

# 500 & 550 Ellis Street

MOUNTAIN VIEW, CA



ADDRESS  
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**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**COVER SHEET**

Date 10/04/2022

Scale 24x36: NTS  
11x17:

Sheet **A0.0**



## PROJECT DESCRIPTION

THIS PROJECT PROPOSES THE CONSTRUCTION OF A 6 STORY, 201 GUEST ROOM HOTEL AND A 2 STORY OFFICE BUILDING ON A 2.16 ACRE SITE. THERE ARE CURRENTLY A TOTAL OF TWO SEPARATE PARCELS. THE PROPOSAL INCLUDES A LOT MERGER TO CREATE ONE PARCEL WHEN COMPLETE. THE PROJECT SCOPE ALSO INCLUDES THE CONSTRUCTION OF NEW CURBS, GUTTERS, AND SIDEWALKS ALONG ELLIS STREET AND NATIONAL AVENUE.

THIS PROJECT FULFILLS THE EMPLOYMENT CHARACTER AREA NORTH TARGET OF 200 HOTEL ROOMS PROPOSED IN THE EAST WHISMAN PRECISE PLAN WITH 201 HOTEL ROOMS. THE PROJECT ALSO PROVIDES 33,900 SF OF THE TARGET 600,000 - 1 MILLION NET NEW OFFICE SQUARE FOOTAGE, AND PROPOSES A 0.18 ACRE (7,790 SF) PUBLIC PASEO IN BETWEEN THE TWO BUILDINGS AS OUTDOOR AMENITY SPACE.

FOR THE HOTEL, LOCATED AT A "KEY CORNER" PER THE PRECISE PLAN, AND THE OFFICE, SHARED PARKING IS ACCESSED FROM NATIONAL AVENUE AND THE REAR DRIVEWAY. AS THE PROJECT IS LOCATED IN THE MEW PLUME SUPERFUND SITE, A MAJORITY OF THE SHARED PARKING IS ABOVE GROUND IN A PARKING LIFT STRUCTURE WITHIN THE HOTEL, CONCEALED FROM PUBLIC VIEW. THE AUTOMATED PARKING SYSTEM REDUCES THE AREA OF THE PROJECT SITE REQUIRED FOR PARKING COMPARED TO TRADITIONAL PARKING STRUCTURES. SOME SURFACE PARKING IS AVAILABLE BEHIND THE OFFICE BUILDING FOR VISITOR AND OVERSIZED VEHICLES. THE HOTEL AND OFFICE LOBBIES AND COMMON AREAS FACE ELLIS STREET ALONG THE GROUND FLOOR, ACTIVATING THE PEDESTRIAN EXPERIENCE.

HOTEL AMENITIES ARE FOR HOTEL GUESTS ONLY AND INCLUDE A FITNESS CENTER, DINING, BAR, MEETING FACILITIES, COURTYARD PATIOS, AND FIFTH FLOOR ROOF DECK.

HOURS OF OPERATION FOR HOTEL: 24 HOURS  
NUMBER OF WORKERS DURING THE DAY: 16 WORKERS

HOURS OF OPERATION FOR OFFICE: 9 HOURS (8 AM - 5 PM)  
NUMBER OF WORKERS DURING THE DAY: 227 WORKERS

## GUESTROOM DATA

FLOOR LEVEL	UNIT TYPE			TOTAL
	KING	DOUBLE QUEEN	SUITE	
SECOND FLOOR	17	16	4	37
THIRD FLOOR	17	16	4	37
FOURTH FLOOR	17	16	4	37
FIFTH FLOOR	30	11	4	45
SIXTH FLOOR	30	11	4	45
<b>TOTAL</b>	<b>111</b>	<b>70</b>	<b>20</b>	<b>201</b>

### GUEST ROOM MIX:

KING STUDIOS: 111 ROOMS (55%)  
DOUBLE QUEEN STUDIOS: 70 ROOMS (35%)  
SUITES: 20 ROOMS (10%)

### ADA ROOMS: (PER CBC 11B-224.2 & 11B-224.4 FOR 201 ROOMS)

MOBILITY FEATURES W/O ROLL-IN SHOWERS: 6 ROOMS  
MOBILITY FEATURES W/ ROLL-IN SHOWERS: 2 ROOMS  
TOTAL GUEST ROOMS W/ MOBILITY FEATURES: 8 ROOMS

COMMUNICATION FEATURES: 14 ROOMS  
ADJOINING ROOMS: 20 ROOMS

CBC 11B-224.1.3 RANGE OF ACCOMMODATIONS:  
ACCESSIBLE GUEST ROOMS OR SUITES SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OR SLEEPING ACCOMMODATIONS TO PROVIDE A RANGE OF OPTIONS APPLICABLE TO ROOM SIZES, COSTS, AND AMENITIES PROVIDED.

## PARKING DATA

### PARKING: HOTEL (ZONING CODE, SEC. 36.32.50)

REQUIRED: 209 SPACES  
(1 PER ROOM + 1 PER 2 EMPLOYEES)  
PROVIDED: 119 SPACES  
NET DIFFERENCE: -90 SPACES

### PARKING: OFFICE (EAST WHISMAN PLAN, TABLE 14)

REQUIRED: 0 SPACES (2.9 SPACES/1,000 SF MAX)  
PROVIDED: 70 SPACES (1.9 SPACES PER 1,000 SF)  
NET DIFFERENCE: +70 SPACES

### TOTAL PARKING PROVIDED:

PARKING LIFT: 173 SPACES  
SURFACE PARKING: 14 SPACES  
TOTAL: 187 SPACES

### ADA PARKING REQUIRED (CBC TABLE 11B-208.2):

VAN ACCESSIBLE SPACE: 1 SPACE  
STANDARD ACCESSIBLE SPACES: 5 SPACES  
TOTAL: 6 SPACES

### CLEAN AIR VEHICLES REQ'D: (CGBC TABLE 5.106.5.2)

16 SPACES

### EV CHARGING SPACES REQ'D: (CGBC TABLE 5.106.5.3.3)

ACCESSIBLE EV (CBC TABLE 11B-228.3.2.1): 10 SPACES  
VAN: 1 SPACE  
STANDARD ACCESSIBLE: 1 SPACE  
AMBULATORY: 0 SPACES

### BICYCLE PARKING REQ'D:

#### OFFICE (EAST WHISMAN PLAN, TABLE 16)

SHORT-TERM: 18 BICYCLES (1 PER 2,000 SF)  
LONG-TERM: 7 BICYCLES\* (1 PER 5,000 SF)  
TOTAL: 25 BICYCLES MIN.

SHOWERS: 1 SHOWER (1 UNISEX / 80,000 SF)

#### HOTEL (CGBC 5.106.4)

SHORT-TERM: 10 BICYCLES (5% OF PARKING)  
LONG-TERM: 10 BICYCLES\* (5% OF PARKING)  
TOTAL: 20 BICYCLES MIN.

\*LONG-TERM BICYCLE PARKING ROOM SHARED BETWEEN THE HOTEL AND OFFICE

## PROJECT DATA

ADDRESS: 500 & 550 ELLIS STREET  
APN: 160-54-025 & 160-54-016 (LOTS 2 & 3)  
SITE AREA: 94,027 SF (2.16 ACRES)  
LOT 2: 40,001 SF (0.92 ACRES)  
LOT 3: 54,026 SF (1.24 ACRES)

SITE COVERAGE:  
EXISTING: 34.8% (32,734 SF/94,027 SF)  
PROPOSED: 51.4% (48,316 SF/94,027 SF)

### FLOOR AREA RATIO (F.A.R.): (EAST WHISMAN PLAN, TABLE 8)

MAXIMUM F.A.R. (NON-RESIDENTIAL)  
ALLOWED BASE: 0.40 (37,611 SF)  
MAXIMUM W/ BONUS: 1.00 (94,027 SF)  
MAXIMUM F.A.R. (HOTEL)  
ALLOWED BASE: 1.00 (94,027 SF)  
MAXIMUM W/ BONUS: HOTEL 2.00 (188,054 SF)  
MAXIMUM W/ BONUS: MIXED-USE HOTEL 2.50 (235,068 SF)

EXISTING:  
LOT 2: 0.37  
LOT 3: 0.33

PROPOSED:  
OFFICE (37,611 SF/94,027 SF) 0.40 = 0.40 (OKAY)  
HOTEL (168,849 SF/94,027 SF) 1.80 < 2.00 (OKAY)  
BONUS HOTEL FAR REQUESTED 0.80 (+74,822 SF)  
MIXED-USE HOTEL + OFFICE 2.20 < 2.50 (OKAY)  
W/ PARKING LIFT STRUCTURE (206,460 SF/94,027 SF)

ZONING: EMPLOYMENT CHARACTER AREA  
SPECIAL FLOOD HAZARD ZONE: FEMA ZONE X - AREA WITH REDUCED FLOOD RISK

### PRECISE PLAN:

USE: EXISTING USE: OFFICE  
PROPOSED USE: HOTEL W/ STRUCTURED PARKING + OFFICE W/ STRUCTURED PARKING

### \*SEE SHEETS A1.0 - A1.2 FOR FULL BUILDING CODE ANALYSIS

TYPE OF CONSTRUCTION: HOTEL: TYPE 1A, TYPE II-B LOWER, TYPE III-A UPPER  
OFFICE: TYPE V-B  
SPRINKLERS: NFPA-13  
OCCUPANCIES: HOTEL: R-1, A-2, B, S-2  
OFFICE: B, S-2

### NUMBER OF STORIES:

EXISTING: 1 STORY  
OFFICE: 2 STORIES  
HOTEL: 6 STORIES

### BUILDING HEIGHT:

ALLOWABLE: 100'-0" (PER EWPP), 85'-0" (PER CBC)  
PROPOSED OFFICE: 45'-0"  
PROPOSED HOTEL: 88'-8" (TOP OF HOTEL TOWER)

### EXISTING FLOOR AREAS:

OFFICE (LOT 2): 14,700 SF  
OFFICE (LOT 3): 18,034 SF  
TOTAL: 32,734 SF

### OVERALL BUILDING AREAS:

OFFICE (LOT 2): 37,611 SF  
HOTEL (LOT 3): 168,849 SF  
TOTAL: 206,460 SF

### LANDSCAPE AREA (EAST WHISMAN PLAN, TABLE 8): SEE DIAGRAM ON SHEET A3.5

REQUIRED: 23,507 SF (25% OF LOT AREA)  
PROPOSED: 28,888 SF (31% OF LOT AREA)

### COMMON USEABLE OPEN AREA (EAST WHISMAN PLAN, TABLE 8): SEE DIAGRAM ON A3.5

REQUIRED: NON-RESIDENTIAL 5,546 SF (150 SF/1,000 SF x 36,970\* SF)  
\*EXCLUDING BACK-OF-HOUSE  
5,668 SF (153 SF/1,000 SF)  
PROPOSED: NON-RESIDENTIAL 5,668 SF (153 SF/1,000 SF)  
REQUIRED: HOTEL 4,020 SF (20 SF/ROOM x 201 ROOMS)  
PROPOSED: HOTEL 4,024 SF (20 SF/ROOM)

### HOTEL BUILDING AREA: (SEE SHEET A1.0 FOR FLOOR AREA DIAGRAMS)

1ST FLOOR:  
HOTEL: 19,593 SF  
PARKING: 8,294 SF  
TOTAL: 27,887 SF

2ND FLOOR:  
HOTEL: 22,718 SF  
PARKING: 10,240 SF  
TOTAL: 32,958 SF

3RD FLOOR:  
HOTEL: 22,718 SF  
PARKING: 10,240 SF  
TOTAL: 32,958 SF

4TH FLOOR:  
HOTEL: 22,718 SF  
PARKING: 10,240 SF  
TOTAL: 32,958 SF

5TH FLOOR: 21,045 SF  
6TH FLOOR: 21,045 SF  
TOTAL: 168,849 SF  
GROSS (PARKING EXCLUDED): 129,835 SF

### OFFICE BUILDING AREA: (SEE SHEET A1.1 FOR FLOOR AREA DIAGRAMS)

1ST FLOOR:  
OFFICE: 17,644 SF  
BIKE PARKING/SHOWER\*: 566 SF\*  
TOTAL: 18,210 SF

2ND FLOOR: 19,967 SF  
TOTAL: 38,177 SF  
GROSS (AREAS MARKED WITH \* EXCLUDED): 37,611 SF

## PROJECT DIRECTORY

### PROJECT APPLICANT

TBA c/o DAN CUNNINGHAM  
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### ARCHITECT

ARRIS STUDIO ARCHITECTS  
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ATTN: THOM JESS  
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EMAIL: TJESS@ARRIS-STUDIO.COM

### ELECTRICAL ENGINEER (PHOTOMETRICS)

JMPE ELECTRICAL  
ATTN: JOHN MALONEY  
PHONE: (805) 569-9216  
EMAIL: MALONEY@JMPE.COM

### LANDSCAPE ARCHITECT

SWA GROUP  
ATTN: RENE BIHAN  
PHONE: (415) 254-4652  
EMAIL: RBIHAN@SWAGROUP.COM

### CIVIL ENGINEER

HOHBACH-LEWIN, INC.  
ATTN: BILL HENN  
PHONE: (650) 617-5930 x263  
EMAIL: BHENN@HOHBACH-LEWIN.COM

## APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA HISTORICAL BUILDING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC) & MOUNTAIN VIEW AMENDMENTS (MVGBC)
- 2019 CALIFORNIA REFERENCE STANDARDS CODE
- NATIONAL FIRE CODE (NFPA)
- LOCAL MUNICIPAL CODE

## CONSTRUCTION STAGING

- CONSTRUCTION STAGING AND TRAFFIC CONTROL PLANS REQUIRED AS PART OF THE BUILDING PERMIT SUBMITTAL.
- PARKING FOR CONSTRUCTION MUST BE PROVIDED ON SITE.

## DEFERRED PERMITS

- FIRE UNDERGROUND SERVICE
- FIRE SPRINKLER SYSTEM
- FIRE SPRINKLER MONITORING/ FIRE ALARM SYSTEM SIGNAGE

## SETBACKS

SETBACKS:  
ACTIVE PRIORITY FRONTAGES: 10', 5' FROM ELLIS ST.  
OTHER FACADES: 15', 10' FROM ELLIS ST.  
MAXIMUM: 20' FROM ELLIS ST.

RIGHT-OF-WAY ENCROACHMENTS:  
MINOR ARCHITECTURAL ELEMENTS, SUCH AS AWNINGS, CANOPIES AND SIGNAGE, MAY ENCROACH INTO THE PUBLIC RIGHT-OF-WAY, SUBJECT TO CITY APPROVAL. THESE ENCROACHMENTS SHALL BE LOCATED AT LEAST 8' ABOVE GRADE.

SETBACK ENCROACHMENTS:  
MAJOR ARCHITECTURAL ELEMENTS, SUCH AS BALCONIES AND BAY WINDOWS, MAY ENCROACH INTO THE FRONT SETBACK AREAS A MAXIMUM OF 5', PROVIDED THE TOTAL AREA OF ALL ELEMENTS DOES NOT EXCEED 35% OF THE BUILDING FACADE AREA.

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CIVIL: 10  
TOTAL: 106

## VICINITY MAP

### PROJECT SITE



ADDRESS  
1327 ARCHER STREET, STE. 220  
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STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

500 & 550 ELLIS ST.

MOUNTAIN VIEW, CA

PROJECT DATA

Date 10/04/2022

Scale 24x36: 1/1x17: Sheet

A0.1



**AT A GLANCE...**

MOUNTAIN VIEW IS ONE OF THE MAJOR CITIES THAT MAKE UP SILICON VALLEY, A REGION NOTED FOR HIGH TECHNOLOGY AS THE FOUNDATION OF THE LOCAL ECONOMY. BUSINESS PARKS ALONG HIGHWAY 101 ARE HOME TO LARGE TECHNOLOGY COMPANIES SUCH AS GOOGLE, NASA, SYMANTEC, LINKEDIN, SAMSUNG, AND MORE.

← TO PALO ALTO

PRIVATE RESIDENTIAL NEIGHBORHOODS

VIEWS TOWARDS NATURE STUDY AREA PRESERVE

MOFFETT FEDERAL HISTORICAL SOCIETY MUSEUM

MOFFETT FEDERAL AIRFIELD

NATIONAL GUARD AIR BASE

PROJECT SITE

BAYSHORE/NASA VTA STATION

GOOGLE FAIRCHILD CAMPUS

HWY 101 / BAYSHORE FREEWAY

10 MIN - 0.5 MILES

SOBRATO / 600 ELLIS

CAFE

FAIRCHILD DRIVE

→ TO SANTA CLARA

CORPORATE OFFICES AND HEADQUARTERS

DIDI LABS

KEY CORNER PER PRECISE PLAN

SAMSUNG

WIPRO TECH

APTIV LABS

EIGHTFOLD.AI

GOOGLE

WESTERN DIGITAL

HITACHI

CORPORATE OFFICES AND HEADQUARTERS

GOOGLE BUILDING QUAD 1

GOOGLE

6 MIN - 0.3 MILES

SYMANTEC

**LEGEND**

\*SEE PROPOSED STREET NETWORK ON SHEET A0.2

- VTA LIGHT RAIL LINE
- AVENUES/ MAJOR STREETS
- - - - - GREENWAY/ MULTIUSE PATH
- PROPOSED PASEO
- - - - - DEDICATED BIKE LANES
- - - - - WALKING DISTANCE TO BUS STOP
-  BUS STOP

ELLIS STREET: ACTIVE, MULTI-LANE STREET HEAVILY TRAFFICKED BY CARS COMING TO/FROM FREEWAY

TO MIDDLEFIELD STATION



	ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA <b>DESIGN EXCELLENCE STRATEGY</b>	Date 10/04/2022
	CONTACT 805.547.2240 ARRIS-STUDIO.COM		Scale 24x36: 1"=17' Sheet
THOMAS E. JESS ARCHITECT (CA) #C27048 STEPHEN A. RIGOR ARCHITECT (CA) #C33672		<b>A0.5</b>	



TYPICAL WALL FOLLOWS  
BASE-MIDDLE-TOP TYPOLOGY

ACCENT CORNICE

CORNER FEATURE ELEMENT  
WITH INCREASED  
TRANSPARENCY

GLAZING CONTRASTED  
BY EXTRUDED MASS



331 FAIRCHILD DRIVE



640 NATIONAL AVENUE



600 ELLIS STREET (FUTURE DEVELOPMENT)

SECONDARY WALL FOLLOWS  
BASE-MIDDLE-TOP TYPOLOGY

PROJECTED FLOOR PLATES & CORNICES  
BREAK UP WALL PLANES

HIGH TRANSPARENCY FOR ACTIVE USES

## DESIGN EXCELLENCE STRATEGY - NEIGHBORHOOD INSPIRATION



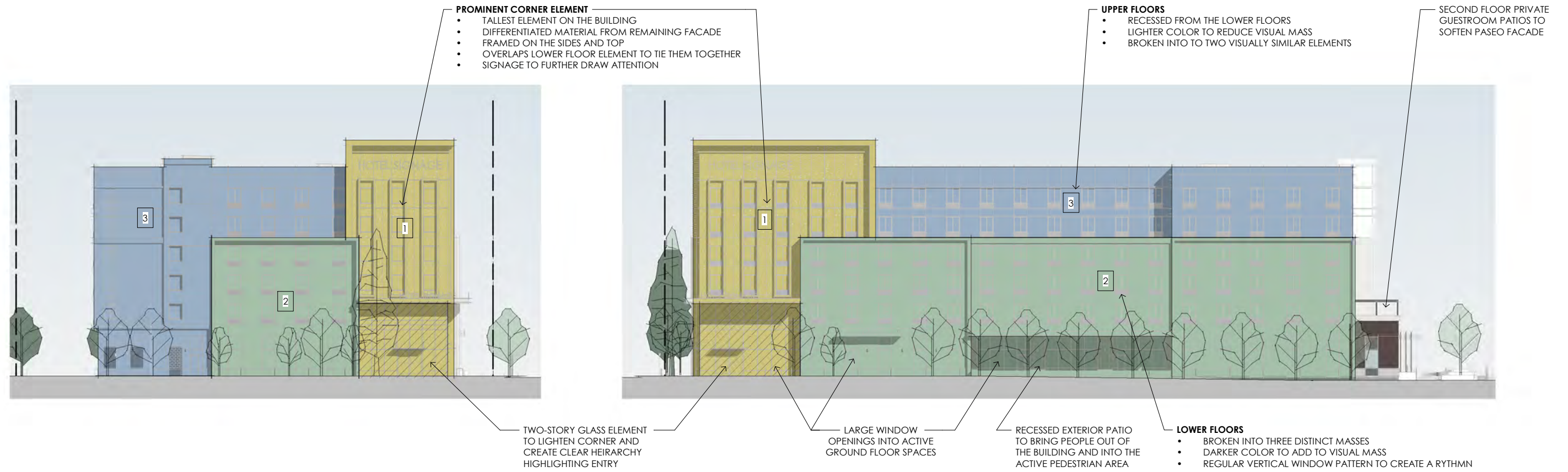
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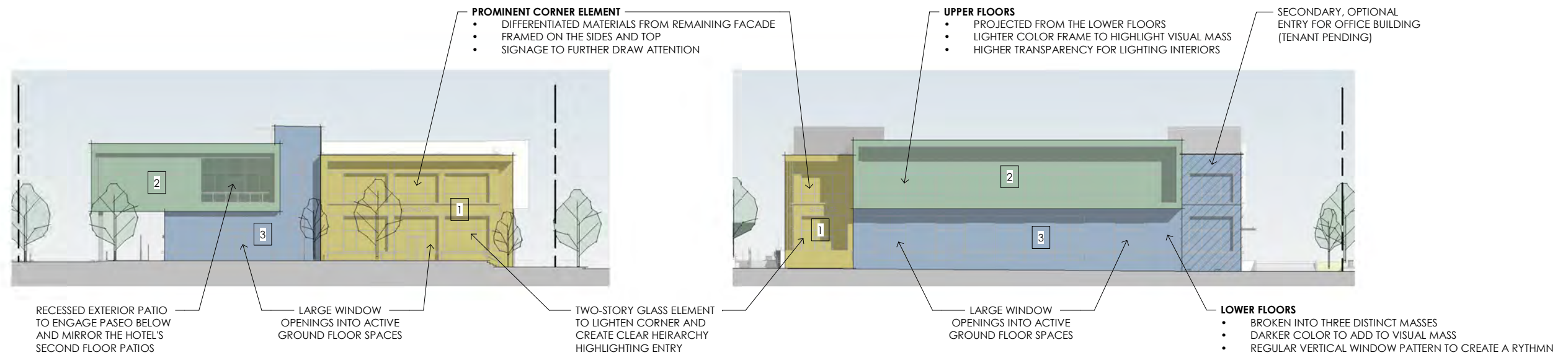
**A0.7**





**HOTEL - SOUTH ELEVATION (FACING NATIONAL AVE.)**

**HOTEL - EAST ELEVATION (FACING ELLIS STREET)**



**OFFICE - SOUTH ELEVATION (FACING PASEO)**

**OFFICE - EAST ELEVATION (FACING ELLIS STREET)**

**DESIGN EXCELLENCE STRATEGY - MASSING HIERARCHY**



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MOUNTAIN VIEW, CA

**DESIGN EXCELLENCE STRATEGY**

Date 10/04/2022  
Scale 24x36: 1"=20'  
11x17: 1"=40'  
Sheet **A0.8**





**STREET WALL & FACING ELLIS:**

THE HOTEL AND OFFICE USE PROJECTED ROOFS OR AWNINGS TO BREAK THE STREET WALL'S VERTICAL PLANE AND REDUCE THE VISUAL MASSING TO A HUMAN SCALE. THE GROUND FLOOR IS TALL TO PROVIDE NATURAL LIGHT AND HIGH CEILINGS WITHIN THE HOTEL AND OFFICE.

**OPEN SPACE & LANDSCAPE:**

THE PROJECT SITE FEATURES SEVERAL HERITAGE TREES THAT ARE PROPOSED TO BE PRESERVED AS FOCAL POINTS AT HOTEL ENTRIES AND COURTYARDS. MULTIPLE OUTDOOR SPACES OF VARYING LEVELS OF PRIVACY AND ACTIVITY ARE PROVIDED AT GROUND FLOOR PATIOS AND THE PUBLIC PASEO, AND, AT THE OFFICE'S SECOND FLOOR PATIO OVERLOOKING THE PASEO. THESE AREAS GIVE BUILDING USERS AND MEMBERS OF THE PUBLIC OPPORTUNITIES FOR RECREATIONAL, SOCIAL, AND RELAXING EXPERIENCES.

**VISIBILITY & CONNECTION:**

BOTH THE HOTEL AND OFFICE FEATURE LARGE SPANS OF GLAZING TO REVEAL INTERNAL ACTIVITY TO PEDESTRIANS AND ACTIVATE THE STREET. STOREFRONT AND GLAZING SYSTEMS ARE CONTRASTED BY SOLID, TEXTURED WALLS TO PROVIDE PRIVACY AND VISUAL INTEREST AS NEEDED.

**UPPER LEVEL STEP BACKS TO REDUCE VISUAL MASSING**

**VARIATION IN HIGH QUALITY WALL TEXTURES AND NATURAL COLORS FOR VISUAL INTEREST**

**STOREFRONT WITH TRANSPARENT AND OPAQUE PANEL ARTICULATION TO BREAK UP THE WALL PLANE**

**EXTRUDED MASS FRAME WITH GLAZING INFILL**



**CORNER FEATURE ELEMENT WITH HIGHER QUALITY MATERIALS, PROJECTED AWNINGS & TOWER ROOF**

**TEXTURED WALL PANELS**

**PROJECTED AWNINGS TO REDUCE SOLAR HEAT GAIN AND DEMARCAT EENTRIES**

**HIGH TRANSPARENCY AT GROUND FLOOR ACTIVE USES**

**KEY CORNER & LANDMARK:**

IDENTIFIED AS A KEY CORNER LOCATION IN THE SPECIFIC PLAN, THE HOTEL IS MORE MONUMENTAL IN SCALE COMPARED TO THE PROPOSED OFFICE AND MOST SURROUNDING BUILDINGS. AT SIX STORIES, THE HOTEL COMPLEMENTS THE SIX-STORY DEVELOPMENT PROPOSED AT 600 ELLIS. INCREASED MATERIAL ARTICULATION AND TRANSPARENCY AT THE CORNER OF NATIONAL AND ELLIS PROVIDE A KEYSTONE FROM WHICH THE REST OF THE HOTEL MASSING SPREADS, APPEARING AS THE "LANTERN" GREETING VISITORS AND LOCALS DRIVING DOWN ELLIS STREET.

**DESIGN EXCELLENCE STRATEGY - DESIGN DRIVERS**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.547.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**DESIGN EXCELLENCE STRATEGY**

Date 10/04/2022  
Scale 24x36:  
1:1x17:  
Sheet **A0.9**



CONTEXTUAL SITE PHOTOS - LOT 2 (OFFICE)



(A) VIEW FROM ELLIS ST. (LOOKING NORTHWEST)



(B) VIEW FROM CORNER OF ELLIS ST. (LOOKING SOUTHWEST)



**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**CONTEXTUAL SITE PHOTOS**

Date 10/04/2022  
Scale 24x36:  
11x17:  
Sheet

**A1.5**



CONTEXTUAL SITE PHOTOS - LOT 3 (HOTEL)



© VIEW FROM NATIONAL AVE. (LOOKING NORTHEAST)



© VIEW FROM CORNER OF ELLIS ST. & NATIONAL AVE. (LOOKING NORTH)



© VIEW FROM ELLIS ST. (LOOKING SOUTHWEST)









**VIEW OF HOTEL FROM ELLIS STREET & NATIONAL AVENUE**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**PERSPECTIVES**

Date 10/04/2022  
Scale 24x36: NTS  
11x17:  
Sheet  
**A2.0**





**VIEW OF HOTEL FROM ELLIS STREET (SOUTHWEST)**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**PERSPECTIVES**

Date 10/04/2022  
Scale 24x36: NTS  
Sheet 11x17:

**A2.1**





**VIEW OF OFFICE FROM ELLIS STREET (NORTHEAST)**



**ARRIS**  
 STUDIO ARCHITECTS  
 ADDRESS  
 1327 ARCHER STREET, STE. 220  
 SAN LUIS OBISPO, CA 93401  
 CONTACT  
 805.847.2240  
 ARRIS-STUDIO.COM  
 THOMAS E. JESS  
 ARCHITECT (CA) #C27048  
 STEPHEN A. RIGOR  
 ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
 MOUNTAIN VIEW, CA  
**PERSPECTIVES**

Date 10/04/2022  
 Scale 24x36:  
 11x17:  
 Sheet  
**A2.2**





**VIEW OF PASEO FROM ELLIS STREET (SOUTH)**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.547.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**

MOUNTAIN VIEW, CA

**PERSPECTIVES**

Date 10/04/2022

Scale 24x36:

11x17:

Sheet

**A2.3**





**VIEW OF PASEO FROM REAR DRIVEWAY (NORTH)**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**PERSPECTIVES**

Date 10/04/2022  
Scale 24x36:  
11x17:  
Sheet  
**A2.4**





**ELLIS STREET & NATIONAL AVENUE - EXISTING**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.547.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**BEFORE & AFTER  
RENDERINGS**

Date 10/04/2022  
Scale 24x36: NTS  
Sheet 11x17:  
**A2.5**





**ELLIS STREET & NATIONAL AVENUE - PROPOSED**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS #C27048  
ARCHITECT (CA)  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**BEFORE & AFTER  
RENDERINGS**

Date 10/04/2022  
Scale 24x36: NTS  
11x17:  
Sheet  
**A2.6**





**NATIONAL AVENUE - EXISTING**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**BEFORE & AFTER  
RENDERINGS**

Date 10/04/2022  
Scale 24x36: NTS  
11x17:  
Sheet

**A2.7**





**NATIONAL AVENUE - PROPOSED**

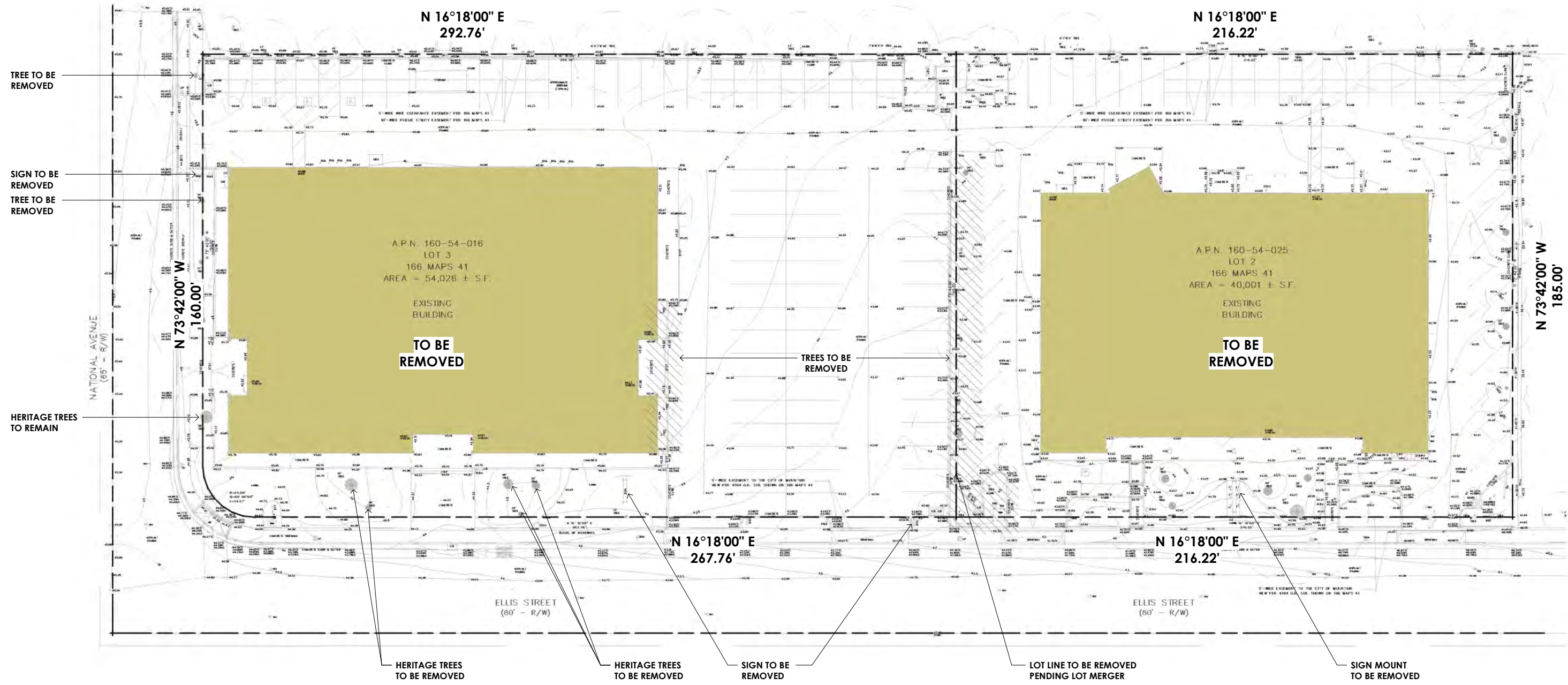


ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

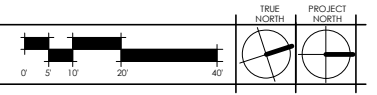
**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**BEFORE & AFTER  
RENDERINGS**

Date 10/04/2022  
Scale 24x36: NTS  
11x17:  
Sheet  
**A2.8**





**EXISTING ARCHITECTURAL SITE PLAN**



**ARRIS**  
 STUDIO ARCHITECTS

ADDRESS  
 1327 ARCHER STREET, STE. 220  
 SAN LUIS OBISPO, CA 93401

CONTACT  
 805.547.2240  
 ARRIS-STUDIO.COM

THOMAS E. JESS  
 ARCHITECTICAL #C27048  
 STEPHEN A. RIGOR  
 ARCHITECT (CA) #C33672

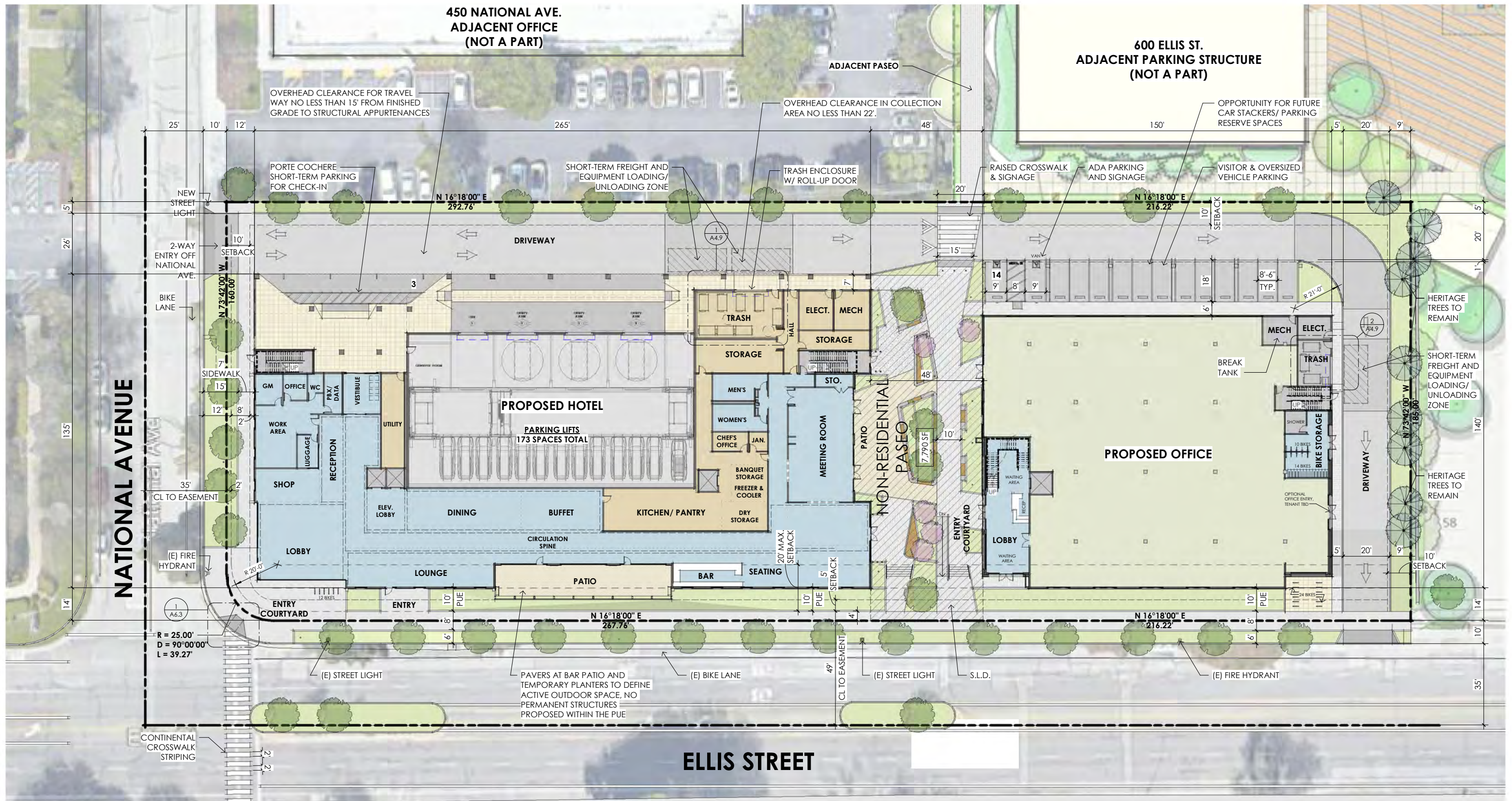
**500 & 550 ELLIS ST.**  
 MOUNTAIN VIEW, CA

**EXISTING SITE PLAN**

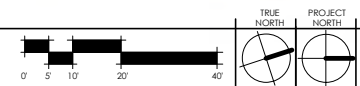
Date 10/04/2022  
 Scale 24x36: 1"=20'  
 11x17: 1"=40'  
 Sheet

**A3.0**





**PROPOSED ARCHITECTURAL SITE & FIRST FLOOR PLAN**



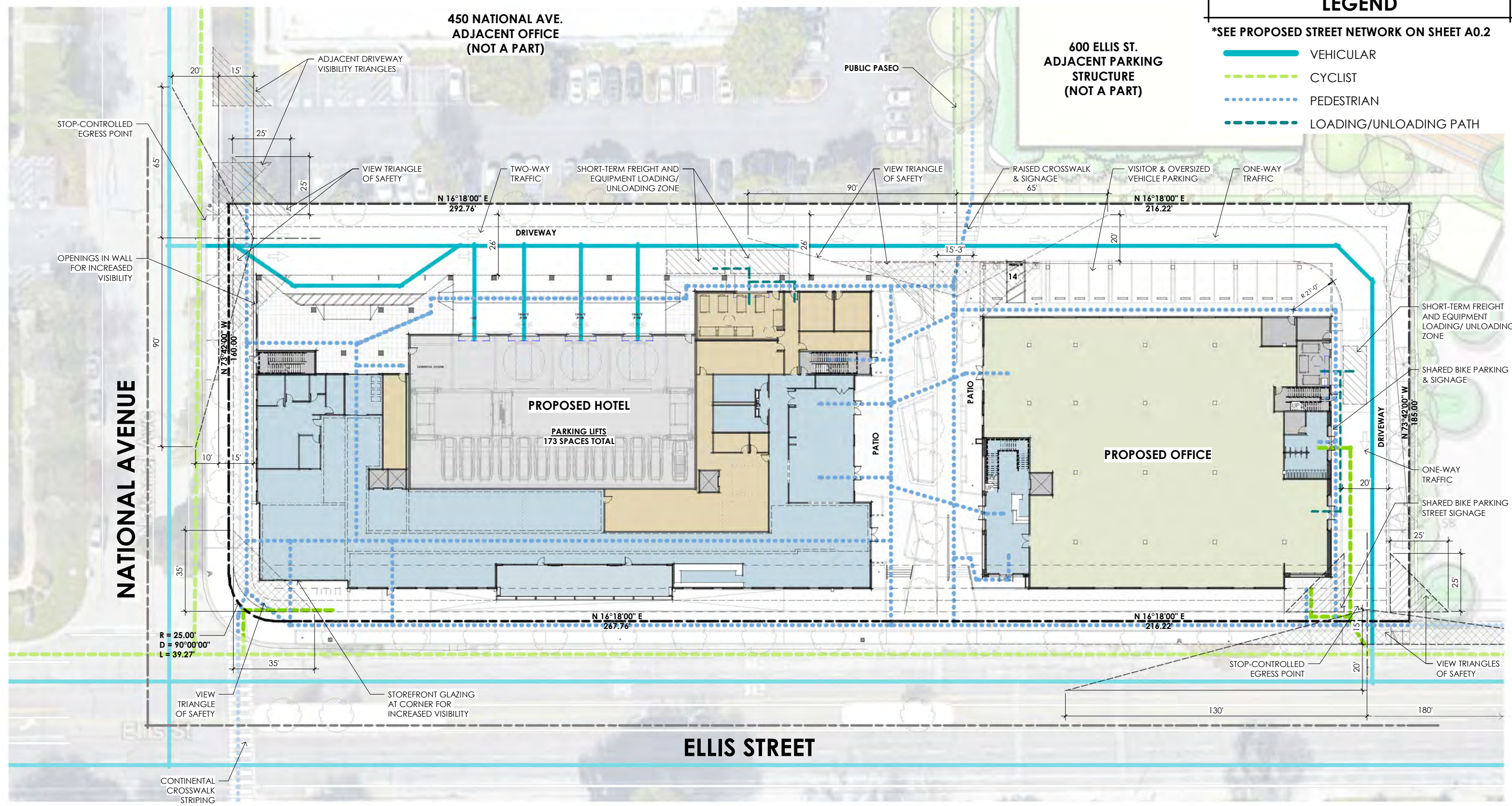
	<p>ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401</p>	<p><b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA</p> <p><b>ARCHITECTURAL SITE &amp; FIRST FLOOR PLAN</b></p>	<p>Date 10/04/2022</p>
	<p>CONTACT 805.547.2240 ARRIS-STUDIO.COM</p>		<p>Scale 24x36: 1"=20' 11x17: 1"=40' Sheet</p>
	<p>THOMAS E. JESS ARCHITECT (CAL) #C27048</p>		<p><b>A3.1</b></p>
	<p>STEPHEN A. RIGOR ARCHITECT (CA) #C33672</p>		



**LEGEND**

\*SEE PROPOSED STREET NETWORK ON SHEET A0.2

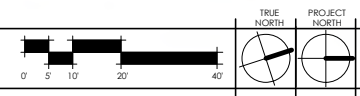
- VEHICULAR
- - - CYCLIST
- · · PEDESTRIAN
- · - LOADING/UNLOADING PATH




**NATIONAL AVENUE**

**ELLIS STREET**

**CIRCULATION DIAGRAM**



	ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA	Date 10/04/2022
	CONTACT 805.847.2240 ARRIS-STUDIO.COM	<b>CIRCULATION DIAGRAM</b>	Scale 24x36: 1"=20' 11x17: 1"=40' Sheet
THOMAS E. JESS ARCHITECT (CAL) #C27048 STEPHEN A. RIGOR ARCHITECT (CA) #C33672			<b>A3.3</b>



# OPEN SPACE DATA

LANDSCAPE AREA	SOFTSCAPE SF	HARDSCAPE SF	TOTAL SF
GROUND FLOOR	16,066	28,878	44,944
SECOND FLOOR (OFFICE)	0	660	660
<b>TOTAL LANDSCAPE AREA</b>	<b>16,066</b>	<b>30,053</b>	<b>46,119</b>

**COMMON USEABLE OPEN AREA REQUIRED:**

**(EAST WHISMAN PLAN, TABLE 8):**

REQUIRED: NON-RESIDENTIAL	5,546 SF (150 SF/1,000 SF x 36,970* SF)
	*EXCLUDING BACK-OF-HOUSE
PROPOSED: NON-RESIDENTIAL	5,668 SF (153 SF/1,000 SF)
REQUIRED: HOTEL	4,020 SF (20 SF/ROOM x 201 ROOMS)
PROPOSED: HOTEL	4,024 SF (20 SF/ROOM)

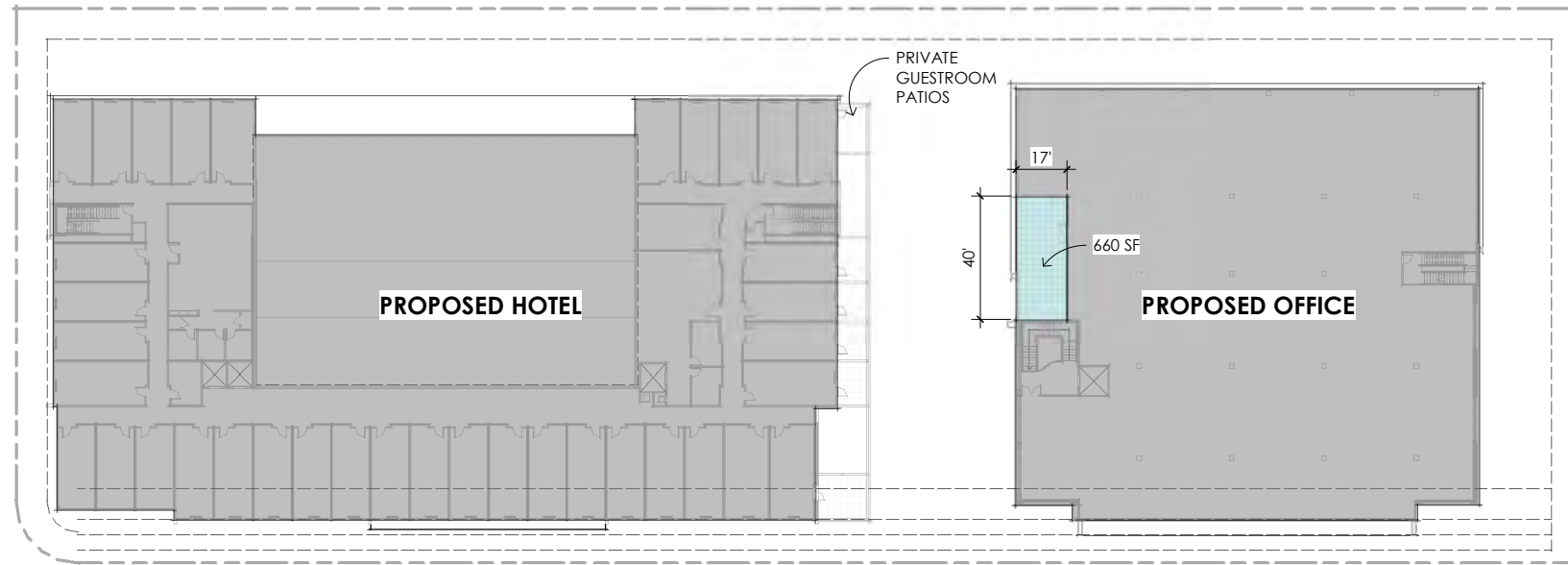
**COMMON USEABLE OPEN AREA PROVIDED:**

<b>NON-RESIDENTIAL</b>	
GROUND FLR	5,008 SF
SECOND FLR	660 SF
<b>TOTAL</b>	<b>5,668 SF (150 SF/1,000 SF)</b>

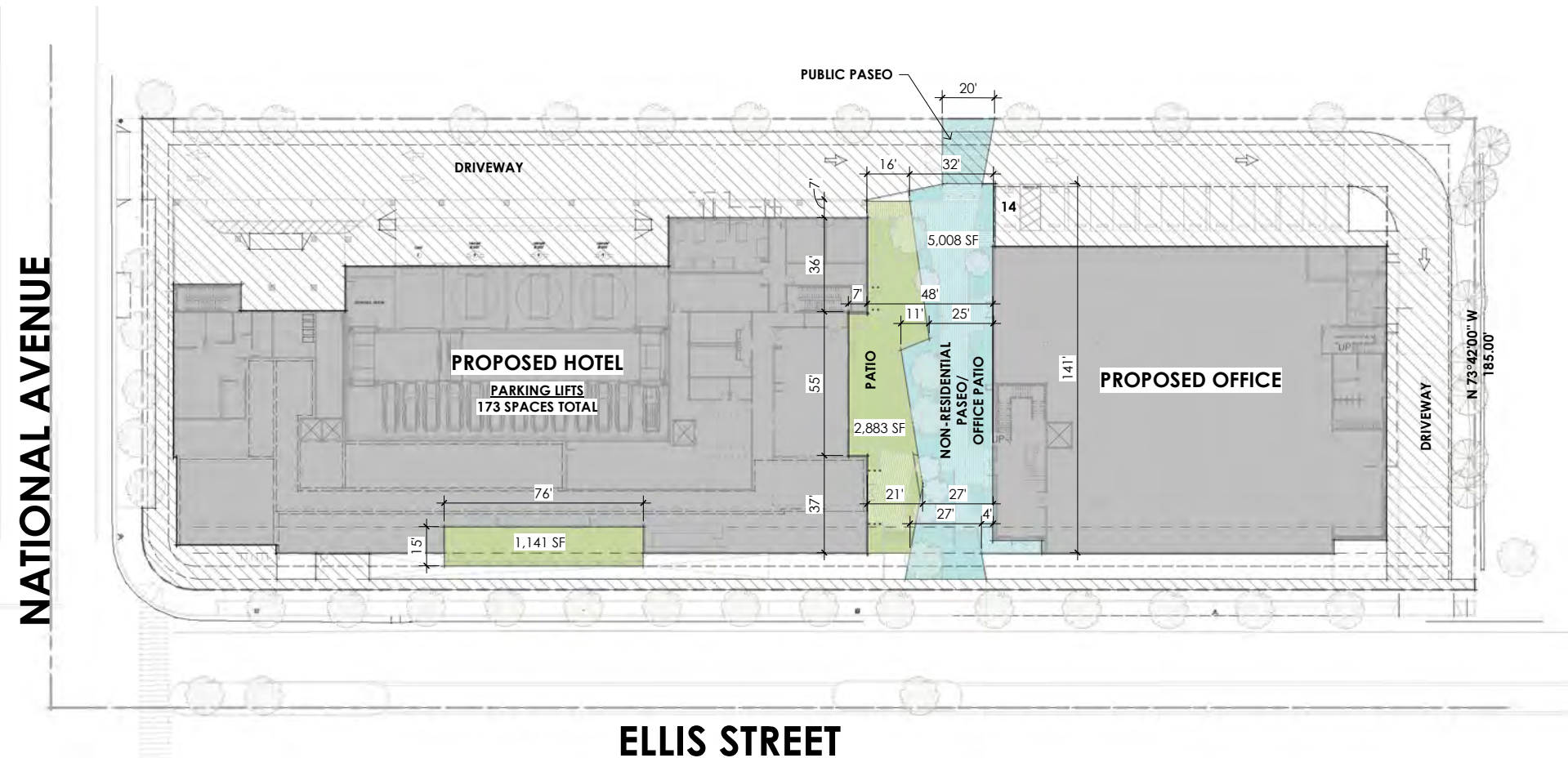
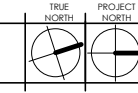
<b>HOTEL</b>	
GROUND FLR	4,024 SF (20 SF/ROOM)

**PAVED AREA:**

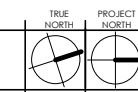
<b>PAVEMENT</b>	
SITE COVERAGE	30% (28,580 SF/94,027 SF)



**OPEN SPACE DIAGRAM - SECOND FLOOR**



**OPEN SPACE DIAGRAM - FIRST FLOOR**



**ARRIS**  
STUDIO ARCHITECTS

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SAN LUIS OBISPO, CA 93401

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THOMAS E. JESS  
ARCHITECT (CAL) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**OPEN SPACE DIAGRAM**

Date: 10/04/2022  
Scale: 24x36: 1"=30'  
11x17: 1"=60'  
Sheet: **A3.5**



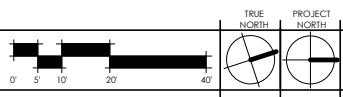
# GUESTROOM DATA

FLOOR LEVEL	UNIT TYPE			TOTAL
	KING	DOUBLE QUEEN	SUITE	
SECOND FLOOR	17	16	4	37
THIRD FLOOR	17	16	4	37
FOURTH FLOOR	17	16	4	37
FIFTH FLOOR	30	11	4	45
SIXTH FLOOR	30	11	4	45
<b>TOTAL</b>	<b>111</b>	<b>70</b>	<b>20</b>	<b>201</b>

**GUEST ROOM MIX:**  
 KING STUDIOS: 111 ROOMS (55%)  
 DOUBLE QUEEN STUDIOS: 70 ROOMS (35%)  
 SUITES: 20 ROOMS (10%)



## SECOND FLOOR PLAN



**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**SECOND FLOOR PLAN**

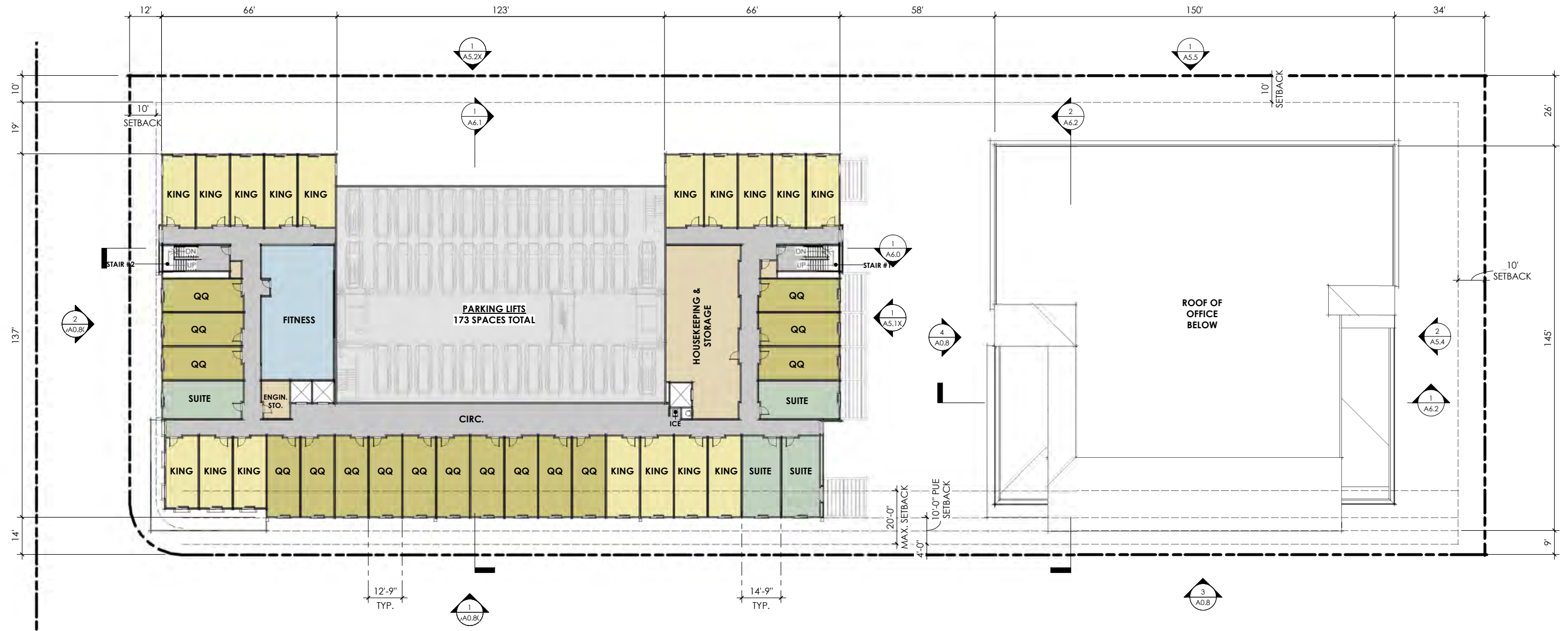
Date: 10/04/2022  
 Scale: 24x36: 1"=20'  
 11x17: 1"=40'  
 Sheet: **A4.2**



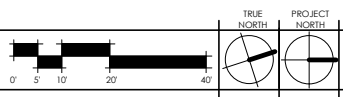
# GUESTROOM DATA

FLOOR LEVEL	UNIT TYPE			TOTAL
	KING	DOUBLE QUEEN	SUITE	
SECOND FLOOR	17	16	4	37
THIRD FLOOR	17	16	4	37
FOURTH FLOOR	17	16	4	37
FIFTH FLOOR	30	11	4	45
SIXTH FLOOR	30	11	4	45
<b>TOTAL</b>	<b>111</b>	<b>70</b>	<b>20</b>	<b>201</b>

**GUEST ROOM MIX:**  
 KING STUDIOS: 111 ROOMS (55%)  
 DOUBLE QUEEN STUDIOS: 70 ROOMS (35%)  
 SUITES: 20 ROOMS (10%)



## L03-PROPOSED-THIRD FLOOR



**ARRIS**  
 STUDIO ARCHITECTS

ADDRESS  
 1327 ARCHER STREET, STE. 220  
 SAN LUIS OBISPO, CA 93401

CONTACT  
 805.547.2240  
 ARRIS-STUDIO.COM

THOMAS E. JESS  
 ARCHITECT (CAL) #C27048  
 STEPHEN A. RIGOR  
 ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
 MOUNTAIN VIEW, CA

**THIRD FLOOR PLAN**

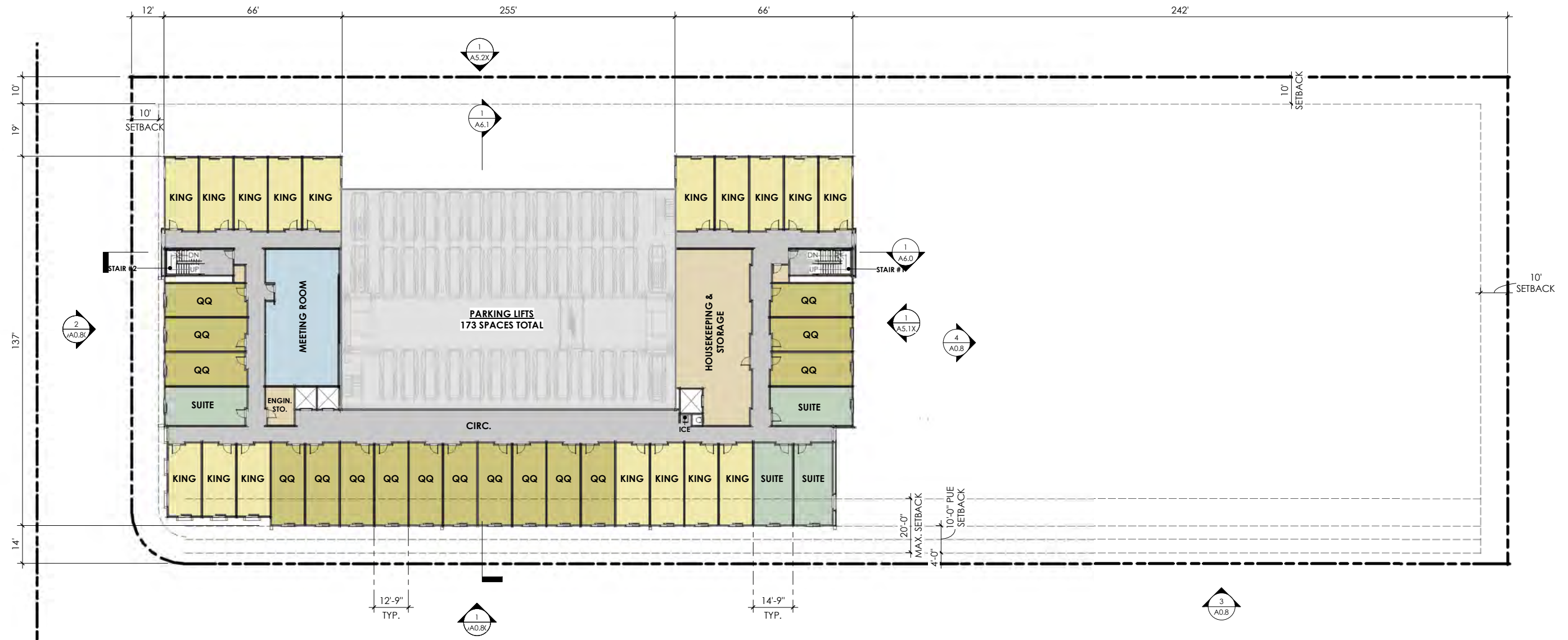
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 11x17: 1"=40'  
 Sheet: **A4.3**



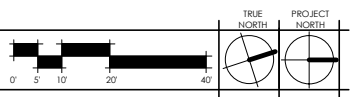
# GUESTROOM DATA

FLOOR LEVEL	UNIT TYPE			TOTAL
	KING	DOUBLE QUEEN	SUITE	
SECOND FLOOR	17	16	4	37
THIRD FLOOR	17	16	4	37
FOURTH FLOOR	17	16	4	37
FIFTH FLOOR	30	11	4	45
SIXTH FLOOR	30	11	4	45
<b>TOTAL</b>	<b>111</b>	<b>70</b>	<b>20</b>	<b>201</b>

**GUEST ROOM MIX:**  
 KING STUDIOS: 111 ROOMS (55%)  
 DOUBLE QUEEN STUDIOS: 70 ROOMS (35%)  
 SUITES: 20 ROOMS (10%)



## FOURTH FLOOR PLAN



**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS  
ARCHITECT (CAL) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**FOURTH FLOOR PLAN**

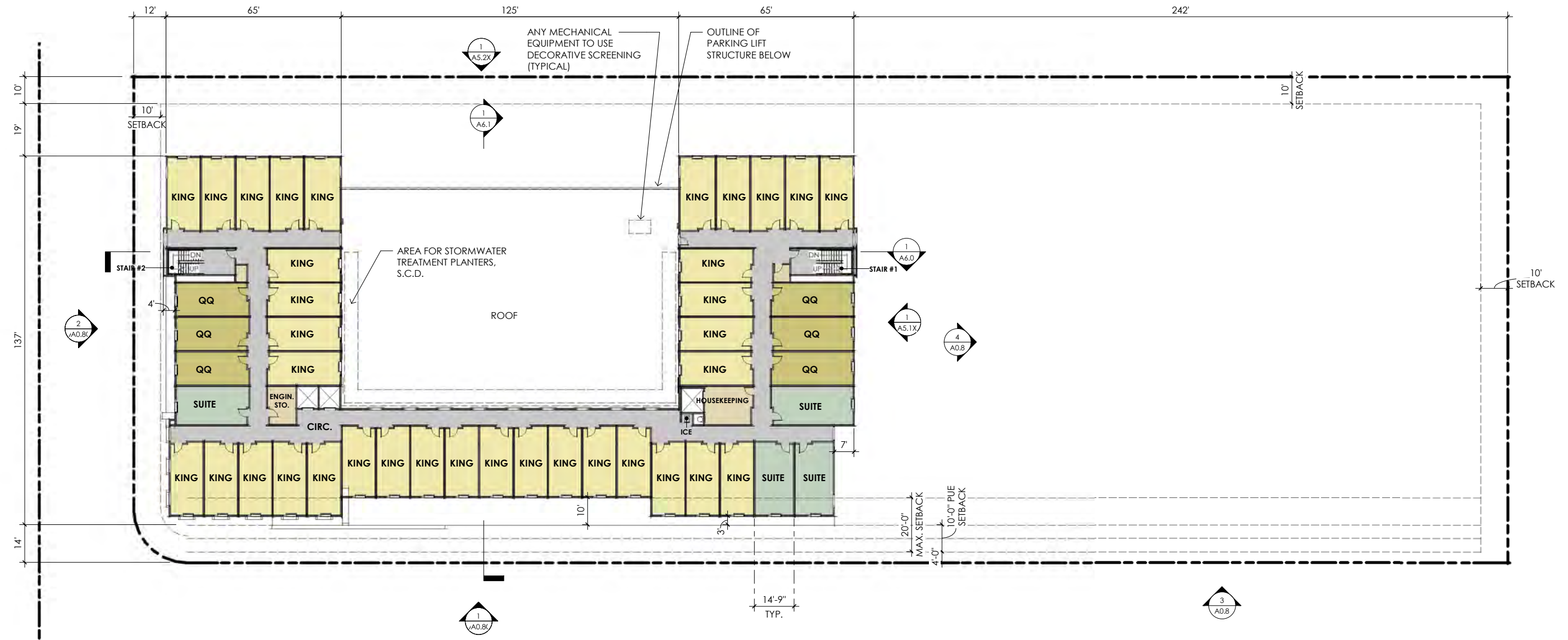
Date: 10/04/2022  
 Scale: 24x36: 1"=20'  
 11x17: 1"=40'  
 Sheet: **A4.4**



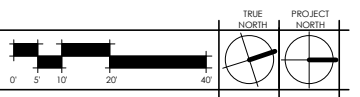
# GUESTROOM DATA

FLOOR LEVEL	UNIT TYPE			TOTAL
	KING	DOUBLE QUEEN	SUITE	
SECOND FLOOR	17	16	4	37
THIRD FLOOR	17	16	4	37
FOURTH FLOOR	17	16	4	37
FIFTH FLOOR	30	11	4	45
SIXTH FLOOR	30	11	4	45
<b>TOTAL</b>	<b>111</b>	<b>70</b>	<b>20</b>	<b>201</b>

**GUEST ROOM MIX:**  
 KING STUDIOS: 111 ROOMS (55%)  
 DOUBLE QUEEN STUDIOS: 70 ROOMS (35%)  
 SUITES: 20 ROOMS (10%)



## FIFTH FLOOR PLAN



**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**FIFTH FLOOR PLAN**

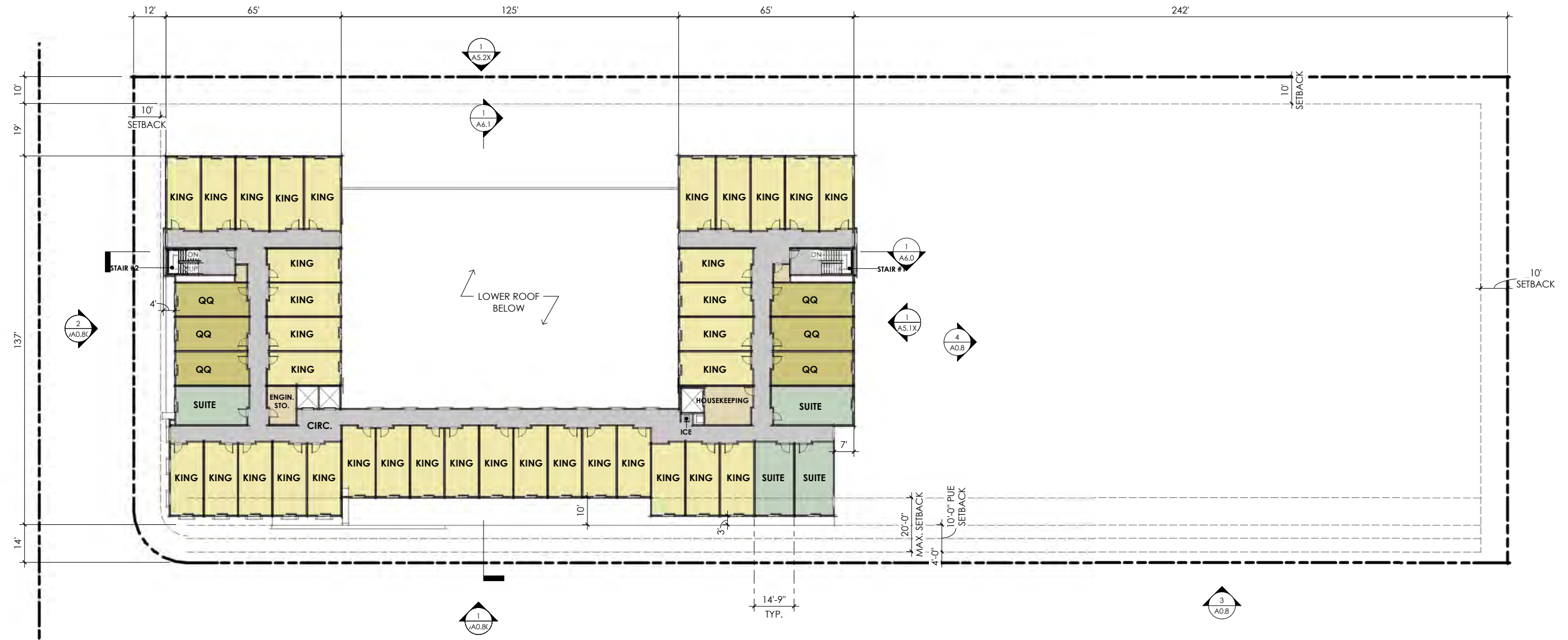
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 Sheet: **A4.5**



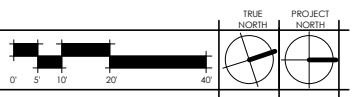
# GUESTROOM DATA

FLOOR LEVEL	UNIT TYPE			TOTAL
	KING	DOUBLE QUEEN	SUITE	
SECOND FLOOR	17	16	4	37
THIRD FLOOR	17	16	4	37
FOURTH FLOOR	17	16	4	37
FIFTH FLOOR	30	11	4	45
SIXTH FLOOR	30	11	4	45
<b>TOTAL</b>	<b>111</b>	<b>70</b>	<b>20</b>	<b>201</b>

**GUEST ROOM MIX:**  
 KING STUDIOS: 111 ROOMS (55%)  
 DOUBLE QUEEN STUDIOS: 70 ROOMS (35%)  
 SUITES: 20 ROOMS (10%)



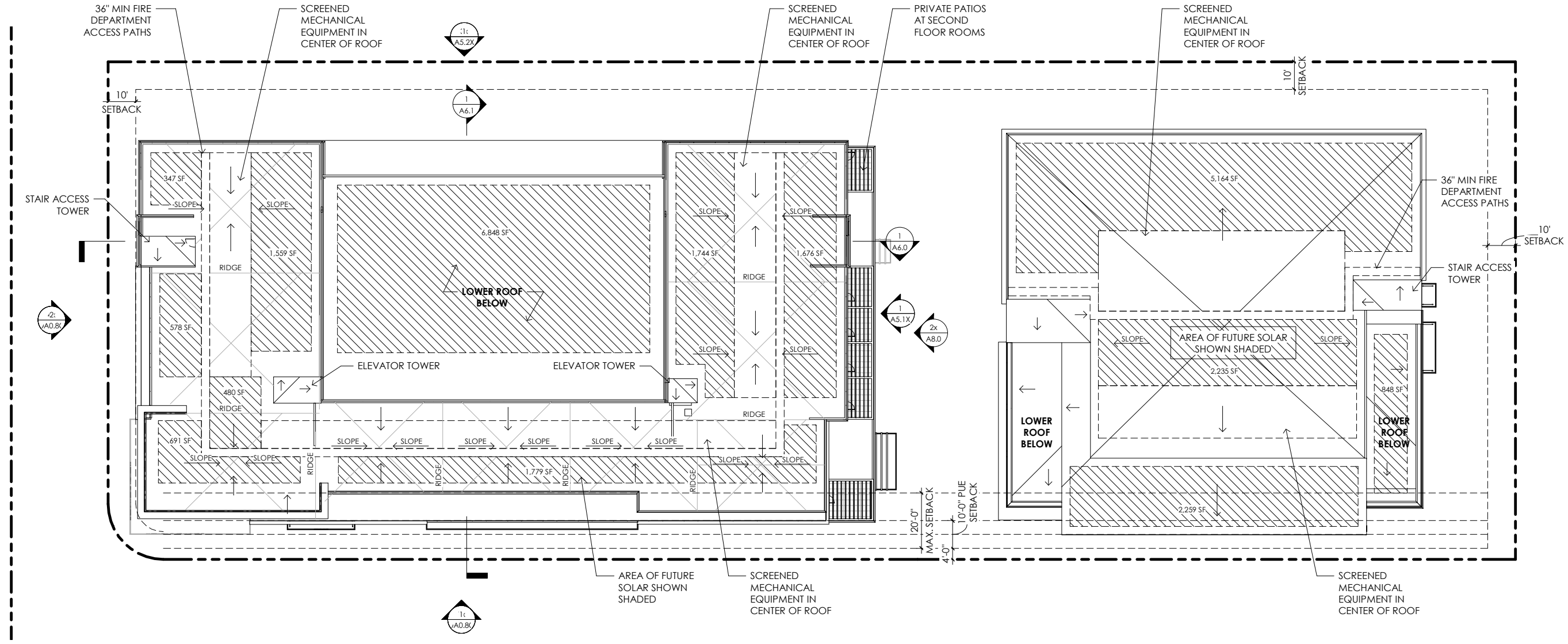
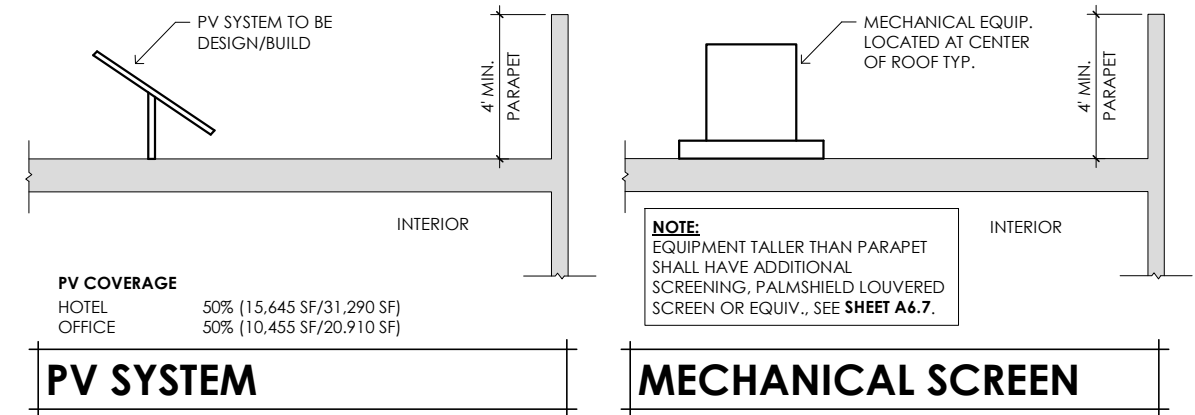
## SIXTH FLOOR PLAN



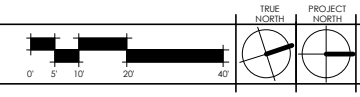
	ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA  <b>SIXTH FLOOR PLAN</b>	Date 10/04/2022
	CONTACT 805.547.2240 ARRIS-STUDIO.COM		Scale 24x36: 1"=20' 11x17: 1"=40' Sheet <b>A4.6</b>



**NOTE:**  
ROOFTOP MECHANICAL UNITS AND PV SYSTEM ARE SCREENED BY 4 MIN. FOOT PARAPET  
SEE PARAPET DIAGRAM ON THIS SHEET AND LINE OF SIGHT STUDY ON SHEET A6.1 & A6.2



**ROOF PLAN**



	ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA	Date 10/04/2022
	CONTACT 805.847.2240 ARRIS-STUDIO.COM		
THOMAS E. JESS ARCHITECT (CAL) #C27048 STEPHEN A. RIGOR ARCHITECT (CA) #C33672		<b>ROOF PLAN</b>	Scale 24x36: 1"=20' 11x17: 1"=40' Sheet <b>A4.7</b>





**HOTEL - EAST ELEVATION (FACING ELLIS STREET)**

**AVERAGE ELLIS - STREET WALL HEIGHT CALCULATION**

MAX. AVERAGE STREET WALL HEIGHT 65'  
 \*NOTE: BUILDING WALLS WITHIN 50' OF KEY CORNERS ARE EXEMPT FROM THIS REQUIREMENT PER MOUNTAIN VIEW - EAST WHISMAN PRECISE PLAN, 3.5 EMPLOYMENT CHARACTER AREA STANDARDS

**HOTEL:**

TOTAL ELLIS STREET FRONTAGE\* = 197'  
 STREET WALL HEIGHT = 52'

**OFFICE:**

TOTAL ELLIS STREET FRONTAGE = 20' + 110' + 20' = 150'  
 % OF FRONTAGE @ 36' HEIGHT 40' / 150' = 0.27 (27%)  
 % OF FRONTAGE @ 40' HEIGHT 110' / 150' = 0.73 (73%)  
 AVERAGE = (0.27 X 36') + (0.73 X 40') = 38.9 OR 39'

**ELLIS - STREET WALL CALC.**

**ARRIS**  
 STUDIO ARCHITECTS

ADDRESS  
 1327 ARCHER STREET, STE. 220  
 SAN LUIS OBISPO, CA 93401

CONTACT  
 805.847.2240  
 ARRIS-STUDIO.COM

THOMAS E. JESS  
 ARCHITECT (CAL) #C27048  
 STEPHEN A. RIGOR  
 ARCHITECT (CA) #C33672

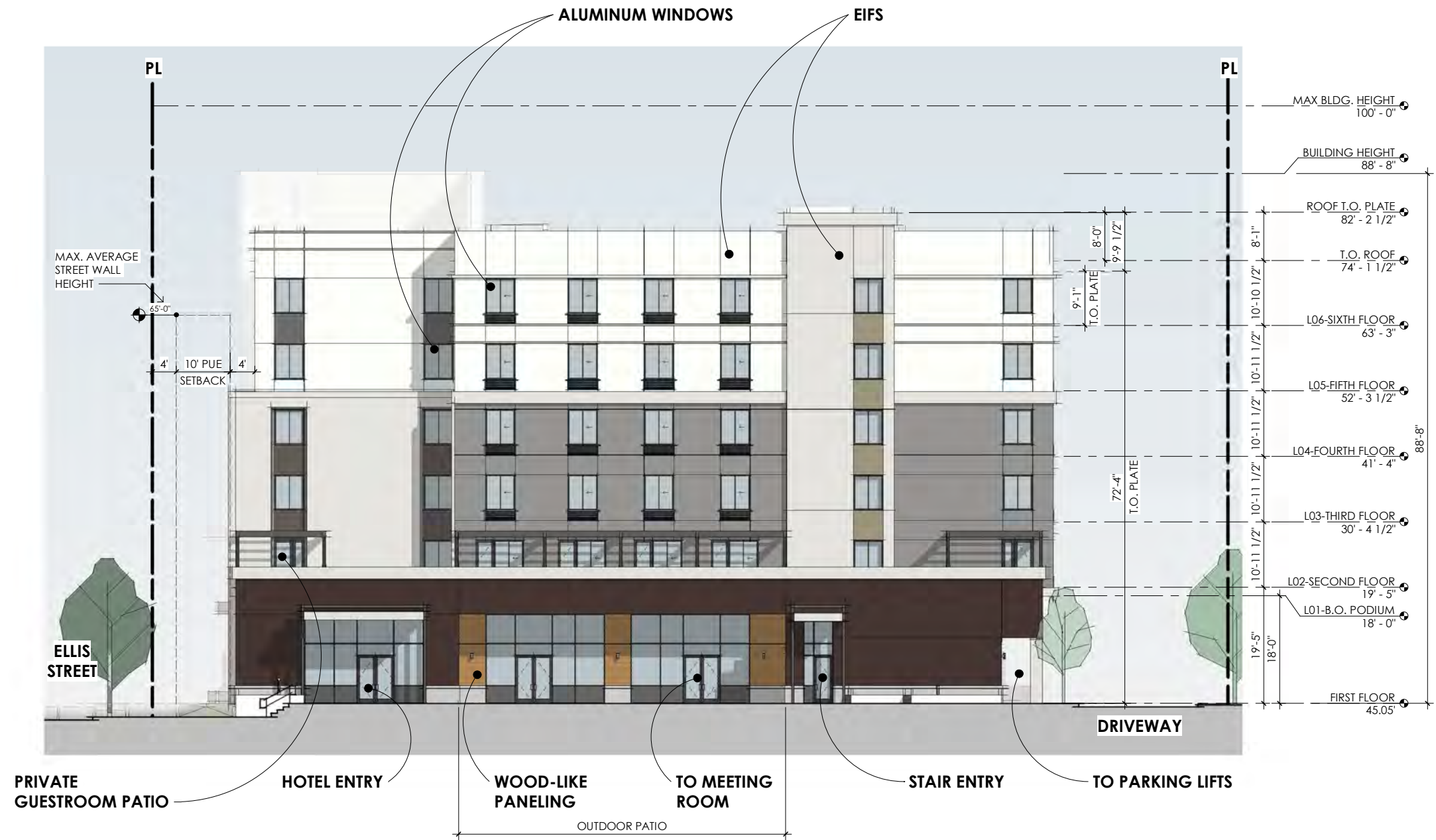
**500 & 550 ELLIS ST.**  
 MOUNTAIN VIEW, CA

**BUILDING ELEVATIONS - HOTEL**


Date 10/04/2022  
 Scale 24x36: 3/32"=1'-0"  
 11x17: 3/64"=1'-0"  
 Sheet

**A5.0**

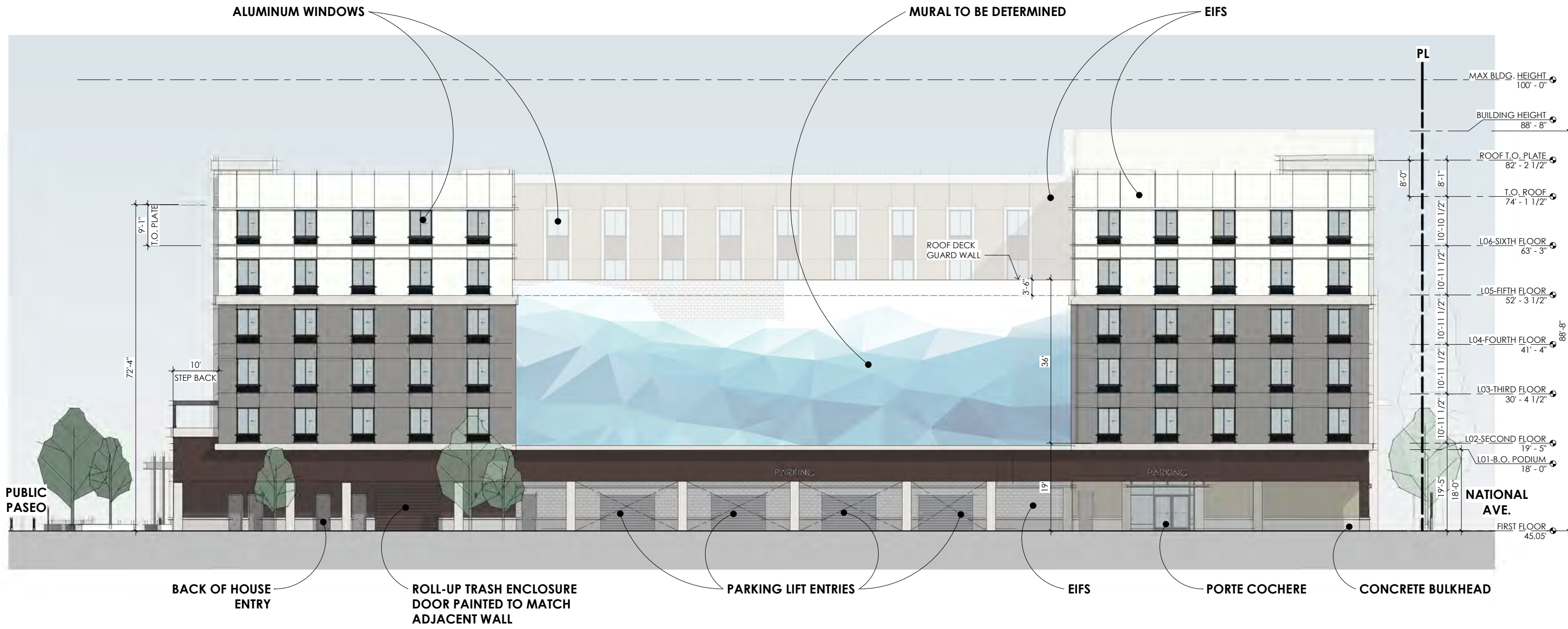




**HOTEL - NORTH ELEVATION (FACING PUBLIC PASEO & OFFICE)**

 <p><b>ARRIS</b> STUDIO ARCHITECTS</p>	<p>ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401</p> <p>CONTACT 805.847.2240 ARRIS-STUDIO.COM</p> <p>THOMAS E. JESS ARCHITECT (CA) #C27048</p> <p>STEPHEN A. RIGOR ARCHITECT (CA) #C33672</p>	<p><b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA</p> <p><b>BUILDING ELEVATIONS - HOTEL</b></p>	<p>Date 10/04/2022</p> <p>Scale 24x36: 3/32"=1'-0" 11x17: 3/64"=1'-0"</p> <p>Sheet <b>A5.1</b></p>
	<p>10/04/2022</p>		





**HOTEL - WEST ELEVATION (FACING 450 NATIONAL AVENUE)**

**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS  
ARCHITECT (CAL) #C27048

STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

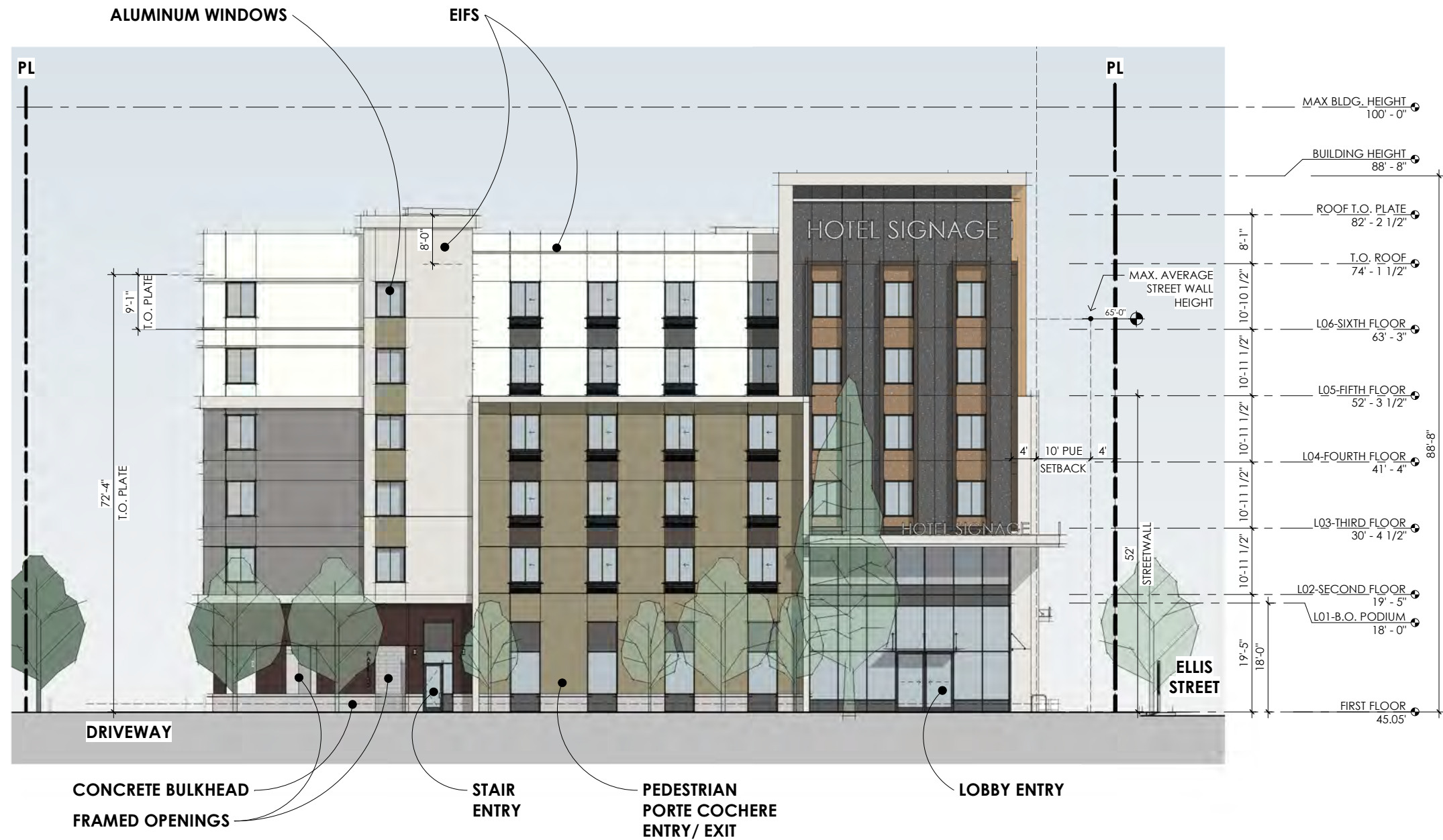
**BUILDING ELEVATIONS - HOTEL**

Date 10/04/2022

Scale  
24x36: 3/32"=1'-0"  
11x17: 3/64"=1'-0"

Sheet  
**A5.2**





**HOTEL - SOUTH ELEVATION (FACING NATIONAL AVENUE)**

**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.847.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS  
ARCHITECT (CA) #C27048

STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**BUILDING ELEVATIONS - HOTEL**

Date 10/04/2022

Scale  
24x36: 3/32"=1'-0"  
11x17: 3/64"=1'-0"

Sheet

**A5.3**

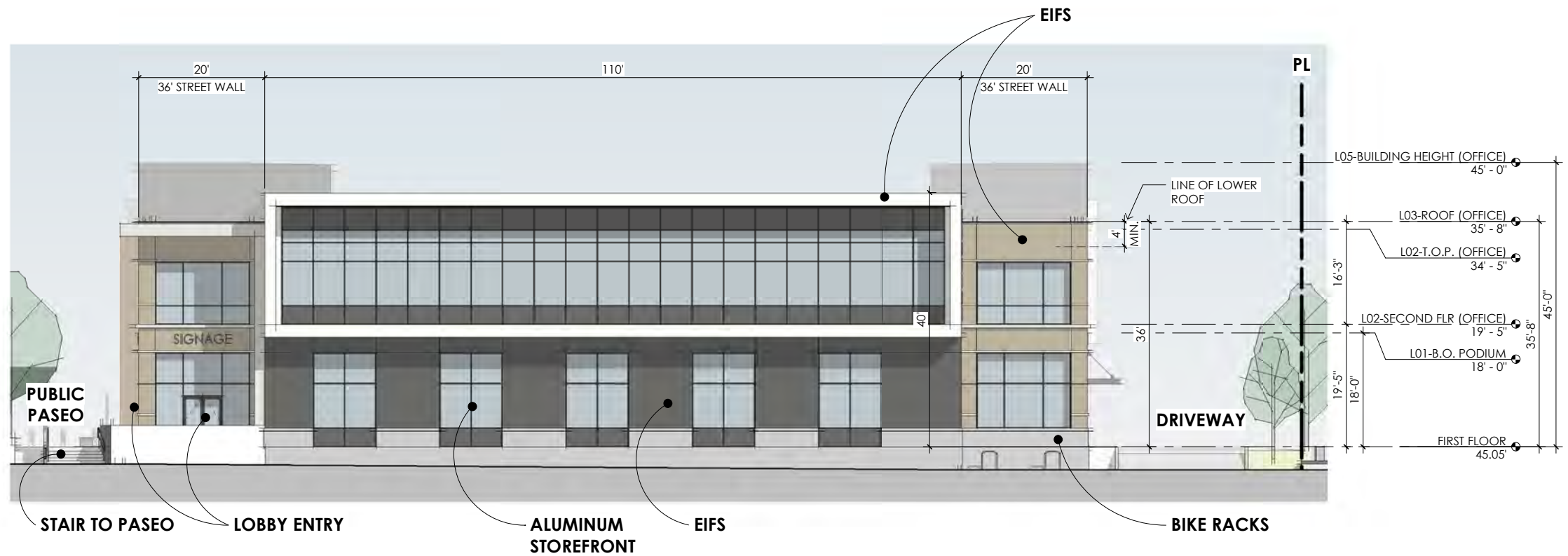


**AVERAGE ELLIS - STREET WALL HEIGHT CALCULATION**  
 MAX. AVERAGE STREET WALL HEIGHT 65'  
 \*NOTE: BUILDING WALLS WITHIN 50' OF KEY CORNERS ARE EXEMPT FROM THIS REQUIREMENT PER MOUNTAIN VIEW - EAST WHISMAN PRECISE PLAN, 3.5 EMPLOYMENT CHARACTER AREA STANDARDS

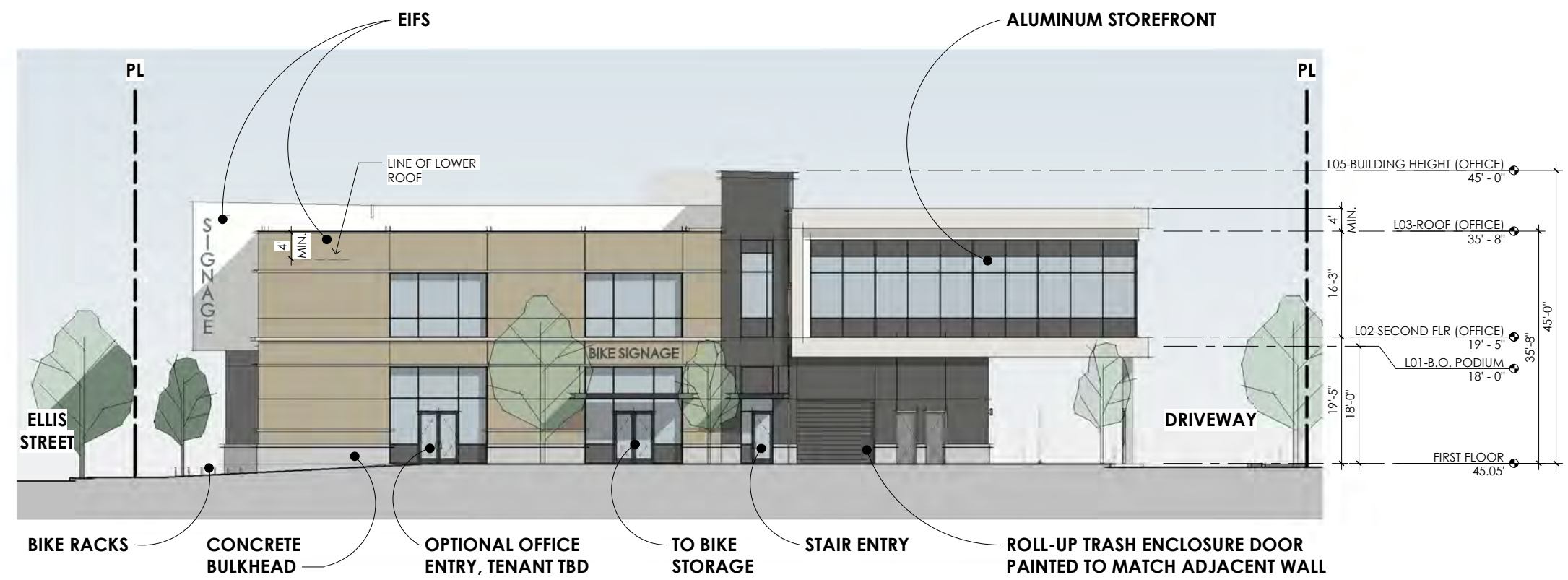
**HOTEL:**  
 TOTAL ELLIS STREET FRONTAGE\* = 197'  
 STREET WALL HEIGHT = 52'

**OFFICE:**  
 TOTAL ELLIS STREET FRONTAGE = 20' + 110' + 20' = 150'  
 % OF FRONTAGE @ 36' HEIGHT 40' / 150' = 0.27 (27%)  
 % OF FRONTAGE @ 40' HEIGHT 110' / 150' = 0.73 (73%)  
 AVERAGE = (0.27 X 36') + (0.73 X 40') = 38.9 OR 39'

**ELLIS - STREET WALL CALC.**



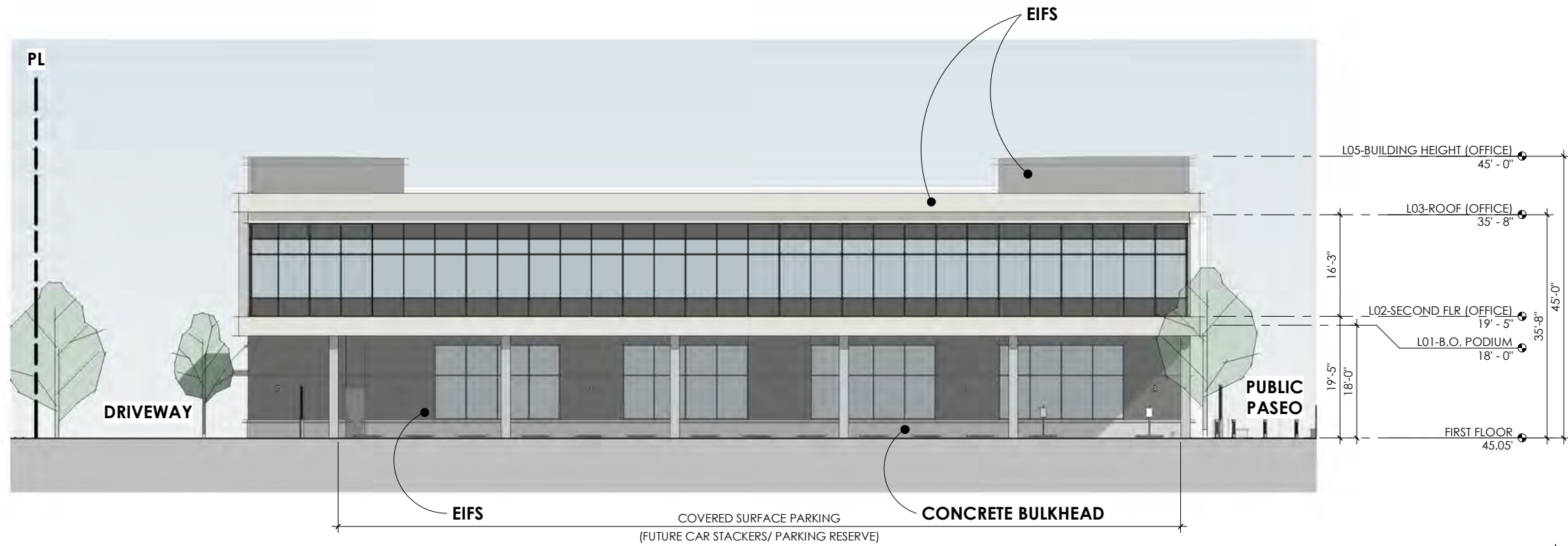
**OFFICE - EAST ELEVATION (FACING ELLIS STREET)**



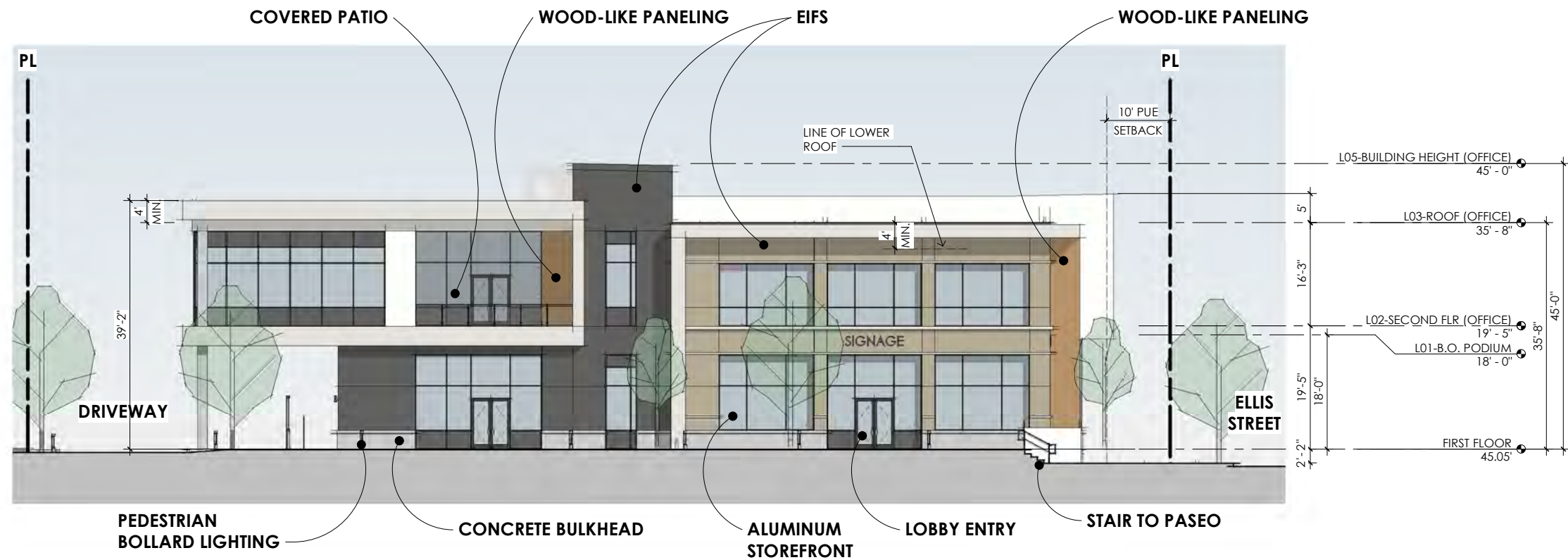
**OFFICE - NORTH ELEVATION (FACING 600 ELLIS STREET)**

	ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA <b>BUILDING ELEVATIONS - OFFICE</b>	Date 10/04/2022
	CONTACT 805.847.2240 ARRIS-STUDIO.COM		Scale 24x36: 3/32"=1'-0" 11x17: 3/64"=1'-0" Sheet <b>A5.4</b>
THOMAS E. JESS ARCHITECT (CA) #C27048 STEPHEN A. RIGOR ARCHITECT (CA) #C33672			



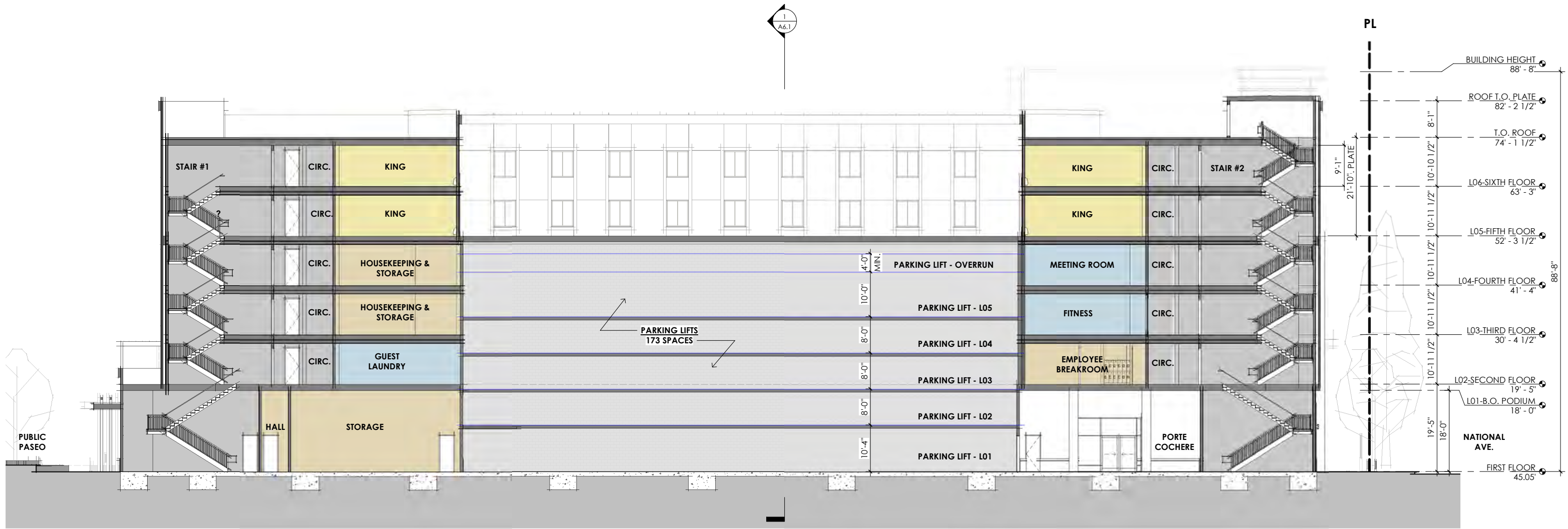


**OFFICE - WEST ELEVATION (FACING 450 NATIONAL AVENUE)**



**OFFICE - SOUTH ELEVATION (FACING PUBLIC PASEO & HOTEL)**





**HOTEL - LONGITUDINAL SECTION**

**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS  
ARCHITECT (CA) #C27048

STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

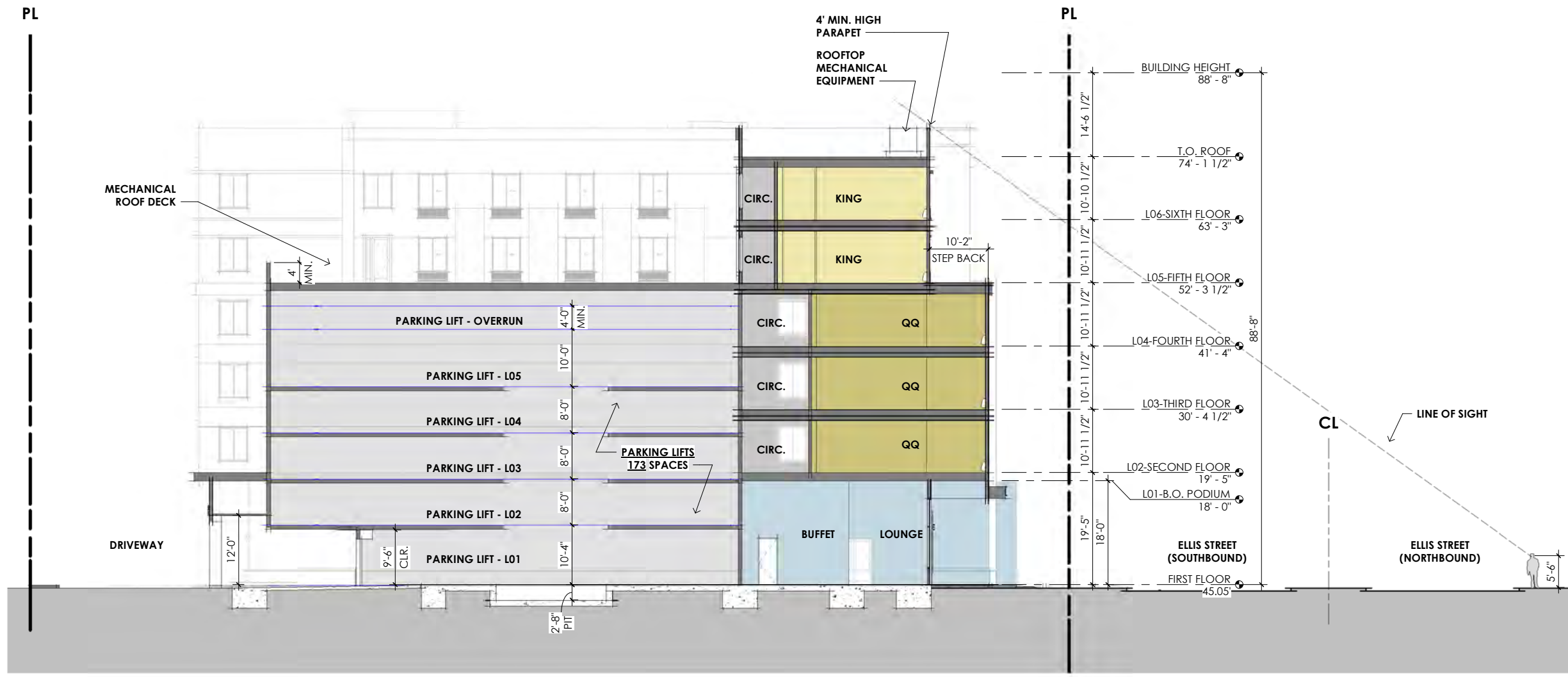
**BUILDING SECTIONS -  
HOTEL**

Date  
10/04/2022

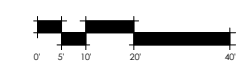
Scale  
24x36: 3/32" = 1'-0"  
11x17: 3/64" = 1'-0"  
Sheet

**A6.0**





**HOTEL - CROSS SECTION**



**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

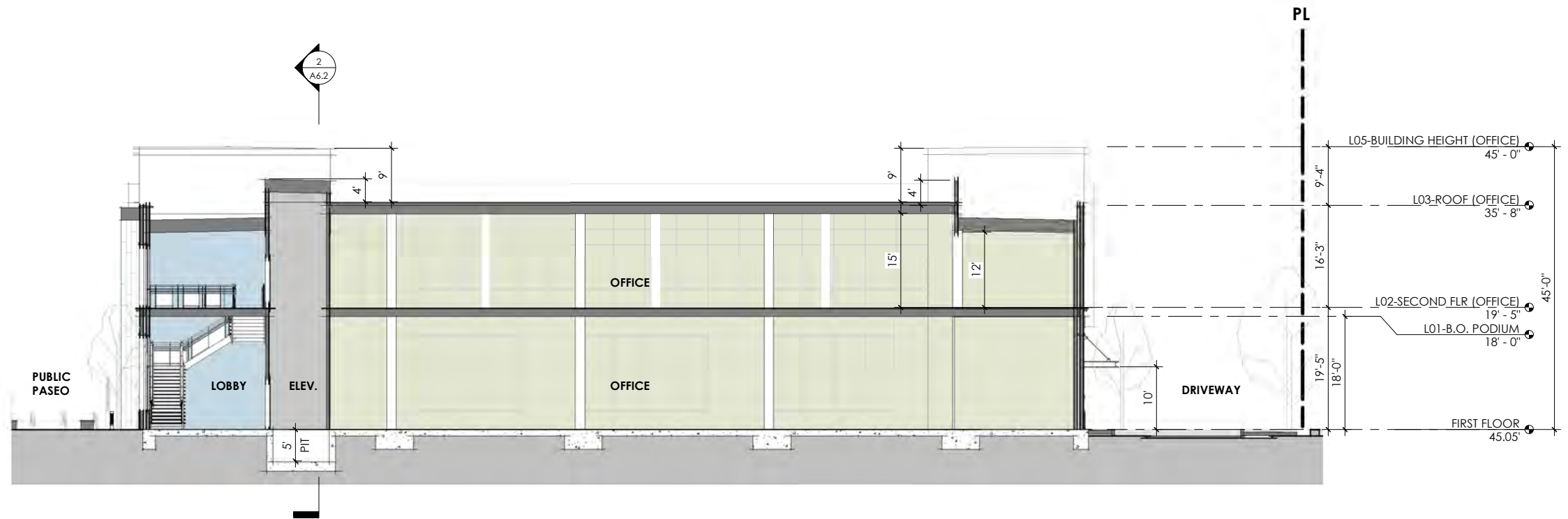
**BUILDING SECTIONS - HOTEL**

Date 10/04/2022

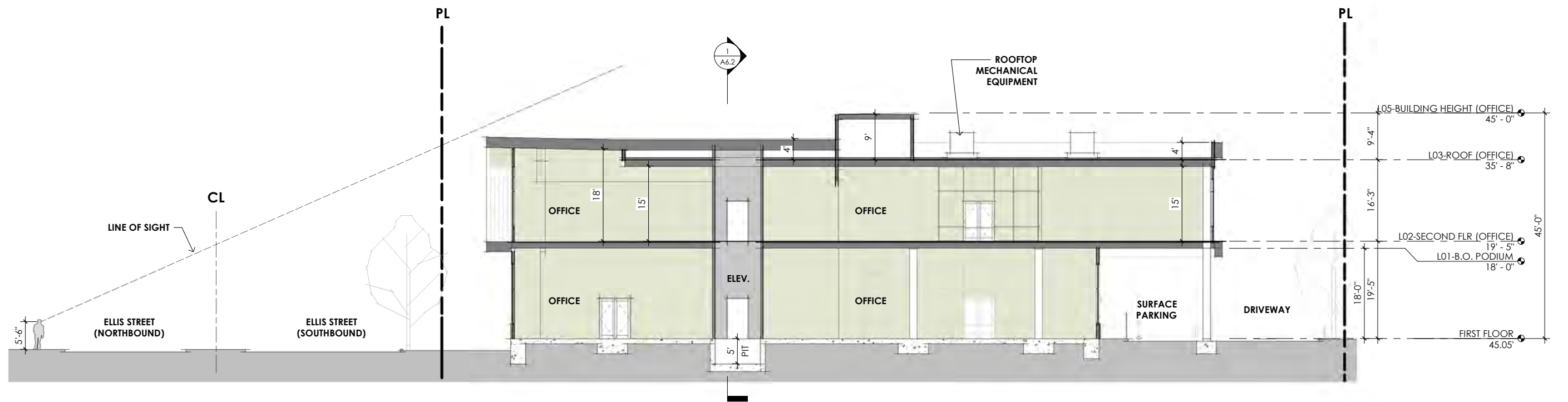
Scale  
24x36: 3/32"=1'-0"  
11x17: 3/64"=1'-0"

Sheet **A6.1**





**OFFICE - LONGITUDINAL SECTION**



**OFFICE - CROSS SECTION**

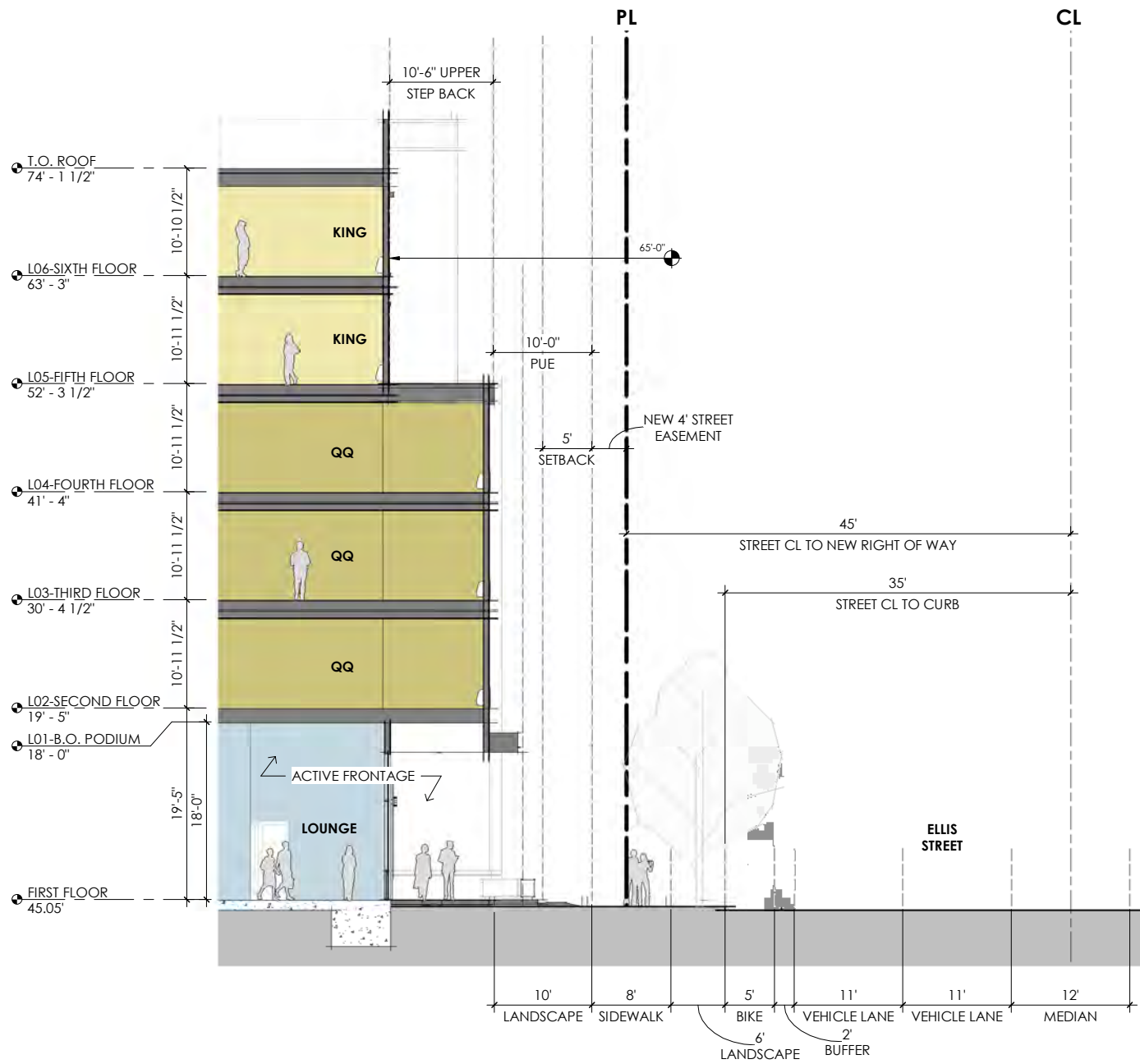


ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR ARCHITECT (CA) #C33672

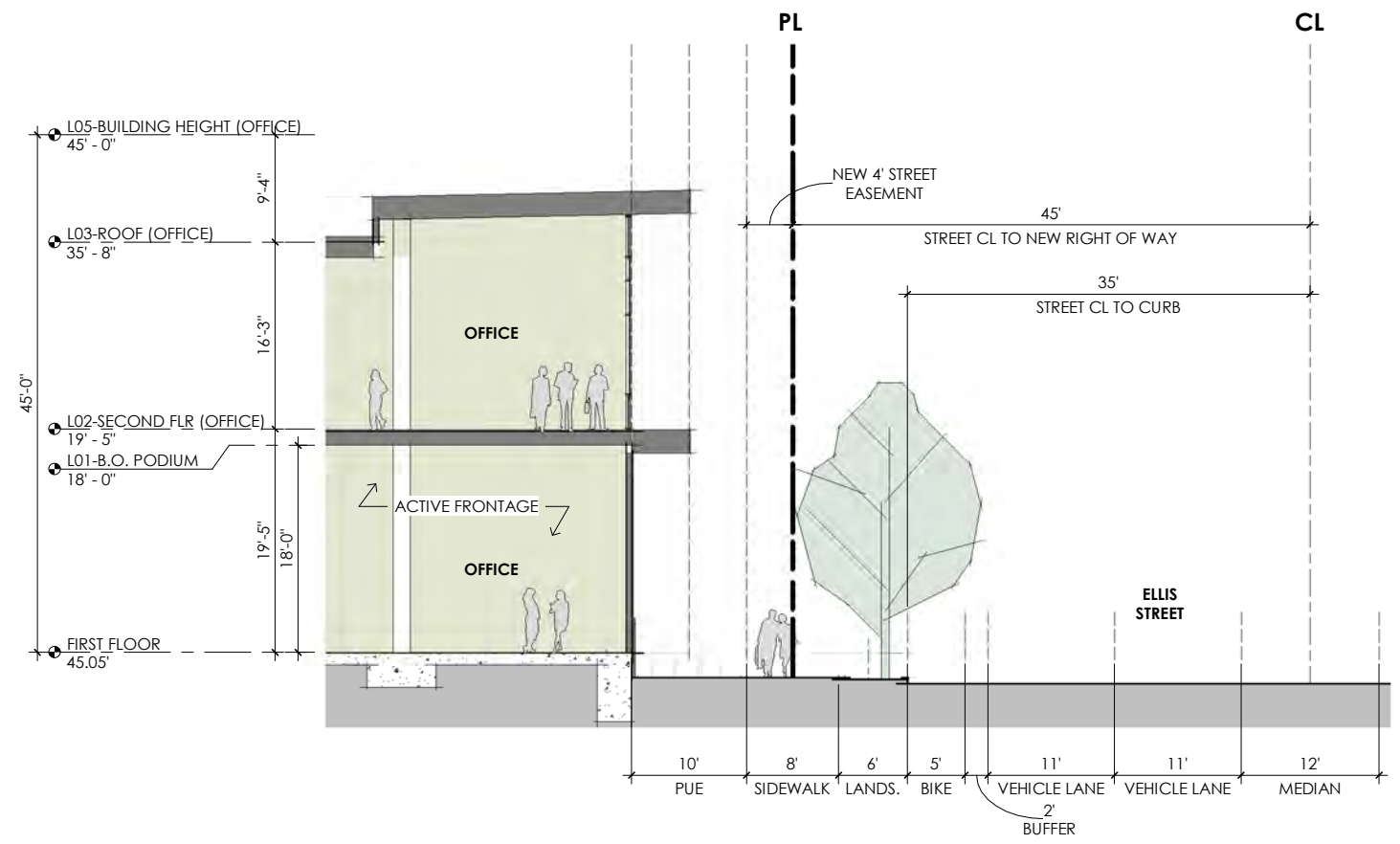
**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**BUILDING SECTIONS - OFFICE**

Date 10/04/2022  
Scale 24x36: 3/32"=1'-0"  
11x17: 3/64"=1'-0"  
Sheet **A6.2**

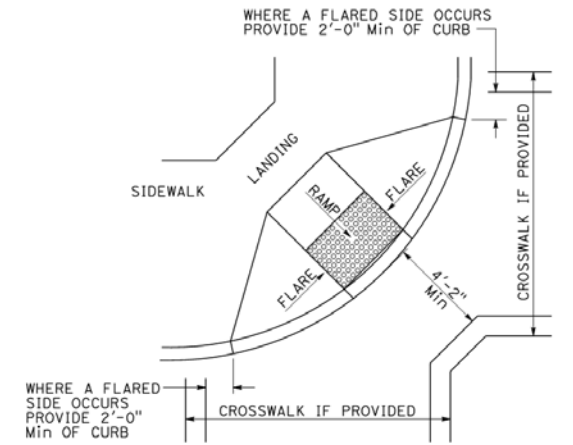




**ENLARGED ELLIS ST. CROSS SECTION @ HOTEL**



**ENLARGED ELLIS ST. CROSS SECTION @ OFFICE**



**DETAIL B  
TYPICAL ONE-RAMP  
CORNER INSTALLATION**  
See Notes 1 and 3

**1 ADA CURB RAMP**  
NOT TO SCALE

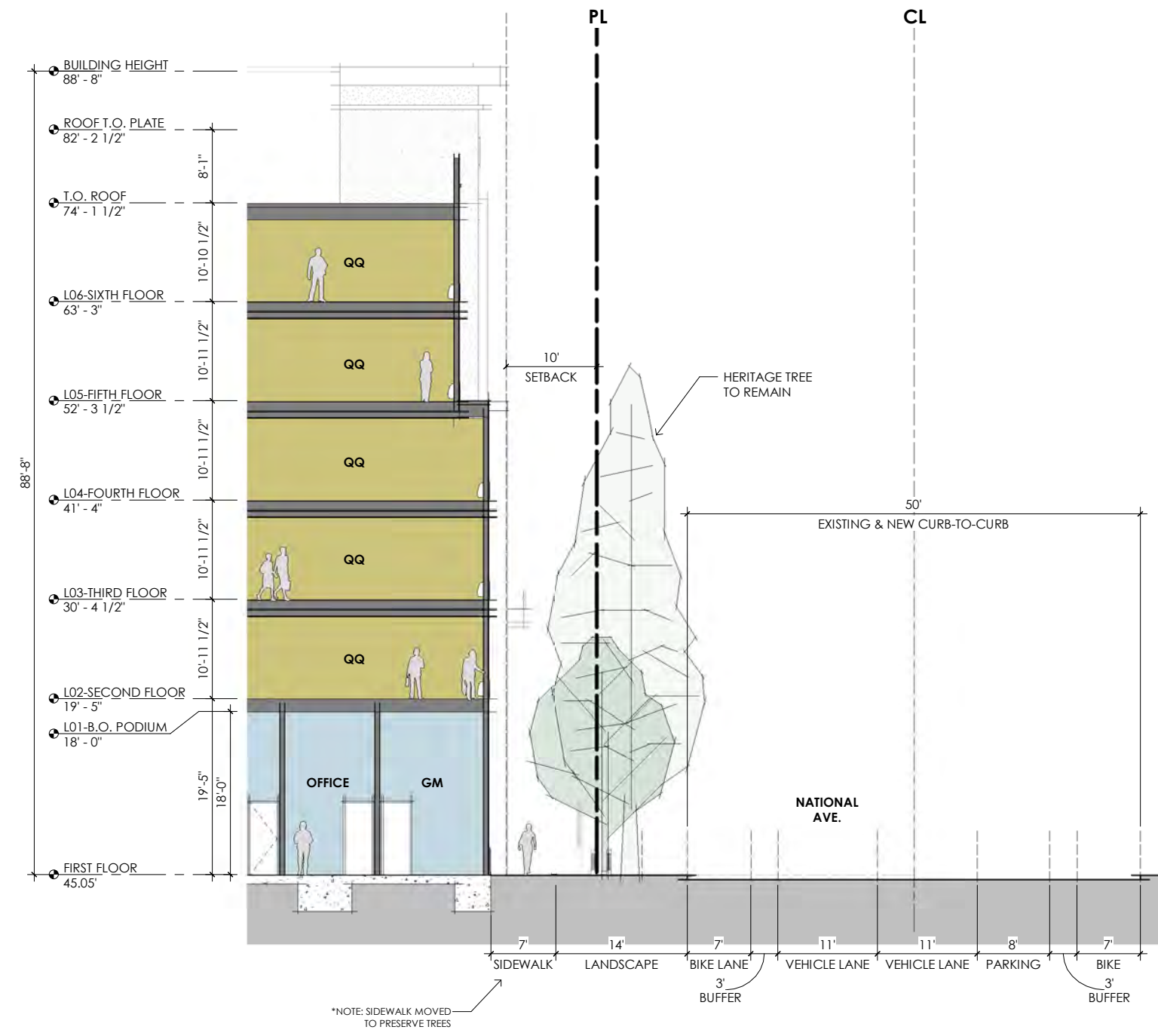


ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.547.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS ARCHITECTICAL #C27068  
STEPHEN A. RIGOR ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**STREET CROSS SECTIONS &  
DETAILS**

Date 10/04/2022  
Scale 24x36: 1/8"=1'-0"  
11x17: 1/16"=1'-0"  
Sheet **A6.3**

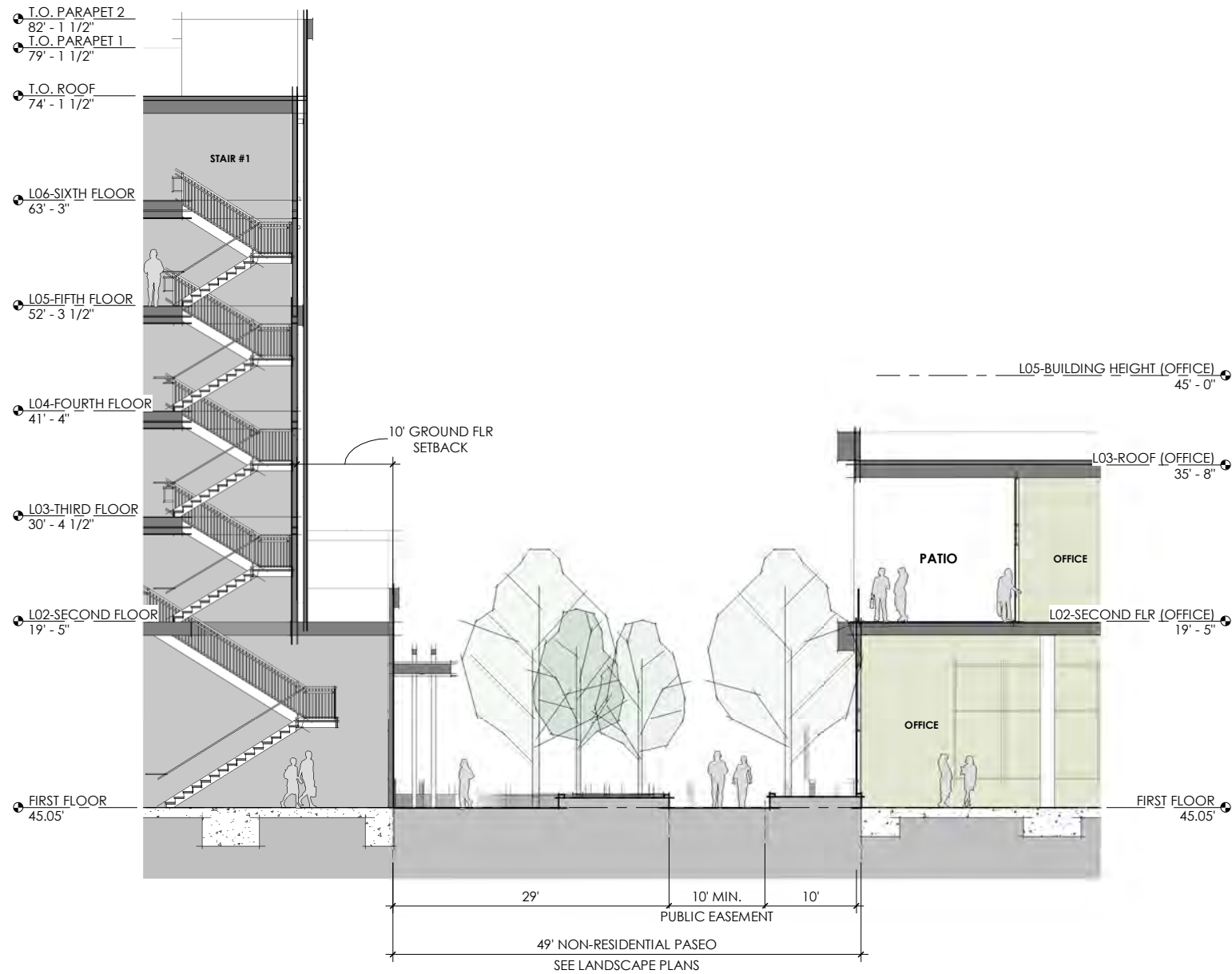




**ENLARGED NATIONAL AVE. CROSS SECTION**

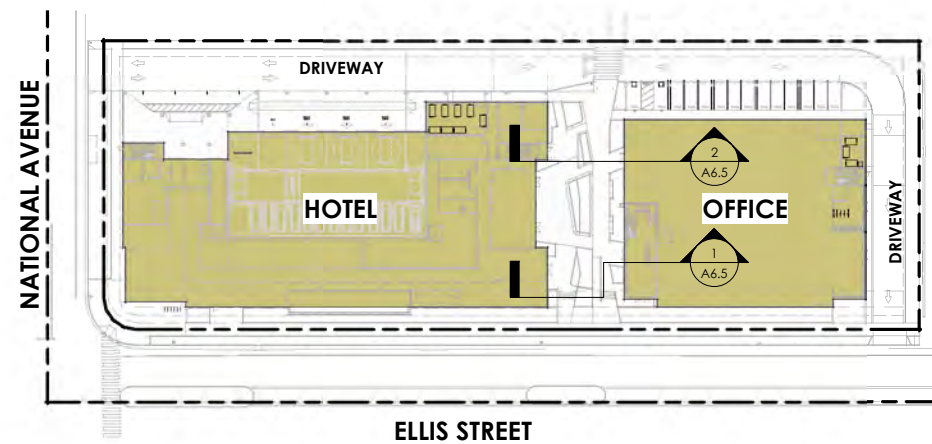
	ADDRESS 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA <b>STREET CROSS SECTIONS &amp; DETAILS</b>	Date 10/04/2022
	CONTACT 805.547.2240 ARRIS-STUDIO.COM THOMAS E. JESS #C27048 ARCHITECT (CA) STEPHEN A. RIGOR ARCHITECT (CA) #C33672		Scale 24x36: 1/8"=1'-0" 11x17: 1/16"=1'-0" Sheet <b>A6.4</b>





**ENLARGED PASEO CROSS SECTION @ STAIR & PATIO**

**ENLARGED PASEO CROSS SECTION @ LOBBY**



**KEY PLAN**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.847.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CAL) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**PASEO CROSS SECTIONS**

Date 10/04/2022  
Scale 24x36;  
11x17;  
Sheet  
**A6.5**





## Hoop Rack



### FINISH OPTIONS

Galvanized

Stainless



### Powder Coat



### MOUNT OPTIONS

Surface

In-Ground



Tamper-resistant fasteners available upon request

Rail



OPTIONAL LEAN BAR



## Hoop Rack

The Hoop Rack is a proven design that provides high security and easy bike parking. The Hoop Rack uses thick pipe construction and the full radius of the bend makes the Hoop an attractive and functional bike rack. This bike rack can also be put on rails for mobility and is popular in bike corrals.

19001

19001

## OUTDOOR BIKE RACKS



## FEATURES

- Custom fabricated for each application
- Vertical supports & horizontal caps are welded together for industry's only structural picture frame design
- Customizable visibility & ventilation
- Industry's only blasted & powder coated finish
- Every system is shop assembled & packaged
- Systems follow core engineering principles
- Professional grade door hardware incorporated

## SPECIFICATIONS

- Material:** Aluminum
- Louver dimensions:** 1/8" x 3"
- Installed louver profile:** 2" x 2.873"
- Louver spacing o.c.:** 2.65"
- Visibility:** 100% direct visual screening
- Openness:** 64%
- Vertical supports:** 3" x 3" x 1/4" angles
- Top Cap:** 3" x 3" x 1/4" angle
- Bottom Cap:** 3" x 3" x 1/4" angle
- Intermediate supports:** 2" x 1/4" flat bar  
Not to exceed 24" o.c.
- Structure:** PalmSHIELD exclusive fully framed
- Panel width:** Unlimited - Standard is 48" to 60"
- Panel height:** Unlimited - Standard is up to 12'



### WHY PALMSHIELD?

PalmSHIELD is the only louver manufacturer providing a structural picture frame design to fully enclose each panel for your rooftop screen or mechanical equipment screen. This allows our louvered panels great flexibility in spanning considerable widths and heights.

12330 CARY CIRCLE LA VISTA, NE 68128

531-329-4406

PALMSHIELDLOUVERS.COM

## ROOFTOP MECHANICAL SCREENING



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.547.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS ARCHITECT I/CAL #C27048  
STEPHEN A. RIGOR ARCHITECT (CA) #C33672

500 & 550 ELLIS ST.

MOUNTAIN VIEW, CA

SITE DETAILS

Date 10/04/2022  
Scale 24x36: NTS  
11x17:  
Sheet

A6.7





**A-1: WINDOWS & DOORS**  
ANODIZED ALUMINUM  
DARK BRONZE



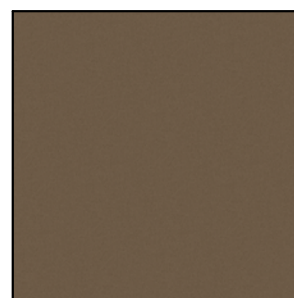
**W-1: WOOD SIDING & SOFFITS**  
SHERWIN WILLIAMS  
3504 "WOODRIDGE"



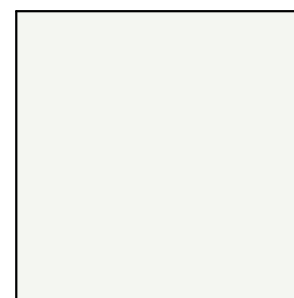
**F-1: FIBER CEMENT PANEL**  
TRESPA  
METEON, NATURALS  
"NATURAL SLATE"



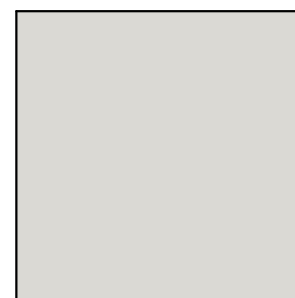
**F-2: FIBER CEMENT PANEL**  
TRESPA  
METEON, LUMEN  
"ROMAN BRONZE"



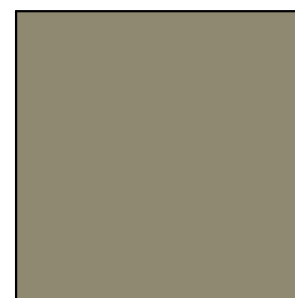
**P-1: PAINTED EIFS**  
BENJAMIN MOORE  
OC 65 - "CHANTILLY LACE"



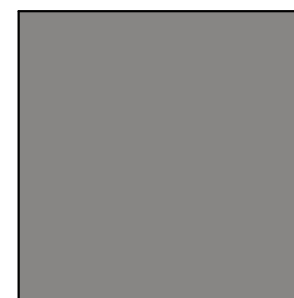
**P-2: PAINTED EIFS**  
BENJAMIN MOORE  
1471 - "SHORELINE"



**P-3: PAINTED EIFS**  
BENJAMIN MOORE  
HC 101 - "HAMPSHIRE GRAY"



**P-4: PAINTED EIFS**  
BENJAMIN MOORE  
AF 705 - "CINDER"



**P-5: PAINTED EIFS**  
BENJAMIN MOORE  
2134-10 - "NIGHT HORIZON"



**P-6: PAINTED EIFS**  
BENJAMIN MOORE  
AF 180 - "WENGE"



**NOTE:**  
PAINT COLOR AND MATERIAL CHANGES SHALL ONLY OCCUR AT INSIDE CORNERS,  
IF THERE ARE ANY DISCREPANCIES, CONTACT ARCHITECT.  
PAINT COLORS OVER EIFS SURFACES, SEE FLOOR PLANS & WALL ASSEMBLIES.

**COLORS & MATERIALS**

	<small>ADDRESS</small> 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA	<small>Date</small> 10/04/2022
	<small>CONTACT</small> 805.847.2240 ARRIS-STUDIO.COM	<b>COLORS &amp; MATERIALS - HOTEL</b>	<small>Scale</small> 24x36; NTS <small>Sheet</small> 11x17;
<small>THOMAS E. JESS</small> #C27048 <small>ARCHITECT (CA)</small> <small>STEPHEN A. RIGOR</small> <small>ARCHITECT (CA) #C33672</small>			<b>A7.0</b>





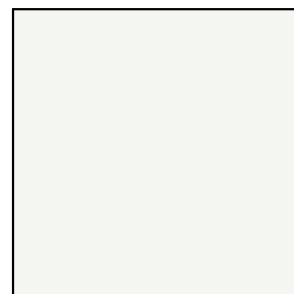
**A-1: WINDOWS & DOORS**  
 ANODIZED ALUMINUM  
 DARK BRONZE



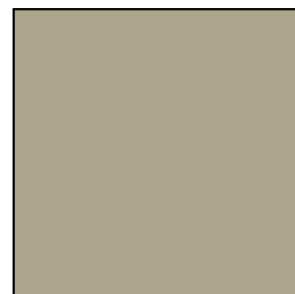
**W-1: WOOD SIDING & SOFFITS**  
 SHERWIN WILLIAMS  
 3504 "WOODRIDGE"



**P-1: PAINTED EIFS**  
 BENJAMIN MOORE  
 OC 65 - "CHANTILLY LACE"



**P-7: PAINTED EIFS**  
 BENJAMIN MOORE  
 AF 395 - "MEDITATION"



**P-8: PAINTED EIFS**  
 BENJAMIN MOORE  
 2134-30 - "IRON MOUNTAIN"



**NOTE:**  
 PAINT COLOR AND MATERIAL CHANGES SHALL ONLY OCCUR AT INSIDE CORNERS,  
 IF THERE ARE ANY DISCREPANCIES, CONTACT ARCHITECT.  
 PAINT COLORS OVER STUCCO SURFACES, SEE FLOOR PLANS & WALL ASSEMBLIES.

**COLORS & MATERIALS**

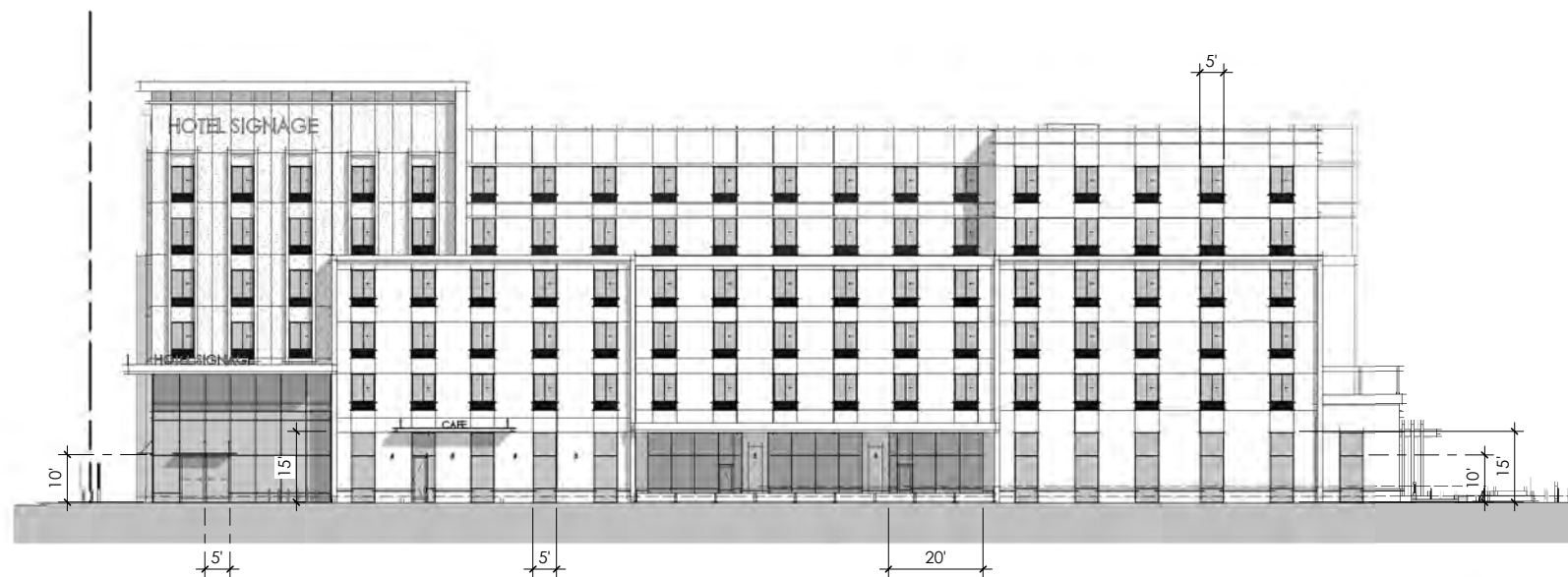


ADDRESS  
 1327 ARCHER STREET, STE. 220  
 SAN LUIS OBISPO, CA 93401  
 CONTACT  
 805.547.2240  
 ARRIS-STUDIO.COM  
 THOMAS E. JESS #C27048  
 ARCHITECT (CA)  
 STEPHEN A. RIGOR  
 ARCHITECT (CA) #C33672

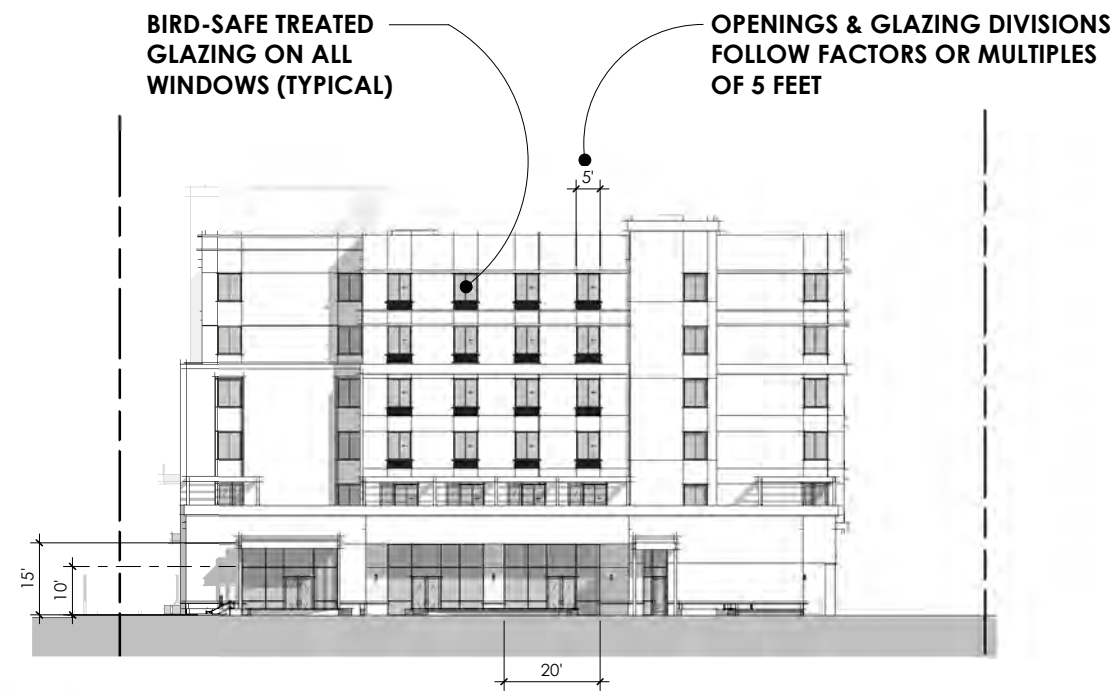
**500 & 550 ELLIS ST.**  
 MOUNTAIN VIEW, CA  
**COLORS & MATERIALS -**  
**OFFICE**

Date 10/04/2022  
 Scale 24x36: NTS  
 11x17:  
 Sheet  
**A7.1**

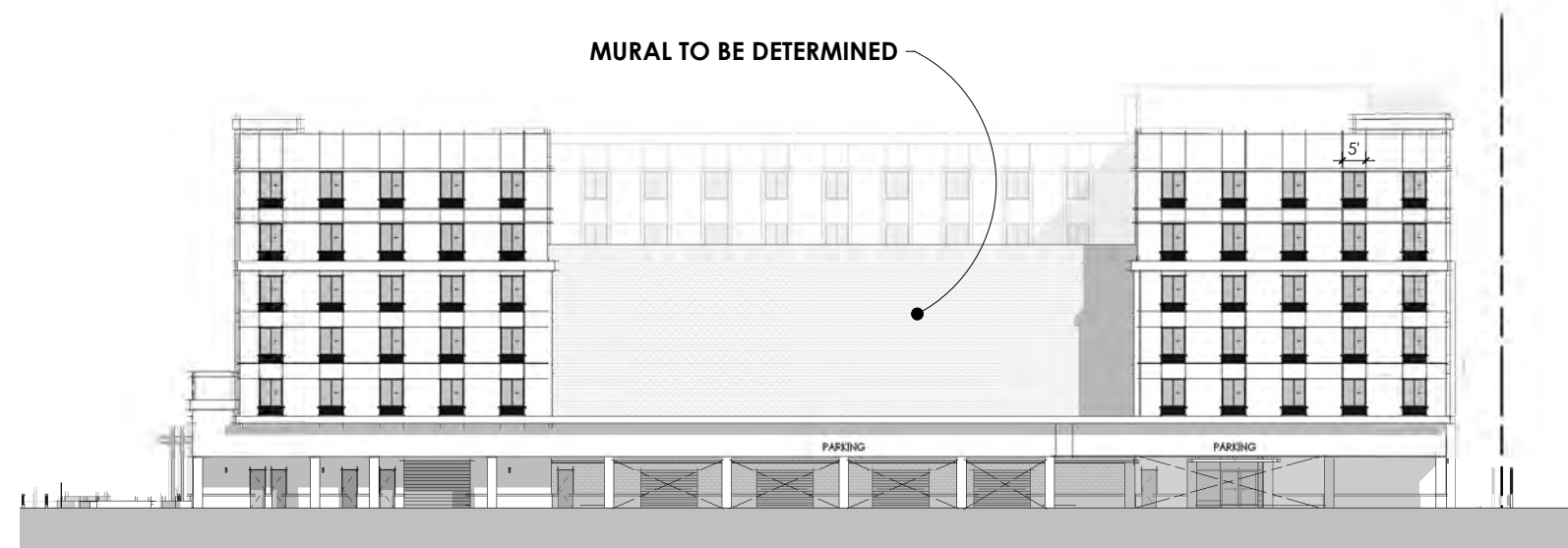




**SOUTH ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**



**WEST ELEVATION**

**FACADE DIAGRAM - HOTEL**



ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401  
CONTACT  
805.547.2240  
ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

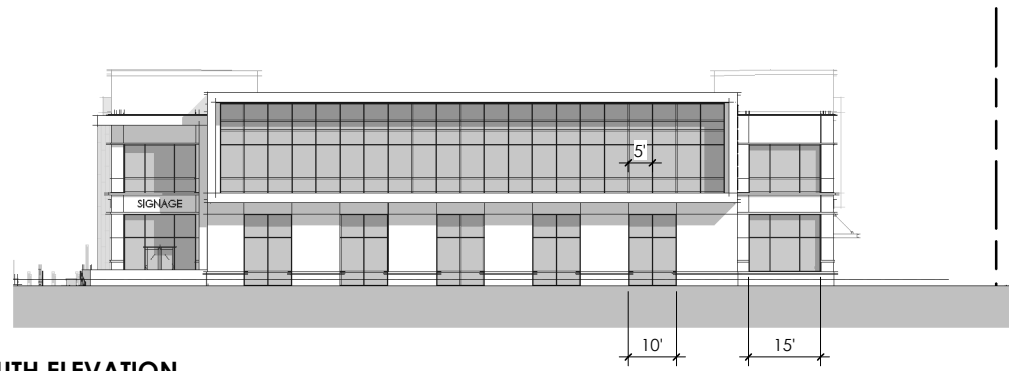
**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**FACADE DIAGRAM &  
WALL DETAILS**

Date 10/04/2022  
Scale 24x36:  
1/16"=1'-0"  
Sheet

**A8.0**



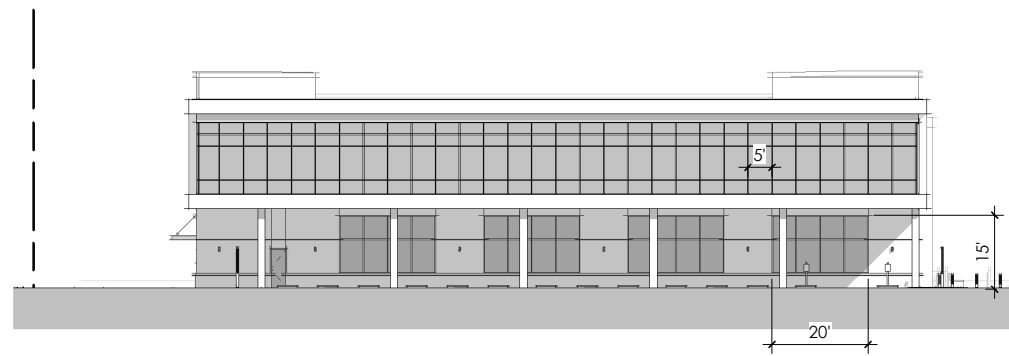
SOUTH ELEVATION



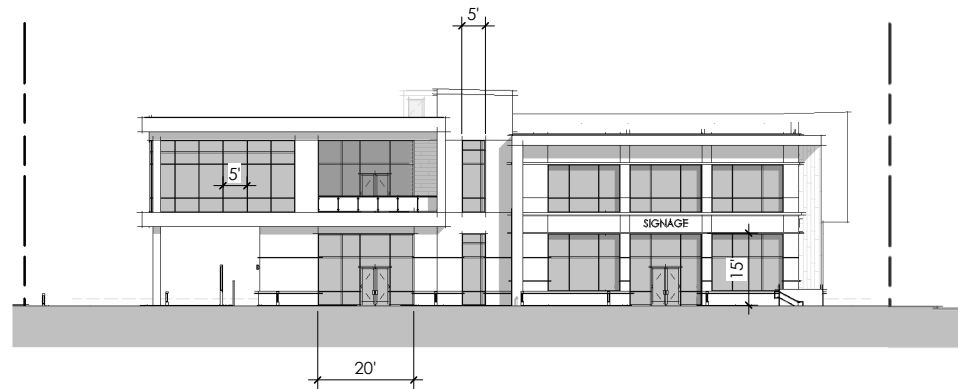
EAST ELEVATION



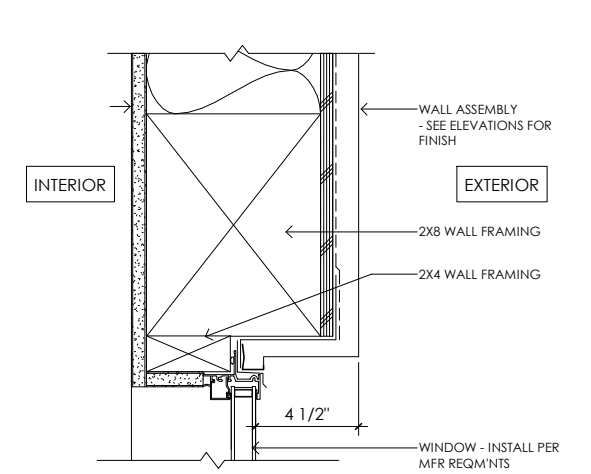
NORTH ELEVATION



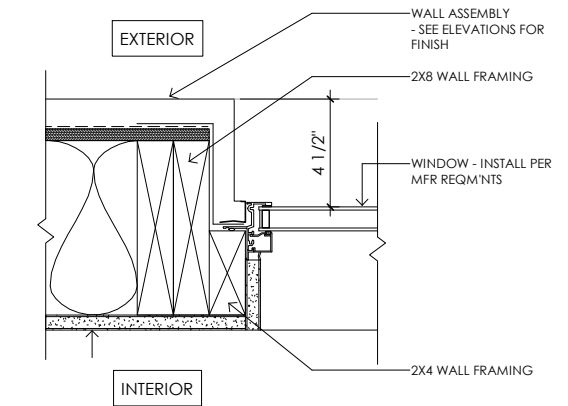
WEST ELEVATION



### FACADE DIAGRAM - OFFICE



**1 WINDOW HEAD**  
3" = 1'-0"



**2 WINDOW JAMB**  
3" = 1'-0"

**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
1327 ARCHER STREET, STE. 220  
SAN LUIS OBISPO, CA 93401

CONTACT  
805.547.2240  
ARRIS-STUDIO.COM

THOMAS E. JESS #C27048  
ARCHITECT (CA)  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**FACADE DIAGRAM &  
WALL DETAILS**

Date 10/04/2022  
Scale 24x36:  
1/16"=1'-0"  
Sheet  
**A8.1**





METALLIC TEXTURED  
TRESPA PANELS

WOOD  
SIDING

EIFS

ALUMINUM  
WINDOWS

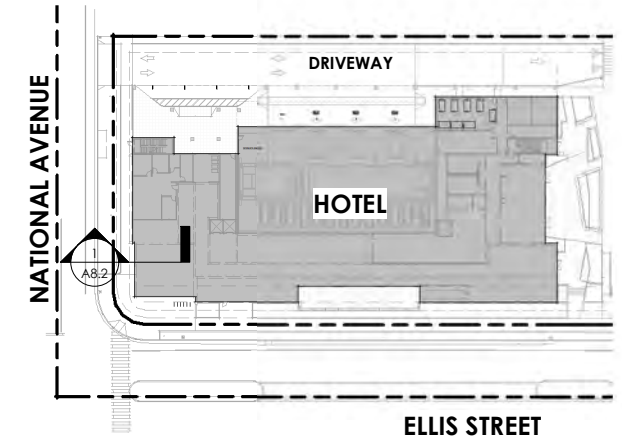
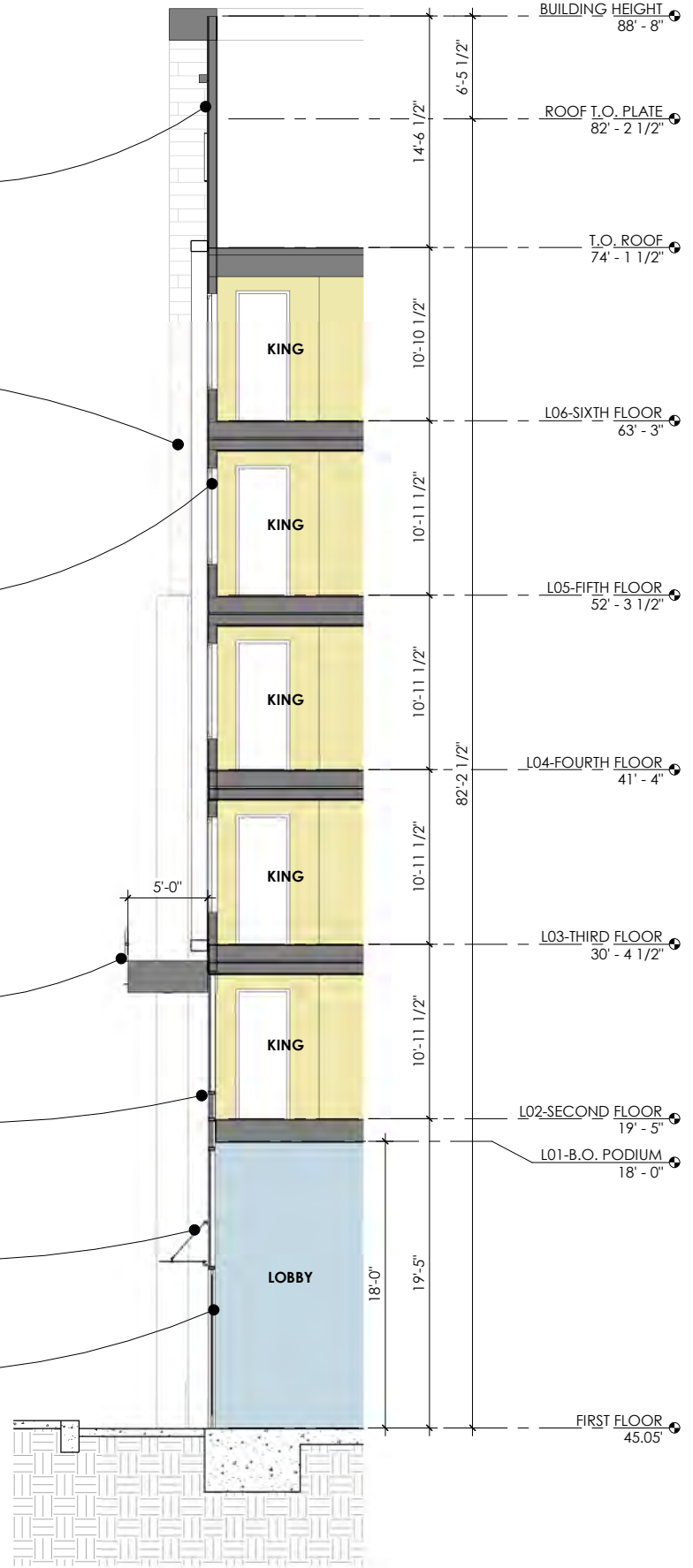
ALUMINUM  
WINDOWS WITH  
INTEGRATED PTAC  
LOUVER

AWNING WITH  
SIGNAGE AT  
MAIN ENTRY

INTEGRATED PTAC  
LOUVER AT GUEST  
ROOMS

GLASS AWNING  
OVER LOBBY ENTRY

ALUMINUM  
STOREFRONT



KEY PLAN

HOTEL LOBBY ENLARGED AXO & WALL SECTION

	<small>ADDRESS</small> 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA	<small>Date</small> 10/04/2022
	<small>CONTACT</small> 805.547.2240 ARRIS-STUDIO.COM	<b>ARCHITECTURAL DETAILS</b>	<small>Scale</small> 24x36; 1 1/4" = 1'; <small>Sheet</small>
	<small>THOMAS E. JESS</small> ARCHITECT (CAL) #C27048 <small>STEPHEN A. RIGOR</small> ARCHITECT (CA) #C33672	<b>A8.2</b>	





WOOD SIDING

METALLIC TEXTURED TRESPA PANELS

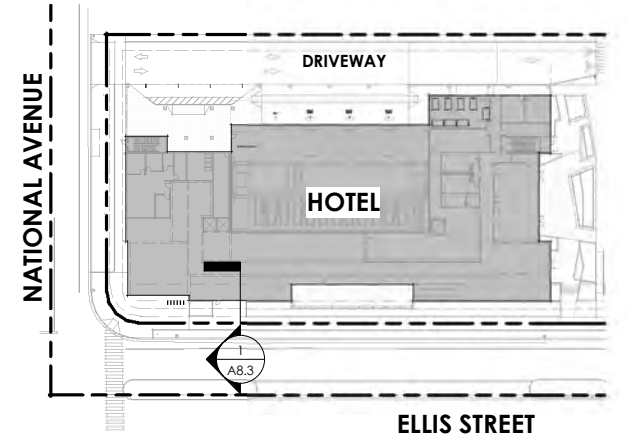
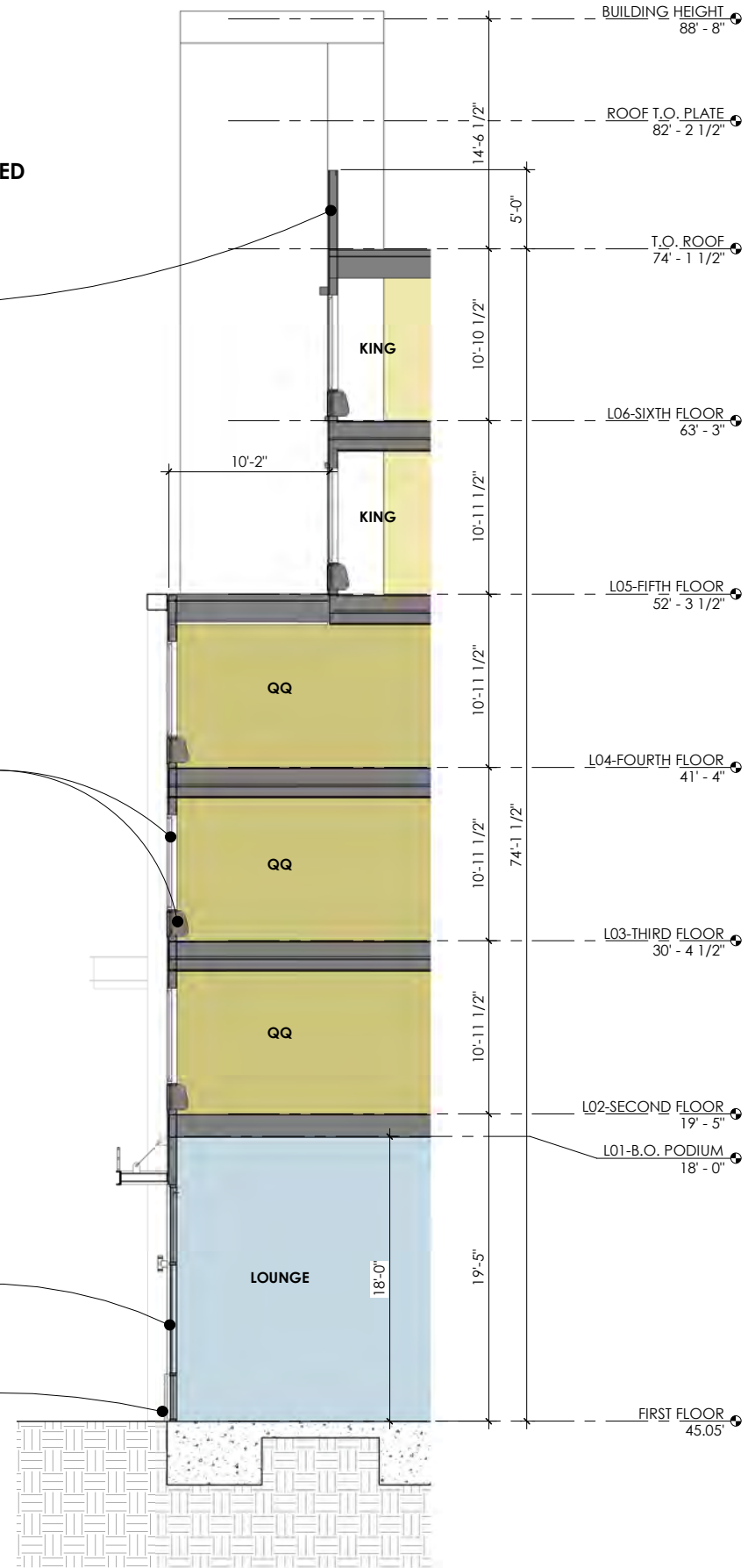
EIFS

ALUMINUM WINDOWS WITH INTEGRAL PTAC LOUVER

ALUMINUM STOREFRONT

CONCRETE BULKHEAD

LOUNGE ENTRY



KEY PLAN

HOTEL LOUNGE ENLARGED AXO & WALL SECTION



ADDRESS  
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THOMAS E. JESS #IC27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

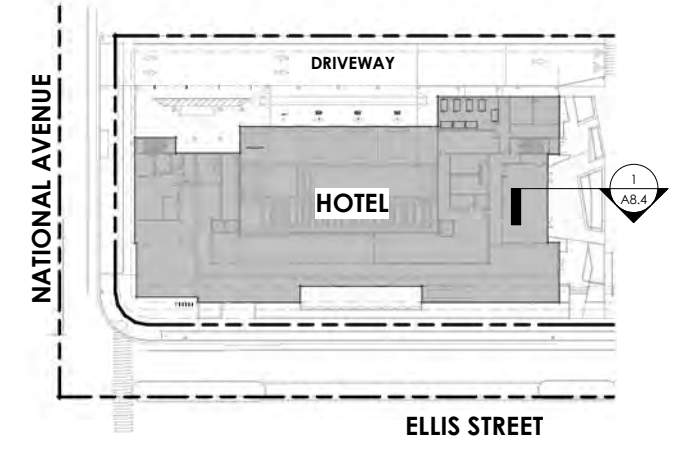
500 & 550 ELLIS ST.  
MOUNTAIN VIEW, CA  
ARCHITECTURAL DETAILS

Date 10/04/2022

Scale 24x36; 1/8\"/>

Sheet A8.3



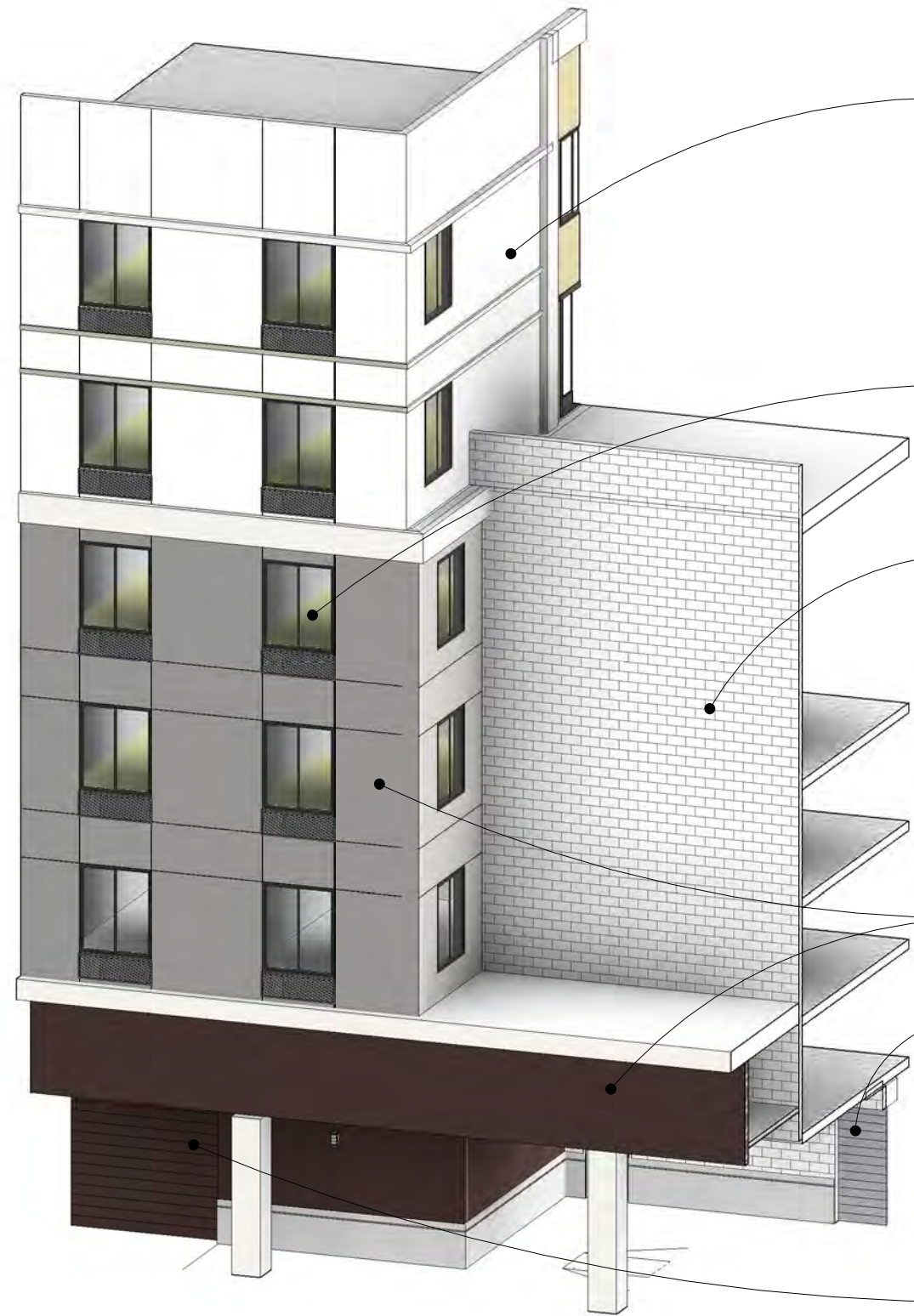


**KEY PLAN**

**HOTEL MEETING ROOM ENLARGED AXO & WALL SECTION**

	<small>ADDRESS</small> 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA	<small>Date</small> 10/04/2022
	<small>CONTACT</small> 805.847.2240 ARRIS-STUDIO.COM	<b>ARCHITECTURAL DETAILS</b>	<small>Scale</small> 24x36; 11x17; Sheet
	<small>ARCHITECT FIRM</small> #IC27048 THOMAS E. JESS <small>ARCHITECT (CA)</small> #C33672	<b>A8.4</b>	





EIFS

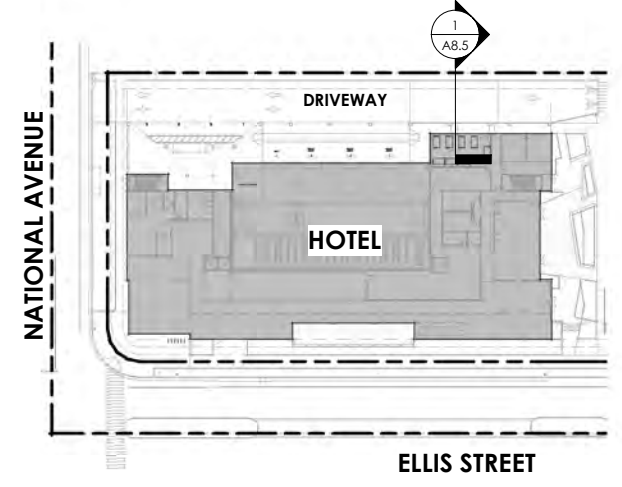
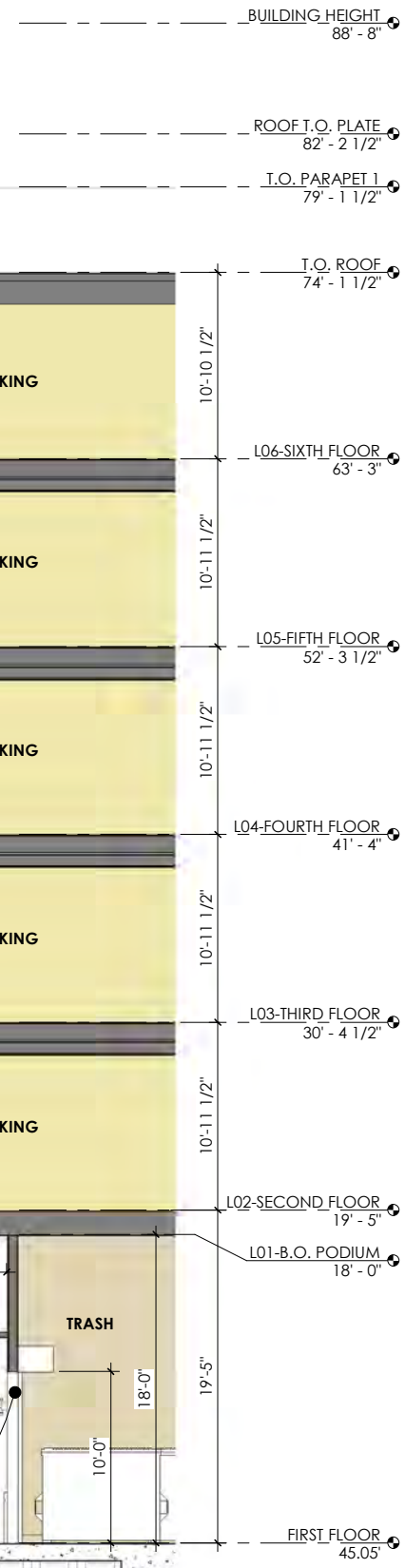
ALUMINUM WINDOWS WITH INTEGRAL PTAC LOUVER

MURAL TO BE DETERMINED

EIFS

ROLL-UP PARKING DOOR PAINTED TO MATCH ADJACENT WALL

ROLL-UP TRASH ENCLOSURE DOOR PAINTED TO MATCH ADJACENT WALL



KEY PLAN

HOTEL TRASH COLLECTION ENLARGED AXO & WALL SECTION

**ARRIS**  
STUDIO ARCHITECTS

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STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

ARCHITECTURAL DETAILS

Date 10/04/2022

Scale 24x36; 1/16"=1'-0"

Sheet **A8.5**





EIFS

ALUMINUM WINDOWS

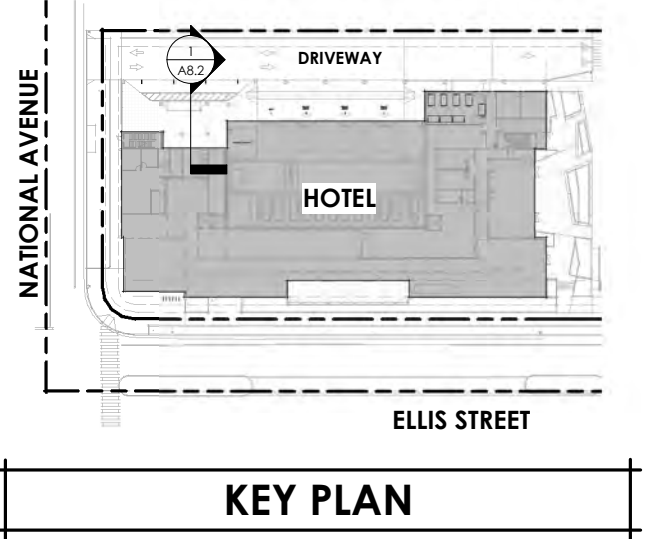
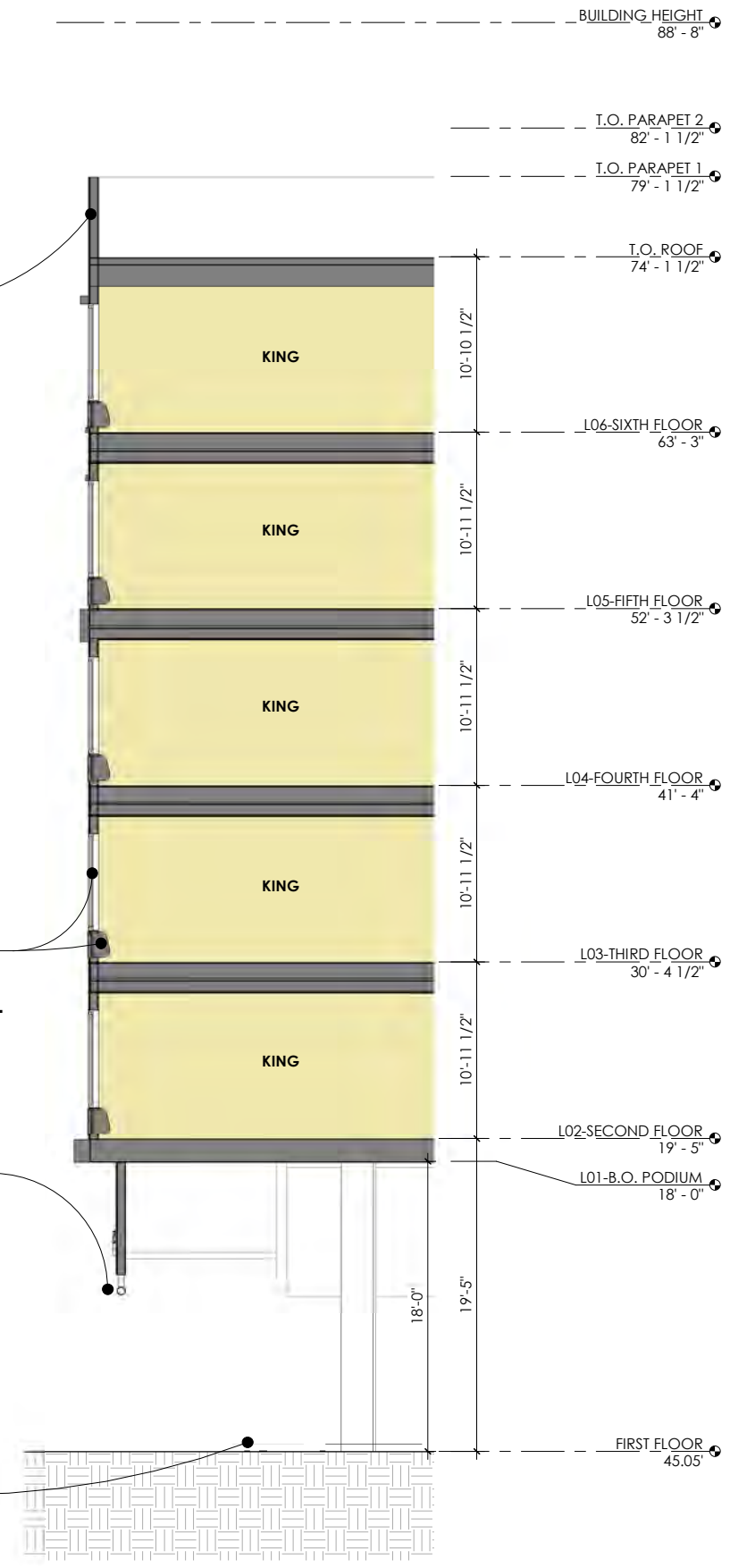
ALUMINUM WINDOWS WITH INTEGRAL PTAC LOUVER

OVERHEAD CLEARANCE BAR

EXIT STAIR DISCHARGE

CONCRETE BULKHEAD

PORTE COCHERE



HOTEL PORTE COCHERE ENLARGED AXO & WALL SECTION

**ARRIS**  
STUDIO ARCHITECTS

ADDRESS  
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SAN LUIS OBISPO, CA 93401

CONTACT  
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THOMAS E. JESS  
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ARCHITECT (CA) #C33672

**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

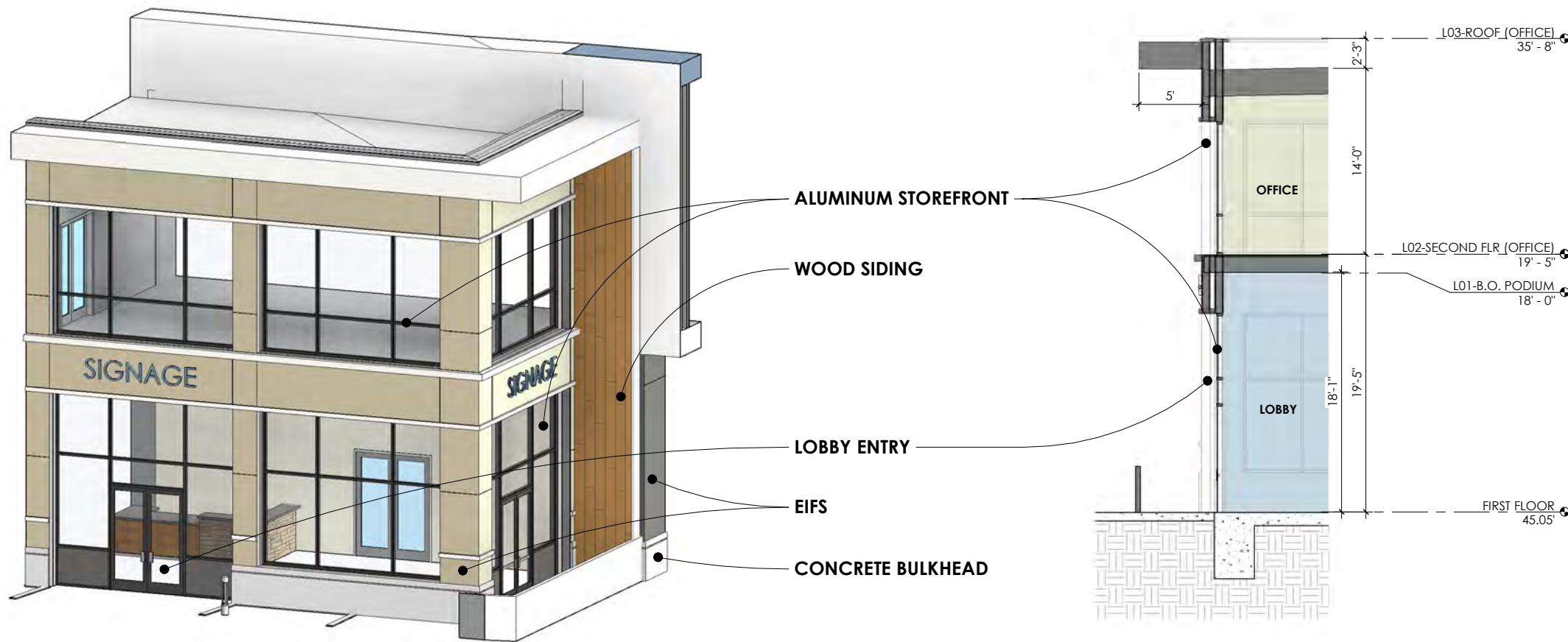
**ARCHITECTURAL DETAILS**

Date 10/04/2022

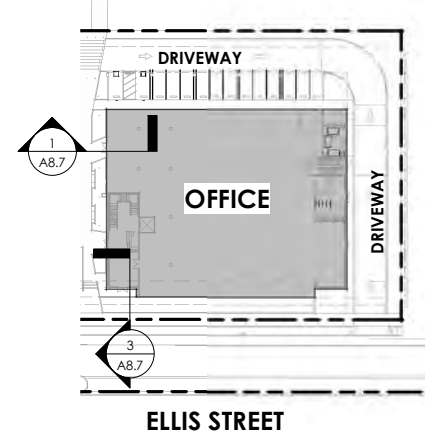
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Sheet **A8.6**

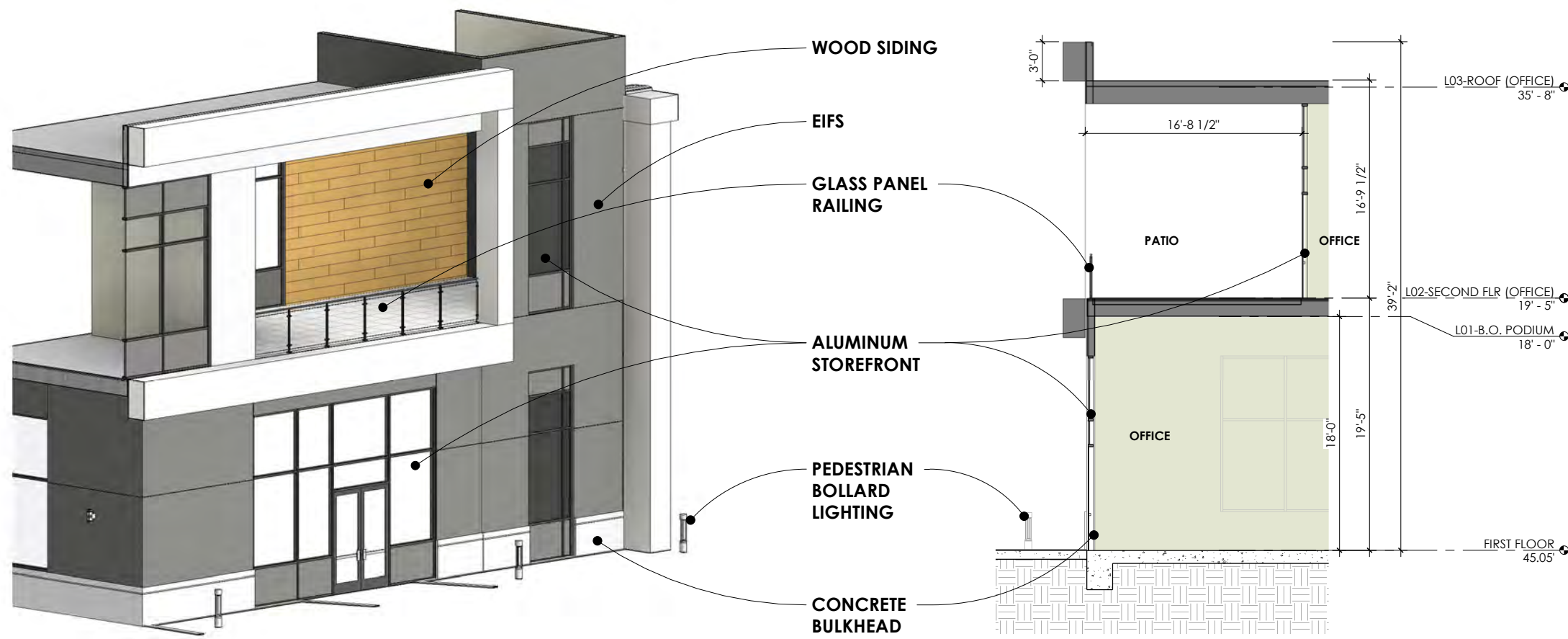




**OFFICE LOBBY ENLARGED AXO & WALL SECTION**



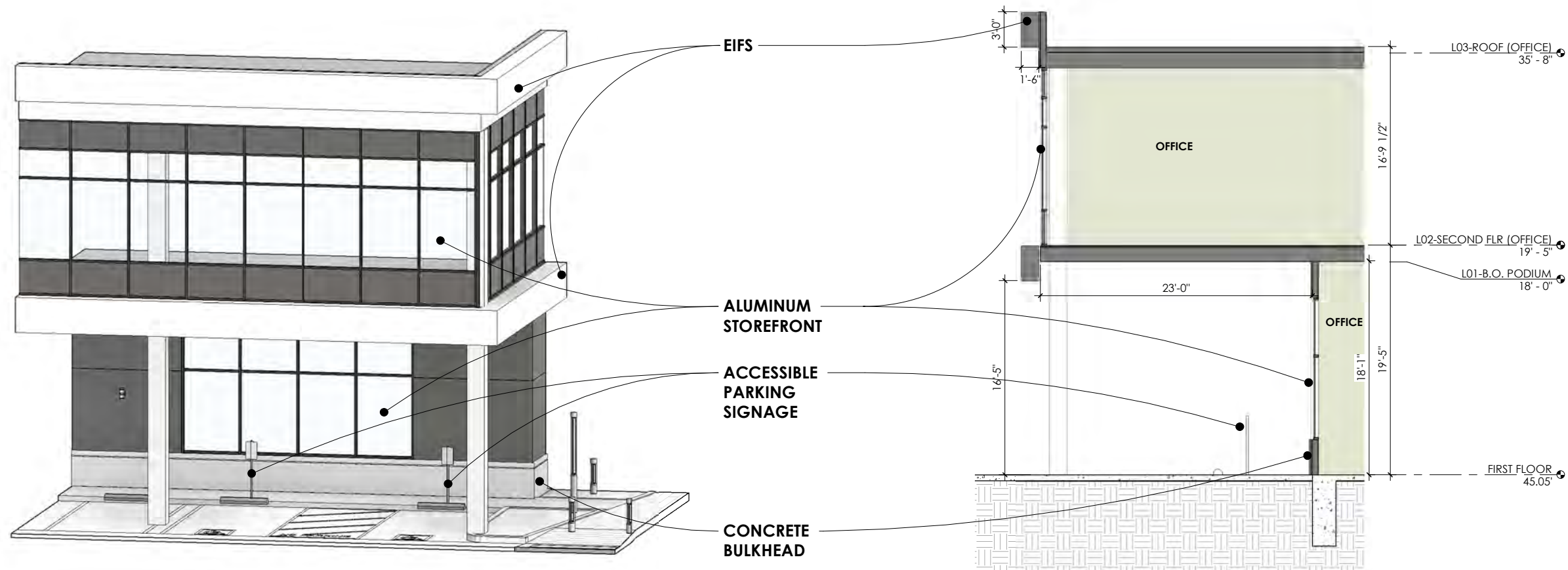
**KEY PLAN**



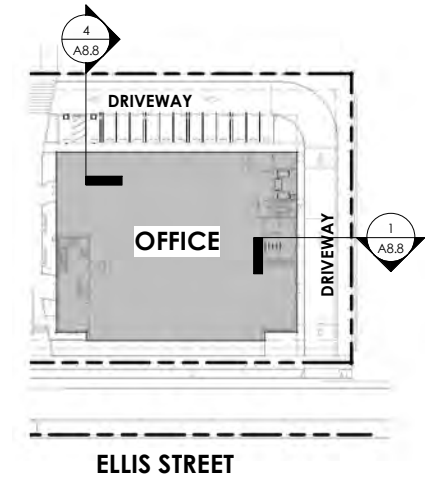
**OFFICE PATIO ENLARGED AXO & WALL SECTION**

	<small>ADDRESS</small> 1327 ARCHER STREET, STE. 220 SAN LUIS OBISPO, CA 93401	<b>500 &amp; 550 ELLIS ST.</b> MOUNTAIN VIEW, CA <b>ARCHITECTURAL DETAILS</b>	<small>Date</small> 10/04/2022
	<small>CONTACT</small> 805.547.2240 ARRIS-STUDIO.COM		<small>Scale</small> 24x36; 1/16"=1'-0"
	<small>ARCHITECT LEAD</small> #IC27048 <small>ARCHITECT</small> #C33672		<b>A8.7</b>
	<small>THOMAS E. JESS</small>		

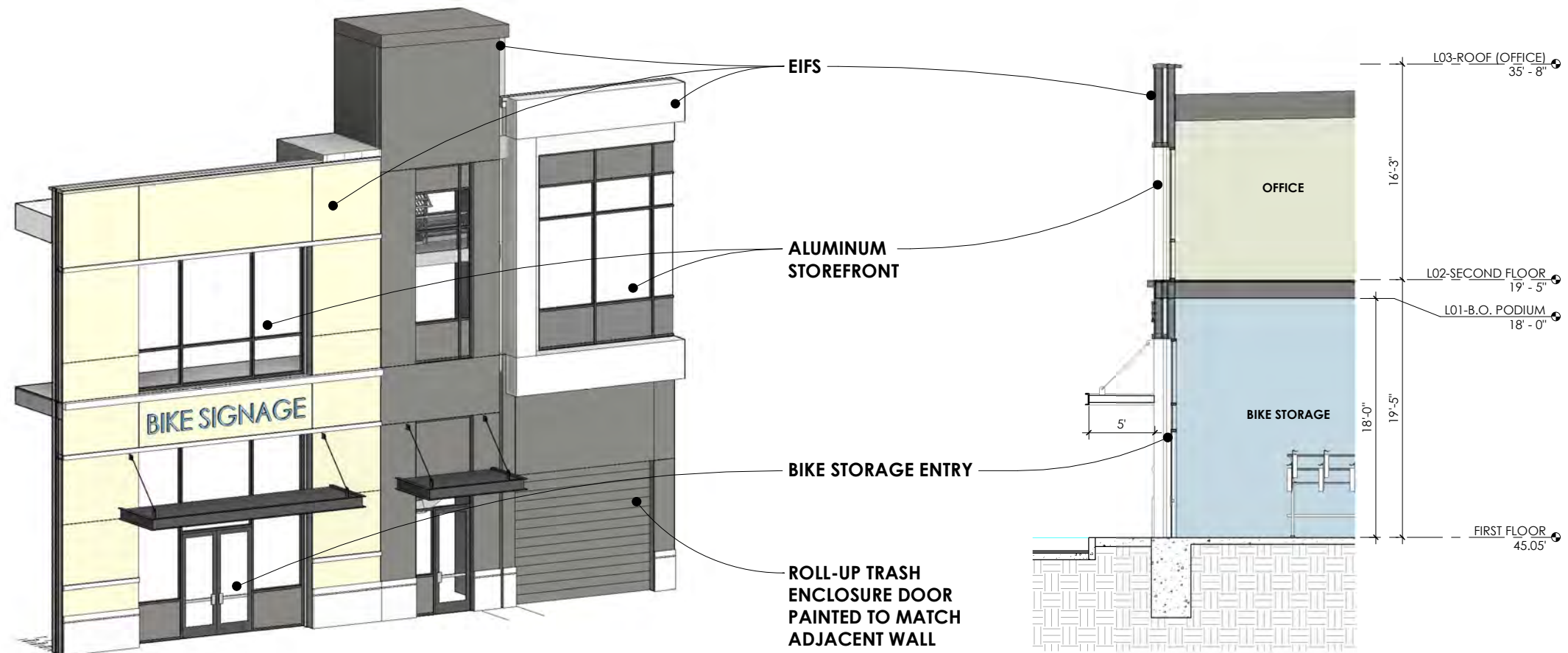




**OFFICE PARKING ENLARGED AXO & WALL SECTION**



**KEY PLAN**



**OFFICE BIKE STORAGE ENLARGED AXO & WALL SECTION**



ADDRESS  
1327 ARCHER STREET, STE. 220  
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ARRIS-STUDIO.COM  
THOMAS E. JESS  
ARCHITECT (CA) #C27048  
STEPHEN A. RIGOR  
ARCHITECT (CA) #C33672

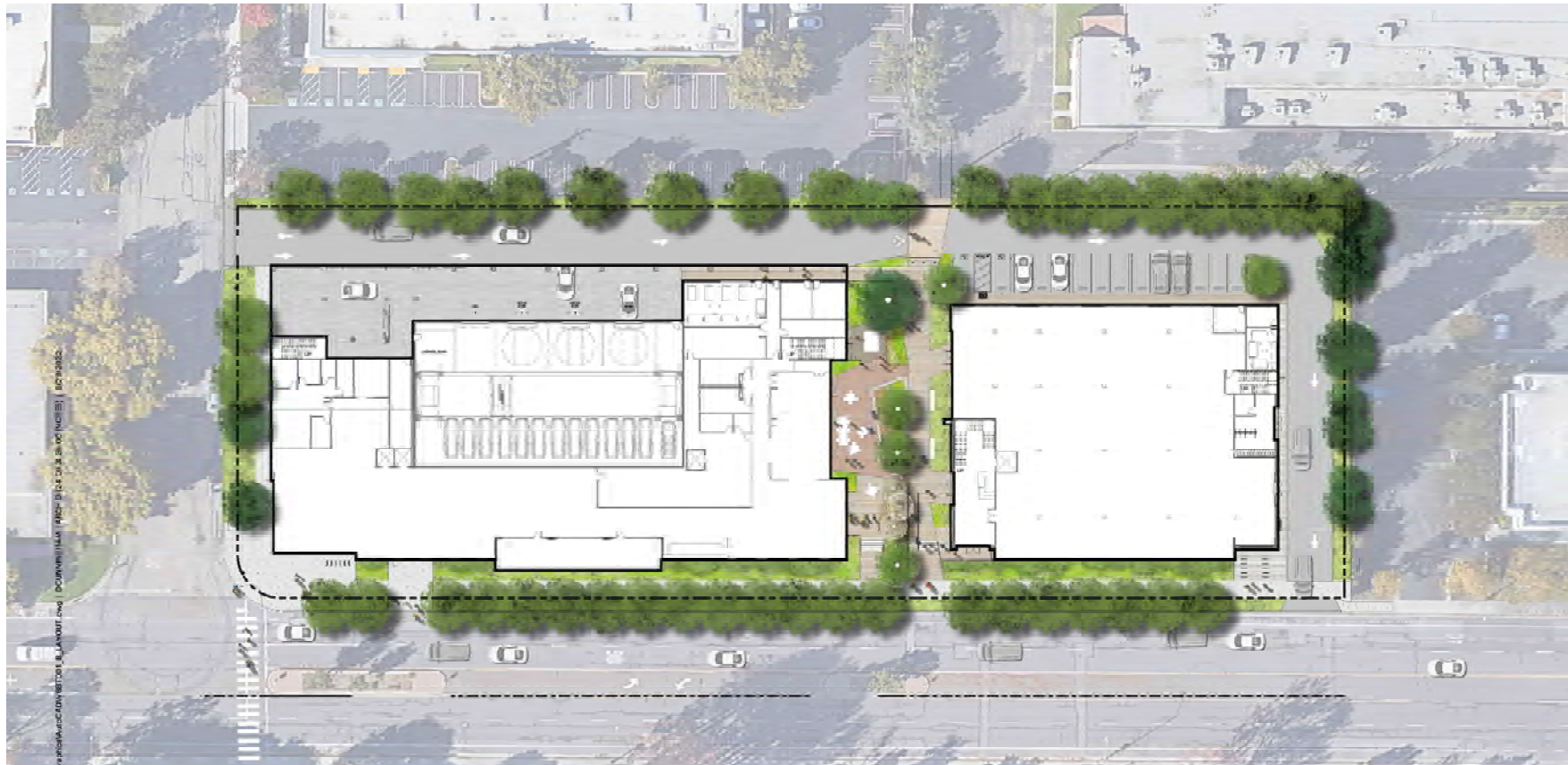
**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**ARCHITECTURAL DETAILS**

Date  
10/04/2022  
Scale  
24x36;  
1 1/2"=1'-0"

Sheet  
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**LAYOUT NOTES**

1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH ARCHITECTURAL AND CIVIL ENGINEER'S DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL CURRENT BUILDING GROUND FLOOR PLANS.
2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEERING DRAWINGS. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH LANDSCAPE SCOPE.
3. TAKE ALL DIMENSIONS FROM FACE OF CURB, WALL OR BUILDING OR TO CENTERLINE OF COLUMNS OR TREES UNLESS OTHERWISE NOTED. ALL MEASUREMENTS TO DESIGNATED CENTERLINE(S).
4. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LINE, FACE OF BUILDING, FACE OF WALL, OR CENTERLINE.
5. ALL DIMENSIONS TAKEN TO CENTERLINE OF BUILDING COLUMN SHALL MEAN THE FIRST ROW OF COLUMNS CLOSEST TO THE FACE OF THE BUILDING. SEE ARCHITECT'S DRAWINGS FOR CORRESPONDING COLUMN LINES.
6. ALL ANGLES TO BE 90 DEGREES AND ALL LINES OF PAVING AND FENCING TO BE PARALLEL UNLESS NOTED OTHERWISE. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS.
7. HOLD TOPS OF WALLS AND FENCES LEVEL UNLESS NOTED OTHERWISE.
8. REFERENCE TO NORTH REFERS TO PLAN NORTH, REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
9. DIMENSIONS TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
10. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
11. DO NOT INSTALL ANY WORK ON STRUCTURE PRIOR TO REVIEW OF WATERPROOFING BY ARCHITECT.
12. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEER'S DRAWINGS FOR ROADWAY CENTERLINES, BUILDING SETBACKS AND BENCH MARKS.
13. ALL CONCRETE SLABS AND RAMP OR STEP FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS AND FOOTINGS USING BARS OF THE SAME SIZE AND SPACING UNLESS NOTED OTHERWISE. SEE JOINTING DETAILS.

**PLANTING NOTES**

1. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED ON GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY, SUBJECT TO REVIEW BY THE LANDSCAPE ARCHITECT.
2. PROVIDE MATCHING SIZES AND FORMS FOR ALL HEDGE PLANTINGS. SPACE EQUALLY, ON GRID, TRIANGULARY, AS SHOWN.
3. FORM 40 INCH WATERING BASIN AROUND ALL TREES NOT INSTALLED IN LAWN OR PAVED AREAS. FILL BASIN WITH 2 INCH LAYER OF GRAVEL MULCH.
4. PROVIDE HEADER TO SEPERATE ALL SHRUB AND GROUND COVER PLANTING AREAS FROM LAWN PLANTING AREAS.
5. INSTALL LAWN UNDER ALL TREES THROUGHOUT ENTIRE LAWN PLANTING AREA TO LIMIT OF SPRAY IRRIGATION UNLESS NOTED OTHERWISE. TREES OUTSIDE OF SPRAY IRRIGATION LIMIT ARE TO BE DRIP IRRIGATED.
6. EQUALLY SPACE VINES WHERE PLANTED AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND APPROXIMATE SPACING.
7. EACH LOCATION OF ALL TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
8. EXACT PLACEMENT OF HEADERS WILL BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
9. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
10. FINISH ALL PLANTERS WITH 2" WOOD MULCH, UNON AS GRAVEL AT TREE PLANTINGS, SEE DRAWINGS.

**GRADING NOTES**

1. FOR EXISTING TOPOGRAPHY INCLUDING GRADES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS, EXISTING TREES, ETC., REFER TO THE CIVIL DRAWINGS.
2. ALL FINISHED GRADES SHALL PROVIDE FOR NATURAL RUNOFF OF WATER WITHOUT LOW SPOTS OR POCKETS. SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM 2% AND A MAXIMUM 50% GRADIENT UNLESS OTHERWISE NOTED.
3. HOLD FINISHED GRADES FOR SHRUB AND GROUND COVER AREAS 1 1/2 INCH BELOW TOP OF ADJACENT PAVEMENT, CURBS, OR HEADERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
4. GRADUALLY ROUND OFF TOPS AND TOES OF ALL PLANTED SLOPES TO PRODUCE A SMOOTH AND NATURAL APPEARING TRANSITION BETWEEN RELATIVELY LEVEL AREAS AND SLOPES.
5. GENERAL CONTRACTOR TO COORDINATE SIZE AND LOCATION OF SLAB PENETRATIONS FOR DRAINAGE STRUCTURES WITH MECHANICAL CONTRACTOR.

**ABBREVIATIONS**

BLDG	BUILDING	PGR	PER GEOTECHNICAL RECOMMENDATIONS
BIO	BIORETENTION	LOW	LIMIT OF WORK
BC	BOTTOM OF CURB	LP	LOW POINT
BW	BOTTOM OF WALL	R	RADIUS
CL	CENTER LINE	SIM	SIMILAR
CONC	CONCRETE	SJ	SCORE JOINT
DIA	DIAMETER	SQ	SQUARE
(E)	EXISTING	SS	STAINLESS STEEL
EQ	EQUAL	SSMH	SANITARY SEWER MANHOLE
EJ	EXPANSION JOINT	SSWR	SANITARY SEWER
FFE	FINISH FLOOR ELEVATION	TBD	TO BE DETERMINED
FG	FINISH GRADE	TYP	TYPICAL
GAL	GALLON	TC	TOP OF CURB
HDR	HEADER	TW	TOP OF WALL
HP	HIGH POINT	VIF	VERIFY IN FIELD
O.C.	ON CENTER		
OCEW	ON CENTER EACH WAY		
PA	PLANTING AREA		

Sheet List Table	
Sheet Number	Sheet Title
L0.00	COVER SHEET
L0.01	NOTES LEDEDS AND SCHEDULE
L0.02	TREE INVENTORY
L0.03	TREE DISPOSITION & PROTECTION PLAN
L0.04	TREE COVERAGE PLAN - EXISTING CONDITIONS
L0.05	TREE COVERAGE PLAN - AT CONSTRUCTION COMPLETION
L0.06	TREE COVERAGE PLAN - 5 - 10 YEARS
L0.07	TREE COVERAGE PLAN - FULL GROWTH
L1.01	LAYOUT AND MATERIAL PLAN
L3.01	SECTIONS
L3.02	SECTIONS
L4.00	PLANTING SCHEDULE & NOTES
L4.01	TREE PLANTING PLAN
L4.02	UNDERSTORY PLANTING PLAN
L4.03	PLANTING DETAILS
L5.00	IRRIGATION NOTES & LEGEND
L5.01	IRRIGATION PLAN
L5.02	IRRIGATION DETALS
L5.03	IRRIGATION DETAILS
L5.04	IRRIGATION DETAILS
L5.05	IRRIGATION DETIALS
L6.01	LIGHTING DIAGRAM
L7.01	DETAILS
L7.02	DETAILS



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**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**COVER SHEET**

Date 09/29/2022  
Scale 24x36:  
11x17:  
Sheet **L0.00**



**PAVING SCHEDULE**

SYMBOL/KEY	DESCRIPTION	COLOR	FINISH	REMARKS	DETAILS
P1	ACKERSTONE PERVIOUS PAVER '3X9 MICROCHAMFER'	IVORY/ISRAEL PEWTER	GRIND	RUNNING BOND, 2 7/8" X 8 3/4" NOMINAL. - INSTALL AT 50% IVORY & 50% ISRAEL PEWTER (EQUAL QUANTITY)	
P1V	ACKERSTONE VEHICULAR PAVER '3X9 MICROCHAMFER'	IVORY/ISRAEL PEWTER	GRIND	RUNNING BOND, 2 7/8" X 8 3/4" NOMINAL. - INSTALL, SEE ABOVE	
P2	ACKERSTONE PERVIOUS PAVER 'AQUALINA'	MESA BEIGHE	GRIND	RUNNING BOND, 3 7/8" X 11 3/4" NOMINAL.	
P3	LYNGSO 3/8" PEA GRAVEL	YOSEMITE SAND	SEE MANUFACTURERS SPEC.		
P4	TRUNCATED DOME	CHARCOAL 511	SANDBLASTED	24" X 36" TRUNCATED DOME PAVER BY STEPSTONE INC.	
P5	PUBLIC RIGHT-OF-WAY				

**SITE AMENITIES SCHEDULE**

SYMBOL/KEY	DESCRIPTION	COLOR	FINISH	REMARKS	DETAILS
A1	BIKE RACK: SITE PIECES MONOLINE DUO 2 EACH SHAPE	CLOTHES LINE	BEAD BLASTED / POWDER COATED PER SITE PIECES SPEC.	SITE PIECES MONOLINE STANDARD BIKE RACK	

**SITE WALL SCHEDULE**

SYMBOL/KEY	DESCRIPTION	COLOR	FINISH	REMARKS	DETAILS
W1	CAST IN PLACE CONCRETE SEAT WALL	DAVIS COLORS OUTBACK 677	LIGHT SANDBLAST	SAWCUT@ EXPANSION JOINTS	
W2	WOOD CAP	NATURAL COLOR	S4S	CLEAR HEART TIMBER SANDED SMOOTH 4 SIDES SUBMIT SHOP DWGS	
S1	STAIR WITH HANDRAIL	DAVIS COLORS OUTBACK 677	LIGHT SANDBLAST		

**LIGHTING SCHEDULE**

SYMBOL/KEY	DESCRIPTION	COLOR	FINISH	REMARKS	DETAILS
LL1	BEGA BUILDING ELEMENT LIGHT POLE	BRONZE	BEGA UNIDURE FINISH, SEE BEGA SPECIFICATIONS	BUILDING ELEMENT 84 064, PRODUCT NUMBER K3 (3000k COLOR TEMP)	
LL2	BEGA SHIELDED BOLLARD LUMINARIES	BRONZE	BEGA UNIDURE FINISH, SEE BEGA SPECIFICATIONS	BOLLARD 84 061, PRODUCT NUMBER K3 (3000k COLOR TEMP)	

**GENERAL**

SYMBOL/KEY	DESCRIPTION
	LIMIT OF WORK
	PROPERTY LINE
PA	PLANTING AREA
	EXISTING PAVING TO REMAIN
	EXISTING TREE

**GROUND COVER / SHRUBS**

SYMBOL	KEY / COMMON NAME	SCIENTIFIC NAME	SIZE/SPACING	WUCOLS	NOTES
	CAR_DI EUROPEAN GREY SEDGE	CAREX DIVULSA	1 GAL 12" O.C.	LOW	TRI-SPACING
	PIT_CO COMPACT PITTOSPORUM	PITOSPORUM COMPACTUM	5 GAL 36" O.C.	MEDIUM	TRI-SPACING
	LOM_LON DWARF MAT RUSH	LOMANDRA LONGIFOLIA 'BREEZE'	5 GAL 30" O.C.	LOW	TRI-SPACING
(MA)	MAH_SO SOFT CARESS MAHONIA	MAHONIA 'SOFT CARESS'	5 GAL 24" O.C.	LOW	TRI-SPACING
	ARC_DEN HOWARD McMINN MANZANITA	ARCTOSTAPHYLOS DESNIFLORA 'HOWARD McMINN'	5 GAL	LOW	
	PSO_MIX (50%)GOLDEN VARIEGATED SWEET FLAG (50%)CORSICAN HELLEBORE	ACORUS GRAMINEUS 'OGON' HELLEBORUS ARGUTIFOLIUS	1 GAL 18" O.C.	HIGH	TRI-SPACING
	GRS_MIX (33%)CALIFORNIA FESCUE (33%)SPREADING RUSH (33%)COMMON YARROW	FESTUCA CALIFORNICA JUNCUS PATENS ACHILLEA MILLEFOLIUM	1 GAL 24" O.C.	LOW	TRI-SPACING

**TREE**

SYMBOL	KEY/COMMON NAME	SCIENTIFIC NAME	HEIGHT/WIDTH	QUANTITY	WUCOLS	REMARKS/SIZE
	TIL_TOM SILVER LINDEN	TILIA TOMENTOSA	50-70' TALL 25-35' WIDE	24	LOW	24" BOX*
	ARB_MAR MARINA STRAWBERRY TREE	ARBUTUS X 'MARINA'	20-30' TALL 20-30' WIDE	6	LOW	36" BOX*
	CHI_VIR CHINESE FRINGE TREE	CHIONATHUS VIRGINICUS	12-20' TALL 12-20' WIDE	3	MODERATE	24" BOX*
	ACE_FRE FREEMAN'S MAPLE	ACER X FREEMANII	40-60' TALL 20-40' WIDE	2	MODERATE	24" BOX*
	GNK_BIL GINKGO TREE	GINKGO BILOBA	40-60' TALL 20-40' WIDE	9	MODERATE	36" BOX

**TREE DISPOSITION LEGEND**

SYMBOL/KEY	DESCRIPTION	QUANTITY	NOTE
	HERITAGE TREE, TO PROTECT IN PLACE	11	(D) NOTES DESIGNATED TREES. DASH REPRESENTS TREE DRIPLINE
	EXISTING TREE, TO PROTECT IN PLACE	1	SEE PLAN FOR LOCATIONS
	EXISTING TREE ON ADJACENT PROPERTY, TO PROTECT IN PLACE	7	SEE PLAN FOR LOCATIONS
	EXISTING TREE TO BE REMOVED	15	REMOVED 15 PLANTED 16
	HERITAGE TREE, TO BE REMOVED	14	REMOVED 14 PLANTED 28
	TREE PROTECTION FENCING ZONE	7	

**TREE DISPOSITION RATIOS**

- \* HERITAGE TREES REMOVED TO BE REPLACED AT A 2:1 RATIO
- \* NON-HERITAGE TREES REMOVED TO BE REPLACED AT A 1:1 RATIO

**TREE PRESERVATION GUIDELINES**

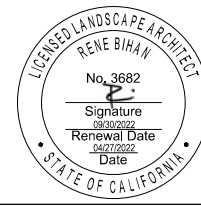
THE FOLLOWING RECOMMENDATIONS WILL HELP REDUCE IMPACTS TO TREES FROM DEVELOPMENT AND MAINTAIN AND IMPROVE THEIR HEALTH AND VITALITY THROUGH THE CLEARING, GRADING AND CONSTRUCTION PHASES.

**DESIGN RECOMMENDATIONS**

1. ACCURATELY LOCATE THE TRUNKS OF TREES (HORIZONTALLY AND VERTICALLY) NOT ALREADY LOCATED FOR TREES TO BE PRESERVED (#415-417).
2. INCLUDE TREES TO BE PRESERVED AND TREE PROTECTION ZONES (TPZs) ON ALL CONSTRUCTION PLANS.
3. ENSURE THAT ALL PLANS INCLUDE THE NEW NUMBERING SYSTEM FOR THE TREES AND EVERYONE IS CLEAR WHICH TREES ARE BEING PRESERVED.
4. PROJECT PLANS AFFECTING THE TREES SHALL BE REVIEWED BY THE CONSULTING ARBORIST WITH REGARD TO TREE IMPACTS. THESE INCLUDE, BUT ARE NOT LIMITED TO, DEMOLITION PLANS, SITE PLANS, IMPROVEMENT PLANS, UTILITY AND DRAINAGE PLANS, GRADING PLANS, AND LANDSCAPE AND IRRIGATION PLANS.
5. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AROUND EACH TREE TO BE PRESERVED. NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. TPZs ARE DEFINED IN TABLE 3 AND TABLE 4.
6. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TREE PROTECTION ZONE.
7. IRRIGATION SYSTEMS MUST BE DESIGNED SO THAT NO TRENCHING WILL OCCUR WITHIN THE TREE PROTECTION ZONE.
8. AS TREES WITHDRAW WATER FROM THE SOIL, EXPANSIVE SOILS MAY SHRINK WITHIN THE ROOT AREA. THEREFORE, FOUNDATIONS, FOOTINGS AND PAVEMENTS ON EXPANSIVE SOILS NEAR TREES SHOULD BE DESIGNED TO WITHSTAND DIFFERENTIAL DISPLACEMENT.
9. ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELED FOR THAT USE.
10. DO NOT LIME THE SUBSOIL WITHIN 50' OF ANY TREE. LIME IS TOXIC TO TREE ROOTS.

**PRE-CONSTRUCTION TREATMENTS AND RECOMMENDATIONS**

1. THE DEMOLITION AND CONSTRUCTION SUPERINTENDENTS SHALL MEET WITH THE CONSULTING ARBORIST BEFORE BEGINNING WORK TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS AND TREE PROTECTION MEASURES.
2. FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCES SHALL BE 6 FT. CHAIN LINK OR EQUIVALENT AS APPROVED BY THE CONSULTING ARBORIST. FENCES ARE TO REMAIN UNTIL ALL GRADING AND CONSTRUCTION IS COMPLETED.
3. WHERE DEMOLITION MUST OCCUR CLOSE TO TREES, SUCH AS REMOVING CURB AND PAVEMENT, INSTALL TEMPORARY TRUNK PROTECTION DEVICES SUCH AS WINDING SILT SOCK WATTLE OR WOOD PLANKS AROUND TRUNKS OR STACKING HAY BALES AROUND TREE TRUNKS TO A HEIGHT OF APPROXIMATELY 5'. ANY LOW BRANCHES THAT ARE WITHIN THE WORK ZONE SHOULD ALSO BE PROTECTED. REMOVE TRUNK PROTECTION AFTER DEMOLITION IS COMPLETED AND INSTALL PROTECTIVE FENCE AT THE LIMITS OF THE TREE PROTECTION ZONE. DO NOT RETAIN WATTLE AROUND TREE TRUNKS FOR MORE THAN 2-3 WEEKS TO AVOID DAMAGING TRUNKS FROM EXCESS MOISTURE.
4. TREES MAY REQUIRE PRUNING TO PROVIDE CONSTRUCTION CLEARANCE. ALL PRUNING SHALL BE COMPLETED BY A CERTIFIED ARBORIST OR TREE WORKER AND ADHERE TO THE LATEST EDITION OF THE ANSI Z133 AND A300 STANDARDS AS WELL AS THE 'BEST MANAGEMENT PRACTICES-TREE PRUNING' PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. BRUSH SHALL BE CHIPPED AND SPREAD BENEATH THE TREES WITHIN THE TREE PROTECTION ZONE.
5. TREE(S) TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREE(S) TO REMAIN MUST BE REMOVED BY A QUALIFIED ARBORIST AND NOT BY CONSTRUCTION CONTRACTORS. THE QUALIFIED ARBORIST SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO DAMAGE TO THE TREE(S) AND UNDERSTORY TO REMAIN. TREE STUMPS SHALL BE GROUND 12" BELOW GROUND SURFACE.
6. ALL TREE WORK SHALL COMPLY WITH THE MIGRATORY BIRD TREATY ACTS AS WELL AS CALIFORNIA FISH AND WILDLIFE CODE 3503-3513 TO NOT DISTURB NESTING BIRDS. TREE PRUNING AND REMOVAL SHOULD BE SCHEDULED OUTSIDE OF THE BREEDING SEASON TO AVOID SCHEDULING DELAYS. BREEDING BIRD SURVEYS SHOULD BE CONDUCTED PRIOR TO TREE WORK. QUALIFIED BIOLOGISTS SHOULD BE INVOLVED IN ESTABLISHING WORK BUFFERS FOR ACTIVE NESTS.
7. TREES TO BE REMOVED SHALL BE FELLED SO AS TO FALL AWAY FROM TREE PROTECTION ZONE AND AVOID PULLING AND BREAKING OF ROOTS OF TREES TO REMAIN. IF ROOTS ARE ENTWINED, THE CONSULTING ARBORIST MAY REQUIRE FIRST SEVERING THE MAJOR WOODY ROOT MASS BEFORE EXTRACTING THE TREES, OR GRINDING THE STUMP BELOW GROUND.
8. ALL DOWN BRUSH AND TREES SHALL BE REMOVED FROM THE TREE PROTECTION ZONE EITHER BY HAND, OR WITH EQUIPMENT SITTING OUTSIDE THE TREE PROTECTION ZONE. EXTRACTION SHALL OCCUR BY LIFTING THE MATERIAL OUT, NOT BY SKIDDING ACROSS THE GROUND. BRUSH SHALL BE CHIPPED AND SPREAD BENEATH THE TREES WITHIN THE TREE PROTECTION ZONE.



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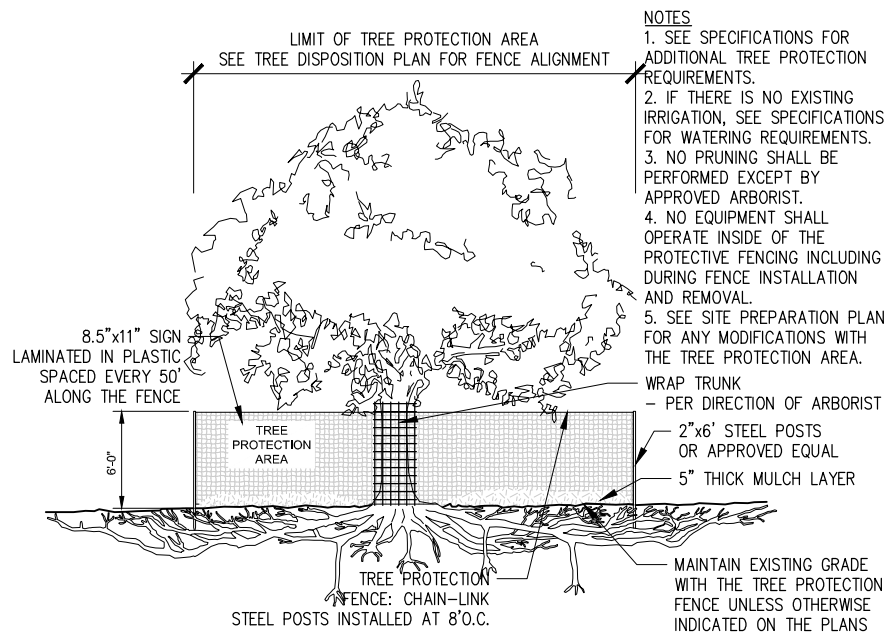
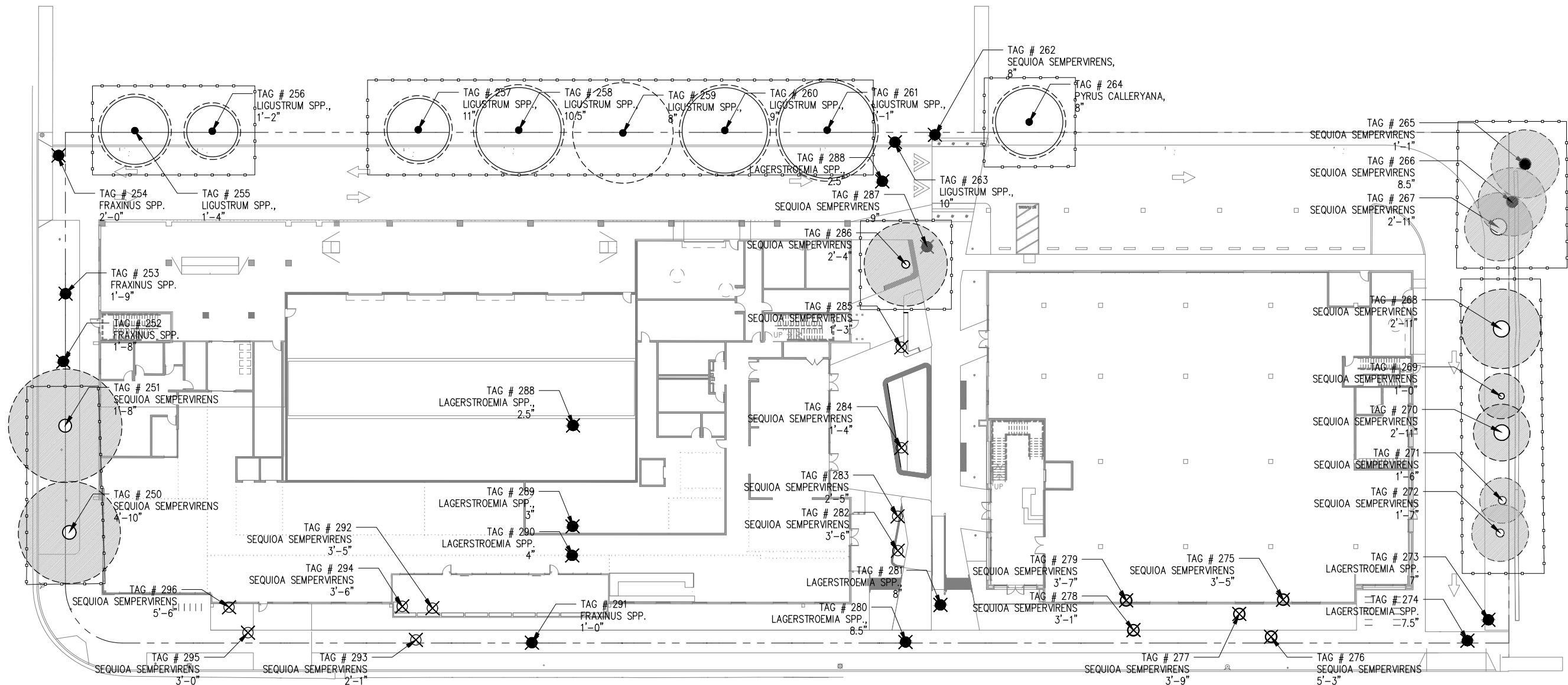
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**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA

**NOTES LEDENDS AND SCHEDULE**

Date 09/29/2022  
Scale 24x36: 1/16"=1'-0"  
Sheet **L0.01**





- NOTES**
1. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
  2. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
  3. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  4. NO EQUIPMENT SHALL OPERATE INSIDE OF THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  5. SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.

**TREE DISPOSITION LEGEND**

SYMBOL/KEY	DESCRIPTION	QUANTITY
	HERITAGE TREE, TO PROTECT IN PLACE	11
	EXISTING TREE, TO PROTECT IN PLACE	1
	EXISTING TREE ON ADJACENT PROPERTY, TO PROTECT IN PLACE	7
	EXISTING TREE TO BE REMOVED	15
	HERITAGE TREE, TO BE REMOVED	14
	TREE PROTECTION FENCING ZONE	7

**GENERAL**

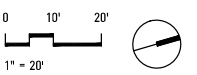
SYMBOL/KEY	DESCRIPTION
	LIMIT OF WORK
	PLANTING AREA
	EXISTING PAVING TO REMAIN
	EXISTING TREE

**CITY OF MOUNTAIN VIEW URBAN TREE PROTECTION REQUIREMENTS**

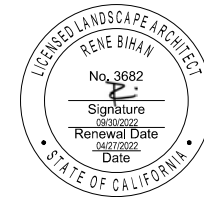
ORDINANCE NO. 4.11 (3/1/11) CHAPTER 32, ARTICLE II, PROTECTION OF URBAN FOREST PROTECTS HERITAGE TREES WITHIN THE CITY. HERITAGE TREES ARE DEFINED AS:

1. A TREE WHICH HAS A TRUNK WITH A CIRCUMFERENCE OF 48 INCHES (15 INCHES DIAMETER) OR MORE MEASURED AT FIFTY-FOUR (54) INCHES ABOVE NATURAL GRADE;
2. A MULTI-BRANCHED TREE WHICH HAS MAJOR BRANCHES BELOW FIFTY-FOUR (54) INCHES ABOVE THE NATURAL GRADE WITH A CIRCUMFERENCE OF 48 INCHES MEASURED JUST BELOW THE FIRST MAJOR TRUNK FORK.
3. ANY QUERCUS (OAK), SEQUOIA (REDWOOD), OR CEDRUS (CEDAR) TREE WITH A CIRCUMFERENCE OF 12 INCHES (4 INCHES DIAMETER) OR MORE WHEN MEASURED AT FIFTY-FOUR (54) INCHES ABOVE NATURAL GRADE;
4. A TREE OR GROVE OF TREES DESIGNATED BY RESOLUTION OF THE CITY COUNCIL TO BE OF SPECIAL HISTORICAL VALUE OR OF SIGNIFICANT COMMUNITY BENEFIT.

HERITAGE TREES ARE REQUIRED TO BE MAINTAINED AND PRESERVED IN A, "STATE OF GOOD HEALTH." THEY MAY NOT BE "INJURED, DAMAGED, DESTROYED, MOVED OR REMOVED" WITHOUT A HERITAGE TREE REMOVAL PERMIT.



**1 TREE PROTECTION DETAIL**  
1/4" = 1'-0"



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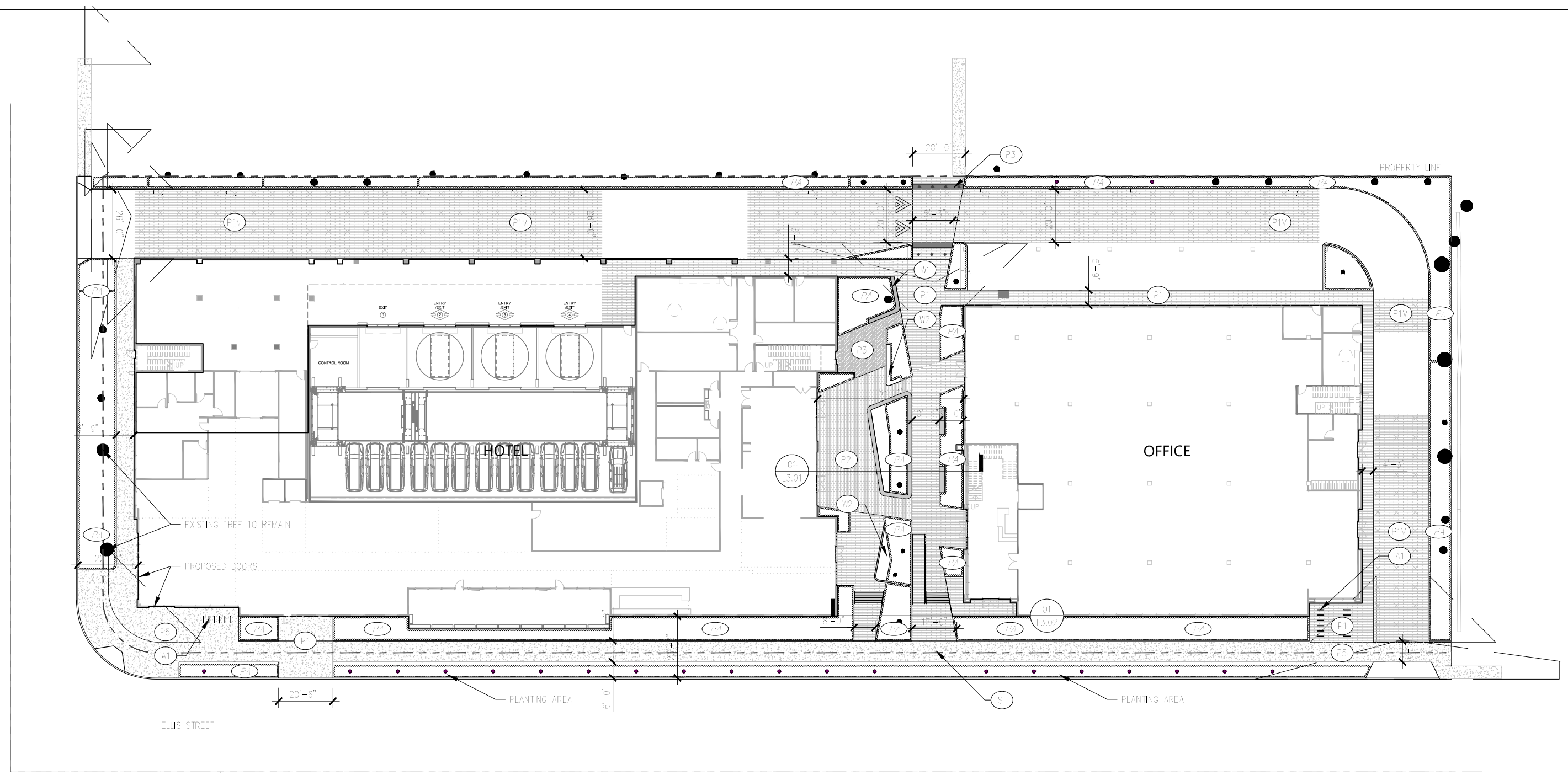
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**TREE DISPOSITION & PROTECTION PLAN**

Date: 09/29/2022  
Scale: 24x36: 1/4"=1'-0"  
Sheet: **L0.03**



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**PAVING SCHEDULE**

SYMBOL/KEY	DESCRIPTION	COLOR
P1	ACKERSTONE PERVIOUS PAVER '3X9 MICROCHAMFER'	IVORY/ISRAEL PEWTER
P1V	ACKERSTONE VEHICULAR PAVER '3X9 MICROCHAMFER'	IVORY/ISRAEL PEWTER
P2	ACKERSTONE PERVIOUS PAVER 'AQUALINA'	MESA BEIGHE
P3	LYNGSO 3/8" PEA GRAVEL	YOSEMITE SAND
P4	TRUNCATED DOME	CHARCOAL 511

**SITE AMENITIES SCHEDULE**

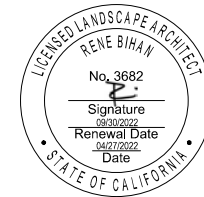
SYMBOL/KEY	DESCRIPTION
A1	BIKE RACK; SITE PIECES MONOLINE DUO 2 EACH SHAPE

**SITE WALL SCHEDULE**

SYMBOL/KEY	DESCRIPTION
W1	CAST IN PLACE CONCRETE SEAT WALL
W2	WOOD CAP
S1	STAIR WITH HANDRAIL

**GENERAL**

SYMBOL/KEY	DESCRIPTION
	LIMIT OF WORK
PA	PLANTING AREA
	EXISTING PAVING TO REMAIN
	EXISTING TREE



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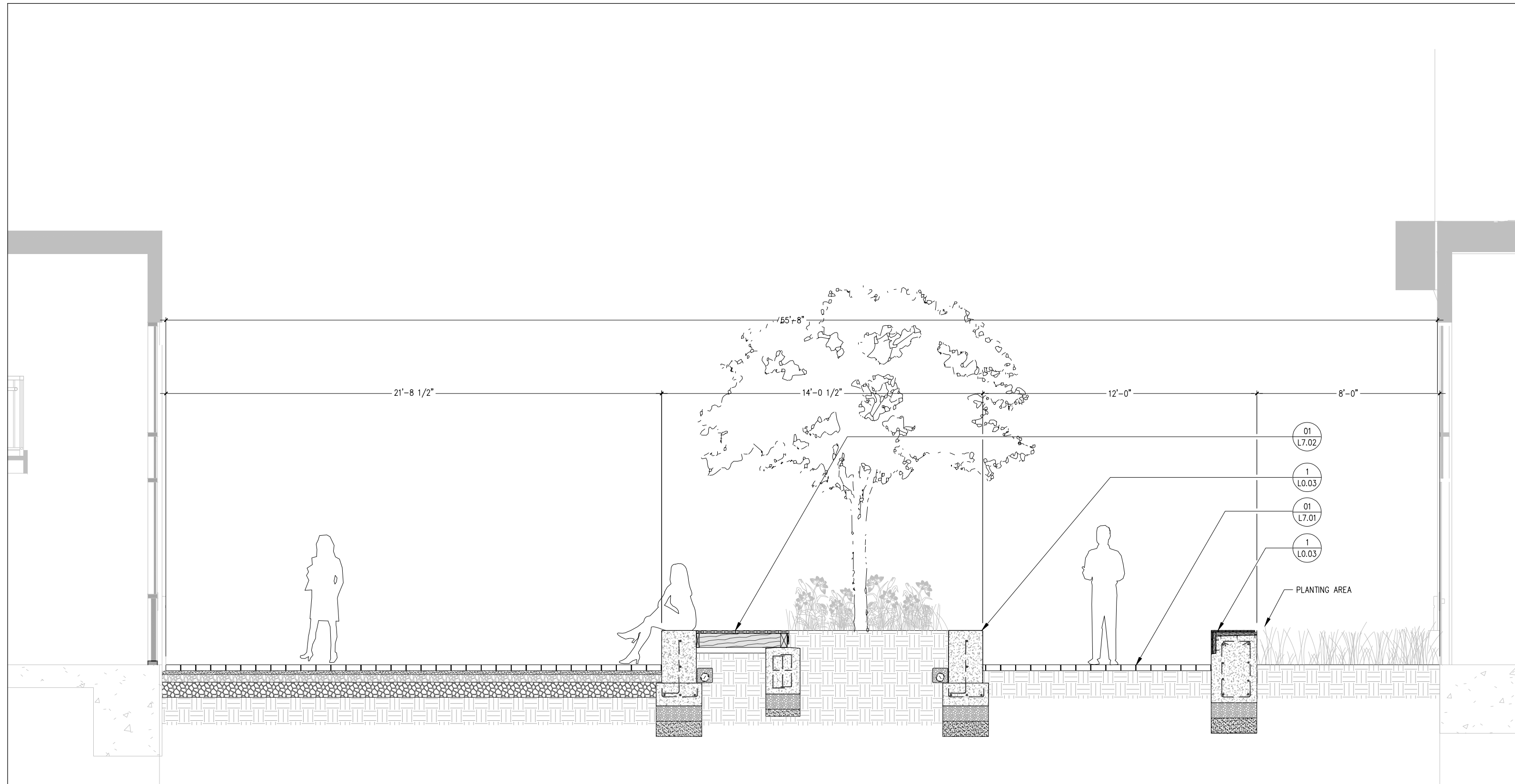
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MOUNTAIN VIEW, CA  
**LAYOUT & MATERIAL PLAN**

Date: 09/29/2022  
Scale: 24x36; 1/8"=1'-0"  
Sheet: **L1.01**

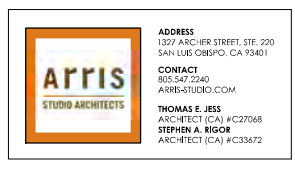




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01 PASEO SECTION 1  
1/2" = 1'-0"

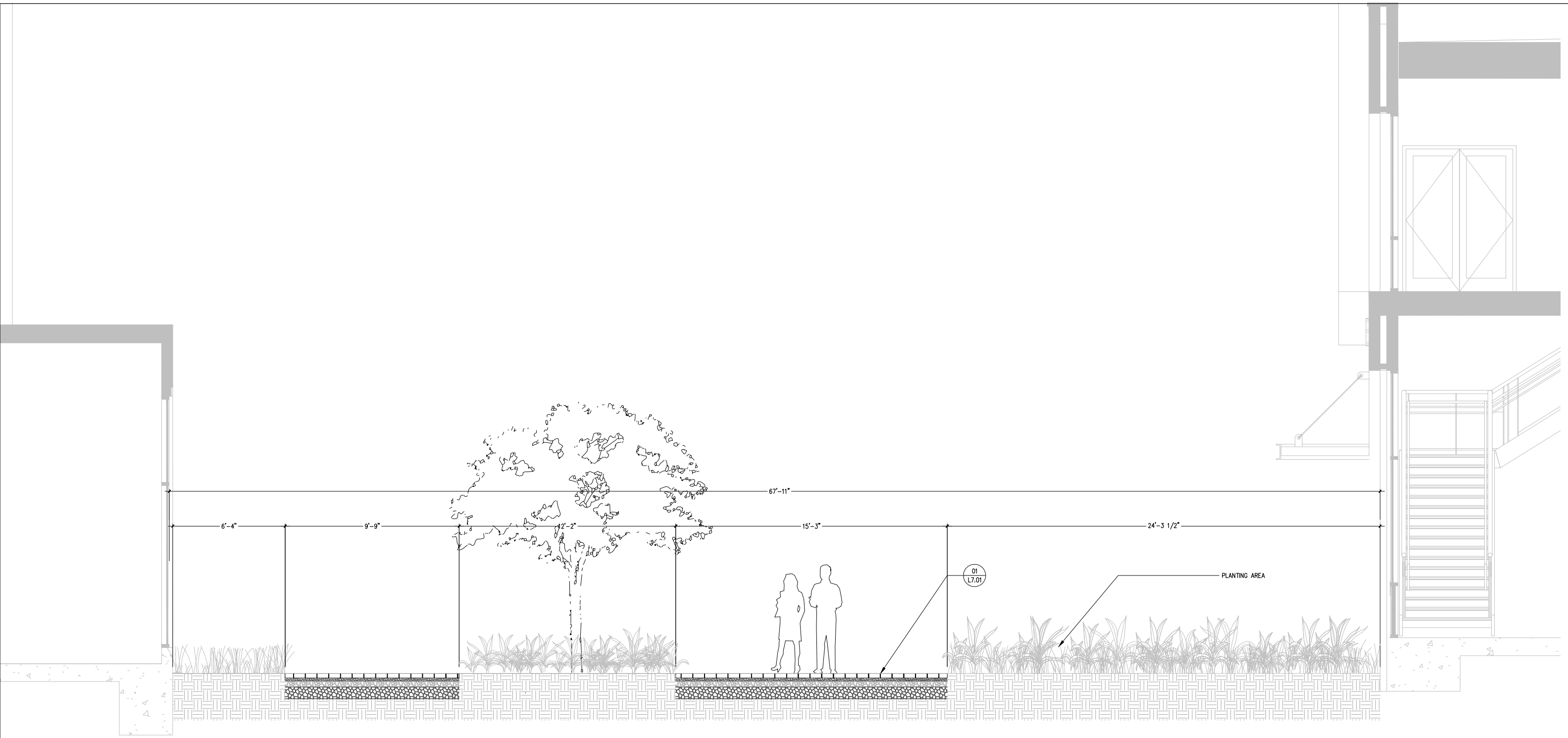


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MOUNTAIN VIEW, CA  
**SECTIONS**

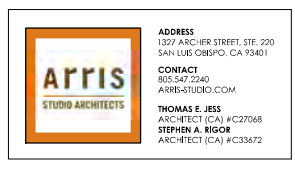
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11x17:  
Sheet **L3.01**



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01 PASEO SECTION 2  
 3/8" = 1'-0"



**500 & 550 ELLIS ST.**  
 MOUNTAIN VIEW, CA  
 SECTIONS

Date 09/29/2022  
 Scale 24x36:  
 11x17:  
 Sheet  
**L3.02**



GROUND COVER / SHRUBS

SYMBOL	KEY / COMMON NAME	SCIENTIFIC NAME	SIZE/SPACING	WUCOLS	NOTES
	CAR_DI EUROPEAN GREY SEDEGE	CAREX DIVULSA	1 GAL 12" O.C.	LOW	TRI-SPACING
	PIT_CO COMPACT PITTOSPORUM	PITTOSPORUM COMPACTUM	5 GAL 36" O.C.	MEDIUM	TRI-SPACING
	LOM_LON DWARF MAT RUSH	LOMANDRA LONGIFOLIA 'BREEZE'	5 GAL 30" O.C.	LOW	TRI-SPACING
	MAH_SO SOFT CARESS MAHONIA	MAHONIA 'SOFT CARESS'	5 GAL 24" O.C.	LOW	TRI-SPACING
	ARC_DEN HOWARD McMINN MANZANITA	ARCTOSTAPHYLOS DESNIFLORA 'HOWARD McMINN'	5 GAL	LOW	.
	PSO_MIX (50%)GOLDEN VARIEGATED SWEET FLAG (50%)CORSICAN HELLEBORE	ACORUS GRAMINEUS 'OGON' HELLEBORUS ARGUTIFOLIUS	1 GAL 18" O.C.	HIGH	TRI-SPACING
	GRS_MIX (33%)CALIFORNIA FESCUE (33%)SPREADING RUSH (33%)COMMON YARROW	FESTUCA CALIFORNICA JUNCUS PATENS ACHILLEA MILLEFOLIUM	1 GAL 24" O.C.	LOW	TRI-SPACING

TREE

SYMBOL	KEY/COMMON NAME	SCIENTIFIC NAME	HEIGHT/WIDTH	QUANTITY	WUCOLS	REMARKS/SIZE
	TIL_TOM SILVER LINDEN	TILIA TOMENTOSA	50-70' TALL 25-35' WIDE	24	LOW	24" BOX*
	ARB_MAR MARINA STRAWBERRY TREE	ARBUTUS X 'MARINA'	20-30' TALL 20-30' WIDE	6	LOW	36" BOX*
	CHI_VIR CHINESE FRINGE TREE	CHIONATHUS VIRGINICUS	12-20' TALL 12-20' WIDE	3	MODERATE	24" BOX*
	ACE_FRE FREEMAN'S MAPLE	ACER X FREEMANII	40-60' TALL 20-40' WIDE	2	MODERATE	24" BOX*
	GNK_BIL GINKGO TREE	GINKGO BILOBA	40-60' TALL 20-40' WIDE	9	MODERATE	36" BOX

TREE DISPOSITION LEGEND

SYMBOL/KEY	DESCRIPTION	QUANTITY	NOTE
	HERITAGE TREE, TO PROTECT IN PLACE	11	(D) NOTES DESIGNATED TREES. DASH REPRESENTS TREE DRIPLINE
	EXISTING TREE, TO PROTECT IN PLACE	1	SEE PLAN FOR LOCATIONS
	EXISTING TREE ON ADJACENT PROPERTY, TO PROTECT IN PLACE	7	SEE PLAN FOR LOCATIONS
	EXISTING TREE TO BE REMOVED	15	REMOVED 15 PLANTED 16
	HERITAGE TREE, TO BE REMOVED	14	REMOVED 14 PLANTED 28
	TREE PROTECTION FENCING ZONE	7	

TREE DISPOSITION RATIOS

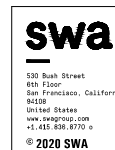
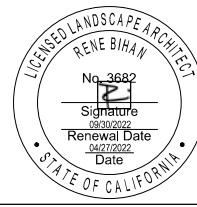
- \* HERITAGE TREES REMOVED TO BE REPLACED AT A 2:1 RATIO
- \* NON-HERITAGE TREES REMOVED TO BE REPLACED AT A 1:1 RATIO

LAYOUT NOTES

1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH ARCHITECTURAL AND CIVIL ENGINEER'S DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL CURRENT BUILDING GROUND FLOOR PLANS.
2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEERING DRAWINGS. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH LANDSCAPE SCOPE.
3. TAKE ALL DIMENSIONS FROM FACE OF CURB, WALL OR BUILDING OR TO CENTERLINE OF COLUMNS OR TREES UNLESS OTHERWISE NOTED. ALL MEASUREMENTS TO DESIGNATED CENTERLINE(S).
4. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LINE, FACE OF BUILDING, FACE OF WALL, OR CENTERLINE.
5. ALL DIMENSIONS TAKEN TO CENTERLINE OF BUILDING COLUMN SHALL MEAN THE FIRST ROW OF COLUMNS CLOSEST TO THE FACE OF THE BUILDING. SEE ARCHITECT'S DRAWINGS FOR CORRESPONDING COLUMN LINES.
6. ALL ANGLES TO BE 90 DEGREES AND ALL LINES OF PAVING AND FENCING TO BE PARALLEL UNLESS NOTED OTHERWISE. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS.
7. HOLD TOPS OF WALLS AND FENCES LEVEL UNLESS NOTED OTHERWISE.
8. REFERENCE TO NORTH REFERS TO PLAN NORTH, REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
9. DIMENSIONS TAKE PRESCIENCE OVER SCALES SHOWN ON DRAWINGS.
10. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRESCIENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
11. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEER'S DRAWINGS FOR ROADWAY CENTERLINES, BUILDING SETBACKS AND BENCH MARKS.
12. ALL CONCRETE SLABS AND RAMP OR STEP FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS AND FOOTINGS USING BARS OF THE SAME SIZE AND SPACING UNLESS NOTED OTHERWISE. SEE JOINTING DETAILS.

PLANTING NOTES

1. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED ON GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY, SUBJECT TO REVIEW BY THE LANDSCAPE ARCHITECT.
2. PROVIDE MATCHING SIZES AND FORMS FOR ALL HEDGE PLANTINGS. SPACE EQUALLY, ON GRID, TRIANGULARLY, AS SHOWN.
3. FORM 40 INCH WATERING BASIN AROUND ALL TREES NOT INSTALLED IN LAWN OR PAVED AREAS. FILL BASIN WITH 3 INCH LAYER OF GRAVEL MULCH.
4. PROVIDE HEADER TO SEPARATE ALL SHRUB AND GROUND COVER PLANTING AREAS.
5. EACH LOCATION OF ALL TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
6. EXACT PLACEMENT OF HEADERS WILL BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
7. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
8. FINISH ALL PLANTERS WITH 3" GRAVEL MULCH, SEE DRAWINGS.



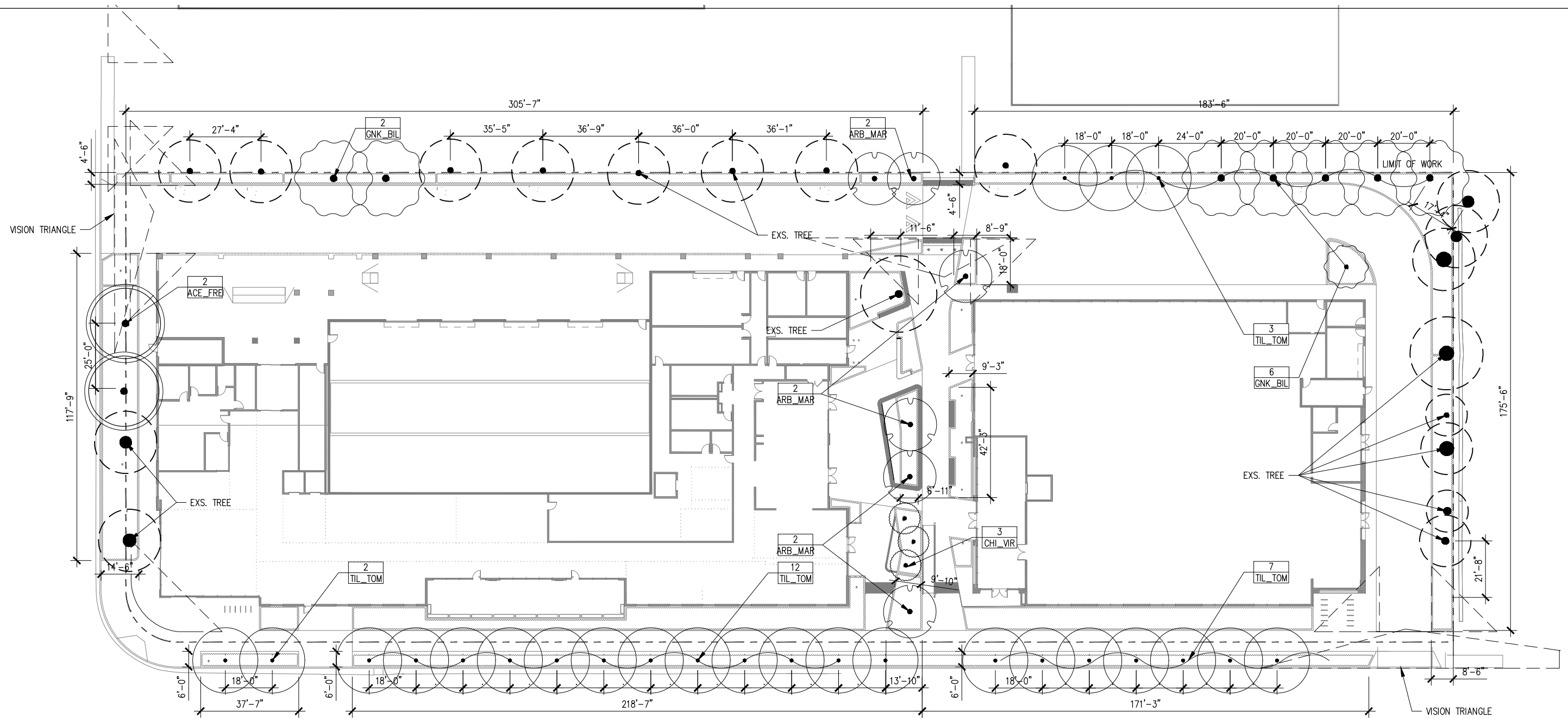
ADDRESS  
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**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**PLANTING SCHEDULE &  
NOTES**

Date 09/29/2022  
Scale 24x36:  
11x17:  
Sheet **L4.00**



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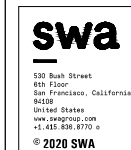
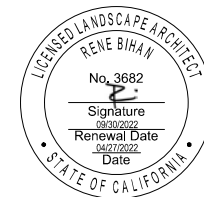


**TREE PLANT KEY**

SYMBOL	KEY/COMMON NAME
	TIL_TOM SILVER LINDEN
	ARB_MAR MARINA STRAWBERRY TREE
	CHI_VIR CHINESE FRINGE TREE
	ACE_FRE FREEMAN'S MAPLE
	GNK_BIL GINKGO TREE

**GENERAL**

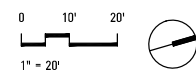
SYMBOL/KEY	DESCRIPTION
- - - - -	LIMIT OF WORK
	PLANTING AREA
	EXISTING PAVING TO REMAIN
	EXISTING TREE



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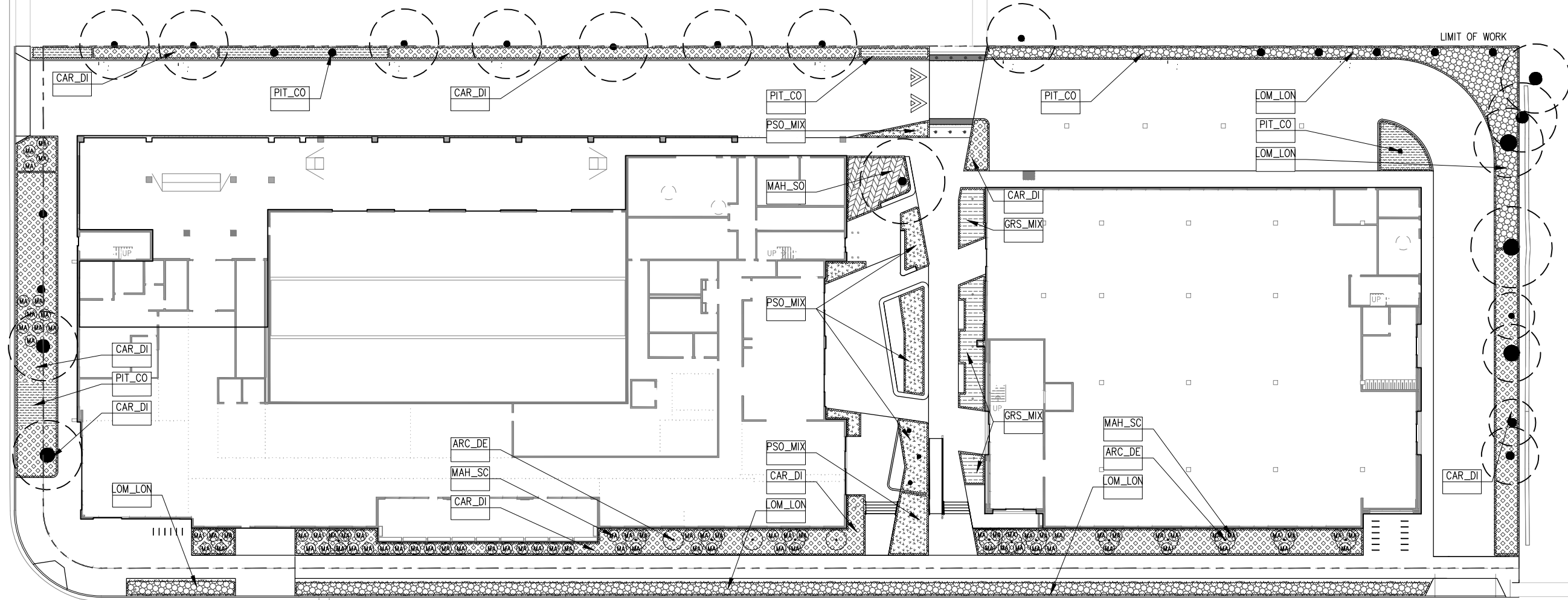
**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**TREE PLANTING PLAN**

Date: 09/29/2022  
Scale: 24x36: 1/16"=1'-0"  
Sheet: **L4.01**





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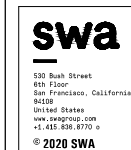
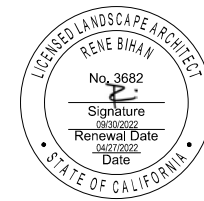
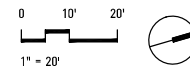


UNDERSTORY PLANT KEY

SYMBOL	COMMON NAME	SYMBOL	COMMON NAME
	PIT_CO COMPACT PITTOSPORUM		GRS_MIX (33%) CALIFORNIA FESCUE (33%) SPREADING RUSH (33%) COMMON YARROW
	CAR_DI EUROPEAN GREY SEdge		
	MAH_SO SOFT CARESS MAHONIA		
	LOM_LON DWARF MAT RUSH		
	ARC_DE HOWARD McMINN MANZANITA		
	PSO_MIX (50%) GOLDEN VARIEGATED SWEET FLAG (50%) CORSICAN HELLEBORE		

GENERAL

SYMBOL/KEY	DESCRIPTION
	LIMIT OF WORK
	PLANTING AREA
	EXISTING PAVING TO REMAIN
	EXISTING TREE



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**500 & 550 ELLIS ST.**  
MOUNTAIN VIEW, CA  
**UNDERSTORY PLANTING  
PLAN**

Date: 09/29/2022  
Scale: 24x36: 1/16"=1'-0"  
Sheet: **L4.02**