

T.I. - NICK THE GREEK

MOUNTAIN VIEW, CA

REV. DATE	NO.
11/12/21	1
10/28/22	3



TAKAMI ENGINEERING GROUP, INC.
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T.I. - NICK THE GREEK
 288 CASTRO STREET
 MOUNTAIN VIEW, CA 94041

Date: 12/6/19
 Drawn: GCC
 Sheet: **A-1**

PUBLIC WORKS NOTES

RECYCLOGY MOUNTAIN VIEW: RECYCLOGY MOUNTAIN VIEW IS THE CITY'S EXCLUSIVE HAULER FOR RECYCLING AND DISPOSAL OF CONSTRUCTION AND DEMOLITION DEBRIS. FOR ALL DEBRIS BOXES, CONTACT RECYCLOGY. USING ANOTHER HAULER MAY VIOLATE CITY CODE SECTIONS 16.13 AND 16.17 AND RESULT IN CODE ENFORCEMENT ACTION.

MOUNTAIN VIEW GREEN BUILDING CODE/CONSTRUCTION AND DEMOLITION ORDINANCE: IF THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE MOUNTAIN VIEW GREEN BUILDING CODE, A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION AND APPROVED BY THE SOLID WASTE AND RECYCLING SECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT. A FINAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO FINAL INSPECTION.

VALLEY WATER WELLS: SANTA CLARA VALLEY WATER DISTRICT REQUIRES THE FOLLOWING NOTE BE SHOWN ON THE PLANS WHILE THE SANTA CLARA VALLEY WATER DISTRICT HAS RECORDS FOR MOST WELLS LOCATED IN THE COUNTY, IT IS ALWAYS POSSIBLE THAT A WELL EXISTS THAT IS NOT IN THE DISTRICT'S RECORDS. IF PREVIOUSLY UNKNOWN WELLS ARE FOUND ON THE SUBJECT PROPERTY DURING DEVELOPMENT, THEY MUST BE PROPERLY DESTROYED UNDER PERMIT FROM THE DISTRICT OR REGISTERED WITH THE DISTRICT AND PROTECTED FROM DAMAGE.

STREET CLEANING: THE OWNER/DEVELOPER SHALL COMPLY WITH AND INCLUDE THE FOLLOWING NOTE ON THE OFF-SITE, OR GRADING/DRAINAGE, OR UTILITY PLANS: "THE PRIME CONTRACTOR OR DEVELOPER IS TO HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES. THE STREET CLEANING CONTRACTOR IS TO HAVE THE CAPABILITY OF SWEEPING THE STREETS WITH BOTH A BROOM-TYPE SWEEPER AND A REGENERATIVE AIR VACUUM SWEEPER, AS DIRECTED BY THE PUBLIC WORKS DIRECTOR OR HIS/HER DESIGNATED REPRESENTATIVE."

OCCUPANCY RELEASE: THE OWNER/DEVELOPER SHALL COMPLY WITH AND INCLUDE THE FOLLOWING NOTE ON THE OFF-SITE OR GRADING/DRAINAGE OR UTILITY PLANS: "FOR COMMERCIAL AND OFFICE DEVELOPMENTS, NO BUILDINGS WILL BE RELEASED FOR OCCUPANCY UNTIL THE OFF-SITE IMPROVEMENTS TO BE CONSTRUCTED TO CITY PUBLIC WORKS STANDARDS AND/OR ACCEPTED FOR MAINTENANCE BY THE CITY ARE COMPLETE AND READY FOR ACCEPTANCE."

PLANNING DIVISION NOTES

A. APPLICABILITY OF THIS PERMIT: THIS PERMIT SHALL APPLY TO ANY BUSINESS ENTITY WHOSE USE AND OPERATIONAL CHARACTERISTICS MATCH THOSE OF THE APPROVED USE. INTENSIFICATION OF THE APPROVED USE SHALL REQUIRE AN AMENDMENT TO THIS PERMIT. A CHANGE TO A DIFFERENT PERMITTED USE SHALL REQUIRE A NEW PERMIT.

B. EXPIRATION: IF THE APPROVED USE DOES NOT COMMENCE WITHIN TWO YEARS OF THIS APPROVAL, SUBJECT TO ALL APPLICABLE CONDITIONS AND PERMITS FROM APPLICABLE GOVERNMENT AGENCIES, THIS APPROVAL SHALL BE NULL AND VOID.

C. ABANDONMENT OF USE: THE APPROVED USE SHALL BE CONSIDERED ABANDONED IF THE APPROVED USE IN THIS TENANT SPACE (OR BUILDING) CEASES FOR A PERIOD OF SIX MONTHS OR MORE, AT WHICH POINT THIS PERMIT SHALL HAVE EXPIRED AND A NEW PERMIT SHALL BE REQUIRED. PAGE 2 OF 4 DETERMINATION OF THE ABANDONMENT OF THE USE SHALL BE BASED ON THE BEST AVAILABLE DATA, WHICH MAY INCLUDE BUSINESS LICENSE, TAX, AND UTILITY RECORDS.

D. OPERATIONAL CRITERIA: IN THE EVENT THAT PROBLEMS WITH THE OPERATIONAL CRITERIA OF THE BUSINESS ARISE, INCLUDING, BUT NOT LIMITED TO, PARKING SHORTAGES, DELIVERY TRUCK ISSUES, HOURS OF OPERATION, OR NOISE, THE ZONING ADMINISTRATOR MAY HOLD A PUBLIC HEARING TO REVIEW THE SITUATION AND IMPOSE NEW OR MODIFIED CONDITIONS OF APPROVAL IN RESPONSE TO THE INFORMATION RECEIVED. THE PUBLIC HEARING SHALL BE CONDUCTED AND NOTICED IN ACCORDANCE WITH CHAPTER 9B, ARTICLE XVI, DIVISION 8, OF THE CITY CODE.

E. HOURS OF OPERATION: THE APPROVED HOURS OF OPERATION ARE FROM 11:00 A.M. TO 11:00 P.M. ANY PROPOSED CHANGE TO THE APPROVED HOURS OF OPERATION WILL REQUIRE REVIEW AND APPROVAL BY THE ZONING ADMINISTRATOR AND MAY REQUIRE A MODIFICATION TO THIS PERMIT.

F. GROUND-FLOOR TRANSPARENCY: STOREFRONTS (INCLUDING WINDOWS) MUST MAINTAIN A MINIMUM 75 PERCENT TRANSPARENCY ALONG THE GROUND FLOOR OF THE BUILDING(S) AT ALL TIMES. NO WINDOW TINTING/TREATMENT, PERMANENT AFFIXED FURNITURE, OR SUNSHADES WHICH PERMANENTLY BLOCK THE WINDOWS/STOREFRONTS ARE PERMITTED. SUNSHADES WHICH MAXIMIZE TRANSPARENCY WHILE PROVIDING UV LIGHT SCREENING FOR BUILDING OCCUPANTS MAY BE PERMITTED, SUBJECT TO REVIEW AND APPROVAL BY THE ZONING ADMINISTRATOR.

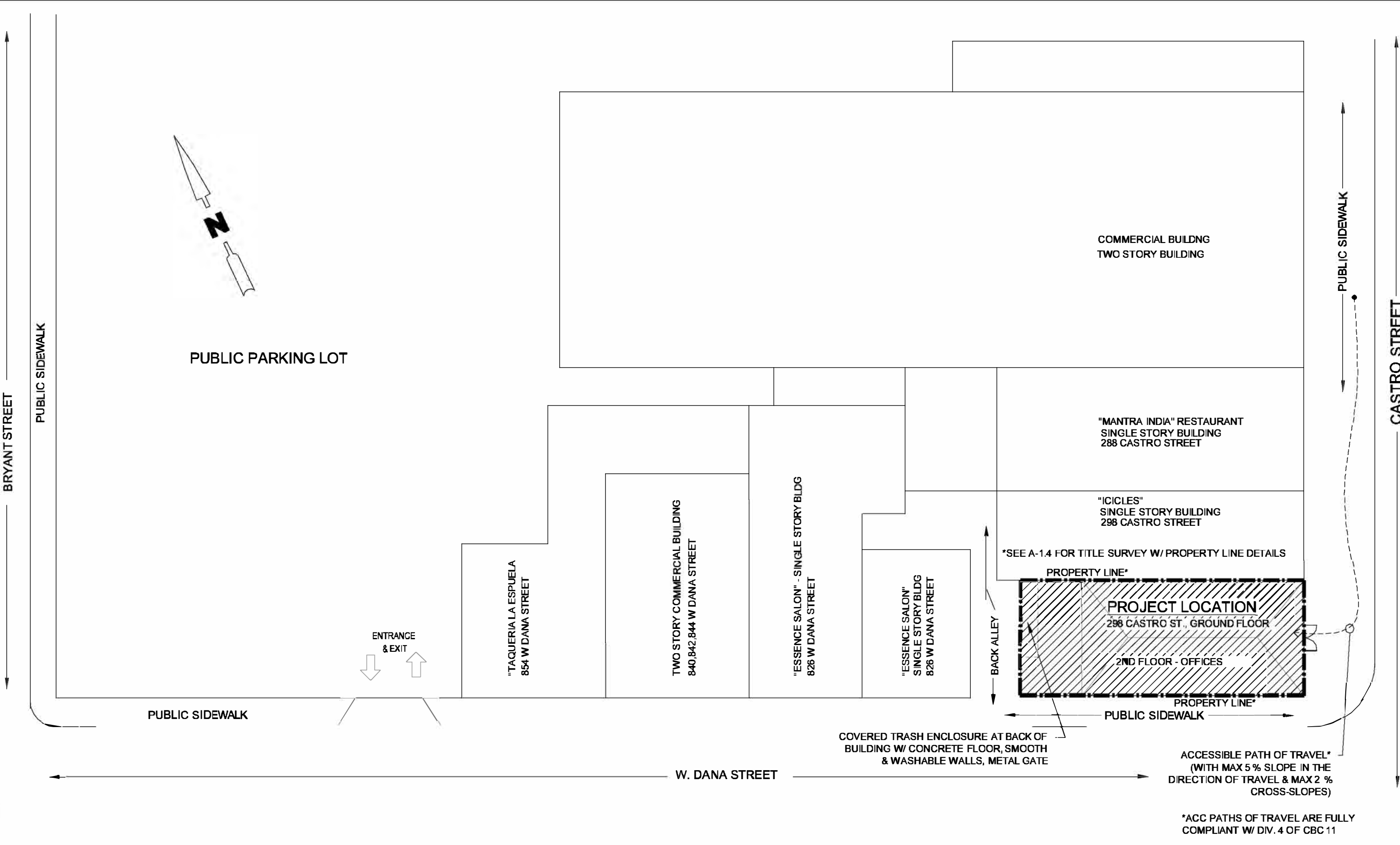
G. MECHANICAL EQUIPMENT: THE NOISE EMITTED BY ANY MECHANICAL EQUIPMENT SHALL NOT EXCEED A LEVEL OF 55 DB(A) DURING THE DAY OR 50 DB(A) DURING THE NIGHT, 10:00 P.M. TO 7:00 A.M., WHEN MEASURED AT ANY LOCATION ON THE ADJOINING RESIDENTIALLY USED PROPERTY.

H. NOISE GENERATION: ALL NOISE-GENERATING ACTIVITIES (I.E., ENTERTAINMENT OR AMPLIFIED SOUND) ARE LIMITED TO INTERIOR AREAS ONLY, AND THE HEATING, VENTILATION, AND AIR CONDITIONING SYSTEM SHALL BE MAINTAINED TO ENSURE THAT ALL WINDOWS AND DOORS CAN REMAIN CLOSED WHEN THE RESTAURANT IS IN OPERATION.

I. WORK HOURS: NO WORK SHALL COMMENCE ON THE JOB SITE PRIOR TO 7:00 A.M. NOR CONTINUE LATER THAN 6:00 P.M. MONDAY THROUGH FRIDAY, NOR SHALL ANY WORK BE PERMITTED ON SATURDAY OR SUNDAY OR ANY HOLIDAY UNLESS PRIOR APPROVAL IS GRANTED BY THE CHIEF BUILDING OFFICIAL AT THE DISCRETION OF THE CHIEF BUILDING OFFICIAL, THE GENERAL CONTRACTOR OR THE DEVELOPER MAY BE REQUIRED TO ERCT A SIGN PAGE 3 OF 4 AT A PROMINENT LOCATION ON THE CONSTRUCTION SITE TO ADVISE SUBCONTRACTOR AND MATERIAL SUPPLIERS OF THE WORKING HOURS.

VIOLATION OF THIS CONDITION OF APPROVAL MAY BE SUBJECT TO THE PENALTIES OUTLINED IN SECTION 8.6 OF THE CITY CODE AND/OR SUSPENSION OF BUILDING PERMITS.

SITE PLAN 1" = 20'



PROJECT DATA DESCRIPTION

Area: 1,560 SQ. FT. INTERIOR TENANT SPACE - GROUND FLOOR
 700 SQ. FT. INTERIOR TENANT SPACE - BASEMENT

Construction Type: TYPE V-B, 2 STORY APN: 158-13-047 Lot Area: 1,925 SQ. FT.
Zoning: P(19), DOWNTOWN (Precise Plan) Sprinkler System: None
Req. Parking: PAYMENT OF PARKING FEE

Existing Use: VACANT (FORMER RETAIL SALES - ROCKETFIZZ CANDY SHOP)

Proposed Use: RESTAURANT (GREEK)

Disability Guidelines: THIS FACILITY & RESTROOMS WILL CONFORM TO ALL REQUIREMENTS OF CBC 11B DIVISION 6

Title 24: PROVIDED; SEE LTG-1 (FOR LIGHTING).
 SEEM M-3 SHEETS FOR VENTILATION

Occupancy Load: GROUP B OCCUPANCY (A-2 WITH LESS THAN 50); OCC. LOAD 39
 LESS THAN 50 - ONE EXIT REQ., TWO PUBLIC EXITS AVAILABLE

OCCUPANCY LOAD FACTOR CHART

ROOM(S)	FUNCTION	OCCUPANT LOAD FACTOR (OLF)	NET SQUARE FOOTAGE (SQ. FT.)	OCCUPANT LOAD (OL=(SQ.FT.)/(OLF))
DINING AREA (NON-FIXED SEATING)	DINING	15	455	455/15 = 30
DINING AREA (FIXED SEATING)	DINING	15	200	200/15 = 13
SEVICEMAN/RESTROOM/STORAGE 1ST FLR	KITCHEN-COMMERCIAL	200	700	700/200 = 3
BASEMENT - UTILITY RM	UNOCCUPIED ACCESSORY	-	700	0
RESTROOM/CORRIDOR/WALLS	UNOCCUPIED ACCESSORY	-	285	0
				TOTAL = 39

*NOT INCLUDED IN NET PER 2019 CBC SEC 202 "DEFINITIONS" AT "BFI FLOOR AREA NET"

SCOPE OF WORK - TENANT IMPROVEMENT

- NEW RESTAURANT IN EXISTING RETAIL SPACE. THIS WILL INVOLVE THE FOLLOWING WORK:
- DEMOLITION. REMOVE ALL EXISTING NON STRUCTURAL WALLS.
 - ADD NEW PARTITION WALLS. NONE TO BE INTRICATELY STRUCTURED TO BUILDING.
 - ELECTRICAL WORK AS REQUIRED FOR NEW PLAN.
 - PLUMBING WORK AS REQUIRED FOR NEW PLAN.
 - INSTALL COUNTERS AND COVE AS REQUIRED.
 - INSTALL AND PROVIDE FLOORING AND ALL OTHER REQUIRED FINISHES.
 - PROVIDE AND INSTALL NEW EQUIPMENT AS REQUIRED.
 - INSTALL HOOD SYSTEM AND RELATED EQUIPMENT.
 - INSTALL NEW LIGHTING AS REQUIRED.
 - UPGRADE HVAC/MECH VENTILATION.

DEFERRED SUBMITTALS:
 1. SIGNAGE 2. HOOD SUPPRESSION SYSTEM (ANSUL)

APPLICABLE CODES

ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS AS PRESCRIBED BY THE LOCAL CITY & COUNTY. CODES SHALL INCLUDE BUT ARE NOT NECESSARILY LIMITED TO:

2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA FIRE CODE W/ CITY AMENDMENTS

2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA ELECTRICAL CODE

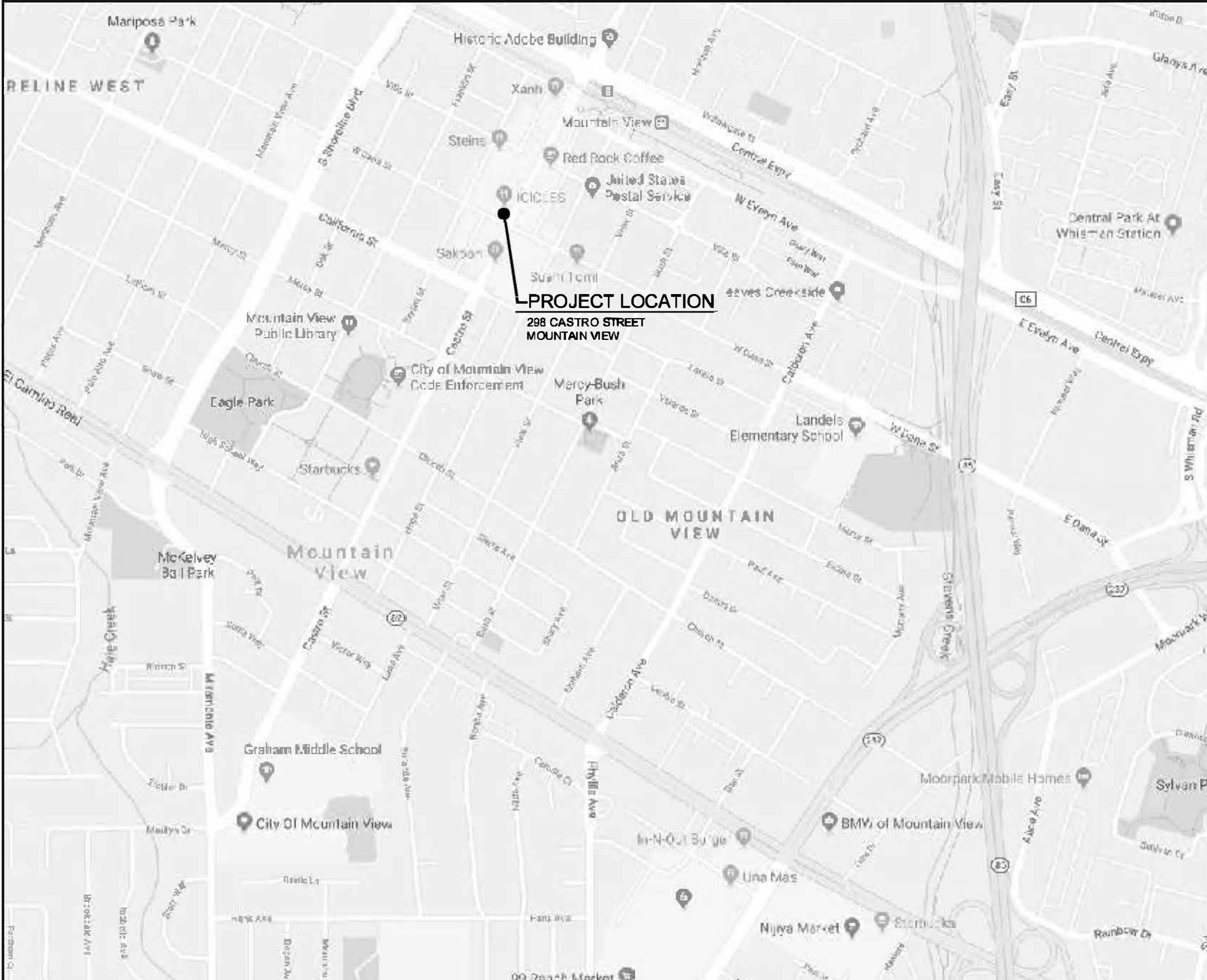
2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA ENERGY CODE

FEDERAL AND STATE DISABILITY GUIDELINES AND REGULATIONS AND ANY OTHER STATE REGULATIONS, CODES, & ORDINANCES AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL CITY & COUNTY THAT ARE APPLICABLE TO THIS PROJECT.

SHEET INDEX

- ARCHITECTURAL PLANS:**
 A-1 COVER SHEET, PROJECT DATA, VICINITY MAP, SITE PLAN
 A-1.1 EXISTING & NEW ROOF PLAN, ELEVATION AND VIEWS DIAGRAM
 A-1.2 BUILDING ELEVATIONS AND VIEWS (WITH EXTENDED PARAPET).
 A-1.3 CROSS SECTIONS WITH DIAGRAM (ROOFTOP EQUIPMENT CONCEALMENT)
 A-1.4 TITLE SURVEY WITH PROPERTY LINES
 A-1.5 PLANNING FINDINGS REPORT
 A-2 NEW CONSTRUCTION FLOOR PLAN & DETAILS, EQUIPMENT SCHEDULE
 A-3 ACCESSIBILITY REQUIREMENTS, BASEMENT FLOOR PLAN
 EH-1 ENVIRONMENTAL HEALTH DEPT. REQUIREMENTS, FINISH PLAN & DOOR SCH.
- CIVIL PLANS:**
 C-1 CIVIL - UTILITY PLAN
 C-2 CIVIL - PROFILE
- ELECTRICAL PLANS:**
 E-1 ELECTRICAL PLAN & SCHEDULE, ELECTRICAL PANEL, LOAD CALC'S
 E-1.1 ELECTRICAL PLAN (ROOF AND BASEMENT), SINGLE LINE DIAGRAM
 E-2 REFLECTED CEILING/LIGHTING PLAN
 T-24* TITLE 24 LIGHTING DOCUMENTS
- MECHANICAL HOOD PLANS:**
 HVAC
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 M-2.1 MECHANICAL FLOOR AND ROOF PLANS
 M-3.1, 3.2, 3.3* TITLE 24 COMPLIANCE FORMS, NRCC-FRC-03-E CERTIFICATE OF COMPLIANCE HOOD SYSTEM
 M-4.1 MECHANICAL HOOD PLAN (CAPTIVE AIRS) - PLAN & ELEVATIONS
 M-4.2 MECHANICAL HOOD PLAN (CAPTIVE AIRS)- EXHAUST & SUPPLY FANS
 M-4.3 MECHANICAL HOOD PLAN (CAPTIVE AIRS)- ELECTRICAL PACKAGE
 M-4.4 & M-6.1 CAPTIVE AIRS EXHAUST DUCT & FAN DETAILS
- PLUMBING PLANS:**
 P-0.1 PLUMBING KEY, TABLES & SCHEDULES
 P-0.2 PLUMBING NOTES & WATER HEATER COMPLIANCE
 P-2.0 PLUMBING PLANS - WASTE AND VENT; WATER & GAS SUPPLY
 P-4.1 PLUMBING DETAILS
- STRUCTURAL PLANS:**
 S-1 NEW PARTITION WALL DETAILS, WALK-IN BOX & EQUIPMENT ATTACHMENT DETAILS, GENERAL NOTES
 S-2* STRUCTURAL SUPPORT DETAILS FOR HOOD
 S-3* STRUCTURAL PLAN FOR ROOF EQUIPMENT
- * FOR BUILDING DEPT. ONLY

VICINITY MAP

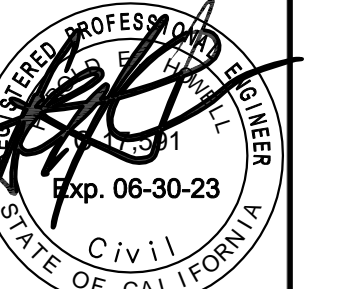


SPACE FOR OFFICIAL CITY USE ONLY

ZONING PERMIT APPLICATION #: PL-2020-016

CALCULATION OF REQUIRED PARKING SPACES:
 REQUIRED PARKING: 1580/300 = 5 PARKING STALLS
 PROPOSED PARKING: 0 PARKING STALLS, 5 PAID WITH AN IN-LIEU FEE

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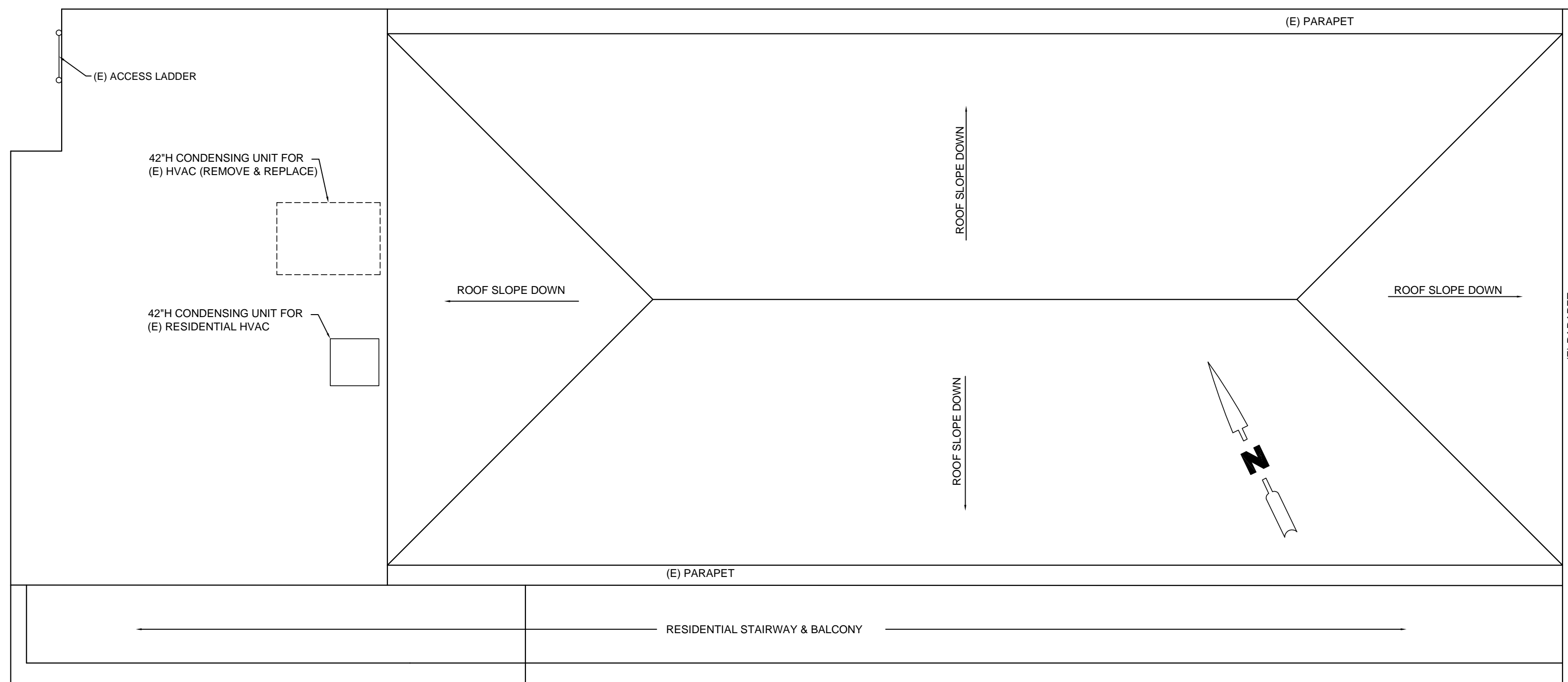
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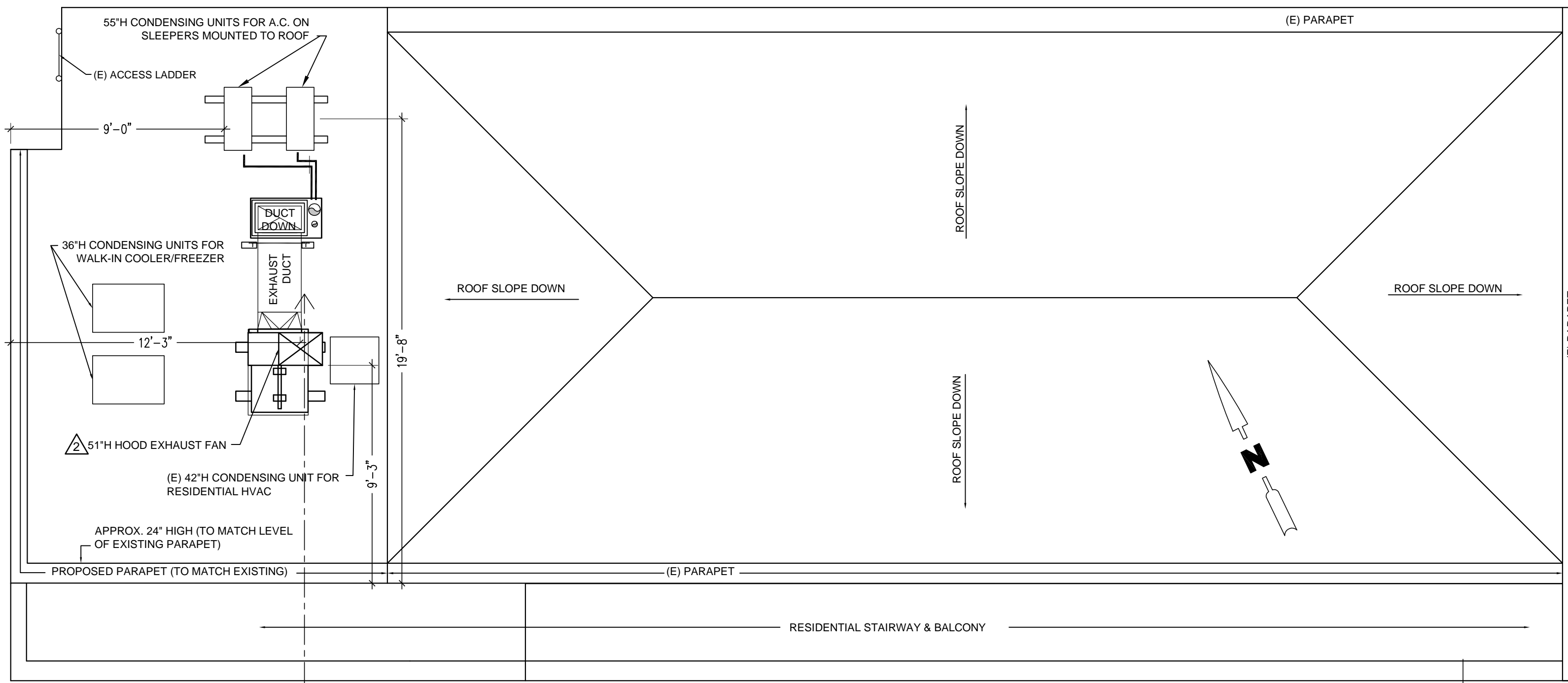
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298 CASTRO STREET
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Date: 2/4/20
Drawn: GCC
Sheet: A-1.1



EXISTING ROOF PLAN

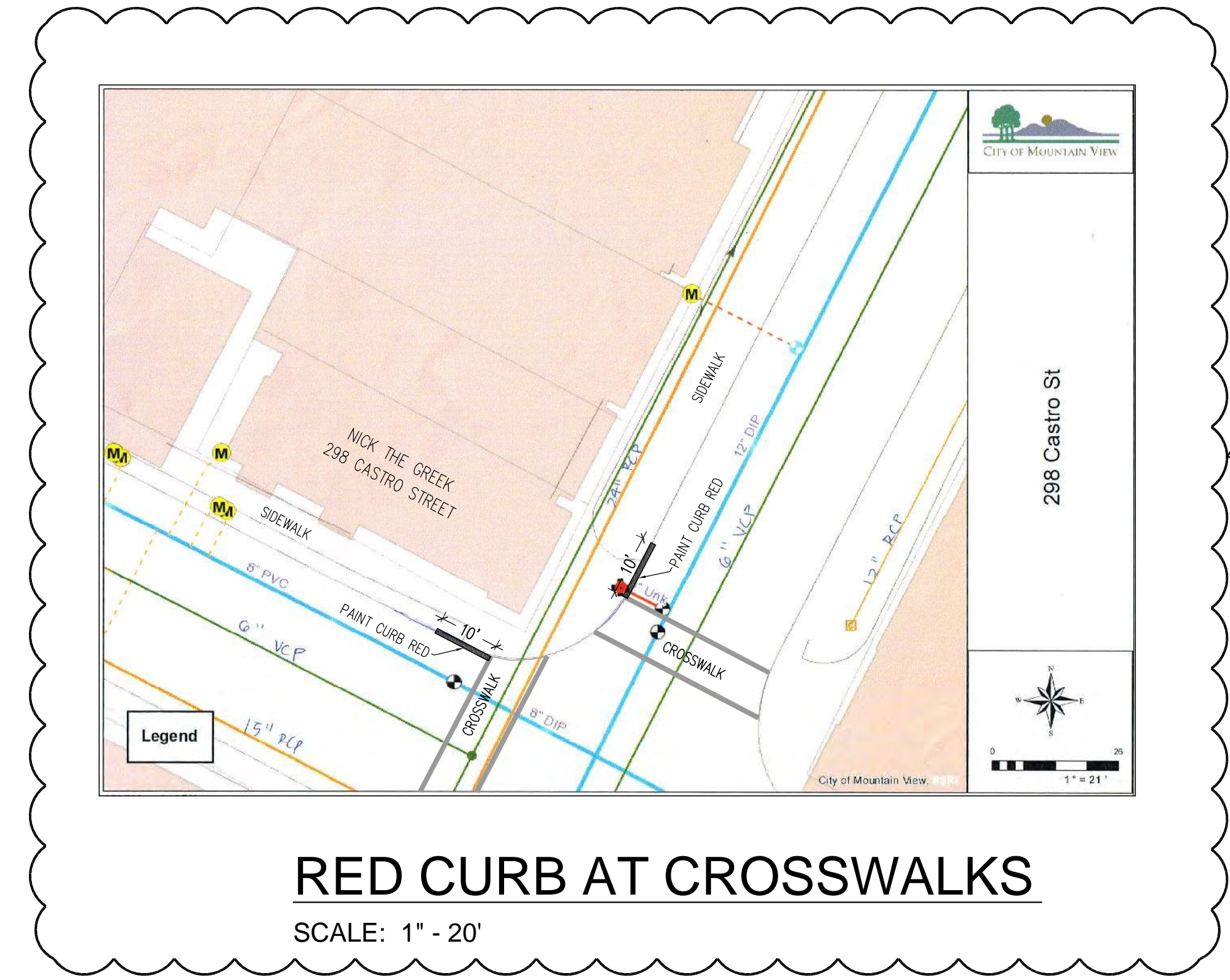
SCALE: 1/4" - 1'-0"



PROPOSED ROOF PLAN

SCALE: 1/4" - 1'-0"

- SCOPE OF BUILDING EXTERIOR MODIFICATIONS**
1. INSTALL ROOF TOP MECHANICAL EQUIPMENT REQUIRED FOR NEW TYPE I HOOD AND REVISED HVAC SYSTEM.
 2. INSTALL PARAPET AT THE BACK OF BUILDING TO MATCH EXISTING LINE OF BUILDING. HEIGHT, COLOR, AND FINISH TO MATCH EXISTING BUILDING. THIS PARAPET WILL BLOCK THE VIEW OF THE MECHANICAL EQUIPMENT FROM THE SIDEWALK ACROSS DANA STREET AS ILLUSTRATED ON SHEET A-1.3
 3. INSTALL AIR INTAKE LOUVER ABOVE REAR DOOR (COLOR TO MATCH BUILDING)
 4. REMOVE FISH STICKERS ON LONG WINDOW ALONG W. DANA STREET.
 5. REPAIR ANY DAMAGE TO EXISTING WINDOWS & FINISHES OF BUILDING.



RED CURB AT CROSSWALKS

SCALE: 1" - 20'

LOCATION OF VIEWPOINTS SHOWN ON SHEET A1.2

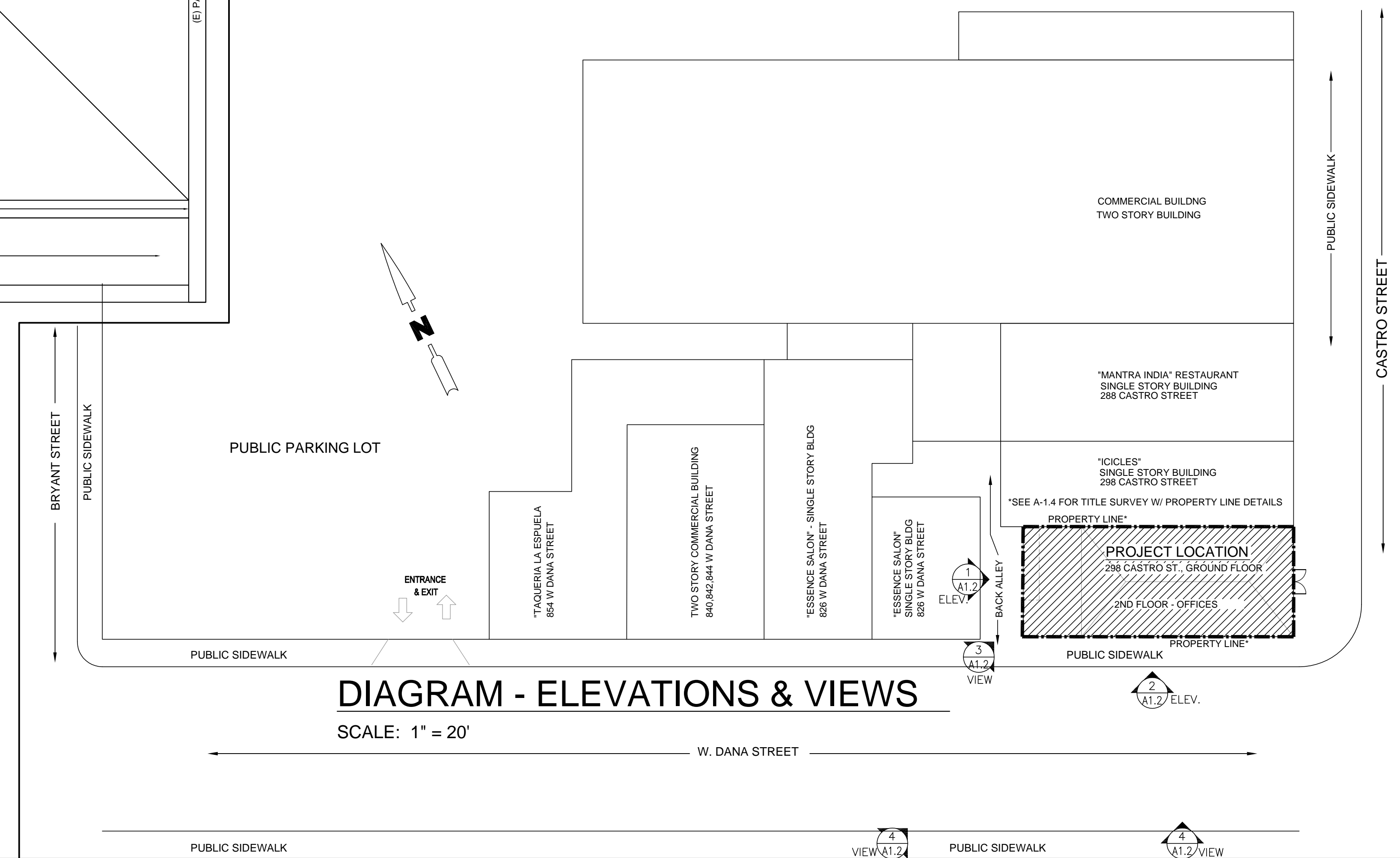
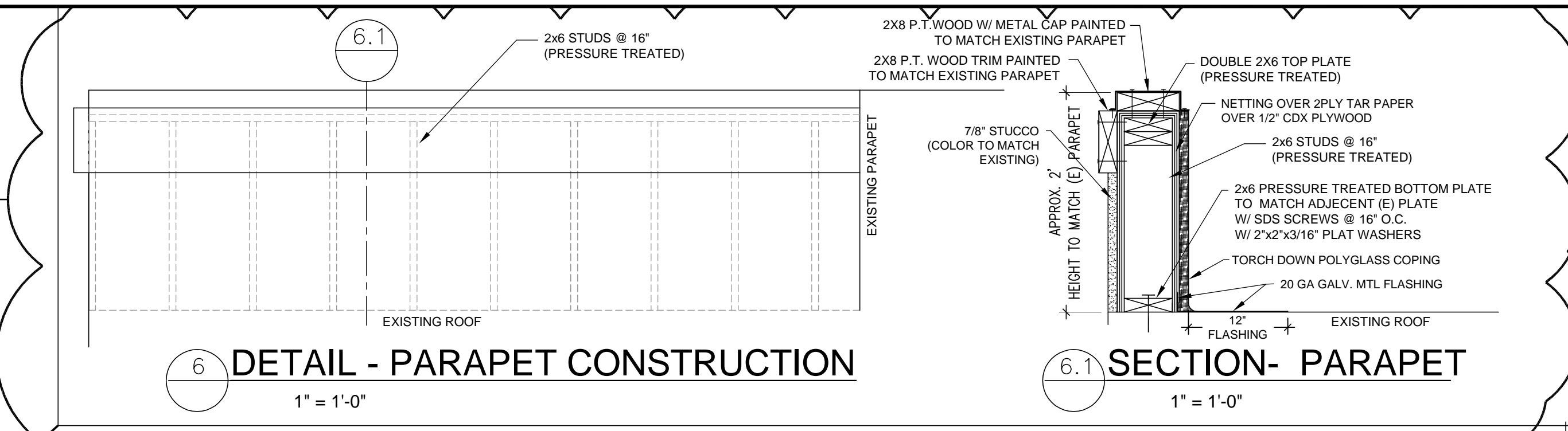
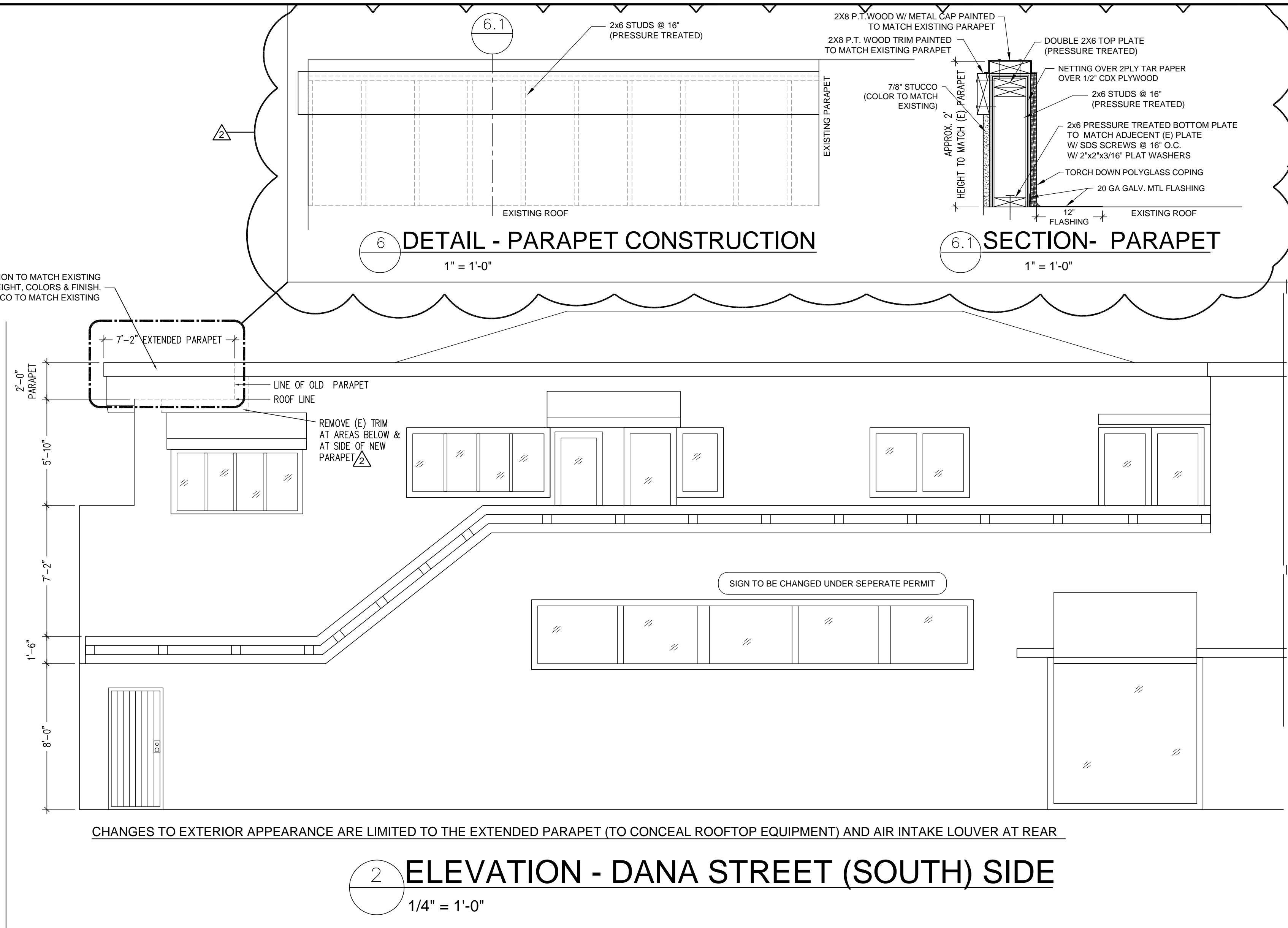
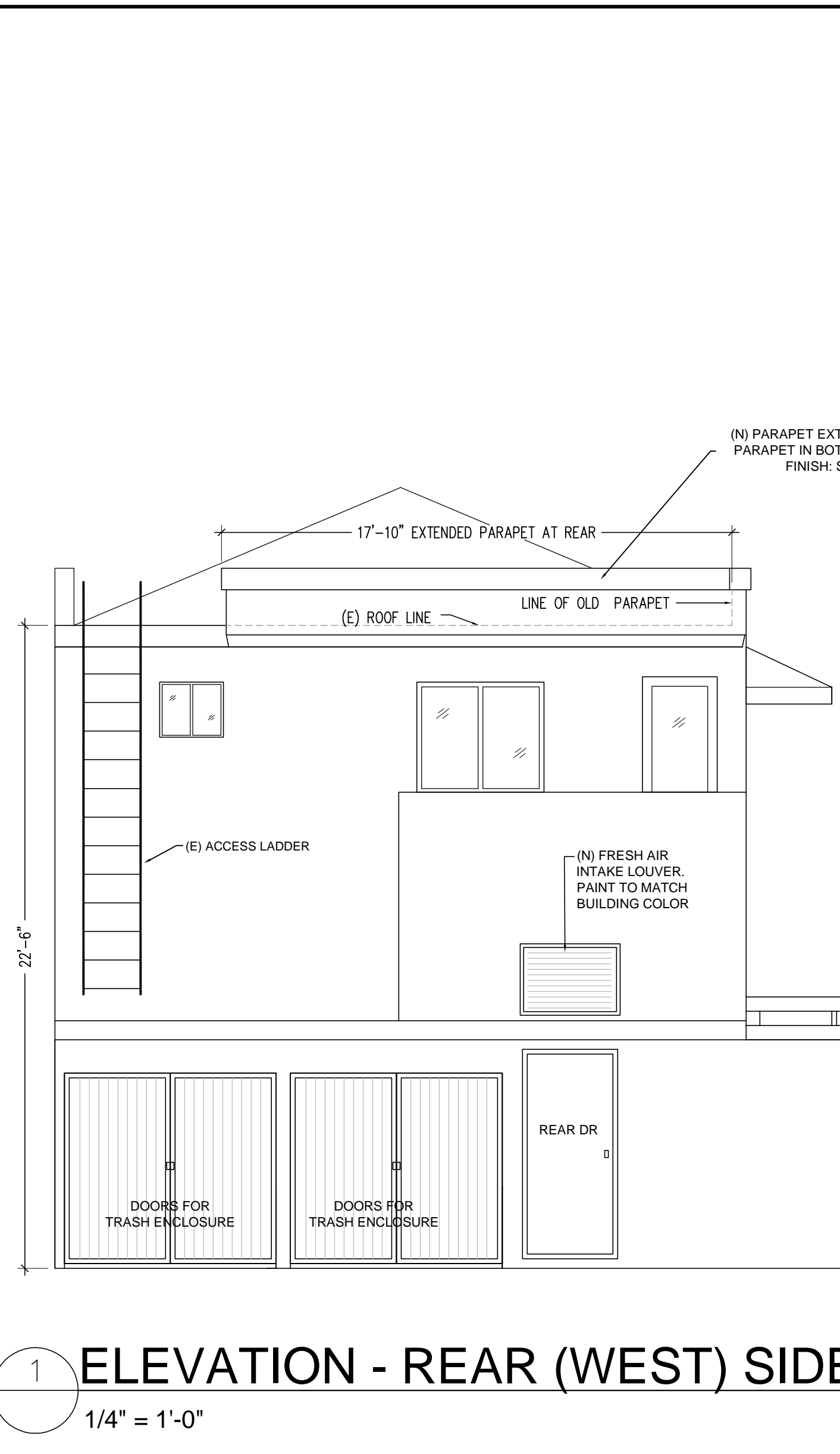


DIAGRAM - ELEVATIONS & VIEWS

SCALE: 1" = 20'



3 VIEW FROM SOUTH-WEST (REAR OF BUILDING)



4 VIEW FROM SOUTH-WEST (FROM SIDEWALK WEST ACROSS W. DANA STREET)

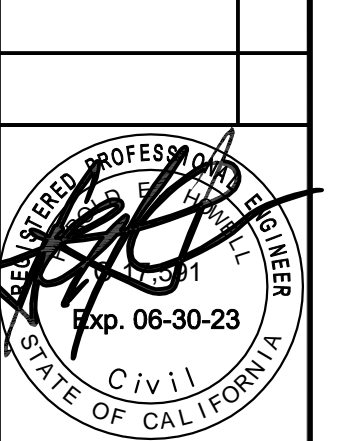


5 VIEW/ELEVATION FROM SOUTH (FROM SIDEWALK DIRECTLY ACROSS W. DANA STREET)

SEE SHEET A0.1 SITE PLAN FOR LOCATION OF VIEWPOINTS

PICTURES ARE APPROX. 1/4": 1'-0" SCALE (HOWEVER VARY SLIGHTLY DUE TO PERSPECTIVE OF ACTUAL STREET VIEW)

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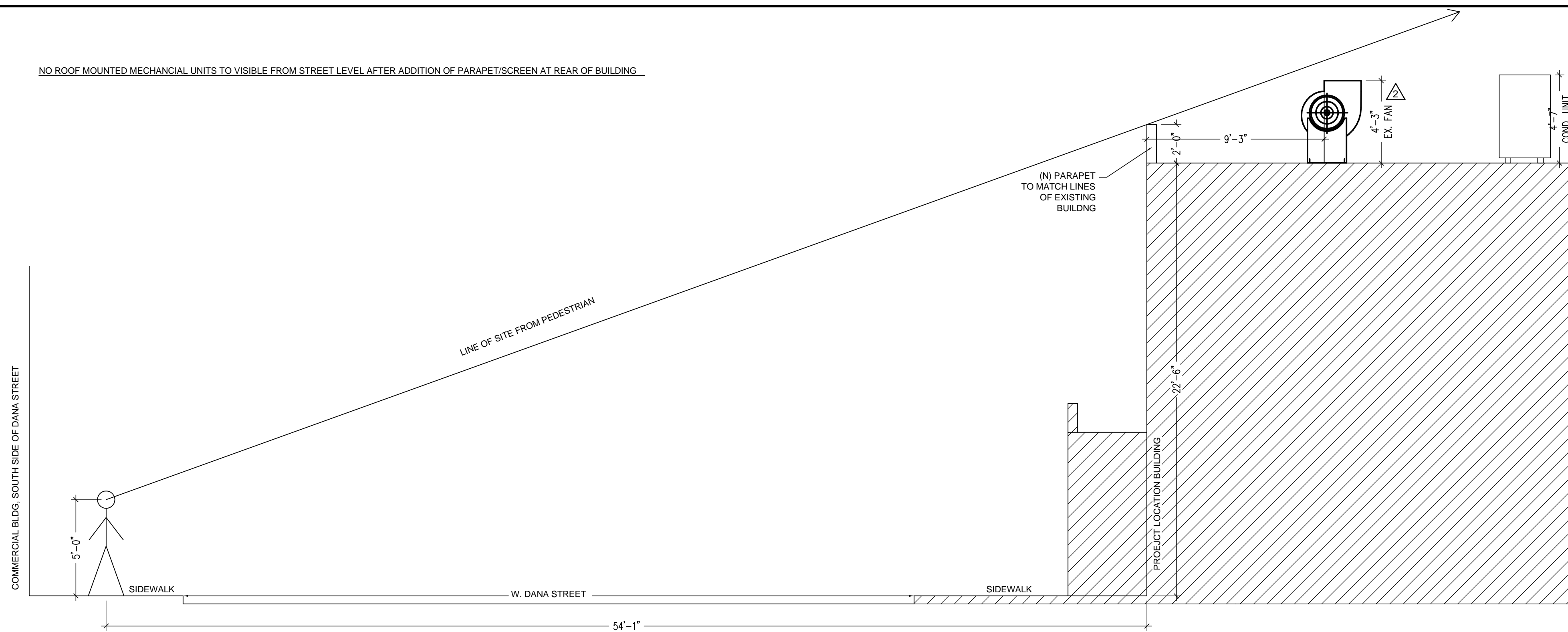
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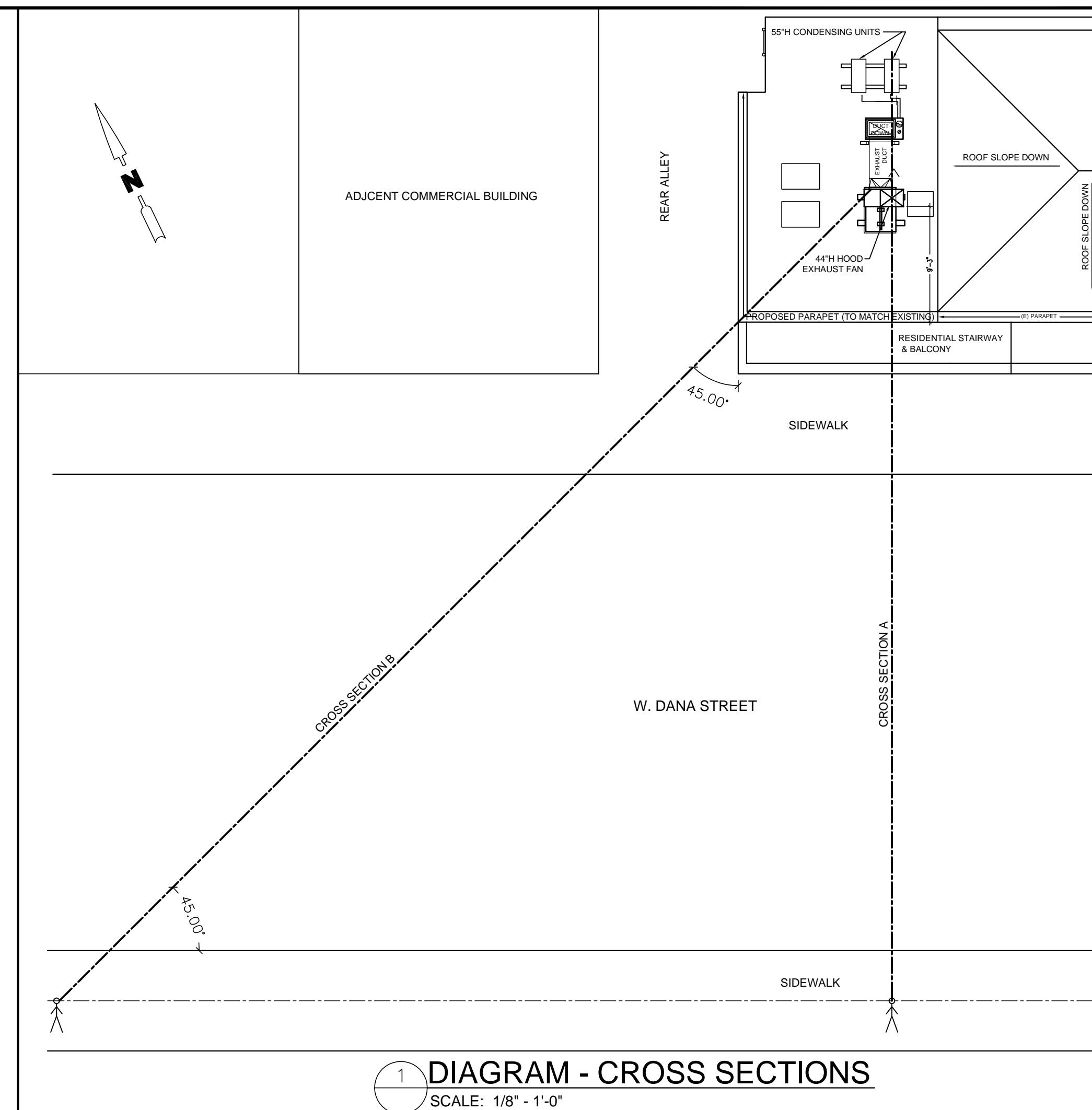
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Date: 9/20/20
 Drawn: GCC
 Sheet: A-1.2

NO ROOF MOUNTED MECHANICAL UNITS TO BE VISIBLE FROM STREET LEVEL AFTER ADDITION OF PARAPET/SCREEN AT REAR OF BUILDING

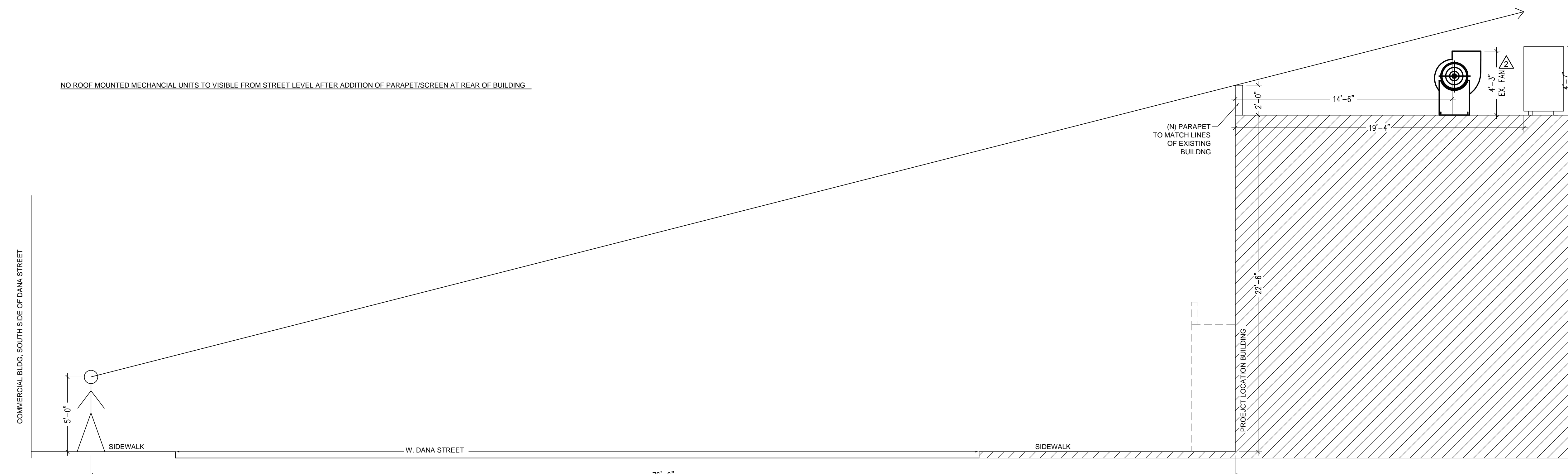


A CROSS SECTION - LINE OF SITE
SCALE: 1/4" - 1'-0"



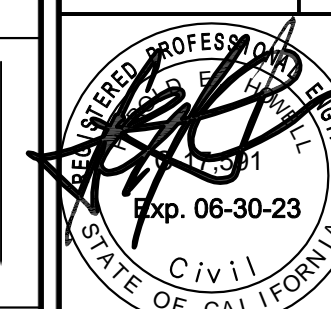
1 DIAGRAM - CROSS SECTIONS
SCALE: 1/8" - 1'-0"

NO ROOF MOUNTED MECHANICAL UNITS TO BE VISIBLE FROM STREET LEVEL AFTER ADDITION OF PARAPET/SCREEN AT REAR OF BUILDING



B CROSS SECTION - LINE OF SITE
SCALE: 1/4" - 1'-0"

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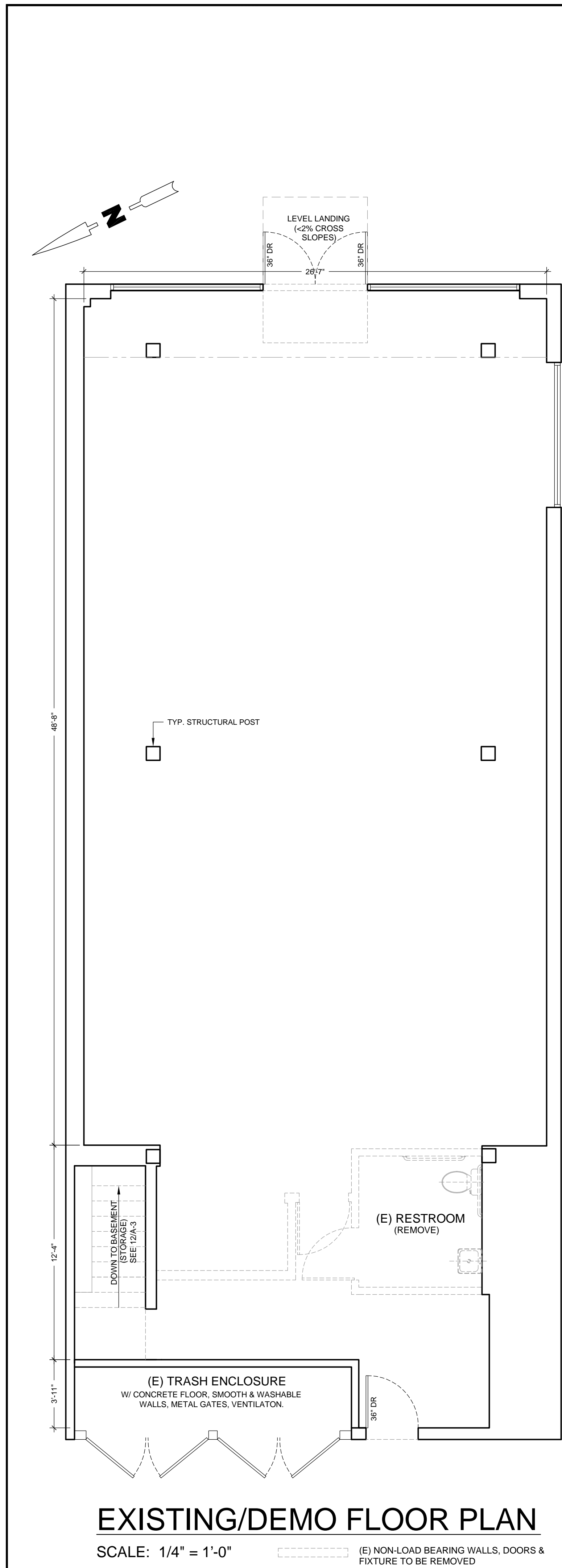
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Sheet: A-1.3



EQUIPMENT SCHEDULE

Item No	Qty	Equipment Category	Manufacturer (or equal)	Model Number (or equal)	Equipment Remarks
1	3	BROILER, VERTICAL	UNIWORLD	VBR-2E	SEE NOTE 9
1A	1	TABLE, WORK	TURBO AIR	TSW 3084E	SEE NOTE 9
2	1	HOT PLATE, GAS	AMERICAN RANGE	ARHP-12-1	SEE NOTE 9
3	1	GRIDDLE, GAS	AMERICAN RANGE	ARMG-48	SEE NOTE 9
4	1	BROILER, UNDER-FIRED, GAS	MAGKITCH'N	CM-RMB-624	SEE NOTE 9
4A	1	STAND, EQUIPMENT	TURBO AIR	TURBO 3024	SEE NOTE 9
5	1	FRYER, DEEP FAT, GAS	IMPERIAL RANGE	IFS-2525	SEE NOTE 9
6	1	U/C REF.	TRUE FOOD SERVICE	TUC-27D-2-LP	SEE NOTE 4
7	1	REFRIGERATOR, SHORTY	TRUE FOOD SERVICE	TRCB-52	SEE NOTE 4
8	2	REFRIGERATOR, SANDWICH/SALAD PREP	TRUE FOOD SERVICE	TSSU-60-24M-B-ST-ADA	
9	1	WARMING DRAWER	VULCAN	VW2S	
10	1	DISPLAY CASE, REFRIGERATED	TURBO AIR	TOM-W-4OSB	ON 6" HIGH LEGS
11	1	DISPENSER, ICE/BEVERAGE	MANITOWOC ICE	M-150 W/6 VALVES	
11.1	1	ICE MAKER FOR BEVERAGE DISPENSER	MANITOWOC ICE	IB-0696YC	
12	1	MIXER, FLOOR	UNIVEX	SRMF20	
13	2	SINK, HAND, WALL MOUNT	KROWNE	HS-22	SEE NOTE 6
14	1	SINK, PREP	TURBO AIR	TSB-1-L2	SEE NOTE 6
15	1	SINK, 3 COMPARTMENT	TURBO AIR	TSA-3-12-D1	SEE NOTE 6
15.1	1	PRE-RINSE FAUCET	FISHER	13390	SEE NOTE 6
16	1	SINK, MOP	SELECT STAINLESS or EQUAL	MS-2020-12	SEE NOTE 6
17	1	WATER HEATER, TANKLESS	TAKAGI	TH-3-DV-N	SEE PLUMBING PLANS
18	1	SHELF, WALL MOUNT	EAGLE GROUP or EQUAL	SNSW	
19	3	TABLE, WORK	GSW	WT-PB****	
20	lot	SHELVING, WIRE*	EAGLE GROUP or EQUAL	5 TIER S/S	SEE NOTE 5
21	2	LOCKERS, EMPLOYEE	KELMAX.	EL5 (5 TIER)	WALL MTD. 6" ABOVE F.F.
22	1	SOFT SERVE MACHINE	STOELTING	E111-371-A	
23.1	1	REFRIGERATOR, WALK-IN UNIT	MASTER-BILT OR EQUAL	READY-BILT	SEE NOTES 8,10,12
23.2	1	FREEZER, WALK-IN UNIT	MASTER-BILT OR EQUAL	READY-BILT	SEE NOTES 8,10,12
24	1	TYPE I HOOD	CAPTIVE AIRE	16'L X 4.5'W TYPE I	SEE MECH. PLANS
24.1	1	(N) HOOD EXHAUST FAN	CAPTIVE AIRE	USBI118DD-RM	SEE M.O.1 & M4.2
24.2	1	(N) HOOD MAKE-UP AIR FAN	CAPTIVE AIRE	A2-20D	SEE M.O.1 & M4.2

*EXHAUST AND MAKE-UP AIR WILL BE ELECTRICALLY INTERLOCKED.

- #### SYMBOL KEY:
- INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 2019 CBC Figure 11B-703.7.2.1 LOCATED ON OR ADJACENT TO BLDG & ACCESSIBLE RESTROOM ENTRANCES.
 - MAX. OCCUPANT LOAD SIGN LOCATION: SEE FIRE DEPT. NOTE 2.
 - KEY BOX: SEE FIRE DEPT. NOTE 4.
 - TACTILE EXIT SIGNAGE LOCATED ON WALL @ EACH GRADE LEVEL EXTERIOR EXIT DOOR, ON LATCH SIDE WHERE SINGLE DOORS & RIGHT SIDE WHERE DOUBLE DOORS. SEE DETAIL 6/A-3 & 2019 CBC SECTION 1013.4 & 11B-703.4.2 FOR MORE DETAIL, AND 1013.1, 1013.4 FOR WHEN SUCH SIGNS ARE REQUIRED
 - LOCATION OF MIN. RATED 2A-10 BC FIRE EXTINGUISHER. SEE FIRE DEPT. NOTE 5.
 - LOCATION OF CLASS K FIRE EXTINGUISHER (WITHIN 30 FT. OF ALL COMMERCIAL COOKING EQUIPMENT PER CBC 906.1)

- #### FIRE DEPT. NOTES:
- SEE E-2 FOR EMERGENCY LIGHTING LOCATIONS
- ALL EGRESS DOORS SHALL BE OPENABLE FROM THE EGRESS, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THERE IS A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR MUST REMAIN UNLOCKED WHILE THIS SPACE IS OCCUPIED" 2019 CBC 1010.1.3.4 & 92.2
 - PROVIDE SIGN STATING "MAXIMUM OCCUPANT LOAD ##" PERMANENTLY POSTED NEAR THE MAIN EXIT FROM THE ROOM AREA. THE SIGN SHALL BE LEGIBLE WITH LETTERS THAT ARE CONTRASTING TO THE BACKGROUND.
 - SUITE NUMBER SHALL BE PLACED AT ENTRANCE TO TENANT SPACE FOR MULTI-TENANT BUILDINGS. NUMBERS SHALL BE A MIN. OF 6" HIGH, 1" STROKE & HIGHLY CONTRASTED WITH THEIR BACKGROUND (CBC). SUCH BUILDINGS WITH REAR DOORS SHALL ALSO PROVIDE SUITE/UNIT NUMBERS ON, ABOVE, OR ADJACENT TO EACH REAR DOOR.
 - KEY BOX TO BE PROVIDED PER MUNICIPAL CODE; CONTACT FIRE DEPT. EXISTING KEY BOXES SHALL BE UPGRADED TO THE NEW KNOX SYSTEM.
 - FIRE EXTINGUISHER WITH A MIN. RATING OF 2A-10 BC SHALL BE LOCATED W/ A MAX TRAVEL DISTANCE OF 75 TO A EXTINGUISHER ON A FLOOR BY FLOOR BASES
 - MEANS OF EGRESS ILLUMINATION - AT ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FT-CANDLE AT FLOOR LEVEL.
 - EXIT SIGNS - THE PATH OF TRAVEL TO AND WITHIN THE EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS PER 2019 CBC 1013. EXIT SIGNS SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH & AS NECESSARY TO INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FT FROM THE NEAREST VISIBLE SIGN - ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTO-LUMINESCENT EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES (2019 CBC 1013.5).
 - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF ITS FAILURE, ILLUMINATION SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM THAT WILL PROVIDE POWER FOR NOT LESS THAN 90 MINUTES.
 - COOKING OIL STORAGE TANKS ARE NO GREATER THAN 60LBS.
 - CARBON DIOXIDE BEVERAGE SYSTEMS ARE NO GREATER THAN 100 LBS.

- #### EQUIPMENT NOTES:
- ALL NEW EQUIPMENT TO BE NSF OR EQUAL & PROPERLY LABELED.
 - SERVICE COUNTERS TO BE MAX. 34" TALL FOR HANDICAP ACCESSIBILITY.
 - ALL EXISTING EQUIPMENT TO BE NSF APPROVED OR EQUIVALENT AND REFURBISHED TO ITS ORIGINAL CONDITION.
 - EQUIP WITH HEAVY DUTY CASTERS TO FACILITATE CLEANING OF FLOORS.
 - ALL STORAGE SHELVING TO HAVE MIN. 6" LEGS TO FACILITATE CLEANING OF FLOOR. NO STORAGE SHELVING TO BE IN EXCESS OF 5'9" HIGH OR GREATER THAN 400LB. TOTAL LINEAR FEET OF DRY STORAGE ON WIRE SHELVING IS GRATER THAN 98 FT. (OR 20+ LINEAR FEET OF 5 TIER SHELVING).
 - INSTALL LEVER TYPE HANDLES ON ALL SINKS AND HEAVY DUTY LIQUID SOAP AND PAPER TOWEL DISPENSERS ABOVE ALL HANDSINKS. THE CONTROLS OF ALL SINKS SHALL: (1) BE OPENABLE WITH ONE HAND AND SHALL NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF WRIST; (2) REQUIRE NO MORE THAN 5 LBS. FORCE TO ACTIVATE; & (3) BE LEVER-OPERATED, PUSH-TYPE, ELECTRONICALLY-CONTROLLED, OR SIMILAR.
 - EXHAUST AND MAKE-UP AIR WILL BE ELECTRICALLY INTERLOCKED.
 - WALK-IN REFRIGERATOR OR FREEZER MUST BE COMPLETELY FLASHED TO THE BUILDING'S WALLS AND CEILING. THE AREAS ABOVE WALK-IN UNIT MAY NOT BE USED FOR STORAGE. ANY OPENINGS FOR VENTILATION IN THE FLASHING ABOVE THE WALK-IN UNIT MUST BE SCREENED WITH AT LEAST 16 MESH SCREEN. PROVIDE 2" AIR GAP BETWEEN PANELS AND WALLS.
 - EQUIPPED W/ APPROVED COMMERCIAL CASTERS (WHERE APPLICABLE) & APPROVED HEAVY DUTY QUICK DISCONNECT FLEXIBLE GAS LINES W/ RESTRAINING CABLES. ITEMS #1 THRU #5 (OR THEIR STANDS) TO BE SECURED BY T&SATE-T-LINK APPLIANCE KIT WITH SURELINK RESTRAINING CABLES (SECURING TO WALLS) AND A POSI-SET WHEEL PLACEMENT SYSTEM (SEE 4/S-1)
 - ALL ENCLOSED EQUIPMENT (E.G. REFRIGERATORS, FREEZERS, HOT FOOD HOLDING UNITS, OVENS, & SIMILAR EQUIPMENT) MUST HAVE ADEQUATE (20+ FOOT CANDLES) INTERIOR LIGHTING.
 - COLD OR HOT HOLDING EQUIPMENT USED FOR POTENTIALLY HAZARDOUS FOOD SHALL BE DESIGNED TO INCLUDE & SHALL BE EQUIPPED WITH AT LEAST ONE INTEGRAL OR PERMANENTLY AFFIXED TEMP. MEASURING DEVICE LOCATED TO ALLOW EASY VIEWING OF TEMP. DISPLAY. THIS DISPLAY MUST HAVE A SCALE, PRINTED RECORD, OR READOUT IN INCREMENTS NO GREATER THAN 2°F OVER INTENDED RANGE OF USE.
 - METAL SPLASHGUARD WITH HEIGHT OF AT LEAST 6" THAT EXTENDS FROM THE BACK OF THE DRAINBOARD TO THE FRONT EDGE OF THE DRAINBOARD OR FULL DEPTH OF SINK FOR HAND SINKS; CORNERS OF BARRIER ARE TO BE ROUNDED.
 - 8" MIN. HIGH STAINLESS STEEL SPLASH GUARD BETWEEN FRYER AND OTHER EQUIPMENT. THE 8" HEIGHT MUST BE MEASURED FROM THE HIGHER OF THE TWO PIECES OF EQUIPMENT.
 - PREP SINK TO HAVE MIN. BOWL SIZE OF 18" X 18" X 12"

- #### TRASH ENCLOSURE NOTES:
- PROPERTY MUST HAVE THE FOLLOWING MINIMUM CONTAINERS FOR TRASH AND ORGANICS:
- (1) 2 CY TRASH BIN
 - (1) 1 CY ORGANICS BIN
- *TRASH AND ORGANICS BINS MUST BE COLLECTED A MINIMUM OF TWICE PER WEEK. *TRASH ENCLOSURE/ROOM SHALL NOT BE USED FOR STORAGE OF ANY KIND AND SHOULD BE LABELED "TRASH ROOM"
- *TALLOW CONTAINERS MAY NOT BE STORED IN THE TRASH ROOM AND WILL BE STORED INSIDE THE RESTAURANT (NEAR BACK EXIT. SEE FLOOR PLAN).
 - IN THE EVENT THE TALLOW BIN MUST BE RELOCATED OUTSIDE, THE TRASH ROOM MUST BE EXPANDED TO ACCOMMODATE THIS PRIOR TO RELOCATION.
 - NO LIQUIDS TO BE DISPOSED OF IN ANY BINS. DRAIN ALL LIQUIDS PRIOR TO PUTTING IN TRASH OR COMPOST BINS.
 - NO BINS TO BE PLACED IN STREET. ALL BINS MUST BE KEPT INSIDE THE TRASH ROOM AT ALL TIMES WITH THE EXCEPTION OF DURING COLLECTION.
 - *DUE TO LACK OF SPACE IN THE (E) TRASH ROOM, NO SEPARATE RECYCLING CONTAINERS WILL BE PROVIDED. RECYCLING WILL BE SORTED OUT OF THE TRASH BY THE SMART18 STATION. THE DOWNTOWN RECYCLING ENCLOSURES ARE NOT AVAILABLE BECAUSE THOSE ARE AT CAPACITY FOR USE BY OLD EXISTING BUSINESSES. CARDBOARD ONLY BINS LOCATED AT THE FRANKLIN STREET/VILLA STREET LOT ARE AVAILABLE FOR USE IF DESIRED.
 - *TRASH ROOM IS A SHARED ROOM WITH UPSTAIRS TENANT. IN THE EVENT THE UNIT IS OCCUPIED, THIS TENANT WILL BE REQUIRED TO STORE THEIR TRASH CART INSIDE THE TRASH ROOM AND SPACE WILL BE PROVIDED TO DO SO.

