

AVALON/AVA @ MIDDLEFIELD
555 WEST MIDDLEFIELD ROAD
MOUNTAIN VIEW, CALIFORNIA

PLANNING SUBMITTAL #4



PROJECT SUMMARY

ADDRESS:
555 West Middlefield Road

GENERAL PLAN DESIGNATION:
APN: 158-49-001

LOT AREA:
Combined: 632,491 SF (14.52 Acres) with park
574,121 SF (13.18 acres) without park

Block A: 67,954 SF (1.56 Acres)
Block B: 97,574 SF (2.24 Acres)
Block C: 153,767 SF (3.53 Acres)
Existing: 254,826 SF (5.85 Acres)
Park Parcel: 58,370 SF (1.34 Acres)

FLOOR AREA RATIO:
Block B Unit Density: **49.55 Units/AC**
(111 Units/2.24 Acres)
Allowable F.A.R.: **1.95 Maximum**

Total Above-Grade Gross Floor Area: **153,805 SF**
(Garage Levels Not Included)
Block B Site Area: **97,574 SF**

Block B F.A.R.: **1.58**
(Above Grade Floor Area/Site Area)

Blocks A, C & Existing Res. Site Unit Density: **56.67 Units/AC**
(620 Units/10.94 Acres)
Allowable F.A.R.: **2.30 Maximum**

Total Above-Grade Gross Floor Area: **559,356 SF**
(Garage Levels Not Included)
Blocks A, C & Existing Res. Site Area: **476,547 SF**

Blocks A, C & Existing Res. F.A.R.: **1.17**
(Above Grade Floor Area/Site Area)

EXISTING UNIT MIX:
Studios: 120
1 Bedroom: 201
2 Bedroom: 81
3 Bedroom: 0
Total: 402 units

PROPOSED UNIT MIX:
Studios: 17
1 Bedroom: 151
2 Bedroom: 135
3 Bedroom: 26
Total: 329 units

PARKING SUMMARY (SEE SHEETS G0.02-G0.03C FOR DETAILS):

	Required	Proposed
Total Number of Parking Spaces:	973	993
Total Number of Accessible Parkings Spaces:	28	28
Total Number of Secure Bike Parking Spaces:	329	482
Total Number of Guest Bike Parking Spaces:	33	35

STORAGE:
Personal storage (180 CF/DU): 59,220 Total CF

BUILDING HEIGHT:
Existing: 40'-0"
Proposed to highest point: 49'-6"
(Does not exceed 5 stories/52'-0" Maximum Height)

OPEN AREA (Please see sheet G0.12)

REGIONAL MAP



VICINITY MAP



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PROJECT TEAM

Owner
AvalonBay Communities
3055 Olin Avenue, Suite 2100
San Jose, CA 95128
Tel. 408.551.5513
Contact: Katherine Qiu

Architect
BDE Architecture
934 Howard Street
San Francisco, CA 94103
Tel. 415.677.0966
Contact: Jon Ennis

Civil Engineer
Langan
135 Main Street, Suite 1500
San Francisco, CA 94105
Tel. 408.283.3642
Contact: Dustin Shitanishi

Landscape Architect
BrightView
8 Hughes Street, Suite 150
Irvine, CA 92618
Tel. 949.238.4900
Contact: Hwa Wang

Joint Trench Engineer
Millennium Design and Consulting, Inc.
3200 Danville Boulevard
Alamo, CA 94507
Tel. 925.783.4300
Contact: Alfred Giusti

PROJECT INFORMATION AND SHEET INDEX

UNIT AND AREA SUMMARY - ALL RESIDENTIAL BUILDINGS										1615
Date 07/29/2019										
CONSTRUCTION TYPE:										ALL BUILDINGS
FLOORS:										Blocks B & C
UNIT TYPE	NAME	Unit				Rentable Area				
		1ST	2ND	3RD	4TH	Total	by Type			
STUDIO	S2V	1	1	1	1	4	1%	2156		
	S3V	1	1	1	1	4	1%	2,192		
	S5V	1	1	1	1	4	1%	2,612		
	S1S	2	1	1	1	5	2%	3,275		
STUDIO SUB-TOTAL		3,050	2,395	2,395	2,395	17	5%	10,235		
1 BEDROOM	A3V	1	1	1	1	4	1%	2,572		
	A4V	4	4	3	3	14	4%	9,268		
	A5V	19	19	18	17	73	22%	51,538		
	A6V	1	1	1	1	4	1%	2,944		
	A7V	-	-	-	-	0	0%	0		
	A1S	1	1	1	1	4	1%	3,020		
	A2S	4	4	4	4	16	5%	12,608		
	A3S	-	1	1	1	3	1%	2,358		
	A4S	-	1	1	1	3	1%	2,550		
	A5S	2	2	3	2	9	3%	7,740		
	A6S	-	-	1	-	1	0%	878		
	A7S	-	-	1	-	1	0%	916		
TOWNHOME	A1T	2	-	2	-	4	1%	3,632		
TOWNHOME	A1TS	2	-	-	-	2	1%	1,816		
	A9S	-	1	1	1	3	1%	2,763		
TOWNHOME	A2T	1	-	1	-	2	1%	1,900		
	A11S	1	1	1	1	4	1%	3,984		
	A12S	1	1	1	1	4	1%	4,112		
1 BDRM SUB-TOTAL		27,383	29,940	30,318	26,958	151	46%	114,599		
2 BEDROOM	B1V	16	16	17	18	67	20%	68,273		
	B2V	-	-	-	-	0	0%	0		
	B3V	1	1	1	1	4	1%	4,200		
	B1S	1	3	6	3	13	4%	15,080		
	B2S	4	4	5	5	18	5%	21,330		
TOWNHOME	B3T	9	-	9	-	18	5%	21,888		
	B3S	2	2	2	2	8	2%	9,632		
	B6V	1	-	-	-	1	0%	1,229		
TOWNHOME	B4TS	3	-	-	-	3	1%	3,654		
TOWNHOME	B5TS	3	-	-	-	3	1%	3,654		
2 BDRM SUB-TOTAL		36,017	37,108	39,138	36,677	135	41%	148,940		
3 BEDROOM	C1S	2	2	2	1	7	2%	8,974		
	C1V	1	1	1	1	4	1%	5,208		
	C2V	-	-	1	-	1	0%	1,368		
	C3V	1	1	1	-	3	1%	4,149		
	C4V	1	1	1	1	4	1%	5,784		
	C5V	-	1	1	1	3	1%	4,434		
	C2S	1	1	1	1	4	1%	6,092		
3 BDRM SUB-TOTAL		8,218	9,696	11,064	7,031	26	8%	36,009		
TOTAL UNITS		74,668	79,139	82,915	73,061	329	100%	309,783		
Net rentable residential area is measured center of demising wall, ext face of stud of ext wall, ext face of stud of corridor wall, excl decks										
Rentable Residential by floor (excl decks)		74,668	79,139	82,915	73,061			309,783		

Gross area by floor (footprint excl decks)	114,013	97,223	100,579	91,083	771,010
	65%	81%	82%	80%	40%
Residential Amenities (Block B)					9,166
Utilization (Amenities / Net Residential)					8%
Leasing/Lounge	2,740				
BOH (Leasing)	900				
Mail/Package Room					
Coworking Space	960			1,066	
Fitness/Yoga (& Restrooms)	2,320				
Bicycle Shop	502				
Dog Spa	226				
Roof Deck (not included in Gross area)				1,068	
Residential Amenities (Block A)					9,848
Utilization (Amenities / Net Residential)					100%
Leasing	1,584				
Co-working	4,094				
Yoga	985				
Fitness	2,017				
Restrooms	484				
Mailroom					
Pool Restrooms/Showers	86				
Residential Amenities (Block C)					4,134
Utilization (Amenities / Net Residential)					2%
Lounge	1,353				
Mailroom					
Coworking Space (Includes Restrooms)				1,540	
Roof Deck (not included in Gross area)				1,273	
Bicycle Shop	257				
Dog Spa	241				
Total Residential Amenities (Blocks A,B,C)					23,148
Utilization (Amenities / Net Residential)					7%
Residential Storage and Bike Parking	1,844	1,643	1,643	1,643	16,610
Maintenance Shop	975				3,679
Circulation/Utility	17,777	16,441	16,021	13,773	79,916
Garage (Blocks A,B,C)					340,372
Total Gross (Blocks A,B,C)	114,013	97,223	100,579	91,083	771,010

OFF STREET PARKING - RESIDENTIAL											
PARKING REQUIRED	PKG RATIO	BLOCK B									
		FLOOR	STANDARD	EV	TANDEM	ACCESS	VAN ACCESS	EV ACCESS	EV VAN ACC.	TOTAL	
NEW		B1	131	14	9	2	1	1	1	159	
STUDIO		1 SURFACE	10	-	-	-	1	-	1	12	
1 BDRM		1 TOTAL	141	14	9	2	2	1	2	171	
2 BDRM		2									
3 BDRM		2 BLOCK A									
TOTAL		FLOOR	STANDARD	EV	TANDEM	ACCESS	VAN ACCESS	EV ACCESS	EV VAN ACC.	TOTAL	
		B3	103	12	-	-	-	-	-	115	
		B2	101	12	-	-	-	-	-	113	
		B1	95	9	-	6	1	1	1	113	
EXISTING		SURFACE	18	2	-	-	1	-	1	22	
STUDIO		120 TOTAL	317	35	-	6	2	1	2	363	
1 BDRM		201									
2 BDRM		81									
3 BDRM		0									
TOTAL		402	FLOOR	STANDARD	EV	TANDEM	ACCESS	VAN ACCESS	EV ACCESS	EV VAN ACC.	TOTAL
TOTAL UNITS		731	B2	208	22	-	-	-	-	230	
TOTAL PARKING REQUIRED		973	B1	171	20	-	7	1	1	201	
PARKING RATIO		1 UNIT/1.33 PARKING SPACES	SURFACE	-	-	-	-	-	-	-	
		TOTAL	379	42	-	7	1	1	1	431	
PARKING PROVIDED (NEW UNITS)		510									
PARKING PROVIDED (EXISTING UNITS)		483	EX. SURFACE	28						28	
TOTAL PARKING PROVIDED		993									
EXCESS PARKING PROVIDED		20	BLOCKS A,B,C								
PARKING RATIO PROVIDED		1 UNIT/1.36 PARKING SPACES	TOTAL	837	91	9	15	5	3	5	993

PROJECT METRICS

UNIT AND AREA SUMMARY JOB 1615-1
 Date 07/29/2019
 SIGNATURE _____
 CONSTRUCTION TYPE: TYPE V OVER TYPE I BLOCK B
 FLOORS: 4 WOOD OVER 1 CONCRETE

UNIT TYPE	NAME	DESCRIB	Unit Net Rentable					Unit			Rentable Area	
			B1	1ST	2ND	3RD	4TH	Total	Target	by Type		
STUDIO	S1S	STUDIO	655	2	1	1	1	5	5%		3,275	
STUDIO SUB-TOTAL			Avg SqFt 655	1,310	655	655	655	5	5%	5%	3,275	
1 BEDROOM	A1S	1 BDRM	755	1	1	1	1	4	4%		3,020	
	A2S	1 BDRM	788	4	4	4	4	16	400%		12,608	
	A3S	1 BDRM	786	-	1	1	1	3	3%		2,358	
	A4S	1 BDRM	850	-	1	1	1	3	75%		2,550	
	A5S	1 BDRM	860	2	2	3	2	9	82%		7,740	
	A6S	1 BDRM	878	-	-	1	-	1	1%		878	
	A7S	1 BDRM	916	-	-	1	-	1	2%		916	
TOWNHOME	A1TS	1 BDRM	908	2	-	-	-	2	2%		1,816	
	A9S	1 BDRM	921	-	1	1	1	3	3%		2,763	
	A11S	1 BDRM	996	1	1	1	1	4	4%		3,984	
	A12S	1 BDRM	1028	1	1	1	1	4	4%		4,112	
1 BDRM SUB-TOTAL			Avg SqFt 855	8,559	11,116	12,862	10,208	50	45%	41%	42,745	
2 BEDROOM	B1S	2 BDRM/ 2 BATH	1,160	1	3	6	3	13	186%		15,080	
	B2S	2 BDRM/ 2 BATH	1,185	4	4	5	5	18	16%		21,330	
	B3S	2 BDRM/ 2 BATH	1,204	2	2	2	2	8	7%		9,632	
	B4TS	2 BDRM/ 2.5 BATH	1,218	3	-	-	-	3	3%		3,654	
	B5TS	2 BDRM/ 2.5 BATH	1,218	3	-	-	-	3	3%		3,654	
2 BDRM SUB-TOTAL			Avg SqFt 1186	11,962	14,282	15,293	11,813	45	41%	46%	53,350	
3 BEDROOM	C1S	3 BDRM/ 2 BATH	1,282	2	2	2	1	7	6%		8,974	
	C2S	3 BDRM/ 3 BATH	1,523	1	1	1	1	4	4%		6,092	
3 BDRM SUB-TOTAL			1370	4,087	4,087	4,087	2,805	11	10%	8%	15,066	
TOTAL UNITS			Avg SqFt 1,031	25,918	30,140	32,897	25,481	111	100%		114,436	

Net rentable residential area is measured center of demising wall, ext face of stud of ext wall, ext face of stud of corridor wall, excl decks

Net rentable Residential by floor (excl decks)	25,918	30,140	32,897	25,481	114,436
Gross area by floor (footprint excl decks)	65,637	41,385	38,107	40,996	219,442
	63%	79%	80%	76%	
Residential Amenities (Listed Below Not Including Roof Deck)					9,166
Leasing/Lounge		2,740			
BOH (Leasing)		900			
Mail/Package Room	452				
Coworking Space		960		1,066	
Fitness/Yoga (& Restrooms)		2,320			
Bicycle Shop		502			
Dog Spa		226			
Roof Deck (not included in Gross area)				1,068	
Residential Storage and Bike Parking	4,686	486	285	285	6,027
Maintenance Shop	1,088				1,088
Circulation/Utility	6,370	7,333	7,682	7,814	35,684
Garage	53,041				53,041
Total Above-Grade Gross (does not include Garage Levels/Roof Deck)		41,385	38,107	40,996	33,317
Total Gross (does not include Roof Deck)	65,637	41,385	38,107	40,996	33,317
Resident storage (lockers)	38	4	2	2	48
Bicycle storage (racks)	67	67	40	40	254
Bicycle storage (lockers)	-	-	-	-	0

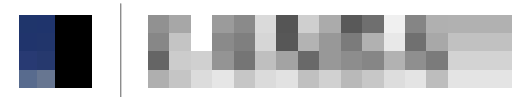
OFF STREET PARKING - RESIDENTIAL

RESIDENTIAL PARKING REQUIRED

UNIT TYPE	PKG RATIO	#UNITS	PKG REQ'D
STUDIO	1	5	5
1 BDRM	1	50	50
2 BDRM	2	45	90
3 BDRM	2	11	22
TOTAL		111	167

FLOOR	STANDARD	EV	TANDEM	ACCESS	VAN ACCESS	EV ACCESS	EV VAN ACC.	TOTAL
B1	131	14	9	2	1	1	1	159
SURFACE	10	-	-	-	1	-	1	12
TOTAL	141	14	9	2	2	1	2	171

BLOCK B METRICS



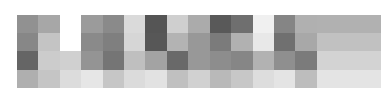
UNIT AND AREA SUMMARY													JOB 1615-2
Date 07/29/2019													
LEASING OFFICE AND AMENITY BUILDING													
CONSTRUCTION TYPE: TYPE I OVER TYPE I													BLOCK A
FLOORS: 1 CONCRETE/STEEL OVER 3 CONCRETE													
	B3	B2	B1	1ST	2ND	3RD	4TH	Total	Rentable Area by Type				
Residential Amenities													9,848
Leasing				1,584									
Co-working				4,094									
Yoga				985									
Fitness				2,017									
Restrooms				484									
Mailroom			598										
Pool Restrooms/Showers				86									
Maintenance Shop			1,616										1,616
Garage													130,743
Total Above-Grade Gross (does not include Garage Levels)				9,250									9,250
Total Gross				9,250									142,207

OFF STREET PARKING - RESIDENTIAL				
EXISTING RESIDENTIAL PARKING REQUIRED				
UNIT TYPE	PKG RATIO	#UNITS	PKG REQ'D	
STUDIO	1	120	120	
1 BDRM	1	201	201	
2 BDRM	2	81	162	
3 BDRM	2	0	0	
TOTAL		402	483	

PARKING PROVIDED FOR EXISTING UNITS				
BLOCK A				363
BLOCK C				92
SURFACE LOT				28
TOTAL PARKING PROVIDED (EXISTING UNITS)				483

FLOOR	STANDARD	EV	TANDEM	ACCESS	VAN ACCESS	EV ACCESS	EV VAN ACC.	TOTAL
B3	103	12	-	-	-	-	-	115
B2	101	12	-	-	-	-	-	113
B1	95	9	-	6	1	1	1	113
SURFACE	18	2	-	-	1	-	1	22
TOTAL	317	35	-	6	2	1	2	363

BLOCK A METRICS



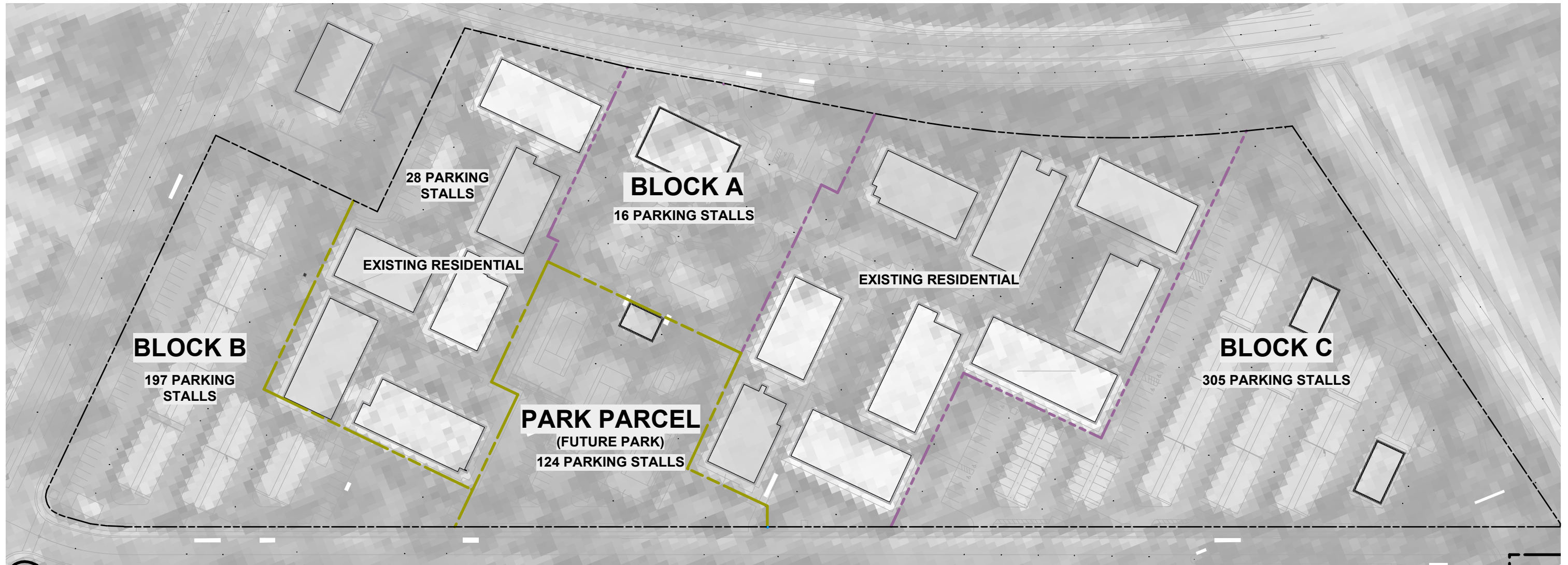
UNIT AND AREA SUMMARY											1615-3		
Date 07/29/2019													
AVA													
CONSTRUCTION TYPE: TYPE V OVER TYPE I											BLOCK C		
FLOORS: 4 WOOD OVER 2 CONCRETE													
UNIT TYPE	NAME	DESCRIB	Unit Net Rentable					Unit		Rentable Area			
			B2	B1	1ST	2ND	3RD	4TH	Total	Target	by Type		
STUDIO	S2V	STUDIO	539			1	1	1	1	4	2%	2,156	
	S3V	STUDIO	548			1	1	1	1	4	2%	2,192	
	S5V	STUDIO	653			1	1	1	1	4	2%	2,612	
STUDIO SUB-TOTAL			580			1,740	1,740	1,740	1,740	12	6%	5%	6,960
1 BEDROOM	A3V	1 BDRM	643			1	1	1	1	4	2%	2,572	
	A4V	1 BDRM	662			4	4	3	3	14	6%	9,268	
	A5V	1 BDRM	706			19	19	18	17	73	33%	51,538	
	A6V	1 BDRM	736			1	1	1	1	4	2%	2,944	
	A7V	1 BDRM	738			0	0	0	0	0	0%	0	
TOWNHOME	A1T	1 BDRM	908			2	-	2	-	4	2%	3,632	
TOWNHOME	A2T	1 BDRM	950			1	-	1	-	2	1%	1,900	
1 BDRM SUB-TOTAL			711			18,824	18,824	17,456	16,750	101	46%	42%	71,854
2 BEDROOM	B1V	2 BDRM/2 BATH	1,019			16	16	17	18	67	31%	68,273	
	B2V	2 BDRM/2 BATH	1,037			0	0	0	0	0	0%	0	
	B3V	2 BDRM/2.5 BATH	1,050			1	1	1	1	4	2%	4,200	
TOWNHOME	B3T	2 BDRM/2.5 BATH	1,216			9	-	9	-	18	8%	21,888	
TOWNHOME	B6V	2 BDRM/3 BATH	1,229			1	0	0	0	1	0%	1,229	
2 BDRM SUB-TOTAL			1,062			24,055	22,826	23,845	24,864	90	41%	45%	95,590
3 BEDROOM	C1V	3 BDRM/ 3 BATH	1,302			1	1	1	1	4	2%	5,208	
	C2V	3 BDRM/ 3 BATH	1,368			0	0	1	0	1	7%	1,368	
	C3V	3 BDRM/ 3 BATH	1,383			1	1	1	0	3	1%	4,149	
	C4V	3 BDRM/ 2 BATH	1,446			1	1	1	1	4	2%	5,784	
	C5V	3 BDRM/ 2 BATH	1,478			0	1	1	1	3	1%	4,434	
3 BDRM SUB-TOTAL			1,396			4,131	5,609	6,977	4,226	15	7%	8%	20,943
TOTAL UNITS			896	Avg SqFt		48,750	48,999	50,018	47,580	218	100%		195,347
Net rentable residential area is measured center of demising wall, ext face of stud of ext wall, ext face of stud of corridor wall, excl decks													
Rentable Residential by floor(excl decks)											195,347		
Gross area by floor (footprint excl decks)											409,361		
											77%		
											83%		
											84%		
											82%		
Residential Amenities (Listed Below Not Including Roof Deck)											4,134		
Lounge						1,353							
Mailroom					743								
Coworking Space (Includes Restrooms)									1,540				
Roof Deck (not included in Gross area)									1,273				
Bicycle Shop						257							
Dog Spa						241							
Residential Storage and Bike Parking											8,085		
Maintenance Shop						975							975
Circulation/Utility					3,353	6,181	10,444	8,759	8,207	7,288			44,232
Garage					80,311	76,277							156,588
Total Above-Grade Gross (does not include Garage Levels/Roof Deck)											239,843		
Total Gross (does not include Roof Deck)											409,361		
Resident storage (lockers)											281		
Bicycle storage (racks)											216		
Bicycle storage (lockers)											12		
OFF STREET PARKING - RESIDENTIAL													
PARKING REQUIRED													
UNIT TYPE	PKG RATIO	#UNITS	PKG REQ'D										
STUDIO	1	12	12										
1 BDRM	1	101	101										
2 BDRM	2	90	180										
3 BDRM	2	15	30										
TOTAL		218	323										
PARKING PROVIDED (NEW UNITS)											339		
PARKING PROVIDED (EXISTING UNITS)											92		
TOTAL PARKING PROVIDED											431		
FLOOR	STANDARD	EV	TANDEM	ACCESS	VAN ACCESS	EV ACCESS	EV VAN ACC.	TOTAL					
B2	208	22	-	-	-	-	-	230					
B1	171	20	-	7	1	1	1	201					
SURFACE	-	-	-	-	-	-	-	-					
TOTAL	379	42	-	7	1	1	1	431					

BLOCK C METRICS

EXISTING SITE

- 402 EXISTING UNITS
- BLOCK B: 197 PARKING STALLS
- BLOCK A: 16 PARKING STALLS
28 PARKING STALLS
- BLOCK C: 305 PARKING STALLS
- PARK PARCEL: 124 PARKING STALLS
- TOTAL EXISTING PARKING: 670 PARKING STALLS

- EXISTING PROPERTY LINE
- FUTURE PROPERTY LINE
- PROJECT BOUNDARY



PARKING PHASING: EXISTING

PHASE I

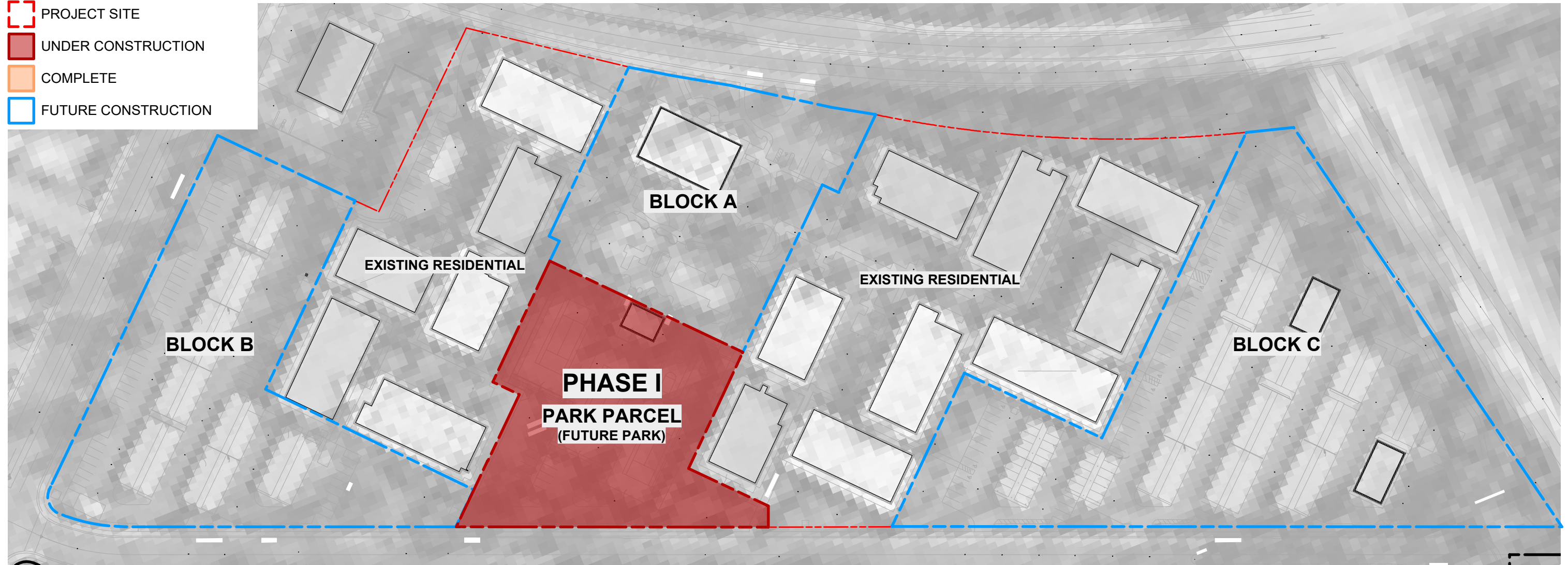
- DEMOLISH SPORTS AND PARKING ON PARK PARCEL
- GRADE PARK PARCEL AND DEDICATE TO CITY FOR PUBLIC PARK

RESIDENTIAL PARKING PHASING

Phase Description	Apartment Homes		Parking Stalls		Parking Ratio
	Change	Total	Change	Total	
Existing		402		670	1.67
Phase I: Demolish Park Parcel		402	-124	546	1.36

TOTAL APARTMENTS: 402
PARKING REQUIRED: 483

- PROJECT SITE
- UNDER CONSTRUCTION
- COMPLETE
- FUTURE CONSTRUCTION



PHASE I - PARK PARCEL

PHASE II

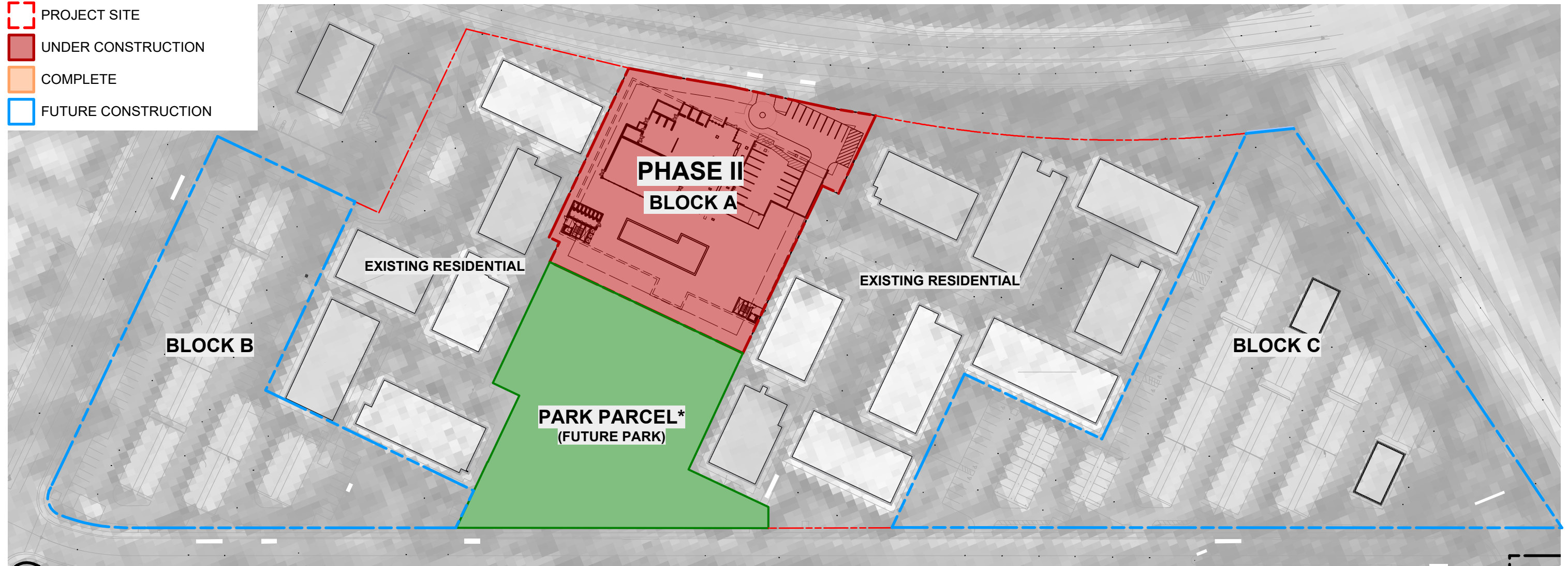
- DEMOLISH EXISTING LEASING OFFICE/CLUBHOUSE/POOL
- REMOVE 16 PARKING SPOTS FROM BLOCK A
- CONSTRUCT BLOCK A PARKING STRUCTURE, LEASING OFFICE, AND AMENITIES (363 PARKING STALLS)

RESIDENTIAL PARKING PHASING

Phase Description	Apartment Homes		Parking Stalls		Parking Ratio
	Change	Total	Change	Total	
Existing		402		670	1.67
Phase I: Demolish Park Parcel		402	-124	546	1.36
Phase II: Construct Block A		402	-16	530	1.32
Phase II: Complete Block A		402	363	893	2.22

TOTAL APARTMENTS: 402
 PARKING REQUIRED: 483

- PROJECT SITE
- UNDER CONSTRUCTION
- COMPLETE
- FUTURE CONSTRUCTION



*PROPOSED CONSTRUCTION STAGING AREA

PHASE II - BLOCK A

PHASE III

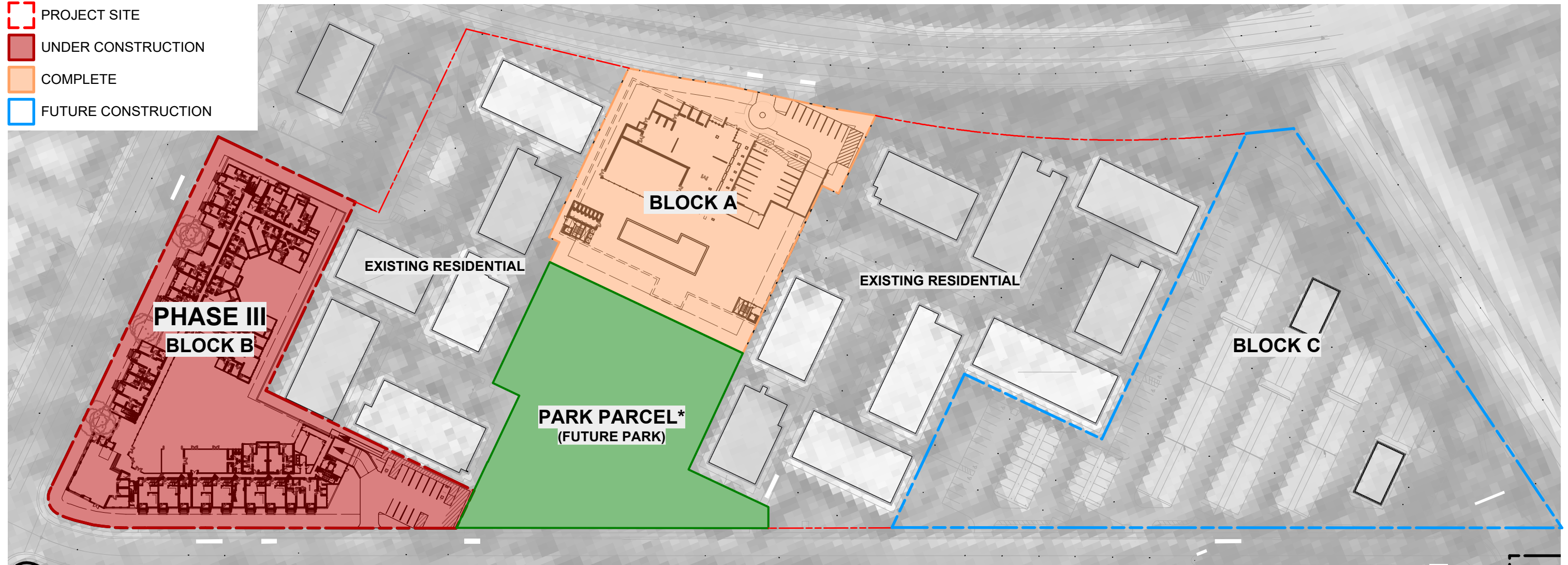
- CLOSE BLOCK B PARKING LOT (197 PARKING STALLS)
- CONSTRUCT BLOCK B APARTMENTS (111 UNITS) & PARKING STRUCTURE (171 PARKING STALLS).

RESIDENTIAL PARKING PHASING

Phase Description	Apartment Homes		Parking Stalls		Parking Ratio
	Change	Total	Change	Total	
Existing		402		670	1.67
Phase I: Demolish Park Parcel		402	-124	546	1.36
Phase II: Construct Block A		402	-16	530	1.32
Phase II: Complete Block A		402	363	893	2.22
Phase III: Construct Block B		402	-197	696	1.73
Phase III: Complete Block B	111	513	171	867	1.69

TOTAL APARTMENTS: 513
 PARKING REQUIRED: 650

- PROJECT SITE
- UNDER CONSTRUCTION
- COMPLETE
- FUTURE CONSTRUCTION



*PROPOSED CONSTRUCTION STAGING AREA

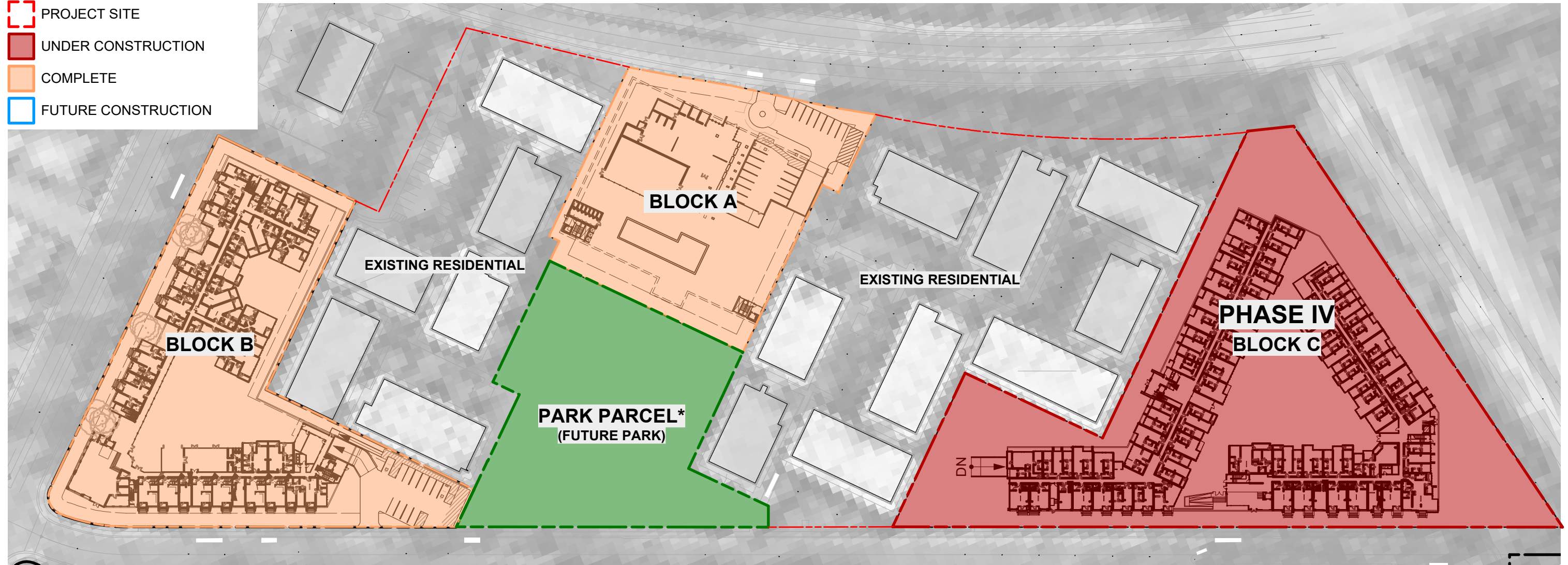
PHASE III - BLOCK B

PHASE IV

- CLOSE BLOCK C PARKING LOT (305 PARKING STALLS)
- CONSTRUCT BLOCK C APARTMENTS (218 UNITS) & PARKING STRUCTURE (431 PARKING STALLS)
- MINOR ENHANCEMENTS TO EXTERIOR OF EXISTING RESIDENTIAL BUILDINGS MADE
- PROPOSE PARKING ON PARK PARCEL DURING CONSTRUCTION (88 TEMPORARY PARKING STALLS)*

TOTAL APARTMENTS: 731
 PARKING REQUIRED: 973

- PROJECT SITE
- UNDER CONSTRUCTION
- COMPLETE
- FUTURE CONSTRUCTION



*PROPOSED CONSTRUCTION STAGING AND ADDITIONAL EXISTING RESIDENTS PARKING AREA

RESIDENTIAL PARKING PHASING

Phase Description	Apartment Homes		Parking Stalls		Parking Ratio
	Change	Total	Change	Total	
Existing		402		670	1.67
Phase I: Demolish Park Parcel		402	-124	546	1.36
Phase II: Construct Block A		402	-16	530	1.32
Phase II: Complete Block A		402	363	893	2.22
Phase III: Construct Block B		402	-197	696	1.73
Phase III: Complete Block B	111	513	171	867	1.69
Phase IV: Construct Block C		513	-217	650	1.27
Phase IV: Complete Block C	218	731	343**	993	1.36
Final	329	731	323	993	1.36

**431 NEW PERMANENT STALLS MINUS THE PROPOSED 88 TEMPORARY STALLS ON THE PARK PARCEL DURING CONSTRUCTION

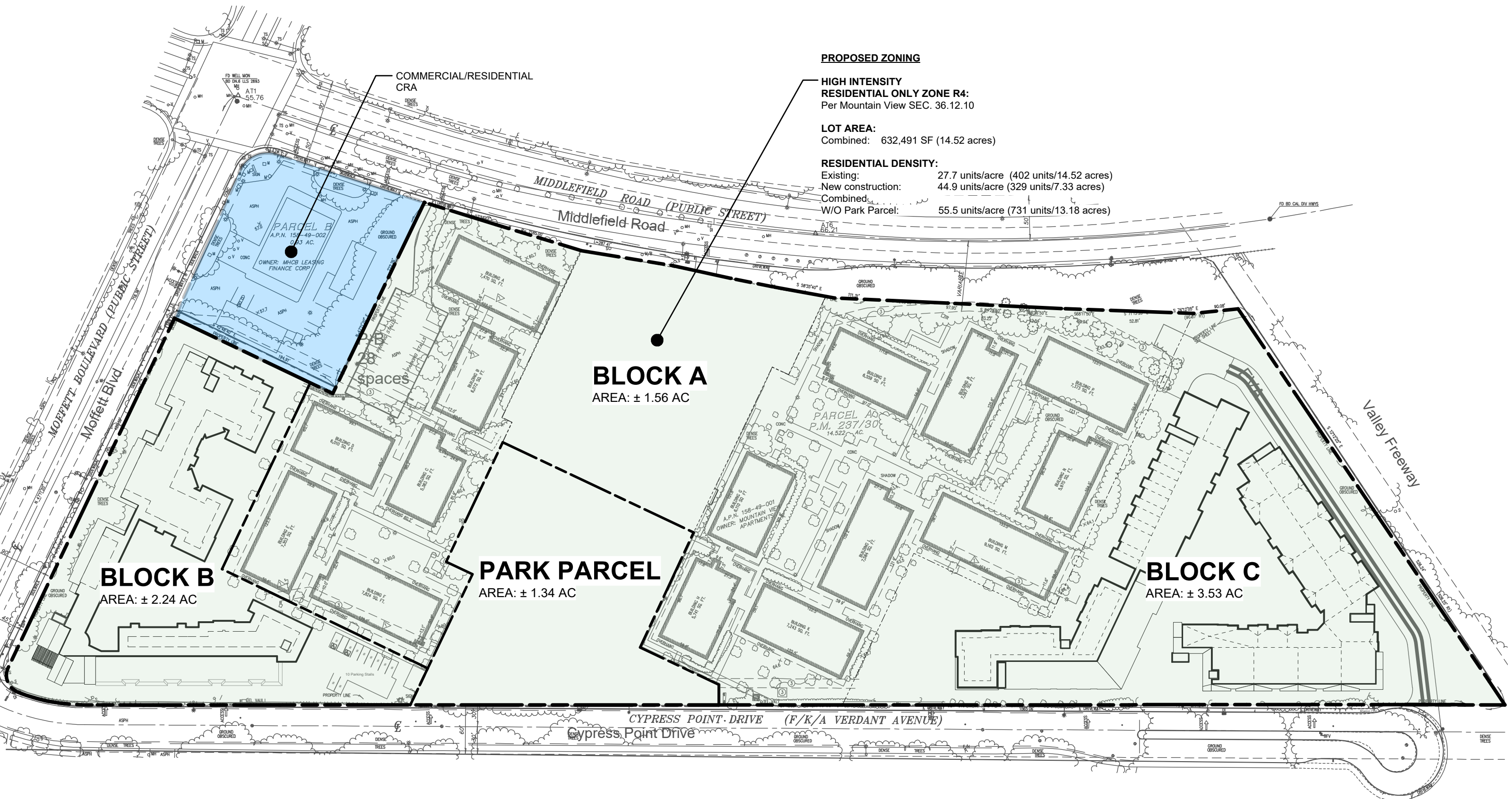
PHASE IV - BLOCK C

PROPOSED ZONING

**HIGH INTENSITY
RESIDENTIAL ONLY ZONE R4:**
Per Mountain View SEC. 36.12.10

LOT AREA:
Combined: 632,491 SF (14.52 acres)

RESIDENTIAL DENSITY:
Existing: 27.7 units/acre (402 units/14.52 acres)
New construction: 44.9 units/acre (329 units/7.33 acres)
Combined: 55.5 units/acre (731 units/13.18 acres)
W/O Park Parcel: 55.5 units/acre (731 units/13.18 acres)



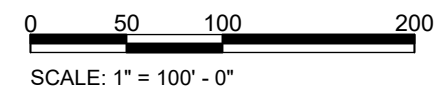
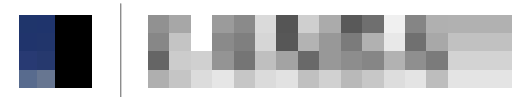
BLOCK A
AREA: ± 1.56 AC

BLOCK B
AREA: ± 2.24 AC

PARK PARCEL
AREA: ± 1.34 AC

BLOCK C
AREA: ± 3.53 AC

SITE ZONING DIAGRAM



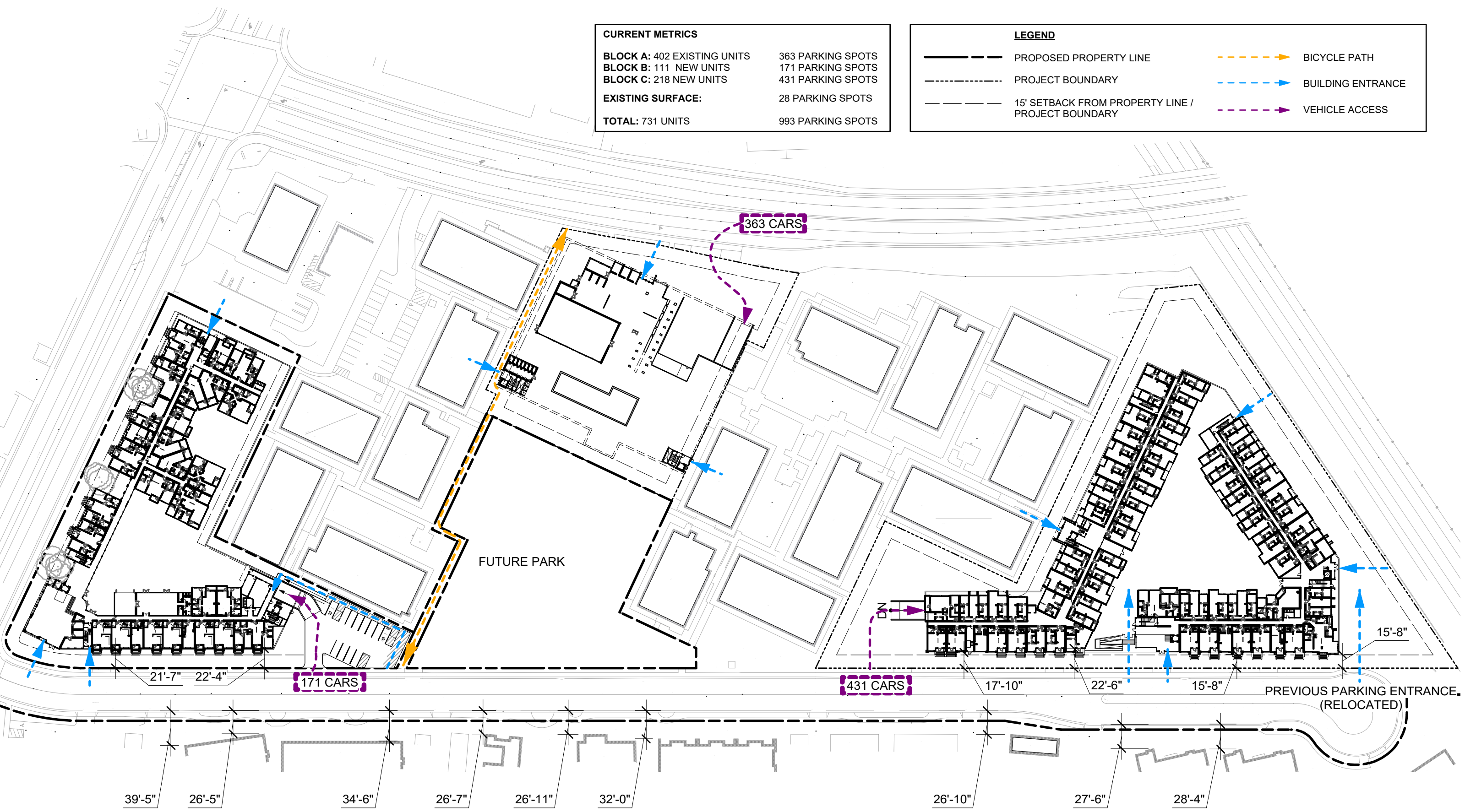
AVALON/AVA @ MIDDLEFIELD

07.31.2020

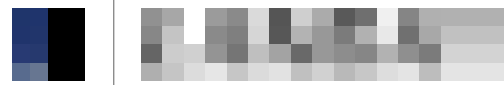
G 0.10

CURRENT METRICS	
BLOCK A: 402 EXISTING UNITS	363 PARKING SPOTS
BLOCK B: 111 NEW UNITS	171 PARKING SPOTS
BLOCK C: 218 NEW UNITS	431 PARKING SPOTS
EXISTING SURFACE:	28 PARKING SPOTS
TOTAL: 731 UNITS	993 PARKING SPOTS

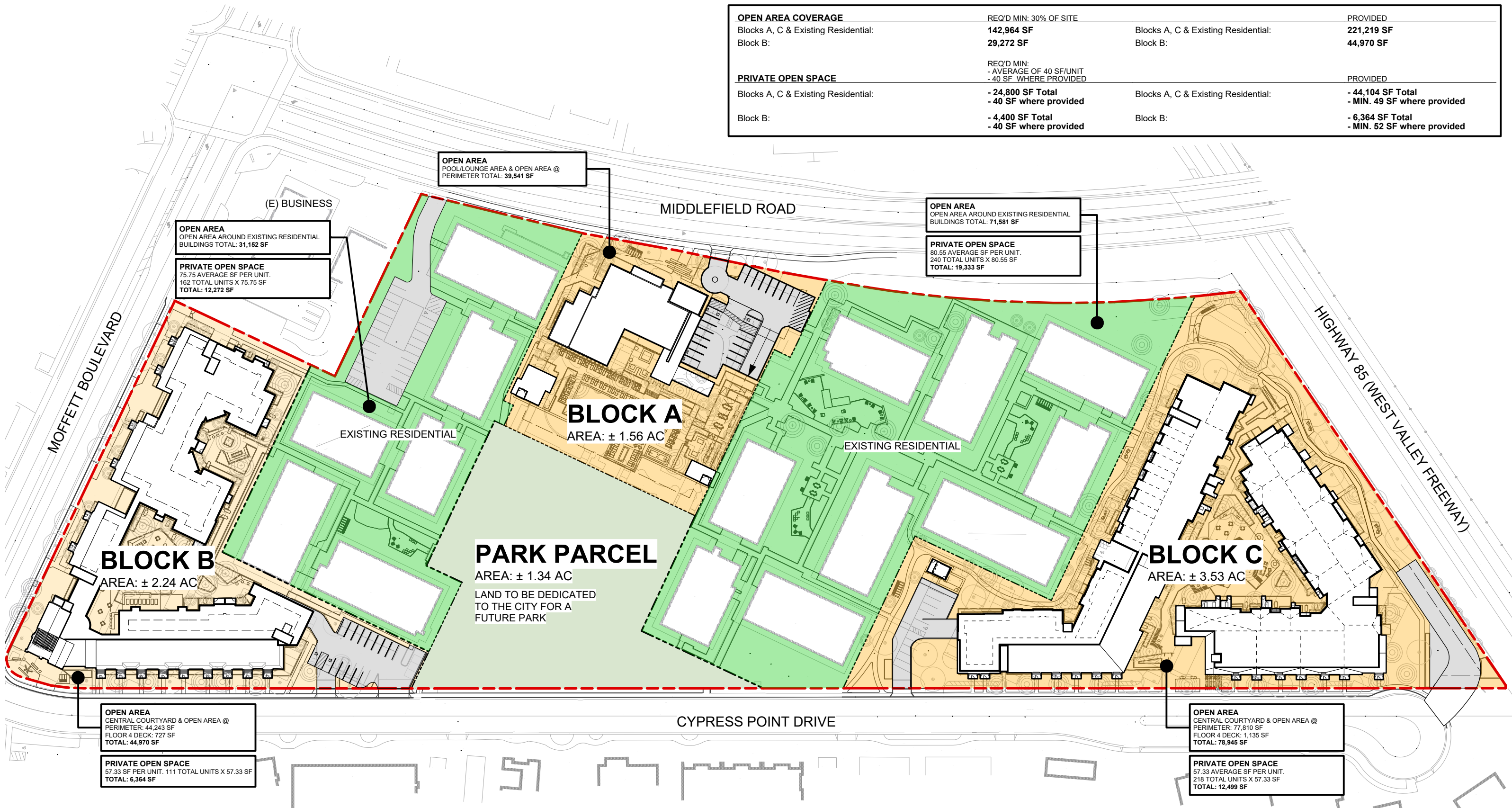
LEGEND			
	PROPOSED PROPERTY LINE		BICYCLE PATH
	PROJECT BOUNDARY		BUILDING ENTRANCE
	15' SETBACK FROM PROPERTY LINE / PROJECT BOUNDARY		VEHICLE ACCESS



SETBACK PLAN AND PEDESTRIAN CIRCULATION DIAGRAM

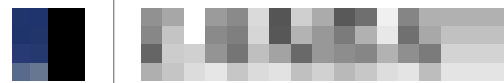


OPEN AREA COVERAGE	REQ'D MIN: 30% OF SITE	PROVIDED
Blocks A, C & Existing Residential:	142,964 SF	Blocks A, C & Existing Residential: 221,219 SF
Block B:	29,272 SF	Block B: 44,970 SF
PRIVATE OPEN SPACE	REQ'D MIN: - AVERAGE OF 40 SF/UNIT - 40 SF WHERE PROVIDED	PROVIDED
Blocks A, C & Existing Residential:	- 24,800 SF Total - 40 SF where provided	Blocks A, C & Existing Residential: - 44,104 SF Total - MIN. 49 SF where provided
Block B:	- 4,400 SF Total - 40 SF where provided	Block B: - 6,364 SF Total - MIN. 52 SF where provided



BUILDING COVERAGE
 OPEN AREA
 PAVING COVERAGE

OPEN AREA CALCULATIONS

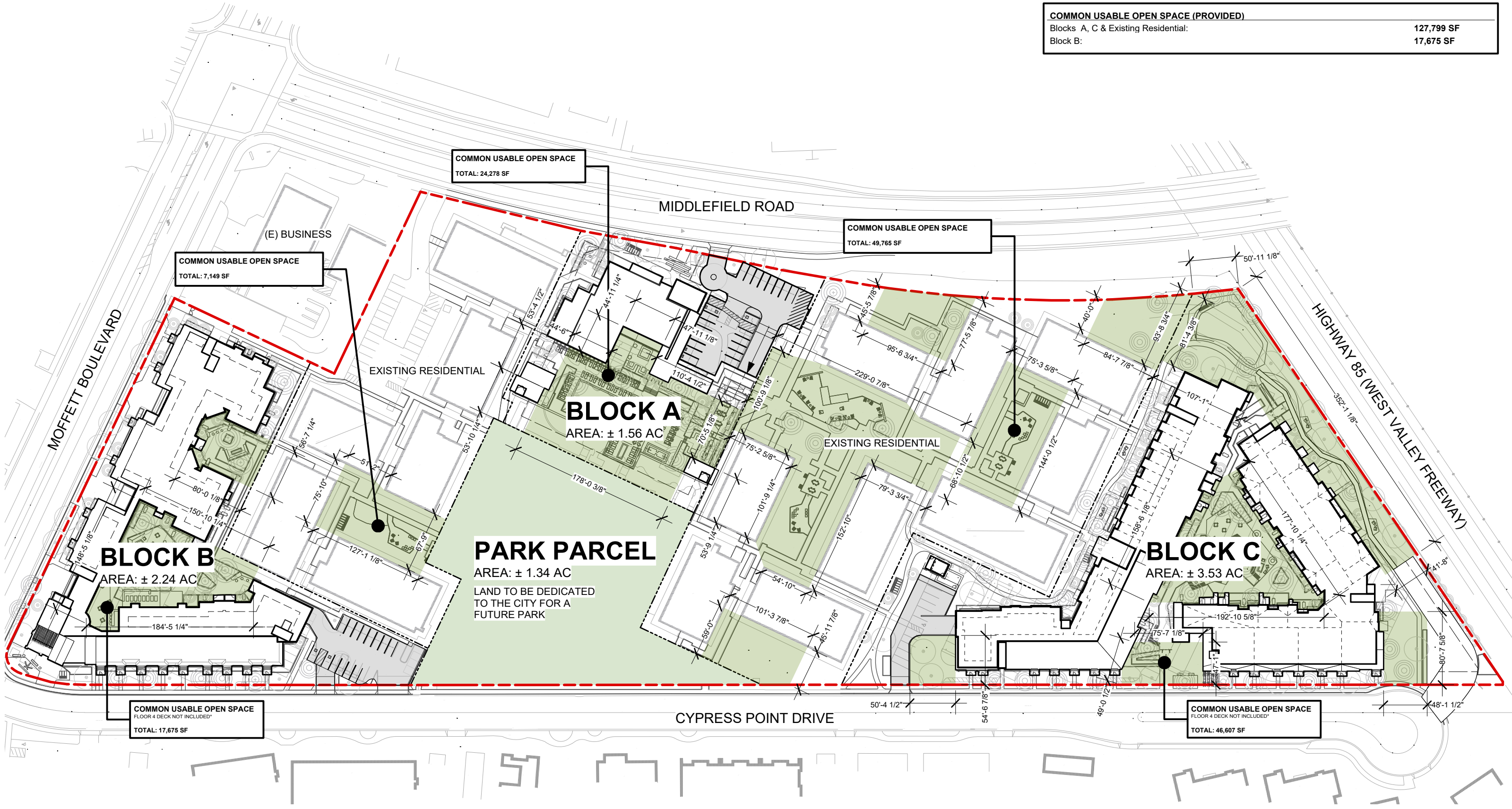


AVALON/AVA @ MIDDLEFIELD

07.31.2020

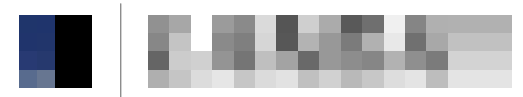
G 0.12 A

COMMON USABLE OPEN SPACE (PROVIDED)	
Blocks A, C & Existing Residential:	127,799 SF
Block B:	17,675 SF



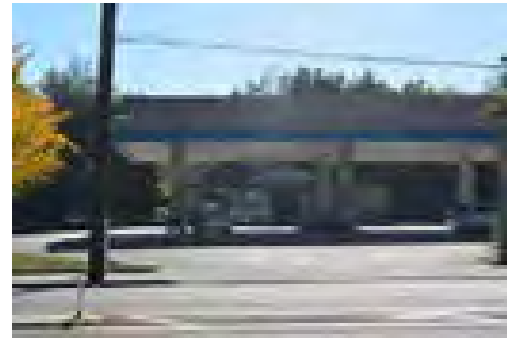
BUILDING COVERAGE
 USABLE COMMON OPEN SPACE
 PAVING COVERAGE

COMMON USABLE OPEN SPACE CALCULATIONS





7



8



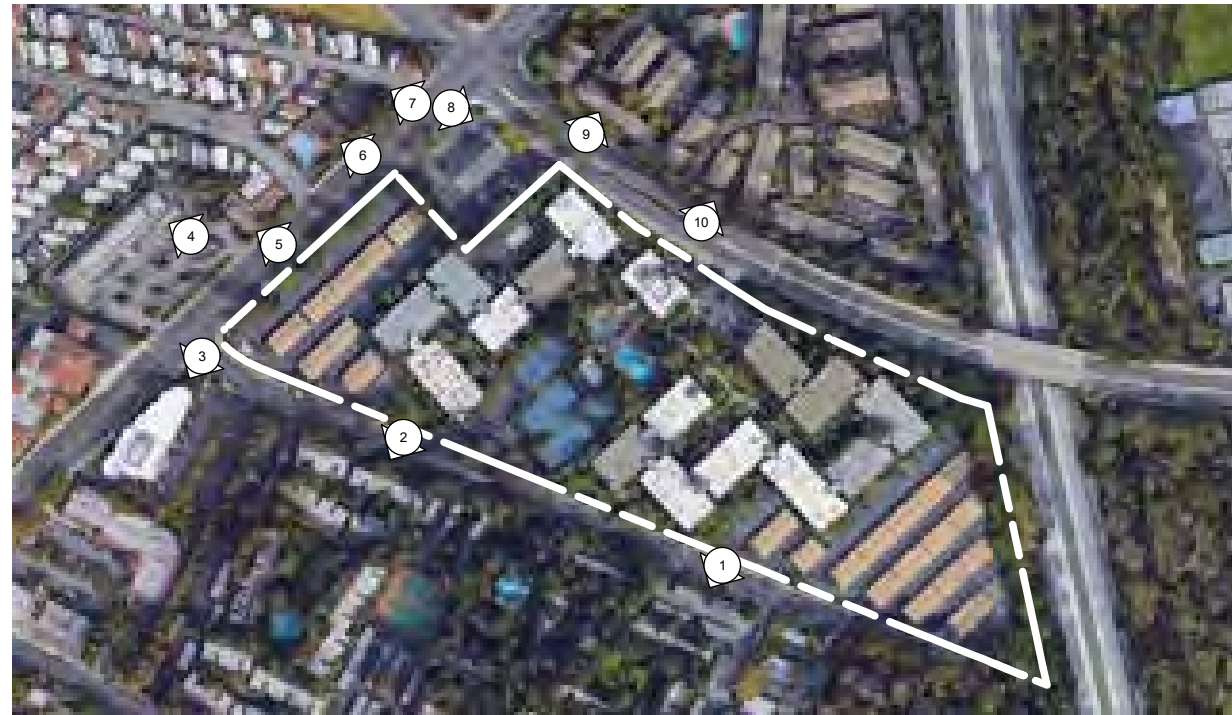
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10



6



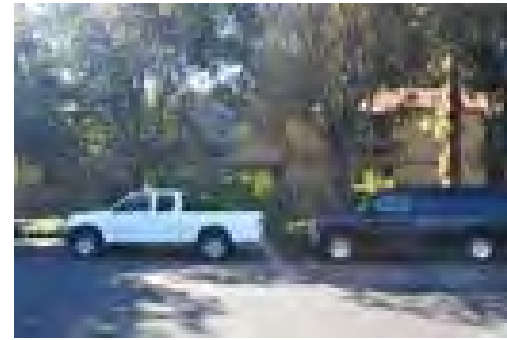
5



4



3



2



1

EXISTING CONDITION - CONTEXT PHOTOS

BLOCK B

-  **SUSTAINABLE SITE:**
Preserves mature trees
On-site storm water treatment cleans water draining to Bay
-  **MATERIALS & RESOURCES:**
Light-colored roof reduces heat-island effect
Minimum of 80% of construction waste diverted from landfill
Countertops and pipes made with recycled contents
Concrete includes locally-sourced materials
-  **DESIGN INNOVATION:**
Electrical vehicle charging for at least 5% of all resident parking spaces
-  **LANDSCAPE WATER EFFICIENCY:**
Drought-tolerant native plants
High-efficiency drip irrigation system
-  **ALTERNATIVES TO DRIVING:**
1:1 bicycle storage
-  **BUILDING WATER EFFICIENCY:**
Low-flow plumbing fixtures
Energy Star appliances
-  **INDOOR ENVIRONMENTAL QUALITY:**
Low VOC paints and carpets
Outdoor ventilation to improve indoor air quality
Completely non-smoking building
-  **EFFICIENT ENERGY USAGE:**
Highly-efficient windows
Solar thermal heating
Enhanced building insulation
High-efficiency boilers
LED lighting throughout
High-efficiency HVAC systems

BLOCK A

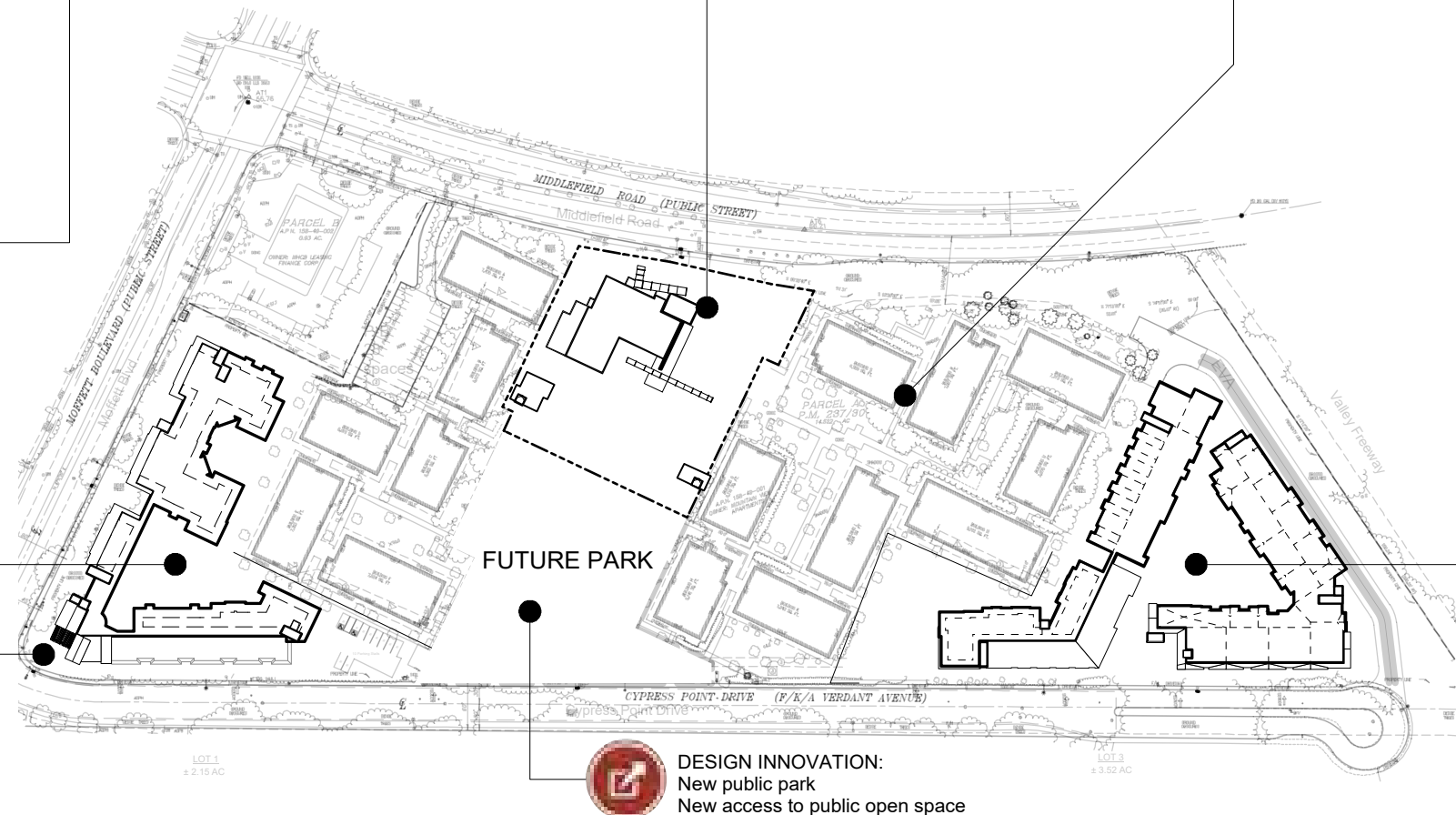
-  **INDOOR ENVIRONMENTAL QUALITY:**
Low VOC paints and carpets
Outdoor ventilation to improve indoor air quality
Completely non-smoking building
-  **MATERIALS & RESOURCES:**
Light-colored roof reduces heat-island effect
Minimum of 80% of construction waste diverted from landfill
Countertops and pipes made with recycled contents
Concrete includes locally-sourced materials
-  **EFFICIENT ENERGY USAGE:**
Highly-efficient windows
LED lighting throughout
High-efficiency HVAC systems
-  **DESIGN INNOVATION:**
Electrical vehicle charging for at least 5% of all resident parking spaces
-  **LANDSCAPE WATER EFFICIENCY:**
Drought-tolerant native plants
High-efficiency drip irrigation system
Reduced turf at existing site
-  **SUSTAINABLE SITE:**
100% of parking below grade reduces heat island effect
On-site storm water treatment cleans water draining to Bay


EXISTING SITE

-  **ALTERNATIVES TO DRIVING:**
Access to Stevens Creek Bike Trail
-  **DESIGN INNOVATION:**
Adds housing without displacement
Utilizes existing infrastructure
-  **SUSTAINABLE SITE:**
Tree canopy replacement provides shade, reduces heat island effect
Reduced turf on site
Reduces sediment that drains to bay

BLOCK C

-  **BUILDING WATER EFFICIENCY:**
Low-flow plumbing fixtures
Energy Star appliances
-  **INDOOR ENVIRONMENTAL QUALITY:**
Low VOC paints and carpets
Outdoor ventilation to improve indoor air quality
Completely non-smoking building
-  **LANDSCAPE WATER EFFICIENCY:**
Drought-tolerant native plants
High-efficiency drip irrigation system
-  **ALTERNATIVES TO DRIVING:**
1:1 bicycle storage
-  **DESIGN INNOVATION:**
Electrical vehicle charging for at least 5% of all resident parking spaces
-  **MATERIALS & RESOURCES:**
Light-colored roof reduces heat-island effect
Minimum of 80% of construction waste diverted from landfill
Countertops and pipes made with recycled contents
Concrete includes locally-sourced materials
-  **EFFICIENT ENERGY USAGE:**
Highly-efficient windows
Solar thermal heating
Enhanced building insulation
High-efficiency boilers
LED lighting throughout
High-efficiency HVAC systems
-  **SUSTAINABLE SITE:**
On-site storm water treatment cleans water draining to Bay



-  **ALTERNATIVES TO DRIVING:**
Walking distance to Caltrain, VTA
Walking distance to downtown Mountain View
Walk Score: 79

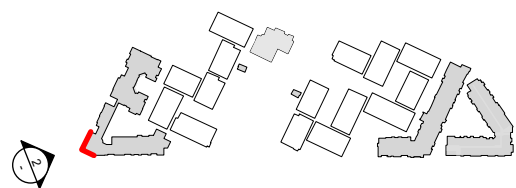
SUSTAINABLE STRATEGIES DIAGRAM



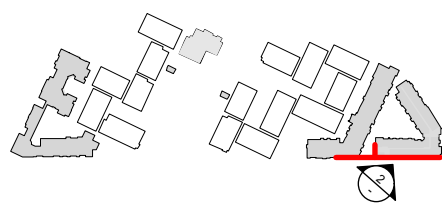
2. CURRENT PERSPECTIVE



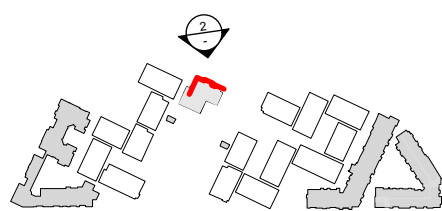
1. PREVIOUS PERSPECTIVE (02.03.2020)



PERSPECTIVE VIEW - MOFFETT CORNER



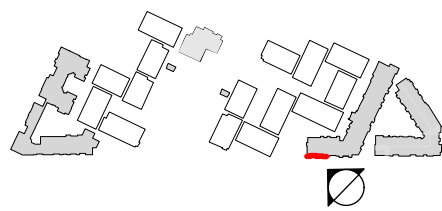
PERSPECTIVE VIEW - CYPRESS POINT DRIVE ENTRY PLAZA



PERSPECTIVE VIEW - MIDDLEFIELD ROAD



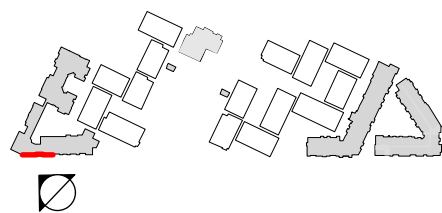
CURRENT PERSPECTIVE



PERSPECTIVE VIEW - CYPRESS POINT DRIVE



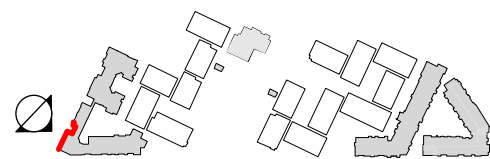
CURRENT PERSPECTIVE



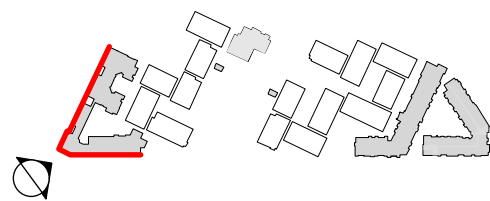
PERSPECTIVE VIEW - CYPRESS POINT DRIVE



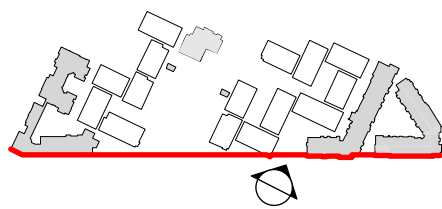
CURRENT PERSPECTIVE



PERSPECTIVE VIEW - MOFFETT BLVD



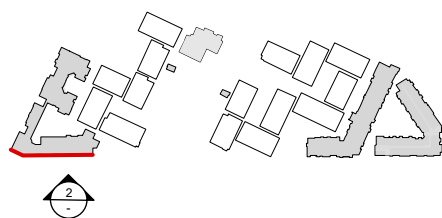
PERSPECTIVE VIEW - AERIAL



PERSPECTIVE VIEW - AERIAL



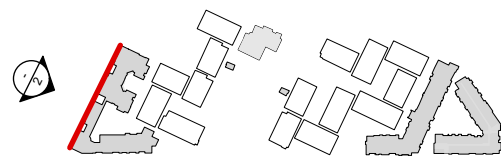
2. CURRENT ELEVATION



BLOCK B - SOUTH ELEVATION



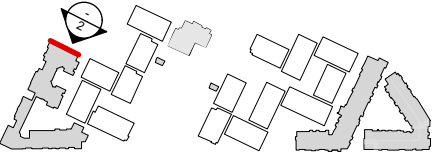
2. CURRENT ELEVATION



BLOCK B - WEST ELEVATION



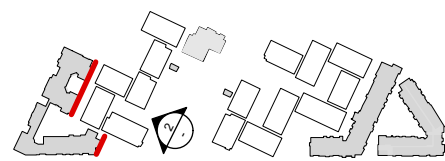
2. CURRENT ELEVATION



BLOCK B - NORTH ELEVATION



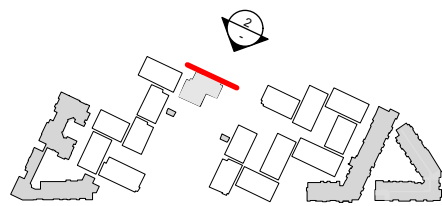
2. CURRENT ELEVATION



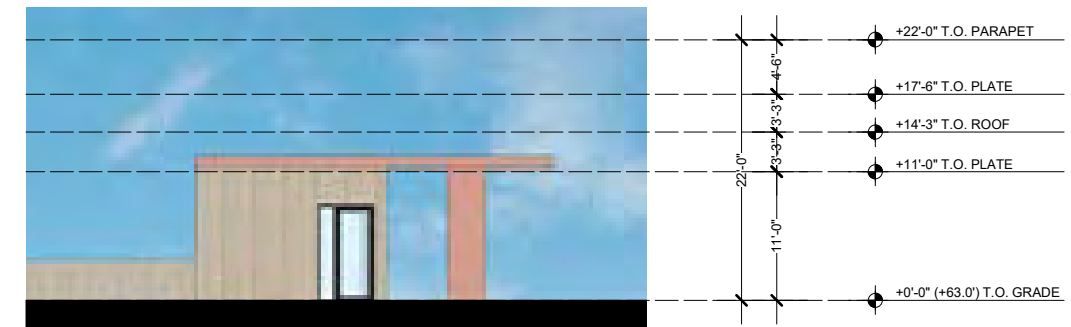
BLOCK B - EAST ELEVATION



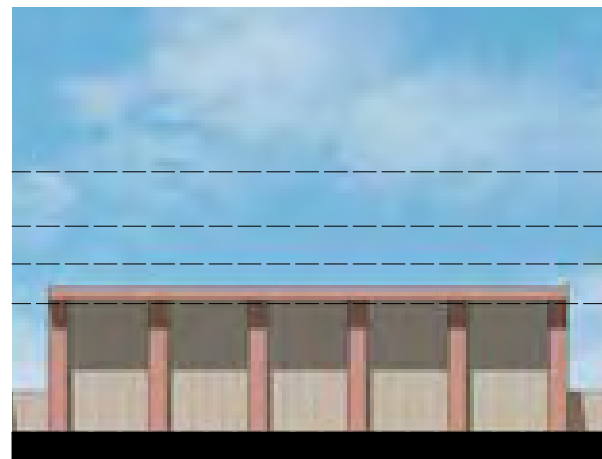
2. CURRENT ELEVATION



BLOCK A - NORTH ELEVATION



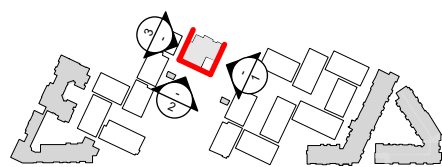
3. DELIVERY BUILDING - WEST ELEVATION



2. DELIVERY BUILDING - SOUTH ELEVATION



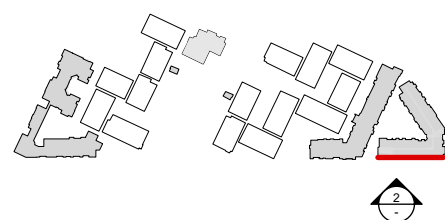
1. EAST ELEVATION



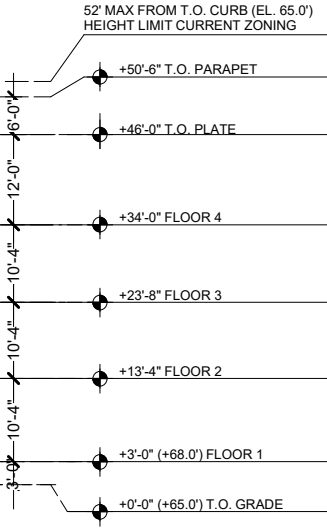
BLOCK A - S/E/W ELEVATION



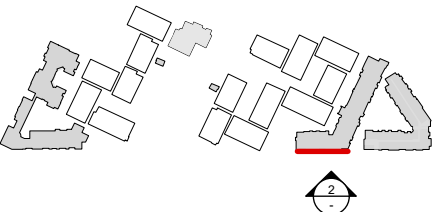
2. CURRENT ELEVATION



BLOCK C - SOUTH ELEVATION



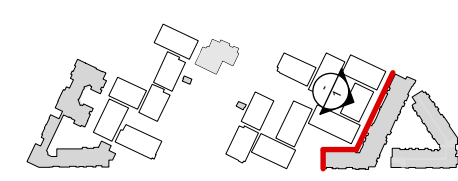
2. CURRENT ELEVATION



BLOCK C - SOUTH ELEVATION



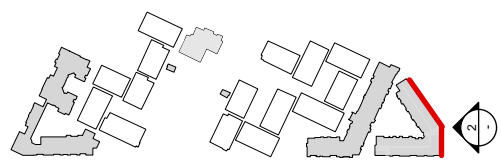
1. CURRENT ELEVATION



BLOCK C - NORTH-WEST ELEVATION



2. CURRENT ELEVATION



BLOCK C - EAST ELEVATION

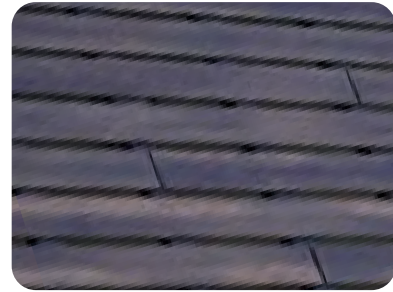
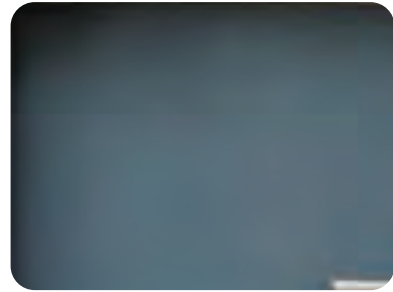


1. EXISTING PERSPECTIVE



2. PROPOSED PERSPECTIVE

EXISTING BUILDING - HIGH IMPACT PERSPECTIVE

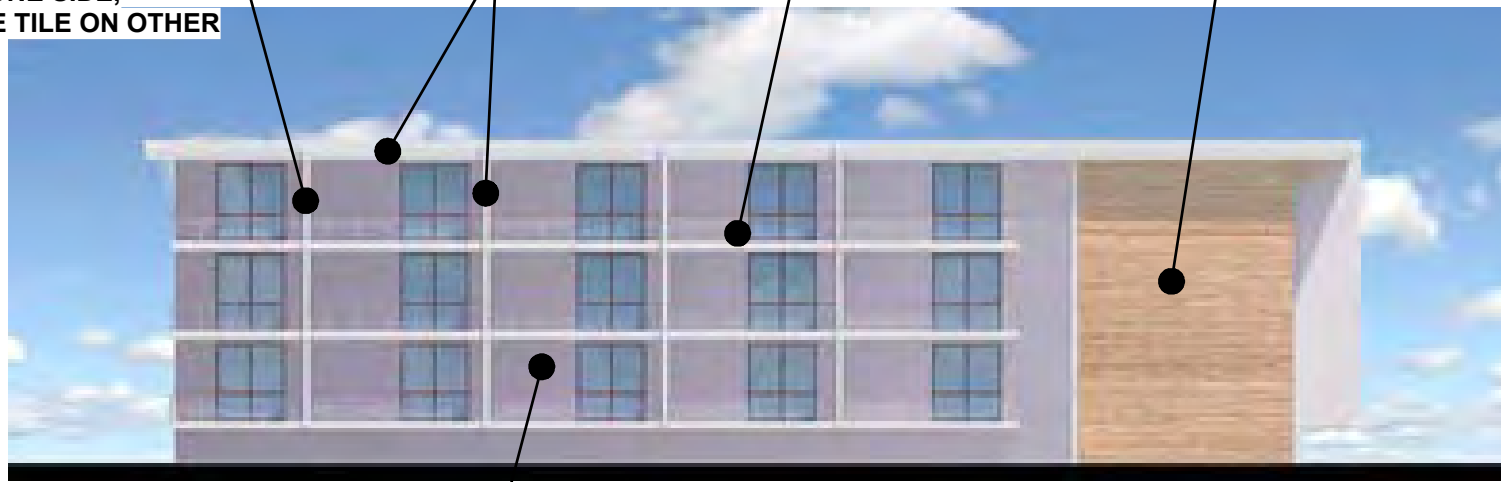


WING WALL W/ WHITE PAINT ON ONE SIDE, WOOD-LIKE TILE ON OTHER SIDE

WHITE TRIM

EXISTING RAILINGS

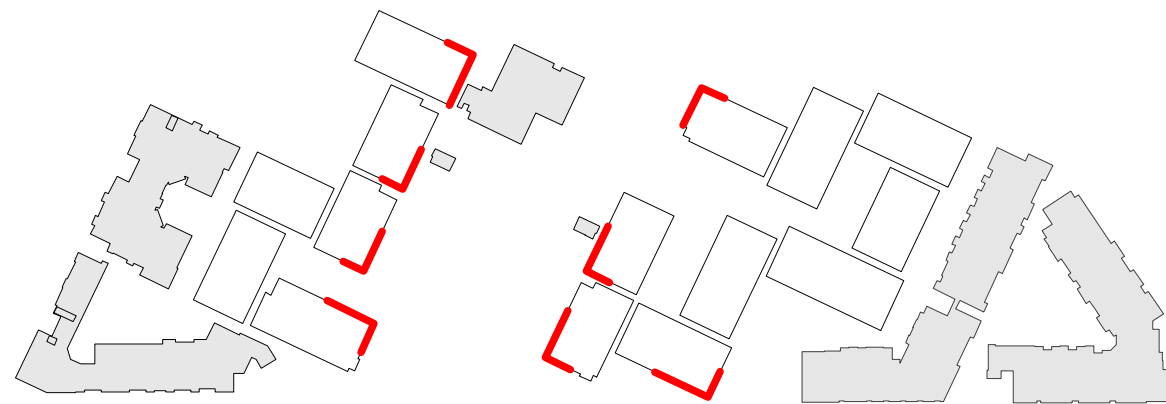
ADDED WOOD-LIKE TILE W/ BUILDING ID



GRAY PAINT SCHEME TO PROVIDE CONTRAST WITH WHITE WING WALLS

CURRENT ELEVATION

PREVIOUS ELEVATION

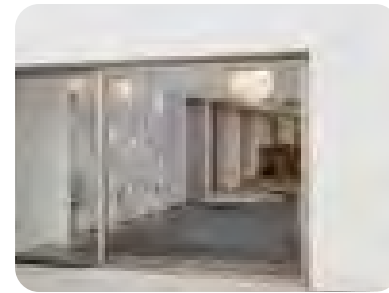
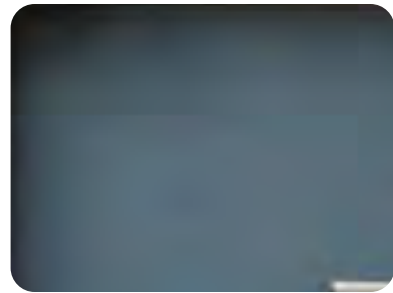


HIGH IMPACT CORNER INDEX



EXISTING BUILDING

EXISTING BUILDING ELEVATIONS



ACCENT WALL PAINTED TO MATCH HIGH IMPACT CORNERS

PAINT ROOF OVERHANG

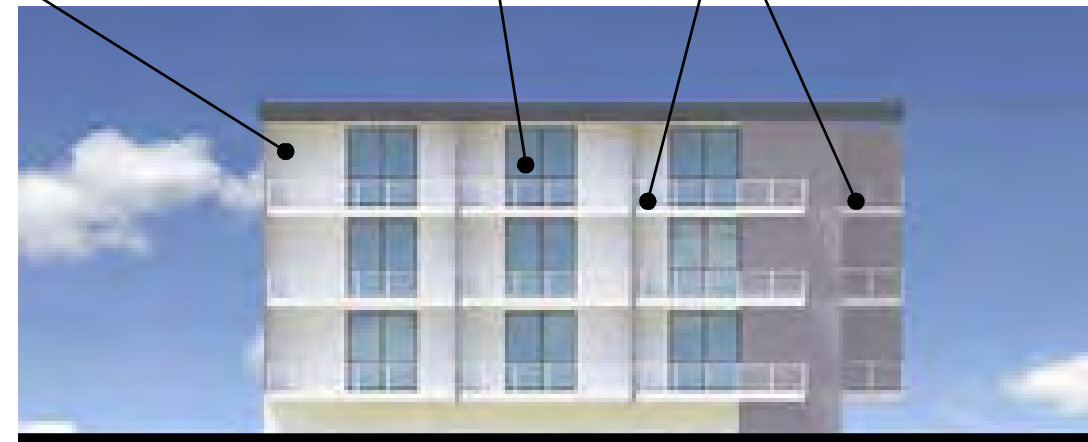
PLASTER WITH PAINT

EXISTING SLIDER WINDOWS

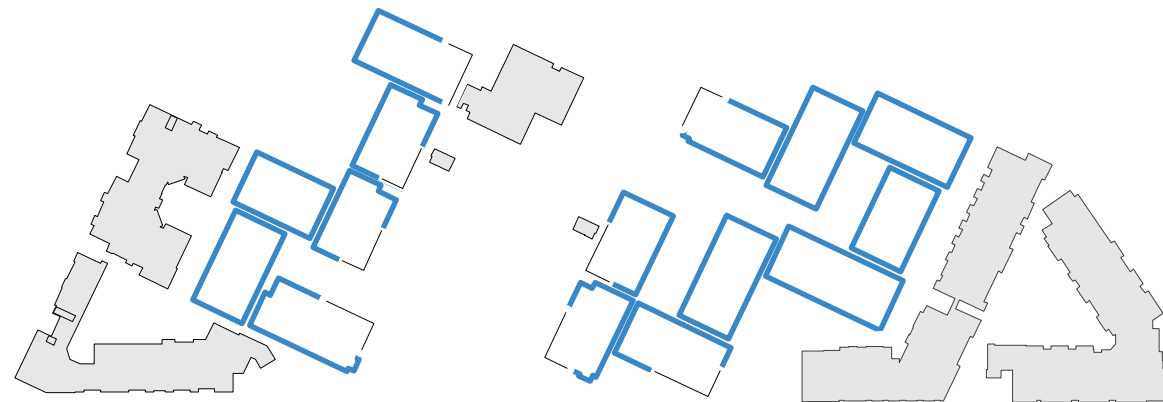
EXISTING BALCONY RAILINGS



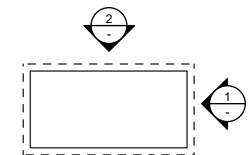
2. TYPICAL ELEVATION



1. TYPICAL ELEVATION



TYPICAL BUILDING CORNER INDEX



EXISTING BUILDING

EXISTING BUILDING ELEVATIONS



WOOD-LIKE SIDING



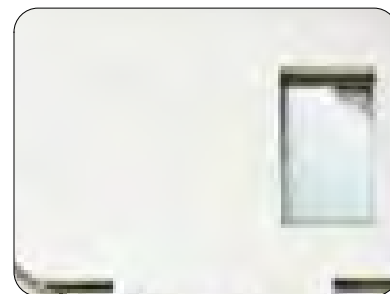
LEDGESTONE



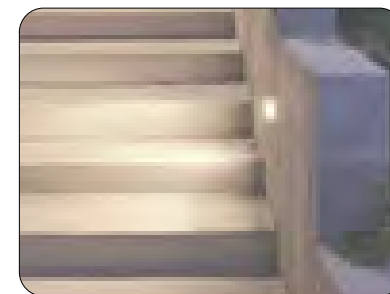
WOOD-LIKE TRELLIS



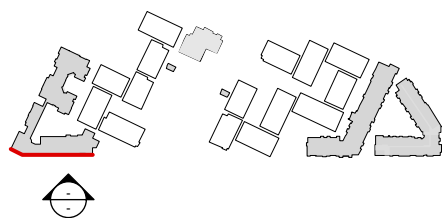
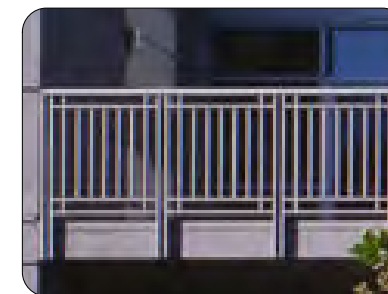
PLASTER WITH PAINT



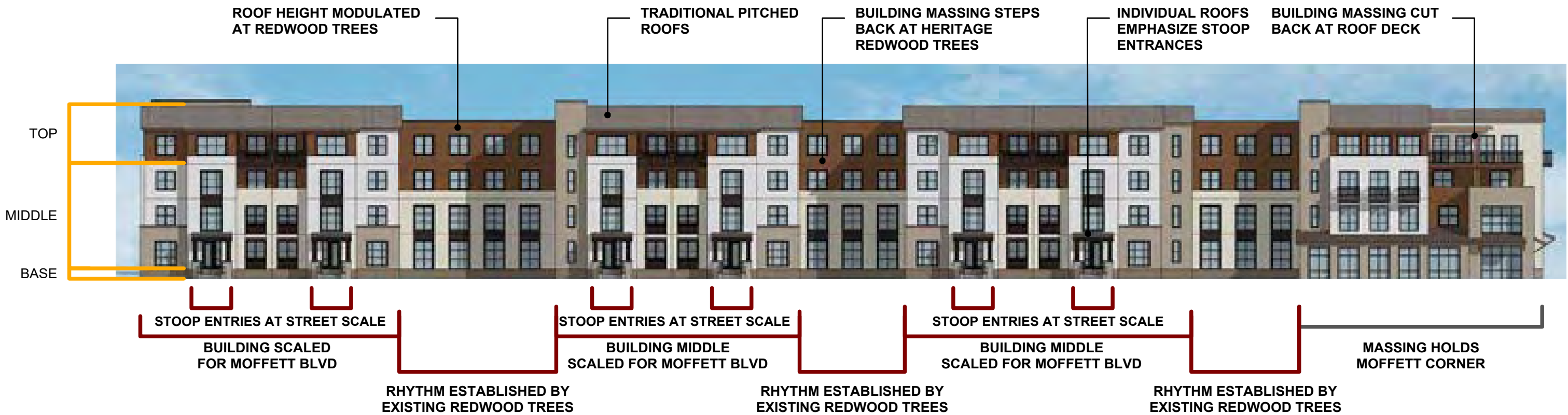
CONCRETE STAIRS



METAL BALCONY RAILING



BLOCK B - STRATEGIC DESIGN ELEMENTS



WOOD-LIKE SIDING



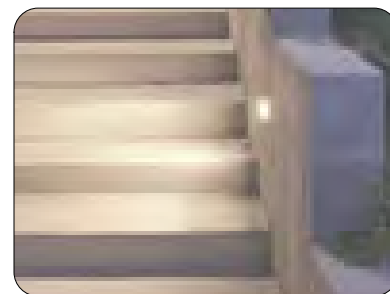
LEDGESTONE



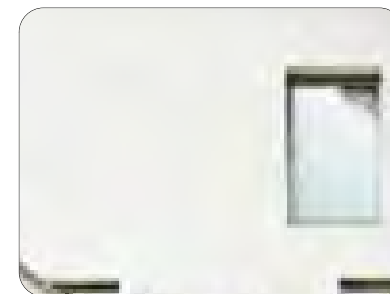
METAL BALCONY RAILING



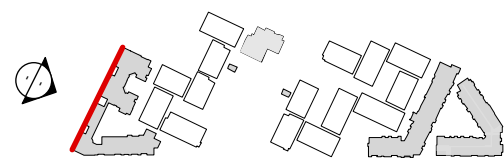
CONCRETE STAIRS



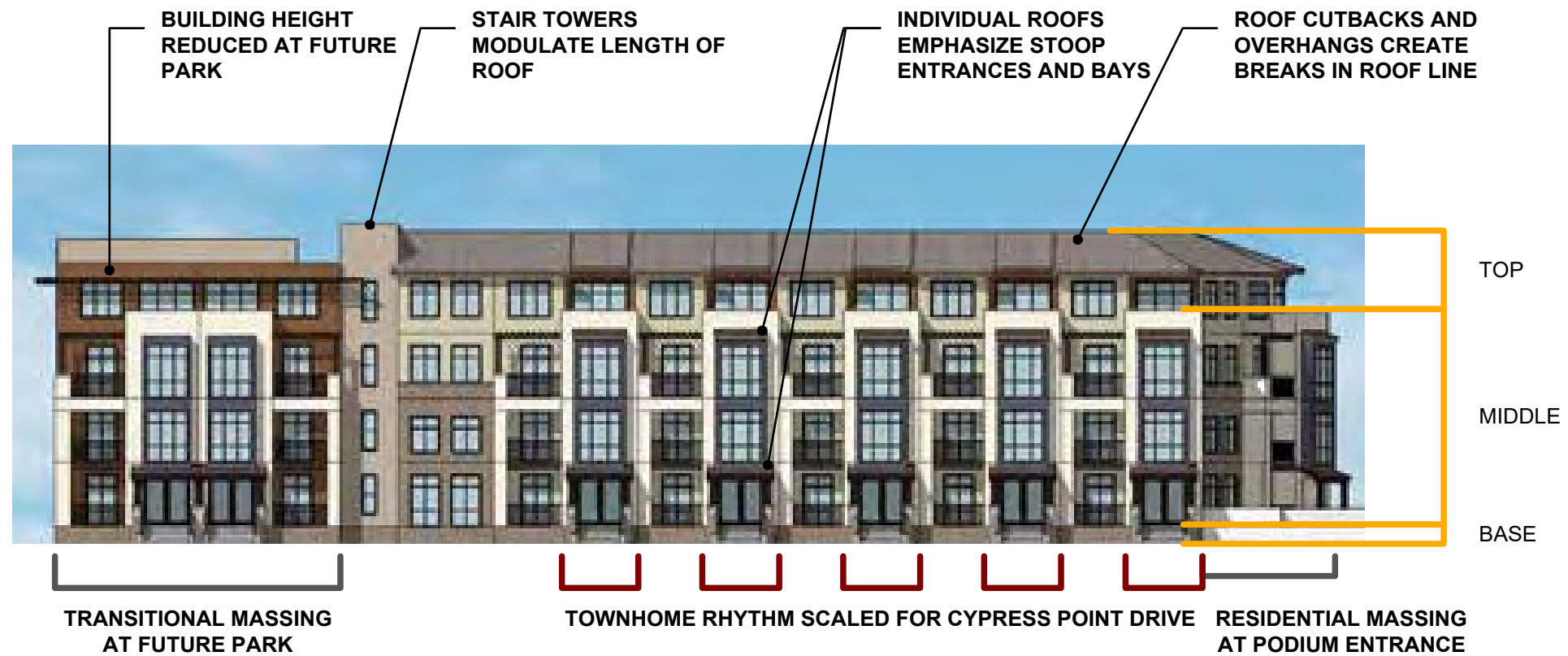
PLASTER WITH PAINT



WOOD-LIKE TRELLIS



BLOCK B - STRATEGIC DESIGN ELEMENTS



WOOD-LIKE SIDING



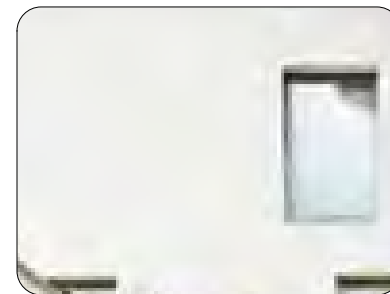
LEDGESTONE



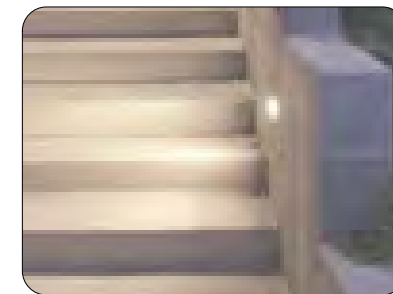
WOOD-LIKE TRELLIS



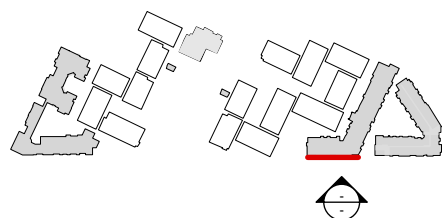
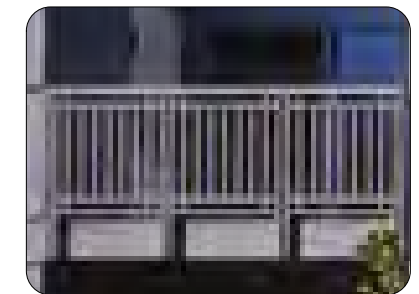
PLASTER WITH PAINT



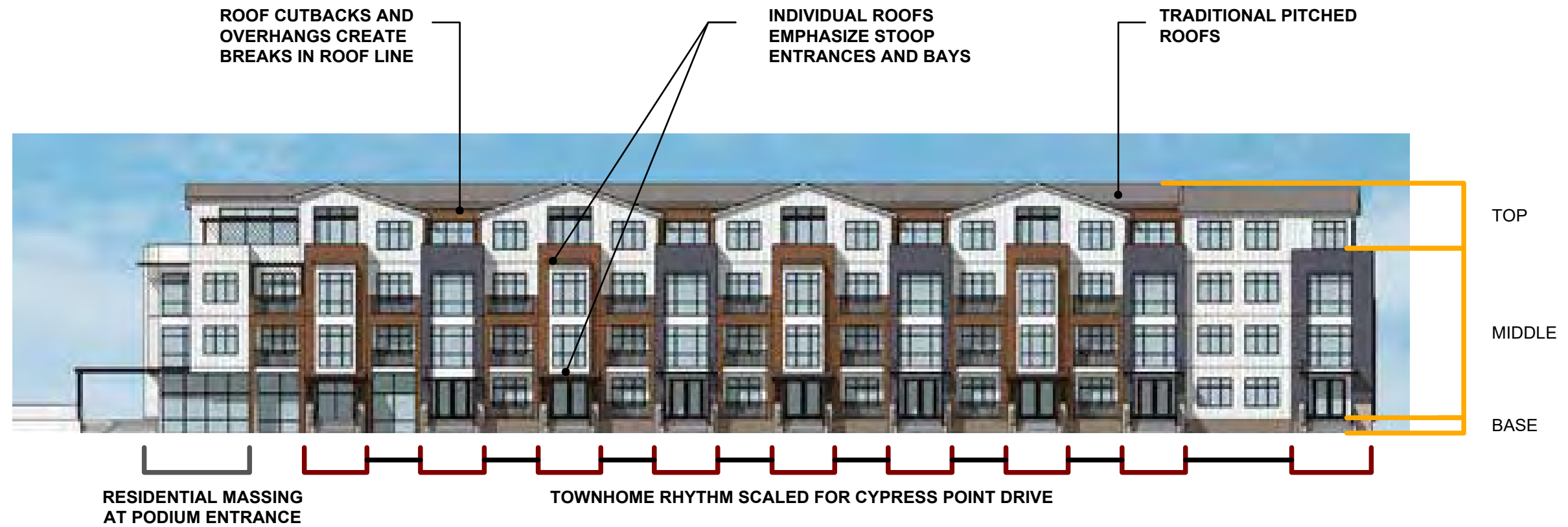
CONCRETE STAIRS



METAL BALCONY RAILING



BLOCK C - STRATEGIC DESIGN ELEMENTS



WOOD-LIKE SIDING



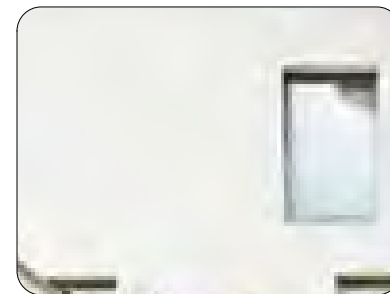
LEDGESTONE



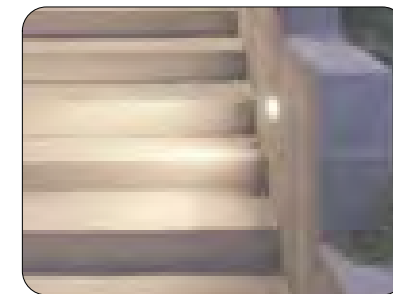
WOOD-LIKE TRELLIS



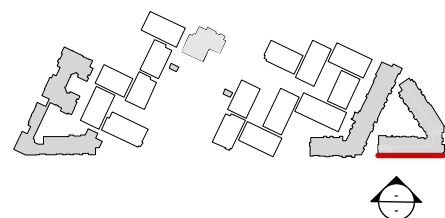
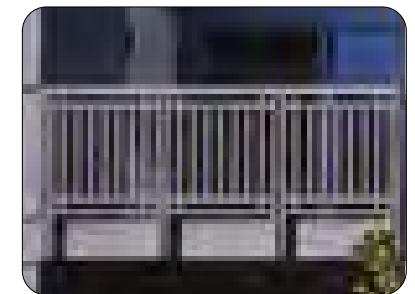
PLASTER WITH PAINT



CONCRETE STAIRS



METAL BALCONY RAILING



BLOCK C - STRATEGIC DESIGN ELEMENTS

GRAY PAINT SCHEME TO PROVIDE CONTRAST WITH WHITE WING WALLS

WING WALL W/ WHITE PAINT ON ONE SIDE, WOOD-LIKE TILE ON OTHER SIDE

ADDED WOOD-LIKE TILE W/ BUILDING ID

WHITE TRIM



2. HIGH-IMPACT ELEVATION

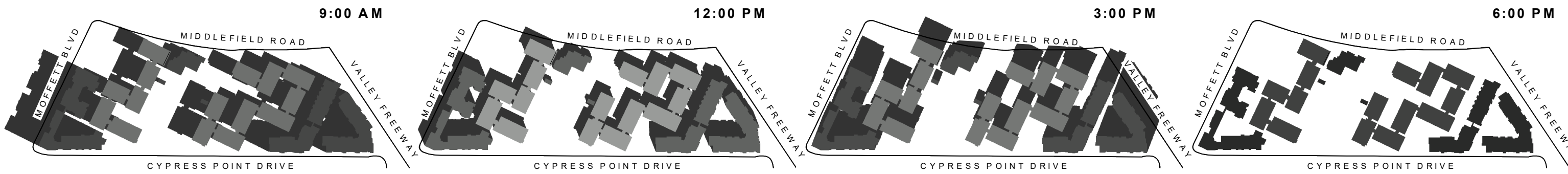
HIGHLIGHT DECK WALLS WITH PAINT TO CREATE CONNECTION TO LOT 2 AMENITIES BUILDING

MODIFY, CLEAN UP, AND PAINT EAVES



1. TYPICAL ELEVATION

EXISTING BUILDINGS - STRATEGIC DESIGN ELEMENTS



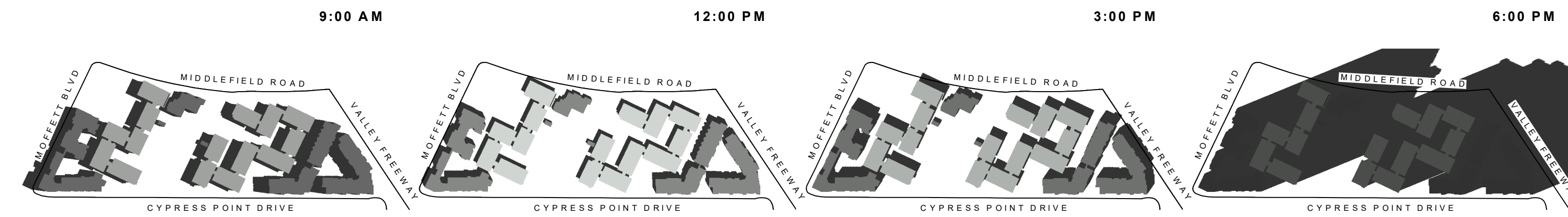
WINTER



FALL

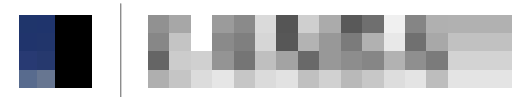


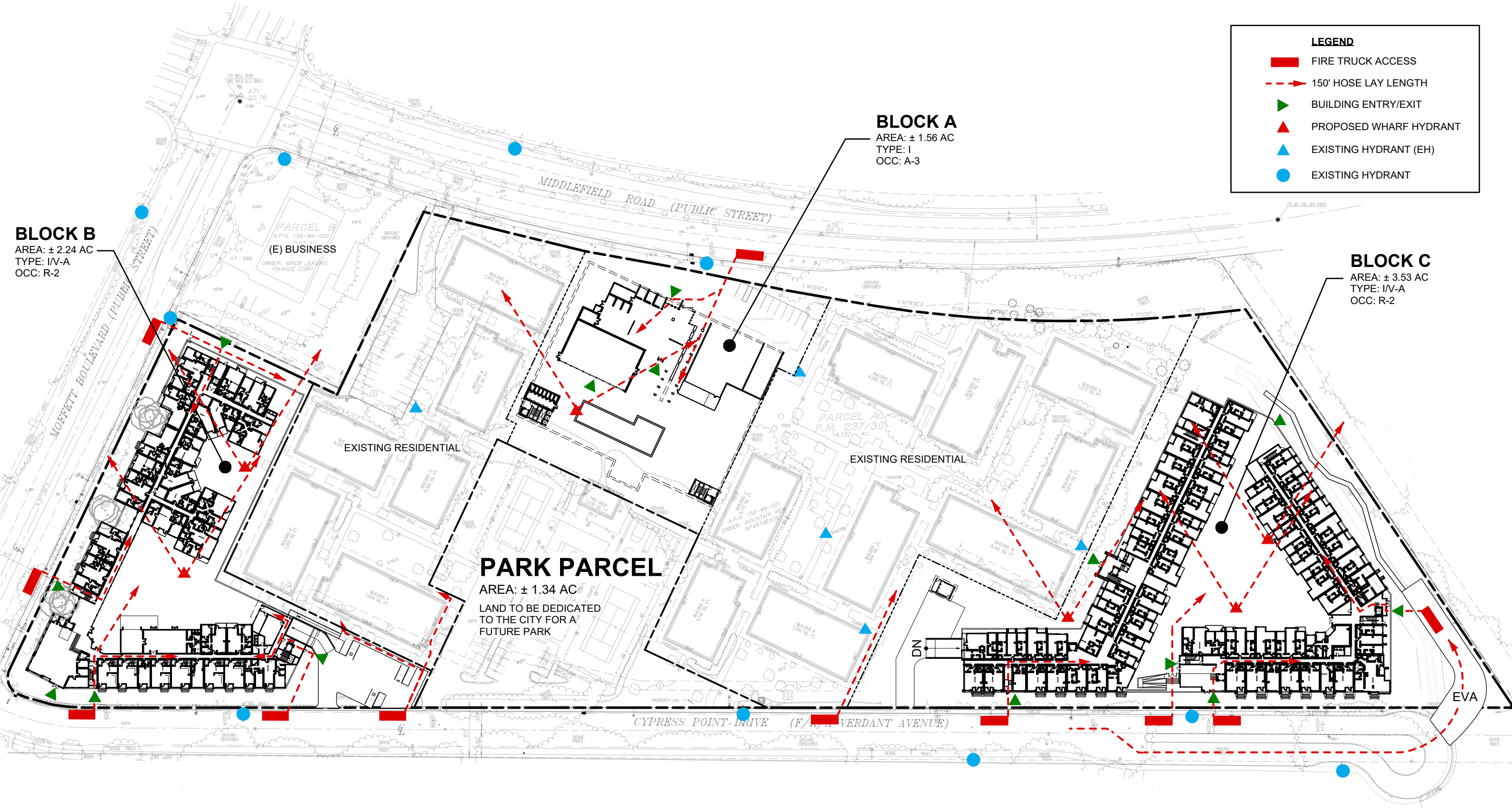
SUMMER



SPRING




SOLAR STUDY

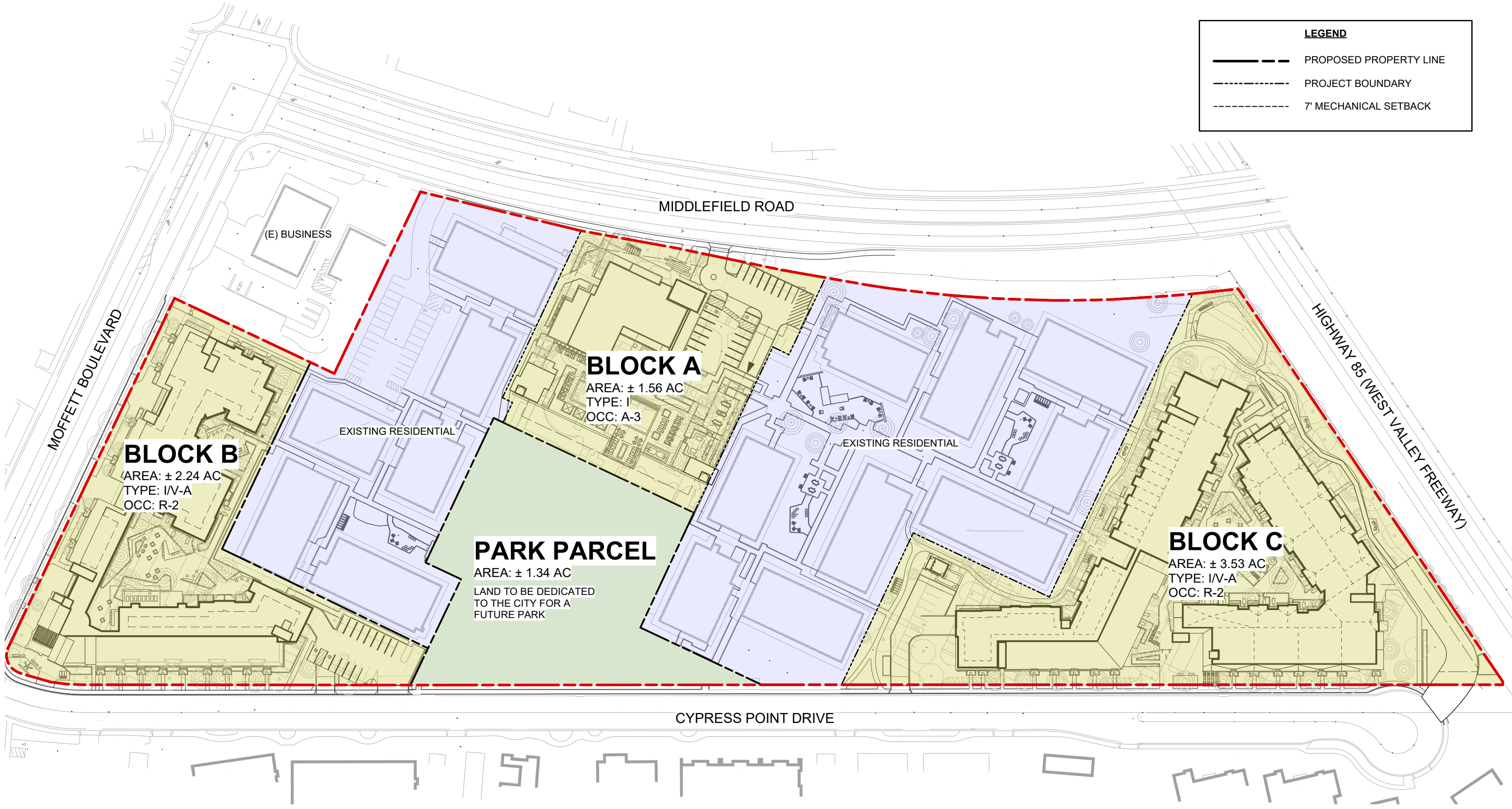




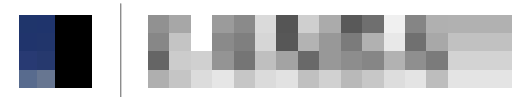
SITE PLAN - FIRE ACCESS

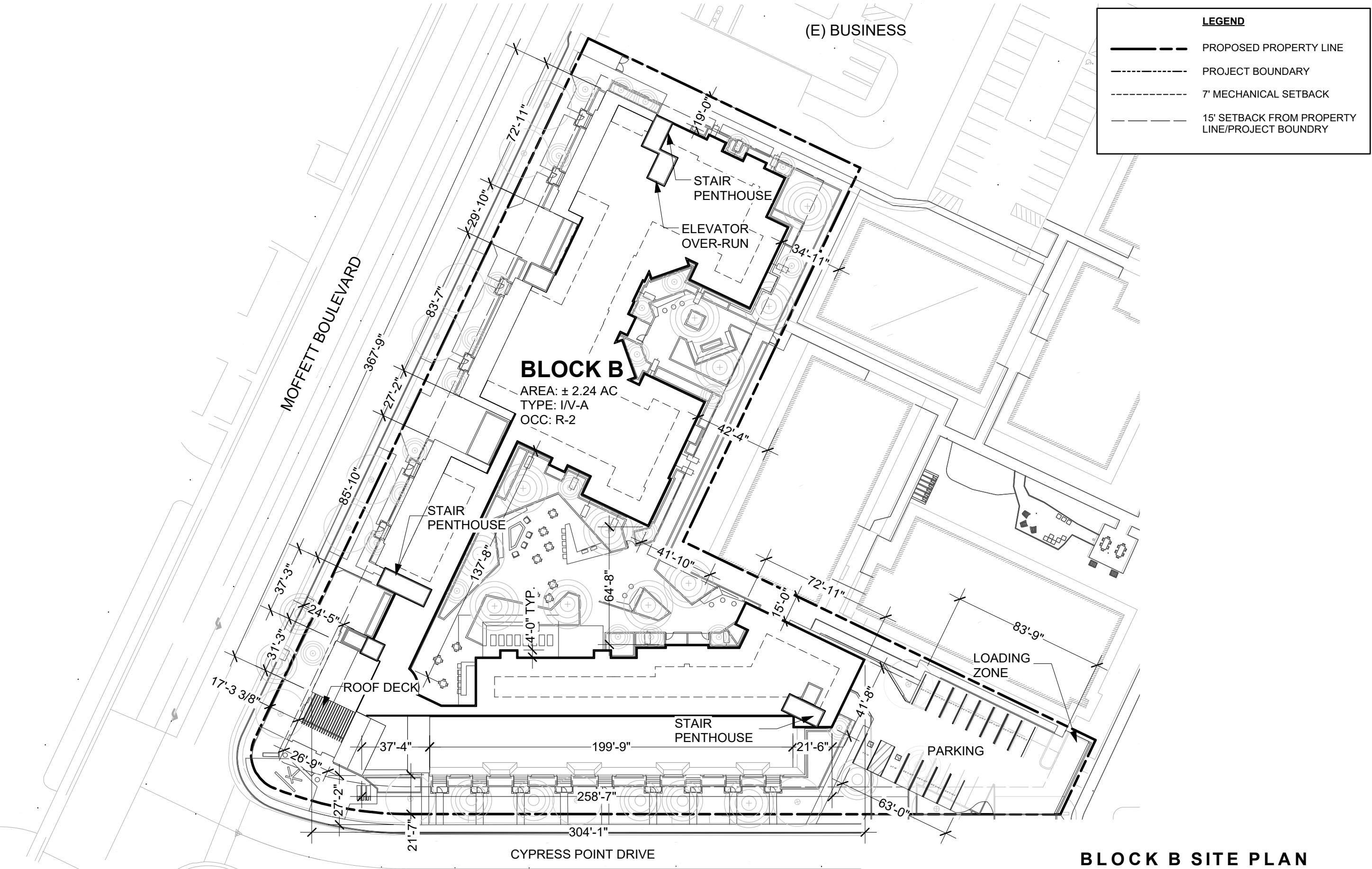
LEGEND

-  PROPOSED PROPERTY LINE
-  PROJECT BOUNDARY
-  7' MECHANICAL SETBACK

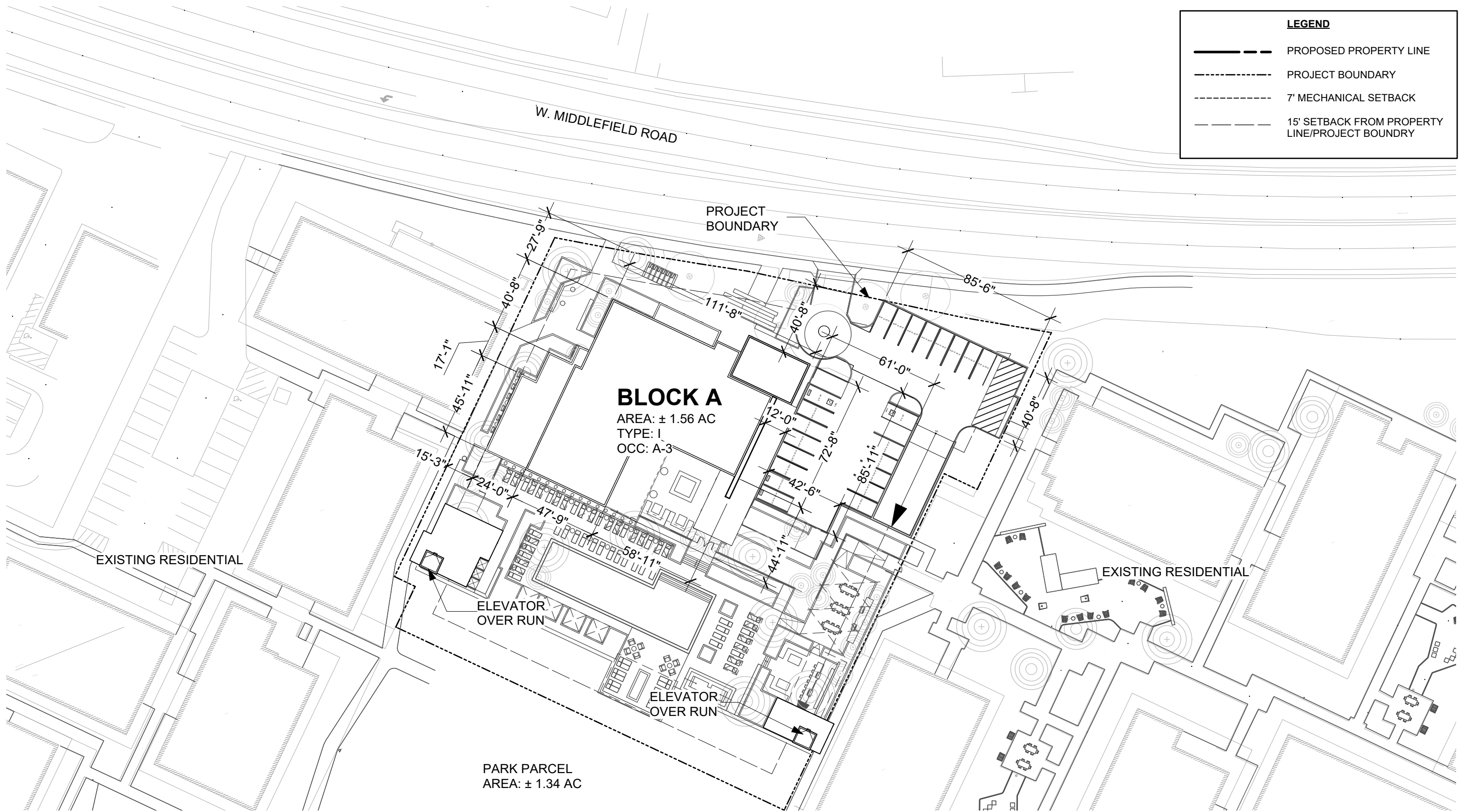


OVERALL SITE PLAN



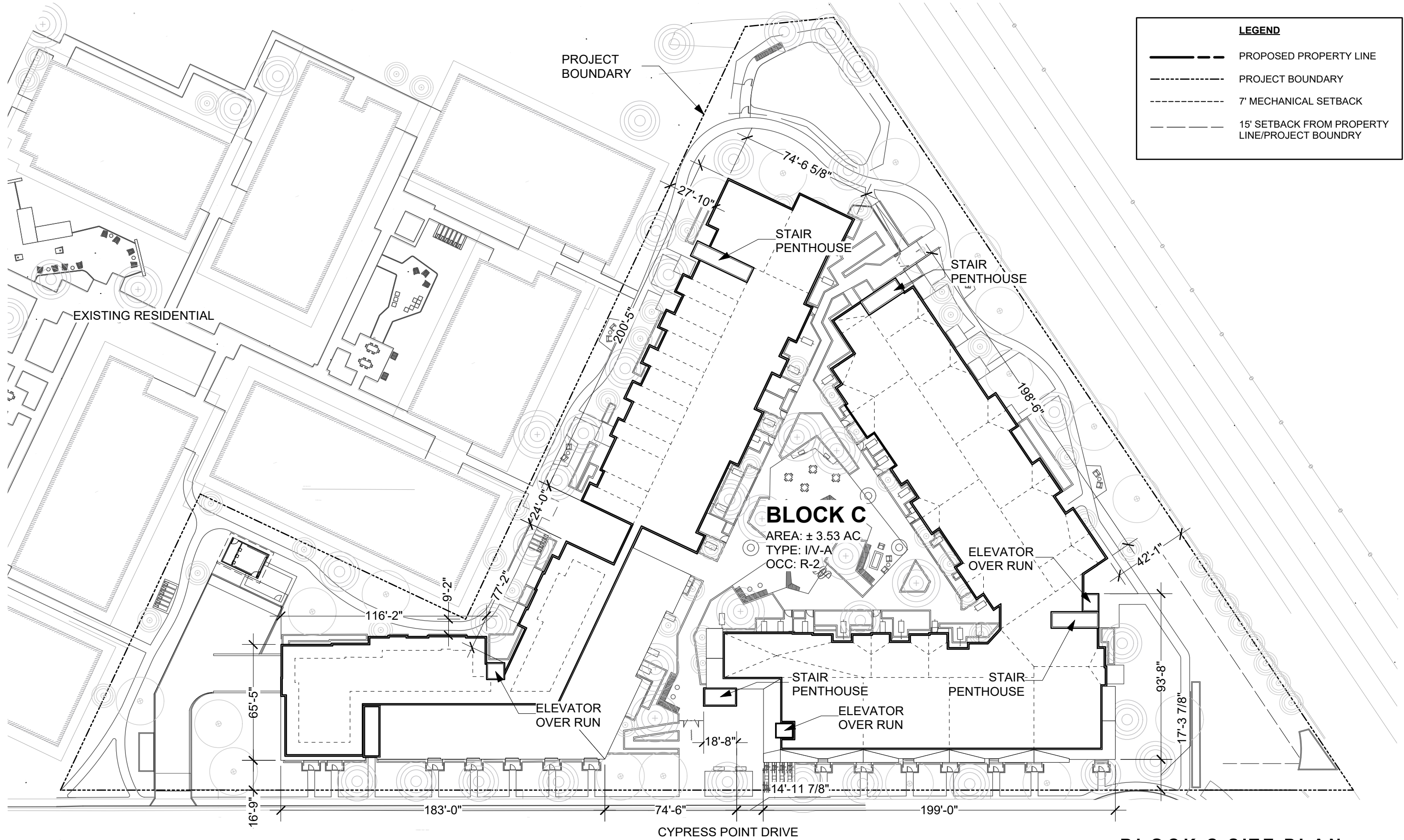


LEGEND	
	PROPOSED PROPERTY LINE
	PROJECT BOUNDARY
	7' MECHANICAL SETBACK
	15' SETBACK FROM PROPERTY LINE/PROJECT BOUNDARY

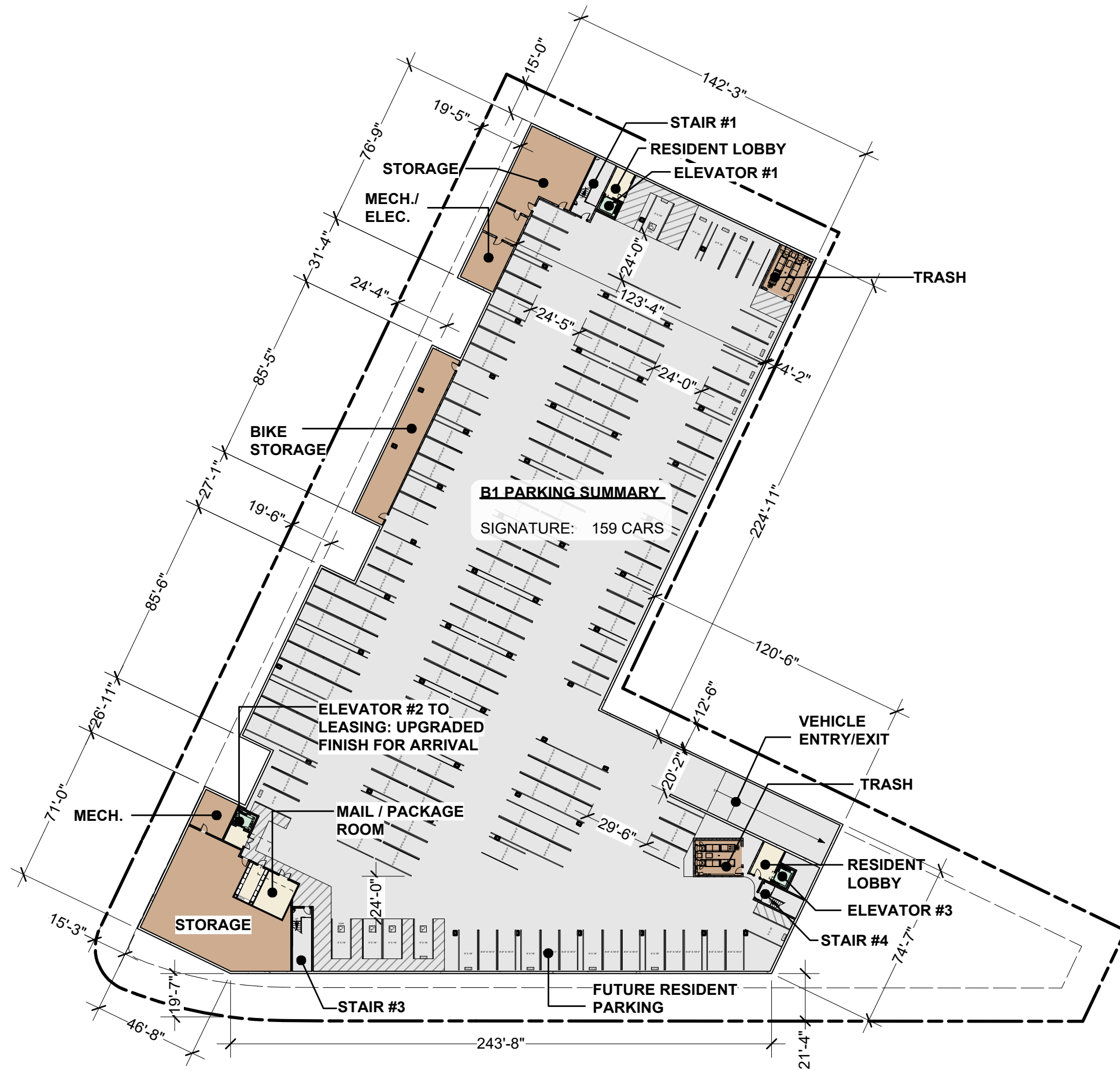


BLOCK A SITE PLAN





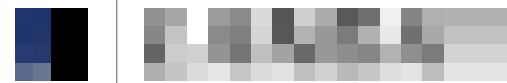
BLOCK C SITE PLAN



LEGEND	
 UTILITIES	 FUTURE RESIDENT PARKING
 AMENITY	 ELEVATOR

PARKING SUMMARY	
B1	159
SURFACE	12
TOTAL	171

BLOCK B - LEVEL B1 PLAN





LEGEND

STUDIO	3 BEDROOM
1 BEDROOM	AMENITIES
2 BEDROOM	CIRCULATION

BLOCK B UNIT SUMMARY

STUDIO	5
1 BEDROOM	50
2 BEDROOM	45
3 BEDROOM	11
TOTAL	111

BLOCK B - LEVEL 1 PLAN





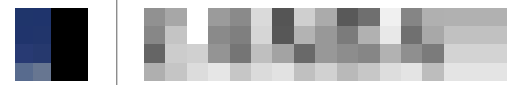
LEGEND

STUDIO	3 BEDROOM
1 BEDROOM	AMENITIES
2 BEDROOM	CIRCULATION

BLOCK B UNIT SUMMARY

STUDIO	5
1 BEDROOM	50
2 BEDROOM	45
3 BEDROOM	11
TOTAL	111

BLOCK B - LEVEL 2 PLAN





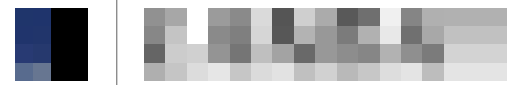
LEGEND

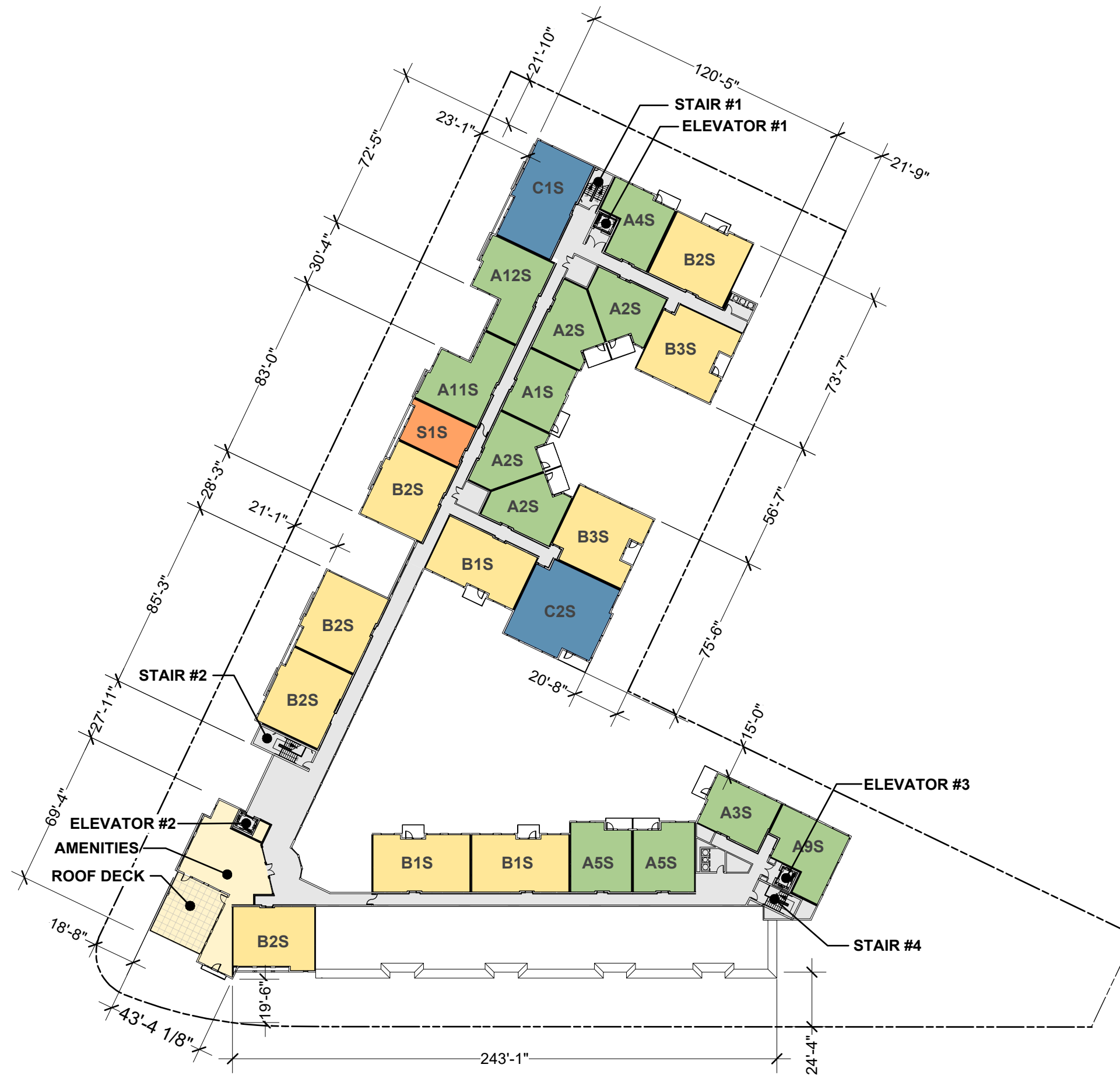
STUDIO	3 BEDROOM
1 BEDROOM	AMENITIES
2 BEDROOM	CIRCULATION

BLOCK B UNIT SUMMARY

STUDIO	5
1 BEDROOM	50
2 BEDROOM	45
3 BEDROOM	11
TOTAL	111

BLOCK B - LEVEL 3 PLAN





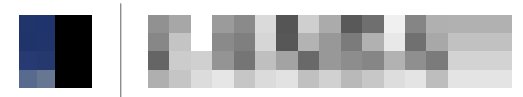
LEGEND

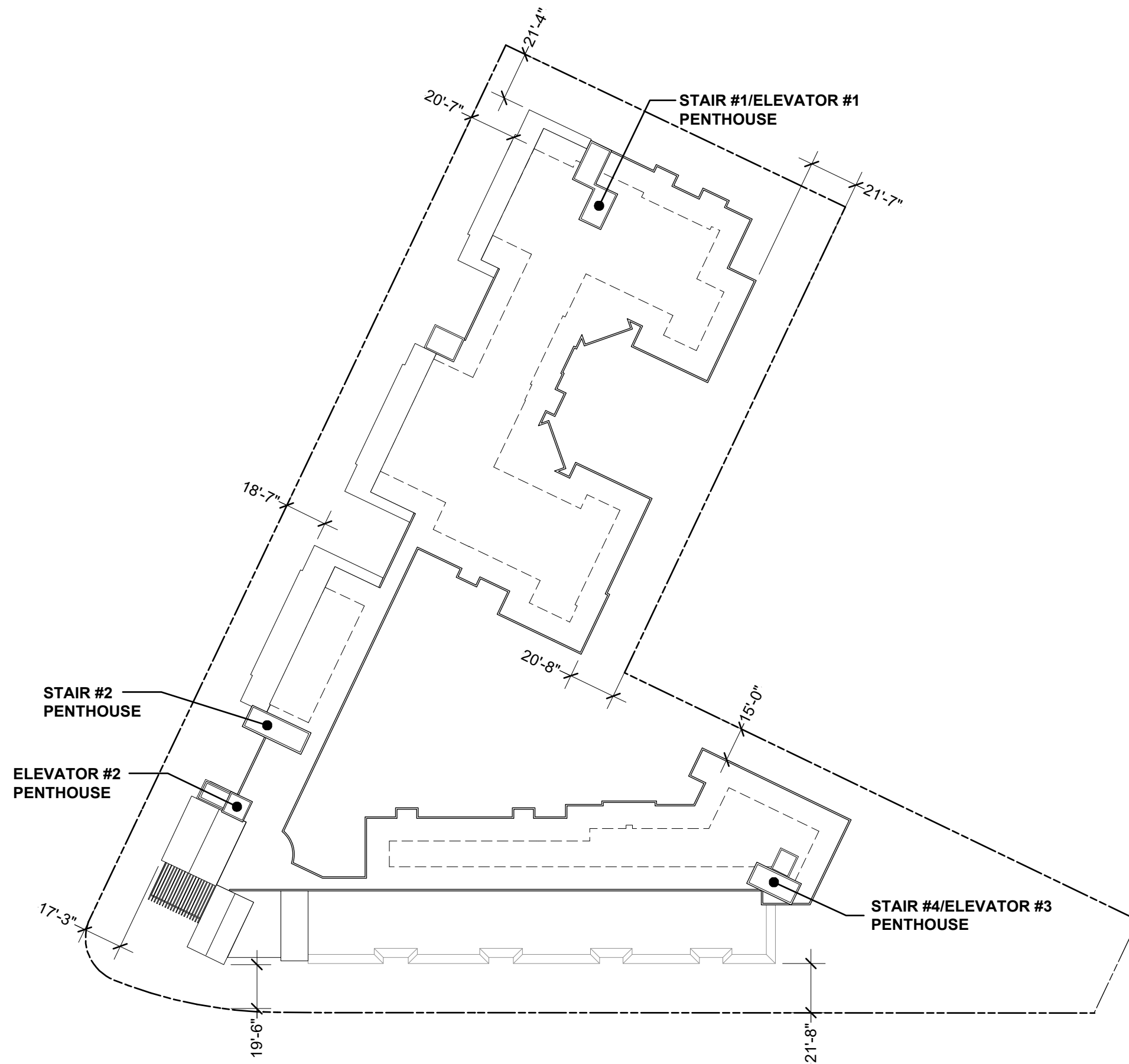
STUDIO	3 BEDROOM
1 BEDROOM	AMENITIES
2 BEDROOM	CIRCULATION

BLOCK B UNIT SUMMARY

STUDIO	5
1 BEDROOM	50
2 BEDROOM	45
3 BEDROOM	11
TOTAL	111






BLOCK B - LEVEL 4 PLAN



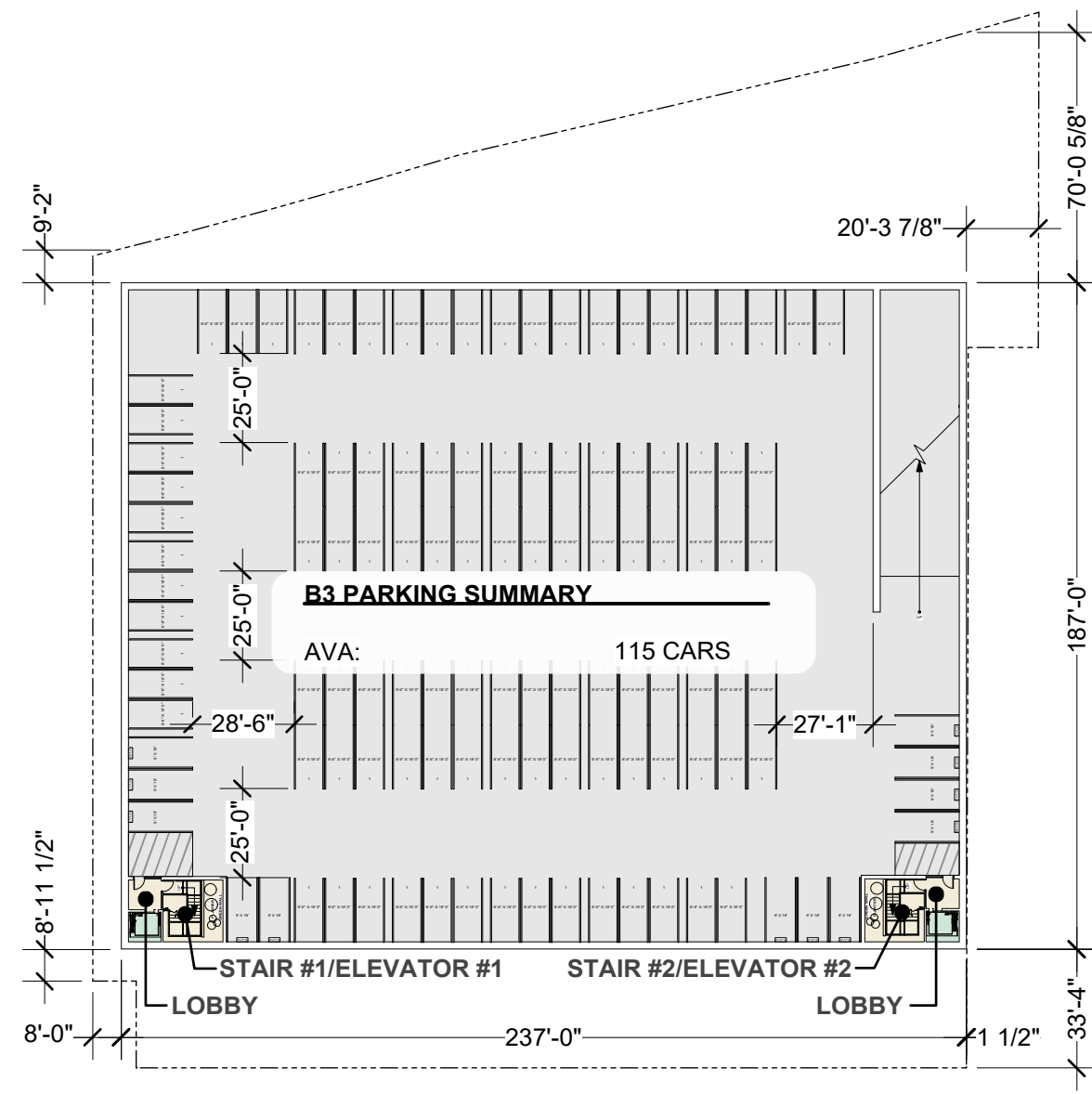


BLOCK B - ROOF PLAN

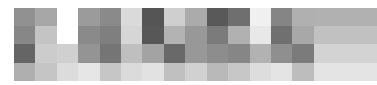







LEGEND			
	UTILITIES		ELEVATOR
	AMENITY		OUTDOOR AMENITY
	FUTURE RESIDENT PARKING		

PARKING SUMMARY	
B3	115
B2	113
B1	113
FLOOR 01/SURFACE	22
TOTAL	363

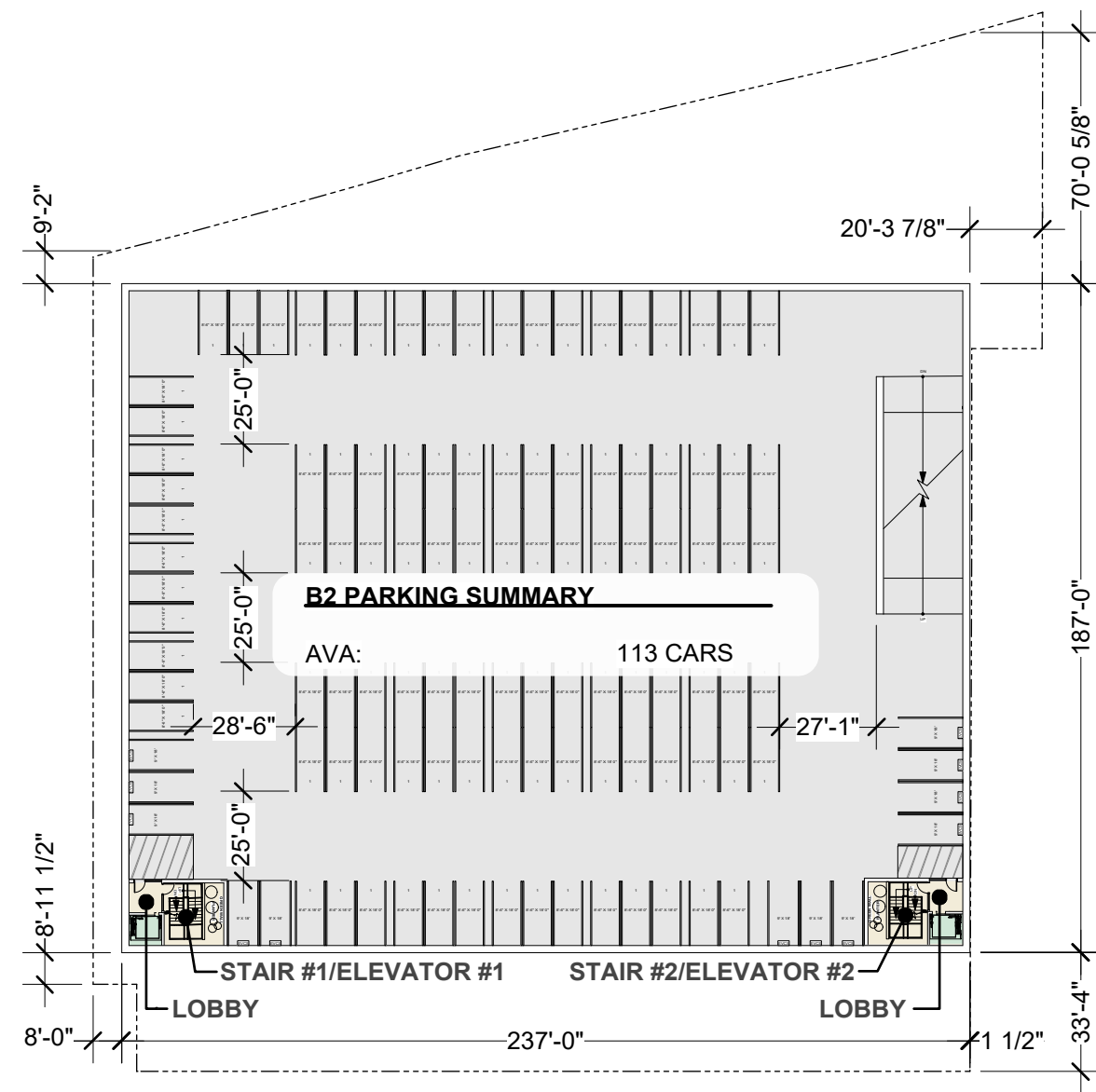


BLOCK A - LEVEL B3 PLAN

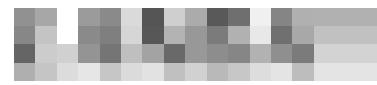







LEGEND			
	UTILITIES		ELEVATOR
	AMENITY		OUTDOOR AMENITY
	FUTURE RESIDENT PARKING		

PARKING SUMMARY	
B3	115
B2	113
B1	113
FLOOR 01/SURFACE	22
TOTAL	363

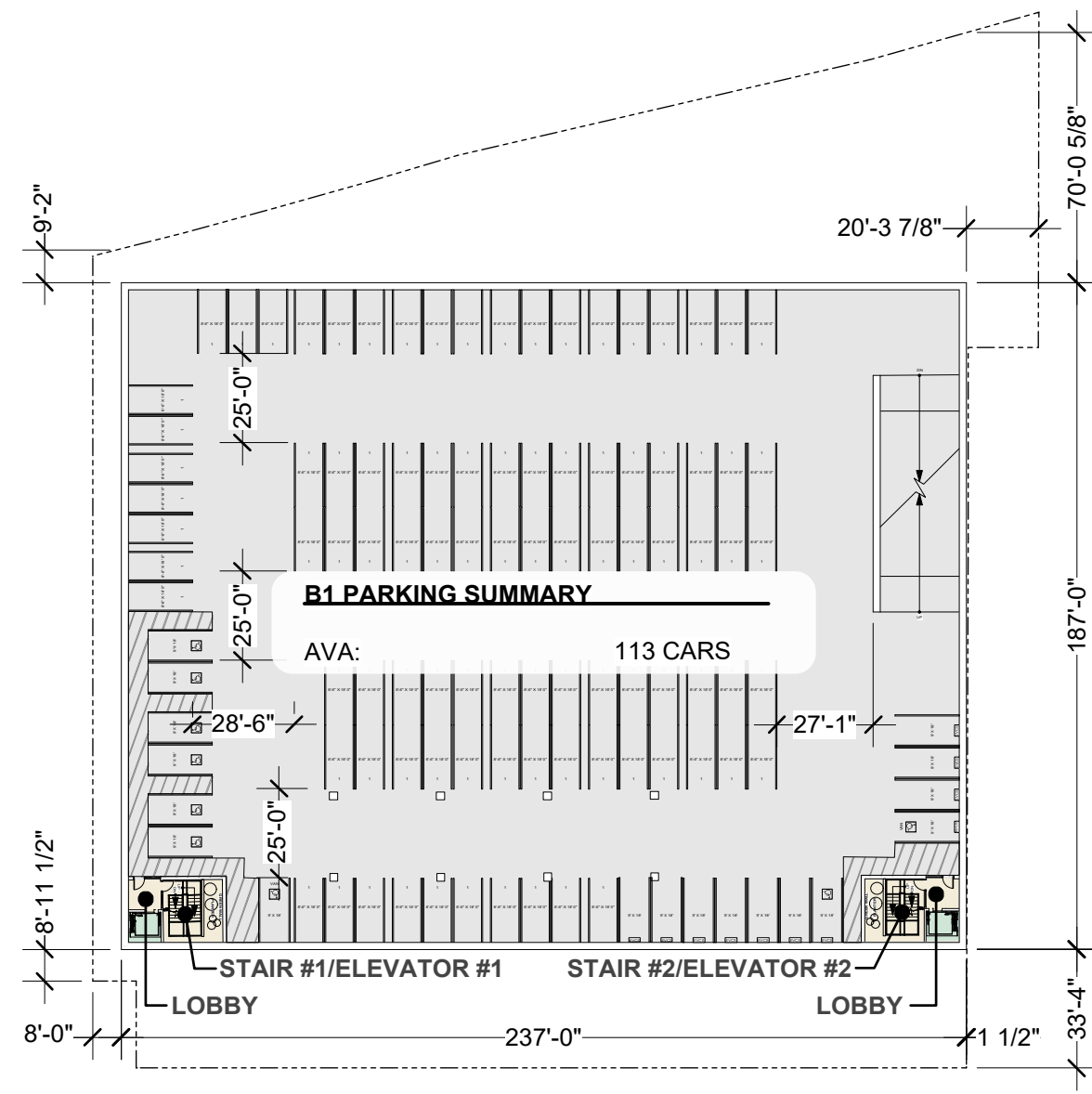


BLOCK A - LEVEL B2 PLAN



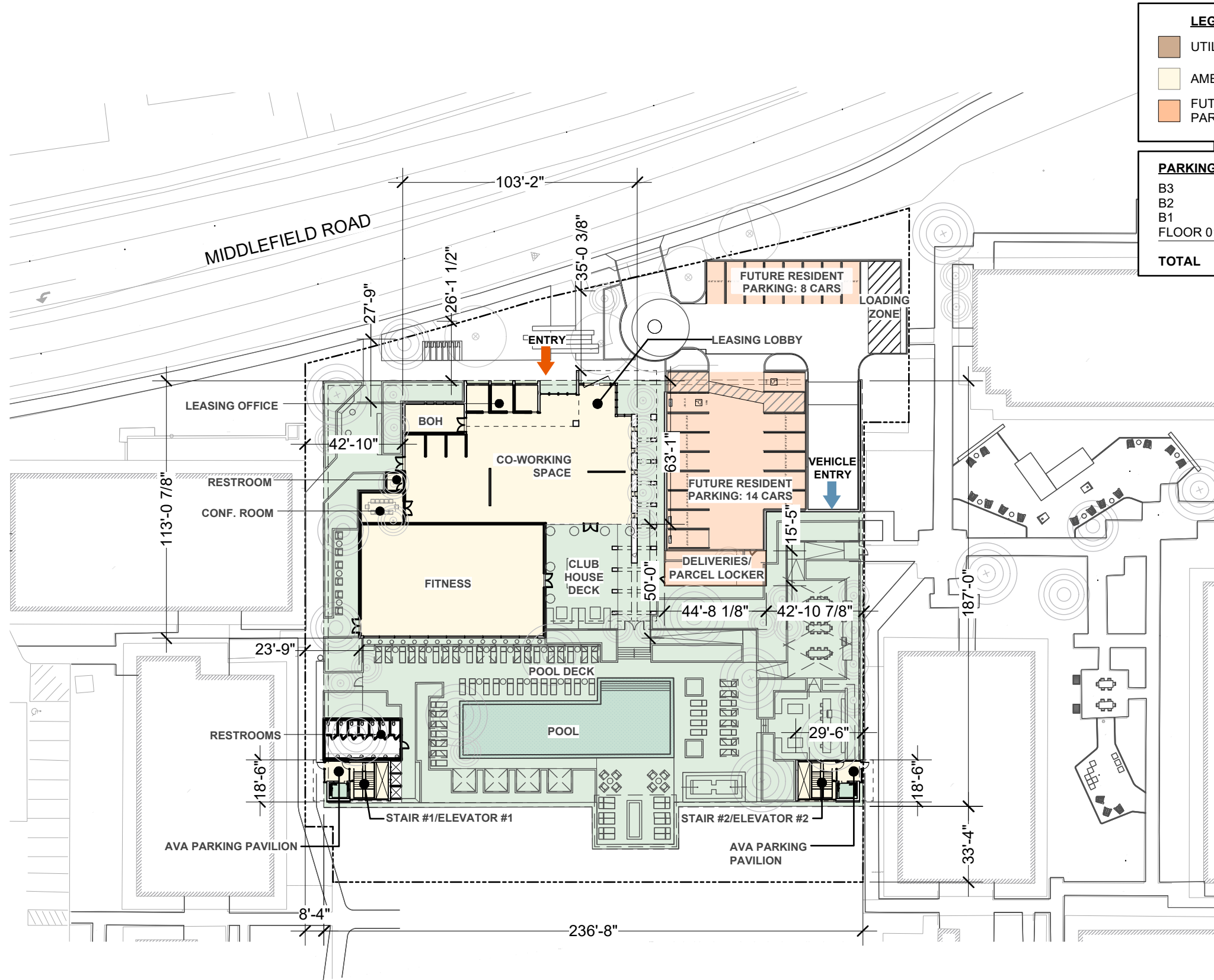
LEGEND			
	UTILITIES		ELEVATOR
	AMENITY		OUTDOOR AMENITY
	FUTURE RESIDENT PARKING		

PARKING SUMMARY	
B3	115
B2	113
B1	113
FLOOR 01/SURFACE	22
TOTAL	363



BLOCK A - LEVEL B1 PLAN



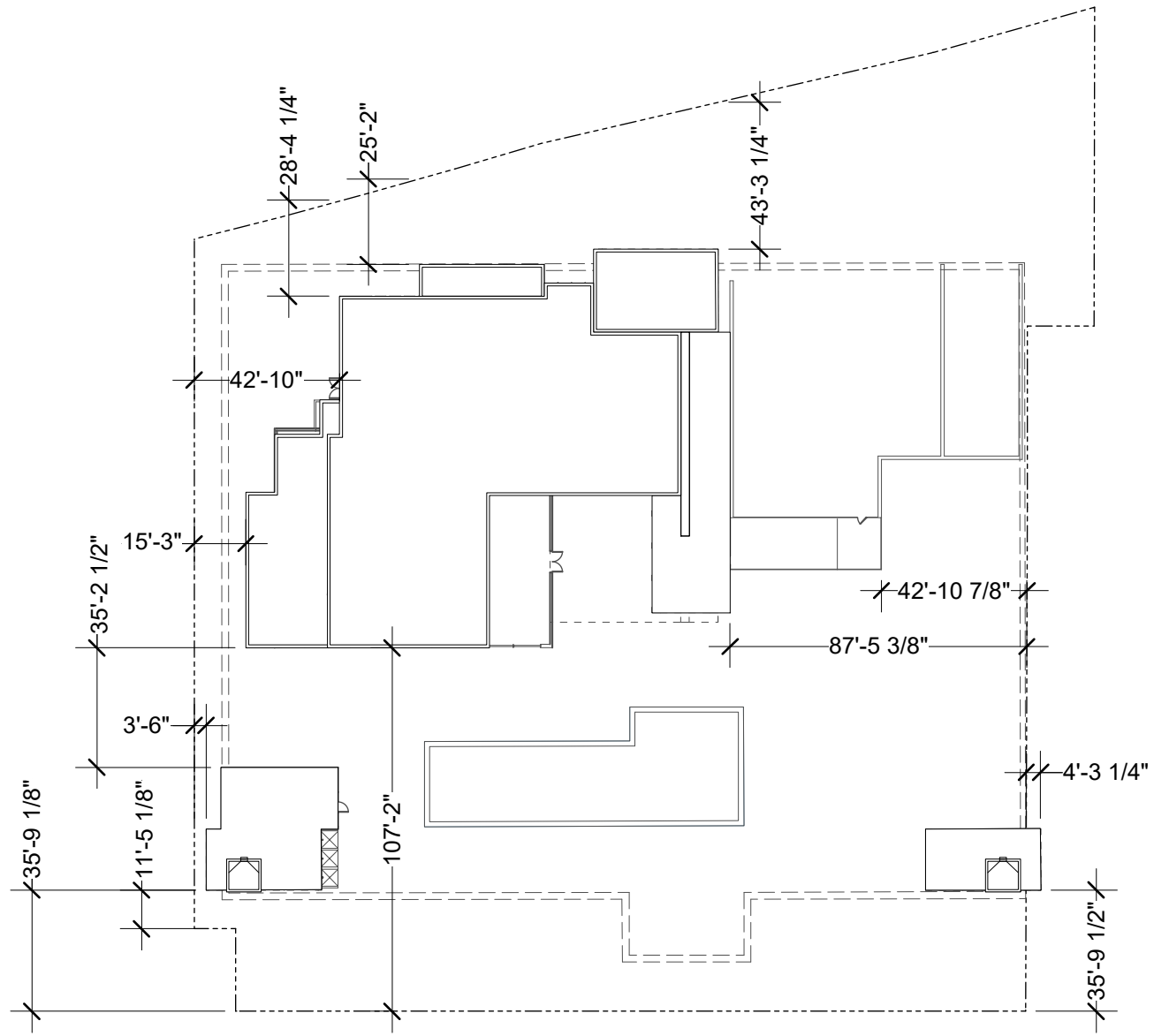


LEGEND	
 UTILITIES	 ELEVATOR
 AMENITY	 OUTDOOR AMENITY
 FUTURE RESIDENT PARKING	

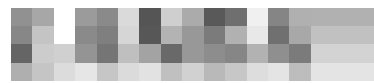
PARKING SUMMARY	
B3	115
B2	113
B1	113
FLOOR 01/SURFACE	22
TOTAL	363





BLOCK A - LEVEL 1 PLAN



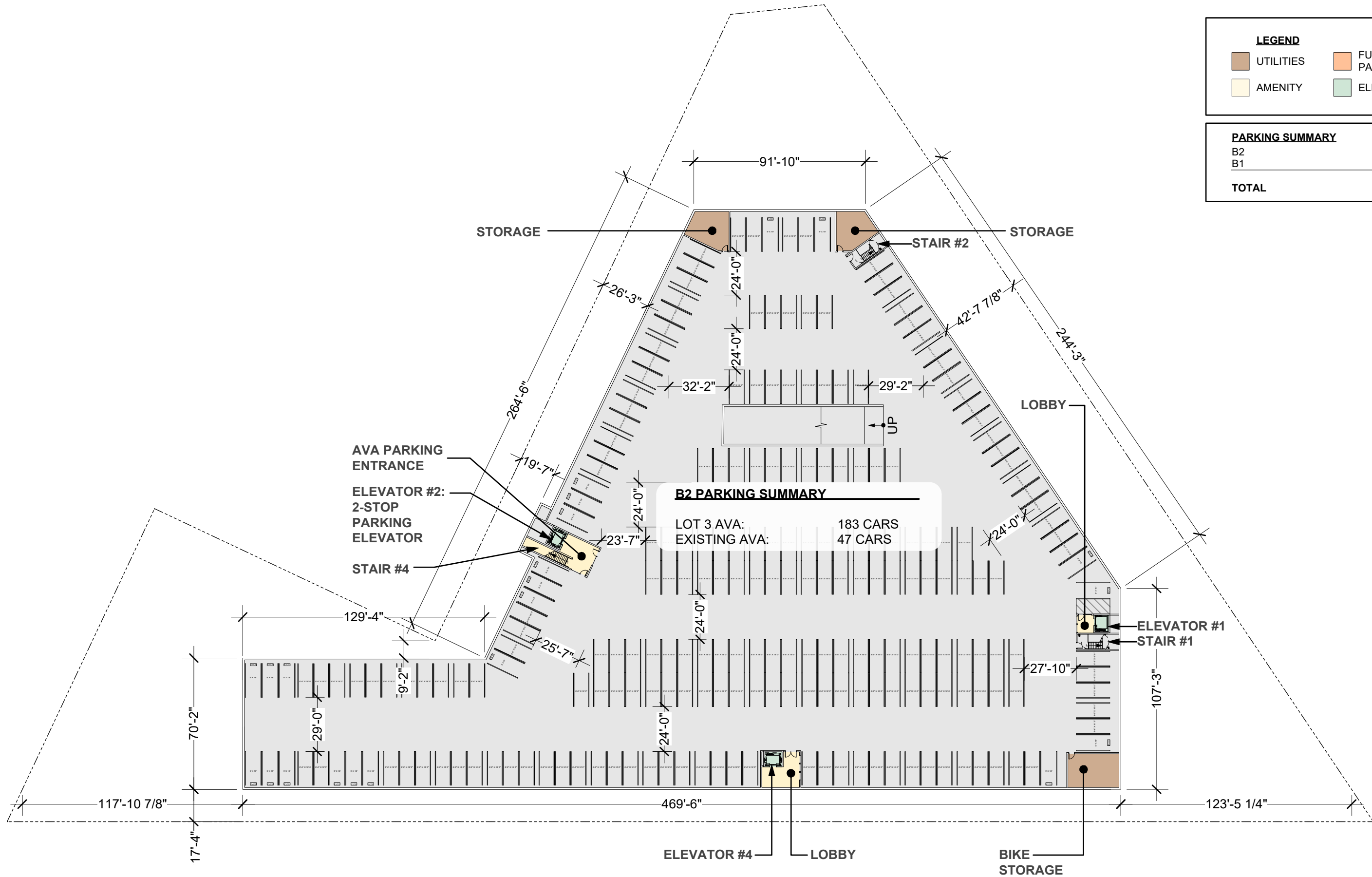


BLOCK A - ROOF PLAN

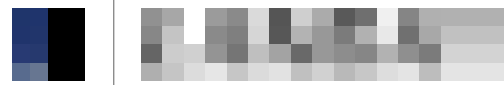






LEGEND			
	UTILITIES		FUTURE RESIDENT PARKING
	AMENITY		ELEVATOR

PARKING SUMMARY	
B2	230
B1	201
TOTAL	431

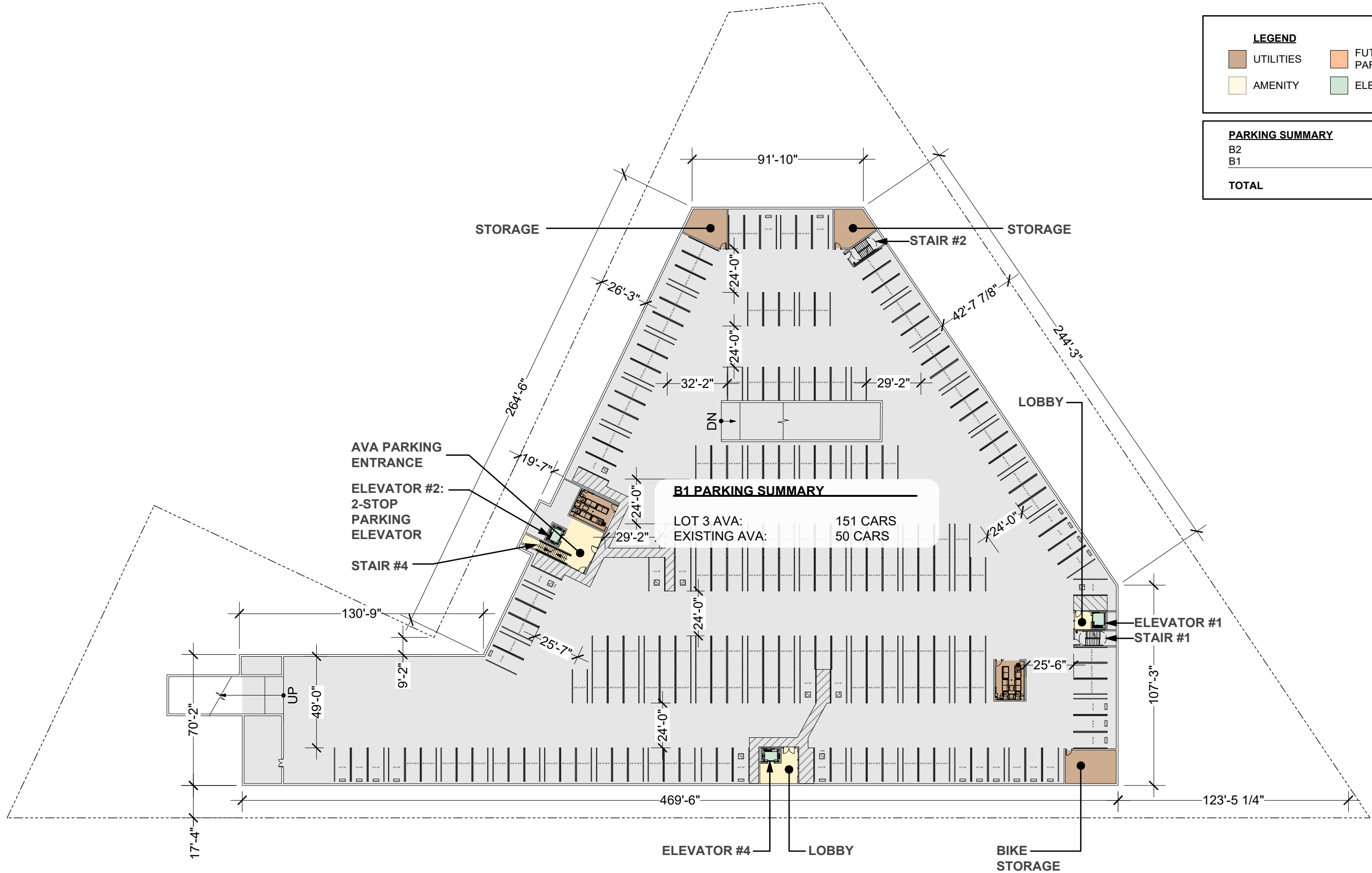


BLOCK C - LEVEL B2 PLAN

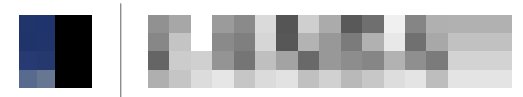


LEGEND			
	UTILITIES		FUTURE RESIDENT PARKING
	AMENITY		ELEVATOR

PARKING SUMMARY	
B2	230
B1	201
TOTAL	431



BLOCK C - LEVEL B1 PLAN





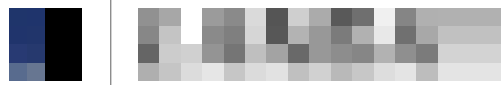
LEGEND

STUDIO	3 BEDROOM
1 BEDROOM	AMENITIES
2 BEDROOM	CIRCULATION

BLOCK C UNIT SUMMARY

STUDIO	12
1 BEDROOM	101
2 BEDROOM	90
3 BEDROOM	15
TOTAL	218

BLOCK C - LEVEL 1 PLAN

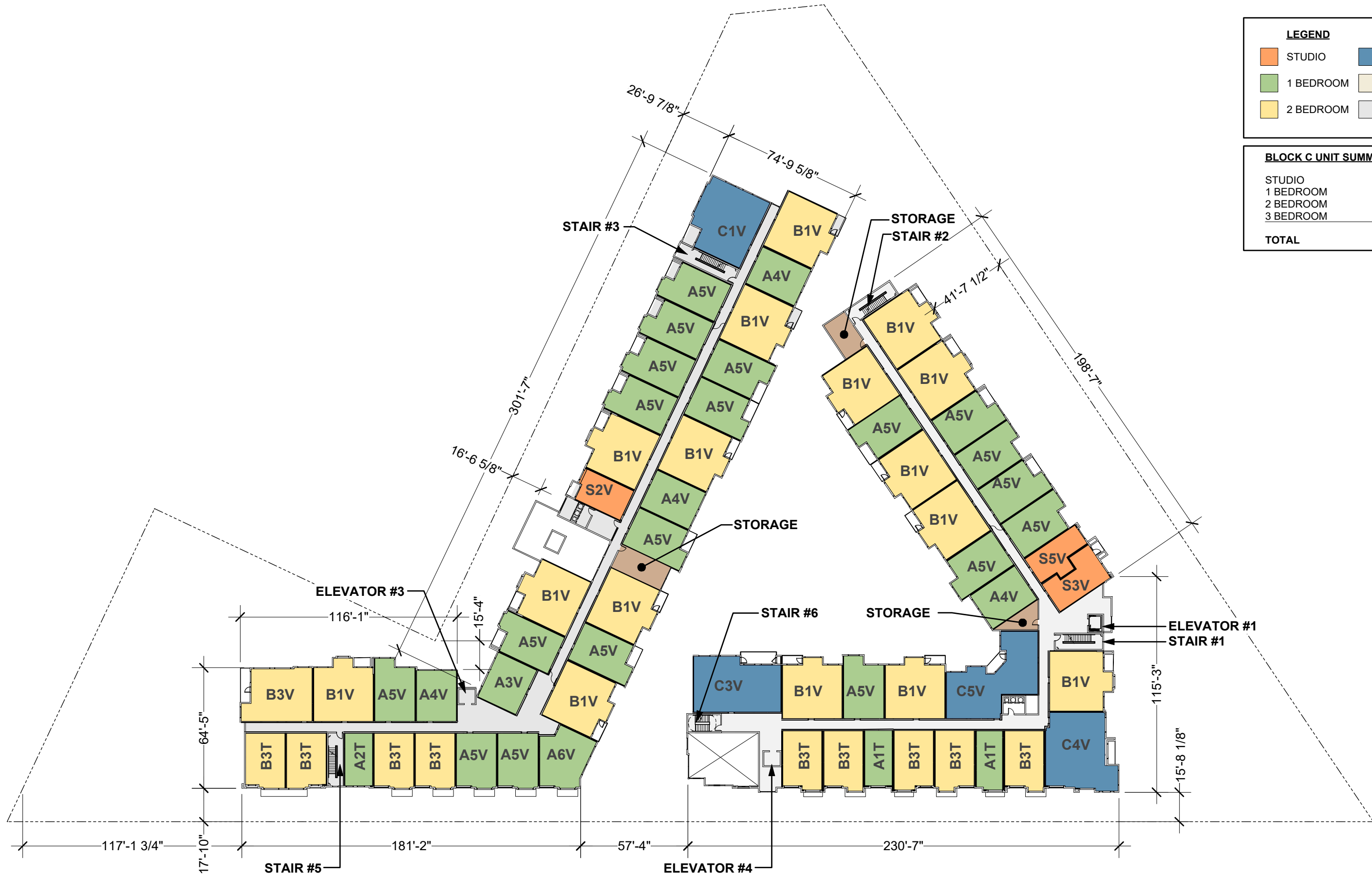


LEGEND

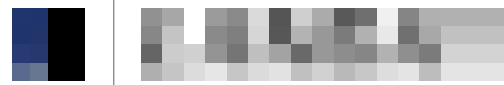
■ STUDIO	■ 3 BEDROOM
■ 1 BEDROOM	■ AMENITIES
■ 2 BEDROOM	■ CIRCULATION

BLOCK C UNIT SUMMARY







STUDIO	12
1 BEDROOM	101
2 BEDROOM	90
3 BEDROOM	15
TOTAL	218



BLOCK C - LEVEL 2 PLAN

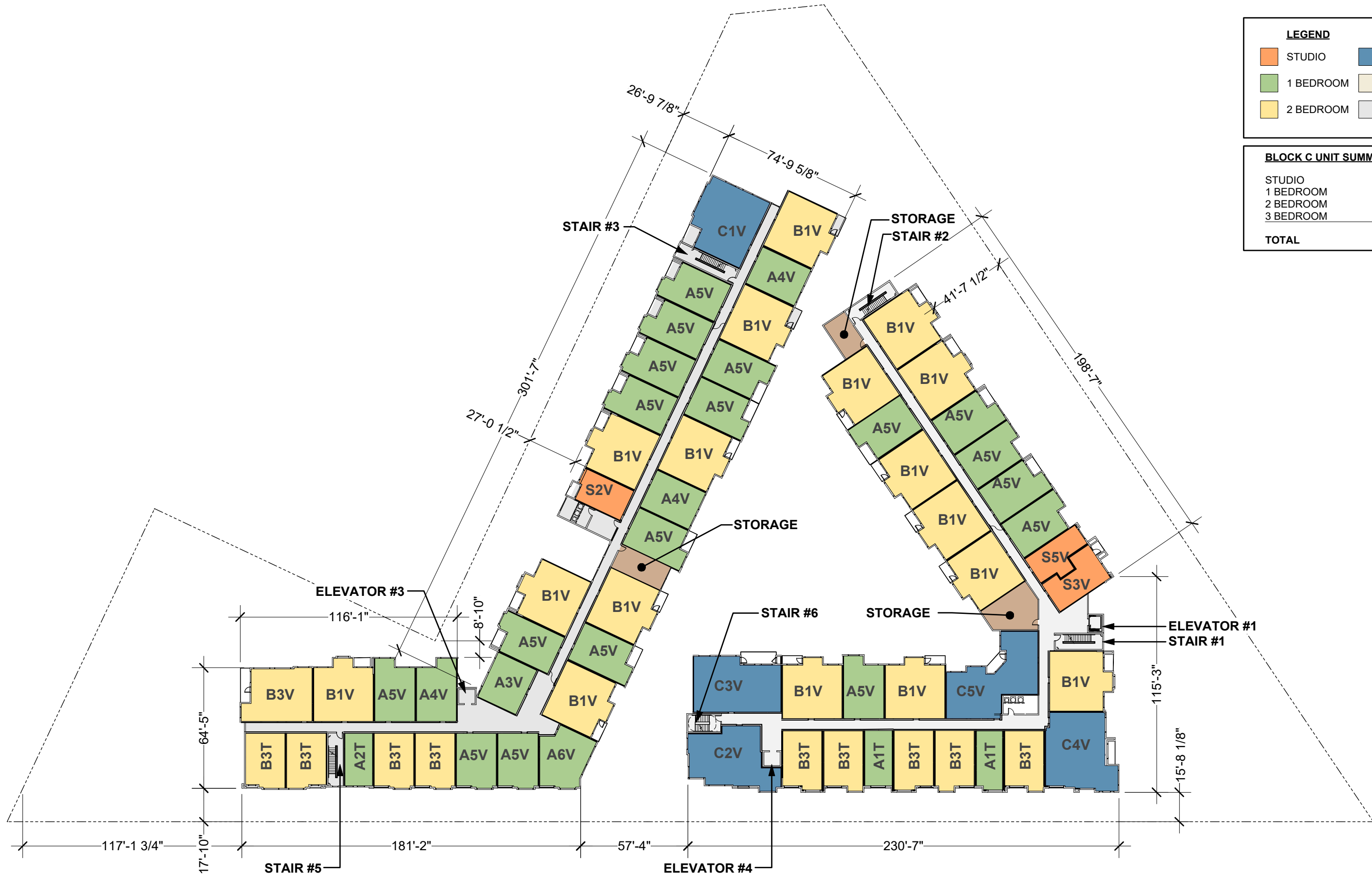


LEGEND

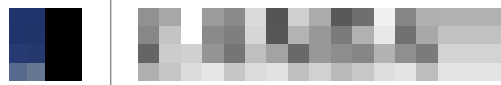
 STUDIO	 3 BEDROOM
 1 BEDROOM	 AMENITIES
 2 BEDROOM	 CIRCULATION

BLOCK C UNIT SUMMARY

STUDIO	12
1 BEDROOM	101
2 BEDROOM	90
3 BEDROOM	15
TOTAL	218



BLOCK C - LEVEL 3 PLAN

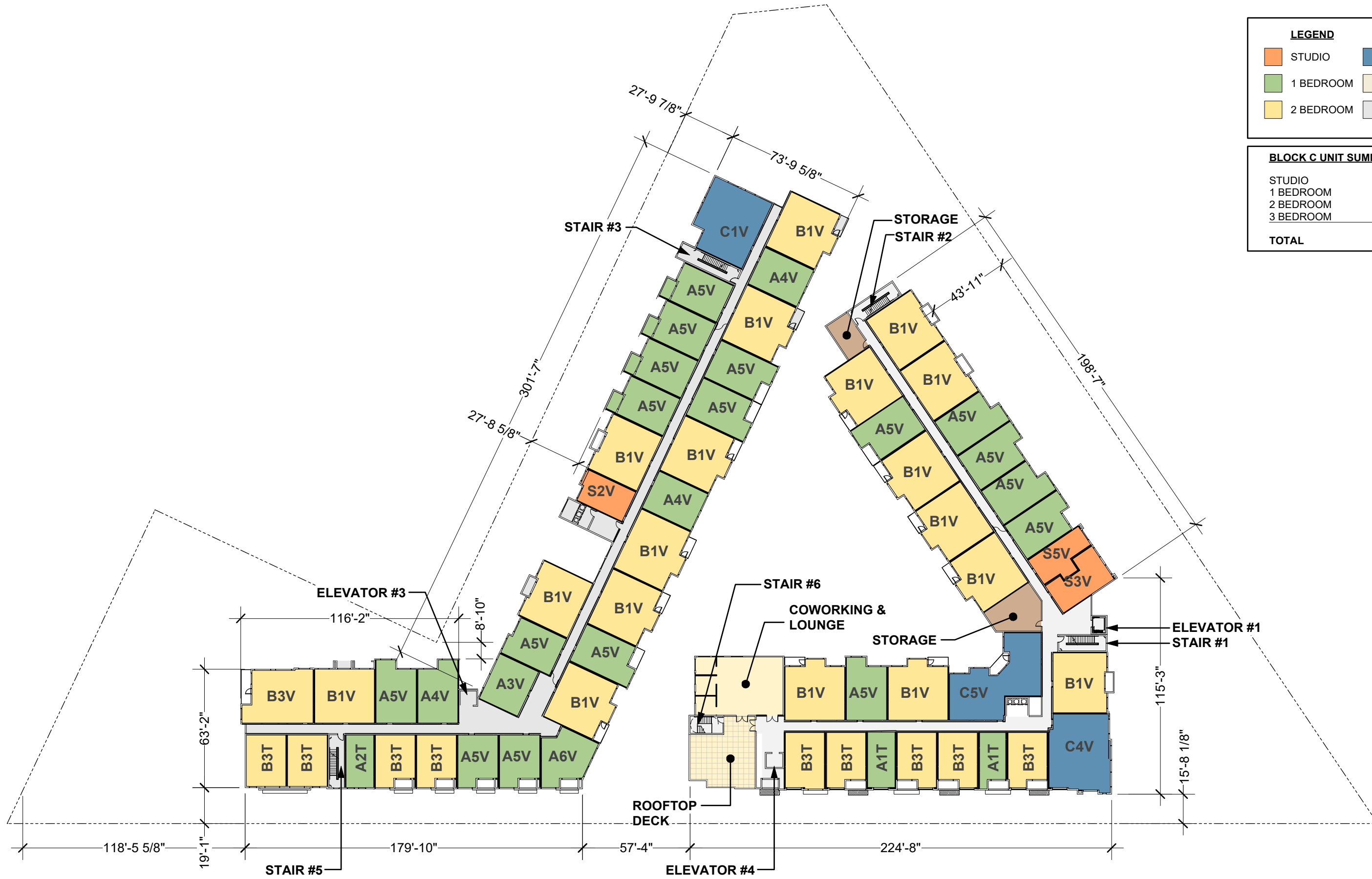


LEGEND

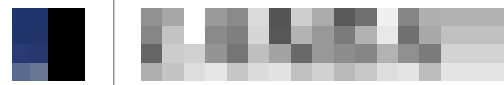
STUDIO	3 BEDROOM
1 BEDROOM	AMENITIES
2 BEDROOM	CIRCULATION

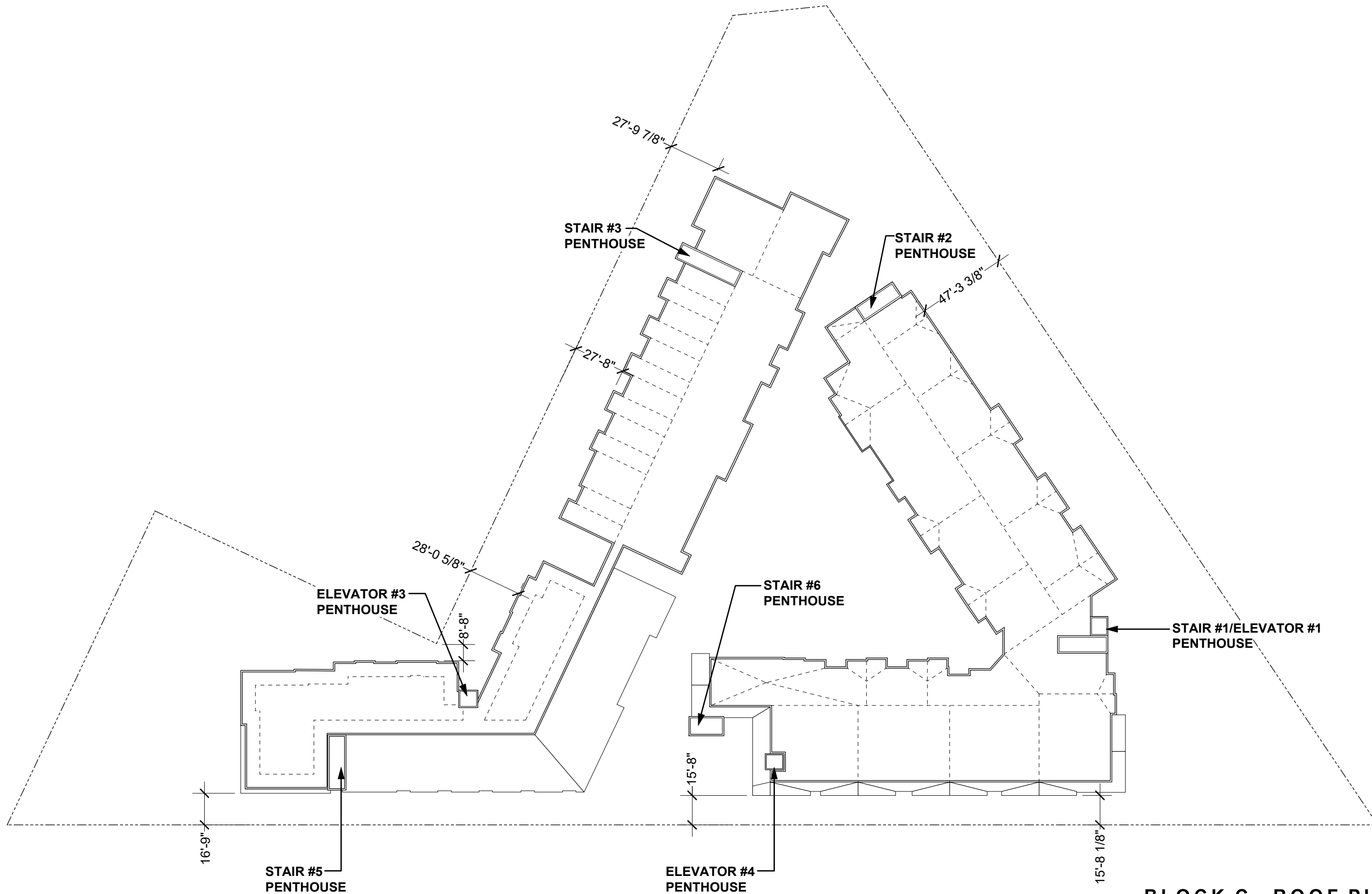
BLOCK C UNIT SUMMARY

STUDIO	12
1 BEDROOM	101
2 BEDROOM	90
3 BEDROOM	15
TOTAL	218



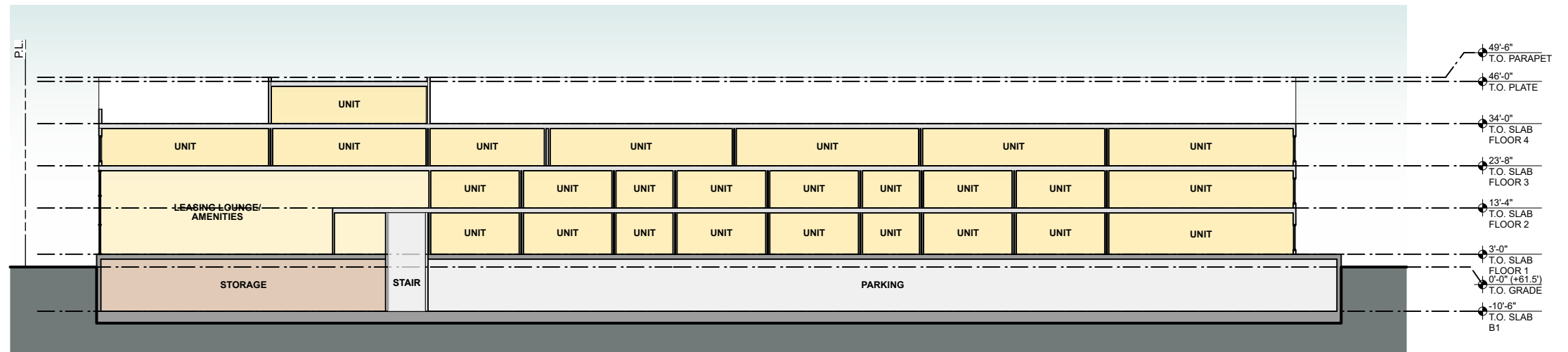
BLOCK C - LEVEL 4 PLAN



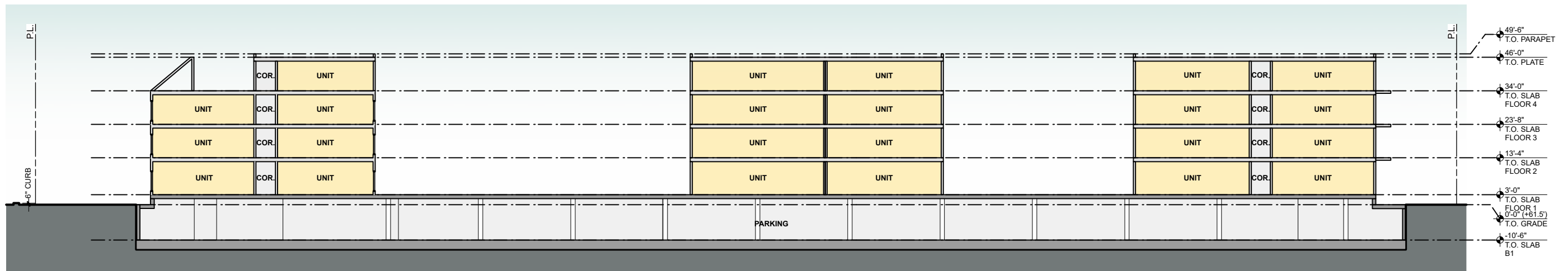


BLOCK C - ROOF PLAN

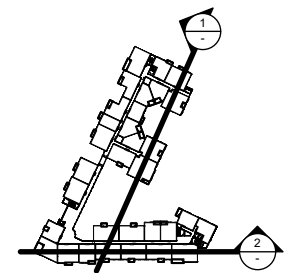




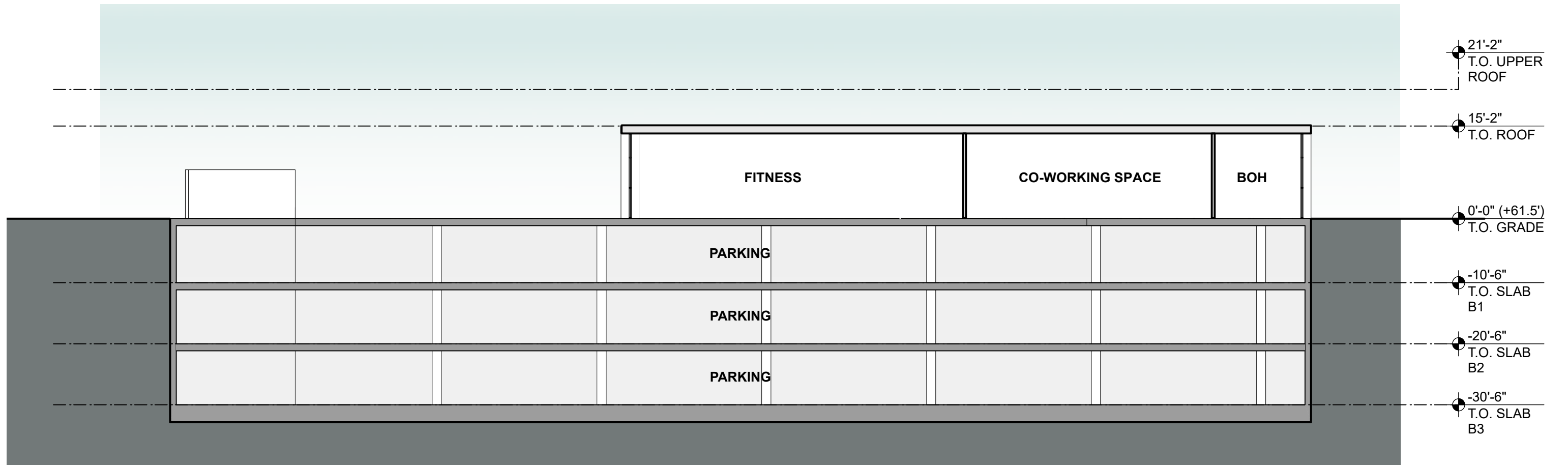
SECTION 2



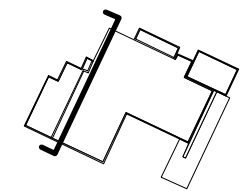
SECTION 1



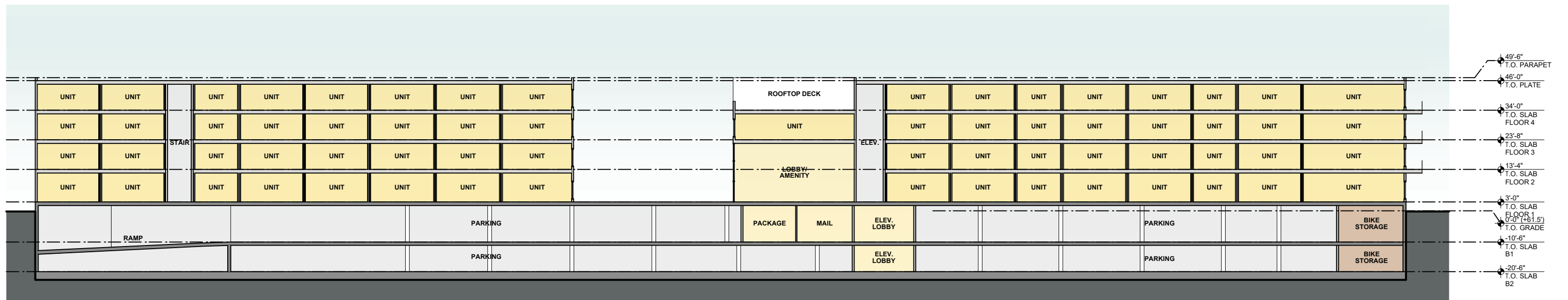
BLOCK B BUILDING SECTION



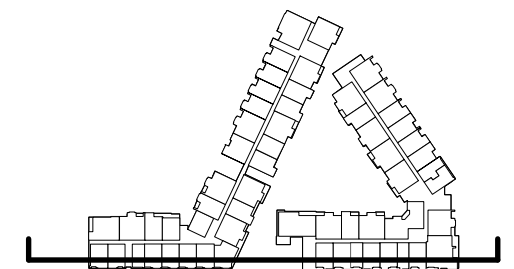
SECTION 1



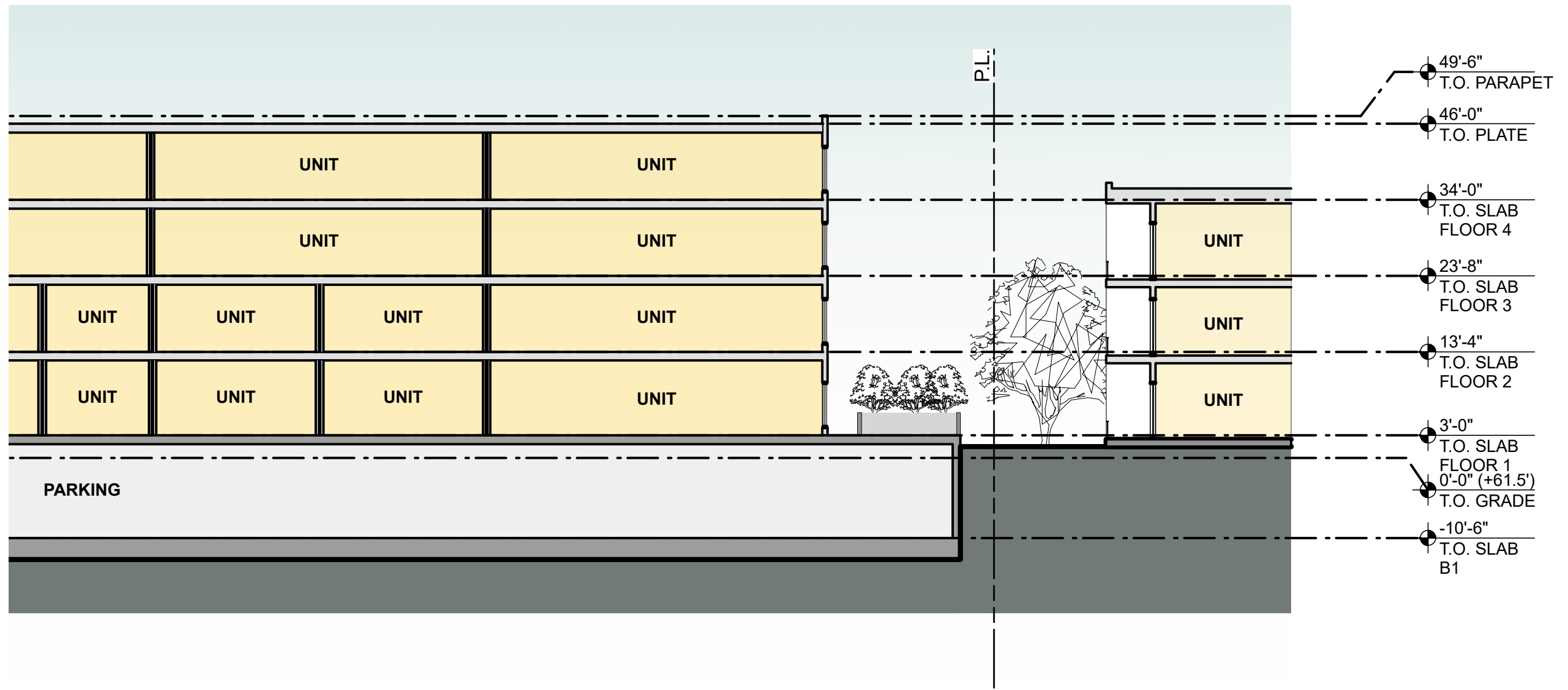
BUILDING A BUILDING SECTION



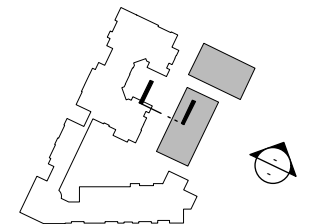
SECTION 1



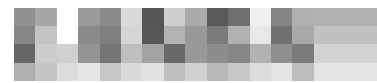
BLOCK C BUILDING SECTION

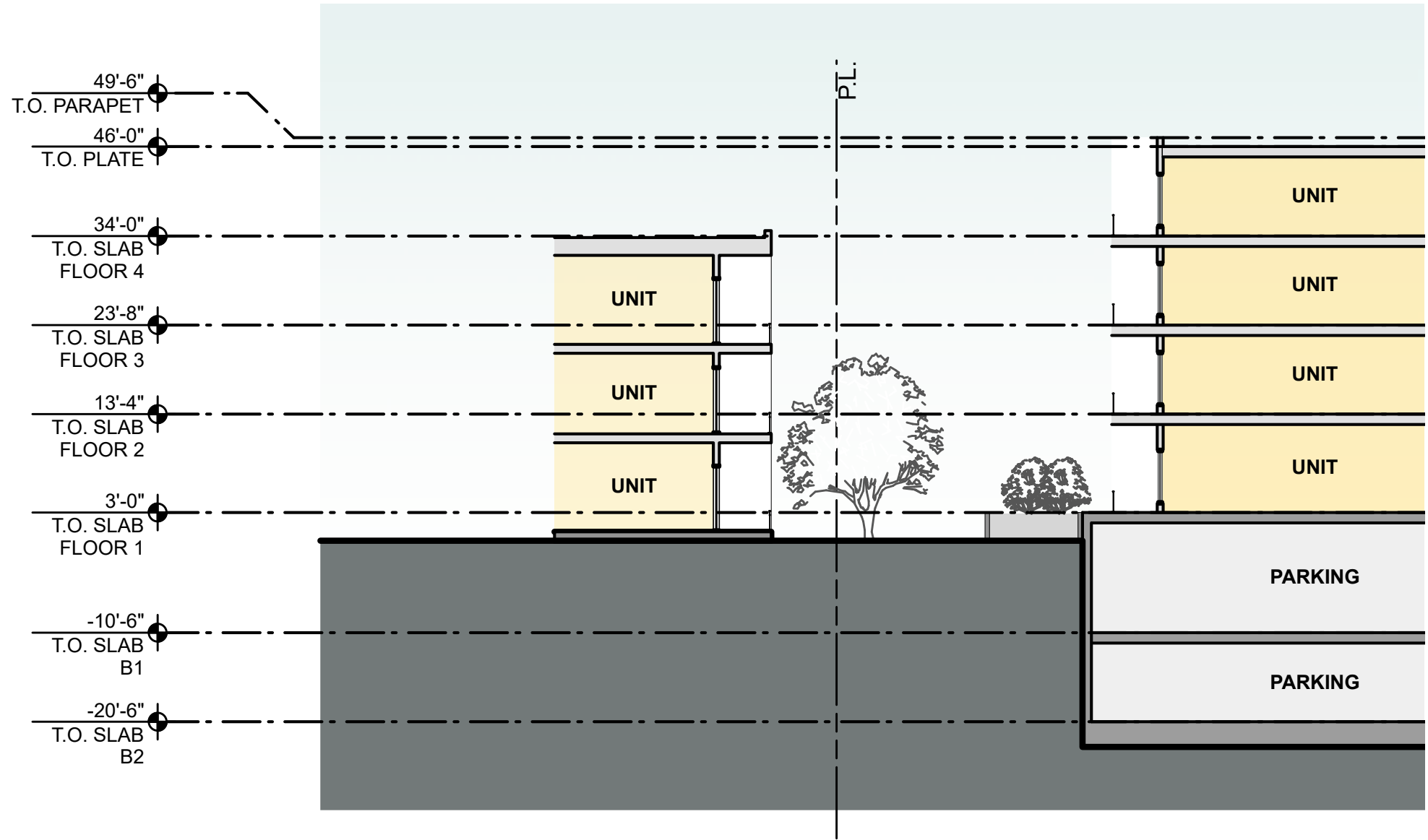


SECTION AT BUILDING E

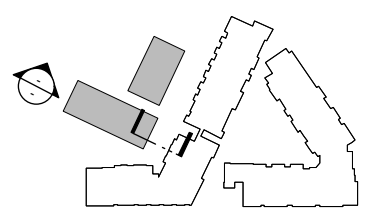


BLOCK B - SITE SECTIONS

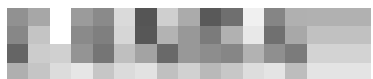


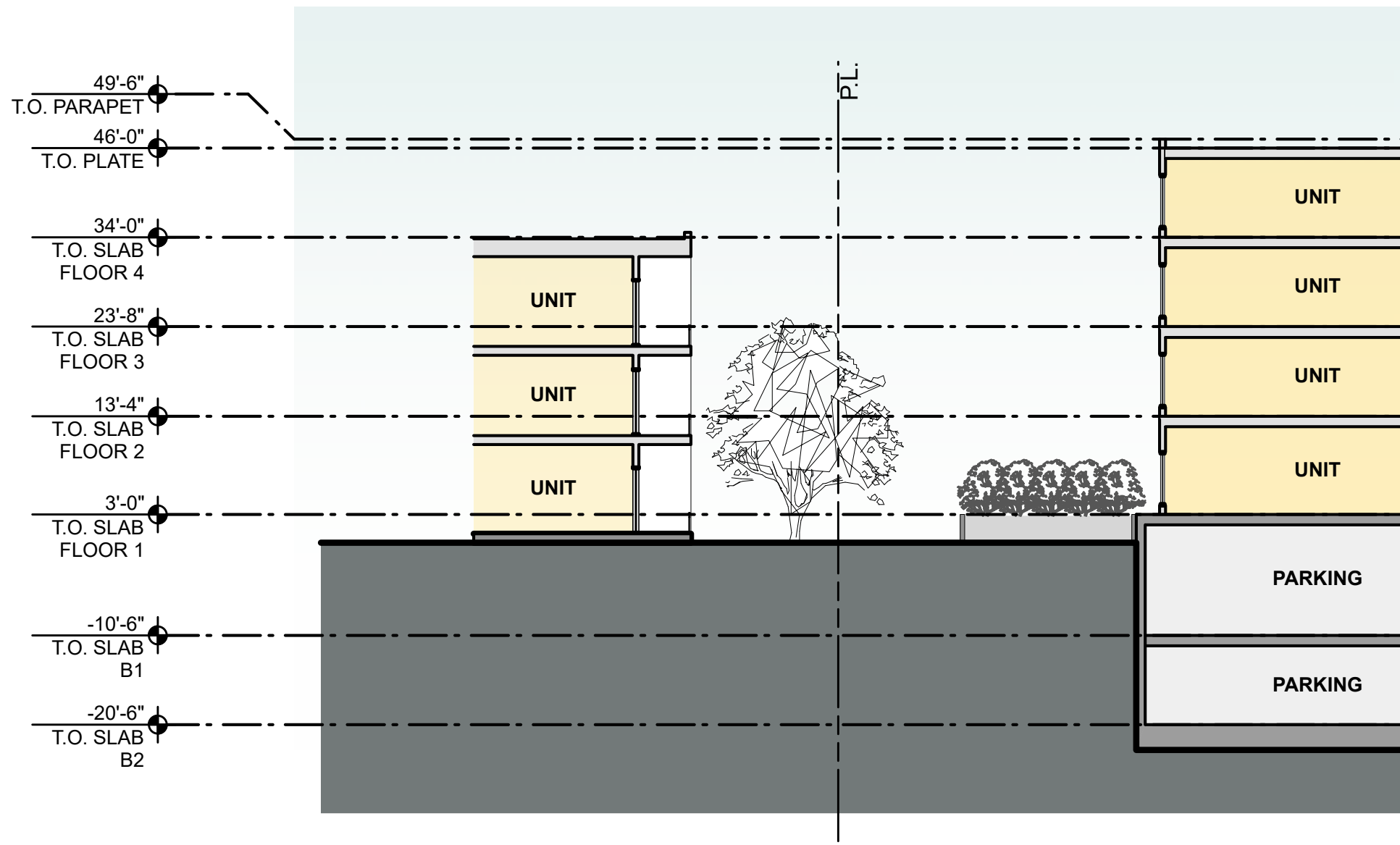


SECTION AT BUILDING M

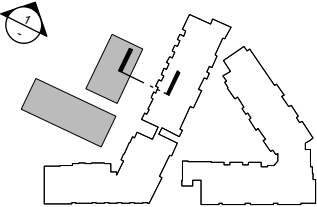


BLOCK C - SITE SECTIONS





SECTION AT BUILDING N



BLOCK C - SITE SECTIONS

LEGEND

- (E) PROPERTY LINE
- (E) EASEMENT LINE
- (E) CONTOUR
- (E) ELEVATION
- BUILDING LINE
- BUILDING OVERHANG (AERIALY DERIVED)
- CONCRETE
- CONCRETE GRADE BREAK
- CURB & GUTTER (VERTICAL)
- CURB & GUTTER (ROLLED)
- FENCELINE
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRICAL
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- UNDERGROUND SANITARY SEWER
- UNDERGROUND STREET LIGHTING
- UNDERGROUND STORM DRAIN
- UNDERGROUND WATER LINE
- UNDERGROUND FIRE LINE
- WALL

- ^c CABLE TV BOX
- CATCH BASIN
- or ⊙ DRAIN INLET
- ^e ELECTRICAL UTILITY BOX
- ☀ ELECTROLIER/STREET LIGHT
- ⊕ FIRE HYDRANT
- gm GAS METER
- SCO SANITARY SEWER CLEANOUT
- ⊙ SANITARY SEWER MANHOLE
- ⊕ SIGN
- × 57.4 SPOT ELEVATION

- ⊙ STORM DRAIN MANHOLE
- ^{sl} STREET LIGHT BOX
- ⊕ TRAFFIC SIGNAL POLE
- ☀ TRAFFIC SIGNAL POLE W/ELECTROLIER
- ^{ts} TRAFFIC SIGNAL BOX
- ⊙ UTILITY POLE
- ^w WATER METER
- ⊙^v WATER VALVE

ABBREVIATIONS

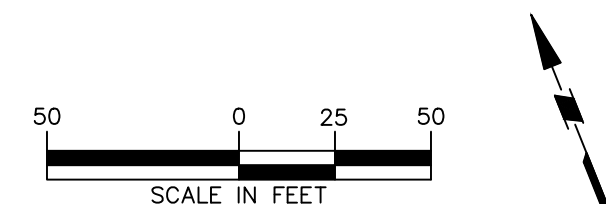
- ARV AIR RELEASE VALVE
- CP COMMUNICATIONS PEDESTAL
- CV COMMUNICATIONS VAULT
- D DETECTOR
- DCV DETECTOR CHECK VALVE
- EO ELECTRICAL OUTLET
- EV ELECTRICAL VAULT
- FDC FIRE DEPARTMENT CONNECTION
- IR IRRIGATION
- MB MAIL BOX
- RL RAIL LEADER
- SCO SANITARY SEWER CLEANOUT
- SL STREET LIGHT
- TS TRAFFIC SIGNAL
- U UTILITY
- UC UTILITY CONDUIT
- UP UTILITY PEDESTAL
- UVLT UTILITY VAULT
- W WATER
- V VALVE
- WLT WATER VAULT
- XFMR TRANSFORMER

NOTES:

1. ALL FEATURES SHOWN HEREON REPRESENT SURFACE CONDITIONS OF THE PROJECT AREA COMPILED FROM AN AERIAL SURVEY PERFORMED ON OCTOBER 7TH, 2015 AND SUPPLEMENTAL GROUND SURVEYS PERFORMED BY MOUNTAIN PACIFIC SURVEYS IN SELECT AREAS IN JULY OF 2016. UNDERGROUND UTILITIES, WHERE SHOWN, ARE BASED ON UTILITY MARKINGS PROVIDED BY OTHERS; SURVEYOR MADE NO OTHER ATTEMPT TO DETERMINE THE EXTENT OR EXISTENCE OF UNDERGROUND UTILITIES OR OTHER FEATURES NOT SURFACE VISIBLE.
2. HORIZONTAL DATUM IS BASED UPON THE MONUMENTED CENTERLINE OF MOFFETT BOULEVARD PER BOOK 237 OF MAPS, PAGE 30, SCCR. VERTICAL DATUM IS BASED UPON CITY OF MOUNTAIN VIEW BENCHMARK 111-59, A DISC SET IN THE SOUTHEAST CURB RETURN OF MOFFETT BOULEVARD AND CYPRESS POINT DRIVE. ELEVATION TAKES AS 58.32, NAVD 88.
3. EASEMENTS SHOWN HEREON ARE BASED UPON THE PRELIMINARY TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY AS ORDER NO. 3020-761570 DATED OCTOBER 27, 2015. THE EASEMENTS DISCLOSED IN THIS REPORT ARE DISCUSSED AS FOLLOWS:
 - A) 10 FOOT WIDE (AND VARIES) EASEMENT IN FAVOR OF PG&E FOR VARIOUS UNDERGROUND AND SURFACE FACILITIES AS DESCRIBED IN BOOK 8553 OF OFFICIAL RECORDS AT PAGE 547. LOCATION OF EASEMENT SHOWN HEREON.
 - B) 10 FOOT WIDE EASEMENT IN FAVOR OF PG&E FOR VARIOUS UNDERGROUND FACILITIES AS DESCRIBED IN BOOK 9182 OF OFFICIAL RECORDS AT PAGE 284. LOCATION OF EASEMENT SHOWN HEREON.
 - C) EASEMENT IN FAVOR OF COMCAST OF CALIFORNIA FOR VARIOUS UNDERGROUND AND SURFACE FACILITIES IN DOCUMENT 2008-20424136. EASEMENT IS BLANKET IN NATURE AND AFFECTS THE ENTIRE PARCEL; RECORDED DOCUMENT DOES NOT CONTAIN A SPECIFIC PLOTTABLE LOCATION. GENERAL REFERENCE TO EASEMENT IS SHOWN HEREON.



EXISTING CONDITIONS PLAN



NOTES

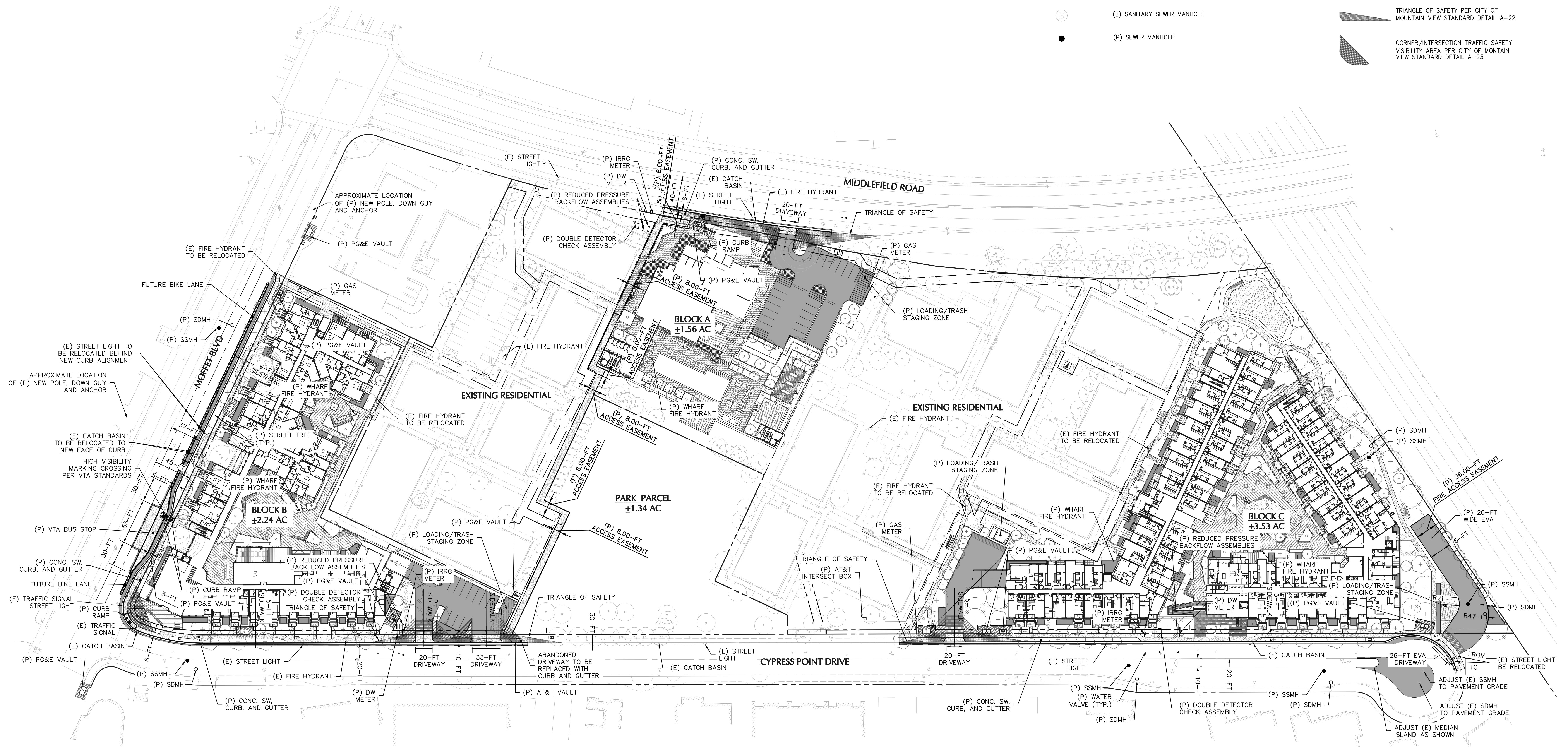
1. FIRE LANE MARKING: "NO PARKING - FIRE LANE" SIGNS SHALL BE POSTED ALONG FIRE LANES AND CURBS SHALL BE PAINTED RED WITH THE WORDS: "NO PARKING - FIRE LANE" STENCILED IN WHITE ON THE TOP AND SIDE OF THE CURB EACH 50-FT. FIRE ACCESS LANES NOT HAVING CURBS SHALL HAVE A 6-INCH (152.4 MM) RED STRIPE PAINTED ALONG THE EDGE(S).

ABBREVIATIONS

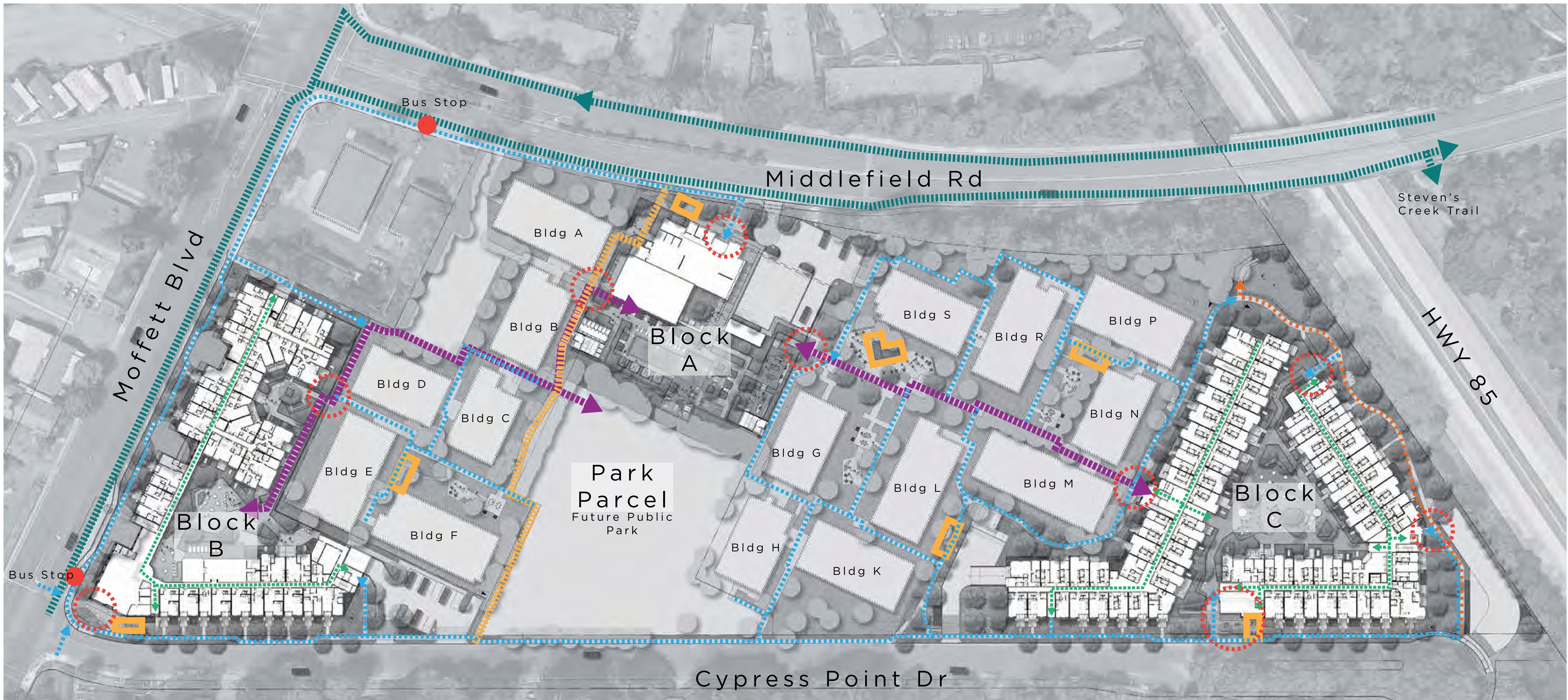
(E)	EXISTING
(P)	PROPOSED
ARV	AIR RELEASE VALVE
CONC	CONCRETE
CP	COMMUNICATIONS PEDESTAL
CV	COMMUNICATIONS VAULT
D	DETECTOR
DW	DOMESTIC WATER
DCV	DETECTOR CHECK VALVE
EO	ELECTRICAL OUTLET
EV	ELECTRICAL VAULT
EVA	EMERGENCY VEHICLE ACCESS
FDC	FIRE DEPARTMENT CONNECTION
IR	IRRIGATION
JT	JOINT TRENCH
MB	MAIL BOX
RL	RAIL LEADER
SCO	SANITARY SEWER CLEANOUT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SL	STREET LIGHT
SW	SIDEWALK
TRANS	TRANSFORMER
TS	TRAFFIC SIGNAL
U	UTILITY
UC	UTILITY CONDUIT
UP	UTILITY PEDESTAL
UVLT	UTILITY VAULT
W	WATER
V	VALVE
WLT	WATER VAULT
XPMR	TRANSFORMER

SITE PLAN LEGEND

	(E) PROPERTY LINE		(E) SIGN
	(E) EASEMENT LINE		(E) STORM DRAIN MANHOLE
	(E) BUILDING LINE		(P) STORM MANHOLE
	(E) BUILDING OVERHANG (AERIALLY DERIVED)		(E) STREET LIGHT BOX
	(E) CONCRETE		(E) TRAFFIC SIGNAL POLE
	(E) CURB & GUTTER (VERTICAL)		(E) TRAFFIC SIGNAL POLE W/ELECTROLIER
	(E) CURB & GUTTER (ROLLED)		(E) TRAFFIC SIGNAL BOX
	(E) FENCELINE		(E) UTILITY POLE
	(E) WALL		(E) WATER METER
	(E) CABLE TV BOX		(E) WATER VALVE
	(E) DRAIN INLET		(P) 5.5-FT X 9.5 FT ENCLOSURE FOR SUBSURFACE TRANSFORMER (SHOWN FOR REFERENCE ONLY SEE JT PLANS)
	(E) ELECTRICAL UTILITY BOX		(P) TRANSFORMER ON 106-IN X 90-IN PAD (SHOWN FOR REFERENCE ONLY SEE JT PLANS)
	(E) ELECTROLIER/STREET LIGHT		PEDESTRIAN TRIANGLE OF SAFETY PER CITY OF MOUNTAIN VIEW STANDARD DETAIL A-22
	(E) FIRE HYDRANT		TRIANGLE OF SAFETY PER CITY OF MOUNTAIN VIEW STANDARD DETAIL A-22
	(E) GAS METER		CORNER/INTERSECTION TRAFFIC SAFETY VISIBILITY AREA PER CITY OF MOUNTAIN VIEW STANDARD DETAIL A-23
	(E) SANITARY SEWER CLEANOUT		
	(E) SANITARY SEWER MANHOLE		
	(P) SEWER MANHOLE		



CONCEPTUAL SITE PLAN



CIRCULATION & WAYFINDING

Wayfinding

- Primary Circulation & Leasing Paseo
 - Signage
 - Wide Corridors
 - Wayfinding Lighting
 - Uniform planting
- Public Path
 - Signage
 - Wide Corridors
 - Bike Friendly Path
- On Street Bike Lane
- Site Circulation Path
 - Walkway lighting
- Existing Bus Stop
- Internal Building Circulation
- Paseo
 - Dog Friendly
- Bike Parking
- Primary Building and Interior Courtyard Entryways



Fire Feature with Seating



Built-in BBQ



Swimming Pool



Outdoor Dining Entertainment and Media Center



Pool Deck and Seating



Raised Deck Overlook at Trees

Materials



1 Precast Concrete Paving

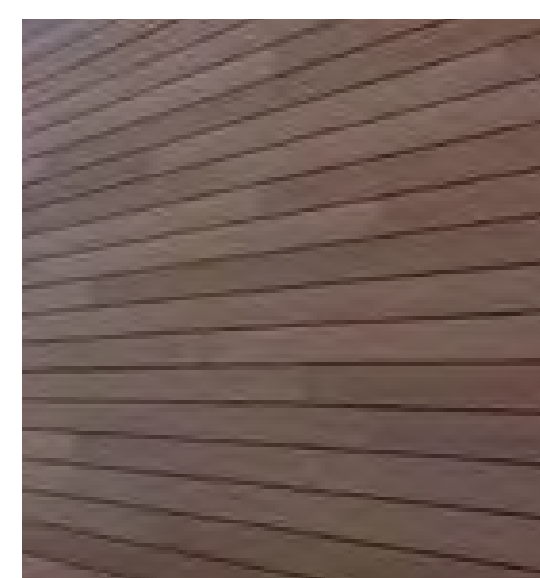


2 Boardwalk Pavers



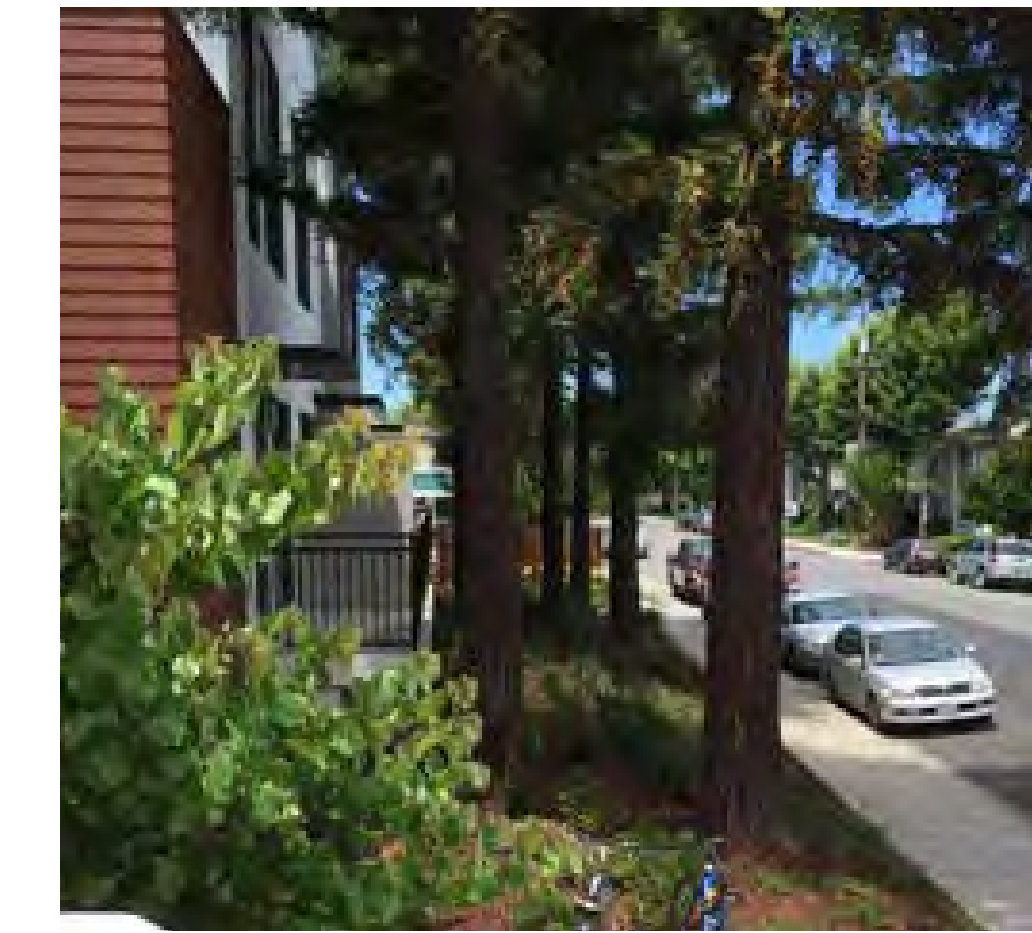
3

CMU Planter Wall



4 Enhanced Planter Wall

BLOCK A - AVA POOL ENLARGEMENT PLAN



Protected Redwood Trees



Public Art

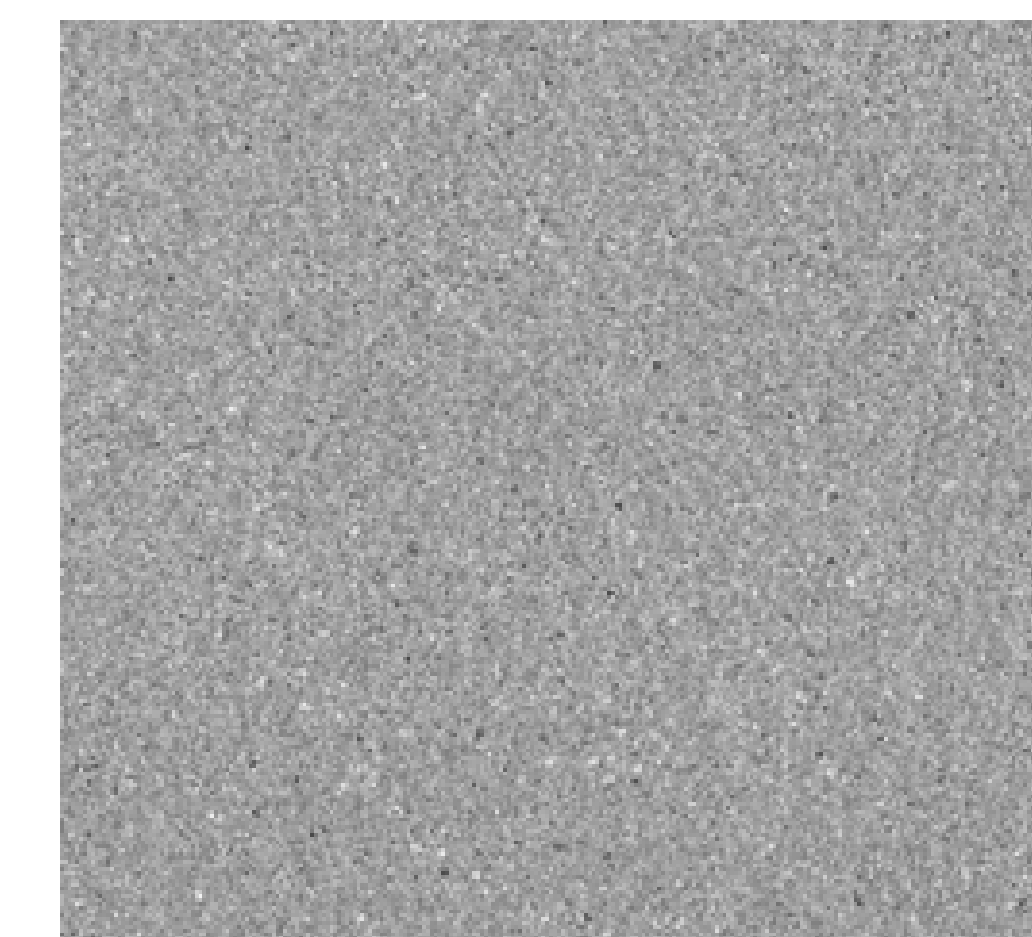


Leasing Entry

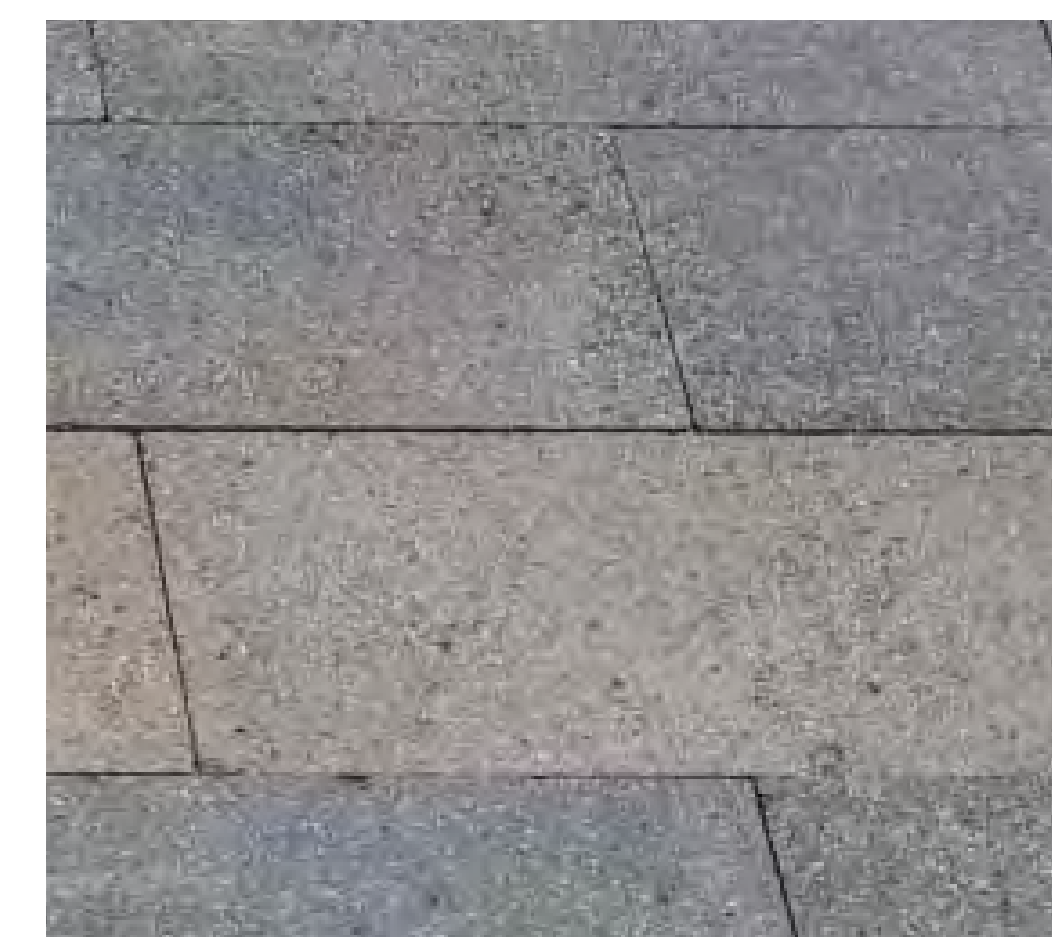


Typical Street View

Materials



1 Concrete Sidewalk



2 Precast Concrete Paving

BLOCK B - SIGNATURE EXTERIOR LANDSCAPE ENLARGEMENT PLAN



Passive Courtyard Amenities



Fire Pit/ Table Lounge



Private Unit Patio

Active Courtyard Amenities



Fire Pit/ Table Lounge



Outdoor Kitchen and Bar



Yoga / Fitness Deck



Co-Work Lounge

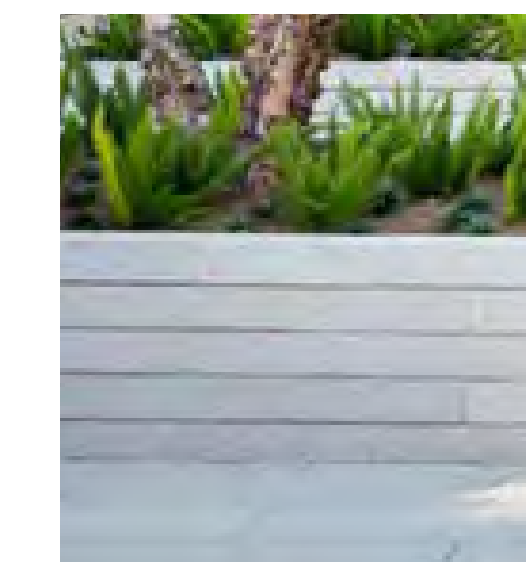
Materials



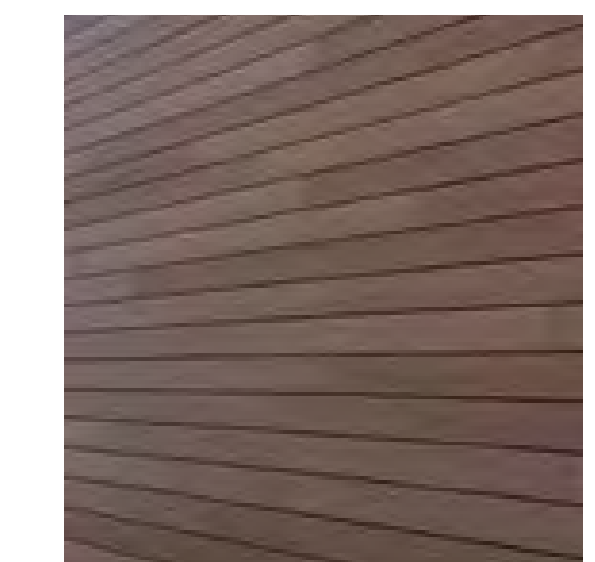
1 Precast Concrete Paving



2 Yoga deck



3 CMU Planter Wall



4 Synthetic Wood Veneer at Planters



5 Dekton Countertop

BLOCK B - SIGNATURE INTERIOR LANDSCAPE ENLARGEMENT PLAN



BLOCK C - AVA EXTERIOR LANDSCAPE ENLARGEMENT PLAN



Courtyard Aesthetics



Lawn Area



Chill Deck



Built-in BBQ



Modular Seating

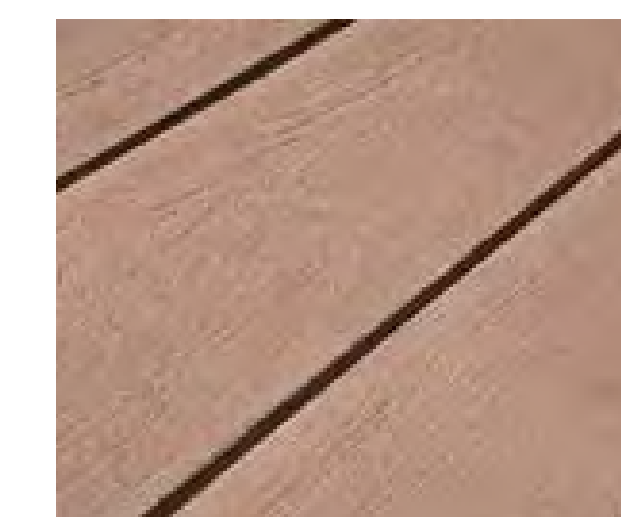


Fire Pit Lounge

Materials



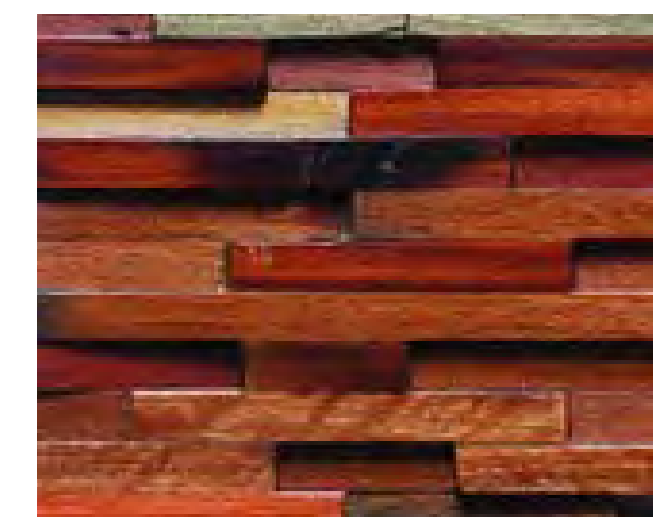
1 Precast Concrete Paving



2 Boardwalk Pavers

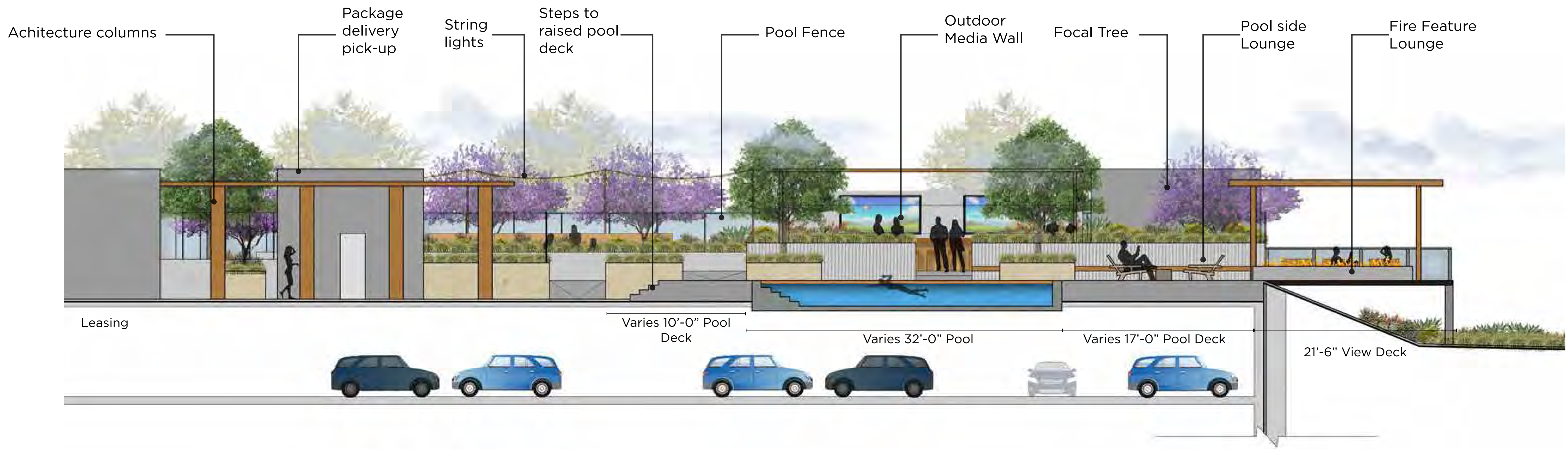


3 CMU Planter Wall



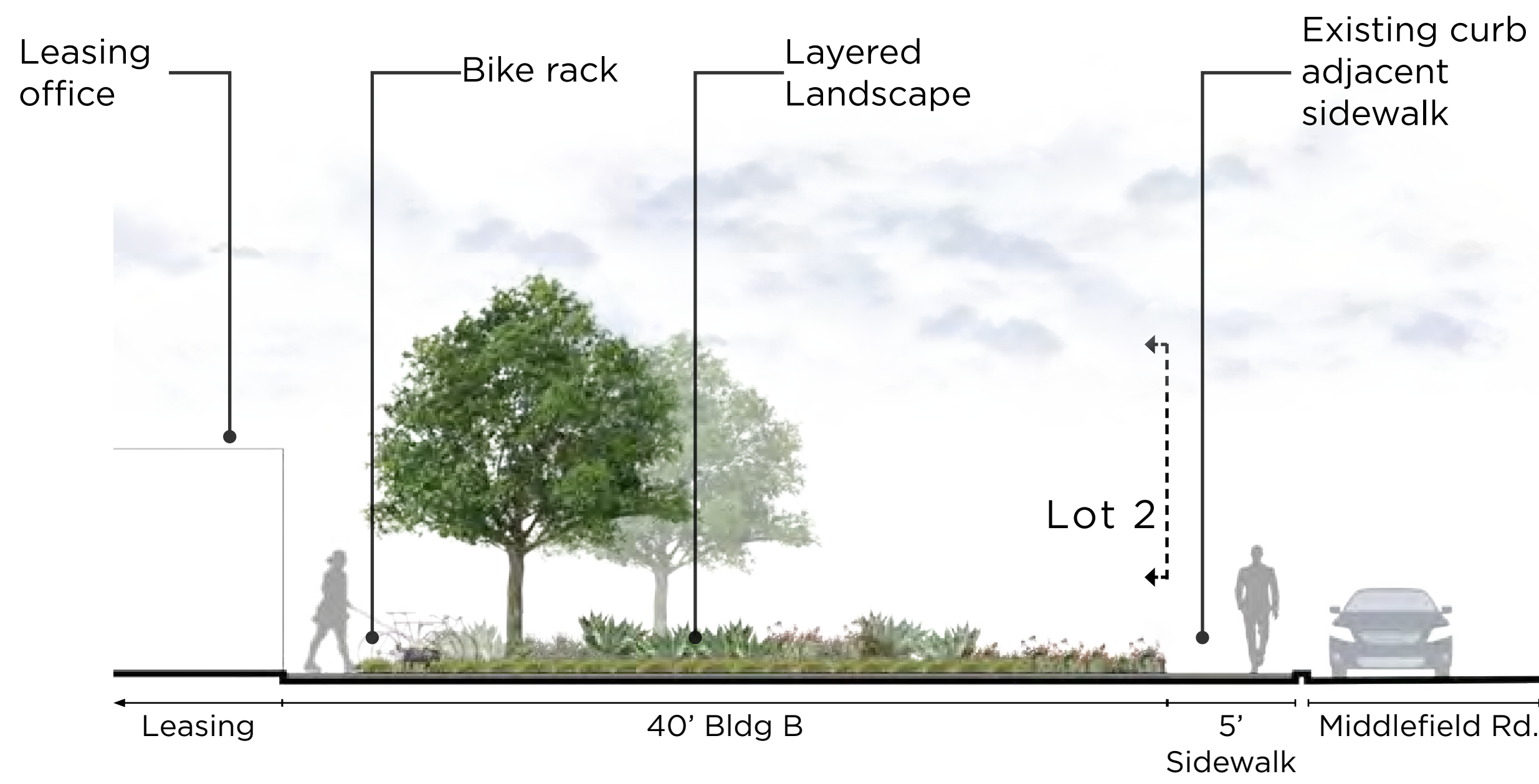
4 Accent Planter Wall

BLOCK C - AVA INTERIOR LANDSCAPE ENLARGEMENT PLAN



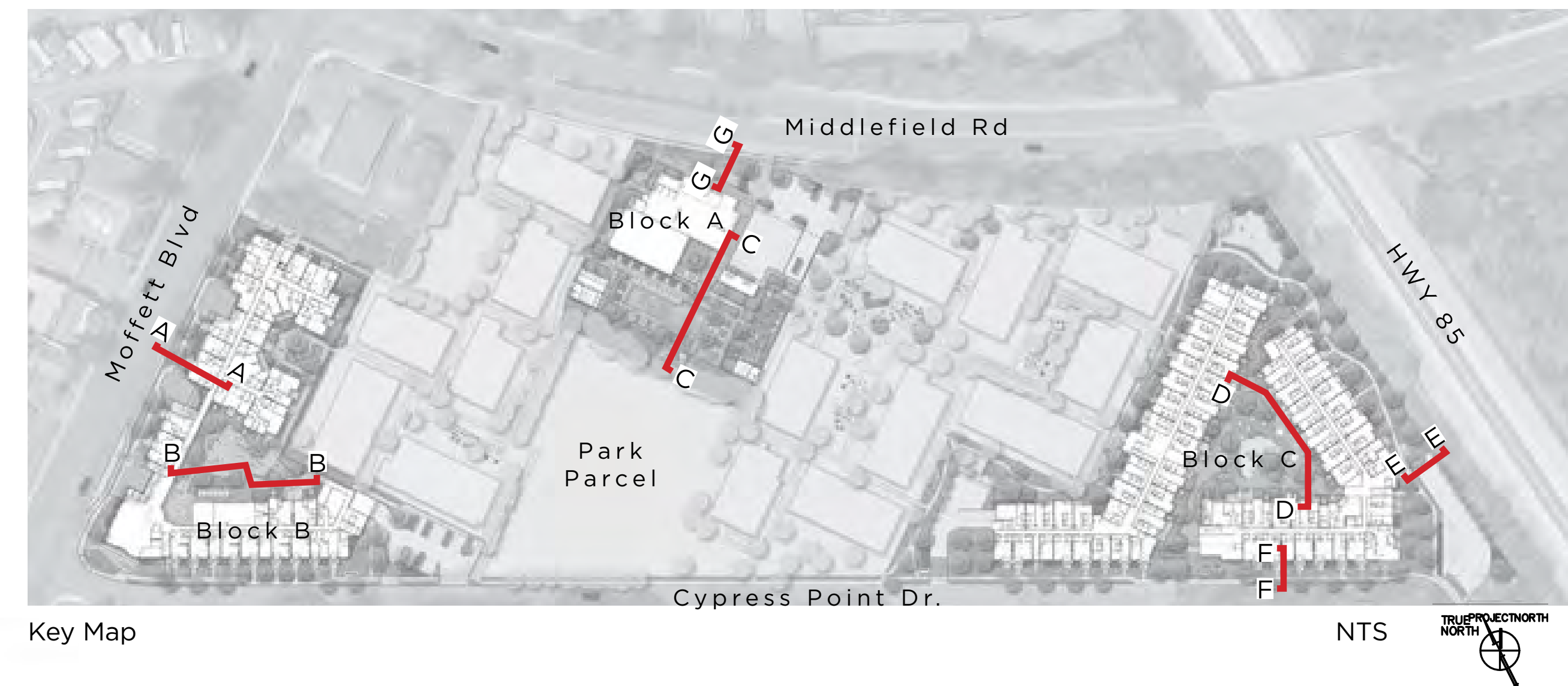
Section C-C @ AVA - Block A

Scale: 1'-0" = 3/16"



Section G-G @ AVA - Block A

Scale: 1'-0" = 3/16"

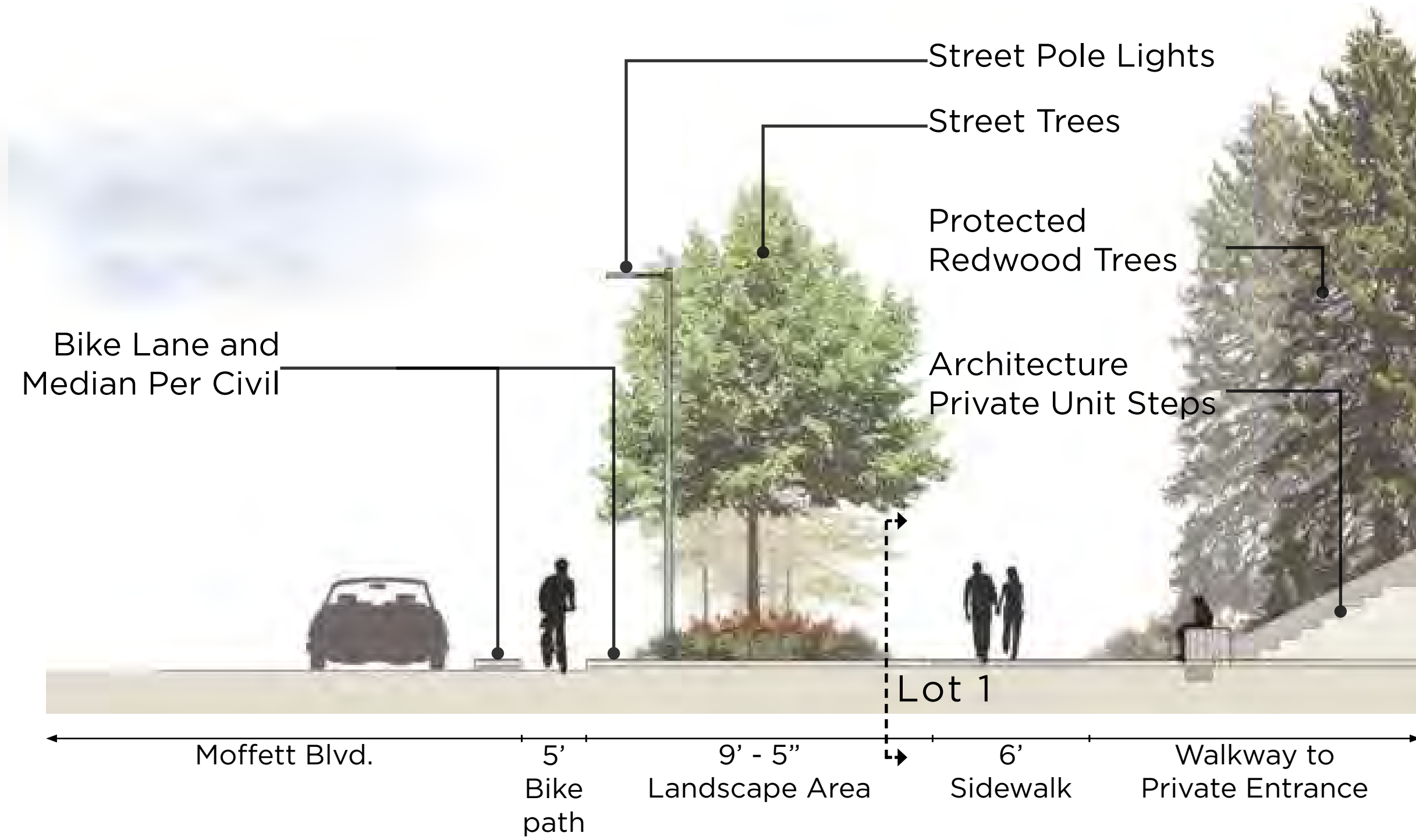


SITE SECTIONS



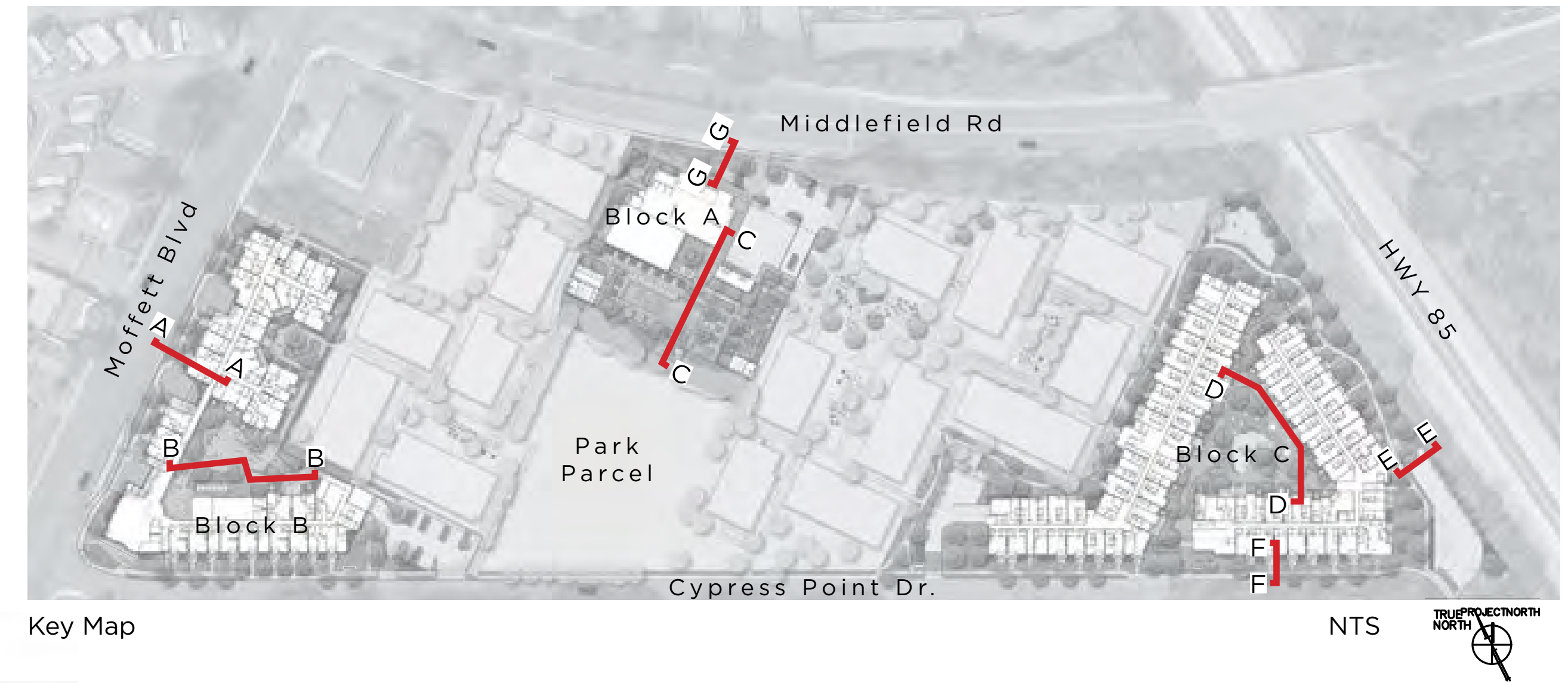
Section B-B @ SIGNATURE - Block B

Scale: 1'-0" = 3/16"



Section A-A @ Moffett - Block B

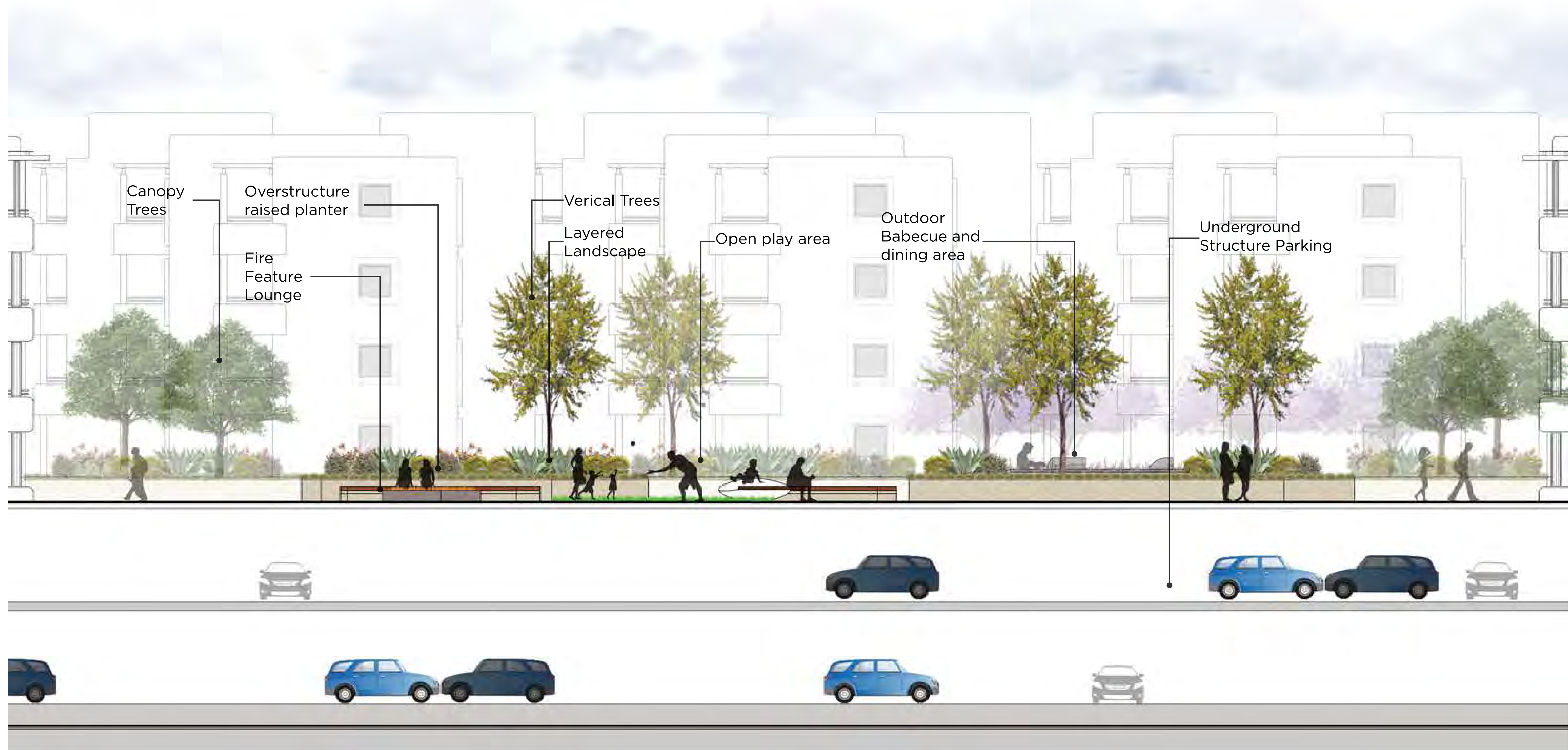
Scale: 1'-0" = 3/16"



Key Map

NTS TRUE NORTH

SITE SECTIONS



Canopy Trees

Overstructure raised planter

Fire Feature Lounge

Verical Trees

Layered Landscape

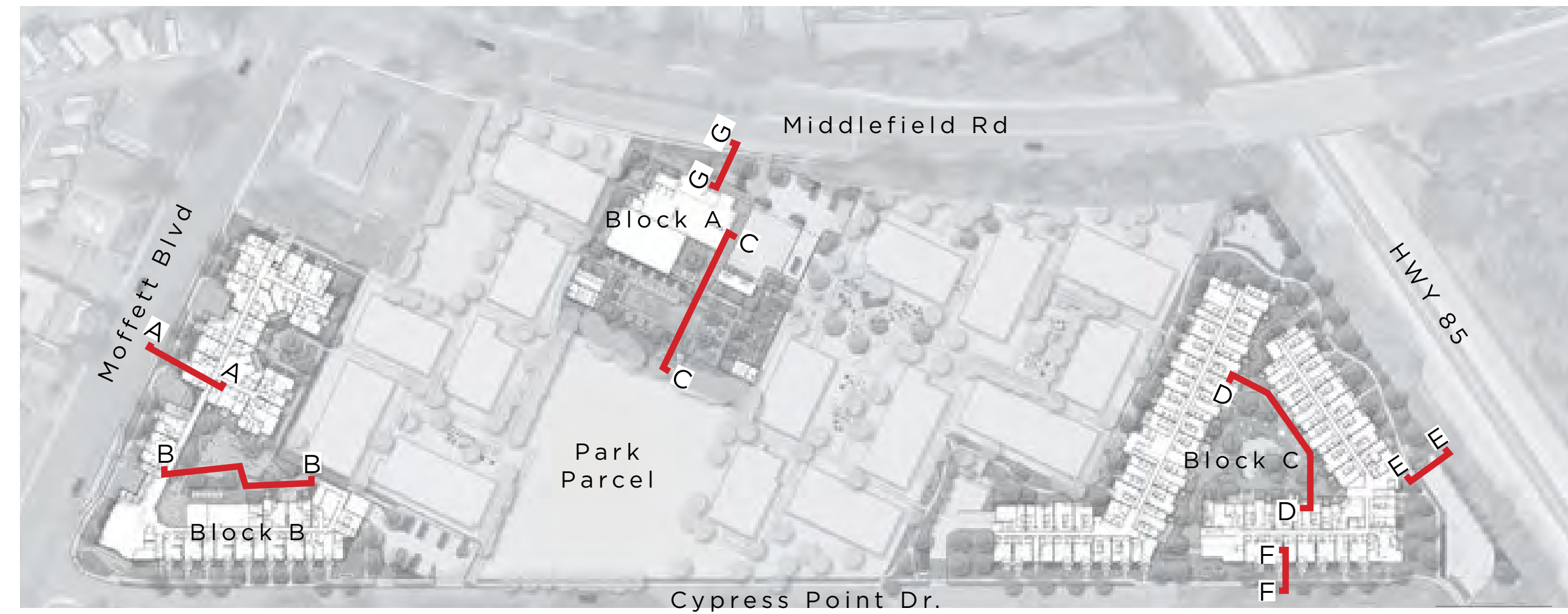
Open play area

Outdoor Babecue and dining area

Underground Structure Parking

Section D-D @ AVA- Block C

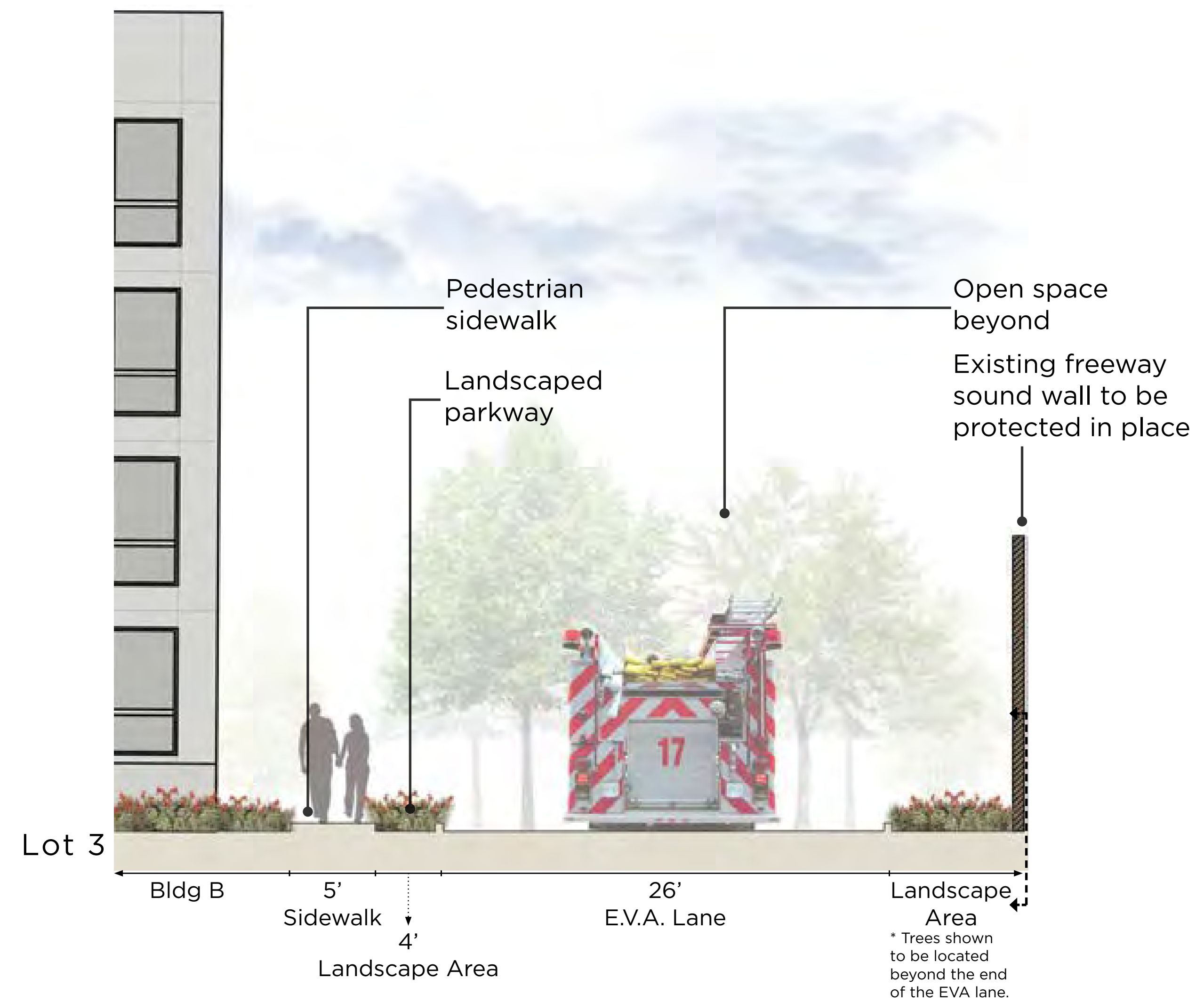
Scale: 1'-0" = 3/16"



Key Map

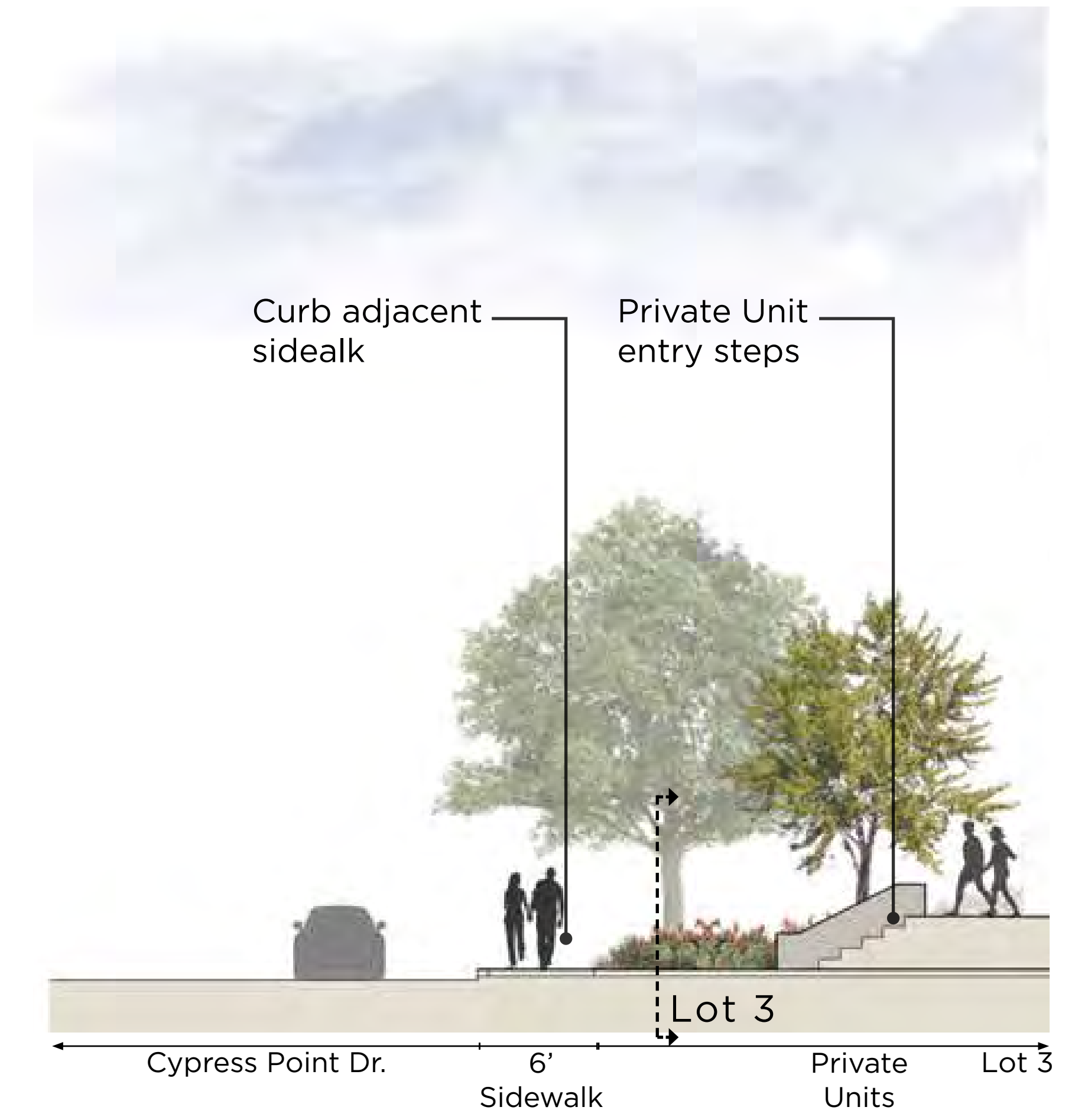
NTS

SITE SECTIONS



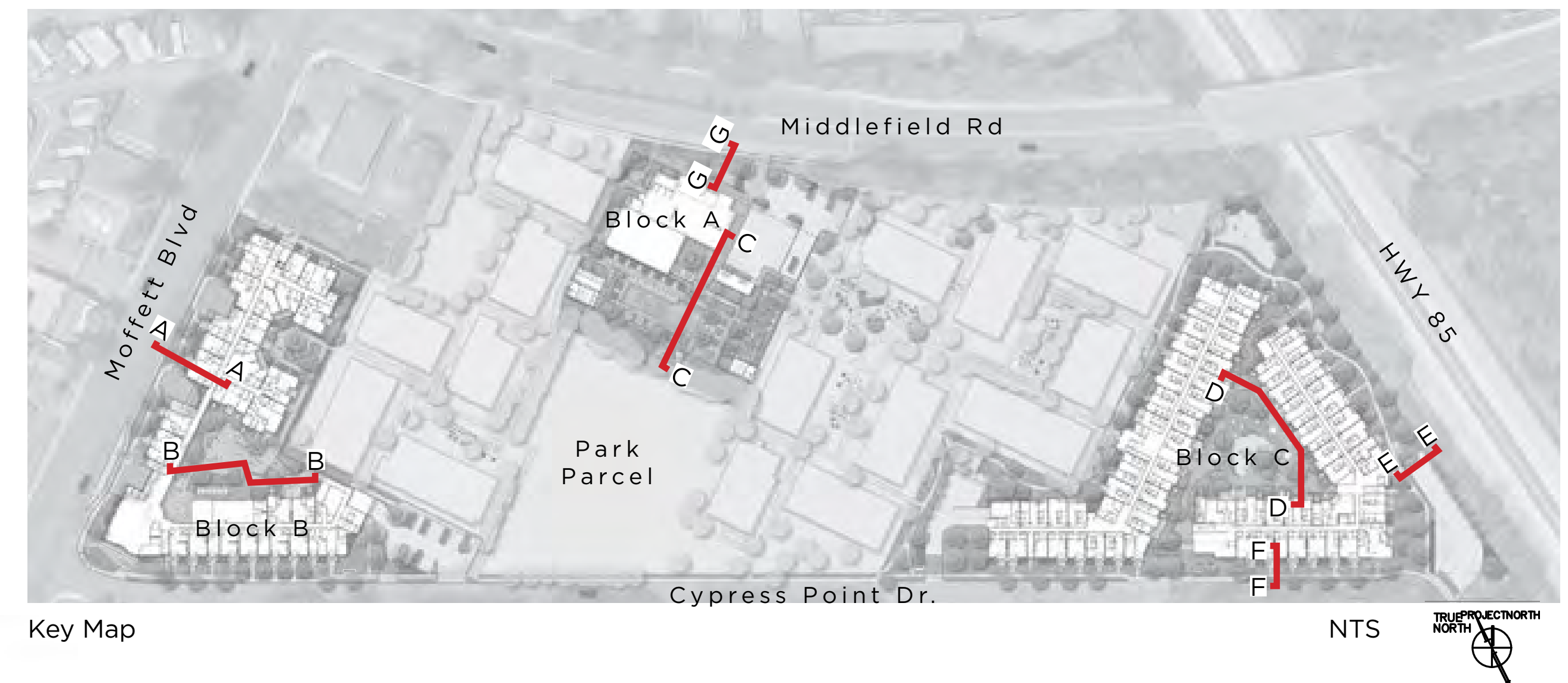
Section E-E @ E.V.A. - Block C

Scale: 1'-0" = 3/16"



Section F-F @ Cypress Point Dr. - Block C

Scale: 1'-0" = 3/16"



Key Map

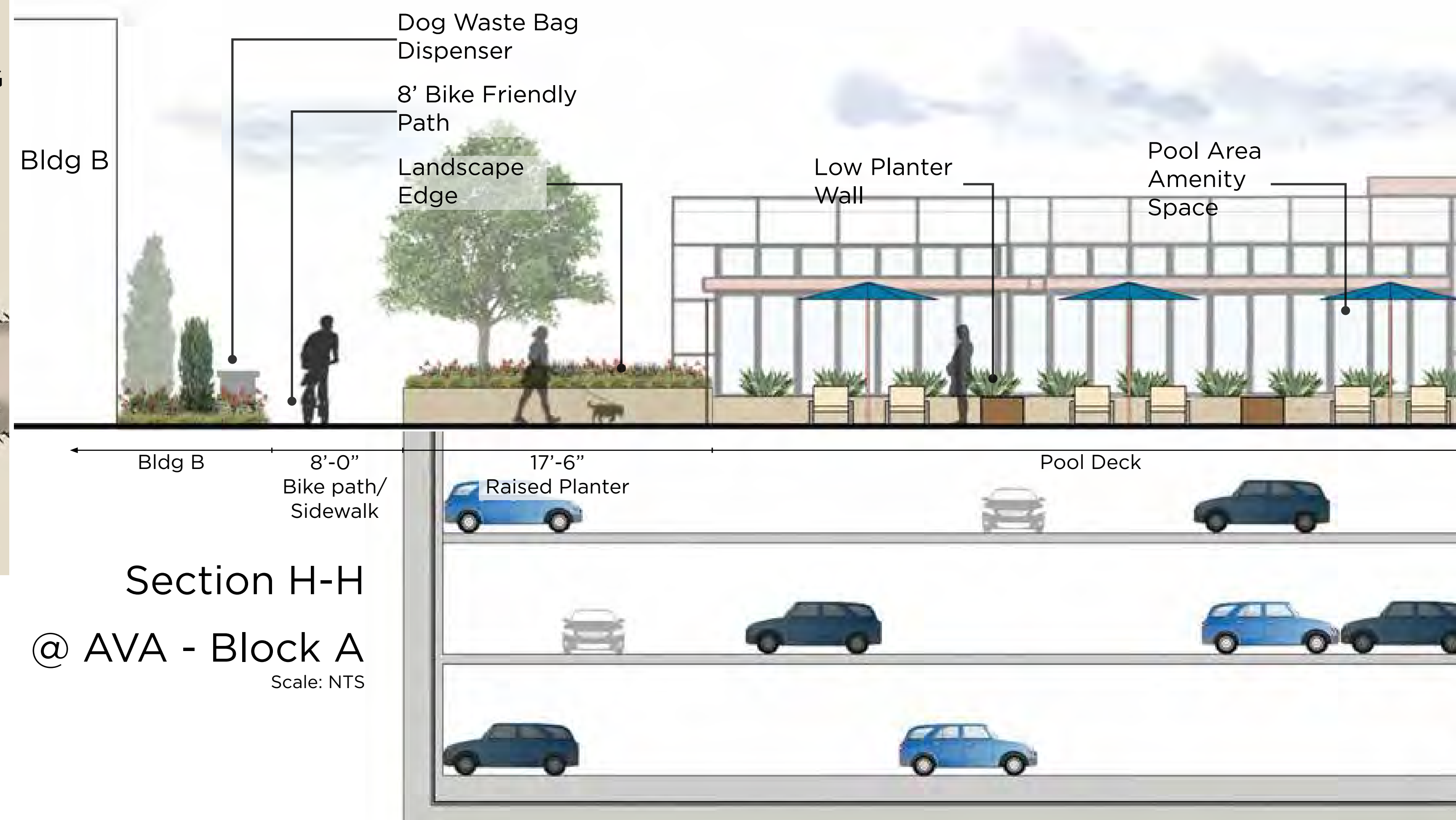
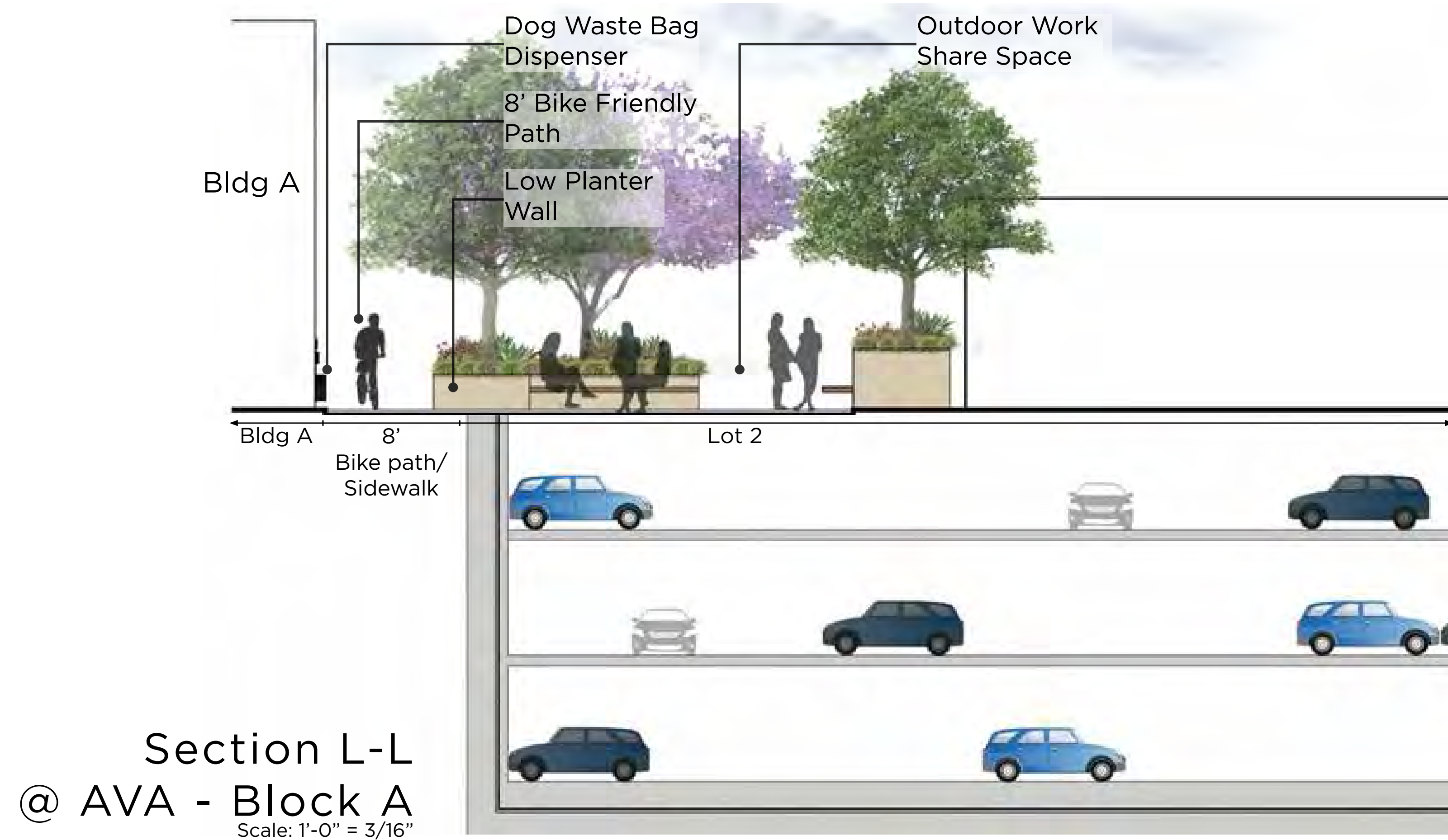
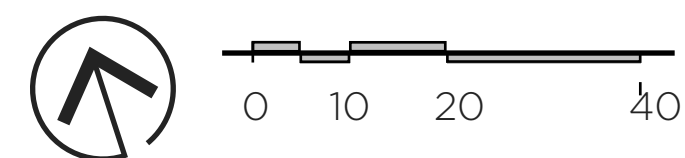
NTS

SITE SECTIONS

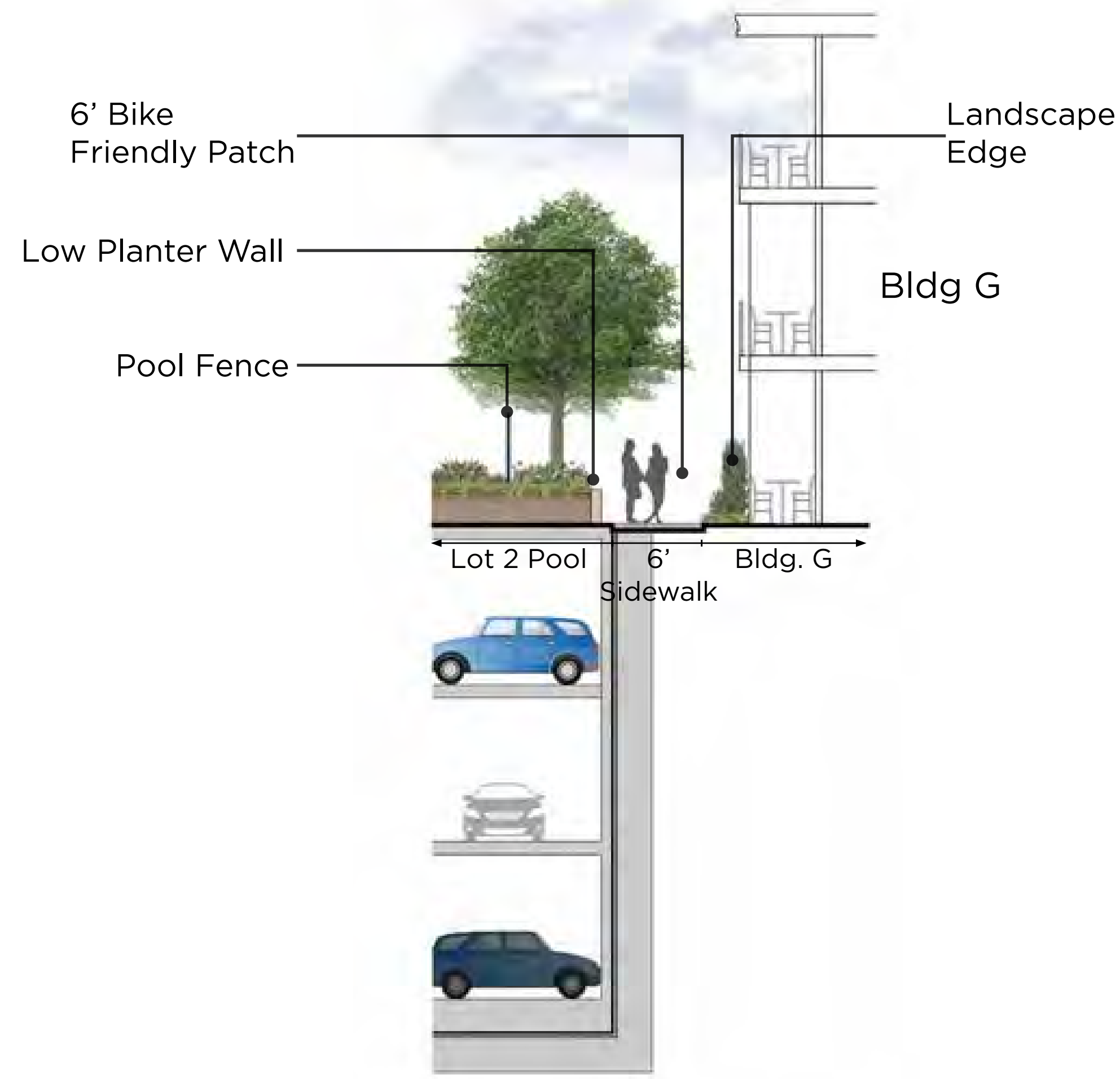


Landscape Elements

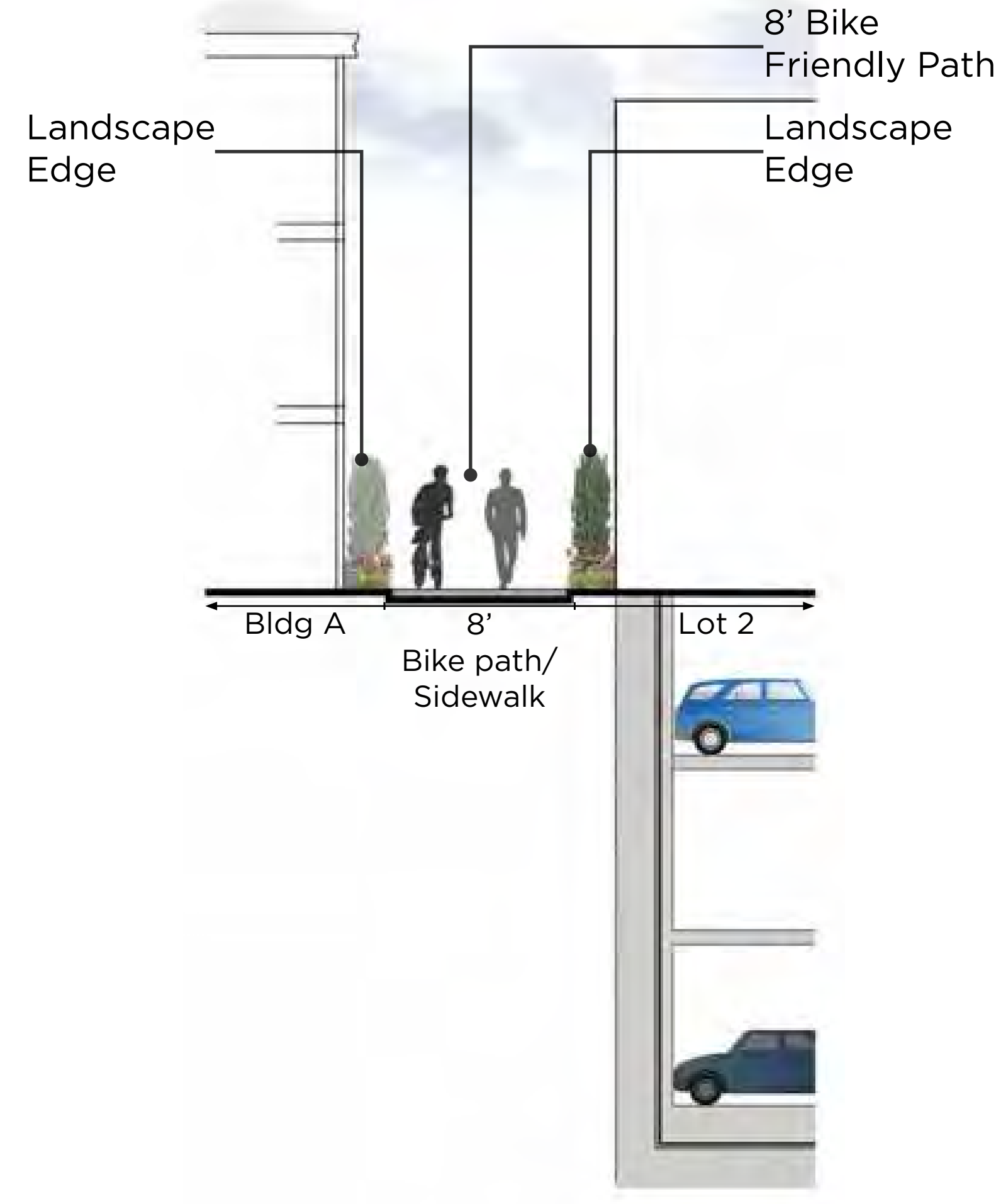
- | | |
|---|-----------------------------|
| 1. Trash / Recycle Receptacle | 7. Landscape Edge |
| 2. Dog Waste Bag Dispenser | 8. Low Planter Wall |
| 3. 8' Bike Friendly Path | 9. Outdoor Work Share Space |
| 4. 6' Bike Friendly Path | 10. Pool Area Amenity Space |
| 5. Wayfinding Sign | 11. Pool Fence |
| 6. Paseo Node / Recreation Center Entry | |



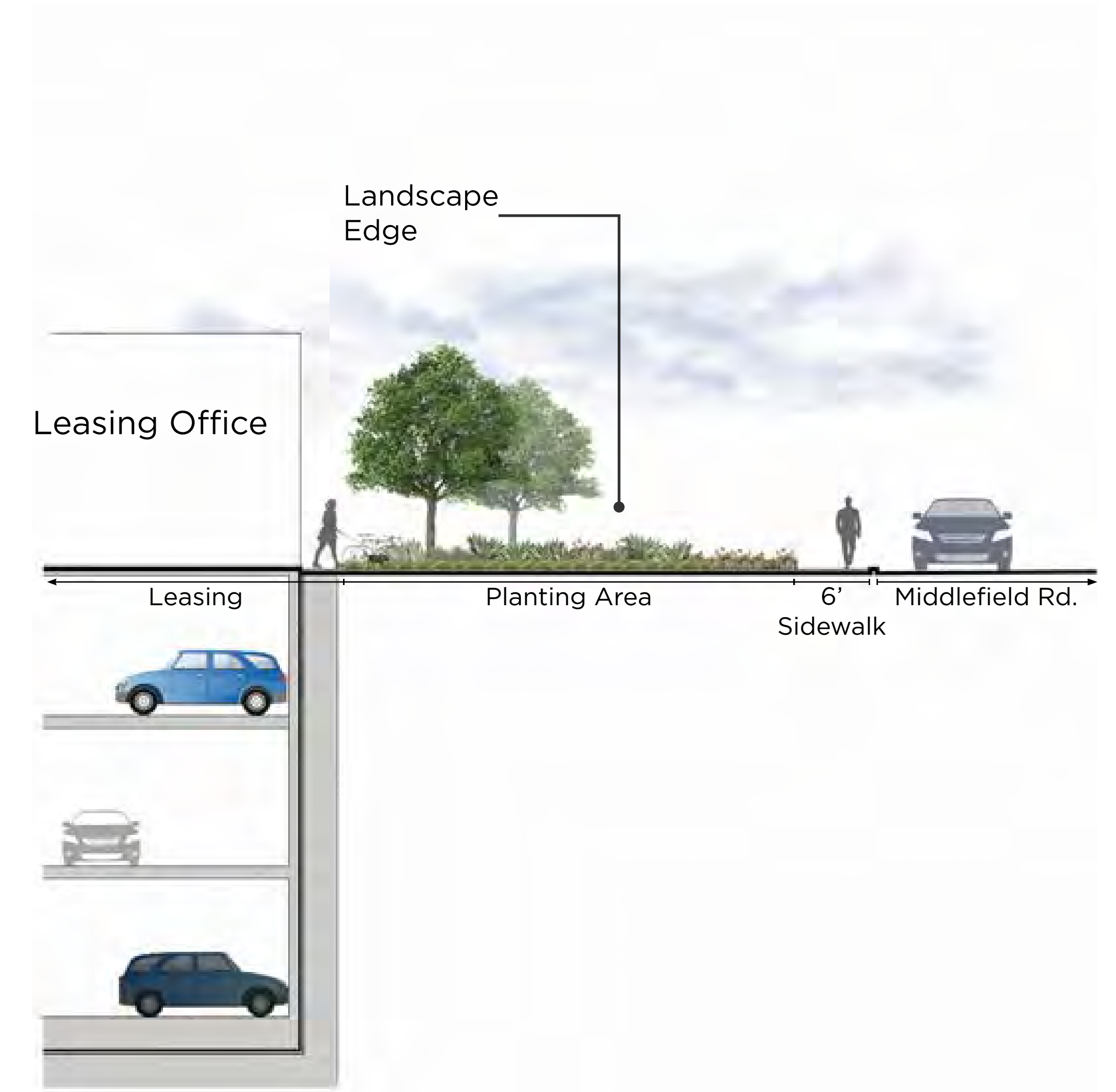
SITE SECTIONS



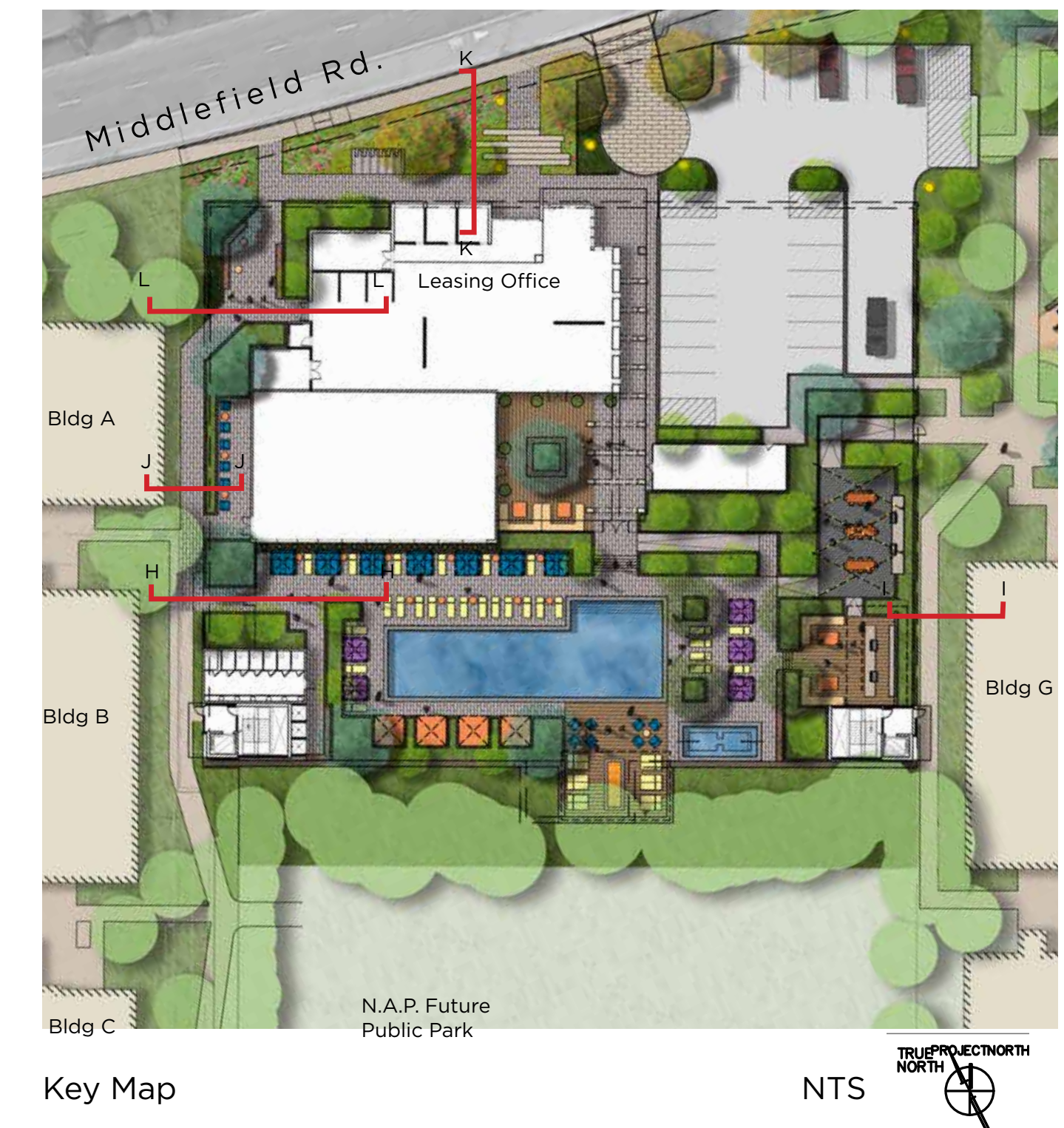
Section I-I @ AVA - Block A
Scale: 1'-0" = 3/16"



Section J-J @ AVA - Block A
Scale: 1'-0" = 3/16"



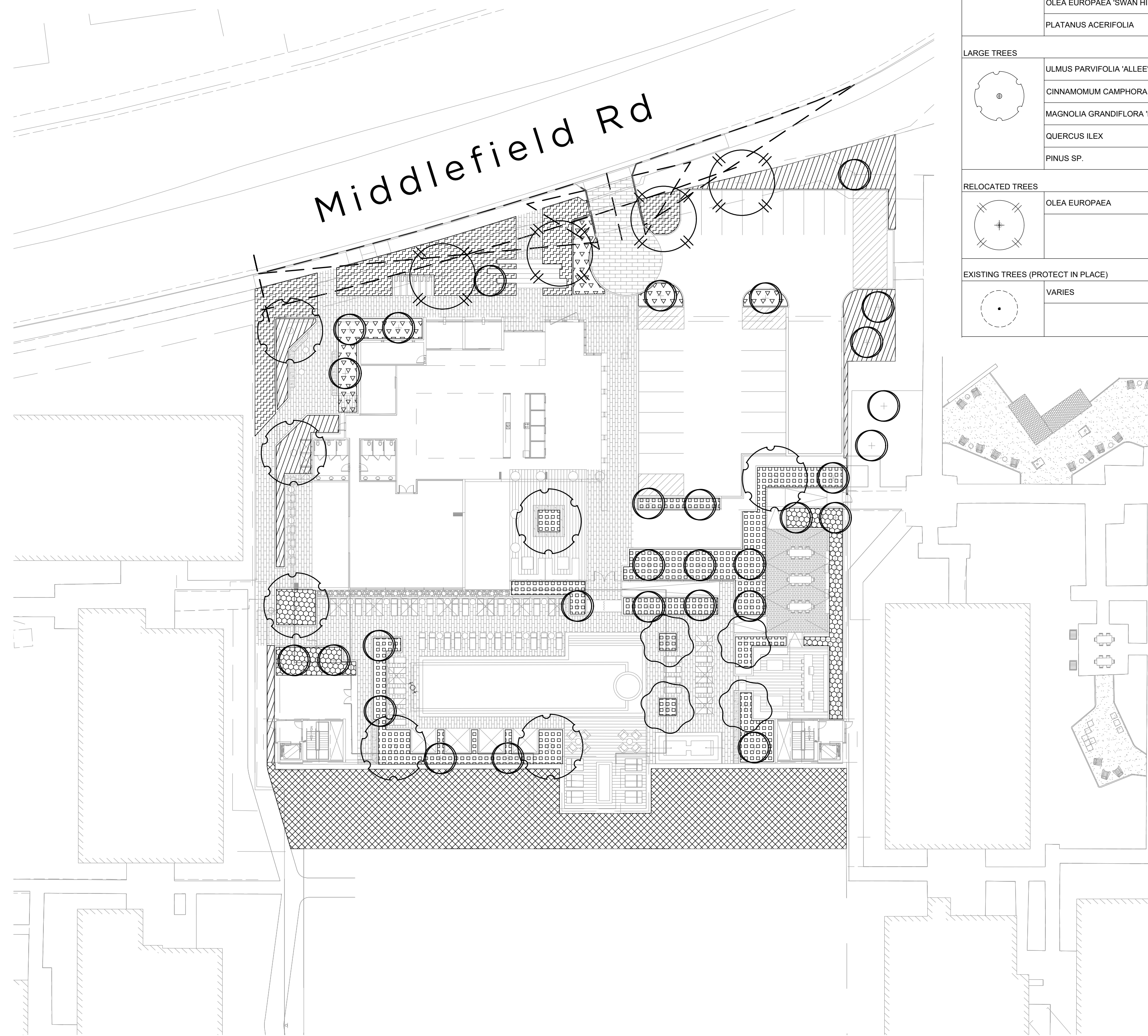
Section K-K @ AVA - Block A
Scale: 1'-0" = 3/16"



Key Map

NTS

SITE SECTIONS

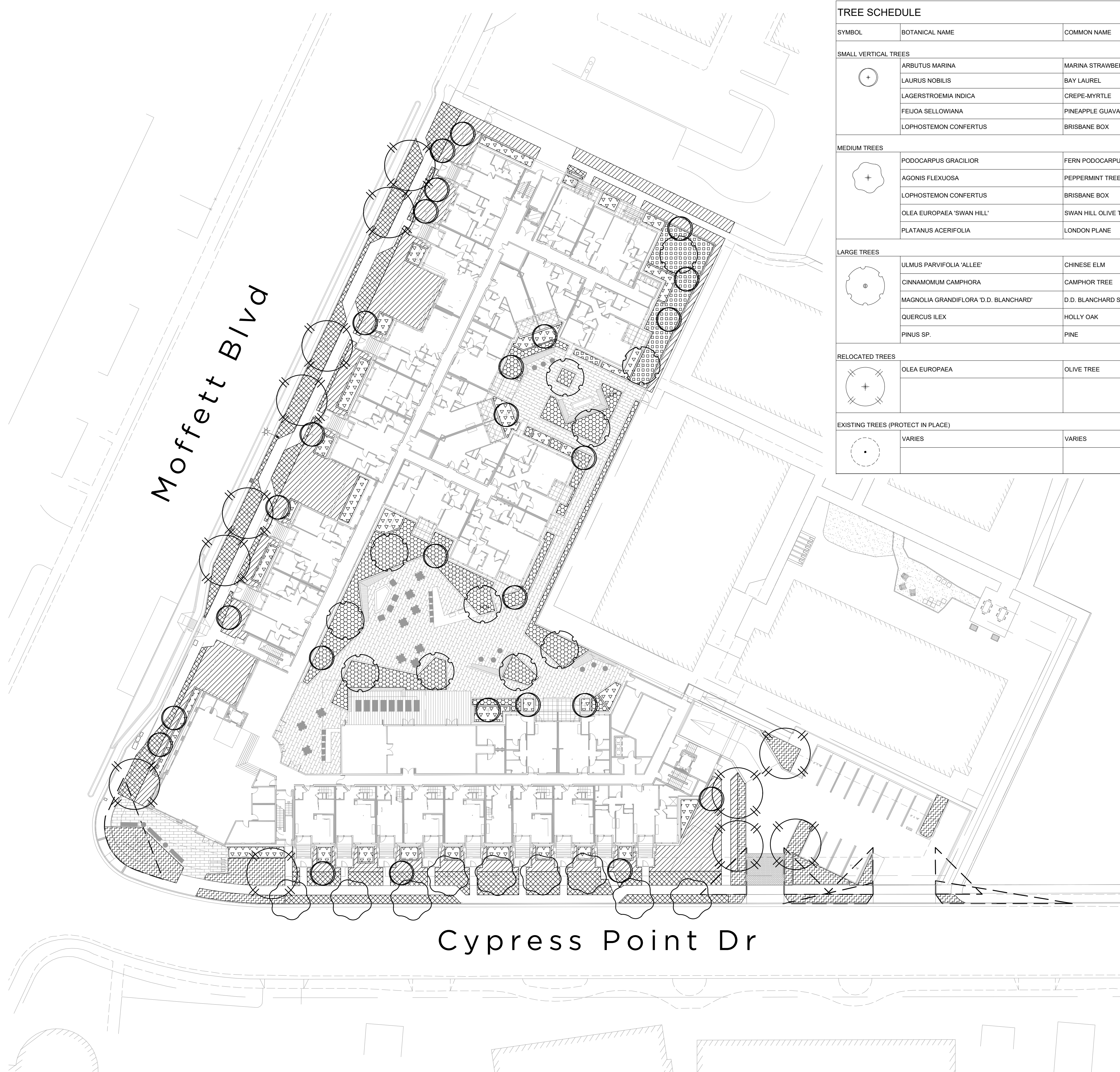


TREE SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	NOTES
SMALL VERTICAL TREES						
+	ARBUS UNEDO 'COMPACTA'	MARINA STRAWBERRY TREE	24" BOX MIN.	12" O.C.	L	
	DODONAEA VISCOSA	BAY LAUREL	24" BOX MIN.	12" O.C.	L	
	LAGERSTROEMIA INDICA	CREPE-MYRTLE	24" BOX MIN.	12" O.C.	L	
	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	24" BOX MIN.	12" O.C.	M	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX MIN.	12" O.C.	M	
MEDIUM TREES						
+	PODOCARPUS GRACILIOR	FERN PODOCARPUS	24" BOX MIN.	18" O.C.	M	
	AGONIS FLEXUOSA	PEPPERMINT TREE	24" BOX MIN.	18" O.C.	L	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX MIN.	18" O.C.	M	
	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	24" BOX MIN.	18" O.C.	VL	
	PLATANUS ACERIFOLIA	LONDON PLANE	24" BOX MIN.	18" O.C.	M	
LARGE TREES						
+	ULMUS PARVIFOLIA 'ALLEE'	CHINESE ELM	36" BOX MIN.	25" O.C.	L	
	CINNAMOMUM CAMPHORA	CAMPHOR TREE	36" BOX MIN.	25" O.C.	M	
	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	D.D. BLANCHARD SOUTHERN MAGNOLIA	36" BOX MIN.	25" O.C.	M	
	QUERCUS ILEX	HOLLY OAK	36" BOX MIN.	25" O.C.	L	
	PINUS SP.	PINE	36" BOX MIN.	25" O.C.	VARIES	
RELOCATED TREES						
+	OLEA EUROPAEA	OLIVE TREE	TRANSPLANTED	25" O.C.	VL	
EXISTING TREES (PROTECT IN PLACE)						
	VARIES	VARIES	N/A	N/A	N/A	

PLANT SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	NOTES
PERIMETER (LOW WATER USE) - HIGH SCREEN FOUNDATION SHRUBS						
▨	ARBUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL	48" O.C.	L	
	DODONAEA VISCOSA	HOPBUSH	5 GAL	12" O.C.	L	
	LEONOTIS LEONURUS	LION'S TAIL	5 GAL	48" O.C.	L	
	PITTOSPORUM TOBIRA 'VARIEGATA'	MOCK ORANGE	5 GAL	48" O.C.	L	
	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	5 GAL	48" O.C.	L	
PERIMETER (LOW WATER USE) - SUN OR SHADE PLANTING						
▩	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	48" O.C.	L	
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	24" O.C.	L	
	CARISSA SP.	NATAL PLUM	1 GAL	24" O.C.	L	
	EUONYMUS JAPONICUS	EVERGREEN EUONYMUS	5 GAL	36" O.C.	L	
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL	36" O.C.	L	
	LANTANA SP.	LANTANA	5 GAL	30" O.C.	L	
	LOROPETALUM CHINENSE 'RAZZLEBERRY'	FRINGE FLOWER	5 GAL	48" O.C.	L	
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	42" O.C.	L	
	RHAPHIOLEPIS INDICA 'CLARA'	CLARA INDIAN HAWTHORN	5 GAL	30" O.C.	L	
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL	30" O.C.	L	
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	42" O.C.	L	
COURTYARD (LOW WATER USE) - SHADE PLANTING						
▩	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	48" O.C.	L	
	BERBERIS AQUIFOLIUM VAR. REPENS	CREeping OREGON GRAPE	1 GAL	24" O.C.	L	
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	24" O.C.	L	
	LOROPETALUM CHINENSE 'RAZZLEBERRY'	FRINGE FLOWER	5 GAL	48" O.C.	L	
	PITTOSPORUM TOBIRA 'VARIEGATA'	MOCK ORANGE	5 GAL	48" O.C.	L	
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL	30" O.C.	L	
COURTYARD (LOW WATER USE) - SUN PLANTING						
▩	ANIGOZANTHOS SP.	KANGAROO PAWS	1 GAL	24" O.C.	L	
	ARBUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL	48" O.C.	L	
	CRASSULA OVATA	JADE PLANT	5 GAL	36" O.C.	L	
	DIETES GRANDIFLORA	FAIRY IRIS	1 GAL	24" O.C.	L	
	EUPHORBIA CHARACIAS 'WULFENII'	EVERGREEN SPURGE	5 GAL	24" O.C.	L	
	LANTANA SP.	LANTANA	5 GAL	30" O.C.	L	
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	42" O.C.	L	
	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	5 GAL	48" O.C.	L	
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	36" O.C.	L	
ACCENT (MEDIUM WATER USE) - SUN OR SHADE PLANTING						
▩	JUNCUS SP.	RUSH	1 GAL	24" O.C.	M	
	LIGUSTRUM JAPONICA 'TEXANUM'	JAPANESE PRIVET	5 GAL	36" O.C.	M	
	PITTOSPORUM SP.	MOCK ORANGE	5 GAL	36" O.C.	M	
	PRUNUS SP.	NCN	5 GAL	36" O.C.	M	
ACCENT (LOW WATER USE) - SUN OR SHADE PLANTING						
▩	ANIGOZANTHOS SP.	KANGAROO PAWS	1 GAL	24" O.C.	L	
	CHONDRPETALUM TECTORUM	CAPE REED	5 GAL	36" O.C.	L	
	CRASSULA OVATA	JADE PLANT	5 GAL	36" O.C.	L	
	DIETES GRANDIFLORA	FAIRY IRIS	1 GAL	24" O.C.	L	
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL	36" O.C.	L	
	GREVILLEA SP.	SPIDER FLOWER	5 GAL	36" O.C.	L	
	LANTANA SP.	LANTANA	5 GAL	30" O.C.	L	
	LEONOTIS LEONURUS	LION'S TAIL	5 GAL	48" O.C.	L	
	LEUCADENDRON SP.	CONEBUSH	5 GAL	48" O.C.	L	
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	PINK MUHLY GRASS	1 GAL	36" O.C.	L	
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	36" O.C.	L	

NOTE: The plants have been selected as a representative of the overall design intent. The plant material is for suggested use, but does not preclude use of other appropriate plant material and is subject to change.

BLOCK A - AVA PLANTING PLAN ENLARGEMENT



TREE SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	NOTES
SMALL VERTICAL TREES						
+	ARBUS UNEDO 'COMPACTA'	MARINA STRAWBERRY TREE	24" BOX MIN.	12" O.C.	L	
	LAURUS NOBILIS	BAY LAUREL	24" BOX MIN.	12" O.C.	L	
	LAGERSTROEMIA INDICA	CREPE-MYRTLE	24" BOX MIN.	12" O.C.	L	
	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	24" BOX MIN.	12" O.C.	M	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX MIN.	12" O.C.	M	
MEDIUM TREES						
+	PODOCARPUS GRACILIOR	FERN PODOCARPUS	24" BOX MIN.	18" O.C.	M	
	AGONIS FLEXUOSA	PEPPERMINT TREE	24" BOX MIN.	18" O.C.	L	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX MIN.	18" O.C.	M	
	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	24" BOX MIN.	18" O.C.	VL	
	PLATANUS ACERIFOLIA	LONDON PLANE	24" BOX MIN.	18" O.C.	M	
LARGE TREES						
+	ULMUS PARVIFOLIA 'ALLEE'	CHINESE ELM	36" BOX MIN.	25" O.C.	L	
	CINNAMOMUM CAMPHORA	CAMPHOR TREE	36" BOX MIN.	25" O.C.	M	
	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	D.D. BLANCHARD SOUTHERN MAGNOLIA	36" BOX MIN.	25" O.C.	M	
	QUERCUS ILEX	HOLLY OAK	36" BOX MIN.	25" O.C.	L	
	PINUS SP.	PINE	36" BOX MIN.	25" O.C.	VARIES	
RELOCATED TREES						
+	OLEA EUROPAEA	OLIVE TREE	TRANSPLANTED	25" O.C.	VL	
EXISTING TREES (PROTECT IN PLACE)						
+	VARIES	VARIES	N/A	N/A	N/A	

PLANT SCHEDULE							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	NOTES	
PERIMETER (LOW WATER USE) - HIGH SCREEN FOUNDATION SHRUBS							
[Hatched Box]	ARBUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL.	48" O.C.	L		
	DODONAEA VISCOSA	HOPBUSH	5 GAL.	12" O.C.	L		
	LEONOTIS LEONURUS	LION'S TAIL	5 GAL.	48" O.C.	L		
	PITTIOSPORUM TOBIRA 'VARIEGATA'	MOCK ORANGE	5 GAL.	48" O.C.	L		
	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	5 GAL.	48" O.C.	L		
PERIMETER (LOW WATER USE) - SUN OR SHADE PLANTING							
[Cross-hatched Box]	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL.	48" O.C.	L		
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL.	24" O.C.	L		
	CARISSA SP.	NATAL PLUM	1 GAL.	24" O.C.	L		
	EUONYMUS JAPONICUS	EVERGREEN EUONYMUS	5 GAL.	36" O.C.	L		
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL.	36" O.C.	L		
	LANTANA SP.	LANTANA	5 GAL.	30" O.C.	L		
	LOROPETALUM CHINENSE 'RAZZLEBERRI'	FRINGE FLOWER	5 GAL.	48" O.C.	L		
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL.	42" O.C.	L		
	RHAPHIOLEPIS INDICA 'CLARA'	CLARA INDIAN HAWTHORN	5 GAL.	30" O.C.	L		
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL.	30" O.C.	L		
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL.	42" O.C.	L		
	COURTYARD (LOW WATER USE) - SHADE PLANTING						
	[Circular Pattern]	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL.	48" O.C.	L	
BERBERIS AQUIFOLIUM VAR. REPENS		CREeping OREGON GRAPE	1 GAL.	24" O.C.	L		
CAREX DIVULSA		BERKELEY SEDGE	1 GAL.	24" O.C.	L		
LOROPETALUM CHINENSE 'RAZZLEBERRI'		FRINGE FLOWER	5 GAL.	48" O.C.	L		
PITTIOSPORUM TOBIRA 'VARIEGATA'		MOCK ORANGE	5 GAL.	48" O.C.	L		
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL.	30" O.C.	L		
COURTYARD (LOW WATER USE) - SUN PLANTING							
[Grid Pattern]	ANIGOZANTHOS SP.	KANGAROO PAWS	1 GAL.	24" O.C.	L		
	ARBUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL.	48" O.C.	L		
	CRASSULA OVATA	JADE PLANT	5 GAL.	36" O.C.	L		
	DIETES GRANDIFLORA	FAIRY IRIS	1 GAL.	24" O.C.	L		
	EUPHORBIA CHARACIAS 'WULFENII'	EVERGREEN SPURGE	5 GAL.	24" O.C.	L		
	LANTANA SP.	LANTANA	5 GAL.	30" O.C.	L		
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL.	42" O.C.	L		
	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	5 GAL.	48" O.C.	L		
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL.	36" O.C.	L		
	ACCENT (MEDIUM WATER USE) - SUN OR SHADE PLANTING						
[Triangle Pattern]	JUNCUS SP.	RUSH	1 GAL.	24" O.C.	M		
	LIGUSTRUM JAPONICA 'TEXANUM'	JAPANESE PRIVET	5 GAL.	36" O.C.	M		
	PITTIOSPORUM SP.	MOCK ORANGE	5 GAL.	36" O.C.	M		
	PRUNUS SP.	NCN	5 GAL.	36" O.C.	M		
ACCENT (LOW WATER USE) - SUN OR SHADE PLANTING							
[Dotted Pattern]	ANIGOZANTHOS SP.	KANGAROO PAWS	1 GAL.	24" O.C.	L		
	CHONDRPETALUM TECTORUM	CAPE REED	5 GAL.	36" O.C.	L		
	CRASSULA OVATA	JADE PLANT	5 GAL.	36" O.C.	L		
	DIETES GRANDIFLORA	FAIRY IRIS	1 GAL.	24" O.C.	L		
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL.	36" O.C.	L		
	GREVILLEA SP.	SPIDER FLOWER	5 GAL.	36" O.C.	L		
	LANTANA SP.	LANTANA	5 GAL.	30" O.C.	L		
	LEONOTIS LEONURUS	LION'S TAIL	5 GAL.	48" O.C.	L		
	LEUCADENDRON SP.	CONEBUSH	5 GAL.	48" O.C.	L		
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	PINK MUHLY GRASS	1 GAL.	36" O.C.	L		
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL.	36" O.C.	L		

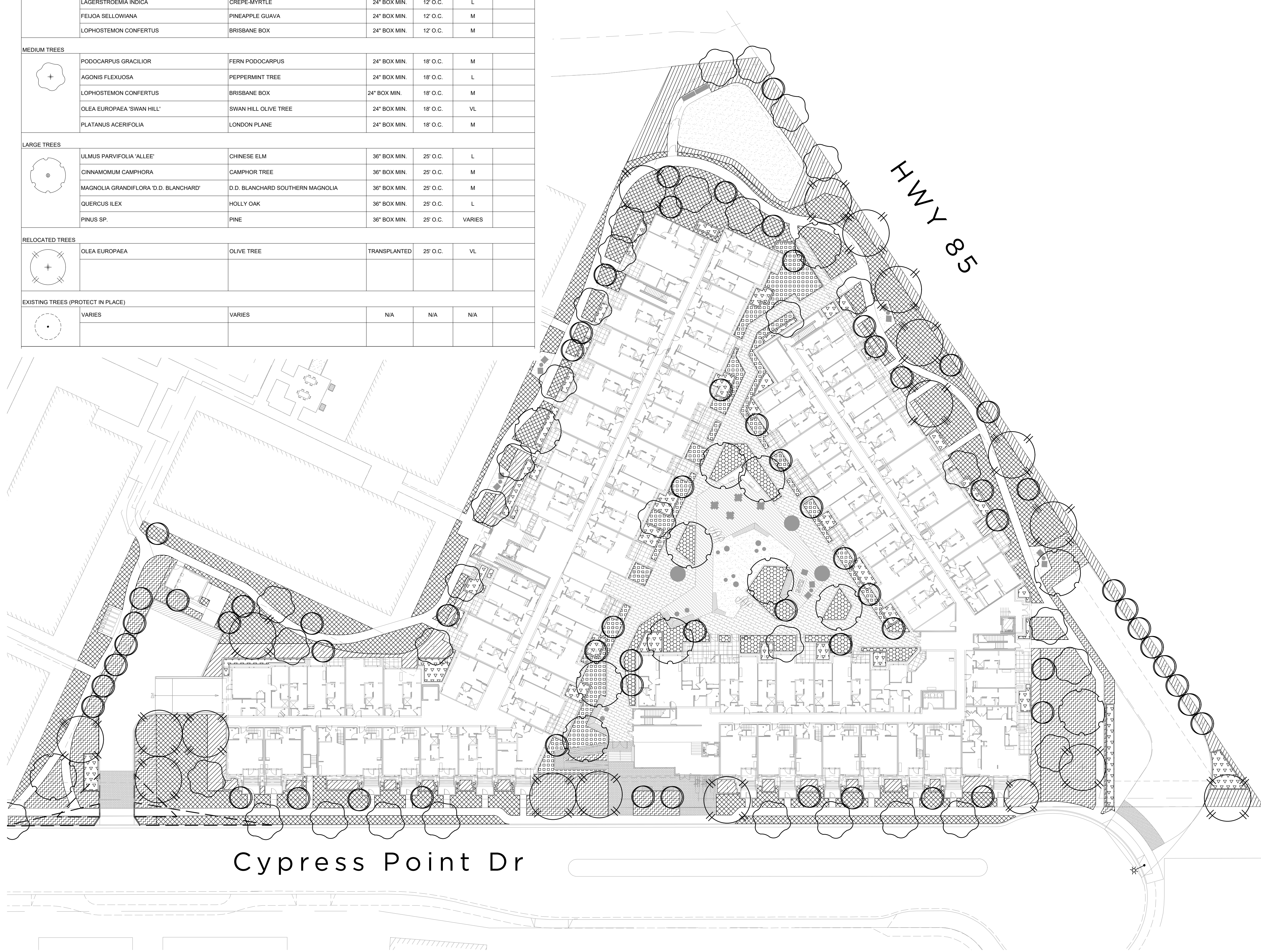
NOTE: The plants have been selected as a representative of the overall design intent. The plant material is for suggested use, but does not preclude use of other appropriate plant material and is subject to change.

BLOCK B - SIGNATURE PLANTING PLAN ENLARGEMENT

TREE SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	NOTES
SMALL VERTICAL TREES						
+	ARBUS UNEDO 'COMPACTA'	MARINA STRAWBERRY TREE	24" BOX MIN.	12" O.C.	L	
	LAURUS NOBILIS	BAY LAUREL	24" BOX MIN.	12" O.C.	L	
	LAGERSTROEMIA INDICA	CREPE-MYRTLE	24" BOX MIN.	12" O.C.	L	
	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	24" BOX MIN.	12" O.C.	M	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX MIN.	12" O.C.	M	
MEDIUM TREES						
+	PODOCARPUS GRACILIOR	FERN PODOCARPUS	24" BOX MIN.	18" O.C.	M	
	AGONIS FLEXUOSA	PEPPERMINT TREE	24" BOX MIN.	18" O.C.	L	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX MIN.	18" O.C.	M	
	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	24" BOX MIN.	18" O.C.	VL	
	PLATANUS ACERIFOLIA	LONDON PLANE	24" BOX MIN.	18" O.C.	M	
LARGE TREES						
+	ULMUS PARVIFOLIA 'ALLEE'	CHINESE ELM	36" BOX MIN.	25" O.C.	L	
	CINNAMOMUM CAMPHORA	CAMPHOR TREE	36" BOX MIN.	25" O.C.	M	
	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	D.D. BLANCHARD SOUTHERN MAGNOLIA	36" BOX MIN.	25" O.C.	M	
	QUERCUS ILEX	HOLLY OAK	36" BOX MIN.	25" O.C.	L	
	PINUS SP.	PINE	36" BOX MIN.	25" O.C.	VARIES	
RELOCATED TREES						
+	OLEA EUROPAEA	OLIVE TREE	TRANSPLANTED	25" O.C.	VL	
EXISTING TREES (PROTECT IN PLACE)						
+	VARIES	VARIES	N/A	N/A	N/A	

PLANT SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	NOTES
PERIMETER (LOW WATER USE) - HIGH SCREEN FOUNDATION SHRUBS						
/	ARBUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL	48" O.C.	L	
	DODONAEA VISCOSA	HOPBUSH	5 GAL	12" O.C.	L	
	LEONOTIS LEONURUS	LION'S TAIL	5 GAL	48" O.C.	L	
	PITTIOSPORUM TOBIRA 'VARIAGATA'	MOCK ORANGE	5 GAL	48" O.C.	L	
	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	5 GAL	48" O.C.	L	
PERIMETER (LOW WATER USE) - SUN OR SHADE PLANTING						
X	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	48" O.C.	L	
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	24" O.C.	L	
	CARISSA SP.	NATAL PLUM	1 GAL	24" O.C.	L	
	EUONYMUS JAPONICUS	EVERGREEN EUONYMUS	5 GAL	36" O.C.	L	
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL	36" O.C.	L	
	LANTANA SP.	LANTANA	5 GAL	30" O.C.	L	
	LOROPETALUM CHINENSE 'RAZZLEBERRY'	FRINGE FLOWER	5 GAL	48" O.C.	L	
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	42" O.C.	L	
	RHAPHIOLEPIS INDICA 'CLARA'	CLARA INDIAN HAWTHORN	5 GAL	30" O.C.	L	
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL	30" O.C.	L	
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	42" O.C.	L	
	COURTYARD (LOW WATER USE) - SHADE PLANTING					
X	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	48" O.C.	L	
	BERBERIS AQUIFOLIUM VAR. REPENS	CREeping OREGON GRAPE	1 GAL	24" O.C.	L	
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	24" O.C.	L	
	LOROPETALUM CHINENSE 'RAZZLEBERRY'	FRINGE FLOWER	5 GAL	48" O.C.	L	
	PITTIOSPORUM TOBIRA 'VARIAGATA'	MOCK ORANGE	5 GAL	48" O.C.	L	
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL	30" O.C.	L	
COURTYARD (LOW WATER USE) - SUN PLANTING						
X	ANIGOZANTHOS SP.	KANGAROO PAWS	1 GAL	24" O.C.	L	
	ARBUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL	48" O.C.	L	
	CRASSULA OVATA	JADE PLANT	5 GAL	36" O.C.	L	
	DIETES GRANDIFLORA	FAIRY IRIS	1 GAL	24" O.C.	L	
	EUPHORBIA CHARACIAS 'WULFENII'	EVERGREEN SPURGE	5 GAL	24" O.C.	L	
	LANTANA SP.	LANTANA	5 GAL	30" O.C.	L	
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	42" O.C.	L	
	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	5 GAL	48" O.C.	L	
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	36" O.C.	L	
	ACCENT (MEDIUM WATER USE) - SUN OR SHADE PLANTING					
X	JUNCUS SP.	RUSH	1 GAL	24" O.C.	M	
	LIGUSTRUM JAPONICA 'TEXANUM'	JAPANESE PRIVET	5 GAL	36" O.C.	M	
	PITTIOSPORUM SP.	MOCK ORANGE	5 GAL	36" O.C.	M	
	PRUNUS SP.	NCN	5 GAL	36" O.C.	M	
ACCENT (LOW WATER USE) - SUN OR SHADE PLANTING						
X	ANIGOZANTHOS SP.	KANGAROO PAWS	1 GAL	24" O.C.	L	
	CHONDRPETALUM TECTORUM	CAPE REED	5 GAL	36" O.C.	L	
	CRASSULA OVATA	JADE PLANT	5 GAL	36" O.C.	L	
	DIETES GRANDIFLORA	FAIRY IRIS	1 GAL	24" O.C.	L	
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL	36" O.C.	L	
	GREVILLEA SP.	SPIDER FLOWER	5 GAL	36" O.C.	L	
	LANTANA SP.	LANTANA	5 GAL	30" O.C.	L	
	LEONOTIS LEONURUS	LION'S TAIL	5 GAL	48" O.C.	L	
	LEUCADENDRON SP.	CONEBUSH	5 GAL	48" O.C.	L	
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	PINK MUHLY GRASS	1 GAL	36" O.C.	L	
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL	36" O.C.	L	

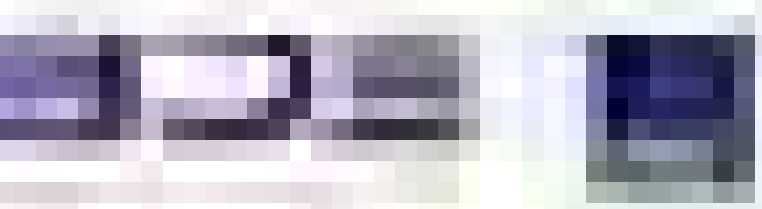
NOTE: The plants have been selected as a representative of the overall design intent. The plant material is for suggested use, but does not preclude use of other appropriate plant material and is subject to change.



Cypress Point Dr

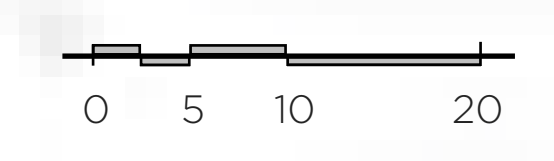
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BLOCK C - AVA PLANTING PLAN ENLARGEMENT



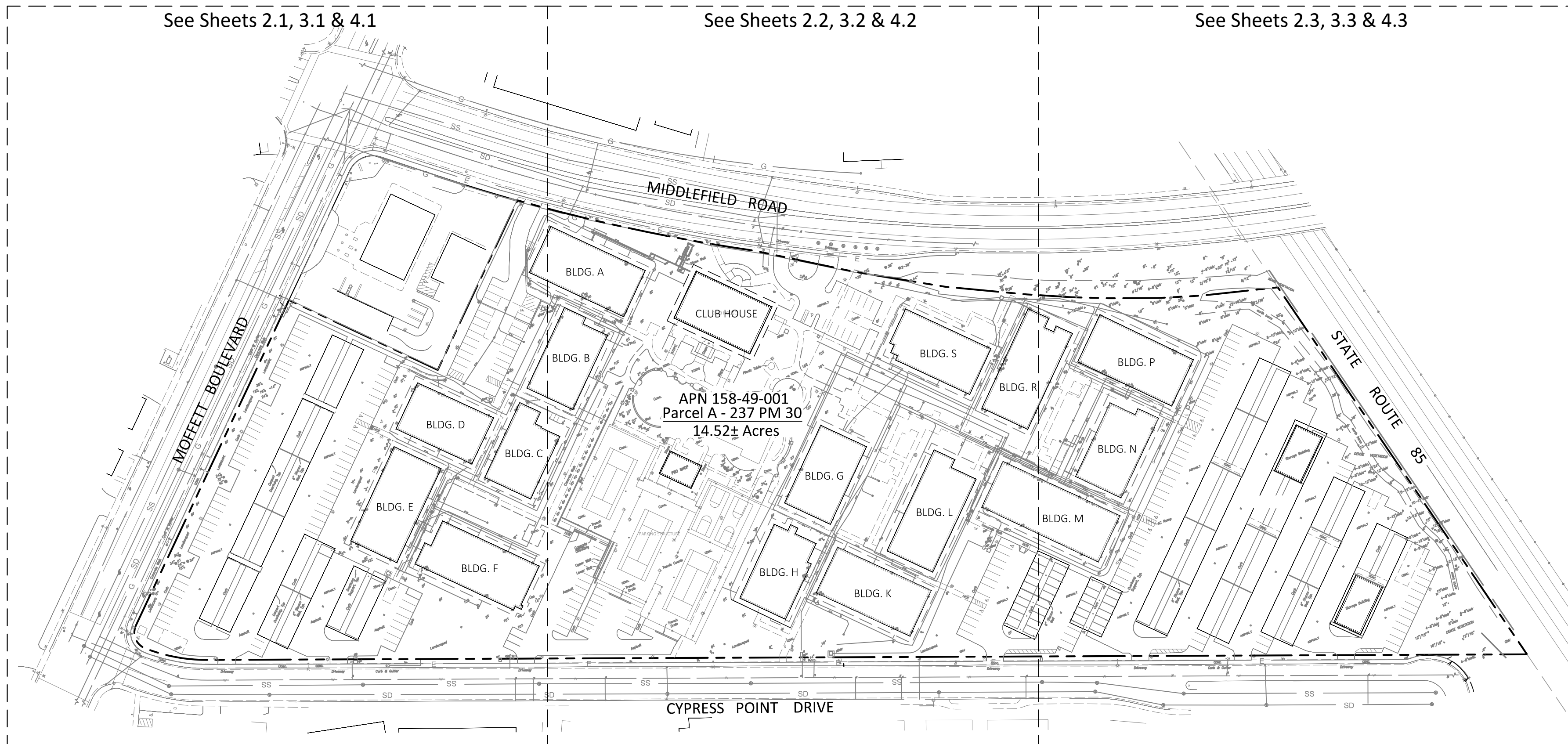
LANGAN

BrightView
Design Group



07.31.2020

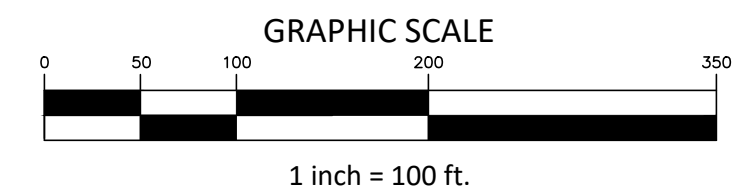
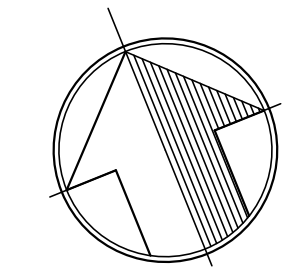
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See Sheets 2.1, 3.1 & 4.1

See Sheets 2.2, 3.2 & 4.2

See Sheets 2.3, 3.3 & 4.3



LEGEND

	Building
	Concrete
	Curb & Gutter
	Fenceline
	Wall
	Air Release Valve
	Cable T.V. Box
	Catch Basin
	Communications Pedestal
	Communications Vault
	Drain Inlet
	Detector
	Detector Check Valve
	Electrical Outlet
	Electrical Utility Box
	Electrical Vault
	Electrolier/Street Light
	Fire Department Connection
	Fire Hydrant
	Gas Meter
	Irrigation
	Mail Box
	Rain Water Leader
	Sanitary Sewer Cleanout
	Sanitary Sewer Manhole
	Sign
	Spot Elevation
	Storm Drain Utility Manhole
	Street Light Box
	Traffic Signal Pole (No Arm)
	Traffic Signal Pole w/Electrolier
	Traffic Signal Box
	Transformer
	Utility Box - Type Unknown
	Utility Conduit - Type Unknown
	Utility Pedestal - Type Unknown
	Utility Pole
	Utility Vault - Type Unknown
	Water Meter
	Water Valve
	Water Vault

PROJECT DATA

OWNER/SUBDIVIDER:
Avalon Bay Communities
305 Olin Avenue, Suite 2100
San Jose, CA 95128
Contact: Katherine Qiu
Tel. 408.551.5513

SURVEYOR/MAP PREPARER:
Mountain Pacific Surveys
1735 Enterprise Drive, #109
Fairfield, CA 94533
Contact: Charles Weakley
Tel. 707.425.6234

ENGINEERING/GRADING/UTILITY DESIGN:
Langan
1 Almaden Boulevard, Suite 590
San Jose, CA 95113
Contact: Dustin Shitanishi
Tel. 408.283.3642

ASSESSOR'S PARCEL NUMBER: 158-49-001
ZONING DESIGNATION: P - Planned Community

TOTAL SITE AREA: 14.52± Acres

EXISTING USE: Multi-Family Residential/Apartments

PROPOSED USE: 1) Mix of existing and new/proposed Multi-Family Residential Apartments on a single parcel plus new/proposed medium density (111 total units) Condominium Units constructed on a separate parcel.
2) 1.34± acre parcel to be dedicated to City of Mountain View for public park purposes. See General Note 1.

PROJECT DATA (cont.)

EXISTING AND PROPOSED UTILITIES:
Water/Sewer/Storm Drain: City of Mountain View
Trash & Recycling: City of Mountain View/Recology Mountain View
Gas & Electric: Pacific Gas & Electric Co.
Cable/Phone/Internet: AT&T and Comcast

FLOOD ZONE DESIGNATION:
Zone X (shaded), areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 sq. mile; and areas protected by levees from 1% annual chance flood.

GENERAL NOTES

- 1) This Vesting Tentative Map is for new condominium purposes with regard to proposed Lot 1 containing 111 proposed condominium units. Lot 2 is intended to remain as a conventional fee ownership parcel and maintain all of the existing 402 rental apartment units, the construction of 218 new rental apartment units, plus undergo substantial improvement in the form of a new parking structure, community building, and tenant amenities available to all project residents. Lot 3 is proposed for dedication to the City of Mountain View for public park purposes.
- 2) This Vesting Tentative Map is being processed concurrently with a Development Application for the Avalon Middlefield project. Refer to the concurrent application materials for additional information and specifics regarding proposed improvements associated with this subdivision.
- 3) All existing apartment buildings/dwelling units are to remain. Demolition consists only of surface improvements such as parking, hardscape, landscape, and utilities sufficient for the construction of the new multi-family dwelling units proposed.

GENERAL NOTES (cont.)

- 4) An Arborist Report depicting the disposition of all trees (both heritage and non-heritage) within the subject property was prepared and is included as a separate attachment to this Vesting Tentative Map.
- 5) Pursuant to Government Code Title 7, Division 2, Chapter 3, Article 4, Section 66456.1 of the Subdivision Map Act, the Owner/Subdivider reserves the right to file multiple phased Final Maps in substantial conformance with this Vesting Tentative Map and the Conditions of Approval issued by the City for the project.

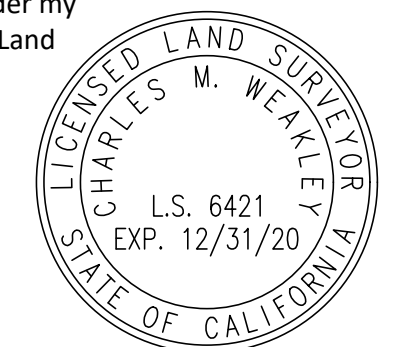
PROJECT DATUMS

Horizontal Datum is based upon the monumented centerline of Moffett Boulevard per Book 237 of Maps, Page 30, SCCR. Vertical Datum is based upon City of Mountain View Benchmark III-59, a disc set in the southeast curb return of Moffett Boulevard and Cypress Point Drive. Elevation taken as 58.32, NAVD 88.

SURVEYOR'S STATEMENT

This Preliminary Parcel Map was prepared by me or under my direction in conformance with the requirements of the Land Surveyor's Act and the Subdivision Map Act.

Charles M. Weakley, LS Exp. 12/31/20



SHEET INDEX

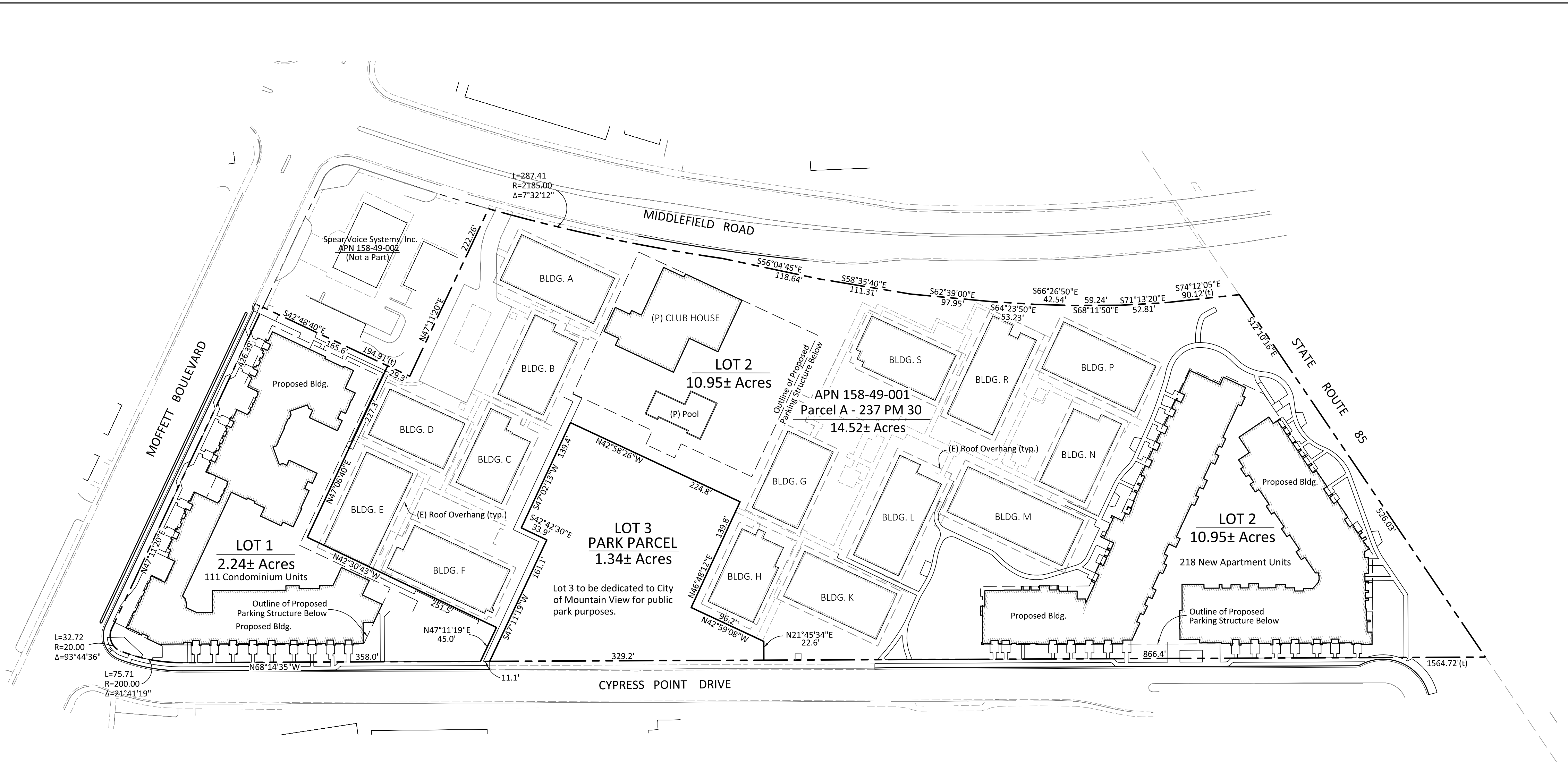
1.0	Project Data & Sheet Index
1.1	Project Overview
2.1-2.3	Existing Conditions & Demolition
3.1-3.3	Proposed Parcel Configuration
4.1-4.3	Conceptual Grading & Utility Plans

PROJECT DATA and SHEET INDEX
 Sheet Title: VESTING TENTATIVE MAP For Condominium Purposes (111 Proposed Units) **AVALON MIDDLEFIELD**
 Being a division of Parcel A per Book 237 of Maps, Page 30 Assessor's Parcel No. 158-49-001
 555 West Middlefield City of Mountain View California

REV.	DATE	DESCRIPTION
△	8/13/20	Update Lot Configuration
△	9/7/18	Address Initial Public Works Dept. Review Comments

MOUNTAIN PACIFIC SURVEYS
 1735 Enterprise Dr, Suite 109 PH (707) 425-6234 L
 Fairfield, CA 94533 FAX (707) 425-1969

DATE: June 12, 2018
 SCALE: 1" = 100'
 JOB NO.: 515073.21
 SHEET NO.: **1.0**
 of 11 Sheets

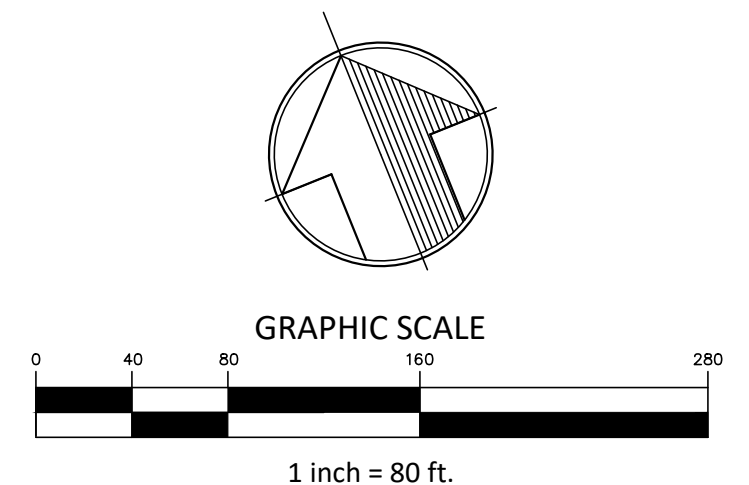


GENERAL NOTES

- 1) See Sheets 2.1 through 2.3 for Existing Conditions and Demolition information.
- 2) See Sheets 3.1 through 3.3 for Proposed Parcel and Easement Configuration.
- 3) See Sheets 4.1 through 4.3 for conceptual Grading and Utility information.
- 4) Buildings A through S are existing rental apartment units within Lot 2 that will remain.
- 5) All buildings and parking structures on Lot 1, together with the Club House, parking structures and residential building near east end of Lot 2 are proposed.

LEGEND

- PROPERTY LINE - Existing
- PROPERTY LINE - Proposed
- Building
- (E) Existing
- (P) Proposed



PROJECT OVERVIEW	
Sheet Title	Update Lot Configuration
VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES (111 PROPOSED UNITS) AVALON MIDDLEFIELD	8/13/20
REV.	DATE
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VESTING TENTATIVE MAP
 For Condominium Purposes (111 Proposed Units)
AVALON MIDDLEFIELD
 Being a division of Parcel A per Book 237 of Maps, Page 30
 Assessor's Parcel No. 158-49-001
 555 West Middlefield City of Mountain View California

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