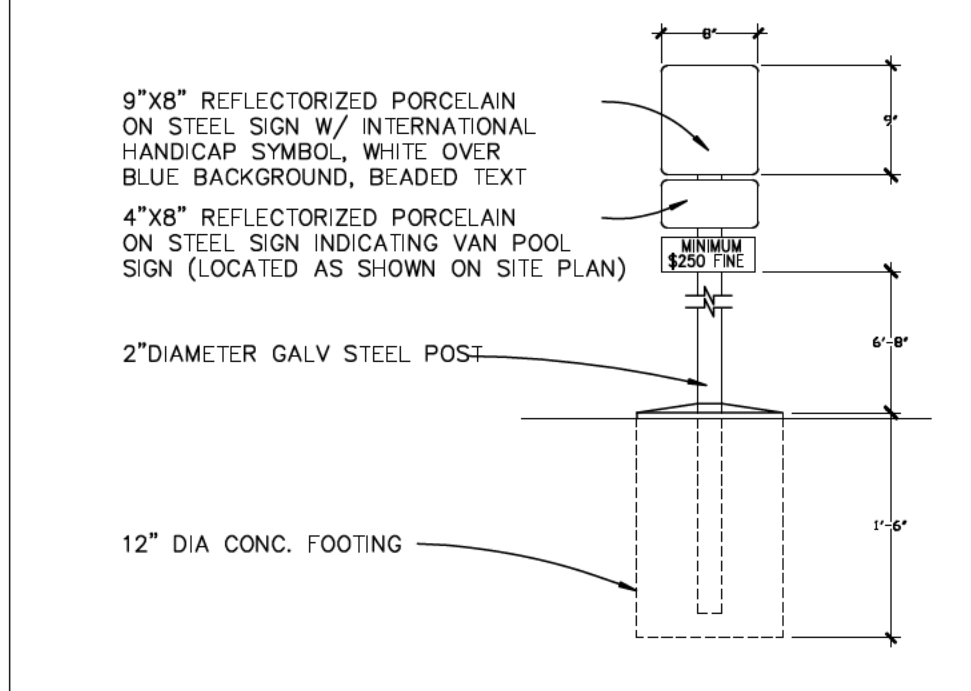


- PROJECT DESCRIPTION**
- 1) RESTAURANT REMODEL PROJECT FROM EXISTING VACANT RESTAURANT SPACE LOCATED AT 357 CASTRO STREET, MOUNTAIN VIEW
 - 2) MAINTAINING EXISTING INTERIOR LAYOUT REMOVING EXISTING SUSHI STATION TO INCREASE SEATING CAPACITY
 - 3) RETAINING EXISTING INTERIOR FINISHES, REPAIR, REPAINT AND UPDATING ADA COMPLIANCE AS REQUIRED TO BEST ACHIEVE SUSTAINABLE ASPECT OF THE PROJECT
 - 4) CREATING THE LEASE DISTURBANCE TO ON-SITE CONDITIONS AND NONE OFF-SITE CONDITIONS
 - 5) CURRENT OCCUPANCY IS RESTAURANT, THE SPACE HAS BEEN VACANT FOR AT LEAST 2 YEARS
 - 6) PROPOSED ALTERATION INCLUDES REMOVING OF THE EXISTING SUSHI BAR, INSTALLING AN ENCLOSED DUMPLING MAKING STATION, ADDING ADDITIONAL SEATING AND UPDATING ADA ACCESSIBILITY COMPLIANCE
 - 7) OPEN TUESDAY TO SUNDAY FROM 11:00 AM TO 3:30 PM AND 4:30 PM TO 9:00 PM OCEAN ONE SEAFOOD COMPANY WILL HAVE 4 TO 6 EMPLOYEES AT ITS FULL CAPACITY THIS RESTAURANT WILL HAVE 44 CUSTOMERS
 - 8) WILL MAINTAIN AS RESTAURANT FOR MR. BAO CHINESE RESTAURANT
 - 9) THERE IS NO CHANGE TO THE USE EXCEPT CHANGE FROM JAPANESE CUISINE TO CHINESE
 - 10) NOT PROPOSING FOR SUBDIVISION

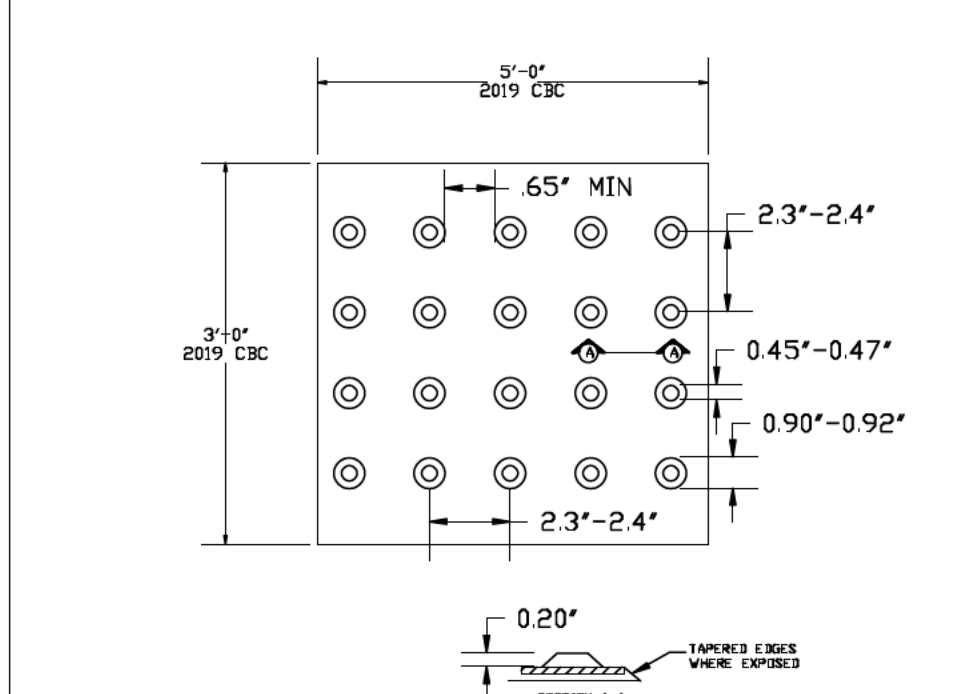
- PROJECT INFORMATION**
- 1) 357 CASTRO STREET, MOUNTAIN VIEW, CA 94041
 - 2) CONSTRUCTION TYPE: 111 B
 - 3) CURRENT ZONING AND PLAN DESIGNATION: C2-GENERAL-COMMERCIAL
 - 4) SPECIAL FLOOD HAZARD ZONE: B AND X
 - 5) ASSESSOR'S PARCEL MAP NUMBER: 158-23-36
 - 6) LOT AREA: 11,416.82 SF
 - 7) RESIDENTIAL DENSITY: N/A
 - 8) SITE COVERAGE: N/A
 - 9) UNIT AREA: 1,607 SF
 - 10) FLOOR AREA RATIO: N/A
 - 11) REQUIRE AND PROPOSED PARKING: (EXISTING)

SCOPE OF WORK:
REMOVE (E) SUSHI BAR CABINETS, SINKS, OUTLETS AND PLUMBING INSTALL NEW DUMPLING MAKING ROOM WITH EXISTING RELOCATED UNDER COUNTER REFRIGERATORS WITH SS COUNTER TOPS, INSTALL NEW OUTLETS ADJUST HALL WAY WALL PER ADA STANDARDS REPAIR FLOOR QUARRY TILE AT DUMPLING ROOM AND EXISTING KITCHEN, INSTALL 4' HIGH STUD WALLS WITH 1/2" CLEAR TEMPER GLASS ABOVE

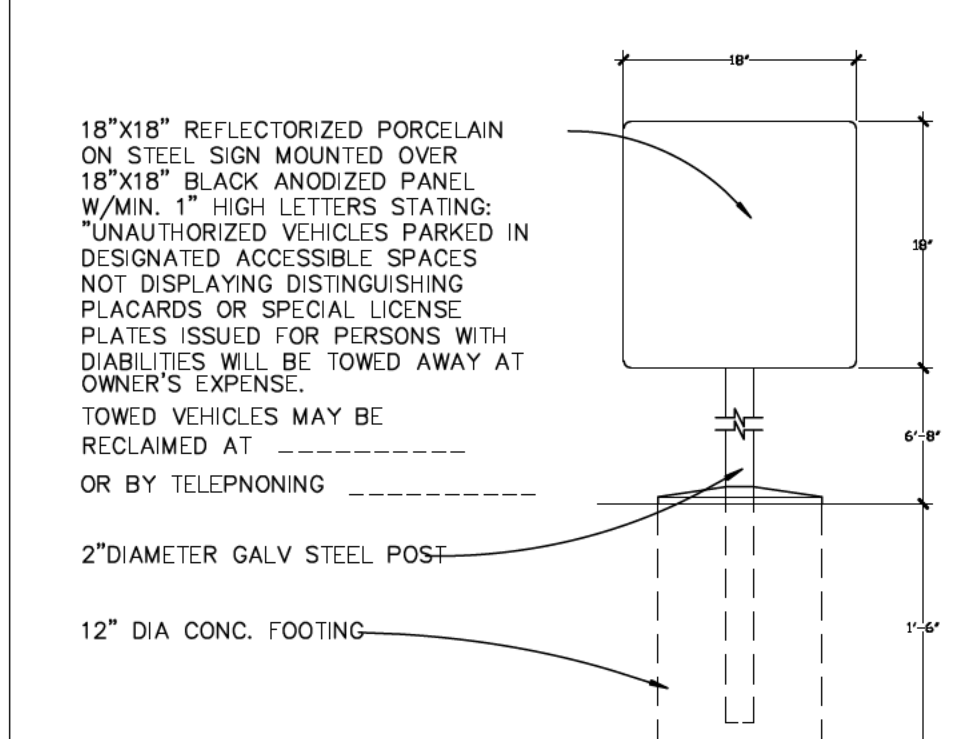
SCOPE OF WORK NTS 13



(E) ADA PARKING SIGN NTS 6



(E) TRUNCATED DOME NTS 7



(E) TOW AWAY SIGN NTS 8

PLANNING NOTES NTS 12

PROVIDE DEFERRED SUBMITTAL OF FIRE ALARM AND FIRE SPRINKLER SYSTEMS ALTERATION PLANS FOR FIRE PERMIT

PLUMBING FIXTURE CALCULATIONS
1607/200=8.035 OCCUPANT LOAD
TOTAL OCCUPANT LOAD: 8 < 50
PER CPC 2022 SECTION 422.2 EXCEPTION 3 ONE UNSEX RESTROOM IS PERMITTED WHEN OCCUPANT LOAD IS LESS THAN 50 (ONE ALL GENDER RESTROOMS IS PROVIDED)
TOTAL OCCUPANT LOAD: 8 < 30
PER CPC 2022 SECTION 415.2 LESS THAN 30 OCCUPANTS DRINKING FOUNTAIN IS NOT REQUIRED

CONSTRUCTION NOTES NTS 11

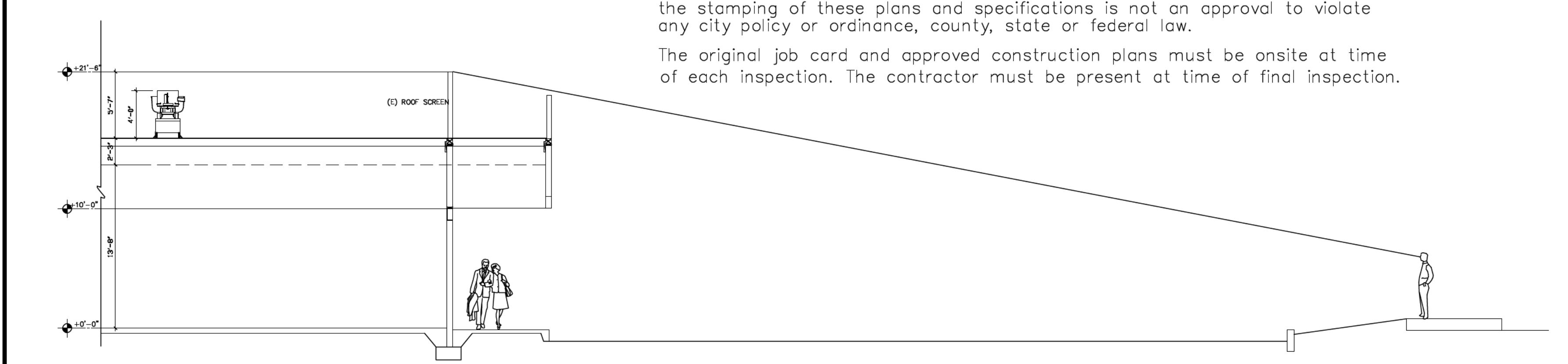
the stamping of these plans and specifications is not an approval to violate any city policy or ordinance, county, state or federal law.
The original job card and approved construction plans must be onsite at time of each inspection. The contractor must be present at time of final inspection.

LEGEND
--- ADA ACCESSIBLE PATH
① EXISTING ADA SIGN @ ENTRY DOOR MOUNTED 60" ABOVE PAVING

NOTES
ALL WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL MUST:
1. BE CONTINUOUSLY ACCESSIBLE
2. HAVE MAXIMUM 1/2" CHANGES IN ELEVATION
3. BE MINIMUM OF 48" IN WIDTH
4. WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE RAMP COMPLIING WITH CURRENT CBC STANDARDS



SITE PLAN, PARCEL & TRNSIT VICINITY MAPS 1/8" 5



LINE OF SIGHT NTS 10

(E) PAINTED ADA SIGN NTS 9

GENERAL NOTES NTS 2

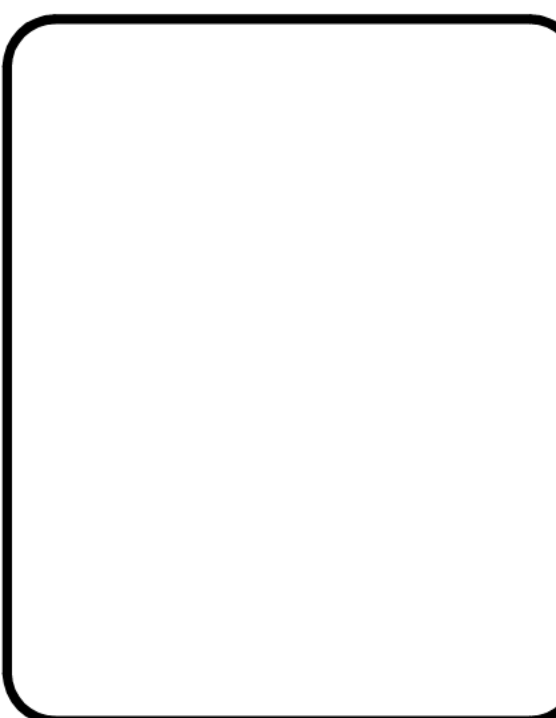
SITE AREA:	0.262	ACRES
	11,416.82	SQ. FT.
THIS BUILDING AREA:	11,416.82	SQ. FT.
AREA OF THIS UNIT:	1,607	SQ. FT.
OCCUPANT LOAD: DINING	795/15=53	
OCCUPANT LOAD: KITCHEN, RESTROOMS	812/200=5	
TOTAL OCCUPANT LOAD:	58	
BUILDING COVERAGE:	(E)	%
PARKING REQUIRED:	(E)	CARS
PARKING PROVIDED:	(E)	STANDARD STALLS
	(E)	DISABLED STALLS
	(E)	COMPACT STALLS
	(E)	STALLS
TOTAL PARKING RATIO:	(E)	%
PAVED AREA:	(E)	SQ. FT.
LANDSCAPING COVERAGE:	(E)	%
LANDSCAPE AREA:	(E)	SQ. FT.
LANDSCAPING COVERAGE:	(E)	%
TYPE OF CONSTRUCTION:	III-B	
OCCUPANCY:	B-A2	
USE ZONE:	C2-GENERAL-COMMERCIAL	
FIRE SPRINKLER SYSTEM:	NONE-SPRINKLERED	
C.B.C:	2022	
C.F.C:	2022	
C.P.C:	2022	
C.E.C:	2022	
C.M.C:	2022	
CALIFORNIA ADA CODE:	2022	
CALIFORNIA ENERGY CODE:	2022	
CALIFORNIA GREEN BLDG STD CODE:	2022	
MOUNTAIN VIEW MUNICIPAL CODE:	2022	

TABULATION NTS 3

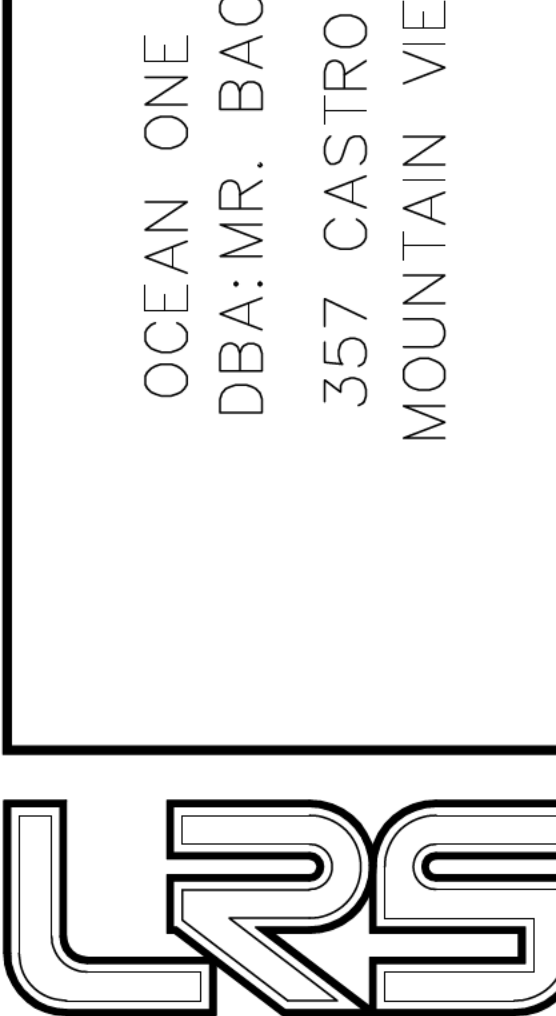
- ARCHITECTURAL**
A-1 SITE PLAN, TABULATION, NOTES & SITE DETAILS
A-2 FLOOR PLAN, DEMOLITION PLAN, SCHEDULES, AND LEGEND
A-3 REFLECTED CEILING PLAN, FINISH SCHEDULE, HEALTH DEPARTMENT NOTES
A-4 ARCHITECTURAL DETAILS
- ELECTRICAL**
E-1 ELECTRICAL POWER PLAN, ONE LINE DIAGRAM, PANEL SCHEDULES, LEGEND
E-2 ELECTRICAL LIGHTING PLAN, LEGEND AND NOTES
- MECHANICAL**
M-1 HVAC PLANS, SCHEDULES
- PLUMBING**
P-1 PLUMBING PLANS, SEWER AND WATER
P-2 PLUMBING FIXTURES DETAILS
- CLEAN BAY BLUEPRINT

DRAWING INDEX NTS 4

REVISIONS



OCEAN ONE SEAFOOD
DBA: MR. BAO KITCHEN
357 CASTRO STREET
MOUNTAIN VIEW, CA 94041



LRS ASSOCIATES
DESIGN AND PLANNING
2059 CAMDEN AVENUE, STE 303
SAN JOSE, CA 95124

DATE	PROJECT NO.
10-15-2023	45.3250
SCALE	DRAWN
SHOWN	MW
SHEET	
	A-1
OF SHEETS	

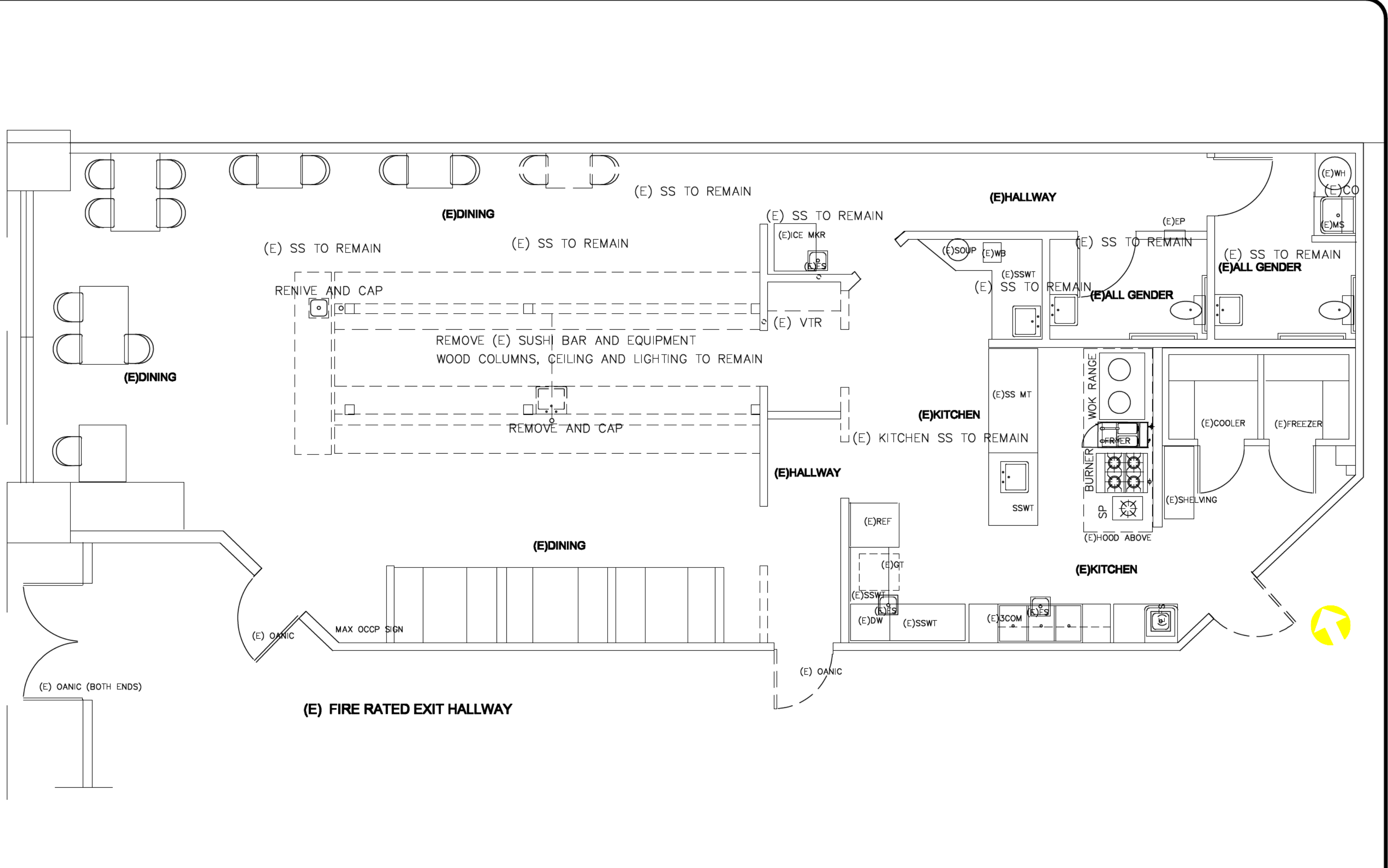
DOOR SCHEDULE		LEGEND:	
A	3'-0"x7'-0"x1-3/4" SOLID CORE WOOD DOOR WITH PREFINISHED OAK VENEER SET IN CLEAR ANODIZED ALUMINUM FRAME. (DOORS FOR RESTROOMS TO BE TIGHT FIT)	F-1	(E) RECESSED 2X4 LED FIXTURES 2LAMPS 23W/3000LUMENS
B	(E) 3'-0"x7'-0"x1-3/4" HOLLOW METAL DOOR SET IN HOLLOW METAL DOOR	F-2	(E) RECESSED LED DOWN LIGHT 1LAMP 10W/800LUMENS
C	(E) 3'-0"x7'-0"x1-3/4" ALUM GLASS DOOR SET IN ALUM FRAME	F-3	(E) PENDENT LED LIGHT FIXTURE 1LAMP 10W/800LUMENS
HARDWARE SCHEDULE		\$ WALL SWITCH □ DISCONNECT (E) EXISTING TO REMAIN (ER) EXISTING TO BE REMOVED (N) NEW (NL) NIGHT LIGHT ◀ EMERGENCY LIGHT T MANUAL VOLUME DAMPER T THERMOSTAT B BI-PASS SWITCH	
GROUP 1	1-1/2 PAIR BUTTS 179 X 4-1/2 X 4-1/2 STA 1 LOCKSET (LEVER TYPE) D50 PD RHODES SCH 1 STOPS W9 X BBW		
GROUP 2	1-1/2 PAIR BUTTS 179 X 4-1/2 X 4-1/2 STA 1 LOCKSET (LEVER TYPE) D40 PD RHODES SCH 1 STOPS W9 X BBW 1 CLOSER 1708 NGR		
GROUP 3	PANIC HARDWARE		
(E) EXISTING (R) EXISTING TO BE REMOVED (RL) EXISTING TO BE RELOCATED (N) NEW			
TACTILE SIGNAGE [For DSA/AC & SFM] Tactile Exit Signage. For the purposes of CBC 2019, the term "tactile exit sign" shall mean those required signs that comply with CBC 2019 [For DSA/AC & SFM] Where required, Tactile exit signs shall be required at the following locations: 1. Each grade - level exterior exit door shall be identified by a tactile exit with the word "EXIT". 2. Each exit door that leads directly to a grade - level exterior exit by means of stairway or ramp shall be identified by tactile exit sign with the following words as appropriate: A. "EXIT STAIR DOWN" B. "EXIT RAMP DOWN" C. "EXIT STAIR UP" D. "EXIT RAMP UP" 3. Each exit door that leads directly to a grade - level exterior exit means of an exit enclosure or an exit passageway shall be identified by tactile exit with the sign with the word "EXIT ROUTE". 4. Each exit access door from an interior room or area to a corridor or hallway that is required to have a visual exit sign, shall be identified by a tactile exit sign with the words "EXIT ROUTE". 5. Each exit door through a horizontal exit shall be identified by a sign with the words "TO EXIT".			
① ADA SIGN @ ENTRY DOOR MOUNTED 60" ABOVE PAVING			

LEGEND, FINISH SCHEDULE AND NOTES NTS 3

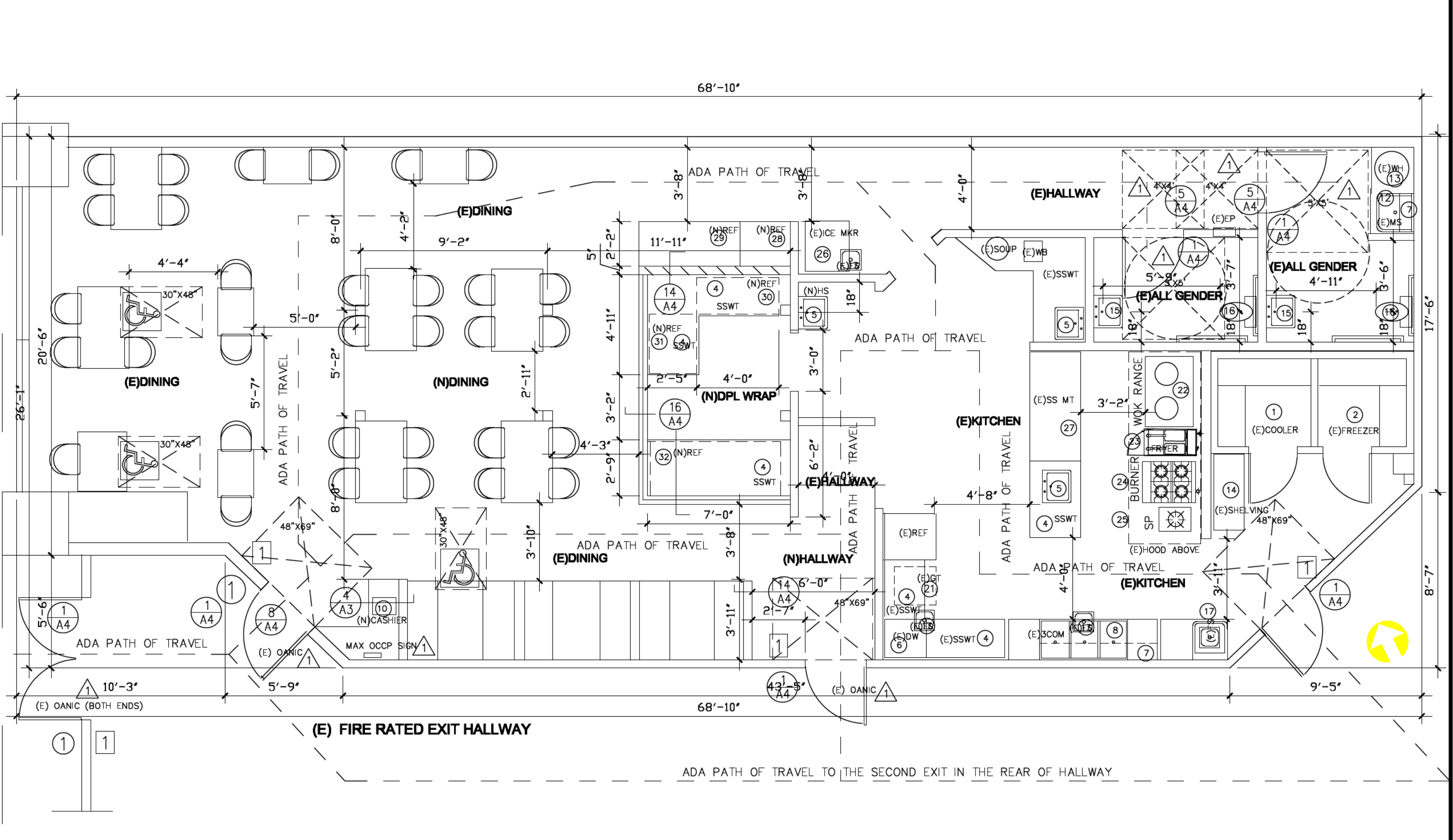
Description	Mfg.	Model	Power	Amp/BTU	HW	CW	Waste	Comments
1 (E)WALK IN COOLER	NORLAKE	4'-6"x5'	115/1/60	1150W 10AMP				CONDENSATE INDIRECT TO FS
2 (E)WALK IN FREEZER	NORLAKE	4'-6"x5'	115/1/60	1150W 10AMP				CONDENSATE INDIRECT TO FS
3 LOCKER	SALSBURY	52368						
4 (E)SS WORKTABLE	ADVANCE TABCO	851331						
5 (E)HAND SINK	ADVANCE TABCO	7PS-17		1.8GPM	1/2"IPS	1/2"IPS	1-1/2"IPS	SOAP&TOWEL DISPEN. (2)6" SS GD
6 (E)DISH WASHER	CMA	MODEL C	115/1/60	1380W 12AMP				
7 (E)WALL WIRE SHELVING	METRO	18"X96"						
8 (E)3 COMP SINK	ADVANCE TABCO	FE3-1812-18RL		1.8GPM	1/2"IPS	1/2"IPS	1-1/2"IPS	TO GI INDRT TO FS 1.8GPM
9 (E)PREP SINK	ADVANCE TABCO	FS1-181B		1.8GPM				INDIRECT TO FLOOR SINK 1.8GPM
10 (E)CASH REGISTER	CASIO	841230	120V	0.5AMP 60W			2-1/4"	
11 (E)FLOOR DRAIN	JAY R SMITH	2010 C						
12 (E)MOP SINK/(MTL WALL CAB)	ADVANCE TABCO	9-0P-20		1.8GPM	1/2"IPS	1/2"IPS	1-1/2"IPS	TO GREASE INTERCEPTOR, 1.8GPM
13 (E)HOT WATER HEATER	AO SMITH	BTN154-81GAL	1/2"GAS	154000BTU	3/4"	3/4"		RECOV. RATE: 247GPH T/P TO MS
14 (E)DRY STORAGE SHELVING	METRO							
15 (E)LAVATORY	AMERICAN STDS	COMRADE					0.5 GPM	
16 (E)WATER CLOSET	AMERICAN STDS	CADET					1.28 GPM	
17 (E)FLOOR SINK	JAY R SMITH	3001						
18 CLEAN LINEN	SUPERIOR	6S954						
19 GARBAGE BIN	SUPERIOR	680514						
20 SOIL LINEN	MARSHALL	682806						
21 (E)GREASE TRAP	WATTS	WD-35 75# 35GPM					3"	
22 (E) WOK RANGE	IMPERIAL	ICRA-2		220,000				
23 (E) FRYER	AMERICAN RANGE	AF-45		120,000				
24 (E) BURNER/OVEN	AMERICAN RANGE	AR30-4B		163,000				
25 (E) STOCK POT	AMERICAN RANGE	ARSP18		90,000				
26 (E) ICE MAKER	SCOTSMAN	CO330SA-1	115V/60/1	1645W 14.30AMP				INDIRECT TO FS TO GI W/1" GAP 160# W/ FRONT LOCK CASTERS
27 (E) MEGA TOP	TRUE	TSSU-72-18	115/60/1	1185W 10.3AMP				
28 (ER)REFRIGERATOR (23")	TRUE	T-23F	115/60/1	828W 7.20AMP				
29 (ER)REFRIGERATOR (49")	TRUE	T-49	115/60/1	667W 5.90QAMP				
30 (ER)REFRIGERATOR (48")	TRUE	TWT-48-ADA	115/60/1	575W 5.00AMP				
31 (ER)REFRIGERATOR (36")	TRUE	TUC-36-LP	115/60/1	702W 6.10AMP				
32 (ER)REFRIGERATOR (72")	TRUE	TUC-72	115/60/1	978W 8.50AMP				
33 (E) HOT WATER BOULDER	CECILWARE	ME10-EN	120/60/1	1800W 150AMP				

ALL EQUIPMENT SHALL BE NSF APPROVED OR EQUIVALENT.
 ALL GAS LINES SHALL BE 24" ABOVE THE FINISH FLOOR.
 ALL EXPOSED CONDUITS OR PIPES SHALL BE 1/2" AWAY FROM WALL

EQUIPMENT SCHEDULE NTS 4

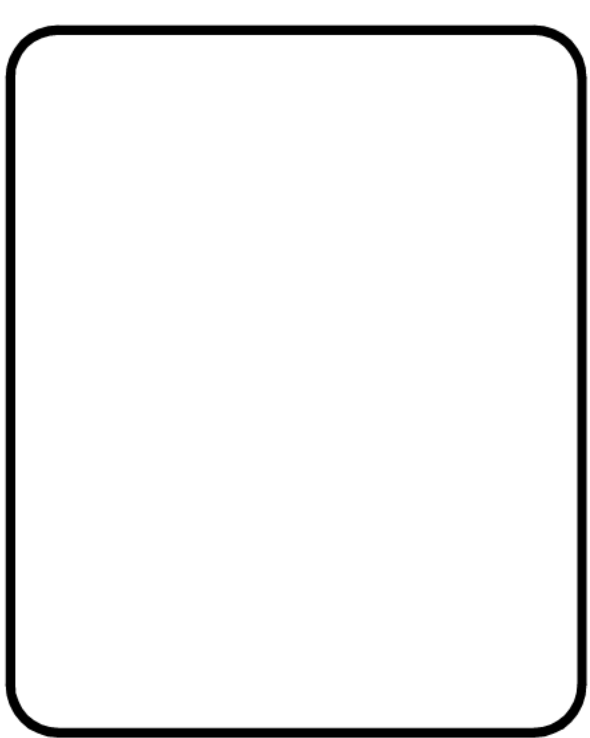


FLOOR DEMOLITION PLAN 1/4" 2



PROPOSED FLOOR PLAN 1/4" 1

REVISIONS	
△ CITY COMMENTS	1-9-2024



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 SAN JOSE, CA 95124

DATE	PROJECT NO.
10-15-2023	45.3250
SCALE	DRAWN
SHOWN	MW
SHEET	
A-2	
OF	SHEETS