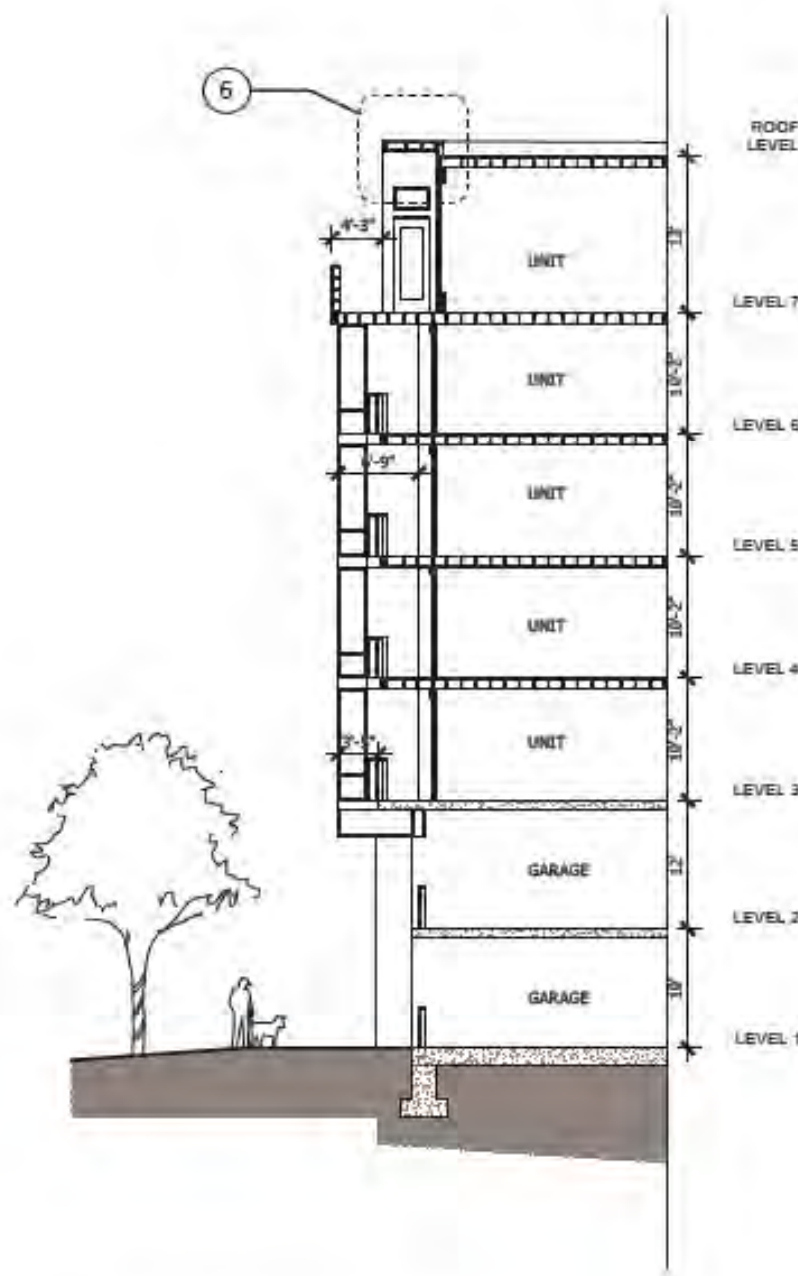
6 EAVES DETAILS

SCALE: 3/4" = 1'-0"



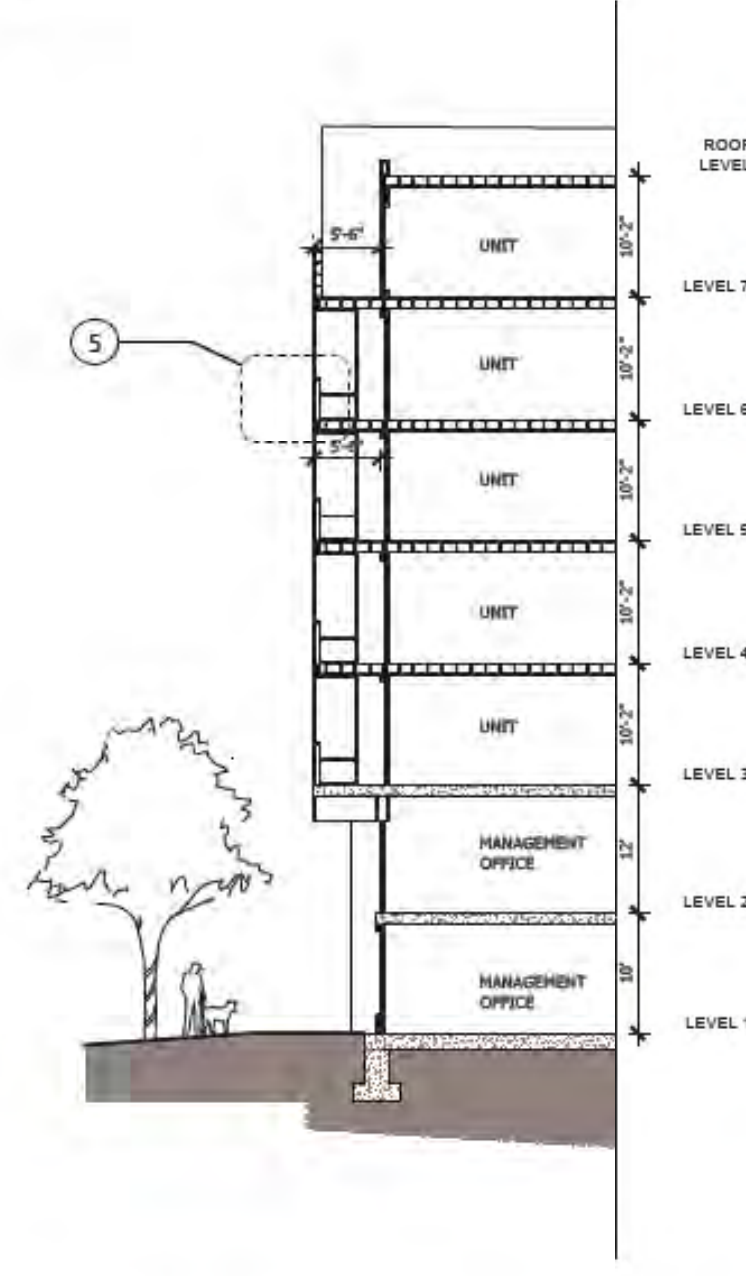
5 PERFORATED METAL PANEL BALCONY DETAIL

SCALE: 1/2" = 1'-0"



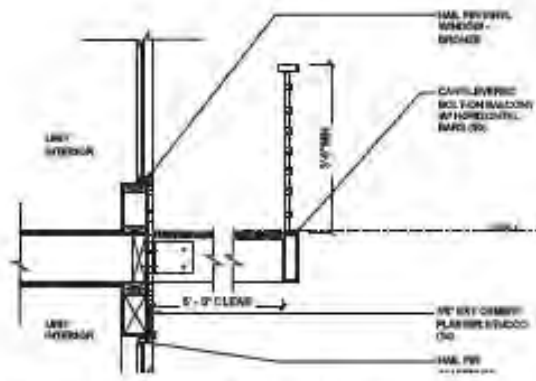
4 TYPICAL WALL SECTION

SCALE: 1/8" = 1'-0"



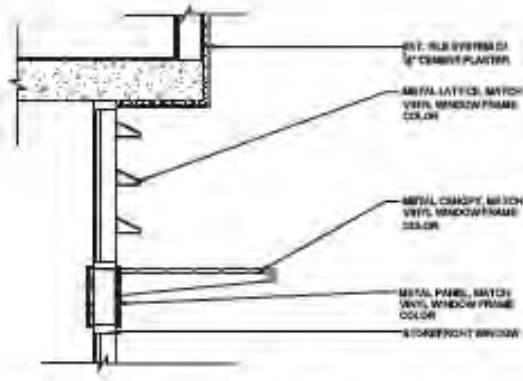
3 TYPICAL WALL SECTION

SCALE: 1/8" = 1'-0"



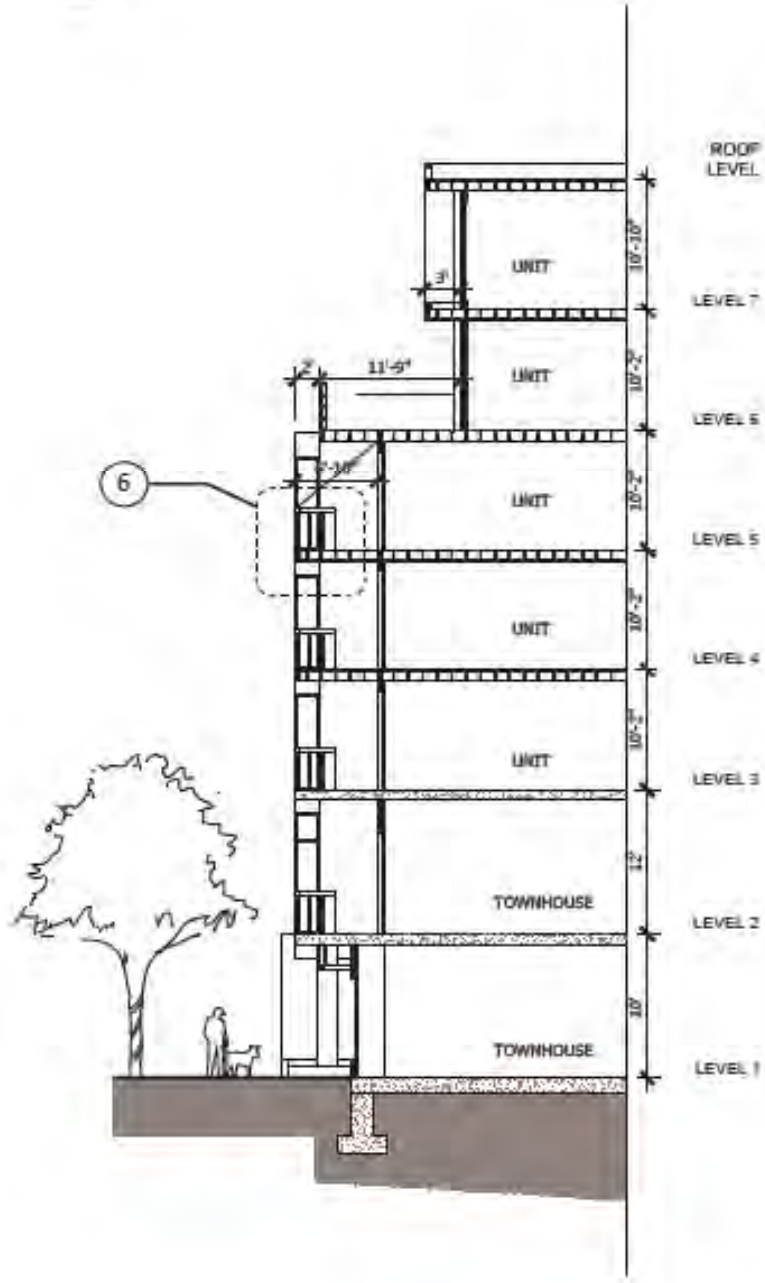
6 METAL OPEN RAIL BALCONY DETAIL

SCALE: 1/2" = 1'-0"



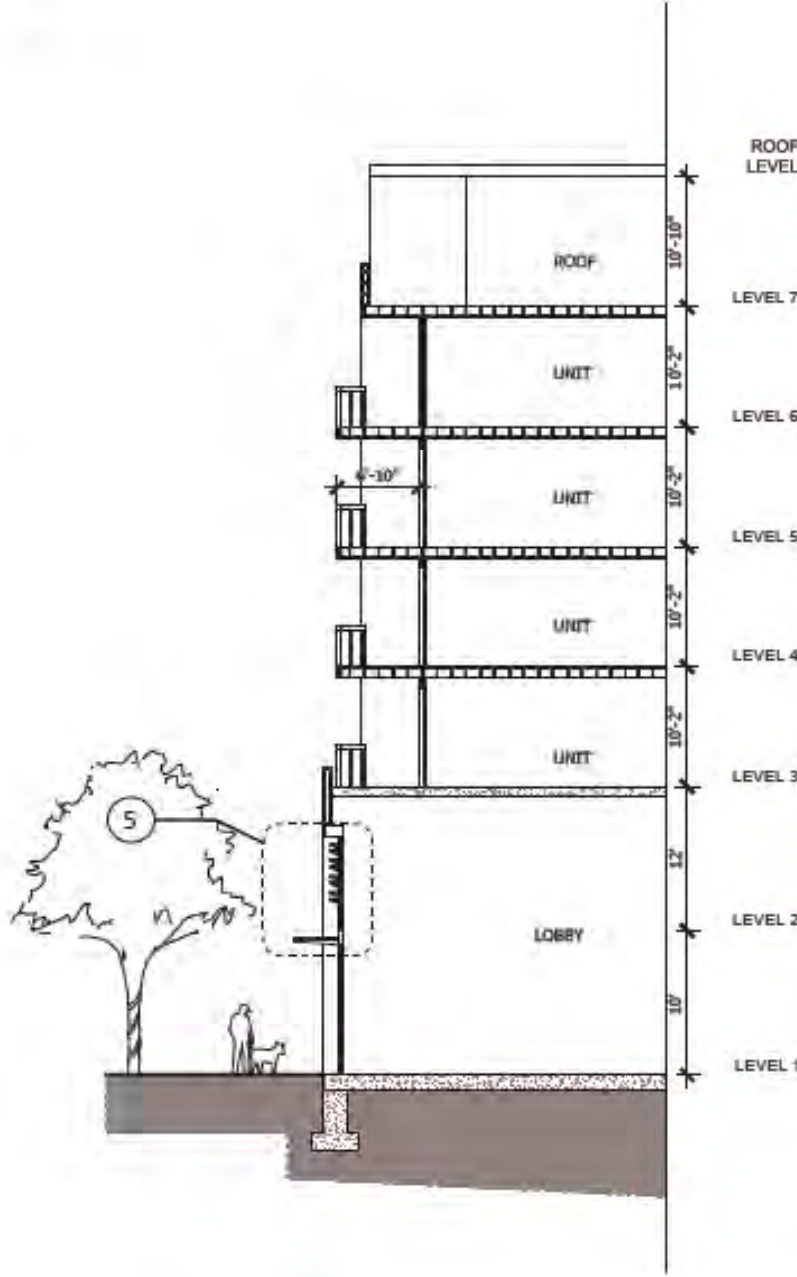
5 STOREFRONT AWNING W/ LATTICE DETAIL

SCALE: 1/2" = 1'-0"



4 TYPICAL WALL SECTION

SCALE: 1/8" = 1'-0"



3 TYPICAL WALL SECTION

SCALE: 1/8" = 1'-0"



2 BLOCK "B" CONDOMINIUM - GROUND LEVEL



1 BLOCK "B" CONDOMINIUM

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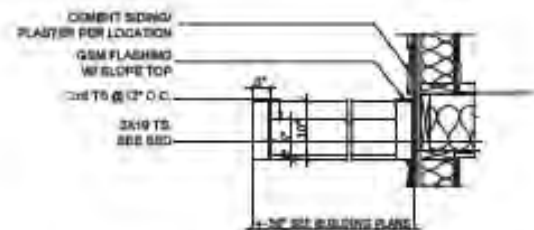
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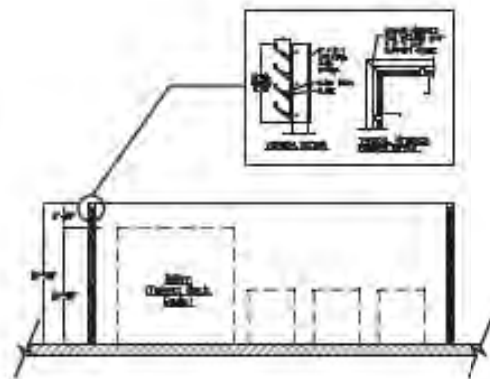
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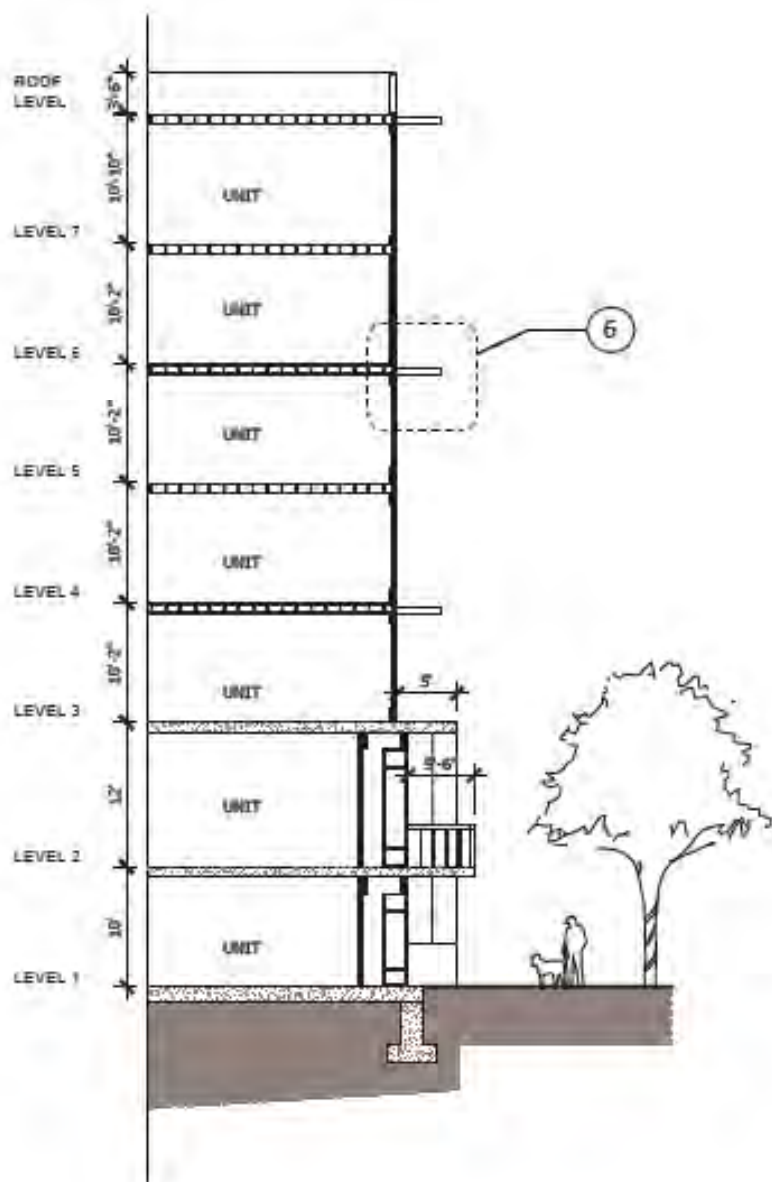
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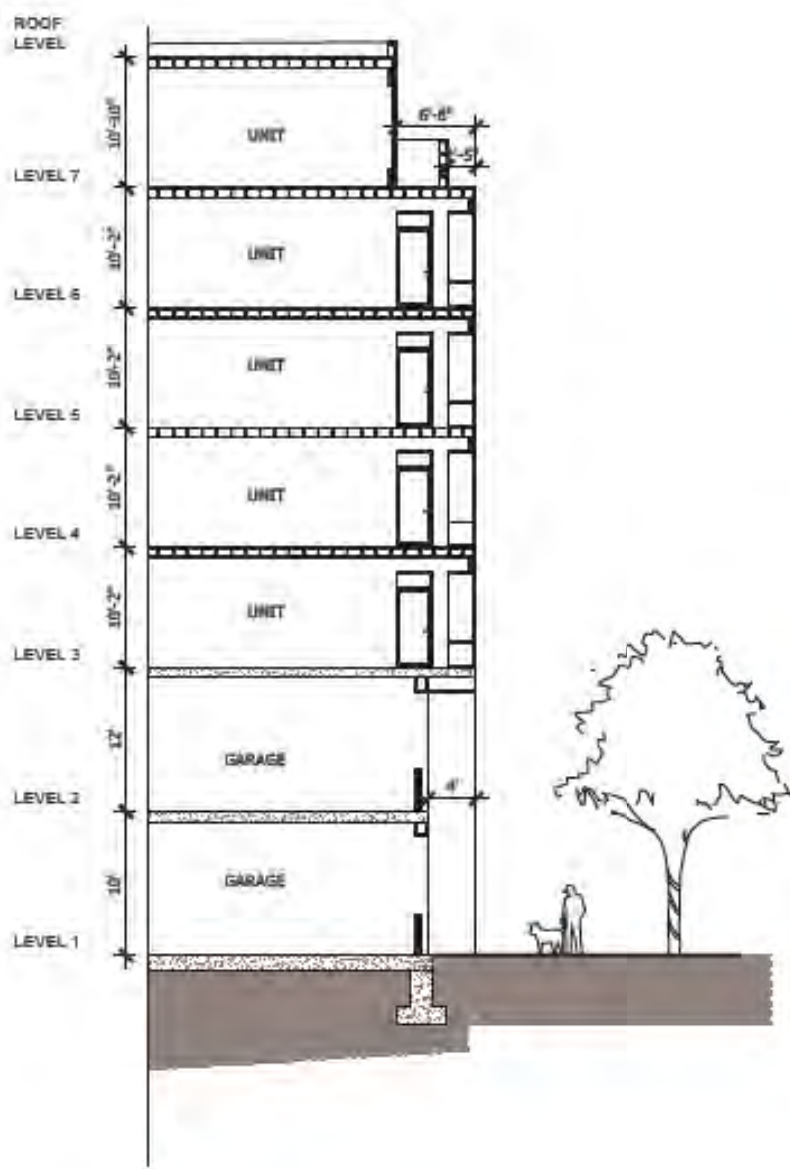
6 TYPICAL WINDOW AWNING DETAILS
SCALE: 3/4" = 1'-0"



5 TYPICAL MECHANICAL SCREEN DETAIL
* ALL MECHANICAL EQUIPMENT WILL BE SCREENED BY A PARAPET OF EQUAL OR GREATER HEIGHT THAN THE PROPOSED MECHANICAL EQUIPMENT AND NO VENTS OR OTHER SIMILAR APERTURES WILL BE VISIBLE FROM THE PUBLIC STREET



4 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



3 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



2 BLOCK "B" CONDOMINIUM - GROUND LEVEL
N.T.S.



1 BLOCK "B" CONDOMINIUM
N.T.S.



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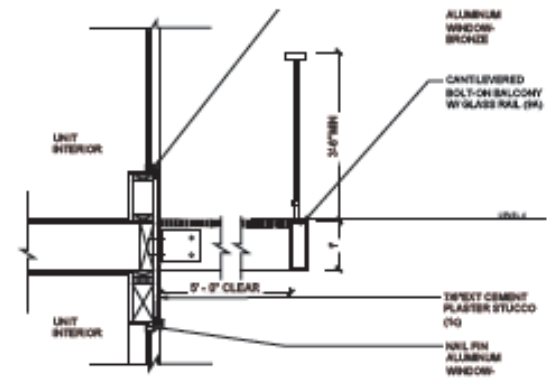
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A434



GLASS PANEL BALCONY DETAIL

5

SCALE: 1/2" = 1'-0"



BLOCK "B" CONDO - COURTYARD VIEW

2

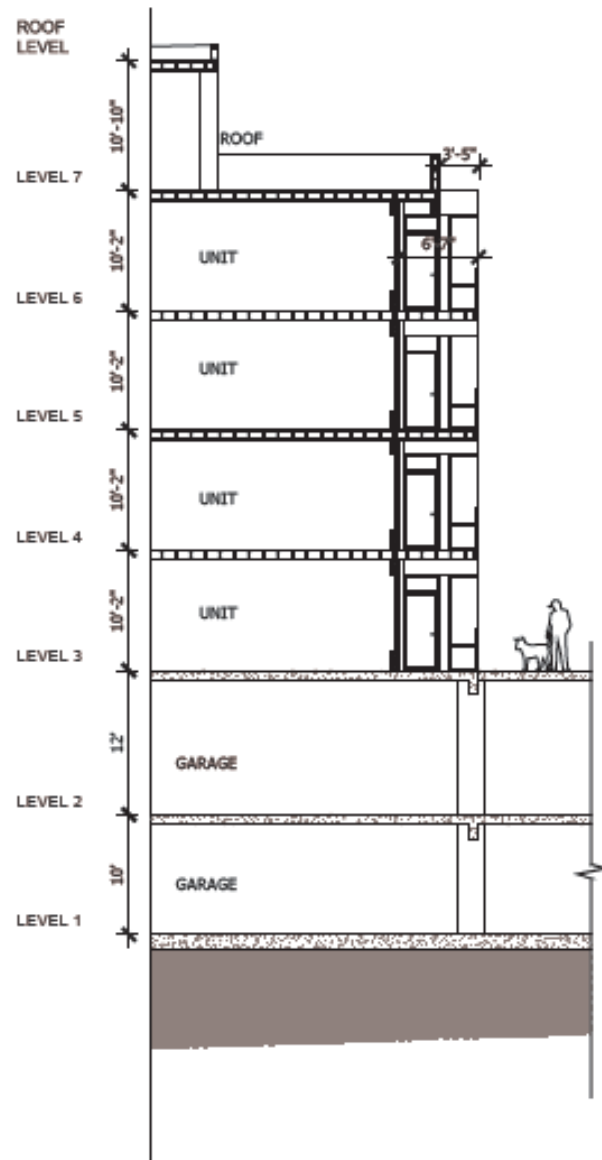
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BLOCK "B" CONDO - COURTYARD VIEW

1

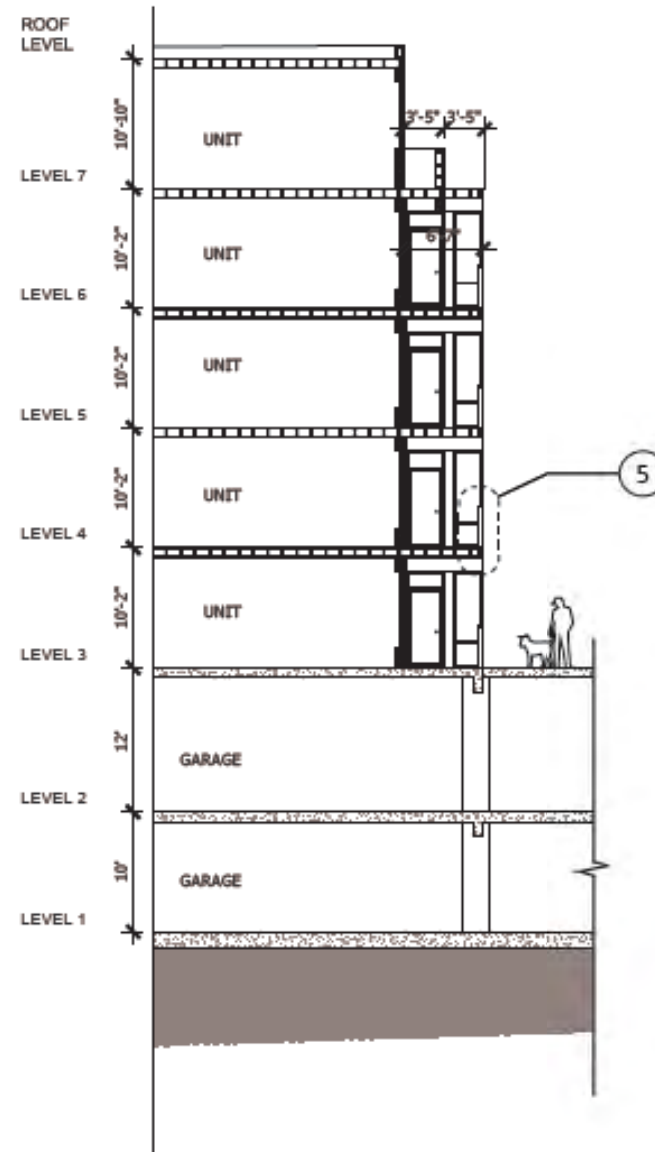
N.T.S.



TYPICAL WALL SECTION

4

SCALE: 1/8" = 1'-0"



TYPICAL WALL SECTION

3

SCALE: 1/8" = 1'-0"



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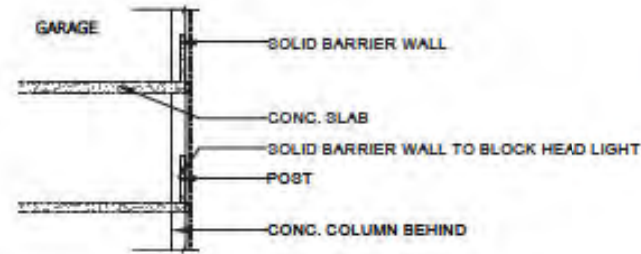
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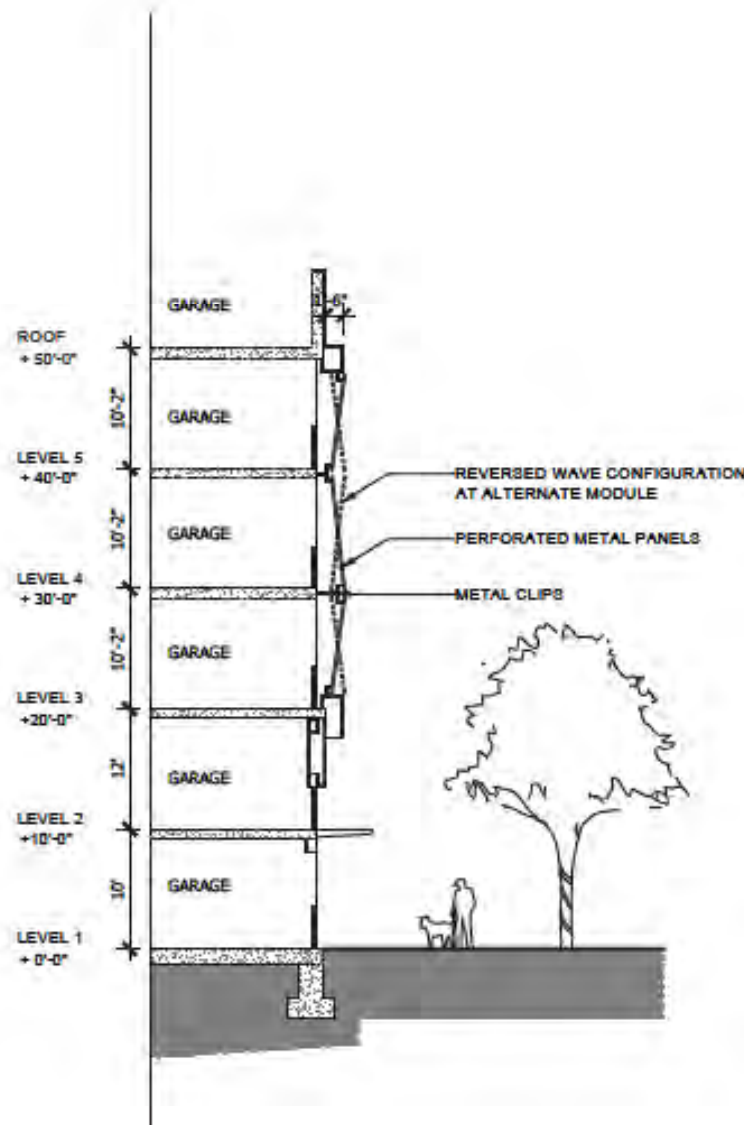
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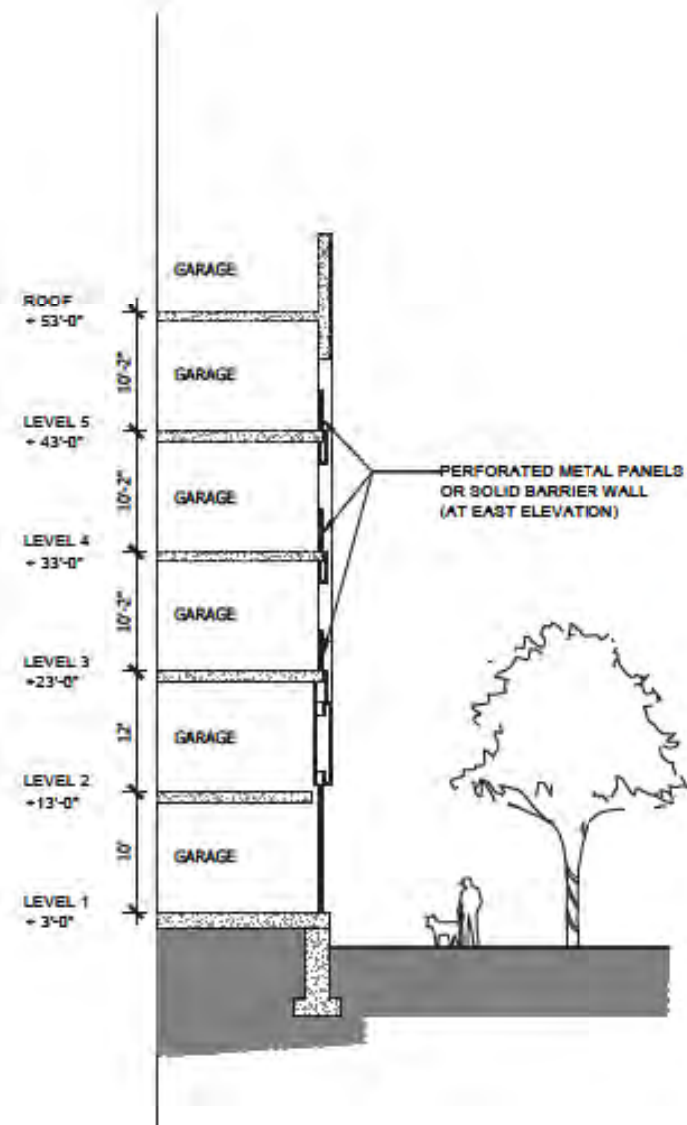
A435



5 GARAGE FACADE SECTION AT EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WALL SECTION WITH PERFORATED PANELS
SCALE: 1/8" = 1'-0"



3 TYPICAL WALL SECTION
SCALE: 1/8" = 1'-0"



2 GARAGE
N.T.S.



1 GARAGE
N.T.S.



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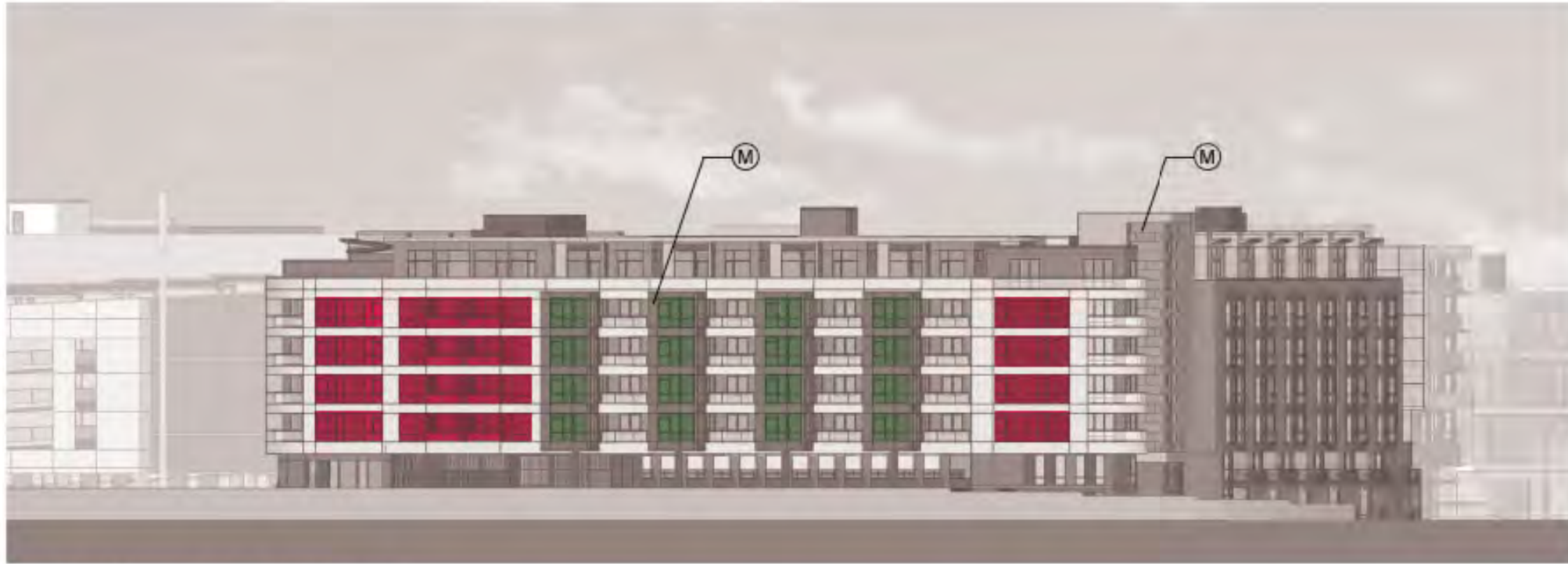
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Sheet Title:
SCHEMATIC
DETAILS
- GARAGE

Job No. 16021
Date: 03/09/2020
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A436



2 BLOCK A APARTMENT - NORTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK A APARTMENT - WEST ELEVATION
1" = 20' - 0"



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Sheet Title:
RECESSED
WINDOW
DIAGRAM

Job No. 16021
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A437



2 BLOCK A APARTMENT - SOUTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK A APARTMENT - EAST ELEVATION
1" = 20' - 0"



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DIAGRAM**

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2 BLOCK B CONDOMINIUM - NORTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK B CONDOMINIUM - WEST ELEVATION
1" = 20' - 0"



KEY PLAN



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The Residences
@ Shoreline Gateway

Mountain View, California

Sheet Title:
**RECESSED
WINDOW
DIAGRAM**

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

A439



2 BLOCK B CONDOMINIUM - SOUTH ELEVATION
1" = 20' - 0"

LEGEND

- WINDOWS ON SIDING - DEFAULT
- WINDOW FLUSH WITH STUCCO - DEFAULT
- WINDOW 2" RECESS ON STUCCO
- WINDOW 6" RECESS ON STUCCO
- WINDOW ON METAL PANEL
- STOREFRONT WINDOWS
- M METAL PANEL



1 BLOCK B CONDOMINIUM - EAST ELEVATION
1" = 20' - 0"



KEY PLAN



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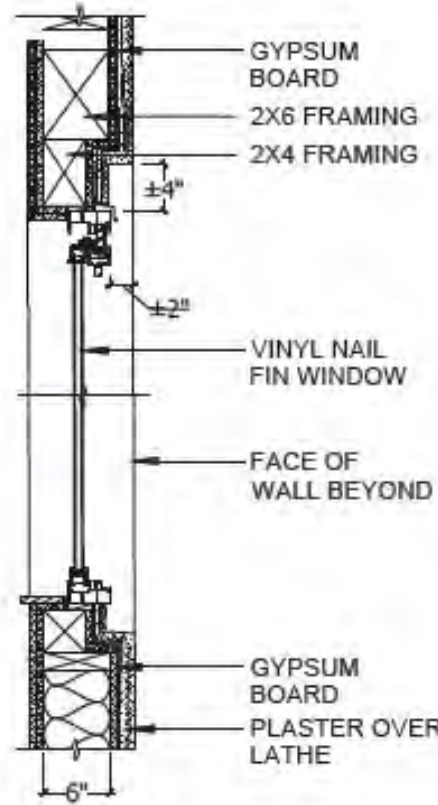
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DIAGRAM**

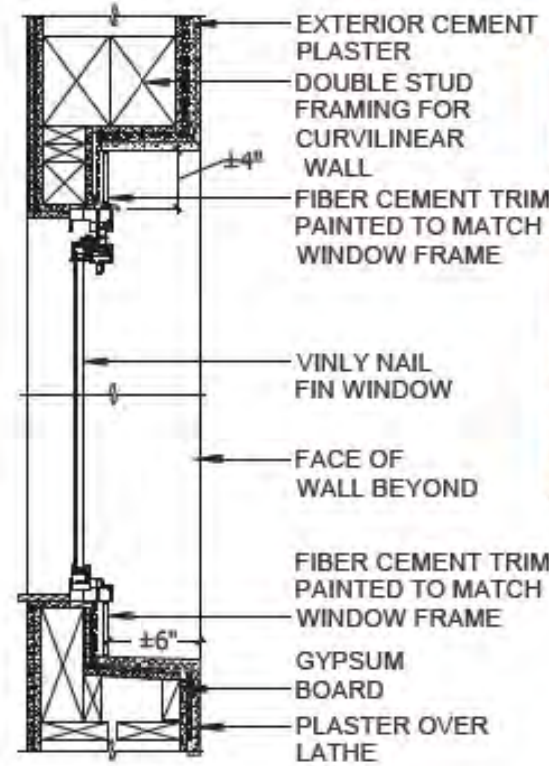
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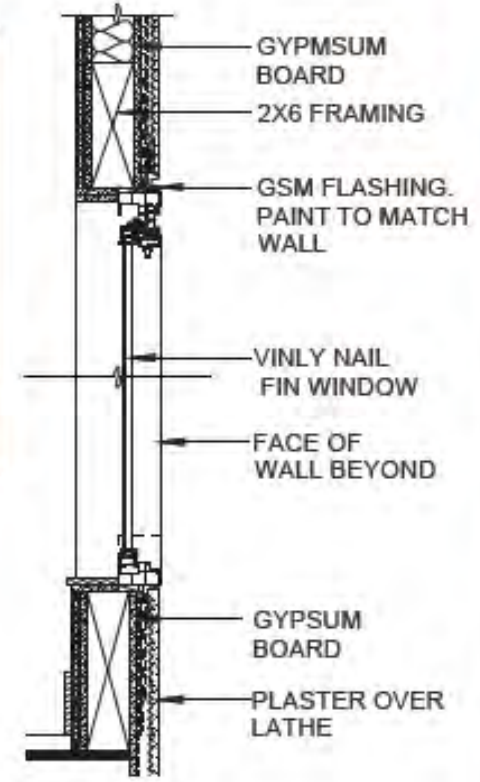
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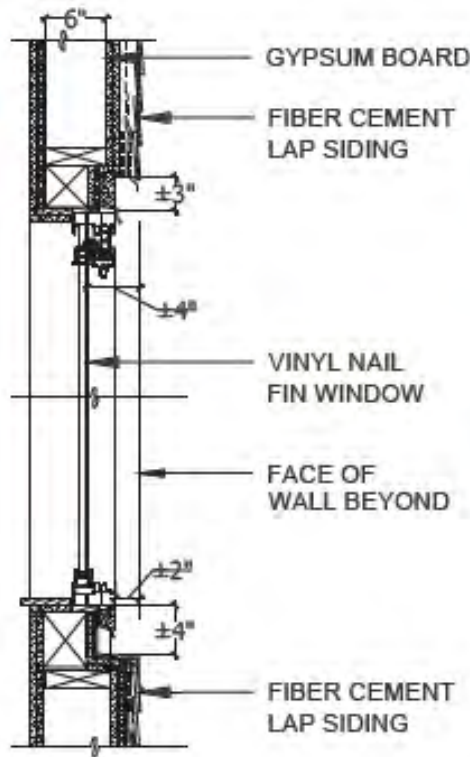
6 2" RECESS WINDOW DETAIL AT STUCCO WALLS
SCALE: 1 1/2" = 1'-0"



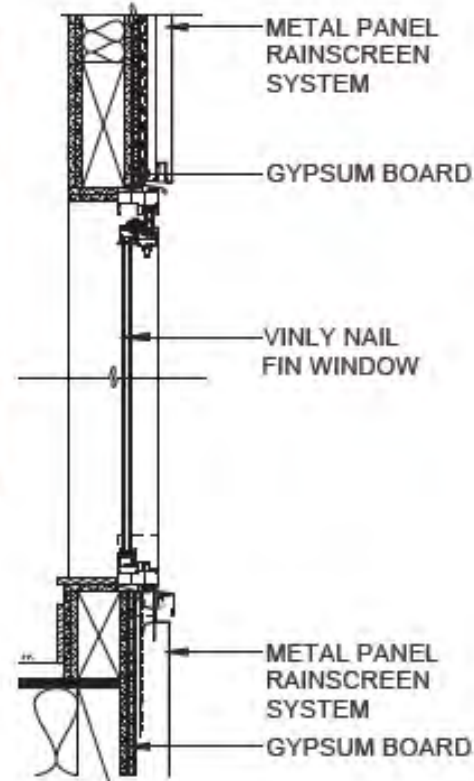
4 6" RECESS WINDOW DETAIL AT STUCCO WALLS
SCALE: 1 1/2" = 1'-0"



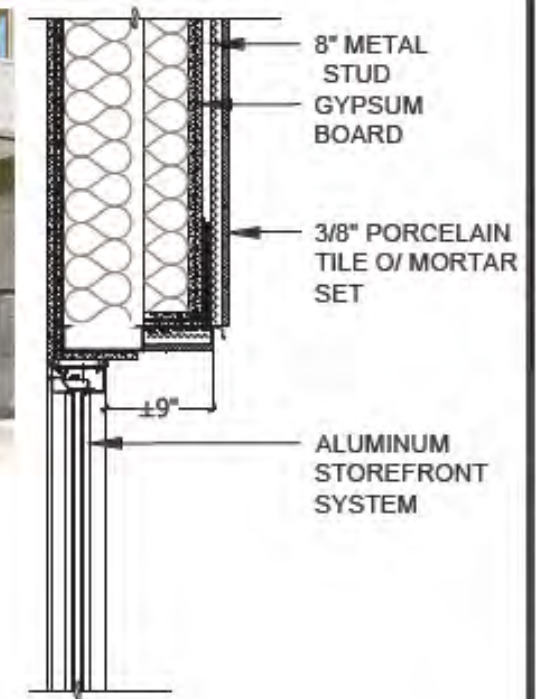
2 WINDOW DETAIL ON FLUSH STUCCO WALLS
SCALE: 1 1/2" = 1'-0"



5 WINDOW DETAIL AT FIBER CEMENT SIDING
SCALE: 1 1/2" = 1'-0"



3 WINDOW DETAIL AT METAL PANEL WALLS
SCALE: 1 1/2" = 1'-0"



1 WINDOW DETAIL ON PORCELAIN TILE PANEL
SCALE: 1 1/2" = 1'-0"



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Sheet Title:
WINDOW
DETAILS

Job No. 16021
Date: 03/09/2020
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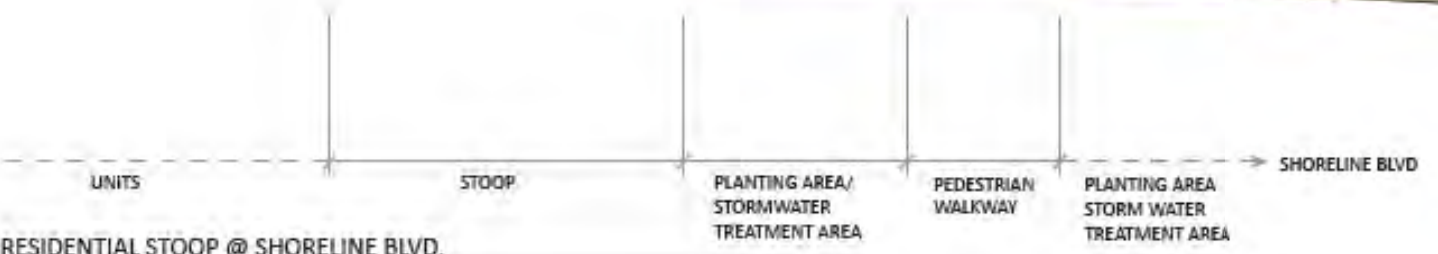
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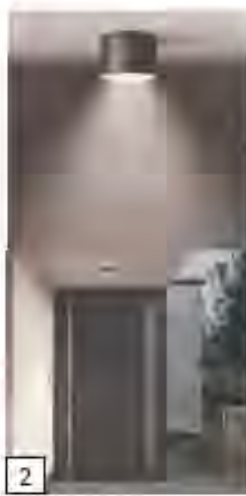
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- FIBER CEMENT SIDING
- METAL RAILING W/ WOOD HANDRAIL
- WOOD COLOR FASCIA SIDING
- CEILING MOUNTED DOWN LIGHT
- VINYL WINDOW
- COMPOSITE WOOD LOUVER FENCE/SCREEN
- UNIT NUMBER
- EXTERIOR PLASTER
- EXTERIOR PLASTER



3 GROUND LEVEL RESIDENTIAL STOOP @ SHORELINE BLVD.
N.T.S.



1. ARCHITECTURAL WALL SCONCE @ RESIDENTIAL ENTRANCES
BEGA 33 - GRAPHITE - 3000K OR SIMILAR

Protection class: IP 65
Cast aluminium and stainless steel
Crystal glass, inside white
33 334 DALI controllable

Lamp	Beam	A	B	C	AC/DC	
33 334K3 LED	4.9W	255lm on/off	250	115	135	
33 334K3 LED	14.2W	895lm DALI controllable	350	140	185	✓

2. SURFACE MOUNTED DOWNLIGHT @ PATIO SOFFIT
BEGA 66 - GRAPHITE - 3000K OR SIMILAR

Surface mounted ceiling luminaires with die-cast aluminum housing. Clear tempered glass and anodized aluminum reflector.
LED color temperature available in 2700K, 3000K, 3500K, or 4000K. See individual specification sheet to specify.
NRTL listed to North American Standards.
Protection class: IP65
Finish: Standard BEGA colors.

Lamp	β	A	B	C
66 973	4.9W LED 24V DC	89°	3 3/4"	3 1/2"
66 975	3.0W LED	89°	3 3/4"	3 1/2"
66 977	4.9W LED	90°	5"	4 3/8"

2 BUILDING LIGHTING CONCEPT & FIXTURE SCHEDULE
N.T.S.



1 STOOP ELEVATION PERSPECTIVE @ SHORELINE BLVD.
N.T.S.

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Mountain View, California

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**EXTERIOR
DETAILS**

Job No. 16021
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3 GROUND LEVEL RESIDENTIAL STOOP @ TERRA BELLA AVE.
N.T.S.



1. ARCHITECTURAL WALL SCONCE @ RESIDENTIAL ENTRANCES
DELTA LIGHT MONTUR L PC LED - BLACK - 3000K OR SIMILAR

Location	INTERIOR-EXTERIOR
Fixation	Wall Surface-mounted
Information	INCL.PC SBL INCL.LED CLUSTER 14.7W / CRI>80 / 3000K / 2300lm INCL.LED POWER SUPPLY 700mA-DC
CRI	CRI 80
Colour temp	Warm White (+3000K)
LED Technics (light source)	1960 lm // 14 W // 133 lm/W
LED Technics (luminaire)	950 lm // 17 W // 56 lm/W
Electrical	220-240V / 0 50-60Hz
Class	Class I
Nett weight	2.6 Kg

2. SURFACE MOUNTED DOWNLIGHT @ PATIO SOFFIT
BEGA 66 - GRAPHITE - 3000K OR SIMILAR

Surface mounted ceiling luminaires with die-cast aluminum housing. Clear tempered glass and anodized aluminum reflector. LED color temperature available in 2700K, 3000K, 3500K, or 4000K. See individual specification sheet to specify. NRTL listed to North American Standards. Protection class: IP65. Finish: Standard BEGA colors.

Lamp	β	A	B	C
66 973	4.9W LED 24V DC	89°	3 3/4"	3 1/2"
66 975	3.0W LED	89°	3 3/4"	3 1/2"
66 977	4.9W LED	90°	5"	4 3/8"

2 BUILDING LIGHTING CONCEPT & FIXTURE SCHEDULE
N.T.S.



1 GROUND LEVEL RESIDENTIAL STOOP @ TERRA BELLA AVE.
N.T.S.

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DETAILS**

Job No. 16021
Date: 03/09/2020
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A443



3 PAINTED PERFORATED METAL
N.T.S.



2 CORRUGATED PERFORATED METAL PANEL
N.T.S.



1 BLOCK "B" OFFICE GARAGE - NORTH ELEVATION
N.T.S.



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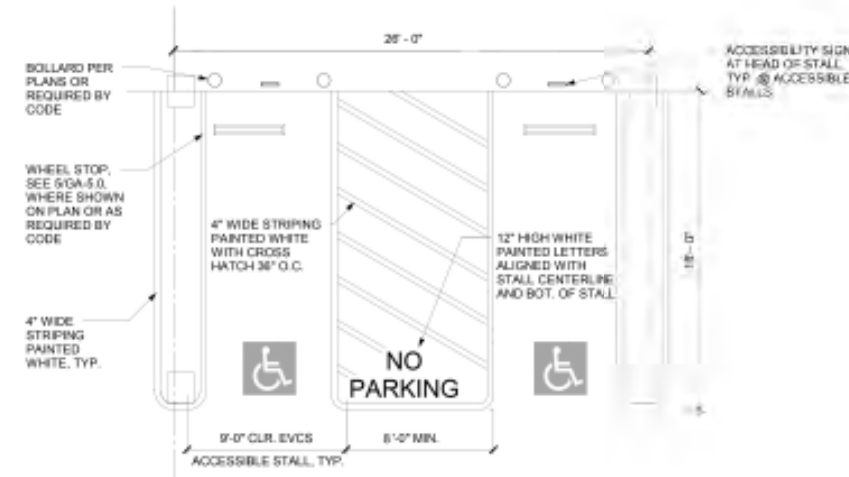
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EXTERIOR
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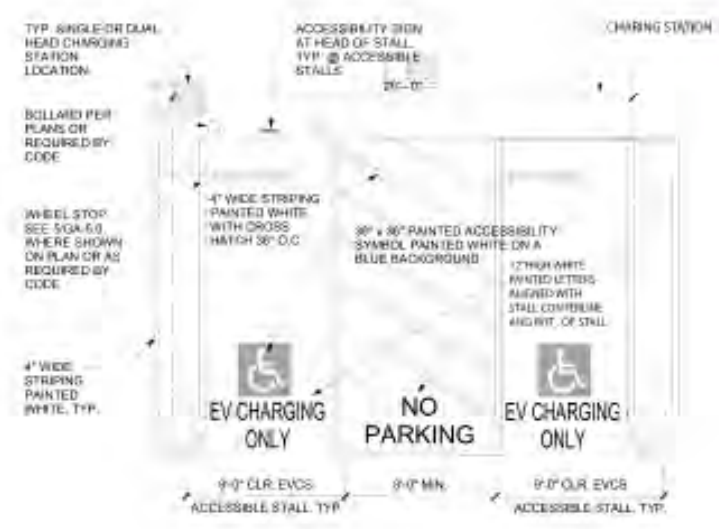
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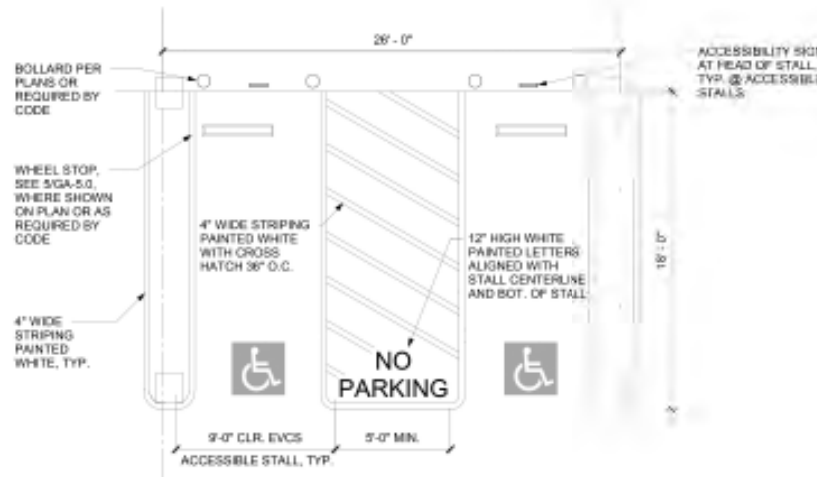
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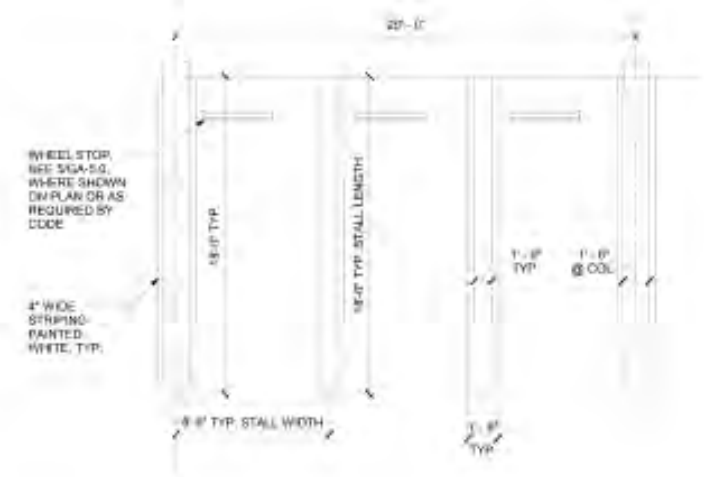
4 STANDARD VAN ACCESSIBLE SPACE
1/4" = 1'-0"



2 VAN ACCESSIBLE EVCS TYPICAL
1/4" = 1'-0"



3 STANDARD ACCESSIBLE DUAL SPACE
1/4" = 1'-0"



1 TYPICAL PARKING BAY
1/4" = 1'-0"



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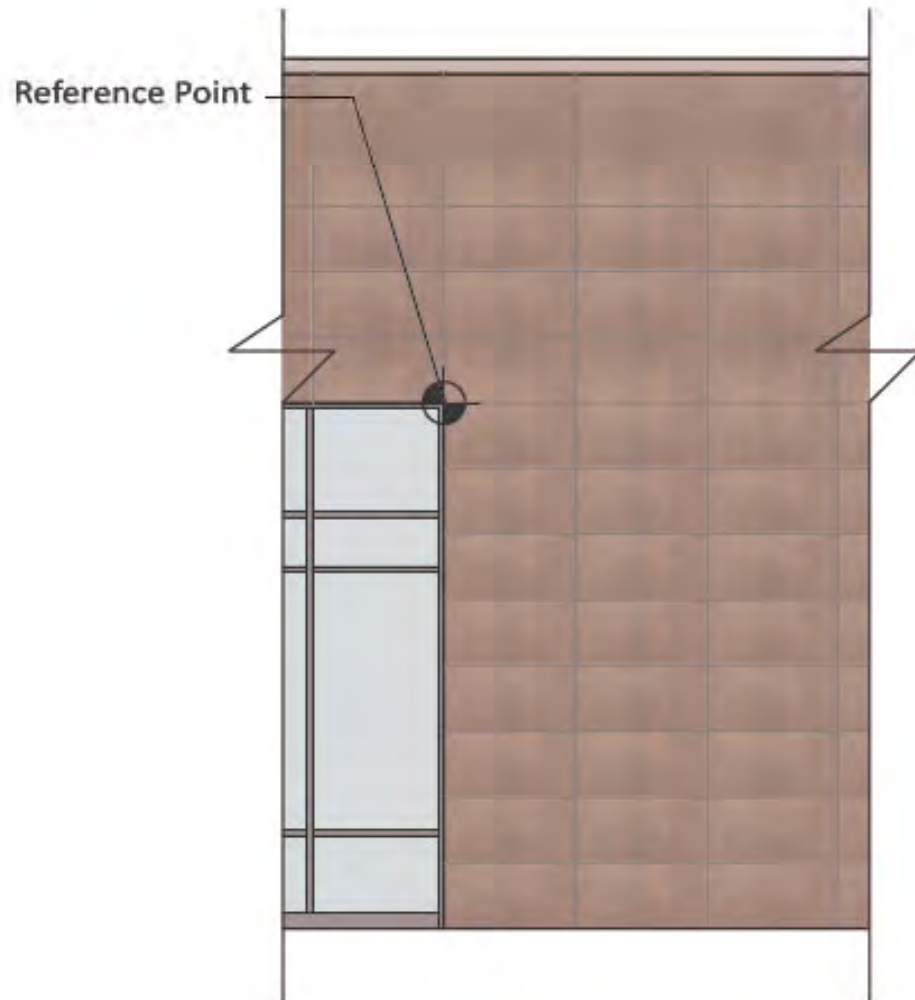
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PARKING DETAILS

Job No. 16021
Date: 03/09/2020
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A445

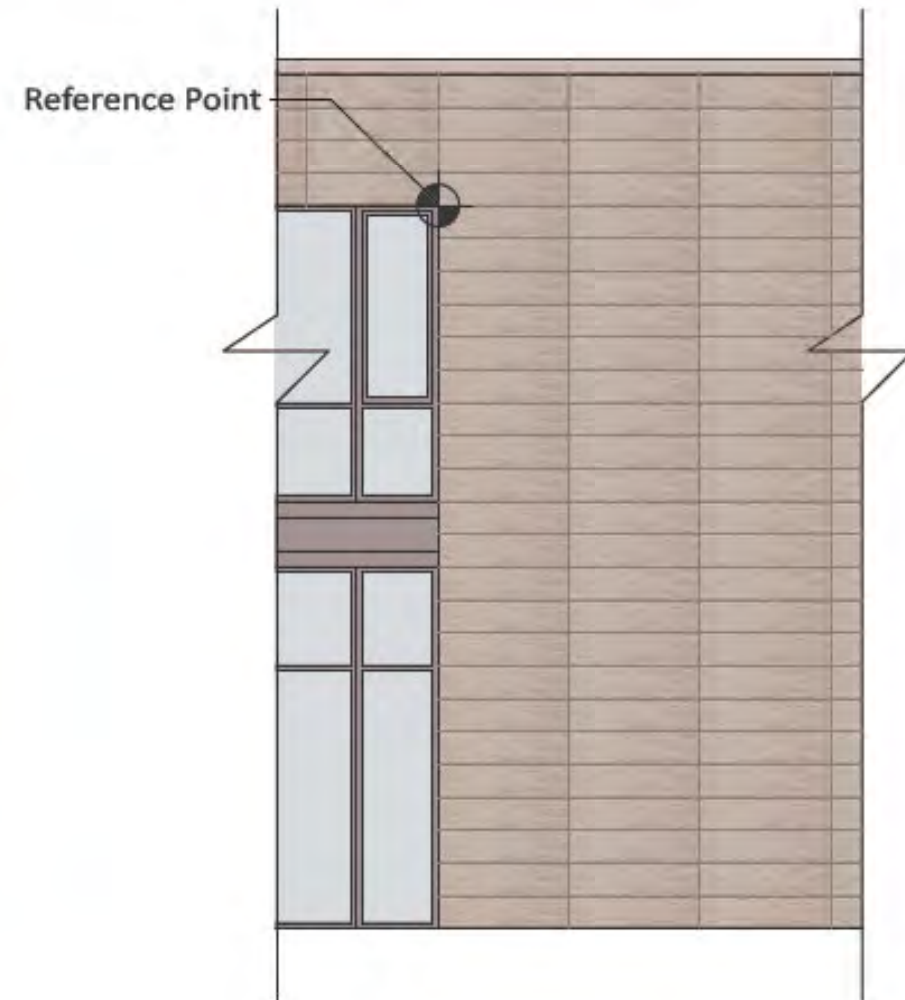
A3-1

Tiles - Brown
SpecCeramics or Neolith
Iron Corten - Satin Finish
Seam + Trim Condition
1200 mm x 600 mm x 6 mm
Stacked bond pattern
1/16" grout of matching color



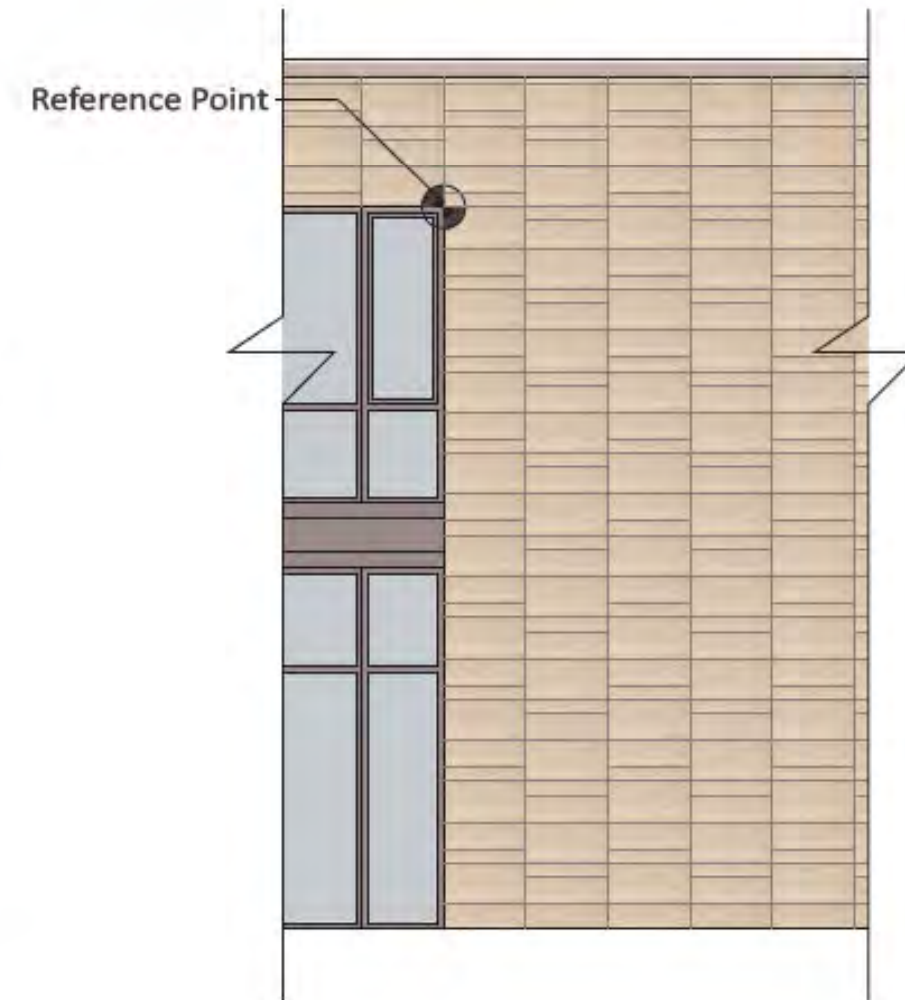
A3-2

Porcelain Tile - Grey
Verse
Cloud - Matte Finish
1200 mm x 300 mm x 9.5 mm
Stacked bond pattern
1/16" grout of matching color



A3-3

Porcelain Tiles - Beige
Verse
Sugar - Matte Finish
750 mm x 375 mm x 9.5 mm,
750 mm x 250 mm x 9.5 mm,
750 mm x 125 mm x 9.5 mm
Running bond pattern
1/16" grout of matching color



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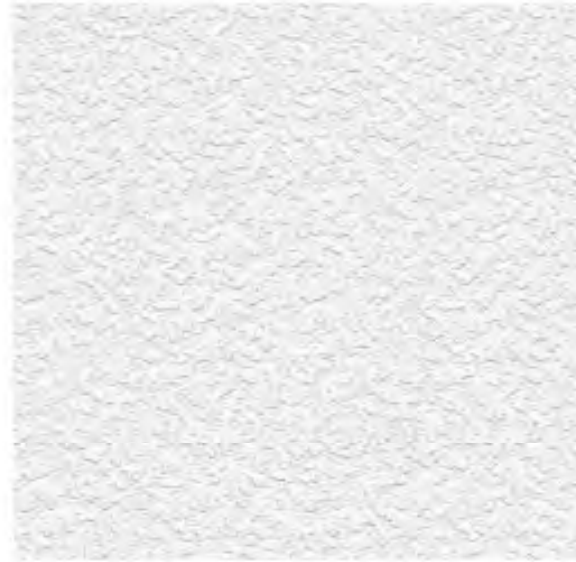
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Sheet Title:
MATERIALS
DETAILS - TILE

Job No. 16021
Date: 03/09/2020
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Sheet No:
A447

Stucco - Fine Sand Finish (20/30)



A1 Stucco - Typical Condition

Standard acrylic-modified plaster with fine sand finish



Stucco - Smooth troweled acrylic



A1 Stucco - Corner Condition

Hard-troweled acrylic-modified plaster



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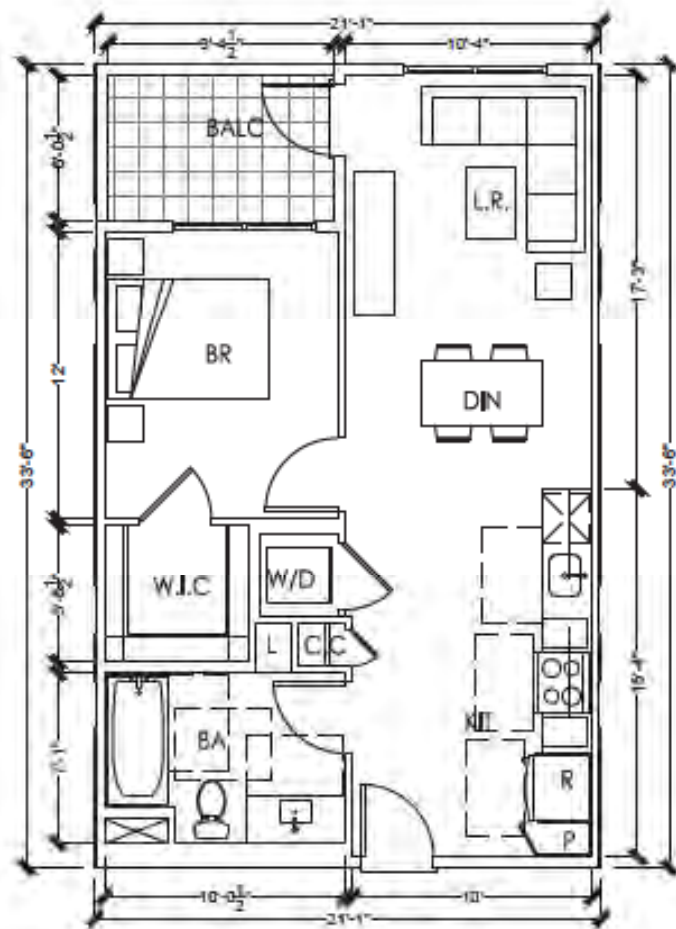
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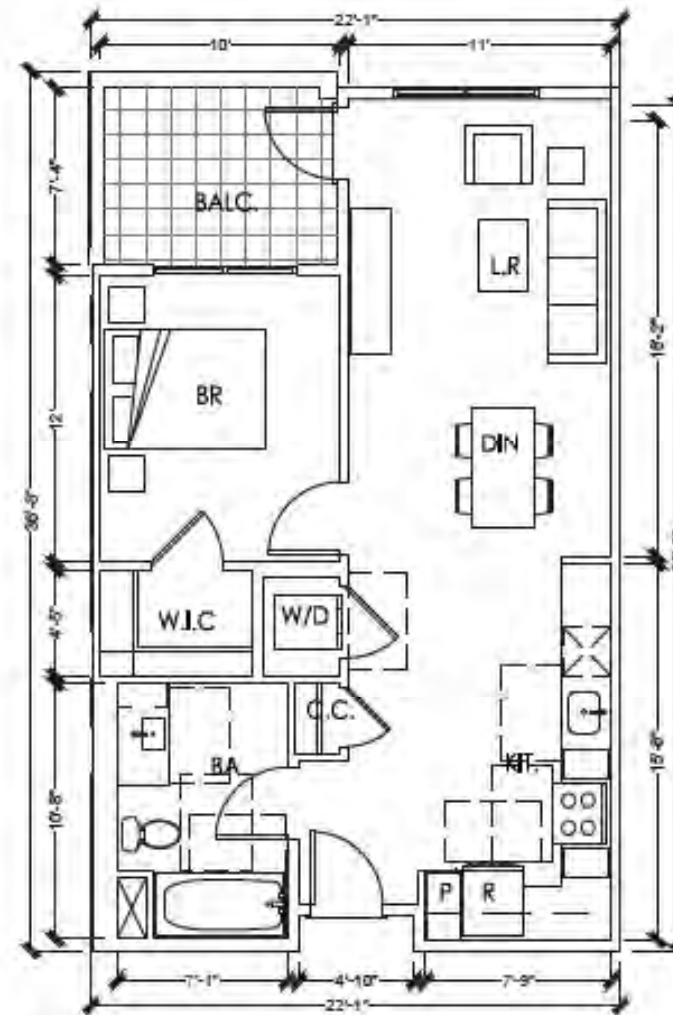
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MATERIALS
DETAILS -
PLASTER

Job No. 16021
Date: 03/09/2020
Scale:
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Sheet No:
A448



UNIT J1
 NRSF: 635 s.f. (gross)
 Balcony: 52 s.f.
 Storage: 164 c.f.
 Number: 15



UNIT J2
 NRSF: 704 s.f. (gross)
 Balcony: 65 s.f.
 Storage: 164 c.f. (Outside the unit on the corridor)
 Number: 10



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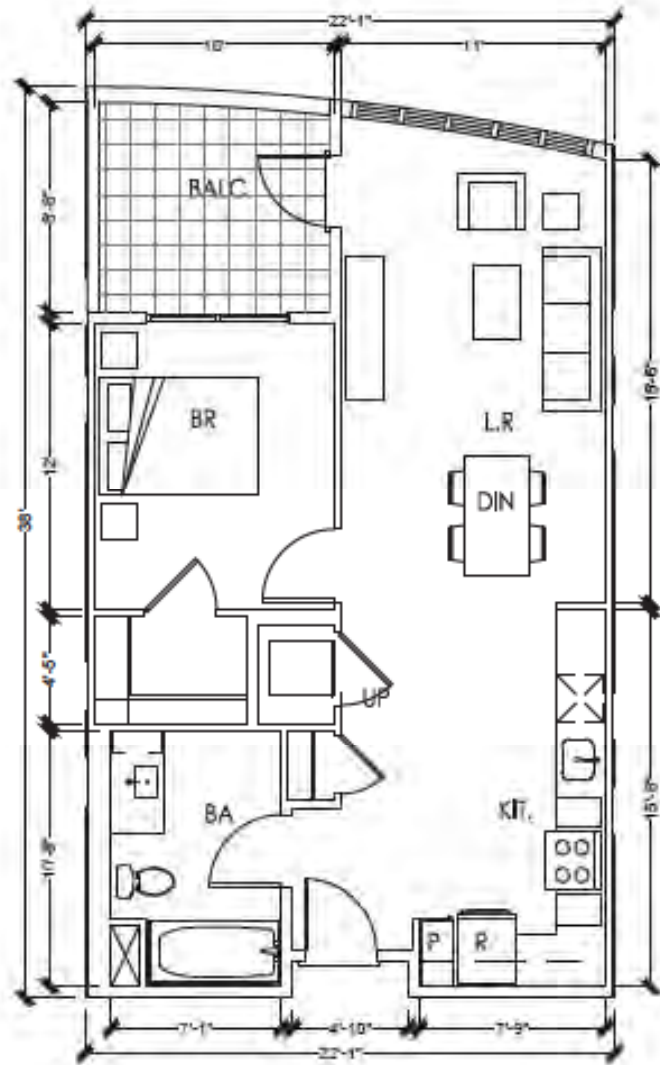
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Sheet Title:
 UNIT PLANS
 BLOCK A

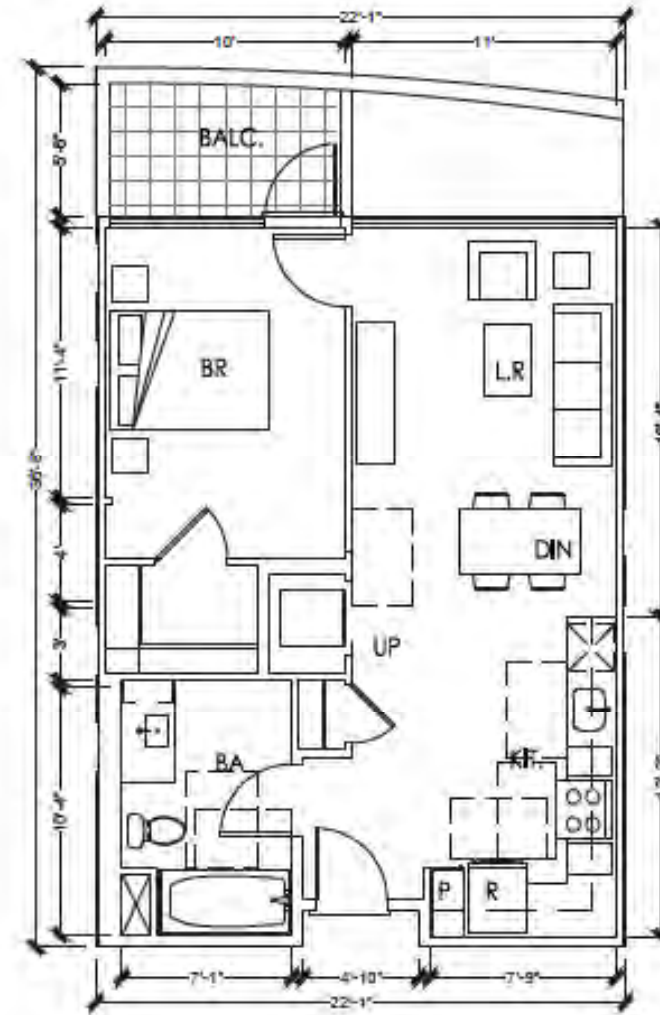
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UNIT J2.1
 NRSF: 699 s.f. (gross)
 Balcony: 65 s.f.
 Storage: 164 c.f. (Outside the unit on the corridor)
 Number: 8



UNIT J2.2
 NRSF: 658 s.f. (gross)
 Balcony: 52 s.f.
 Storage: 164 c.f. (Outside the unit on the corridor)
 Number: 2



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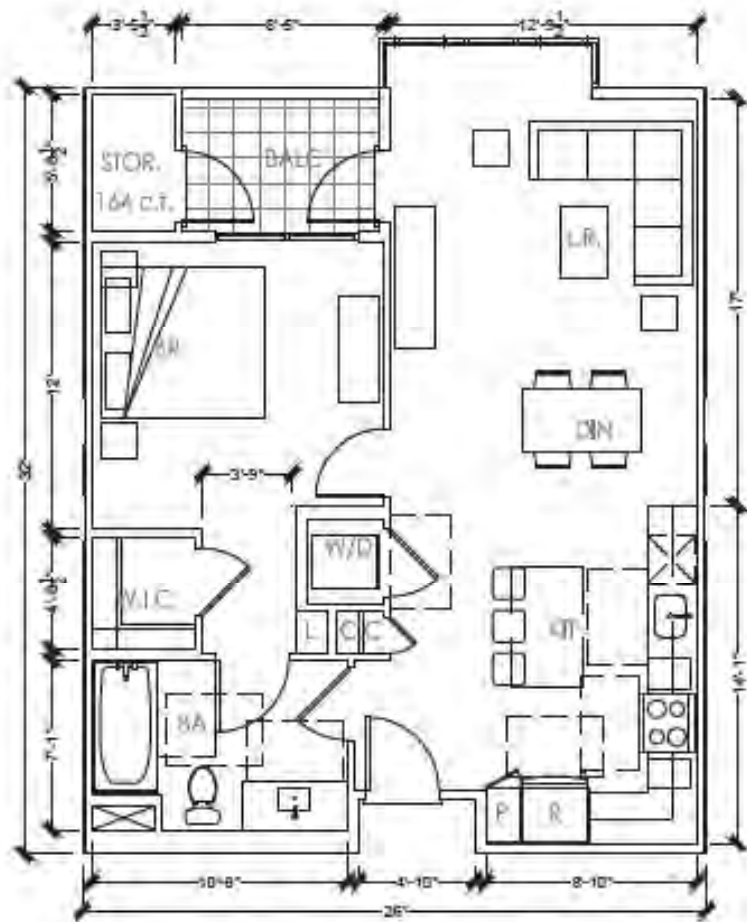
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 BLOCK A

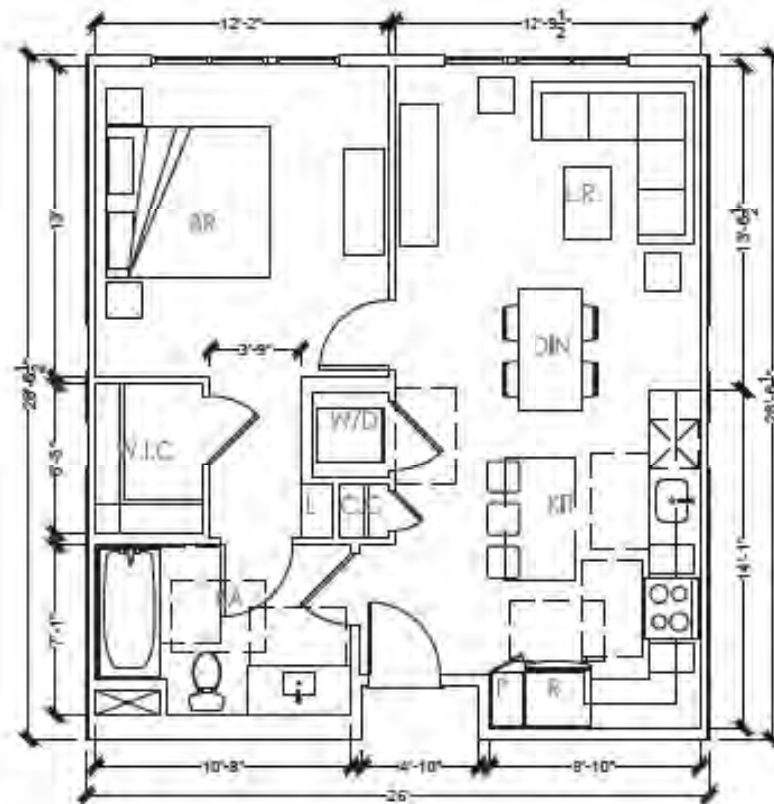
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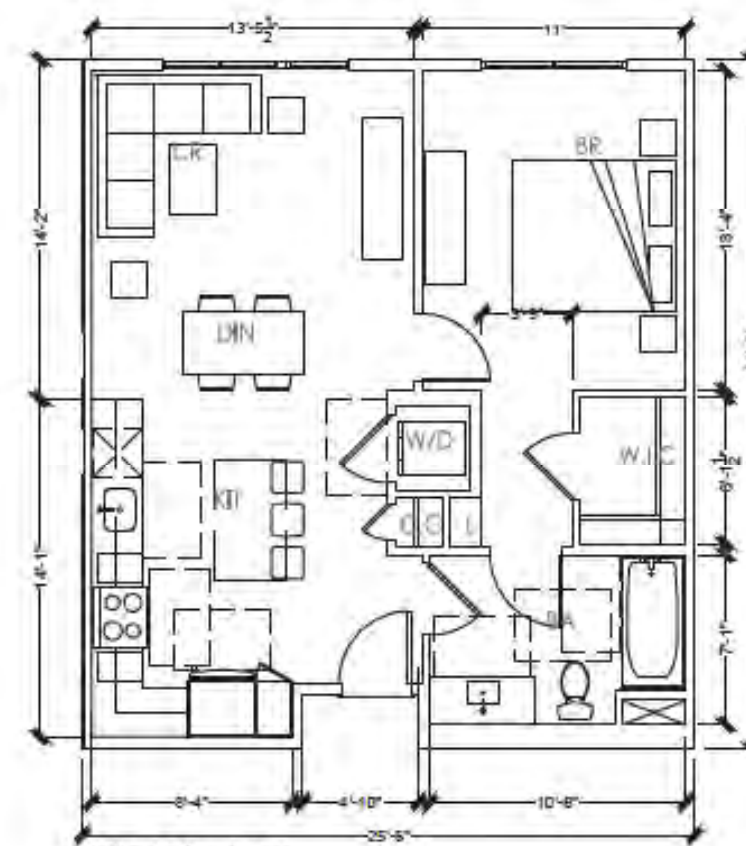
A511



UNIT 1BR - 1A
 NRSF: 759 s.f. (gross)
 Balcony: 42 s.f.
 Storage: 164 c.f. (On deck/Outside the unit in the cor
 Number: 24



UNIT 1BR - 1A.1
 NRSF: 725 s.f. (gross)
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 5



UNIT 1BR - 1A.2
 NRSF: 716 s.f. (gross)
 Balcony: 0 s.f.
 Storage: 164 c.f. min
 Number: 1



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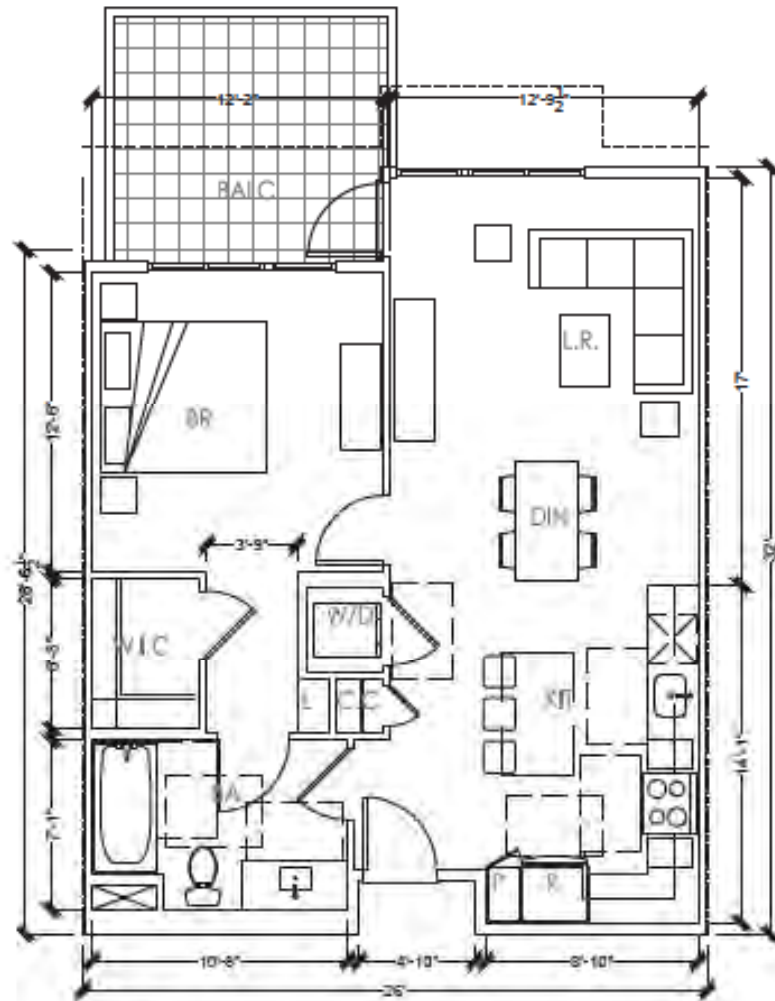
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 BLOCK A

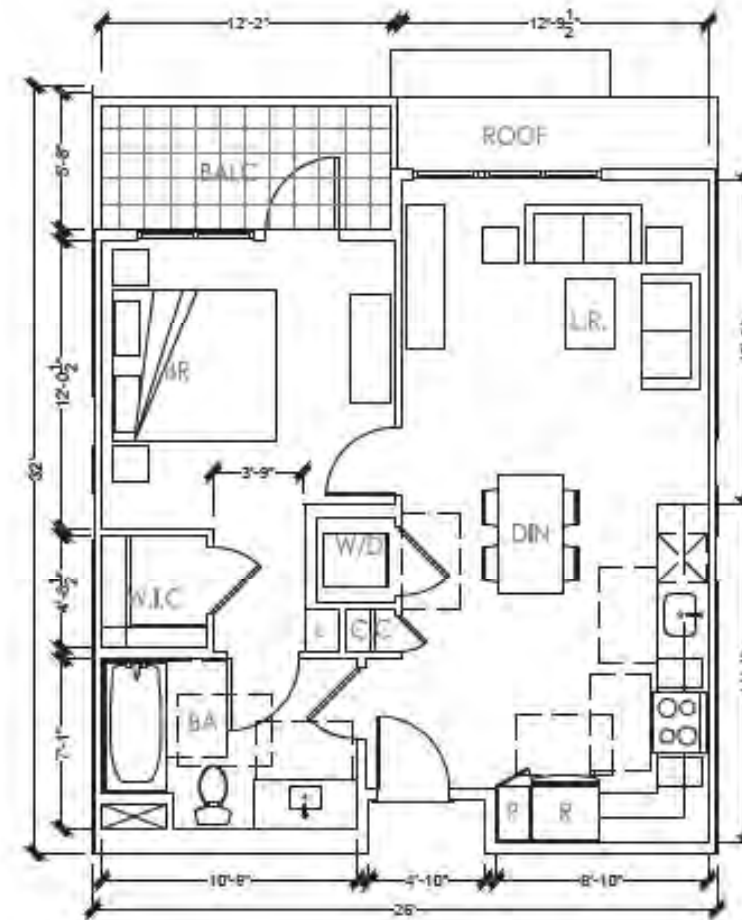
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A512



UNIT 1BR - 1A.3
 NRSF: 766 s.f. (gross)
 Balcony: 60s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 6



UNIT 1BR 1A.4
 NRSF: 693 s.f. (gross)
 Balcony: 62 s.f.
 Storage: 164 c.f. (On deck/Outside the unit in the corridor)
 Number: 6



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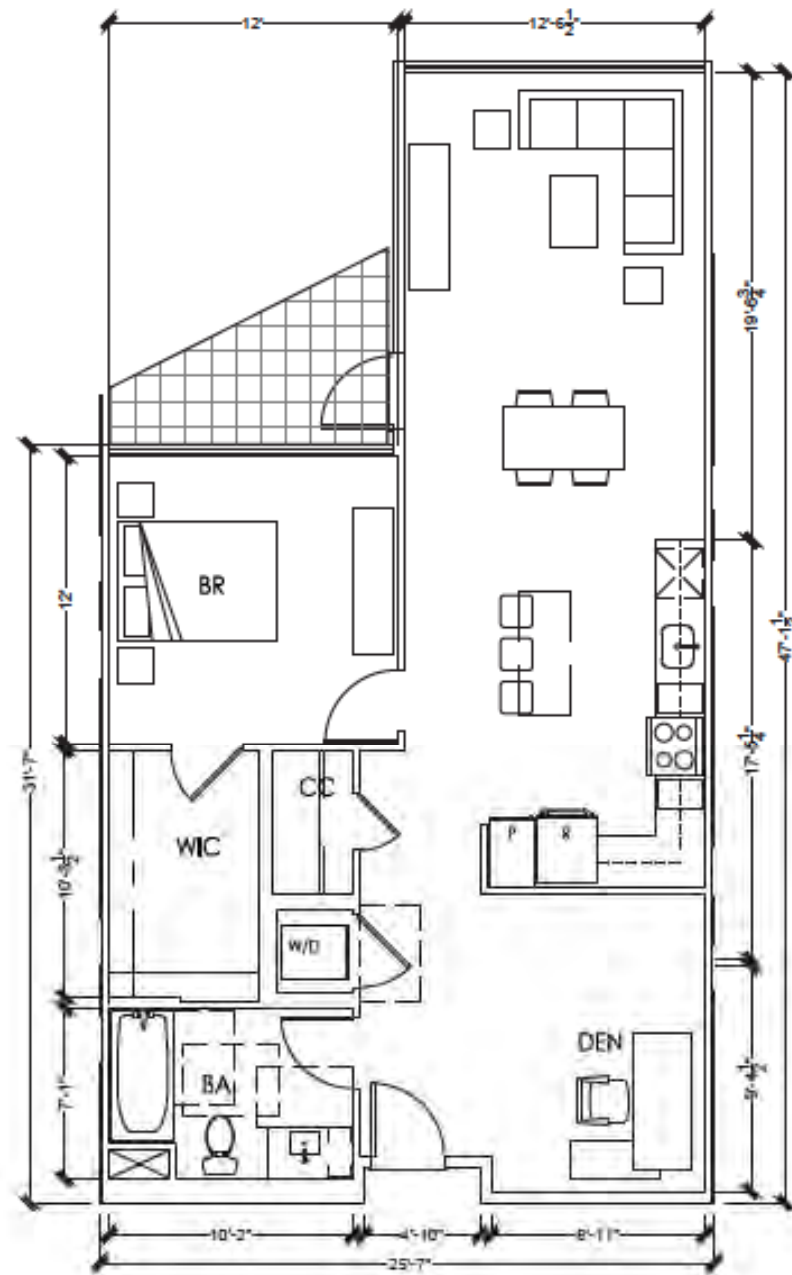
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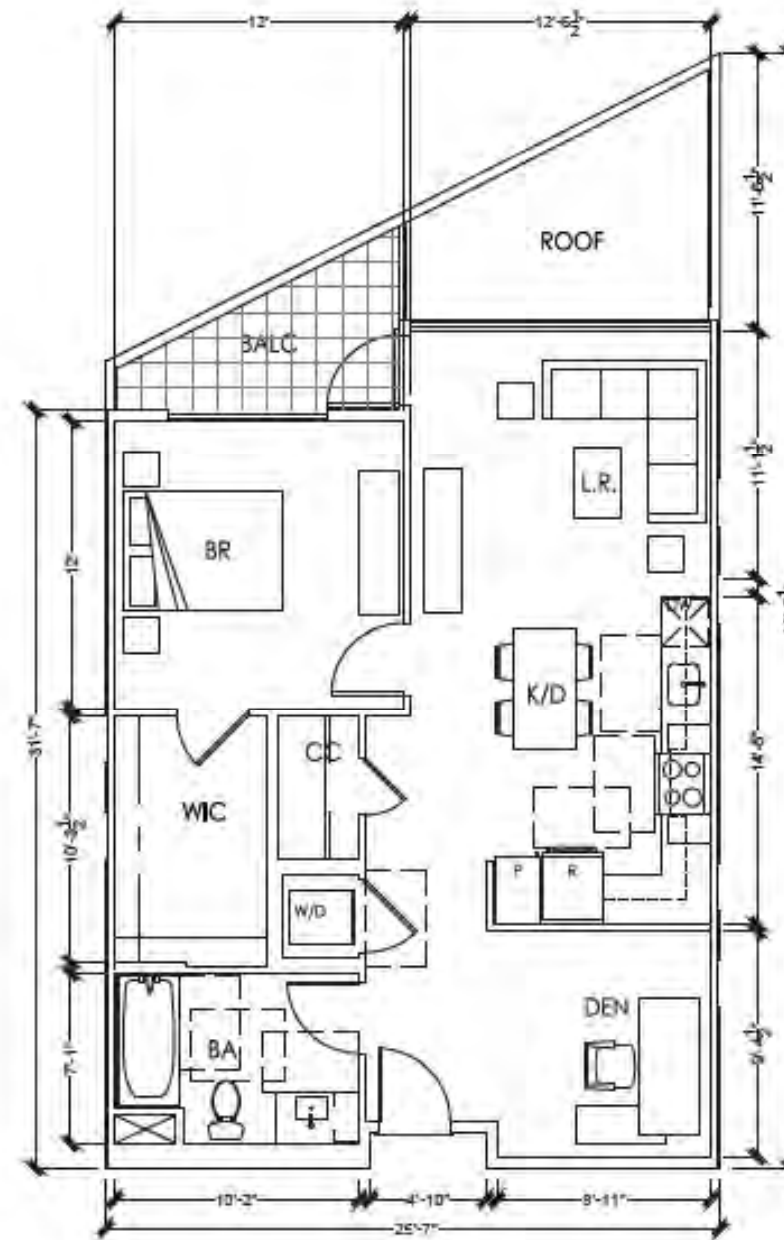
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UNIT 1BR_1B
 NRSF: 1008 s.f. (gross)
 Balcony: 60 s.f.
 Storage: 22 s.f. (164 c.f. min.)
 Number: 16



UNIT 1BR_1B.1
 NRSF: 844 s.f. (gross)
 Balcony: 55 s.f.
 Storage: 22 s.f. (164 c.f. min.)
 Number: 4



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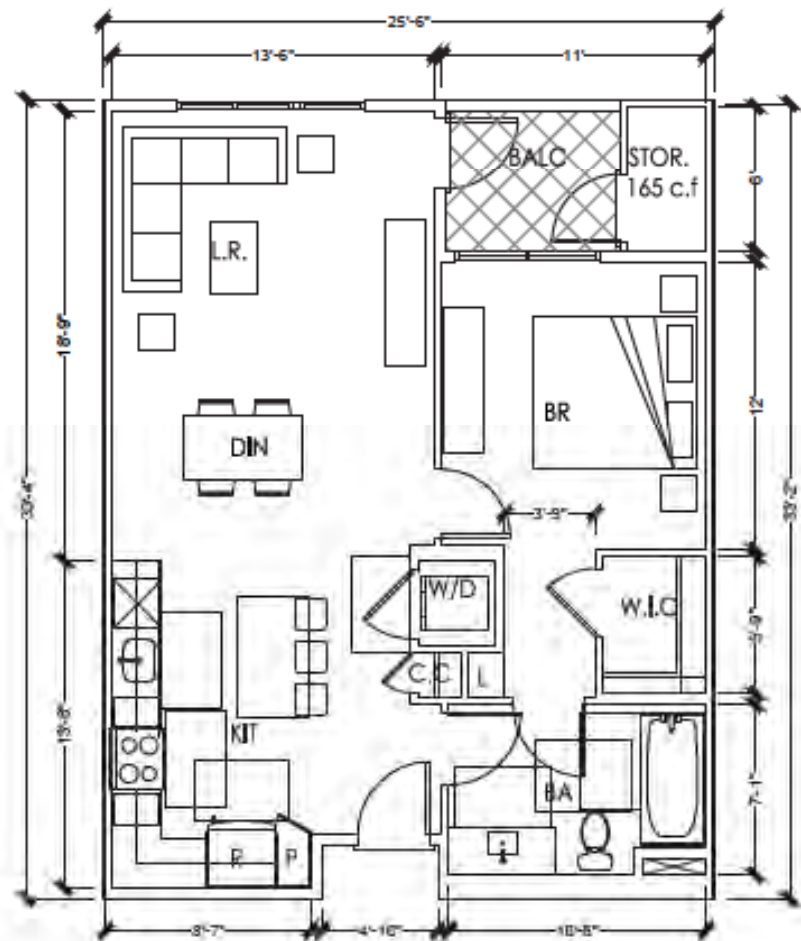
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Sheet Title:
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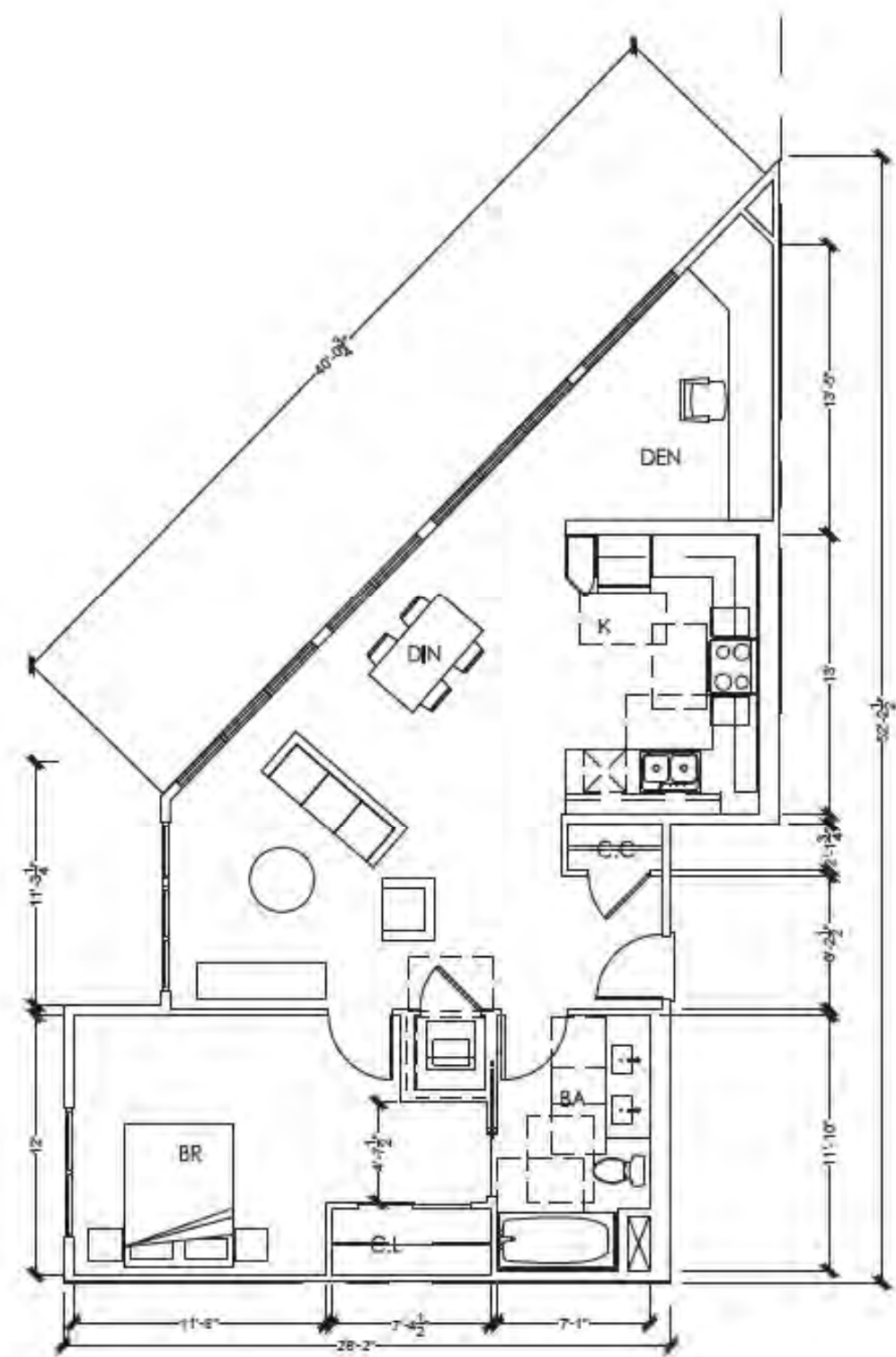
Job No. 16021
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A514



UNIT 1C
 NRSF: 760 s.f. (gross)
 Balcony: 40 s.f.
 Storage: 180 c.f.
 Number: 16



UNIT 1BR 1D
 NRSF: 1,012 s.f. (gross)
 Balcony: - s.f.
 Storage: 164 c.f.
 Number: 1



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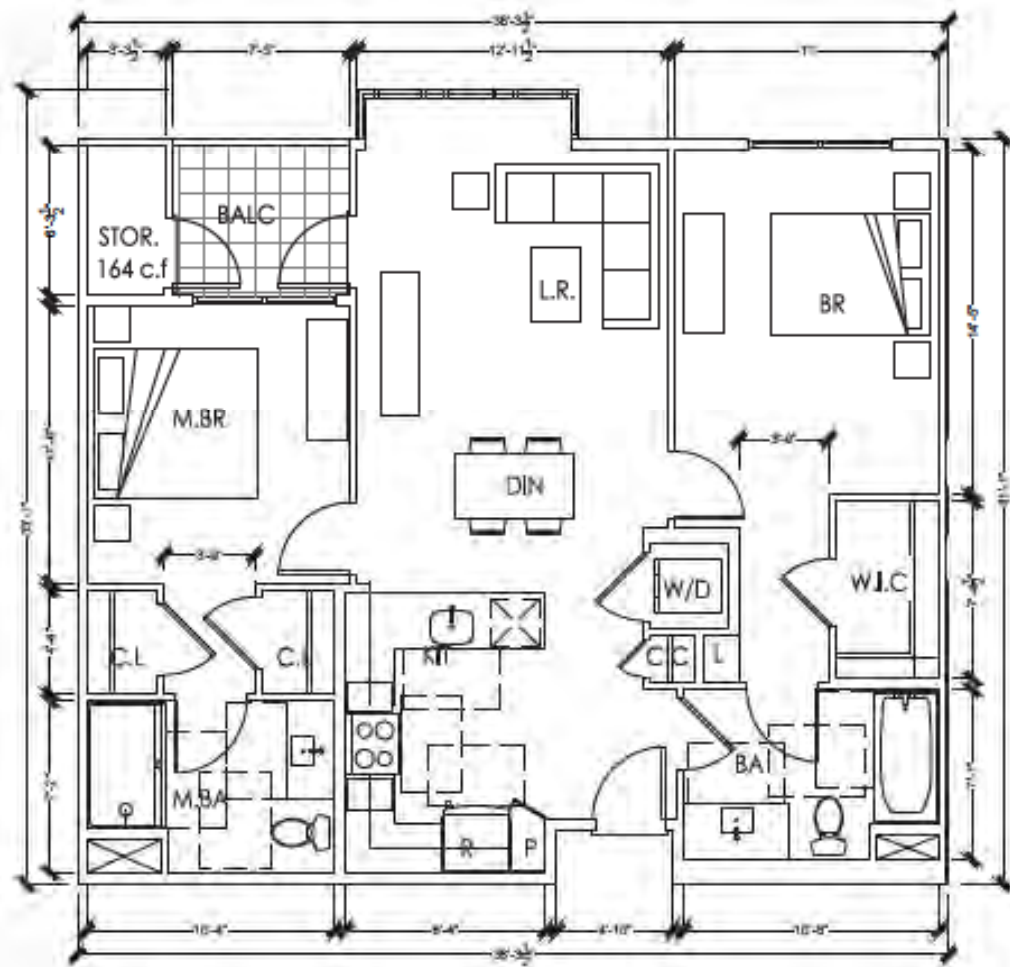
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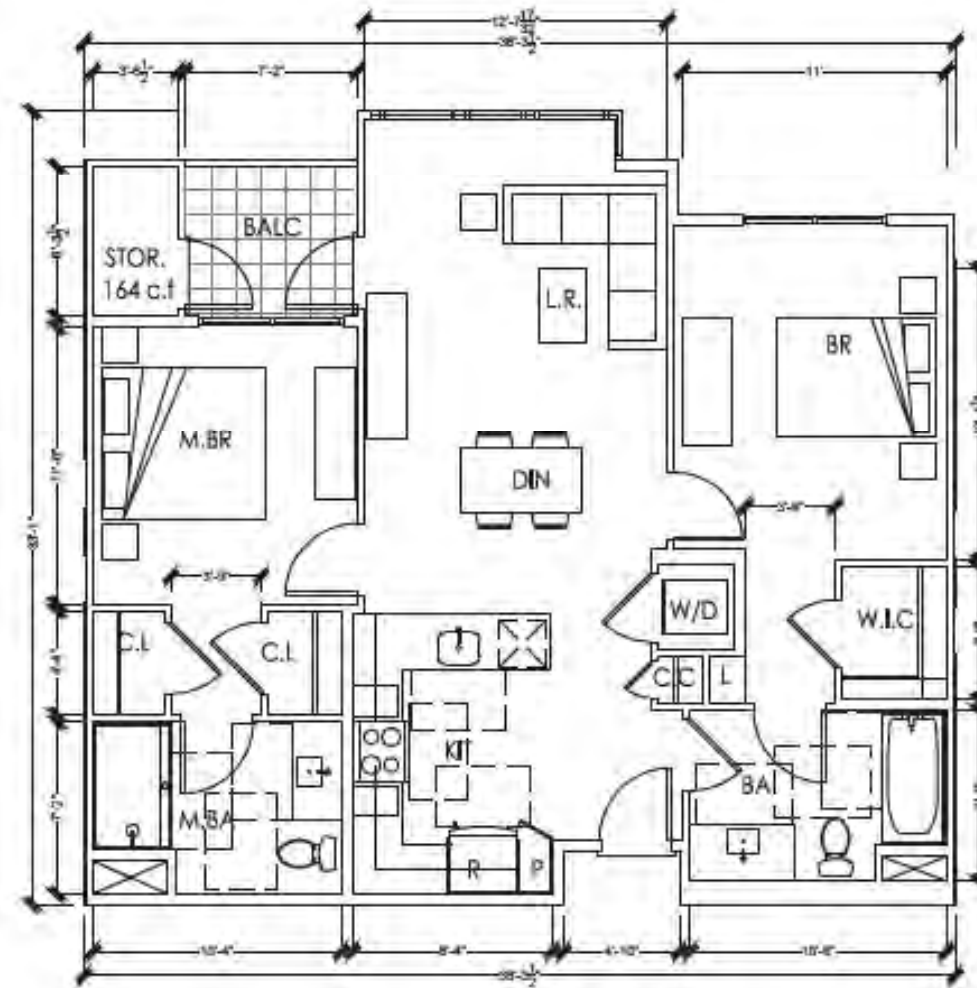
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A516



UNIT 2BR_2A
NRSF: 1,048 s.f. (gross)
Balcony : 40 s.f.
Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
Number: 12



UNIT 2BR_2A.1
NRSF: 1,025 s.f. (gross)
Balcony : 40 s.f.
Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
Number: 11



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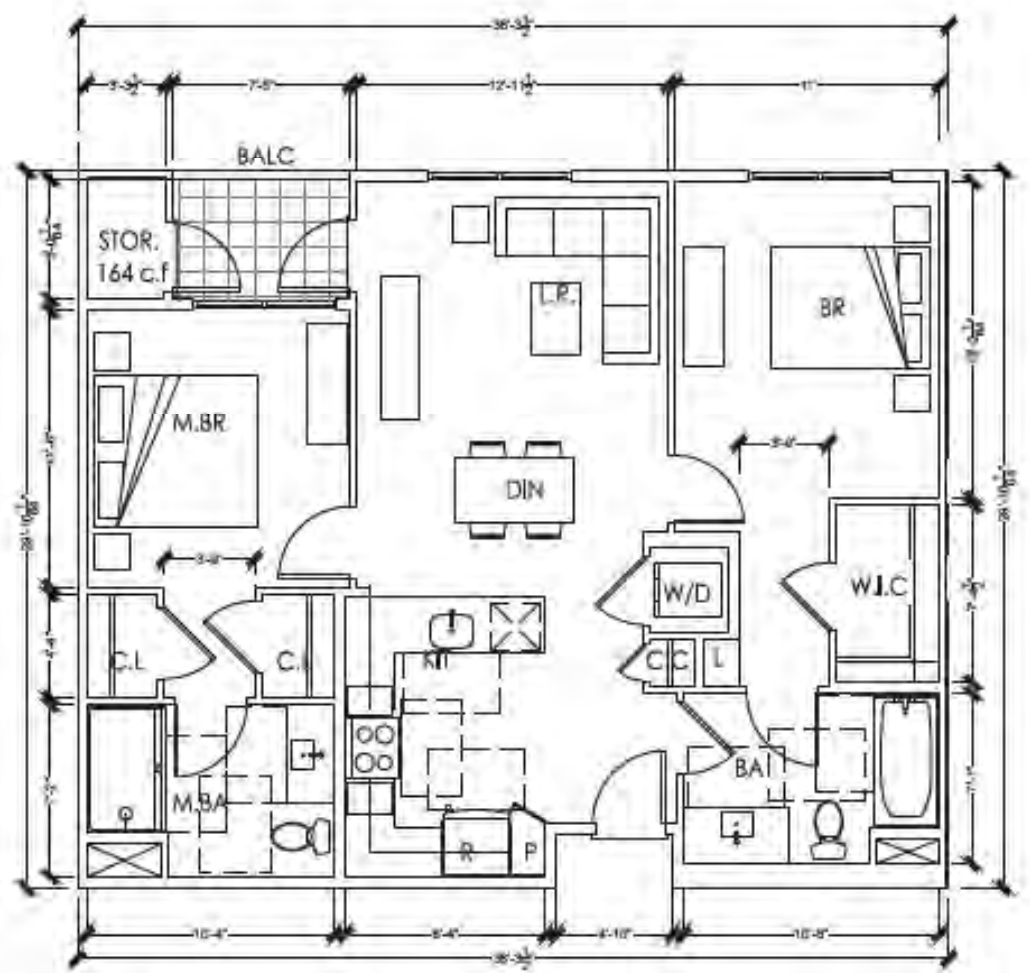
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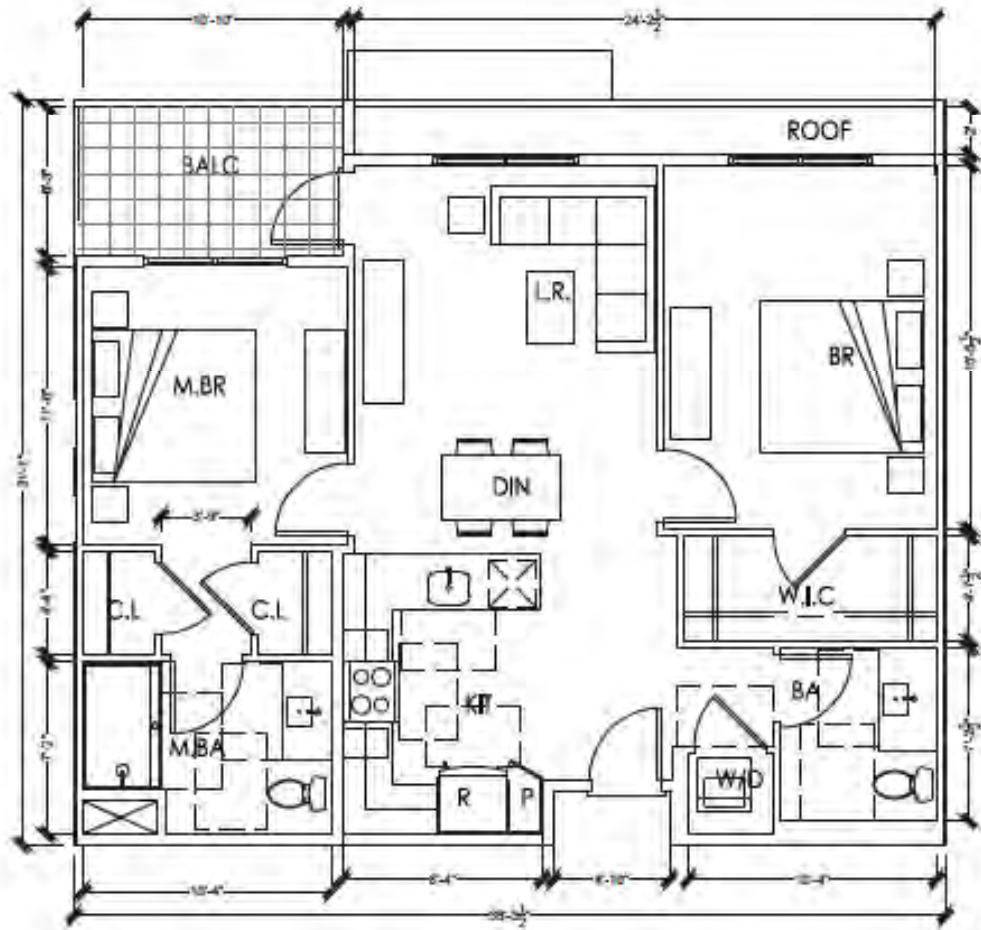
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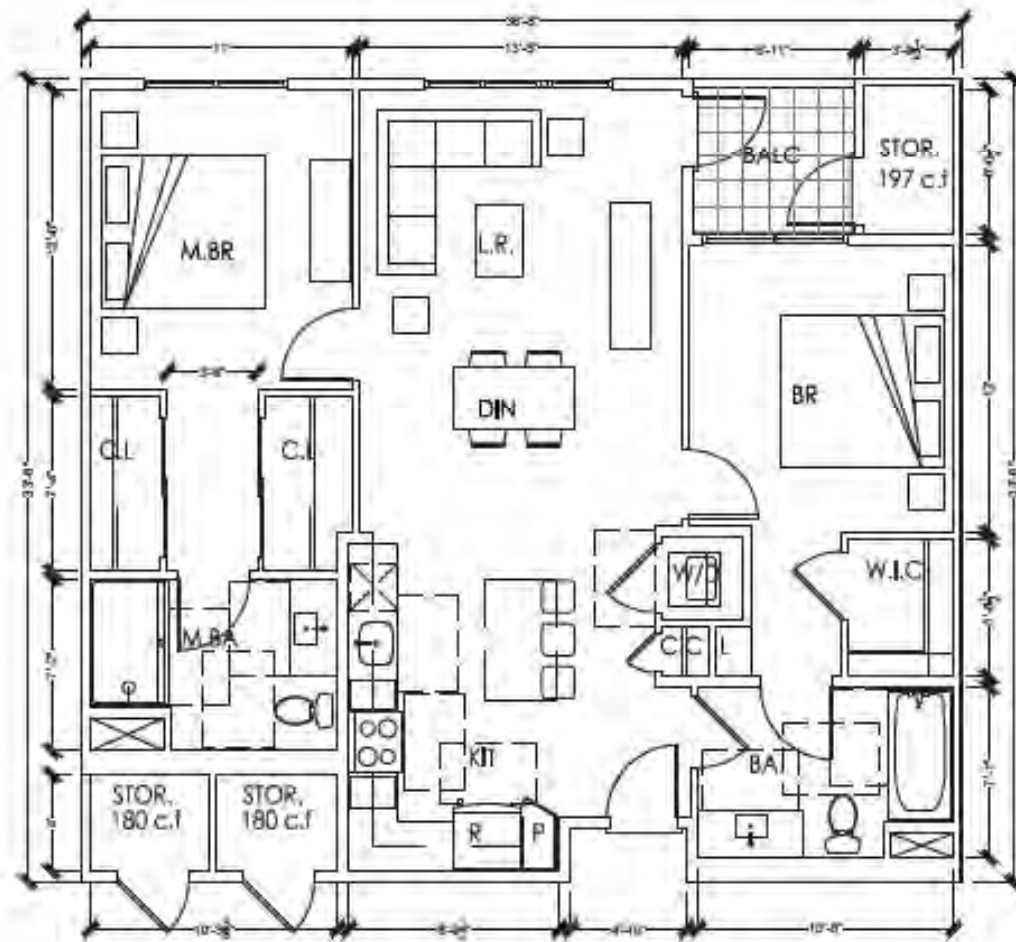
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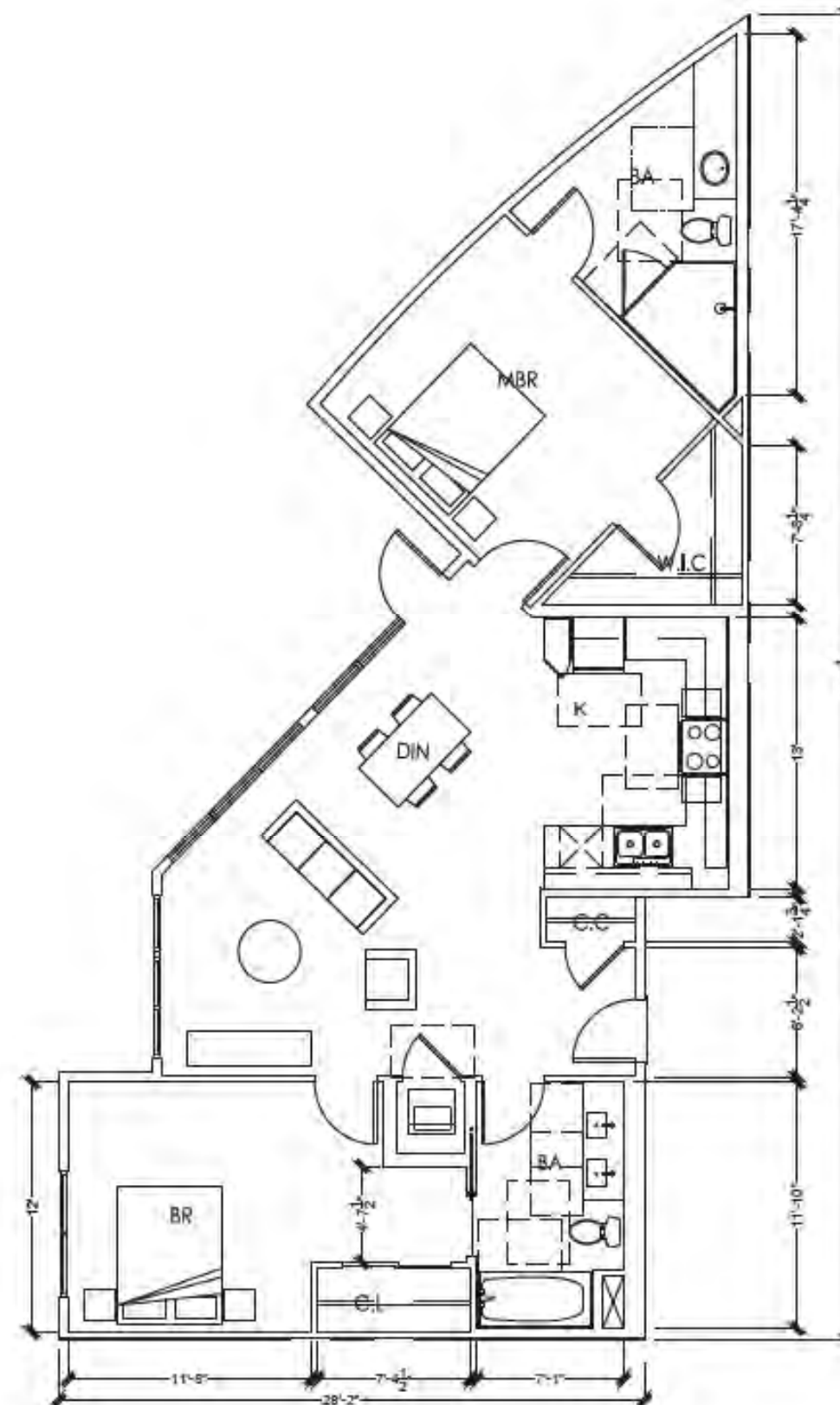
UNIT 2BR_2A.2
NRSF: 998 s.f. (gross)
Balcony : 35 s.f.
Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
Number: 1



UNIT 2BR_2A.3
NRSF: 978s.f. (gross)
Balcony : 60 s.f.
Storage: 164 c.f. (Outside of the Unit in the corridor)
Number: 6



UNIT 2BR_2B
 NRSF: 1,083s.f. (gross)
 Balcony : 40 s.f.
 Storage: 180 c.f. (On the deck)
 Number: 19



UNIT 2BR 2C
 NRSF: 1,260 s.f. (gross)
 Balcony: – s.f.
 Storage: 164 c.f.
 Number: 4



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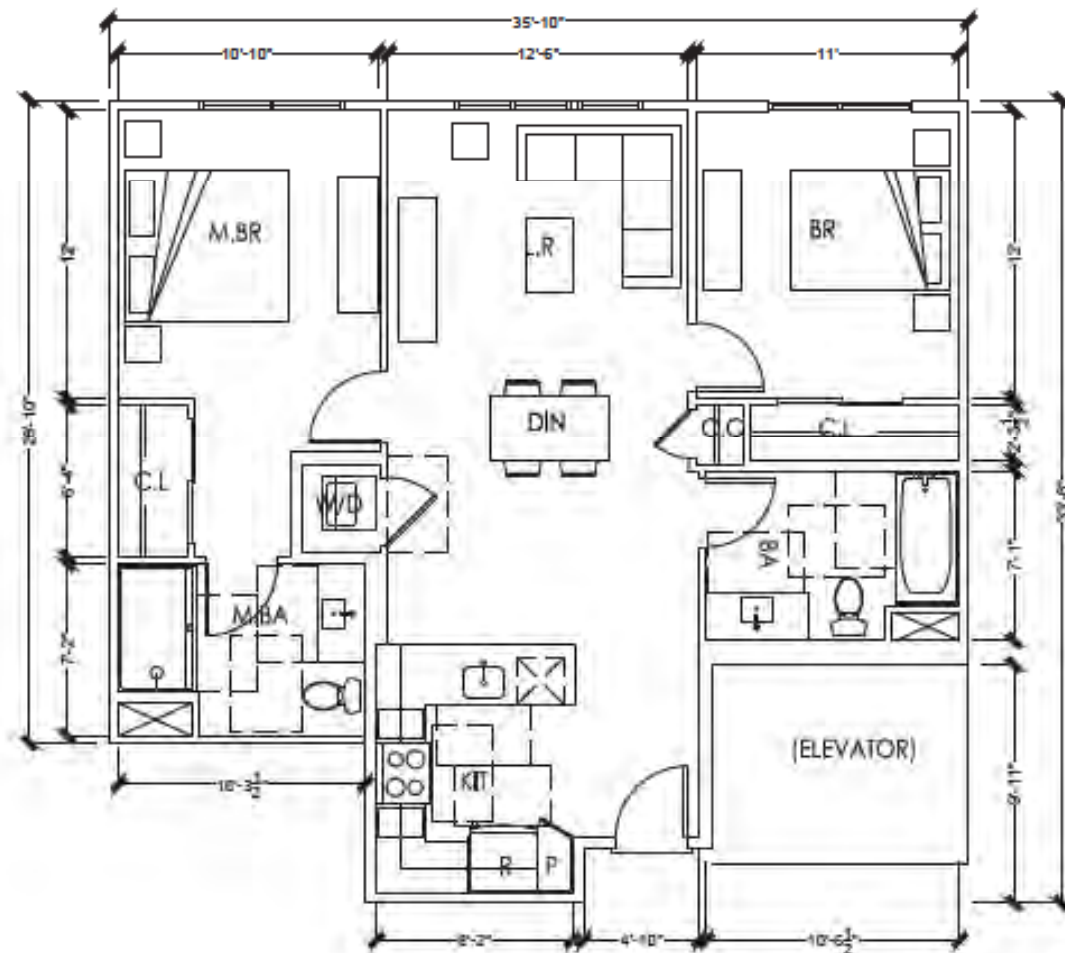
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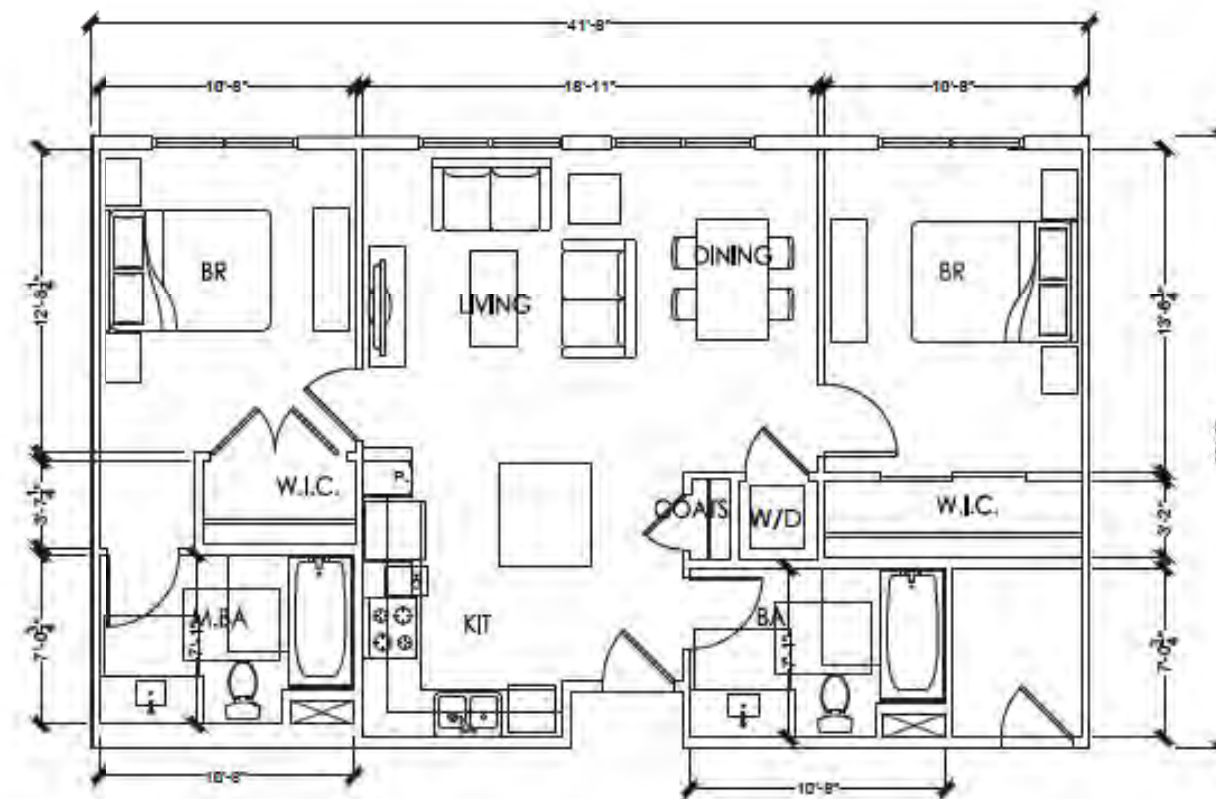
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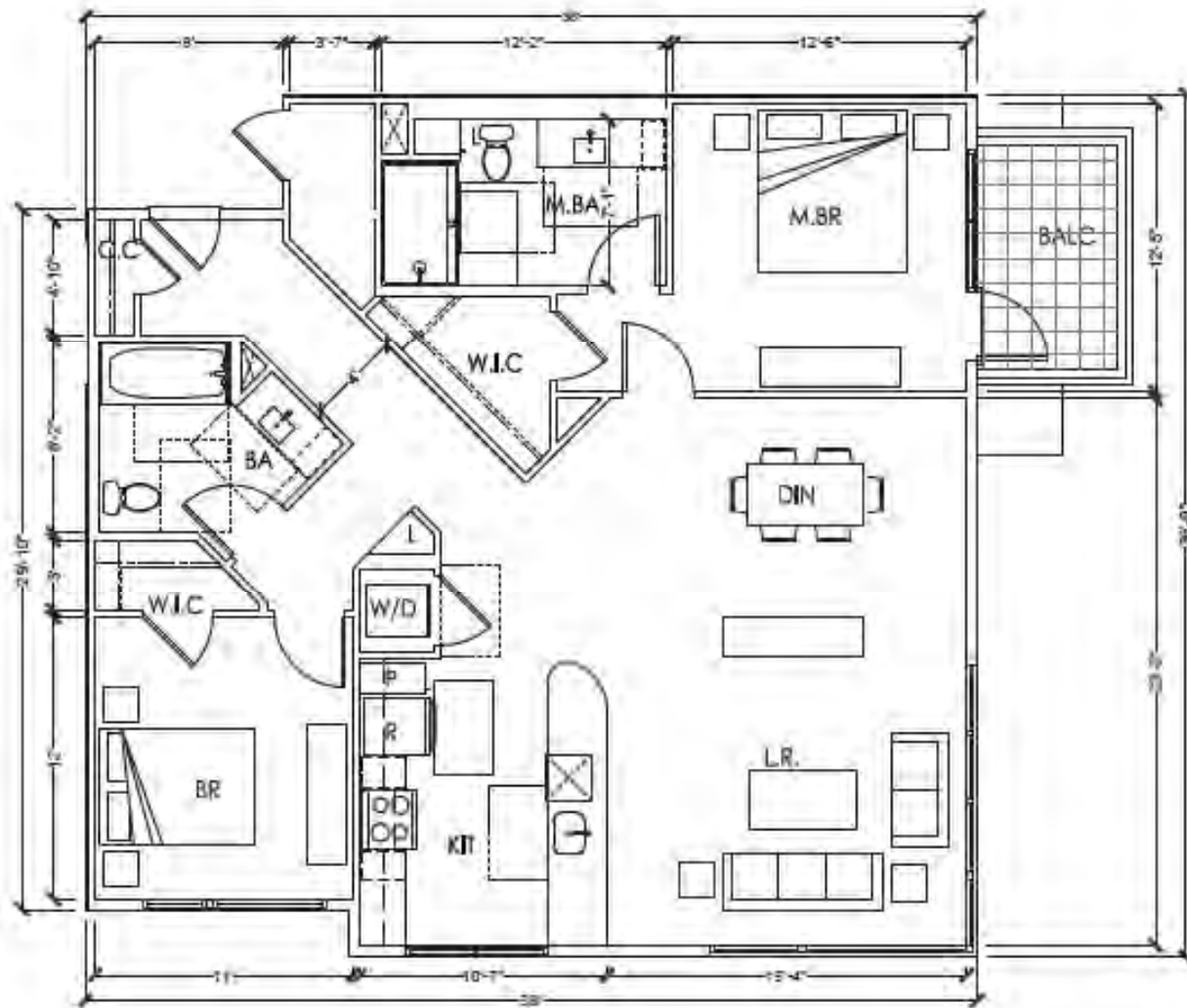
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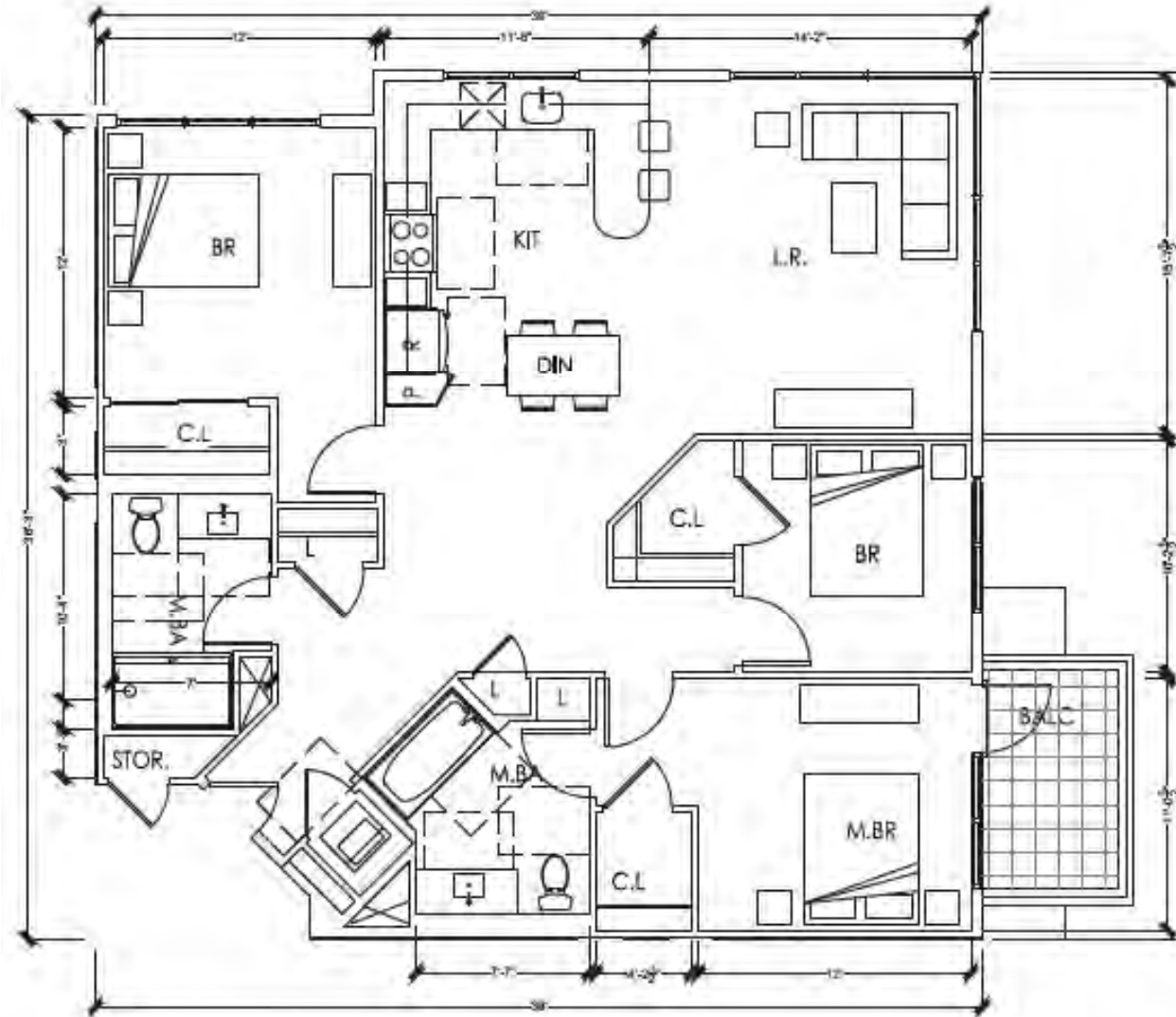
UNIT_2D
NRSF: 1,010 s.f. (gross)
Balcony : 0 s.f.
Storage: 21 s.f. (164 c.f. min.)
Number: 5



UNIT 2E
NRSF: 1,004 s.f. (gross)
Balcony: - s.f.
Storage: 290 c.f. (Outside the unit in the corridor)
Number: 2



UNIT 2F
 NRSF: 1,307 s.f. (gross)
 Balcony : 55 s.f.
 Storage: 190 c.f. (Outside the unit in the corridor)
 Number: 10



UNIT 3A (UNIT 3A.1 SIMILAR)
 NRSF: 1,391 s.f. (gross)
 Balcony : 55 s.f.
 Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
 Number: 10



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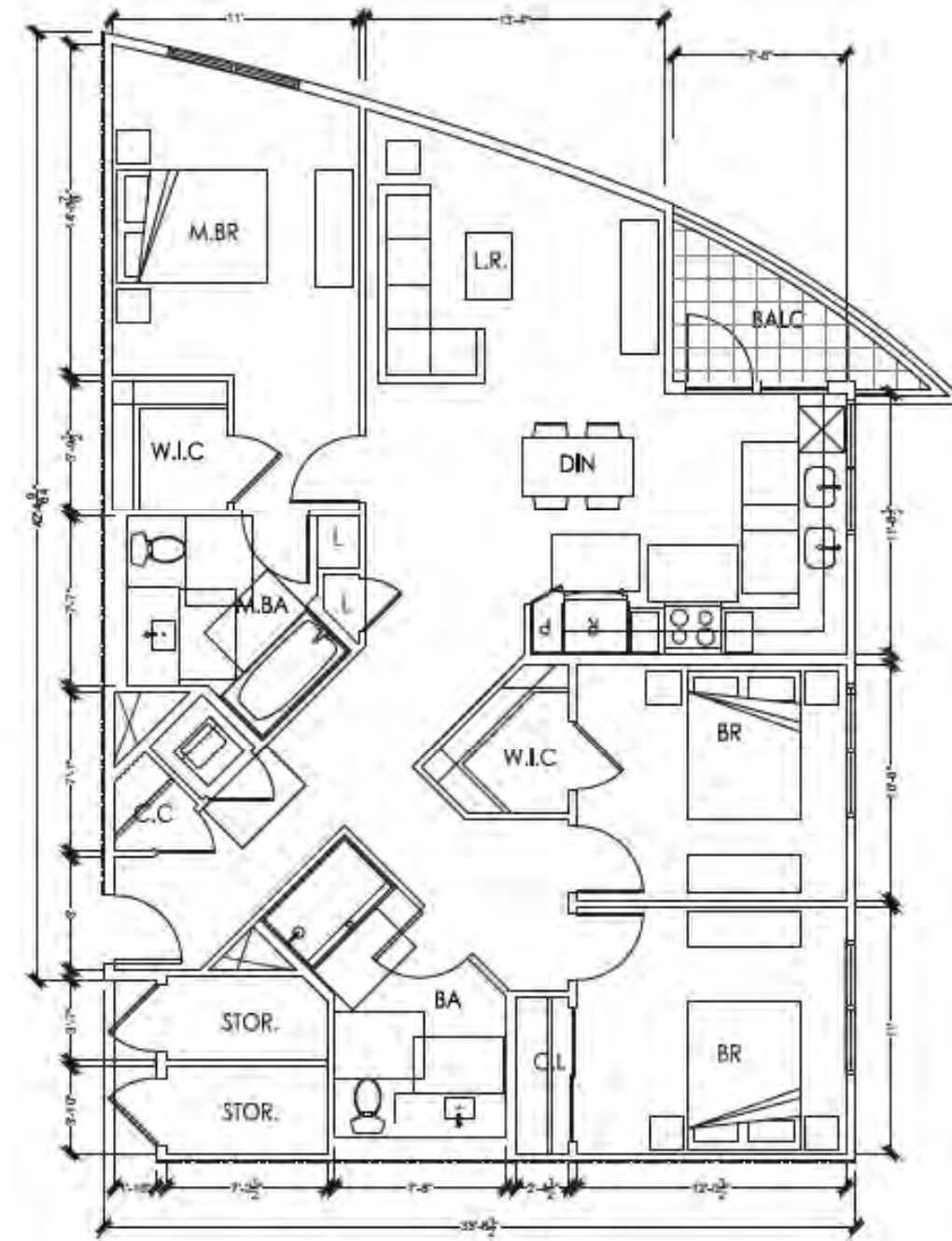
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UNIT 3A.1
 NRSF: 1,464 s.f. (gross)
 Balcony : 55 s.f.
 Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
 Number: 10



UNIT 3B
 NRSF: 1,381 s.f. (gross)
 Balcony : 45 s.f.
 Storage: 164 c.f. (On deck/ Outside the unit on the corridor)
 Number: 4



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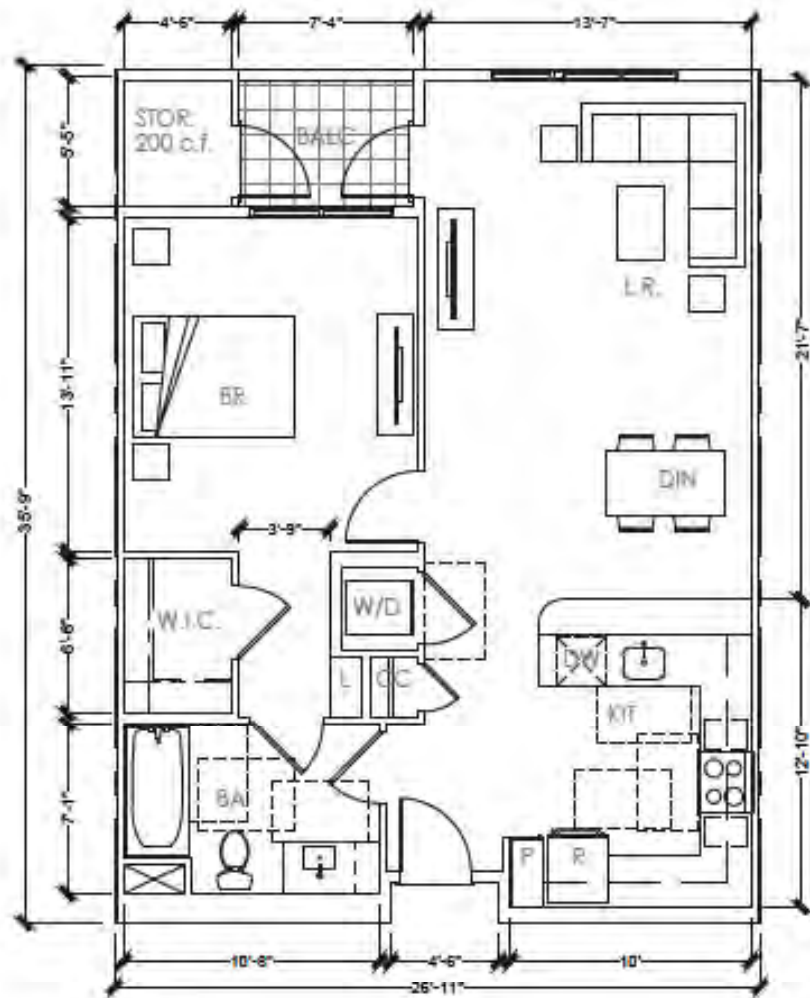
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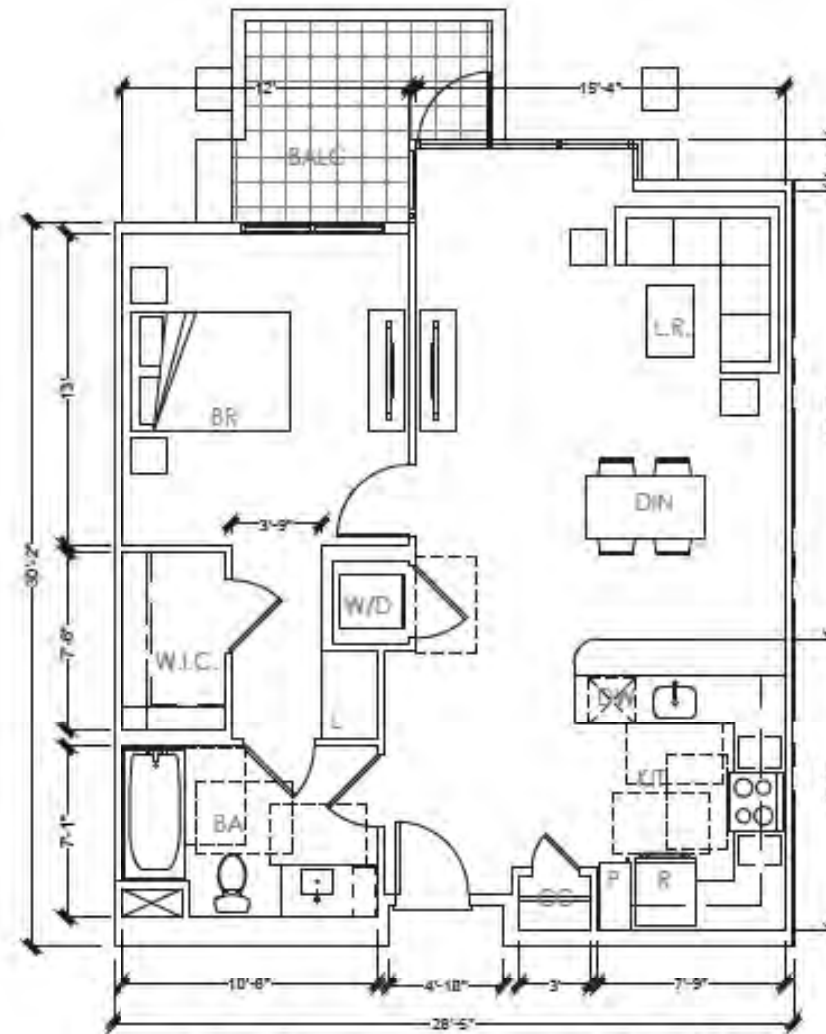
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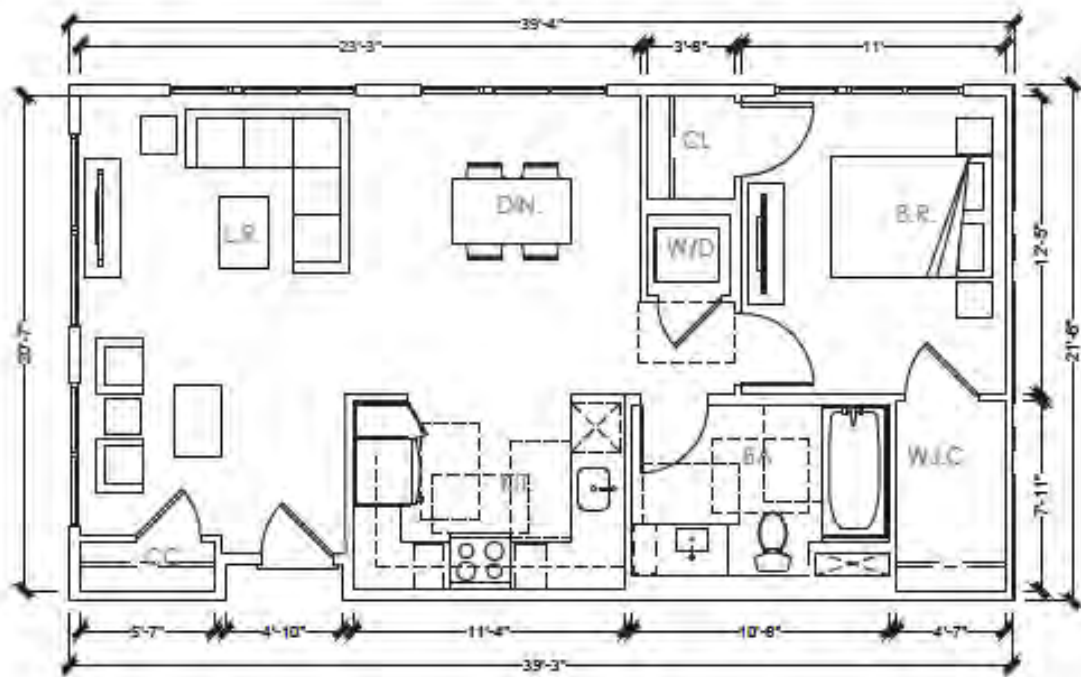
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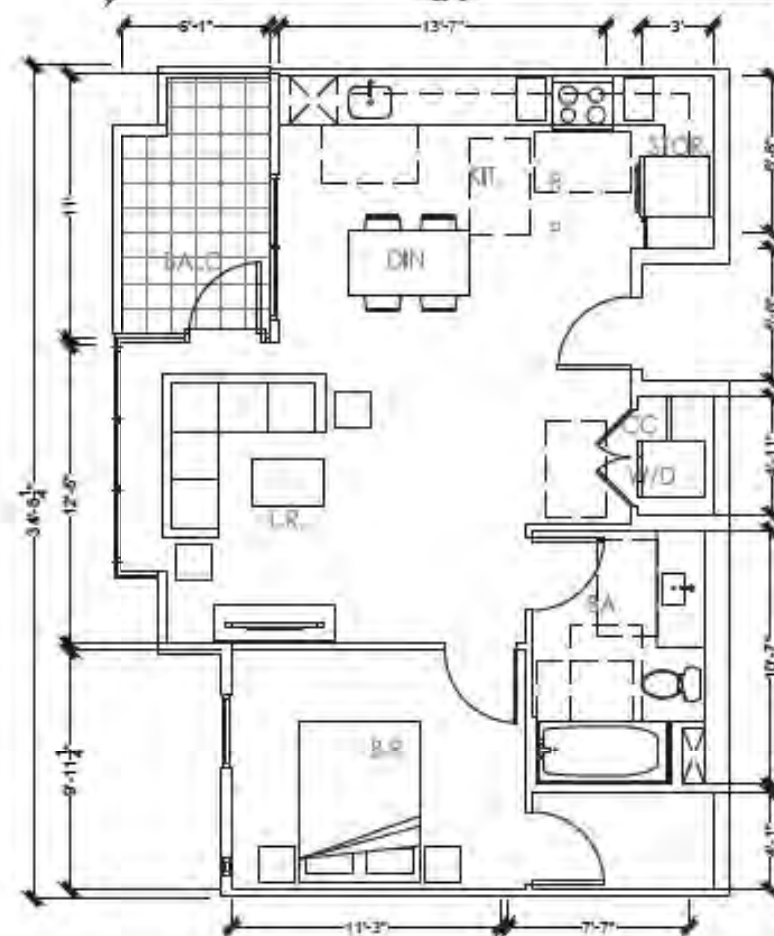
UNIT 1A.1
 NRSF: 813 s.f. (gross)
 Balcony: 42 s.f.
 Storage: 230 c.f. (On deck)
 Number: 14



UNIT 1A.2 (1A.3 SIMILAR)
 NRSF: 886 s.f. (gross)
 Balcony: 70 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 4



UNIT 1B
 NRSF: 828 s.f. (gross)
 Balcony: 0 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 4



UNIT 1F-1BR 1BATH
 NRSF: 749 s.f. (gross)
 PATIO: 57 s.f.
 Storage: 288 c.f.
 Number: 1



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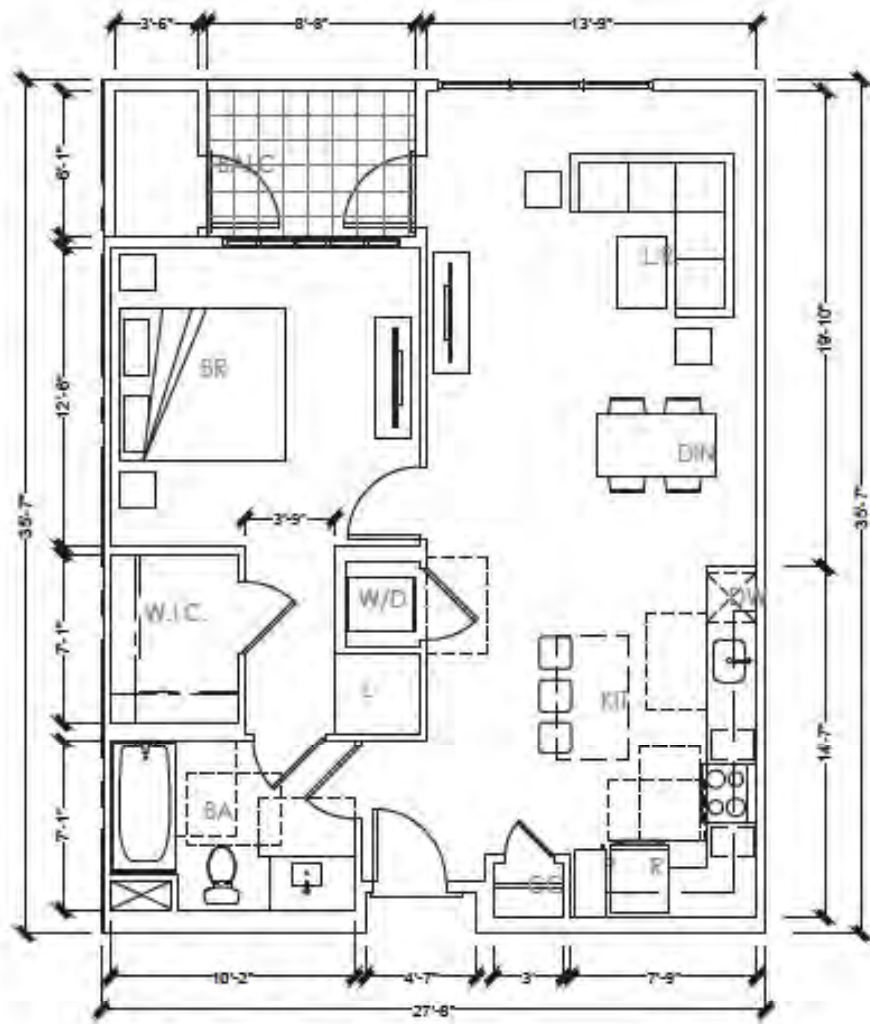
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 UNIT PLANS
 BLOCK B

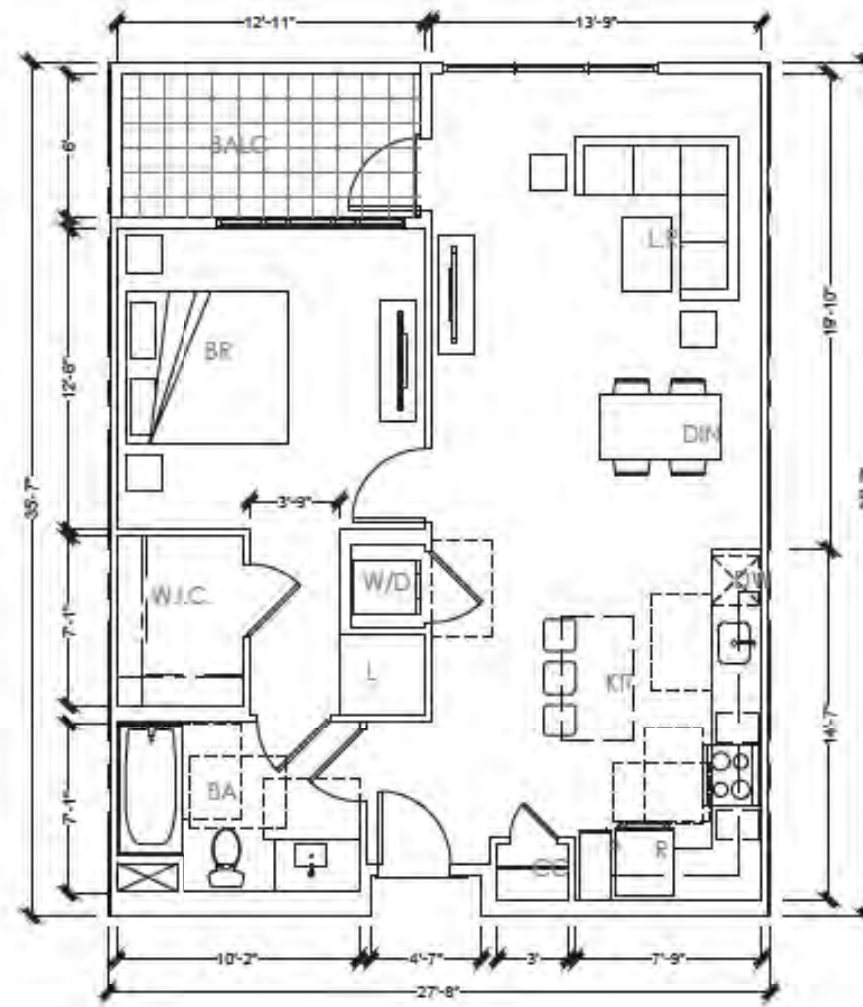
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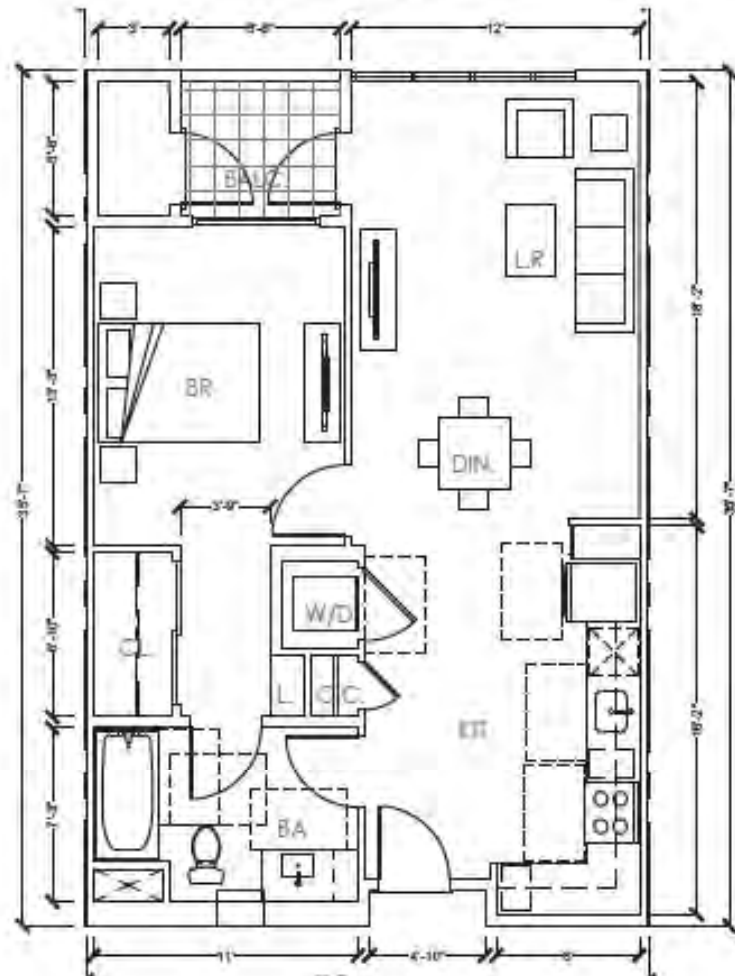
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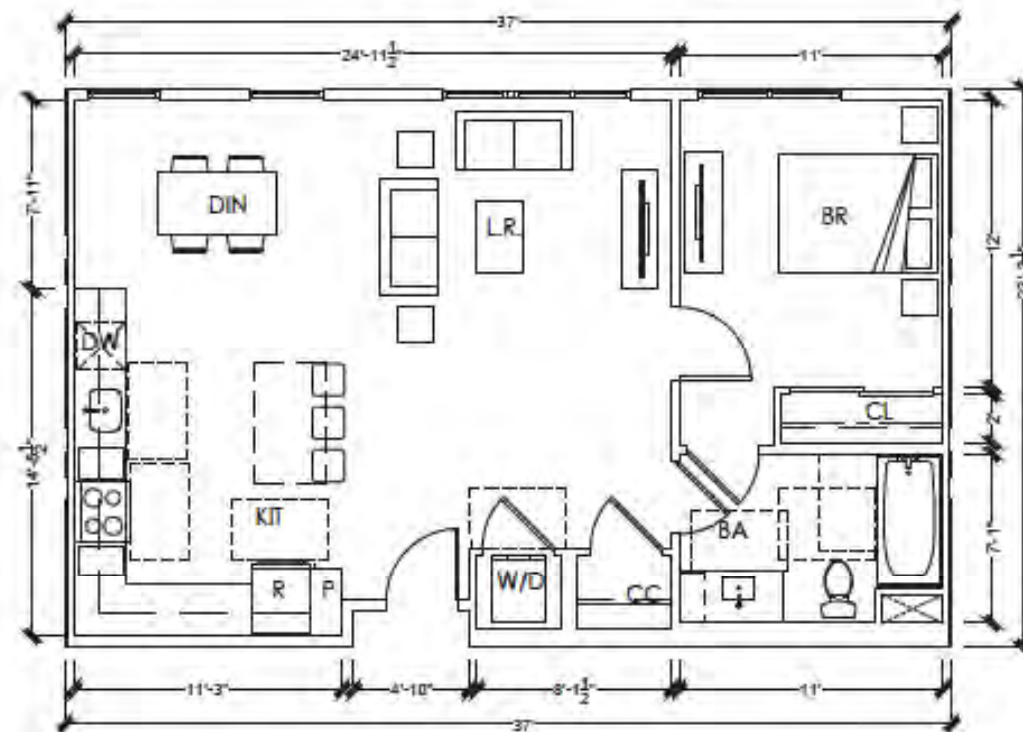
UNIT 1C
 NRSF: 903 s.f. (gross)
 Balcony: 56 s.f.
 Storage: 164 c.f. (Outside unit in the corridor)
 Number: 4



UNIT 1C.1 (1C.2 SIMILAR)
 NRSF: 875 s.f. (gross)
 Balcony: 0 s.f.
 Storage: 200 c.f. (Outside unit in the corridor)
 Number: 1



UNIT 1D
 NRSF: 739 s.f. (gross)
 Balcony : 50 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 5



UNIT 1E
 NRSF: 848s.f. (gross)
 Balcony : 0 s.f.
 Storage: 164 c.f. (Outside the unit in the corridor)
 Number: 6



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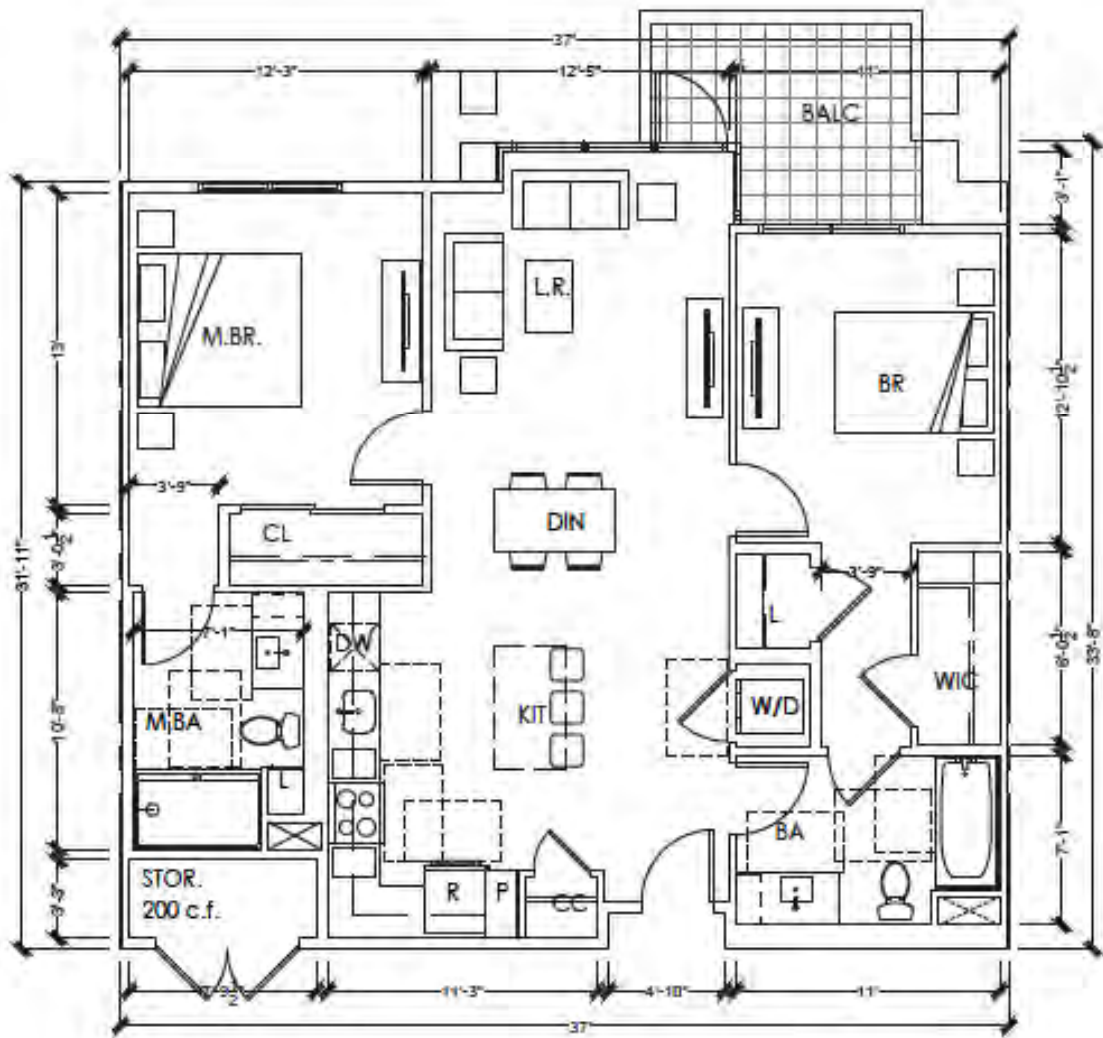
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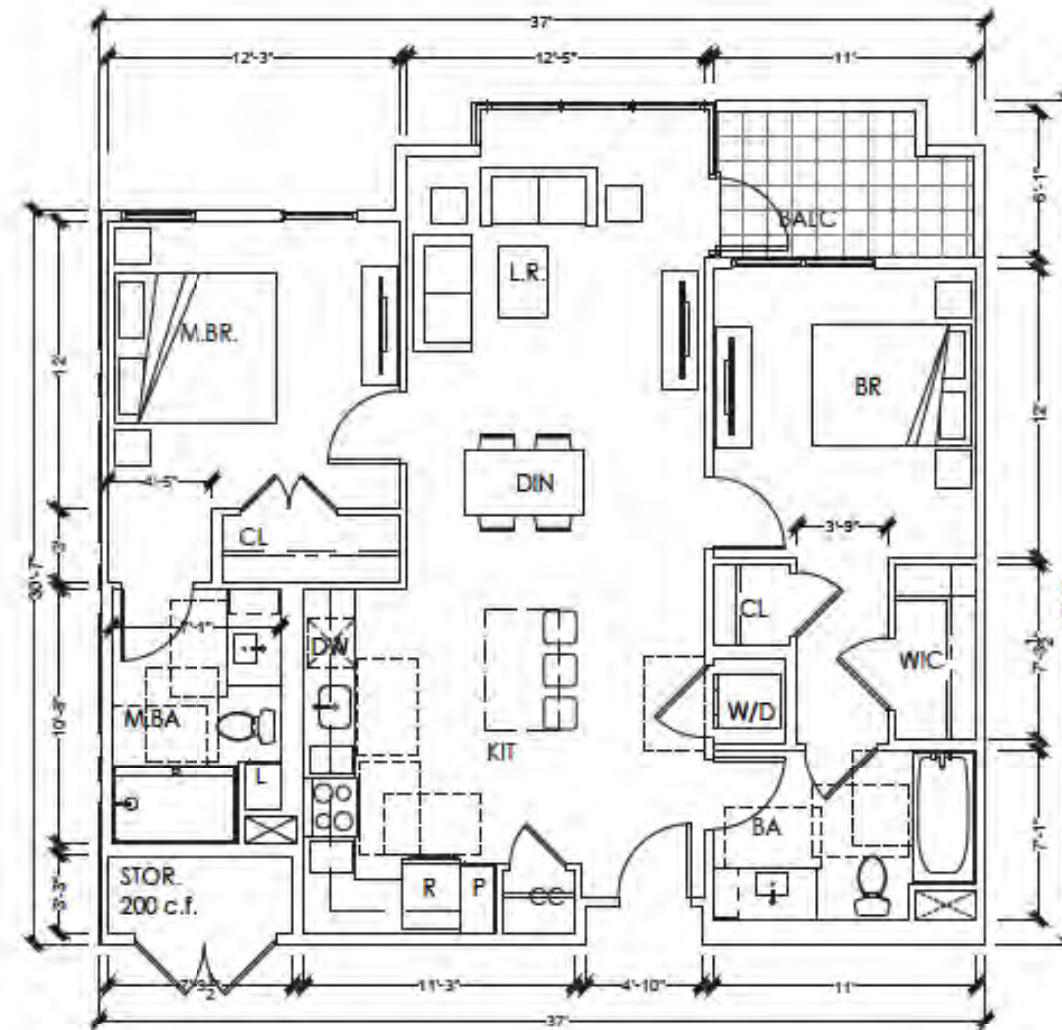
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**UNIT PLANS
BLOCK B**

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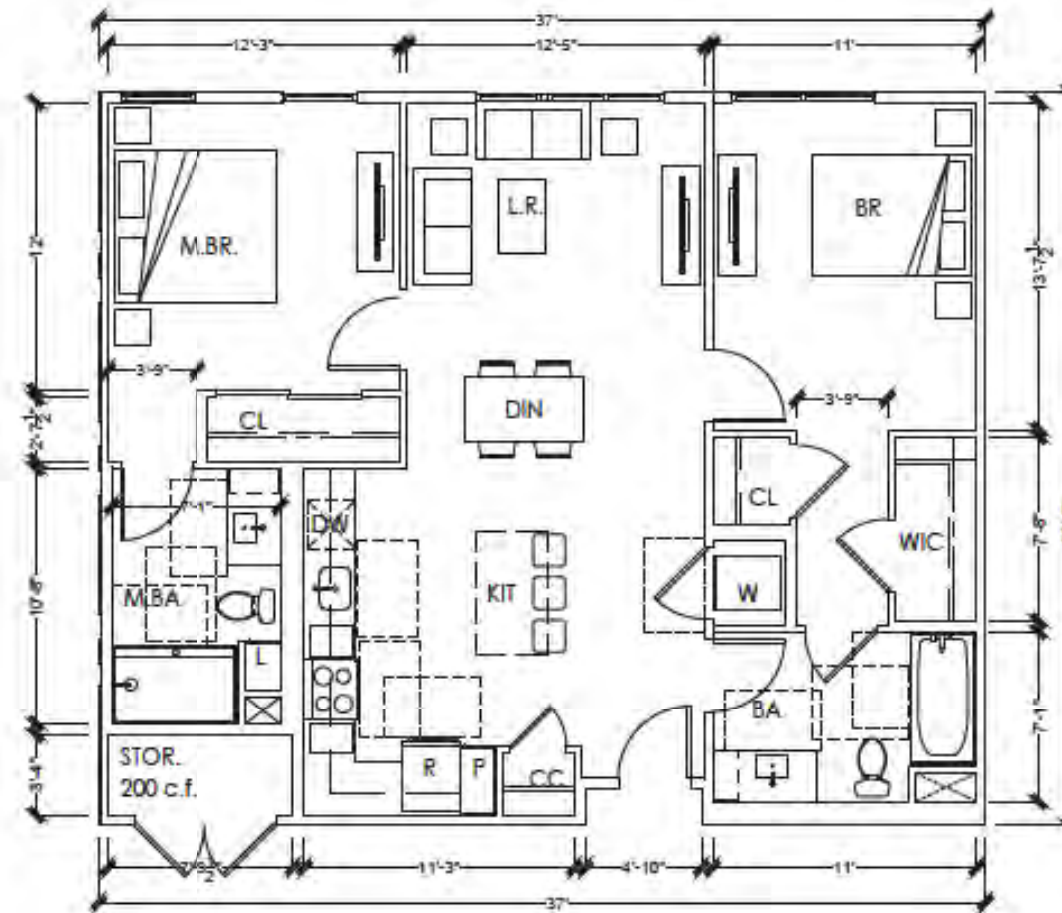
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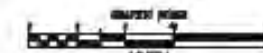
UNIT 2A
 NRSF: 1,135 s.f. (gross)
 Balcony: 70 s.f.
 Storage: 200 c.f. (Outside unit in the corridor)
 Number: 2



UNIT 2B
 NRSF: 1,120 s.f. (gross)
 Balcony: 57 s.f.
 Storage: 200 c.f.
 (Outside unit on the corridor)
 Number: 27



UNIT 2B.1 (2B.2, 2B.3 SIMILAR)
 NRSF: 1,087 s.f. (gross)
 Balcony: 0 s.f.
 Storage: 200 c.f.
 (Outside unit on the corridor)
 Number: 4



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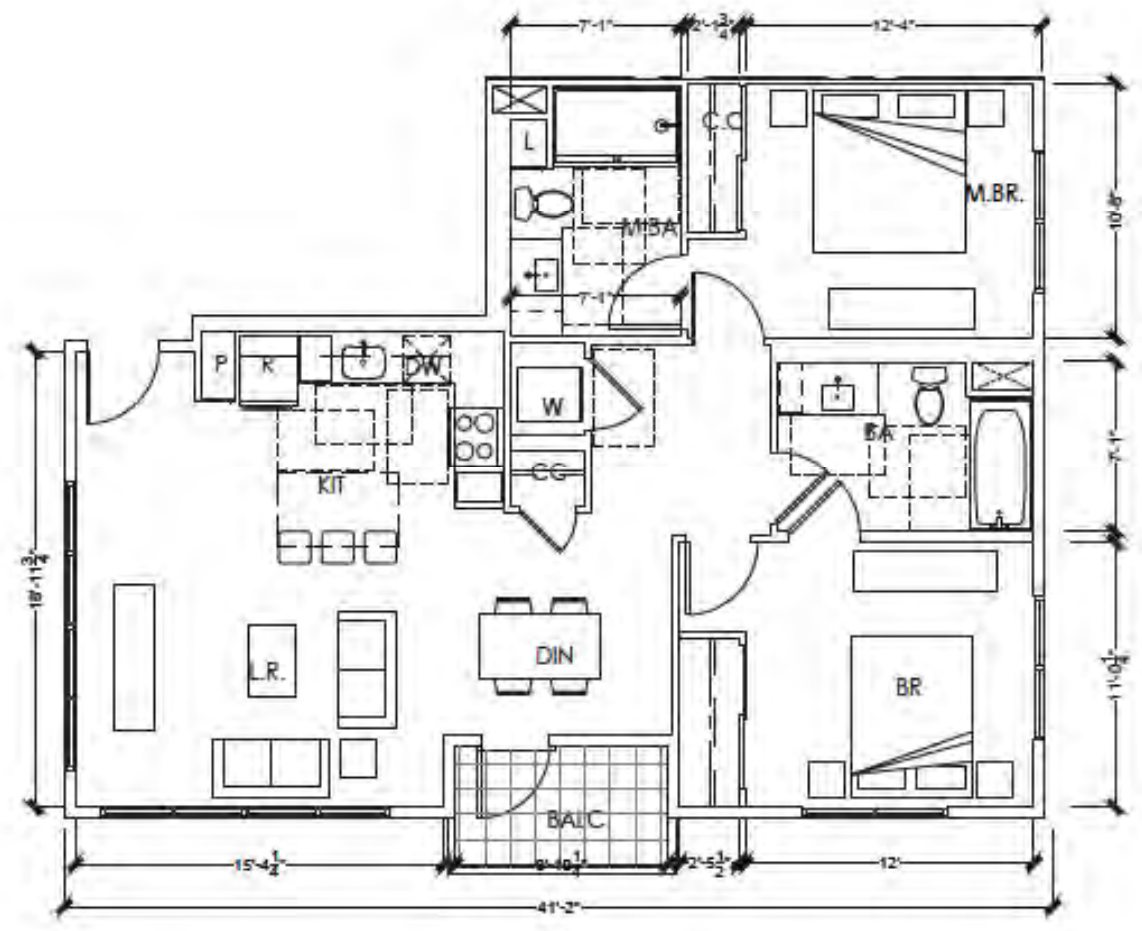
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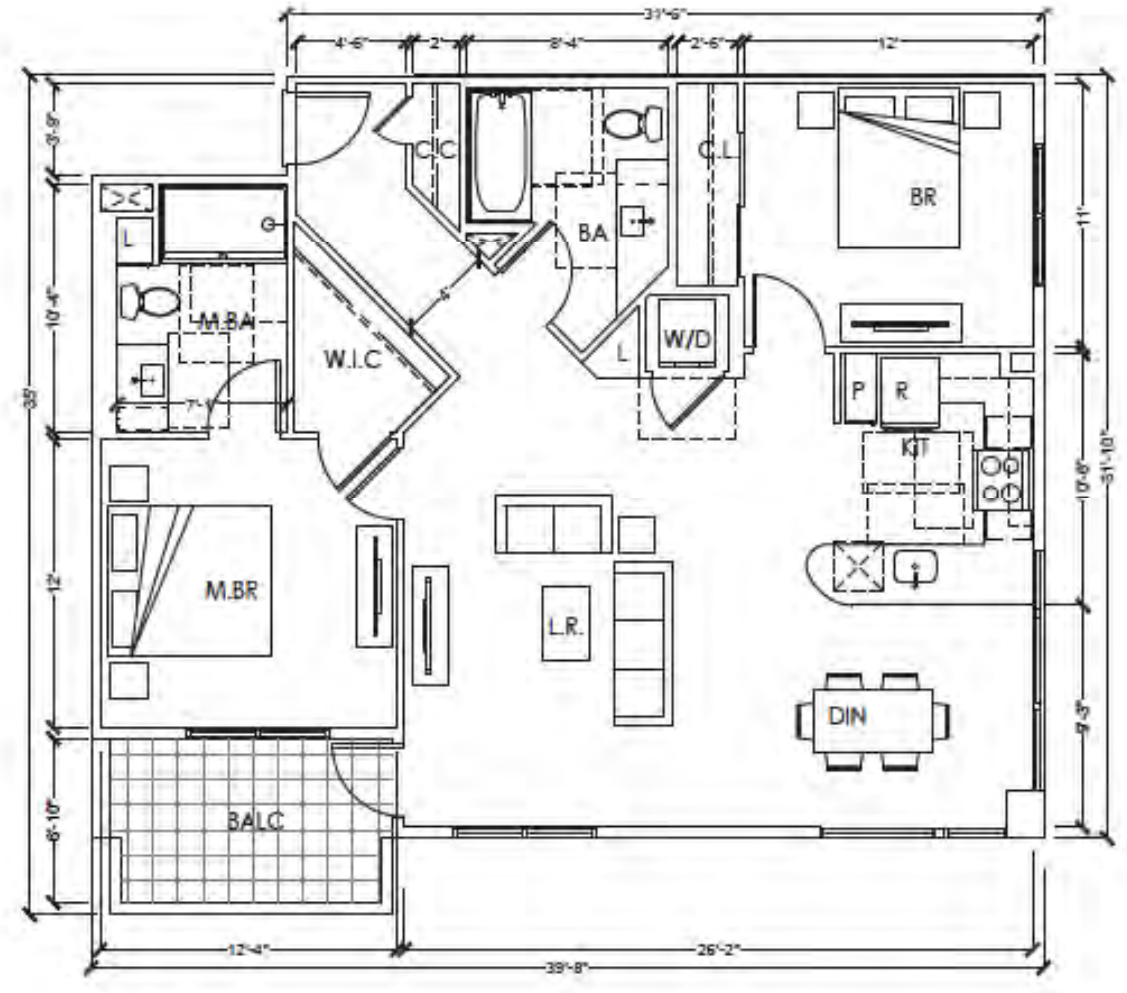
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UNIT 2C
NRSF: 1,074 s.f. (gross)
Balcony: 43s.f.
Storage: 200 c.f. (Outside unit on the corridor)
Number: 4



UNIT 2E
NRSF: 1,185 s.f. (gross)
Balcony: 58 s.f.
Storage: 164 c.f. (Outside the unit in the corridor)
Number: 6



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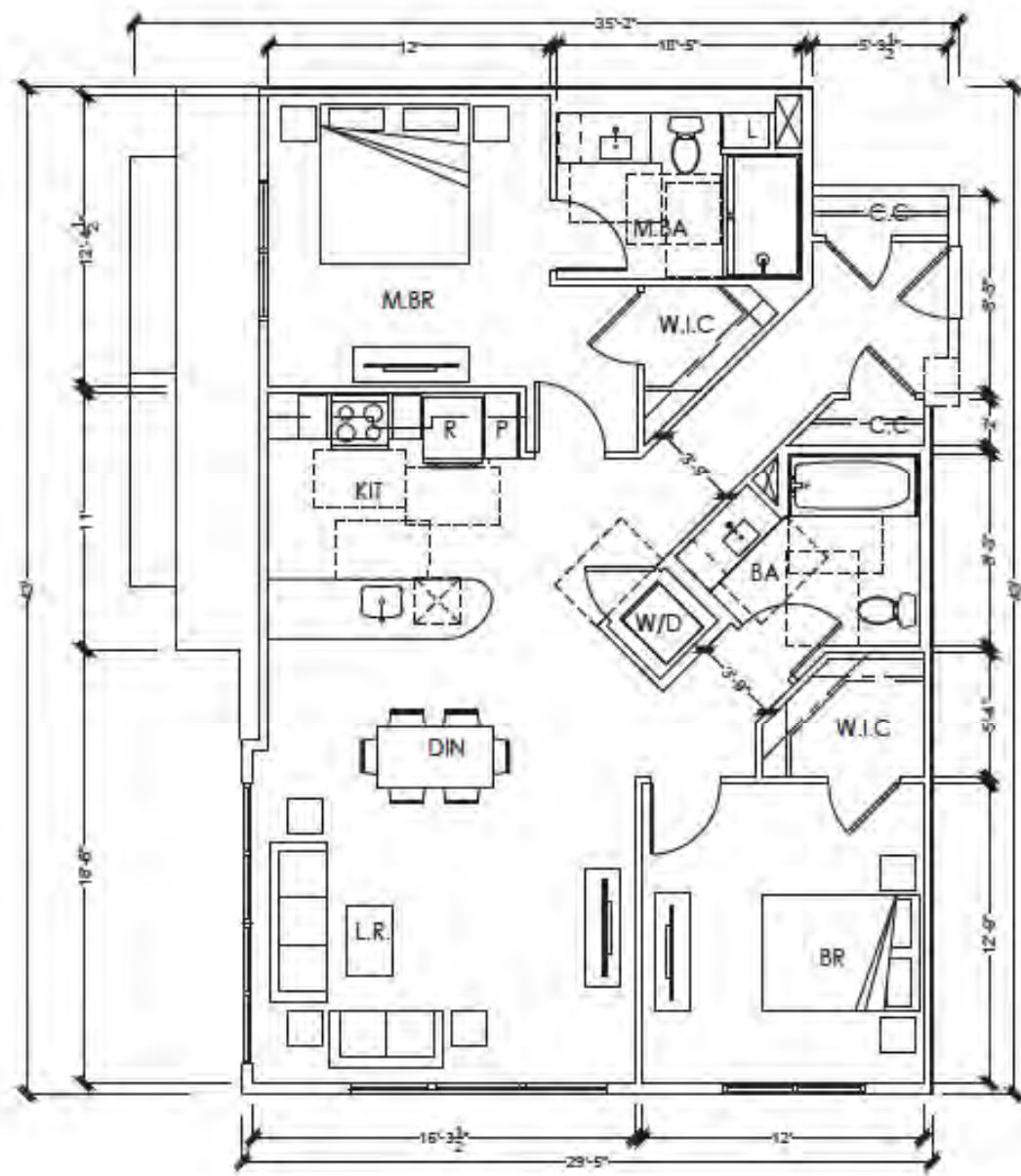
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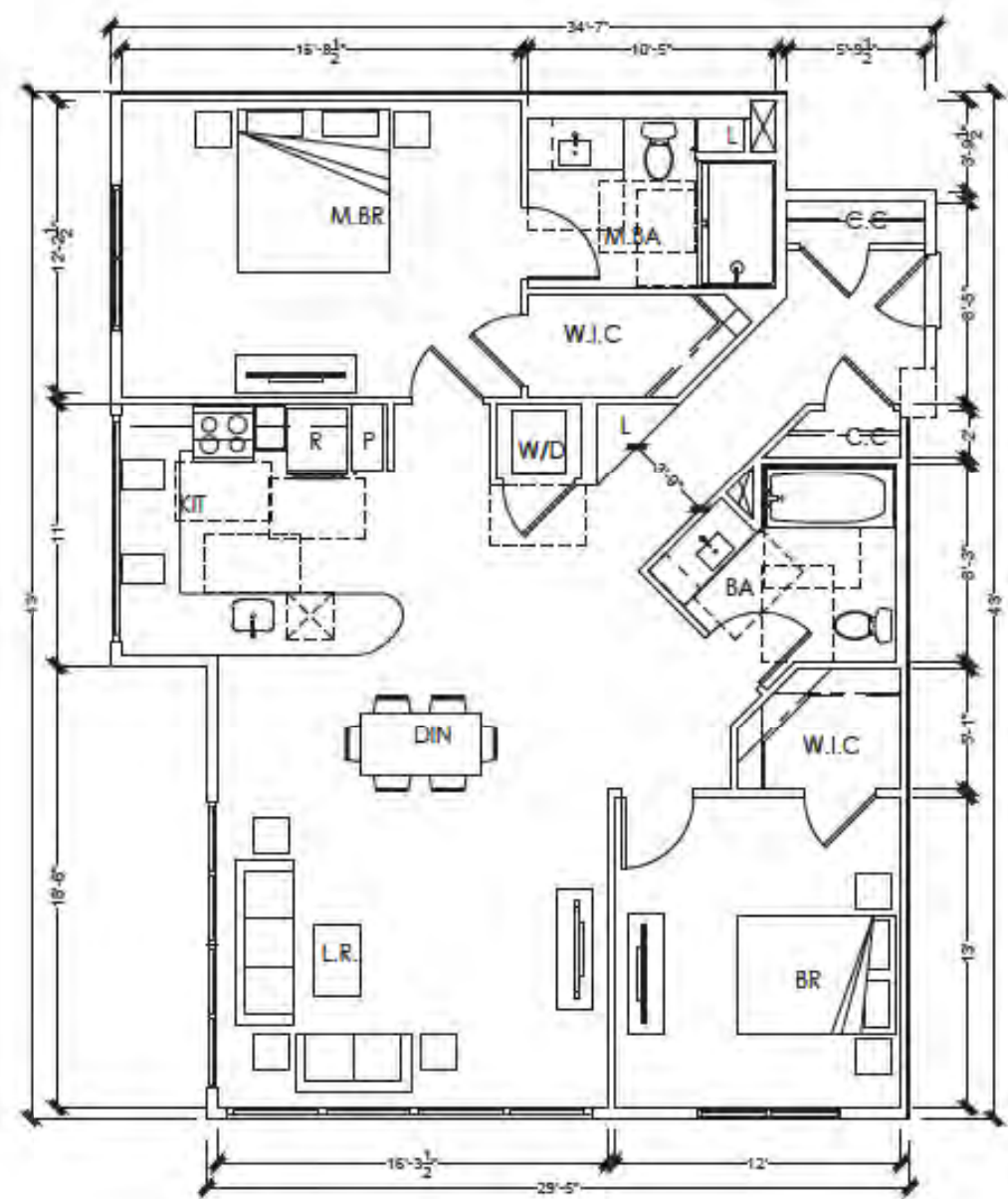
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UNIT 2D.1
NRSF: 1,233s.f. (gross)
Balcony: 0s.f.
Storage: 200 c.f. (Outside the unit in the corridor)
Number: 1



UNIT 2D
NRSF: 1,292s.f. (gross)
Balcony: 52 s.f.
Storage: 200 c.f. (Outside the unit in the corridor)
Number: 4





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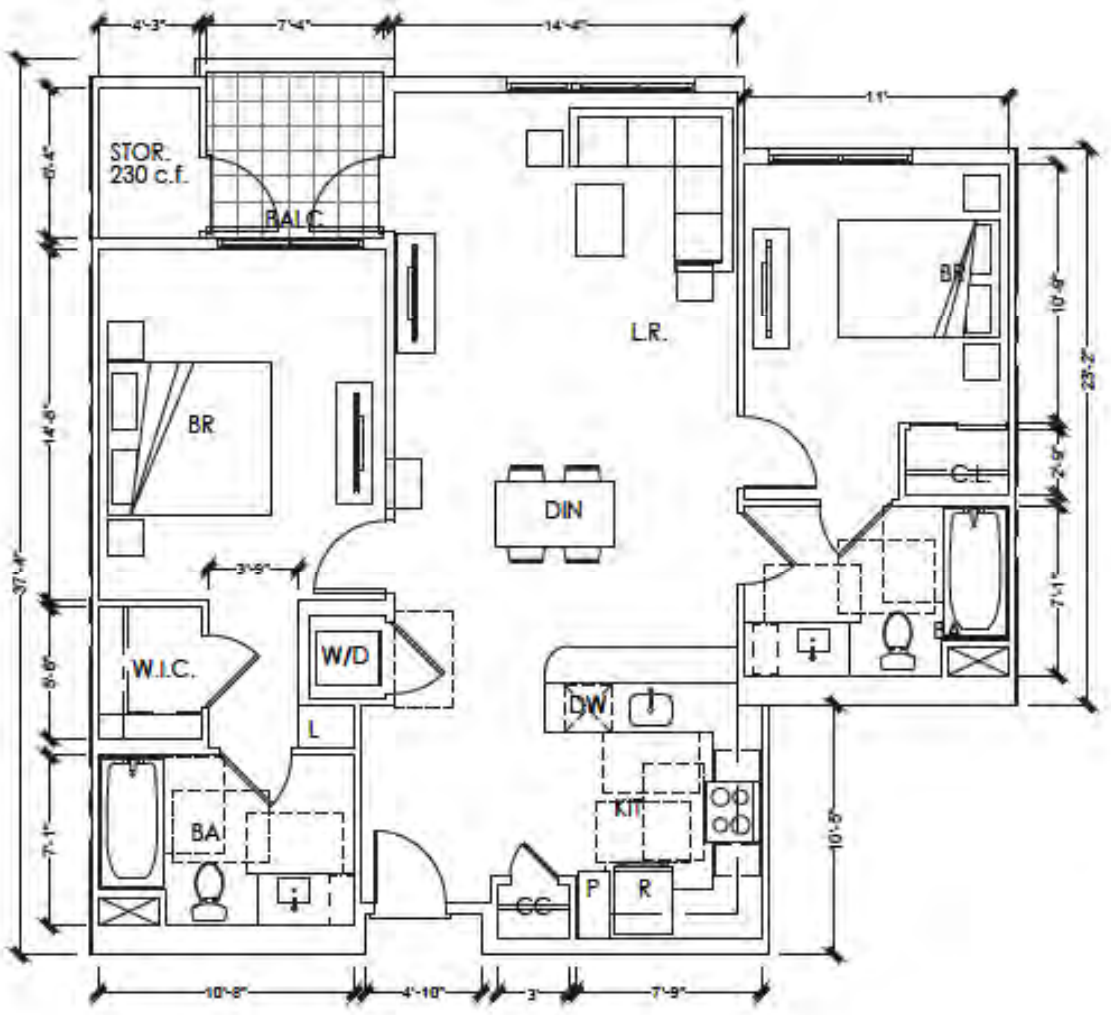
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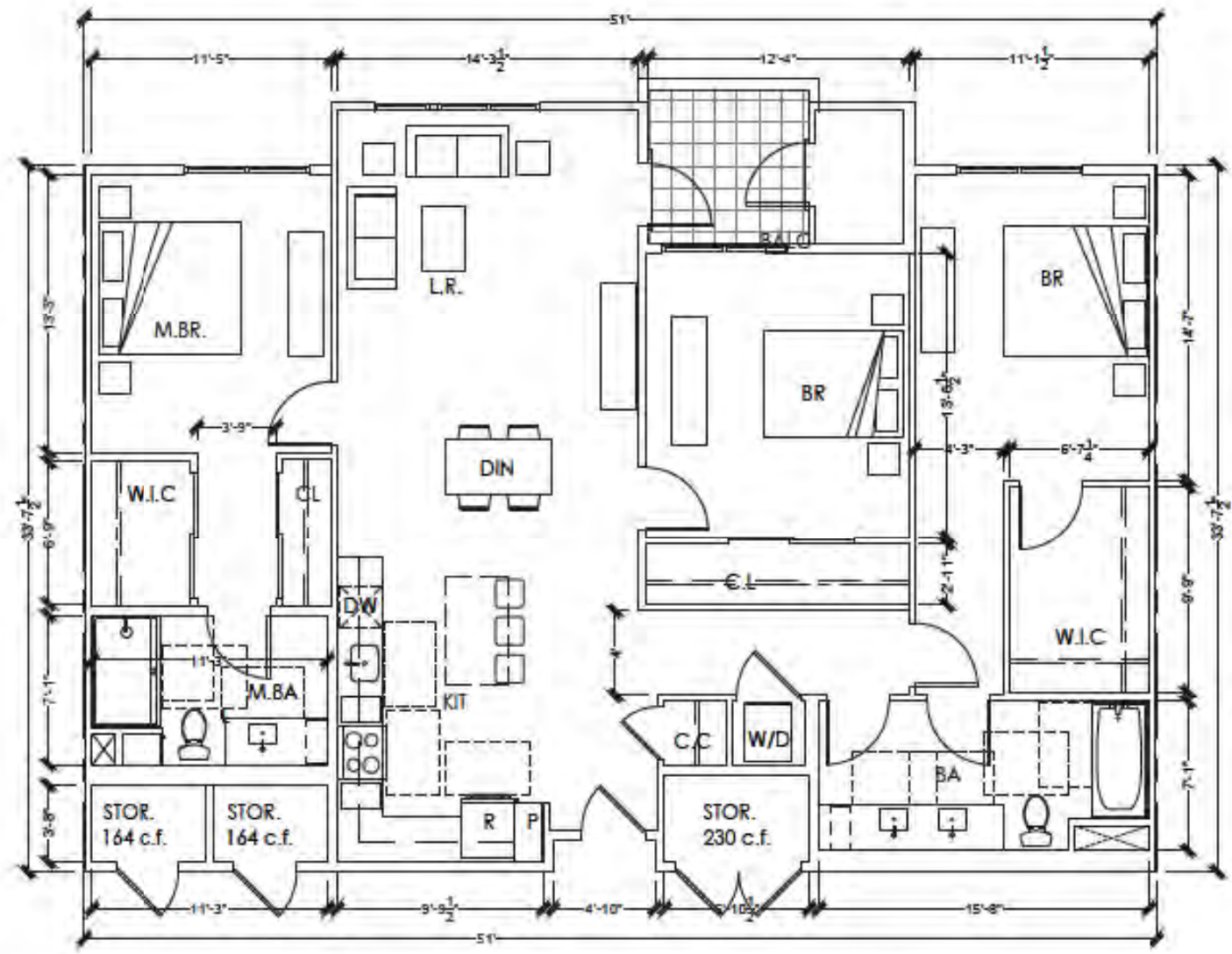
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UNIT PLANS
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UNIT 2F
NRSF: 1,096 s.f. (gross)
Balcony: 43s.f.
Storage: 200 c.f. (Outside unit on the corridor)
Number: 5



UNIT 3A
NRSF: 1,560 s.f. (gross)
Balcony: 130 s.f.
Storage: 200 c.f. (Outside unit on the corridor)
Number: 5





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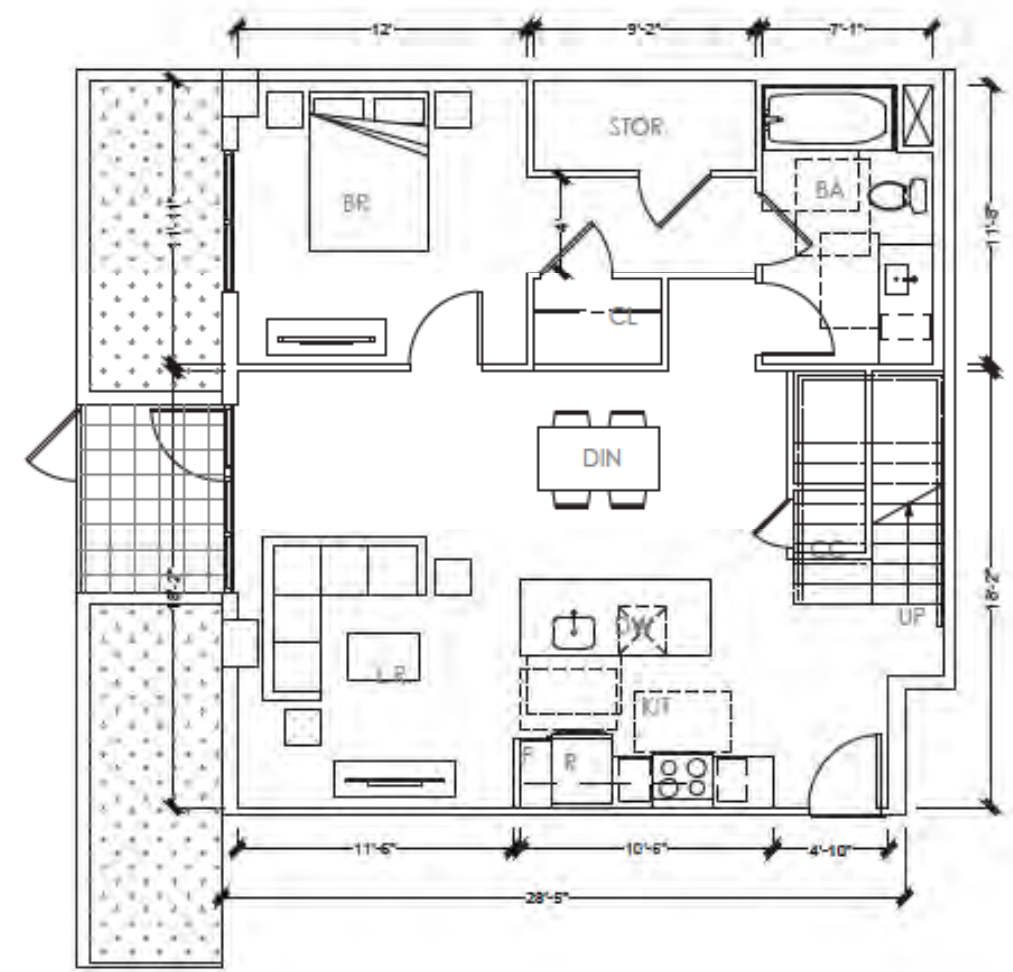
The Residences
@ Shoreline Gateway

Mountain View, California

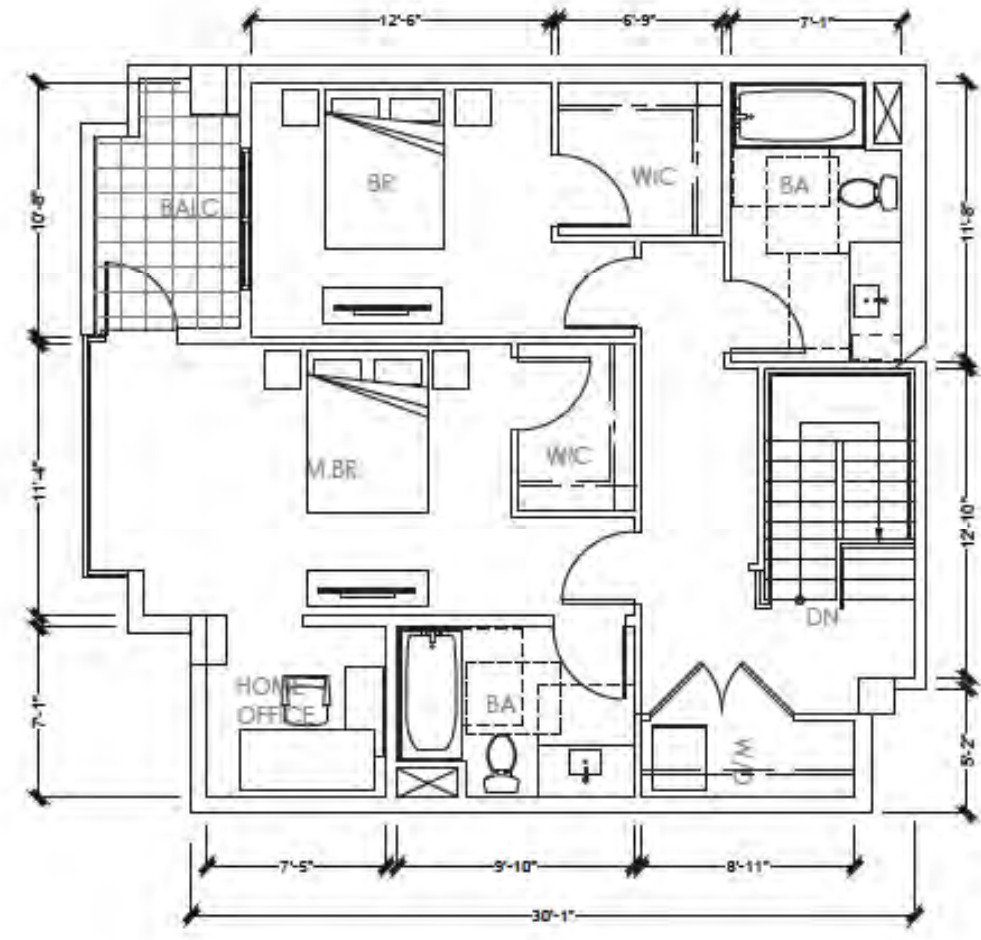
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UNIT PLANS
BLOCK B

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:
A536

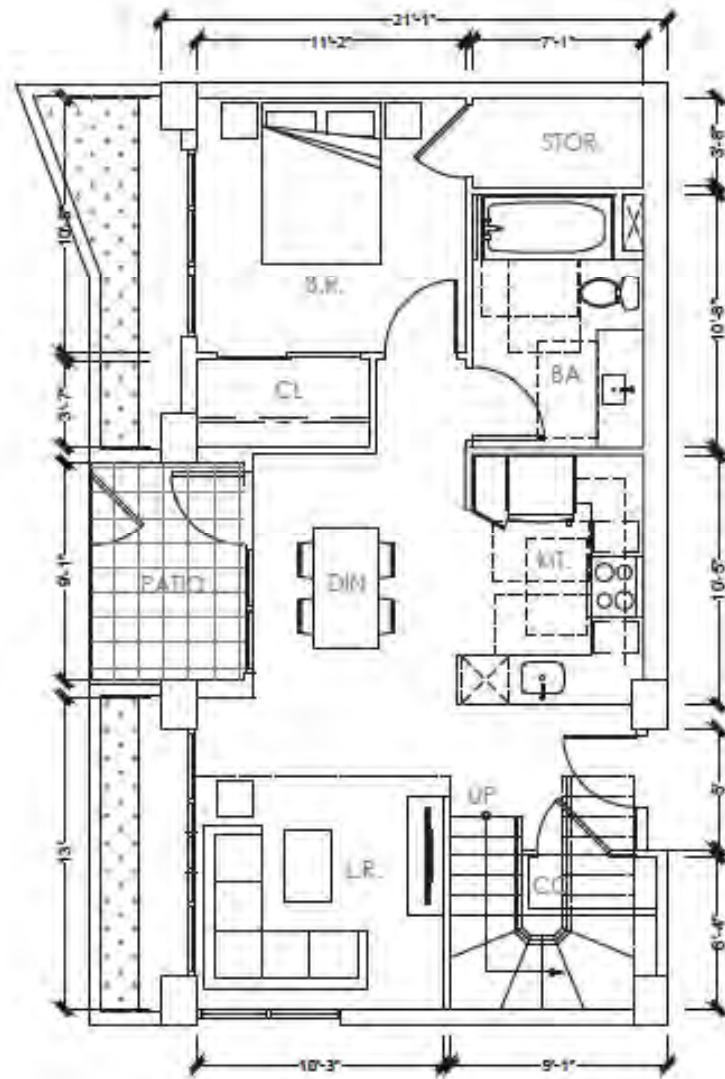


UNIT TH-1, LOWER LEVEL



UNIT TH-1, UPPER LEVEL
3 BR, 3 BATH PLUS DEN
NRSF: 934 + 961 = 1,895 s.f.
Balcony: 55 s.f.
Patio: 47 s.f.
Storage: 200 c.f. (in unit)
Number: 1





UNIT TH-2 , LOWER LEVEL



UNIT TH-2 , UPPER LEVEL
 2 BR, 2.5 BATH PLUS FAMILY ROOM
 NRSF: 767 + 695 = 1,462 s.f.
 Patio: 57 s.f.
 Storage: 288 c.f. (in unit)
 Number: 2



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Sheet Title:
 UNIT PLANS
 BLOCK B

Job No. 16021
 Date: 03/09/2020
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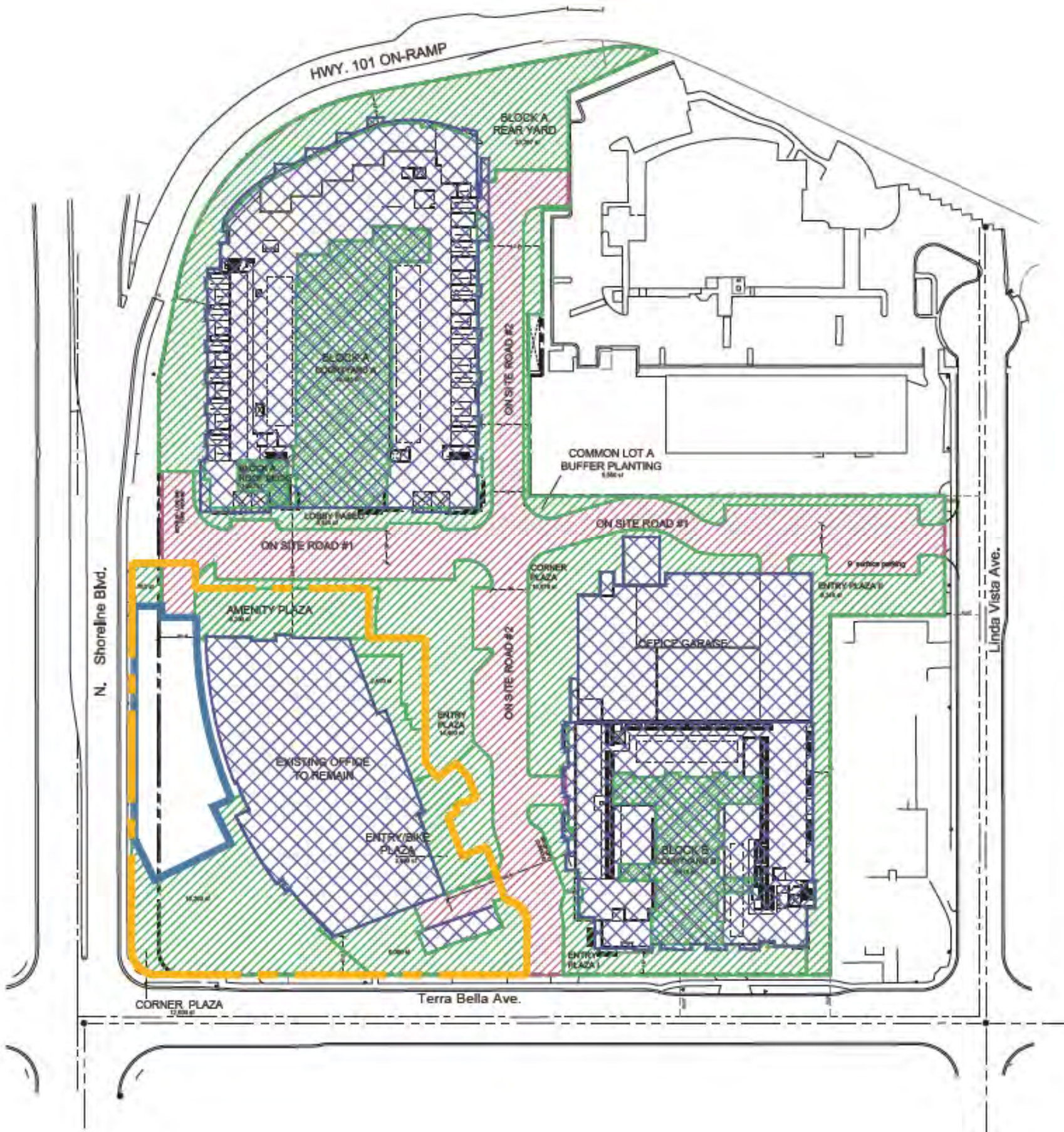
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Sheet Title:
ZONING
CALCULATION

Job No. 16021
Date: 03/09/2020
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Sheet No:
A600



PROPOSED ZONING CALCULATIONS		
	AREA	PERCENTAGE
TOTAL SITE AREA	340,294.7 SF	112%
SETBACKS	NOTE ON PLANS	
PAVING COVERAGE	53,324 SF	15.7%
BUILDING COVERAGE		
BLOCK A	65,406 SF	
BLOCK B	37,616 SF	
OFFICE BUILDING	31,650 SF	
OFFICE GARAGE	23,100 SF	
OFFICE GARAGE FLEX SPACE	900 SF	
ACCESSORY	2,550 SF	
TOTAL	161,221 SF	47.4%
OPEN SPACE		
PHASE II COMMON+PRIVATE OPEN SPACE	150,263 SF	44.2%
PHASE I OPEN SPACE	13,130 SF	3.9%
TOTAL	163,393 SF	48.0%

EXISTING ZONING CALCULATIONS		
	AREA	PERCENTAGE
TOTAL SITE AREA	340,310.9 SF	106%
SETBACKS	"ML" Front yard :30' Average with 20' min "ML" Rear yard: None "ML" Side yard :30' Average with 10' min	
PAVING COVERAGE	170,425 SF	50.1%
BUILDING COVERAGE	28,031 SF	8.2%
OPEN SPACE	162,383 SF	47.7%





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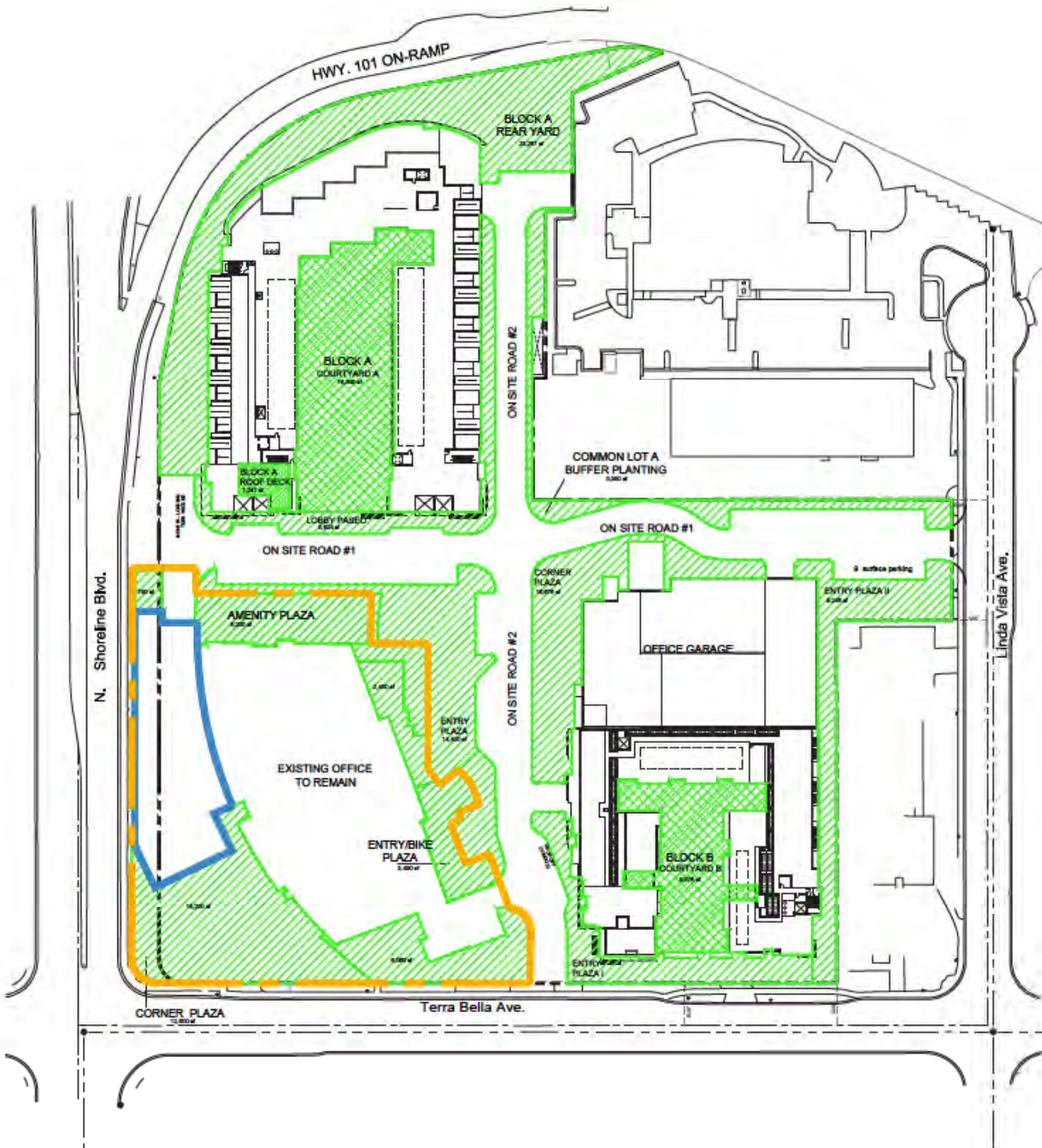
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Sheet Title:
OPEN SPACE
CALCULATION

Job No. 16021
Date: 03/09/2020
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A610



PHASE II RESIDENTIAL AREA

COMMON OPEN SPACE (COURTYARD)

COMMON OPEN SPACE (ROOF DECK)

COMMON OPEN SPACE (REAR YARD, PASEO, PLAZA AND PARK)

PHASE I COMMERCIAL AREA

PHASE 1 OFFICE SITE AREA EXISTING TO REMAIN

PHASE 1 OFFICE LANDSCAPING AREA (15% of the Phase 1 Existing To Remain Office Site Area)

PHASE II RESIDENTIAL OPEN SPACE		
	REQUIRED	PROVIDED
COMMON USABLE OPEN SPACE		
BLOCK A COURTYARD A		18,345 SF
BLOCK B COURTYARD B		9,878 SF
BLOCK A REAR YARD		23,267 SF
BLOCK A ROOF DECK		1,247 SF
BLOCK A LOBBY PASEO		6,824 SF
BLOCK B CORNER PLAZA AND ENTRY PLAZA I		16,676 SF
BLOCK B ENTRY PLAZA II		9,246 SF
BUFFER PLANTING		5,550 SF
OFFICE BLOCK PARK AND ENTRY PLAZA		48,550 SF
COMMON OPEN SPACE TOTAL		139,583 SF
COMMON OPEN SPACE AVERAGE PER UNIT		461 SF/UNIT
PRIVATE USABLE OPEN SPACE (BALCONIES)		
PRIVATE OPEN SPACE TOTAL		10,680 SF
PRIVATE OPEN SPACE AVERAGE PER UNIT		40 SF (267 deck units)
TOTAL COMMON+PRIVATE OPEN SPACE	24,240 SF	150,263 SF
TOTAL USABLE OPEN SPACE PER UNIT	80 SF/UNIT*	496 SF/UNIT

PHASE 1 COMMERCIAL OPEN AREA	
LANDSCAPING AREA	13,130 SF

* Per North Bayshore Precise Plan public draft Oct, 2016





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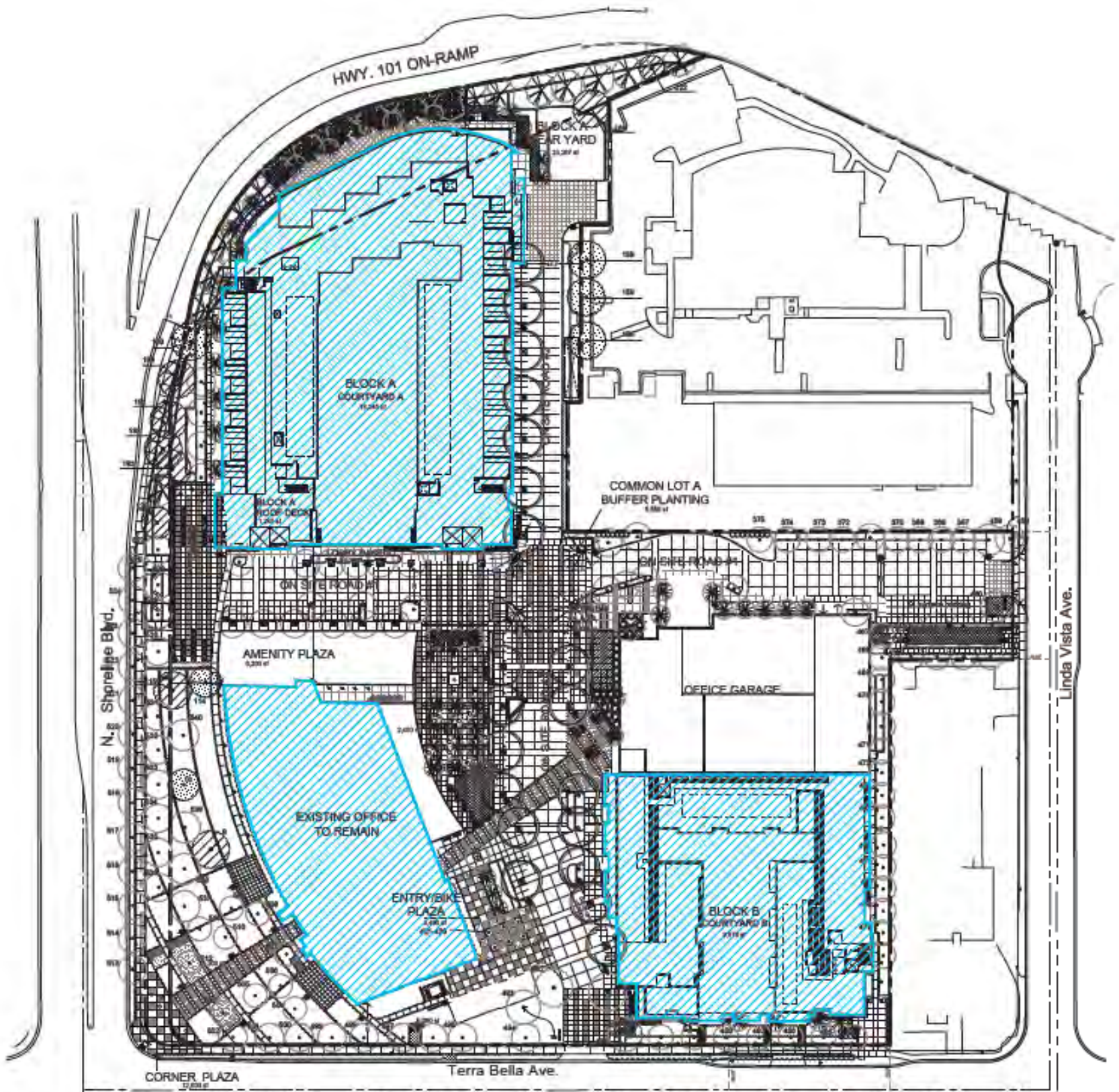
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Sheet Title: OVERALL F.A.R. CALCULATION

Job No. 16021
Date: 03/09/2020
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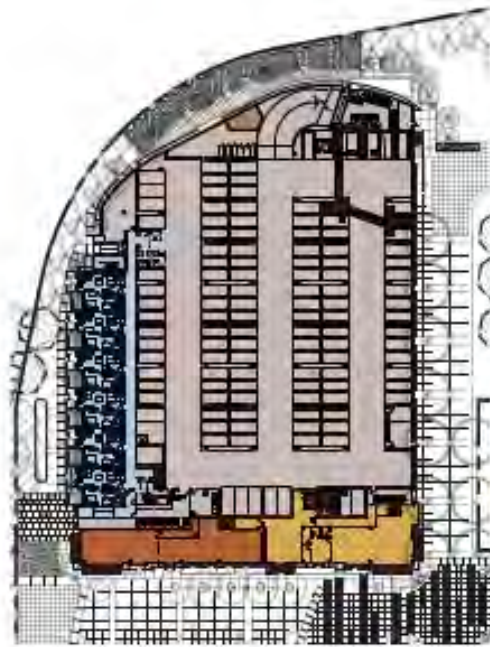
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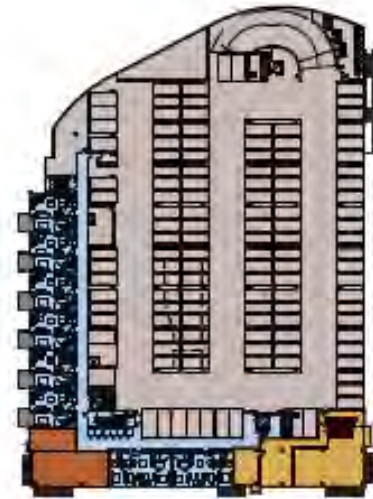
 FAR OUTLINE
(See A621, A622 for details)

Phase I + Phase II PROGRAM	Number
Office (Existing structure to remain on site)	111,443 sf
Block A Residential, Garage and Retail total GFA	369,614 sf
Block B Residential and Garage total GFA	203,885 sf
Total	684,942 sf
Total Lot Area	340,295 sf
FAR	2.01

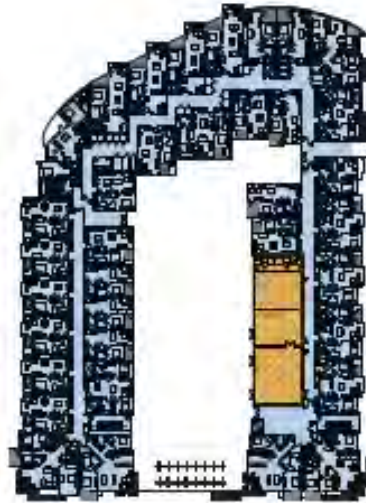




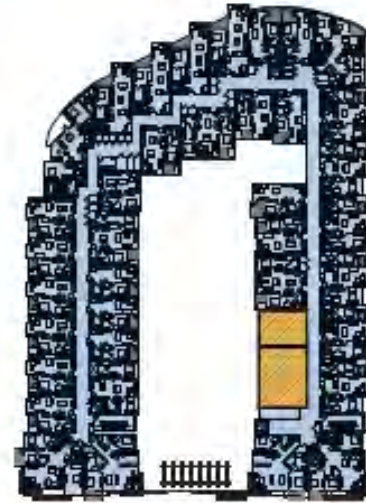
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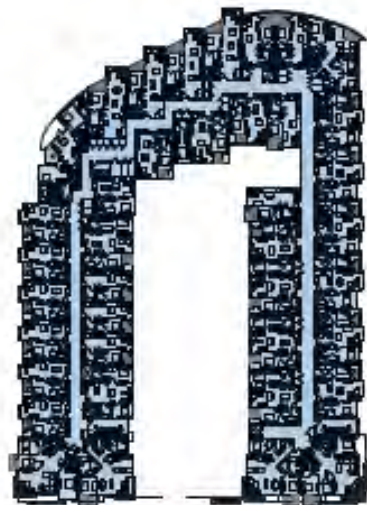
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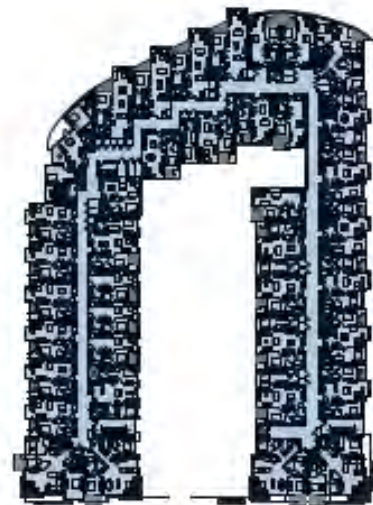
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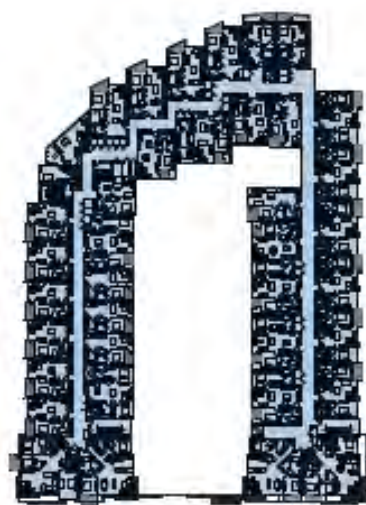
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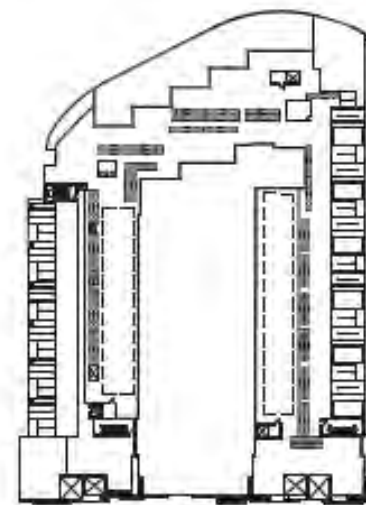
Level 5



Level 6



Level 7



Roof Level



BLOCK A					
	Gross Residential	Amenities	Garage	Retail	Residential with Garage total
Level 1	7,509	4,272	50,083	3,113	65,055
Level 2	11,197	3,109	49,176	1,733	65,674
Level 3	44,693	3,749			47,942
Level 4	46,024	3,000			48,117
Level 5	48,255				48,255
Level 6	48,255				48,255
Level 7	44,469				44,469
Level - Roof	1,496				1,496
Subtotal	252,134	13,390	99,314	4,846	369,614

*Note: Area measured to the exterior face of building walls, including decks that are not open to the sky. Excludes portions of decks which project beyond the face of the building. No Deductions for shafts or stairways are included.

BLOCK A RESIDENTIAL FLOOR PLANS

1" = 60'



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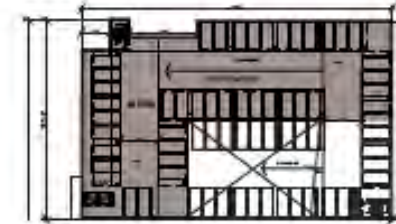
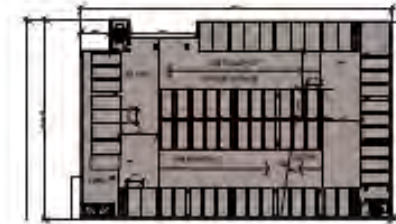
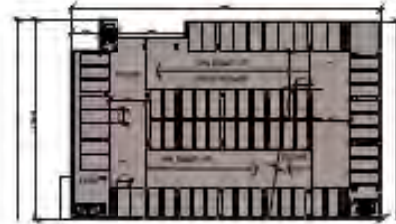
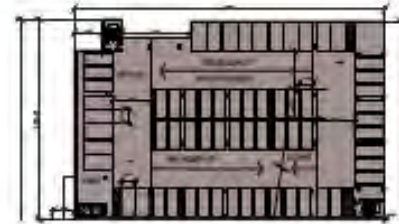
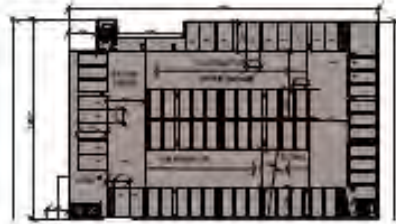
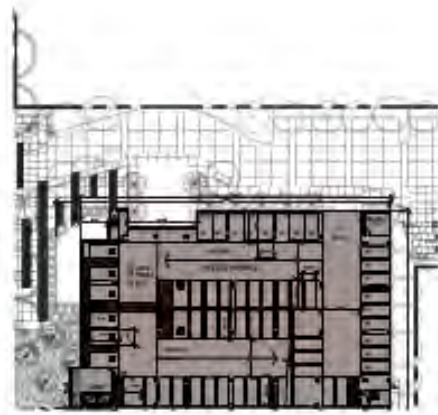
G.F.A.
CALCULATION
BLOCK A

Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

A621

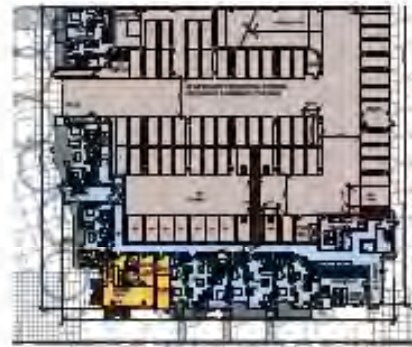




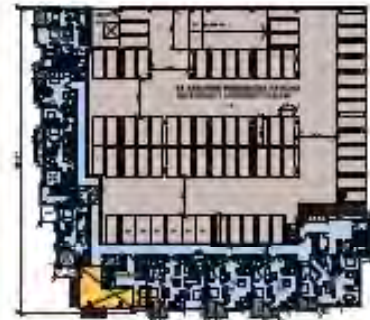
BLOCK B OFFICE GARAGE FLOOR PLANS

Office Garage is NOT included in F.A.R calculation.

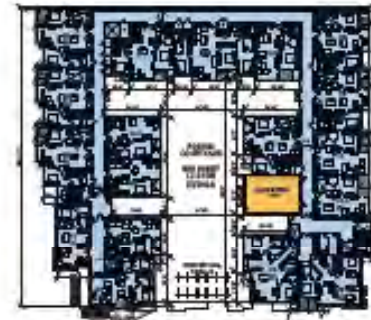
1
1" = 60'



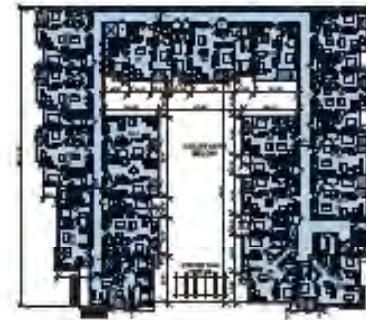
Level 1



Level 2

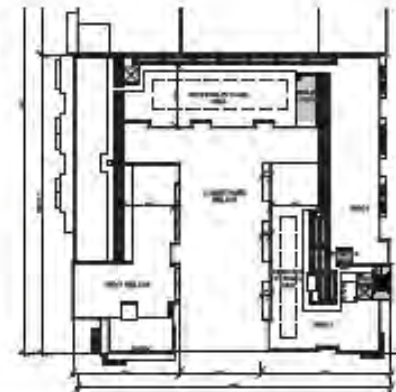
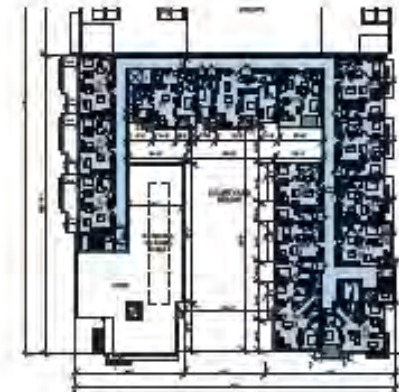
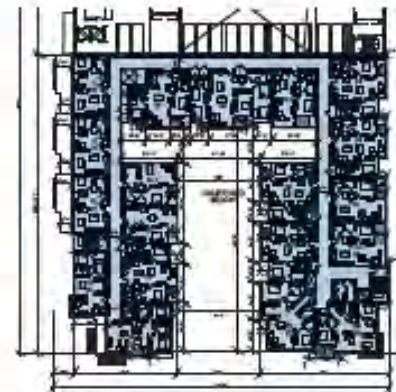
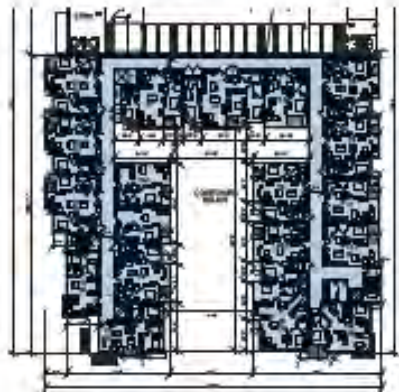


Level 3



Level 4

RESIDENTIAL (Blue square)
AMENITIES (Yellow square)
OFFICE GARAGE (Dark Grey square)
RESIDENTIAL GARAGE (Light Grey square)



BLOCK B RESIDENTIAL FLOOR PLANS

2
1" = 60'

BLOCK B					
	Gross Residential	Amenities	Residential Podium garage	Residential with Garage total	Office Garage
Level 1	5,613	1,298	38,703	57,616	23,280
Level 2	11,622	711	34,761	57,094	23,300
Level 3	25,927	874	0	26,801	23,300
Level 4	27,445	0	0	27,445	23,300
Level 5	27,450	0	0	27,450	23,300
Level 6	26,357	0	0	26,357	23,300
Level 7	30,197	0	0	30,197	0
Roof	948	0	0	948	0
Total	149,539	2,883	38,764	203,895	131,010

Total GFA excluding the office garage: 203,895 SF
Total GFA including the office garage: 335,152 SF

*Note: Area measured to the exterior face of building walls, including decks that are not open to the sky. Excludes portions of decks which project beyond the face of the building. No Deductions for shafts or stairways are included.

**Note: Office Garage is NOT included in F.A.R calculation.



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G.F.A.
CALCULATION
BLOCK B

Job No. 16021
Date: 03/09/2020
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A622





MAR/SEP 21st 10AM



JUN 21st 10AM



DEC 21st 10AM



MAR/SEP 21st 12PM



JUN 21st 12PM



DEC 21st 12PM



MAR/SEP 21st 3PM



JUN 21st 3PM



DEC 21st 3PM



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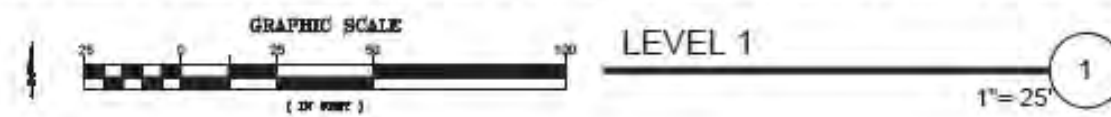
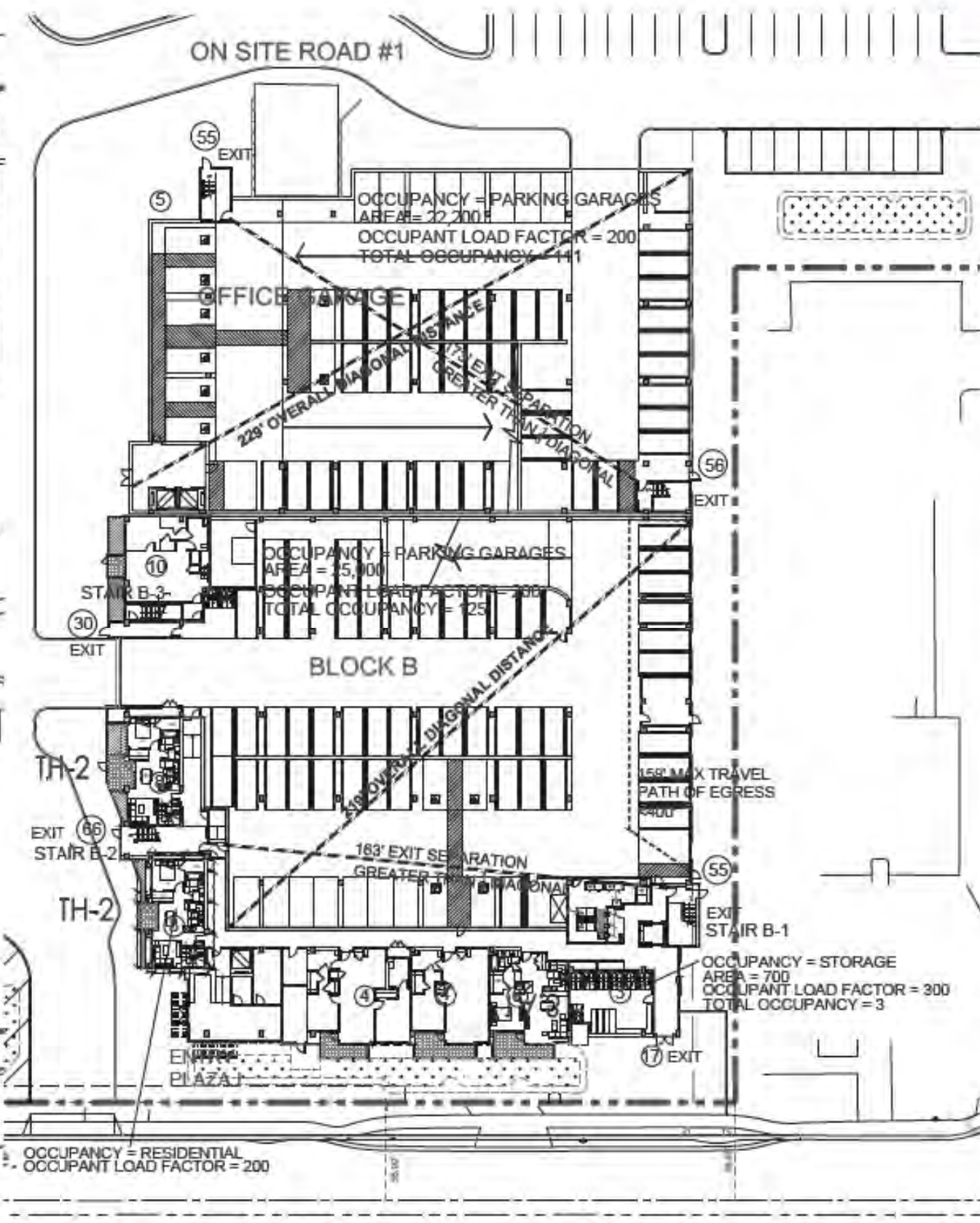
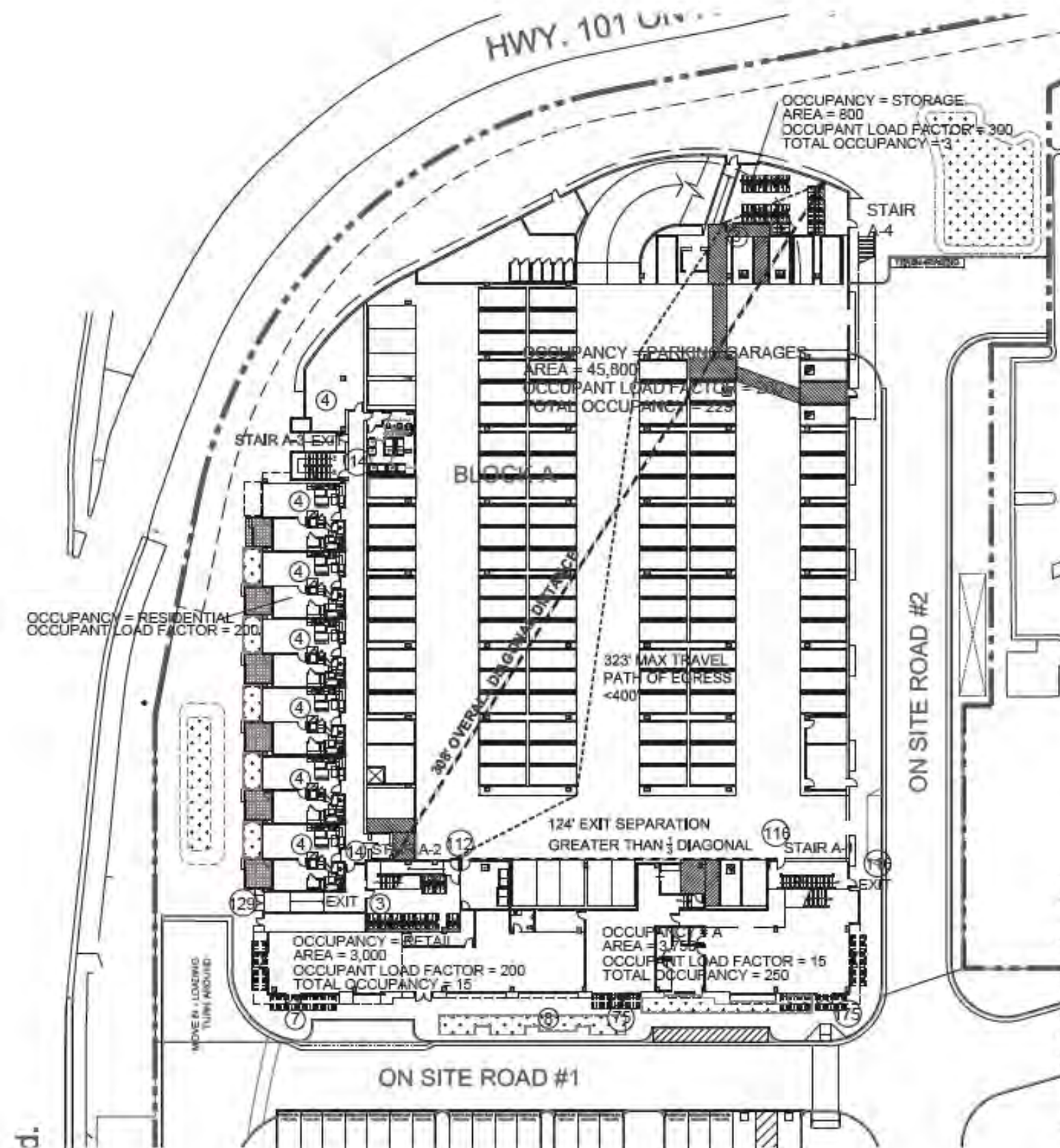
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OCCUPANT LOAD CALCULATION

Job No. 16021
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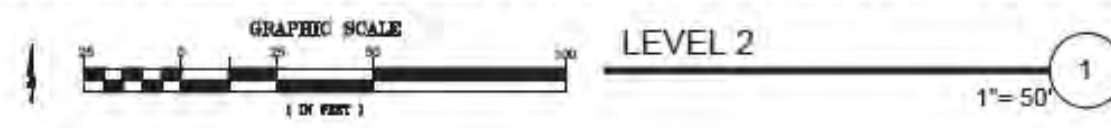
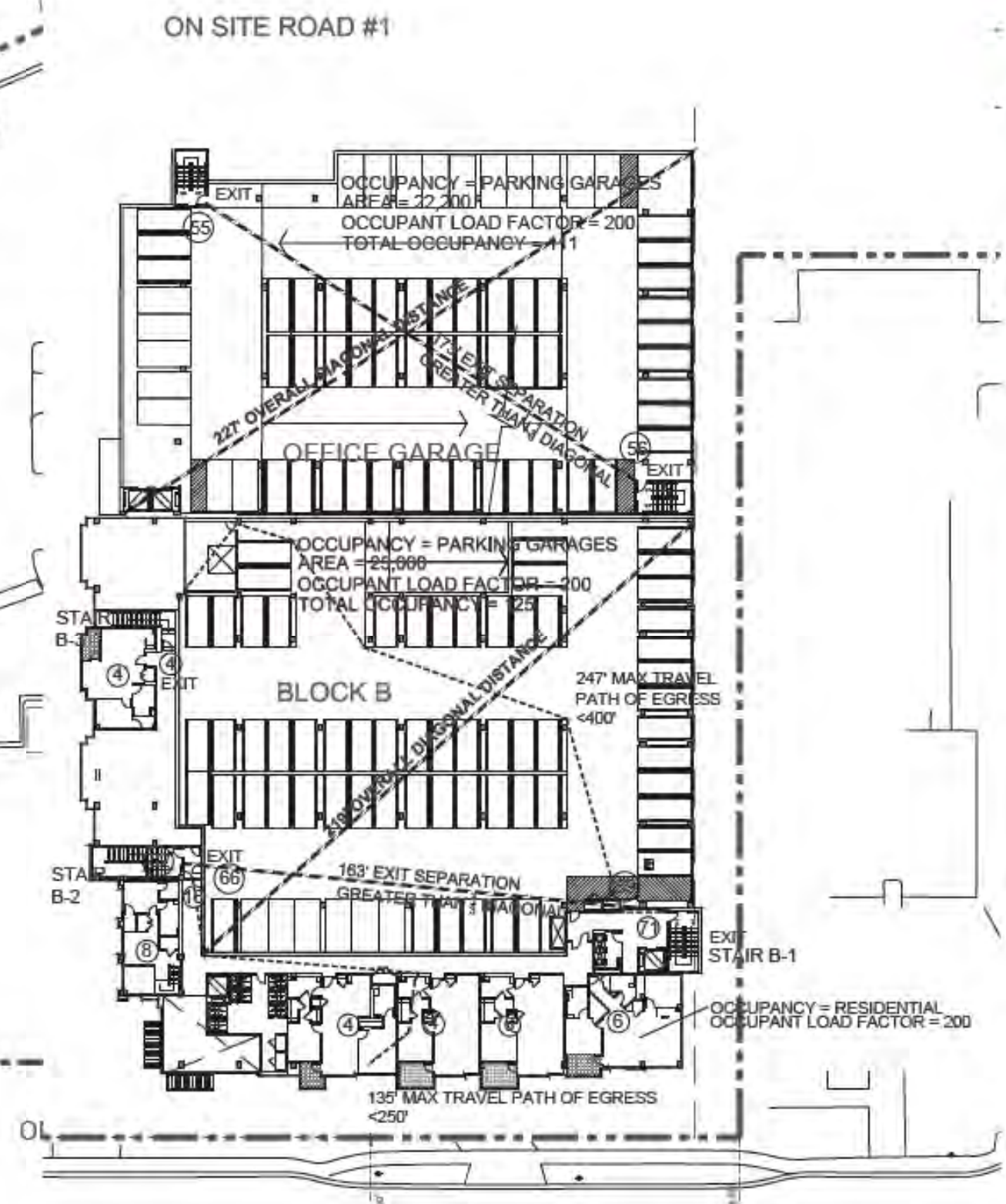
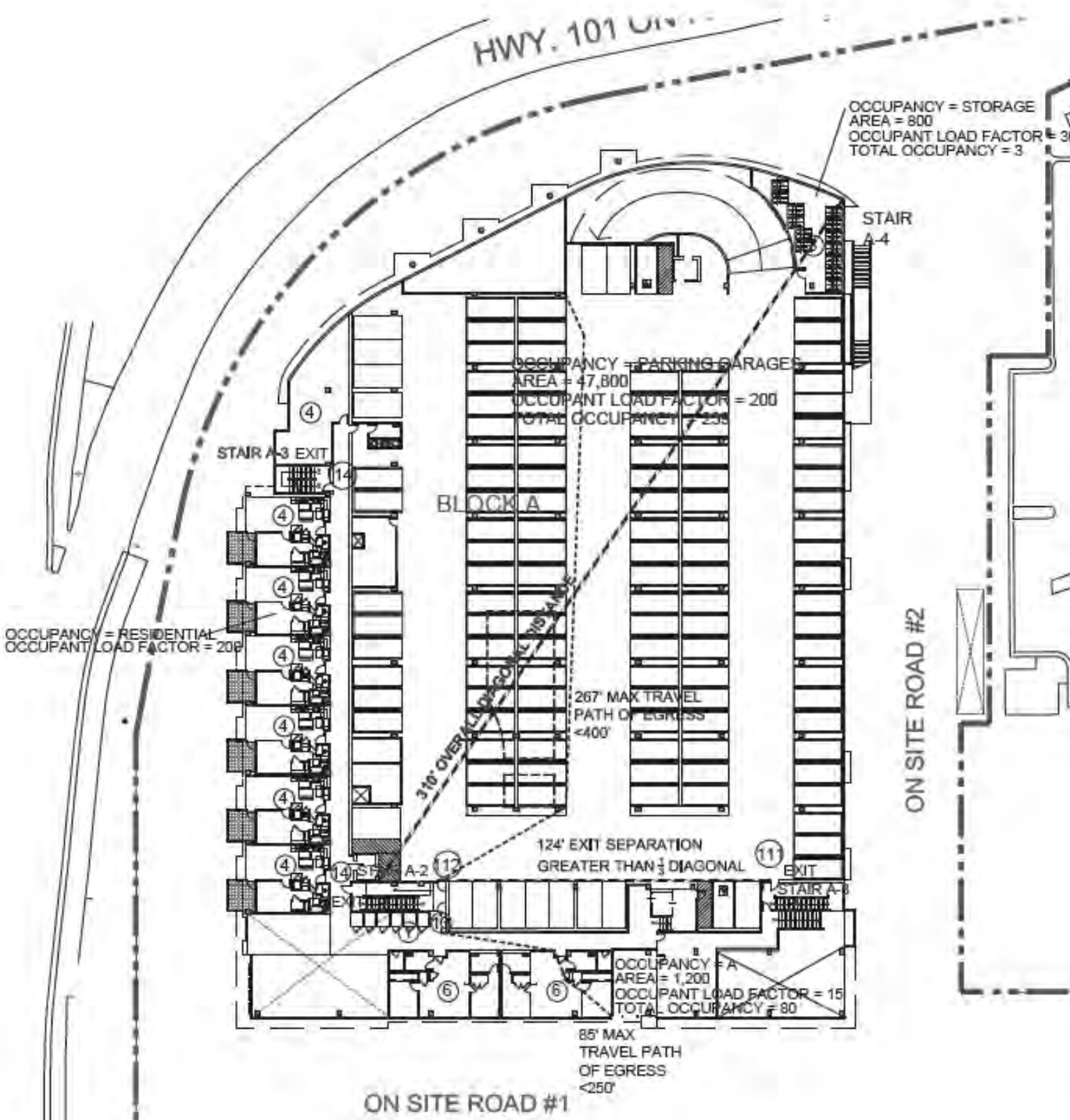
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Sheet Title:
OCCUPANT LOAD
CALCULATION

Job No. 16021
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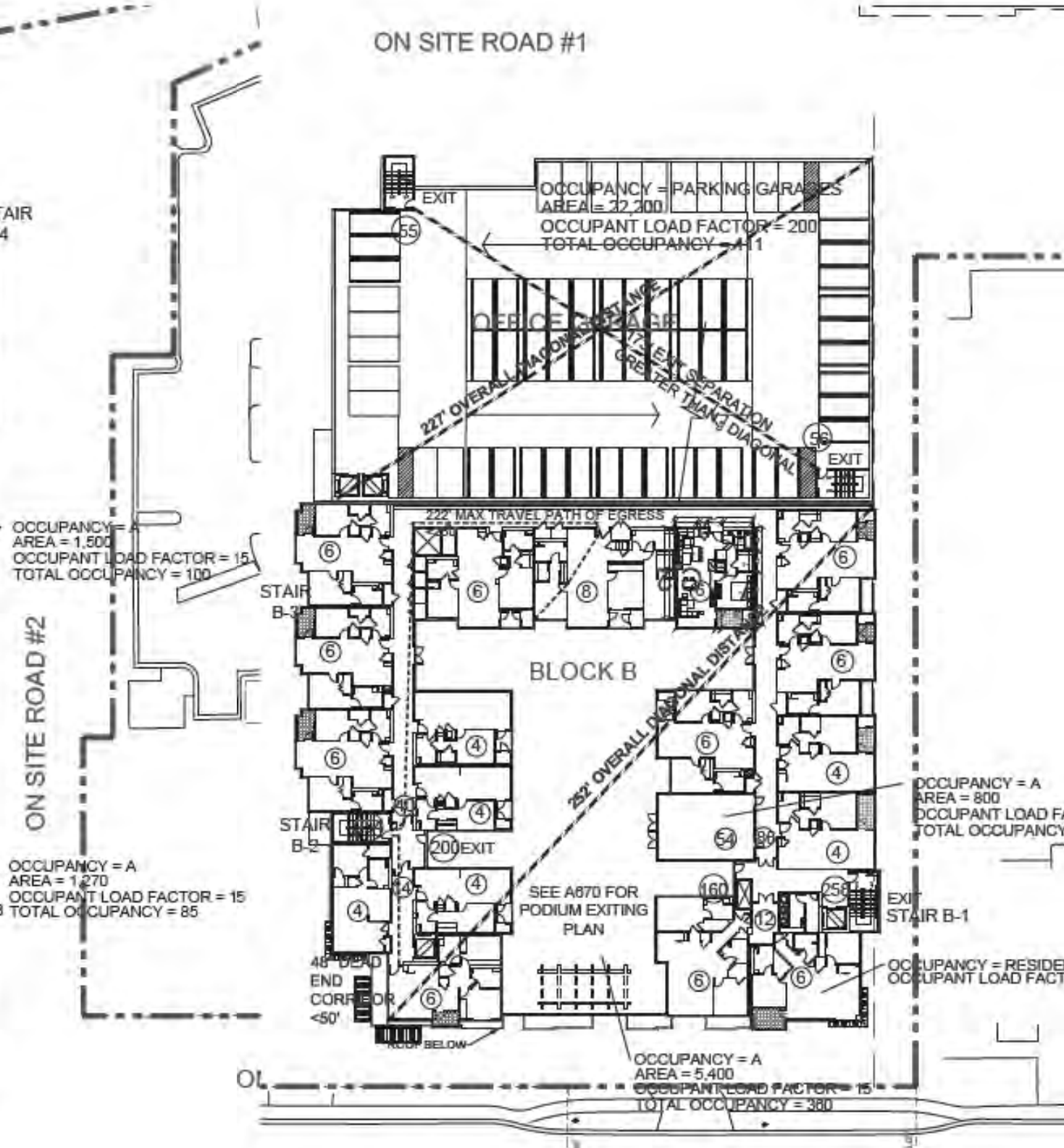
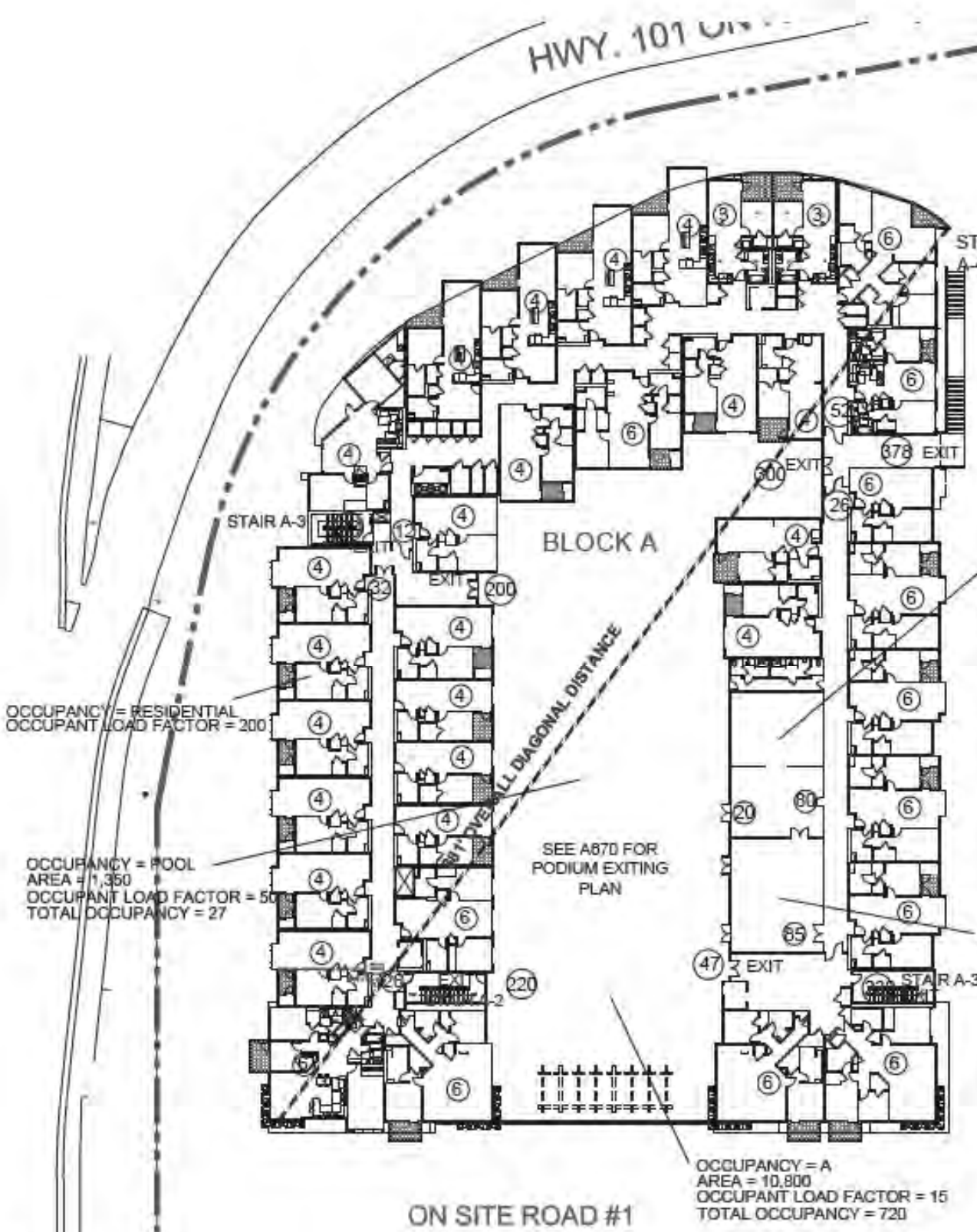
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Sheet Title:
OCCUPANT LOAD
CALCULATION

Job No. 16021
Date: 03/09/2020
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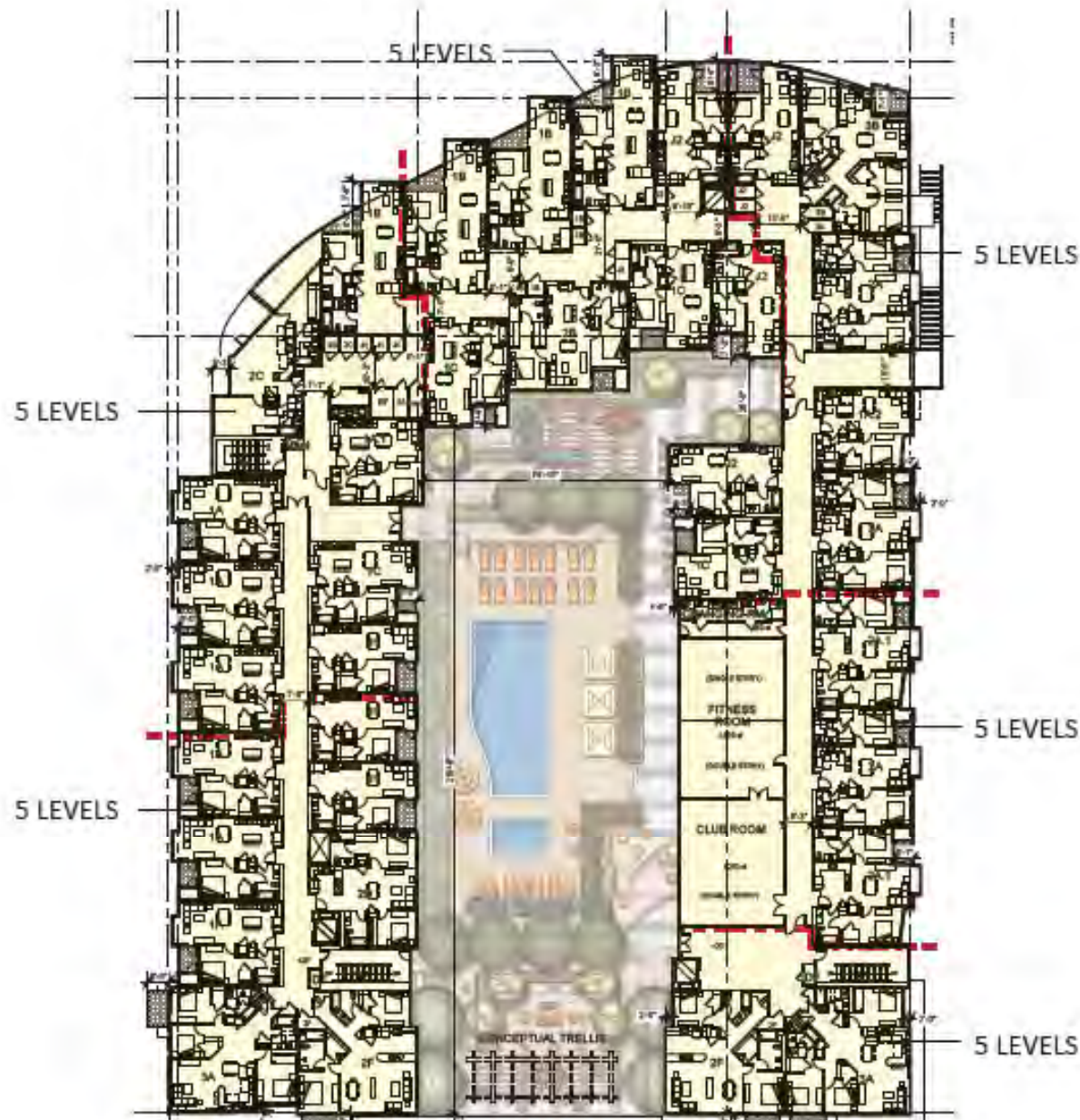
Mountain View, California

Sheet Title:
**ALLOWABLE AREA
CALCULATION AND
FIRE SEPARATION**

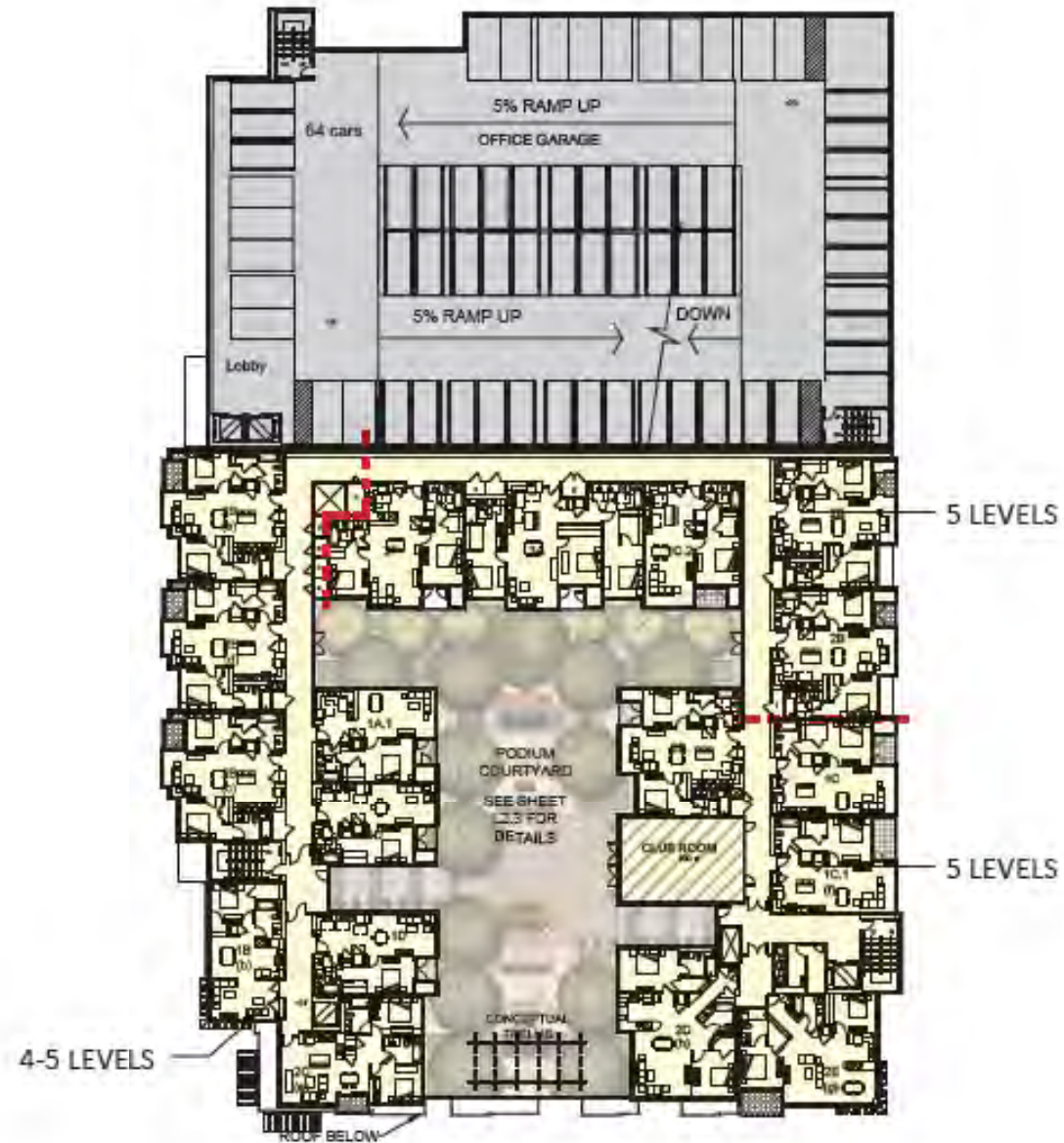
Job No. 16021
Date: 03/09/2020
Scale:
Drawn By:

Sheet No:

A660



**BLOCK A - APARTMENT
LEVEL 3 - TYPICAL**



**BLOCK B - CONDOMINIUM
LEVEL 3 - TYPICAL**

ALLOWABLE BUILDING AREA PLAN

	RESIDENTIAL BUILDING: TYPE III-A OCCUPANCY: R-2	RESIDENTIAL BUILDING: TYPE I-A OCCUPANCY: R-2	PARKING STRUCTURE: TYPE I-A OCCUPANCY: S-2
TABLE 504.3 -ALLOWABLE BUILDING HEIGHT	5 (WITH HEIGHT INCREASE)	UL	UL
TABLE 504.4 -ALLOWABLE BUILDING HEIGHT	85 FT.	UL	UL
TABLE 505.2 -ALLOWABLE AREA	24,000 S.F.	UL	UL
TABLE 506.2.3 -AREA INCREASE SINGLE OCCUPANCY, MULTISTORY BUILDINGS (EQUATION 5-2) $A_a = [A_t + (N \times k)] \times 5a$	48,000 S.F. (9,600 S.F. PER LEVEL)	N/A	N/A

3 HOUR FIRE WALL, TYP.
TERMINATE AT INTERIOR SURFACE OF EXTERIOR SHEATHING PROVIDED.
NO EXTERIOR PENETRATIONS FOR 4' ON EITHER SIDE.

NOTE:
- ALL ELEVATORS EMPLOY EMERGENCY POWER BY BACKUP GENERATOR
- ALL ELEVATORS ARE SIZED TO ACCOMMODATE GURNEYS
- ALL BLDG. EXITS LEAD TO ADA ACCESSIBLE EXIT TO PUBLIC SIDEWALK



STUDIO
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Architecture
Planning
Urban Design

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Oakland, California 94612
(510) 451-2850

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Sheet Title:
PODIUM EXITING
PLAN - BLOCK A




Job No. 16021
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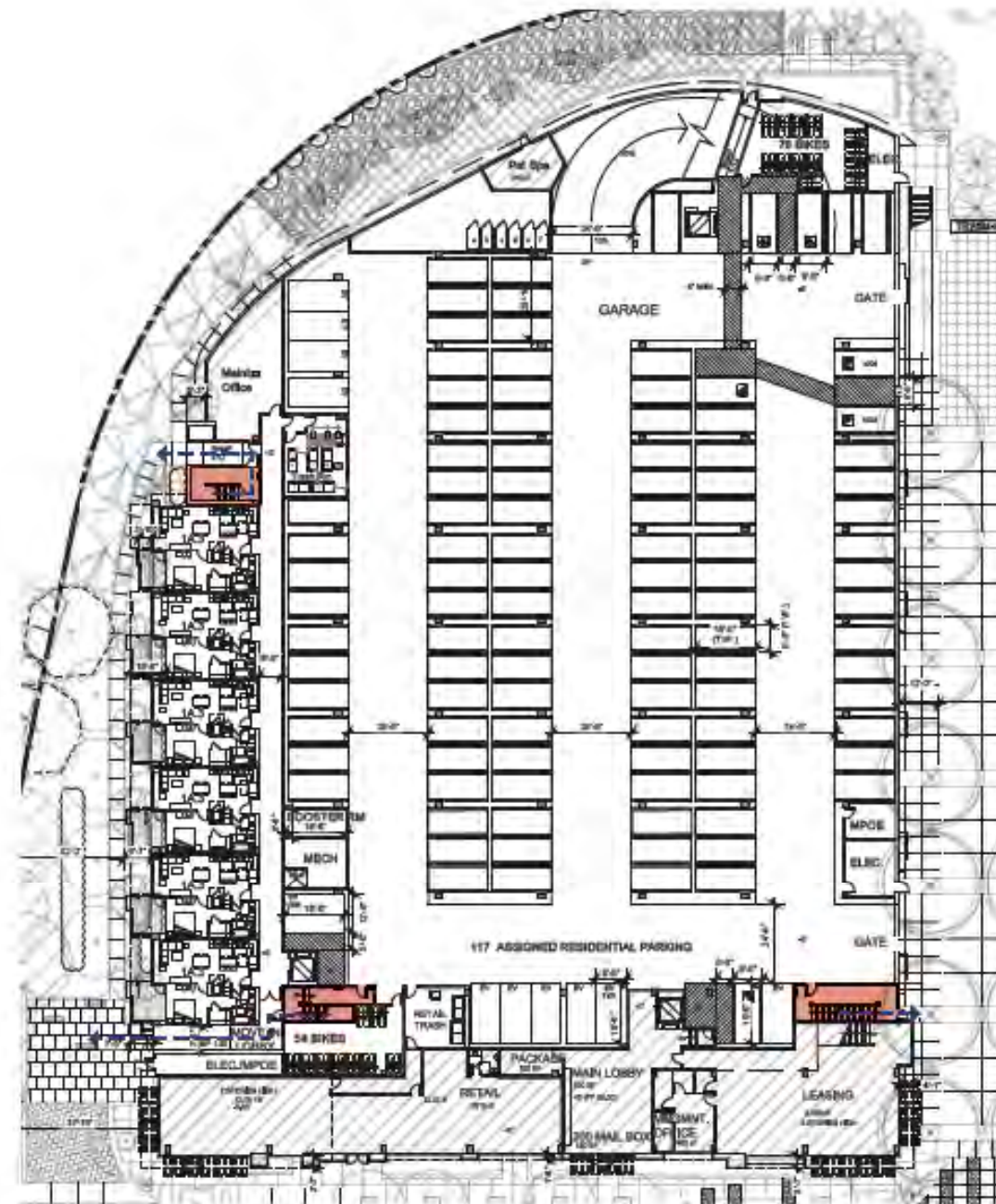
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BLOCK A - APARTMENT - PODIUM LEVEL

-  OVERALL DIAGONAL
-  EXITING ROUTES
-  2HR EXIT STAIRCASES

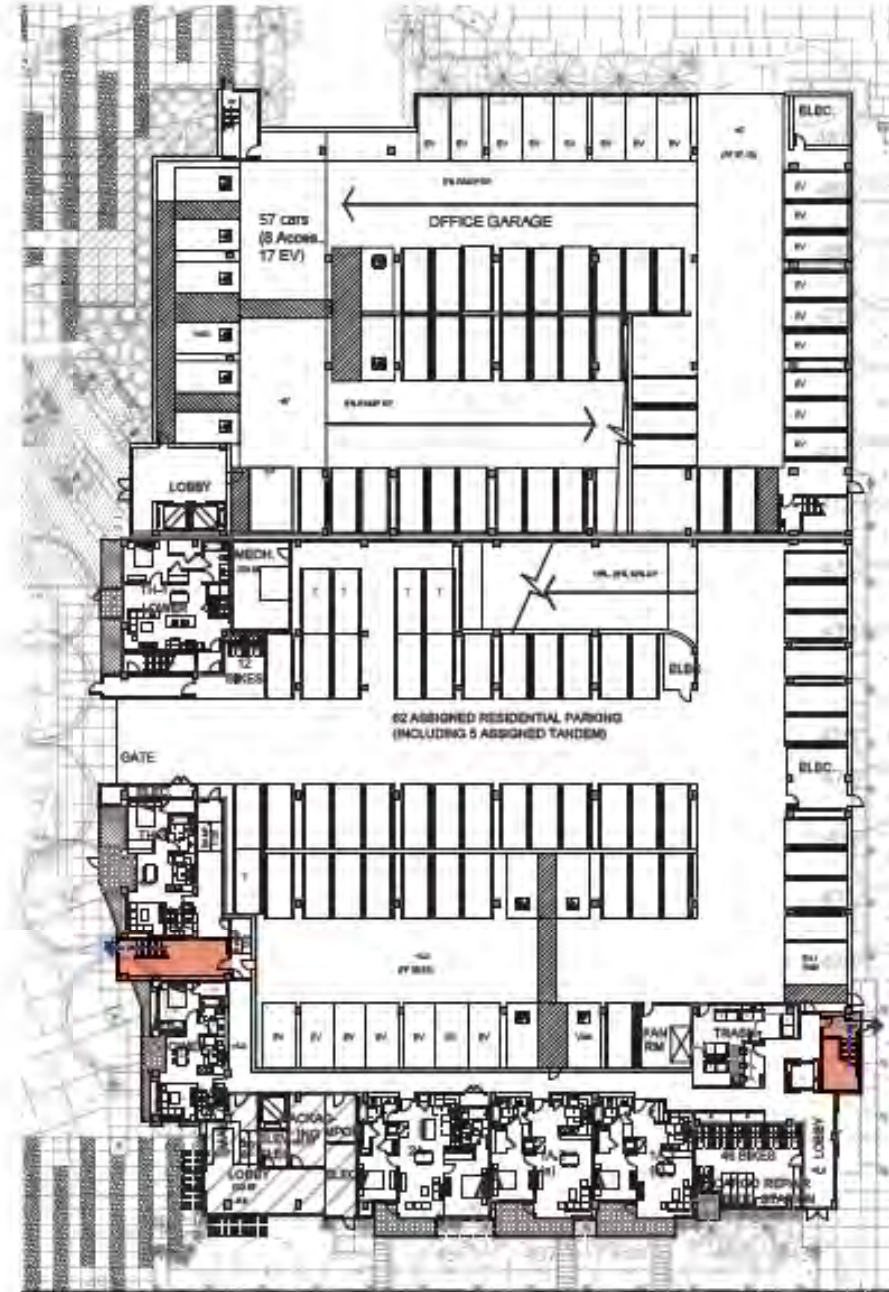


BLOCK A - APARTMENT - GROUND LEVEL



BLOCK B - CONDOMINIUM - PODIUM LEVEL

- - - OVERALL DIAGONAL
- - - EXITING ROUTES
- 2HR EXIT STAIRCASES



BLOCK B - CONDOMINIUM - GROUND LEVEL



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Sheet Title:
PODIUM EXITING
PLAN - BLOCK B

Job No. 16021
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Drawn By:

Sheet No:
A671

LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architect.
- All building information is based on drawings prepared by:
Studio T Square
304 12th Street, Suite 2A
Oakland, California 94607
510.451.2850
- All site civil information is based on drawings prepared by:
BKF Engineers - Civil Engineers, Land Surveyors, Planners
1650 Technology Drive, Suite 650
San Jose, CA 95110
408.467.9100
- The Contractor is to verify location of all on-site utilities before commencing work with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

LAYOUT LEGEND

	Lawn		Pedestrian/Vehicular Concrete
	Ground Cover and Shrubs		Stormwater Treatment Area, S.C.D.
	Detail Number		E.J. Expansion Joint
	Sheet Number		S.A.D. See Architect's Drawings
	Property Line		S.C.D. See Civil Engineer's Drawings
	Center Line		S.C.F.S. See Color and Finish Schedule
	Phase Line		FG Finish Grade Elevation
	Match Line		FS Finish Surface Elevation at Paving
	Align		TW Top of Wall Elevation
	Pedestrian Scale Pole Light, S.E.D. See Color and Finish Schedule		
	Ballard Light, S.E.D. See Color and Finish Schedule		
	Wall Wash Sign Light, S.E.D. See Color and Finish Schedule		
	In Ground Uplight, S.E.D. See Color and Finish Schedule		
	Fire Hydrant, S.C.D.		
	Utility Boxes, S.C.D.		
	Below grade utilities as noted, S.C.D.		
	Recycle Receptacle, See Color and Finish Schedule		
	Bench, See Color and Finish Schedule		

CONCEPTUAL COLOR AND FINISH SCHEDULE

PEDESTRIAN CONCRETE PAVING

Type 1 Natural grey concrete with light broom finish. Sweep perpendicular to path of travel.

Type 2 Integral color concrete, Color Yosemite Brown, with light broom finish. Sweep perpendicular to path of travel. Heavy sandblast where noted, see Plans.

Type 3 Integral color concrete, Color Dark Grey (Iron Oxide), with light broom finish; heavy sandblast where noted on plans.

*All colors to be: DAVIS Colors: Tel: 800.800.6856

PEDESTRIAN and VEHICULAR ACCENT PAVING

All by Calstone, contact: Mike Marhenke; 408.598.0518

Paving units are to be dual mix design using Duraface/Face-Mix technology. Integral through colors are not acceptable. Vehicular Pavers to be 80mm thick.

Type 1 Mission Series 6x12, running bond pattern, color #55.

Type 2 Mission Series 6x12, running bond pattern, color #50.

Type 3 Permeable Series, 4x8 Permeable Mission Series Pavers, 80mm, Herringbone Pattern, Standard Finish, Color Grey Charcoal. Install pattern parallel and perpendicular to adjacent curb, with joint material per manufacturer's specifications.

Type 4 Mission Series 6x12, running bond pattern, color #51.

VEHICULAR STAMPED ASPHALT PAVING

Type 1 Field: Color to be San Diego Buff 5237, Tile Pattern 12" square Grid from StreetPrint; www.streetprint.com; 800.331.8118

Type 2 Field: Color to be Pewter, Tile Pattern 5" square Grid from StreetPrint; www.streetprint.com; 800.331.8118

Bands: Color to be San Diego Buff 5237, Offset Brick from StreetPrint; www.streetprint.com; 800.331.8118

PEDESTRIAN DECOMPOSED GRANITE PAVING

3/8" California Gold, by TMT Enterprises. 408-432-9040.

COBBLE AND GRAVEL

1/2"-1" La-Paz cobbles by Lyngso. Lyngso; www.lyngsogarden.com; 800.364.1730

PLANTER CURB

Color and finish to match adjacent Pedestrian Paving.

TILE

Type 1 (Firewall) Rovere Tundra High Tech Wood Tile, 120x30cm, Available from Tina Blanch at Eurowest Decorative Surfaces; 415.652.6524.

TREE GRATES AND TREE GUARDS

Tree Grate Jamison Tree Grate, size 4'x4' with tree cut-out. Medium Duty Frame Type S w/ cross bars. Raw Cast Iron, standard finish. Tree Grate bolted to frame. By Urban Accessories, contact Recreation Republic, Inc 888.843.6128; www.urbanaccessories.com.

BIKE RACK

SCBR 1600-DB, Black Finetex (fine textured), embedded mount, by Magin Site Furniture 800.716.5506.

BENCH

MULTIPLICITY Straight Bench with Back and end arms, Jarrah and Prefinished Anodized Aluminum, Surface Mounted, 24"(d)x95"(w)x33"(h), by Landscapeforms. 800.521.2546.

LIGHTING FIXTURES

Pedestrian-scale Pole Light: To match Phase 1, Philips Gardco, Black Finish, 3000k; www.lumec.com; 855.486.2216, See Electrical Drawings for locations and mounting requirements.

Ballard Light: See Electrical Drawings. #77 266 by Bega, www.bega-us.com,

Recessed Wall Light: Uzman URE-40591, W27-2700K, Stainless Steel Finish. LED included; www.ligmanlightingusa.com, 503.645.0500., See Electrical Drawings

In Ground Uplight (Architectural Columns): UKI-60771 Klos 5 Inground uplight round 11.41" LED, narrow beam, 2700K LED color; www.ligmanlightingusa.com, 503.645.0500., See Electrical Drawings.

METAL ELEMENTS

All landscape metal elements to be consistent with the building finishes.

Pedestrian Scale Pole Light

BOLLARD LIGHT

URA 40651

URA 52771

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Sheet Title
GENERAL NOTES AND LEGEND

Job No. 18021
Date 03/09/2020
Scale:
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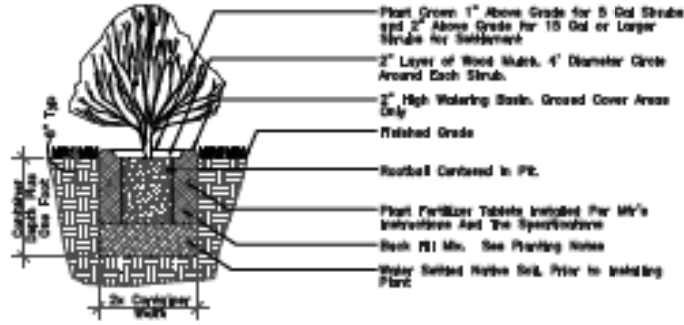
Sheet No:

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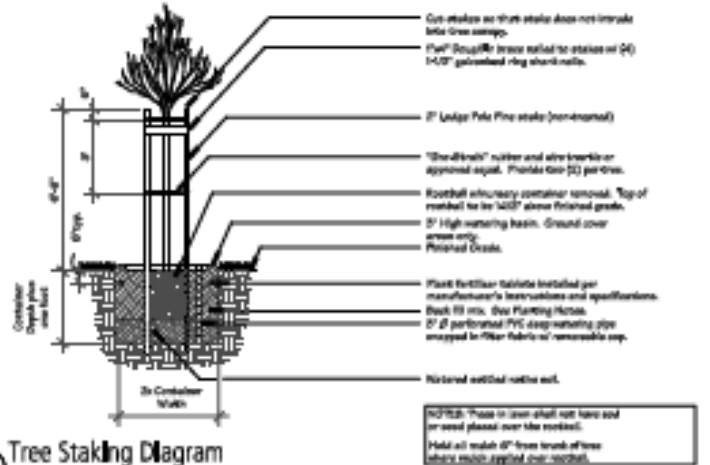
PLANTING NOTES

THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY

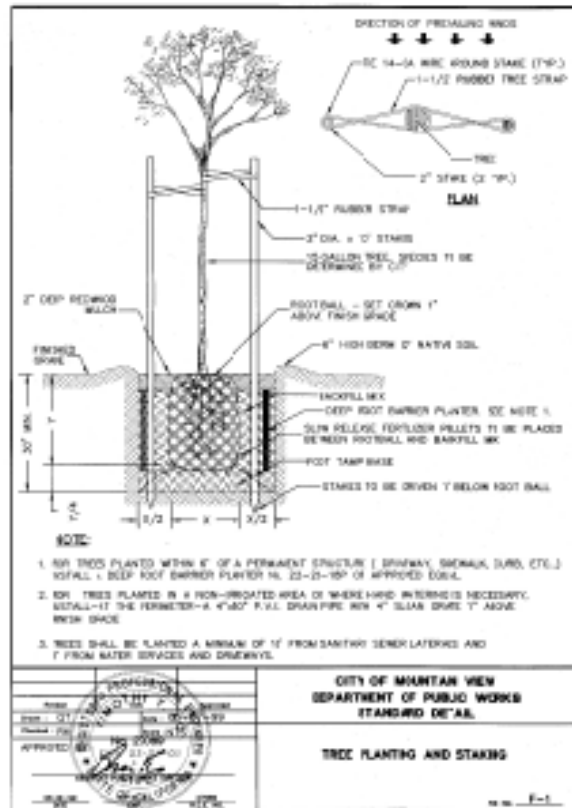
- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any unlabeled or un-sized tree; 5 gallon plant for any unlabeled or un-sized shrub; and 4" pots @ 12" o.c. (not flats) for any unlabeled ground cover. All planting beds, except for lawns, are to receive ground cover plant installation in addition to the shrubs and trees shown on the plans.
- The planting area shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sq ft and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfi.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 5-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil.
- The General Contractor is to provide an agricultural soil analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All street trees to be installed in accordance with the standards and specifications of the City of Mountain View. Contractor to verify tree species/cultivar specification(s) with City Arborist (or designated municipal authority) prior to acquisition and installation of all street trees. Contractor to obtain written, signed documentation from the City Arborist (or designated municipal authority) confirming the species/cultivar specification(s) to be installed including installation site and installation detailing.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- All planting areas, except lawn and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-plant planting jobs. Mulch shall be brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Mountain View, California.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- The lawn shall be Pacific Sod "Medallion", installed per Pacific Sod's specifications. Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for treeing purposes.
- Trees shall be planted to anticipate settlement.
- Plant material requiring iron supplements shall have chelated iron foliar feeding applications per manufacturer's specifications. See specifications for materials.
- All trees noted with "deep root" and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications for materials.
- Ground cover shall be planted as shown on the plan, including under shrubs and in tree watering basins.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.



Shrub Planting Detail
Not to Scale



Tree Staking Diagram
Not to Scale



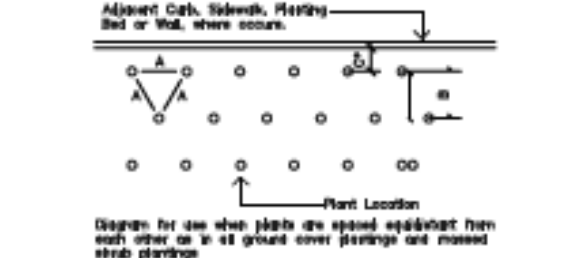
Tree Staking Diagram for Trees within the Public Rights-of-Way

PLANT PALETTE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CULTIVAR	COMMENTS	APPROX QTY	WUOLLS	CA NATIVE
ACE PAL	See Plan	Acer palmatum	Corel Bark Japanese Maple	'Sangozan'		34	M	
ACE RUB	See Plan	Acer rubrum	Red Maple	'Bowhall'		11	M	
CHA HUM	See Plan	Chamaecyparis funifolia	Minimus Japanese Fan Palm			17	L	
LAG YUS	See Plan	Lagerströmia speciosa	Crape Myrtle	'Tuscarora'	Standard	14	L	
MAG GRA	See Plan	Magnolia grandiflora	Southern Magnolia	'Russell'		16	M	
OLE EUR	See Plan	Olea europaea (Fraxinus)	Fraxinus Olive			16	VL	
PLA ACE	See Plan	Platanus acerifolia	London Plane Tree	'Columbia'		20	M	
POP FRE	See Plan	Populus fremontii	Freemont Cottonwood			27	M	Y
QUE VER	See Plan	Quercus venusta	Southern Live Oak			8	M	
TR CON	See Plan	Tilia cordata	Melrose Row		per City Master Plan Street Tree List 2013	4	M	
ULM PAR	See Plan	Ulmus parviflorus	Evergreen Elm	'Synaui'		26	L	
Total Proposed Trees						182		

KEY	QTY	BOTANICAL NAME	COMMON NAME	CULTIVAR	COMMENTS/SPACING	APPROX QTY	WUOLLS	CA NATIVE
ACC	5 gallon	Acacia cognata	Dwarf Acacia	'Cousin Et'	48" x 48"	142	L	
AGA	15 gallon	Agave americana	Hanford's Century Plant		42" x 42"	8	VL	
ALY	5 gallon	Albizia julibrissin	Blue Hibiscus	'Wood Indigo'	48" o.c.	91	L	
AMB	5 gallon	Andropogon scoparius	Kangaroo Paw	'Bush Red'	30" x 48"	268	L	
ASP	5 gallon	Asparagus densiflorus	Myers Asparagus	'Myers'	36" x 48"	131	M	
GAA	5 gallon	Galium aparine	Rice Grass		30" x 48"	79	M	Y
CA	5 gallon	Callistemon viminalis	Dwarf Callistemon	'Jelly Bean'	36" x 48"	31	L	
DAR	5 gallon	Dasylirion lasiocarpum	Slender Sedge		36" x 48"	20	L	Y
DHO	5 gallon	Dioscorea oppositifolia	Cape Rush		30" x 48"	369	L	
DA	5 gallon	Diarrhea repens	Flax Lily	'Baby Blue'	18" x 48"	131	M	
DE	5 gallon	Deloselinum elaeagnifolium	Dwarf Fennel Lily	'Orange Drop'	30" x 48"	568	L	
ELY	5 gallon	Elymus glaucus	Blue Wildrye		30" x 48"	34	L	Y
ESC	5 gallon	Escallonia ovata	Escallonia	'Yvonne'	48" x 48"	18	M	
FES	5 gallon	Festuca californica	California Fescue	'Serpentine Blue'	18" x 48"	378	L	Y
HSM	5 gallon	Hemerocallis cultivars	Daylily	'Odds and Ends'	30" x 48"	45	M	
JL	5 gallon	Juncus virens	Dwarf Yarrow Herb	'Stakeout Dwarf'	30" x 48"	8	L	
JE	5 gallon	Juniperus horizontalis	Douglas Juniper		30" x 48"	429	L	Y
JUN	5 gallon	Juniperus chinensis	Common Juniper		36" x 48"	1876	M	Y
LAG	15 gallon	Lagerströmia indica	Crape Red Dwarf Crape Myrtle	'Mona'	See Plan	3	L	
LAV	5 gallon	Lavandula angustifolia	English Lavender	'Hidcote'	30" x 48"	365	L	
LAT	5 gallon	Lavatera tomentosa	Tree Malva	'Red Run'	30" x 48"	16	M	
LOM	5 gallon	Lonicera longifolia	Dwarf Wax Bush	'Breeze'	30" x 48"	763	L	
MN	5 gallon	Mitella aurea	Holly Money Tree		30" x 48"	13	VL	Y
MUH	5 gallon	Muhlenbergia ovata	Flax Flamingo Mule	'Flax Flamingo'	30" x 48"	85	L	
PHO	5 gallon	Phoradendron	New Zealand Flax	'Sweeping Red'	30" x 48"	83	L	
PHL	5 gallon	Phoradendron	New Zealand Flax	'Dust'	36" x 48"	304	L	
POL	5 gallon	Polypodium	Sweet Pea Shrub	'Miss Malabar'	30" x 48"	198	M	
PRU	5 gallon	Prunus laurocerasus	Dwarf English Laurel	'Obo Layton'	48" x 48"	20	M	
RHA	5 gallon	Rhamnus californica	California Coffee Bush	'Mount San Bruno'	30" x 48"	74	L	Y
ROA	5 gallon	Rosa californica	California Rose		48" x 48"	13	L	Y
SAL	5 gallon	Salvia leucantha	Cleveland Sage		30" x 48"	12	L	Y
VER	15 gallon	Verbena stricta	Sweet Verbena	'Cinder'	60" x 48"	13	M	

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
8" O.C.	3.30'	3.90'	4.80
8" O.C.	8.83"	3.47'	2.80
8" O.C.	7.70"	3.90'	1.78
10" O.C.	8.89"	4.33'	1.88
12" O.C.	10.40"	5.30'	1.18
15" O.C.	13.00"	6.50'	0.74
18" O.C.	15.80"	7.80'	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	25.80"	13.00"	0.18
36" O.C.	30.80"	15.80"	0.13
48" O.C.	40.80"	20.80"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for defining triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.
* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant densities from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.



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Sheet Title
PLANTING NOTES AND LEGEND

Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

Sheet No:

L1.2

TREES



Acer palmatum 'SangoKaku'



Acer rubrum 'Bowhall'



Chamaerops humilis



Lagerstroemia x 'Tuscarora'



Magnolia grandiflora 'Russet'



Olea europaea (Fruitless)



Platanus acerifolia 'Columbia'



Populus fremontii



Quercus virginiana



Tristania conferta



Ulmus parvifolia 'Dynasty'

SHRUBS / GRASSES



Acacia cognata 'Cousin Itt'



Agave havardiana



Alyogyne huegelii 'Mood Indigo'



Anigozanthos 'Bush Red'



Asparagus d. 'Myers'



Calamagrostis nutkaensis



Callistemon v. 'Little John'



Carex tumulicola



Chondropetalum tectorum



Dianella revoluta 'Baby Bliss'



Diets bicolor 'Orange Drop'



Elymus glaucus



Escallonia 'Fradesii'



Festuca californica 'Serpentine Blue'



Hemerocallis - Gold



Hemerocallis - Red



Ilex vomitoria 'Stokes Dwarf'



Iris douglasiana



Juncus effusus



Lagerstroemia indica 'Moned'



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Mountain View, California

Sheet Title:
Planting
Imagery

Job No. 15021
Date: 03/09/2020
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Sheet No:

L1.3

SHRUBS /
GRASSES



Lavandula x intermedia 'Alba'



Lavatera thuringiaca 'Red Rum'



Lomandra longifolia 'Breeze'



Mimulus aurantiacus



Muhlenbergia 'Pink Flamingo'



Phormium 'Amazing Red'



Phormium 'Duet'



Polygala 'Alta Mariposa'



Prunus laurocerasus 'Otto Luyken'



Rhamnus cal. 'Mound San Bruno'



Rosa californica



Salvia clevelandii



Viburnum awabuki 'Chindo'

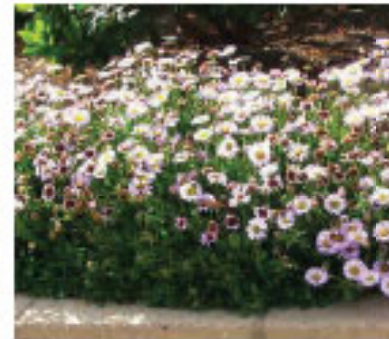
GROUND-
COVERS



'No-Mow' Fescue



Arctostaphylos u. 'Massachusetts'



Erigeron 'Wayne Roderick'



Myoporum parvifolium



Sedum album



Sedum reflexum



Trachelospermum jasminoides



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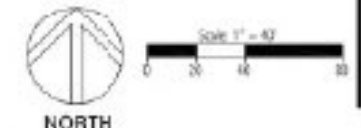
Mountain View, California

Sheet Title:
**CONCEPTUAL
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 SITE**

Job No. 16021
 Date: 03/09/2020
 Scale:
 Drawn By:

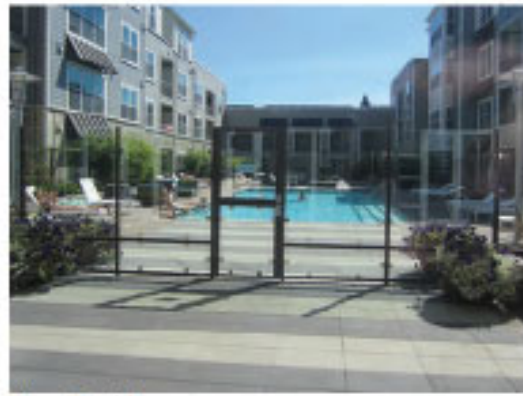
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L2.1





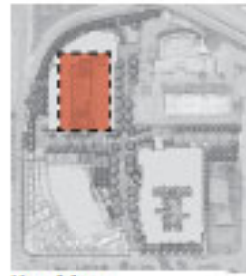
Cabanas at Pool Deck



Glass Pool Fence



BBQ Area



Key Map



Pool Deck



Fireplace



Metal Trellis



Dining Area under Metal Trellis



Raised Planter Wall with Wall Light



Outdoor Lounge with String Light



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Sheel Title
Conceptual Plan - Block A Podium

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L2.2



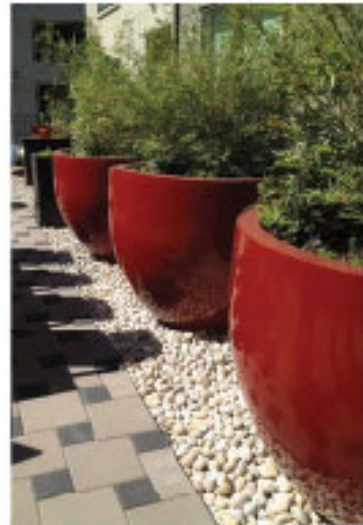
See-through Fireplace



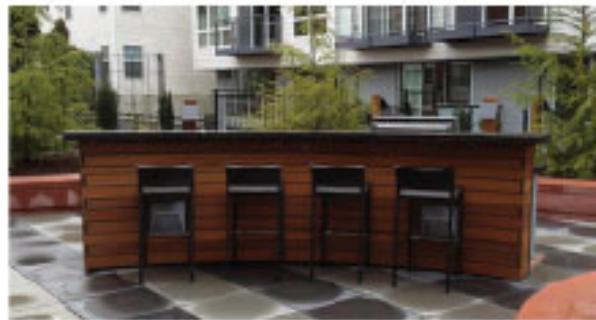
Trash Receptacle



String Light



Planter Pots on Gravel



BBQ Island with Bar Top Table and Stools



Outdoor Lounge



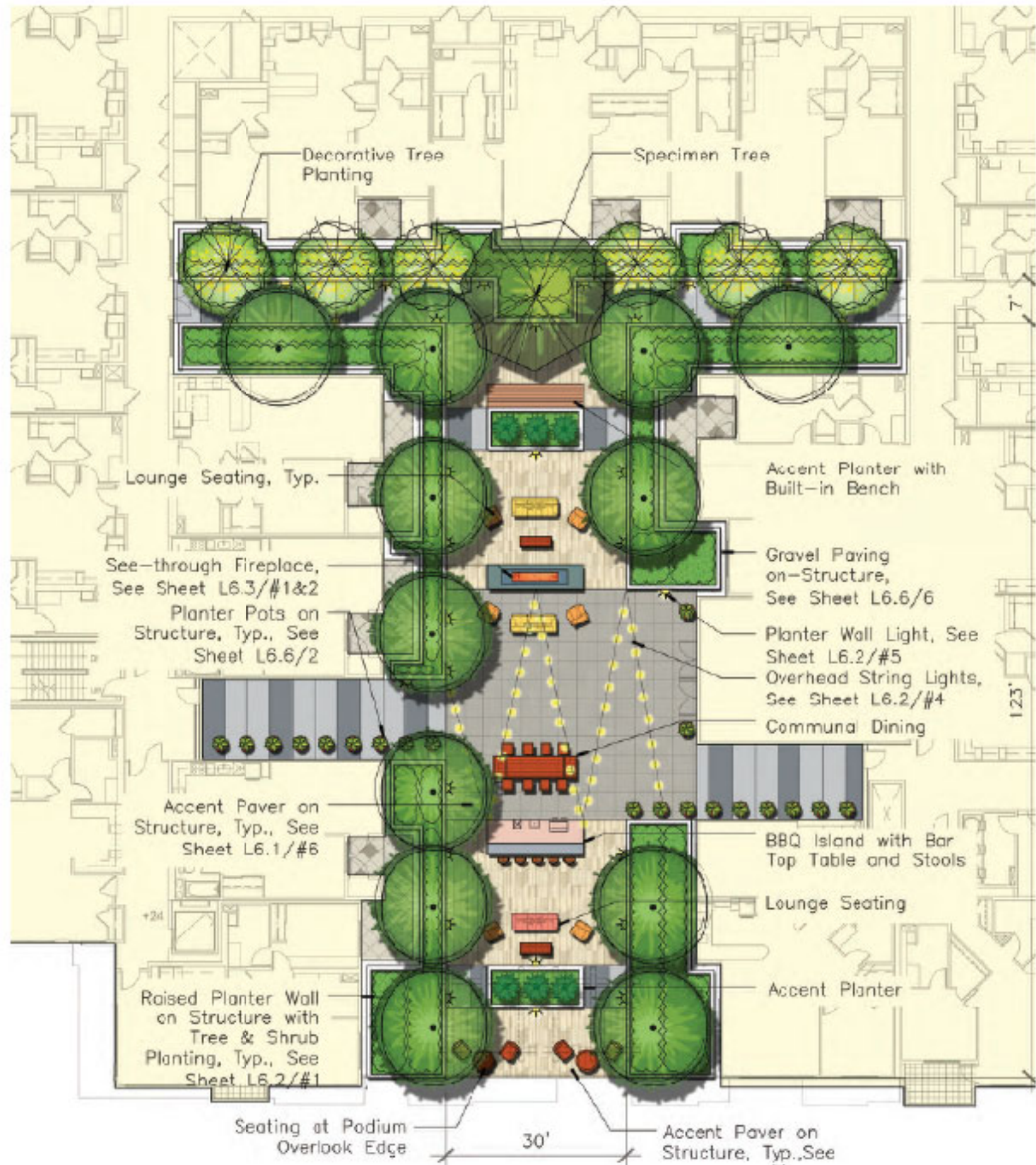
Community Dining with String Light



Raised Planter Wall with Wall Light



Key Map



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Sheet Title:
**Conceptual
Plan - Block
B Podium**

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L2.3



Central Plaza



Accent Stripe Paving



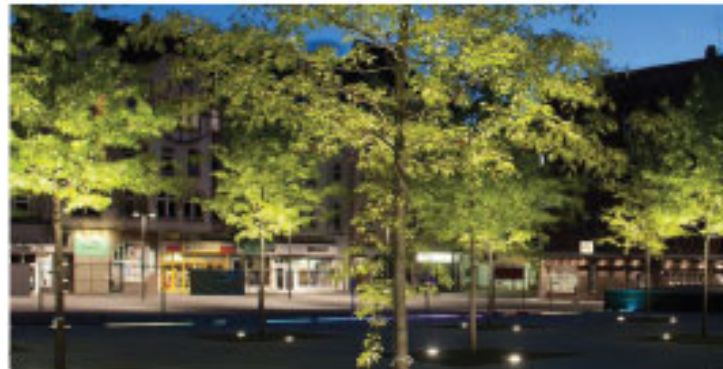
Art Sculpture



Bollard Light



Serrated Planting Edge



Tree Grove with In-ground Lighting



Tables and Chairs under Tree Grove



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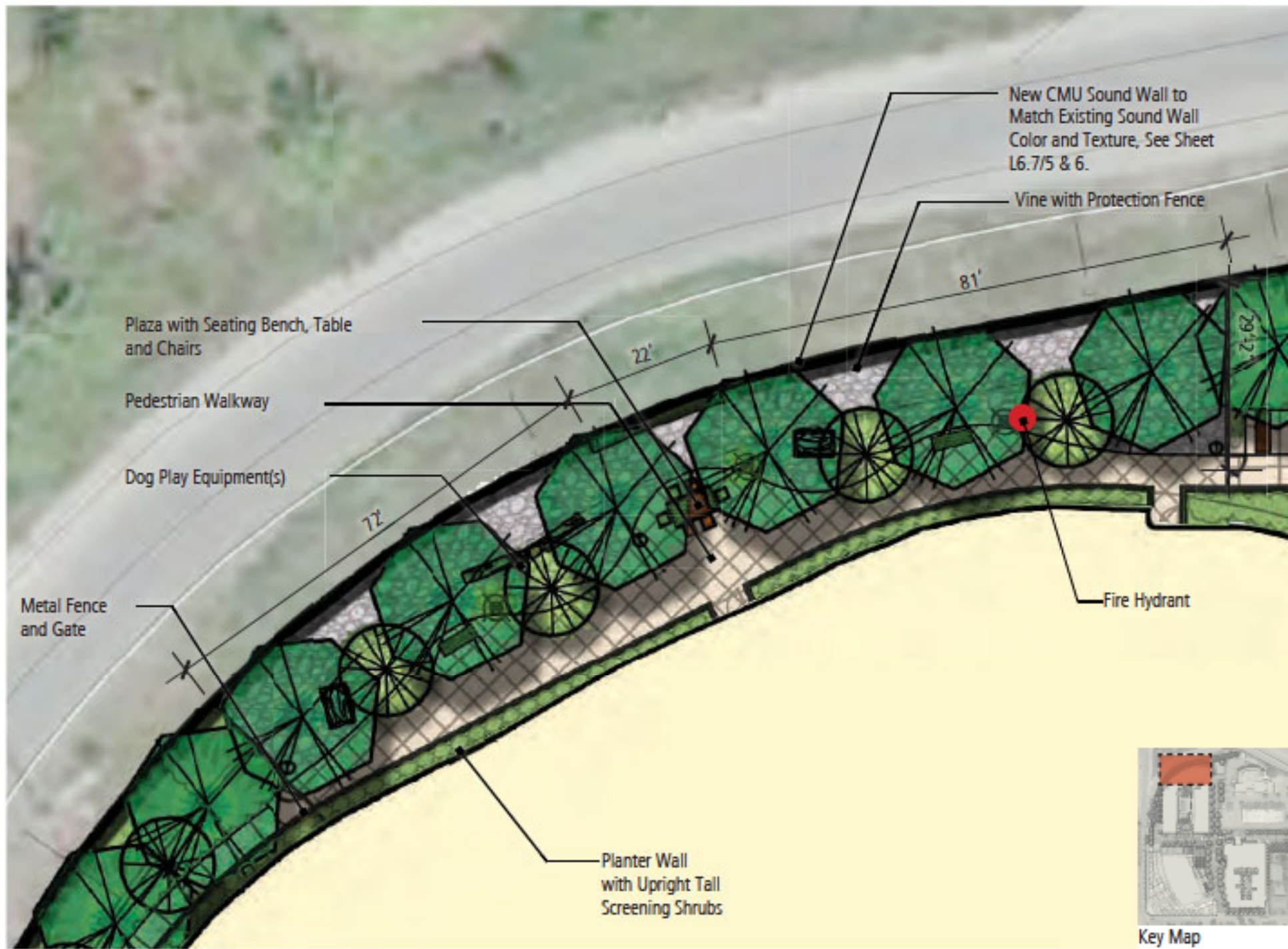
Mountain View, California

28 West 11th St.
Central Plaza Enlargement

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Pet Spa



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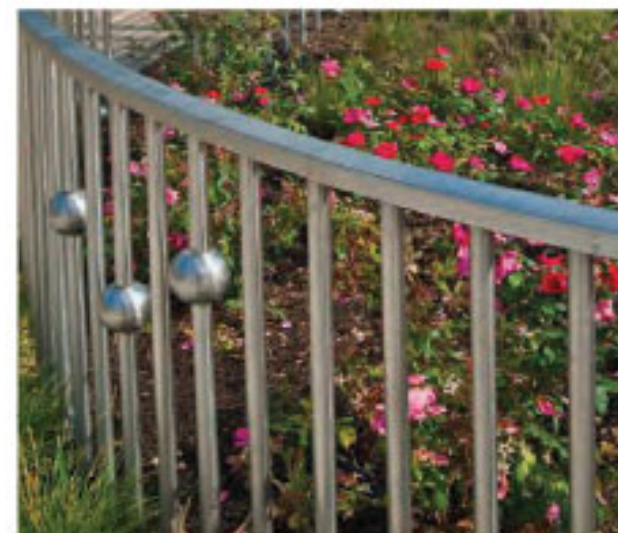
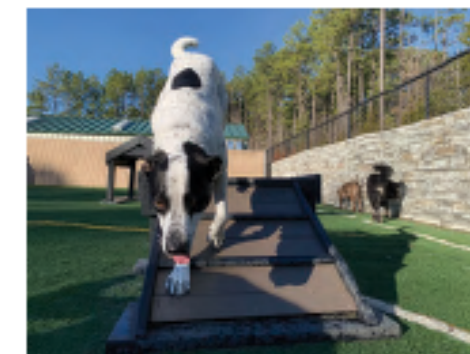
Mountain View, California

Sheet Title:
**Dog Run Park
Enlargement**

Job No. 15021
Date: 03/09/2020
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L2.5



Vine Fence



Dog Run Park Fence and Gate



Gravel Paving

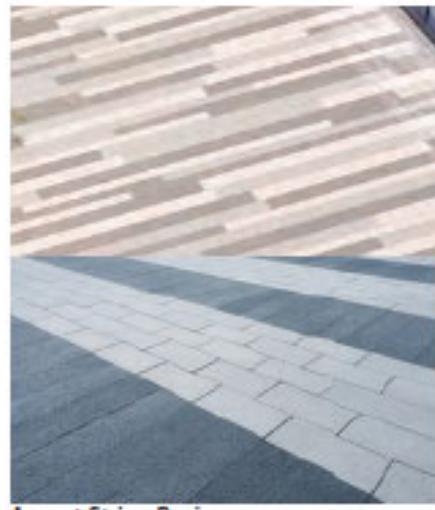


Dog Run Park





Vehicular Checker Block Paving



Accent Stripe Paving



Entry Sign Wall



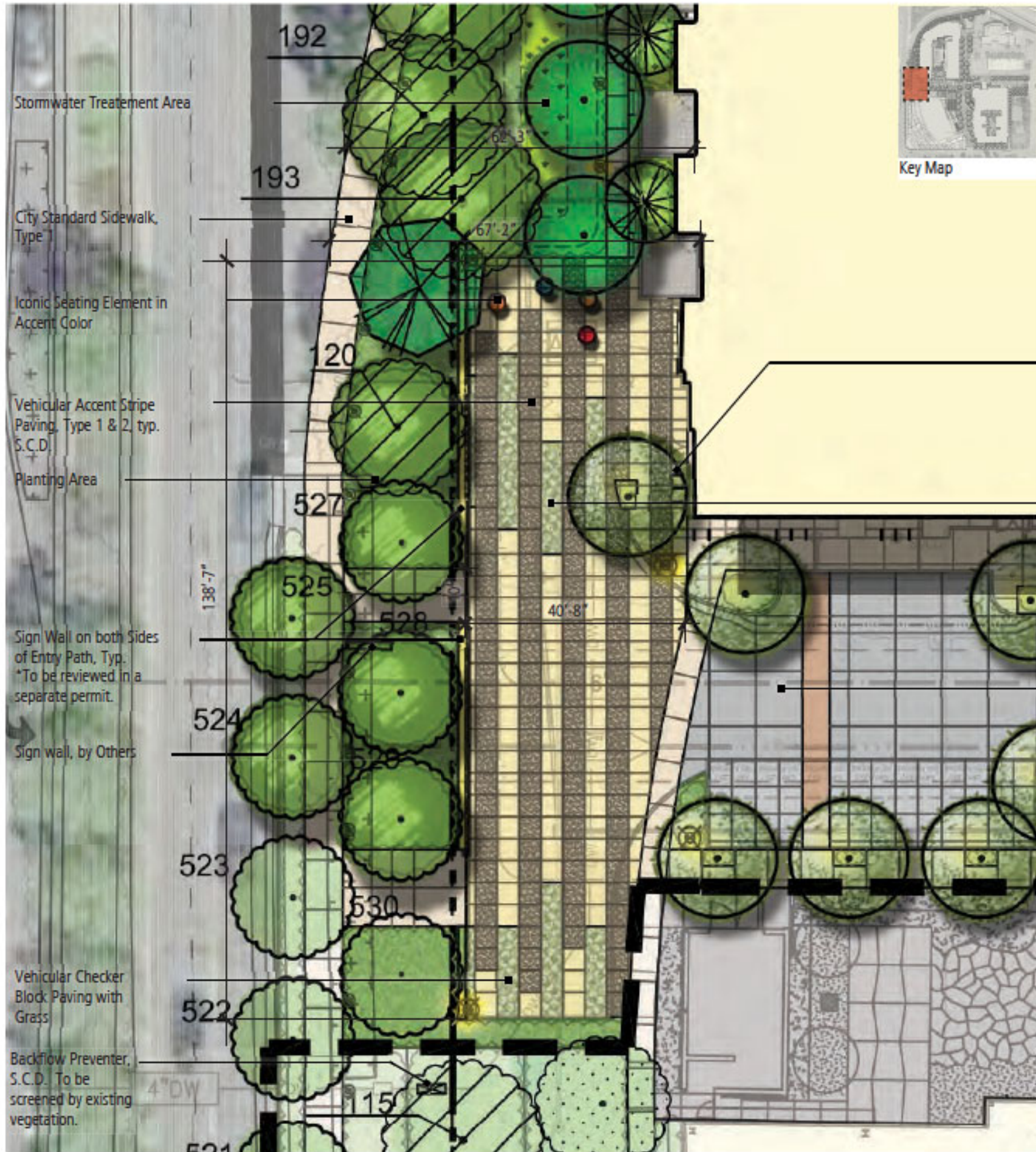
Iconic Seating Element



Tree Grate



Vehicular Stamped Asphalt Paving



Key Map

Bike Racks, Typ.

Vehicular Checker Block Paving with Grass

Vehicular Stamped Asphalt Paving Type 2, Typ., S.C.D.



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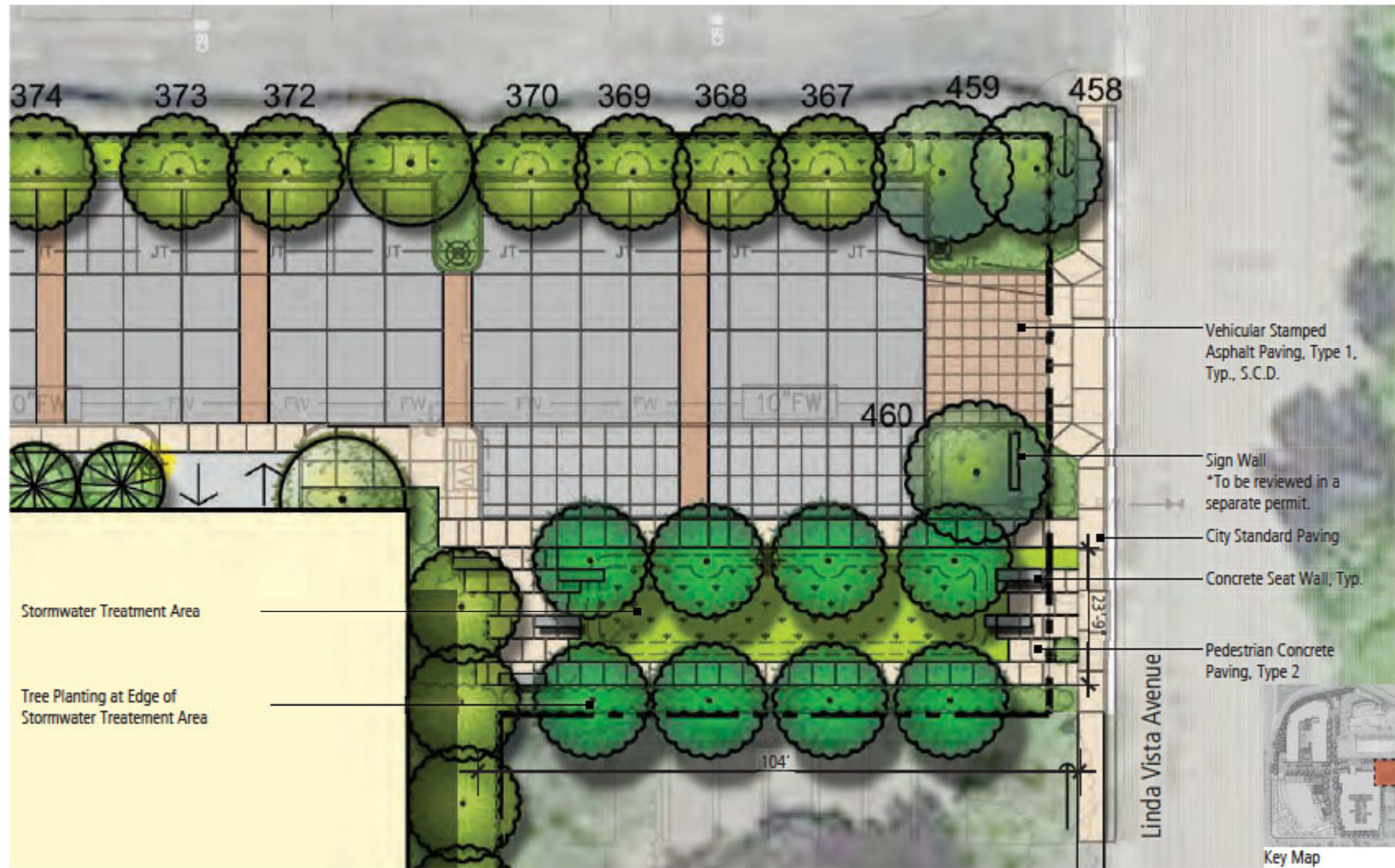
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Mountain View, California

Sheet Title:
Roundabout Enlargement

Job No. 15021
Date: 03/09/2020
Scale: 1"=10'
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Concrete Seat Block



Stormwater Treatment Area



Vehicular Stamped Asphalt Paving



Stormwater Treatment Planting



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Sheet Title:
**Dual Plaza
Enlargement**

Job No: 15021
Date: 03/09/2020
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Drawn By:

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L2.7

Existing Trash Enclosure

Transplanted Phase 1 Tree -
Quercus virginiana



Specimen Tree - Quercus virginiana



Phase 1 Planted Trees to
Remain-Quercus virginiana

New Quercus virginiana at
Project Entrance

Bike Racks

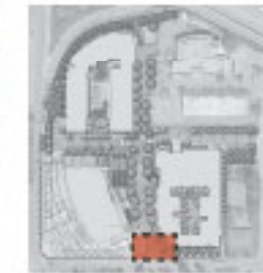
Vehicular Accent Stripe Paving
Type 1 & 2, typ. S.C.D.

Iconic Seating Element in Accent Color

Phase 1 Planted Trees to
Remain-Quercus virginiana

Project Entry Sign Wall,
to be reviewed in a
separate permit

TERRA BELLA AVENUE



Key Map



Bike Rack



Monument Signage



Ornamental Planting at Monument Signage



Accent Stripe Paving



Iconic Seating Element



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Project Entry
Enlargement

Job No. 15021
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L2.8



Iconic Seating Element in Accent Color

Pedestrian Scale Pole Light

Stoop Wood Deck Access with Stormwater Treatment underneath



Iconic Seating Element



Pedestrian Scale Pole Light



Stormwater Treatment underneath



Stoop Wood Deck Access



Key Map



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28 (rev) T & L
**Terra Bella
Enlargement**

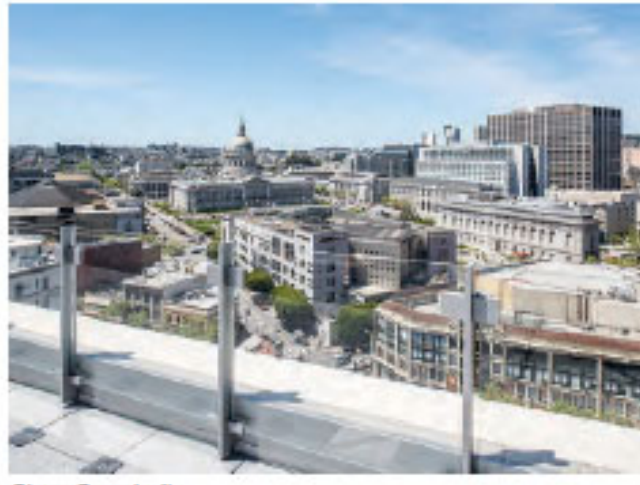
Job No. 16021
Date: 03/09/2020
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Sheet No:

L2.9



Pre-cast Planter Pot



Glass Guardrail



Key Map



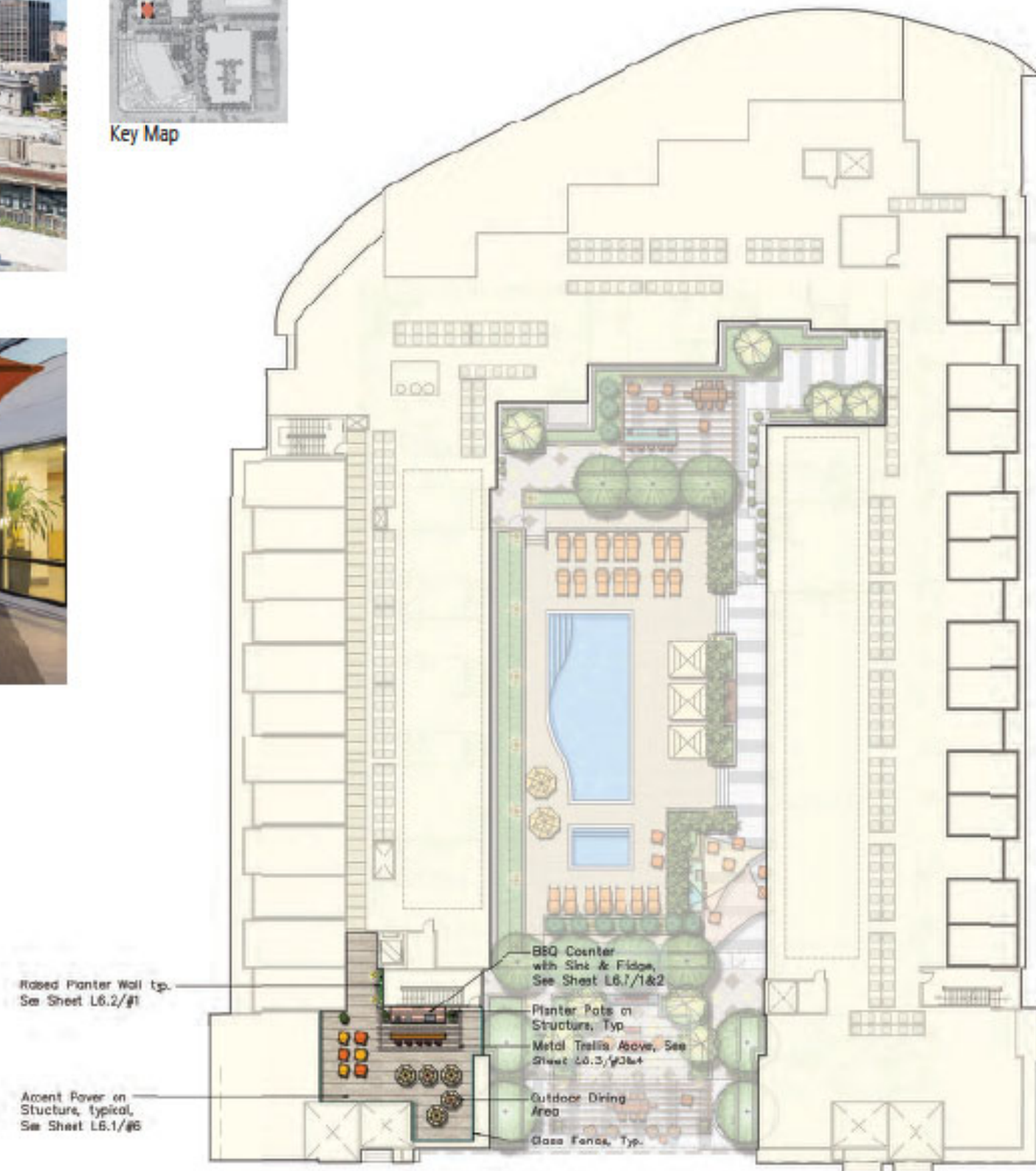
Metal Trellis



Dining Table Set with Umbrella



BBQ Island with Dining Table Set



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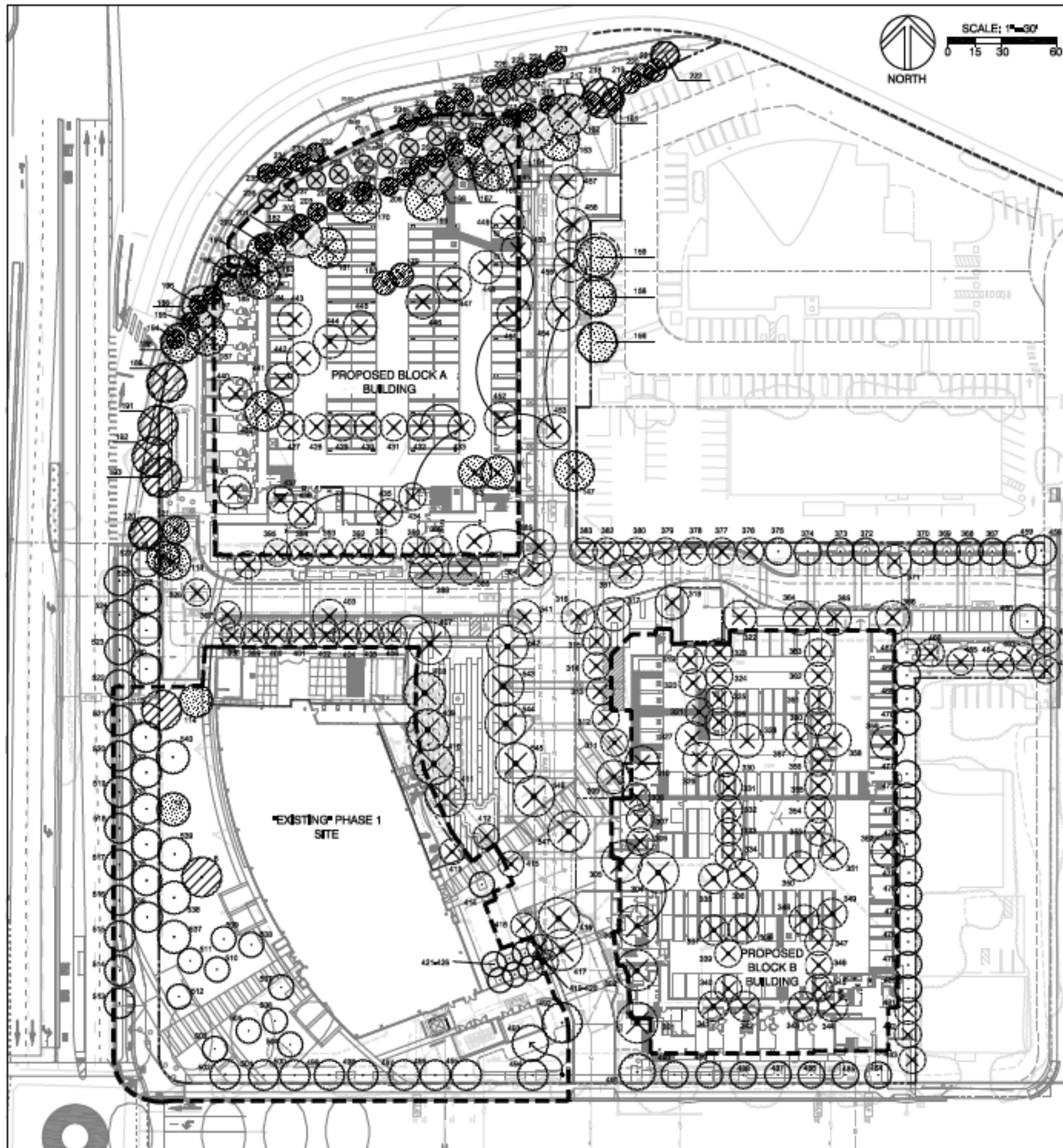
Mountain View, California

Sheet Title:
**Conceptual
Landscape
Plan - Rooftop**







Job No. 15021
Date: 03/09/2020
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Sheet No:

L2.10



Tree Disposition Summary Table

Description	Heritage	Non-Heritage, Pre-Phase 1	Non-Heritage, Phase 1	Total
Existing Trees on Site	32	66	243	341
To Remain	9 	6	87 	102
To be Transplanted	0	0	1  (Tree #493)	1
To be Removed	23 	60 	155 * 	238

Description	Mitigation Trees, 36" box	Non-Mitigation, 36" box	Non-Mitigation, 24" box	Total
Proposed Trees on Site	60 **	36	96	192

Estimated Trees to be On Site at Time of Project Completion	295
---	-----

Notes:

* Tree removal contingent upon condition of tree at time of construction.

** Required Mitigation - 23 trees @ 2:1 ratio = 46 trees, 24" box min. required
Proposed Mitigation Replacement Trees - 60 Trees
Replacement Ratio - 60/23 = 2.6:1

Refer to Arborist Report by Ray Morneau for existing tree type, size, and condition.

Ray Morneau, Arborist



204 GARDEN WING ROAD, WOODBRIDGE, ONTARIO

5.0 Tree Preservation Guidelines: Tree Protection Measures

- 5.1 Fencing and other root zone protection
 - 5.1.1 Must be in place before demolition or any other project site work.
 - 5.1.2 Fencing generally expected to extend to the drip line, but the LPP can be installed as close to that as possible.
 - 5.1.3 One 24- to 36-inch opening or gate should be left for inspection access to each area.
 - 5.1.4 Fence material is to be 6-foot-high chain link fence supported by 4-foot long, 2-inch diameter galvanized fence posts driven 2-feet into the soil.
 - 5.1.5 Where no plant material root zone buffer is growing (e.g., ivy, shrubs, etc.), a wood chip mulch is to be spread evenly to a 4-inch depth from the drip line to 6-inches from the base of the trunk. Taper to existing ground level at the base of the trunk with a slope of about 2:1.
 - 5.1.6 Additional root zone area requiring protection can be buffered as Project Arborist requires, e.g., if project scope changes. Commonly acceptable buffer materials often include wood chips, crushed rock, plywood, steel trench plates, and/or a combination of such materials. Consult Project Arborist for depth specifications (which vary depending on use of area and/or specific traffic).
 - 5.1.7 Root zone areas to be protected may be modified by the Municipal Arborist or Project Arborist as plans develop.
 - 5.2 Prohibited Acts & Additional Tree Care Requirements
 - 5.2.1 No parking or vehicle traffic over any root zones, unless using buffers approved by Project Arborist.
 - 5.2.2 Monitor root zone moisture and maintain as per above.
 - 5.2.3 Have a certified arborist repair any damage promptly.
 - 5.2.4 No piling or storage of fuel, oil, chemicals, or hazardous materials under these foliage canopies.
 - 5.2.5 No grade changes (cuts, fills, etc.) under these foliage canopies without prior Project Arborist approval. For instance, hand excavation and thinner base prep may be required in the reduced root zone areas.
 - 5.2.6 Any additional pruning required must be performed under arborist supervision - including root pruning - clean, smooth cuts with no breaking, scalping, shattering, or tearing of wood tissue and/or bark.
 - 5.2.7 No storage of construction materials under any foliage canopy without prior Project Arborist approval.
 - 5.2.8 No trenching within the critical root zone area. Consult Project Arborist before any trenching or root cutting beneath any tree's foliage canopy. It is best to route all trenching out from under trees' drip lines. Often trenches in root zones must be hand excavated to leave roots intact.
 - 5.2.9 No clean out of trucks, racks, or other equipment over the critical root zone. Keep this debris outside of any existing or future root zone.
 - 5.2.10 No attachment of signs or other construction apparatus to these trees.
 - 5.3 Construction-time Maintenance & Follow-up
 - 5.3.1 Monitor root zone moisture and maintain as per above (5.1.1).
 - 5.3.2 Maintain repair tree protection fences and/or root zone materials.
 - 5.3.3 Have a certified arborist promptly repair any damage to trees.
 - 5.3.4 Routine survival monitoring for the first five years is required by the City and typically includes at least quarterly project arborist inspections with summary report and recommendations filed to Planning and to Owner.
- Remedial measures/actions are also required to be stated in this tree preservation plan. For trees that consistently fail customary performance standards, the remedial measures will be hand-written at that time to meet the specific degree of failure - may include efforts as minor as adjusting irrigation ... and/or pruning ... or increased frequency of inspections ... or ultimately, if necessary, replacement with additional tree(s) planted of acceptable size and species.



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TREE DISPOSITION
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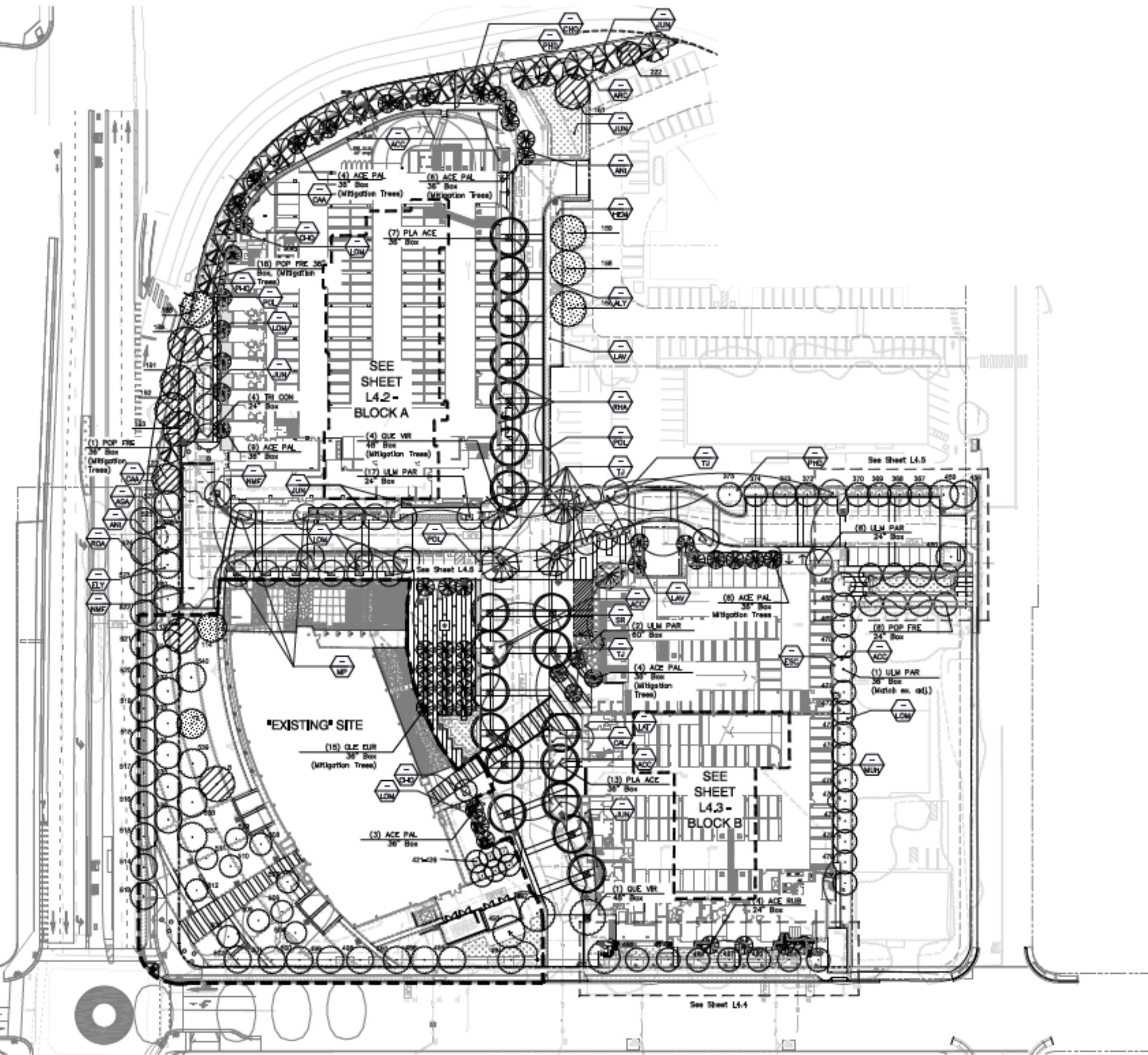
Mountain View, California

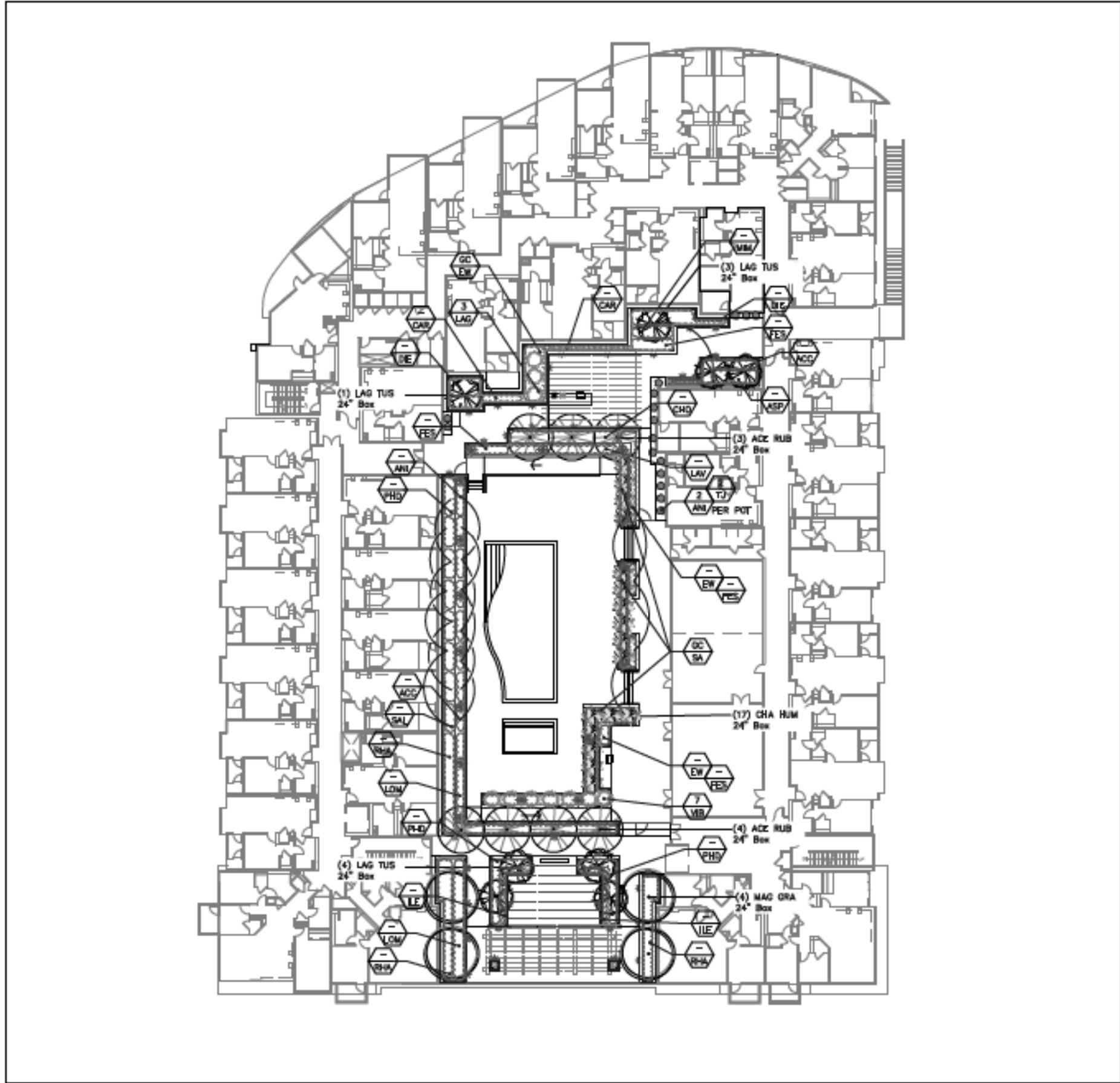
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 SITE**

Job No. 18021
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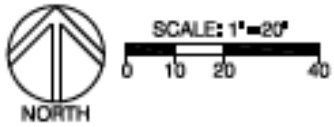
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Key Map



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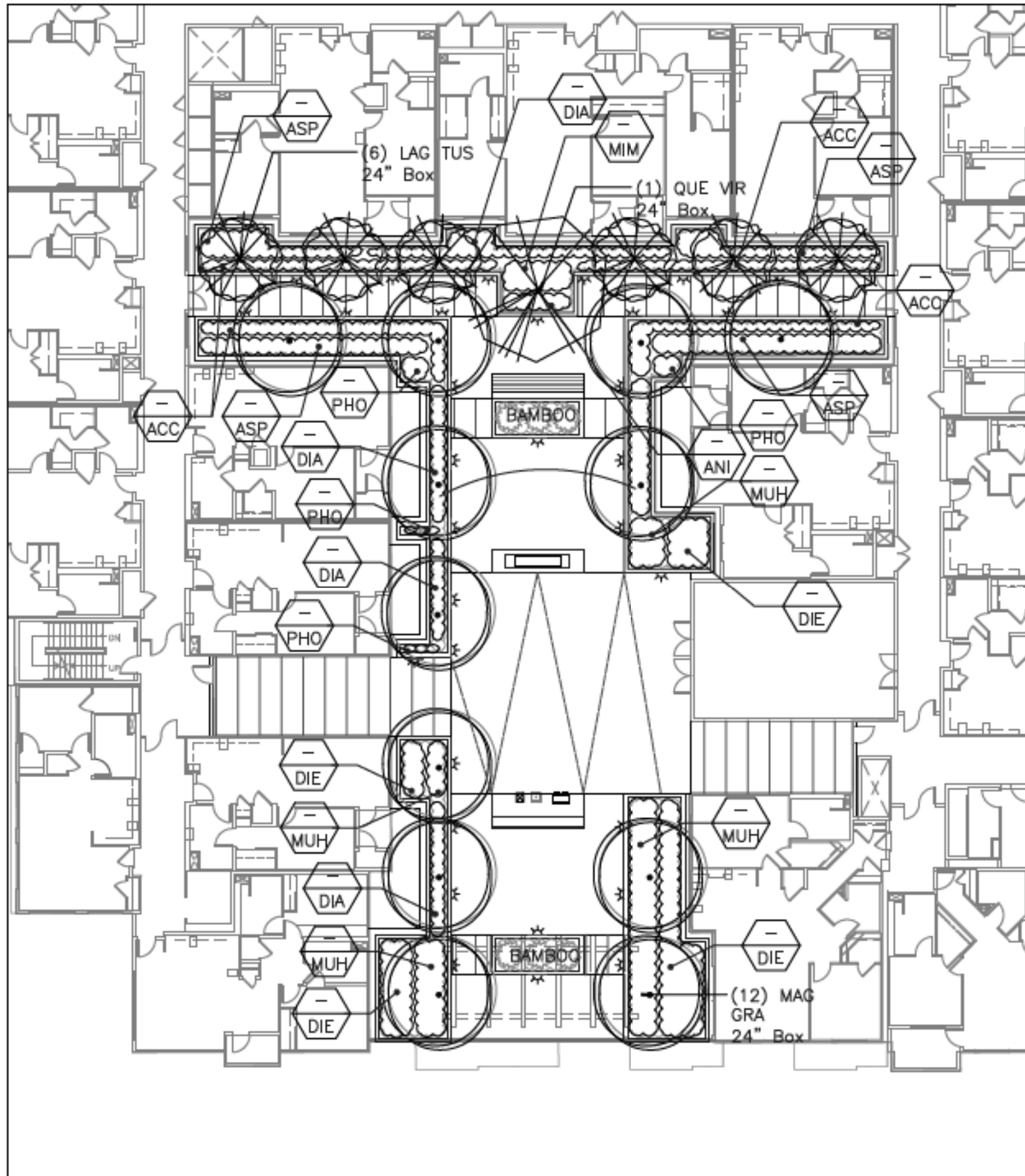
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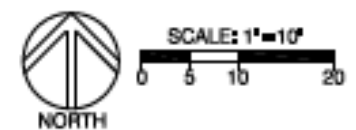
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Key Map



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**CONCEPTUAL
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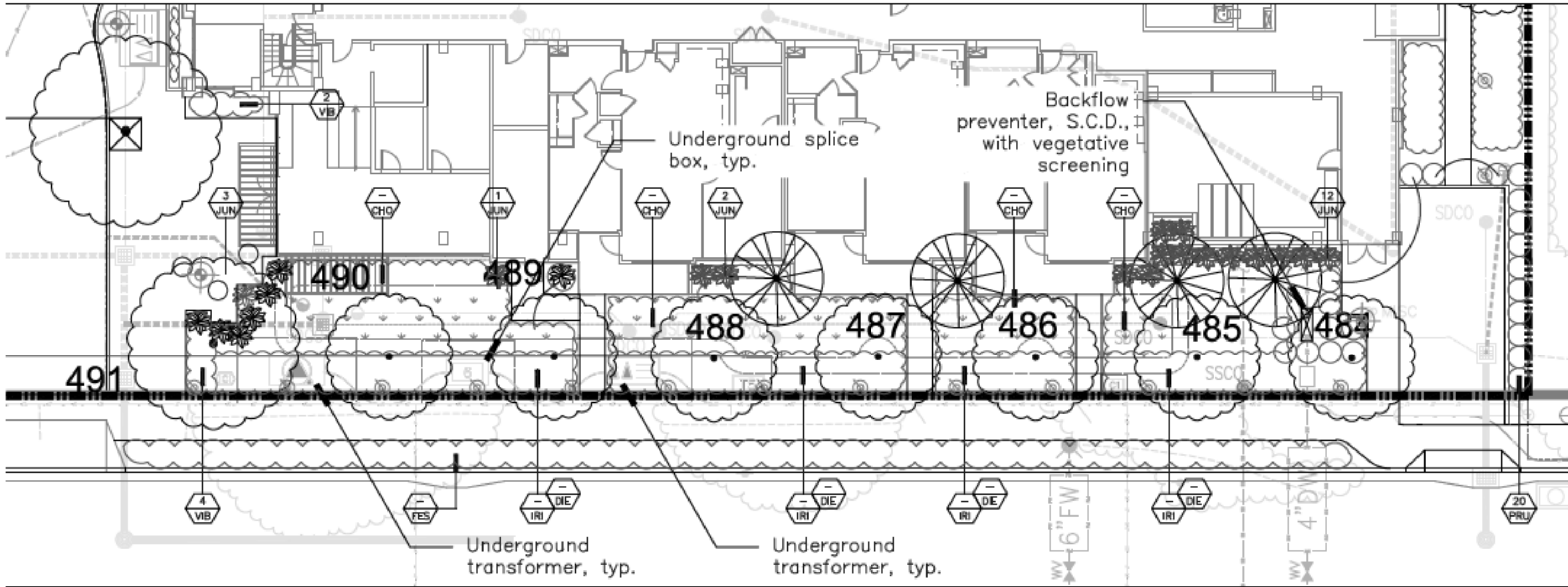
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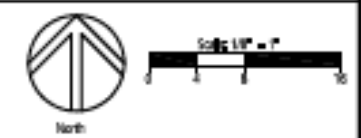
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 STREETScape**
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Sheet No.

L4.4



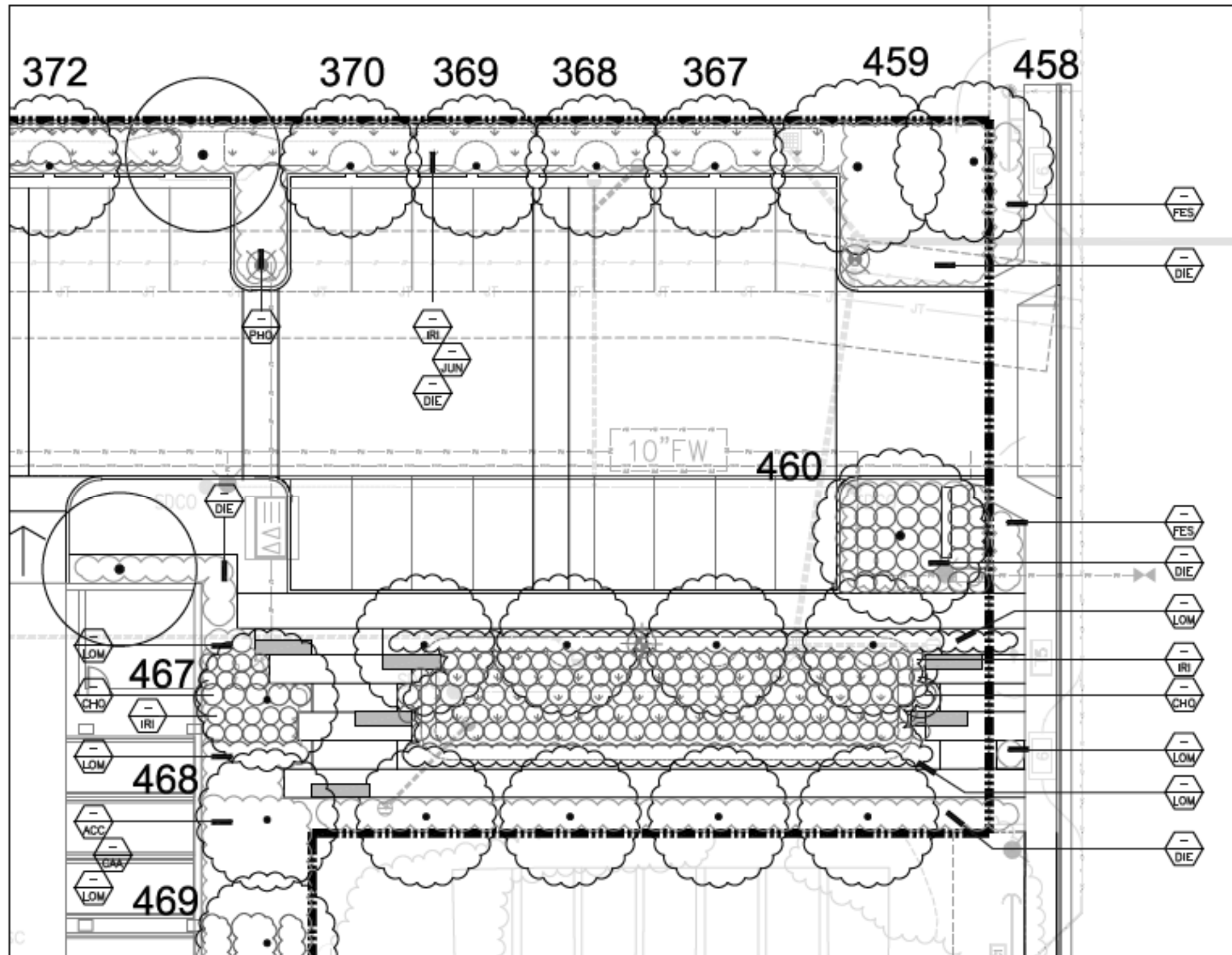
TERRA BELLA ENTRANCE AND STREETScape



Key Map



Key Map



LINDA VISTA STREETSCAPE



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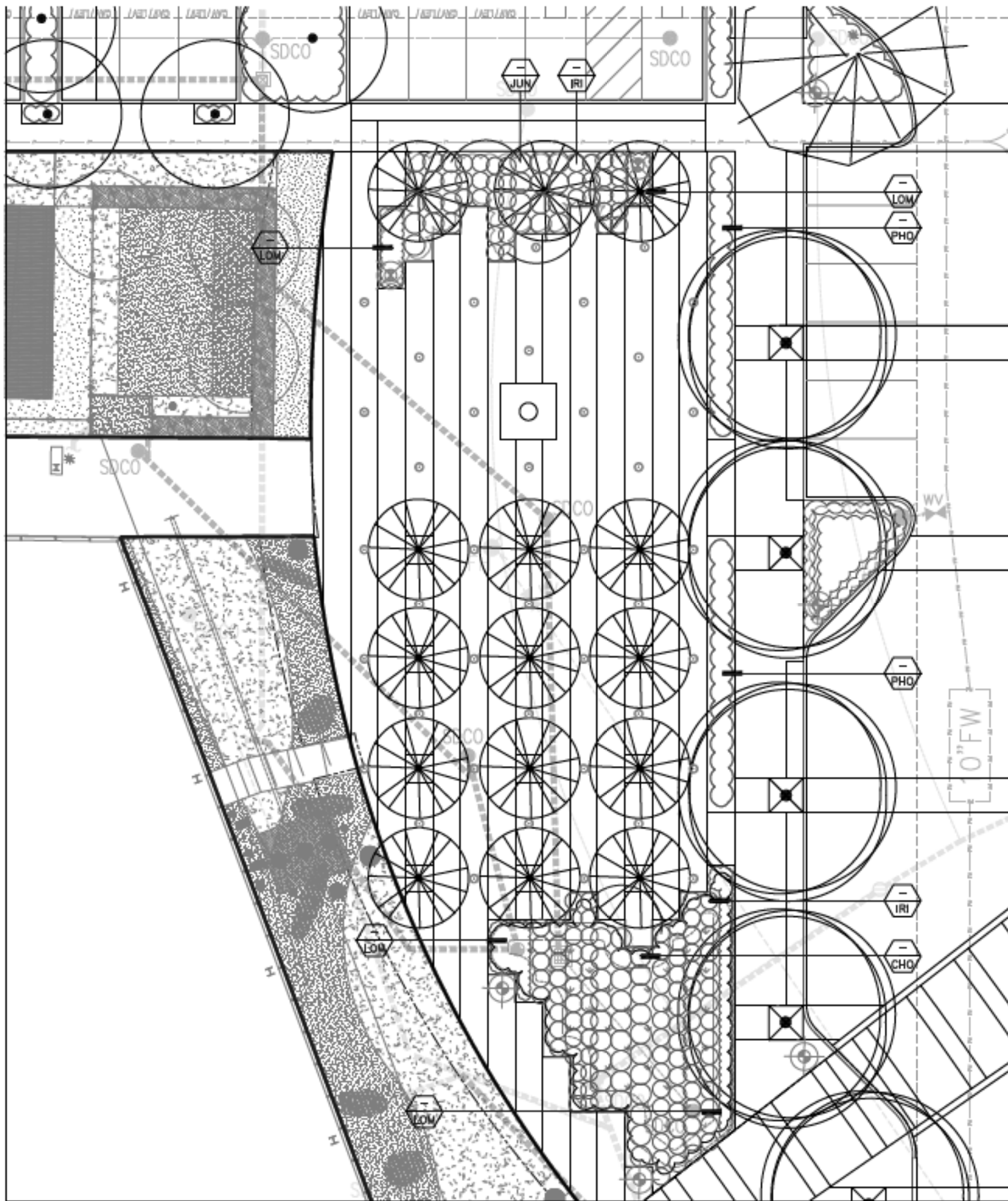
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Mountain View, California

Sheet Title:
**CONCEPTUAL
 SHRUB AND
 GROUNDCOVER PLAN -
 STREETSCAPE**
 Job No. 18021
 Date 03/09/2020
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Sheet No:

L4.5



Key Map



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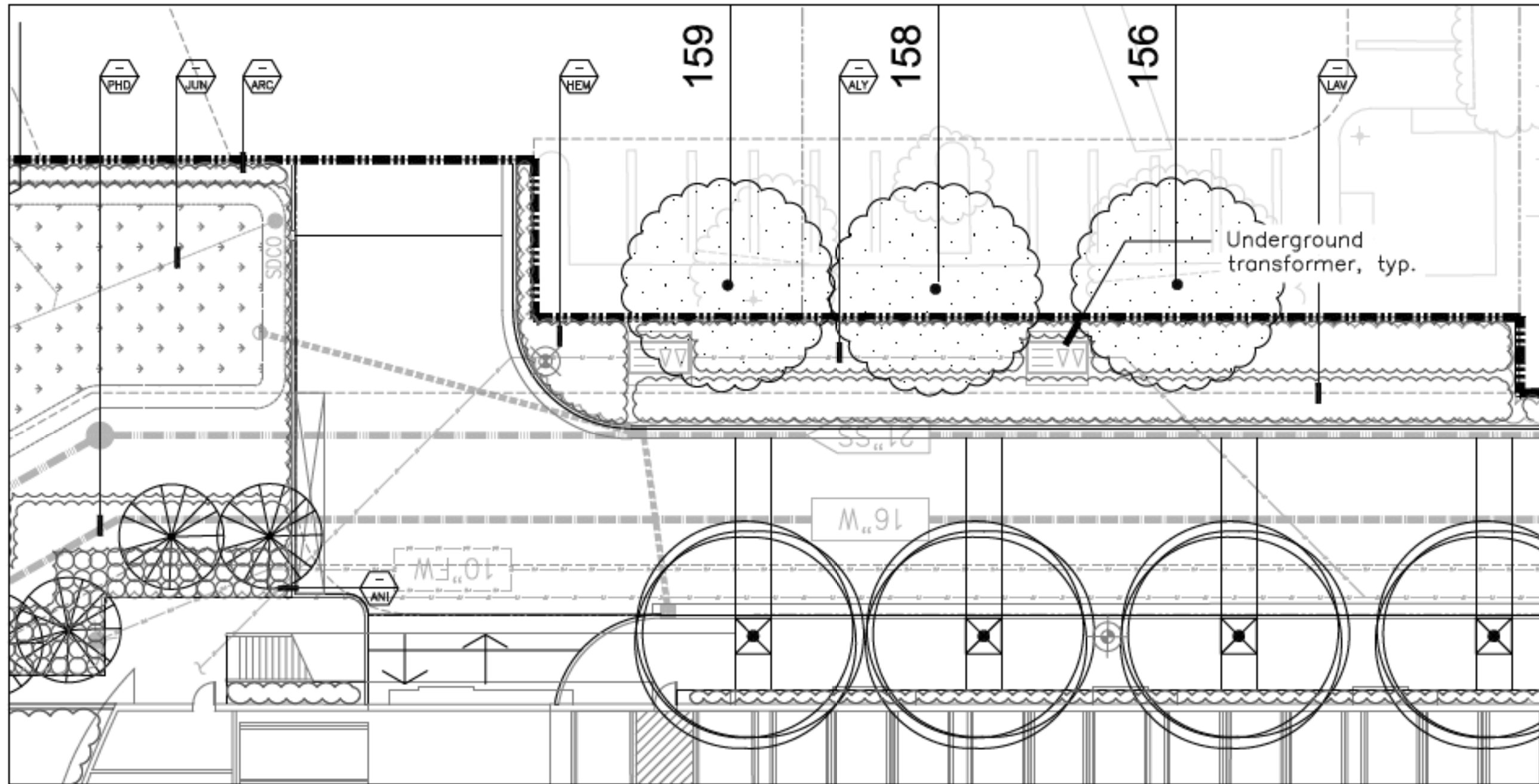
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Sheet Title
**CONCEPTUAL
 SHRUB AND
 GROUNDCOVER PLAN -
 CENTRAL PLAZA**
 Job No. 18021
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L4.6



UTILITIES SCREENING AT ENTRY FROM CHURCH



Key Map



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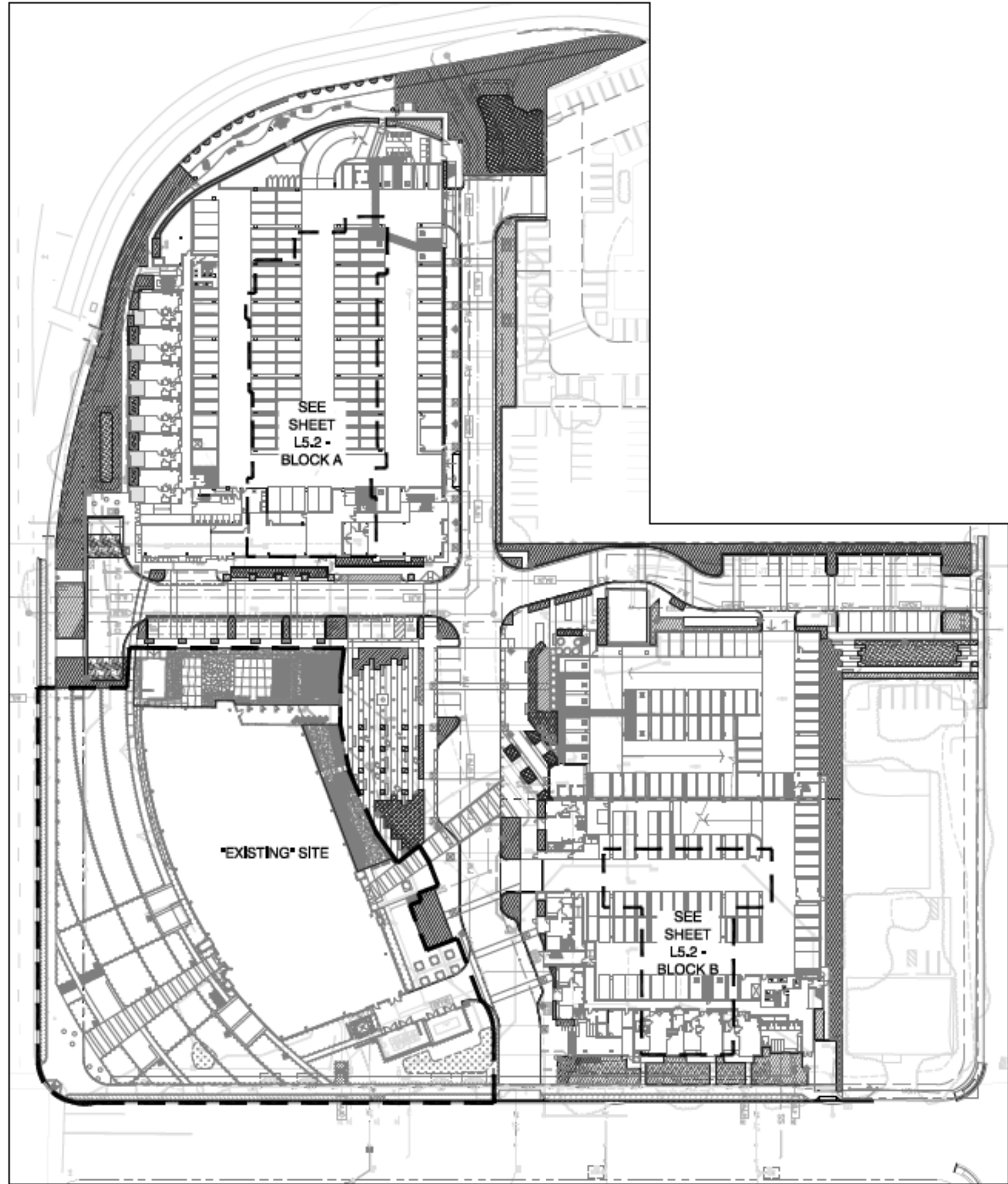
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Sheet Title
**CONCEPTUAL
SHRUB AND
GROUNDCOVER PLAN -
UTILITIES SCREENING**
Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

Sheet No.

L4.7



WATER USE LEGEND

Key	WUCOLS Category	Medium Water Use
	Low Water Use	
	WUCOLS: 37,034 SF	WUCOLS: 7,292 SF
	Block A: 4,203 SF	Block A: 0 SF
	Block B: 2,467 SF	Block B: 105 SF
	Rooftops: 36 SF	TOTAL: 7,397 SF
	TOTAL: 43,840 SF	
	High Water Use	
	WUCOLS: 1,042 SF	
	Block A: 1,284 SF	
	Block B: 0 SF	
	TOTAL: 2,326 SF	



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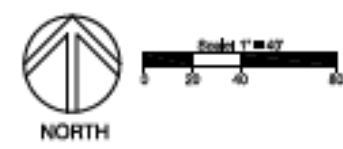
Mountain View, California

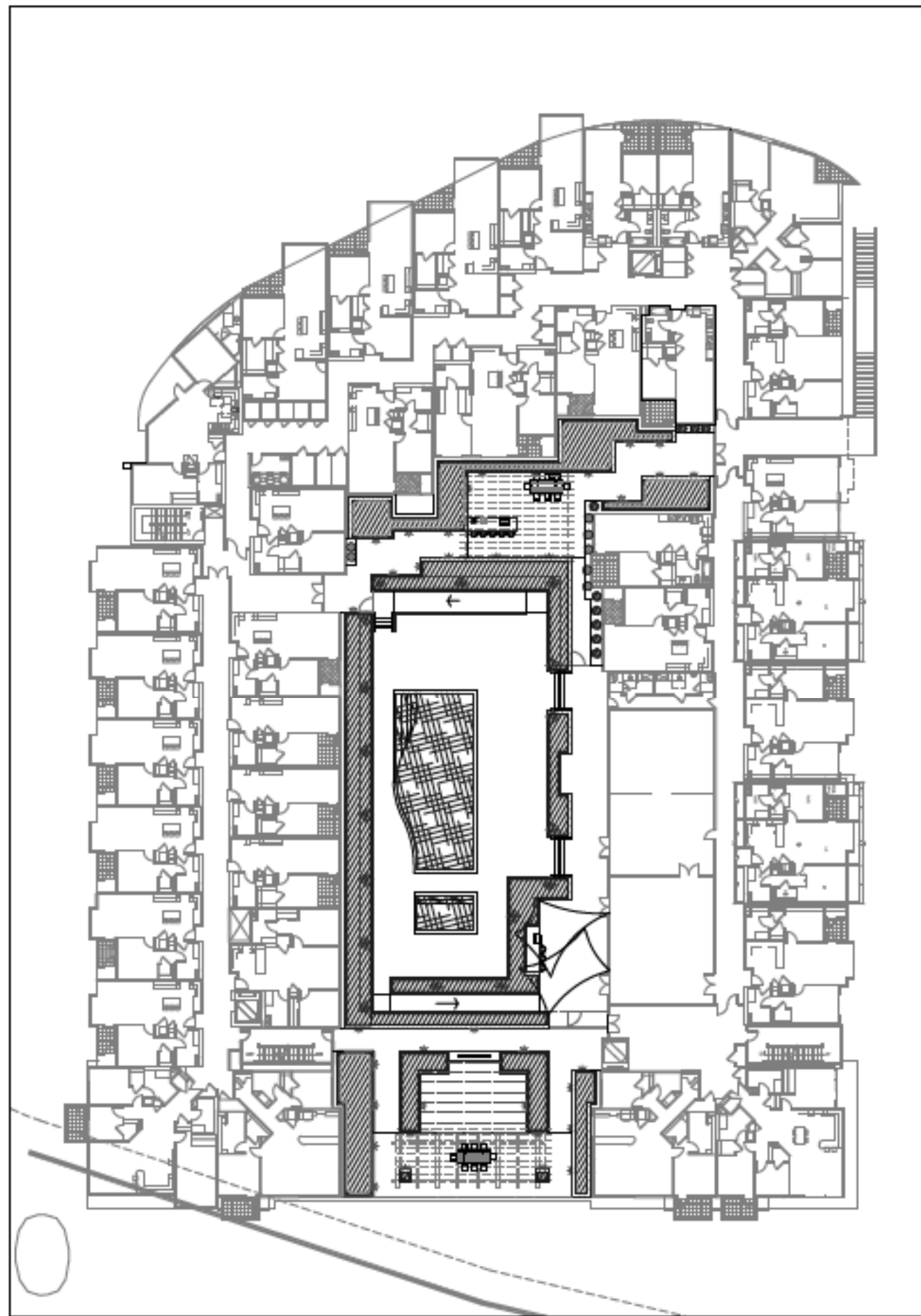
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IRRIGATION ZONE DIAGRAM - SITE

Job No. 18021
 Date 03/09/2020
 Scale:
 Drawn By:

Sheet No.

L5.1

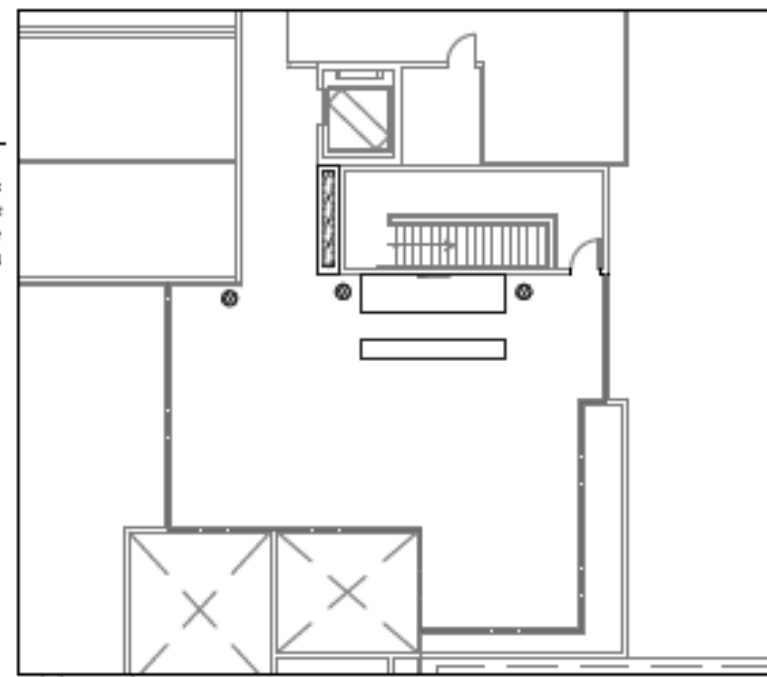




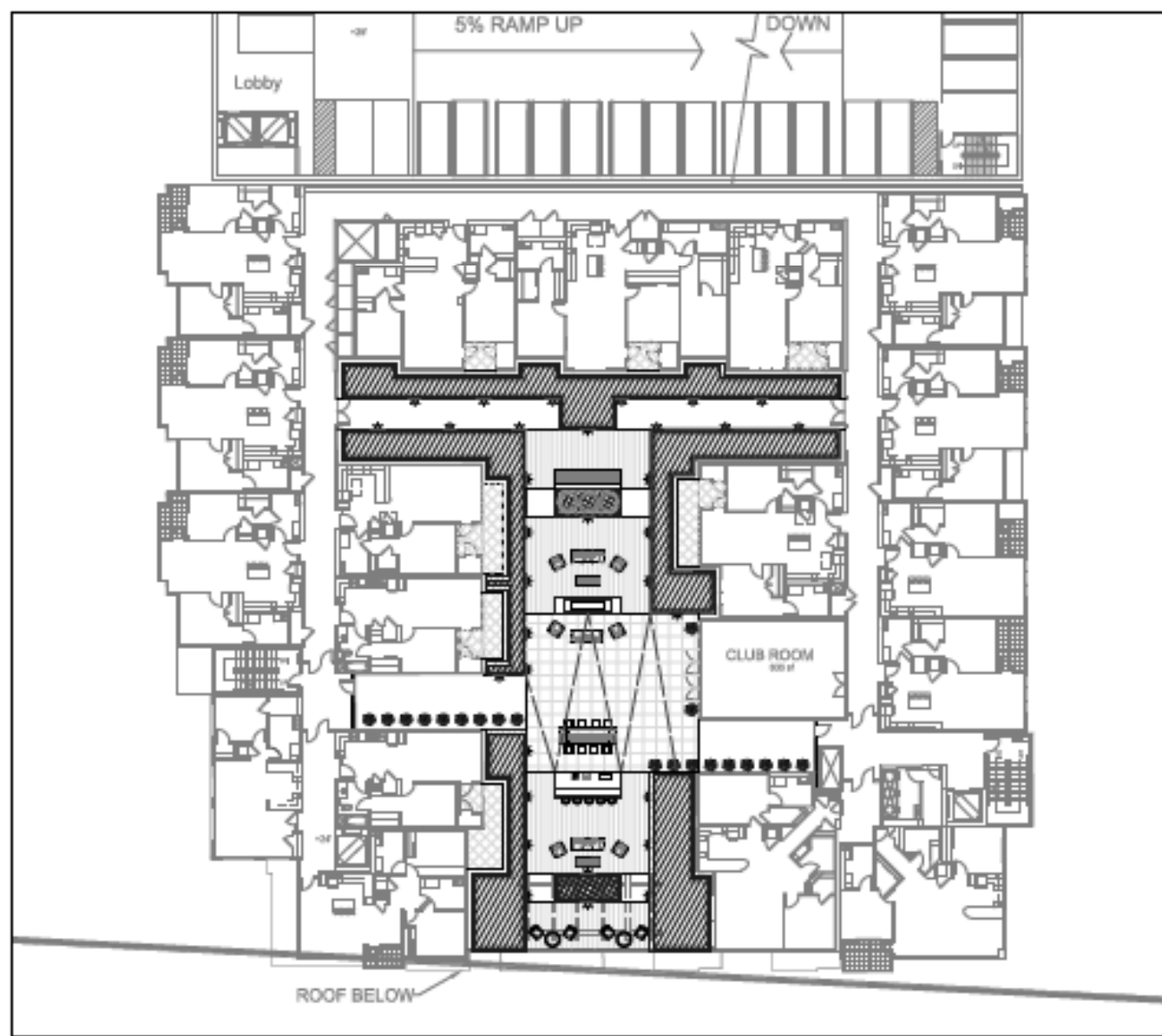
BLOCK A

WATER USE LEGEND

Key	WUCOLS Category	
	Low Water Use	
Site: 37,124 SF		Site: 7,562 SF
Block A: 4,213 SF		Block A: 0 SF
Block B: 2,487 SF		Block B: 163 SF
Rooftop: 36 SF		TOTAL: 7,727 SF
TOTAL: 43,640 SF		
	High Water Use	
Site: 1,042 SF		
Block A: 1,294 SF		
Block B: 0 SF		
TOTAL: 2,536 SF		



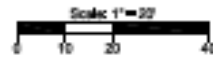
ROOF DECK



BLOCK B



NORTH



Scale: 1"=20'



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Sheet Title:
IRRIGATION ZONE DIAGRAM - PODIUMS

Job No. 18021
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 Scale:
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Sheet No:

L5.2



WATER BUDGET CALCULATION WORKSHEET - ELECTRONIC

[1]

Project Site address: 1500 Salado Drive

Please Note: A Water Budget Calculation Worksheet is required ONLY if:

- (1) High-water-use plants are included in the landscaped area, and/or
(2) Less than 80% of the landscape area is planted with California Native and/or low-water-use plants.

SECTION A. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

Table A-1 Hydrozone Area Information

Table with 4 columns: Hydrozone Label, Plant Water Use Type, Plant Type, Hydrozone Area (square feet). Includes rows for High (water feature), High, Medium, and Low.

[4] Summary of Hydrozone Area Information

Summary table with 2 columns: Summary Area, Area (square feet). Rows include Sum of Low Water-Use Areas, Sum of Moderate & Mixed-Water-Use Areas, Sum of High-Water-Use Areas, Sum of Special Landscape Areas, and Sum of all Landscape Areas.

[1]

Maximum Applied Water Allowance = 665,648 gallons per year.

SECTION B. ESTIMATED TOTAL WATER USE (ETWU)

Table B-1. Plant Factor and Irrigation System Information

Table with 8 columns: Hydrozone Label, Plant Water Use Type, Plant Type, Plant Factor (PF), Hydrozone Area (HA) square feet, Irrigation Method, Irrigation Efficiency (IE), ETWU (gpyr). Includes rows for High (water feature), High, Medium, and Low.

[1]

Hydrozone areas, irrigation methods and efficiencies are entered where required:

OK

[4]

Estimated Total Water Use = 624,171 gallons/year

[1]

SECTION C. COMPARISON OF ETWU AND MAWA

The calculated ETWU may not exceed the calculated MAWA.

MAWA = 665,648 >= ETWU = 624,171

[1]

Congratulations! Your electronic Water Budget Calculation Worksheet is complete.

Please print sections A, B & C and submit them with your application.

IRRIGATION NOTES

- 1. All plants... 2. All plants... 3. All plants... 4. All plants... 5. All plants... 6. All plants... 7. All plants... 8. All plants... 9. All plants... 10. All plants... 11. All plants... 12. All plants... 13. All plants... 14. All plants... 15. All plants...

IRRIGATION PERFORMANCE SPECIFICATIONS

- The contractor shall include in the bid a proposal to install... 1. Planting Areas and Method of Irrigation... 2. Irrigation Equipment... 3. Pipe and Fittings... 4. Backflow Prevention... 5. Backflow Prevention... 6. Backflow Prevention... 7. Backflow Prevention... 8. Backflow Prevention... 9. Backflow Prevention... 10. Backflow Prevention... 11. Backflow Prevention... 12. Backflow Prevention... 13. Backflow Prevention... 14. Backflow Prevention... 15. Backflow Prevention...

PROPOSED EQUIPMENT LIST

Table listing equipment items such as SOLENOID VALVE, IRRIGATION BACKFLOW PREVENTER, WATER CONTROL VALVE, FLOW SENSOR, etc.



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Sheet Title: IRRIGATION NOTES AND WATER CALCULATIONS

Job No. 18021, Date: 03/09/2020, Scale, Drawn By:

Sheet No.

L5.3



WATER-EFFICIENT DESIGN AND MAINTENANCE CHECKLIST

Project Site Address: 1001 N. Shoreline Blvd.

Required Submittals (check if completed)

- 1. Water-Efficient Design and Maintenance Checklist
- 2. Landscape Design Plan
- 3. Irrigation Design Plan
- 4. Water Budget Calculation Worksheet (NOT needed if Plant-Type Restriction Option is chosen)
- 5. Certification of Installation (Within 60 days of installation)

Landscape Design Plan Requirements

Parameter	Requirements	Completed
Plantings	Plant Table included in plan with plant symbol, common name, botanical name, container size, quantity, type (e.g., grass, succulent, vine, shrub, tree), water-efficient species identification (low, moderate, high), and unique physical specifications of plants, if applicable.	<input checked="" type="checkbox"/>
	Plant types are assigned appropriate water-use levels based on the WUCOLS species evaluation list (i.e., "turf" is not assigned a "low"-water use).	<input checked="" type="checkbox"/>
	Avoid invasive plants in plan, such as those listed by the California Invasive Plant Council.	<input checked="" type="checkbox"/>
	Square footages of planted areas and water features (i.e., fountains and pools) noted on the Landscape Design Plan and match areas listed in Compliance Option 1 calculations on Page 2, if applicable.	<input checked="" type="checkbox"/>
	Turf areas are at least 10' wide, unless watered with subsurface drip irrigation.	<input type="checkbox"/>
Turf Blooms	Turf is not planted on slopes of 25 percent grade or more.	<input checked="" type="checkbox"/>
	Turf is at least 24" away from nonpermeable hardscape (except internal pathways), unless watered with subsurface drip irrigation.	<input checked="" type="checkbox"/>
Special Landscape Areas	Areas identified as SLAs meet the definition of Special Landscape Area: <i>An area of landscape dedicated solely to aesthetic plants, areas irrigated with nonpotable water, water features using nonpotable water, and areas dedicated to active play (parks, sports fields, golf courses). SLAs DO NOT INCLUDE front-yard and backyard lawns of private residences or water features that use potable water.</i>	<input type="checkbox"/> N/A
Hydrozones	Plants are grouped by hydrozone (similar water needs, sun exposure, slope, soil).	<input checked="" type="checkbox"/>
	Hydrozones, including SLAs, are delineated and labeled with square footages.	<input checked="" type="checkbox"/>
	Hydrozones are labeled as low, moderate, high, or mixed (low/moderate) water use.	<input checked="" type="checkbox"/>
	High-water-use plants are confined to their own hydrozones (not mixed with plants with low- or moderate-water needs).	<input checked="" type="checkbox"/>
	Single hydrozones with both low- and moderate-water-use plants are labeled "mixed."	<input type="checkbox"/> N/A
	Hardscapes are identified.	<input checked="" type="checkbox"/>
	Square footages for hydrozones, water features, and SLAs on plan match those listed on the Water Budget Calculation Worksheets (if Compliance Option 2 is chosen).	<input checked="" type="checkbox"/>
Mulch	Mulch is at least 2" deep on exposed soil surfaces. Depth and type of mulch are noted in plan.	<input checked="" type="checkbox"/>
Water Features	Recirculating (if water features are included in plan).	<input type="checkbox"/>
	Pool/spa cover (if pool/spa is included in plan).	<input checked="" type="checkbox"/>
Grading and Stormwater Management	Grading contours and quantities shown on Landscape Design and/or Irrigation Design Plan.	<input type="checkbox"/> N/A
	Grading meets applicable requirements of City Standard Design Criteria.	<input type="checkbox"/> N/A
	Stormwater management practices are incorporated appropriately.	<input checked="" type="checkbox"/>

Landscape and Irrigation Maintenance Checklist

Pursuant to the City of Mountain View's Water Conservation in Landscaping Regulations, landscapes and irrigation systems shall be maintained to ensure successful establishment following installation, and to ensure the efficient use of water. Maintenance shall be performed regularly and *must* include, at a minimum, the following components:

Parameter	Components	Completed
Irrigation System	System check (every six months)	<input type="checkbox"/>
	Routine inspection (monthly)	<input type="checkbox"/>
	Adjustment and repair	<input type="checkbox"/>
	Failed irrigation hardware components shall be replaced with the same or functionally equivalent components	<input type="checkbox"/>
Landscape	Replenish mulch	<input type="checkbox"/>
	Fertilize	<input type="checkbox"/>
	Prune	<input type="checkbox"/>
	Weed control	<input type="checkbox"/>
	Pest control	<input type="checkbox"/>
	Aeration and dethatching of turf areas	<input type="checkbox"/>
	Failed plants shall be replaced with the same or functionally equivalent plants	<input type="checkbox"/>

To the best of my ability, the landscape and irrigation systems installed as part of this project will be maintained on a regular basis and in compliance with the Water Conservation in Landscaping Regulations.

X Ernest Lettman 02/07/2020
Signature of Project Applicant or Authorized Representative Date

Irrigation Design Plan Requirements

Parameter	Requirements	Completed	
Design	Irrigation system is designed to avoid overspray and runoff.	<input checked="" type="checkbox"/>	
	Overhead irrigation is NOT used in the following locations: on slopes greater than 25 percent (except in defined amphitheaters), within 24' of an impervious surface (except for internal pathways) or in any narrow or irregularly shaped area that is less than 10' in width in any direction.	<input checked="" type="checkbox"/>	
	Each irrigation valve waters only one type of hydrozone.	<input checked="" type="checkbox"/>	
Equipment	Location, type, and size of all irrigation system components are noted in plan. Components may include controllers, main and lateral lines, valves, sprinkler heads, quick couplers, pressure regulators, and backflow prevention devices.	<input checked="" type="checkbox"/>	
	The following irrigation components are included and noted in plan:		
	Automatic irrigation controllers	<input checked="" type="checkbox"/> Rain-sensing shut-off devices	
	Master shut-off valves or equivalent technology	<input type="checkbox"/> Check valves or anti-drift valves	
	Swing joints or other non-protection components	<input type="checkbox"/> Flow sensors	
	Pressure regulators or booster pumps (if applicable)	<input type="checkbox"/> Flow/application rate and operating pressure for each station	
	Static water pressure at point of connection to public water supply.	<input checked="" type="checkbox"/>	
	Location and size of dedicated irrigation meter (if landscape area is > 1,000 square feet).	<input checked="" type="checkbox"/>	
	Scheduling	Proposed irrigation schedule is provided.	<input type="checkbox"/>
		System only operates between 8:00 p.m. and 10:00 a.m.	<input type="checkbox"/>

**NOTE: "Overhead irrigation" means water distributed through sprinkler heads or nozzles.

Compliance Option Requirements

Option 1: Plant-Type Restriction	<input type="checkbox"/>
Option 2: Water Budget	<input checked="" type="checkbox"/>

Option 1: Plant-Type Restriction Requirements

High-water-use plants (e.g., turf) are not used in the landscape area.	<input type="checkbox"/>
At least 80 percent of plantings are California native or low-water-use plants.	<input type="checkbox"/>

Option 2: Water Budget Calculation Requirements

A water budget calculation is NOT required if plans comply with Compliance Option 1. Water Budget Calculations worksheets are available in hard copy at the City of Mountain View's Planning office or online: mountainview.gov/depts/comdev/planning/application.asp

Parameter	Requirements	Completed
Compliance	Water Budget Calculation worksheet completed and printed for submission.	<input checked="" type="checkbox"/>
	Landscape's water use is within budget: $MAYN \geq ETWL$.	<input checked="" type="checkbox"/>
Appropriate Labeling	Plant factors in calculation worksheet are assigned as follows: 0.3 for low-water-use plants; 0.5 for moderate-water-use plants; and 0.8 for high-water-use plants. "Mixed" hydrozone areas are considered moderate-water-use areas and are assigned a factor of 0.5.	<input checked="" type="checkbox"/>
	Irrigation methods are assigned appropriate water-use levels (Spray=0.75 Drip=0.5).	<input type="checkbox"/>

I certify that information provided on this checklist is correct and meets the specified requirements of the Water Conservation in Landscaping Regulations.

X Ernest Lettman 02/07/2020
Signature of Project Applicant or Authorized Representative Date



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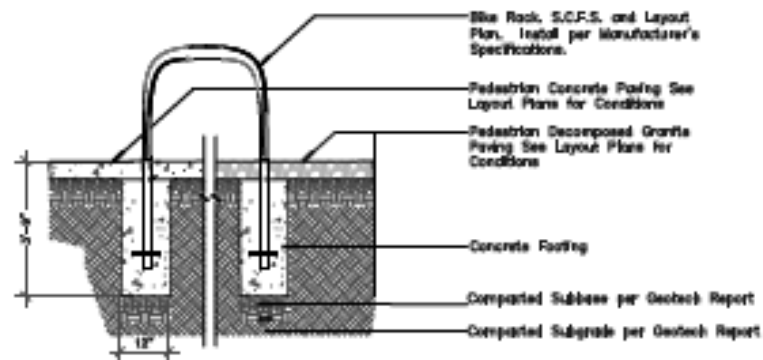
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AND WATER
CALCULATIONS

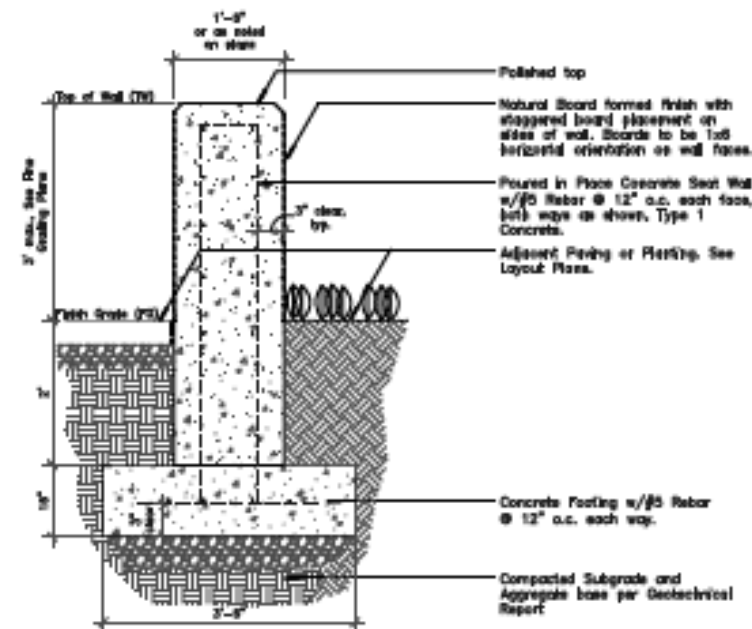
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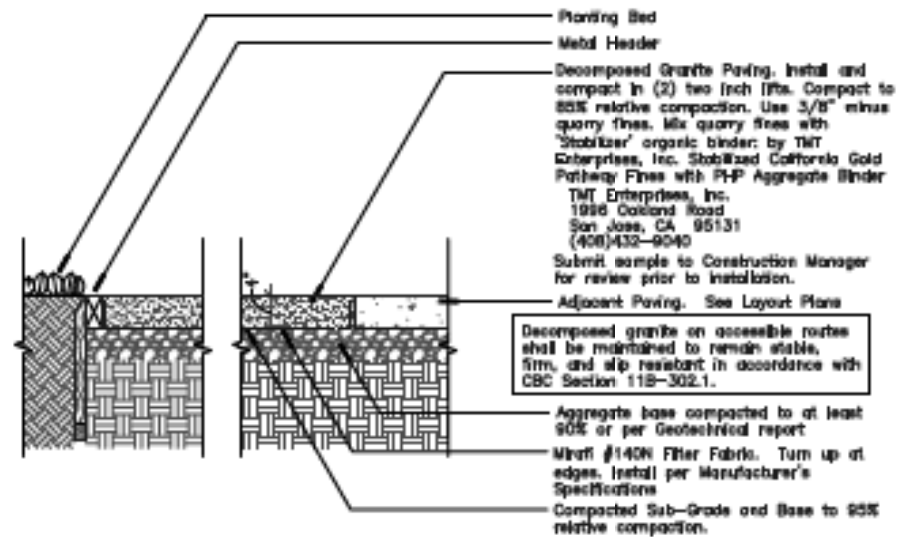
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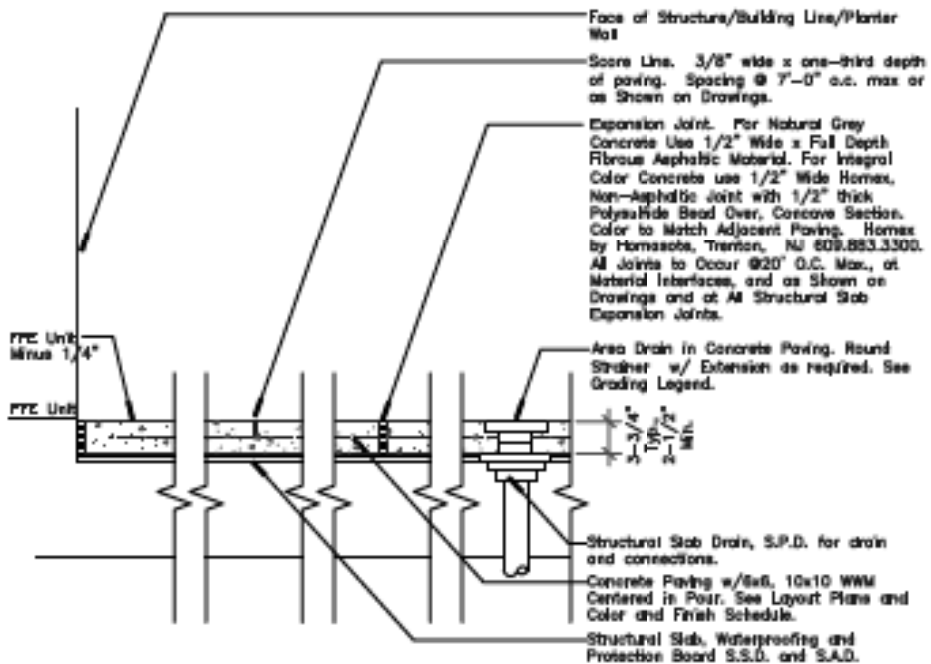
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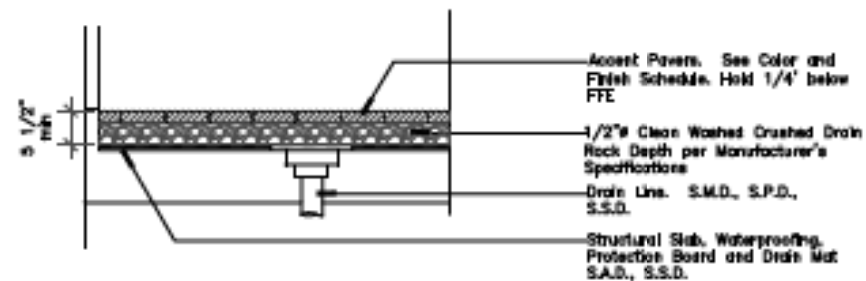
8 Concrete Seat Wall
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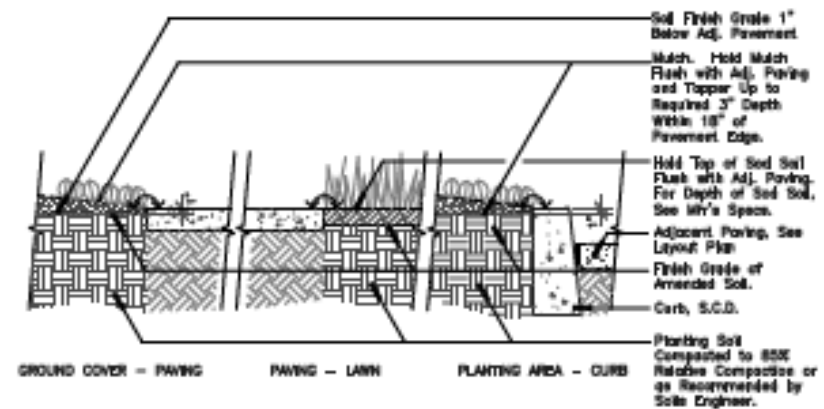
4 Pedestrian Decomposed Granite Paving
Scale: 1" = 1'-0"



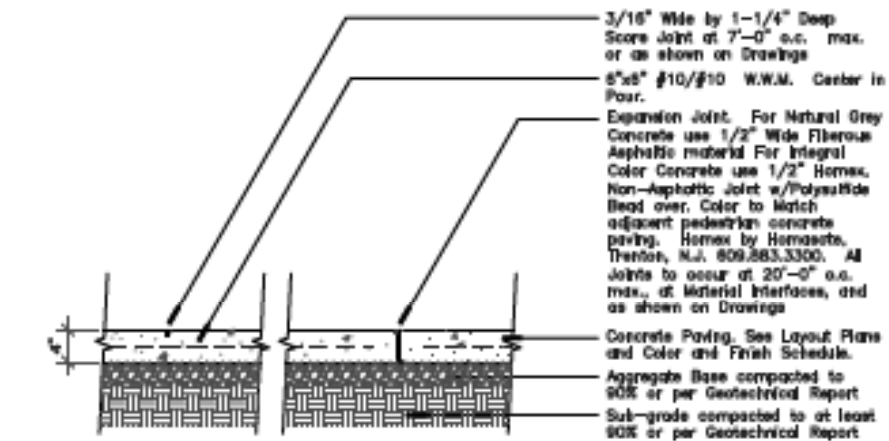
5 Concrete Paving On-Structure
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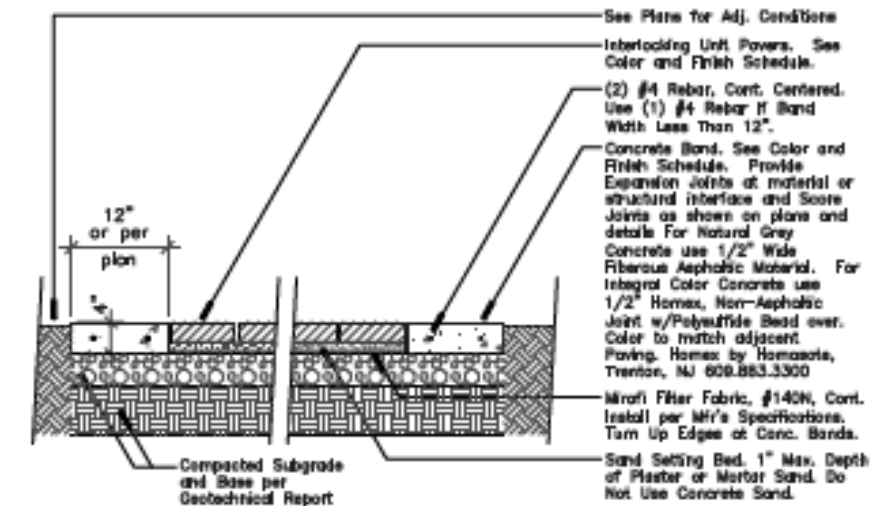
6 Pedestrian Accent Paver On-Structure
Scale: 1/2" = 1'-0"



1 Fine Grading @ Paving Edges
Scale: 3/4" = 1'-0"



2 Pedestrian Concrete Paving on-Grade
Scale: 1" = 1'-0"



3 Pedestrian Accent Paver on-Grade
Scale: 1" = 1'-0"



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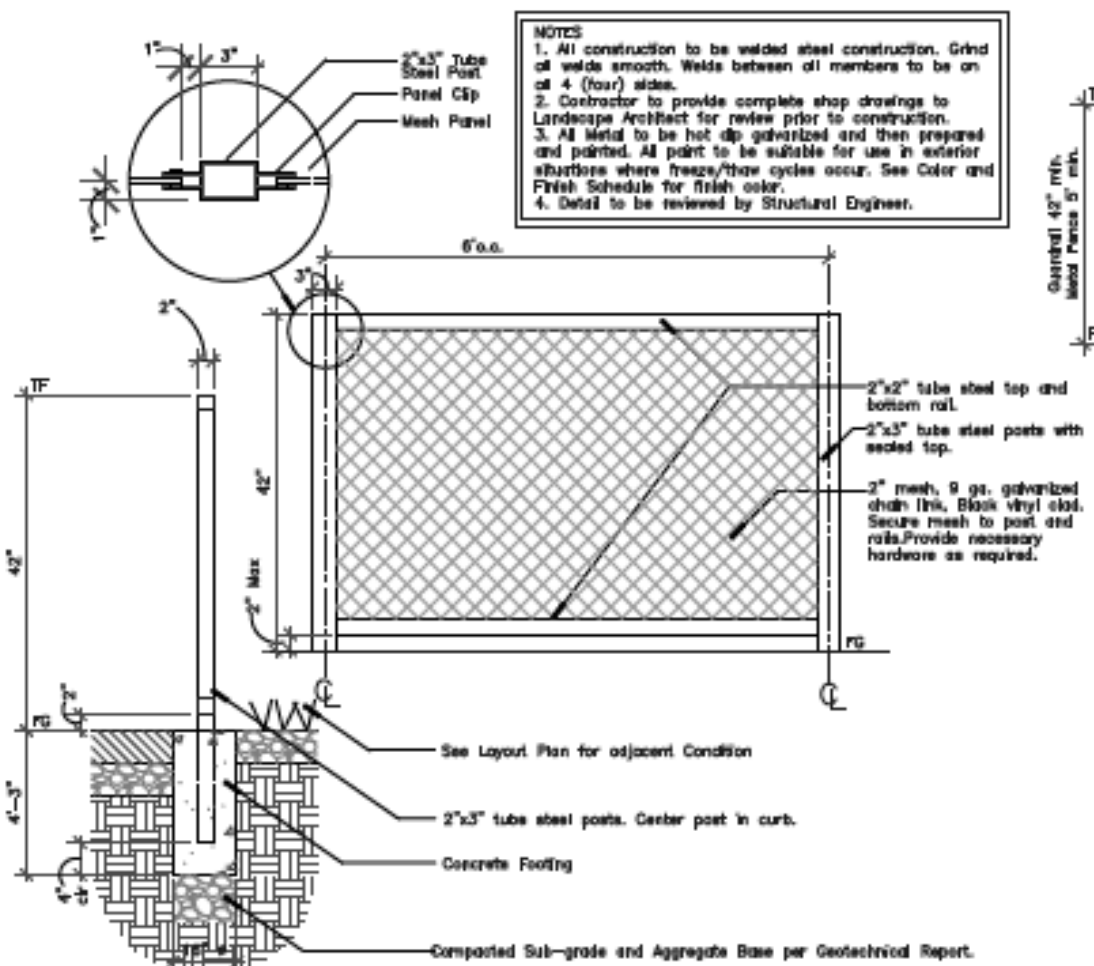
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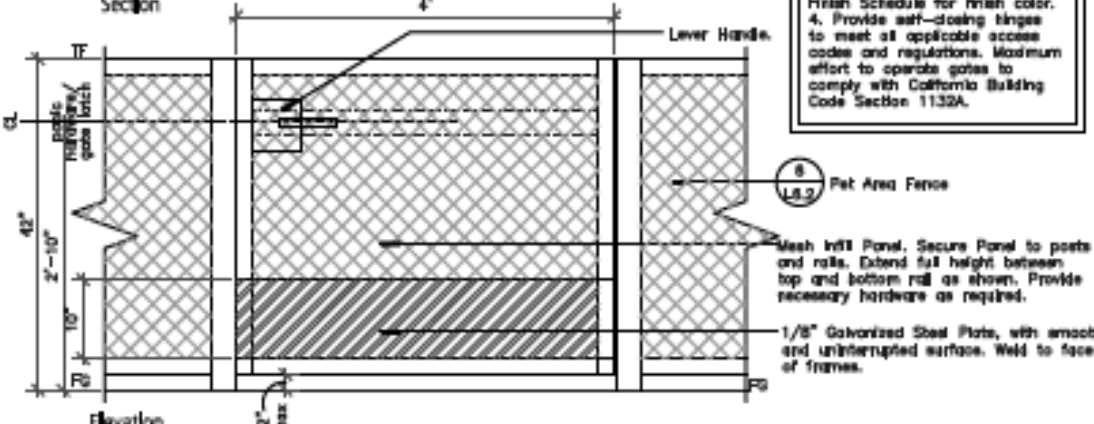
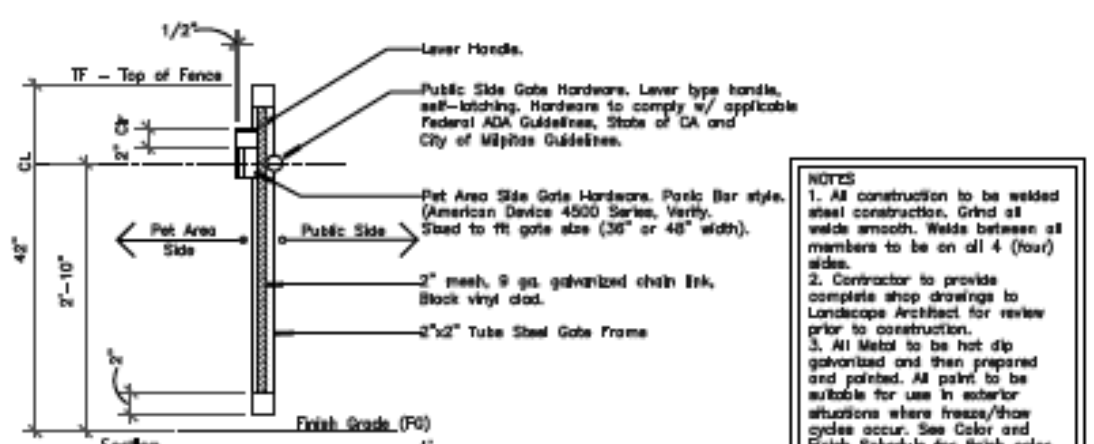
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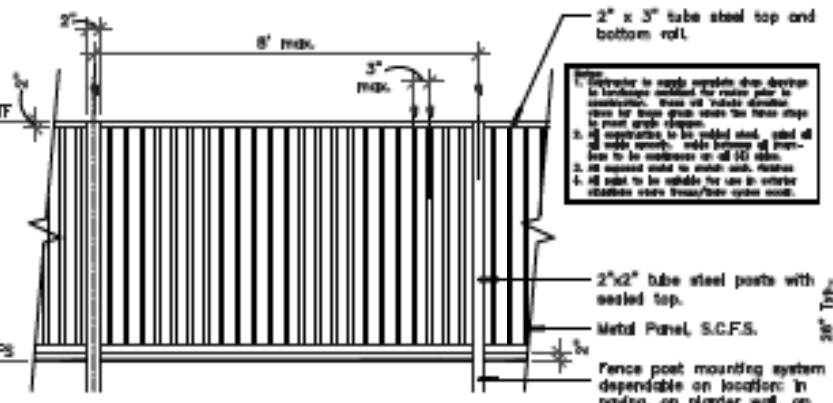
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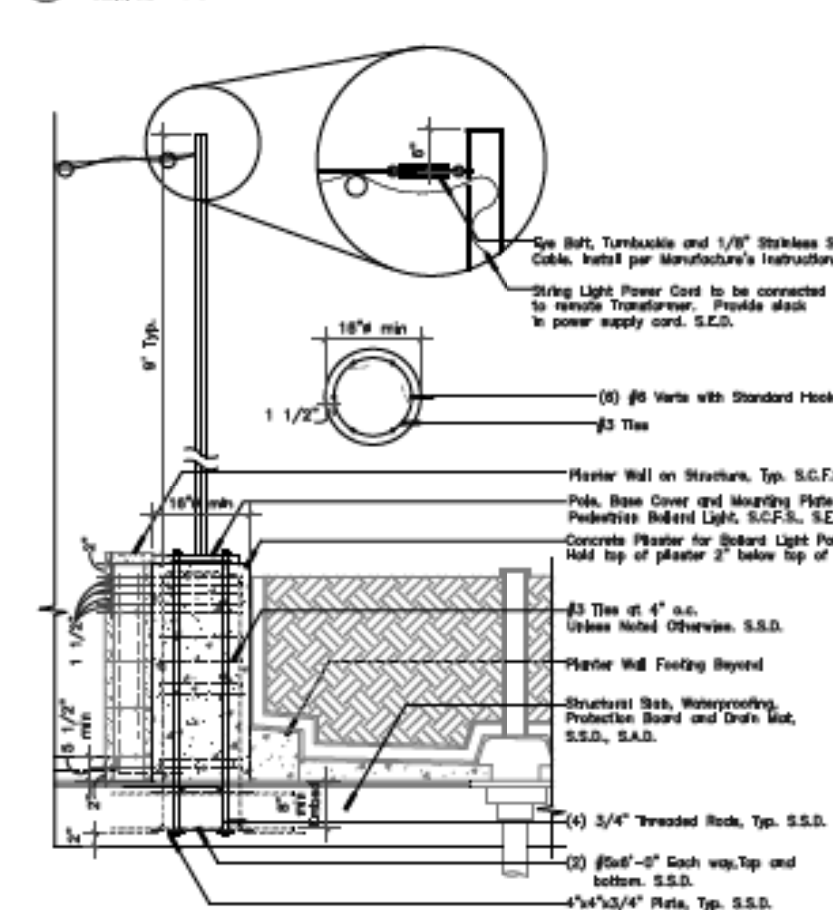
6 Dog Run Fence
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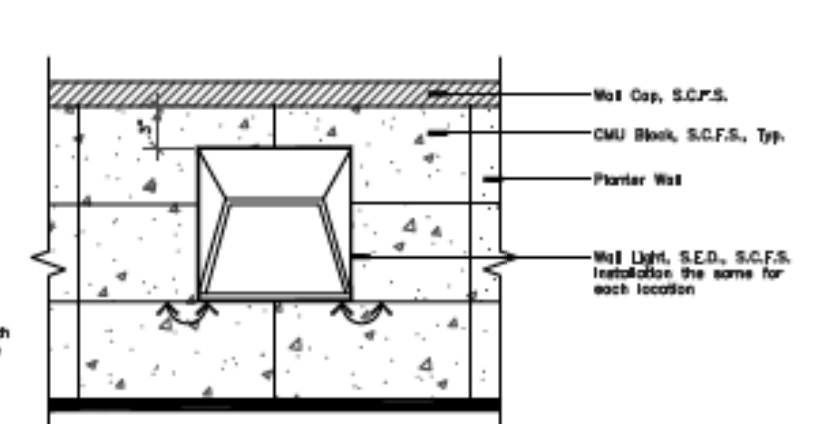
7 Dog Run Gate
Scale: 1" = 1'-0"



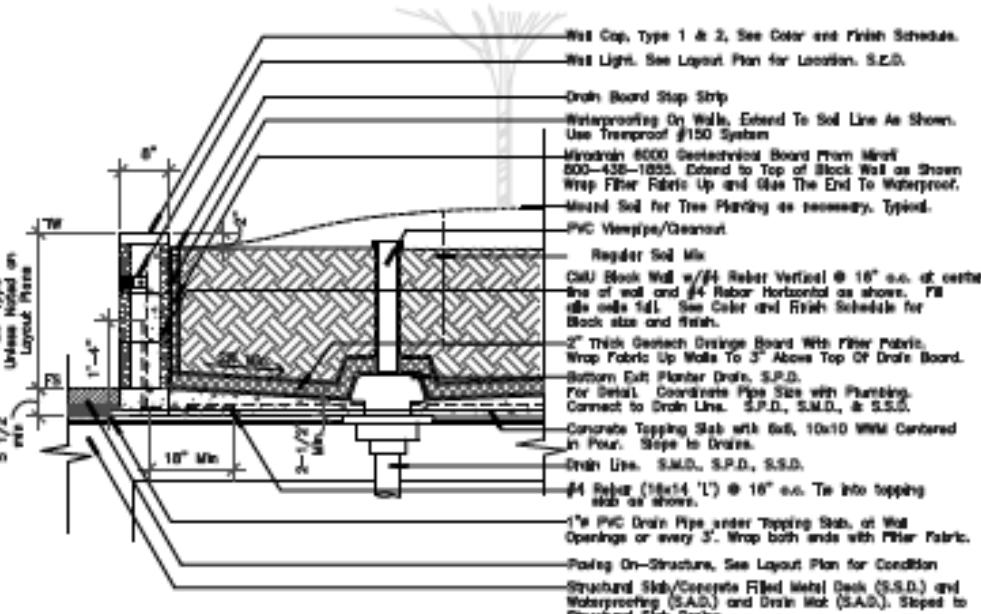
3 Pool Metal Fence On-Structure
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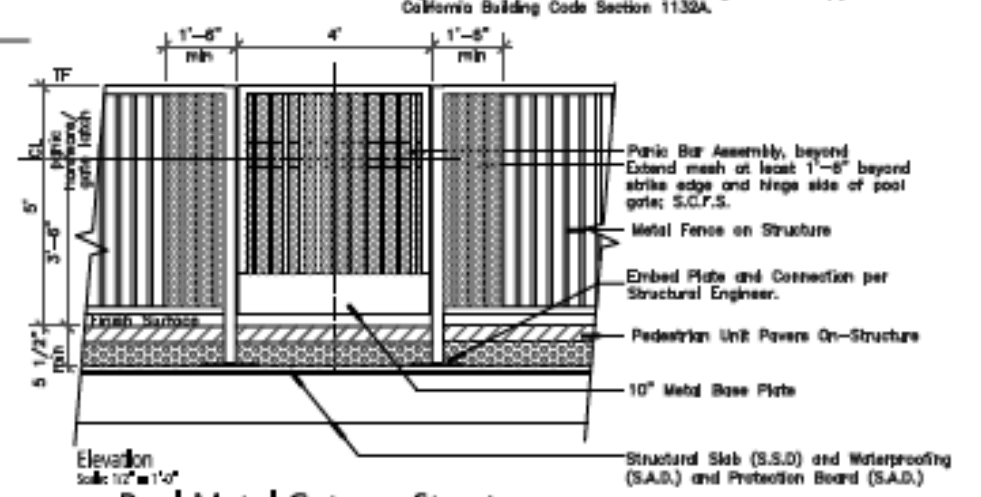
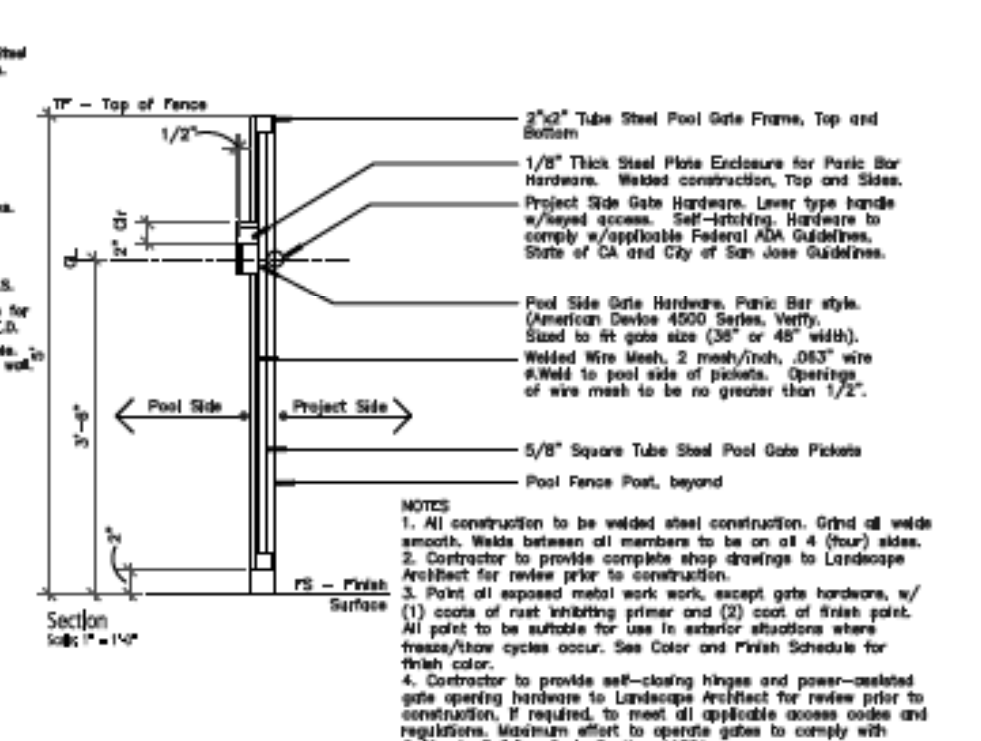
4 String Light Post in Planter on Structure
Scale: 3/4" = 1'-0"



5 Planter Wall Light - Elevation
Scale: 3/4" = 1'-0"



1 Raised Planter Wall on Structure
Scale: 3/4" = 1'-0"



2 Pool Metal Gate on Structure
Scale as noted

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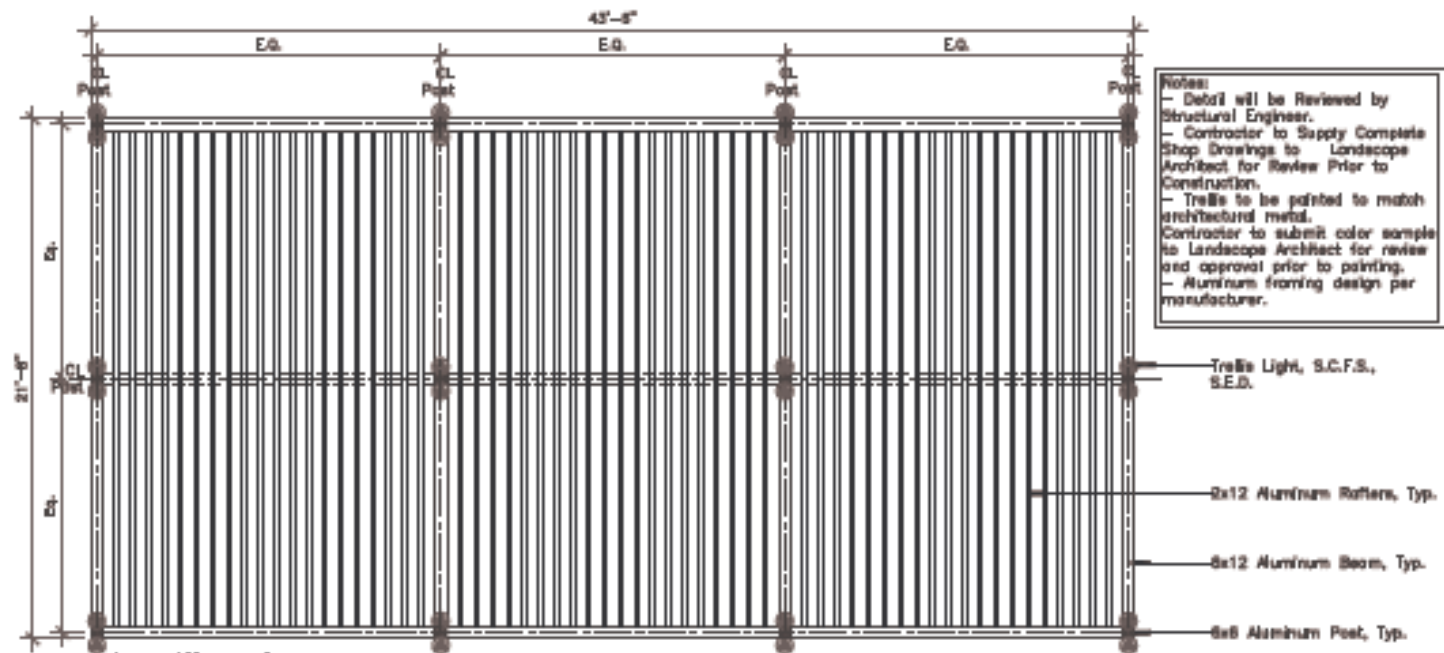
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CONCEPTUAL
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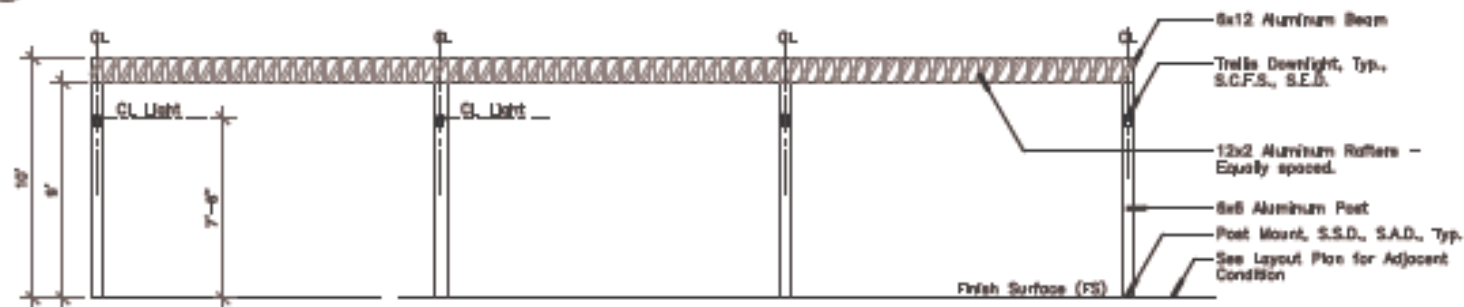
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L6.2



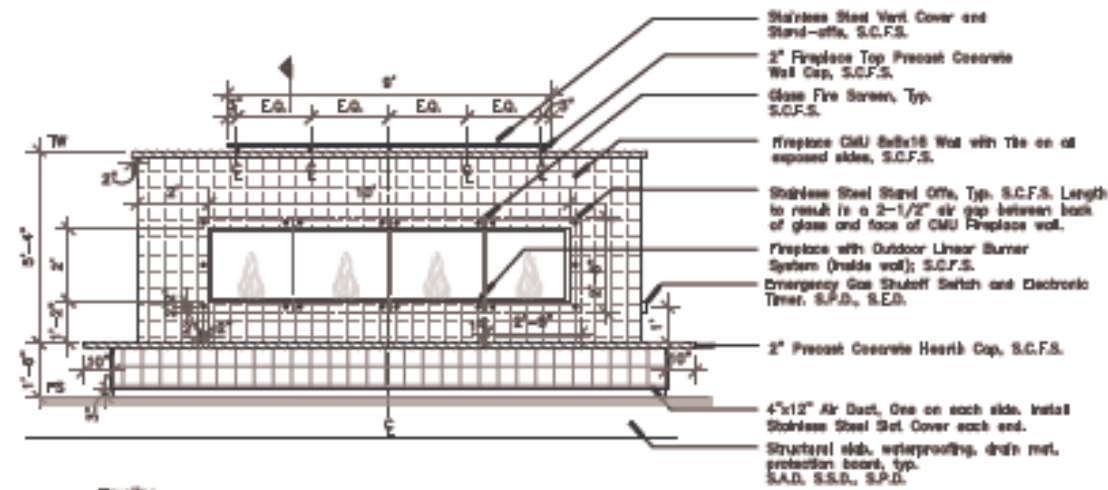
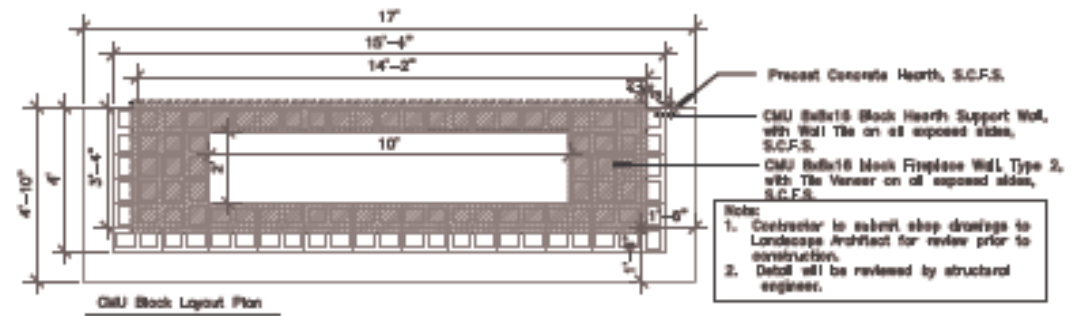
3 Metal Trellis - Plan

Scale: 1/4" = 1'-0"



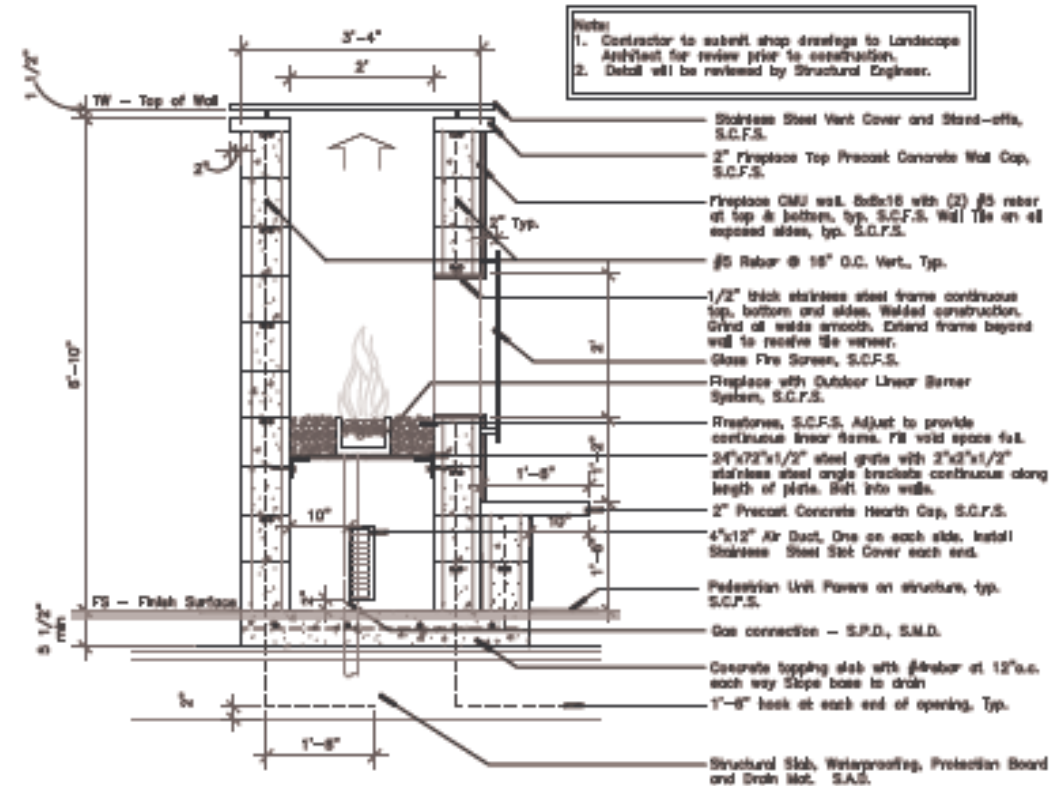
4 Metal Trellis - Elevation

Scale: 1/4" = 1'-0"



1 Fireplace

Scale: 3/8" = 1'-0"



2 Fireplace - Section

Scale: 3/8" = 1'-0"



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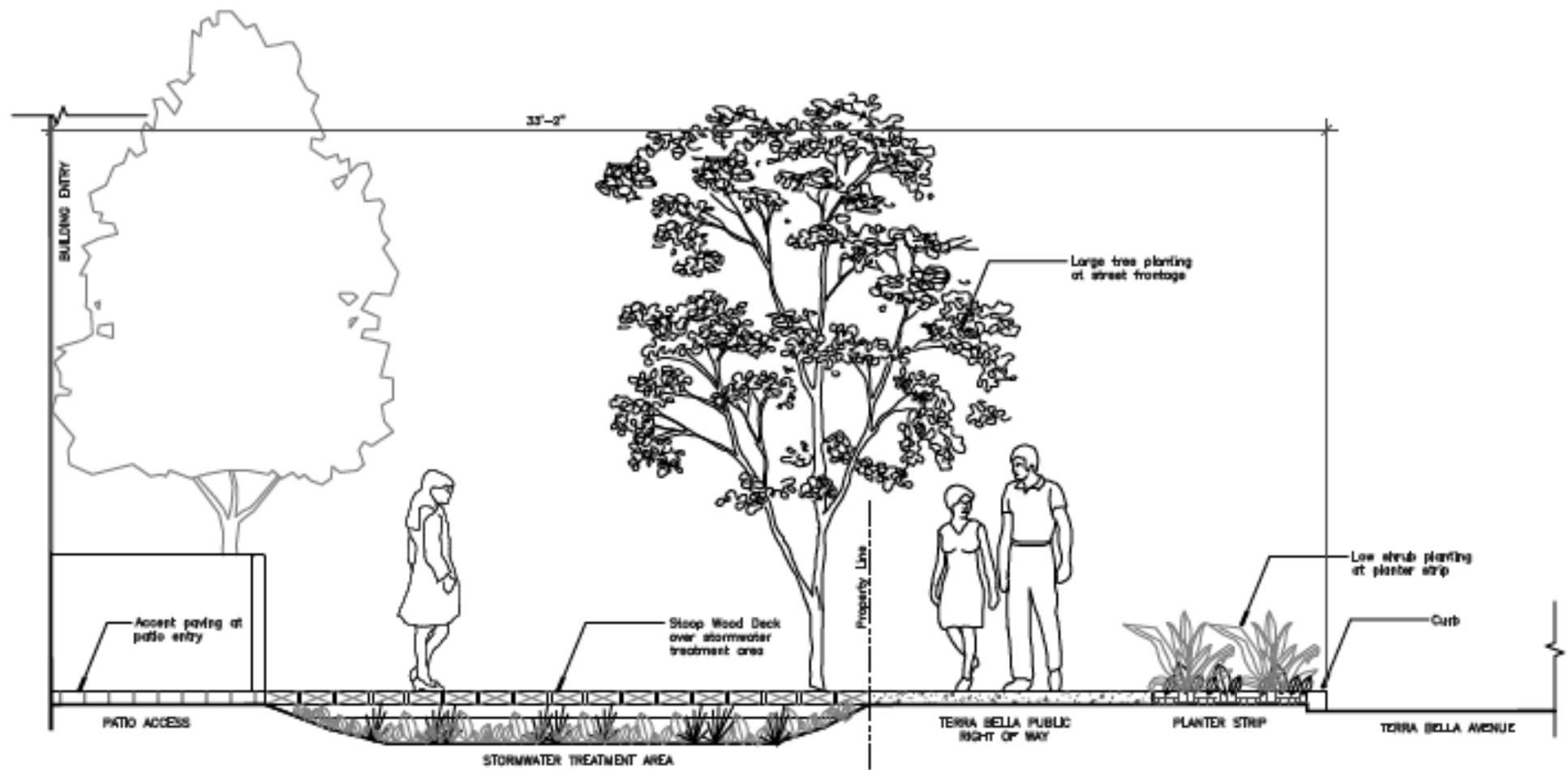
Mountain View, California

Sheet Title
CONCEPTUAL
LANDSCAPE DETAILS

Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

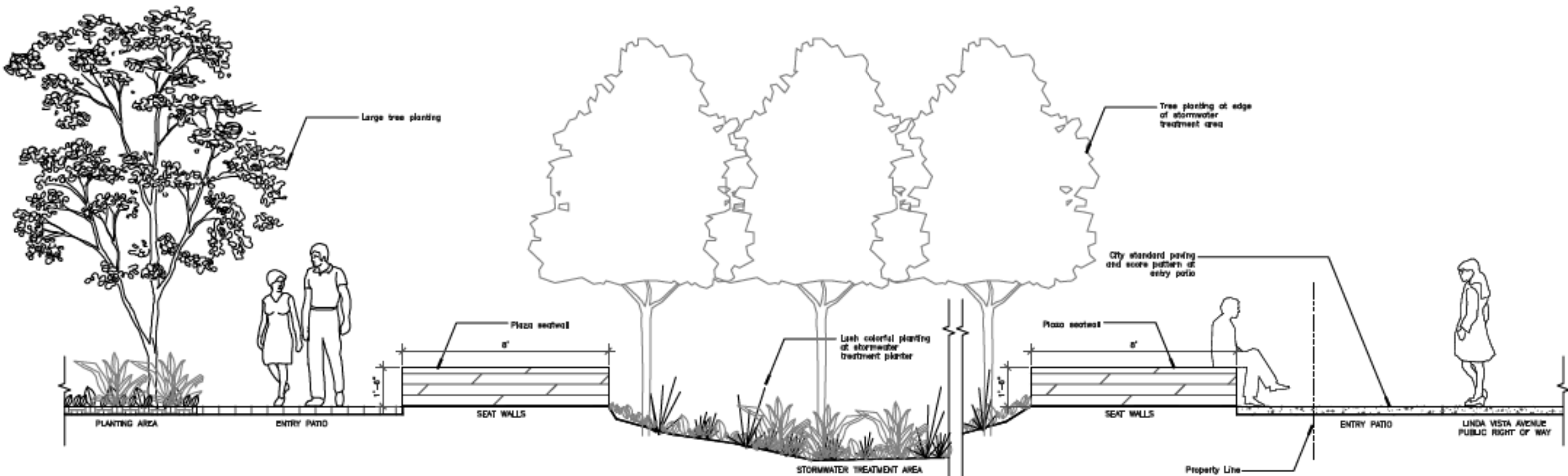
Sheet No.

L6.3



1 Terra Bella Ave. Frontage Elevation

Scale: 1/8" = 1'-0"



2 Linda Vista Ave. Dual Plaza Entry Elevation

Scale: 1/8" = 1'-0"



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Sheet Title
CONCEPTUAL
LANDSCAPE
ELEVATIONS

Job No. 18021
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Sheet No.

L6.4



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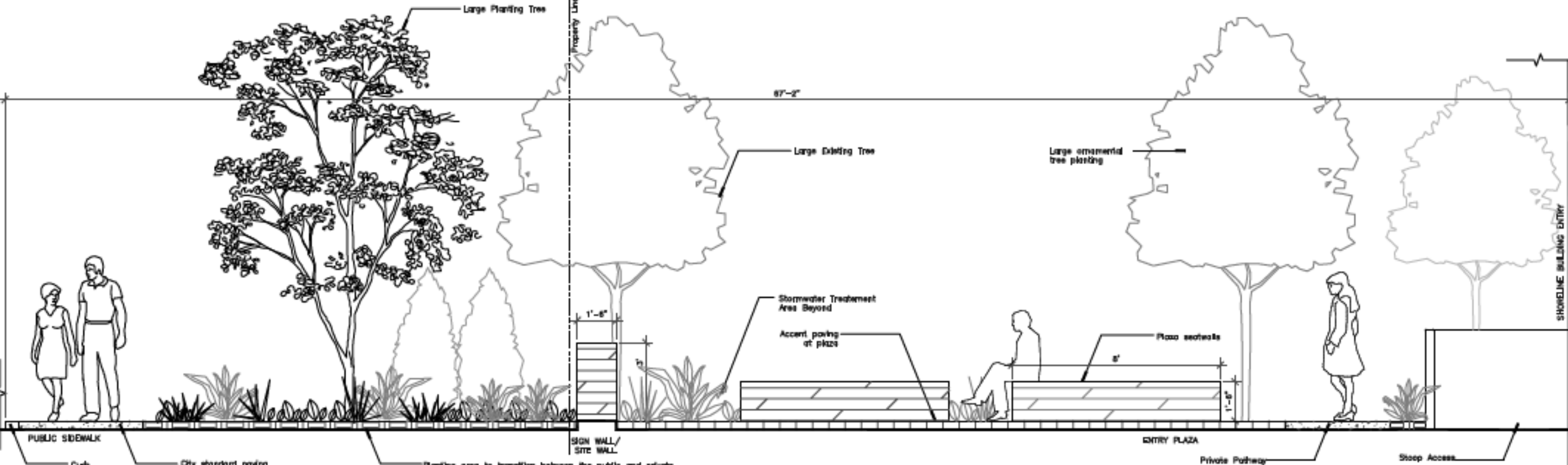
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Sheet Title
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 LANDSCAPE
 ELEVATIONS

Job No. 18021
 Date 03/09/2020
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 Drawn By:

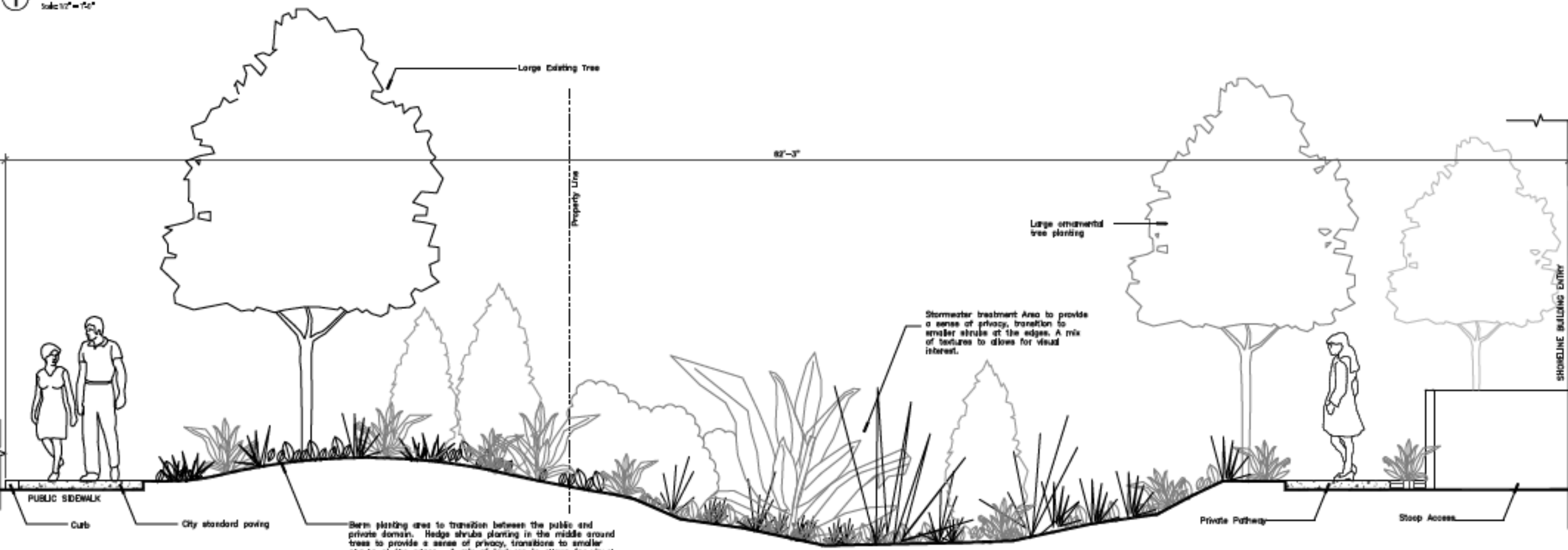
Sheet No.

L6.5



1 Shoreline Blvd Plaza Section
 Scale: 1/2" = 1'-0"

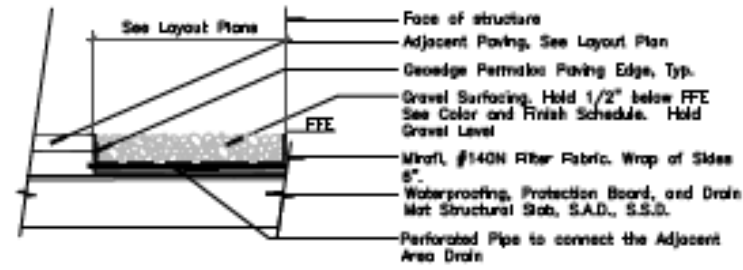
Planting area to transition between the public and private domain. Hedge shrubs planting in the middle around trees to provide a sense of privacy, transition to smaller shrubs at the edges. A mix of textures to allow for visual interest.



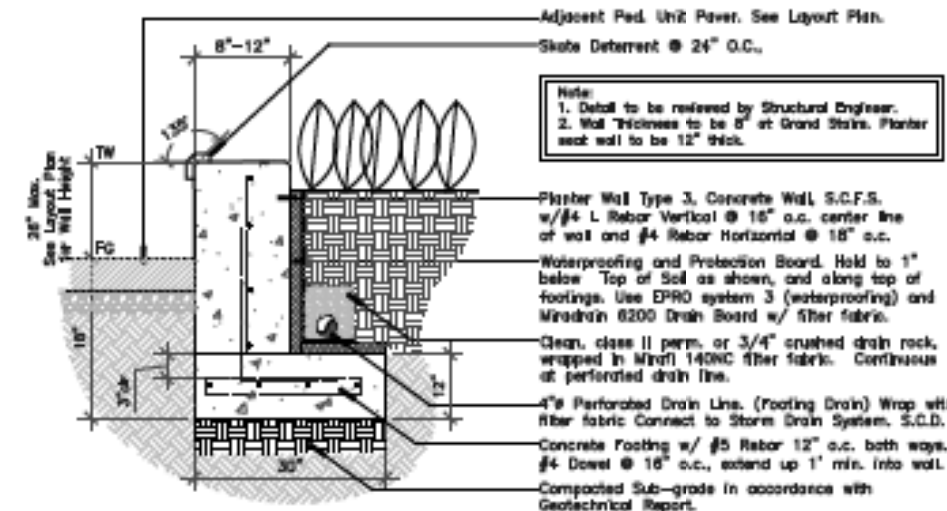
2 Shoreline Residential Entrances Section
 Scale: 1/2" = 1'-0"

Ben planting area to transition between the public and private domain. Hedge shrubs planting in the middle around trees to provide a sense of privacy, transition to smaller shrubs at the edges. A mix of textures to allow for visual interest.

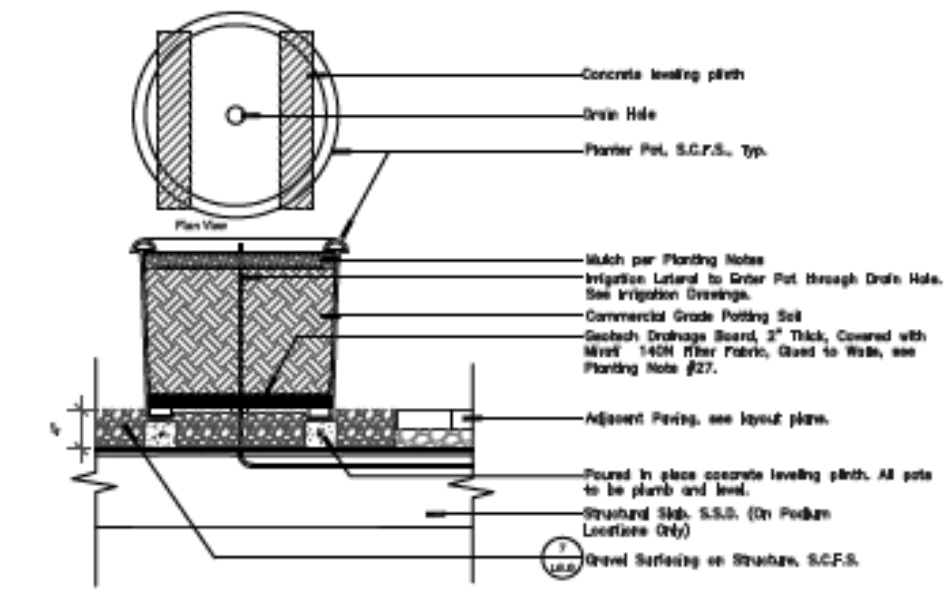
Stormwater treatment Area to provide a sense of privacy, transition to smaller shrubs at the edges. A mix of textures to allow for visual interest.



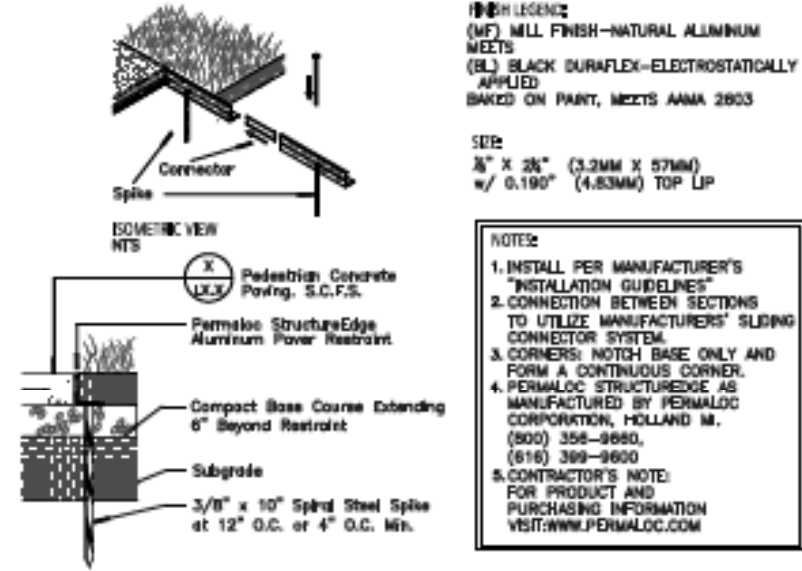
7 Gravel Surfacing on-Structure
Scale: 1/2" = 1'-0"



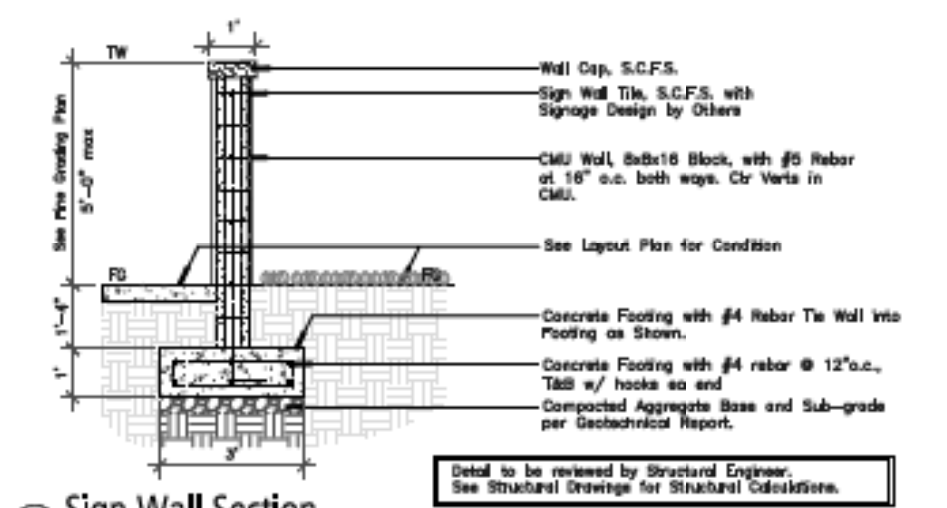
4 Raised Concrete Planter Wall On-Grade
Scale: 1" = 1'-0"



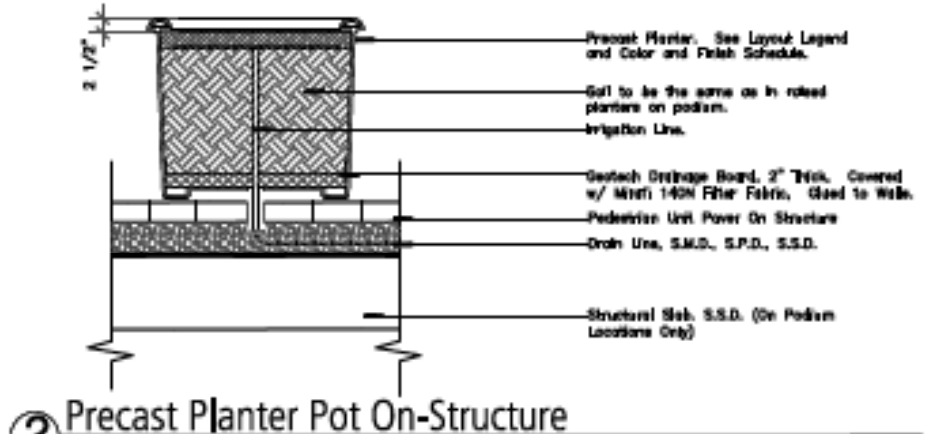
1 Pre-Cast Planter Pot in Gravel On-Structure
Scale: 3/4" = 1'-0"



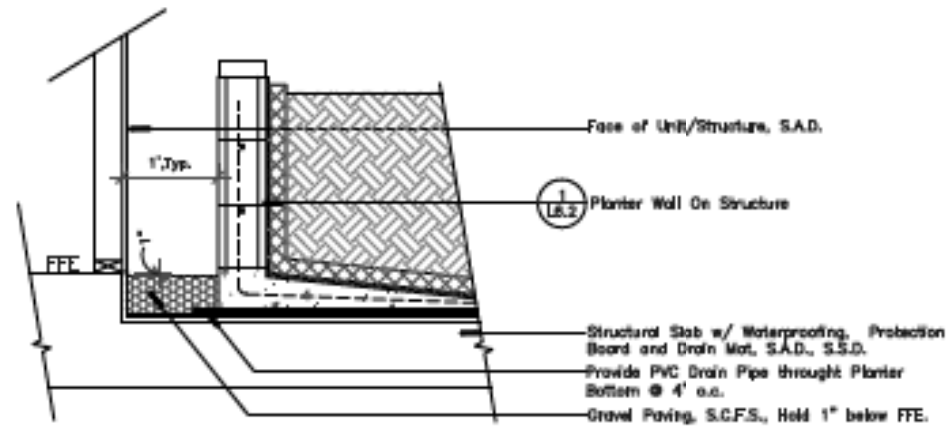
8 Metal Header
Scale: 1" = 1'-0"



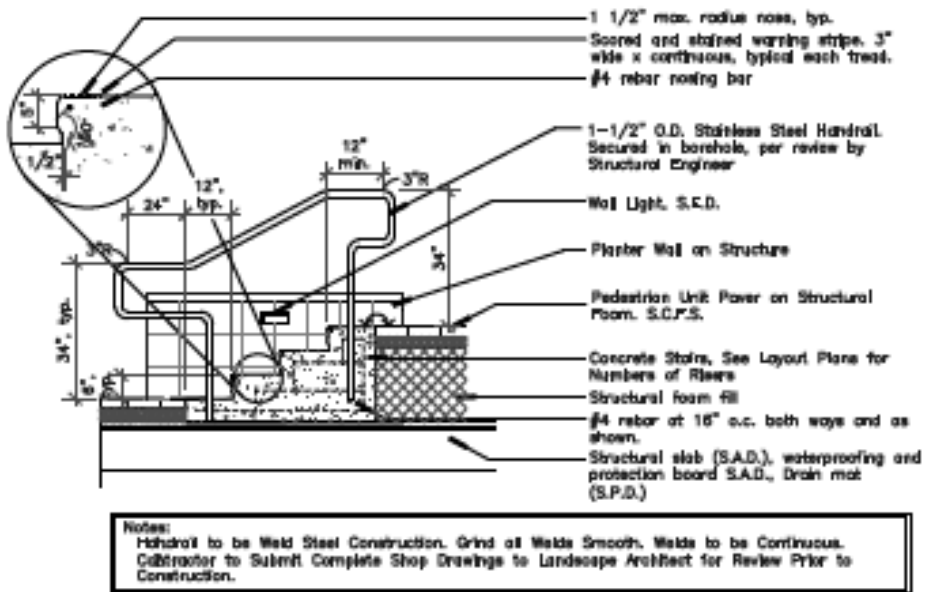
5 Sign Wall Section
Scale: 1/2" = 1'-0"



2 Precast Planter Pot On-Structure
Scale: 3/4" = 1'-0"



6 Gravel Band at Planter Wall
Scale: 1" = 1'-0"



3 Concrete Stairs with Handrails on Structure
Scale: 1/2" = 1'-0"



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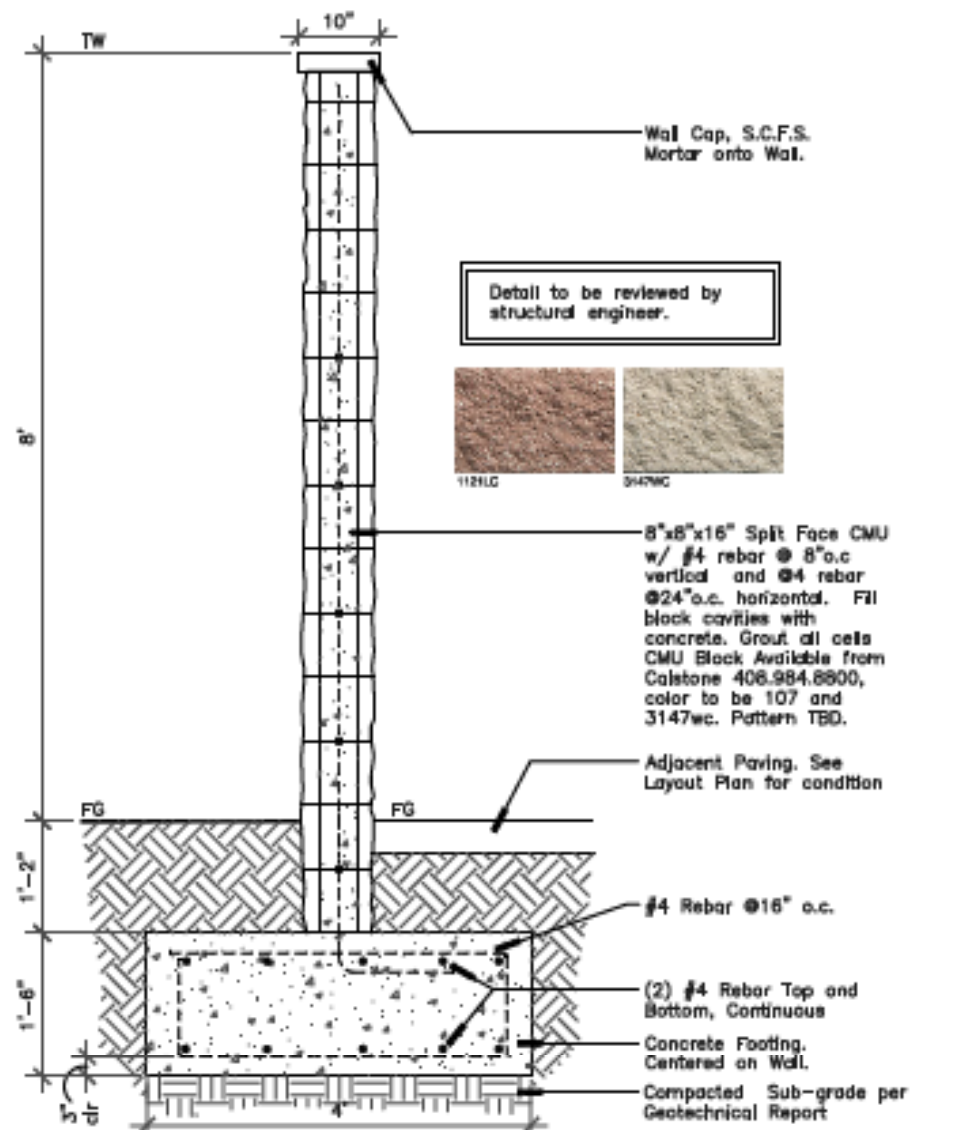
Mountain View, California

Sheet Title
CONCEPTUAL LANDSCAPE DETAILS

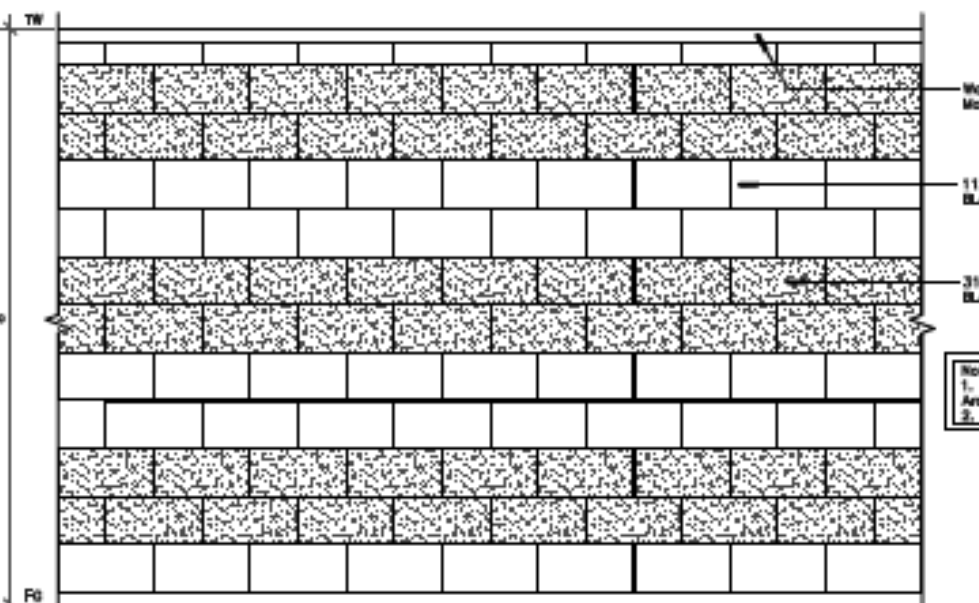
Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

Sheet No.

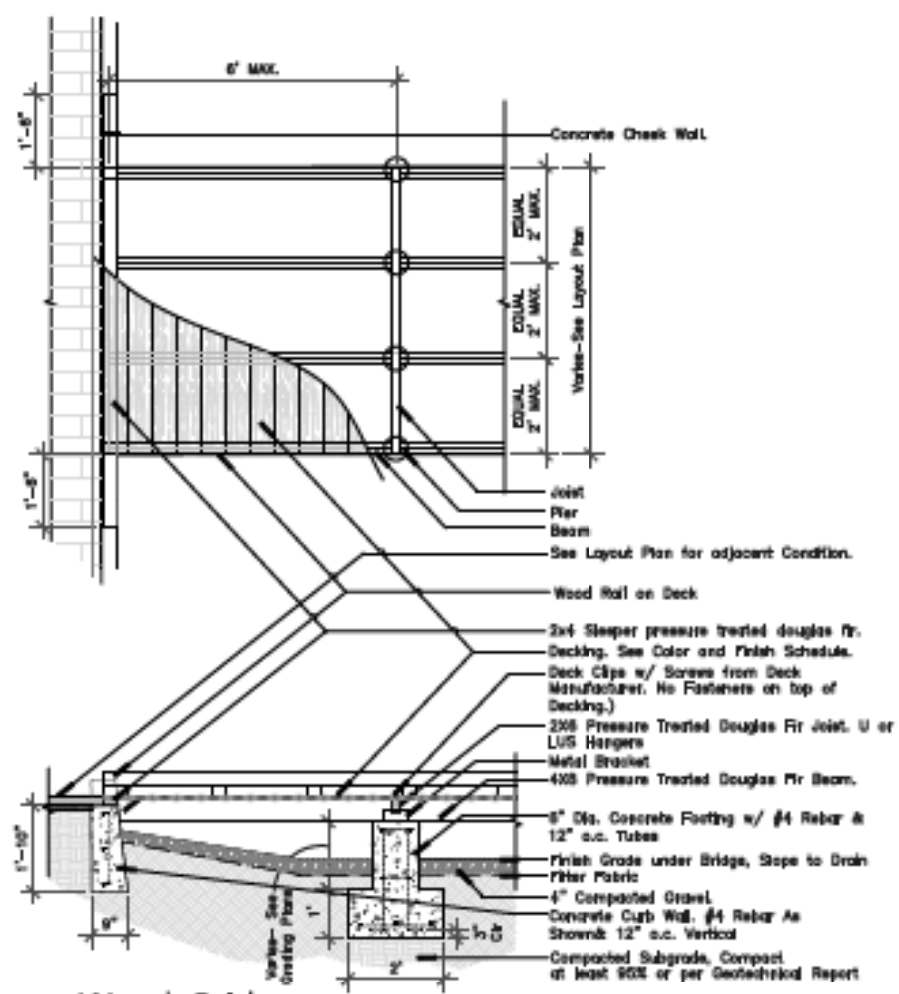
L6.6



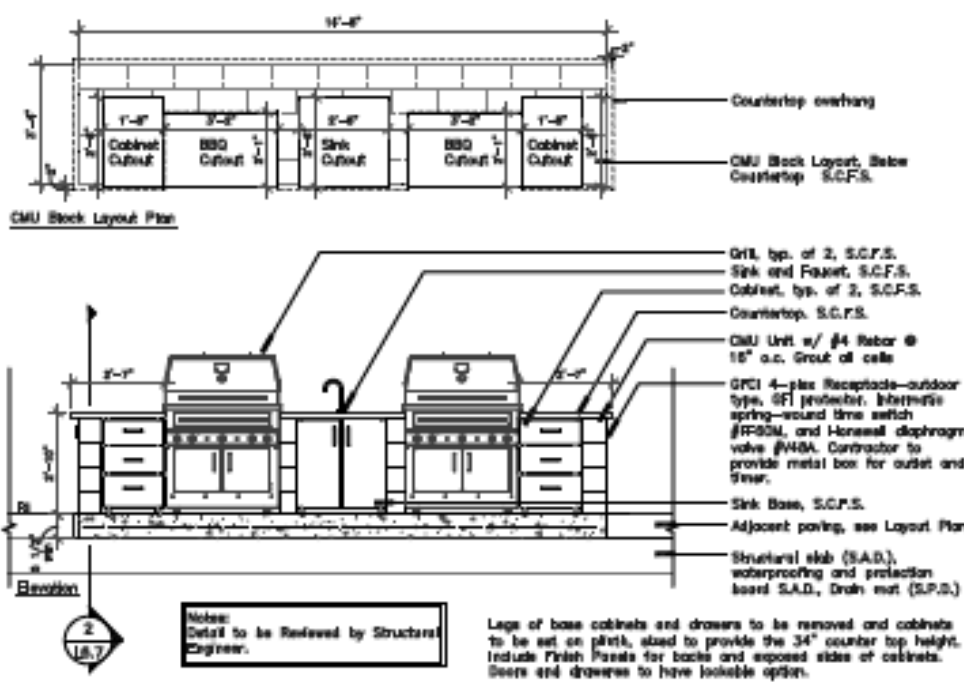
5 Sound Wall
Scale: 1/4" = 1'-0"



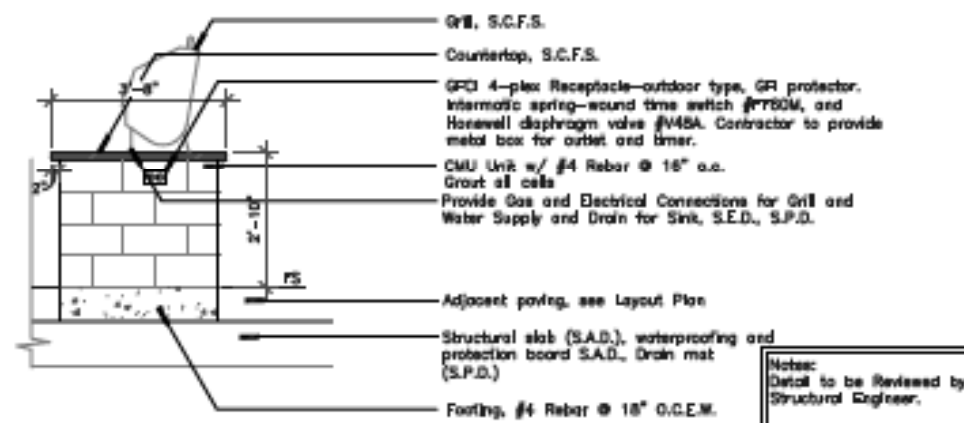
6 Sound Wall
Scale: 1/2" = 1'-0"



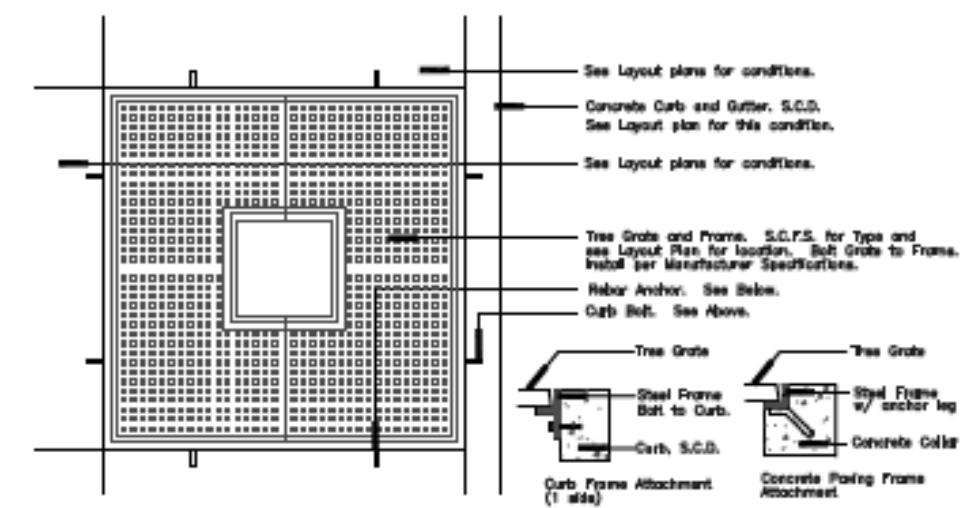
4 Wood Bridge
Scale: 1/2" = 1'-0"



1 Outdoor BBQ on Structure
Scale: 3/8" = 1'-0"



2 Outdoor BBQ on Structure - Section
Scale: 1/2" = 1'-0"



3 Tree Grate with Paving Conditions
Scale: 3/4" = 1'-0"



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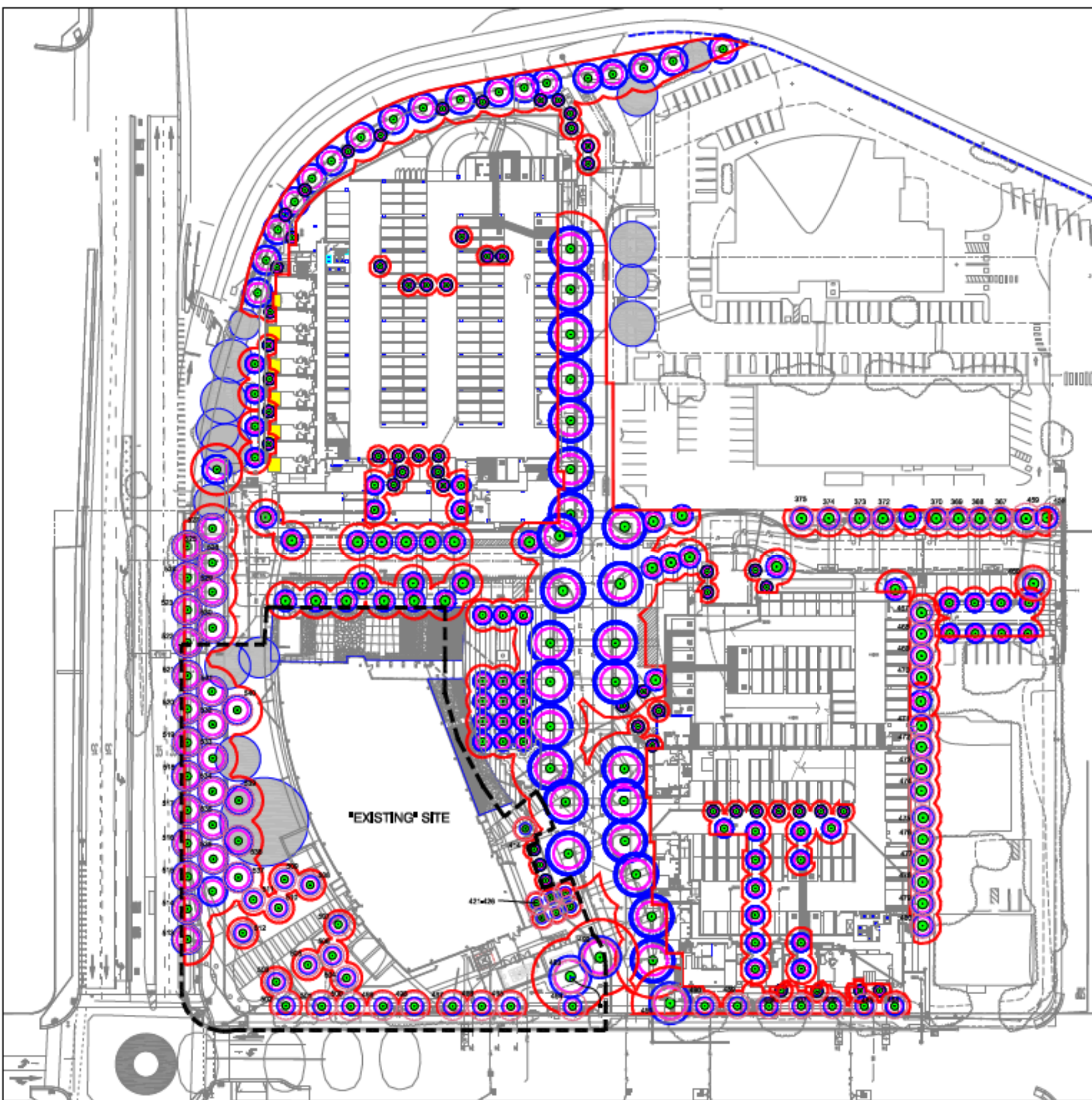
Mountain View, California

Sheet Title
CONCEPTUAL LANDSCAPE DETAILS

Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

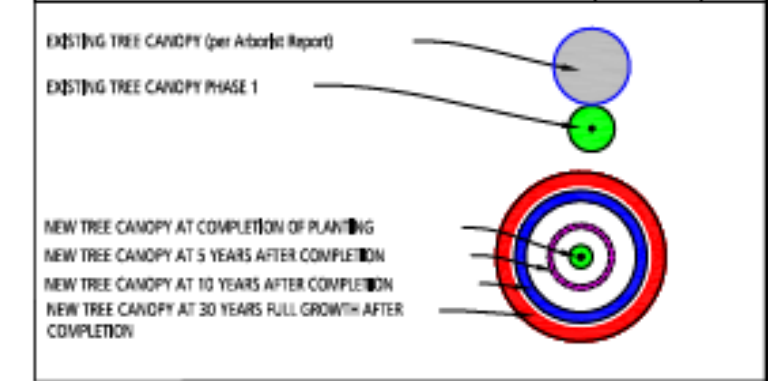
Sheet No.

L6.7



TREE CANOPY TABLE AND LEGEND

CATEGORY	SQFT. AREA	% SITE
TOTAL SITE AREA	240,311	100.0%
EXISTING TREE CANOPY (per Arborist Report)	16,182	4.7%
CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT CONSTRUCTION COMPLETION	3,185	0.9%
CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT 5 YEARS	14,372	4.2%
CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT 10 YEARS	29,891	7.0%
CANOPY AT EXISTING PHASE 1 TREE TO REMAIN AT FULL GROWTH	72,822	21.4%
CANOPY AT PLANNING (NEW ONLY)	4,174	1.2%
CANOPY AT 5 YEARS (NEW ONLY)	22,348	6.5%
CANOPY AT 10 YEARS (NEW ONLY)	60,706	17.8%
CANOPY AT 30 YEARS FULL GROWTH (NEW ONLY)	84,875	27.8%
CANOPY AT PLANNING (EXISTING TO REMAIN + NEW)	23,494	6.0%
CANOPY AT 5 YEARS (EXISTING TO REMAIN + NEW)	62,673	18.2%
CANOPY AT 10 YEARS (EXISTING TO REMAIN + NEW)	102,736	28.8%
CANOPY AT 30 YEARS FULL GROWTH (EXISTING TO REMAIN + NEW)	183,850	54.7%




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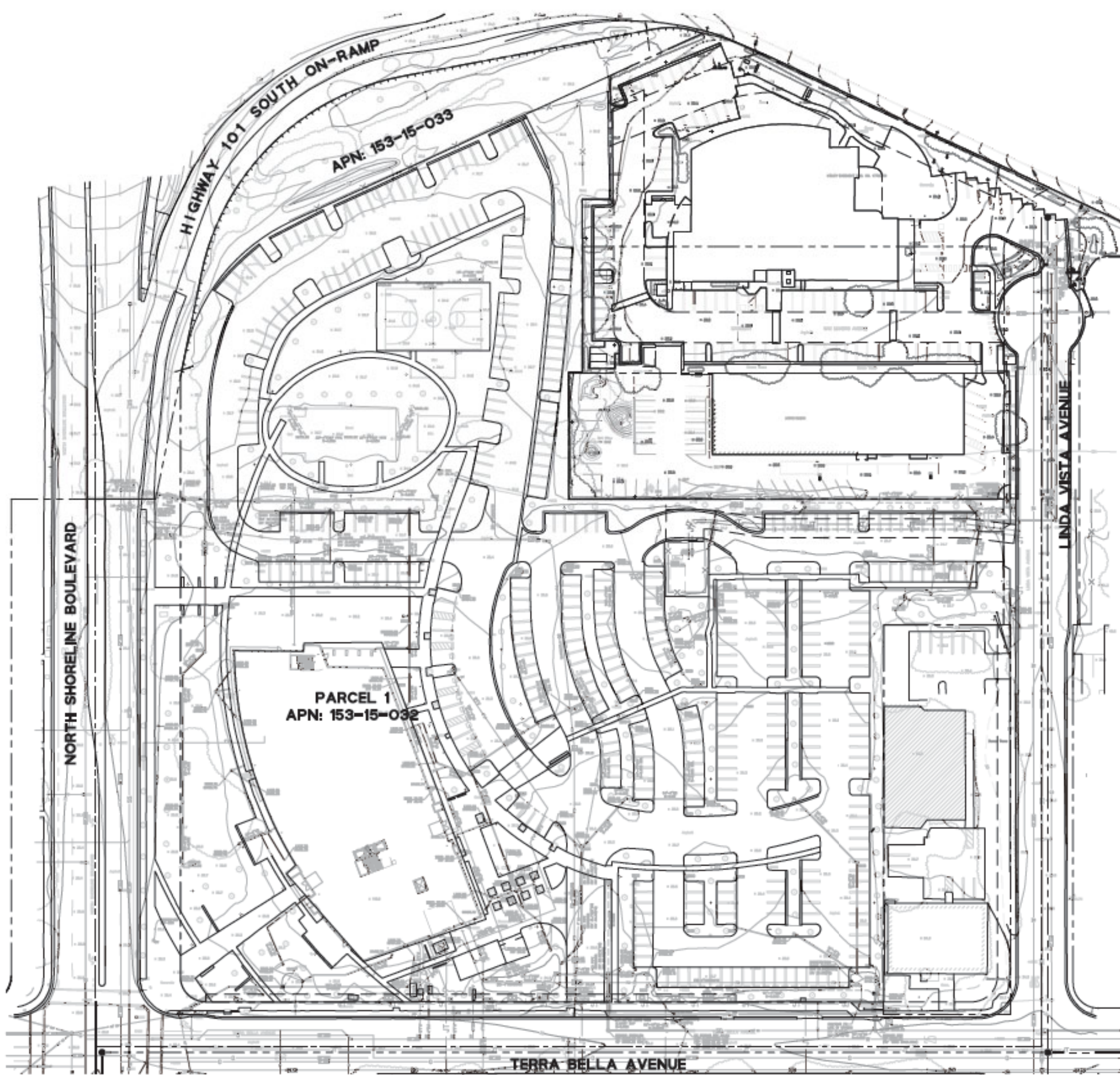
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Sheet Title
TREE CANOPY STUDY

Job No. 18021
Date 03/09/2020
Scale:
Drawn By:

Sheet No.

L7.1



LEGEND AND ABBREVIATIONS

STORM DRAIN LINE	---	ACP	ASBESTOS CEMENT PIPE
SANITARY SEWER LINE	---	BL	BUILDING
WATER LINE	---	BW	BACK OF WALK/ BOTTOM OF WALL
GAS LINE	---	CB	CATCH BASIN
TELEPHONE/TRAFFIC SIGNAL LINE	---	CD	CLEAN OUT
ELECTRICAL LINE	---	DMY	DRIVEWAY
FIBER OPTIC LINE	---	EP	EDGE OF PAVEMENT
JOINT TRENCH LINE	---	EW	EDGE OF WALK
OVERHEAD WIRE	---	FF	FINISHED FLOOR
CONTOUR LINE	---	FL	FLOW LINE
CURB AND GUTTER	---	FNC	FENCE
STORM DRAIN MANHOLE	○	OB	GRADE BREAK
SANITARY SEWER MANHOLE	○	INV	INVERT
UTILITY MANHOLE	○	LIP	LIP OF GUTTER
CATCH BASIN	○	PTR	PRELIMINARY TITLE REPORT
WATER BOX	○	SD	STORM DRAIN
GAS METER	○	SS	SANITARY SEWER
ELECTROLIER	○	TC	TOP OF CURB
TRAFFIC SIGNAL	○	TMH	TYPICAL MANHOLE
WATER VALVE	○	TW	TOP OF WALL
TREE	○	VCP	VITRIFIED CLAY PIPE
TRAFFIC SIGN	○		
ELEVATION SPOT SHOT	○		
STORM DRAIN/SANITARY SEWER CLEANOUT	○		
ELECTRICAL METERS	○		
STREET LIGHT BOX	○		
CITY MONUMENT	○		
EXISTING BOUNDARY LINE	---		
ADJACENT PARCEL LINES	---		
NO ACCESS LINE	---		
MONUMENT LINE	---		
CENTER LINE	---		
VERIZON LEASE LINE	---		
EASEMENT LINE (E) TO REMAIN	---		

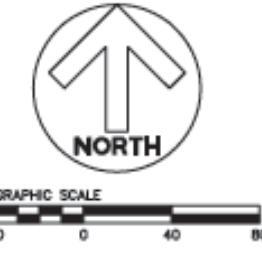
SHEET INDEX

NO.	SHEET	TITLE
1	C1.0	EXISTING CONDITIONS
2	C2.0	CONCEPTUAL GRADING PLAN SOUTH
3	C2.1	CONCEPTUAL GRADING PLAN NORTH
4	C2.2	CROSS SECTIONS
5	C3.0	CONCEPTUAL UTILITY PLAN
6	C4.0	CONCEPTUAL STORMWATER CONTROL PLAN
7	C4.1	CONCEPTUAL STORMWATER CONTROL DETAILS

NOTE:
 AERIAL TOPOGRAPHIC SURVEY TAKEN FROM ALTA SURVEY PREPARED BY BKF DATED MARCH 2018.

BENCHMARK:
 CITY OF MOUNTAIN VIEW BM II-09; BRONZE DISK STAMPED "II-09" SET IN THE TOP OF CURB AT THE SOUTH END OF THE SOUTHEAST RETURN OF NORTH SHORELINE BOULEVARD AT TERRA BELLA AVENUE.
 ELEVATION: 35.903 (NAVD 1988 DATUM)

BASIS OF BEARING:
 THE BEARING OF EAST TAKEN ON THE CENTERLINE OF TERRA BELLA AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON DECEMBER 18, 1979 IN BOOK 455 OF MAPS AT PAGES 56 & 57, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.



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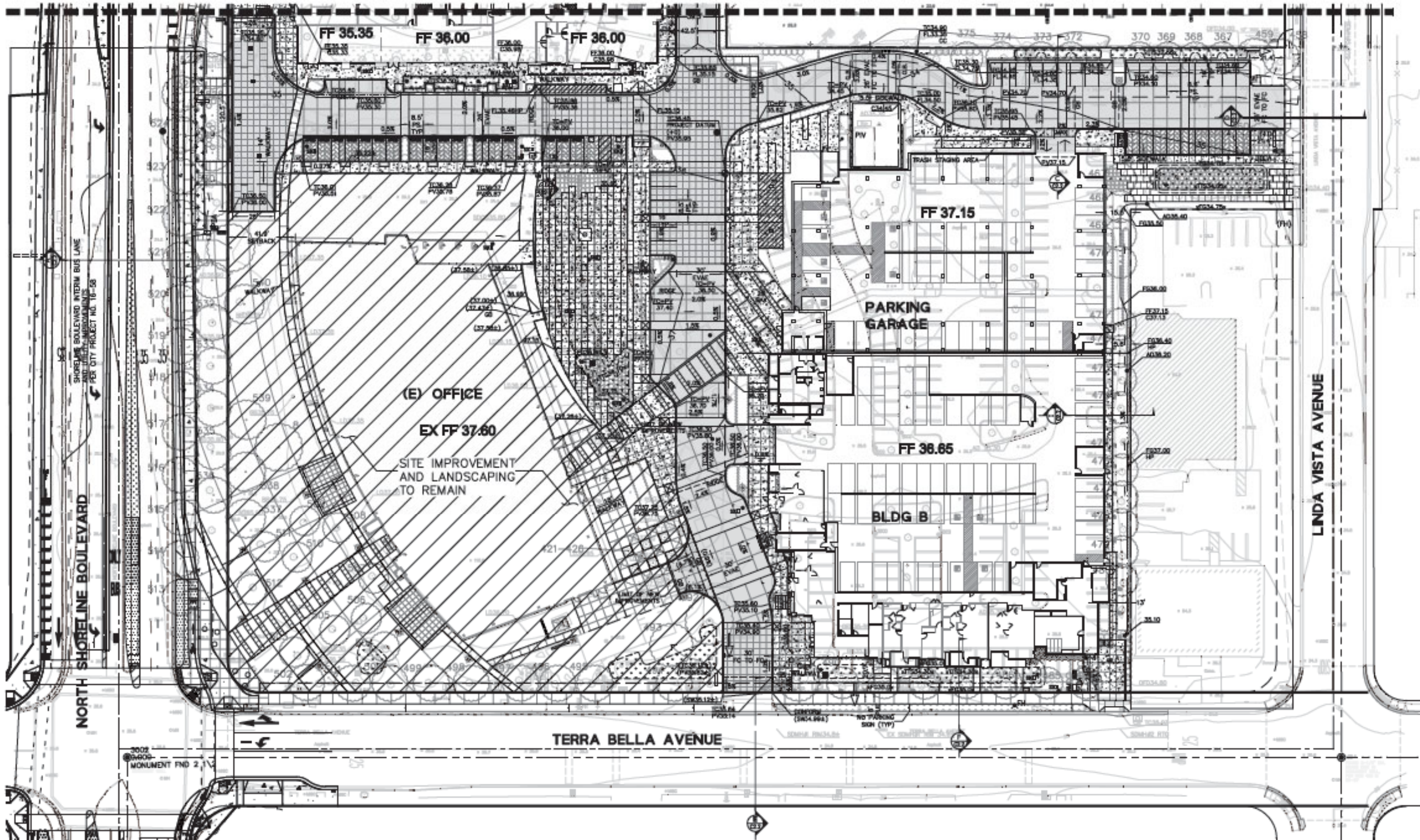
Mountain View, California

Sheet Title:
**EXISTING
 CONDITIONS**

Job No. 16021
 BKF Job No. 20126019
 Date: 01/22/2020
 Scale: 1" = 40'
 Drawn By:

Sheet No:
C1.0

MATCHLINE - SEE SHEET C2.1



Notes:
 1. ALL TRANSFORMERS ARE UNDERGROUND
 2. NO STREET PARKING ALLOWED ON TERRA BELLA AVENUE

LEGEND

	CURB AND GUTTER
	AC PAVEMENT
	VEHICULAR CONCRETE
	PERVIOUS PAVERS
	NEW SIDEWALK
	RETAINING WALL
	BIORETENTION BASIN
	OVERLAND RELEASE
	SLOPE DIRECTION
	HARDSCAPE
	SOFTSCAPE

	EXISTING GRADE
	PROJECT DATUM
	NO PARKING SIGN

ABBREVIATIONS

AD	AREA DRAIN	SW	SEE LANDSCAPE DRAWING(S)
BS	BUBBLER BOX	SLD	TOP OF CURB
BW	BACK OF WALK	TC	TOP OF WALL
BOW	BOTTOM OF WALL		
BFP	BACKFLOW PREVENTION DEVICE		
CC	CURB CUT		
CMV	CITY OF MOUNTAIN VIEW		
DI	DROP INLET GRATE		
DW	DOMESTIC WATER		
FC	FACE OF CURB		
FF	FINISHED FLOOR		
FW	FIRE WATER		
G	GROUND		
GB	GRADE BREAK		
RR	IRRIGATION		
OFD	OVERFLOW DRAIN		
P/L	PROPERTY LINE		
PV	PAVEMENT		
SCOD	STORMDRAIN CLEANOUT		



GRAPHIC SCALE: 1"=30'
 30 0 30 60



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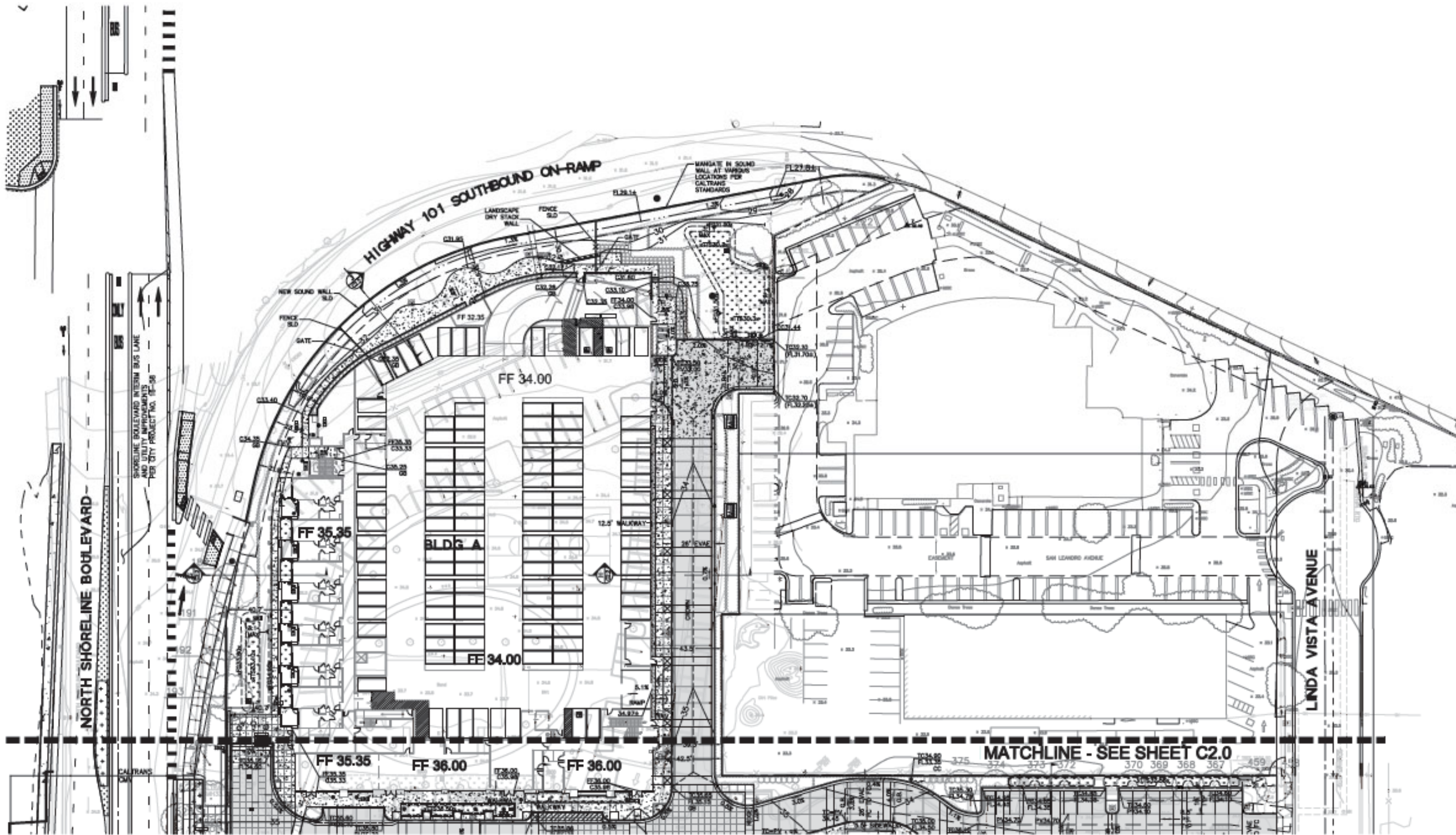
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Sheet Title:
**CONCEPTUAL
 GRADING PLAN
 SOUTH**

Job No. 16021
 BKF Job No. 20126019
 Date: 01/22/2020
 Scale: 1" = 30'
 Drawn By:

Sheet No:
C2.0



Note:
 1. ALL TRANSFORMERS ARE UNDERGROUND

LEGEND

	CURB AND GUTTER
	AC PAVEMENT
	VEHICULAR CONCRETE
	PERMOUS PAVERS
	NEW SIDEWALK
	RETAINING WALL
	BIORETENTION BASIN
	OVERLAND RELEASE
	SLOPE DIRECTION
	HARDSCAPE
	SOFTSCAPE



(XXX)XX
 EXISTING GRADE
 PROJECT DATUM
 NO PARKING SIGN

ABBREVIATIONS

AD	AREA DRAIN	SW	SIDEWALK
BS	BUBBLER BOX	S/D	SEE LANDSCAPE DRAWING(S)
BW	BACK OF WALK		
BOW	BOTTOM OF WALL		
BFP	BACKFLOW PREVENTION DEVICE		
CC	CURB CUT		
CMV	CITY OF MOUNTAIN VIEW		
DI	DROP INLET GRATE		
DW	DOMESTIC WATER		
FC	FACE OF CURB		
FF	FINISHED FLOOR		
FW	FIRE WATER		
G	GROUND		
GB	GRADE BREAK		
IR	IRRIGATION		
OFD	OVERFLOW DRAIN		
P/L	PROPERTY LINE		
PV	PAVEMENT		
SDCO	STORMDRAIN CLEANOUT		



GRAPHIC SCALE: 1"=30'
 30 0 30 60



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Sheet Title:
**CONCEPTUAL
 GRADING PLAN
 NORTH**

Job No. 16021
 BKF Job No. 20126019
 Date: 01/22/2020
 Scale: 1" = 30'
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Sheet No:
C2.1



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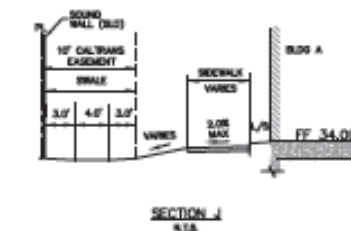
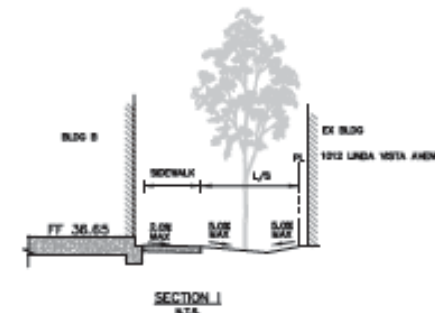
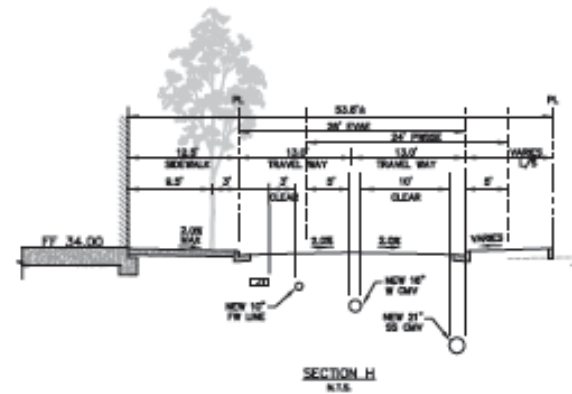
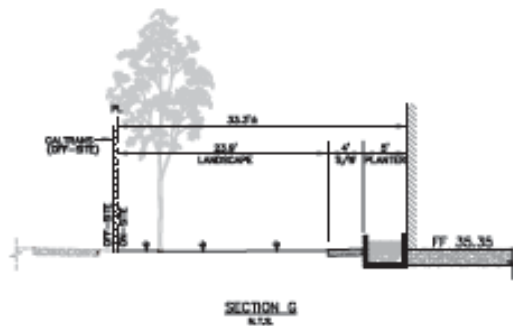
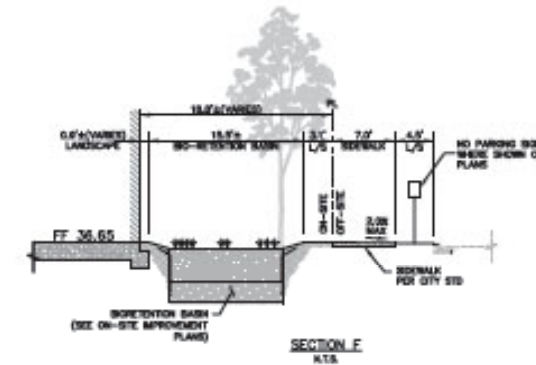
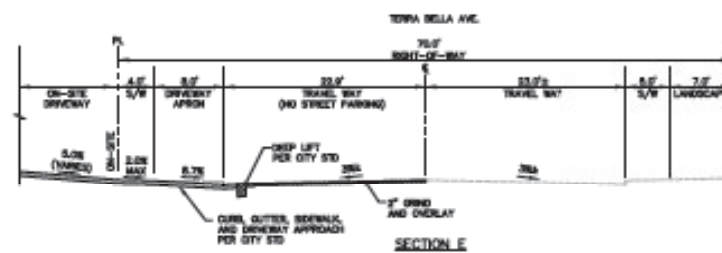
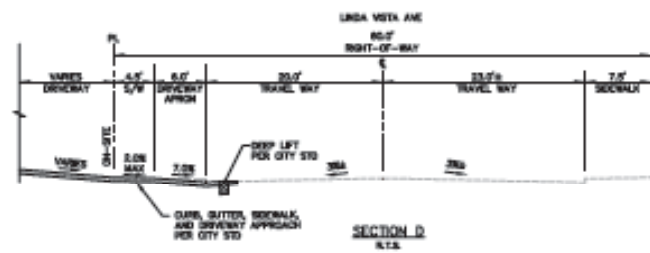
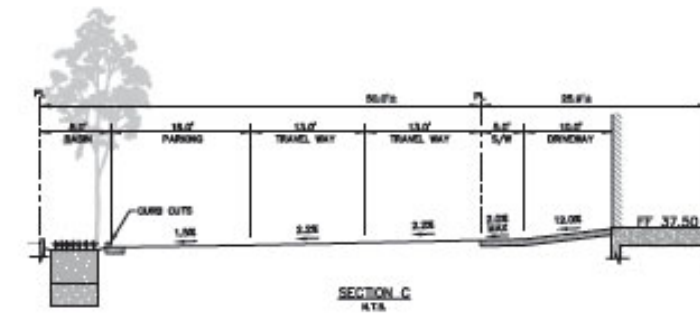
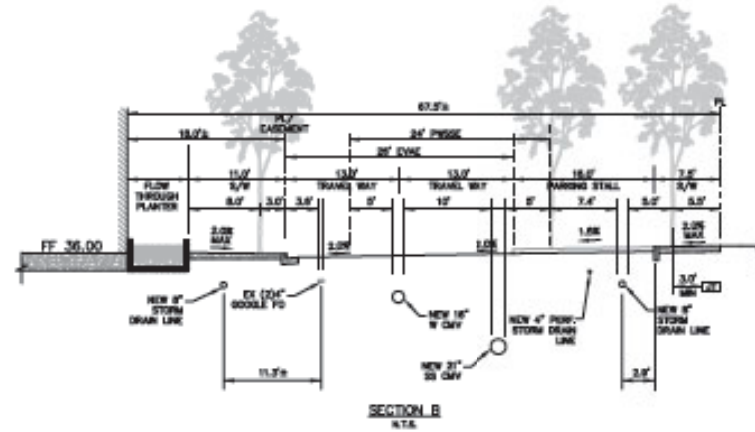
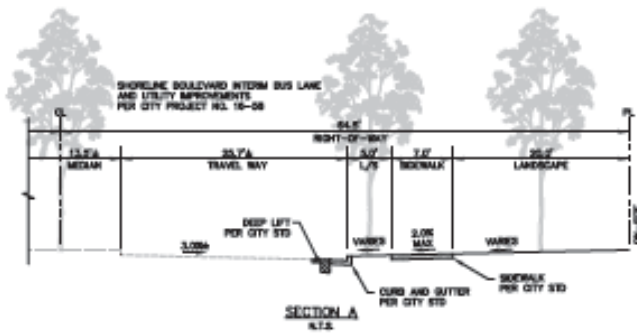
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Sheet Title:
CROSS SECTIONS

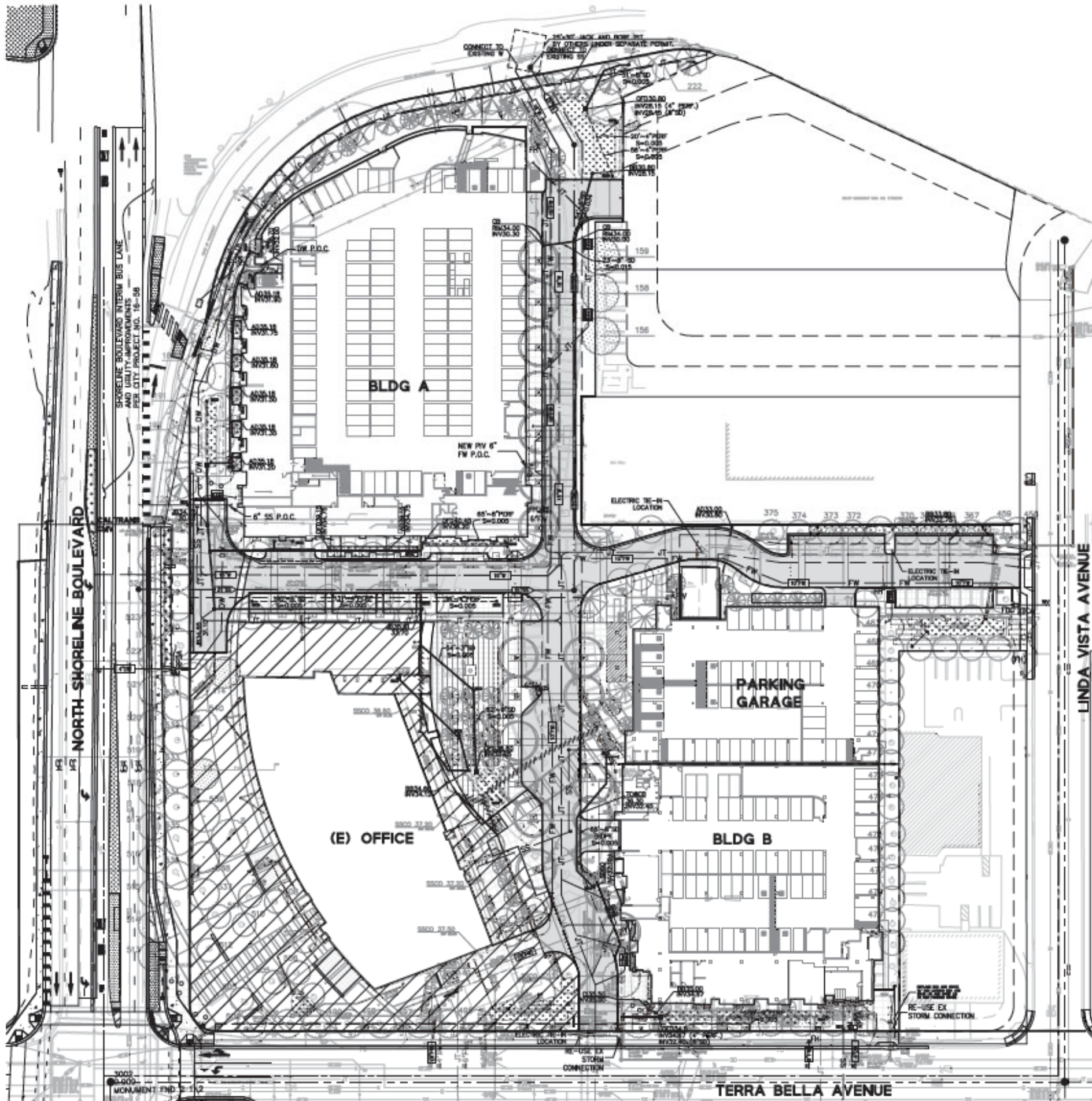
Job No. 16021
BKF Job No. 20126019
Date: 01/22/2020
Scale: AS SHOWN
Drawn By:

Sheet No:

C2.2



Note:
1. ON-STREET PARKING NOT ALLOWED ON TERRA BELLA AVE.



ABBREVIATIONS

P.O.C.	POINT OF CONNECTION
DW	DOMESTIC WATER
FW	FIRE WATER
SS	SANITARY SEWER
SD	STORM DRAIN

LEGEND

PROPERTY LINE	---
LOT LINE	- - - -
STREET CENTERLINE	—+—+—+—+—
RIGHT-OF-WAY	=====
CURB AND GUTTER	=====
VERTICAL CURB	=====
CITY OF MOUNTAIN VIEW SANITARY SEWER MAIN	-----
SANITARY LINE	-----
STORM DRAIN LINE	-----
STORM DRAIN LINE (PERF.)	-----
JOINT TRENCH LINE	-----
CITY OF MOUNTAIN VIEW WATER MAIN	-----
DOMESTIC WATER SERVICE	-----
FIRE WATER SERVICE	-----
LINE TO BE REMOVED	-----
AREA DRAIN	-----
STORM DRAIN CLEANOUT	○
OVERFLOW DRAIN/SUBBER	○
SANITARY SEWER CLEANOUT	○
WATER METER BOX	□
DOUBLE DETECTOR CHECK ASSEMBLY	□
REDUCE PRESSURE DETECTOR ASSEMBLY	□
FIRE HYDRANT WITH 150' RADIUS	○
FIRE DEPARTMENT CONNECTION	○
TRANSFORMER	○

Note:
1. ALL TRANSFORMERS ARE UNDERGROUND



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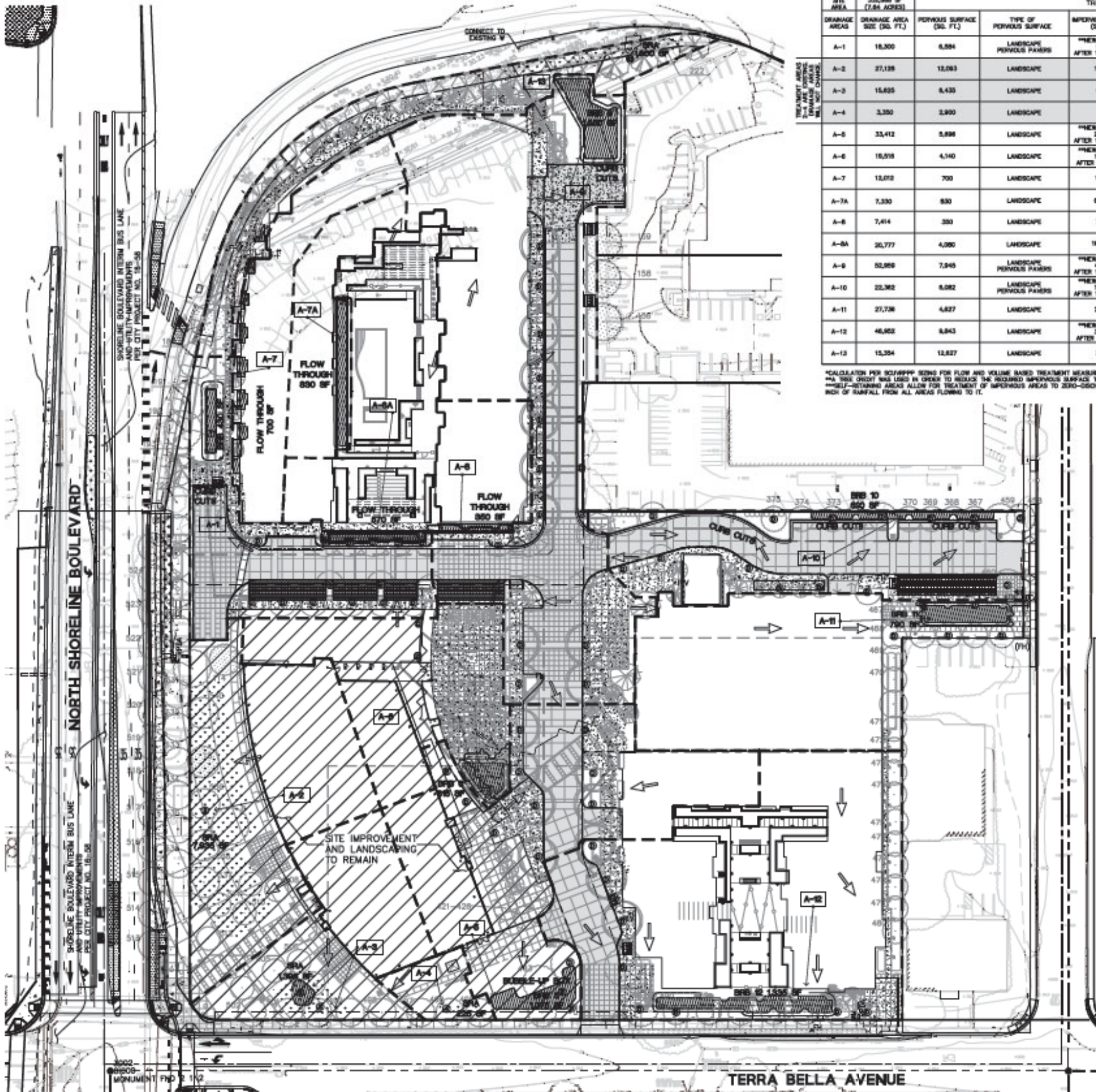
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@ Shoreline Gateway

Mountain View, California

Sheet Title:
**CONCEPTUAL
UTILITY PLAN**

Job No. 16021
BKF Job No. 20126019
Date: 01/22/2020
Scale: 1" = 40'
Drawn By:

Sheet No:
C3.0



SITE AREA	332,986 SF (7.64 ACRES)	TREATMENT CONTROL MEASURE SUMMARY						
		DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	TREATMENT CONTROL	CONFORMS TO SITE STANDARD
A-1	18,200	8,884	LANDSCAPE PERVIOUS PAVERS	**NEW IMP. AREA 8,318 AFTER 1,800 CREDIT	ASPHALT CONCRETE ROOF	BORETENTION BASIN (SRB) 1	YES	
A-2	27,128	12,063	LANDSCAPE	10,535	CONCRETE ROOF	SELF-RETAINING AREA (SRA) 2	YES	
A-3	15,425	8,430	LANDSCAPE	8,415	CONCRETE ROOF	COMBINATION DRB 3 AND SRA 3	YES	
A-4	3,350	2,800	LANDSCAPE	450	CONCRETE	SELF-RETAINING AREA 4	YES	
A-5	33,412	8,886	LANDSCAPE	**NEW IMP. AREA 28,043 AFTER 1,800 CREDIT	ASPHALT CONCRETE ROOF	BORETENTION BASIN 5	YES	
A-6	18,518	4,140	LANDSCAPE	**NEW IMP. AREA 14,778 AFTER 800 CREDIT	ASPHALT CONCRETE ROOF	BORETENTION BASIN 6	YES	
A-7	12,010	700	LANDSCAPE	11,312	CONCRETE ROOF	FLOW THROUGH PLANTER 7	YES	
A-7A	7,530	830	LANDSCAPE	8,500	CONCRETE ROOF	FLOW THROUGH PLANTER 7A	YES	
A-8	7,414	330	LANDSCAPE	7,083	ASPHALT CONCRETE ROOF	FLOW THROUGH PLANTER 8	YES	
A-8A	26,777	4,080	LANDSCAPE	16,887	ASPHALT CONCRETE ROOF	FLOW THROUGH PLANTER 8A	YES	
A-9	50,886	7,845	LANDSCAPE PERVIOUS PAVERS	**NEW IMP. AREA 47,813 AFTER 1,800 CREDIT	ASPHALT CONCRETE ROOF	BORETENTION BASIN 9	YES	
A-10	22,382	8,582	LANDSCAPE PERVIOUS PAVERS	**NEW IMP. AREA 14,800 AFTER 1,400 CREDIT	ASPHALT CONCRETE	BORETENTION BASIN 10	YES	
A-11	27,738	4,827	LANDSCAPE	23,108	ROOF	BORETENTION BASIN 11	YES	
A-12	48,952	8,843	LANDSCAPE	**NEW IMP. AREA 38,283 AFTER 800 CREDIT	ASPHALT CONCRETE ROOF	BORETENTION BASIN 12	YES	
A-13	15,354	12,827	LANDSCAPE	2,727	CONCRETE	SELF-RETAINING AREA 13	YES	

*CALCULATION PER SCS TR-55 FOR FLOW AND VOLUME BASED TREATMENT MEASURES (COMBINATION FLOW AND VOLUME APPROACH)
 **A TREE CREDIT WAS USED IN ORDER TO REDUCE THE REQUIRED IMPERVIOUS SURFACE TO BE TREATED. SEE INTERCEPTOR TREE CREDIT TABLE BELOW.
 ***SELF-RETAINING AREAS ALLOW FOR TREATMENT OF IMPERVIOUS AREAS TO ZERO-CHARGE LANDSCAPE AREAS AT A 2:1 IMPERVIOUS TO PERVIOUS RATIO. THE LANDSCAPE AREA ONLY NEEDS TO BE ABLE TO HOLD AN INCH OF RAINFALL FROM ALL AREAS FLOWING TO IT.

AREA	IMPERVIOUS SURFACE (SQ. FT.)	NUMBER OF TREES	TREE TYPE	CREDIT ALLOWED (SQ. FT.)	TOTAL CREDIT	NEW IMPERVIOUS AREA
A-1	13,343	8	⊙	100	800	12,543
A-5	27,443	14	⊙	100	1,400	26,043
A-6	15,318	8	⊙	100	800	14,718
A-9	49,005	15	⊙	100	1,500	48,405
A-10	16,280	14	⊙	100	1,400	14,880
A-12	37,083	8	⊙	100	800	36,283

LEGEND

- PROPERTY LINE
- DRAINAGE AREA BOUNDARY
- PROPOSED WATERSHED BOUNDARY
- EXISTING WATERSHED BOUNDARY
- BORETENTION BASIN
- PERVIOUS PAVERS
- SELF-RETAINING AREA
- OVERFLOW DRAIN
- BUBBLER BOX
- STORM DRAIN LINE
- EXISTING INTERCEPTOR TREE WITH CANOPY SIZE
D = DECIDUOUS
E = EVERGREEN
- PROPOSED INTERCEPTOR TREE
DECIDUOUS
EVERGREEN

GRAPHIC SCALE
 0 40 80
 SCALE: 1"=40'

NORTH



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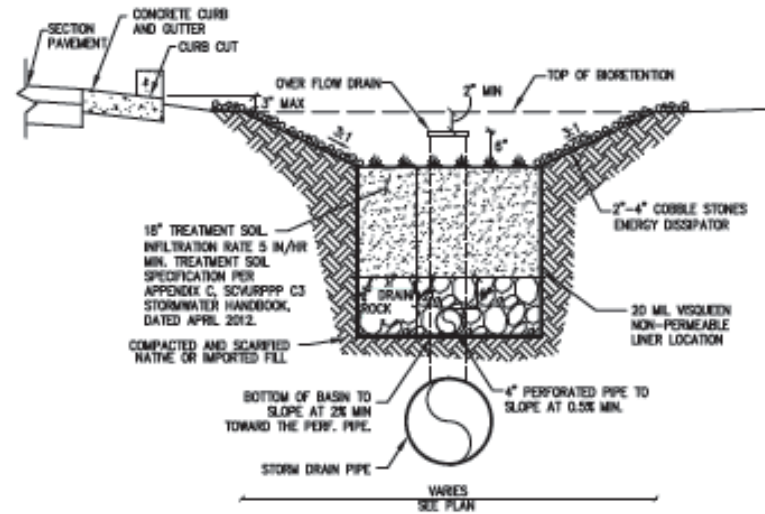
The Residences
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Mountain View, California

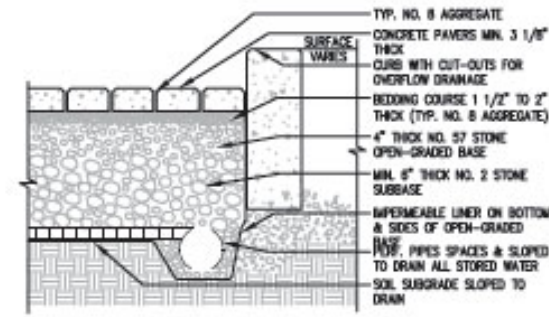
Sheet Title:
CONCEPTUAL STORMWATER CONTROL PLAN

Job No. 16021
 BKF Job No. 20126019
 Date: 01/22/2020
 Scale: 1" = 40'
 Drawn By:

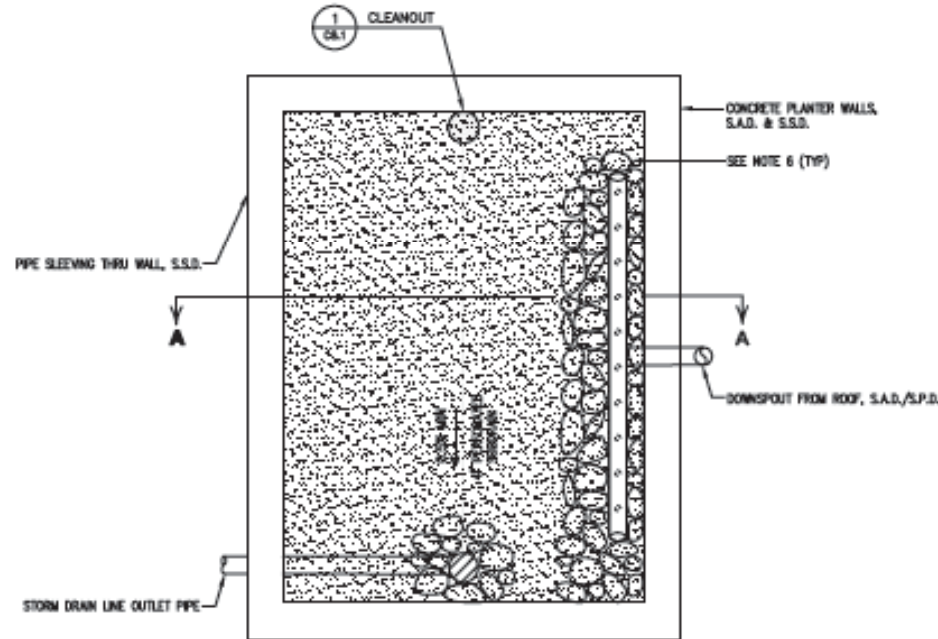
Sheet No:
C4.0



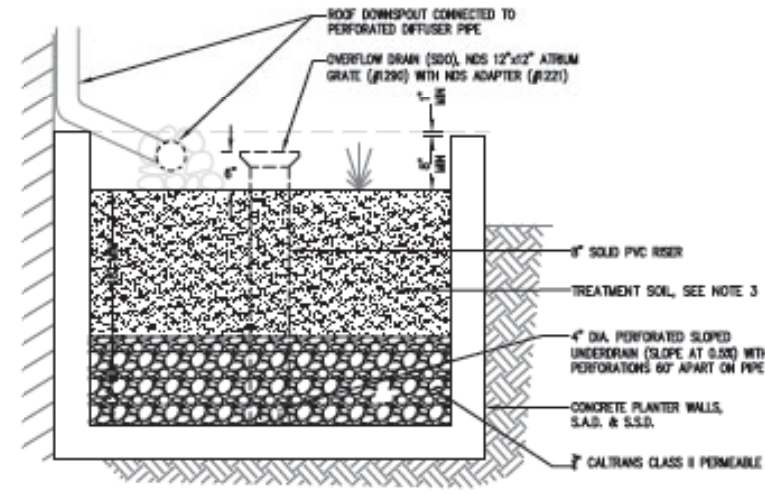
1 BIORETENTION AREA SCALE: NO SCALE



3 TYPICAL PERVIOUS PAVER DETAIL SCALE: NO SCALE



2 FLOW-THROUGH PLANTER SCALE: NO SCALE



- NOTES:**
- SEE LANDSCAPE PLANS & SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION AREAS
 - PLACE 4" MIN. DIA. APPROVED NOYO COBBLE (OR APPROVED EQUIVALENT) FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" FROM EDGE OF STRUCTURE.
 - SOILS IN THE FACILITY SHOULD MEET BIOTREATMENT SOIL SPECIFICATIONS APPROVED BY THE REGIONAL WATER BOARD (SANTA CLARA COUNTY C.J.S. STORMWATER TECHNICAL GUIDANCE). A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM PERCOLATION RATE OF 10 INCHES/HOUR ARE REQUIRED (INITIAL INFILTRATION RATE MAY EXCEED THIS TO ALLOW FOR TENDENCY OF INFILTRATION RATE TO REDUCE OVER TIME). PLANTING SOIL LAYER SHOULD BE AT LEAST 18 INCHES DEEP. CONTRACTOR TO SUBMIT MATERIAL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CERTIFYING THAT SOIL COMPLIES WITH OR EXCEEDS, SPECIFIED REQUIREMENTS.
 - FOR DETAILS AND SPECIFICATIONS OF CONCRETE PLANTER WALLS, S.S.D. AND S.A.D.
 - EXPOSED PVC PIPE WITHIN BIORETENTION AREAS, SUCH AS OVERFLOW RISERS, SHALL BE PAINTED BLACK.
 - NOYO COBBLES (4"-6" IN DIA.), OR APPROVED EQUIVALENT, SHALL BE PLACED AROUND DIFFUSER PIPE TO THE TOP OF TREATMENT SOIL (TTS), FLUSH WITH PLANTING SURFACE, EXTENDING A MINIMUM OF 6" ON ALL SIDES OF DRAINAGE STRUCTURE/PIPE.



STUDIO T SQUARE

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Mountain View, California

Sheet Title:
**CONCEPTUAL
STORMWATER
CONTROL DETAILS**

Job No. 16021
BKF Job No. 20126019
Date: 01/22/2020
Scale: **AS SHOWN**
Drawn By:

Sheet No:
C4.1

VESTING TENTATIVE MAP

5 LOT SUBDIVISION

LOT 1 IS FOR CONDOMINIUM PURPOSES CONSISTING OF 203 RESIDENTIAL UNITS AND 1 COMMERCIAL UNIT,
 LOT 3 IS FOR CONDOMINIUM PURPOSES CONSISTING OF 1 UNIT FOR PARKING,
 LOT 4 IS FOR CONDOMINIUM PURPOSES CONSISTING OF 100 RESIDENTIAL UNITS

1001 NORTH SHORELINE BOULEVARD

CITY OF MOUNTAIN VIEW, SANTA CLARA COUNTY, CALIFORNIA

LEGEND

EXISTING BOUNDARY LINE	_____
NEW LOT LINES	-----
ADJACENT PARCEL LINES	-----
NO ACCESS LINE	-----
MONUMENT LINE	-----
CENTER LINE	-----
VERIZON LEASE LINE	-----
EASEMENT LINE (NEW)	-----
EASEMENT LINE (E) TO REMAIN	-----

IN DISTANCE INSIDE SUBJECT BOUNDARY
 M-M MONUMENT TO MONUMENT DISTANCE
 OUT DISTANCE OUTSIDE SUBJECT BOUNDARY

- () 1 RECORD DATA PER W MAPS 56
- () 2 RECORD DATA PER 455 ROS 56-57
- () 3 RECORD DATA PER DOC NO. 21494974
- () 4 RECORD DATA PER DOC NO. 14046575

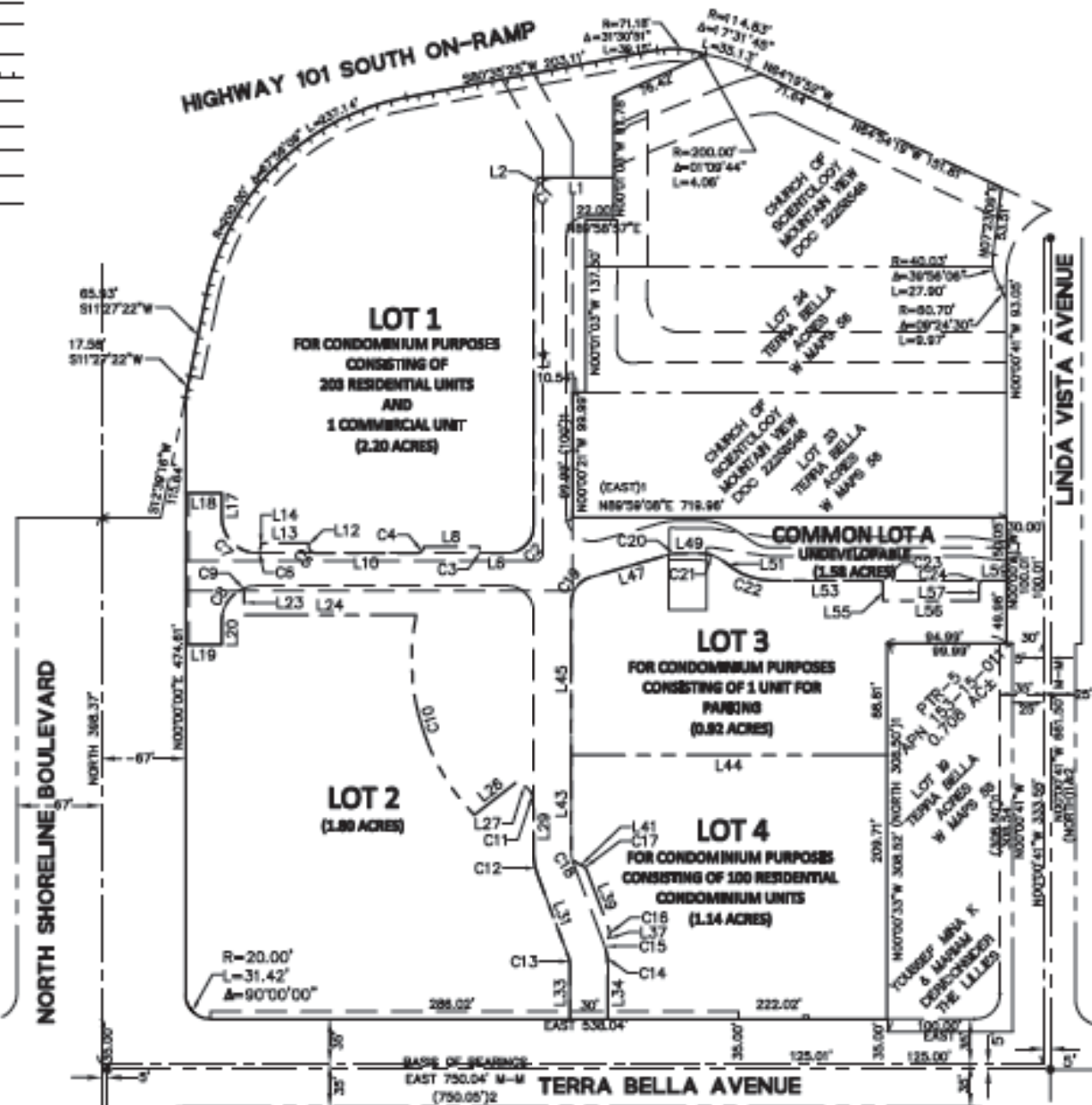
GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- AREA: THE BOUNDARIES OF THIS SUBDIVISION CONTAIN 7.64± ACRES CONSISTING OF FOUR DEVELOPABLE PARCELS AND ONE UNDEVELOPABLE PARCEL.
- BUILDING TYPE: THE BUILDING FOOTPRINTS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THE BUILDING TYPE, LOCATION AND STYLES WILL BE PERMITTED AS CONSTRUCTED IN CONFORMANCE WITH PROJECT PD REQUIREMENTS PRIOR TO THE APPLICATION FOR BUILDING PERMITS.
- UTILITIES: A PUBLIC WATER AND SEWER EASEMENT IN THE FAVOR OF THE CITY OF MOUNTAIN VIEW WILL BE CREATED TO FACILITATE MAINTENANCE OF THE MAIN WATER TRANSMISSION LINE AND THE SANITARY SEWER MAIN. SANITARY AND WATER SERVICE LATERALS BETWEEN THE BUILDINGS AND THE CLEANOUTS AND/OR WATER METERS WILL BE PRIVATELY OWNED AND MAINTAINED. THE STORM DRAINAGE SYSTEM WILL ALSO BE PRIVATELY OWNED AND MAINTAINED OR AS DESIGNATED.
- MULTIPLE FINAL MAPS: PURSUANT TO SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BOUNDED.

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

[Signature]
 FRITZ COLE GAUMNITZ, P.E. DATE 03/04/2020
 BKF ENGINEERS
 R.C.E. NO. 75787

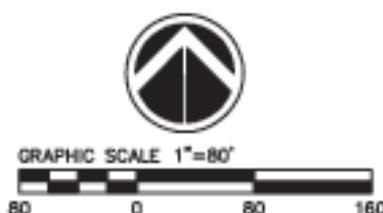


GENERAL NOTES

- OWNER: LH SHORELINE LP
4 EMBARCADERO CENTER
SUITE 3300
SAN FRANCISCO, CA 94111
- DEVELOPER: SARES REGIS
901 MARINERS ISLAND BLVD,
SUITE 700
SAN MATEO, CA 94404
CONTACT: JANICE YUEN
(650) 377-5735
- CIVIL ENGINEER: BKF ENGINEERS
1730 N. FIRST STREET,
SUITE 600
SAN JOSE, CA 95112
CONTACT: COLE GAUMNITZ
(408) 467-9100
- PROPERTY: ALL OF PARCEL 1 AS SHOWN ON THAT CERTAIN PARCEL MAP, ENTITLED LOT MERGER RECORDED MAY 11, 2016 IN BOOK 892 OF MAPS, PAGES 14-20, SANTA CLARA COUNTY RECORDERS AND THE CALTRANS DIRECTOR'S DEED 011987-02-01.
- APN 153-15-032 & 153-15-033
- GENERAL PLAN GENERAL INDUSTRIAL
- EXISTING ZONING ML & MM
- PROPOSED ZONING PD ZONING
- EXISTING USE OFFICE
- PROPOSED USE MIXED USE-CENTER, OFFICE, RESIDENTIAL COMMUNITY
- GROSS AREA 7.81± (7.64± NET) ACRES
- NUMBER OF LOTS 4 DEVELOPABLE, 1 UNDEVELOPABLE COMMON AREA TO BE MAINTAINED BY HOA.
- PUBLIC SEWER CITY OF MOUNTAIN VIEW
- PUBLIC WATER CITY OF MOUNTAIN VIEW
- PUBLIC STORM CITY OF MOUNTAIN VIEW AND CALTRANS.
- BASIS OF BEARING: THE BEARING OF "EAST" TAKEN ON THE CENTER LINE OF TERRA BELLA AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON DECEMBER 18, 1979 IN BOOK 455 OF MAPS AT PAGES 56 & 57, SANTA CLARA COUNTY RECORDS.
- TOPOGRAPHY: INFORMATION SHOWN IS BASED ON AERIAL SURVEY PREPARED BY 360 AERIAL SURVEYS OCTOBER 2017 AND GROUND SURVEY PREPARED BY BKF ENGINEERS CONDUCTED OCTOBER 2017.
- FLOOD ZONE: ZONE X; PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 6085C0037H, EFFECTIVE DATE MAY 18, 2009
- EASEMENTS: EASEMENT DESCRIPTIONS ARE SHOWN ON SHEETS TM-2 & TM-3.

VESTING TENTATIVE MAP SHEET INDEX

- TM-1 TITLE SHEET
- TM-2 MAP PLAN NORTH
- TM-3 MAP PLAN SOUTH
- TM-4 LINE AND CURVE TABLE



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 408-467-9199 (FAX)



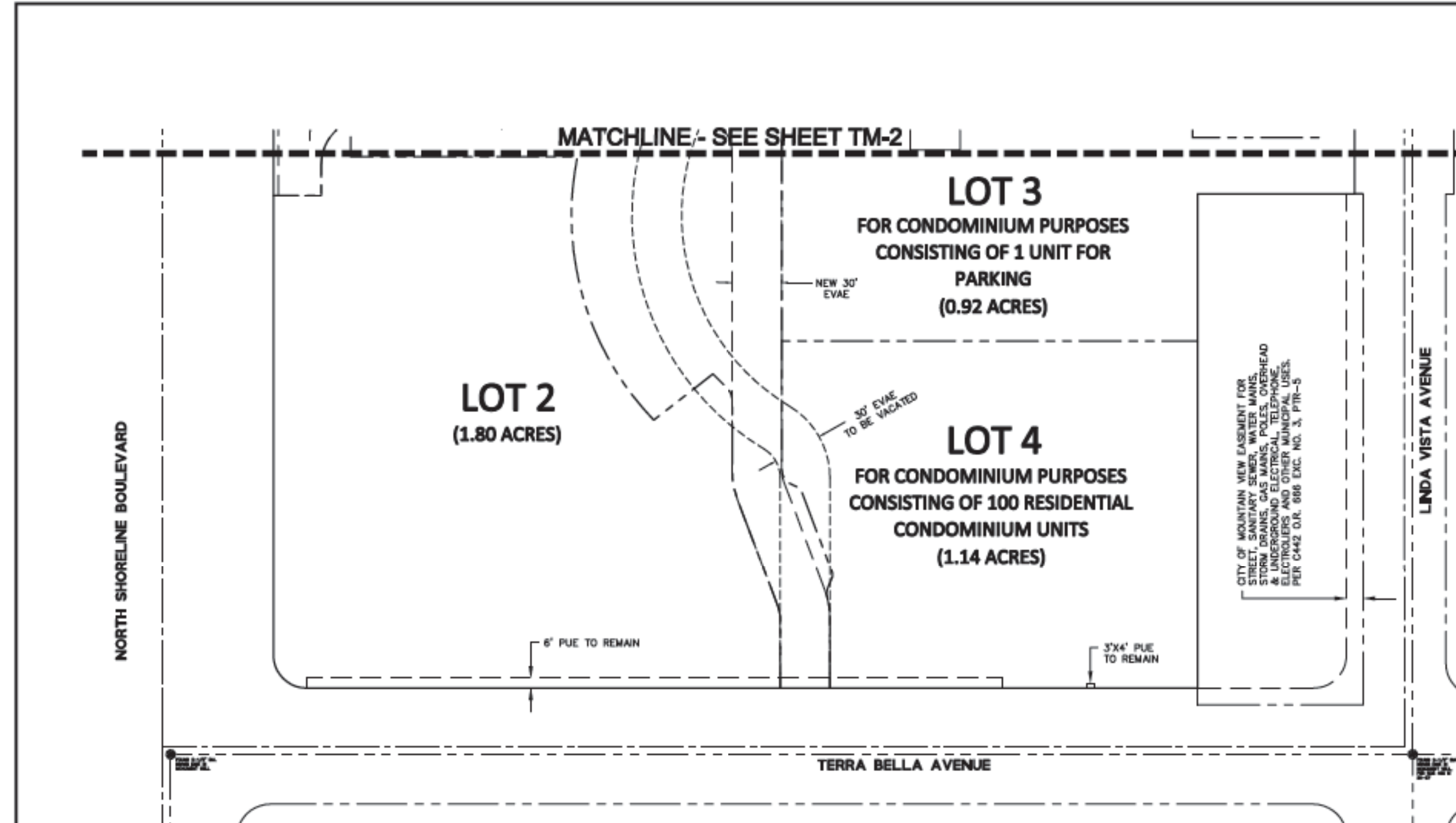
VESTING TENTATIVE MAP
 1001 N. SHORELINE BLVD.
 TITLE SHEET

MOUNTAIN VIEW SANTA CLARA CALIFORNIA

No.	Revisions

Date: 01/22/2020	Scale: 1" = 40'	Drawn: FCG	Approved: FCG

Drawing Number: **TM-1**
 1 OF 4



BKF100
YEARS
ENGINEERS · SURVEYORS · PLANNERS

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SUITE 600
SAN JOSE, CA 95112
408-467-9100
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VESTING TENTATIVE MAP
1001 N. SHORELINE BLVD.
MAP PLAN SOUTH

MOUNTAIN VIEW SANTA CLARA CALIFORNIA

ABBREVIATIONS

CALTRANS	CALIFORNIA DEPARTMENT OF TRANSPORTATION
CME	CALTRANS MAINTENANCE EASEMENT
DOC	DOCUMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EXC.	EXCEPTION
NO	NUMBER
O.R.	OFFICIAL RECORD
PSSE	PUBLIC SANITARY SEWER EASEMENT
PTR	PRELIMINARY TITLE REPORT
PWE	PUBLIC WATER EASEMENT
PUE	PUBLIC UTILITY EASEMENT

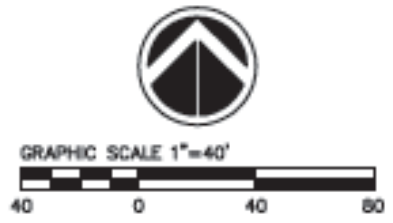
LEGEND

EXISTING BOUNDARY LINE	_____
NEW LOT LINES	-----
ADJACENT PARCEL LINES	-----
NO ACCESS LINE	-----
MONUMENT LINE	-----
CENTER LINE	-----
VERIZON LEASE LINE	-----
EASEMENT LINE (NEW)	-----
EASEMENT LINE (E) TO REMAIN	-----
IN	DISTANCE INSIDE SUBJECT BOUNDARY
M-M	MONUMENT TO MONUMENT DISTANCE
OUT	DISTANCE OUTSIDE SUBJECT BOUNDARY

- ()1 RECORD DATA PER W MAPS 56
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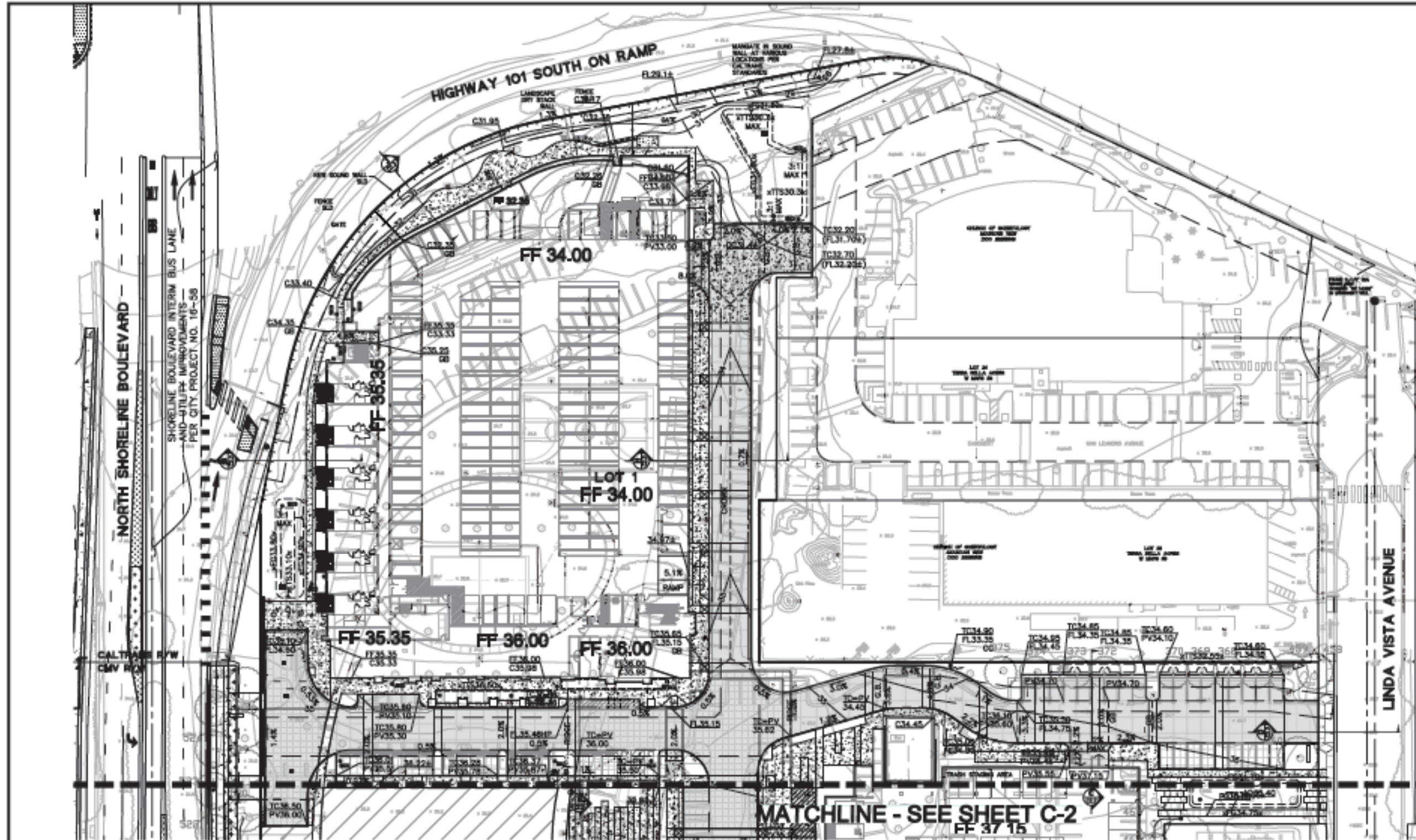
NOTES

1. BEARINGS AND DISTANCES OF EXISTING PARCEL ARE SHOWN ON SHEET TM-4.



Revisions	No.	Date	Scale	Drawn	Approved	Job No.
		01/22/2020	1" = 40'	FDG	FDG	20126019
Drawing Number:						
TM-3						
3 OF 4						

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 1730 N. FIRST STREET
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 SAN JOSE, CA 95112
 408-467-9100
 408-467-9199 (FAX)

SUPPLEMENTAL INFORMATION
1001 N. SHORELINE BLVD.
GRADING AND DRAINAGE PLAN NORTH
 MOUNTAIN VIEW SANTA CLARA CALIFORNIA

NOTES

1. SEE SHEET C-3 FOR SUPPLEMENTAL CROSS-SECTIONS.

ABBREVIATIONS

C	CONCRETE
(E)	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
GB	GRADE BREAK
MAX	MAXIMUM
PV	PAVEMENT
TC	TOP OF CURB
TTS	TOP OF TREATMENT SOIL
SLD	SEE LANDSCAPE DRAWINGS

LEGEND

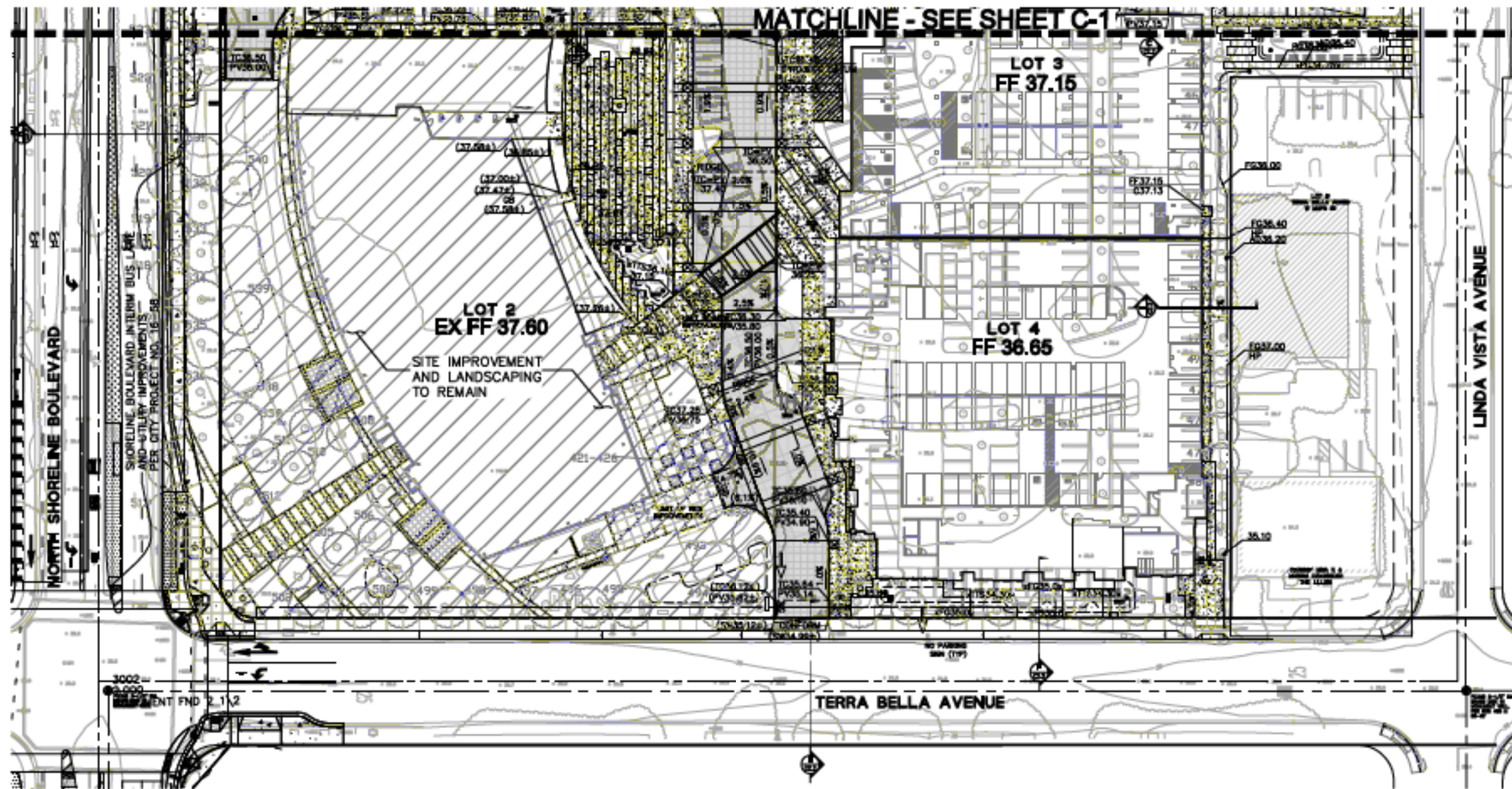
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NEW LOT LINES	_____
ADJACENT PARCEL LINES	_____
NO ACCESS LINE	_____
MONUMENT LINE	_____
CENTER LINE	_____
VERIZON LEASE LINE	_____
EASEMENT LINE (NEW)	_____
EASEMENT LINE (E) TO REMAIN	_____
FLOW LINE	_____

SUPPLEMENTAL INFORMATION SHEET INDEX

C-1	GRADING AND DRAINAGE PLAN NORTH
C-2	GRADING AND DRAINAGE PLAN SOUTH
C-3	SUPPLEMENTAL CROSS SECTIONS
T-1	TREE DISPOSITION PLAN

GRAPHIC SCALE 1"=40'

Revisions	No.	Date: 01/22/2020	Scale: 1" = 40'	Design: FOG	Drawn: FOG	Approved: FOG	Job No: 20120019
C-1 1 of 4							



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YEARS
ENGINEERS . SURVEYORS . PLANNERS

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SUPPLEMENTAL INFORMATION
1001 N. SHORELINE BLVD.
GRADING AND DRAINAGE PLAN SOUTH
MOUNTAIN VIEW SANTA CLARA CALIFORNIA

NOTES

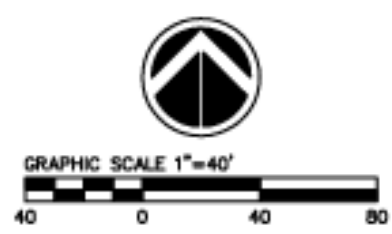
- SEE SHEET C-3 FOR SUPPLEMENTAL CROSS-SECTIONS.

ABBREVIATIONS

C	CONCRETE
(E)	EXISTING
FF	FINISHED FLOOR
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FL	FLOW LINE
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MAX	MAXIMUM
PV	PAVEMENT
SW	SIDEWALK
TC	TOP OF CURB
TTS	TOP OF TREATMENT SOIL
SLD	SEE LANDSCAPE DRAWINGS

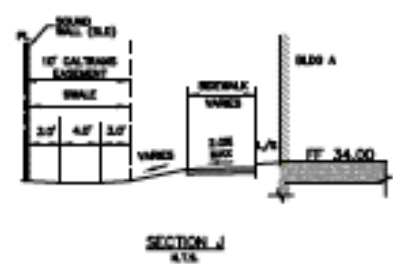
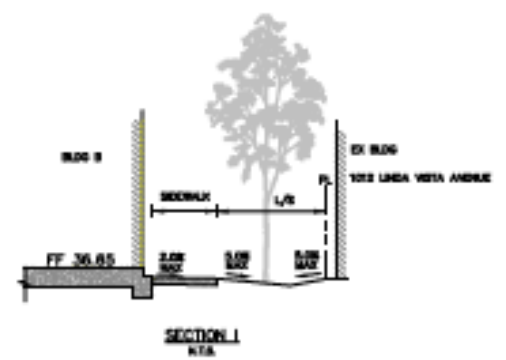
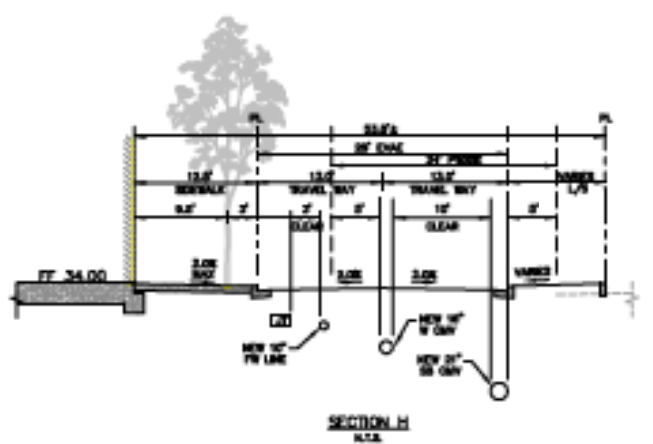
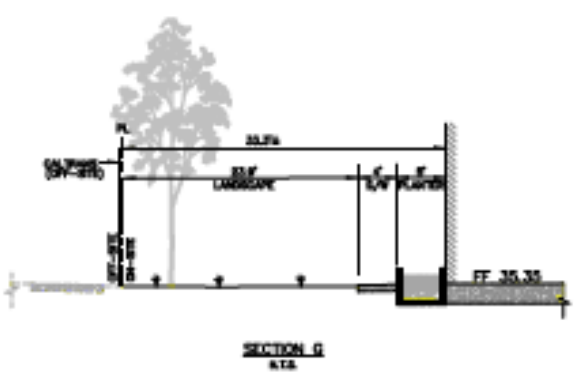
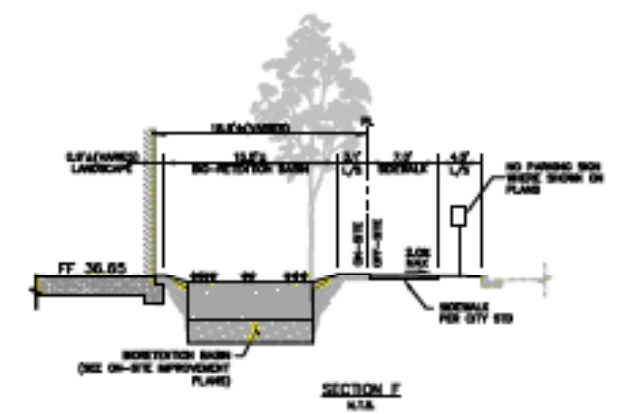
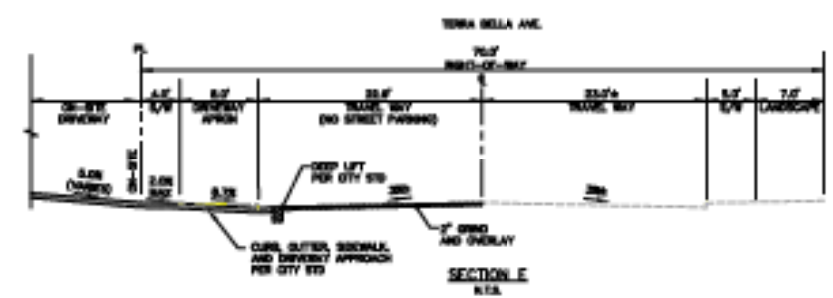
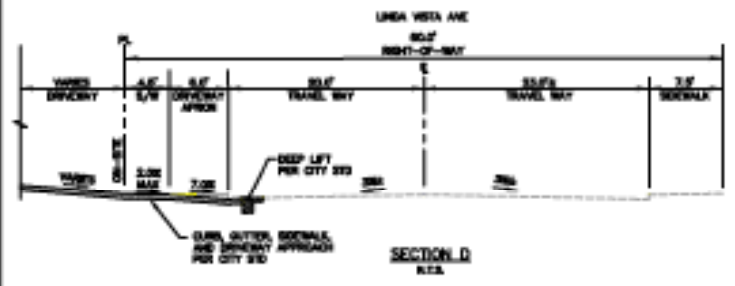
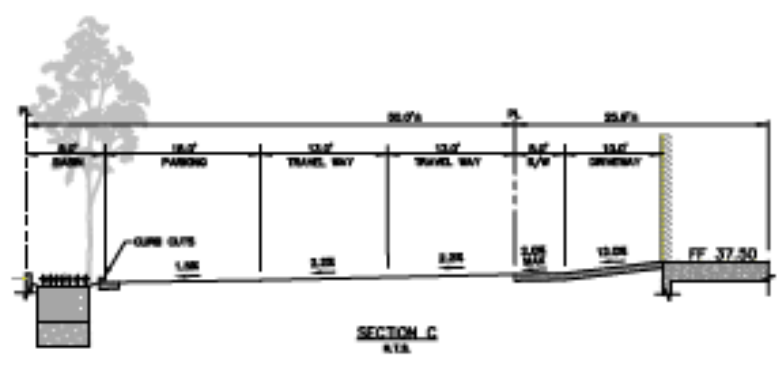
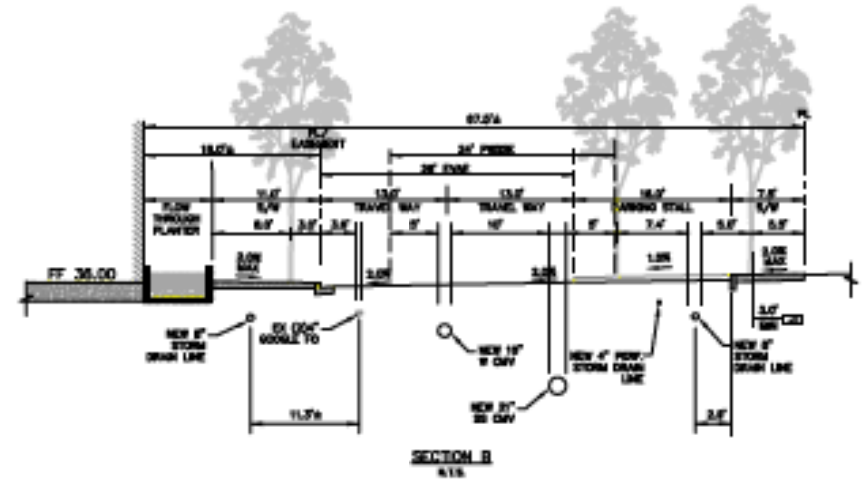
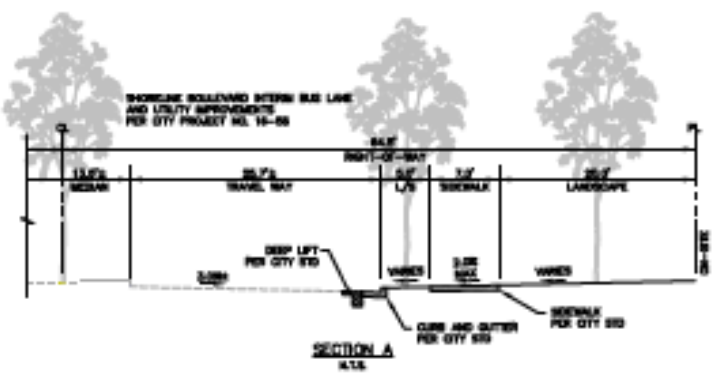
LEGEND

EXISTING BOUNDARY LINE	
NEW LOT LINES	
ADJACENT PARCEL LINES	
NO ACCESS LINE	
MONUMENT LINE	
CENTER LINE	
VERTICAL LEASE LINE	
EASEMENT LINE (NEW)	
EASEMENT LINE (E) TO REMAIN	
FLOW LINE	
EXISTING OFFICE BUILDING AND SITE IMPROVEMENTS TO REMAIN	



Date: 01/22/2020	No.	Revisions
Scale: 1" = 40'		
Design: FOG		
Drawn: FOG		
Approved: FOG		
Job No: 20126019		

Drawing Number:
C-2
2 of 4



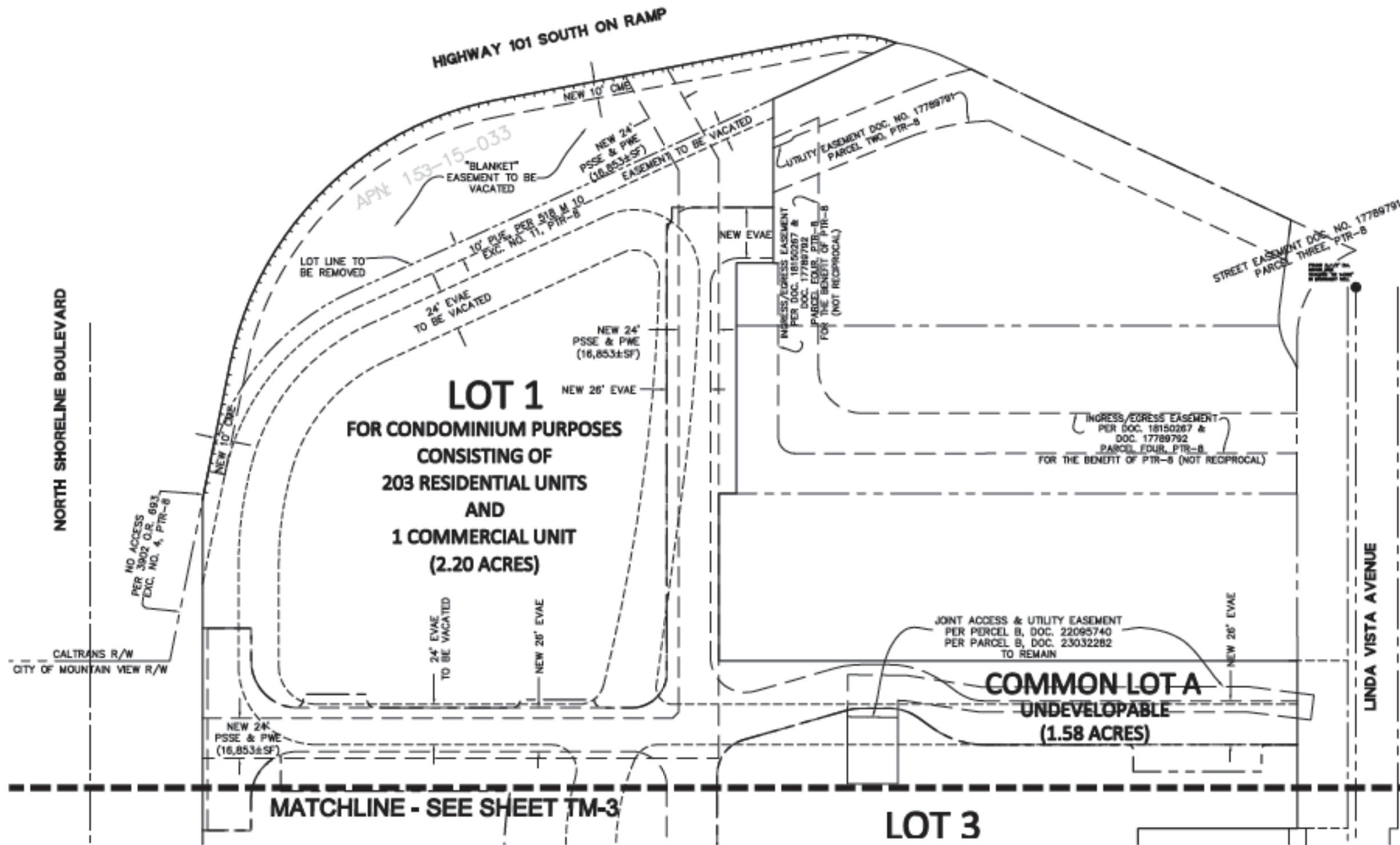
BKF100
YEARS
ENGINEERS • SURVEYORS • PLANNERS

1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
408-487-9100
408-487-9199 (FAX)

SUPPLEMENTAL INFORMATION
1001 N. SHORELINE BLVD.
SUPPLEMENTAL CROSS SECTIONS
MOUNTAIN VIEW SANTA CLARA CALIFORNIA

No.	Revisions

Date: 01/22/2020
Scale: N.T.S.
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Job No: 20120019



APN 153-15-033

LOT 1
FOR CONDOMINIUM PURPOSES
CONSISTING OF
203 RESIDENTIAL UNITS
AND
1 COMMERCIAL UNIT
(2.20 ACRES)

COMMON LOT A
UNDEVELOPABLE
(1.58 ACRES)

LOT 3

MATCHLINE - SEE SHEET TM-3

ABBREVIATIONS

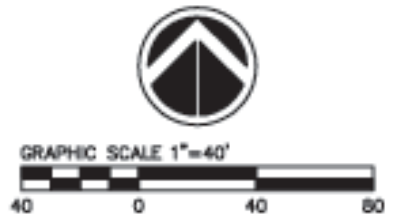
CALTRANS	CALIFORNIA DEPARTMENT OF TRANSPORTATION
CME	CALTRANS MAINTENANCE EASEMENT
DOC	DOCUMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EXC.	EXCEPTION
NO	NUMBER
O.R.	OFFICIAL RECORD
PSSE	PUBLIC SANITARY SEWER EASEMENT
PTR	PRELIMINARY TITLE REPORT
PWE	PUBLIC WATER EASEMENT
PUE	PUBLIC UTILITY EASEMENT

LEGEND

EXISTING BOUNDARY LINE	_____
NEW LOT LINES	-----
ADJACENT PARCEL LINES	-----
NO ACCESS LINE	-----
MONUMENT LINE	-----
CENTER LINE	-----
VERIZON LEASE LINE	-----
EASEMENT LINE (NEW)	-----
EASEMENT LINE (E) TO REMAIN	-----
IN	DISTANCE INSIDE SUBJECT BOUNDARY
M-M	DISTANCE TO MONUMENT DISTANCE
OUT	DISTANCE OUTSIDE SUBJECT BOUNDARY
{	1 RECORD DATA PER W MAPS 56
{	2 RECORD DATA PER 455 ROS 56-57
{	3 RECORD DATA PER DOC NO. 21494974
{	4 RECORD DATA PER DOC NO. 14046575

NOTES

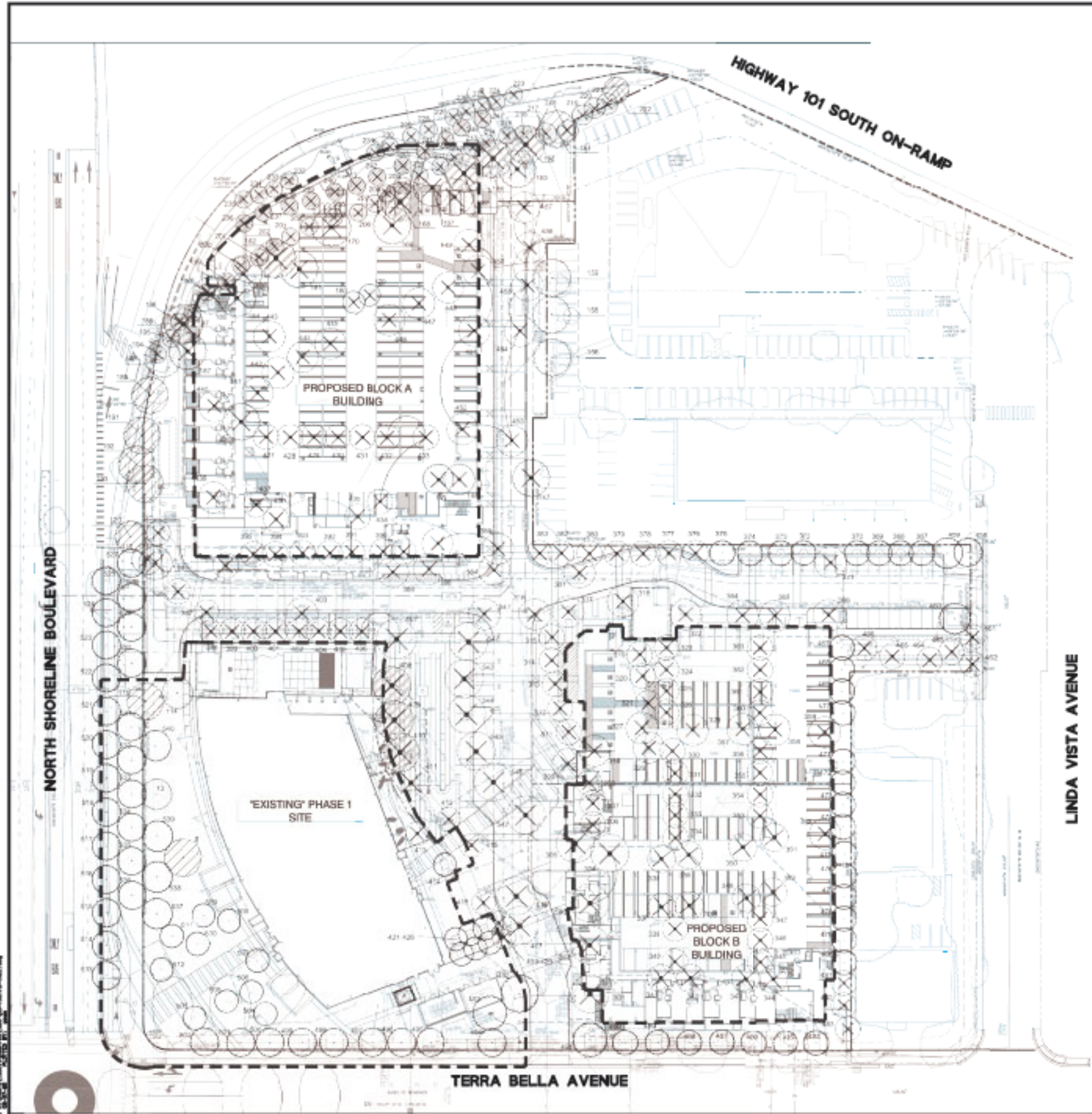
1. BEARINGS AND DISTANCES OF EXISTING PARCEL ARE SHOWN ON SHEET TM-4.



VESTING TENTATIVE MAP
1001 N. SHORELINE BLVD.
MAP PLAN NORTH
MOUNTAIN VIEW SANTA CLARA CALIFORNIA

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Date: 01/22/2020	
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Design: FCG	
Drawn: FCG	
Approved: FCG	
Job No: 20126019	
Drawing Number:	TM-2
	2 OF 4



TREE DISPOSITION LEGEND

KEY	DESCRIPTION	QUANTITY
	EXISTING TREE TO REMAIN	6
	PHASE 1 TREES TO REMAIN <small>(Dependent upon retention of tree at construction time)</small>	87
	PHASE 1 TREES TO TRANSPLANT	1
	EXISTING HERITAGE TREE TO REMAIN	9
	HERITAGE TREES TO BE REMOVED	23
	PHASE 1 TREES TO BE REMOVED	155
	EXISTING TREES TO BE REMOVED	60
	NEW TREES TO BE PLANTED DUE TO PROJECT	192
	TOTAL TREES ESTIMATED FOR ON-SITE AT TIME OF PROJECT COMPLETION	295

Note: See Arborist Report for Existing Tree Numbers

SUPPLEMENTAL INFORMATION
1001 N. SHORELINE BLVD.
TREE DISPOSITION PLAN
 MOUNTAIN VIEW SANTA CLARA CALIFORNIA

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Date: 01/22/2020	Revisions
Scale: N.T.S.	
Design: FOG	
Drawn: FOG	
Approved: FOG	
Job No: 20180019	