

CITY OF MOUNTAIN VIEW
RESOLUTION NO.
SERIES 2019

A RESOLUTION ORDERING THE SUMMARY VACATION OF A PORTION OF
PUBLIC STREET AND UTILITY EASEMENT LOCATED AT
701 WEST EVELYN AVENUE

WHEREAS, the City of Mountain View has elected to proceed under the provisions of the Public Streets, Highways and Service Easements Vacation Law, commencing with Section 8300, and in particular, Chapter 4, Sections 8333 and 8334.5, regarding summary vacation of the Streets and Highways Code of the State of California, to summarily vacate a certain public street and utility easement situated within the corporate limits of said City and more particularly described and shown on Exhibit A, attached hereto; and

WHEREAS, pursuant to said provisions, the City Council may summarily vacate (no public hearing required) said right-of-way described above; and

WHEREAS, the City Council has found, from all the evidence submitted, that the easement described above is unnecessary for present and prospective public use;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Mountain View as follows:

1. The City Council has reviewed and considered the Council report dated November 18, 2019 submitted by the Community Development Department and incorporates by reference said report into this Resolution.

2. The City Council hereby determines that the public convenience and necessity require the vacation of the public street and utility easement located at 701 West Evelyn Avenue, more particularly set forth in the Council report.

3. The City Council finds and determines that there are no in-place public utility facilities in use which would be affected by the vacation.

4. The City Council hereby declares its intention that no easement for public service purposes or for any other purposes is to be reserved or exempted from such proposed vacation.

BE IT FURTHER RESOLVED that the City Council of the City of Mountain View, in accordance with Streets and Highways Code Section 8324(b), finds that this Resolution shall not be recorded until the following conditions have been satisfied:

a. File with the City of Mountain View approved improvement plans, agreements, and bonds for the construction of public street and utility improvements on Hope Street and West Evelyn Avenue required for the project.

b. This Resolution shall be recorded after the existing building is demolished in accordance with approved City recording instructions.

BE IT FURTHER RESOLVED that the City Clerk is hereby directed to cause a certified copy of this order, attested by her under seal, to be recorded in the Office of the Recorder of the County of Santa Clara.

AB/2/RESO
908-11-18-19r

Exhibit: A. Description of Vacation

EXHIBIT "A"
LEGAL DESCRIPTION
STREET AND UTILITY EASEMENT VACATION AREA

A Street Vacation situated in the City of Mountain View, County of Santa Clara, State of California, being a portion of the land described in that certain Grant Deed recorded on October 31, 2016 as Document No. 23483291, Official Record of Santa Clara County, more particularly described as follows:

Commencing at the point of intersection of the southwesterly line of Evelyn Avenue with the northwesterly line of Hope Street as both are shown on that certain Parcel Map filed for record on September 2, 2003 in Book 763 of Maps at Pages 28 & 29, Santa Clara County Records;

Thence along said southwesterly line of Evelyn Avenue North $63^{\circ}40'25''$ West, 74.99 feet to the most northerly corner of the land described in said Grant Deed;

Thence South $26^{\circ}15'54''$ West, 5.00 feet along the northwesterly line of said land to the True Point of Beginning.

Thence continuing along said northwesterly line South $26^{\circ}15'54''$ West, 5.00 feet;

Thence leaving said northwesterly line South $63^{\circ}40'25''$ East, 60.75 feet along a line parallel with and distant ten (10.00') feet southeasterly measured at a right angle from said southwesterly line of Evelyn Avenue to the beginning of a curve to the right.

Thence along said curve to the right having a radius of 10.00 feet, through a central angle of $68^{\circ}45'59''$ for an arc distance of 12.00 feet to the beginning of a non-tangent curve to the right.

Thence along said non-tangent curve to the right, having a radius of 10.00 feet and to which point a radial line bears North $56^{\circ}45'54''$ East, through a central angle $59^{\circ}26'53''$ for an arc distance of 10.38 feet to a point of cusp on the said northwesterly line of Hope Street.

Thence along a non-tangent curve to the left, having a radius of 20.00 feet and to which point a radial line bears South $63^{\circ}43'21''$ East, through a central angle $89^{\circ}56'36''$ for an arc distance of 31.40 feet;

Thence North $63^{\circ}40'25''$ West along a line parallel with and distant five (5.00') feet southwesterly measured at a right angle from said southwesterly line of Evelyn Avenue, 55.01 feet to the True Point of Beginning.

Containing $349 \pm$ Sq.Ft., more or less.

November 4, 2019

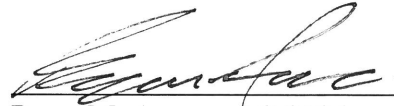
Job No. A15103-3

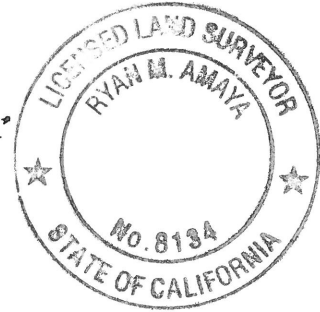
Page 2 of 3

As shown on Exhibit "B" attached hereto and by this reference made a part hereof.

Legal Description prepared by Kier & Wright Civil Engineers and Surveyors, Inc.

11-4-19
Date

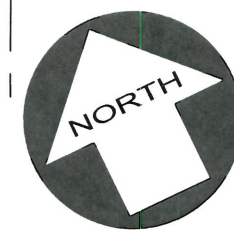
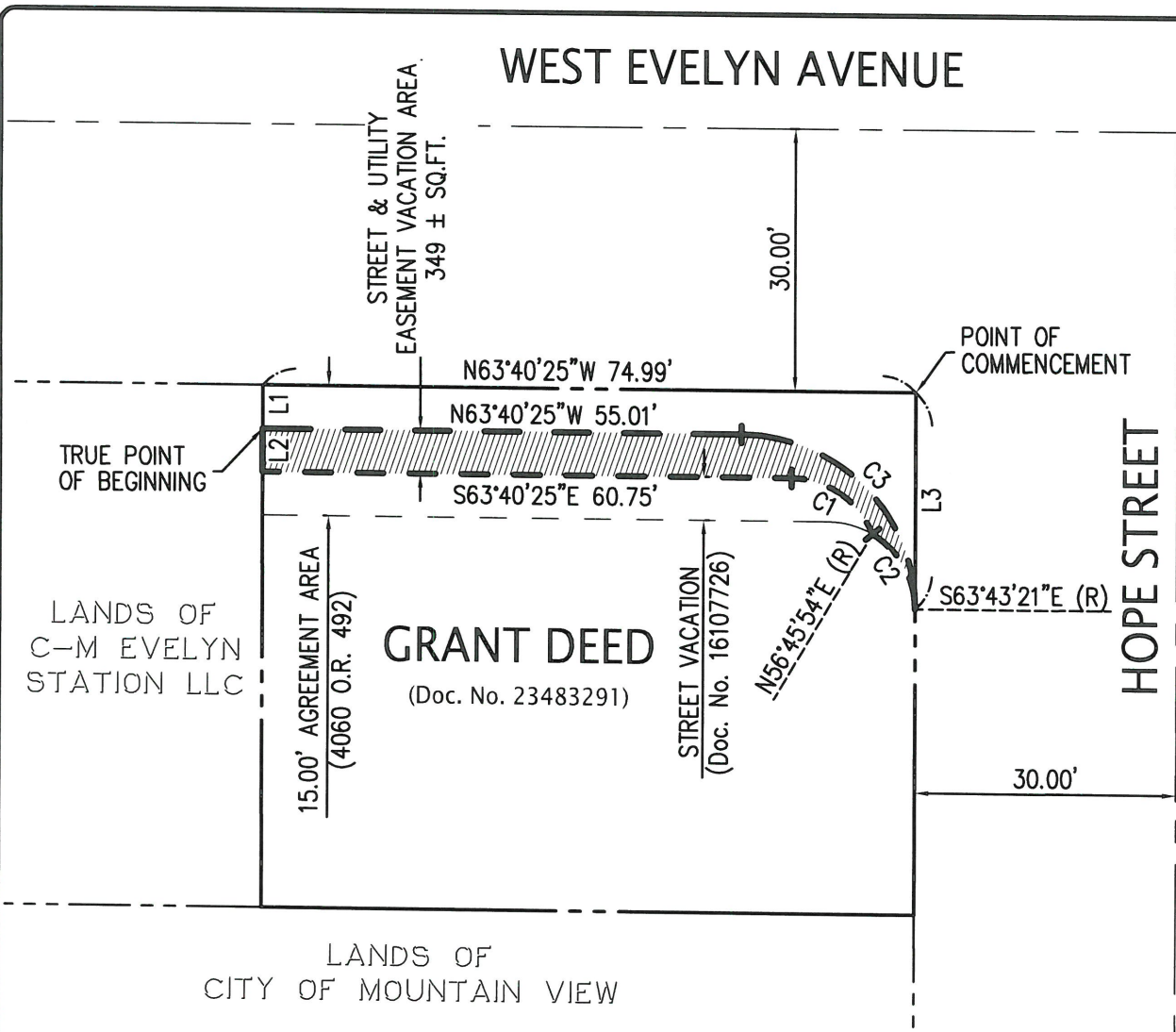

Ryan M. Amaya, LS 8134



WEST EVELYN AVENUE

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	10.00'	68°45'59"	12.00'
C2	10.00'	59°26'53"	10.38'
C3	20.00'	89°56'36"	31.40'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S26°15'54"W	5.00'
L2	S26°15'54"W	5.00'
L3	N26°16'11"E	24.98'



KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 3350 Scott Boulevard, Building 22 Phone (408) 727-6665
 Santa Clara, California 95054 Fax (408) 727-5641
 www.kierwright.com

EXHIBIT 'A'
STREET & UTILITY EASEMENT VACATION AREA

MOUNTAIN VIEW SANTA CLARA COUNTY CALIFORNIA

DATE	NOVEMBER, 2019
SCALE	1" = 30'
BY	JF
JOB NO.	A15103-3
SHEET	3 OF 3