



THE VILLAGE

AT SAN ANTONIO CENTER - PHASE III

365 SAN ANTONIO ROAD, MOUNTAIN VIEW CA 94040

PLANNING SUBMITTAL 7 10.29.2021

PROJECT TEAM

OWNER

MERLONE GEIER PARTNERS
 425 CALIFORNIA ST. 11TH FLOOR
 SAN FRANCISCO, CA 94104
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 415-693-9000

ARCHITECT

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LANDSCAPE ARCHITECT

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CIVIL ENGINEER

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 619-961-2800

GENERAL	
G00.00	COVER
L0.00	COLORED MASTER CONTEXT PLAN
L0.01	COLORED CONCEPTUAL LANDSCAPE PLAN
ARCHITECTURAL	
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A01.06A	SILICON WAY RENDERING
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A02.02	FLOOR PLAN - LEVEL 02
A02.03	FLOOR PLAN - LEVEL 03
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A02.05	FLOOR PLAN - LEVEL 05
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A02.07	FLOOR PLAN - LEVEL 07
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A04.03	EXTERIOR ELEVATIONS
A04.04	EXTERIOR ELEVATIONS
A04.04B	ENLARGED LIMESTONE ELEVATION
A04.05	ENLARGED GROUND FLOOR ELEVATIONS
A04.06	ENLARGED GROUND FLOOR ELEVATION
A04.07	ENLARGED GROUND FLOOR ELEVATIONS

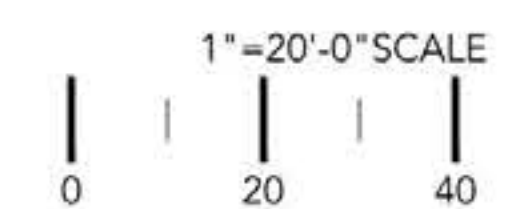
A04.08	ENLARGED GROUND FLOOR ELEVATIONS
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A04.10	GROUND FLOOR DETAIL VIEWS
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L1.02	OPEN SPACE LANDSCAPE PLAN
L1.03	OPEN SPACE LANDSCAPE PLAN
L1.11	CONCEPTUAL LANDSCAPE DETAILS
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CIVIL

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ELECTRICAL	
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E8.00	LIGHTING CUTSHEETS
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I00.04	SOLAR STUDIES



■ RETAIL
■ OFFICE



Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature



Project Name
THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

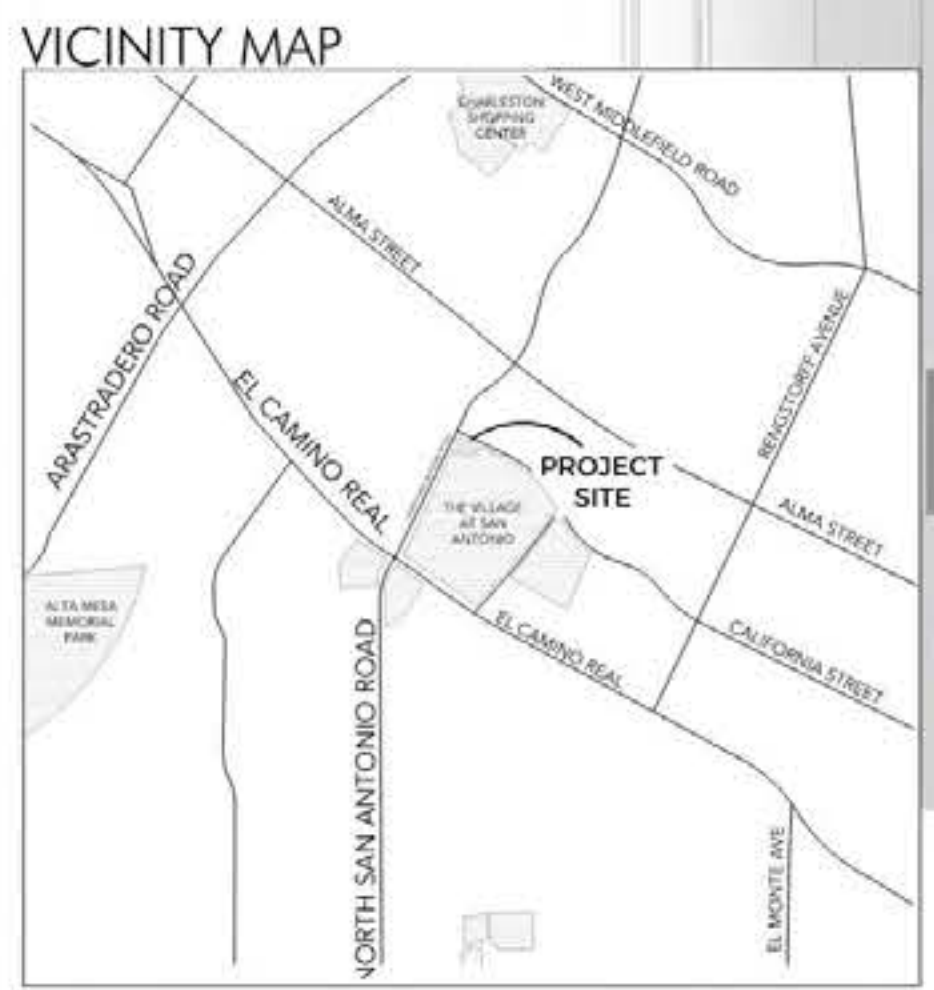
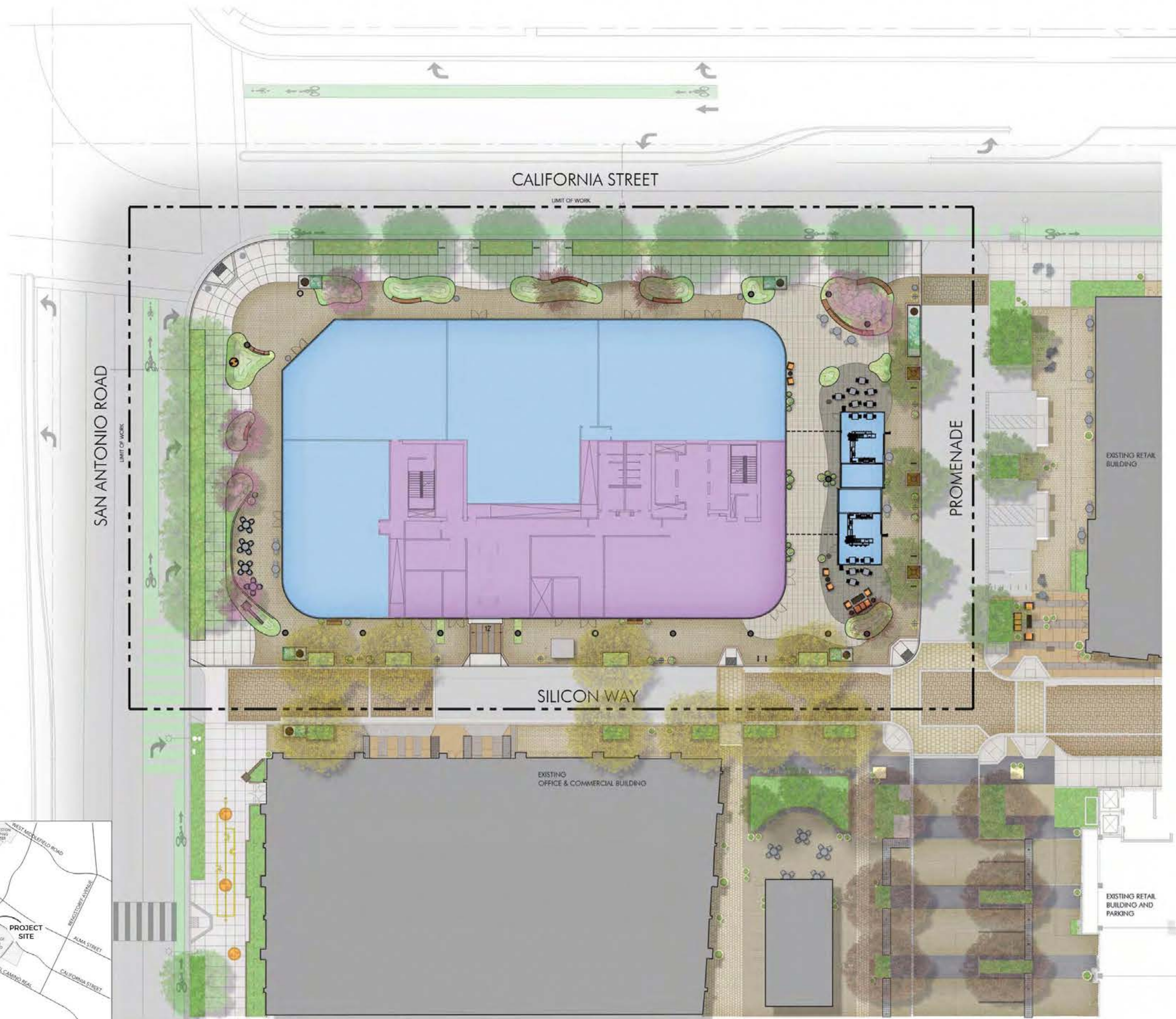
Project Number
20-015

Description
COLORED MASTER CONTEXT PLAN

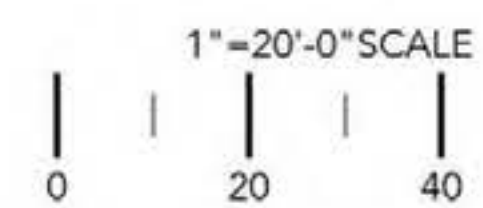
Scale
As indicated

L0.00
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RETAIL
 OFFICE



425 CALIFORNIA ST. 11TH FLOOR
 SAN FRANCISCO, CA 94104
 CONTACT: DAVID GEISER
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THE VILLAGE AT SAN ANTONIO CENTER - PHASE 3
 365 SAN ANTONIO ROAD
 MOUNTAIN VIEW, CA 94040

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 11300 Sorrento Valley Road, Suite 230
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 858 425 0112

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Seal/Signature



Project Name
 THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number
 20-015

Description
 COLORED CONCEPTUAL LANDSCAPE PLAN

Scale
 As indicated

L0.01

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PROJECT INFORMATION

SCALE: 1/2" = 1'-0"

ZONING: P(40) - Planned Community / Precise Plan
 COMMERCIAL RETAIL CENTER - SUBAREA
 PROJECT ADDRESS: 365 SAN ANTONIO ROAD, MOUNTAIN VIEW CA 94040
 405 SAN ANTONIO ROAD, MOUNTAIN VIEW CA 94040
 2585 CALIFORNIA STREET, MOUNTAIN VIEW CA 94040
 2595 CALIFORNIA STREET, MOUNTAIN VIEW CA 94040

EXISTING ZONING: P(40); PLANNED COMMUNITY/PRECISE PLAN

GENERAL PLAN DESIGNATION: MIXED-USE CENTER

SPECIAL FLOOD HAZARD ZONE: ZONE X

PROJECT SUMMARY / DESCRIPTION:

MIXED USED BUILDING WITH GROUND LEVEL RETAIL & RESTAURANTS
 (6) LEVELS OF CLASS "A" OFFICE
 (3) LEVELS OF SUBTERRANEAN PARKING
 OCCUPANCY: TYPE B, A-2
 CONSTRUCTION TYPE: 1-B
 BUILDING HEIGHT: 111' TO T.O. MECH SCREEN

PROJECT DESCRIPTION:

THE VILLAGE AT SAN ANTONIO CENTER PHASE III PROPOSES TO COMPLETE THE LAST PHASE OF THE ENTIRE BLOCK DEVELOPMENT, WITH THE CONSTRUCTION OF A MIXED USE BUILDING AT THE INTERSECTION OF CALIFORNIA ST. AND SAN ANTONIO ST. THE PROJECT WOULD TRANSFORM THE PARCEL CURRENTLY OCCUPIED BY (2) SINGLE STORY COMMERCIAL BUILDINGS AND A LARGE AMOUNT OF SURFACE PARKING INTO A (7) STORY MIXED USE BUILDING WITH GROUND FLOOR RETAIL AND (6) LEVELS OF CLASS "A" OFFICE ABOVE WITH (3) LEVELS OF SUBTERRANEAN PARKING BELOW, THAT CONNECTS TO THE ADJACENT UNDERGROUND PARKING FROM PHASE II.
 THE OFFSITE CONDITIONS ARE FULLY IMPROVED. EXISTING SIDEWALK AT RETAIL SPACE WILL BE IMPROVED. EXISTING OFFICE AND RETAIL ARE VACANT.

THE BUILDING'S SINUOUS AND SOFT ARTICULATION IS CREATING A UNIQUE ARCHITECTURAL EXPRESSION FOR THE SITE, REDUCING THE PERCEIVED VISUAL SIZE AND SCALE.
 THE GLASS WALL RATIO WILL BE BALANCED IN RESPONSE TO THE ORIENTATION OF EACH ELEVATION TO MINIMIZE THE SOLAR HEAT GAIN AND IT ENERGY CONSUMPTION. THE GENEROUS EXTERIOR DECKS WILL PROVIDE AN INDOOR-OUTDOOR CONNECTION AND ACCESS TO FRESH AIR TO MOST OF THE OCCUPANTS.

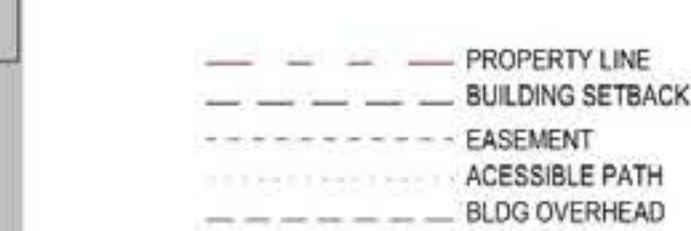
ITS MATERIALITY, SUCH AS, C.I.P CONCRETE, LIMESTONE CLADDING WALLS, METAL PANELS, EXPANDED METAL MESH AND, WOOD-LIKE MATERIAL @ BALCONY SOFFITS AND RETAIL JEWEL BOX, TIES THE BUILDING TO THE SURROUNDINGS, WHILE THE INVITING PEDESTRIAN INTERVENTIONS PROVIDE HUMAN SCALE AND CONNECTION TO THE URBAN FABRIC

SITE DATA / CALCULATION

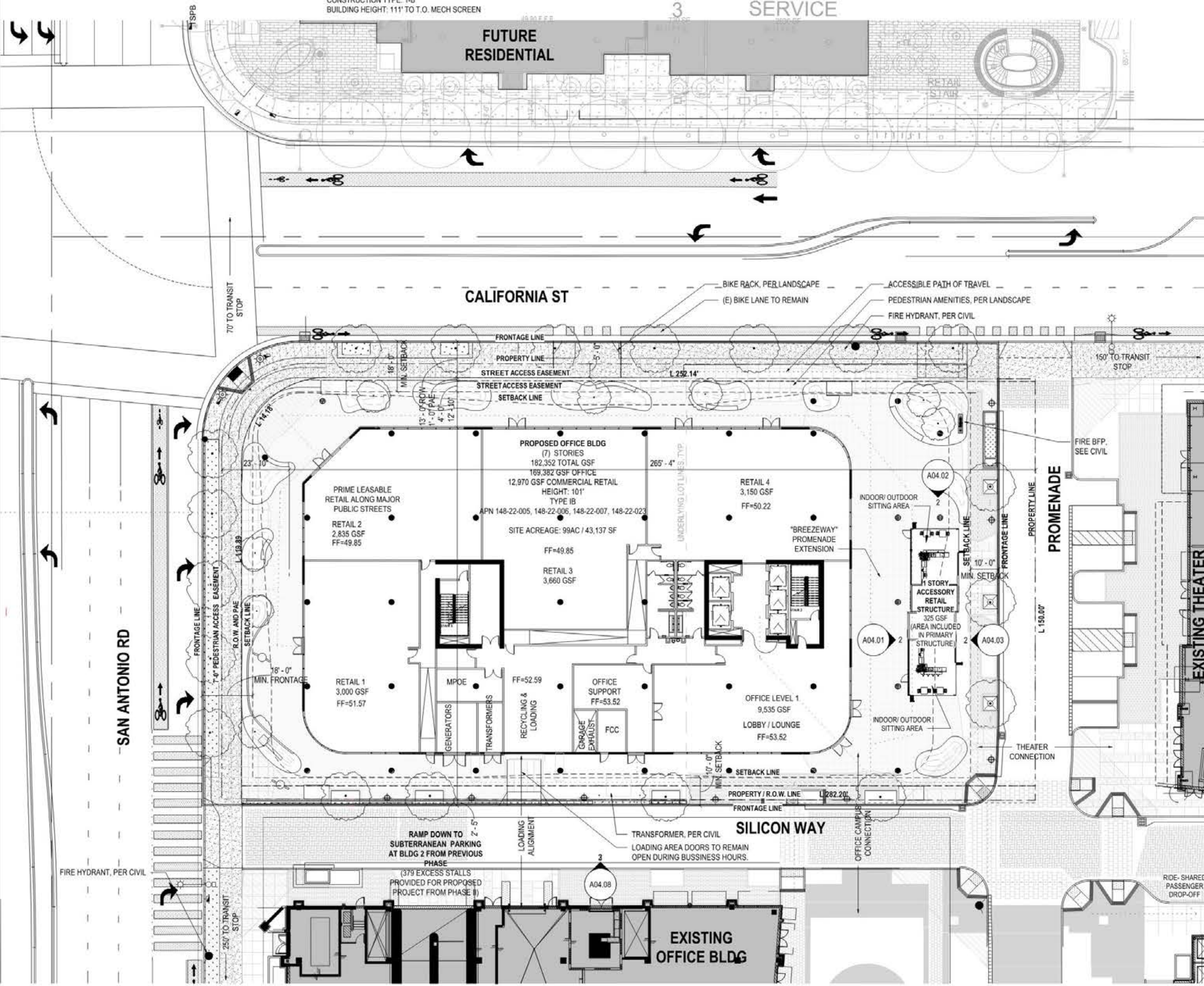
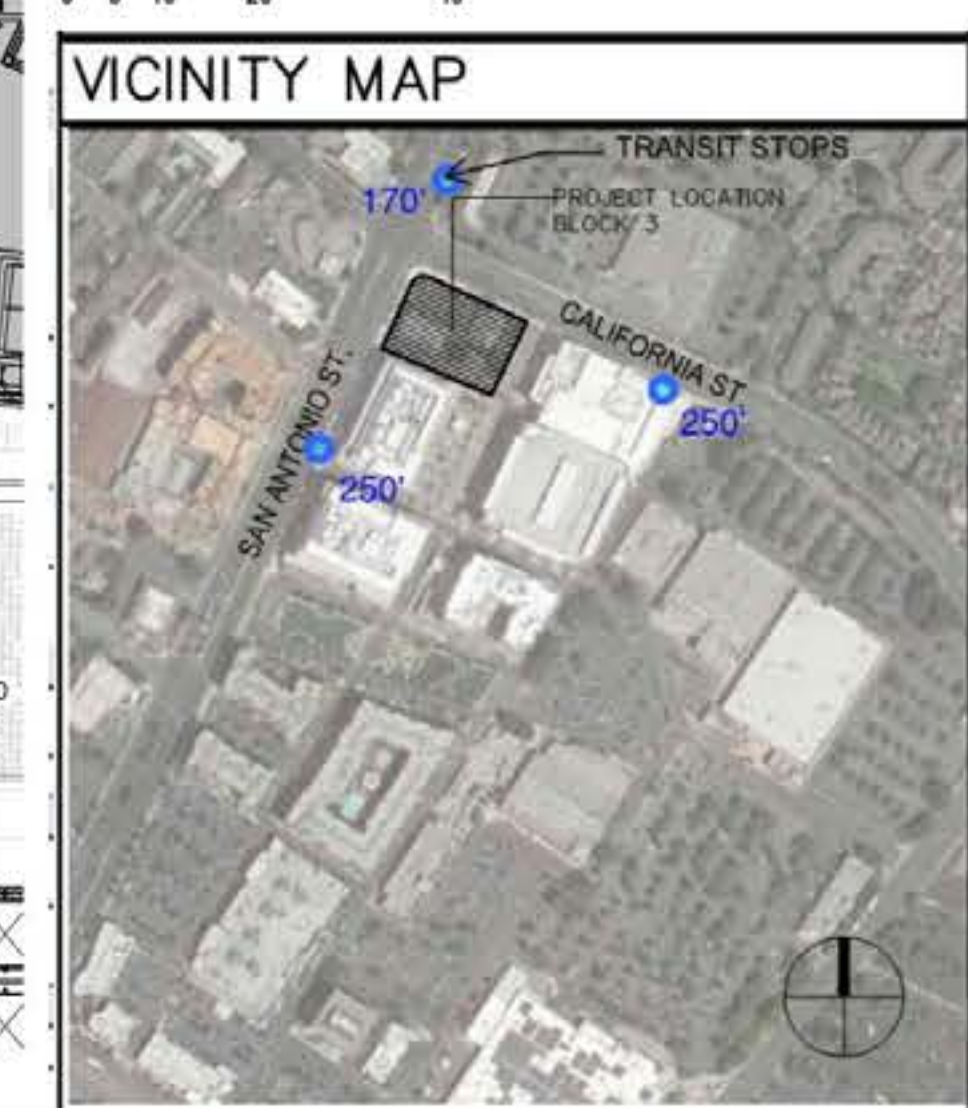
SITE AREA	
APN 148-322-005 (former Pilling)	0.218 AC / 9,480 SF
APN 148-22-006 (MGP IX)	0.322 AC / 14,026 SF
APN 148-22-007 (former Rasmussen)	0.230 AC / 10,000 SF
APN 148-22-023 (MGP I Parcel 4)	0.221 AC / 9,631 SF
TOTAL SITE AREA BLOCK 3	0.99 AC / 43,137 SF
FAR CATEGORY: OFFICE / COMM / RETAIL	
AREA DESCRIPTION	AREA SQ. FT.
RETAIL	12,970 SF
OFFICE / COMMERCIAL*	169,382 SF
*DENSITY TRANSFER FROM SENDING SITE (NOT SUBJECT TO FAR LIMITATIONS)	(150,000) SF
TOTAL	32,352 SF
FAR w/out TDR (32,352 SF / 43,137 SF)	0.75
TOTAL BUILDING AREA	
RETAIL	12,970 SF
OFFICE / COMMERCIAL*	169,382 SF
TOTAL BUILDING AREA	182,352 SF
FAR w/ TDR	4.22

PARKING REQUIREMENTS

TOTAL PARKING REQUIRED: PHASE 3			
TYPE / USE	AREA / SF USE	PARKING RATIO	PARKING REQUIRED
OFFICE	169,382 SF	3.333/1000	565 STALLS
RETAIL (EXCL. SERVICES)	12,970 SF	5.555/1000	72 STALLS
TOTAL PARKING STALLS REQUIRED			637 STALLS
TOTAL PARKING PROVIDED IN PHASE 3 SUBTERRANEAN PARKING GARAGE (3 LEVELS)			
			283 STALLS
PHASE 2			
TOTAL PARKING REQUIRED			2496 STALLS
TOTAL PARKING PROVIDED			2586 STALLS
DIFFERENCE BETWEEN PARKING REQUIRED + PROPOSED			
			90 STALLS
PHASE 3			
TOTAL PARKING REQUIRED			637 STALLS
TOTAL PARKING PROVIDED			280 STALLS
COMBINED			
TOTAL PARKING REQUIRED			3133 STALLS
PROPOSED SHARED PARKING REDUCTION 8.5% OF 20% ALLOWED (Per SAPP)			(267) STALLS
TOTAL PARKING REQUIRED			2866 STALLS
TOTAL PARKING PROVIDED			2866 STALLS



LINE TYPES
SCALE: 1" = 1'-0"



1 SITE PLAN
SCALE: 1" = 20'-0"



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 365 SAN ANTONIO ROAD,
 MOUNTAIN VIEW, CA



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 Fax: 619.557.2520

FOR REFERENCE ONLY

2 05.05.2021 -planning
 submittal 4

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10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature

NOT FOR CONSTRUCTION

Project Name
SAVN | BLOCK III

Project Number
055.7739.000

Description
SITE PLAN - LEVEL 01

Scale
As indicated

A00.01

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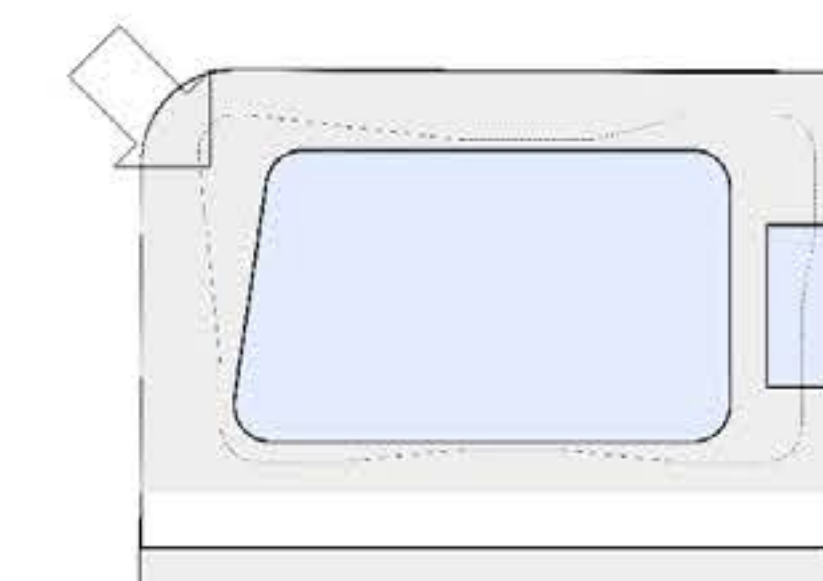
Description

CALIFORNIA ST. / SAN ANTONIO ST. CORNER VIEW

Scale

A01.01

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KEY PLAN



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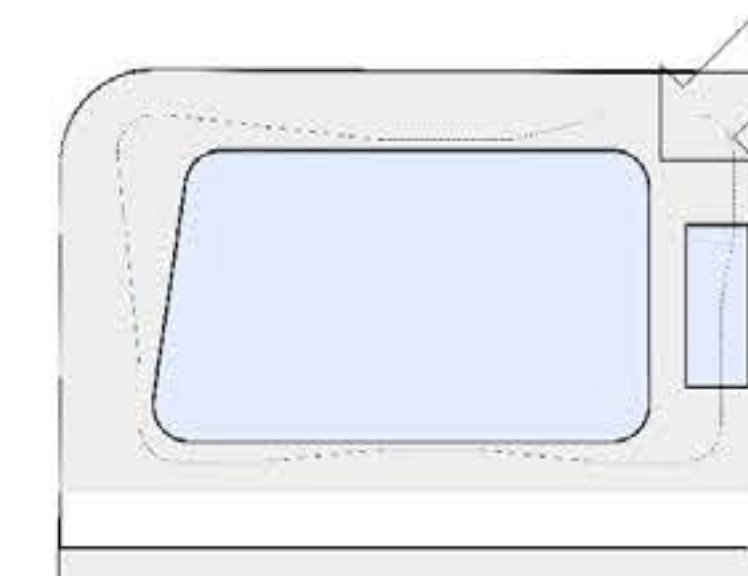
Description

PROMENADE - SOUTHEAST CORNER

Scale

A01.02

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KEY PLAN



MerloneGeier Partners

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SAN FRANCISCO, CA 94104
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THE VILLAGE AT SAN
ANTONIO CENTER - PHASE 3
365 SAN ANTONIO ROAD,
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2 05.05.2021 -planning
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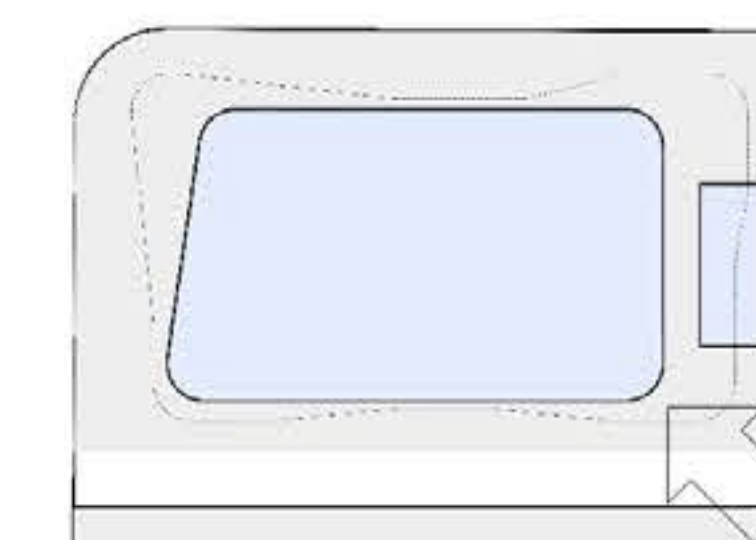
Description

PROMENADE - NORTHEAST CORNER

Scale

A01.03

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KEY PLAN



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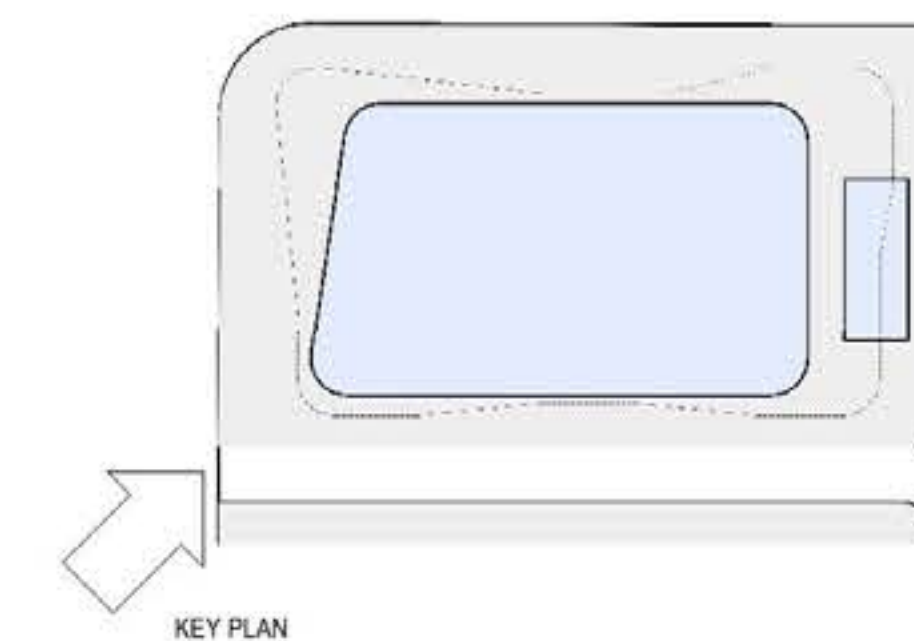
055.7739.000

Description

Scale

A04.04

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KEY PLAN



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2 05.05.2021 -planning
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055.7739.000

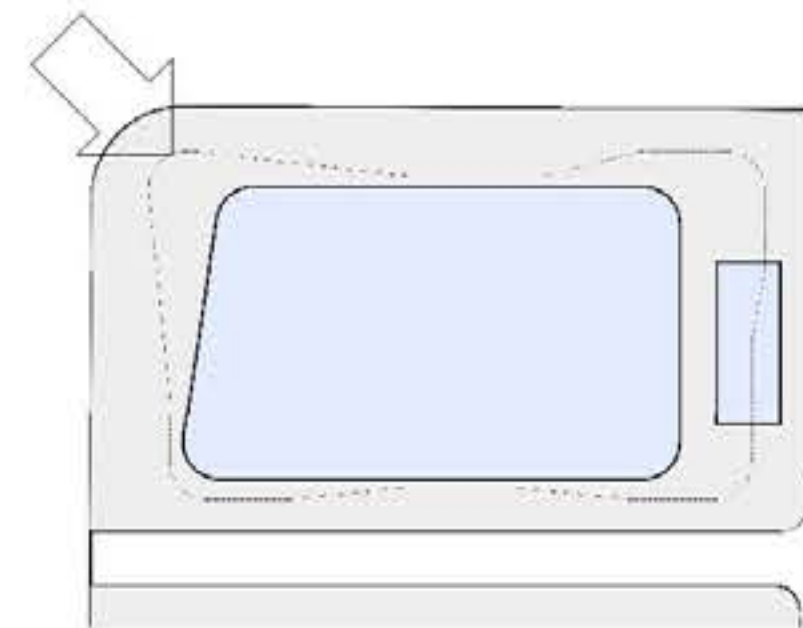
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CALIFORNIA ST. RETAIL

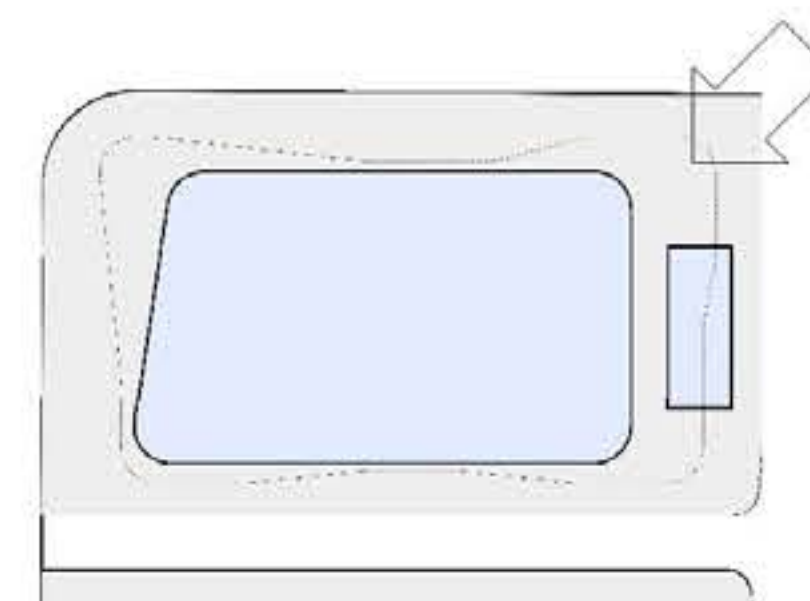
Scale

A01.05

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KEY PLAN



KEY PLAN

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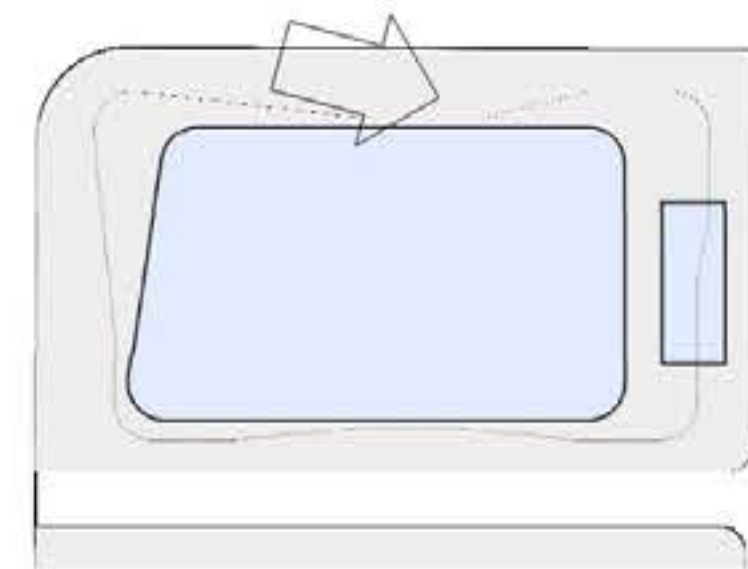
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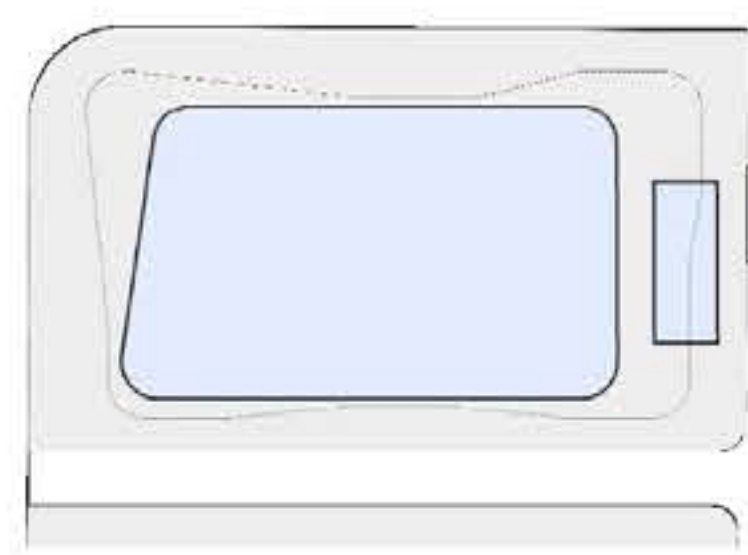
Description
RETAIL STREET RENDERINGS

Scale

A01.06

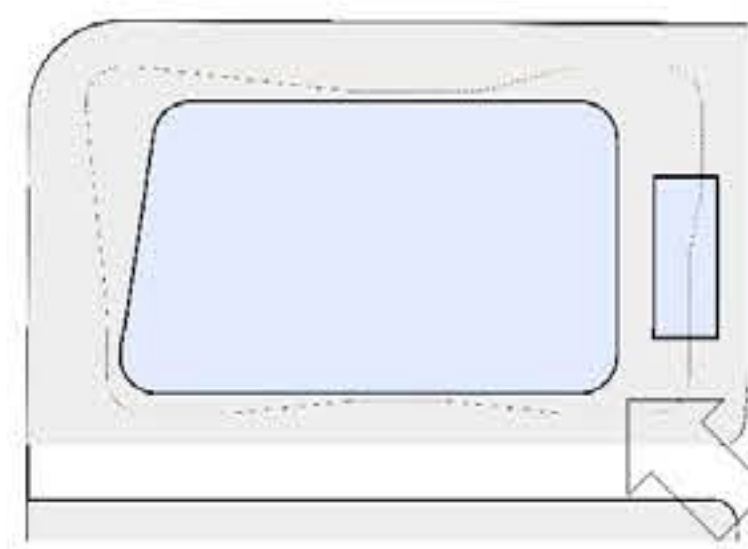


KEY PLAN



KEY PLAN

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KEY PLAN

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Description
SILICON WAY RENDERINGS

Scale

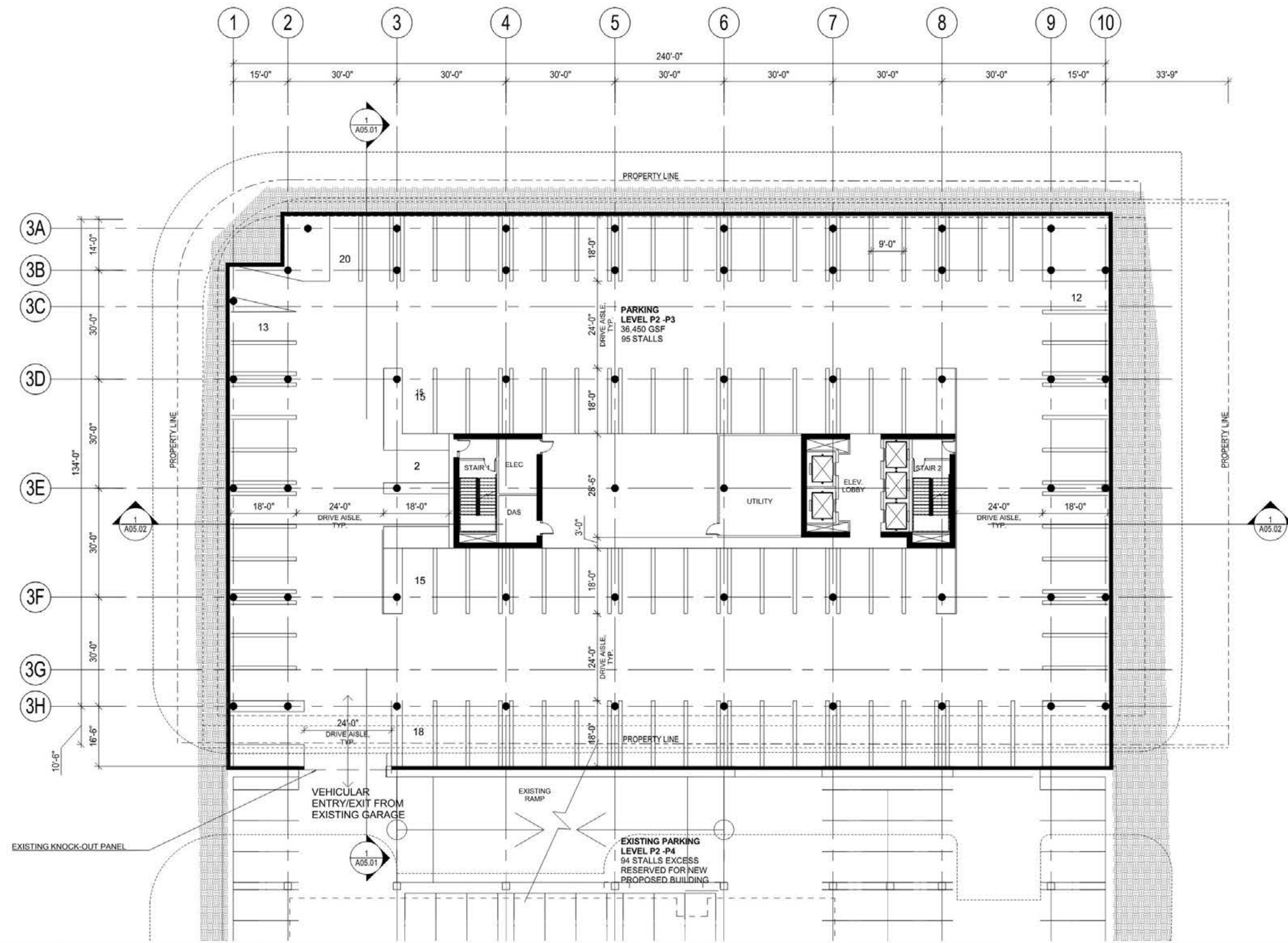
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1 FLOOR PLAN - LEVEL P2-P3
SCALE: 1/16" = 1'-0"

TYP. STALL STRIPING DETAIL
SCALE: 1/4" = 1'-0"

CARS PROVIDED UNDER BUILDING:

UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 280 CARS

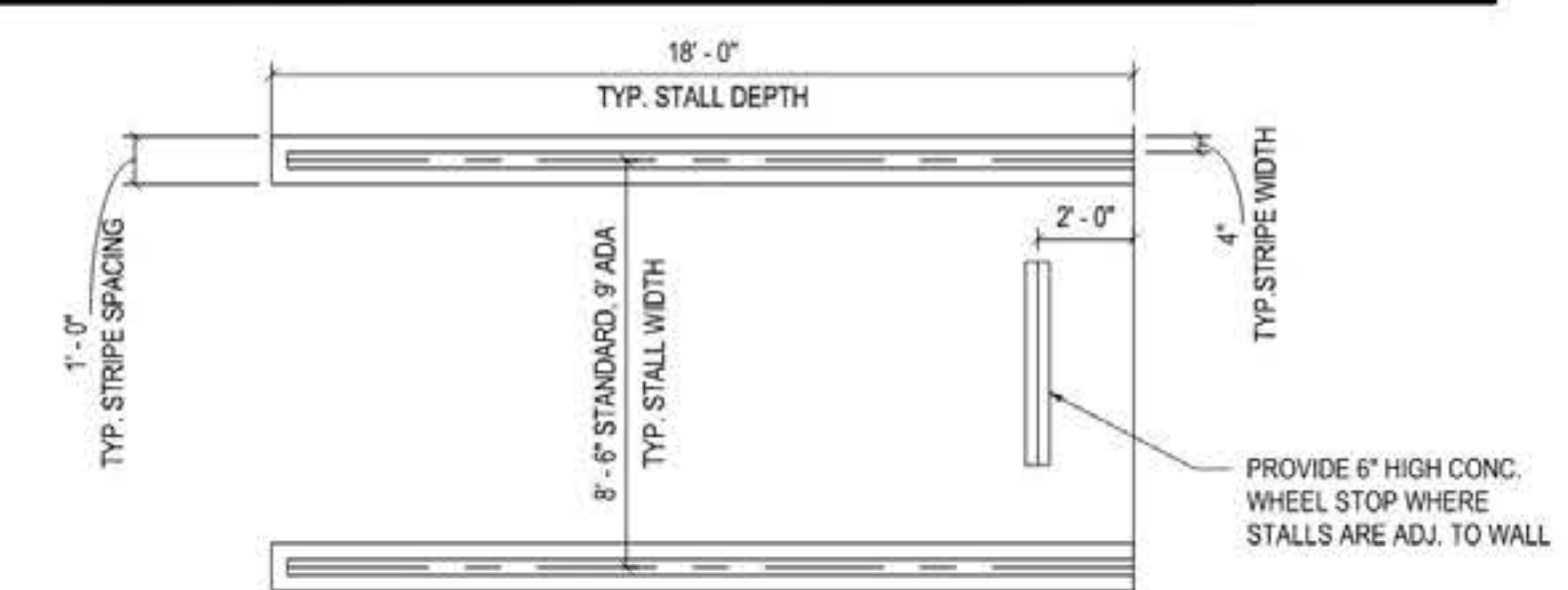
CARS PROVIDED UNDER BUILDING:

PER 11B-208.2 201-300 STALLS: 7 OF TOTAL REQUIRED FOR ADA

283 TOTAL STALLS = 7 ADA STALLS REQUIRED

8 ADA STALLS PROVIDED

DRAINAGE FROM THE UNDERGROUND PARKING GARAGE SHALL BE DIRECTED TO THE SANITARY SEWER SYSTEM. THE SANITARY SEWER LATERALS SHALL BE EQUIPPED WITH BACKWATER DEVICES. ALL RAMP ARE LOCATED IN THE EXISTING PORTION OF THE UNDERGROUND PARKING STRUCTURE AND ALL REQUIRED DRAINAGE HAS BEEN PROVIDED



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Description

FLOOR PLAN - PARKING P2-P3

Scale

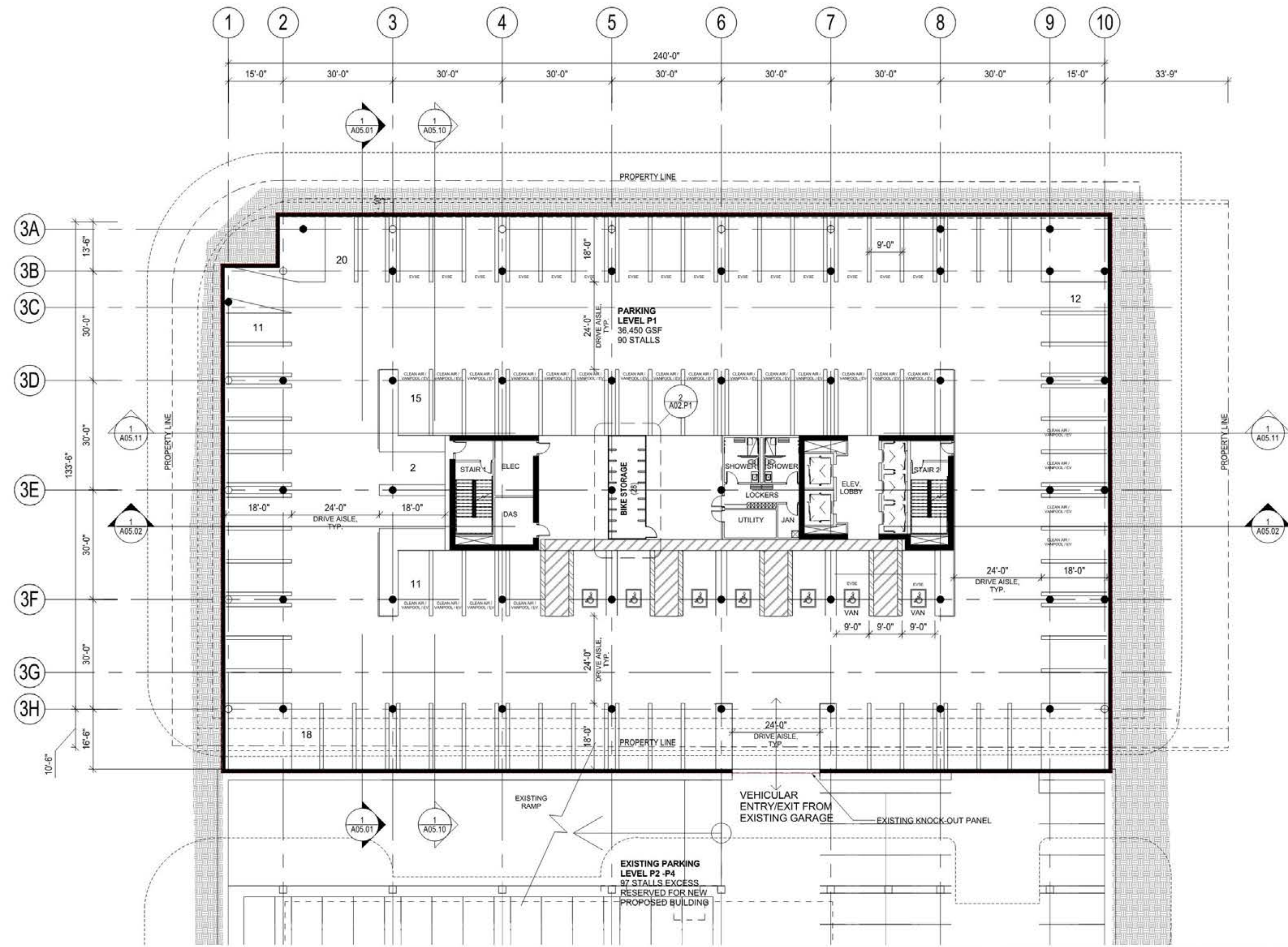
As indicated

A02.P2-P3

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-	3 / \$ 11, 1 * 6		
-	3 / \$ 11, 1 * 6		
10.29.2021	- PLANNING SUBMITTAL 7		



1 FLOOR PLAN - LEVEL P1
SCALE: 1/16" = 1'-0"

2 LONG-TERM BIKE STORAGE
SCALE: 1/4" = 1'-0"

TYP. STALL STRIPING DETAIL
SCALE: 1/4" = 1'-0"

CARS PROVIDED UNDER BUILDING:

UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 280

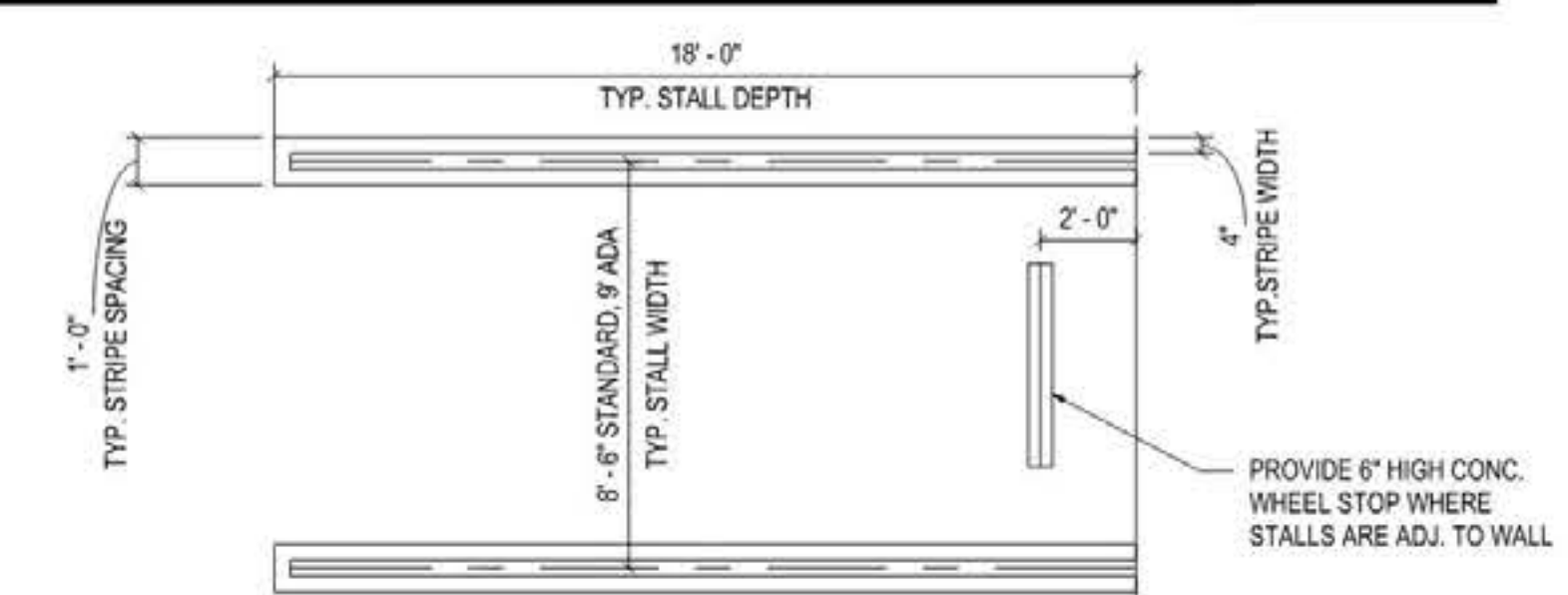
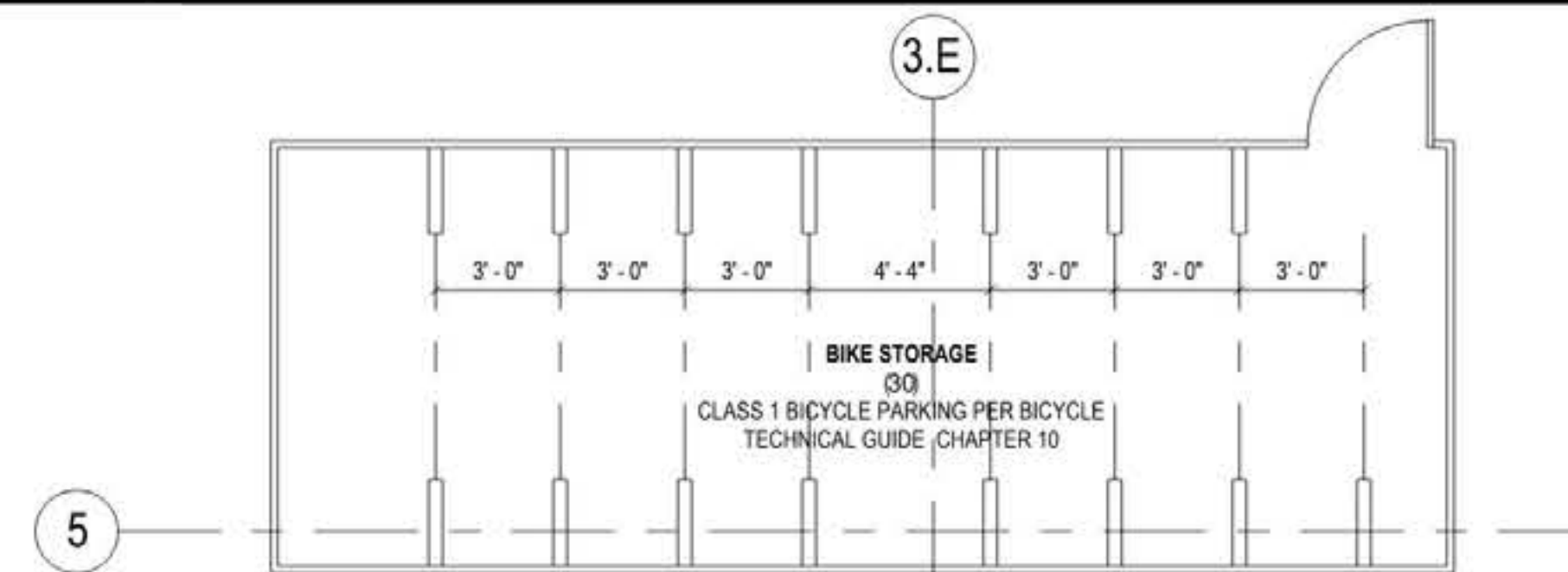
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CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

FLOOR PLAN - PARKING P1

Scale

As indicated

A02.P1

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**FOR
REFERENCE
ONLY**

2 05.05.2021 - planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
-	3 / \$ 11,116		
-	3 / \$ 11,116		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

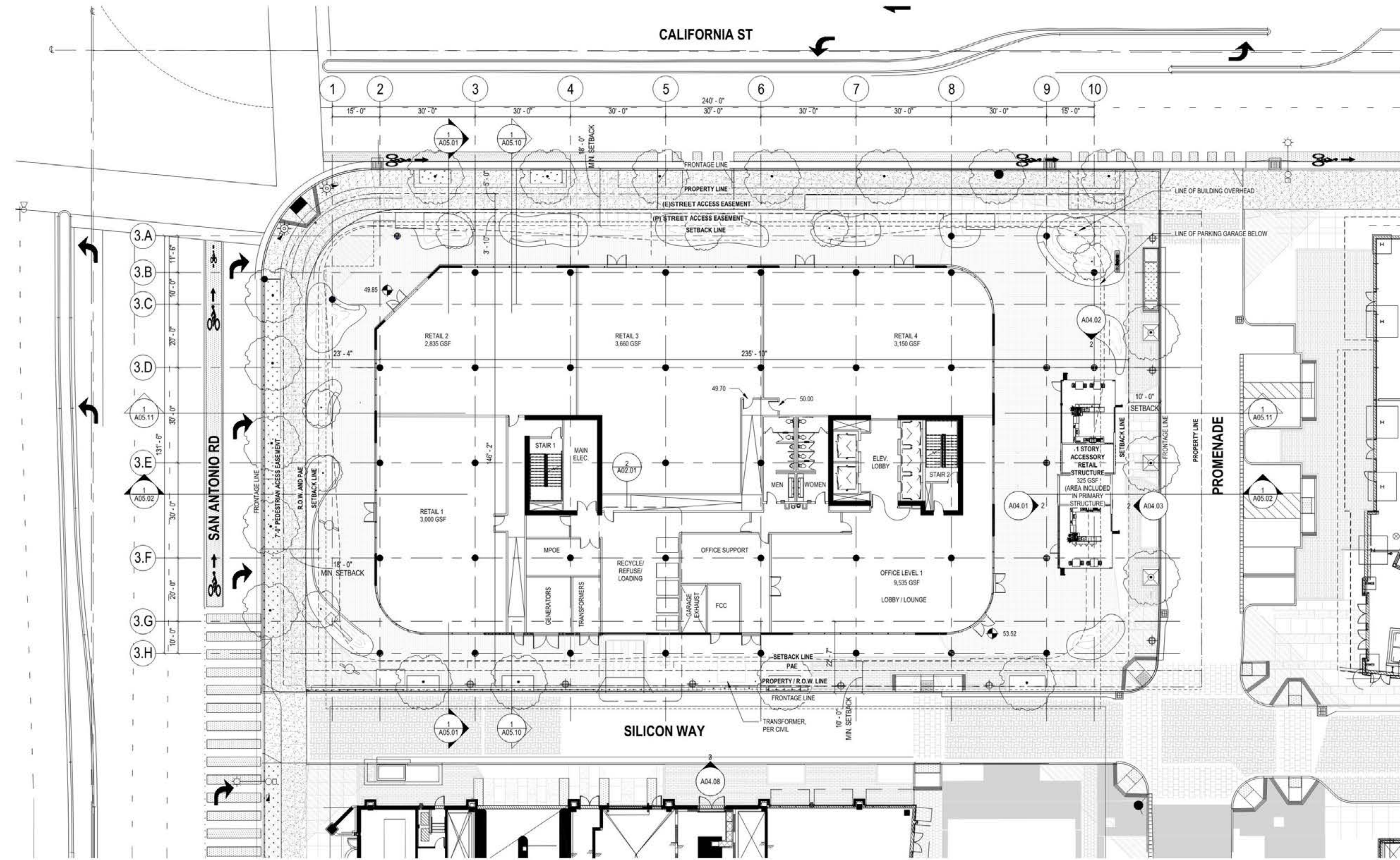
FLOOR PLAN - LEVEL 01

Scale

As indicated

A02.01

© 2020 Gensler



1 FLOOR PLAN - LEVEL 01
SCALE: 1/16" = 1'-0"

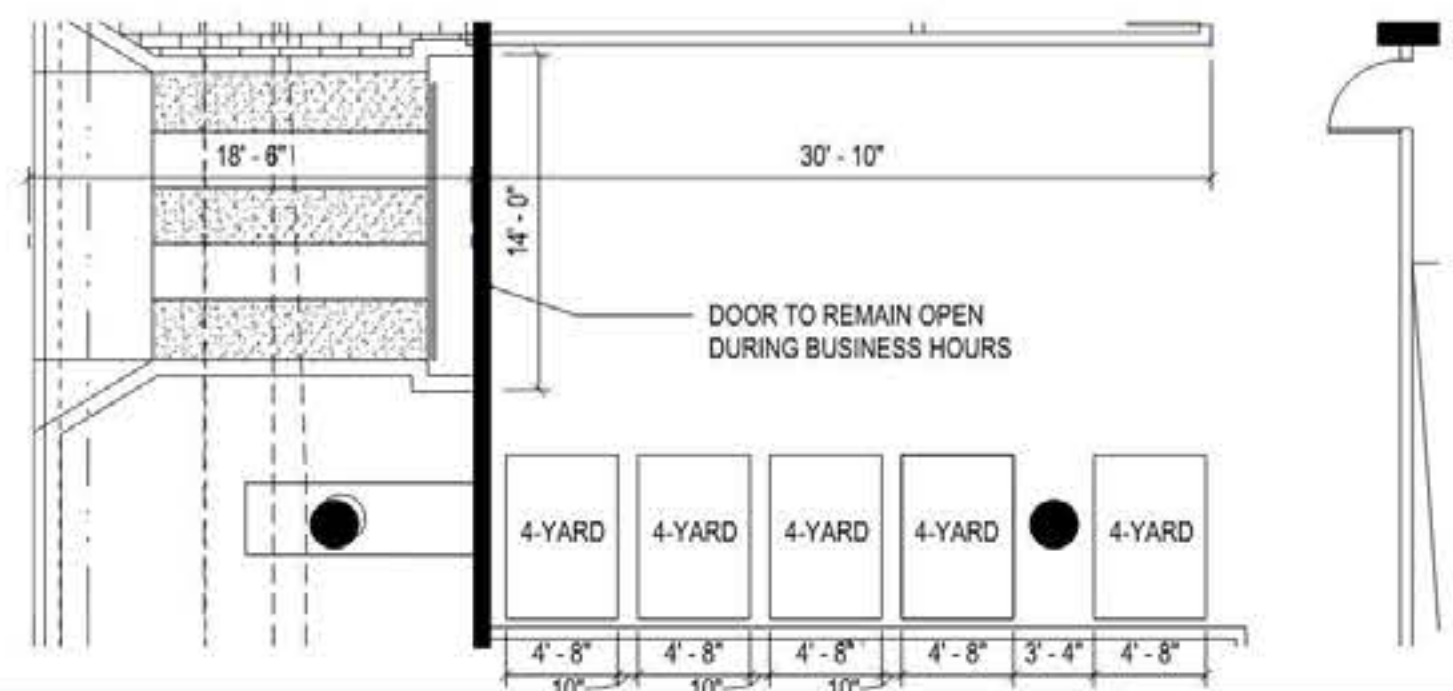
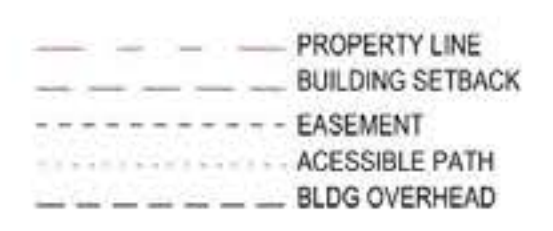
LINE TYPES
SCALE: 1" = 1'-0"

2 ENLARGED LOADING/TRASH ROOM
SCALE: 1/8" = 1'-0"

PROJECT SUMMARY:
RETAIL / OFFICE BUILDING
LEVEL 01 : 22,504 GSF
LEVEL 02 : 31,000 GSF
LEVEL 03 : 31,000 GSF
LEVEL 04 : 31,000 GSF
LEVEL 05 : 23,240 GSF
LEVEL 06 : 24,700 GSF
LEVEL 07 : 18,908 GSF

TOTAL OFFICE: 169,382 GSF
RETAIL (LEVEL 01): 12,970 GSF
TOTAL PROJECT GSF: 182,352 GSF

CARS PROVIDED UNDER BUILDING:
UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 280



**FOR
REFERENCE
ONLY**

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
-	3 / \$ 11,1 * 6		
-	3 / \$ 11,1 * 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

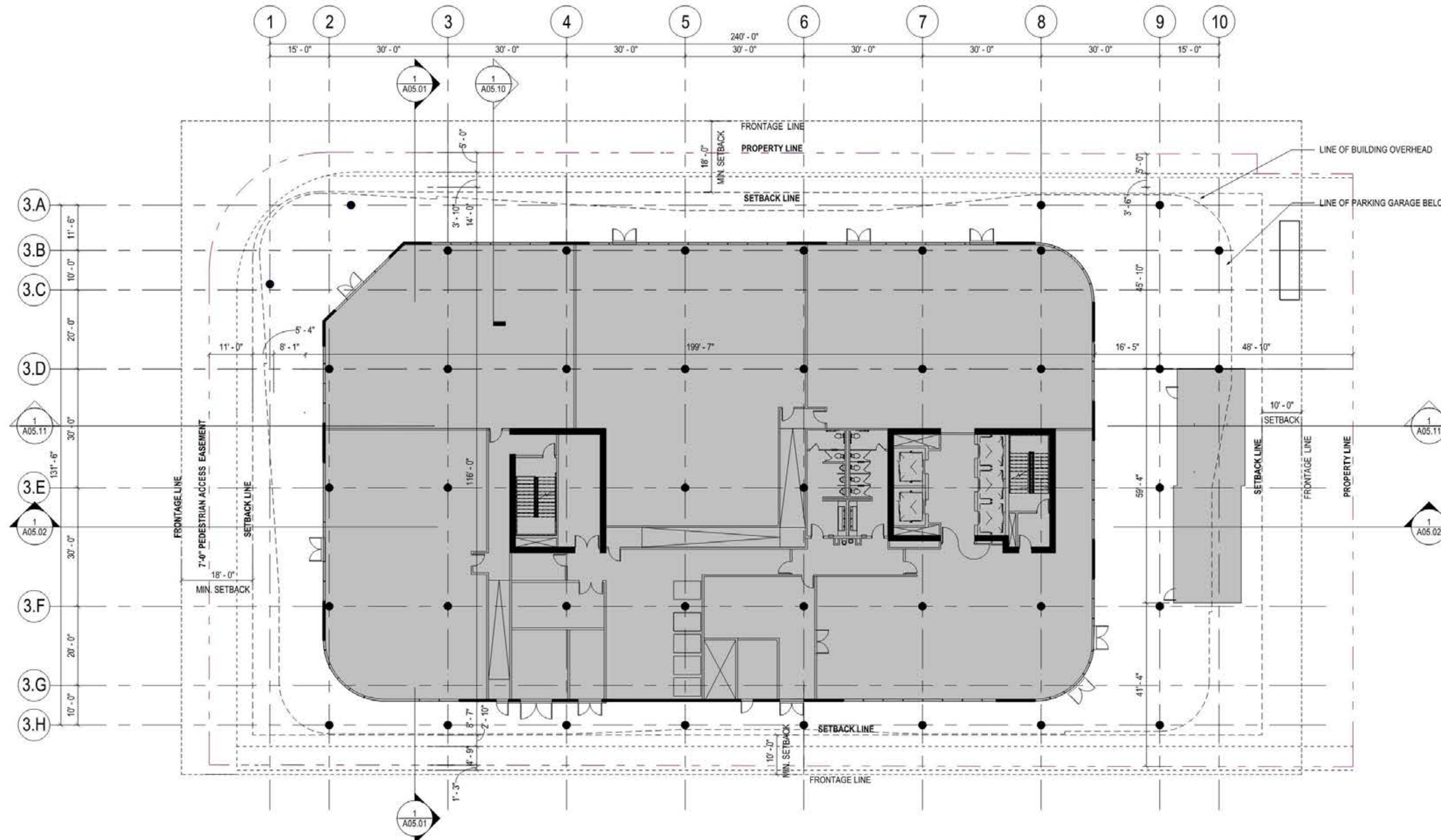
FLOOR PLAN - LEVEL 01 (NO SITE)

Scale

As indicated

A02.01A

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1 FLOOR PLAN - LEVEL 01 Copy 2
SCALE: 1/16" = 1'-0"

LINE TYPES
SCALE: 1" = 1'-0"

PROJECT SUMMARY:

RETAIL / OFFICE BUILDING
LEVEL 01 : 22,504 GSF
LEVEL 02 : 31,000 GSF
LEVEL 03 : 31,000 GSF
LEVEL 04 : 31,000 GSF
LEVEL 05 : 23,240 GSF
LEVEL 06 : 24,700 GSF
LEVEL 07 : 16,908 GSF

TOTAL OFFICE: 169,382 GSF

RETAIL (LEVEL 01): 12,970 GSF

TOTAL PROJECT GSF: 182,352 GSF

CARS PROVIDED UNDER BUILDING:

UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 280

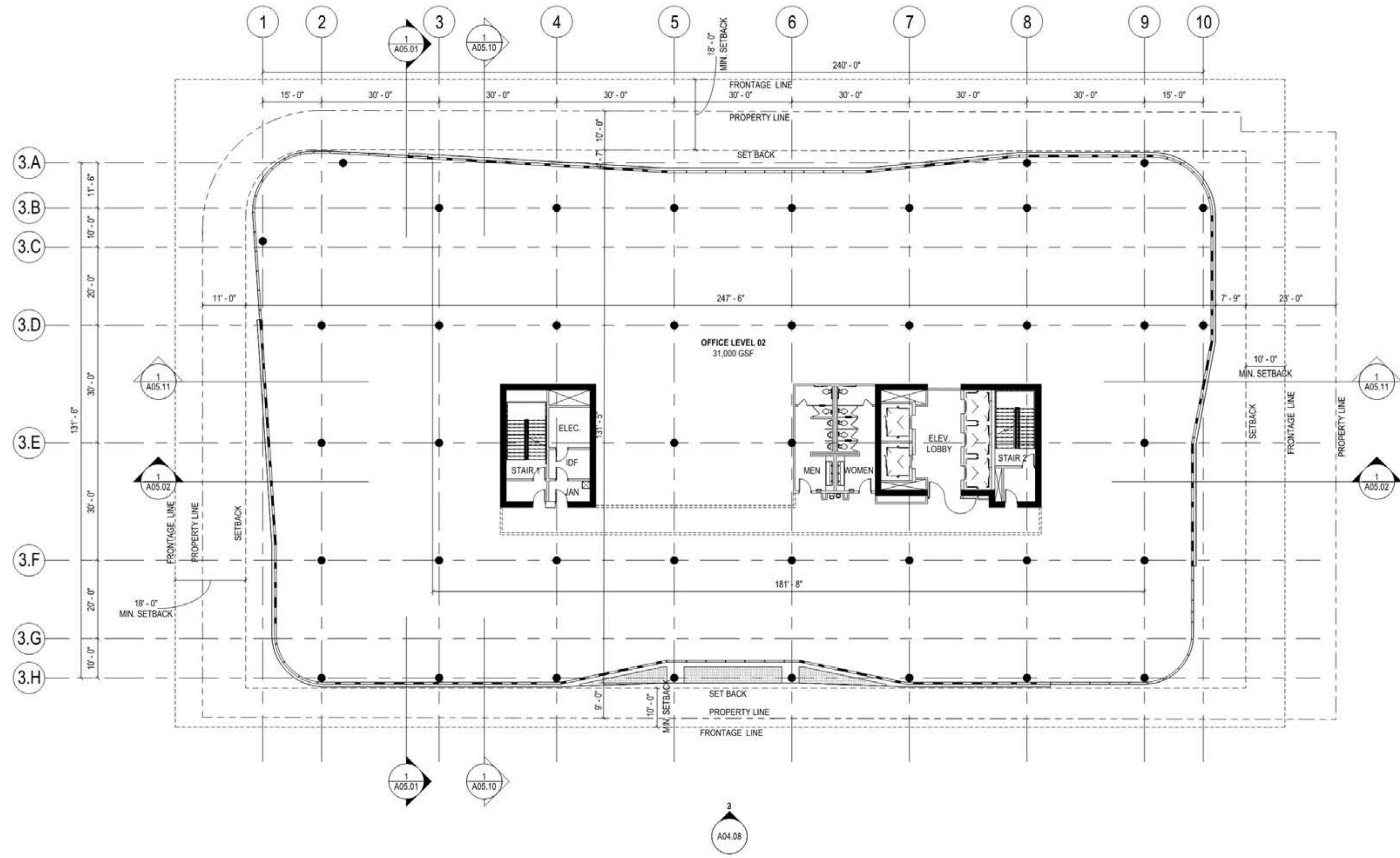
- PROPERTY LINE
- BUILDING SETBACK
- EASEMENT
- ACCESSIBLE PATH
- BLDG OVERHEAD



**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		



1 FLOOR PLAN - LEVEL 02
SCALE: 1/16" = 1'-0"

PROJECT SUMMARY:

RETAIL / OFFICE BUILDING
LEVEL 01 : 22,504 GSF
LEVEL 02 : 31,000 GSF
LEVEL 03 : 31,000 GSF
LEVEL 04 : 31,000 GSF
LEVEL 05 : 23,240 GSF
LEVEL 06 : 24,700 GSF
LEVEL 07 : 18,908 GSF

TOTAL OFFICE: 169,382 GSF

RETAIL (LEVEL 01): 12,970 GSF

TOTAL PROJECT GSF: 182,352 GSF

CARS PROVIDED UNDER BUILDING:

UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 282 CARS

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

FLOOR PLAN - LEVEL 02

Scale

As indicated

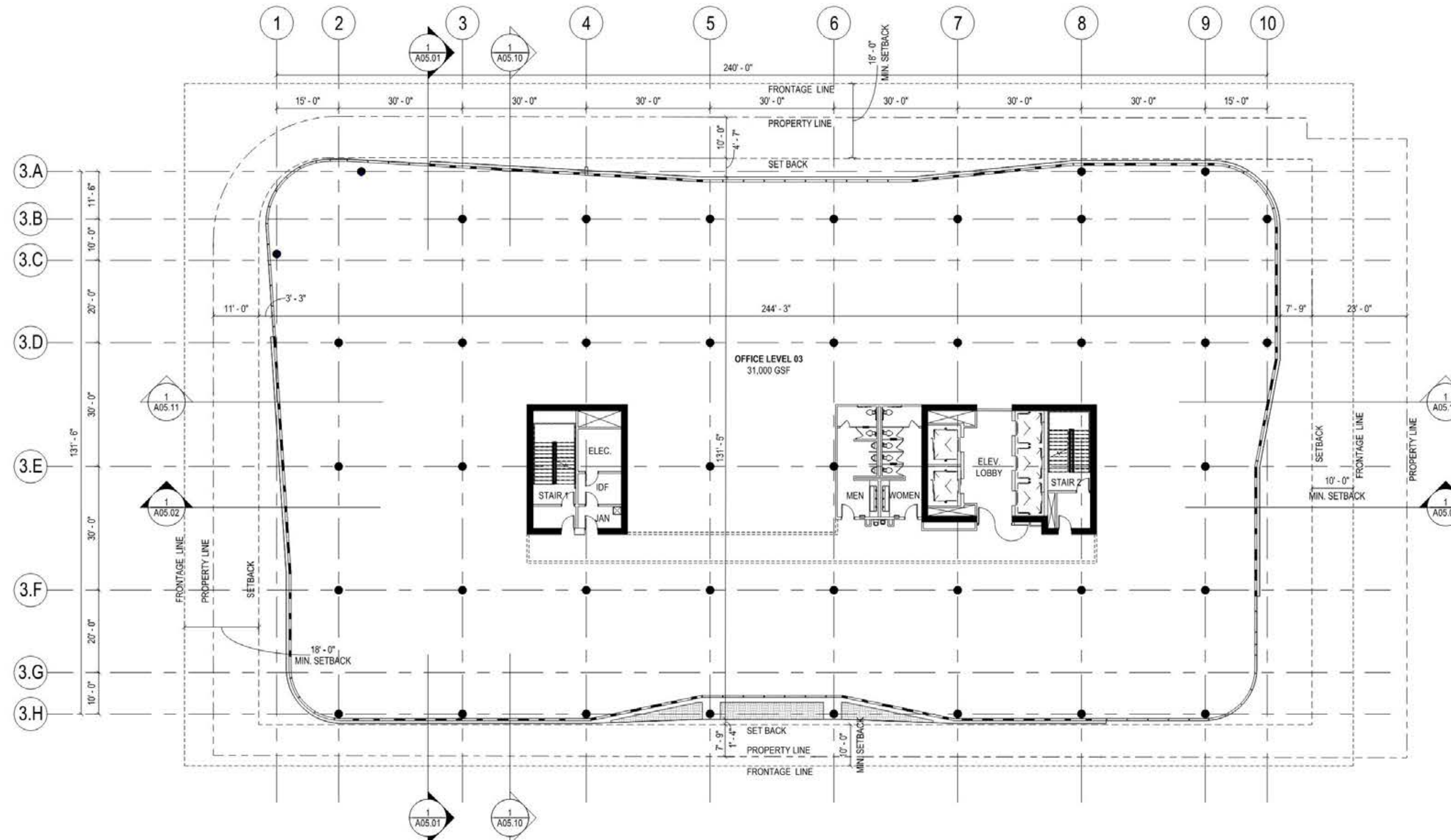
A02.02



**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
	3 / \$ 11.1 * 6		
	3 / \$ 11.1 * 6		
10.29.2021	- PLANNING SUBMITTAL 7		



1 FLOOR PLAN - LEVEL 03
SCALE: 1/16" = 1'-0"

PROJECT SUMMARY:	CARS PROVIDED UNDER BUILDING:
RETAIL / OFFICE BUILDING	UG PARKING STRUCTURE
LEVEL 01 : 22,504 GSF	36,450 SF PER FLOOR
LEVEL 02 : 31,000 GSF	3 LEVELS (P1 - P3): 280
LEVEL 03 : 31,000 GSF	
LEVEL 04 : 31,000 GSF	
LEVEL 05 : 23,240 GSF	
LEVEL 06 : 24,700 GSF	
LEVEL 07 : 18,908 GSF	
TOTAL OFFICE: 169,382 GSF	
RETAIL (LEVEL 01): 12,970 GSF	
TOTAL PROJECT GSF: 182,352 GSF	

Seal/Signature _____

NOT FOR CONSTRUCTION

Project Name _____
SAVN | BLOCK III

Project Number _____
055.7739.000

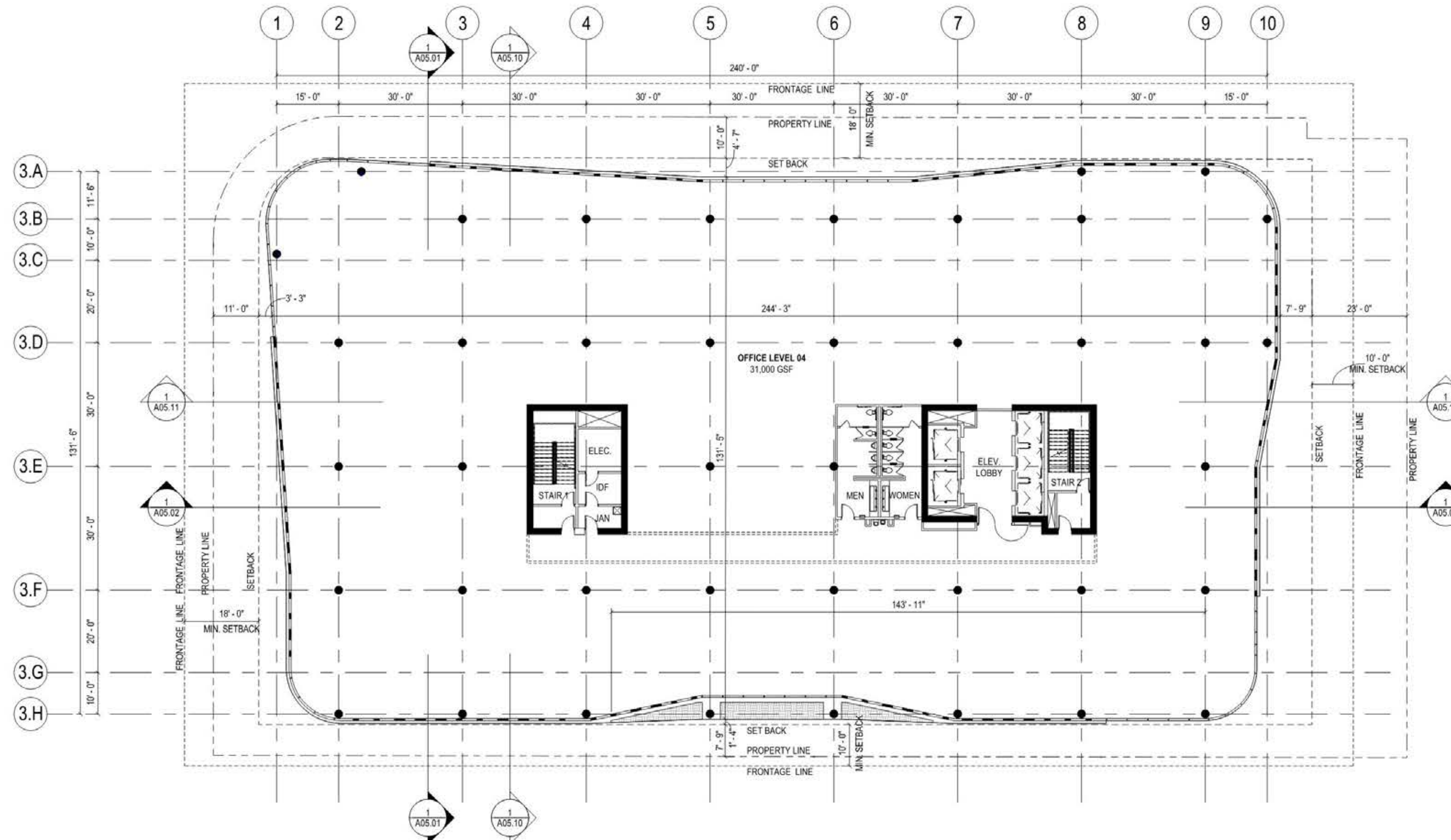
Description _____
FLOOR PLAN - LEVEL 03

Scale _____
As indicated

**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
-	3 / \$ 11,1 * 6		
-	3 / \$ 11,1 * 6		
10.29.2021	- PLANNING SUBMITTAL 7		



1 FLOOR PLAN - LEVEL 04
SCALE: 1/16" = 1'-0"

PROJECT SUMMARY:	CARS PROVIDED UNDER BUILDING:
RETAIL / OFFICE BUILDING	UG PARKING STRUCTURE
LEVEL 01 : 22,504 GSF	36,450 SF PER FLOOR
LEVEL 02 : 31,000 GSF	3 LEVELS (P1 - P3); 280
LEVEL 03 : 31,000 GSF	
LEVEL 04 : 31,000 GSF	
LEVEL 05 : 23,240 GSF	
LEVEL 06 : 24,700 GSF	
LEVEL 07 : 18,908 GSF	
TOTAL OFFICE: 169,382 GSF	
RETAIL (LEVEL 01): 12,970 GSF	
TOTAL PROJECT GSF: 182,352 GSF	

Seal/Signature _____

NOT FOR CONSTRUCTION

Project Name: SAVN | BLOCK III

Project Number: 055.7739.000

Description: FLOOR PLAN - LEVEL 04

Scale: As indicated

A02.04

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**FOR
REFERENCE
ONLY**

2 05.05.2021 - planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
-	3 / \$ 11,116		
-	3 / \$ 11,116		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

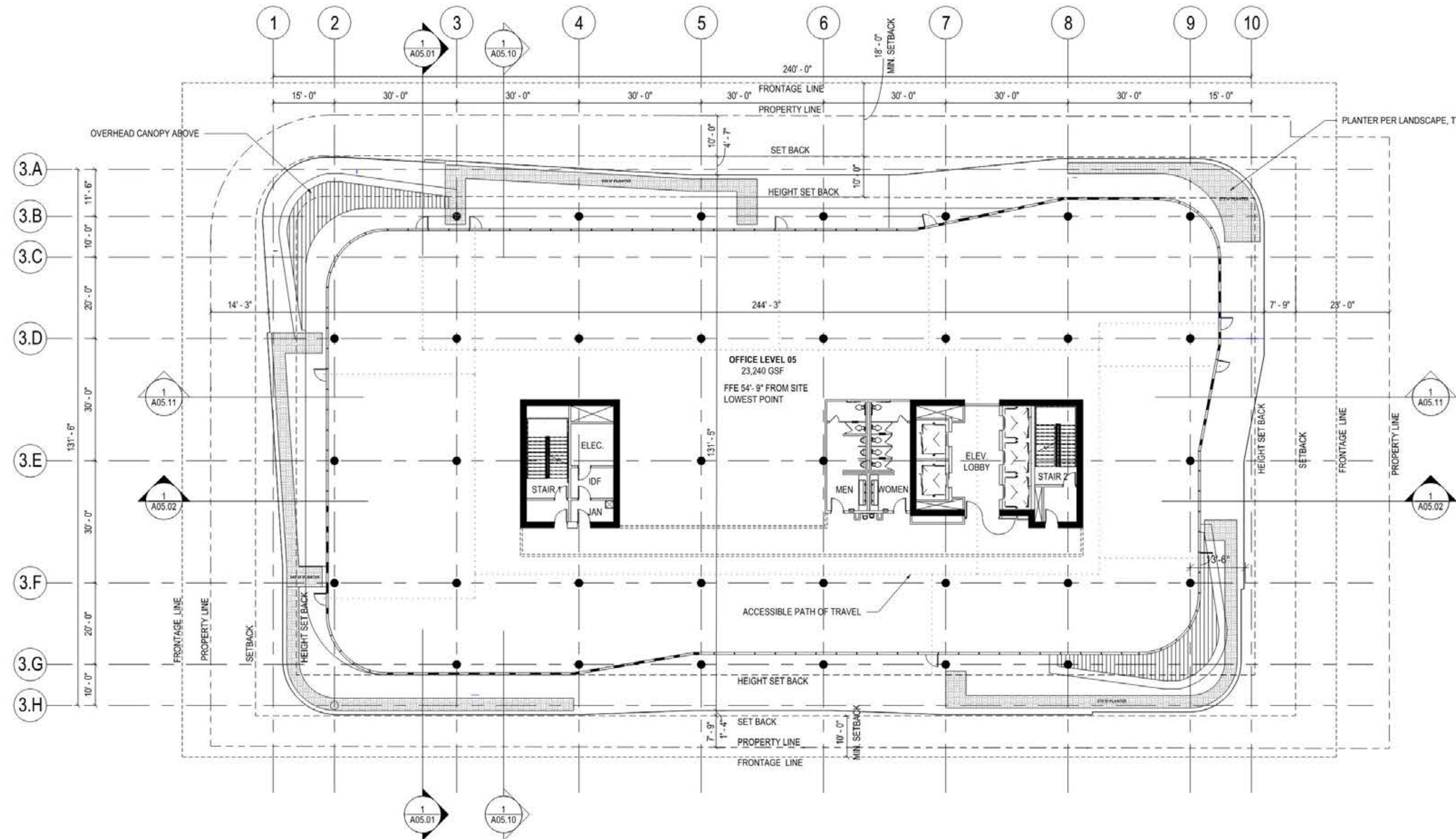
FLOOR PLAN - LEVEL 05

Scale

As indicated

A02.05

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1 FLOOR PLAN - LEVEL 05
SCALE: 1/16" = 1'-0"

PROJECT SUMMARY:

RETAIL / OFFICE BUILDING
LEVEL 01 : 22,504 GSF
LEVEL 02 : 31,000 GSF
LEVEL 03 : 31,000 GSF
LEVEL 04 : 31,000 GSF
LEVEL 05 : 23,240 GSF
LEVEL 06 : 24,700 GSF
LEVEL 07 : 18,908 GSF

TOTAL OFFICE: 169,382 GSF

RETAIL (LEVEL 01): 12,970 GSF

TOTAL PROJECT GSF: 182,352 GSF

CARS PROVIDED UNDER BUILDING:

UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 280

**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
-	3 / \$ 11, 1 * 6		
-	3 / \$ 11, 1 * 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

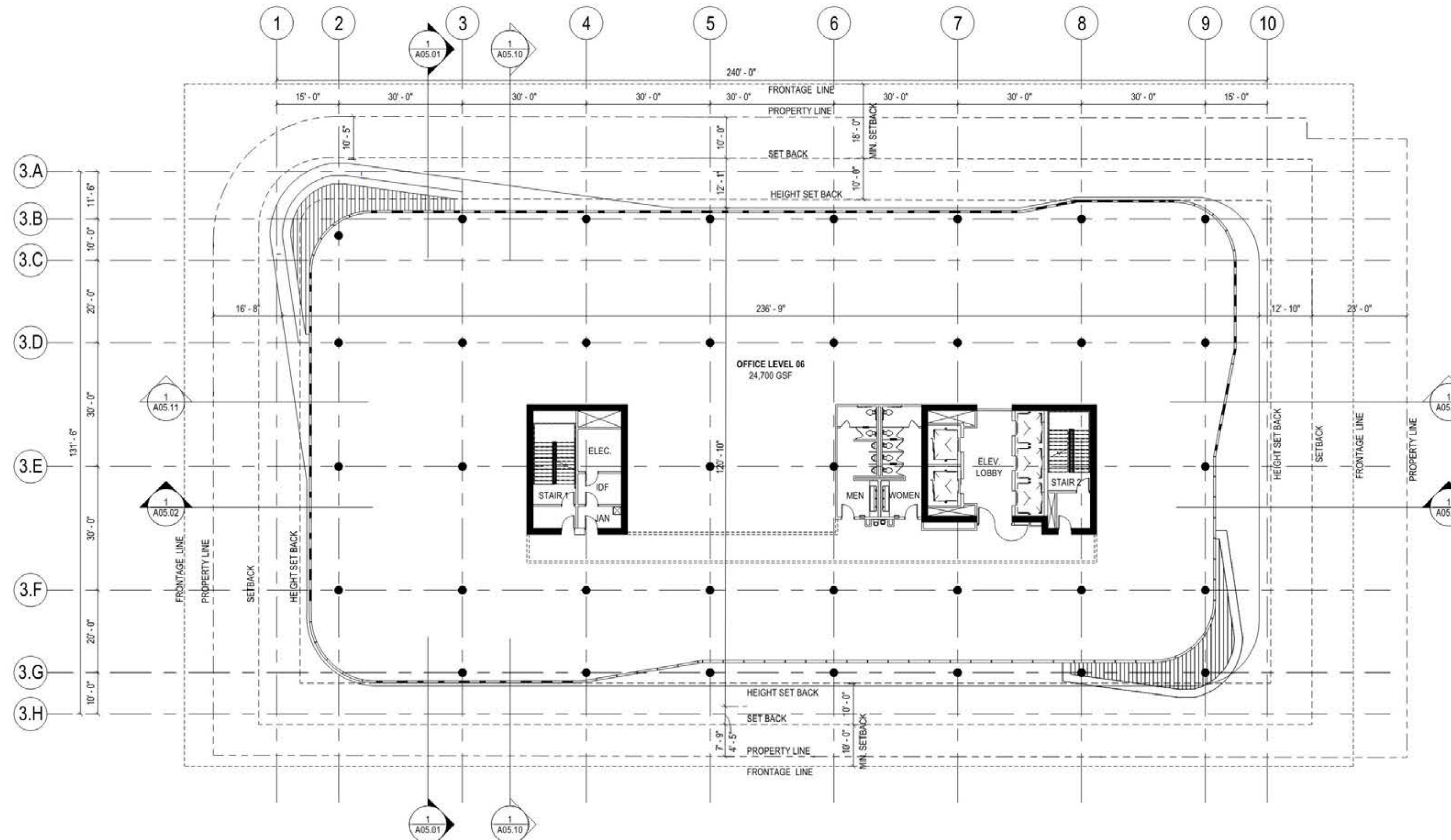
FLOOR PLAN - LEVEL 06

Scale

As indicated

A02.06

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1 FLOOR PLAN - LEVEL 06
SCALE: 1/16" = 1'-0"

PROJECT SUMMARY:

RETAIL / OFFICE BUILDING
LEVEL 01 : 22,504 GSF
LEVEL 02 : 31,000 GSF
LEVEL 03 : 31,000 GSF
LEVEL 04 : 31,000 GSF
LEVEL 05 : 23,240 GSF
LEVEL 06 : 24,700 GSF
LEVEL 07 : 18,908 GSF

TOTAL OFFICE: 169,382 GSF
RETAIL (LEVEL 01): 12,970 GSF

TOTAL PROJECT GSF: 182,352 GSF

CARS PROVIDED UNDER BUILDING:

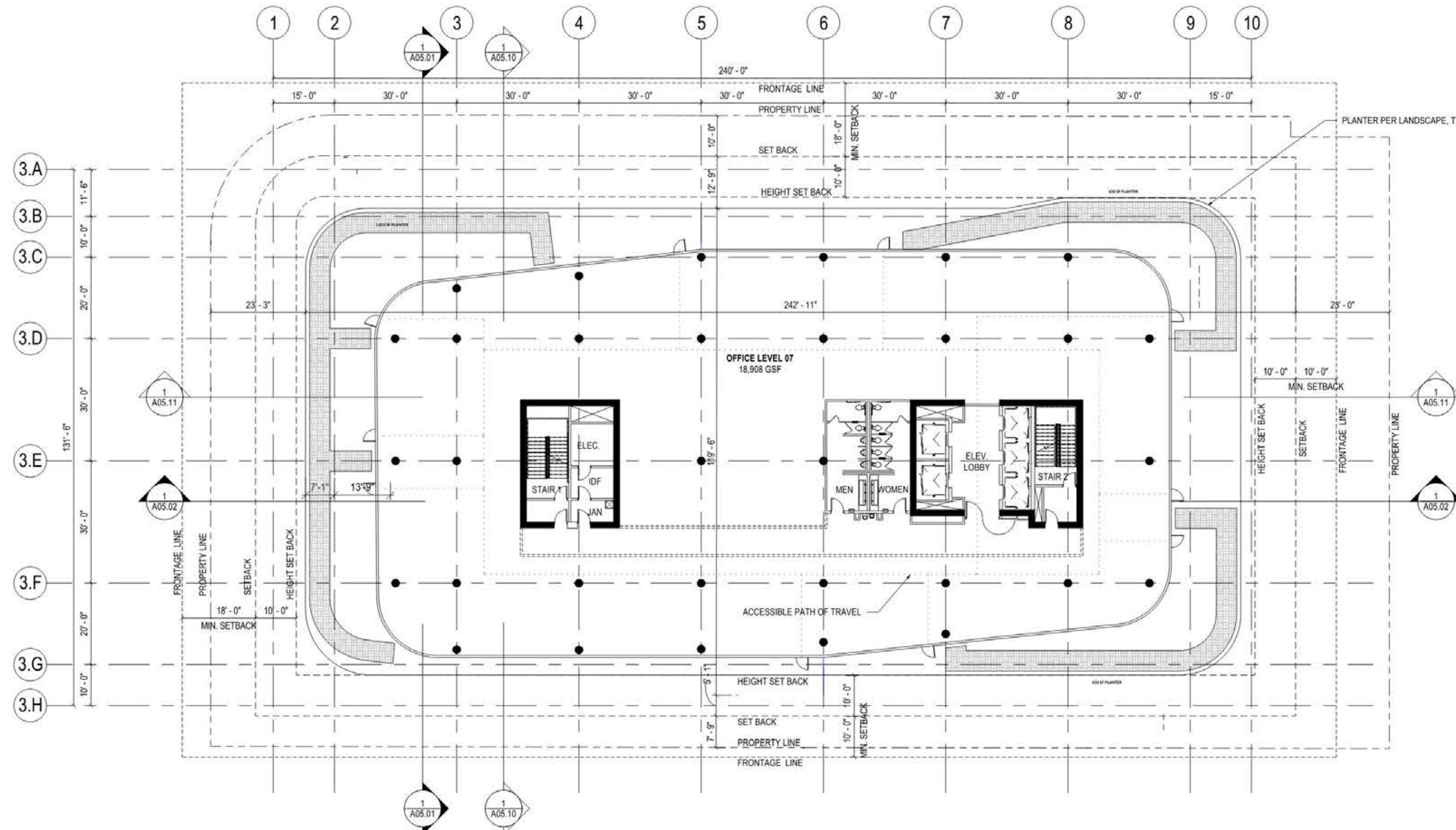
UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 280



**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
-	3 / \$ 11,116		
-	3 / \$ 11,116		
10.29.2021	- PLANNING SUBMITTAL 7		



1 FLOOR PLAN - LEVEL 07
SCALE: 1/16" = 1'-0"

PROJECT SUMMARY:
RETAIL / OFFICE BUILDING
LEVEL 01 : 22,504 GSF
LEVEL 02 : 31,000 GSF
LEVEL 03 : 31,000 GSF
LEVEL 04 : 31,000 GSF
LEVEL 05 : 23,240 GSF
LEVEL 06 : 24,700 GSF
LEVEL 07 : 18,908 GSF

TOTAL OFFICE: 169,382 GSF
RETAIL (LEVEL 01): 12,970 GSF
TOTAL PROJECT GSF: 182,352 GSF

CARS PROVIDED UNDER BUILDING:
UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 280

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

FLOOR PLAN - LEVEL 07

Scale

As indicated

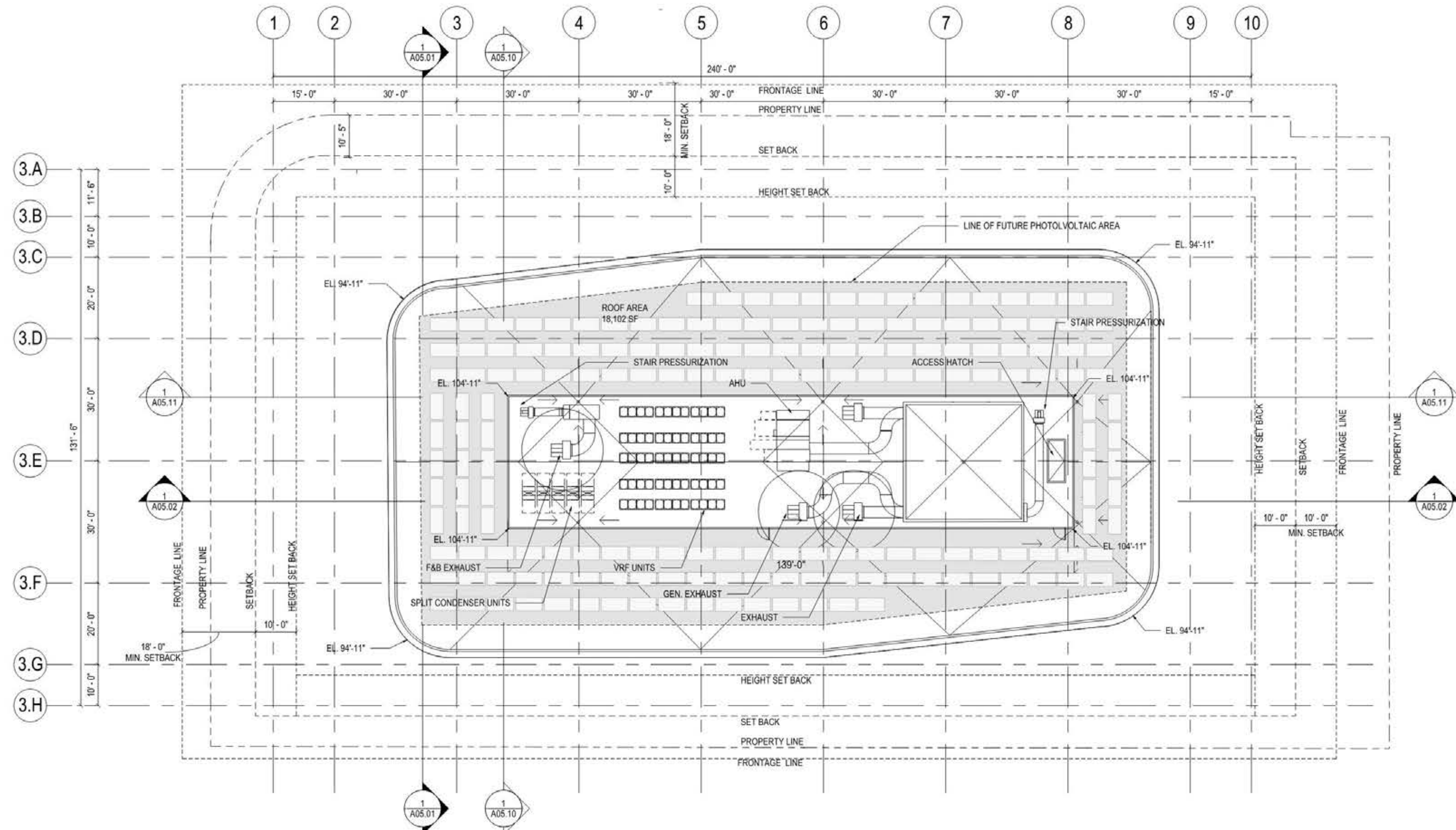
A02.07



**FOR
REFERENCE
ONLY**

2 05.05.2021 - planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
-	3 / \$ 11, 1 * 6		
-	3 / \$ 11, 1 * 6		
10.29.2021	- PLANNING SUBMITTAL 7		



1 FLOOR PLAN - LEVEL ROOF
SCALE: 1/16" = 1'-0"

Seal/Signature _____

**NOT FOR
CONSTRUCTION**

Project Name
SAVN | BLOCK III

Project Number
055.7739.000

Description
FLOOR PLAN - ROOF

Scale
1/16" = 1'-0"

A02.08



**FOR
REFERENCE
ONLY**

2 05.05.2021 - planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

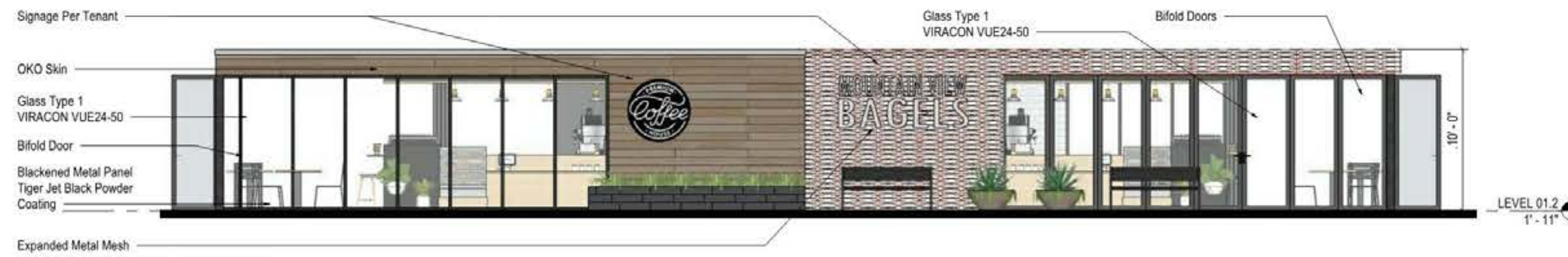
EXTERIOR ELEVATIONS

Scale

As indicated

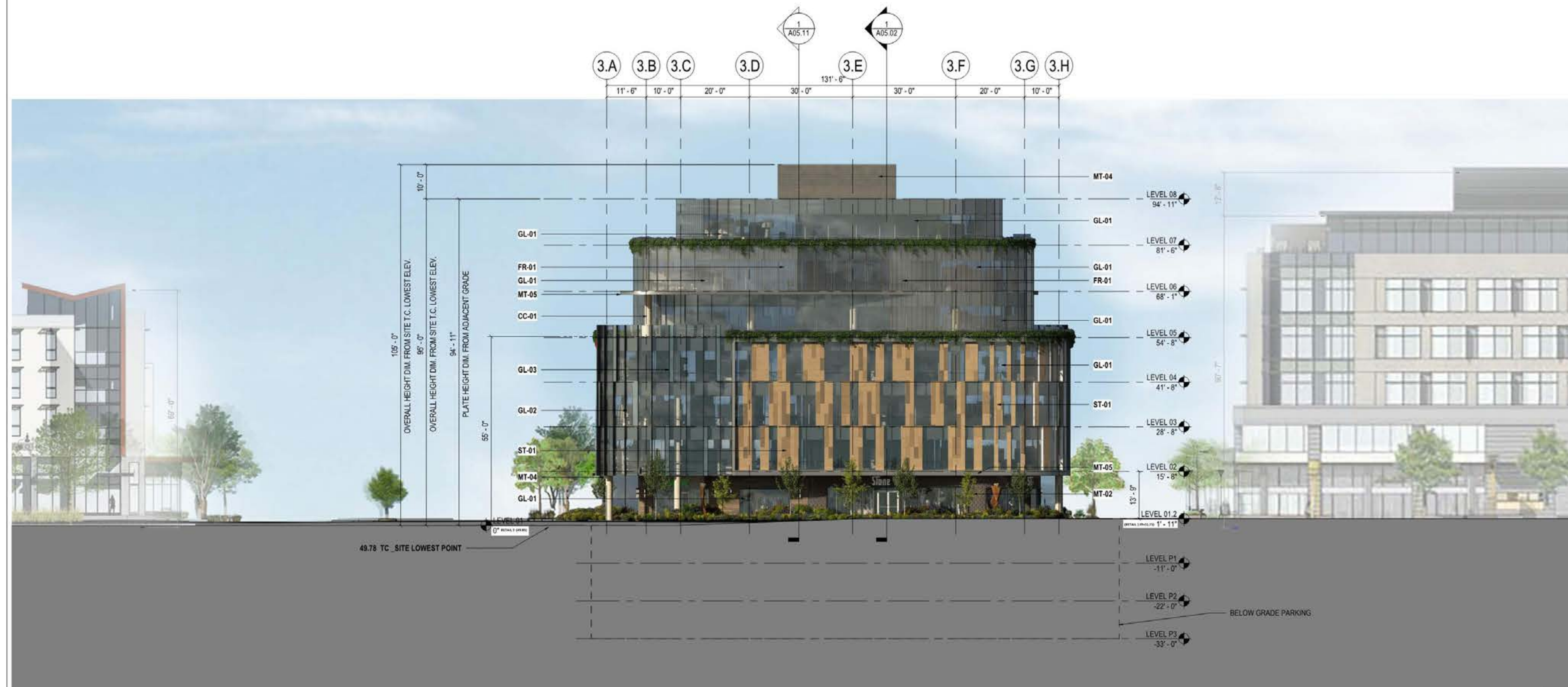
A04.01

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2 RETAIL ELEVATION - WEST

SCALE: 1/4" = 1'-0"



1 BUILDING ELEVATION - WEST (SAN ANTONIO)

SCALE: 1/16" = 1'-0"

MARK	DESCRIPTION	LOCATION
ST-01	LIMESTONE TYPE I - WARM GREY	CLADDING
ST-02	LIMESTONE TYPE II - WARM GREY LIGHT	CLADDING
MT-01	BLACKENED METAL PANEL	CLADDING
MT-02	METAL MESH - POWDER COAT - BLACK	RETAIL CLADDING
MT-03	BLACKENED METAL	ARCHITECTURAL DETAILING
MT-04	ALUMINUM LOUVERS	MECHANICAL SCREEN
MT-05	SILVER METAL PANEL	CLADDING AT FEATURES
WD-01	WOOD SUBSTITUTE	SOFFITS
CC-01	ARCHITECTURAL CONCRETE	THROUGHOUT
CC-02	OKO SKIN	GROUND FLOOR RETAIL
GL-01	TBD	TYPICAL CURTAINWALL
GL-02	TBD	FEATURED CURTAINWALL
GL-03	TBD	GLASS DETAIL
FR-01	TBD	UPER FLOOR GLASS FRIT PATTERN





2 RETAIL ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



1 BUILDING ELEVATION - NORTH (CALIFORNIA)
SCALE: 1/16" = 1'-0"

MARK	DESCRIPTION	LOCATION
ST-01	LIMESTONE TYPE I - WARM GREY	CLADDING
ST-02	LIMESTONE TYPE II - WARM GREY LIGHT	CLADDING
MT-01	BLACKENED METAL PANEL	CLADDING
MT-02	METAL MESH - POWDER COAT - BLACK	RETAIL CLADDING
MT-03	BLACKENED METAL	ARCHITECTURAL DETAILING
MT-04	ALUMINUM LOUVERS	MECHANICAL SCREEN
MT-05	SILVER METAL PANEL	CLADDING AT FEATURES
WD-01	WOOD SUBSTITUTE	SOFFITS
CC-01	ARCHITECTURAL CONCRETE	THROUGHOUT
CC-02	OKO SKIN	GROUND FLOOR RETAIL
GL-01	TBD	TYPICAL CURTAINWALL
GL-02	TBD	FEATURED CURTAINWALL
GL-03	TBD	GLASS DETAIL
FR-01	TBD	UPER FLOOR GLASS FRIT PATTERN

**FOR
REFERENCE
ONLY**

2 05.05.2021 - planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

EXTERIOR ELEVATIONS

Scale

As indicated

A04.02

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**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

EXTERIOR ELEVATIONS

Scale

As indicated

A04.03

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2 RETAIL ELEVATION - EAST
SCALE: 1/4" = 1'-0"



1 BUILDING ELEVATION - EAST (PROMENADE)
SCALE: 1/16" = 1'-0"

MARK	DESCRIPTION	LOCATION
ST-01	LIMESTONE TYPE I - WARM GREY	CLADDING
ST-02	LIMESTONE TYPE II - WARM GREY LIGHT	CLADDING
MT-01	BLACKENED METAL PANEL	CLADDING
MT-02	METAL MESH - POWDER COAT - BLACK	RETAIL CLADDING
MT-03	BLACKENED METAL	ARCHITECTURAL DETAILING
MT-04	ALUMINUM LOUVERS	MECHANICAL SCREEN
MT-05	SILVER METAL PANEL	CLADING AT FEATURES
WD-01	WOOD SUBSTITUTE	SOFFITS
CC-01	ARCHITECTURAL CONCRETE	THROUGHOUT
CC-02	OKO SKIN	GROUND FLOOR RETAIL
GL-01	TBD	TYPICAL CURTAINWALL
GL-02	TBD	FEATURED CURTAINWALL
GL-03	TBD	GLASS DETAIL
FR-01	TBD	UPER FLOOR GLASS FRIT PATTERN

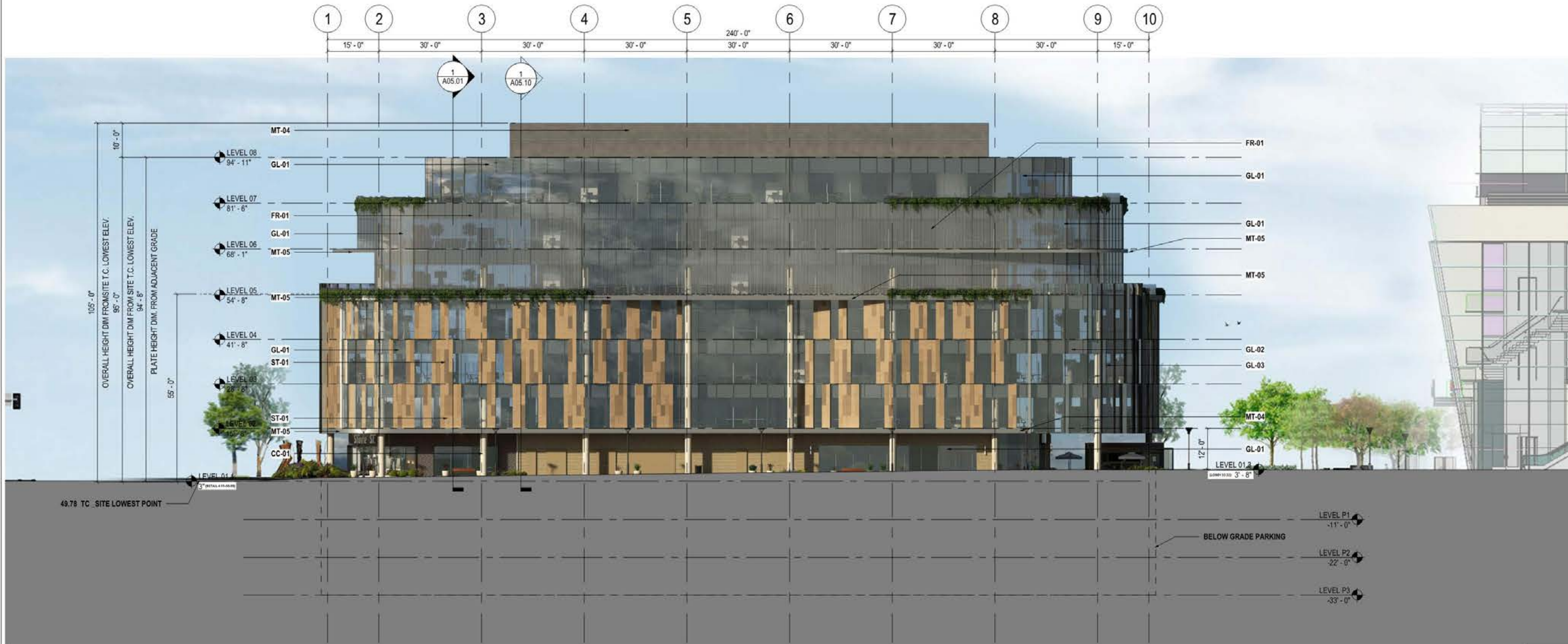
**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		



2 RETAIL ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



1 BUILDING ELEVATION - SOUTH (SILICON WAY)
SCALE: 1/16" = 1'-0"

MARK	DESCRIPTION	LOCATION
ST-01	LIMESTONE TYPE I - WARM GREY	CLADDING
ST-02	LIMESTONE TYPE II - WARM GREY LIGHT	CLADDING
MT-01	BLACKENED METAL PANEL	CLADDING
MT-02	METAL MESH - POWDER COAT - BLACK	RETAIL CLADDING
MT-03	BLACKENED METAL	ARCHITECTURAL DETAILING
MT-04	ALUMINUM LOUVERS	MECHANICAL SCREEN
MT-05	SILVER METAL PANEL	CLADDING AT FEATURES
WD-01	WOOD SUBSTITUTE	SOFFITS
CC-01	ARCHITECTURAL CONCRETE	THROUGHOUT
CC-02	OKO SKIN	GROUND FLOOR RETAIL
GL-01	TBD	TYPICAL CURTAINWALL
GL-02	TBD	FEATURED CURTAINWALL
GL-03	TBD	GLASS DETAIL
FR-01	TBD	UPER FLOOR GLASS FRIT PATTERN

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

EXTERIOR ELEVATIONS

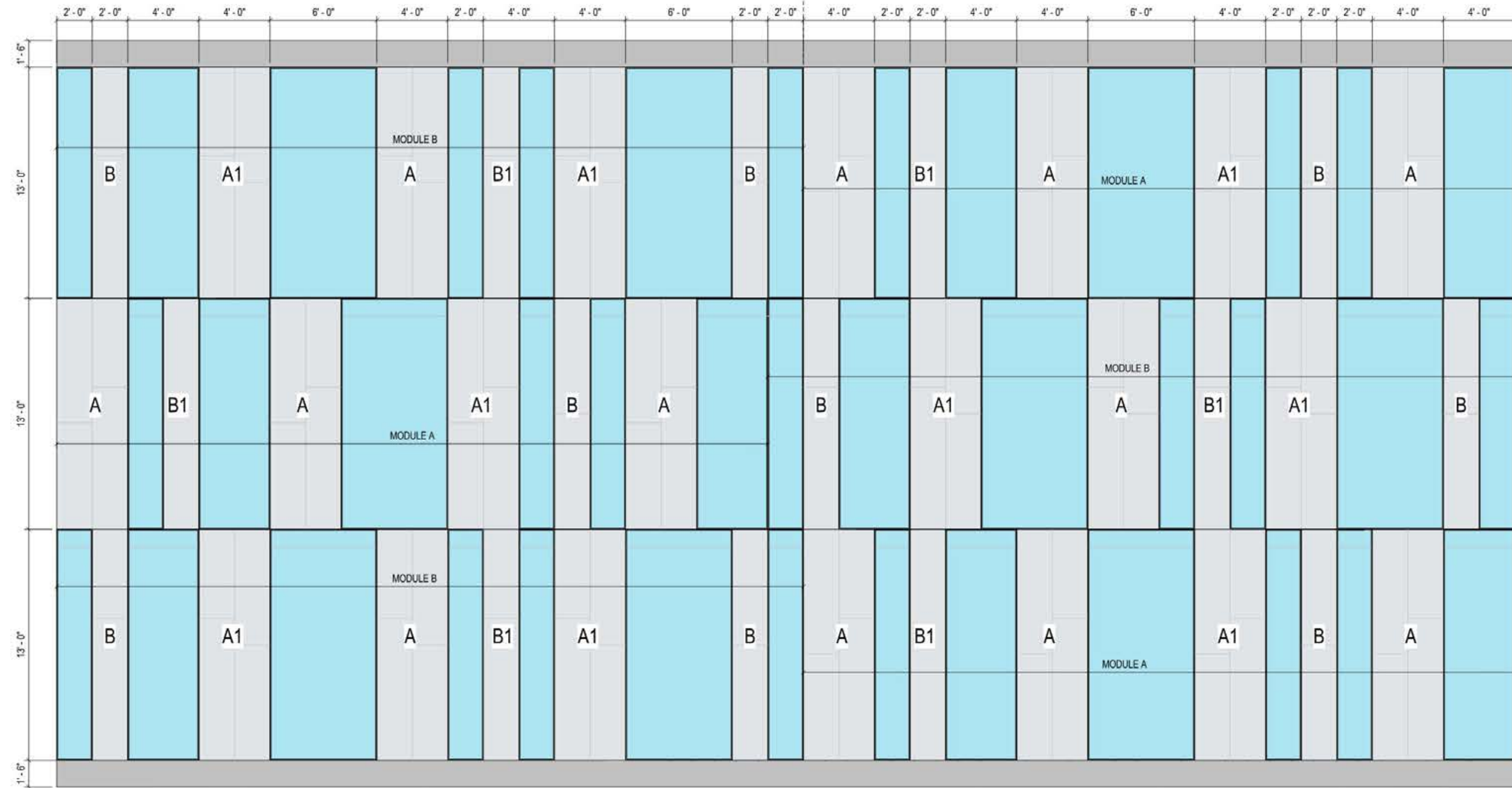
Scale

As indicated

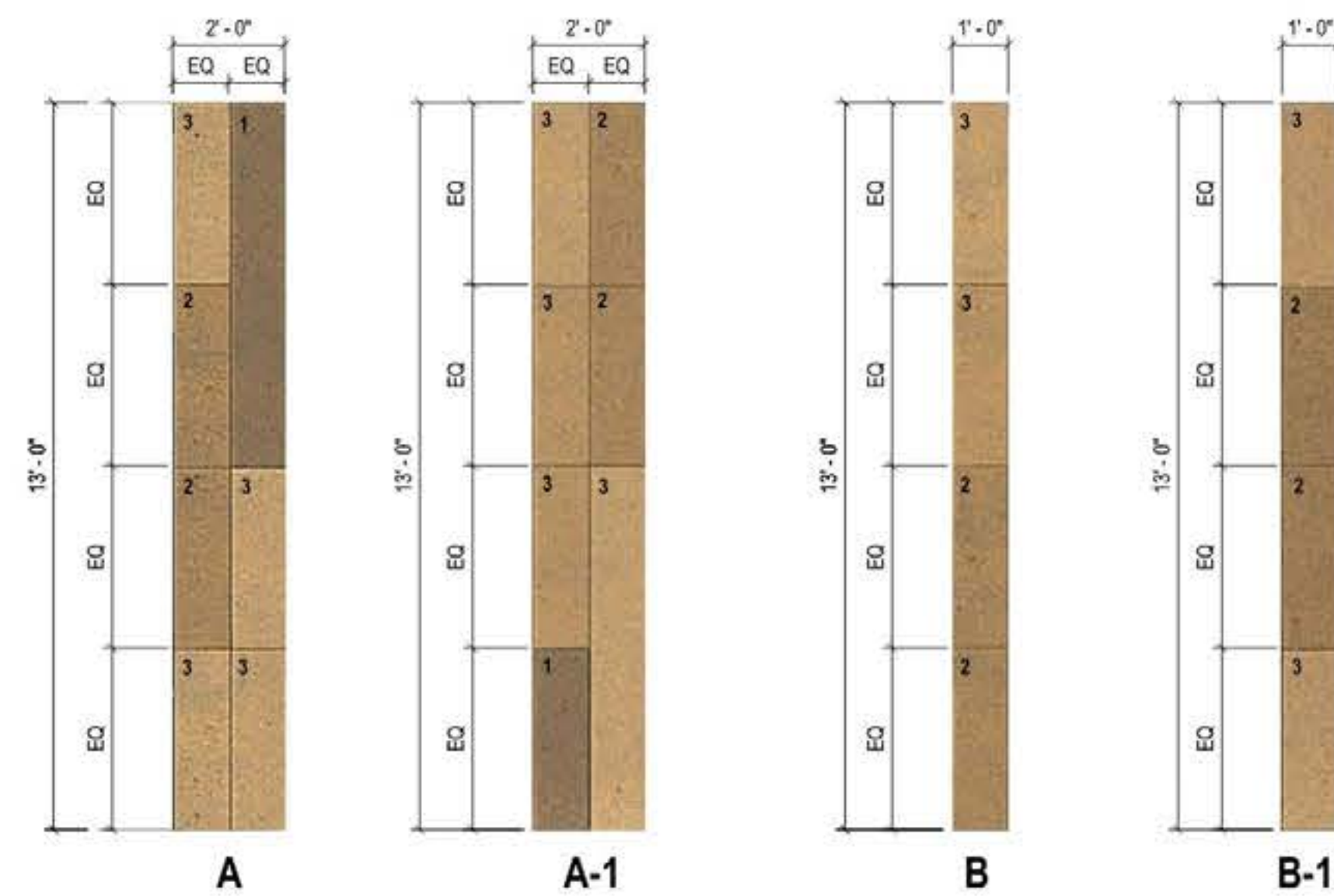
A04.04

**FOR
REFERENCE
ONLY**

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
10.29.2021	- PLANNING SUBMITTAL 7		



1 BUILDING ELEVATION - LIMESTONE CLADDING
SCALE: 1/4" = 1'-0"



LIMESTONE
SCALE: 1/2" = 1'-0"

- 1 _ DARK
- 2 _ MEDIUM
- 3 _ LIGHTS

Seal/Signature _____

NOT FOR CONSTRUCTION

Project Name _____
SAVN | BLOCK III

Project Number _____
055.7739.000

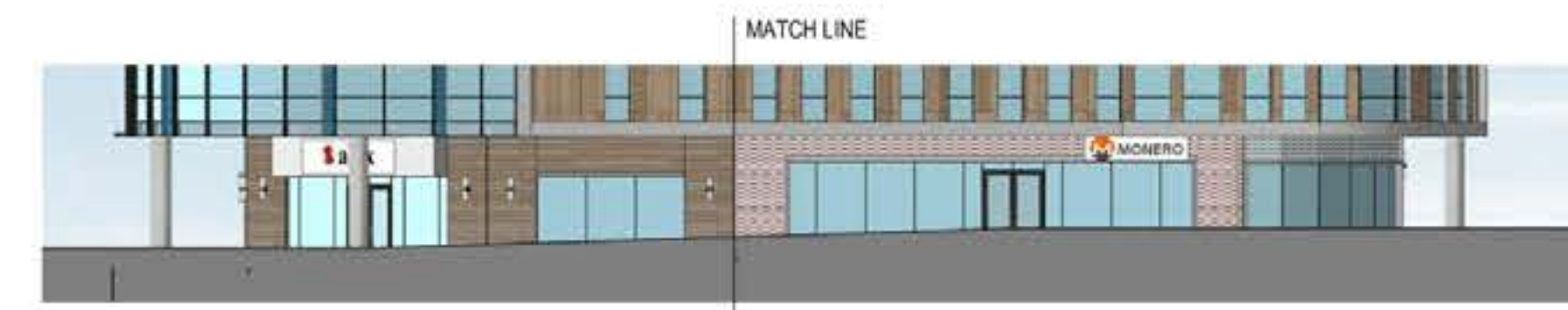
Description _____
ENLARGED LIMESTONE ELEVATION

Scale _____
As indicated

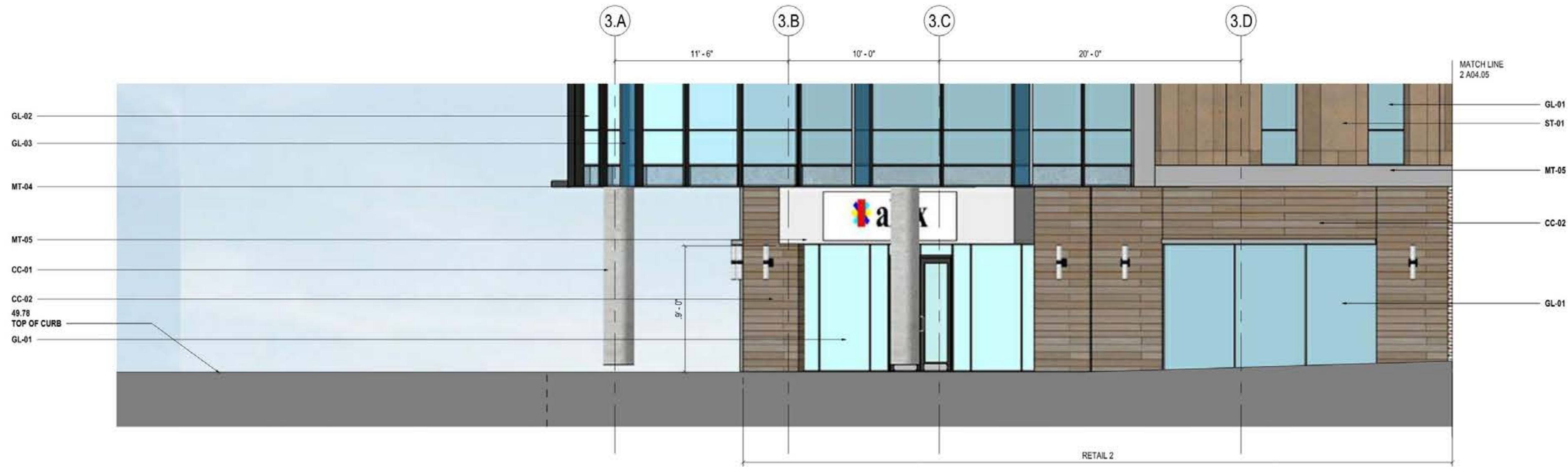
A04.04B



**FOR
REFERENCE
ONLY**



0 BUILDING ELEVATION - WEST KEY PLAN
SCALE: 1/16" = 1'-0"



1 BUILDING ELEVATION - ENLARGED WEST (NORTH SIDE)
SCALE: 1/4" = 1'-0"



2 BUILDING ELEVATION - ENLARGED WEST (SOUTH SIDE)
SCALE: 1/4" = 1'-0"

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
07.19.2021	- PLANNING SUBMITTAL 5		
09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

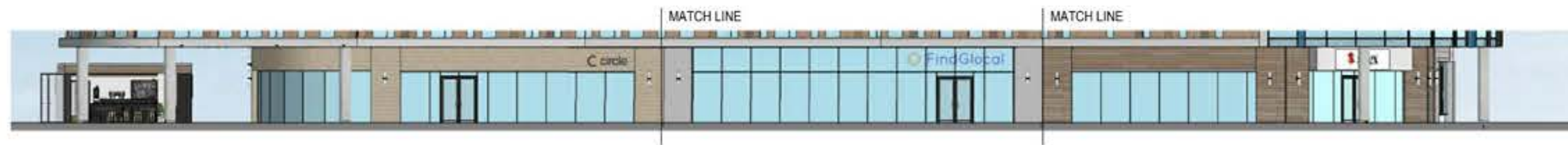
ENLARGED GROUND FLOOR ELEVATIONS

Scale

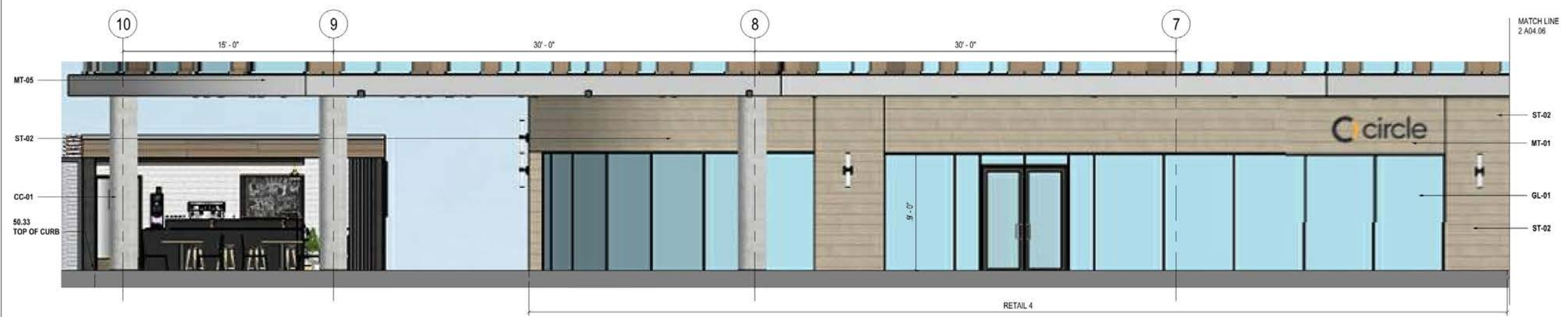
As indicated

A04.05

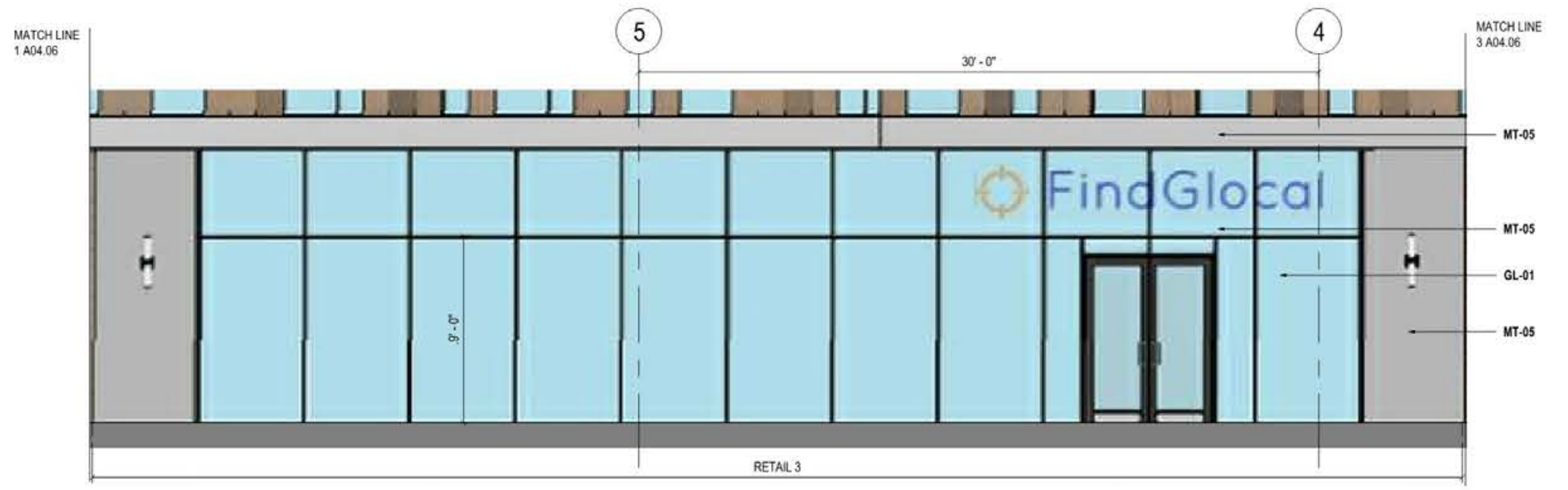




0 BUILDING ELEVATION - NORTH KEY PLAN
SCALE: 1/16" = 1'-0"



1 BUILDING ELEVATION - ENLARGED NORTH (EAST SIDE)
SCALE: 1/4" = 1'-0"



2 BUILDING ELEVATION - ENLARGED NORTH (CENTER)
SCALE: 1/4" = 1'-0"



3 BUILDING ELEVATION - ENLARGED NORTH (WEST SIDE)
SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY

Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature

NOT FOR CONSTRUCTION

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

ENLARGED GROUND FLOOR ELEVATION

Scale

As indicated

A04.06



**FOR
REFERENCE
ONLY**

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
07.19.2021	- PLANNING SUBMITTAL 5		
09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		



0 BUILDING ELEVATION - EAST KEY PLAN
SCALE: 1/16" = 1'-0"



1 BUILDING ELEVATION - ENLARGED EAST (NORTH SIDE)
SCALE: 1/4" = 1'-0"



2 BUILDING ELEVATION - ENLARGED EAST (SOUTH SIDE)
SCALE: 1/4" = 1'-0"

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

ENLARGED GROUND FLOOR ELEVATIONS

Scale

As indicated

A04.07

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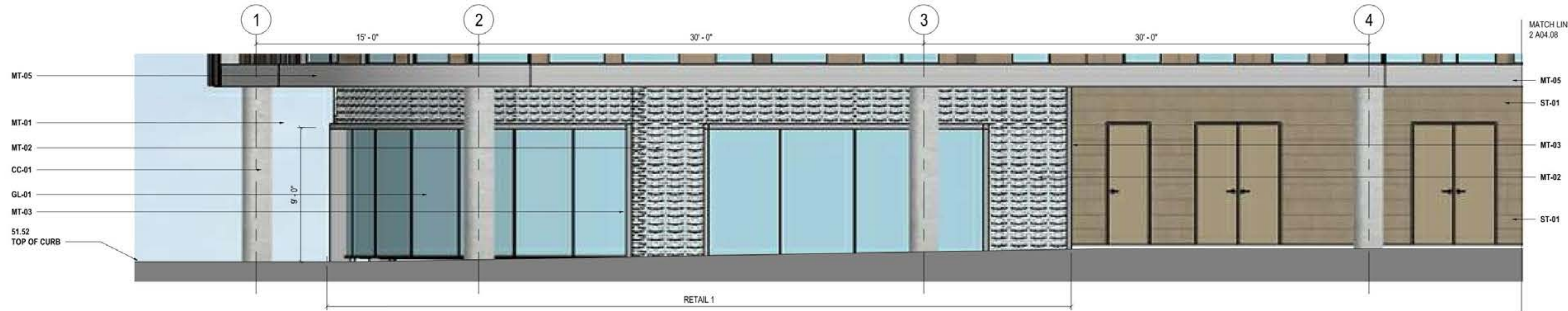


**FOR
REFERENCE
ONLY**

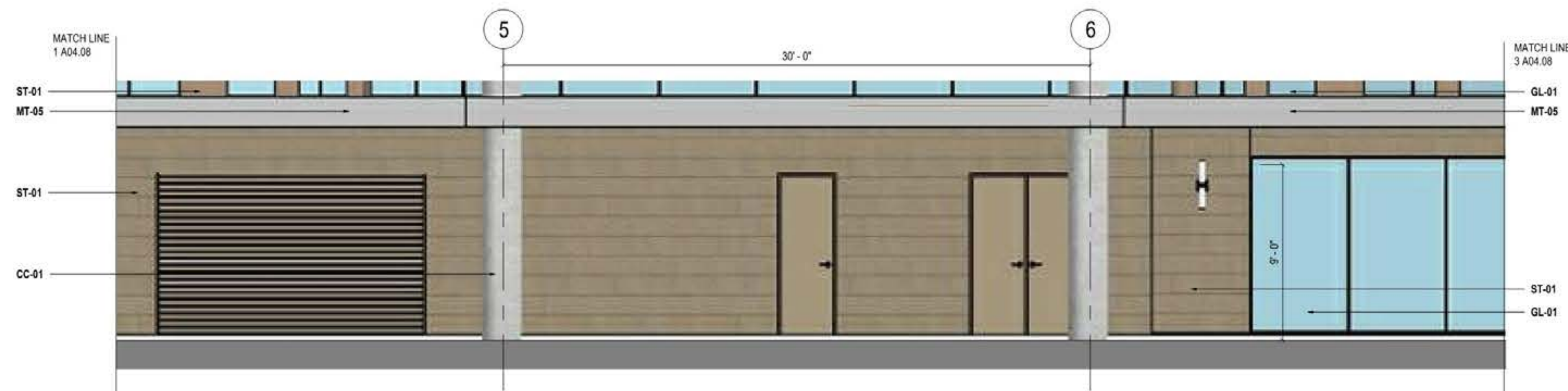
Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		



0 BUILDING ELEVATION - SOUTH KEY PLAN
SCALE: 1/16" = 1'-0"



1 BUILDING ELEVATION - ENLARGED SOUTH (EAST SIDE)
SCALE: 1/4" = 1'-0"



2 BUILDING ELEVATION - ENLARGED SOUTH (CENTER)
SCALE: 1/4" = 1'-0"



3 BUILDING ELEVATION - ENLARGED SOUTH (WEST SIDE)
SCALE: 1/4" = 1'-0"

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

ENLARGED GROUND FLOOR ELEVATIONS

Scale

As indicated

A04.08

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Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
07.19.2021	- PLANNING SUBMITTAL 5		
09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name
SAVN | BLOCK III

Project Number
055.7739.000

Description
GROUND FLOOR DETAIL VIEWS

Scale

A04.09



- Glass Type 3
VIRACON VUE24-63
- KNOTWOOD Iroko Soffit
- Glass Type 2
VIRACON VUE19-63
- Address Signage
- Glass Type 1
VIRACON VUE24-50
- Modern Cylindrical Wall
Sconce
- Glass Type 1
VIRACON VUE24-50
- Glass Storefront Doors
- Hardscape / Planters Per
Landscape

OFFICE LOBBY DETAILS



- Silver Aluminum Metal Panel
- KNOTWOOD Iroko Soffit
- Access Doors
- Garage Roll Up Door
- HAUSSMANN Natural Stone
Fontainebleau Honed
- Hardscape / Planters Per
Landscape

OFFICE SERVICE DETAILS



- Signage Per Tenant
- KNOTWOOD Iroko Soffit
- Bifold Door
- Blackened Metal Panel
Tiger Jet Black Powder
Coating
- Glass Type 1
VIRACON VUE24-50
- Expanded Metal Mesh
- Hardscape / Planters Per
Landscape

RETAIL JEWEL BOX SOUTH DETAILS



- KNOTWOOD Iroko Soffit
- Signage Per Tenant
- OKO Skin
- Glass Type 1
VIRACON VUE24-50
- Bifold Doors
- Hardscape / Planters Per
Landscape

RETAIL JEWEL BOX NORTH DETAILS

**FOR
REFERENCE
ONLY**

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
07.19.2021	- PLANNING SUBMITTAL 5		
09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name
SAVN | BLOCK III

Project Number
055.7739.000

Description
GROUND FLOOR DETAIL VIEWS

Scale

A04.10



RETAIL 4 DETAILS



RETAIL 3 DETAILS



RETAIL 2 DETAILS



RETAIL 1 DETAILS

**FOR
REFERENCE
ONLY**



MARK	DESCRIPTION	LOCATION
ST-01	LIMESTONE TYPE I - WARM GREY	CLADDING
ST-02	LIMESTONE TYPE II - WARM GREY LIGHT	CLADDING
MT-01	BLACKENED METAL PANEL	CLADDING
MT-02	METAL MESH - POWDER COAT - BLACK	RETAIL CLADDING
MT-03	BLACKENED METAL	ARCHITECTURAL DETAILING
MT-04	ALUMINUM LOUVERS	MECHANICAL SCREEN
MT-05	SILVER METAL PANEL	CLADDING AT FEATURES
WD-01	WOOD SUBSTITUTE	SOFFITS
CC-01	ARCHITECTURAL CONCRETE	THROUGHOUT
CC-02	OKO SKIN	GROUND FLOOR RETAIL
GL-01	TBD	TYPICAL CURTAINWALL
GL-02	TBD	FEATURED CURTAINWALL
GL-03	TBD	GLASS DETAIL
FR-01	TBD	UPER FLOOR GLASS FRIT PATTERN

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

MATERIAL BOARD

Scale

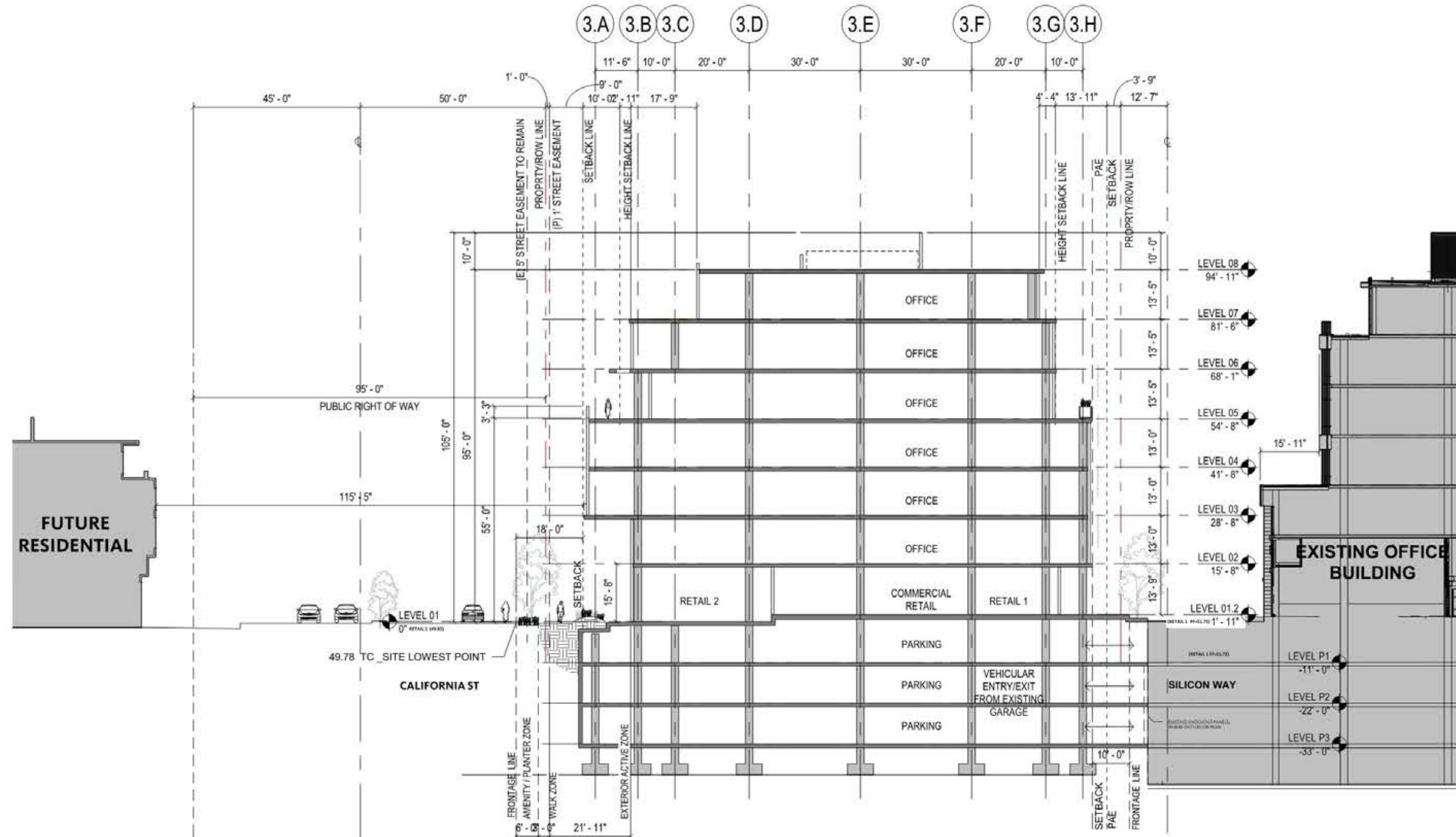
A04.11



**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
10.29.2021	- PLANNING SUBMITTAL 7		



1 SITE SECTION 1
SCALE: 1" = 20'-0"

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name
SAVN | BLOCK III

Project Number
055.7739.000

Description
SITE SECTIONS

Scale
1" = 20'-0"

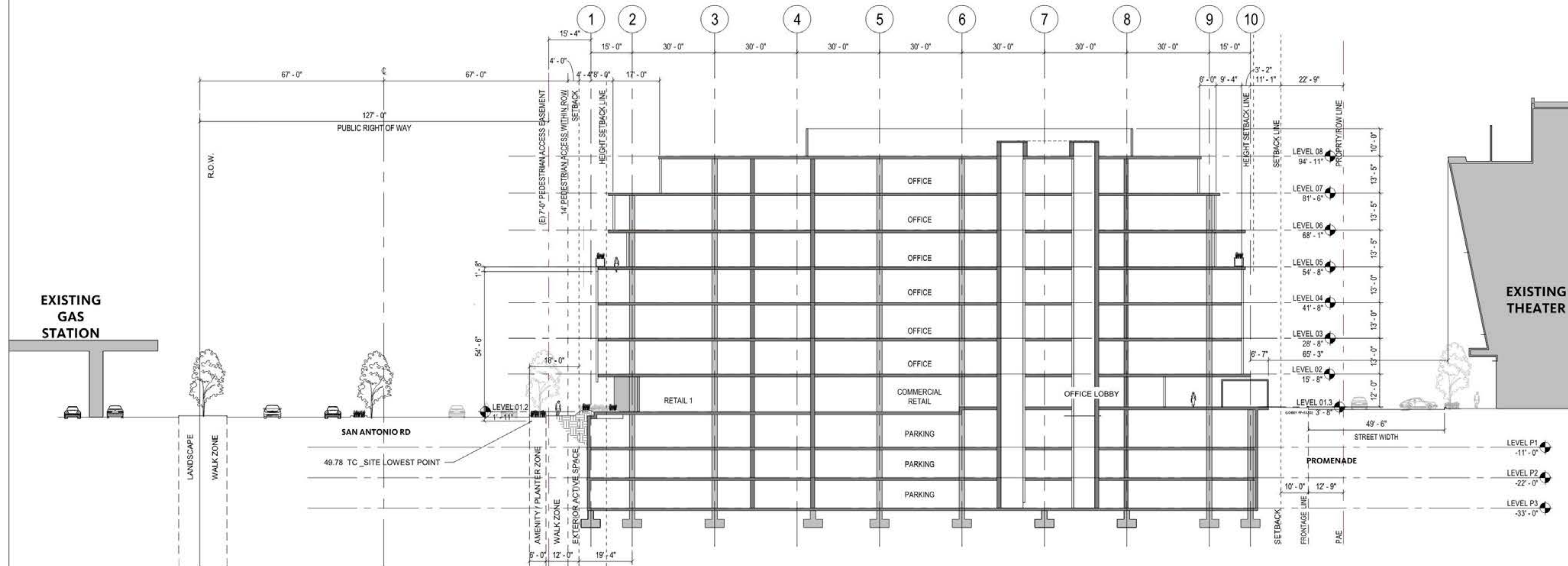
A05.01



**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
10.29.2021	PLANNING SUBMITTAL 7		



1 SITE SECTION 2
SCALE: 1" = 20'-0"

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

SITE SECTIONS

Scale

1" = 20'-0"

A05.02

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REFERENCE
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2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
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09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

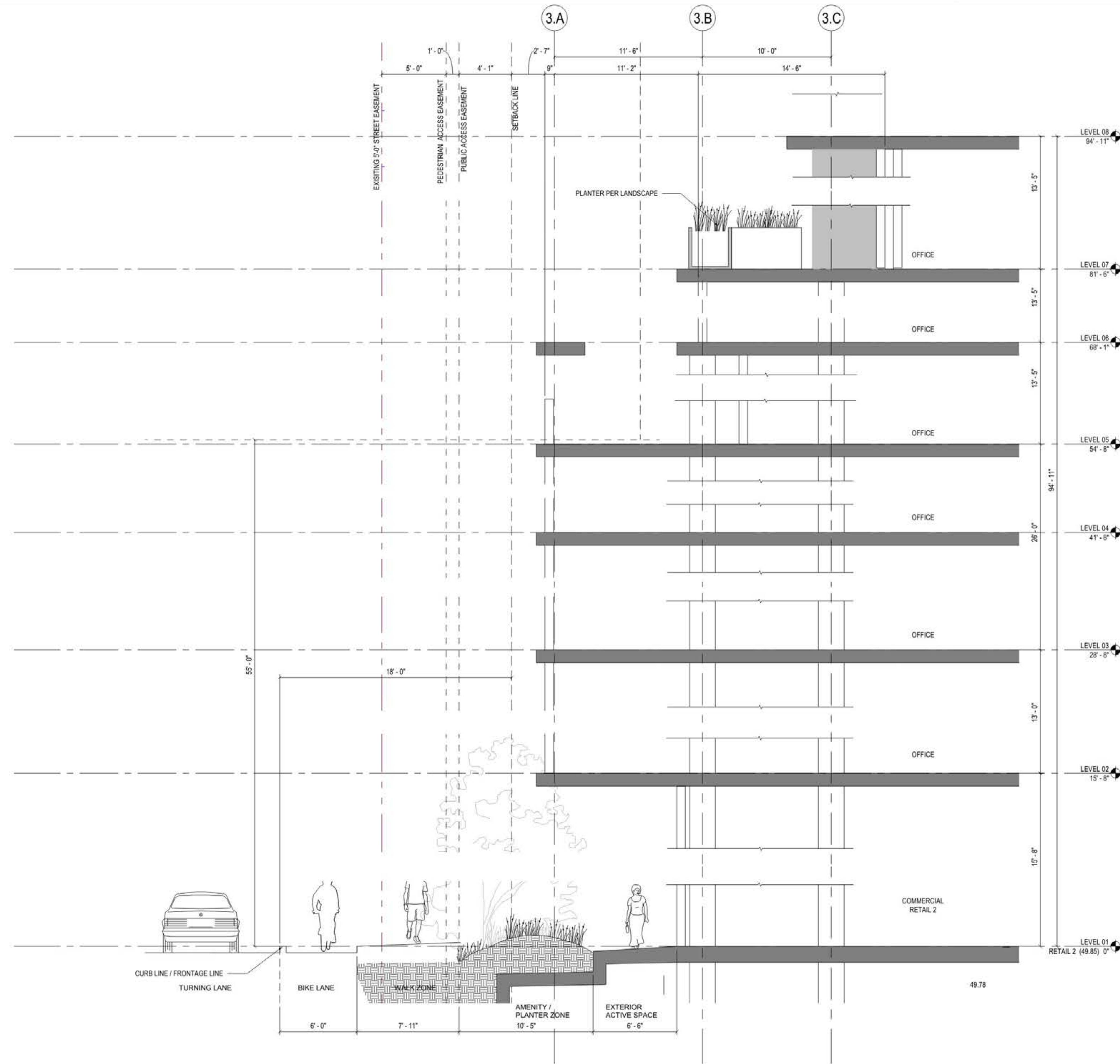
ILLUSTRATIVE WALL SECTION

Scale

1/4" = 1'-0"

A05.10

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1 SITE SECTION 1 REVISED
SCALE: 1/4" = 1'-0"

**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
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09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

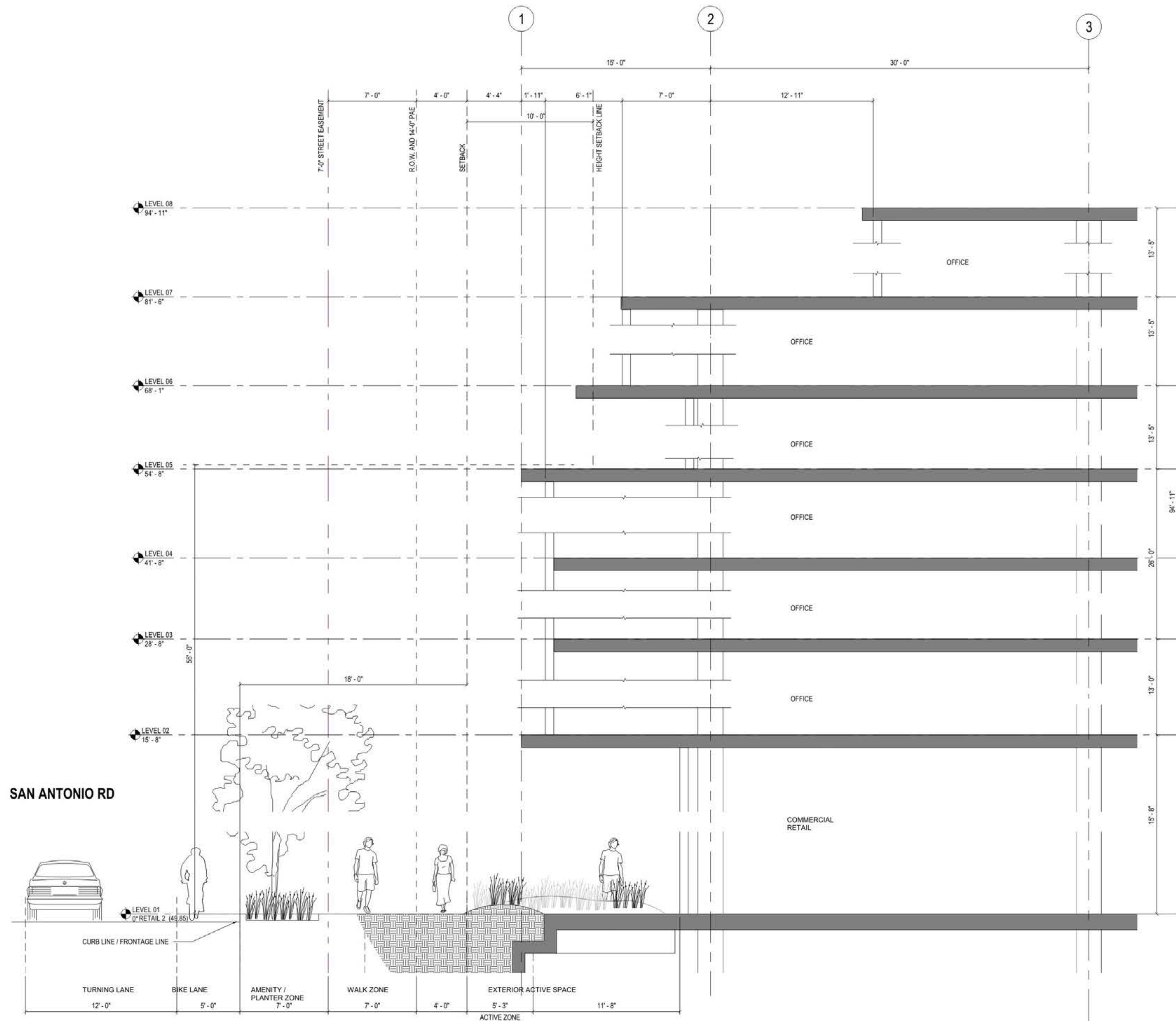
ILLUSTRATIVE WALL SECTION

Scale

1/4" = 1'-0"

A05.11

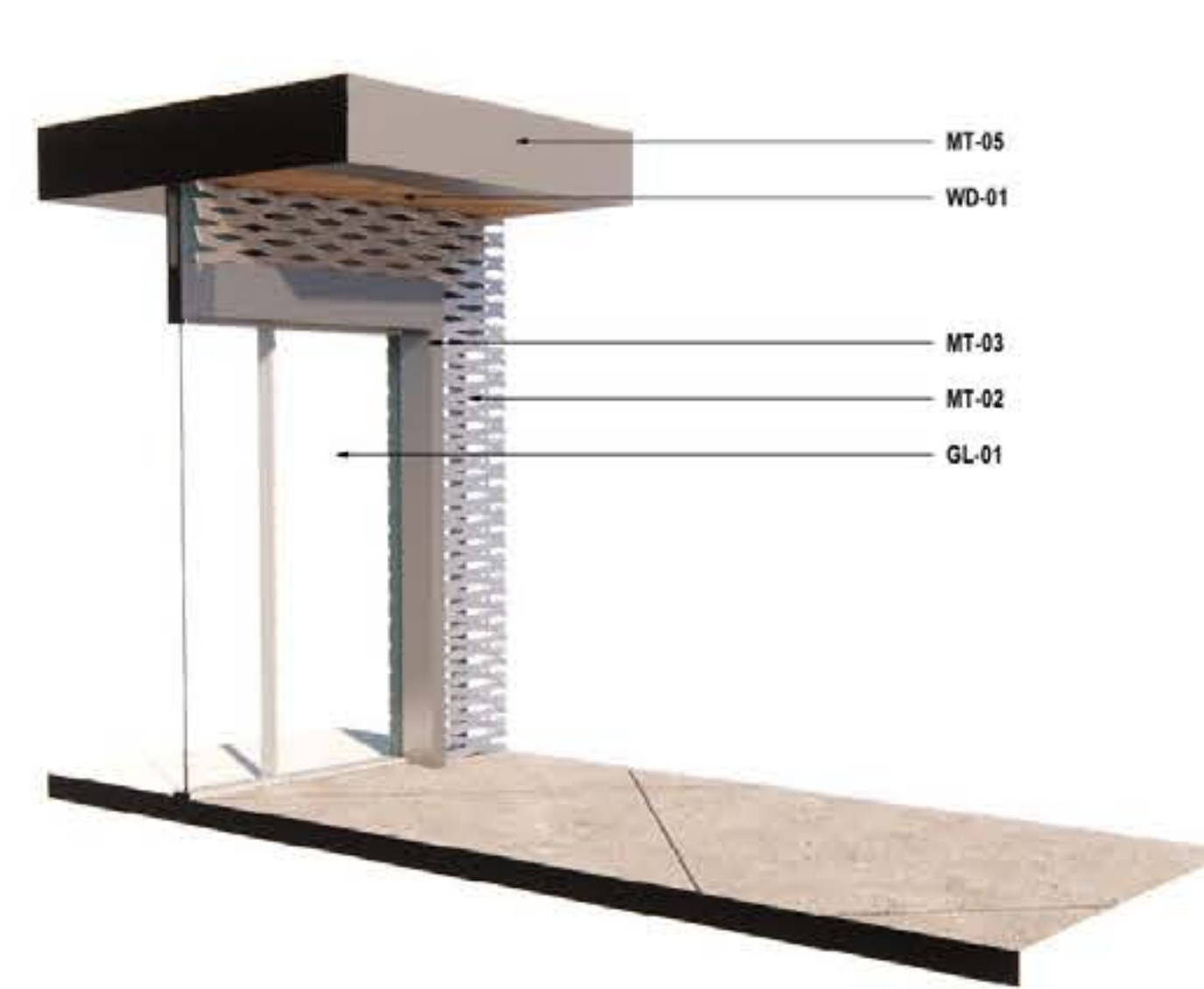
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1 SITE SECTION 2 REVISED
SCALE: 1/4" = 1'-0"



FOR
REFERENCE
ONLY



4 RETAIL 4
SCALE: 1" = 20'-0"



3 RETAIL 3
SCALE: 1" = 20'-0"



2 RETAIL 2
SCALE: 1" = 20'-0"



1 RETAIL 1
SCALE: 1" = 20'-0"

MARK	DESCRIPTION	LOCATION
ST-01	LIMESTONE TYPE I - WARM GREY	CLADDING
ST-02	LIMESTONE TYPE II - WARM GREY LIGHT	CLADDING
MT-01	BLACKENED METAL PANEL	CLADDING
MT-02	METAL MESH - POWDER COAT - BLACK	RETAIL CLADDING
MT-03	BLACKENED METAL	ARCHITECTURAL DETAILING
MT-04	ALUMINUM LOUVERS	MECHANICAL SCREEN
MT-05	SILVER METAL PANEL	CLADDING AT FEATURES
WD-01	WOOD SUBSTITUTE	SOFFITS
CC-01	ARCHITECTURAL CONCRETE	THROUGHOUT
CC-02	OKO SKIN	GROUND FLOOR RETAIL
GL-01	TBD	TYPICAL CURTAINWALL
GL-02	TBD	FEATURED CURTAINWALL
GL-03	TBD	GLASS DETAIL
FR-01	TBD	UPER FLOOR GLASS FRIT PATTERN

Issue	Date & Issue Description	By	Check
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07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

GROUND FLOOR MATERIALS

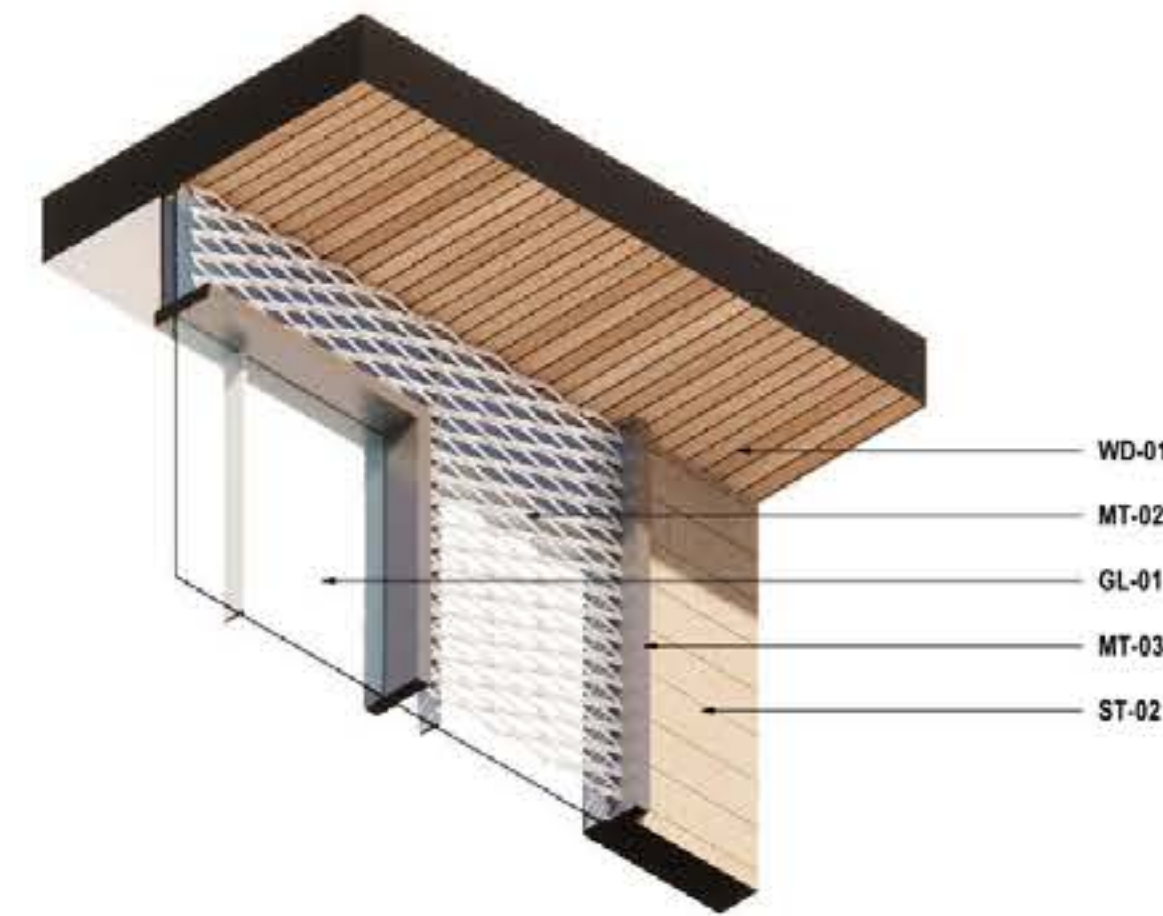
Scale

1" = 20'-0"

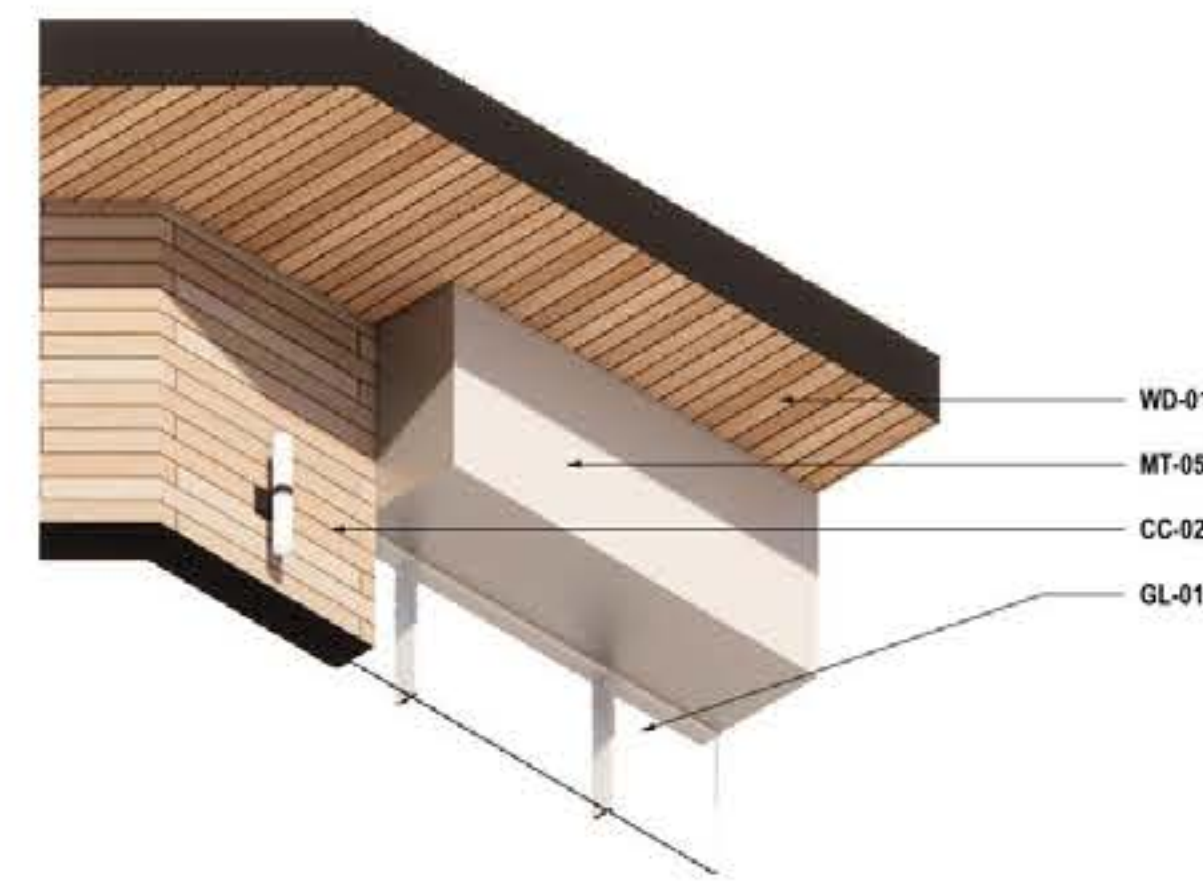
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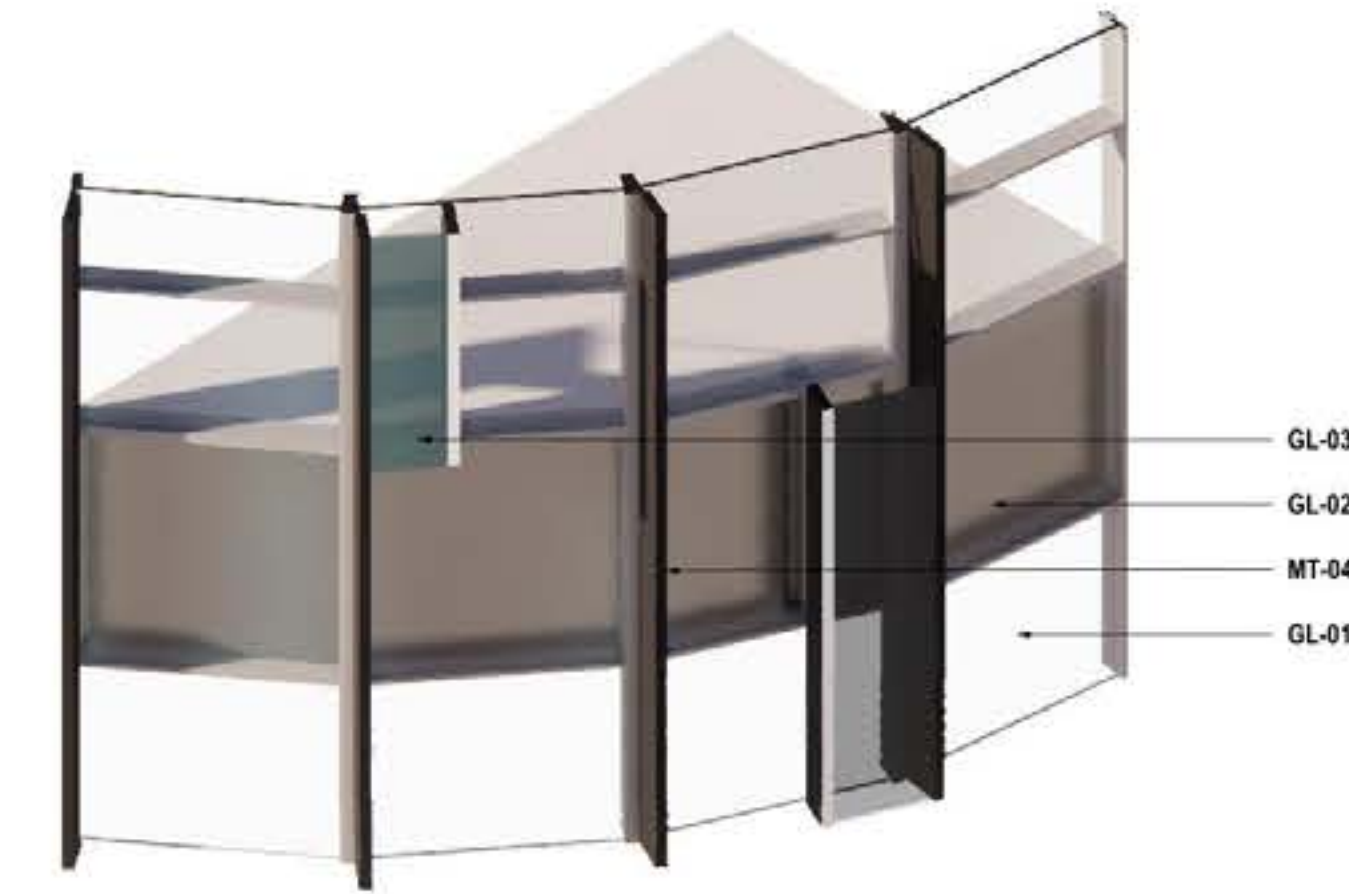
**FOR
REFERENCE
ONLY**



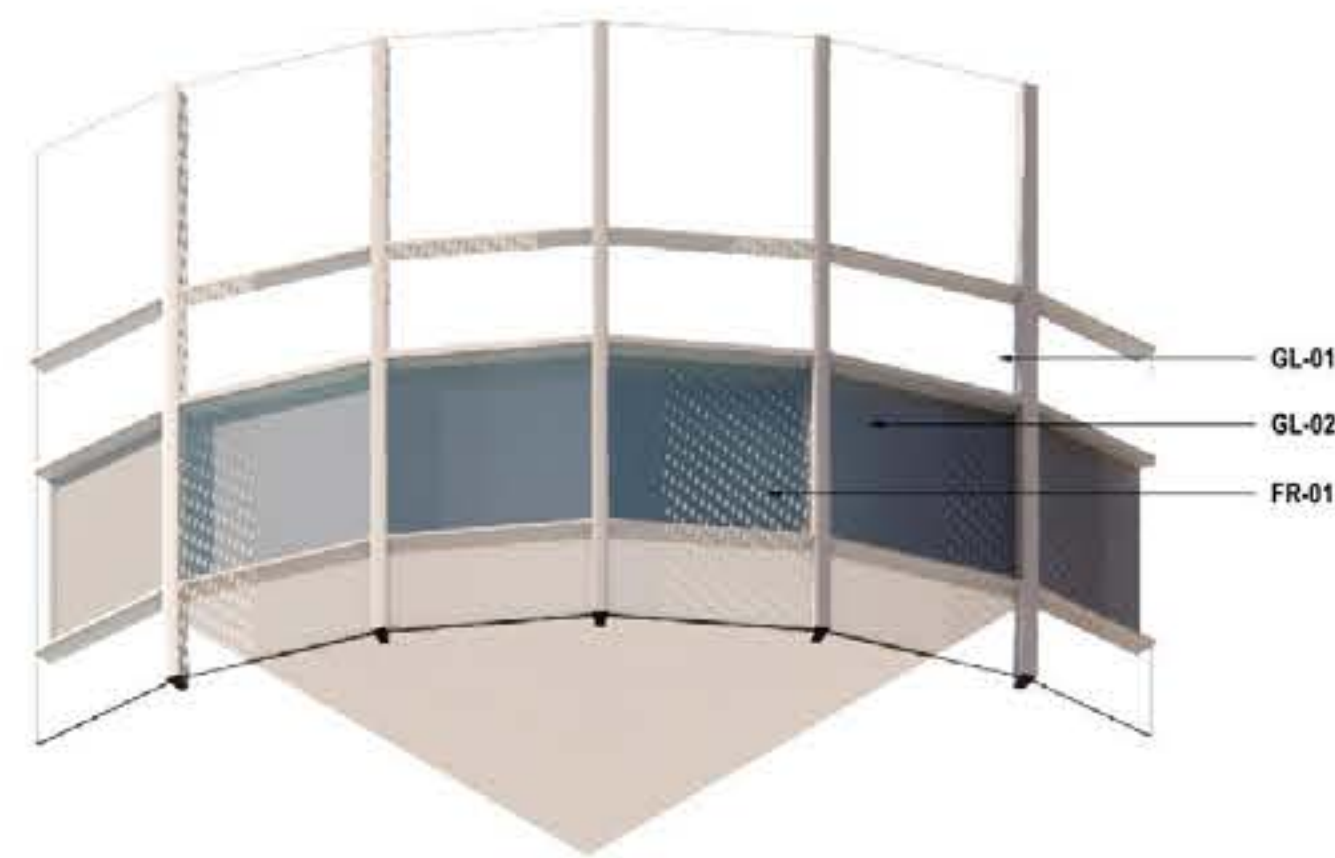
6 TILE, METAL MESH, GLAZING & WOOD
SCALE: 1/16" = 1'-0"



5 WOOD, METAL, CONCRETE & GLAZING
SCALE: 1/16" = 1'-0"



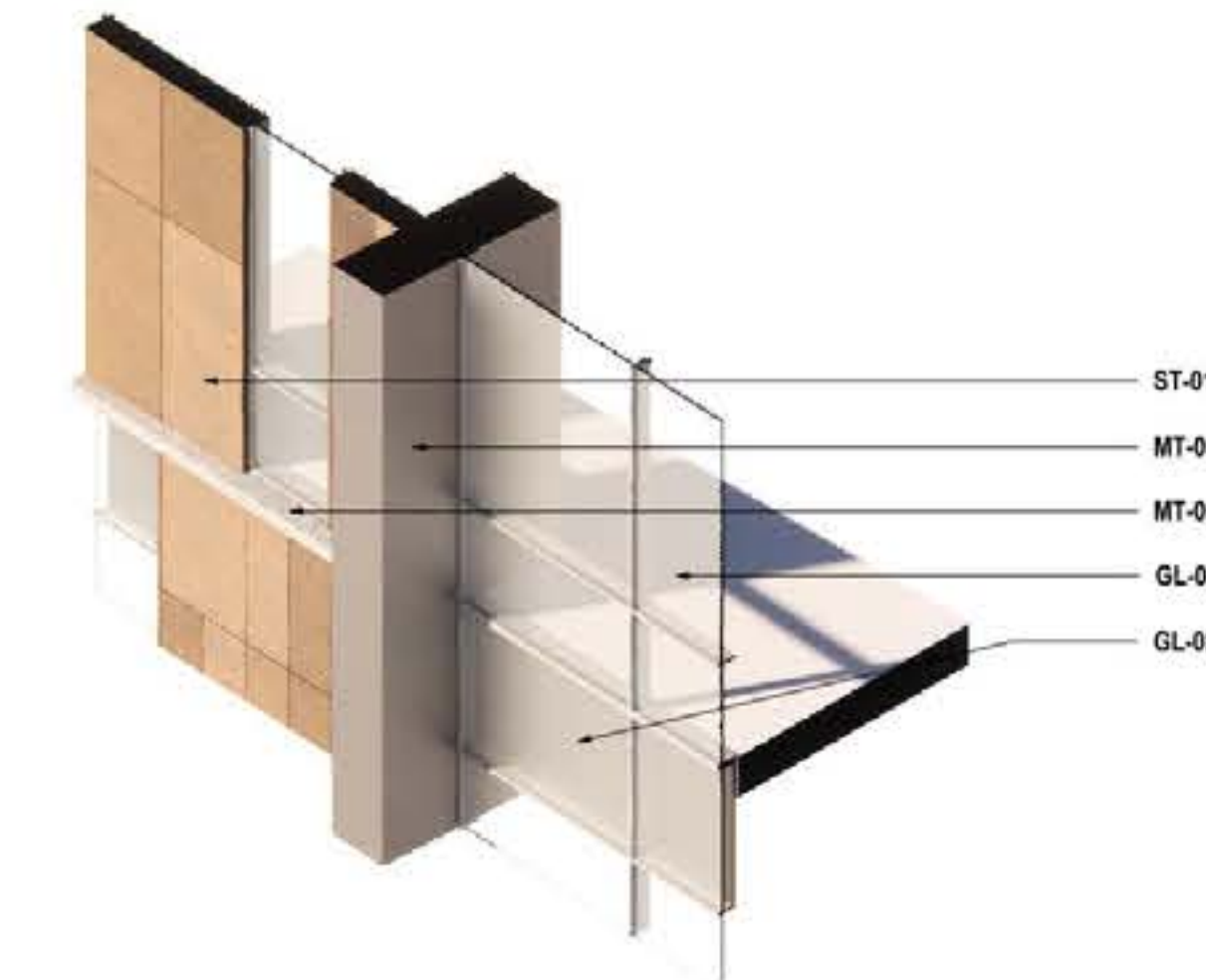
4 METAL & GLAZING
SCALE: 1/16" = 1'-0"



3 WOOD, METAL, TILE & GLAZING
SCALE: 1/16" = 1'-0"



2 CONCRETE, METAL, & WOOD
SCALE: 1/16" = 1'-0"



1 TILE, GLAZING & METAL
SCALE: 1/16" = 1'-0"

MARK	DESCRIPTION	LOCATION
ST-01	LIMESTONE TYPE I - WARM GREY	CLADDING
ST-02	LIMESTONE TYPE II - WARM GREY LIGHT	CLADDING
MT-01	BLACKENED METAL PANEL	CLADDING
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FR-01	TBD	UPER FLOOR GLASS FRIT PATTERN

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09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

EXTERIOR MATERIALS

Scale

1/16" = 1'-0"

A08.01

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2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
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Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name
SAVN | BLOCK III

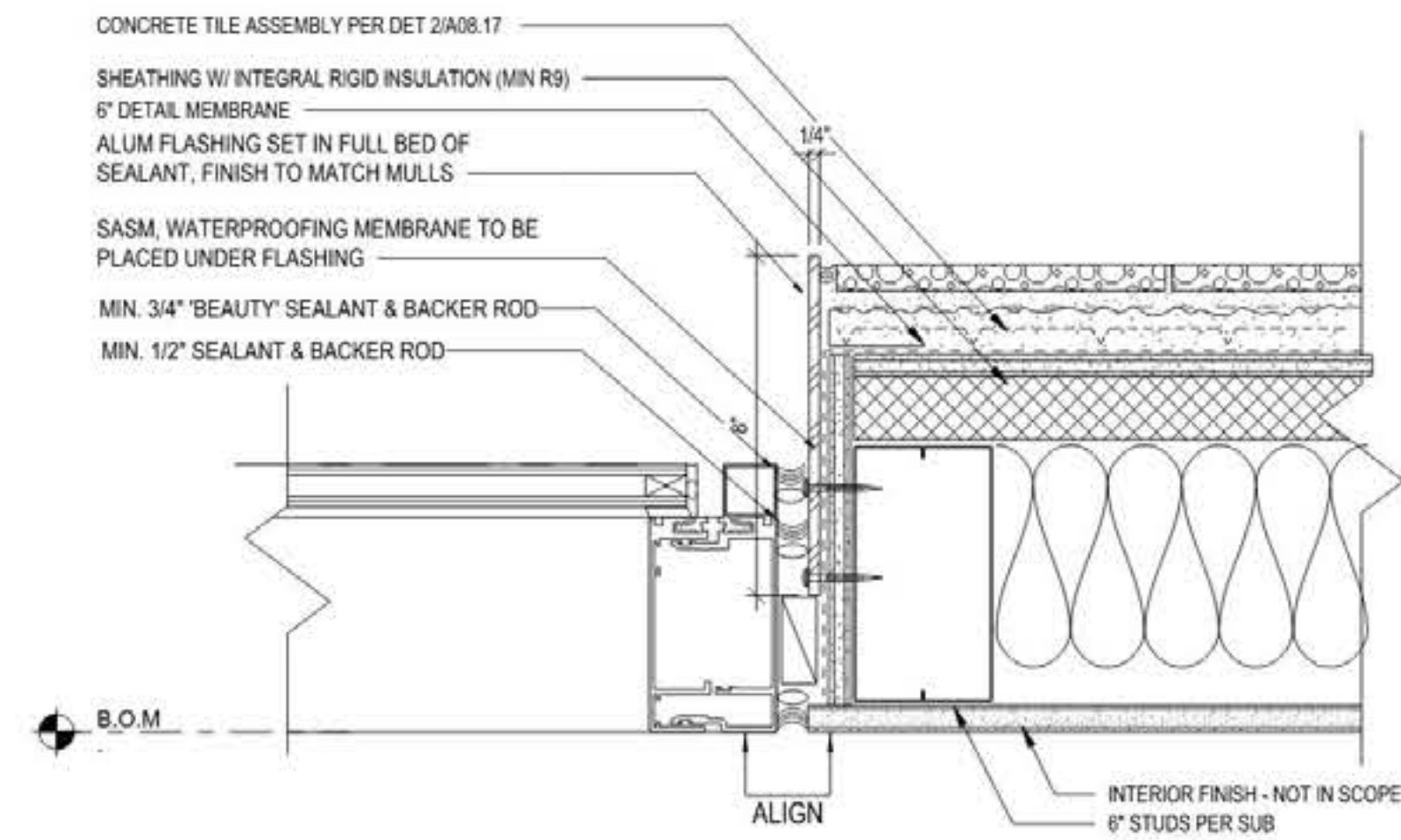
Project Number
055.7739.000

Description
MATERIALS & SCHEMATIC DETAILS

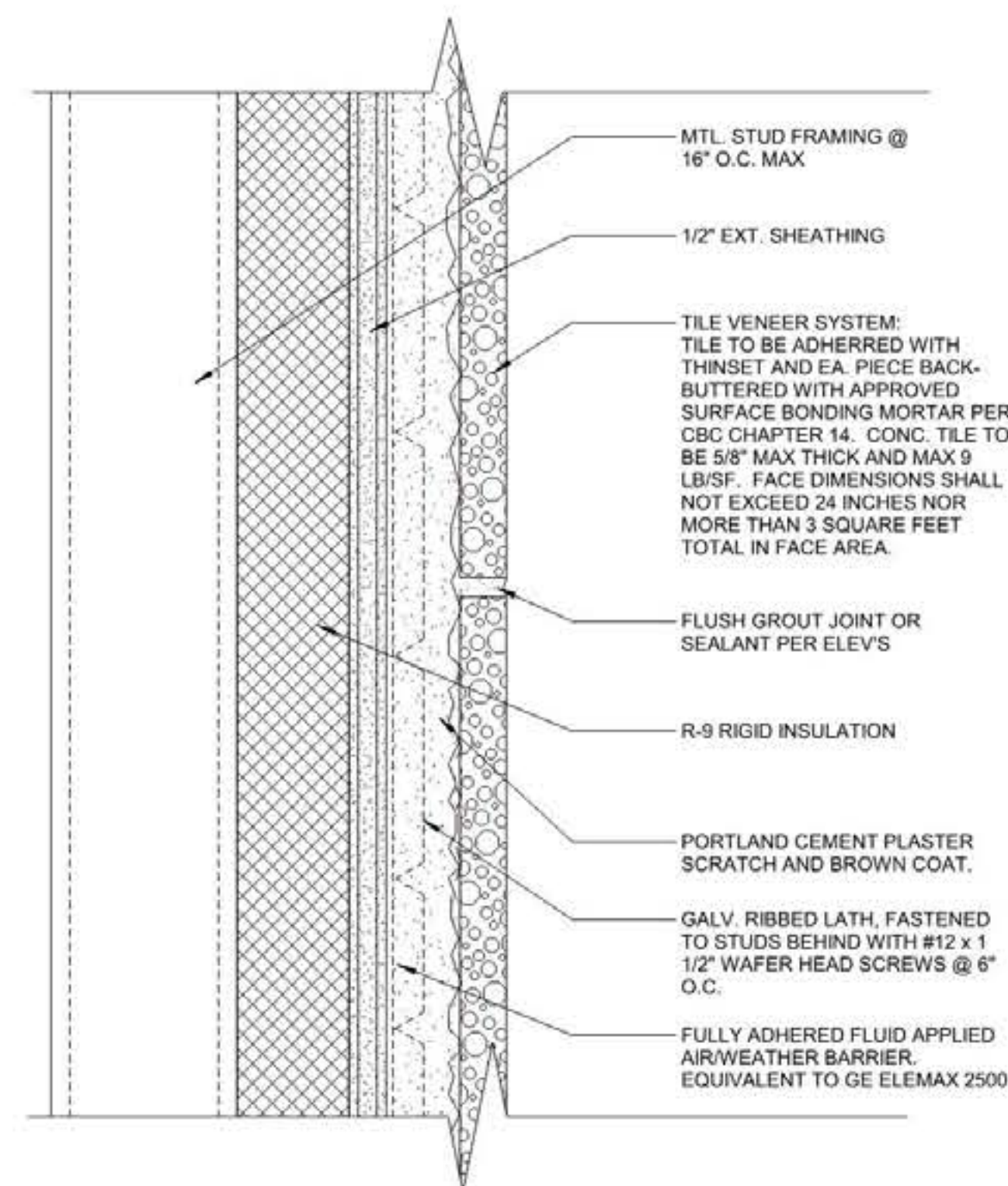
Scale
As indicated

A09.01

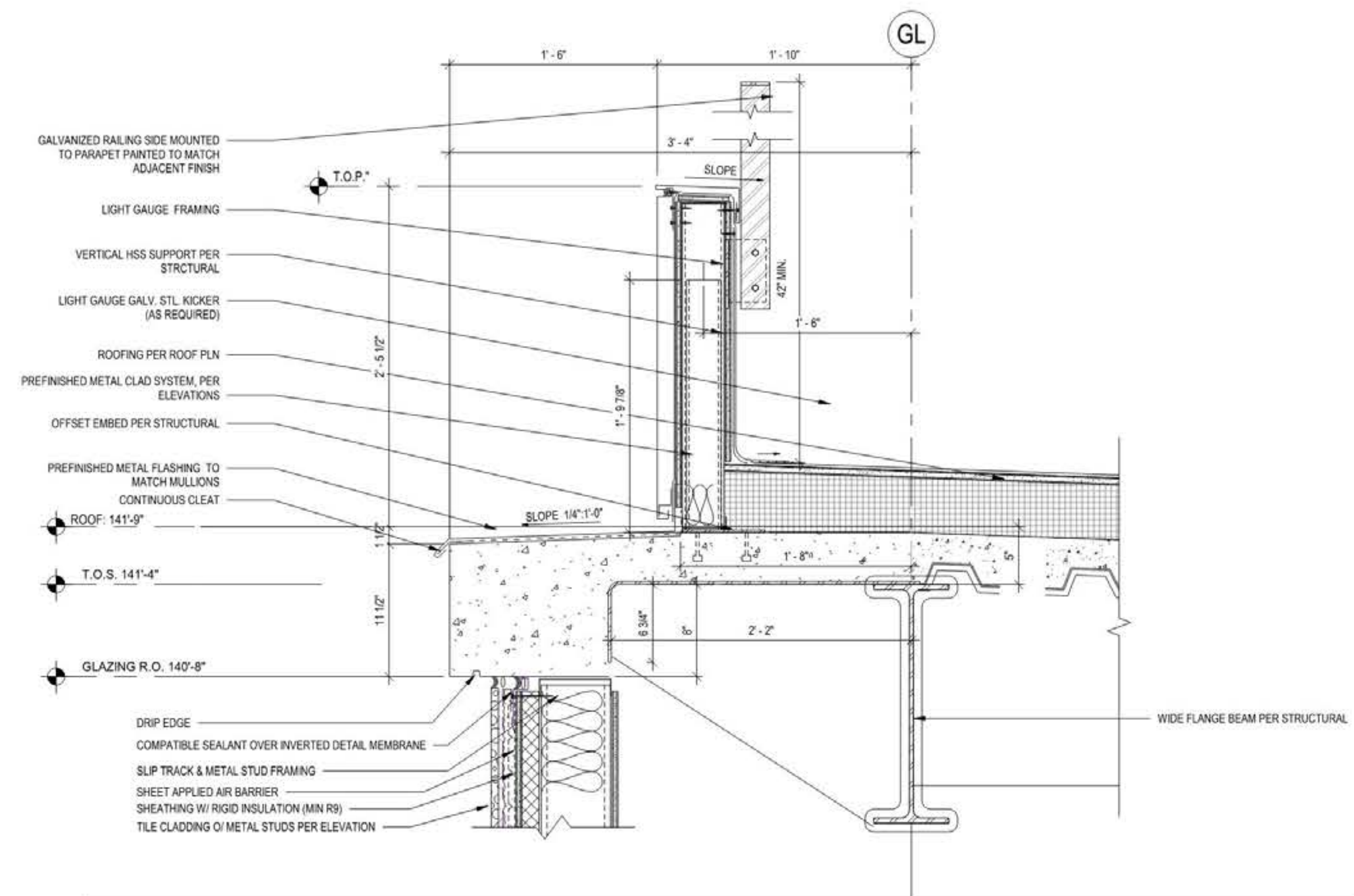
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2 MULLION @ TILE ALTERNATE 2
SCALE: 3" = 1'-0"



1 THINSET TILE ASSEMBLY
SCALE: 6" = 1'-0"



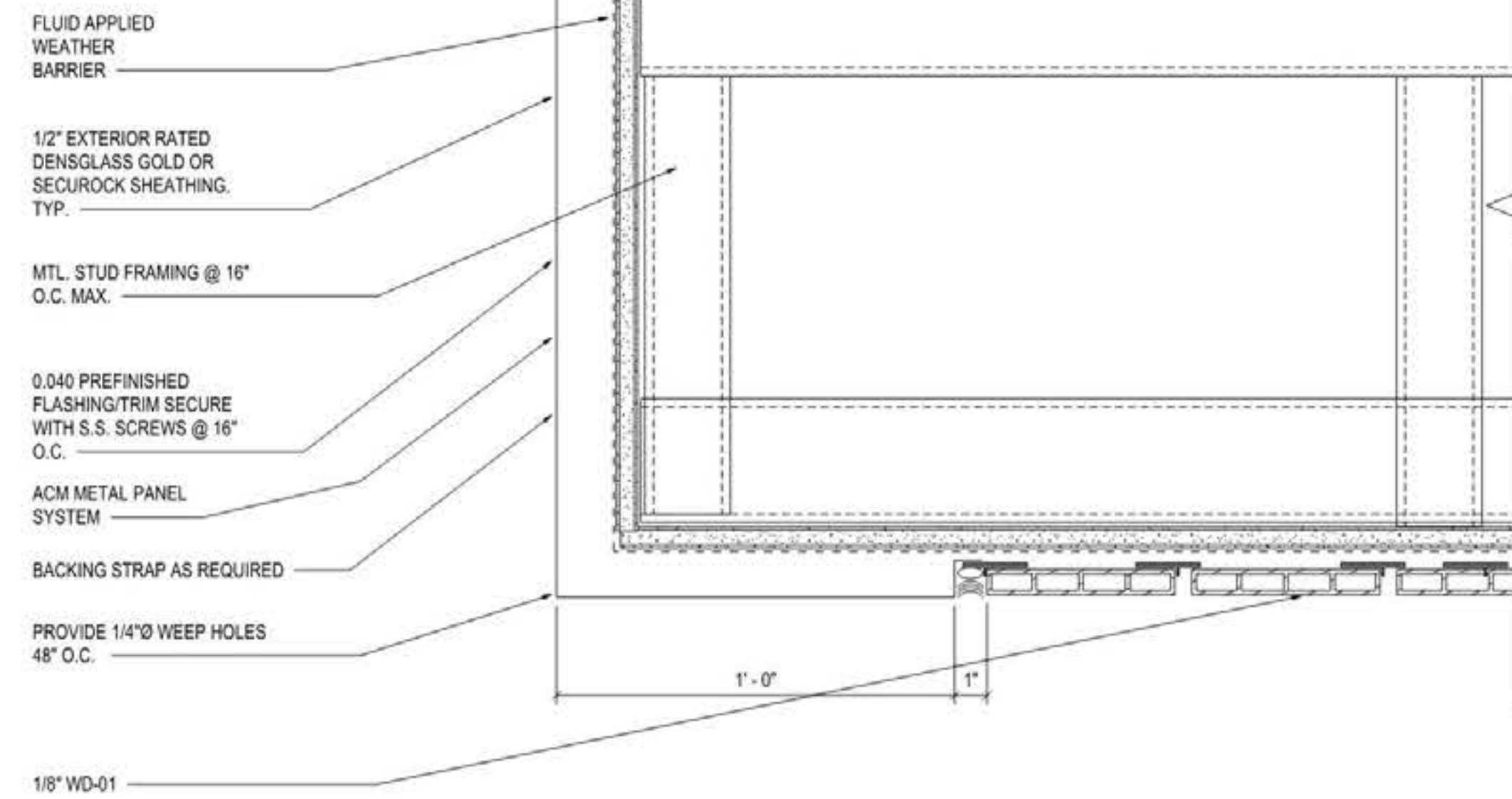
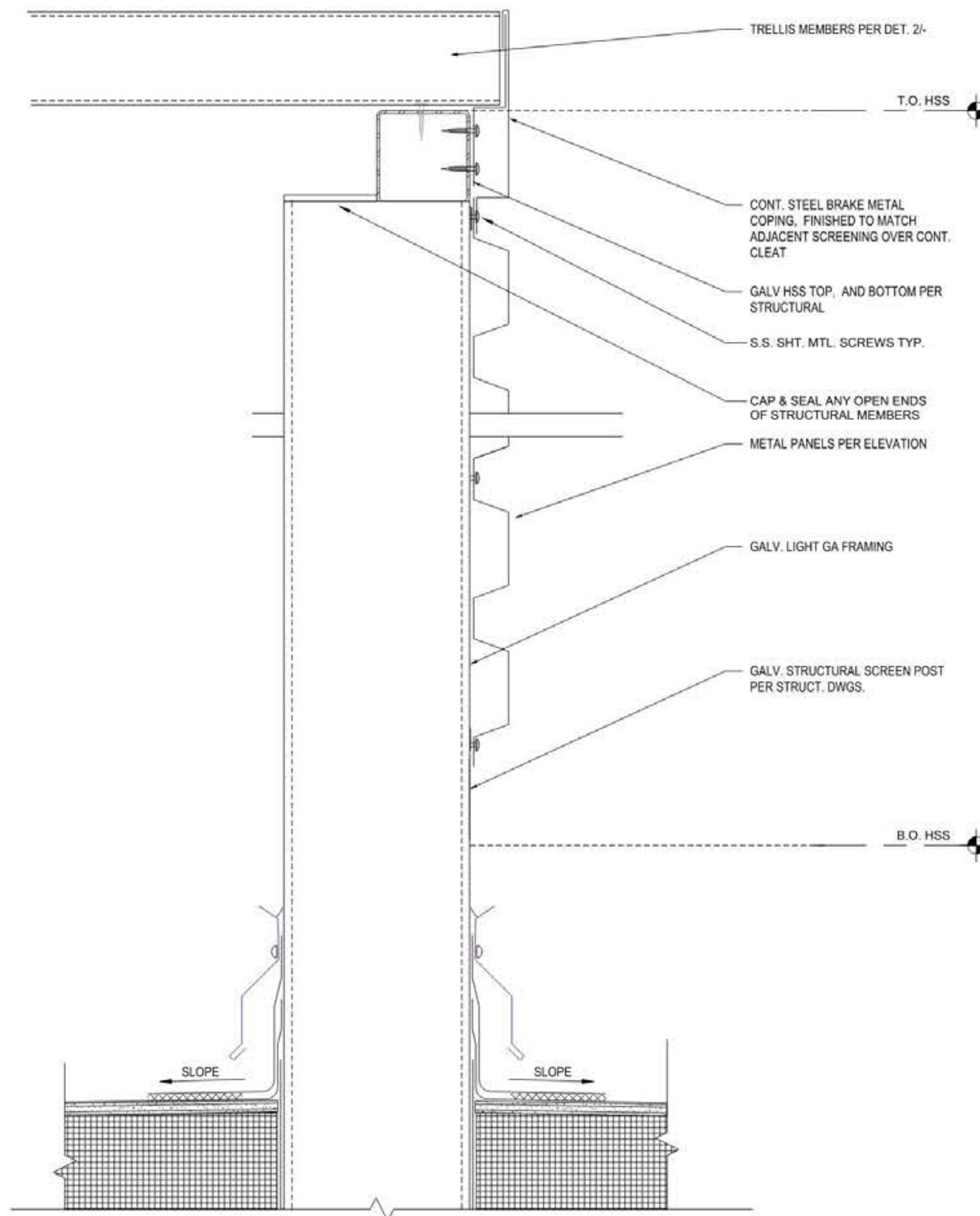
3 ROOF COPING
SCALE: 1 1/2" = 1'-0"



**FOR
REFERENCE
ONLY**

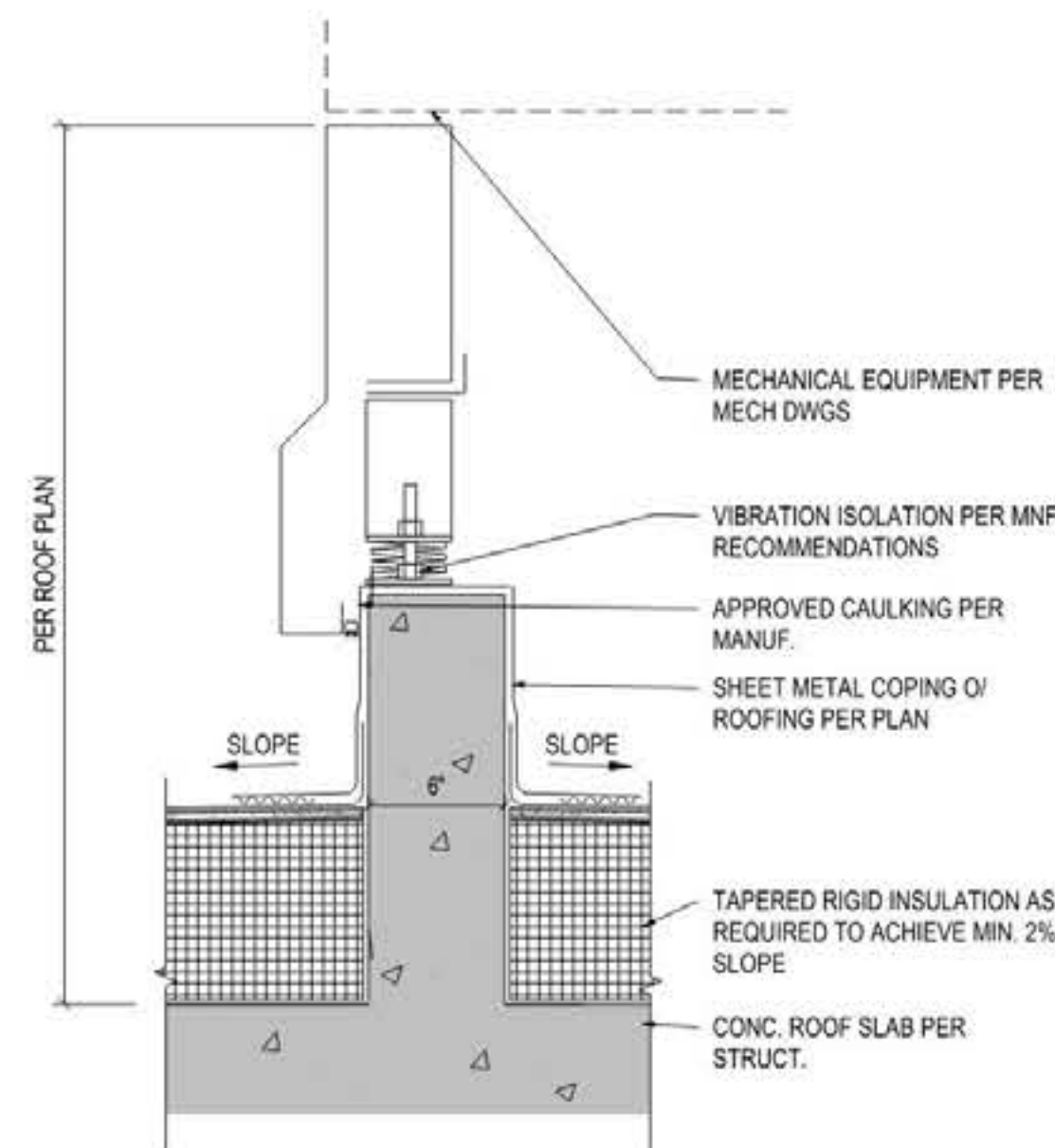
2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
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10.29.2021	- PLANNING SUBMITTAL 7		

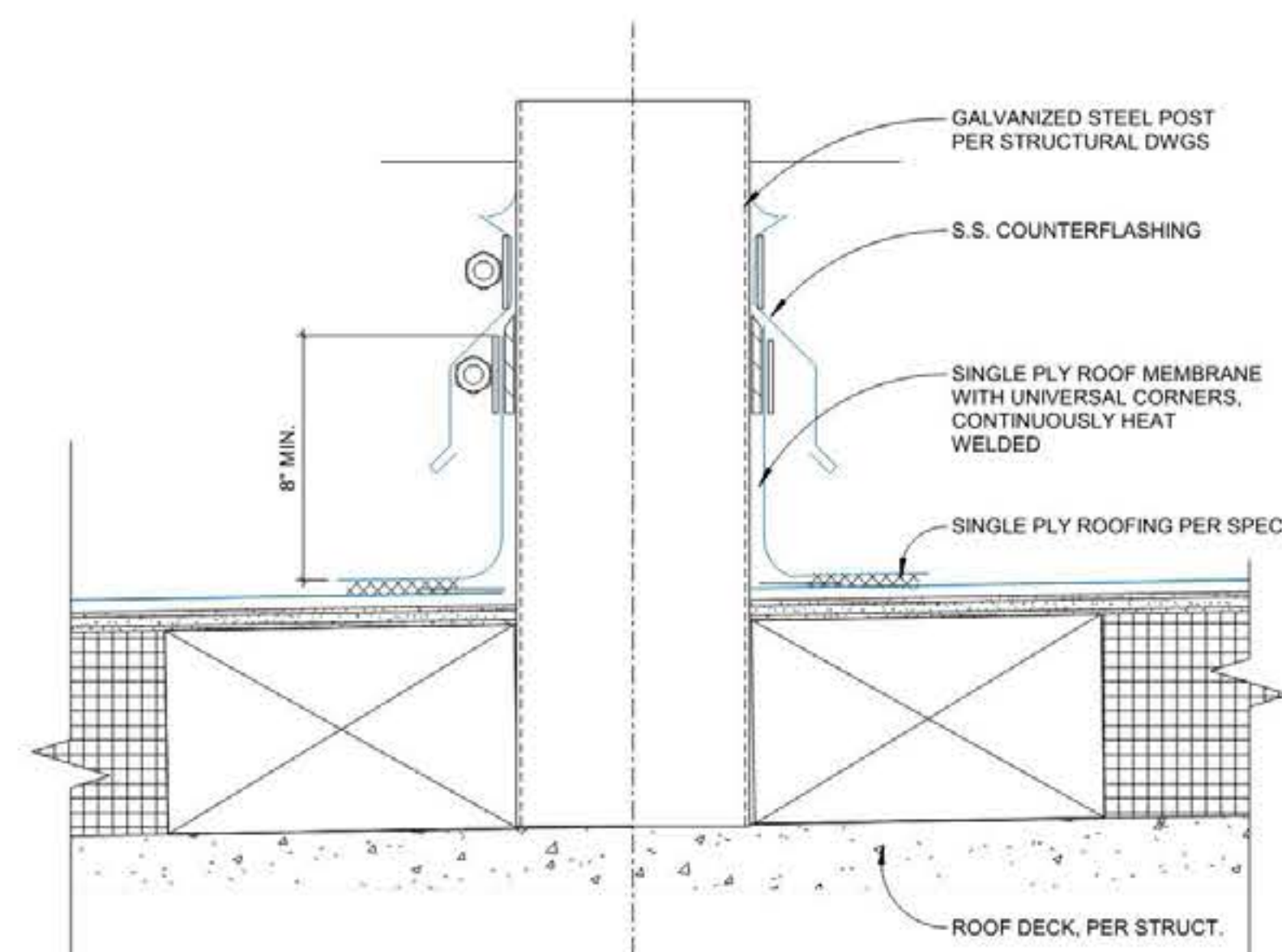


1 BALCONY SOFFIT @ LEVEL 6
SCALE: 3" = 1'-0"

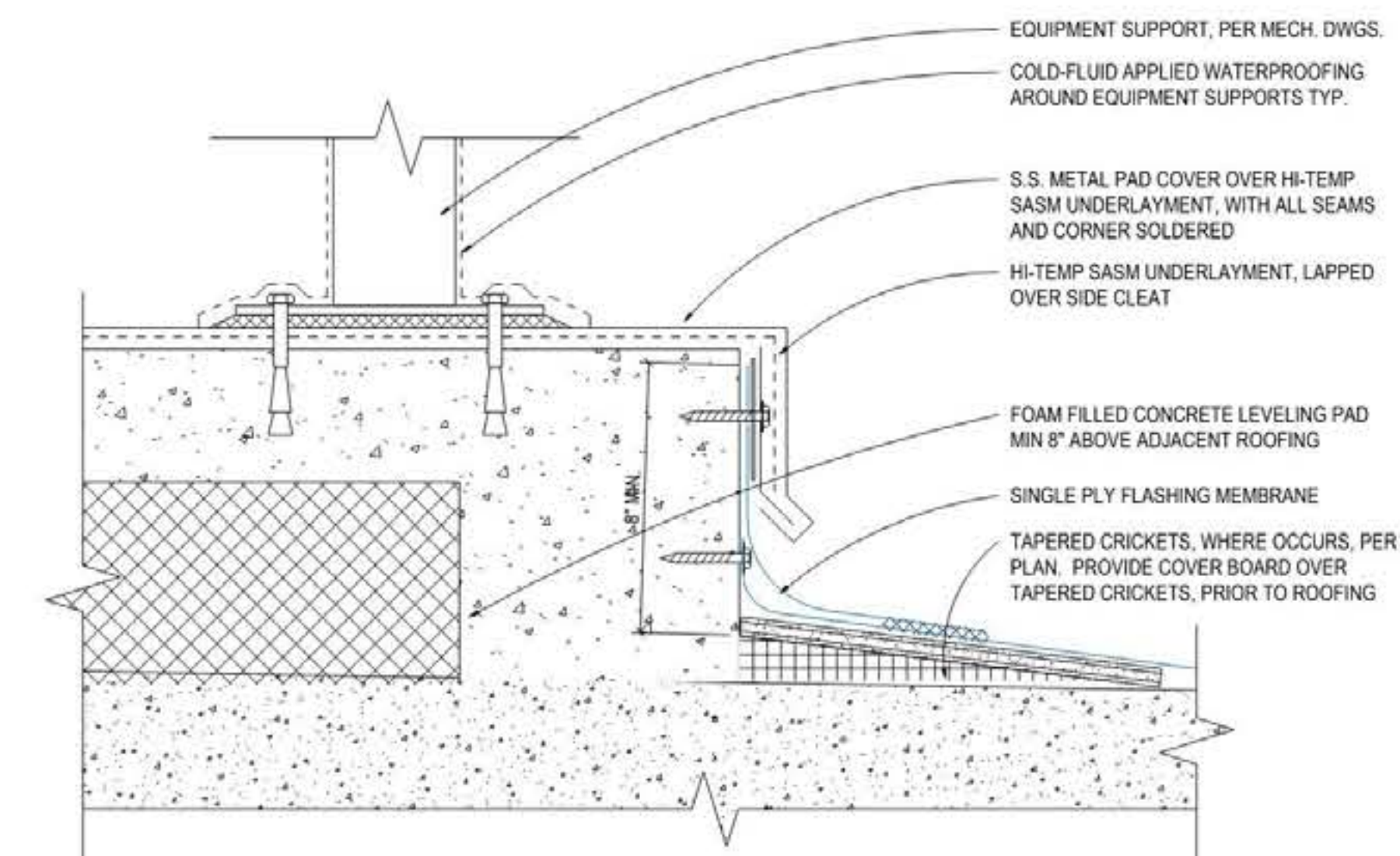
2 ROOF DETAIL - EQUIPMENT SCREEN
SCALE: 3" = 1'-0"



3 ROOF DETAIL - EQUIPMENT CURB
SCALE: 1 1/2" = 1'-0"



5 ROOF DETAIL - PENETRATION FLASHING 2
SCALE: 3" = 1'-0"



4 ROOF DETAIL - EQUIPMENT PAD
SCALE: 3" = 1'-0"

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

MATERIALS & SCHEMATIC DETAILS

Scale

As indicated

A09.02



PARKING CALCULATIONS

TOTAL SHORT-TERM BIKE PARKING - BIKE RACKS

20

TOTAL BIKE LONG-TERM STORAGE

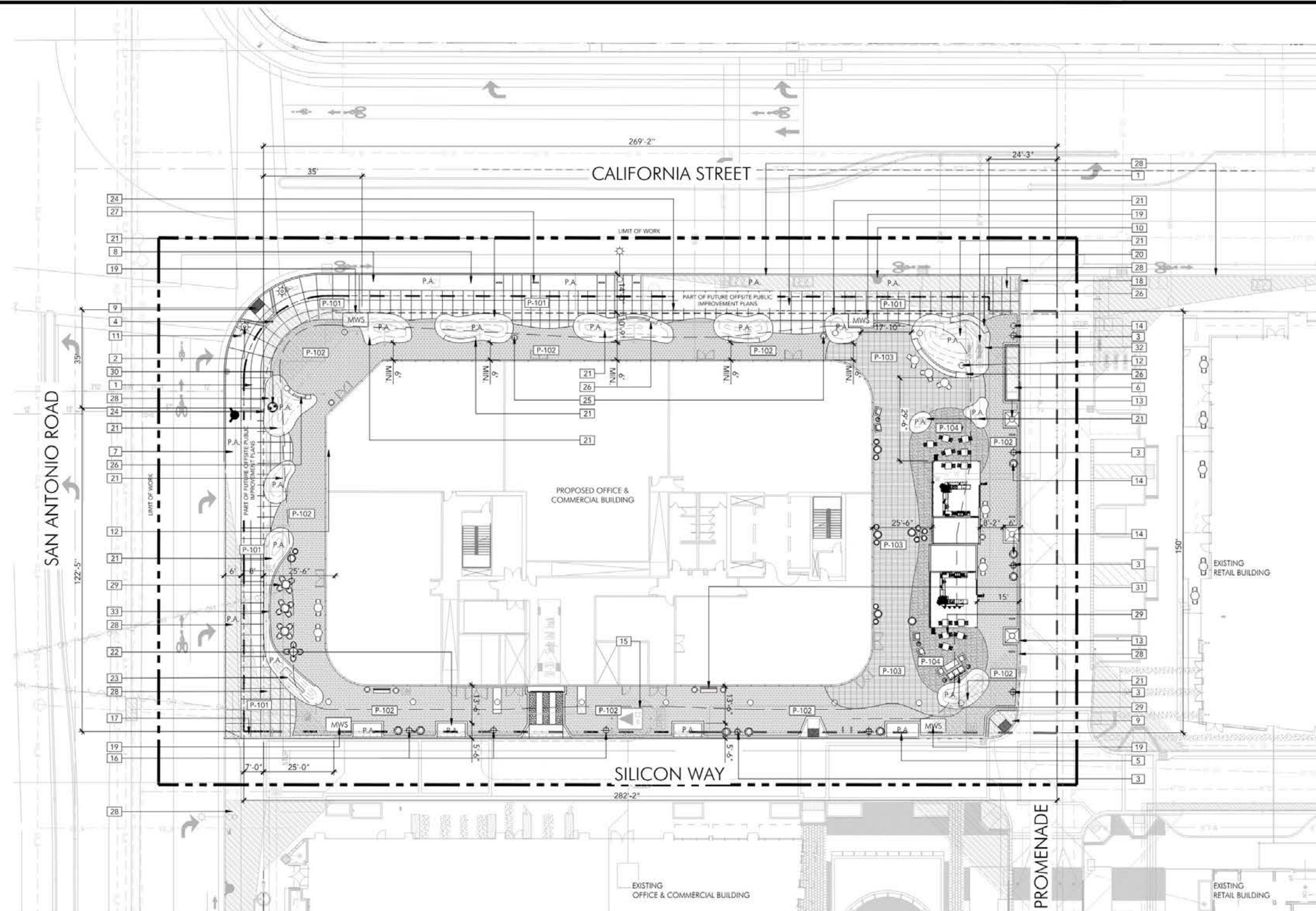
30

TOTAL BIKE PARKING PROVIDED

50 STALLS

CONSTRUCTION LEGEND

- P.A. PLANTING AREA
- MWS MODULAR WETLAND SYSTEM
- VISIBILITY AND SAFETY TRIANGLES



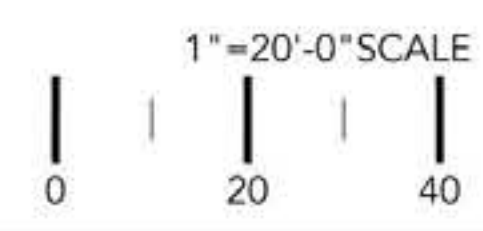
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	EXISTING R.O.W. SIDEWALK	19	MODULAR WETLAND VAULT SYSTEM, SEE CIVIL PLANS
2	EXISTING TRAFFIC LIGHT	20	FIRE BACKFLOW PREVENTER
3	EXISTING STREET LIGHT	21	LANDSCAPE PLANTER MOUNDS, SEE NOTE D
4	EXISTING CROSSWALK BUTTON	22	AT GRADE PLANTER, SEE DETAIL 11, SHEET L1.12
5	EXISTING SITE PLANTER	23	BUILDING SIGNAGE
6	EXISTING MODULAR WETLAND	24	UNDERGROUND PARKING LIMIT
7	EXISTING RIGHT OF WAY PLANTER AREA	25	TRASH RECEPTACLE MODEL: PD-4953, COLOR TEXTURED BLACK. AVAILABLE FROM D.M. BRAUN, SEE DETAIL 8, SHEET L1.11
8	EXISTING DG TREE WELL TO BE REMOVED	26	CONCRETE SEATWALL WITH METAL BENCH TOP
9	EXISTING CROSSWALK ADA RAMP	27	27" METAL BICYCLE RACK, 2 STALLS PER RACK, RING STAINLESS STEEL BIKE RACK, IMBED MOUNT, AVAILABLE FROM LANDSCAPE FORMS. SEE DETAIL 2, SHEET L1.11
10	EXISTING FIRE HYDRANT	28	SIGHT TRIANGLE LINES, REFER TO NOTE D ON THIS SHEET FOR CLARIFICATION - SEE CIVIL PLANS FOR LAYOUT AND DIMENSIONS
11	EXISTING UTILITIES	29	SITE FURNITURE, REFER TO DETAILS 8-10 SHEET L1.12 & NOTES ON THIS SHEET
12	BUILDING COLUMNS	30	SCULPTURAL LANDSCAPE ELEMENT
13	EXISTING METAL TREE GRATE - SEE DETAIL 1, SHEET L1.11	31	BENCH, SEE DETAIL 7, SHEET L1.11
14	EXISTING PLANTER POT, SEE DETAIL 5, SHEET L1.11	32	FDC 18" TALL SCREENED WITH PLANTING, REFER TO PLANTING SHEET L5.01
15	BUILDING ELECTRICAL TRANSFORMER	33	6" P.I.P. CONCRETE WALL, SEE DETAIL 13, SHEET L1.12
16	LIGHT FIXTURE/ BANNER POLE, "HW PATINA" POT TOP LIGHT FIXTURE WITH CUSTOM BANNER EXTENSIONS, SEE DETAIL 3, SHEET L1.11		
17	RAMP TO ZERO CURB		
18	ADA RAMP & SIGNAGE, SEE CIVIL PLANS		

PAVING SCHEDULE

SYMBOL	DESCRIPTION	MATERIAL	FINISH	PATTERN	COLOR
P-101	EXISTING NATURAL GRAY CONCRETE	CONCRETE	BROOM FINISH		
P-102	4 X 24 INTERLOCKING PAVER 8 CM DEPTH	CONC. PAVER	STANDARD FACE MIX SEAL PER SPECS	STAGGERED BOND	25% MOCHA, 25% AMARETTO, 25% CARMEL, 25% MAPLE
P-103	4 X 24 INTERLOCKING PAVER 8 CM DEPTH	CONC. PAVER	STANDARD FACE MIX SEAL PER SPECS	STACKED BOND	MOCHA
P-104	4 X 24 INTERLOCKING PAVER 8CM DEPTH	CONC. PAVER	BURNISHED / FLAT EDGE	STACKED BOND	CARMEL

- NOTES:
- A. 'OUTDOOR DINING FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL OUTDOOR DINING FURNITURE SHALL BE BY TENANT UNDER SEPARATE PERMIT.'
 - B. REFER TO SHEET L1.02 FOR SITE AND BUILDING FLOORS OPEN SPACE PLANS AND CALCULATIONS
 - C. FOR ALL SPOT ELEVATIONS AND GRADES SEE CIVIL ENGINEER'S CONCEPTUAL GRADING PLAN SHEET C3.01
 - D. ALL LANDSCAPE MOUNDS ARE NOT TO EXCEED 3' IN HEIGHT TO ENSURE COMPLIANCE WITH ALL CITY OF MOUNTAIN VIEW SIGHT TRIANGLE AND CPTD GUIDELINES.



MerloneGeier Partners

425 CALIFORNIA ST. 11TH FLOOR
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 415-693-9000

THE VILLAGE AT SAN ANTONIO CENTER - PHASE 3
 365 SAN ANTONIO ROAD
 MOUNTAIN VIEW, CA 94040

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 Fax: 619.557.2520

OC .. OAK
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 San Diego, CA 92121
 858 625 0112

Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
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10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature

Project Name
 THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number
 20-015

Description
 CONCEPTUAL LANDSCAPE PLAN

Scale
 As indicated

L1.01

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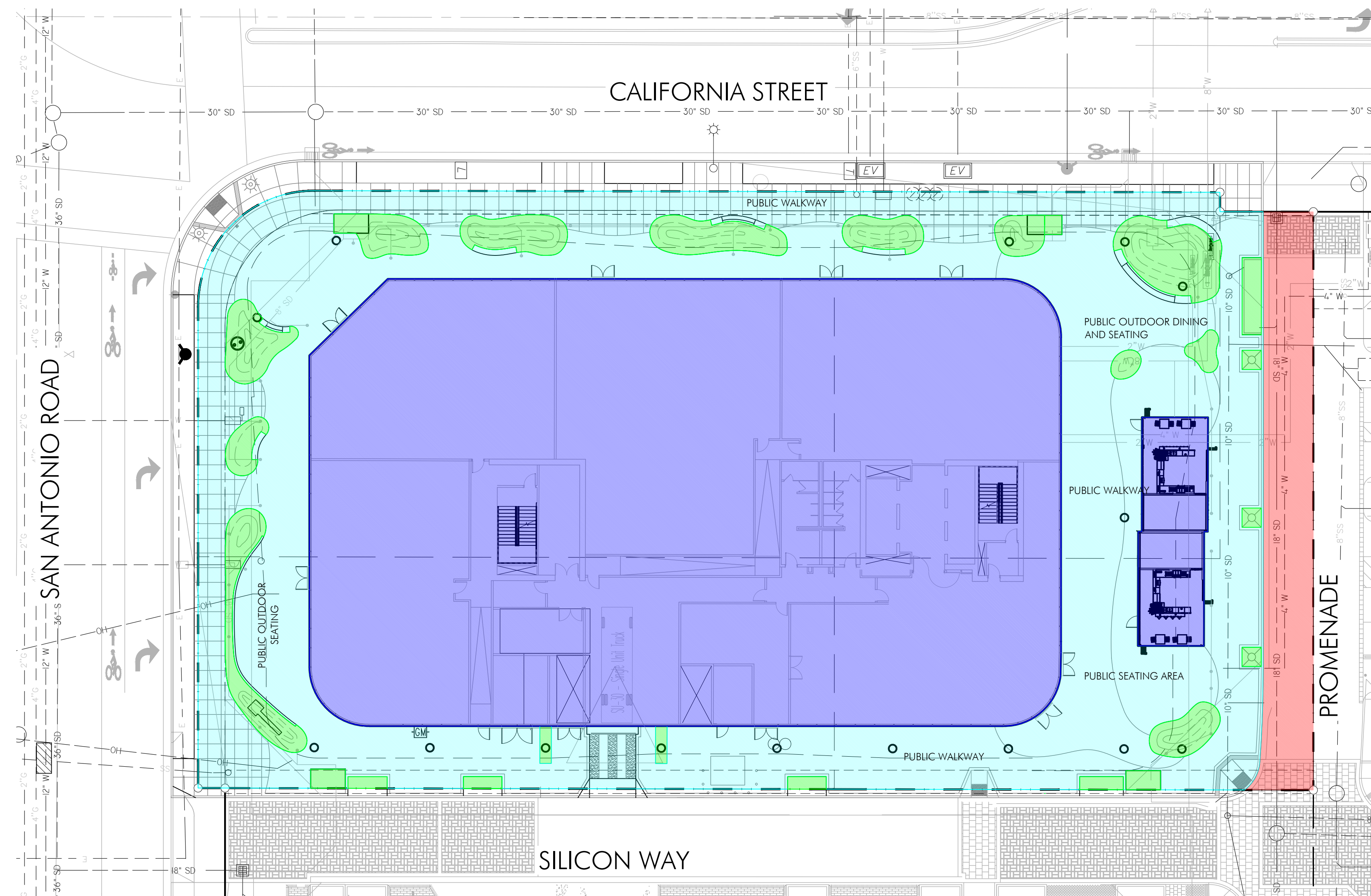
Seal/Signature

Project Name
THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

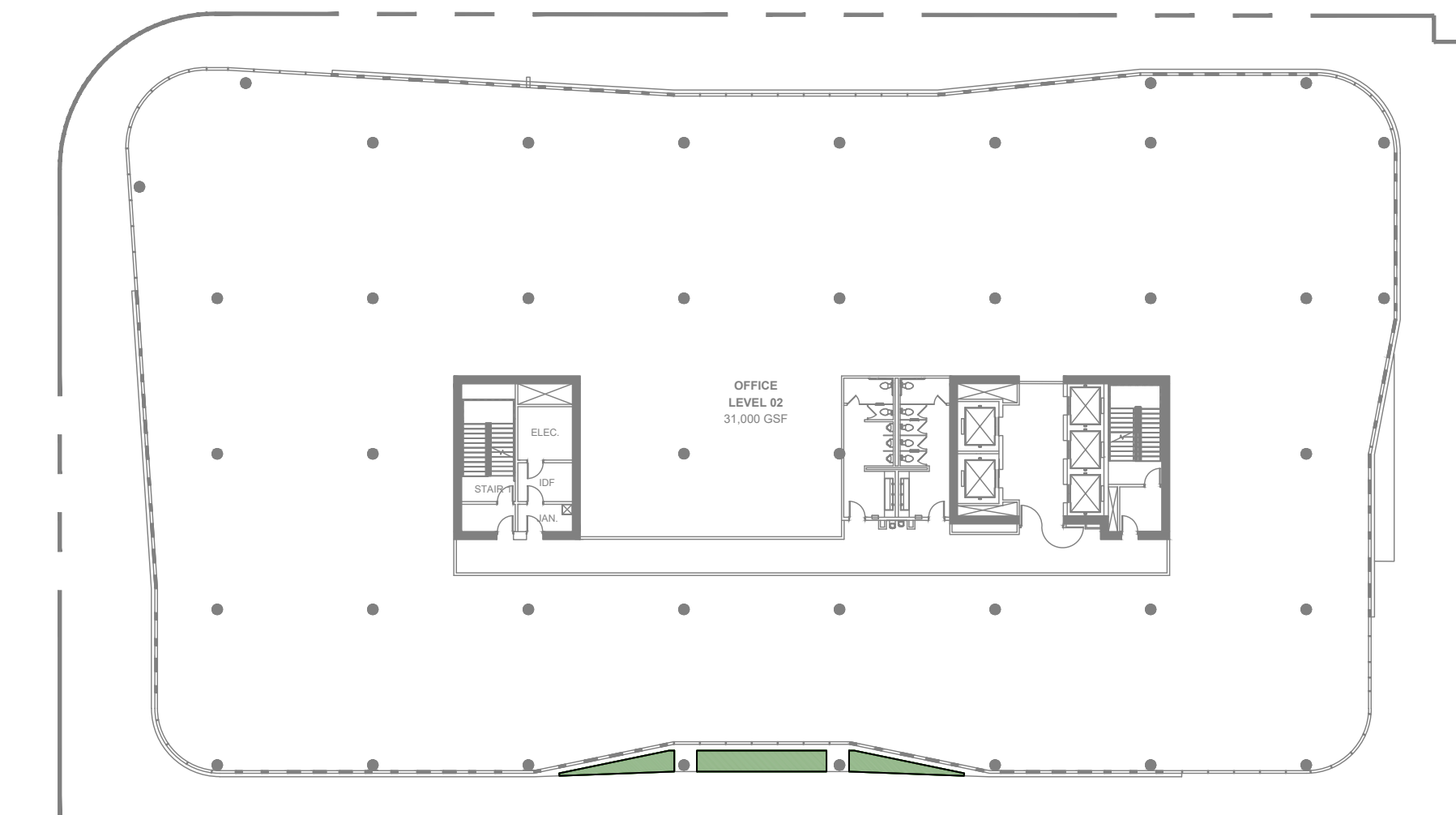
Project Number
20-015

Description
OPEN SPACE PLAN

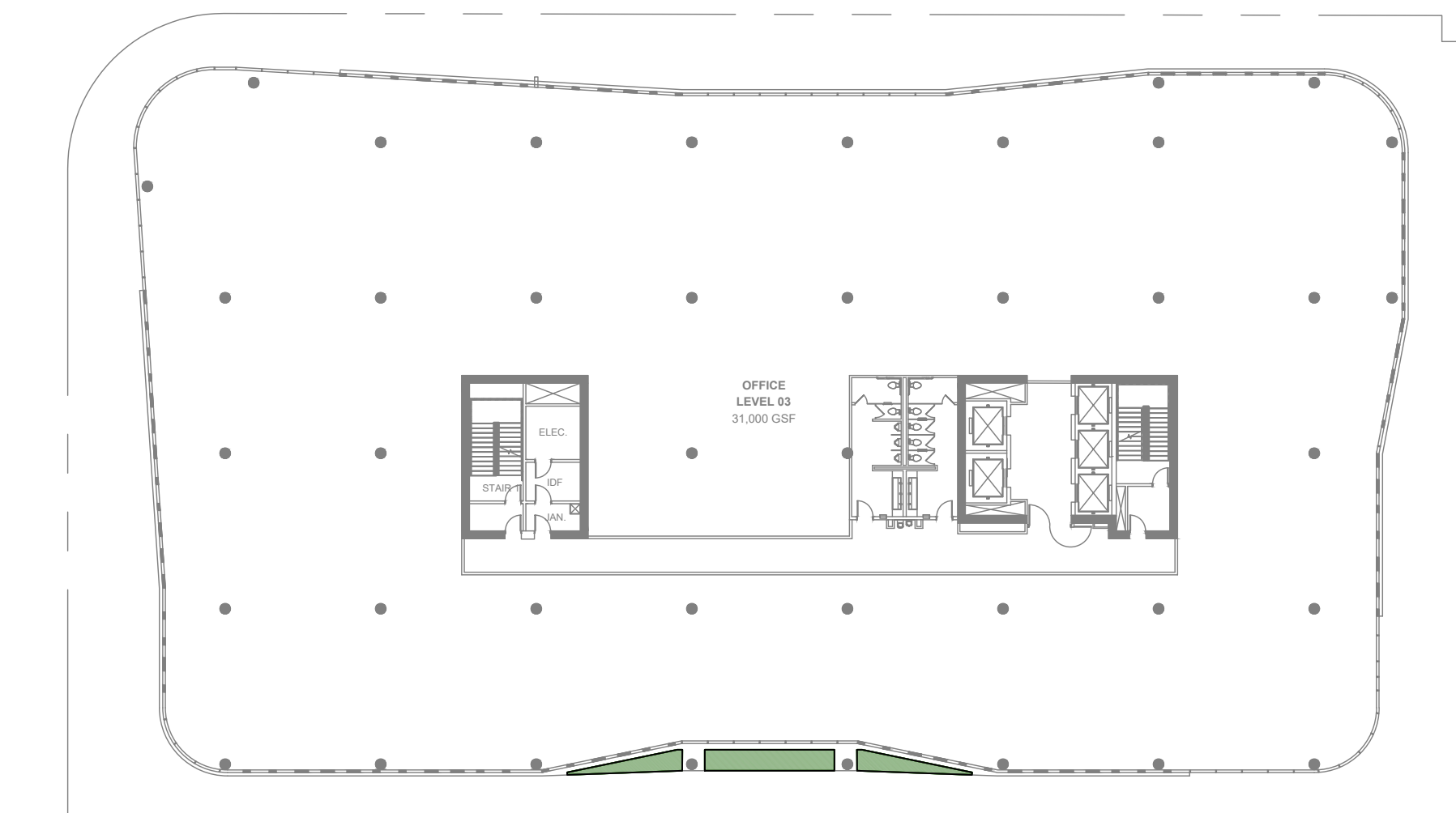
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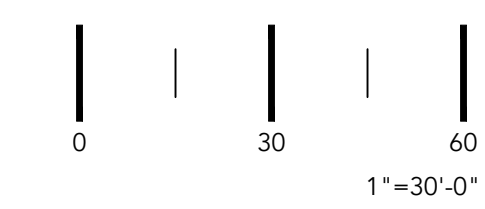
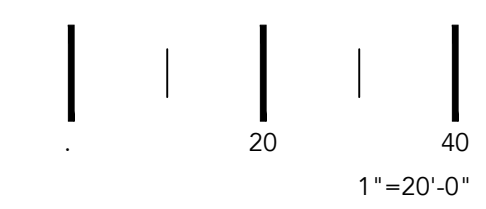
LEVEL 1 (GROUND LEVEL)



LEVEL 2



LEVEL 3



OPEN SPACE CALCULATIONS

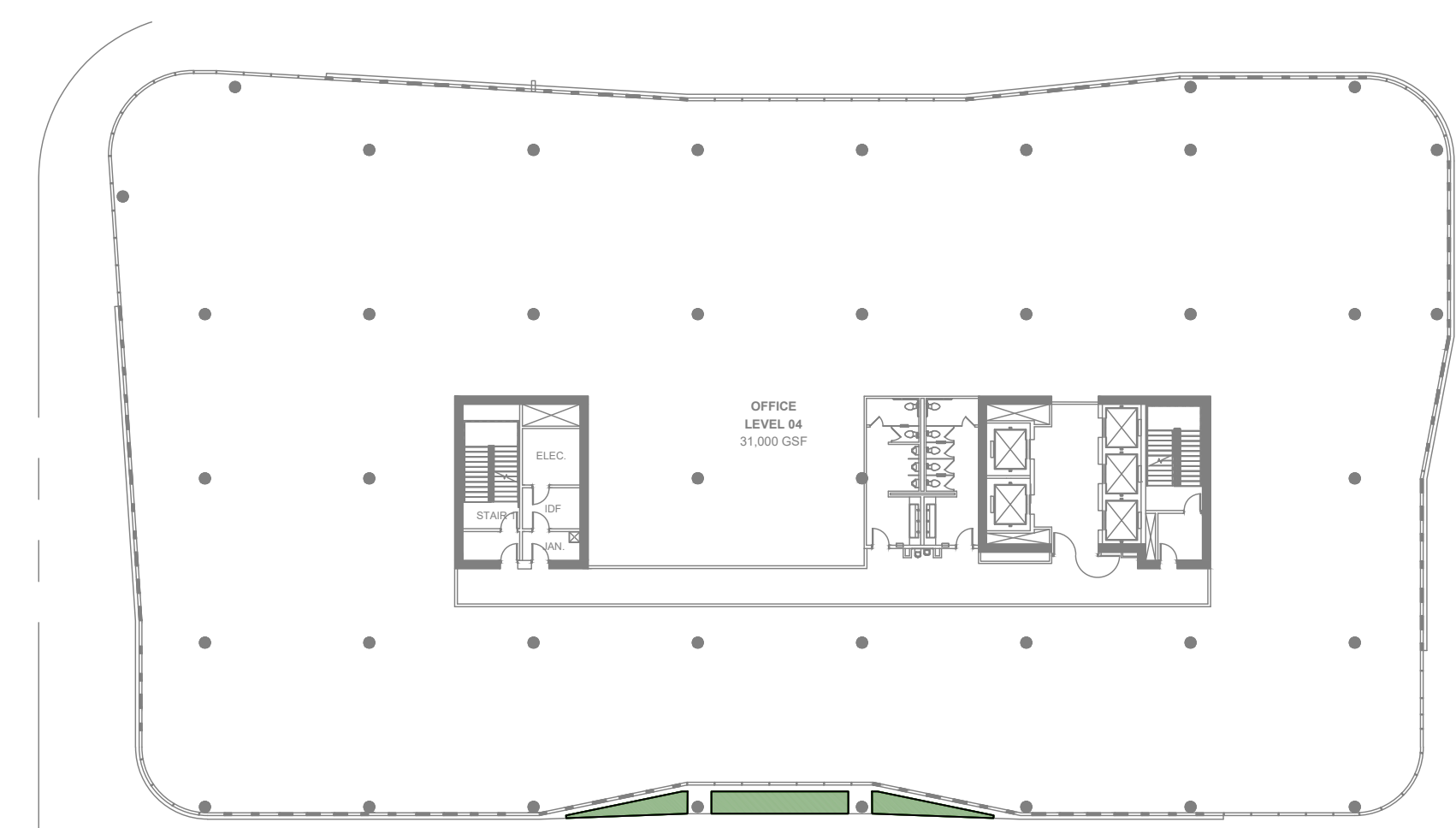
<p>LEVEL 1 (GROUND LEVEL)</p> <p>TOTAL LOT SIZE 43,137 SF</p> <p>TOTAL STREETScape AREA 1,971 SF (4% OF TOTAL LOT)</p> <p>TOTAL BUILDING FOOTPRINT 22,504 SF (52% OF TOTAL LOT)</p> <p>TOTAL PUBLIC OPEN SPACE AREA 18,662 SF (44% OF TOTAL LOT) - 6,470 SF REQUIRED (15% OF TOTAL LOT)</p> <p>PUBLIC PLANTED AREA 2,879 SF (7% OF TOTAL LOT)</p> <p>TOTAL USABLE PUBLIC OPEN SPACE 15,783 SF (37% OF TOTAL LOT)</p>	<p>LEVELS 2-7</p> <p>TOTAL PRIVATE OPEN SPACE AREA 16,087 SF</p> <p>PRIVATE PLANTED AREA 4,293 SF (27% OF TOTAL PRIVATE OPEN SPACE)</p> <p>TOTAL USABLE PRIVATE OPEN SPACE AREA 11,794 SF (73% OF TOTAL PRIVATE OPEN SPACE)</p>
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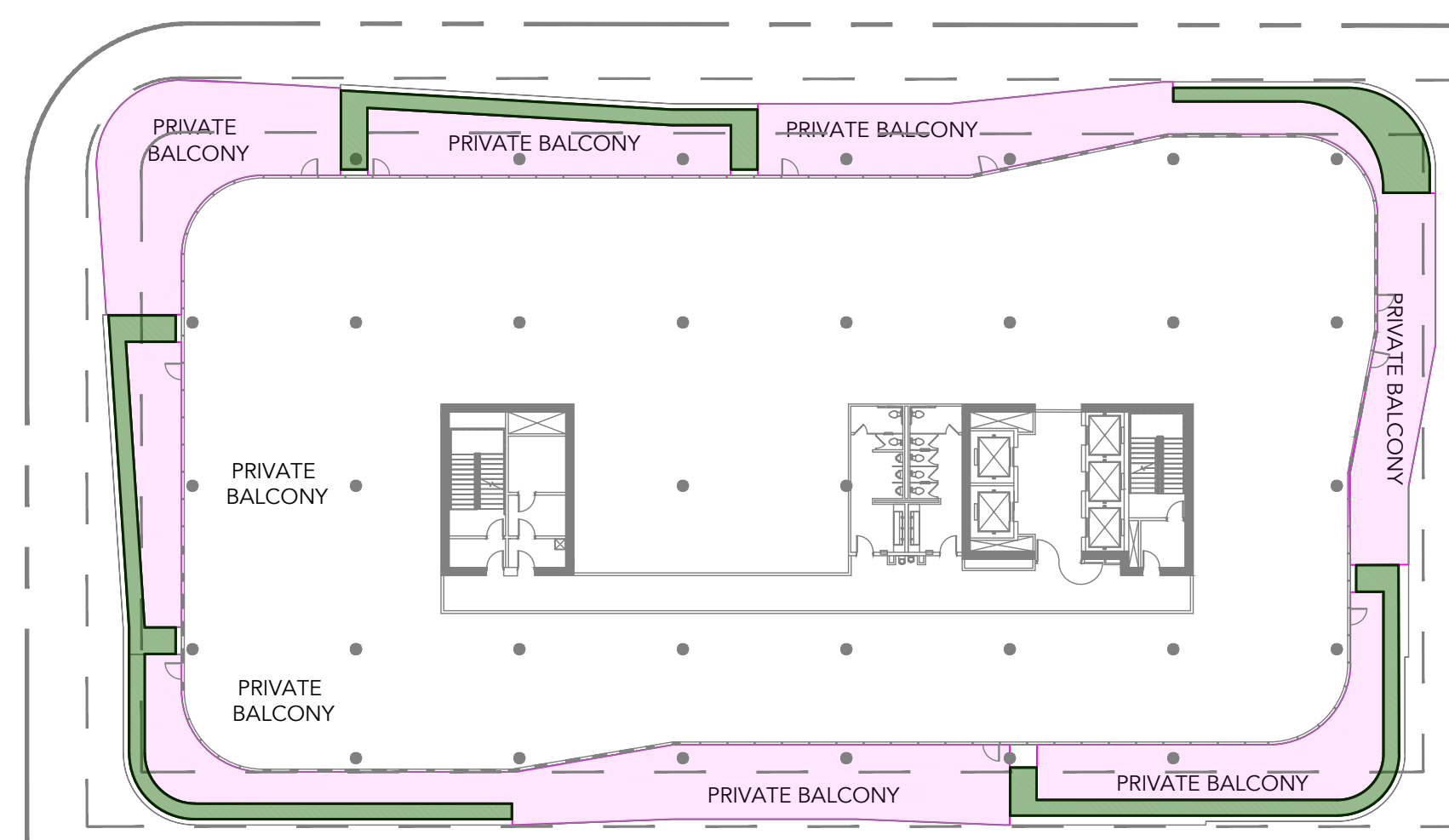
OC .. OAK
11300 Sorrento Valley Road, Suite 230
San Diego, CA 92121
858 625 0112

URBAN ARENA

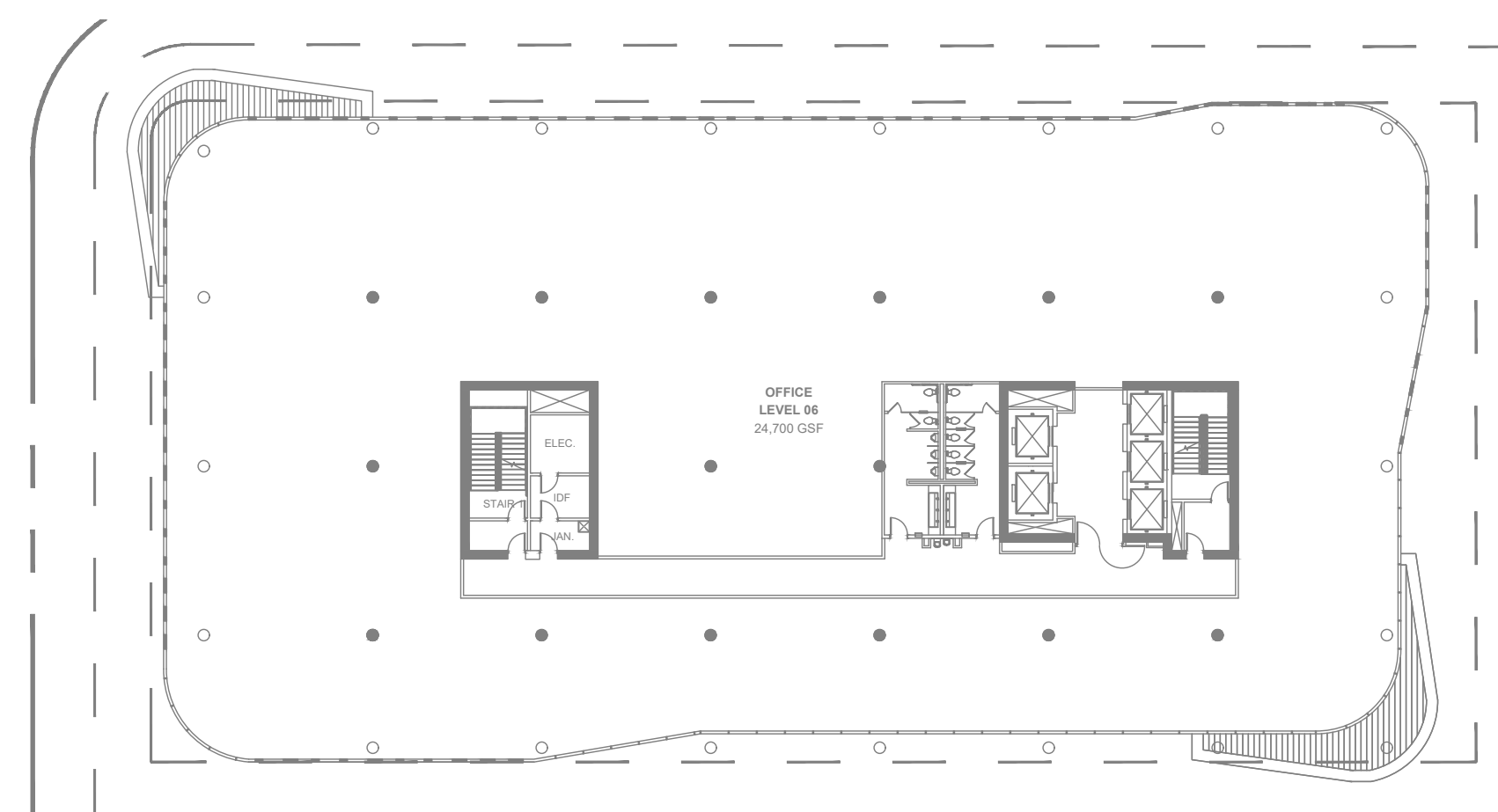
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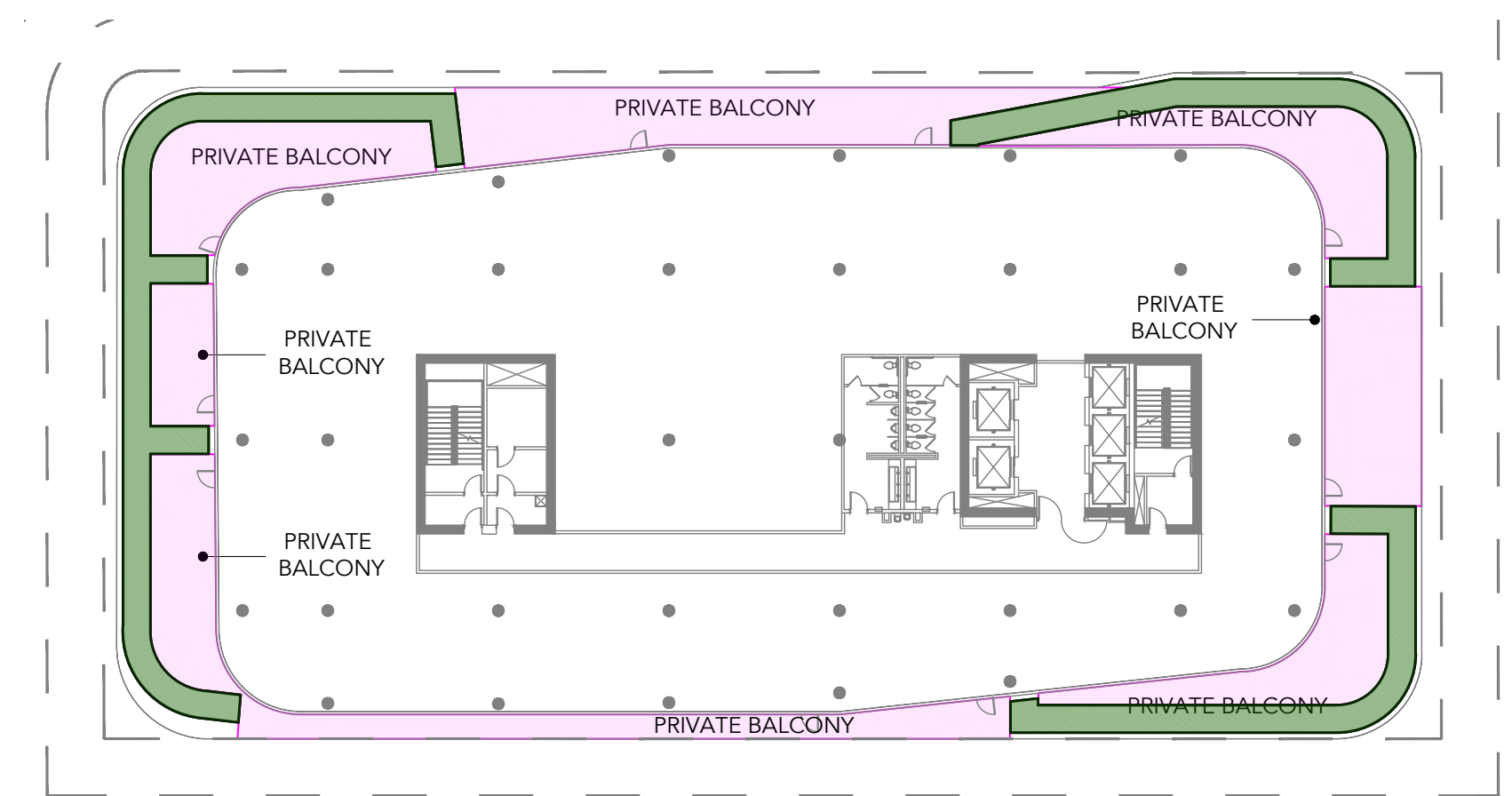
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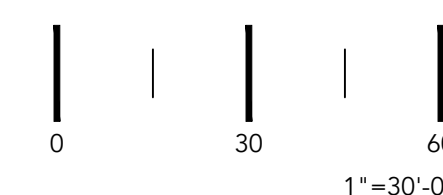
LEVEL 5



LEVEL 6



LEVEL 7



OPEN SPACE CALCULATIONS

LEVEL 1 (GROUND LEVEL)

TOTAL LOT SIZE

43,137 SF

TOTAL STREETSCAPE AREA

1,971 SF (4% OF TOTAL LOT)

TOTAL BUILDING FOOTPRINT

22,504 SF (52% OF TOTAL LOT)

TOTAL PUBLIC OPEN SPACE AREA

18,662 SF (44% OF TOTAL LOT) - 6,470 SF REQUIRED (15% OF TOTAL LOT)

PUBLIC PLANTED AREA

2,879 SF (7% OF TOTAL LOT)

TOTAL USABLE PUBLIC OPEN SPACE

15,783 SF (37% OF TOTAL LOT)

LEVELS 2-7

TOTAL PRIVATE OPEN SPACE AREA

16,087 SF

PRIVATE PLANTED AREA

4,293 SF (27% OF TOTAL PRIVATE OPEN SPACE)

TOTAL USABLE PRIVATE OPEN SPACE AREA

11,794 SF (73% OF TOTAL PRIVATE OPEN SPACE)

Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number

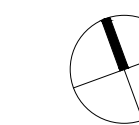
20-015

Description

OPEN SPACE PLAN

Scale

As indicated





3 LIGHT POLE FIXTURE* N.T.S



2 TYPE 2 BIKE PARKING* N.T.S



1 TREE GRATE* N.T.S



POTS COLOR CHOICES

5 PRECAST PLANTER POT* N.T.S



4 INTERLOCKING PAVERS* N.T.S



RECEPTACLE COLOR CHOICES

8 TRASH RECEPTACLES* N.T.S



7 PARK BENCH N.T.S

NOTE:
*MATERIAL FINISHES, AND SITE FURNISHINGS TO MATCH EXISTING ELEMENTS ON THE ADJACENT SAN ANTONIO VILLAGE PROJECT



URBAN ARENA

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Seal/Signature



Project Name
THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

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20-015

Description
CONCEPTUAL LANDSCAPE DETAILS

Scale
As indicated





CUSHION COLOR OPTIONS



10 CITY OUTDOOR COFFEE TABLES

N.T.S



CUSHION COLOR OPTIONS



9 LOUNGE FURNITURE

N.T.S



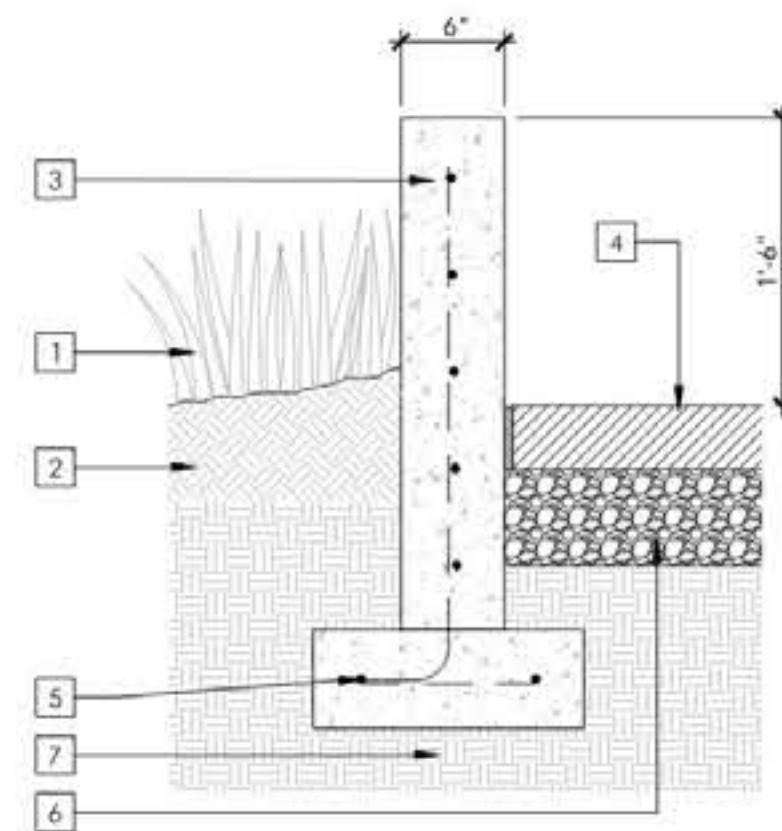
SEATING COLOR OPTIONS



8 CITY OUTDOOR DINING TABLE*

N.T.S

- 1] PLANTING AREA - REFER TO LANDSCAPE PLAN
- 2] AMENDED NATIVE SOIL, REFER TO LANDSCAPE SPECIFICATIONS
- 3] 18" P.I.P CONCRETE WALL - NATURAL GRAY W/ SMOOTH CONCRETE FINISH
- 4] ADJACENT PAVING - REFER TO CONSTRUCTION PLAN
- 5] CONCRETE REINFORCEMENTS - PLANS BY STRUCTURAL ENGINEER
- 6] COMPACTED SUB GRADE - PER GEOTECHNICAL RECOMMENDATIONS
- 7] 95% COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT RECOMMENDATIONS



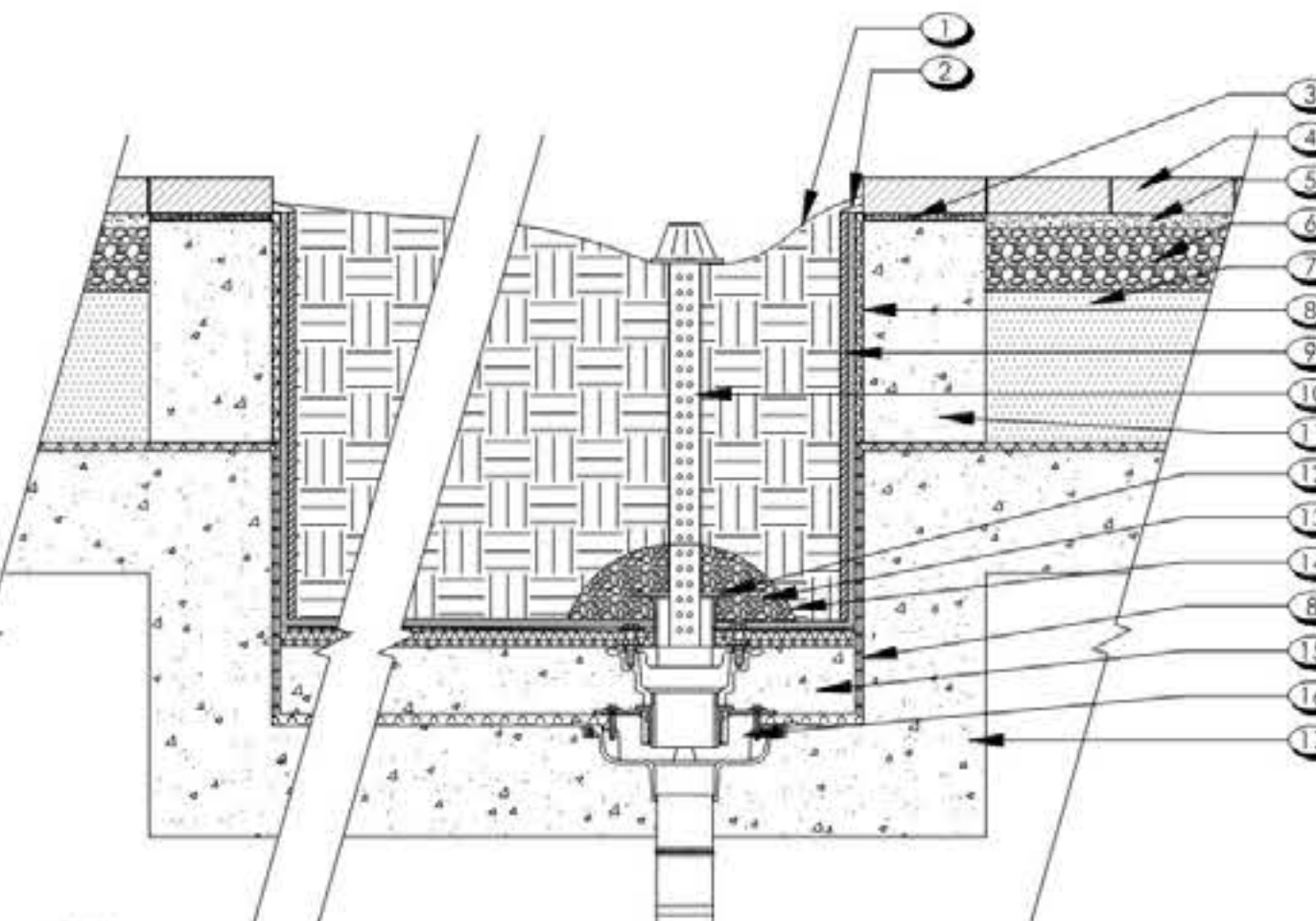
NOTES:

1. THE REINFORCEMENT, CONCRETE DEPTH, AND SUBGRADE RECOMMENDATIONS NOTED IN THIS DETAIL ARE MINIMUMS. SHOULD STRUCTURAL SOILS REPORT RECOMMENDATIONS EXCEED THOSE STATED ABOVE, THE STRUCTURAL SOILS REPORT SHALL SUPERSEDE THIS DETAIL.

13 6" P.I.P CONCRETE WALL

1/2" = 1'-0"

11 DROPPED PLANTER ON PODIUM



1. REFER TO PLUMBING DRAWINGS FOR SPECIFIC DRAIN AND PIPE SPECIFICATIONS
2. REFER TO CIVIL DRAWINGS FOR DRAIN LOCATIONS
3. ALL REBAR AND REINFORCEMENT PER STRUCTURAL ENGINEER
4. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH SURFACE ELEVATIONS WHEN SETTING WALL HEIGHTS

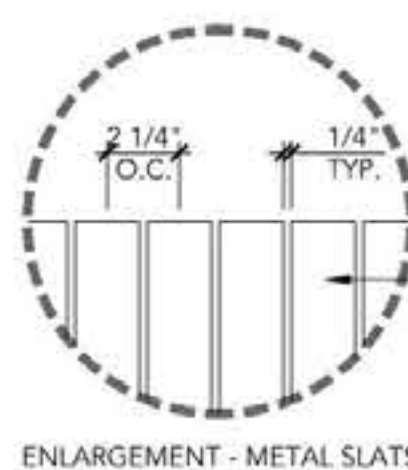
- 1] PLANTER SOIL MIX - SEE PLANTING SPECS. - SLOPE SURFACE 2% MIN. TO DRAIN
- 2] PLANTER INTERIOR FLASHING AT CAP PER PLANS BY ARCHITECT
- 3] SECURE EDGE PAVER TO BLOCK BELOW WITH MORTAR
- 4] ADJACENT PAVERS ON STRUCTURE - INSTALL PER DETAIL D, SHEET L1.11
- 5] SAND LEVELING BASE
- 6] AGGREGATE BASE
- 7] STRUCTURAL FOAM - BY OTHERS
- 8] WATERPROOFING, DRAIN MAT AND PROTECTION BOARD PER PLANS BY ARCHITECT
- 9] ROOT BARRIER, INSTALL ALL SIDES OVER PROTECTION BOARD - INSTALL PER MFGRS. RECOMMENDATIONS - SEE PLANTING SPECS. FOR MFG.
- 10] DRAIN PIPE AND SURFACE DRAIN PER PLANS BY OTHERS
- 11] CAST IN PLACE CONCRETE PLANTER WALL - REINFORCEMENT PER STRUCTURAL ENGINEER
- 12] UPPER DRAIN PER PLANS BY OTHERS
- 13] GRAVEL PACK AROUND UPPER DRAIN
- 14] FILTER FABRIC
- 15] TOPPING SLAB PER STRUCTURAL ENGINEER - SLOPE 1% MIN. TOWARD DRAIN
- 16] LOWER DRAIN PER PLANS BY OTHERS
- 17] STRUCTURAL SLAB PER PLANS BY STRUCTURAL ENGINEER

N.T.S

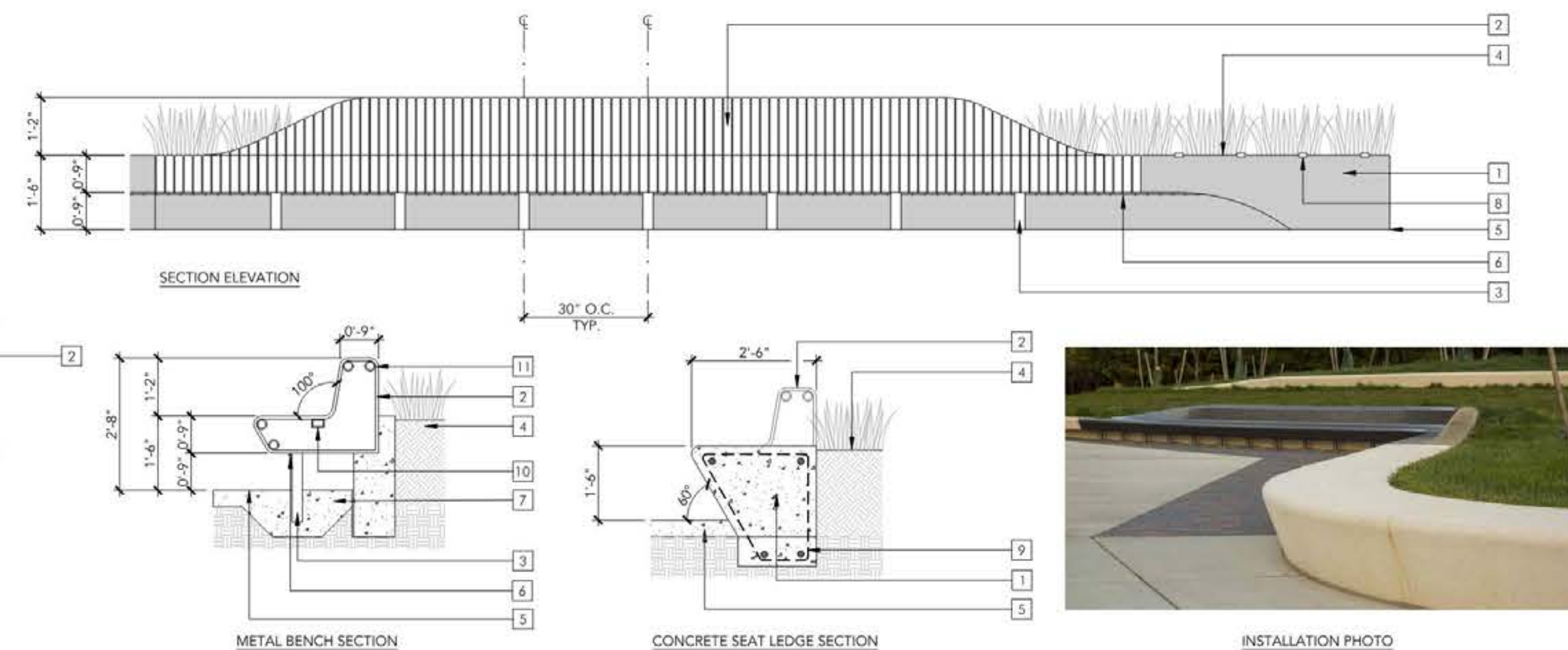
NOTE:

*MATERIAL FINISHES, AND SITE FURNISHINGS TO MATCH EXISTING ELEMENTS ON THE ADJACENT SAN ANTONIO VILLAGE PROJECT

- 1] CONCRETE SEATLEDGE
- 2] METAL BENCH 2X1/4" METAL SLATS SPACED AT 2 1/4" O.C.
- 3] 2.5" EMBEDDED HSS BENCH SUPPORT LEGS
- 4] PLANTING AREA
- 5] ADJACENT PAVING
- 6] LED TAPELIGHT STRIP
- 7] THICKENED CONCRETE SLAB AT SEATING SUPPORT POSTS
- 8] SKATE STOPS
- 9] CONCRETE SEAT LEDGE REINFORCEMENT AND FOOTING, PER STRUCTURAL ENGINEER
- 10] 3"x2" SQUARE HSS FRAME TUBING
- 11] 2.5" ROUND HSS FRAME TUBING



ENLARGEMENT - METAL SLATS



NOTES:

1. CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION FOR LANDSCAPE ARCHITECTS AND OWNER REVIEW AND APPROVAL
2. PAINT ALL METAL MEMBERS PER CONSTRUCTION SPECIFICATIONS, COLOR TO MATCH ARCHITECTS MULLIONS, FINISH: SATIN

12 METAL AND CONCRETE SEATING LEDGE

1/2" = 1'-0"



INSTALLATION PHOTO

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10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number

20-015

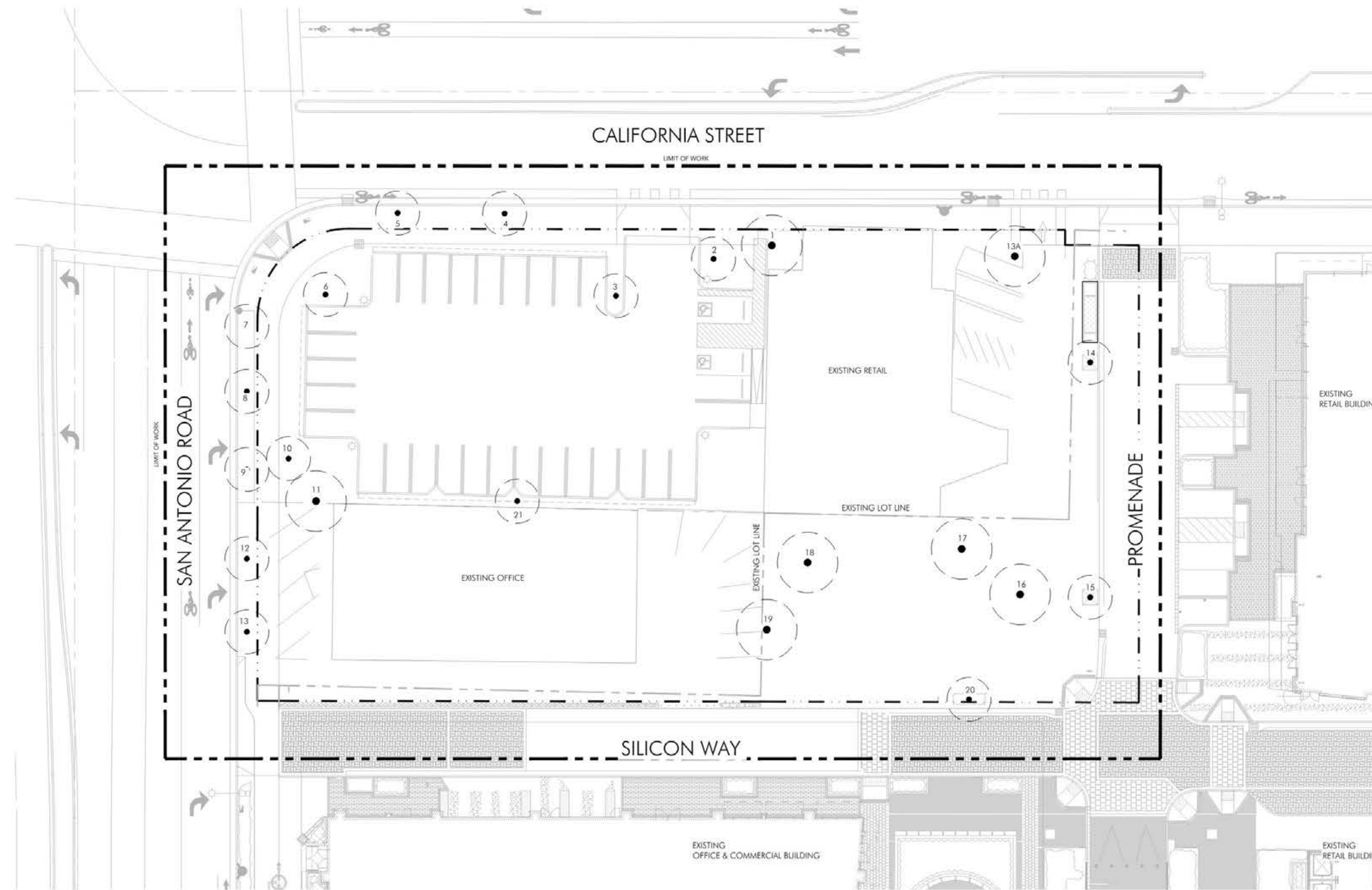
Description

CONCEPTUAL LANDSCAPE DETAILS

Scale

As indicated

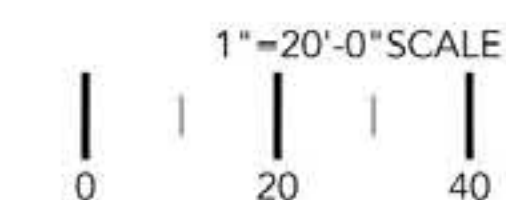




EXISTING TREE CANOPY LEGEND

TREE #	BOTANICAL NAME	COMMON NAME	TRUNK DIA./ CIR	REMARKS	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK DIA./ CIR.	REMARKS
1	FRAXINUS AMERICANA	ASH	17.2' / 54"	HERITAGE TREE - TO BE REMOVED, WITHIN NEW PUBLIC SIDEWALK, DISEASE PRESENT	14	ARBUTUS X 'MARINA'	ARBUTUS	2.4' / 7.5"	PROTECT IN PLACE
2	ACER RUBRUM 'OCTOBER SKIES'	MAPLE	2.2' / 7"	TO BE REMOVED - WITHIN NEW BUILDING FOUNDATION	15	ARBUTUS X 'MARINA'	ARBUTUS	4.15' / 13"	PROTECT IN PLACE
3	ACER RUBRUM 'OCTOBER SKIES'	MAPLE	2.7' / 8"	TO BE REMOVED - WITHIN NEW BUILDING FOUNDATION	16	JACARANDA MIMOSIFOLIA	MIMOSA	10.1", 9.5", 8.1" / 87"	HERITAGE TREE - TO BE REMOVED, WITHIN NEW BUILDING FOOTPRINT
4	ACER RUBRUM 'OCTOBER SKIES'	MAPLE	2.8" / 9"	PROTECT IN PLACE	17	JACARANDA MIMOSIFOLIA	MIMOSA	10.5", 9.4", 7.7" / 87"	HERITAGE TREE - TO BE REMOVED, WITHIN NEW PEDESTRIAN CONNECTION
5	ACER RUBRUM 'OCTOBER SKIES'	MAPLE	2.9" / 9"	PROTECT IN PLACE	18	PLATANUS X ACERIFOLIA	SYCAMORE	6.5" / 20"	TO BE REMOVED, WITHIN NEW BUILDING FOOTPRINT
6	ACER RUBRUM 'OCTOBER SKIES'	MAPLE	3.3" / 10"	TO BE REMOVED - WITHIN NEW BUILDING FOUNDATION	19	PLATANUS X ACERIFOLIA	SYCAMORE	18.1" / 57"	HERITAGE TO BE REMOVED, WITHIN NEW BUILDING FOOTPRINT
7	PLATANUS X ACERIFOLIA 'COLUMBIA'	SYCAMORE	4.1" / 13"	PROTECT IN PLACE	20	MAGNOLIA GRANDIFLORA 'MAJESTIC BEAUTY'	MAGNOLIA	3.6" / 11"	TO BE REMOVED, WITHIN NEW BUILDING FOOTPRINT
8	PLATANUS X ACERIFOLIA 'COLUMBIA'	SYCAMORE	3.6" / 11"	PROTECT IN PLACE	21	ARBUTUS X 'MARINA'	N.C.N.	3.0" / 9"	TO BE REMOVED, WITHIN NEW BUILDING FOOTPRINT
9	PLATANUS X ACERIFOLIA 'COLUMBIA'	SYCAMORE	3.4" / 10"	PROTECT IN PLACE					
10	PLATANUS X ACERIFOLIA 'COLUMBIA'	SYCAMORE	3.4" / 10"	TO BE REMOVED - WITHIN NEW BUILDING FOUNDATION, DISEASE PRESENT					
11	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	16.3" / 51"	HERITAGE TREE - TO BE REMOVED, WITHIN NEW BUILDING FOUNDATION, ROOT DAMAGE AND POOR OVERALL HEALTH					
12	PLATANUS X ACERIFOLIA 'COLUMBIA'	SYCAMORE	4.2" / 13"	PROTECT IN PLACE					
13	PLATANUS X ACERIFOLIA 'COLUMBIA'	SYCAMORE	3.9" / 12"	PROTECT IN PLACE					
13A	ARBUTUS X 'MARINA'	ARBUTUS	1.4" / 4"	TO BE REMOVED - NEW LANDSCAPE FEATURES & UTILITIES TO BE LOCATED IN THIS LOCATION					

NOTE:
HERITAGE TREES ARE NOTED BASED ON CRITERIA GIVEN BY THE CITY OF MOUNTAIN VIEW AS ANY TREE HAVING A TRUNK CIRCUMFERENCE OF 48" OR GREATER AT 54" ABOVE GRADE, OR ANY OAK SPECIES HAVING A TRUNK CIRCUMFERENCE OF 12" OR GREATER AT 54" ABOVE GRADE



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Seal/Signature



Project Name
THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

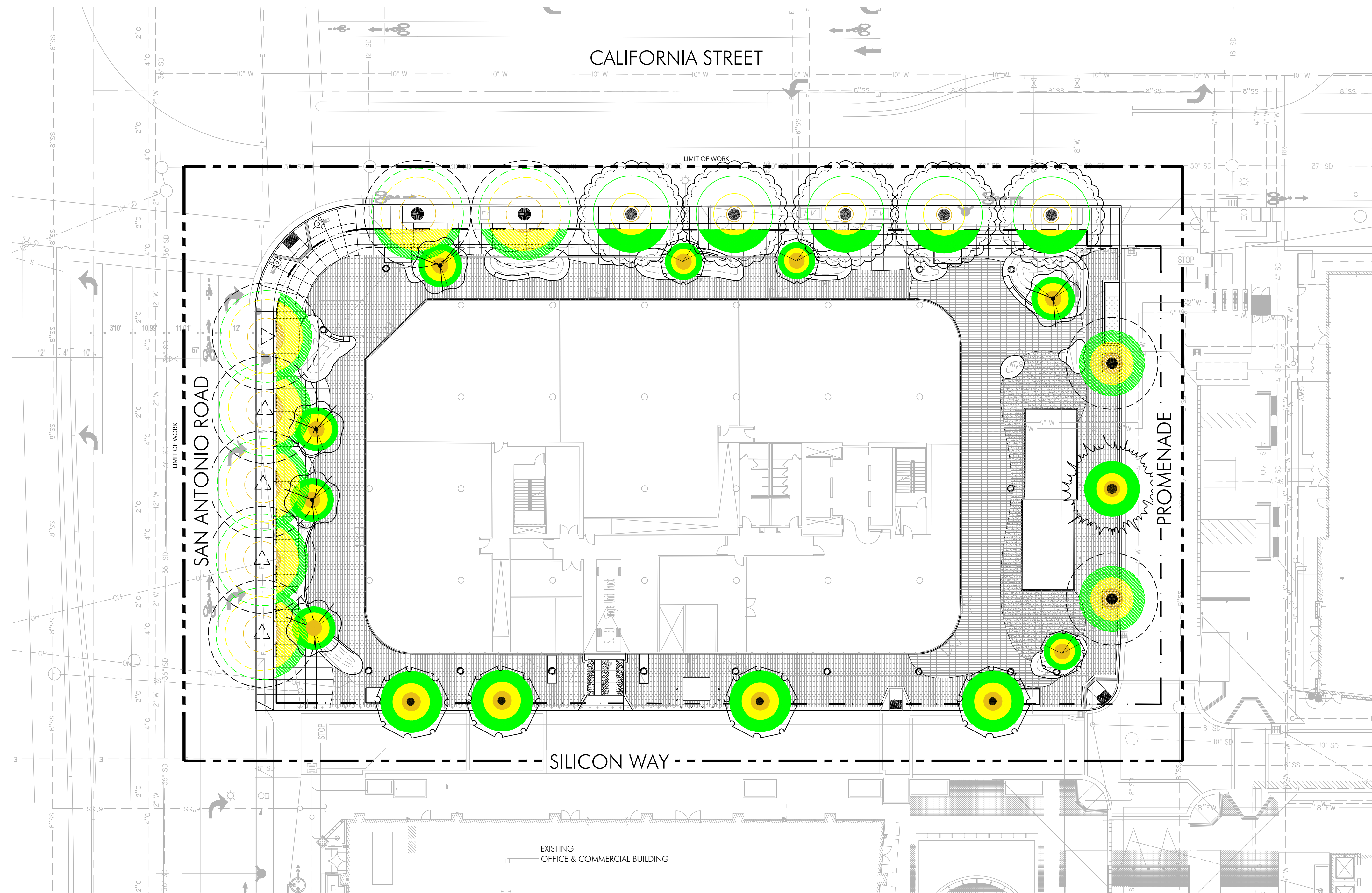
Project Number
20-015

Description
EXISTING TREE CANOPY PLAN

Scale
As indicated

L2.01
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GROUND LEVEL SITE PLAN

FUTURE TREE CANOPY TABLE

SYMBOL	BOTANICAL NAME	GROWTH RATE	DAY 1 SIZE	5 YEAR SIZE	10 YEAR SIZE	MATURE SIZE
	ACER RUBRUM 'OCTOBER GLORY' (EXISTING)	FAST	10'-14'	20'-26'	25'-30'	30'-40'
	ACER RUBRUM 'OCTOBER GLORY' (PROPOSED)	FAST	4'-6'	12-15'	22-28'	30-40'
	ARBUTUS X 'MARINA'	SLOW-MODERATE	5-6'	8-10'	18-22'	25-35'
	MAGNOLIA GRANDIFLORA 'MAJESTIC BEAUTY'	MODERATE	6-7'	10-12'	20-24'	20-30'
	GARRYA ELIPTICA 'EVE'	MODERATE	5-6'	8-9'	12'	15'
	CERCIS CANADENSIS	MODERATE	5-6'	8-9'	12-15'	18-20'
	PLATANUS X ACERIFOLIA COLUMBIA (EXISTING)	FAST	10'-14'	20'-26'	25'-30'	30'-40'

NOTE:

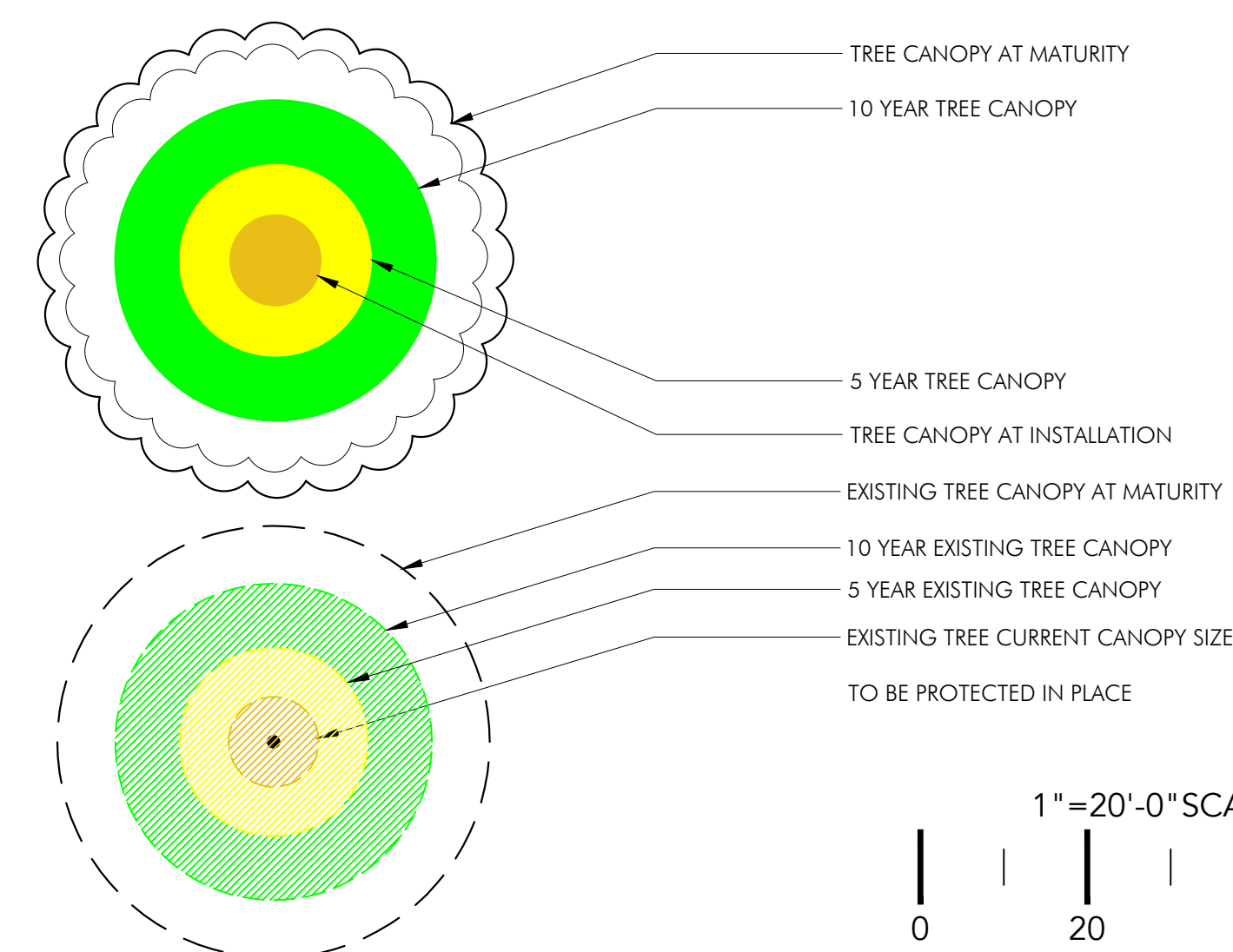
- TREE GROWTH CANOPY SIZE ESTIMATES ARE BASED ON ADEQUATE CONDITIONS AND CAN VARY DUE TO SOIL NUTRIENT LEVEL, DRAINAGE CONDITIONS, AVAILABLE WATER, MICROCLIMATE, ETC.
- EXISTING TREES TO REMAIN ARE CURRENTLY AT THE 5 YEAR SIZE, THEIR PROJECTED GROWTH TO MATURITY HAS BEEN INCLUDED IN THESE CALCULATIONS.

TREE CANOPY SITE COVERAGE

CONDITION	CANOPY COVERAGE (SQ. FT.)	PERCENTAGE OF SITE
EXISTING PRE-CONDITION	3,303	7.7%
DAY ONE	501	1.2%
5 YEAR GROWTH PROJECTION	2,347	5.4%
10 YEAR GROWTH PROJECTION	5,837	13.5%
AT TREE MATURITY	10,910	25.3%

NOTE: TOTAL LOT SIZE = 43,137 SF

TREE CANOPY SYMBOLOGY



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Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

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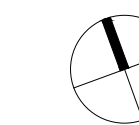
20-015

Description

FUTURE TREE CANOPY PLAN

Scale

As indicated





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EXISTING ALTERNATIVE TRANSPORTATION IMPROVEMENTS WITHIN PHASE I AND II OF THE VILLAGE AT SAN ANTONIO

PLAN IS NOT TO SCALE

EXISTING PHASE I AND II PLAN KEY

- BIKE STORAGE FOR SAFE & SECURE STORAGE OF BICYCLES IN BUILDING GARAGE (CLASS 1 BICYCLE PARKING)
- CLASS 1 BICYCLE PARKING
- CLASS 2 BICYCLE PARKING
- SHOWER FACILITIES
- BIKE ORIENTED RETAIL WITH ACCESS TO PUBLIC BIKE REPAIR FACILITIES
- "SLOW DOWN" 15 MPH SPEED LIMIT SIGN
- SUPER SHARROW
- EXISTING BIKE LANE
- FLASHING PEDESTRIAN BOT-DOTS WITH PUSH BUTTON ACTIVATOR
- VALLEY TRANSPORTATION AUTHORITY [VTA] BUS STOP
- REDUCED SPEED TABLE WITH ENHANCED PAVING

BIKE PARKING CALCULATIONS

PHASE I-II

BIKE PARKING REQUIRED = 128
BIKE PARKING PROVIDED = 335

EXCESS BIKE PARKING = 207

Seal/Signature



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THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

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20-015

Description

ALTERNATIVE TRANSPORTATION PLAN

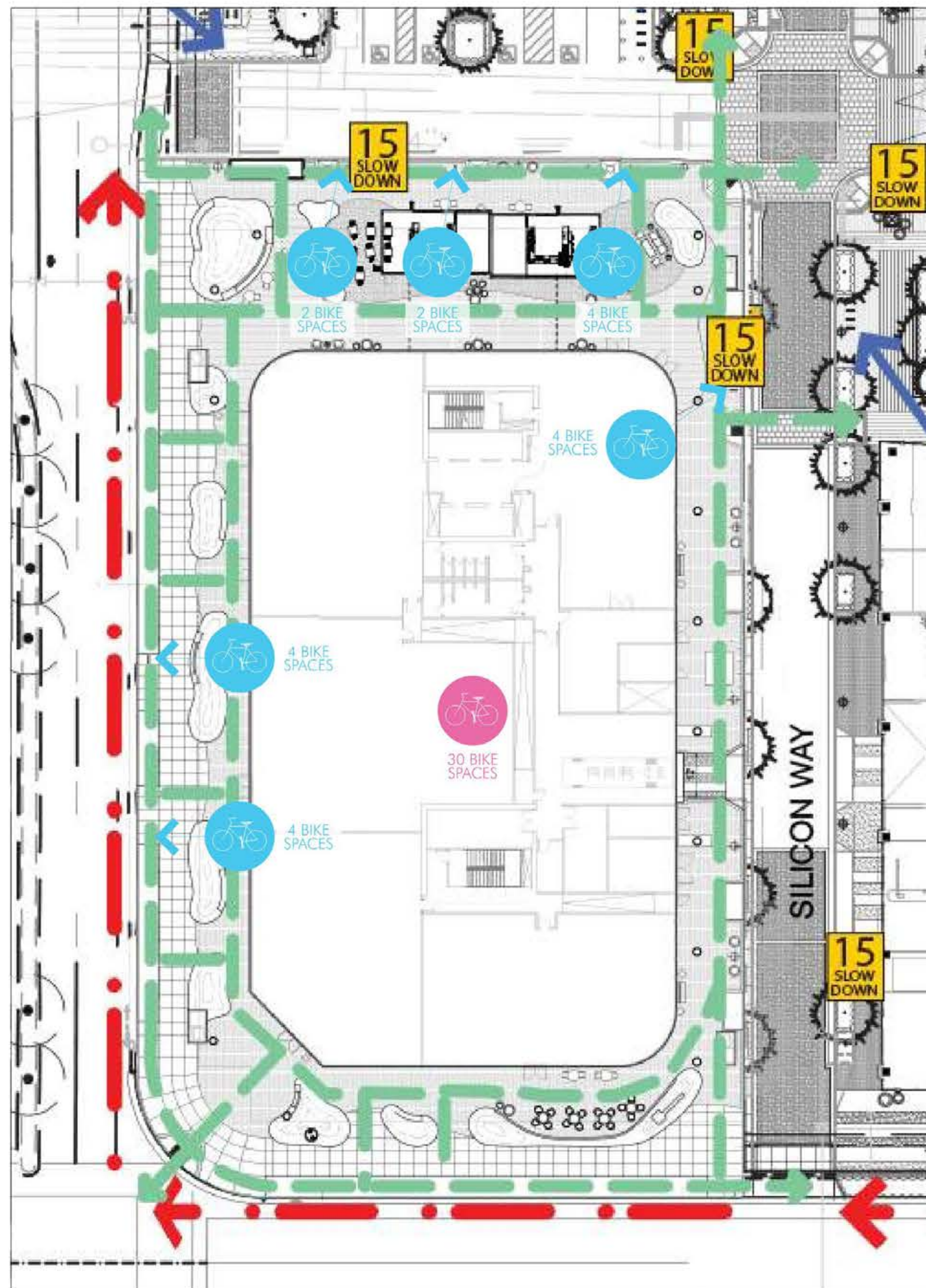
Scale

As indicated

L3.01

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PHASE III ENLARGEMENT PLAN - PROPOSED IMPROVEMENTS

SCALE 1" = 20'-0"

PHASE III ENLARGEMENT PLAN PROPOSED IMPROVEMENTS KEY

-  CLASS 1 BIKE STORAGE FOR SAFE & SECURE STORAGE OF BICYCLES IN BUILDING GARAGE (TYPE I BICYCLE PARKING)
-  CLASS 2 BICYCLE PARKING
-  "SLOW DOWN" 15 MPH SPEED LIMIT SIGN
-  EXISTING BIKE LANE
-  PEDESTRIAN CIRCULATION

PHASE III BIKE PARKING CALCULATIONS

PROVIDED BIKE PARKING (PHASE I-II) = 335
 BIKE PARKING REQUIRED (PHASE III): 16 BIKE RACKS & 16 PERMANENT LOCKERS
 30 PERMANENT LOCKERS PROVIDED.
 20 BIKE RACKS PROVIDED
 (SEE PLANS AND KEYS FOR SYMBOL & LOCATIONS)
 TOTAL BIKE PARKING (PHASE III) = 50 BIKE RACKS & LOCKERS

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 SAN FRANCISCO, CA 94104
 CONTACT: DAVID GEISER
 415-693-9000

THE VILLAGE AT SAN ANTONIO CENTER - PHASE 3
 365 SAN ANTONIO ROAD
 MOUNTAIN VIEW, CA 94040

225 Broadway
 Suite 100
 San Diego, CA 92101
 Tel: 619.557.2500
 Fax: 619.557.2520



Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature



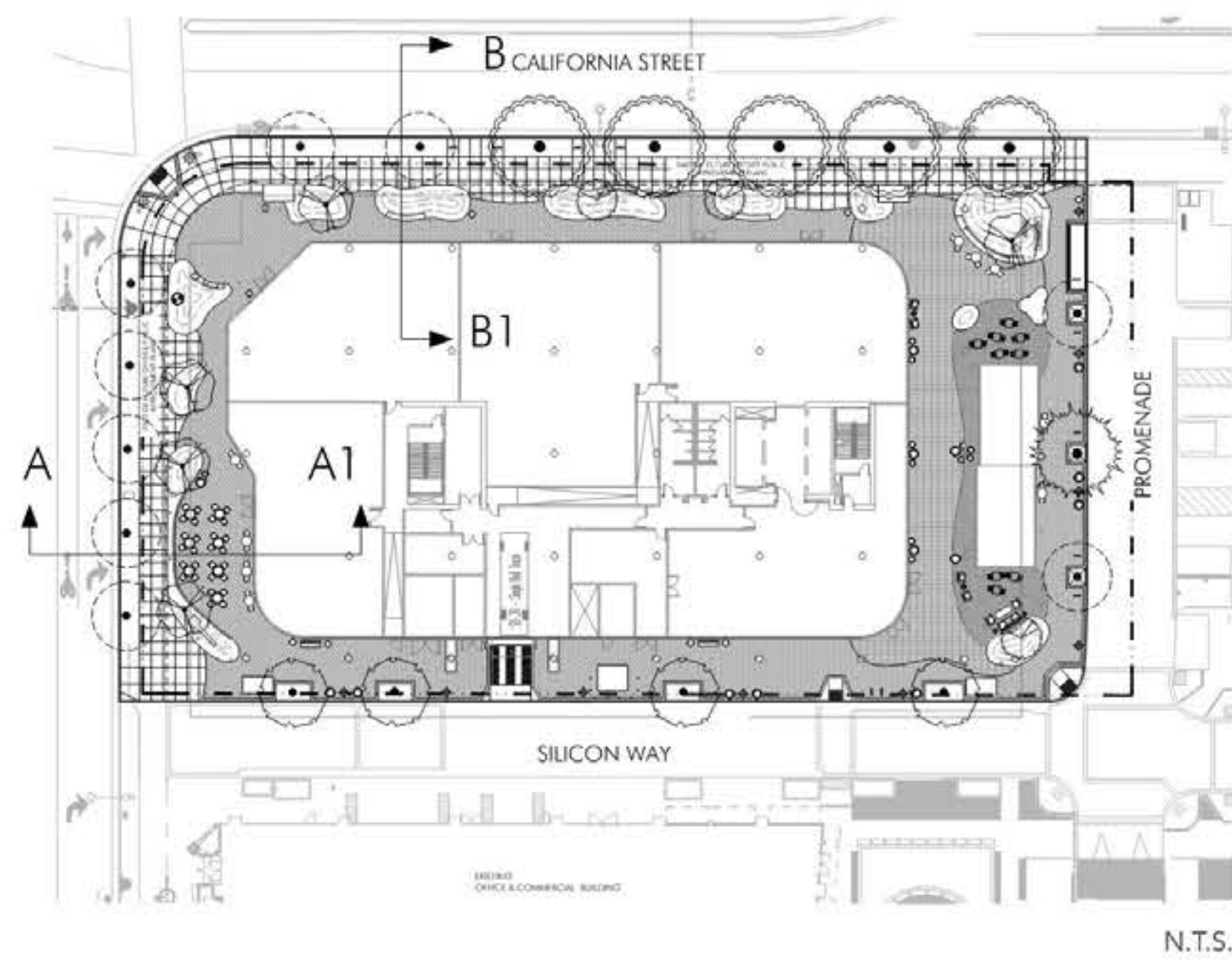
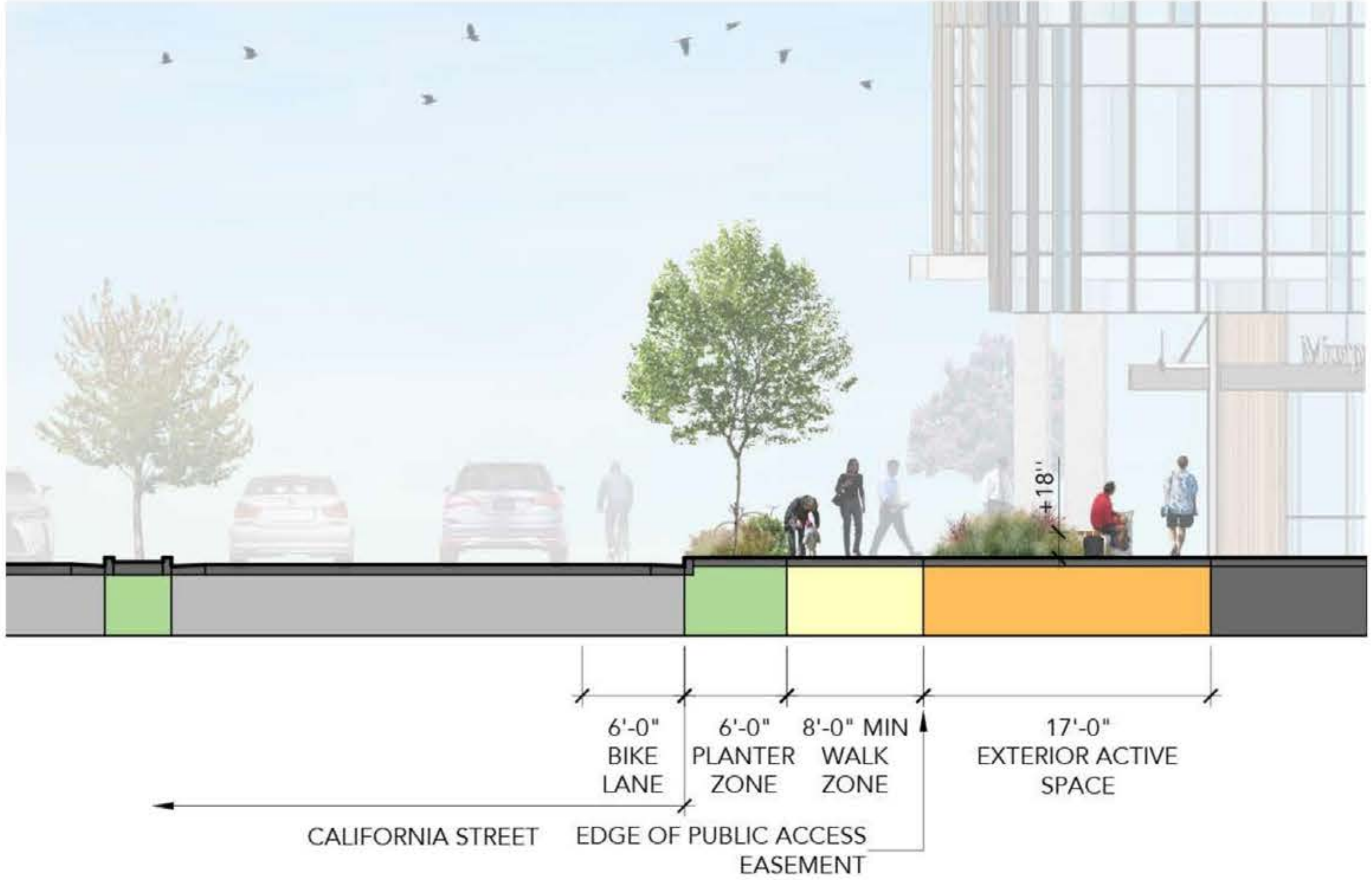
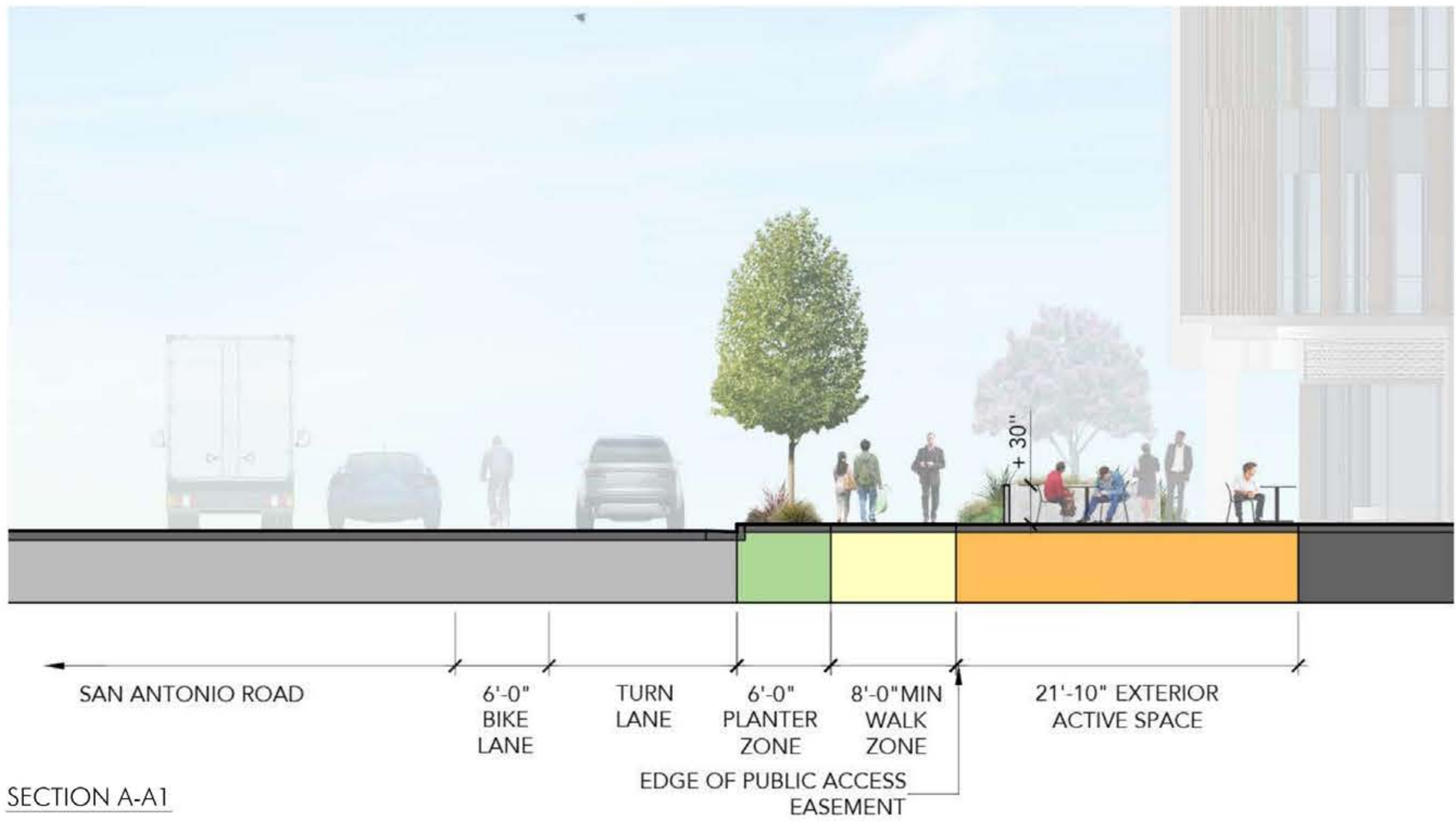
Project Name
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Project Number
 20-015

Description
 ALTERNATIVE TRANSPORTATION PLAN

Scale
 As indicated





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07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		

Seal/Signature

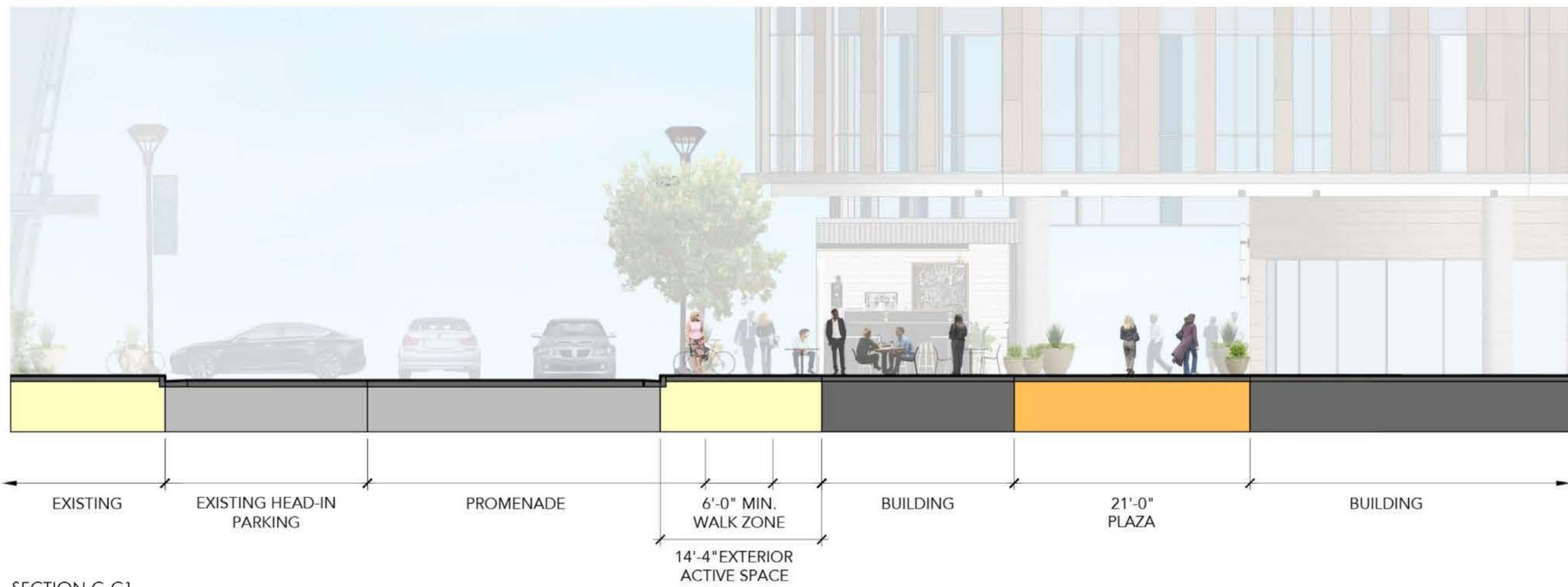


Project Name
 THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

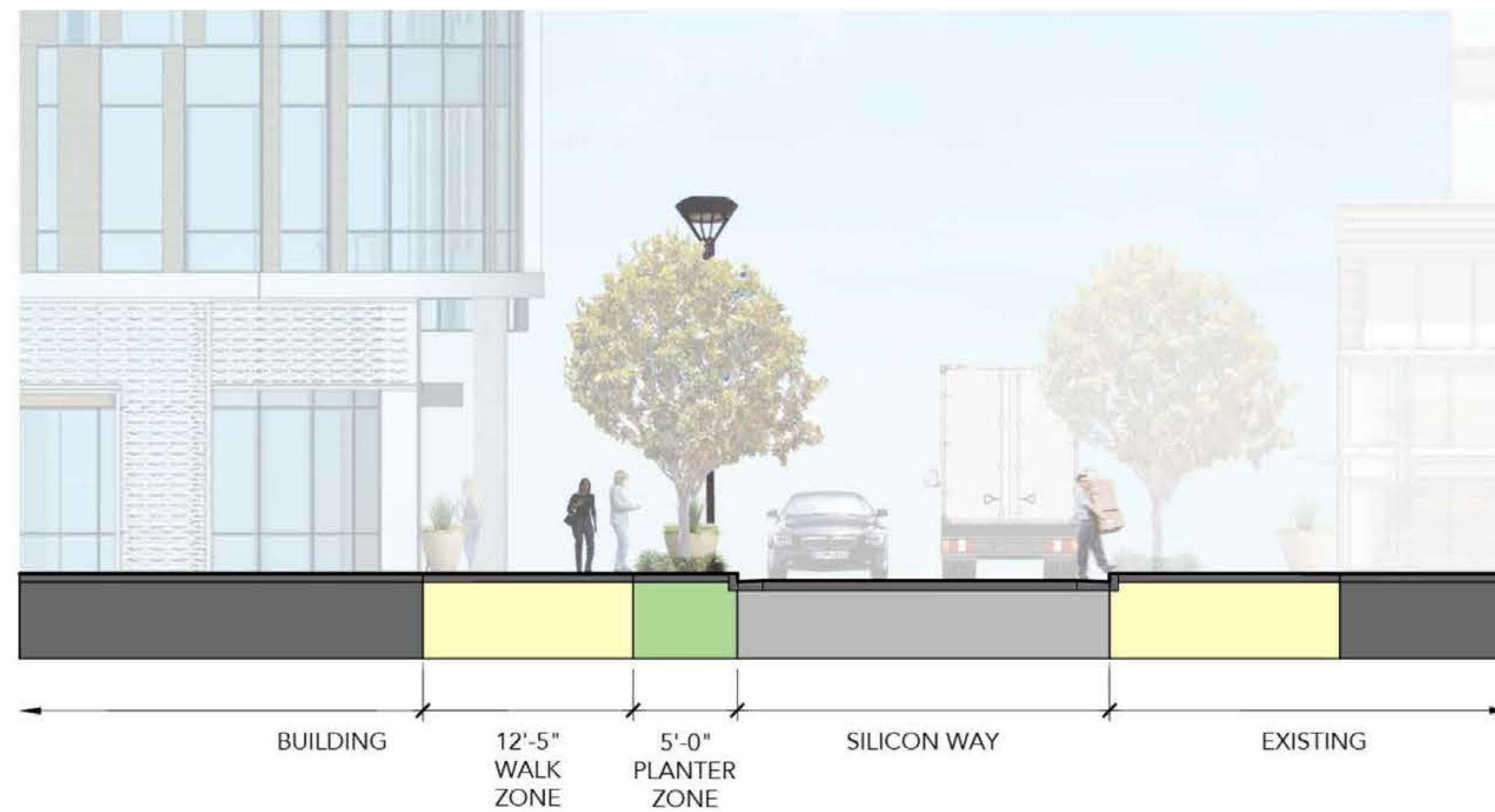
Project Number
 20-015

Description
 LANDSCAPE SECTIONS

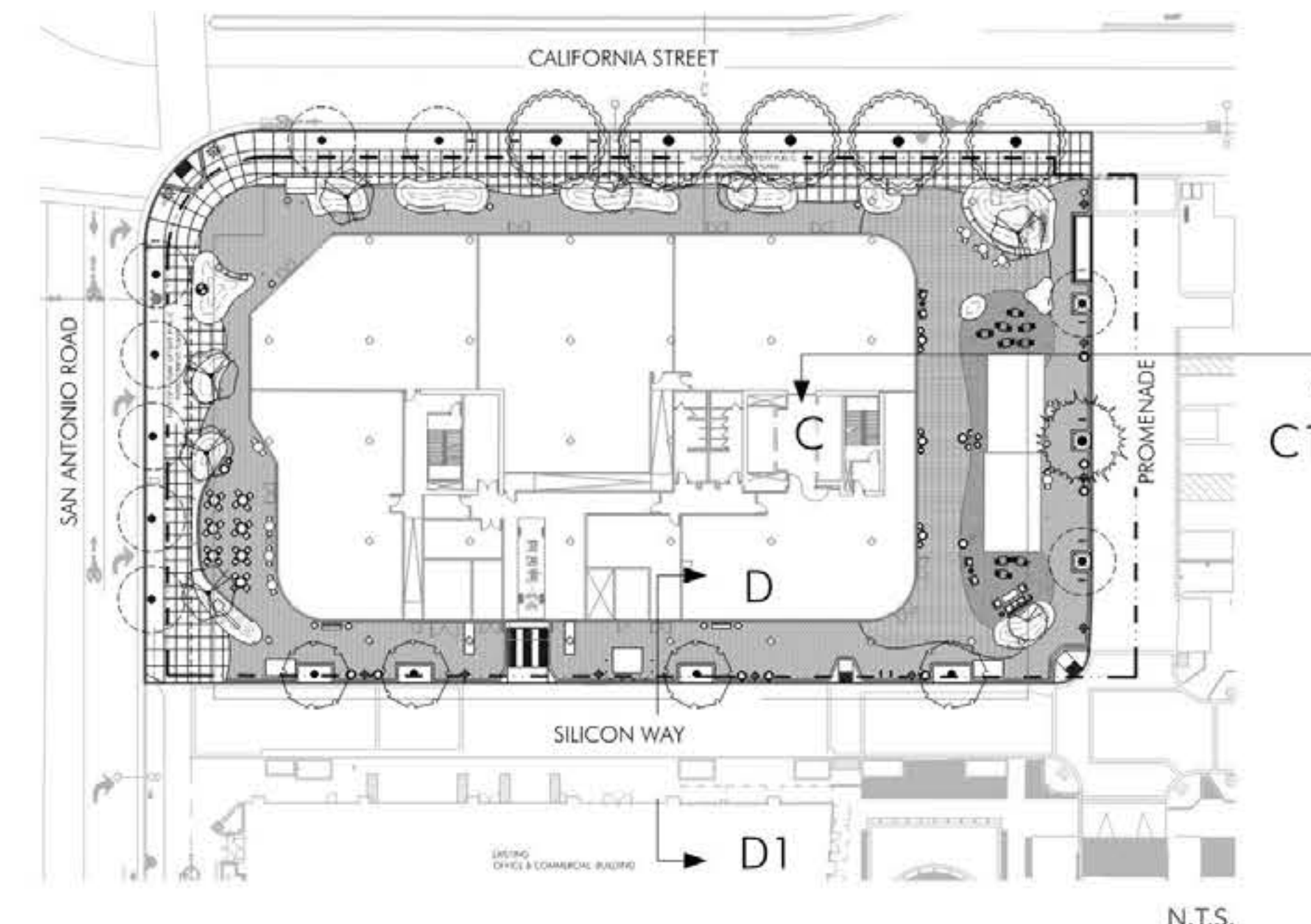
Scale
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SECTION C-C1




SECTION D-D1



Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		

Seal/Signature

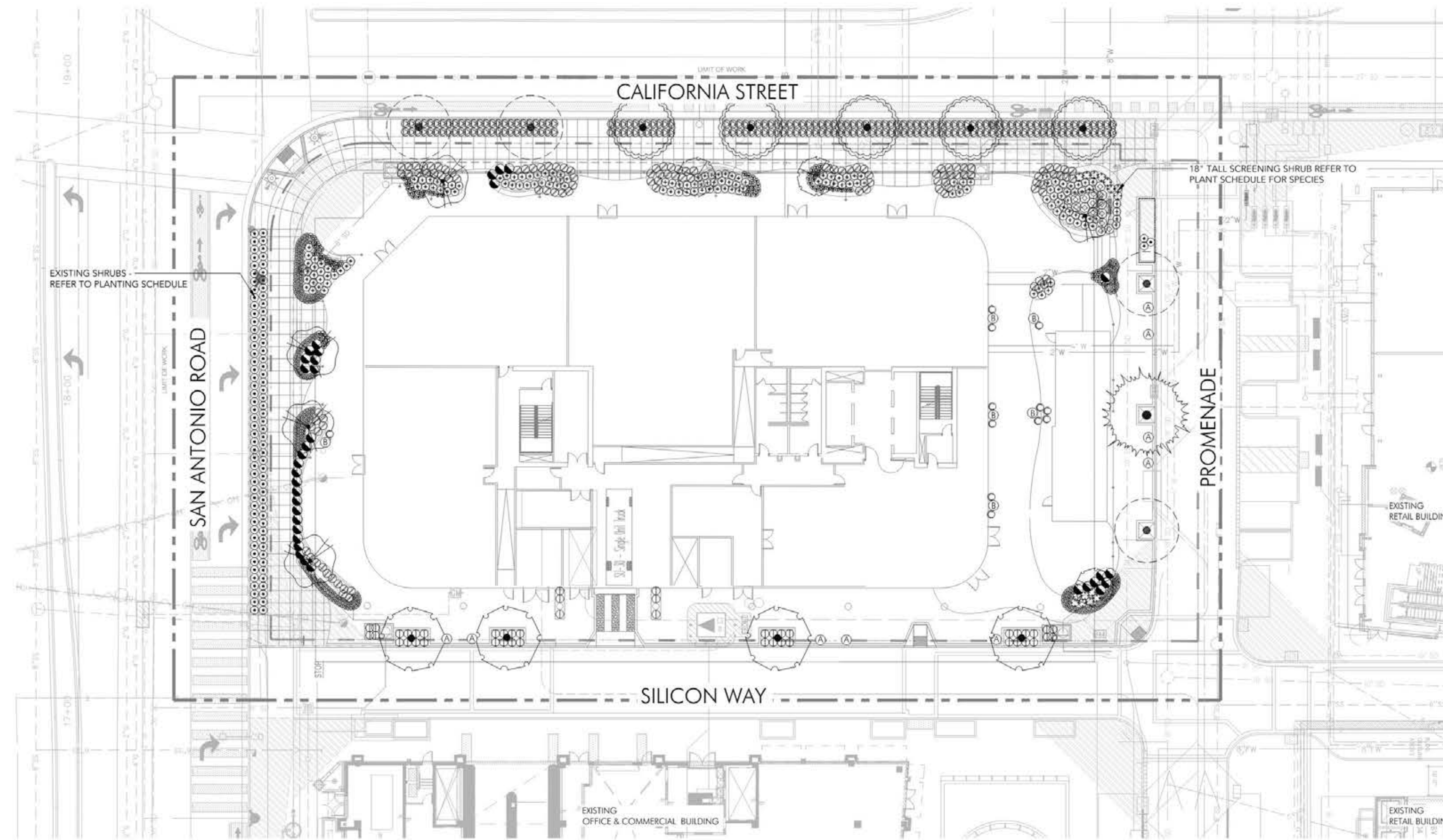


Project Name
THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number
20-015

Description
LANDSCAPE SECTIONS

Scale
As indicated



PLANT SCHEDULE GROUND LEVEL

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	CALIFORNIA NATIVE	
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	36" BOX	M	5	NON-CALIFORNIA NATIVE	
	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	36" BOX	L	1	NON-CALIFORNIA NATIVE	
	CERCIS CANADENSIS	EASTERN REDBUD	36" BOX	M	5	NON-CALIFORNIA NATIVE	
	EXISTING TREE	EXISTING	EXISTING		4	TO BE PROTECTED IN PLACE - SEE EXISTING TREE PLAN	
	GARRYA ELLIPTICA 'EVIE'	EVIE COAST SILKTASSEL	24" BOX		3	CALIFORNIA NATIVE	
	MAGNOLIA GRANDIFLORA 'MAJESTIC BEAUTY' TM	SOUTHERN MAGNOLIA	36" BOX	M	4	NON-CALIFORNIA NATIVE	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING	QTY	CALIFORNIA NATIVE
	ARTEMISIA CALIFORNICA 'MONTARA'	MONTARA CALIFORNIA SAGEBRUSH	5 GAL	L	30" o.c.	15	CALIFORNIA NATIVE
	CAREX PANSA	SANDDUNE SEDGE	1 GAL	M	12" o.c.	376	CALIFORNIA NATIVE
	DIETES GRANDIFLORA 'VARIEGATA'	STRIPED FORTNIGHT LILY	5 GAL	M	30" o.c.	46	NON-CALIFORNIA NATIVE
	EXISTING SHRUB	EXISTING	EXISTING		30" o.c.	100	TO BE PROTECTED IN PLACE
	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL	M	18" o.c.	92	CALIFORNIA NATIVE
	MAHONIA REPENS	CREEPING MAHONIA	5 GAL	L	30" o.c.	106	CALIFORNIA NATIVE
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	M	30" o.c.	150	CALIFORNIA NATIVE
	RHAMNUS CALIFORNICA 'LITTLE SUR'	LITTLE SUR COFFEEBERRY	5 GAL	L	36" o.c.	35	CALIFORNIA NATIVE
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	5 GAL	L	30" o.c.	196	NON-CALIFORNIA NATIVE
	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	M	36" o.c.	14	CALIFORNIA NATIVE

POTTING SCHEDULE

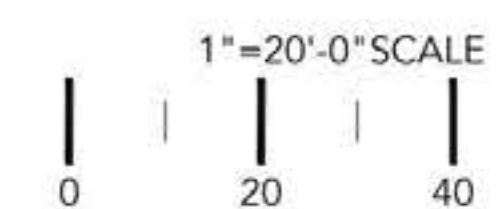
SYMBOL	QTY	DESCRIPTION & FINISH	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY
A	09	DUNE BY OLD TOWN FIBERGLASS LARGE SIZE - CITRUS02, OCHRE03, LIME04, TEAL05	CHONDRPETALUM TECTORUM SEDUM RUPESTRE 'LEMON CORAL'	CAPE RUSH N.C.N.	15 GAL 1 GAL	L L	1 5
B	6	DUNE BY OLD TOWN FIBERGLASS MEDIUM SIZE - CITRUS02, OCHRE03, LIME 04, TEAL05	PHILODENDRON 'XANADU' SANSEVIERIA ZEYLANCA ASPIDITRA ELIATOR	WINTERBORN PHILO FAN SNAKE PLANT CAST IRON PLANT	5 GAL 1 GAL 1 GAL	M M M	1 2 1
C	12	DUNE BY OLD TOWN FIBERGLASS SMALL SIZE - CITRUS02, OCHRE03, LIME04, TEAL05	BEGONIA RICHMONDENSIS JUNCUS PATENS	RICHMOND BEGONIA COMMON RUSH	1 GAL 1 GAL	M M	2 1

PLANTING NOTES

- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH FOREST MULCH TO A MINIMUM DEPTH OF 3 INCHES.
- PLANTS SHALL BE GROUPED BY HYDROZONES (SIMILAR WATER NEEDS, SUN EXPOSURE, SLOPE, AND SOIL).

MAINTENANCE NOTE

- ALL LANDSCAPING REQUIRED TO BE INSTALLED AS PART OF DEVELOPMENT PROJECT SHALL BE MAINTAINED FOR THE LIFE OF THE PROJECT BY THE OWNER. MAINTENANCE OF LANDSCAPING SHALL CONSIST OF REGULAR WATERING, PRUNING, FERTILIZING, CLEARING OF DEBRIS AND WEEDS, THE REMOVAL AND REPLACEMENT OF DEAD PLANTS, AND THE REPAIR AND REPLACEMENT OF IRRIGATION SYSTEMS AND INTEGRATED ARCHITECTURAL FEATURES.



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07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number

20-015

Description

PLANTING PLAN - LEVEL 1

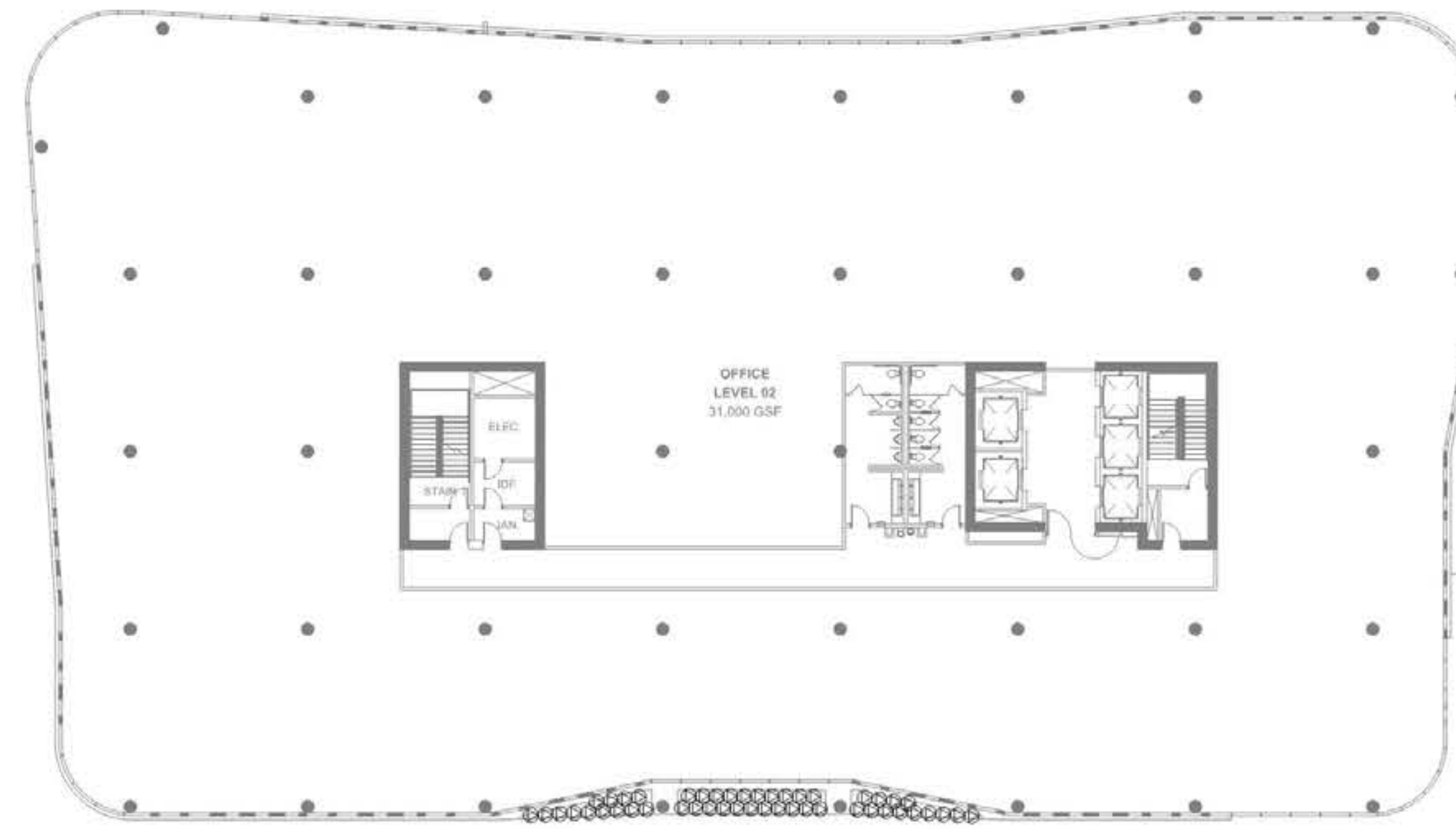
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As Indicated





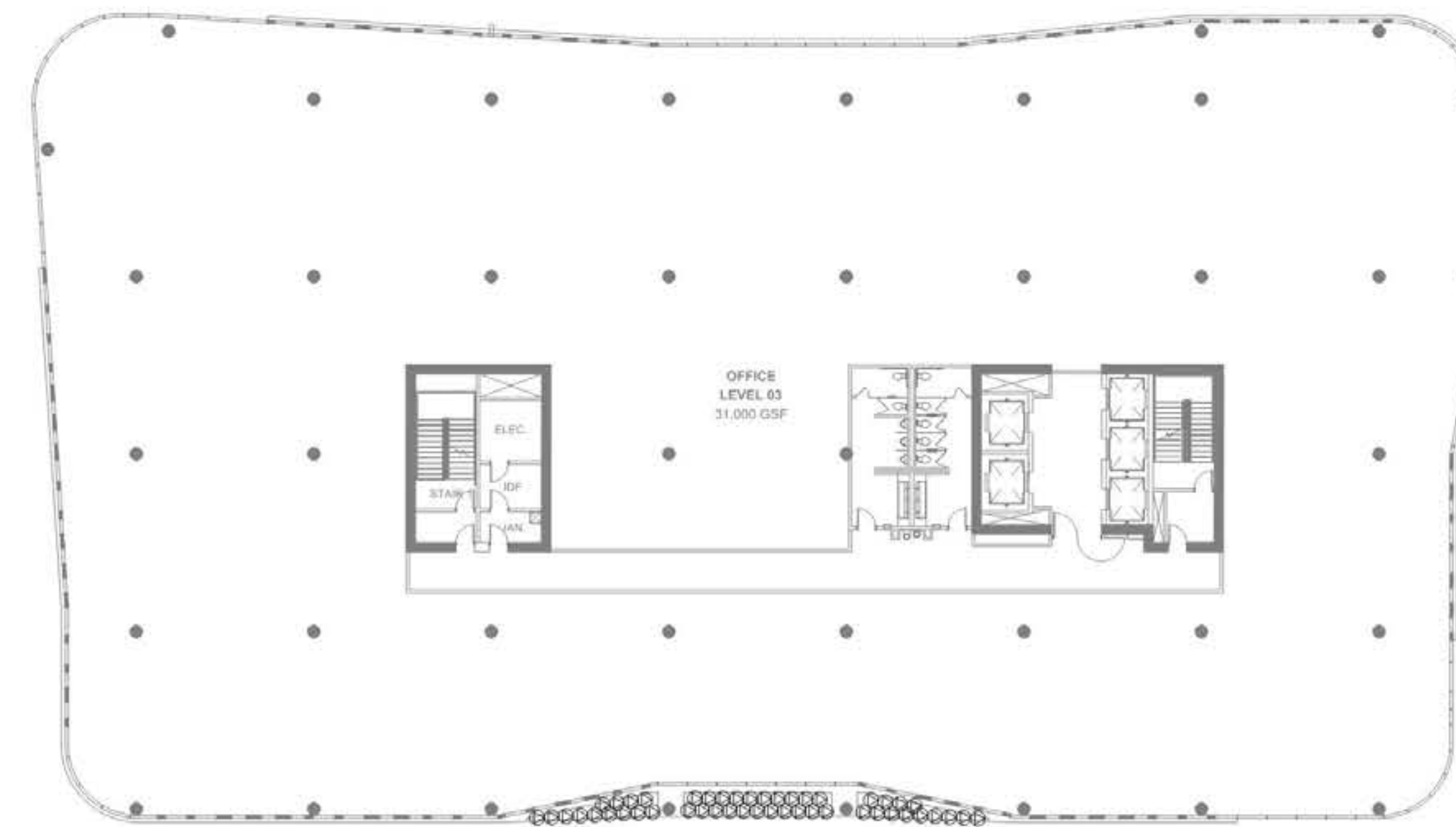
Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
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07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		



LEVEL 2

PLANT SCHEDULE LEVEL 2

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING	QTY	CALIFORNIA NATIVE
⊙	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	5 GAL	L	30" o.c.	47	NON-CALIFORNIA NATIVE



LEVEL 3

PLANT SCHEDULE LEVEL 3

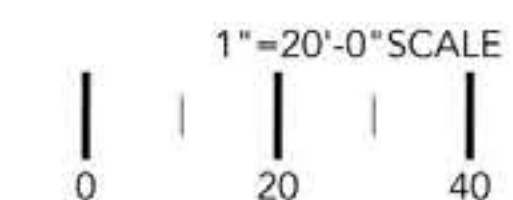
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING	QTY	CALIFORNIA NATIVE
⊙	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	5 GAL	L	30" o.c.	47	NON-CALIFORNIA NATIVE

PLANTING NOTES

- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH FOREST MULCH TO A MINIMUM DEPTH OF 3 INCHES.
- PLANTS SHALL BE GROUPED BY HYDROZONES (SIMILAR WATER NEEDS, SUN EXPOSURE, SLOPE, AND SOIL).

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Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number

20-015

Description

PLANTING PLAN - LEVEL 2 & 3

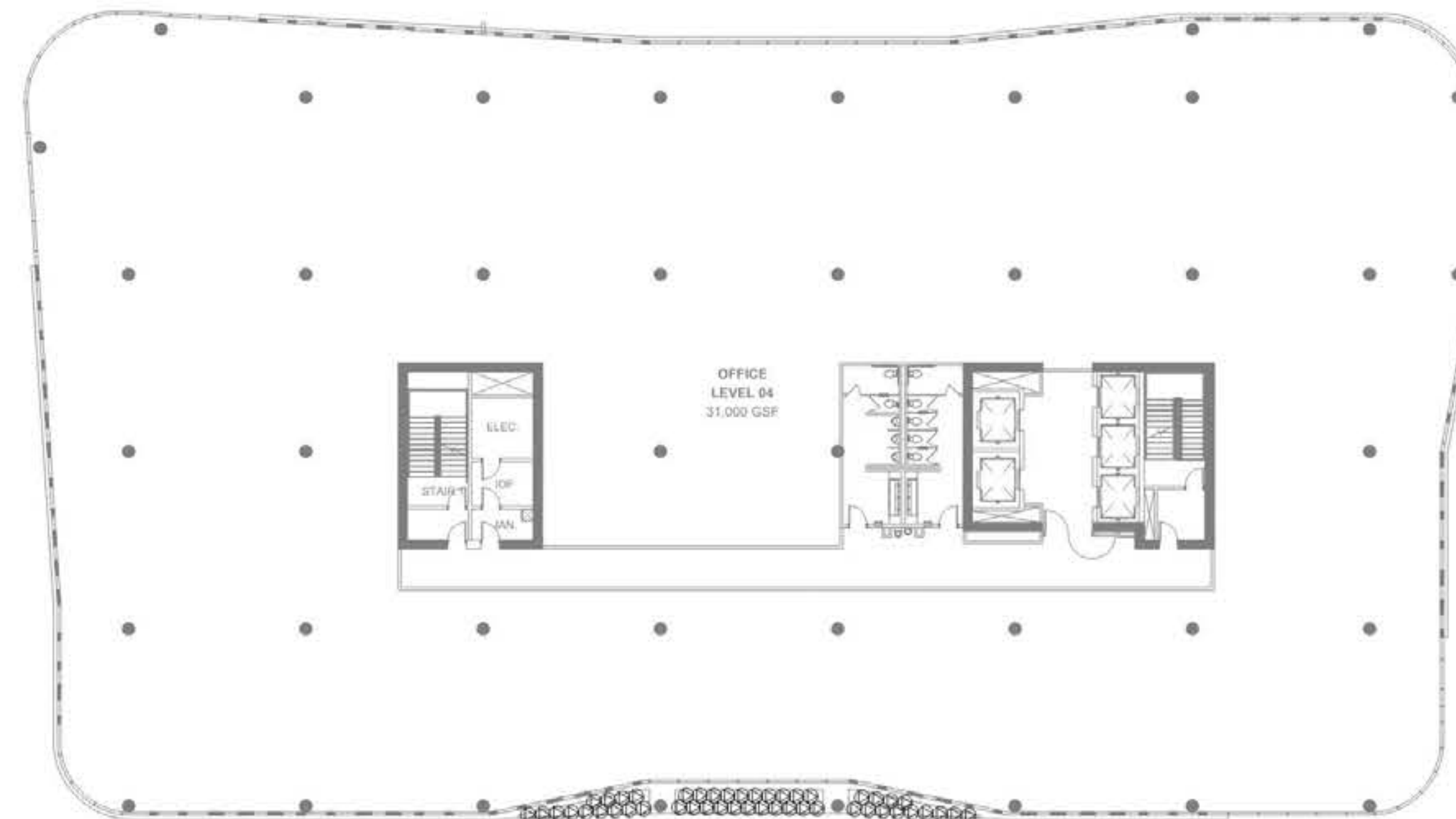
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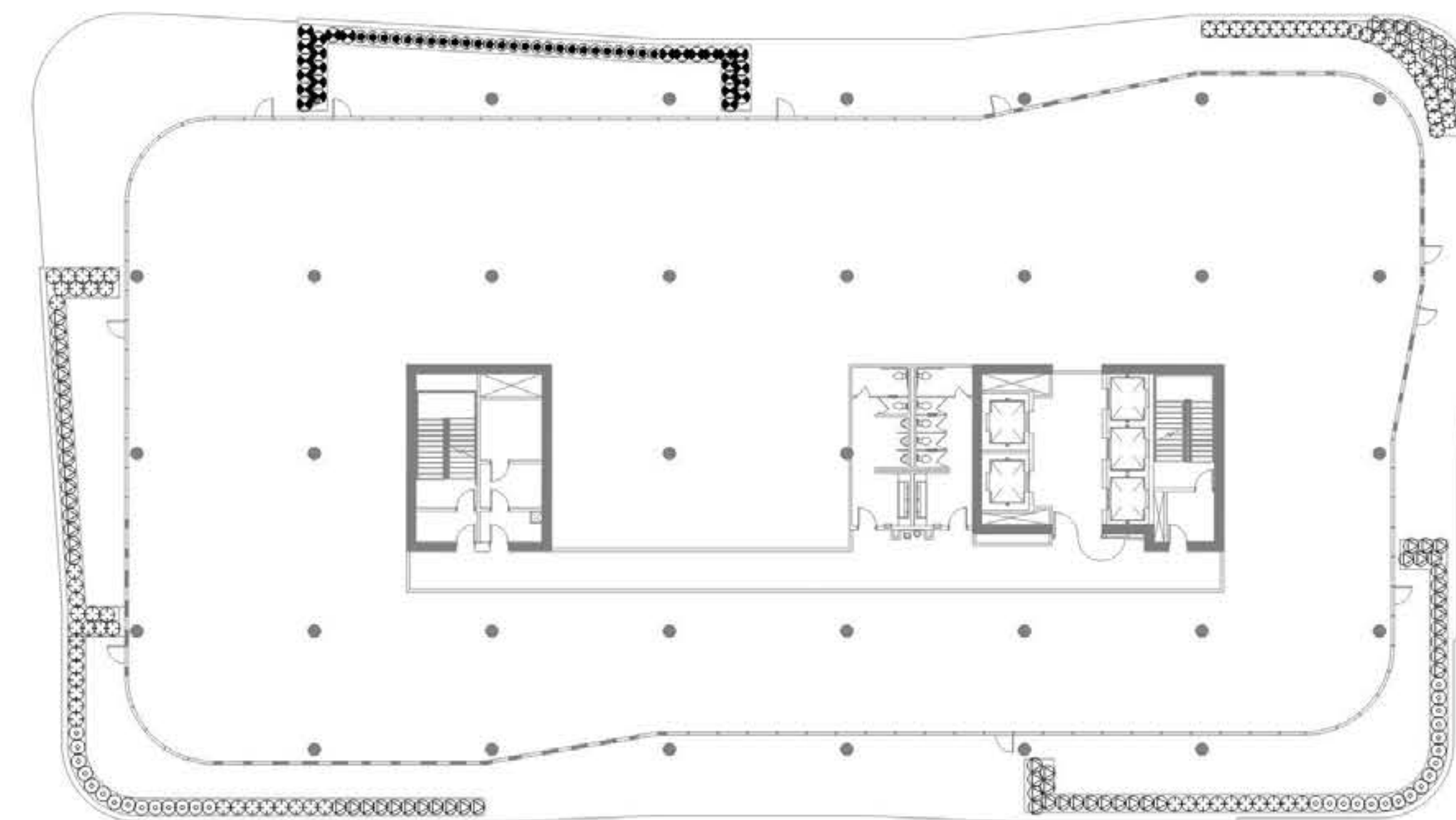
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LEVEL 4



LEVEL 5

PLANT SCHEDULE LEVEL 4

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING	QTY	CALIFORNIA NATIVE
⊙	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	5 GAL	L	30" o.c.	47	NON-CALIFORNIA NATIVE

PLANT SCHEDULE LEVEL 5

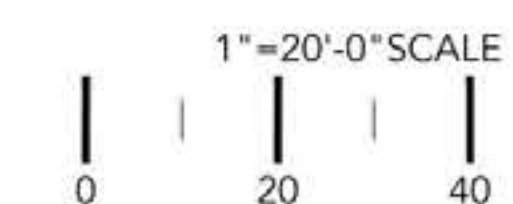
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING	QTY	CALIFORNIA NATIVE
⊙	GELSEMIUM SEMPERVIRENS	JESSAMINE ESPALIER	5 GAL	L	30" o.c.	31	NON-CALIFORNIA NATIVE
⊕	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	5 GAL	L	30" o.c.	73	NON-CALIFORNIA NATIVE
⊗	OPHIPOGON JABURAN	CLUMPING LILYTURF	1 GAL	M	30" o.c.	26	NON-CALIFORNIA NATIVE
⊙	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	5 GAL	L	30" o.c.	80	NON-CALIFORNIA NATIVE
⊙	VINCA MAJOR	LARGE PERIWINKLE	1 GAL	M	24" o.c.	27	NON-CALIFORNIA NATIVE

PLANTING NOTES

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- PLANTS SHALL BE GROUPED BY HYDROZONES (SIMILAR WATER NEEDS, SUN EXPOSURE, SLOPE, AND SOIL).

MAINTENANCE NOTE

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10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number

20-015

Description

PLANTING PLAN - LEVEL 6 & 7

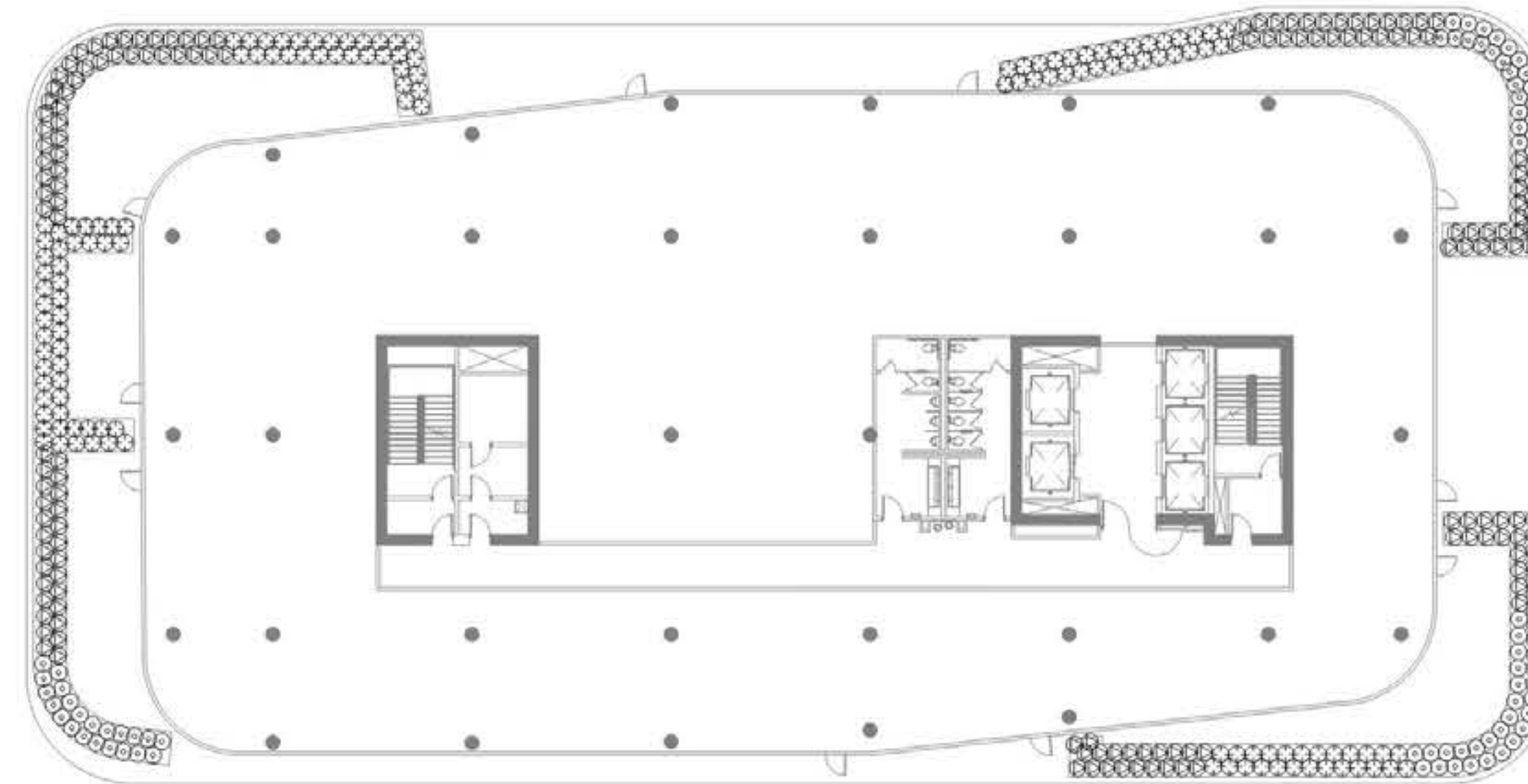
Scale

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L5.03

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LEVEL 7

PLANT SCHEDULE LEVEL 7

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING	QTY	CALIFORNIA NATIVE
⊙	GELSEMIUM SEMPERVIRENS	JESSAMINE ESPALIER	5 GAL	L	30" o.c.	75	NON-CALIFORNIA NATIVE
⊕	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	5 GAL	L	30" o.c.	131	NON-CALIFORNIA NATIVE
△	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	5 GAL	L	30" o.c.	155	NON-CALIFORNIA NATIVE

PLANTING NOTES

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10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number

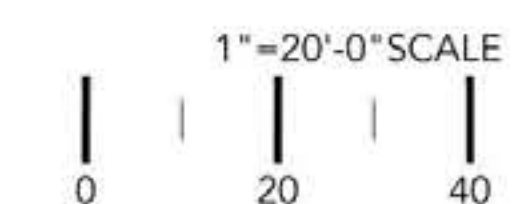
20-015

Description

PLANTING PLAN - LEVEL 6 & 7

Scale

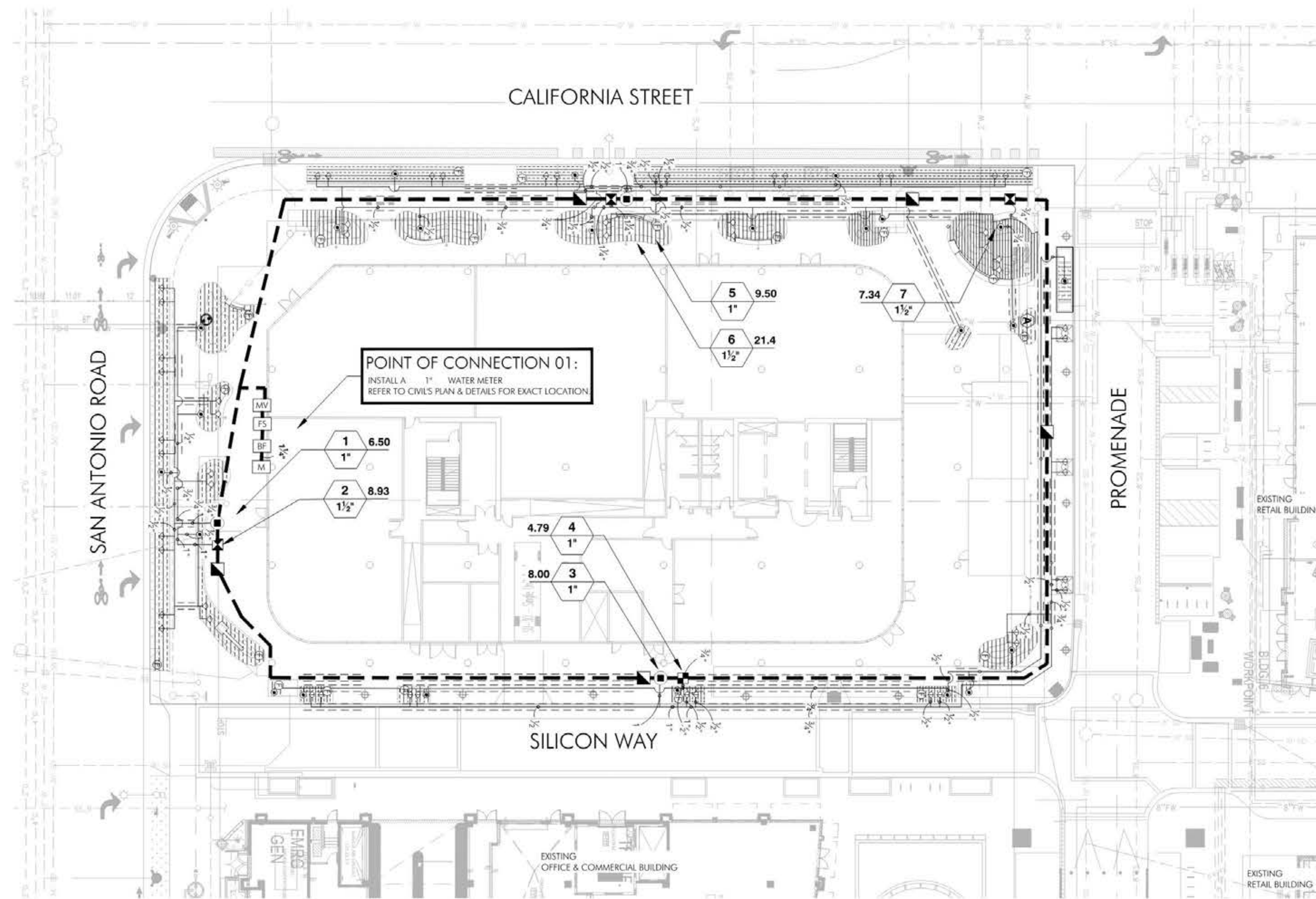
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L5.04

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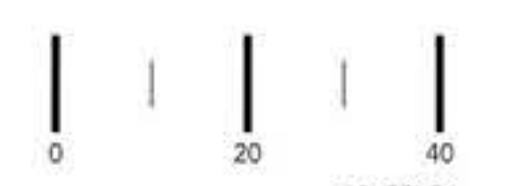


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
◇	RAIN BIRD RWS-M-B-C-P 1401 MINI ROOT WATERING SYSTEM WITH 4.0" DIAMETER X 18.0" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1402 0.5 GPM BUBBLER. WITH CHECK VALVE AND PURPLE GRATE.	[Hatched Box]	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-09-12-NP XFS NON POTABLE SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 12" O.C. LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	[BF]	FEBCO 825YA 1" REDUCED PRESSURE BACKFLOW PREVENTER.
◆	RAIN BIRD RWS-M-B-C-P 1402 MINI ROOT WATERING SYSTEM WITH 4.0" DIAMETER X 18.0" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1402 0.5 GPM BUBBLER. WITH CHECK VALVE AND PURPLE GRATE.	[Dashed Box]	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-09-18-NP XFS NON POTABLE SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 18" O.C. LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	[A]	HUNTER ICA6-HU2-18/SP/SOLSE/IFS-100C MODULAR CONTROLLER, 18 STATIONS, OUTDOOR MODEL, V.I.T. TOP ENTRY STAINLESS STEEL PEDESTAL. SOLAR SYNC, NO MODULE REQUIRED. COMMERCIAL USE. CONTROLLER ASSEMBLY AVAILABLE FROM I.T.S. CONTACT DARYL GREEN 949.584.7311
⊙	RAIN BIRD XCZ-100-PRB-R WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. PURPLE CAP DESIGNATES FOR RECLAIMED WATER, NON-POTABLE USE. 1" PESBR VALVE AND 1" PRESSURE REGULATING 40PSI BASKET FILTER. 0.3GPM TO 20GPM.	[Dotted Box]	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-09-18-NP XFS NON POTABLE SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 18" O.C. LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	[FS]	CREATIVE SENSOR TECHNOLOGY PSI-T10-001 1" (25MM) PVC TEE TYPE FLOW SENSOR W/SOCKET ENDS, CUSTOM MOUNTING TEE AND ULTRA-LIGHTWEIGHT IMPELLER ENHANCES LOW FLOW MEASUREMENT. 2 WIRE DIGITAL OUTPUT COMPATIBLE WITH IRRIGATION CONTROLLERS. FLOW RANGE: .86-52 GPM.
⊠	RAIN BIRD XCZ-100-PRB-R WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. PURPLE CAP DESIGNATES FOR RECLAIMED WATER, NON-POTABLE USE. 1" PESBR VALVE AND 1" PRESSURE REGULATING 40PSI BASKET FILTER. 0.3GPM TO 20GPM.	[Solid Box]	RAIN BIRD PESBR 1", 1-1/2", AND 2" DURABLE CHLORINE-RESISTANT VALVES FOR RECLAIMED WATER APPLICATIONS. WITH SCRUBBER MECHANISM TECHNOLOGY, AND PURPLE FLOW CONTROL HANDLE.	[M]	WATER METER 1"
⊞	RAIN BIRD XCZ-150-LCDR HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB-R SCRUBBER STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC NON-POTABLE PURPLE RUBBER COVER, AND 2-PIECE BODY.	[Cross-hatched Box]	RAIN BIRD 33-DNP 3/4" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC NON-POTABLE PURPLE RUBBER COVER, AND 2-PIECE BODY.	[Line]	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 PURPLE PVC PIPE FOR RECYCLED WATER USE
⊕	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	[X]	MATCO-NORCA 770T PVC WHITE BALL VALVE FOR SCH 40 AND SCH 80 PIPE, THREADED ENDS COMPLY WITH ASTM F1498, WITH "T" HANDLE, SAME SIZE AS MAINLINE. 1/2" - 4".	[Dashed Line]	IRRIGATION MAINLINE: PVC SCHEDULE 40 PURPLE PVC PIPE FOR RECYCLED WATER USE.
⊖	RAIN BIRD MDCCPCAP DRIPLINE FLUSH VALVE PURPLE CAP IN COMPRESSION FITTING COUPLER. FOR NON-POTABLE WATER USE.	[MV]	BUCKNER-SUPERIOR 3100-RW 1-1/2" NORMALLY OPEN BRASS MASTER VALVE THAT PROVIDES DIRTY WATER PROTECTION. AVAILABLE IN 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2" AND 3". WITH PURPLE CROSS HANDLE FOR RECLAIMED WATER USE.	[Valve Callout]	PIPE SLEEVE: PVC SCHEDULE 40

IRRIGATION NOTES

- GENERAL IRRIGATION NOTES**
- ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARD UNIFORM BUILDING CODE.
 - THIS IRRIGATION DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHOWN WITHIN PAVED OR BUILDING AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN SHRUB AREAS WHEREVER POSSIBLE.
 - ALL POTS TO BE HAND-WATERED
 - A CROSS-CONNECTION TEST IS REQUIRED PRIOR TO RECEIVING RECYCLED WATER
- PODIUM PENETRATION NOTES**
- PODIUM PENETRATION LOCATIONS ARE APPROXIMATE AND SHALL BE PLACED PER PLUMBING PLANS.
 - CONTRACTOR TO COORDINATE MAINLINE AND CONTROL WIRE SLEEVE PENETRATION LOCATIONS FROM PARKING GARAGE BELOW TO PENETRATE UPPER DECKS AT THE APPROPRIATE LOCATIONS WITHIN PLANTER WALLS. PENETRATION LOCATIONS ON DECKS ABOVE SHALL BE IN A LOCATION THAT WILL ALLOW THE IRRIGATION SYSTEM TO OPERATE AS DESIGNED.
- IRRIGATION SYSTEM MAINTENANCE CHECKLIST**
- IRRIGATION SYSTEM CHECK TO TAKE PLACE EVERY SIX (6) MONTHS
 - ROUTINE INSPECTION TO BE COMPLETED EVERY MONTH
 - SYSTEM ADJUSTMENTS AND REPAIRS TO OCCUR AS NEEDED
 - FAILED IRRIGATION HARDWARE COMPONENTS SHALL BE REPLACED AS NEEDED WITH THE SAME OR FUNCTIONALLY EQUIVALENT COMPONENTS
 - SYSTEM SHALL ONLY OPERATE BETWEEN THE HOURS OF 8 PM AND 10 AM
- RECYCLED WATER SERVICE NOTE:**
ANY INSTALLATION FOR RECYCLED WATER IS REQUIRED TO HAVE A SPECIAL INSPECTION BY A CERTIFIED AWWA CROSS-CONNECTION SPECIALIST TO ENSURE THAT THE ON-SITE RECYCLED WATER SYSTEM WAS CONSTRUCTED PER THE APPROVED PLANS AND SPECIFICATIONS.



Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature

Project Name
THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

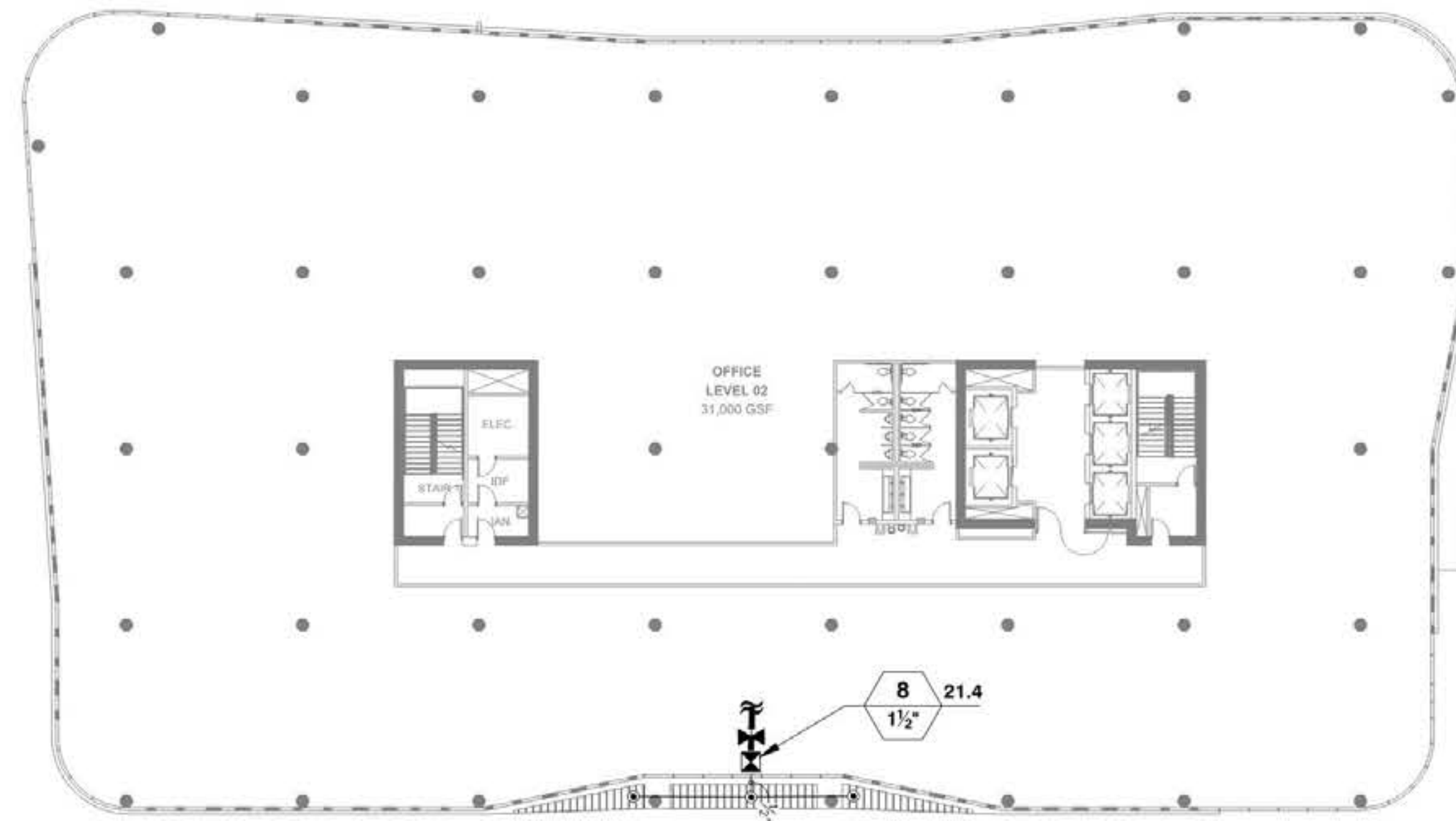
Project Number
20-015

Description
IRRIGATION PLAN - LEVEL 1

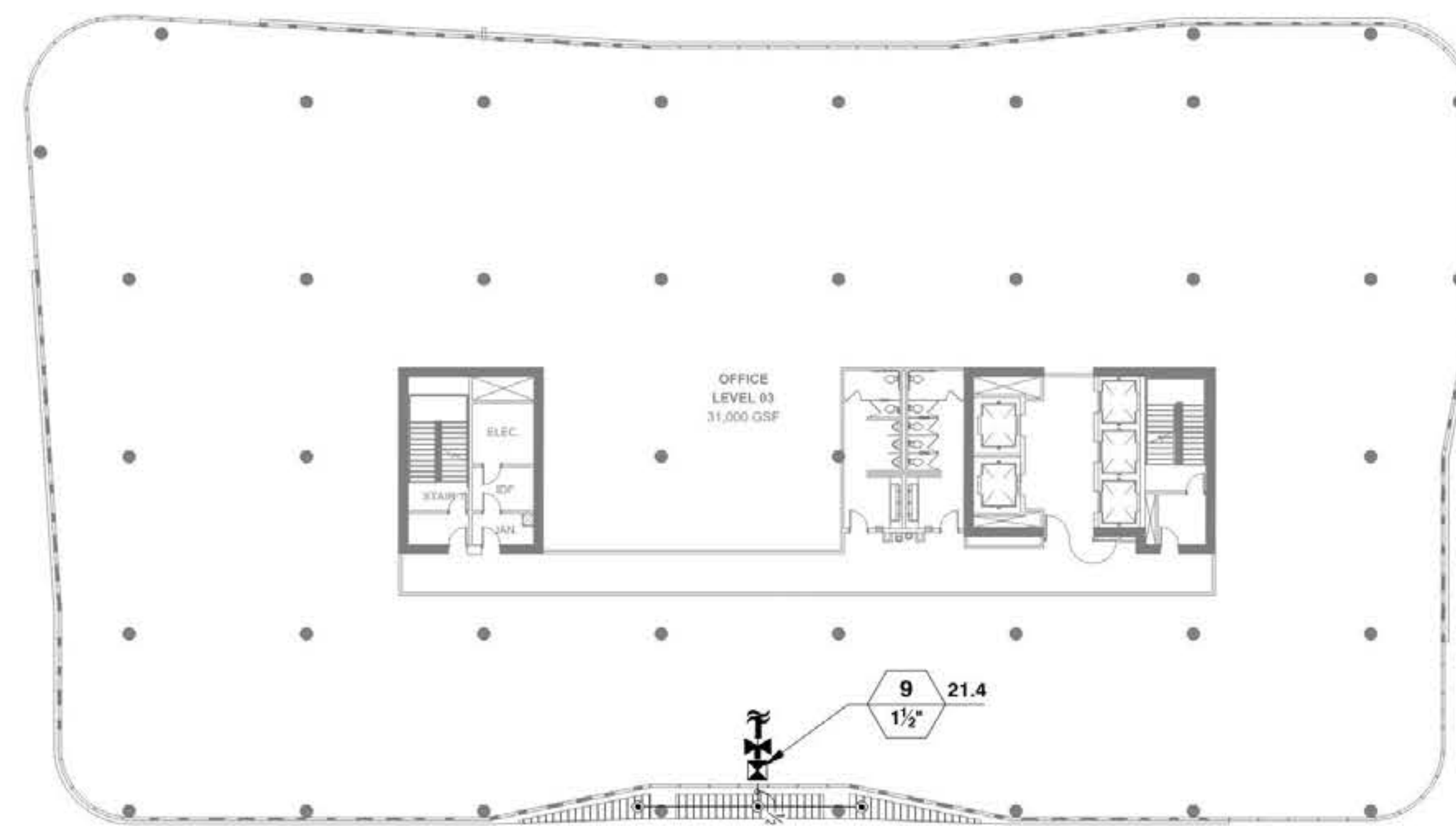
Scale
As indicated

L6.01

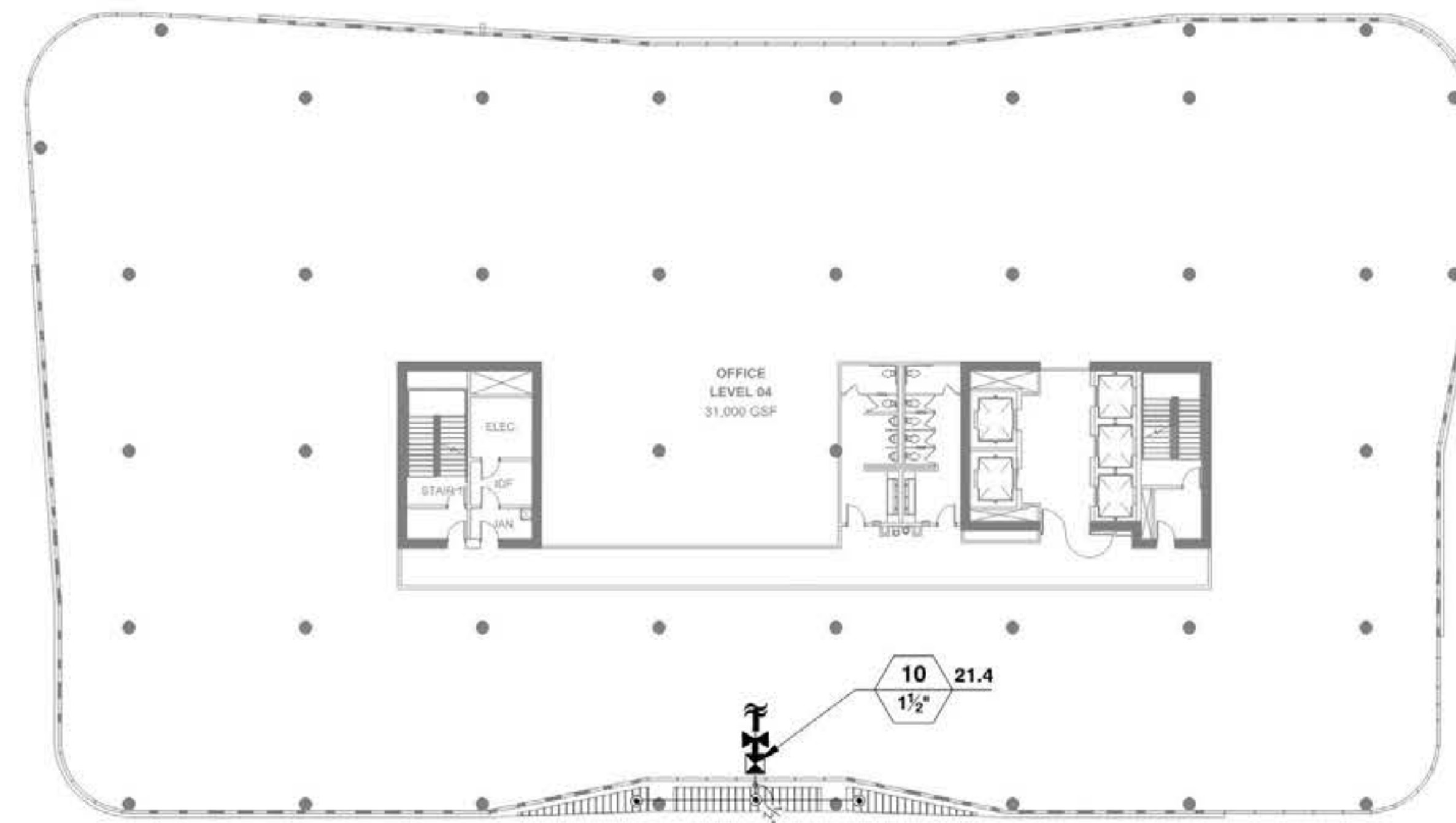
© 2020 Gensler



LEVEL 2



LEVEL 3



LEVEL 4

GENERAL IRRIGATION NOTES

- A. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARD UNIFORM BUILDING CODE.
- B. THIS IRRIGATION DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHOWN WITHIN PAVED OR BUILDING AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN SHRUB AREAS WHEREVER POSSIBLE.
- C. ALL POTS TO BE HAND-WATERED
- D. A CROSS-CONNECTION TEST IS REQUIRED PRIOR TO RECEIVING RECYCLED WATER
- E. REFER TO SHEET L6.03 FOR IRRIGATION SCHEDULE

PODIUM PENETRATION NOTES

- A. PODIUM PENETRATION LOCATIONS ARE APPROXIMATE AND SHALL BE PLACED PER PLUMBING PLANS.
- B. CONTRACTOR TO COORDINATE MAINLINE AND CONTROL WIRE SLEEVE PENETRATION LOCATIONS FROM PARKING GARAGE BELOW TO PENETRATE UPPER DECKS AT THE APPROPRIATE LOCATIONS WITHIN PLANTER WALLS. PENETRATION LOCATIONS ON DECKS ABOVE SHALL BE IN A LOCATION THAT WILL ALLOW THE IRRIGATION SYSTEM TO OPERATE AS DESIGNED.

IRRIGATION SYSTEM MAINTENANCE CHECKLIST

- IRRIGATION SYSTEM CHECK TO TAKE PLACE EVERY SIX (6) MONTHS
- ROUTINE INSPECTION TO BE COMPLETED EVERY MONTH
- SYSTEM ADJUSTMENTS AND REPAIRS TO OCCUR AS NEEDED
- FAILED IRRIGATION HARDWARE COMPONENTS SHALL BE REPLACED AS NEEDED WITH THE SAME OR FUNCTIONALLY EQUIVALENT COMPONENTS
- SYSTEM SHALL ONLY OPERATE BETWEEN THE HOURS OF 8 PM AND 10 AM

RECYCLED WATER SERVICE NOTE:

ANY INSTALLATION FOR RECYCLED WATER IS REQUIRED TO HAVE A SPECIAL INSPECTION BY A CERTIFIED AWWA CROSS-CONNECTION SPECIALIST TO ENSURE THAT THE ON-SITE RECYCLED WATER SYSTEM WAS CONSTRUCTED PER THE APPROVED PLANS AND SPECIFICATIONS.

Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
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05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature



Project Name

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number

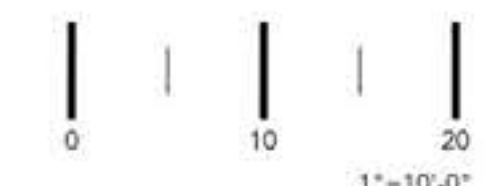
20-015

Description

IRRIGATION PLAN - LEVEL 2 - 4

Scale

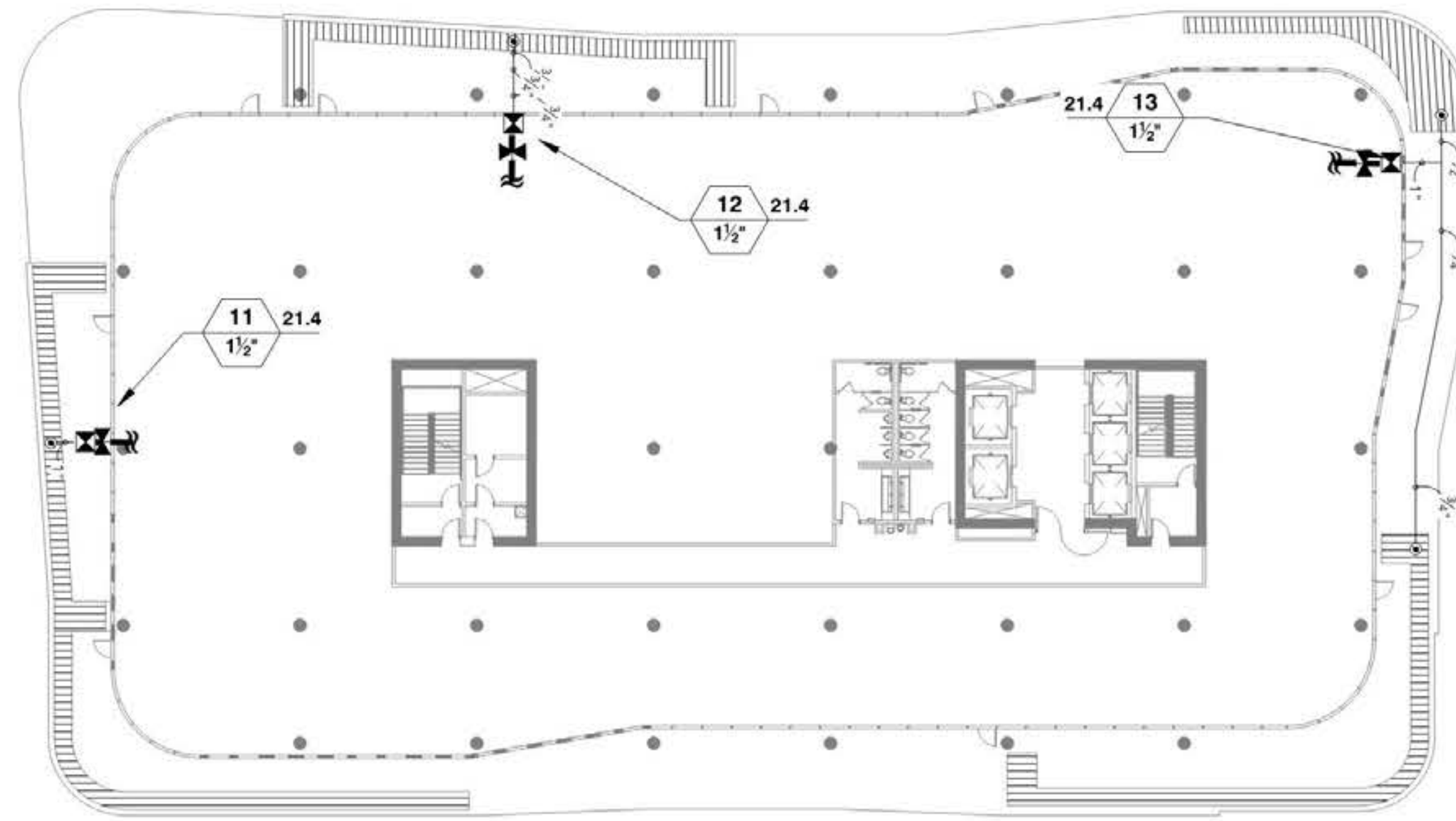
As indicated



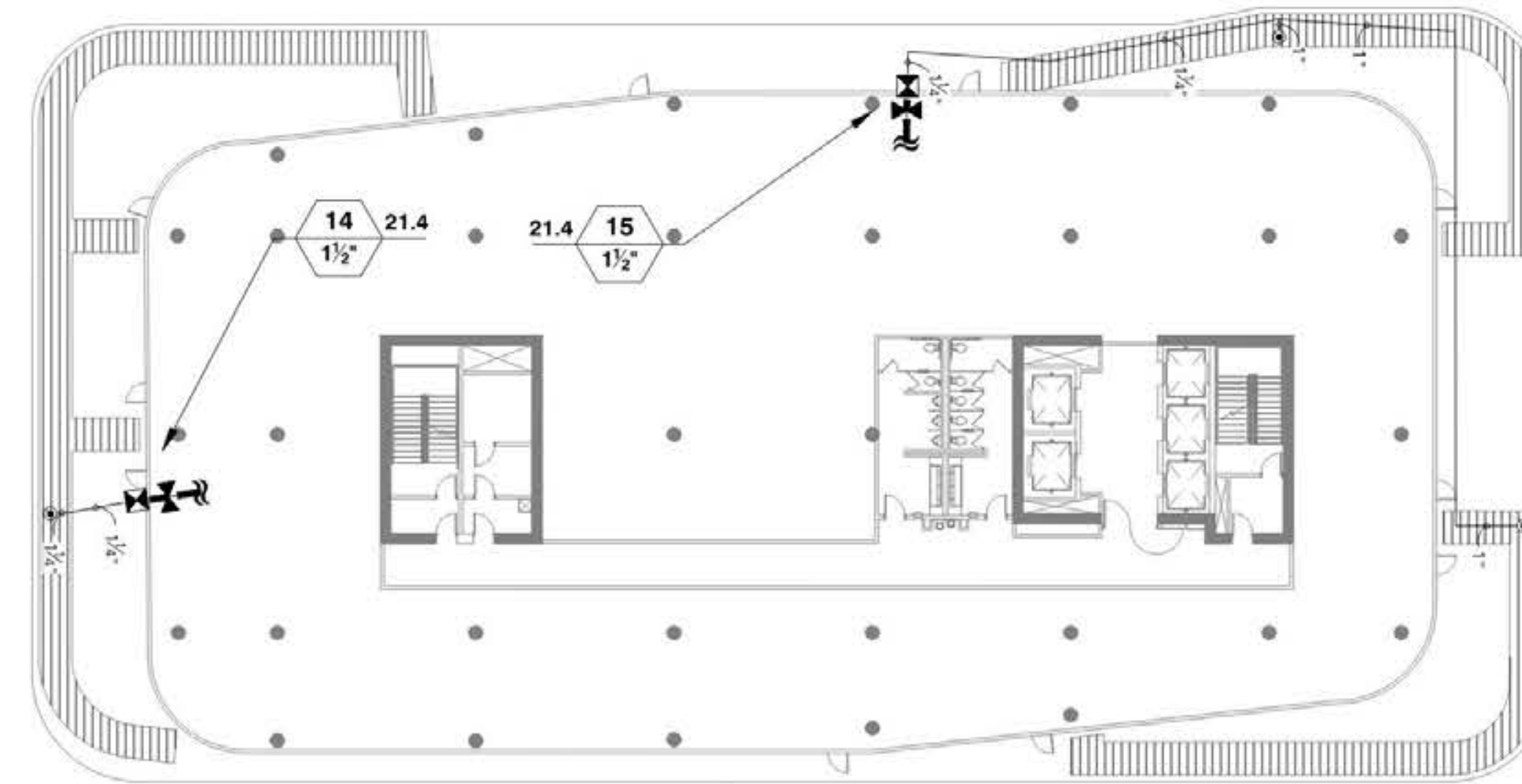
L6.02

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LEVEL 5



LEVEL 7

IRRIGATION NOTES

GENERAL IRRIGATION NOTES

- A. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARD UNIFORM BUILDING CODE.
- B. THIS IRRIGATION DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHOWN WITHIN PAVED OR BUILDING AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN SHRUB AREAS WHEREVER POSSIBLE.
- C. ALL POTS TO BE HAND-WATERED
- D. A CROSS-CONNECTION TEST IS REQUIRED PRIOR TO RECEIVING RECYCLED WATER

RECYCLED WATER SERVICE NOTE:

ANY INSTALLATION FOR RECYCLED WATER IS REQUIRED TO HAVE A SPECIAL INSPECTION BY A CERTIFIED AWWA CROSS-CONNECTION SPECIALIST TO ENSURE THAT THE ON-SITE RECYCLED WATER SYSTEM WAS CONSTRUCTED PER THE APPROVED PLANS AND SPECIFICATIONS.

PODIUM PENETRATION NOTES

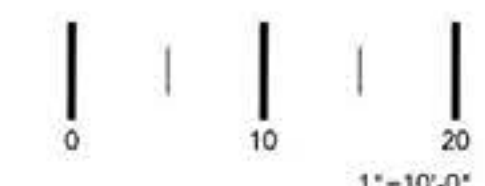
- A. PODIUM PENETRATION LOCATIONS ARE APPROXIMATE AND SHALL BE PLACED PER PLUMBING PLANS.
- B. CONTRACTOR TO COORDINATE MAINLINE AND CONTROL WIRE SLEEVE PENETRATION LOCATIONS FROM PARKING GARAGE BELOW TO PENETRATE UPPER DECKS AT THE APPROPRIATE LOCATIONS WITHIN PLANTER WALLS. PENETRATION LOCATIONS ON DECKS ABOVE SHALL BE IN A LOCATION THAT WILL ALLOW THE IRRIGATION SYSTEM TO OPERATE AS DESIGNED.

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- SYSTEM SHALL ONLY OPERATE BETWEEN THE HOURS OF 8 PM AND 10 AM

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
◇	RAIN BIRD RWS-M-B-C-P 1401 MINI ROOT WATERING SYSTEM WITH 4.0" DIAMETER X 18.0" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1402 0.5 GPM BUBBLER. WITH CHECK VALVE AND PURPLE GRATE.	▬▬▬▬▬▬	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-09-12-NP XFS NON POTABLE SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 12" O.C. LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	BF	FEBCO 825YA 1" REDUCED PRESSURE BACKFLOW PREVENTER
◇	RAIN BIRD RWS-M-B-C-P 1402 MINI ROOT WATERING SYSTEM WITH 4.0" DIAMETER X 18.0" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1402 0.5 GPM BUBBLER. WITH CHECK VALVE AND PURPLE GRATE.	▬▬▬▬▬▬	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-09-18-NP XFS NON POTABLE SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 18" O.C. LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	A	HUNTER ICA6-HU2-18/SP/SOLSE/IFS-100C MODULAR CONTROLLER, 18 STATIONS, OUTDOOR MODEL, V.I.T. TOP ENTRY STAINLESS STEEL PEDESTAL. SOLAR SYNC, NO MODULE REQUIRED, COMMERCIAL USE. CONTROLLER ASSEMBLY AVAILABLE FROM I.T.S. CONTACT DARYL GREEN 949.584.7311
⊕	RAIN BIRD XCZ-100-PRB-R WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. PURPLE CAP DESIGNATES FOR RECLAIMED WATER, NON-POTABLE USE. 1" PESBR VALVE AND 1" PRESSURE REGULATING 40PSI BASKET FILTER. 0.3GPM TO 20GPM.	▬▬▬▬▬▬	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-09-18-NP XFS NON POTABLE SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 18" O.C. LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	FS	CREATIVE SENSOR TECHNOLOGY PSI-T10-001 1" (25MM) PVC TEE TYPE FLOW SENSOR W/SOCKET ENDS, CUSTOM MOUNTING TEE AND ULTRA-LIGHTWEIGHT IMPELLER ENHANCES LOW FLOW MEASUREMENT. 2 WIRE DIGITAL OUTPUT COMPATIBLE WALL IRRIGATION CONTROLLERS. FLOW RANGE: .86-52 GPM.
⊕	RAIN BIRD XCZ-100-PRB-R WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. PURPLE CAP DESIGNATES FOR RECLAIMED WATER, NON-POTABLE USE. 1" PESBR VALVE AND 1" PRESSURE REGULATING 40PSI BASKET FILTER. 0.3GPM TO 20GPM.	■	RAIN BIRD PESBR 1", 1-1/2", AND 2" DURABLE CHLORINE-RESISTANT VALVES FOR RECLAIMED WATER APPLICATIONS. WITH SCRUBBER MECHANISM TECHNOLOGY, AND PURPLE FLOW CONTROL HANDLE.	M	WATER METER 1"
⊕	RAIN BIRD XCZ-150-LCDR HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESBR SCRUBBER GLOBE VALVE WITH SINGLE 1-1/2" PRESSURE REGULATING (40PSI) QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-62GPM.	▬▬▬▬▬▬	RAIN BIRD 33-DNP 3/4" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC NON-POTABLE PURPLE RUBBER COVER, AND 2-PIECE BODY.	---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 PURPLE PVC PIPE FOR RECYCLED WATER USE
⊕	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	⊕	MATCO-NORCA 770T PVC WHITE BALL VALVE FOR SCH 40 AND SCH 80 PIPE, THREADED ENDS COMPLY WITH ASTM F1498, WITH "T" HANDLE, SAME SIZE AS MAINLINE. 1/2" - 4".	---	IRRIGATION MAINLINE: PVC SCHEDULE 40 PURPLE PVC PIPE FOR RECYCLED WATER USE.
⊕	RAIN BIRD MDCFCAP DRIPLINE FLUSH VALVE PURPLE CAP IN COMPRESSION FITTING COUPLER. FOR NON-POTABLE WATER USE.	⊕	BUCKNER SUPERIOR 3100-RW 1-1/2" NORMALLY OPEN BRASS MASTER VALVE THAT PROVIDES DIRTY WATER PROTECTION. AVAILABLE IN 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2" AND 3". WITH PURPLE CROSS HANDLE FOR RECLAIMED WATER USE.	---	PIPE SLEEVE: PVC SCHEDULE 40



Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.07.2020	PLANNING SUBMITTAL 3		
05.05.2021	PLANNING SUBMITTAL 4		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

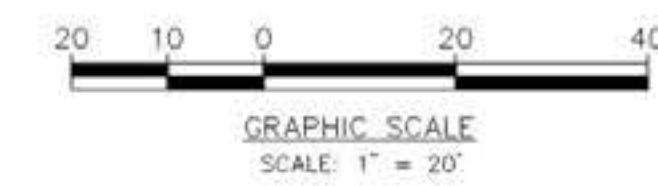
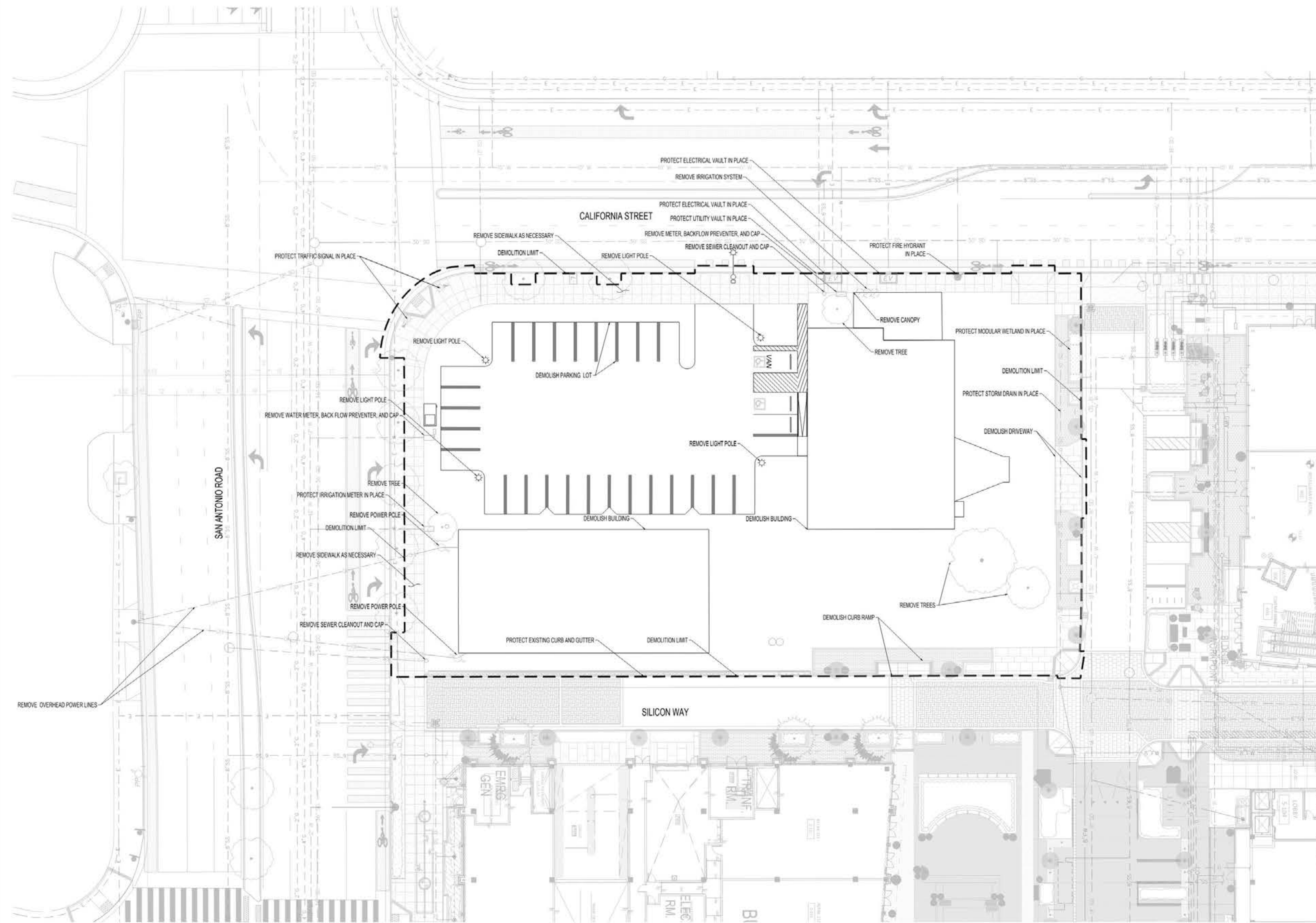


Project Name
THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number
20-015

Description
IRRIGATION PLAN - LEVELS 5 & 7

Scale
As indicated



MERLONE GEIER PARTNERS
 425 CALIFORNIA ST. 11TH FLOOR
 SAN FRANCISCO, CA 94104
 CONTACT: DAVID GEISER
 415-693-9000

THE VILLAGE AT SAN ANTONIO CENTER - PHASE III
 MOUNTAIN VIEW, CA

PSOMAS
 1650 SPRUCE STREET, SUITE 400
 RIVERSIDE, CA 92507
 (951) 787-8421 WWW.PSOMAS.COM

Gensler

225 Broadway
 Suite 100
 San Diego CA 92101
 Tel: 619.557.2500
 Fax: 619.557.2520

Issue	Date & Issue Description	By	Check
	07.19.2021 - PLANNING SUBMITTAL 5		
	09.27.2021 - PLANNING SUBMITTAL 6		
	10.29.2021 - PLANNING SUBMITTAL 7		

Seal/Signature



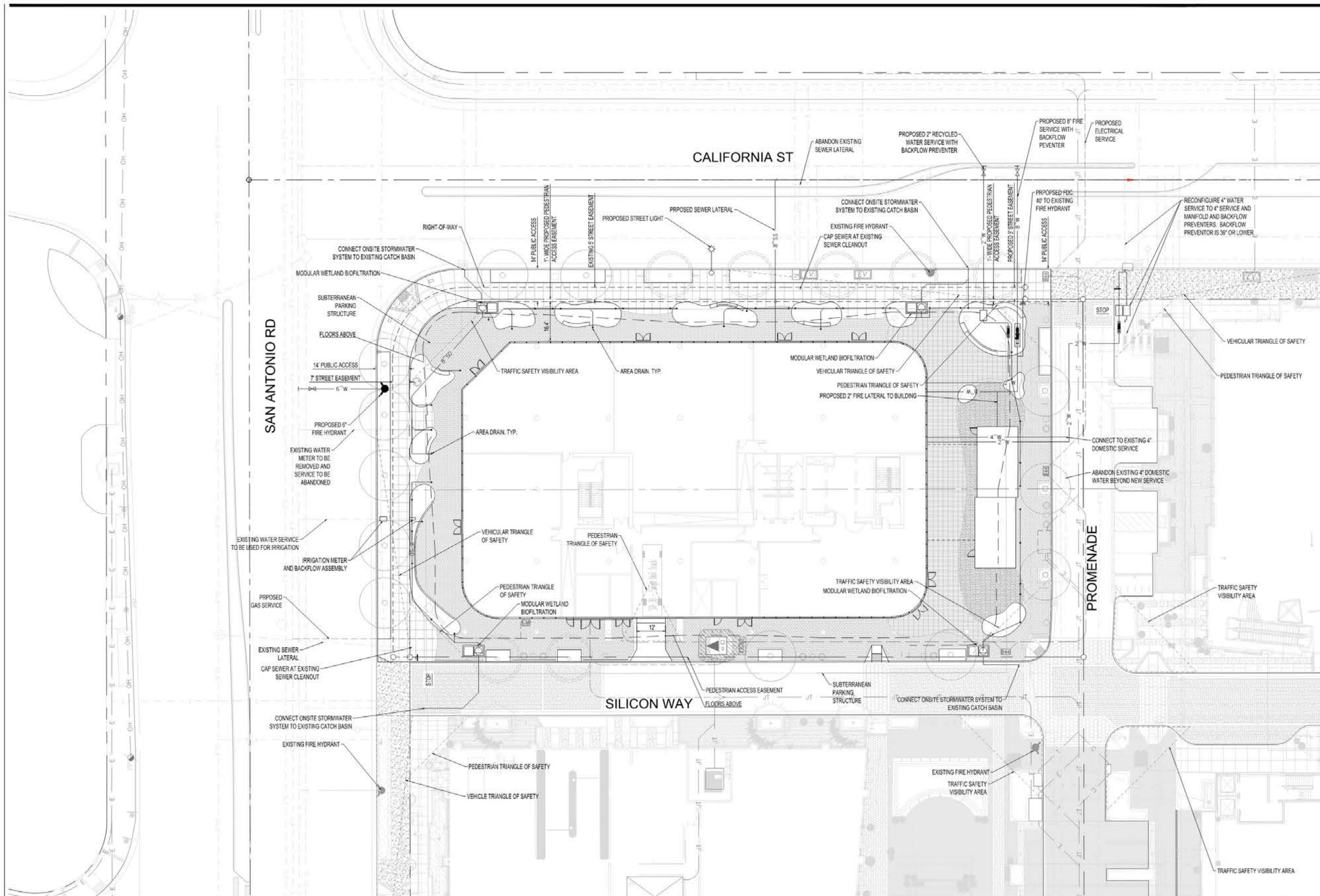
Project Name
 THE VILLAGE AT SAN ANTONIO CENTER - PHASE III

Project Number
 GENSLER 55.7739.000
 PSOMAS 1MER010101

Description
 DEMOLITION PLAN

Scale
 1"=20'





C.3 STORMWATER COMPLIANCE

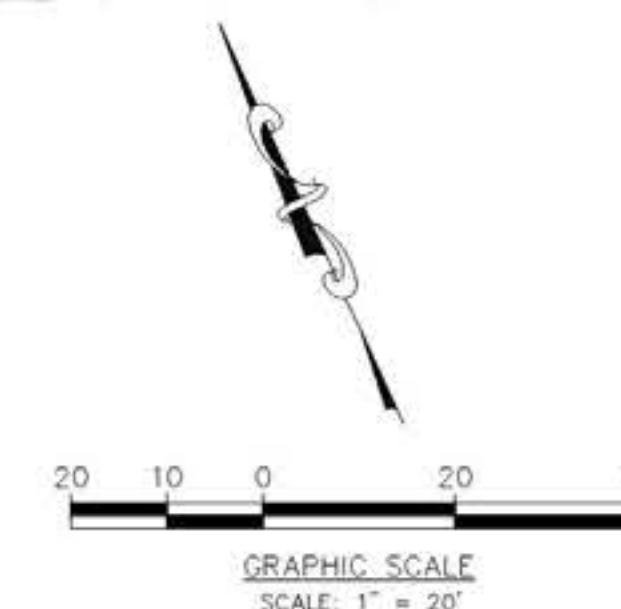
1. BASED ON APPROVED GEOTECHNICAL RECOMMENDATIONS FROM PREVIOUS PHASES, STORMWATER TREATMENT METHODS OTHER THAN INFILTRATION ARE PROPOSED FOR THIS PHASE. THIS INCLUDES BIOFILTRATION BY FLOW THROUGH PLANTER BOXES (PLANTER BOXES) AND MODULAR WETLANDS CONSISTENT WITH SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM, C.3 STORMWATER REQUIREMENTS (C.3 REQUIREMENTS).
2. PLANTER BOXES ARE INCORPORATED ON LEVELS 7.5, 3.2 AND 1. GROUND LEVEL RUNOFF IS TREATED BY MODULAR WETLANDS.
3. PER THE C.3 REQUIREMENTS, CONCEPTUAL PLANTER BOX AREAS ARE ESTIMATED AT 5% OF THE AREA TREATED.

4. THE TOTAL REQUIRED PLANTER BOX AREA REQUIRED IS 2,110 SF. 4,265SF OF PLANTER BOXES ARE PROPOSED WHICH IS AN EXCESS, AND THEREFORE, MEETS THE REQUIREMENTS OF C.3.

HYDROLOGY

AS ESTABLISHED IN THE PREVIOUS PHASES, THE PROPOSED RUNOFF WILL BE LESS THAN THE EXISTING RUNOFF DUE TO THE INCREASED TIME OF CONCENTRATION CAUSED BY THE INTRODUCTION OF BIOFILTRATION FACILITIES. IN ADDITION THE PROPOSED REDEVELOPED SITE WILL HAVE AN OVERALL INCREASED AMOUNT OF LANDSCAPING WHICH LEADS TO A LOWER C-VALUE AND DECREASED RUNOFF.

C.3 STORMWATER REQUIREMENTS MATRIX	
TOTAL SITE AREA	42,137 SF
REQUIRED PLANTER BOX AREA (5%)	2,110 SF
LEVEL 07- PLANTER BOX AREA	2,140 SF
LEVEL 05- PLANTER BOX AREA	1,525 SF
LEVEL 04- PLANTER BOX AREA	200 SF
LEVEL 03- PLANTER BOX AREA	200 SF
LEVEL 02- PLANTER BOX AREA	200 SF
TOTAL PLANTER BOX AREA PROVIDED	4,265 SF
EXCESS PLANTER BOX AREA PROVIDED	2,155 SF



Issue	Date & Issue Description	By	Check
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- 07.19.2021 - PLANNING SUBMITTAL 5
- 09.27.2021 - PLANNING SUBMITTAL 6
- 10.29.2021 - PLANNING SUBMITTAL 7

Seal/Signature



Project Name
THE VILLAGE AT SAN ANTONIO CENTER - PHASE III

Project Number
GENSLER 55.7739.000
PSOMAS 1MER010101

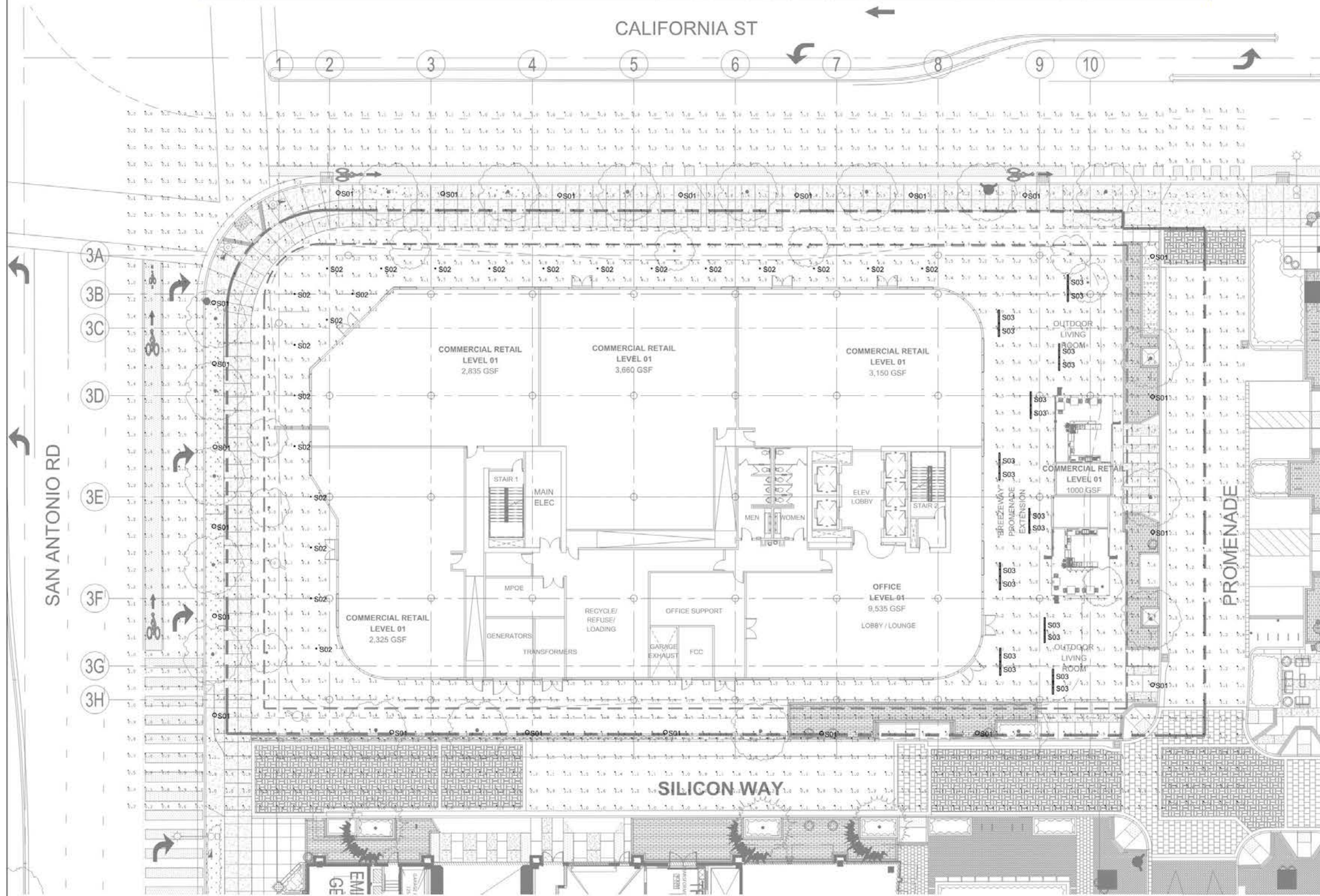
Description
CONCEPTUAL UTILITY PLAN

Scale
1"=20'



TYPE	DESCRIPTION	MANUFACTURER		LAMP				POWER			MOUNTING		NOTES		
		NAME	TYPE	NO	LUMENS	CCT	CRI (MIN)	VOLTAGE	INPUT WATTAGE	BALLAST NO.	BALLAST TYPE	DIM TYPE		TYPE	DEPTH
S01	15' POST TOP LED PEDESTRIAN AREA LUMINAIRE WITH SYMMETRICAL LIGHT DISTRIBUTION AND DIE-CAST ALUMINUM HOUSING.	BEGA OR APPROVED ALTERNATE	LED	-	3600	3000	80	120VOLT	56	-	INTERNAL DRIVER / POWER SUPPLY	0-10V	POST TOP	N/A	
S02	4" DIAMETER APERTURE SURFACE MOUNTED LED DOWNLIGHT WITH HEAVY-GAUGE ALUMINUM CONSTRUCTION AND MATTE DIFFUSE REFLECTOR FOR WIDE BEAM ANGLE DISTRIBUTION. UL LISTED FOR WET LOCATION USE WITH COVERED CEILING.	GOTHAM OR APPROVED ALTERNATE	LED	-	1000	3000	80	120VOLT	8.8	-	INTERNAL DRIVER / POWER SUPPLY	0-10V	SURFACE	N/A	
S03	4" APERTURE RECESSED LINEAR LED LUMINAIRE WITH EXTRUDED ALUMINUM HOUSING AND FLUSH SATIN ACRYLIC LENS. UL LISTED FOR WET LOCATION USE. LENGTH AS INDICATED PER PLANS.	FOCAL POINT OR APPROVED ALTERNATE	LED	-	625/FT	3000	80	120VOLT	6.5/FT	-	INTERNAL DRIVER / POWER SUPPLY	0-10V	RECESSED	5"	

MOUNTAIN VIEW CODE OF ORDINANCES:
 ARTICLE 8.252.1
 I. LIGHTING REQUIREMENTS.
 1. ALL EXTERIOR DOORS OF A COMMERCIAL OR INDUSTRIAL BUILDING SHALL BE ILLUMINATED WITH A MINIMUM OF 1.0 FOOTCANDLE OF LIGHT.
 AVG/MIN UNIFORMITY TARGET 5:1 PER IESNA GUIDELINES.



Calculation Summary Table	Avg	Max	Min	Avg/Min	Max/Min
COMMERCIAL PLAZA AREA	3.57	6.3	1.2	2.98	5.28
EASTWING AREA	1.19	2.1	0.5	1.38	2.70
SOUTH CASOPY AREA	2.82	5.3	1.0	2.82	5.30
NORTH CASOPY AREA	1.26	2.3	0.5	1.26	2.30
CENTR WING AREA	1.46	2.8	1.1	1.45	2.78
SOUTHWING AREA	1.26	2.3	0.4	1.15	2.25
NORTH CASOPY AREA	3.87	7.3	1.0	2.87	7.30
WESTWING AREA	1.38	3.4	0.6	1.38	3.40

Issue	Date & Issue Description	By	Check
02.20.2020	PLANNING SUBMITTAL 1		
07.10.2020	PLANNING SUBMITTAL 2		
10.06.2020	PLANNING SUBMITTAL 3		
07.19.2021	PLANNING SUBMITTAL 5		
09.27.2021	PLANNING SUBMITTAL 6		
10.29.2021	PLANNING SUBMITTAL 7		

Seal/Signature

Project Name
 THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number
 55.7739.000

Description
 ELECTRICAL SITE PHOTOMETRY PLAN

Scale
 AS INDICATED

MICHAEL WALL ENGINEERING
 949-864-0600
 949-864-0640 (fax)
 www.mwalleng.com
 4770 Campus Drive, Suite 200
 Newport Beach, CA 92660
 REGISTERED ELECTRICAL ENGINEERS

LED pole-top luminaires - symmetrical light distribution BEGA

Application: LED pole-top luminaires with symmetrical light distribution ideal for illuminating squares, plazas and other open spaces. Provided with adjustable height to 30' O.C. poles.

Materials: Luminaire housing and constructed of die-cast and spun marine grade, copper free ALUMINUM, copper content ALUMINUM 99.99% aluminum alloy clear safety glass. Reflector made of pure anodized aluminum. High temperature silicone gasket. Mechanically coplanar stainless steel fasteners.

Warranty: Limited to North American (Standard), suitable for wet locations. Production class IP65. Effective protection index: 1.5 ft. h. Vmax: 30.2 ft.

Electrical: Operating voltage: 120-277V AC. Minimum start temperature: -30°C. LED module wattage: 32.6W. System wattage: 36.0W. Controllability: 0-10V dimmable. Color rendering index: Ra > 80. Luminaire lifetime: 50,000 hours (L70). Lifetime at 75°C: >50,000 h. Lifetime at 85°C: 100,000 h. Lifetime at 95°C: 100,000 h.

LED color temperature: 4000K - Product number: K4. 3500K - Product number: K3S. 3000K - Product number: K3. 2700K - Product number: K2T.

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires. See website for details.

Finish: All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness. Available colors: Black (BLK), White (WHT), RAL, Bronze (BRZ), Silver (SLV), OUS.

Manufacturer: BEGA
Luminaire Type: S01
15' POST TOP LED PEDESTAL AREA LUMINAIRE WITH SYMMETRICAL LIGHT DISTRIBUTION AND DIE-CAST ALUMINUM HOUSING.
Page 1 of 1
Project No: 2030XX Project Name: SAN ANTONIO CENTER
858.638.0600 4770 Campus Drive Newport Beach, CA 92660 created: 06/30/2020

gotham | EVO® Multiple Layers of Light

General Illumination Surface Ceiling Cylinder 4"

Feature Set:

- Recessed distribution with beveled edges provides even illumination on horizontal and vertical surfaces.
- Rounding Ray™ optical design.
- 45° Cutoff to source and source image.
- Fully serviceable lensed LED light engine.
- 70% lumen maintenance at 60,000 hours.
- 2.5 SDCM, 85 CRI typical, 90+ CRI optional.
- Fixtures are demountable standard, wet location option (WLO) covered ceiling.
- 20 standard colors in textured and glass finish, custom or RAL colors also available.
- Field configurable surface junction box conduit covers available.
- ENERGY STAR® Certified product.

Coordinated Apertures | Multiple Layers of Light:

- General Illumination Layer | EVO
- High Center Beam Layer | EVO
- EVO = 4" - Multiple Layers of Light

Core: Healthcare, Special Applications.

Manufacturer: GOTHAM
Luminaire Type: S02
4" DIAMETER APERTURE SURFACE MOUNTED LED DOWNLIGHT WITH HEAVY-GAUGE ALUMINUM CONSTRUCTION AND MATTE DIFFUSE REFLECTOR FOR WIDE BEAM ANGLE DISTRIBUTION. UL LISTED FOR WET LOCATION USE WITH COVERED CEILING.
Page 1 of 3
Project No: 2030XX Project Name: SAN ANTONIO CENTER
858.638.0600 4770 Campus Drive Newport Beach, CA 92660 created: 06/30/2020

gotham | EVO® 4" General Illumination Surface Ceiling Cylinder

Series: EVO4C, EVO4S, EVO4E, EVO4L, EVO4H, EVO4W, EVO4M, EVO4P, EVO4R, EVO4B, EVO4G, EVO4O, EVO4D, EVO4I, EVO4J, EVO4K, EVO4N, EVO4X, EVO4Y, EVO4Z, EVO4AA, EVO4AB, EVO4AC, EVO4AD, EVO4AE, EVO4AF, EVO4AG, EVO4AH, EVO4AI, EVO4AJ, EVO4AK, EVO4AL, EVO4AM, EVO4AN, EVO4AO, EVO4AP, EVO4AQ, EVO4AR, EVO4AS, EVO4AT, EVO4AU, EVO4AV, EVO4AW, EVO4AX, EVO4AY, EVO4AZ, EVO4BA, EVO4BB, EVO4BC, EVO4BD, EVO4BE, EVO4BF, EVO4BG, EVO4BH, EVO4BI, EVO4BJ, EVO4BK, EVO4BL, EVO4BM, EVO4BN, EVO4BO, EVO4BP, EVO4BQ, EVO4BR, EVO4BS, EVO4BT, EVO4BU, EVO4BV, EVO4BW, EVO4BX, EVO4BY, EVO4BZ, EVO4CA, EVO4CB, EVO4CC, EVO4CD, EVO4CE, EVO4CF, EVO4CG, EVO4CH, EVO4CI, EVO4CJ, EVO4CK, EVO4CL, EVO4CM, EVO4CN, EVO4CO, EVO4CP, EVO4CQ, EVO4CR, EVO4CS, EVO4CT, EVO4CU, EVO4CV, EVO4CW, EVO4CX, EVO4CY, EVO4CZ, EVO4DA, EVO4DB, EVO4DC, EVO4DD, EVO4DE, EVO4DF, EVO4DG, EVO4DH, EVO4DI, EVO4DJ, EVO4DK, EVO4DL, EVO4DM, EVO4DN, EVO4DO, EVO4DP, EVO4DQ, EVO4DR, EVO4DS, EVO4DT, EVO4DU, EVO4DV, EVO4DW, EVO4DX, EVO4DY, EVO4DZ, EVO4EA, EVO4EB, 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Manufacturer: GOTHAM
Luminaire Type: S02
4" DIAMETER APERTURE SURFACE MOUNTED LED DOWNLIGHT WITH HEAVY-GAUGE ALUMINUM CONSTRUCTION AND MATTE DIFFUSE REFLECTOR FOR WIDE BEAM ANGLE DISTRIBUTION. UL LISTED FOR WET LOCATION USE WITH COVERED CEILING.
Page 2 of 3
Project No: 2030XX Project Name: SAN ANTONIO CENTER
858.638.0600 4770 Campus Drive Newport Beach, CA 92660 created: 06/30/2020

gotham | EVO® 4" General Illumination Surface Ceiling Cylinder

Optical Assembly: Fully serviceable and upgradeable lensed LED light engine suitable for field maintenance or service from below the ceiling. Optical design is a Bounding Ray™ design with 45° cutoff to source and source image. Top down beam characteristic for superior glare control.

Electrical: The luminaire shall operate from a 50 or 60 Hz AC line over a voltage range from 120 VAC to 277 VAC. Support 347V via remote-mounted stepdown transformer. The fluctuations of line voltage shall have no visible effect on the luminous output. The luminaire shall have a power factor of 90% or greater at all standard operating voltages and full luminaire output. Sound Rated A+. Driver shall be >85% efficient at full load across all input voltages. Input wires shall be 18AWG, 300V minimum solid copper.

Emergency: Luminaires supplied with a battery pack comply with NFPA 101 (Life Safety code) and deliver consistent light output throughout the 90 minutes of code required emergency operation period when there is a normal AC power loss. Luminaires equipped with a generator transfer device work in conjunction with an auxiliary generator or a central inverter system to power fixtures for safe egress lighting.

Dimming: The luminaire shall be capable of continuous dimming without perceivable stroboscopic flicker as measured by flicker index (ANSI/IES RP-16-10) over a range of 100% - 10%, 100% - 1.0% or 100% - 0.1% of rated lumens output with a smooth shut off function to sleep to 0%. e846LED LED drivers shall conform to IEEE P1789 standards. Alternatively, manufacturers must demonstrate conformance with product literature and testing which demonstrates this performance. Systems that do not meet IEEE P1789 will not be considered. Dimmer is infeasible in 24/7 environment, and stable when input voltage conditions fluctuate over what is typically experienced in a commercial environment.

Construction: Heating gauge aluminum construction. Extruded body with ringless reflector allows flow through passive thermal management. Surface ceiling mount for direct installation to 4" recessed or surface rectangular or square junction box. Optional field configurable conduit covers available. Conduit covers match cylinder in finish and diameter. Recessed gear box available for driver above ceiling, right, or battery pack options.

Listings: Fixtures are CSA Certified to meet US and Canadian Standards. All fixtures manufactured in strict accordance with the appropriate and current requirements of the "Standards for Safety" to UL, demountable standard wet location covered ceiling optional (DCL). Luminaire configurations are Energy Star certified through testing in EPA-recognized laboratories with the results reviewed by an independent, accredited certification organization. Visit www.energystar.gov for specific configurations listed.

Photometrics: LEDs tested to LM-80 standards. Measured by IESNA Standard LM-79-08 in an accredited lab. Lumen output shall not decrease by more than 30% over the minimum operational life of 60,000 hours. Color appearance from luminaire to luminaire of the same type and in all configurations, shall be consistent both initially and at 6,000 hours and operate with a tolerance of $\pm 5\%$ MacAdam ellipse as defined by the center of the quadrangles defined in ANSI C78-377-2015.

Warranty: 5-year limited warranty. Complete warranty terms located at: www.gothamlighting.com/support/terms-and-conditions

Notes: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

Capable Luminaire: This item is a capable luminaire, which has been designed and tested to provide consistent color appearance and not of the box control compatibility with single commissioning. All configurations of this luminaire meet the basic commissioning specification for consistent consistency. This luminaire is part of an A+ Certified solution for right control networks when ordered with drivers marked by a **Right Control** icon. This luminaire is part of an A+ Certified solution for right control networks, providing advanced control functionality at the luminaire level, when selected includes driver and control systems marked by a **Right Control** icon. To learn more about A+ visit www.gothamlighting.com/a-plus. *See ordering tree for details.

Manufacturer: GOTHAM
Luminaire Type: S02
4" DIAMETER APERTURE SURFACE MOUNTED LED DOWNLIGHT WITH HEAVY-GAUGE ALUMINUM CONSTRUCTION AND MATTE DIFFUSE REFLECTOR FOR WIDE BEAM ANGLE DISTRIBUTION. UL LISTED FOR WET LOCATION USE WITH COVERED CEILING.
Page 3 of 3
Project No: 2030XX Project Name: SAN ANTONIO CENTER
858.638.0600 4770 Campus Drive Newport Beach, CA 92660 created: 06/30/2020

Seem® 4 LED - WET LOCATION FOCAL POINT

Dimensional Data:

- trimless mid-rail (individual unit)
- trimless mid-rail (continuous rail)
- trim flange (individual unit)
- trim flange (continuous rail)
- hard surface (individual unit)
- hard surface (continuous rail)

Features:

- Narrow extruded aluminum 4" aperture recessed slot LED suitable for wet location.
- Integrates with ceiling for clean, unobtrusive aesthetic.
- Individual units and continuous runs in 1" increments.
- Frosted acrylic lens provides untempered illumination, without glare or shadows.
- LED position and lens material optimized to provide the perfect blend of high performance and visual comfort.

Performance:

- 4" Flush Lens: Normal output 375 Lumens per foot, Delivered Lumens: 18000m, Total System Watts: 15W
- 4" Flush Lens: Dimmed output 275 Lumens per foot, Delivered Lumens: 13500m, Total System Watts: 11W

Manufacturer: FOCAL POINT
Luminaire Type: S03
4" APERTURE RECESSED LINEAR LED LUMINAIRE WITH EXTRUDED ALUMINUM HOUSING AND FLUSH SATIN ACRYLIC LENS. UL LISTED FOR WET LOCATION USE. LENGTH AS INDICATED PER PLANS.
Page 1 of 2
Project No: 2030XX Project Name: SAN ANTONIO CENTER
858.638.0600 4770 Campus Drive Newport Beach, CA 92660 created: 06/30/2020

FOCAL POINT

4" APERTURE RECESSED LINEAR LED LUMINAIRE WITH EXTRUDED ALUMINUM HOUSING AND FLUSH SATIN ACRYLIC LENS. UL LISTED FOR WET LOCATION USE. LENGTH AS INDICATED PER PLANS.

Manufacturer: FOCAL POINT
Luminaire Type: S03
4" APERTURE RECESSED LINEAR LED LUMINAIRE WITH EXTRUDED ALUMINUM HOUSING AND FLUSH SATIN ACRYLIC LENS. UL LISTED FOR WET LOCATION USE. LENGTH AS INDICATED PER PLANS.
Page 2 of 2
Project No: 2030XX Project Name: SAN ANTONIO CENTER
858.638.0600 4770 Campus Drive Newport Beach, CA 92660 created: 06/30/2020

MerloneGeier Partners

425 CALIFORNIA ST. 11TH FLOOR
SAN FRANCISCO, CA 94104
CONTACT: DAVID GEISER
415-693-9000

THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3
MOUNTAIN VIEW, CA

Gensler

225 Broadway
Suite 100
San Diego CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

VICINITY MAP

Issue Date & Issue Description By Check

- 07.19.2021 - PLANNING SUBMITTAL 5
- 09.27.2021 - PLANNING SUBMITTAL 6
- 10.29.2021 - PLANNING SUBMITTAL 7

Seal/Signature

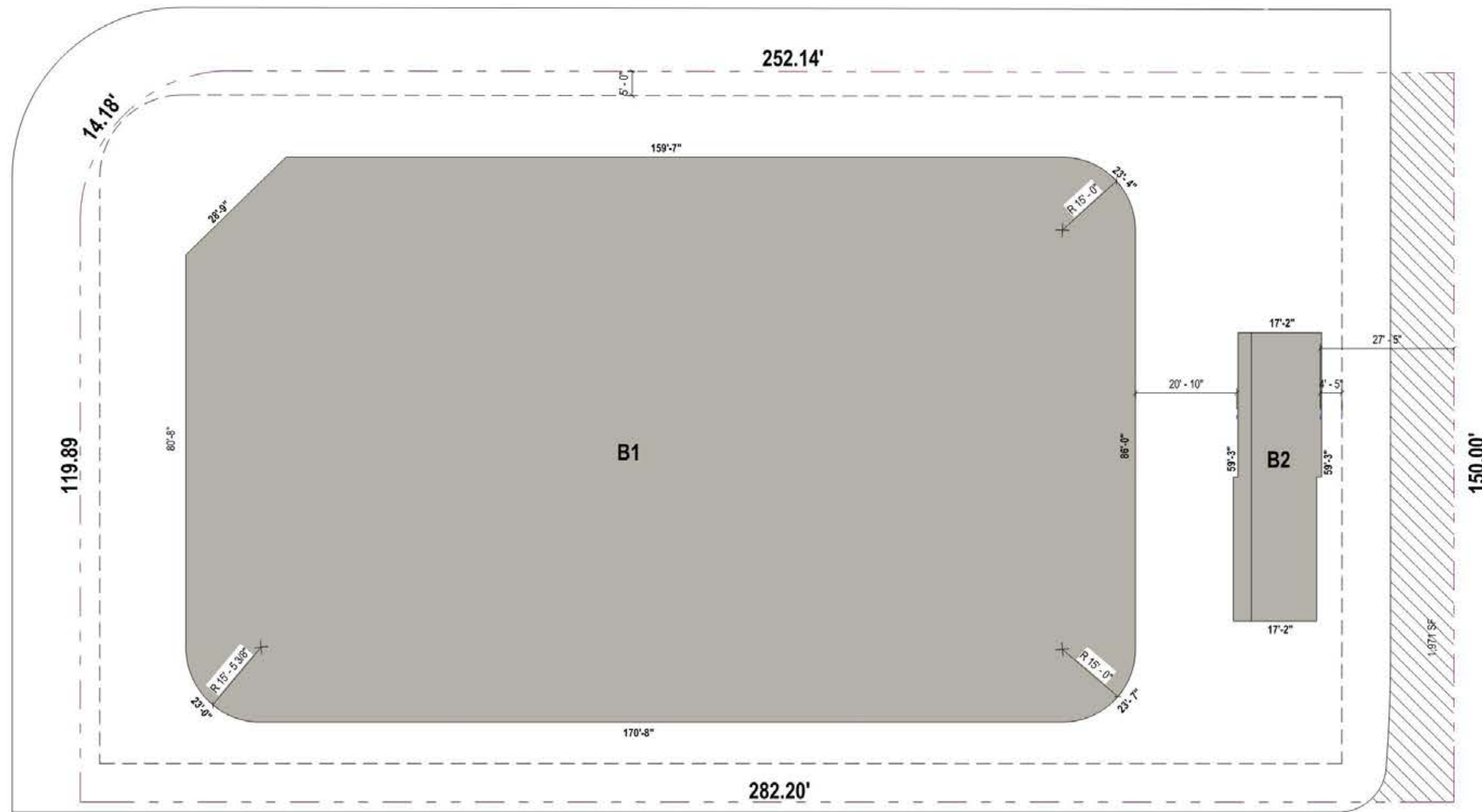
Project Name: THE VILLAGE AT SAN ANTONIO CENTER - BLOCK 3

Project Number: 55.7739.000

Description: LIGHTING CUT SHEETS

Scale: AS INDICATED

E8.00



TOTAL SITE AREA:

150' X 282' = 43,137 SF = 100%
(MINUS NW CORNER)

SETBACKS:

S1 (NOTE ON PLANS)
S2 (NOTE ON PLANS)
S3 (NOTE ON PLANS)
S4 (NOTE ON PLANS)

BUILDING COVERAGE

B1 (see plans) = 22,179 SF
B2 (see plans) = 335 SF
22,504 SF

% OF SITE COVERAGE = $\frac{22,504 \text{ SF}}{43,137 \text{ SF}} = 52\%$

PAVING COVERAGE

P1 1,971 SF = $\frac{1,971 \text{ SF}}{43,137 \text{ SF}} = 4.6\%$

OPEN AREA*

43,137 - (23,670 + 1,971) = 17,496 SF

% OF SITE COVERAGE = $\frac{17,496 \text{ SF}}{43,137 \text{ SF}} = 40\%$

***FOR MORE DETAILED OPEN SPACE AND LANDSCAPE CALCULATIONS, SEE L1.02**

****FOR BLDG HEIGHT AND SETBACKS, SEE SITE SECTIONS**

*****FOR FLOOR AREA RATIO REFER TO SITE DATA/CALCULATIONS AT A00.01**

425 CALIFORNIA ST. 11TH FLOOR
SAN FRANCISCO, CA 94104
CONTACT: DAVID GEISER
415-693-9000

THE VILLAGE AT SAN ANTONIO CENTER - PHASE 3
365 SAN ANTONIO ROAD,
MOUNTAIN VIEW, CA

225 Broadway
Suite 100
San Diego CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

FOR REFERENCE ONLY

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
07.19.2021	- PLANNING SUBMITTAL 5		
09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

01 ZONING ORDINANCES - GRAPHIC CALCULATION

SCALE: 1/16" = 1'-0"



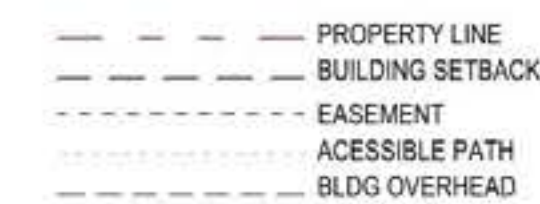
PROJECT SUMMARY:

RETAIL / OFFICE BUILDING
LEVEL 01 : 22,504 GSF
LEVEL 02 : 31,000 GSF
LEVEL 03 : 31,000 GSF
LEVEL 04 : 31,000 GSF
LEVEL 05 : 23,240 GSF
LEVEL 06 : 24,700 GSF
LEVEL 07 : 18,908 GSF

TOTAL OFFICE: 169,382 GSF
RETAIL (LEVEL 01): 12,970 GSF
TOTAL PROJECT GSF: 182,352 GSF

CARS PROVIDED UNDER BUILDING:

UG PARKING STRUCTURE
36,450 SF PER FLOOR
3 LEVELS (P1 - P3): 282 CARS



02 FAR DIAGRAMS

SCALE: 1" = 60'-0"

LINE TYPES

SCALE: 1" = 1'-0"

Seal/Signature

NOT FOR CONSTRUCTION

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

ZONING ORDINANCE CALCULATIONS

Scale

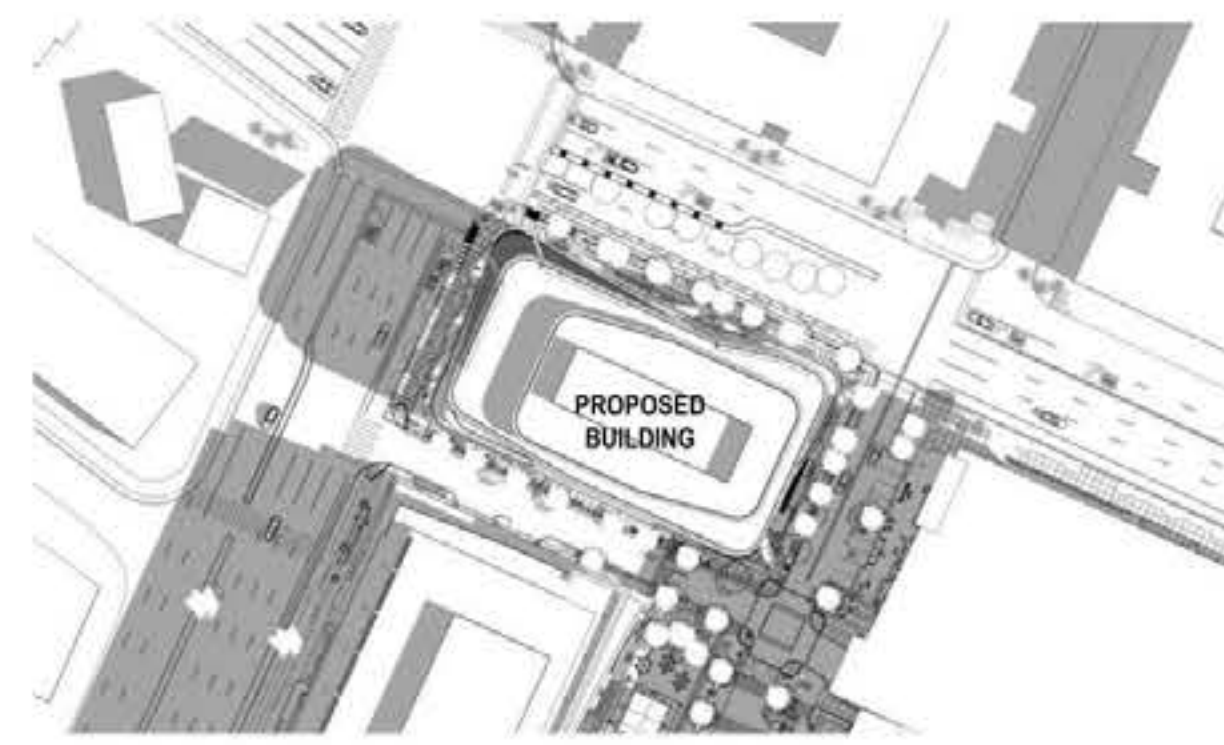
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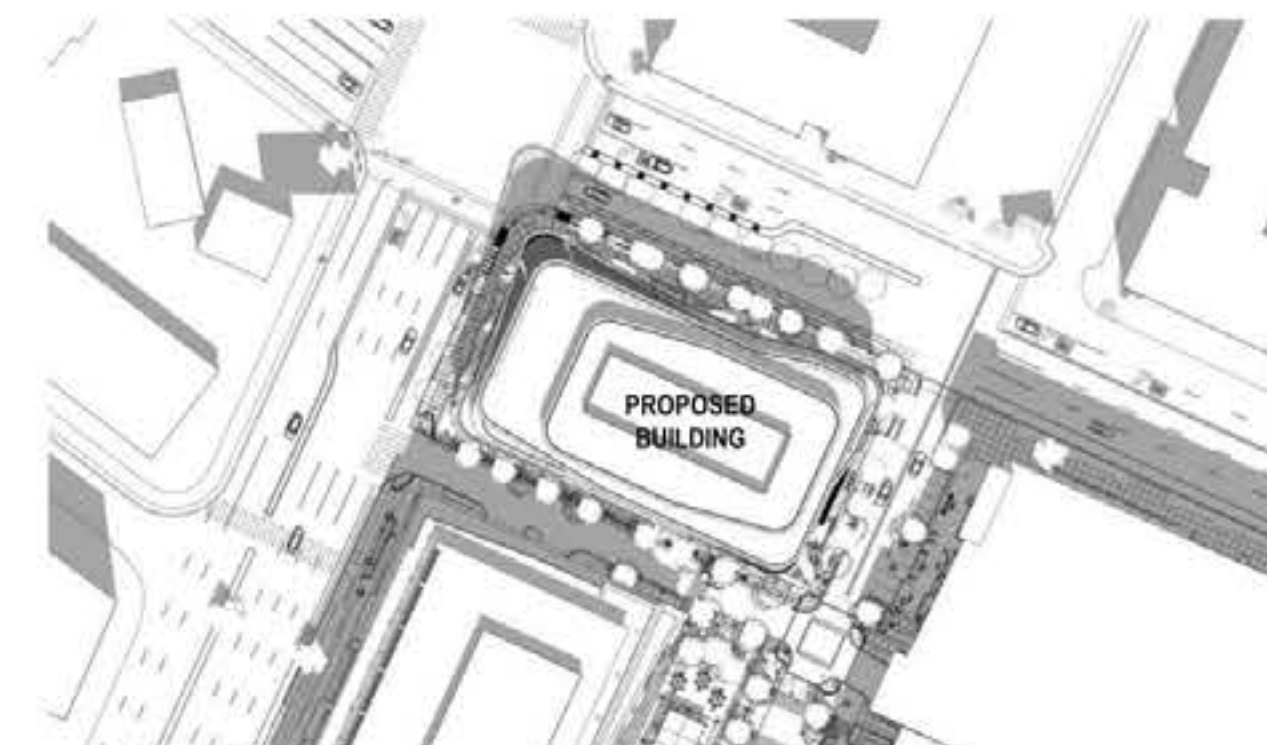
© 2020 Gensler



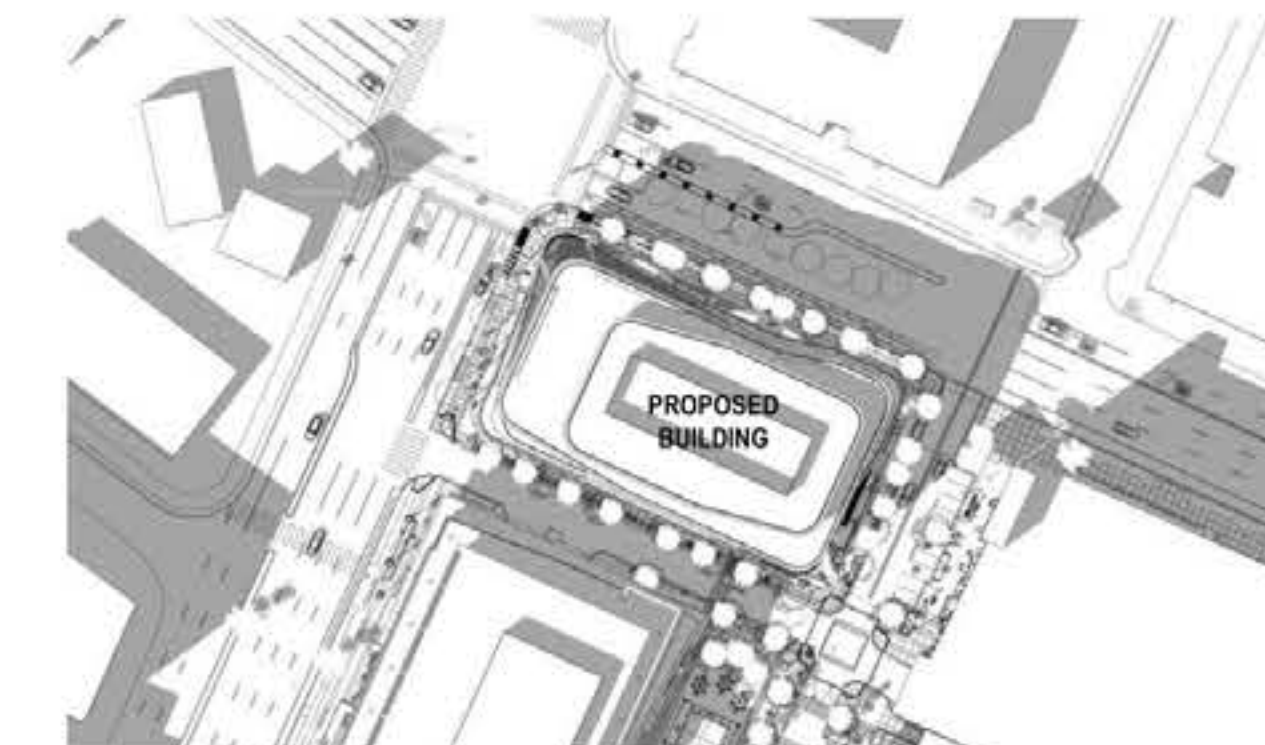
VERNAL EQUINOX
MARCH 20TH



9AM

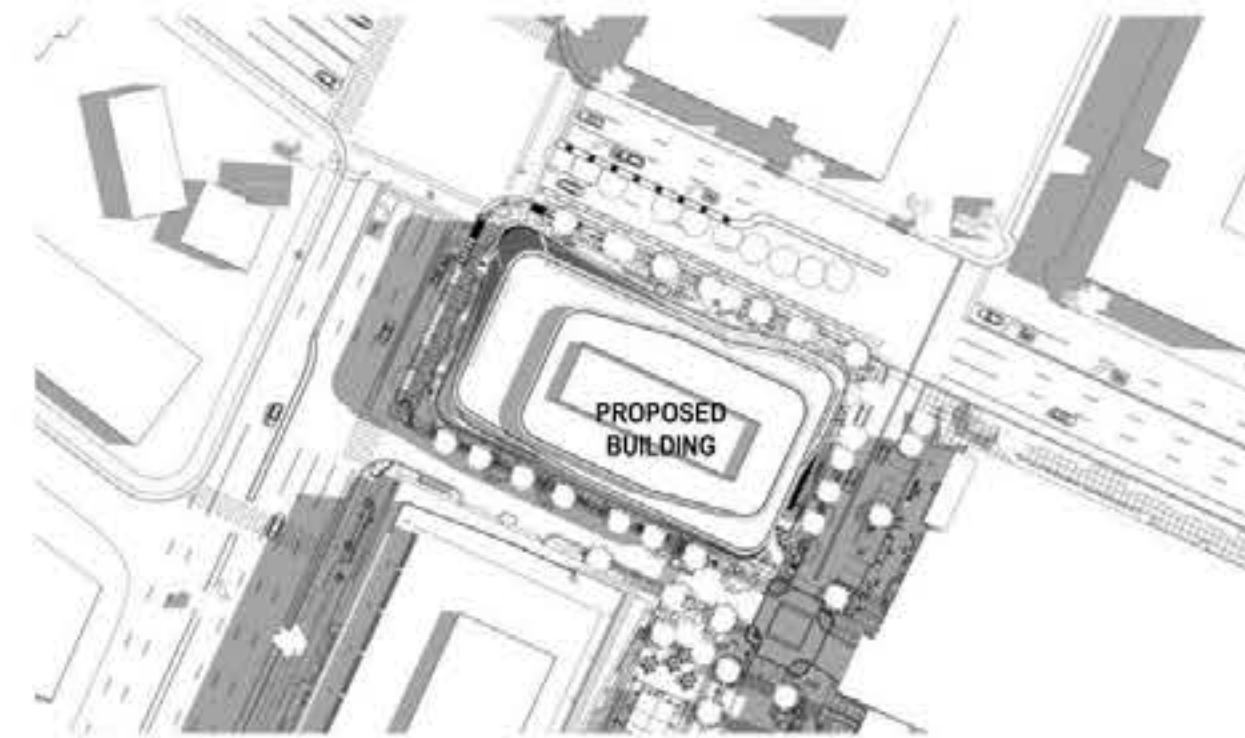


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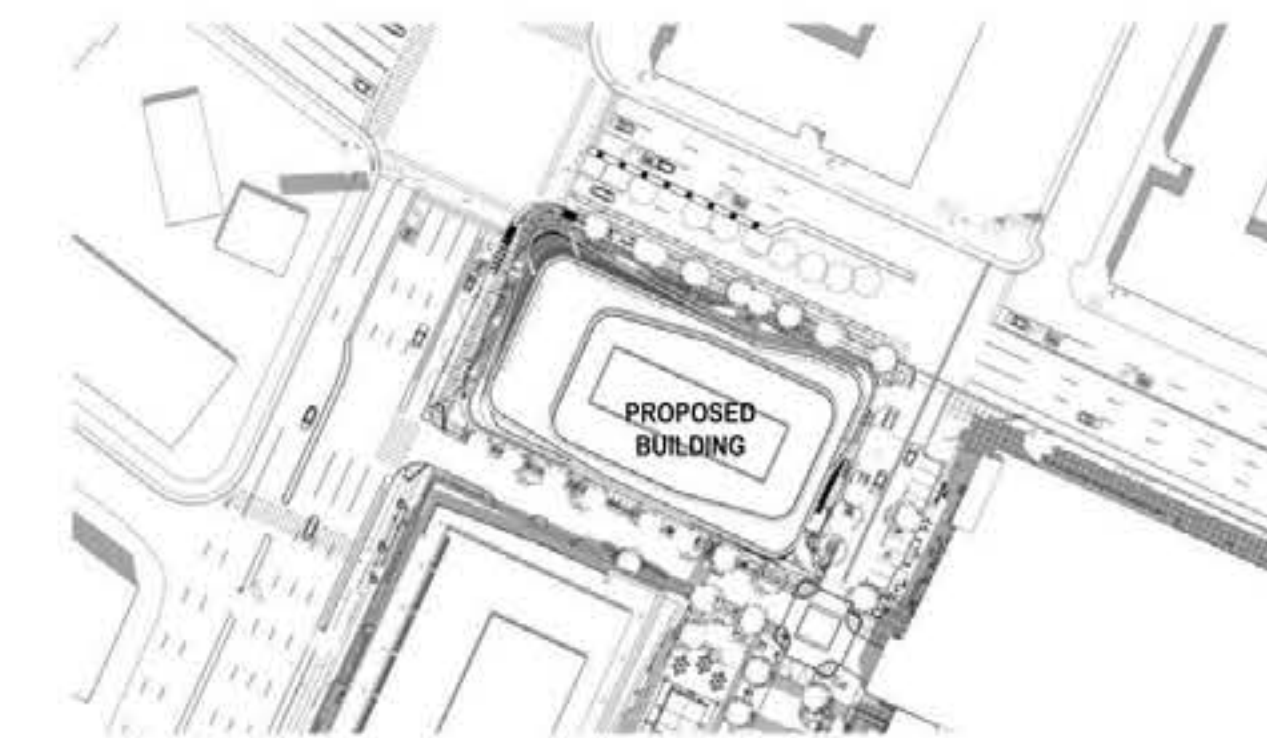


3PM

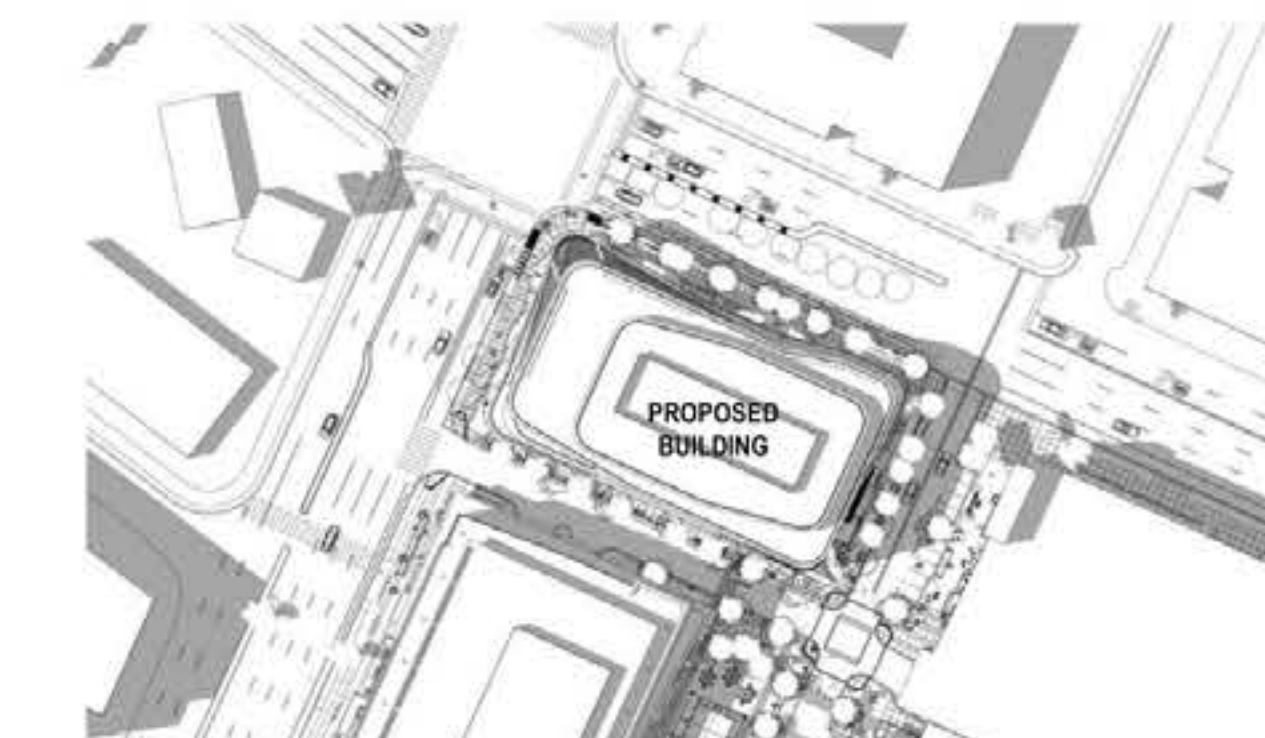
SUMMER SOLSTICE
JUNE 20TH



9AM

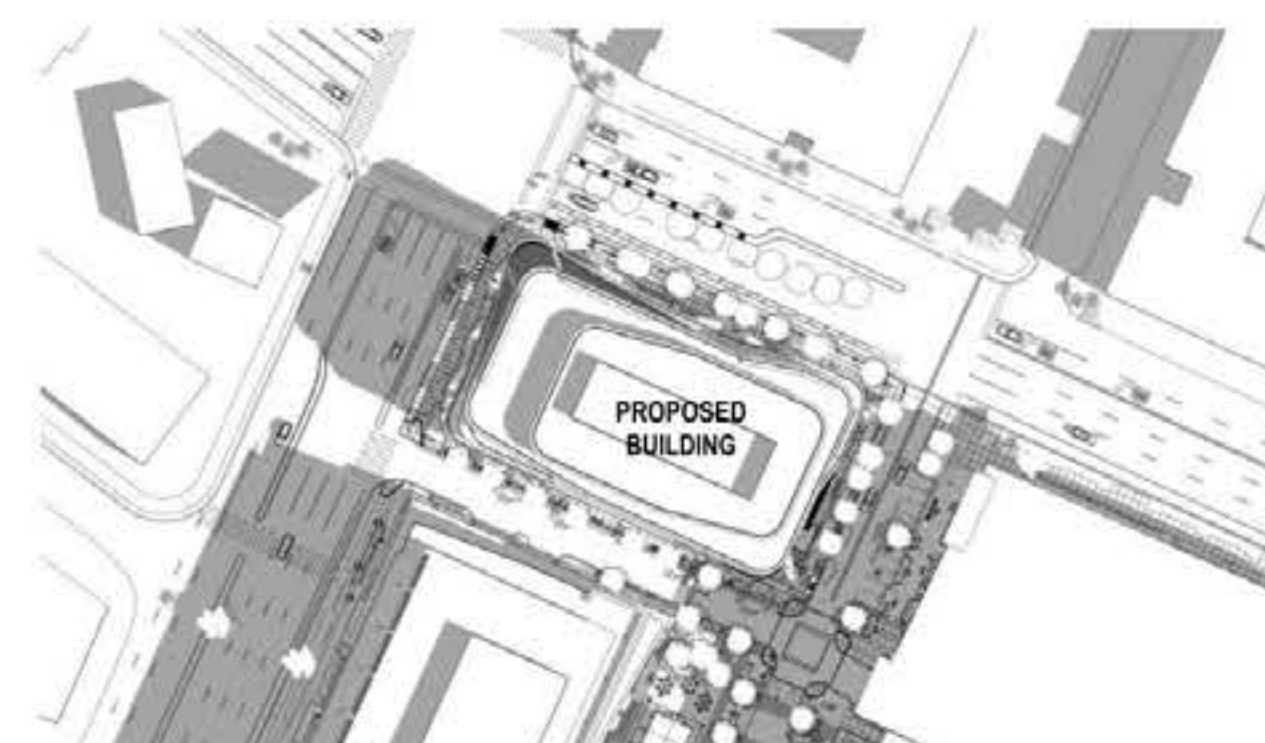


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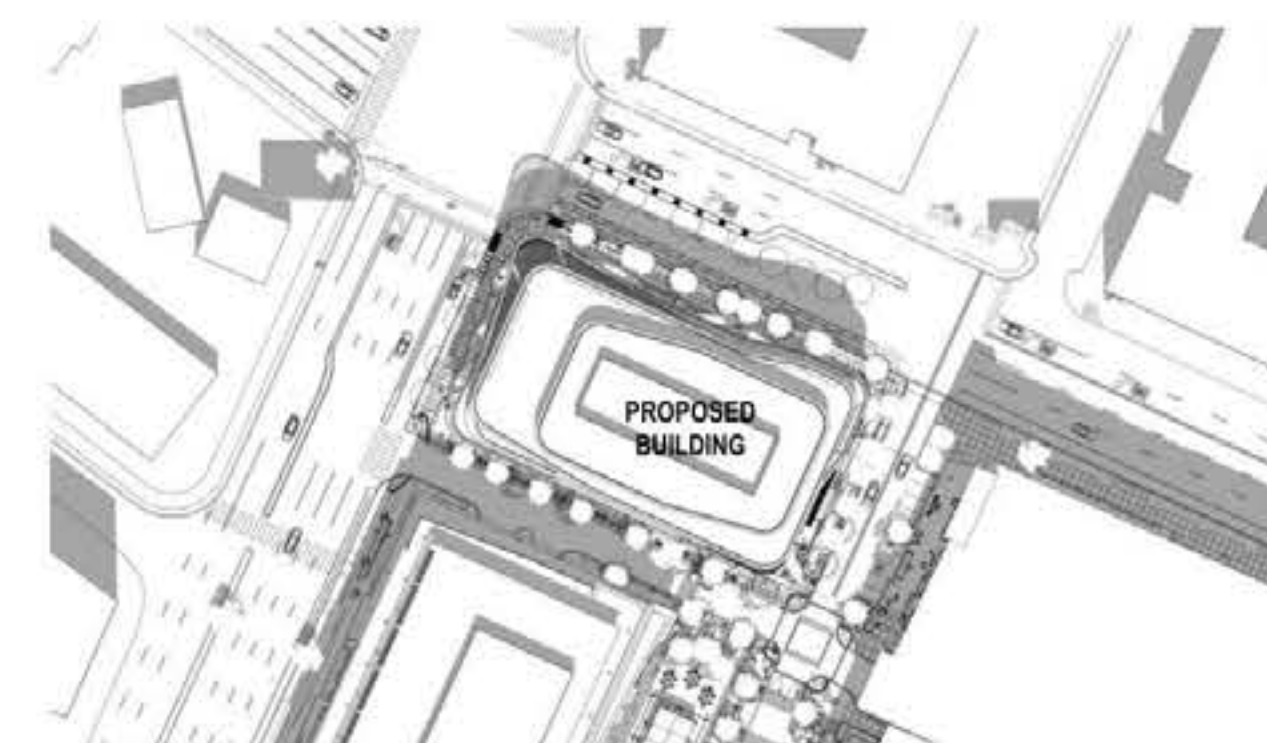


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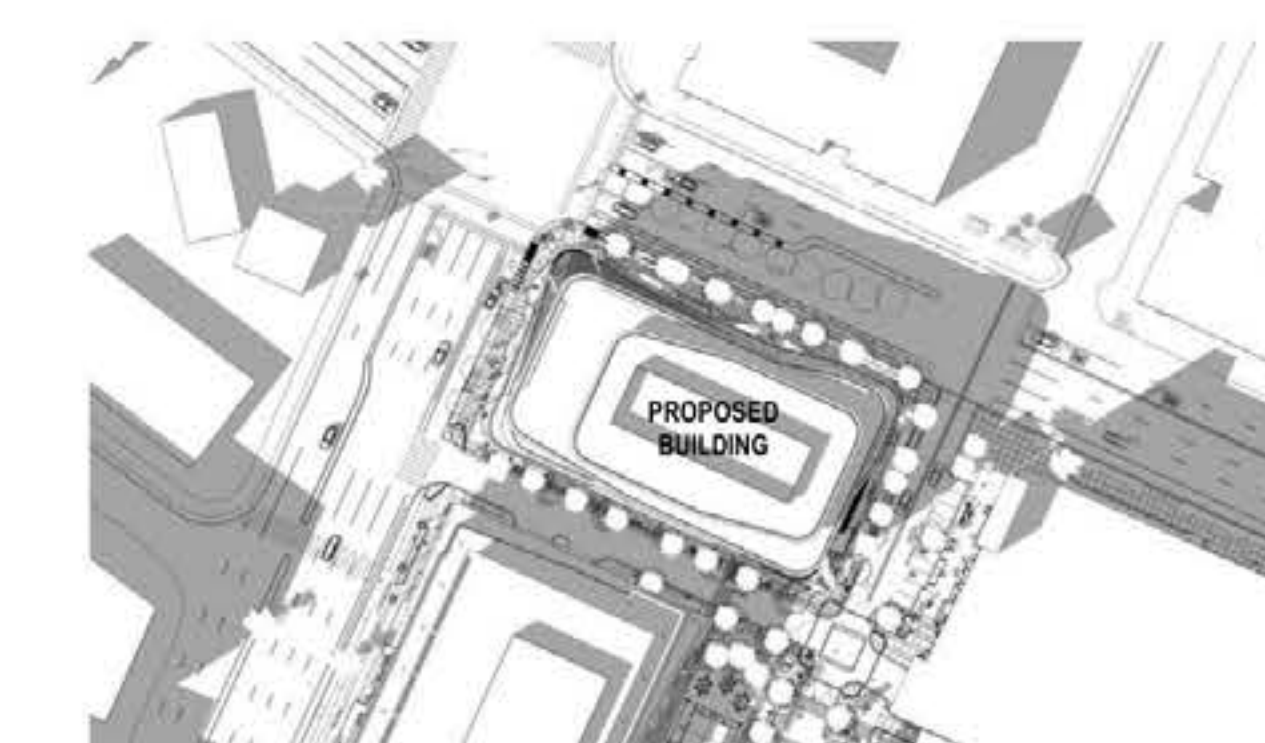
AUTUMNAL EQUINOX
SEPTEMBER 20TH



9AM

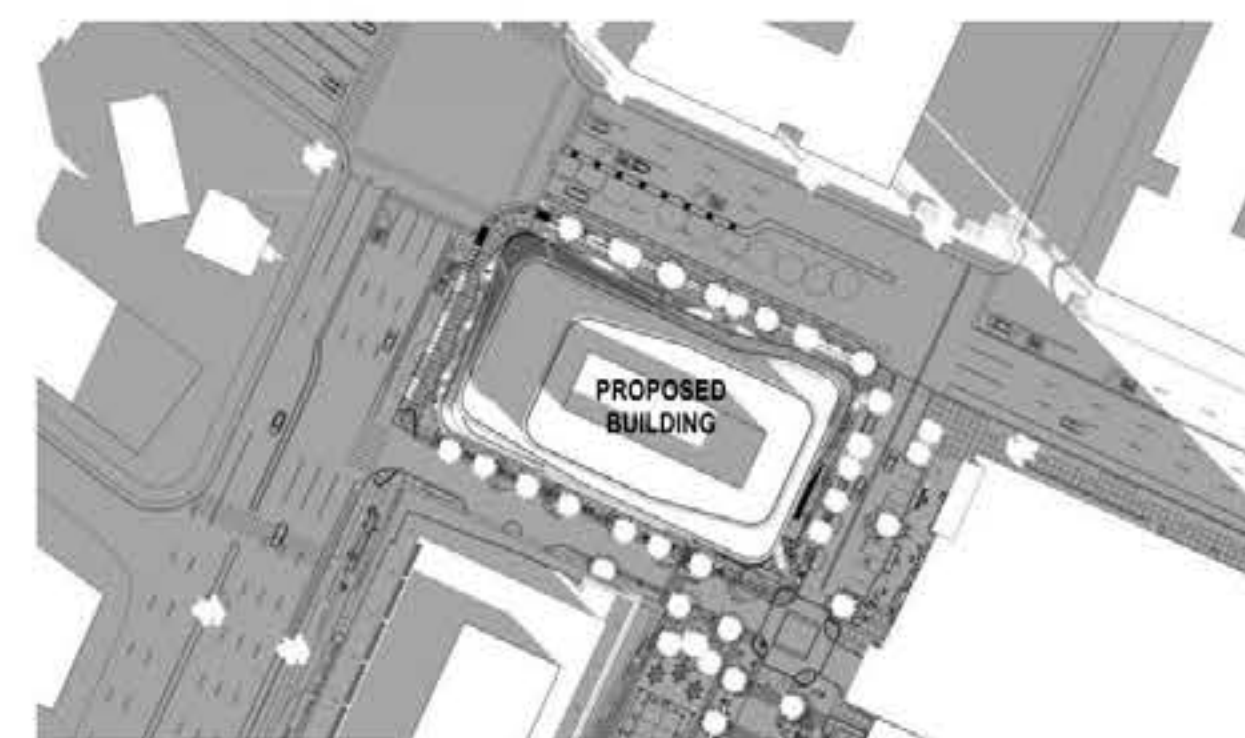


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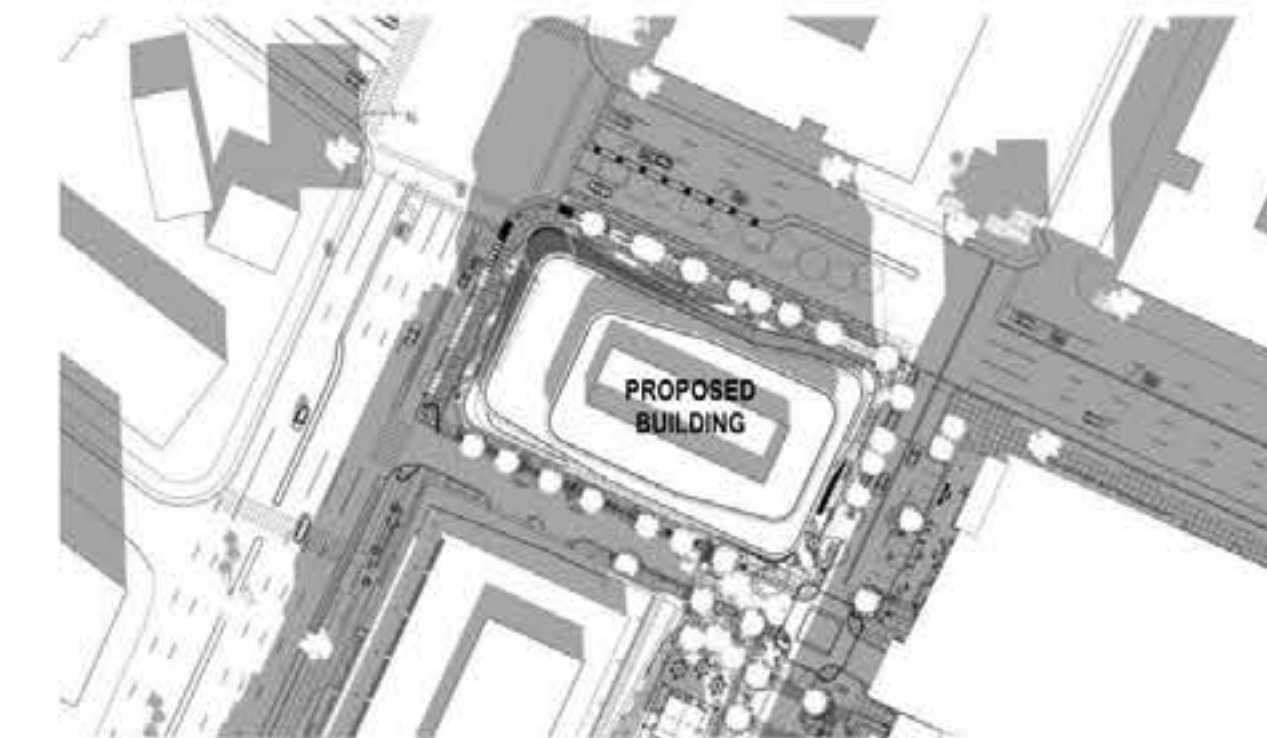


3PM

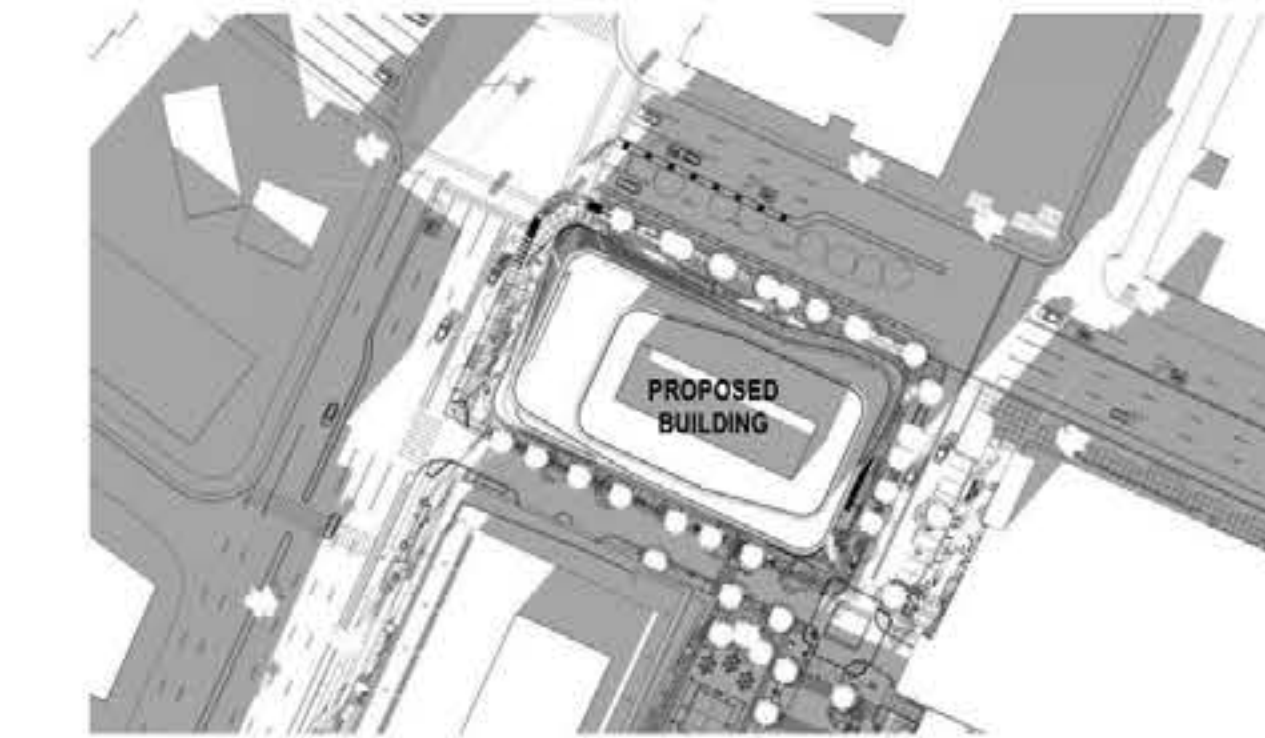
WINTER SOLSTICE
DECEMBER 20TH



9AM



12PM



3PM

MerloneGeier
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**FOR
REFERENCE
ONLY**

2 05.05.2021 -planning
submittal 4

Issue	Date & Issue Description	By	Check
02.20.2020	- PLANNING SUBMITTAL 1		
07.10.2020	- PLANNING SUBMITTAL 2		
10.07.2020	- PLANNING SUBMITTAL 3		
05.05.2021	- PLANNING SUBMITTAL 4		
07.19.2021	- PLANNING SUBMITTAL 5		
09.27.2021	- PLANNING SUBMITTAL 6		
10.29.2021	- PLANNING SUBMITTAL 7		

Seal/Signature

**NOT FOR
CONSTRUCTION**

Project Name

SAVN | BLOCK III

Project Number

055.7739.000

Description

SOLAR STUDIES

Scale

100.04

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