

**OWNERS:**  
**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**ADDRESS:**  
**1332 PARK DR. MOUNTAIN VIEW, CA 94040**

**APN: 189-32-028**



**SCOPE OF THE WORK**

**DEMOLISH AND REMOVE EXISTING OLD BUILDING, GARAGE**

**CONSTRUCT NEW DOUBLE STORIES 3 SEPARATE RESIDENTIAL CUSTOM HOUSES WITH ATTACHED ADU**

PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM FOR THE MAIN RESIDENCE PER CRC CALIFORNIA RESIDENTIAL CODE SECTION R313 , R313.2 INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT.

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**PROPOSED TWO STORY HOME WITH ATTACHED ADU APN # :189-32-028**

LOT SIZE: 100' x 135' = 13,500.00 SQ. FT.  
 NET LOT AREA AFTER 5' ST DEDICATION : 100' x 130' = 13,000.00 SQ. FT.  
 BUILDING COVERAGE (Bldg. SQ. FT. @ 1st Floor)  
 35% FOR LOT = 0.35 x 13,500.00 = 4,725.00 SQ. FT. (Inc. Garage & Covered Porches, not Inc. ADU)  
 MAIN HOUSE'S COVERAGE = (A+B+C) = 1,285 (A) + 1,111 (B) + 972 (C) = 3,368 SQ. FT.  
 ADU'S (A+B+C) = 1,459 SQ. FT. (SHEETS A4, A9, A14)  
 BUILDING FLOOR AREA RATIO (Total Bldg. SQ. FT.)  
 45% FOR LOT = 0.45 x 13,500.00 = 6,075.00 SQ. FT. (Inc. Garage, not Inc. ADU & Covered Porches)  
 MAIN HOUSE'S = (A+B+C) = 1,137 (A) + 1,010 (B) + 872 (C) = 3,019.00 SQ. FT. (SHEETS A4, A9, A14)  
 ADU'S (A+B+C) = 1,459 SQ. FT.

**PARKING**  
 GARAGE AND EXTERIOR PARKING TOTAL SHOWN = 6 = (2 PARKING SPACES PER DWELLING UNIT) THE GARAGES MUST REMAIN CLEARANCE WITHIN THE MINIMUM 9'x 20' SPACE (E.G. NO CABINETRY , DOOR SWINGING INTO THE CLEARANCE.)  
**BICYCLE PARKING @ EACH UNIT**  
 (Additional Parking Available on Public Street)  
 COMMON USABLE OPEN SPACE: 13,500 - ( 3,378 + 1,376 + 3,124) = 5,622.00 SQ.FT.  
 PRIVATE USABLE OPEN SPACE: (A+B+C) = 573 (A) + 634 (B) + 705 (C) = 1,912.00 SQ. FT. (SHEETS A4, A9, A14)

PAVING COVERAGE: 3,122 SQ. FT.  
 BUILDING COVERAGE:  
 PLAN 'A' = 1,285 SQ. FT. ADU (A) = 401 SQ. FT.  
 PLAN 'B' = 1,111 SQ. FT. ADU (B) = 378 SQ. FT.  
 PLAN 'C' = 972 SQ. FT. ADU (C) = 680 SQ. FT.  
 TOTAL = 3,368 SQ. FT. TOTAL (ADU) = 1,459 SQ. FT.  
 PAVING COVERAGE:  
 DRIVEWAY EASEMENT = 1,769 SQ. FT.  
 PLAN 'A' DRIVEWAY = 287 SQ. FT.  
 PLAN 'B' DRIVEWAY = 290 SQ. FT.  
 PLAN 'C' DRIVEWAY = 214 SQ. FT.  
 TOTAL DRIVEWAY = 3,061 SQ. FT.  
 % OF SITE COVERAGE: 3,061 / 13,500 = 22.67%

OPEN AREA:  
 13,500 - (4,827 + 3061) = 5,612 SQ. FT.  
 % OF SITE COVERAGE: 5,612 / 13,500 = 41%  
 ZONING : R3-1 ZONING DISTRICT  
 TYPE OF CONSTRUCTION:  
 OCCUPANCY GROUP: R  
 NO. OF STORIES: DOUBLE STORIES EACH BUILDING  
 EXISTING USE: RESIDENTIAL TO BE ENTIRELY DEMOLISHED  
 NUMBER OF TREES TO BE REMOVED: 5  
 GENERAL PLAN LAND USE DESIGNATION: MEDIUM HIGH-DENSITY RESIDENTIAL (26 TO 35 DU/AC)  
 SPECIAL FLOOD HAZARD ZONE :/N/A  
 DENSITY CALCULATION: 3 UNIT / 0.31 ACRE = 9.67 UNIT / 1 ACRE  
 APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE (C.B.C.) STRUCTURAL ONLY, 2019 CALIFORNIA RESIDENTIAL CODE (C.R.C.), 2019 CALIFORNIA MECHANICAL CODE (C.M.C.), 2019 CALIFORNIA PLUMBING CODE (C.P.C.), 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.), 2019 CALIFORNIA ENERGY CODE (C.E.C.) (2019 BUILDING ENERGY EFFICIENCY STANDARDS), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AND THE CITY OF LOS ALTOS ORDINANCES.

**PROJECT SUMMARY**

**SETBACK**

SETBACKS	REQUIRED		PROPOSED	
	FIRST FLOOR	SECOND FLOOR	FIRST FLOOR	SECOND FLOOR
FRONT	15'-0"	18'-0"	15'-0"	18'-0"
LEFT SIDE	15'-0"	18'-0"	18'-8"	19'-6"
RIGHT SIDE	15'-0"	18'-0"	16'-6"	18'-0"
REAR	15'-0"	18'-0"	15'-0" ADU 5' 0"	18'-0"

DEFERRAL OF ANY SUBMITTAL ITEMS (SUCH AS TRUSSES, FIRE SPRINKLER SYSTEM, ELECTRICAL, MECHANICAL, PLUMBING, ETC.) SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL.  
 - FOR THIS PROJECT THERE IS ONLY FIRE SPRINKLER AS A DEFERRED ITEM.  
 - DEFERRED ITEMS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL IN RESPONSIBLE CHANGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING WITHOUT ANY CORRECTIONS.  
 - THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTILL THE BUILDING OFFICIAL HAS APPROVED THEIR DESIGN AND SUBMITTAL DOCUMENTS.

PRIOR TO FOUNDATION INSPECTION BY THE CITY THE "LLS" OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER APPROVED PLANS.

DISPOSITION AND TREATMENT OF STORMWATER WILL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STANDARDS AND IMPLEMENTATION STANDARDS ESTABLISHED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM.

**SITE MANAGEMENT:**

- CONSTRUCTION SITE SHALL BE ENCLOSED BY 6'-0" OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON THE SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPES AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6:00 PM, SATURDAY FROM 9:00 AM TO 6:00 PM.

- At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
  - Operation and maintenance instructions for the following:
    - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
    - Roof and yard drainage, including gutters and downspouts.
  - Space conditioning systems, including condensers and air filters.
  - Landscape irrigation systems.
  - Water reuse systems.
  - Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
  - Public transportation and/or carpool options available in the area.
  - Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
  - Information about water-conserving landscape and irrigation design and controllers which conserve water.
  - Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
  - Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
  - Information about state solar energy and incentive programs available.
  - A copy of all special inspection verifications required by the enforcing agency or this code.
  - Special inspections: structural observation of shear walls.

**CONSULTANTS:**

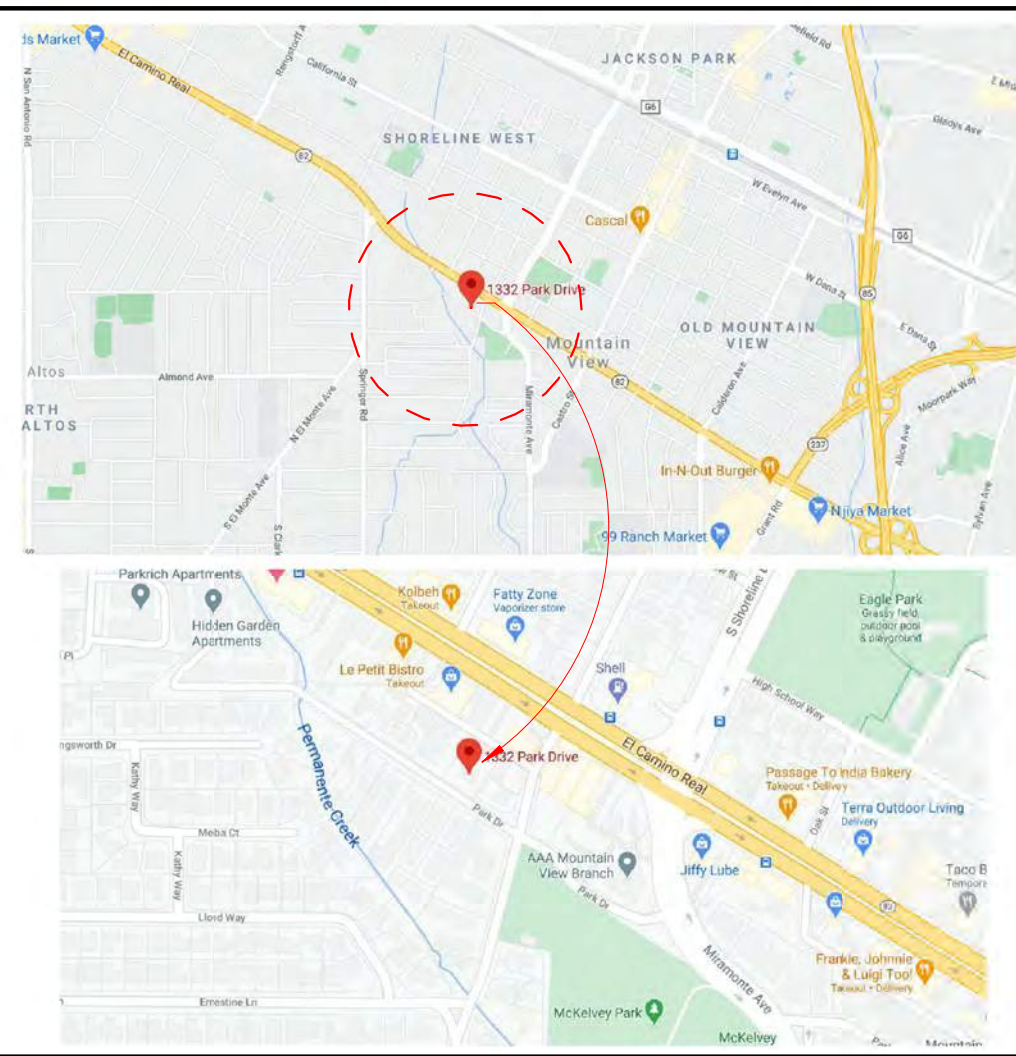
**APPLICANT:**  
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 PH: (650) 279-0919  
 PMPARIMI@GMAIL.COM

**DESIGNER:**  
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 6572 NORTHRIDGE DRIVE, SAN JOSE, CA 95120  
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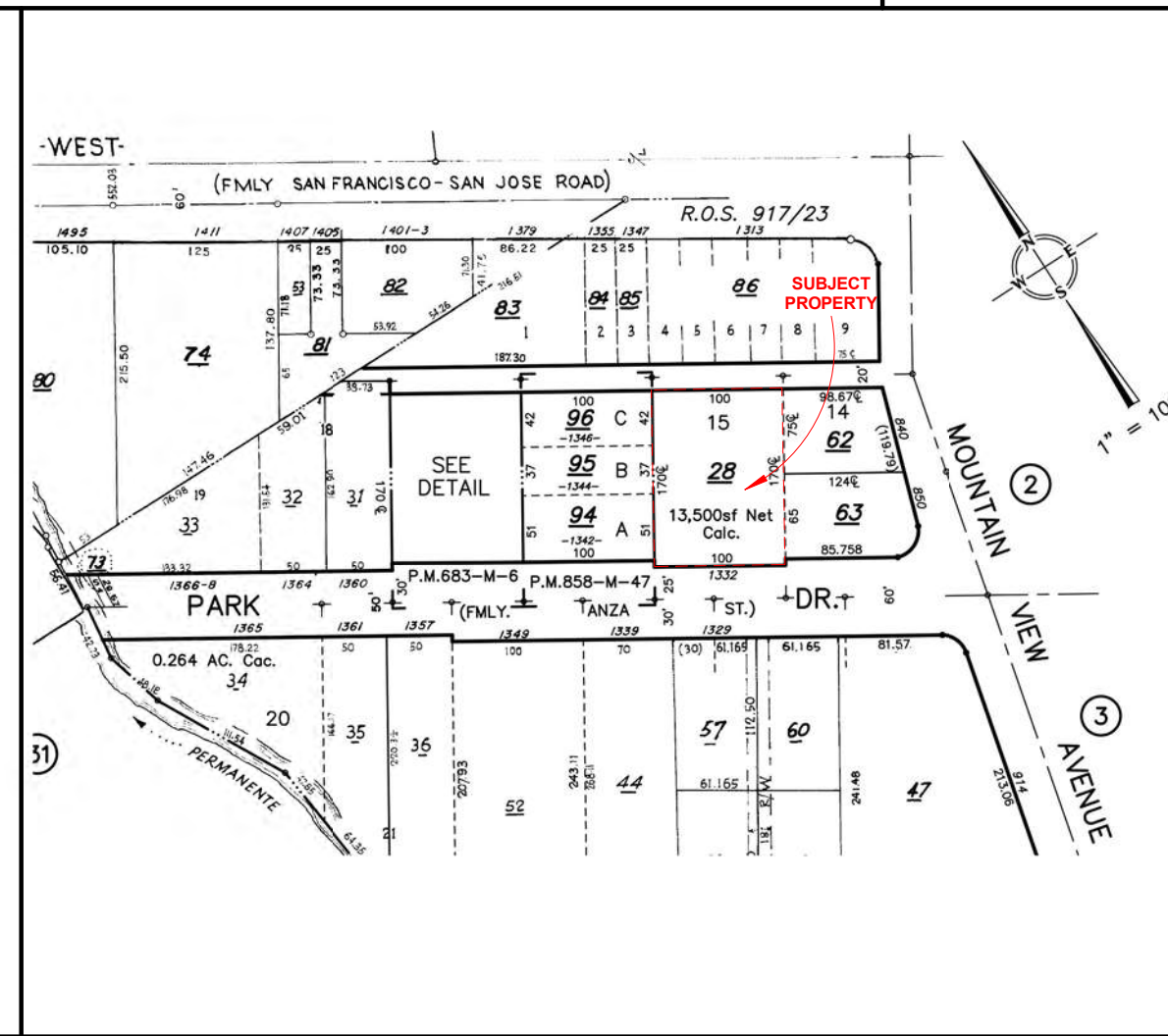
**TOPOGRAPHIC SURVEY & CIVIL ENGINEER:**  
 PHILIPPE AUGER,  
 DANIEL NUNES, P.E.  
 MISSION ENGINEERS, INC.  
 2355 DE LA CRUZ BLVD. SANTA CLARA, CA. 95050  
 PH: (408) 727-8262 FAX: (408) 727-8285  
 MISSION@MISSIONENGINEERSINC.COM

**LANDSCAPE ARCHITECT:**  
 LINN B. WINTERBOTHAM  
 700 BRIGGS AVE. #28, PACIFIC GROVE, CA 93950  
 PH: (650) 823-0291  
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**VICINITY MAP**



**PARCEL MAP**



**ABBREVIATIONS**

O.C	ON CENTER	RWL	RAIN WATER LEADER
CL	CENTER LINE	DS	DOWNSPOT
PL	PLATE LINE	S/GD	SINK WITH GARBAGE DISPOSAL
P.T.	PRESSURE TREATED	SH. ENC.	SHOWER ENCLOSURE
FL	FLOOR	T.C	TIME CLOCK
F.F.E	FLOOR FINISH	UN.	UNLESS OTHERWISE NOTED
ELEVATION		Y.P.	TYPICAL
FF	FINISH FLOOR	VGDF	VERTICAL GRAIN DOUGLESS FIR
PR	PAIR	WMP	WATERPROOF MEMBRANE
R/A	RETURN AIR	WD	WOOD
REFR.	REFRIGERATOR	WDW	WINDOW
R/O	RANGE OVEN	RM	ROOM
M/C	MICROWAVE	W.W.F	WOVEN WIRE FABRIC
EX	EXISTING	GYP. BD	GYPNUM BOARD
CLG	CEILING	CEM. PL	CEMENT PLASTER
BLDG	BUILDING	H.B	HOSE BIB
DWG	DRAWING	M/C	MEDICAL CABINET
JST	JOIST	MTL	METAL
BM	BEAM	GLV	GALVANIZED SHEET METAL
HDR	HEADER	GSM	GALVANIZED SHEET METAL NOT IN CONTRACT
INSUL	INSULATION	N.I.C	NOT IN CONTRACT
BOTT	BOTTOM	W.I.C	WALK-IN CLOSET
PNL	PANEL	O.F.S	OUT SIDE FACE OF STUD
CONC.	CONCRETE	I.O.S	INSIDE FACE OF STUD

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GLUSH DESIGN



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COVER SHEET

MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU  
 1332 PARK DRIVE  
 IN THE CITY OF MOUNTAIN VIEW,  
 CA 94040

Project no:	
Date:	
Drawn by:	Author
Checked by:	Checker
Scale:	A0



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**STREETSCAPE**  
THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OF FICE INSTEAD OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**1332 PARK DRIVE**  
 IN THE CITY OF MOUNTAIN VIEW,  
 CA 94040

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**A1**  
 Scale: As indicated



1342 PARK DR

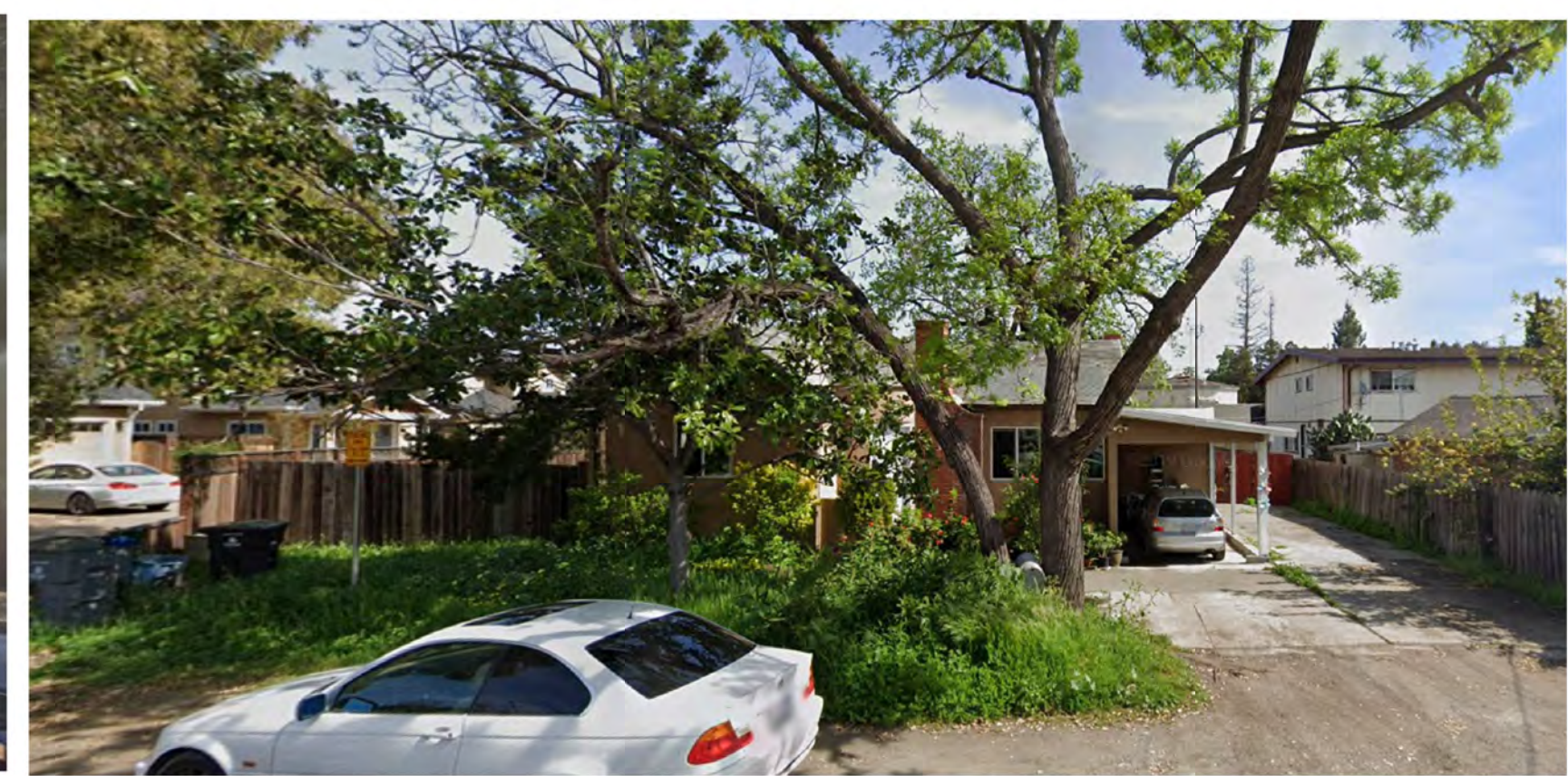
Proposed Front (South) Elevation DRC

1300 PARK DR

PARK DR



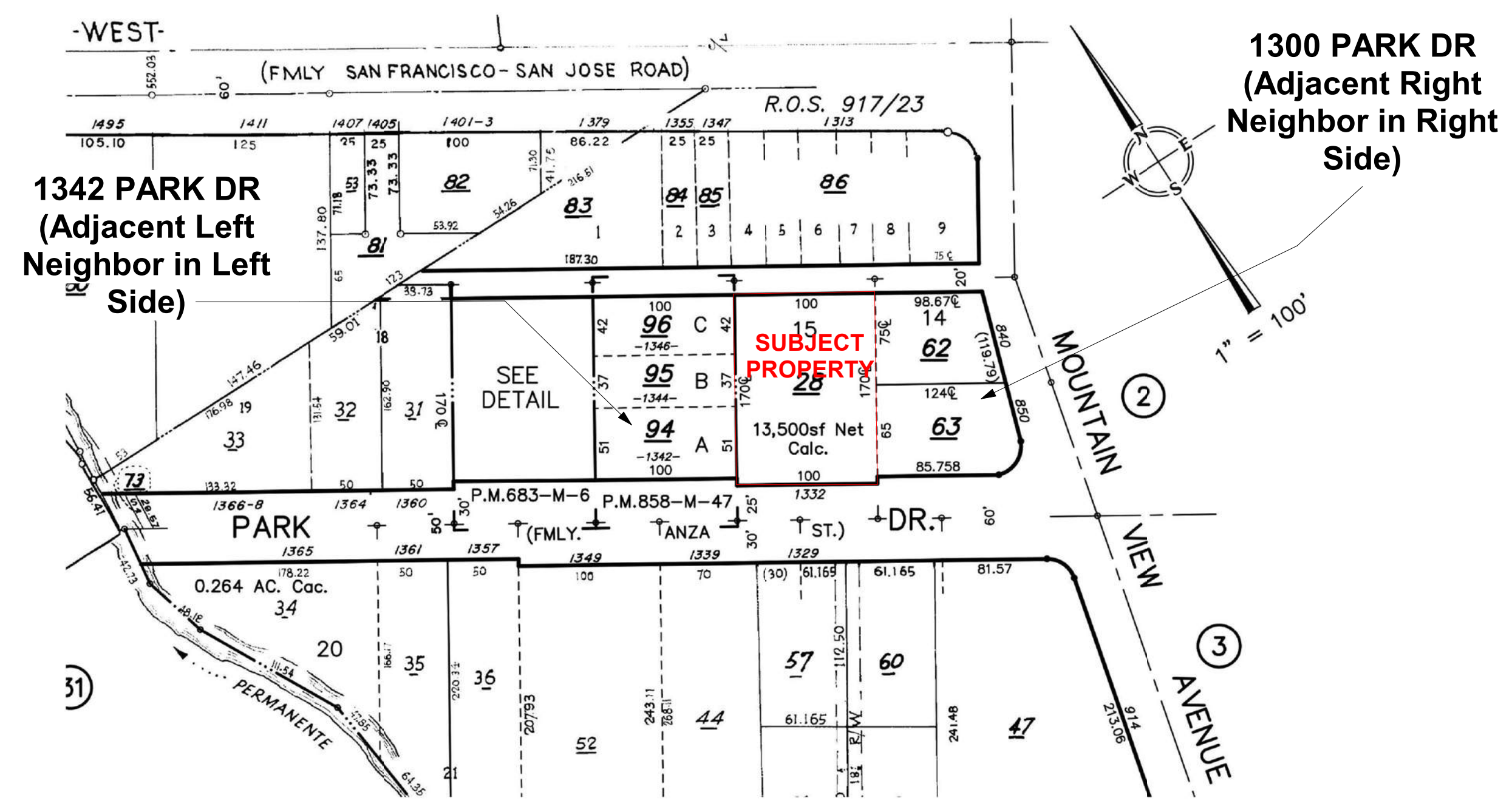
1342 PARK DR



Existing Front (South) Elevation



1300 PARK DR



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No.	Description	Date
2	PLANNING DIVISION	02/07/2022
3	Revision 3	Date 3

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**SITE PLAN**

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**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:	
Date:	
Drawn by:	Author
Checked by:	Checker
Scale:	1/8" = 1'-0"

**NOTE:**  
 -"Prior to foundation inspection by the City, the LLS of record shall provide a written certification that all building setbacks are per the approved plans."

-LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR ... PER CRC R311.2

-PROJECT SHALL COMPLY WITH THE EMERGENCY ESCAPE AND RESCUE OPENINGS PER THE CALIFORNIA RESIDENTIAL CODE, SECTION R310

**STORM WATER RETENTION NOTE:**  
 "Disposition and treatment of storm water will comply with the National Pollution Discharge Elimination System ("NPDES") Standards and implementation standards established by the Santa Clara Valley Urban Runoff Pollution Prevention Program"

ANY EXCAVATION, TRENCHING OR PAVEMENT WITHIN 10 FEET OF STREET MUST BE APPROVED BY PUBLIC WORKS ARBORIST.

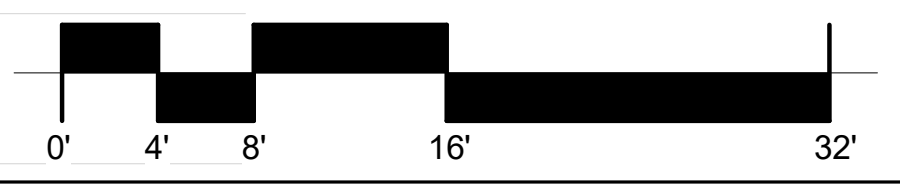
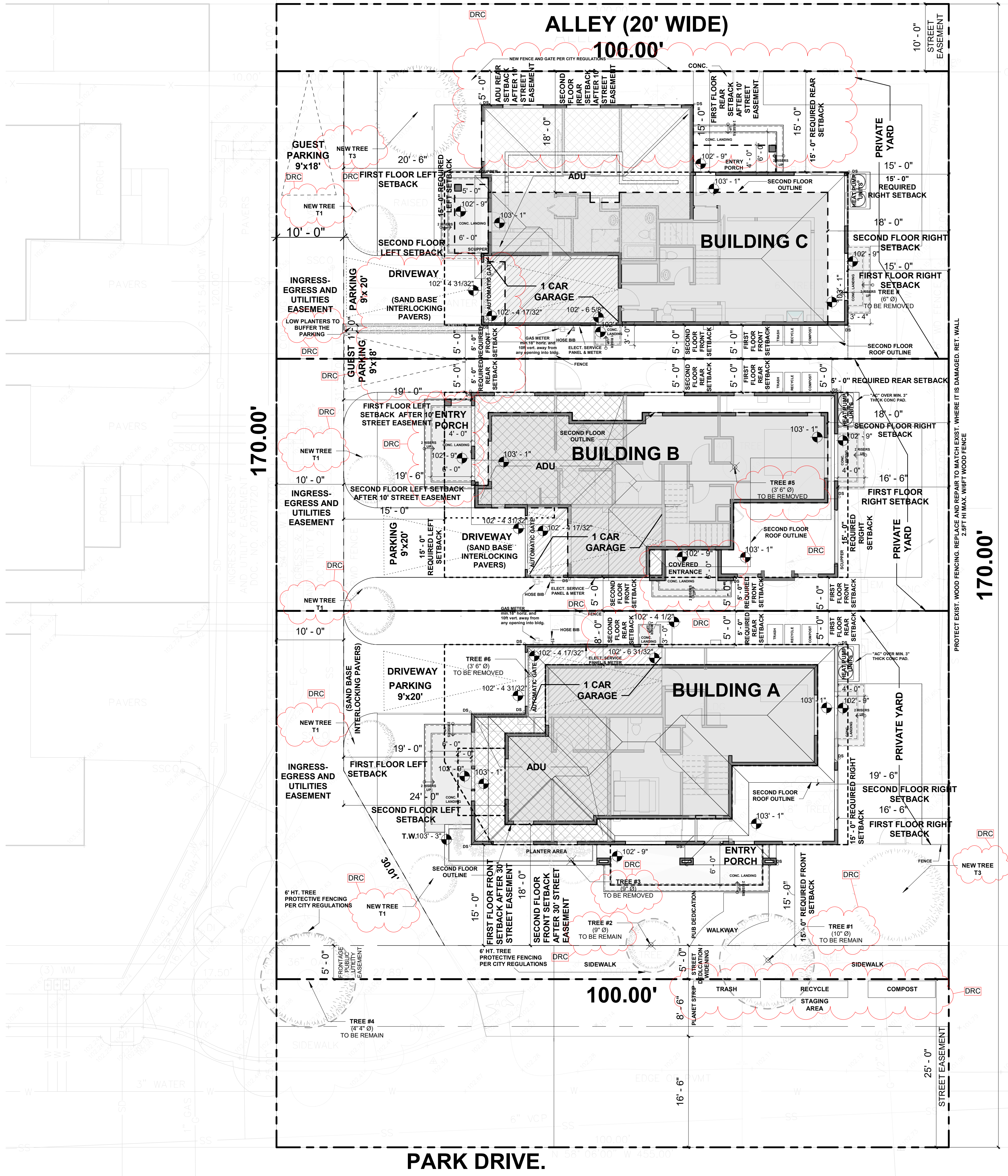
NOTE: IT IS CONTRACTORS RESPONSIBILITY TO SURVEY AND VERIFY THE LOCATION OF ALL UTILITIES (ELECT. GAS, WATER, SANITARY SEWER, STORM SEWER LINES) PRIOR TO ANY EXCAVATIONS AND DIGGING WORK.

AN APPLICATION TO DISCONNECT THE EXISTING GAS SERVICE AND DISCONNECTION OF THE SERVICE MUST OCCURE PRIOR TO CONSTRUCTION. WORK DONE BY C.P.A.U.

PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS DISCHARGING TO GROUND. SLOPE CONC. SLABS PROPERLY TO ENSURE WATER IS DIRECTED AWAY FROM BUILDING.

NOTE: ALL PROPERTY LINES SHALL BE STAKED AND WRITTEN STATEMENT CONFIRMING THE SURVEY RESULTS AND STAKING METHOD SHALL BE SUBMITTED PRIOR TO THE FOUNDATION INSPECTION.

NOTE FOR TREES:  
 1- ALL TREE PROTECTION AND INSPECTION SCHEDULE MEASURES, DESIGN RECOMMENDATIONS WATERING AND CONSTRUCTION SCHEDULING SHALL BE IMPLEMENTED IN FULLY BY OWNER AND CONTRACTOR.  
 2- BEFORE WORKING IN THE AREA OF ANY TREES TO BE PROTECTED CONTACT THE PROJECT SITE ARBORIST.



**1**  
**A2** 1-SITE PLAN  
 1/8" = 1'-0"







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3	Revision 3	Date 3

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GRAPHIC SITE PLAN AND PARKING CIRCULATIONS

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 CA 94040

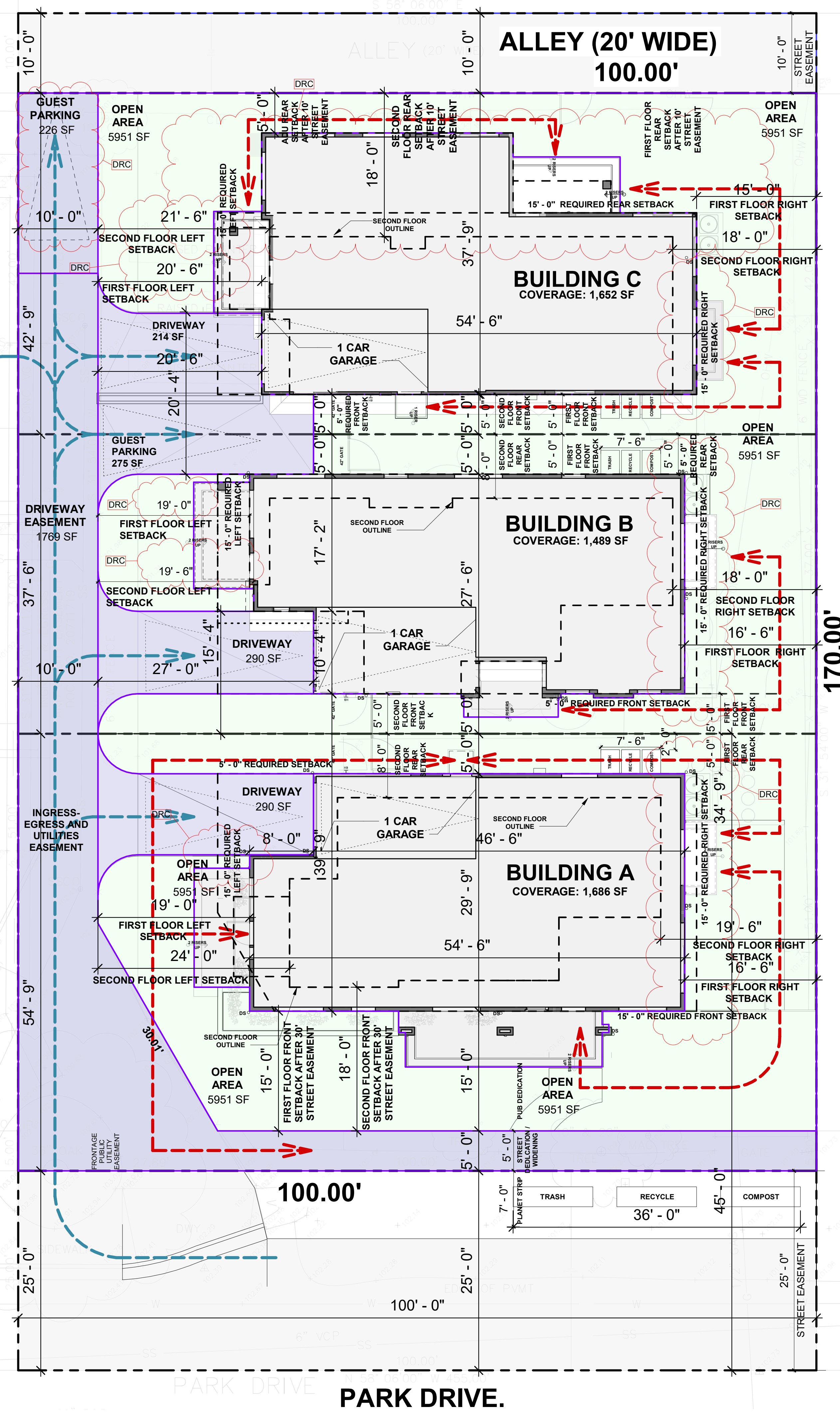
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<b>A3</b>	
Scale:	As indicated

NOTE:  
 IN ORDER TO REDUCE THE POSSIBILITY OF CONFLICTS IN THE PUBLIC RIGHT OF WAY, THE DRIVEWAY SHOULD BE MARKED WITH PAVEMENT ARROWS IDENTIFYING THE WESTERN SIDE AS EXIT ONLY AND THE EASTERN SIDE AS ENTRY ONLY.

THE CURB SHALL BE PAINTED RED AS FOLLOWS:  
 A) 10 FEET ON BOTH SIDES OF THE DRIVEWAYS.  
 B) BETWEEN THE TWO DRIVEWAYS.

EACH OF THE THREE SINGLE-FAMILY DWELLINGS WILL BE RESPONSIBLE FOR TRANSPORTING THEIR TRASH, RECYCLING AND COMPOST CARTS TO PARK DR. FOR STREET SERVICING ON THE COLLECTION DAY BY THE CITY'S WASTE HAULER.

--- PARKING CIRCULATION  
 --- PEDESTRAIN CIRCULATION



**TOTAL SITE AREA:**  
 135' x 100' = 13,500 SF 100%

**SETBACKS:**

**BUILDING 'A'**

FIRST FLOOR	FRONT= 15'-0"	SECOND FLOOR	FRONT= 18'-0"
	LEFT= 19'-0"		LEFT= 24'-0"
	RIGHT= 16'-6"		RIGHT= 19'-6"
	REAR= 5'-0"		REAR= 8'-0"

**BUILDING 'B'**

FIRST FLOOR	FRONT= 5'-0"	SECOND FLOOR	FRONT= 5'-0"
	LEFT= 19'-0"		LEFT= 19'-6"
	RIGHT= 16'-6"		RIGHT= 18'-0"
	REAR= 5'-0"		REAR= 8'-0"

**BUILDING 'C'**

FIRST FLOOR	FRONT= 5'-0"	SECOND FLOOR	FRONT= 5'-0"
	LEFT= 20'-6"		LEFT= 22'-0"
	RIGHT= 15'-0"		RIGHT= 18'-0"
	REAR= 15'-0"		REAR= 18'-0"

**BUILDING COVERAGE:**

PLAN 'A' = 1,285 SF	ADU (A) = 401 SF
PLAN 'B' = 1,111 SF	ADU (B) = 378 SF
PLAN 'C' = 972 SF	ADU (C) = 680 SF
<b>TOTAL = 3,368 SF</b>	<b>TOTAL (ADU) = 1,459 SF</b>

% OF SITE COVERAGE = 3,368 / 13,500 = 0.2494 24.94%

**PAVING COVERAGE:**

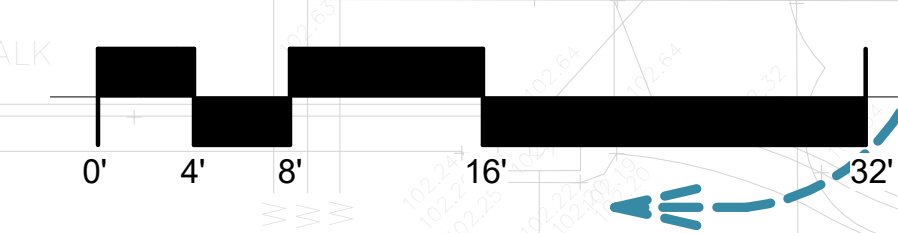
DRIVEWAY EASEMENT = 1,769 SF  
 PLAN 'A' DRIVEWAY = 287 SF  
 PLAN 'B' DRIVEWAY = 290 SF  
 PLAN 'C' DRIVEWAY = 214 SF  
 GUEST PARKING = 275 SF + 226SF  
**TOTAL DRIVEWAY = 3,061 SF**

% OF SITE COVERAGE = 3,061 / 13,500 = 0.2267 22.67%

**OPEN AREA:**

13,500 - (4,827 + 3,061) = 5,612.00 SF

% OF SITE COVERAGE = 5,612 / 13,500 = 0.4157 41.57%

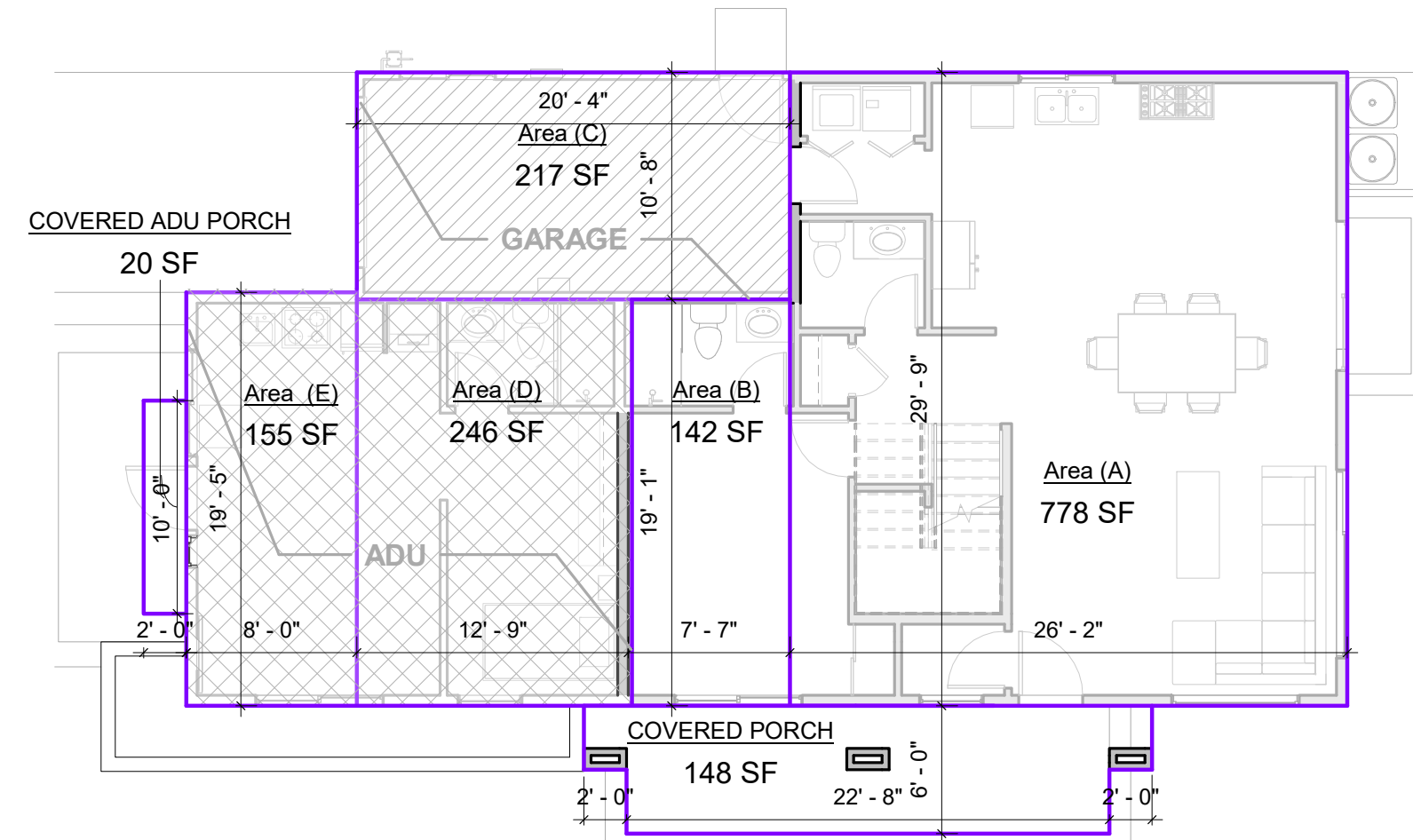


**1 GRAPHIC SITE PLAN**  
 A3 1/8" = 1'-0"

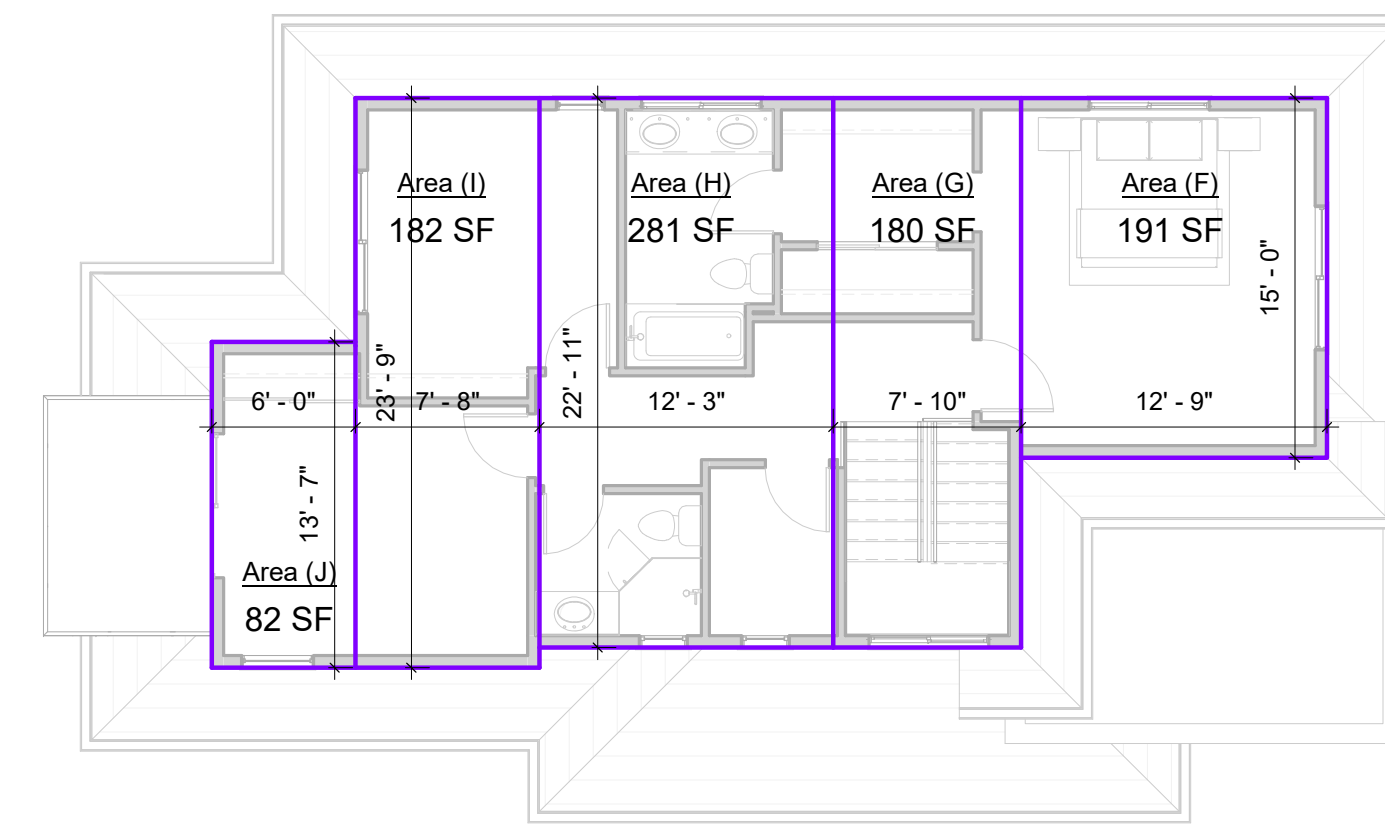




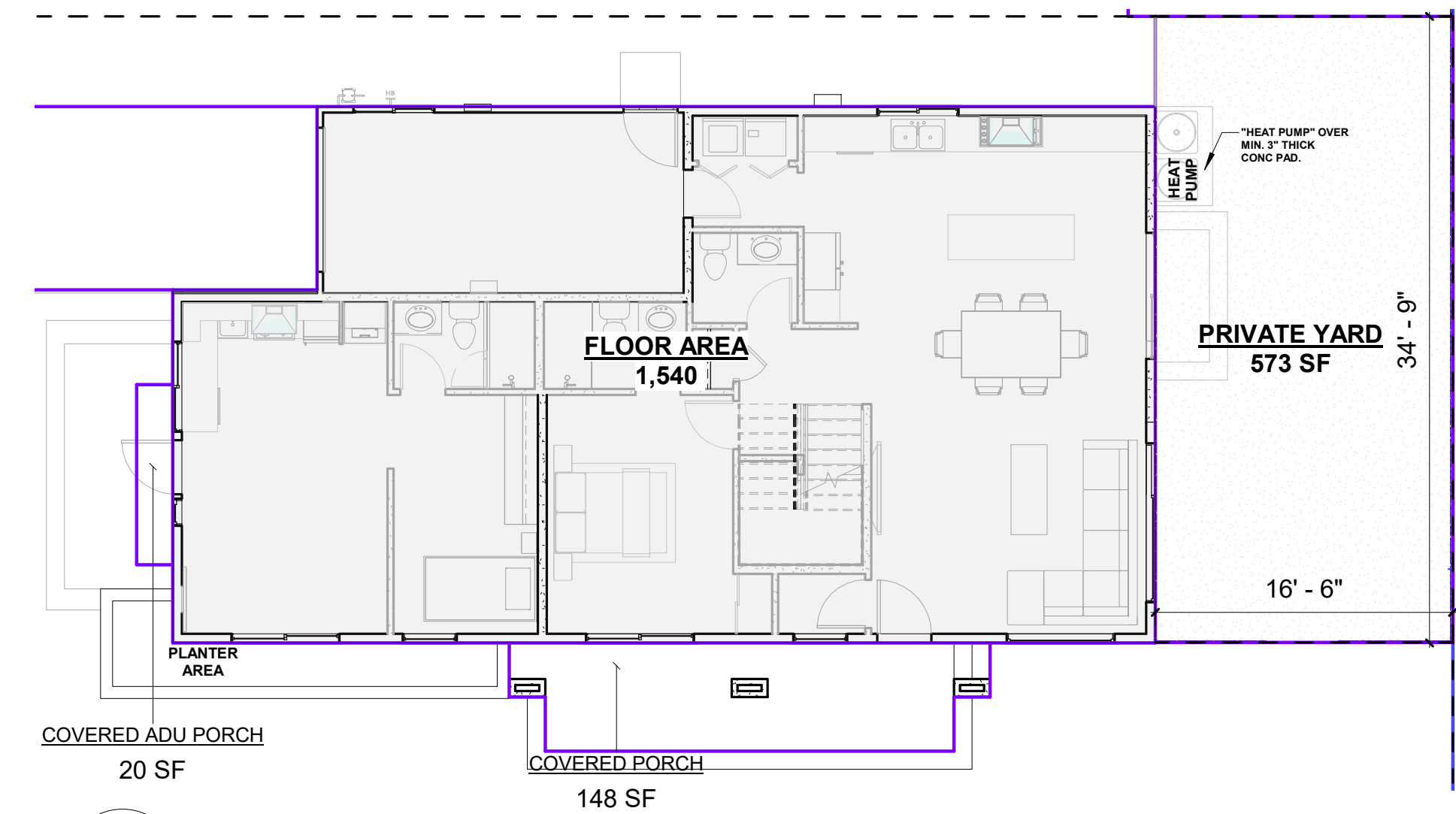
# DEMOLISH AND REMOVE EXISTING OLD BUILDING, GARAGE CONSTRUCT NEW DOUBLE STORIES CUSTOM HOUSES WITH ATTACHED ADU



**2 BUILDING A FIRST FLOOR AREA CALCULATIONS**  
A4 1/8" = 1'-0"



**3 BUILDING A SECOND FLOOR AREA CALCULATIONS**  
A4 1/8" = 1'-0"



**5 BUILDING A LOT COVERAGE**  
A4 1/8" = 1'-0"

		FRONT	LEFT SIDE	RIGHT SIDE	REAR
FIRST FLOOR	REQUIRED	15'-0"	15'-0"	15'-0"	5'-0"
	PROPOSED	15'-0"	19'-0"	16'-6"	5'-0"
SECOND FLOOR	REQUIRED	18'-0"	18'-0"	18'-0"	8'-0"
	PROPOSED	18'-0"	24'-0"	19'-6"	8'-0"

**BUILDING A LOT SIZE: 4,975.00 SQ. FT.**

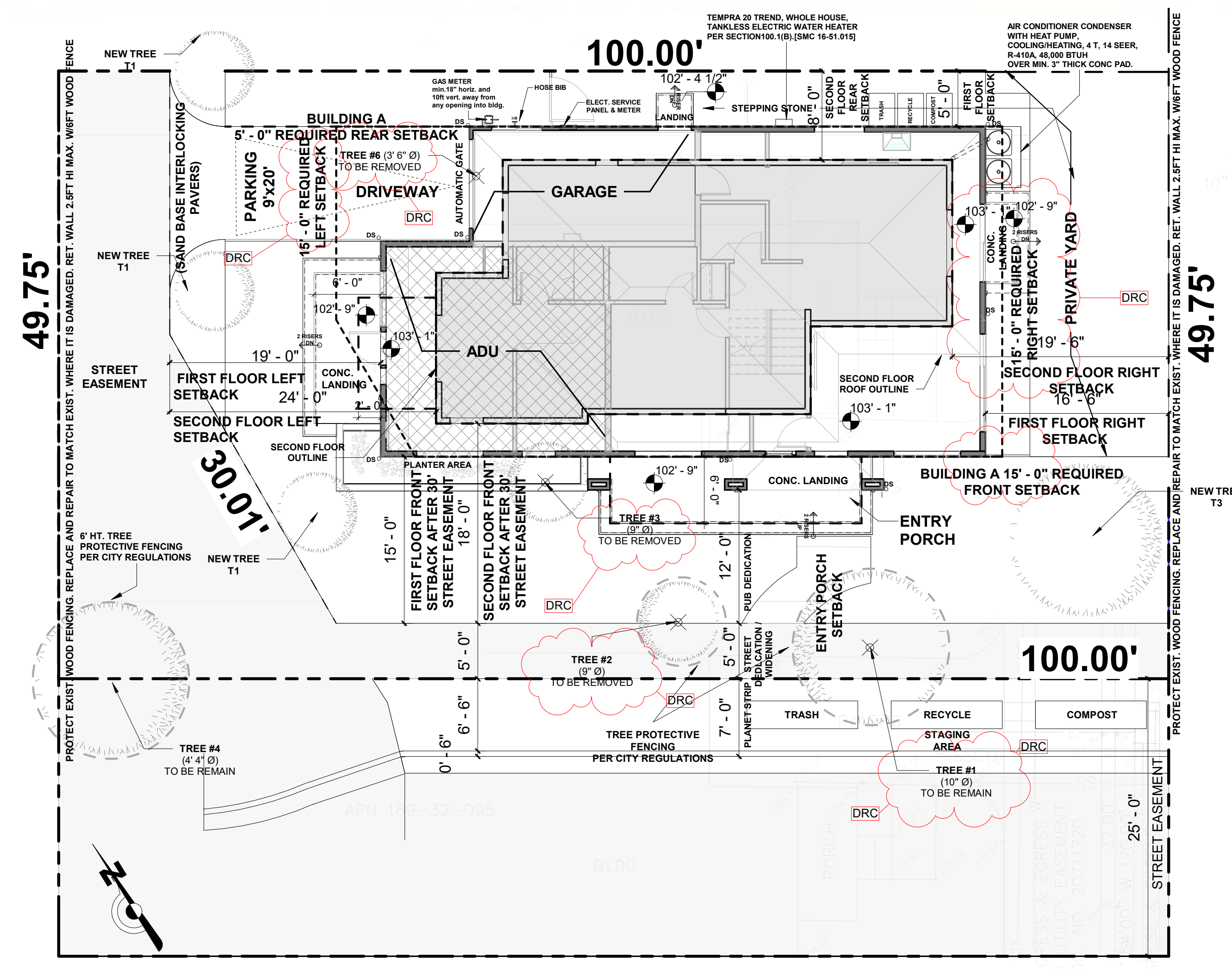
BUILDING A		SQ.FT.
FLOOR AREA		
FIRST FLOOR	920	
SECOND FLOOR	916	
GARAGE	217	
FAR	2,053	
ADU	403	
TOTAL LIVABLE AREA	2,239	
TOTAL BUILDING FLOOR AREA (inc. garage)	2,456	

**FLOOR AREA CALCULATIONS (A)**

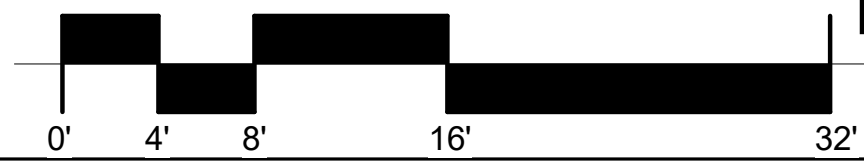
SECTIONS	DIMENTIONAS	AREA		
FIRST FLOOR	A	26' 2" x 29' 9"	778 SF	920 SF
	B	7' 5" x 19' 1"	142 SF	
	C	10' 8" x 20' 4"	217 SF	
GARAGE				1,137 SF
				1,538 SF
ADU	D	12' 11" x 19' 1"	246 SF	401 SF
	E	8' 0" x 19' 5"	155 SF	
SECOND FLOOR	F	15' 0" x 12' 9"	191 SF	916 SF
	G	22' 11" x 7' 10"	180 SF	
	H	12' 3" x 22' 11"	281 SF	
	I	23' 9" x 7' 8"	182 SF	
	J	13' 7" x 6' 0"	82 SF	
TOTAL MAIN HOUSE FLOOR AREA			2,053 SF	
TOTAL FLOOR AREA (INC. ADU)			2,454 SF	

BUILDING A		SQ.FT.
LOT COVERAGE		
MAIN HOUSE	1,137	1,285
COVERED PORCH	148	
ADU	401	1,686
MAIN HOUSE COVERAGE	1,285	
TOTAL COVERAGE	1,686	

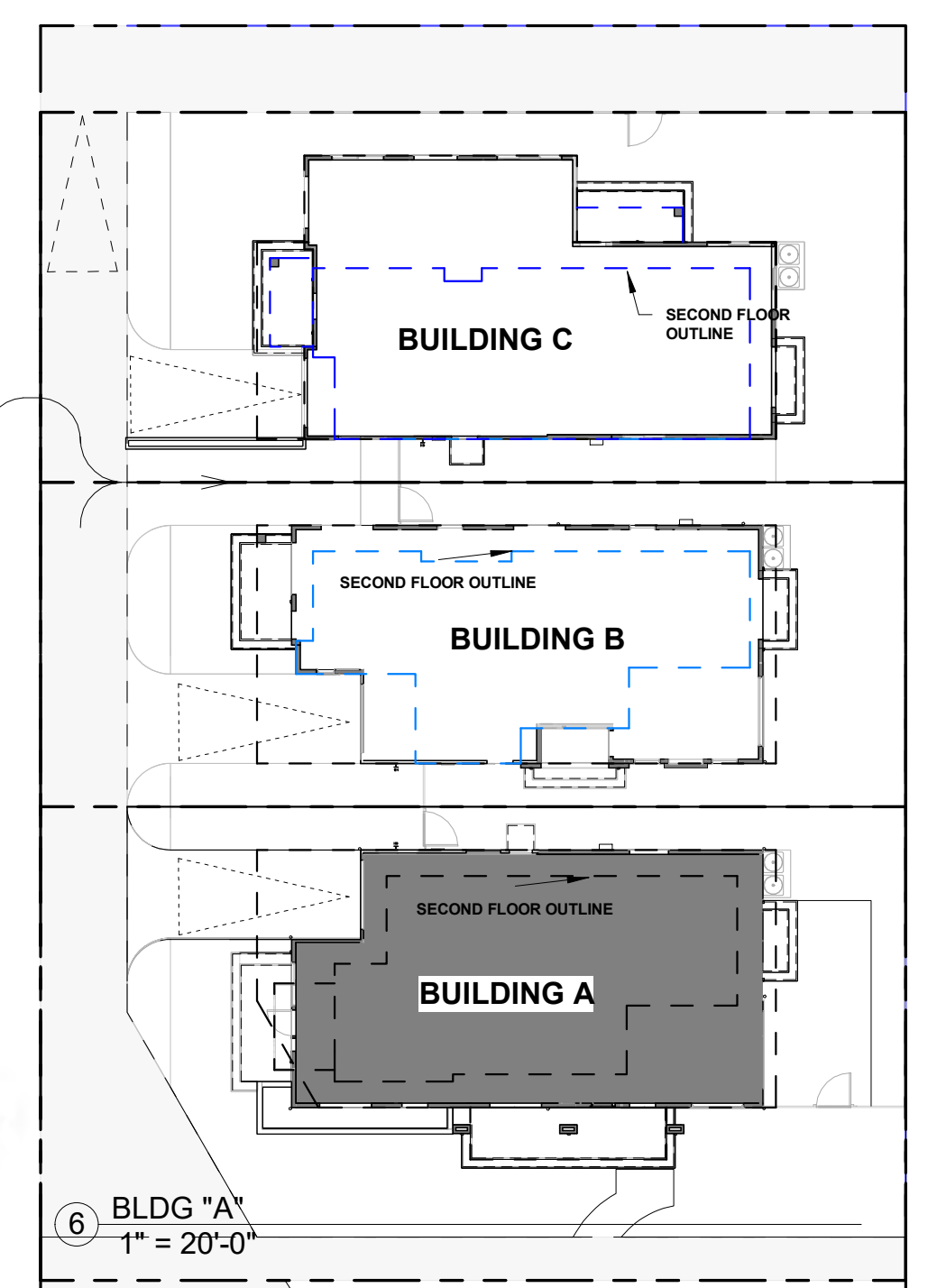
PRIVATE USABLE OPEN SPACE	573
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**1 BUILDING A SITE PLAN**  
A4 1/8" = 1'-0"



**PARK DRIVE.**



**6 BLDG "A"**  
1" = 20'-0"

No.	Description	Date
2	PLANNING DIVISION	02/07/2022
3	Revision 3	Date 3

**GLUSH DESIGN**  
RESIDENTIAL BUILDING DESIGN & CONSULTING  
6572 Northridge Drive, San Jose, CA 95120  
Tel: (408) 288-1865  
glushdesign@gmail.com



**BUILDING A SITE PLAN & AREA CALCULATIONS**

**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
1332 PARK DRIVE  
IN THE CITY OF MOUNTAIN VIEW,  
CA 94040

Project no:  
Date:  
Drawn by: Author  
Checked by: Checker

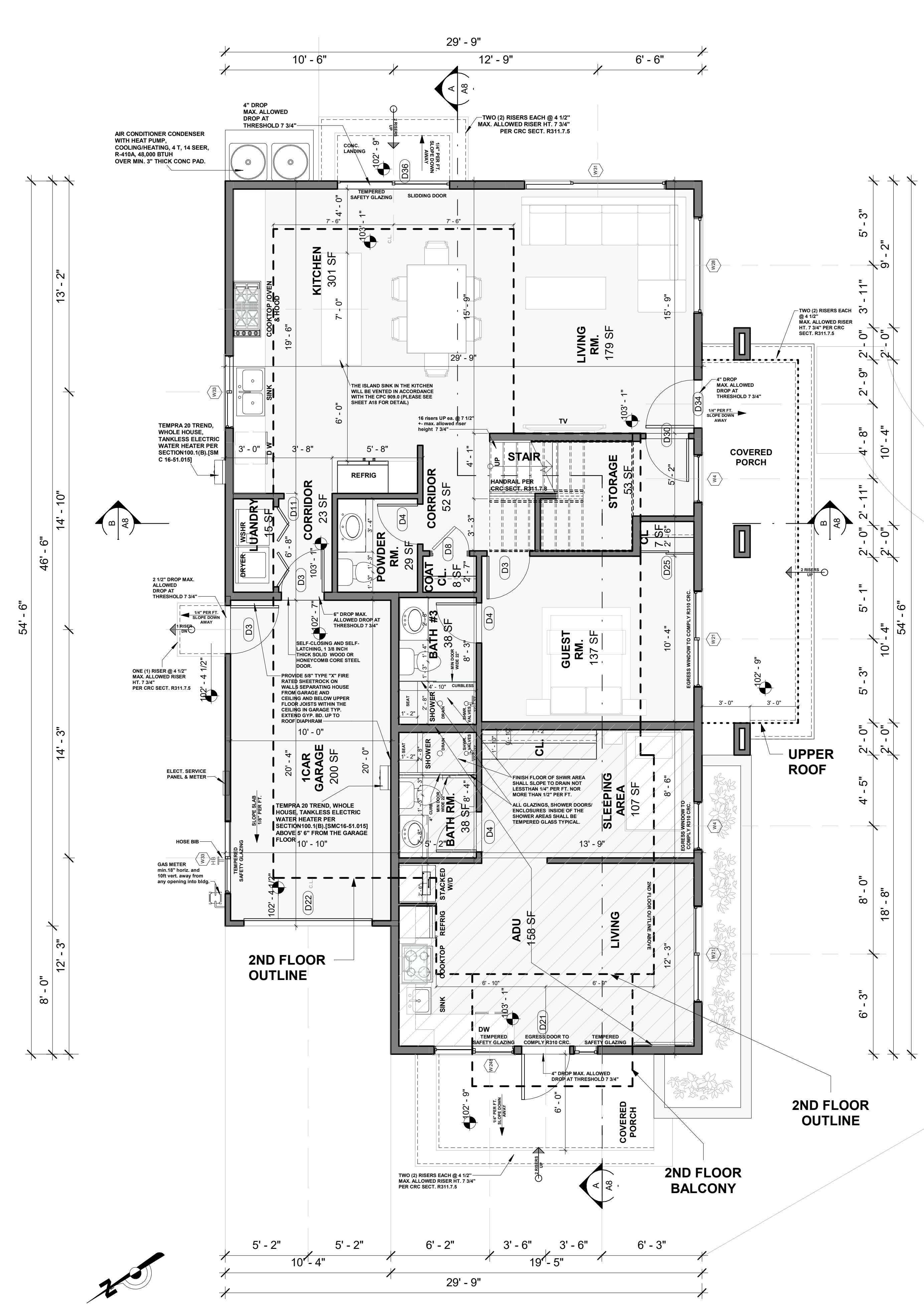
**A4**  
Scale: As indicated



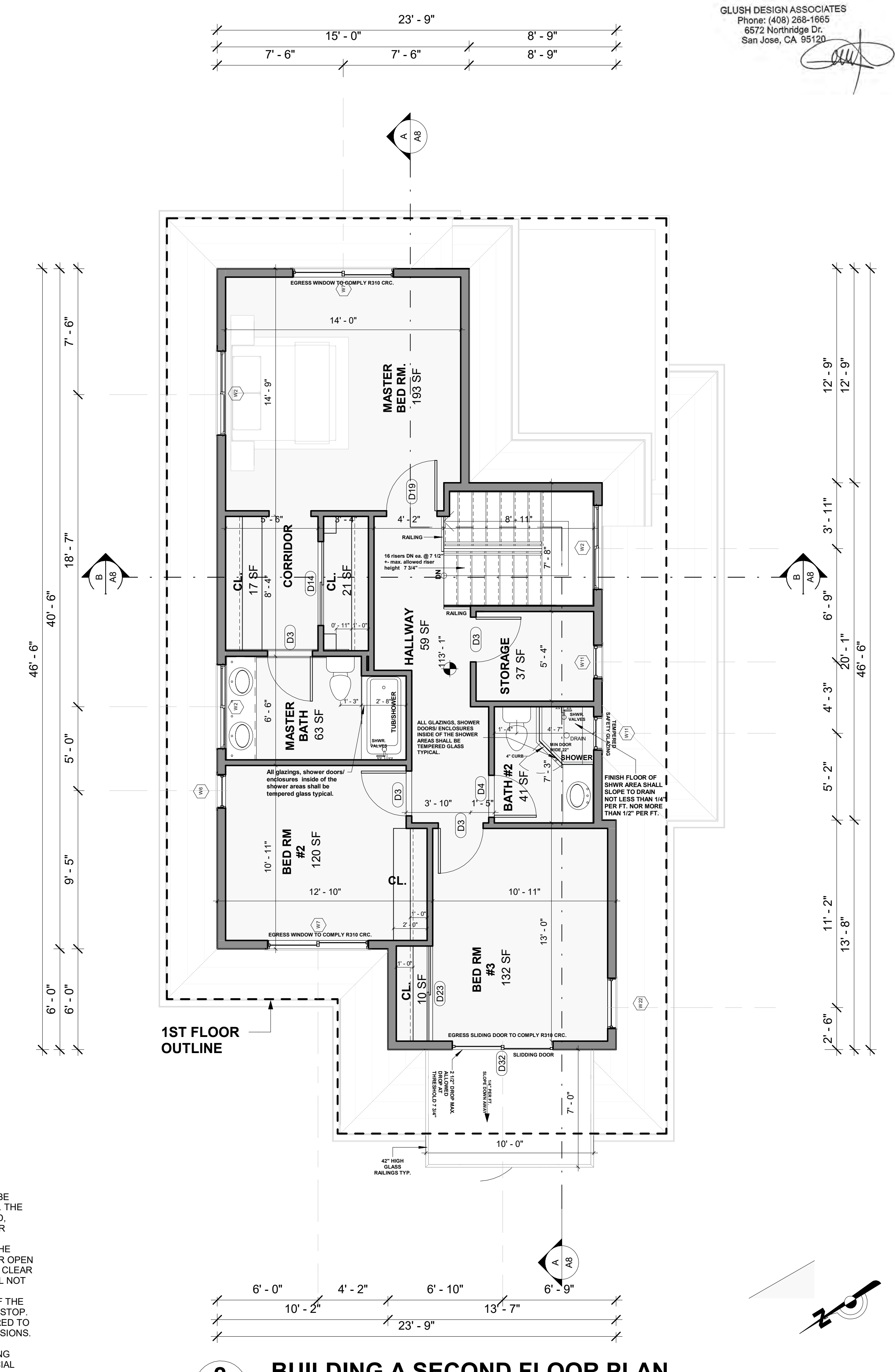
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 San Jose, CA 95120



**1**  
**A4** BUILDING A FIRST FLOOR PLAN  
 1/4" = 1'-0"



**2**  
**A4** BUILDING A SECOND FLOOR PLAN  
 1/4" = 1'-0"

**R311.2 EGRESS DOOR.**  
 AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE MINIMUM CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

No.	Description	Date

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**BUILDING A FLOOR PLANS**

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**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:  
 Date:  
 Drawn by: Author  
 Checked by: Checker

**A5**  
 Scale 1/4" = 1'-0"





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**BUILDING A ROOF PLAN**

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**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:	
Date:	
Drawn by:	Author
Checked by:	Checker
Scale:	1/4" = 1'-0"

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**NOTE: MOLDINGS AND TRIMS ARE NOT SHOWN FOR CLARITY OF DRAWING.**

**TYPICAL NOTES FOR VENTILATIONS:**  
 1- ATTIC VENTS SHALL BE PER CRC 2013 SECT. R906.1, R906.2  
 A- NET FREE AREA SHALL NOT BE LESS THAN: 1/150 OF THE ATTIC SPACE OR  
 ii- 1/300 OF THE ATTIC SPACE PROVIDED THAT A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILINGS OR  
 iii- 1/300 OF THE ATTIC AREA PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATION ARE MUST BE LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS.  
 B- OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MIN. AND 1/4" MAX. OPENINGS.  
 C- A MIN. OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATING. CRC 2013 SECT. R906.3

ALL FASTENERS FOR ROOF COVERING SHALL BE RESISTANT SUCH AS COPPER, BRASS, STAINLESS STEEL OR GALVANIZED PER 1507, R905.3.6, R905.2.5

WHERE REQUIRED FOR ROOF DRAINAGE, SCUPPERS SHALL BE PLACED LEVEL WITH THE ROOF SURFACE IN A WALL OR PARAPET. THE SCUPPERS SHALL BE LOCATED AS DETERMINED BY THE ROOF SLOPE AND CONTRIBUTING AREA. PER CRC SECT R903.4

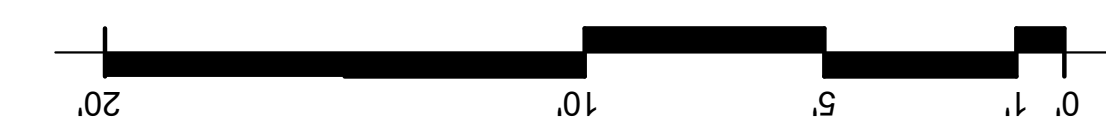
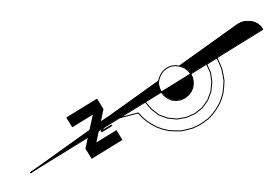
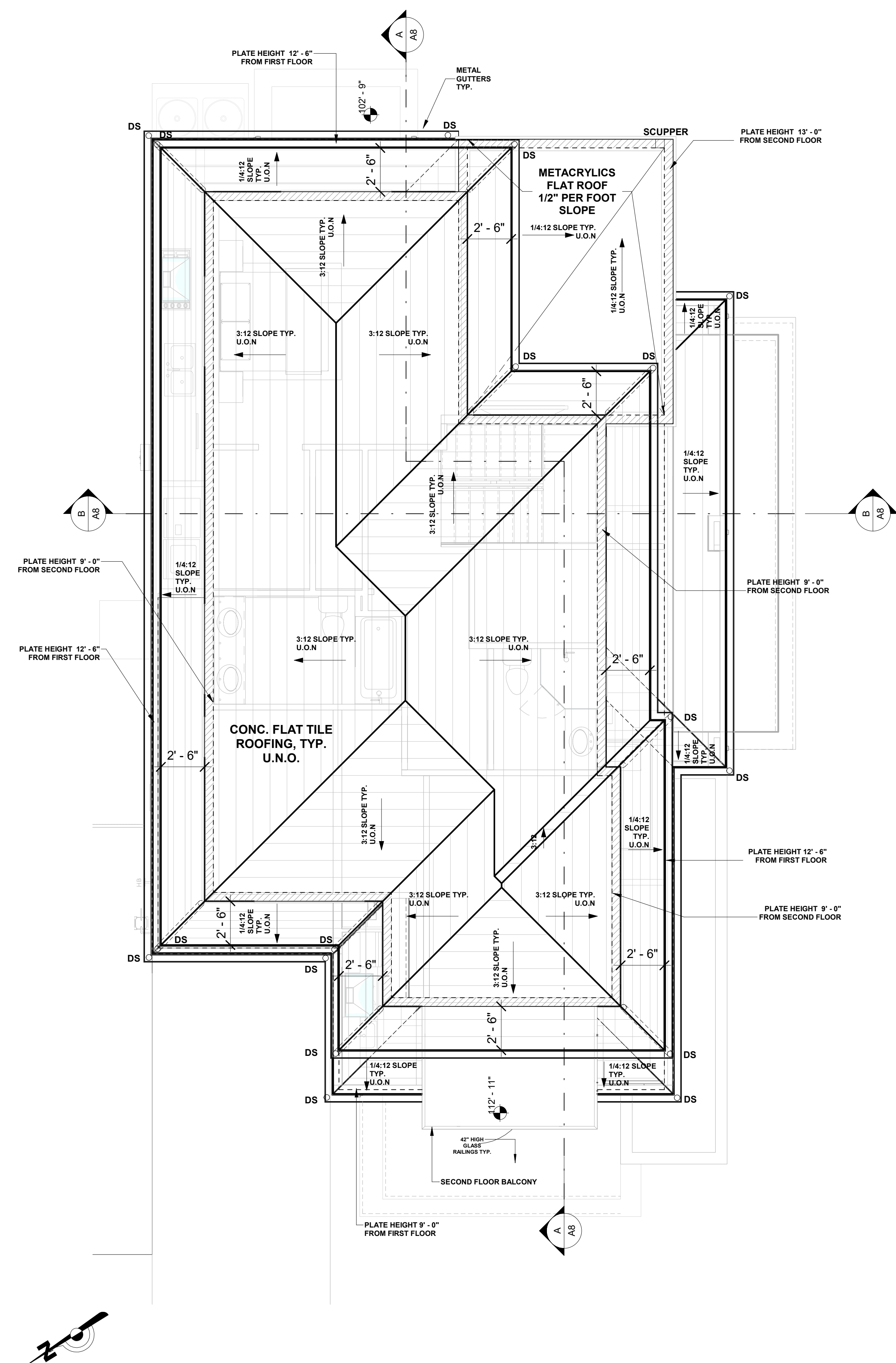
WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS ROOF DRAINS SHALL BE INSTALLED WITH THE INLET LOCATED 2" INCHES ABOVE THE LOW POINT OF ROOF. CRC SECT. R903.4.1

UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA/CSA 1011.5.2/A440 PER CRC 2016 SECT R308.6.9  
 ALL MTL. CHIMNEY SHROUDS SHALL BE LISTED AND LABELED ASSEMBLY FOR THE MAKE AND MODEL OF FIREPLACE PER CRC AND CMC

DO NOT ALLOW DOWNSPOUTS DISCHARGE INTO PLANTER BOX AREAS. CONTINUE IN-GROUND AND DAY LIGHT ALL DOWNSPOUTS OUT OF PLANTER BOXES AND PROVIDE SPLASH BLOCK FOR EACH DISCHARGING TO GROUND. SLOPE CONC. WALKS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM BUILDINGS.

FIRE BLOCKING SHALL BE INSTALLED AT OPENINGS AROUND CHIMNEYS AND FIRE PLACES AT CEILING LEVEL PER CRC 2016 SECTION R1003.19 AND R1001.12. FACTORY BUILT CHIMNEYS AND FIRE PLACES SHALL BE IN CCORDANCE WITH UL 103 AND UL 127

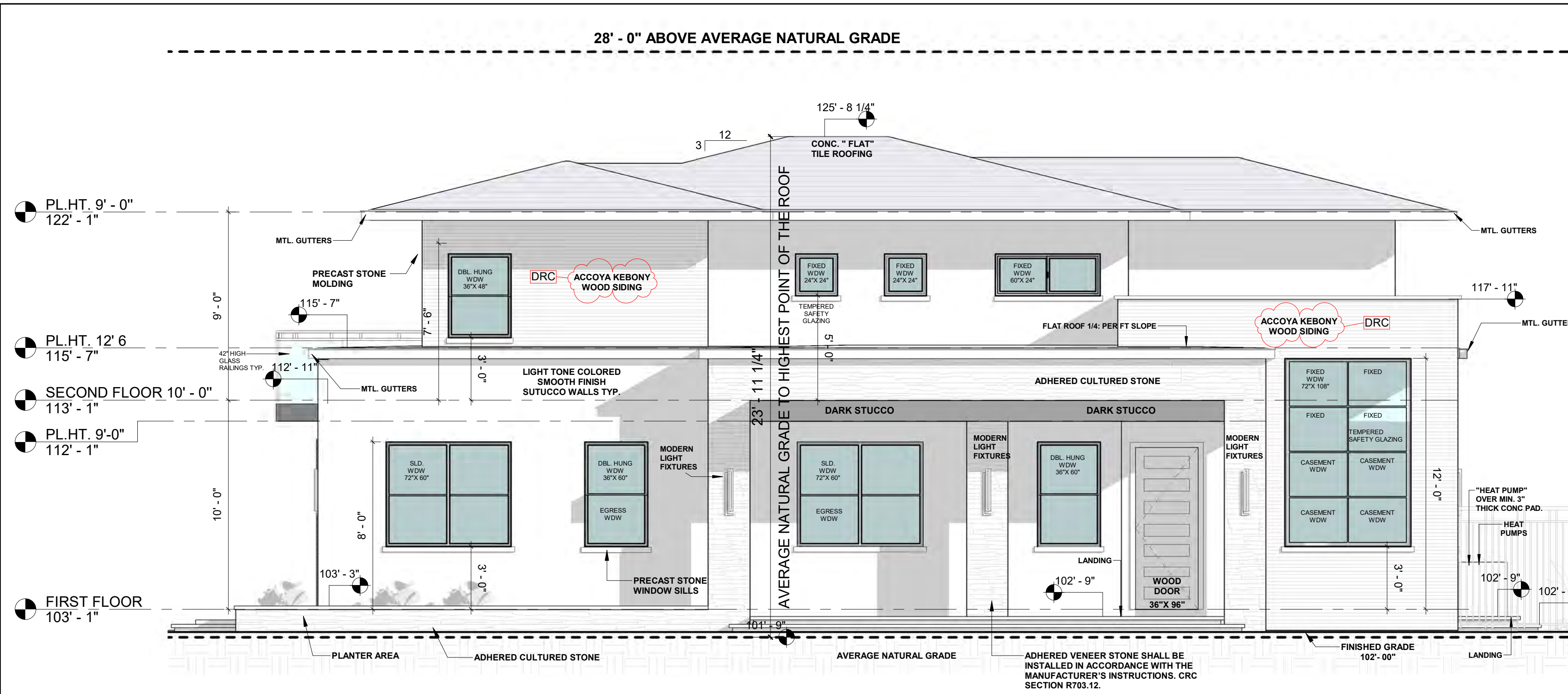
**NOTES FOR ROOFING:**  
 A. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN 0.019 INCHES (0.483 MM) (E.G. NO. 26 GALVANIZED SHEET) AND SHALL BE PRIMED AND PAINTED. [PAMC 16.06.253]  
 B. CLAY AND CONCRETE ROOF SHALL BE USED ONLY ON ROOF SLOPES OF 2-1/2:12 OR GREATER PER CRC R905.3.2. ROOF SLOPES OF 2:12 UP TO 4:12 REQUIRE DOUBLE UNDERLAYMENT PER CRC R905.3.3.  
 C. CONCRETE AND CLAY TILE SHALL BE INSTALLED ONLY OVER SOLID SHEATHING OR SPACED STRUCTURAL SHEATHING BOARDS. (CRC R905.3.1)  
 D. UNDERLAYMENT SHALL BE NO. 30 ASPHALT FELT OR CLASS M MINERAL SURFACED ROLL ROOFING. (CRC R905.3.3)  
 E. THE VALLEY FLASHING SHALL EXTEND AT LEAST 11" FROM THE CENTERLINE EACH WAY AND HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1" HIGH IN HEIGHT AT THE FLOW LINE FORMED AS PART OF THE FLASHING. (CRC R905.3.8)



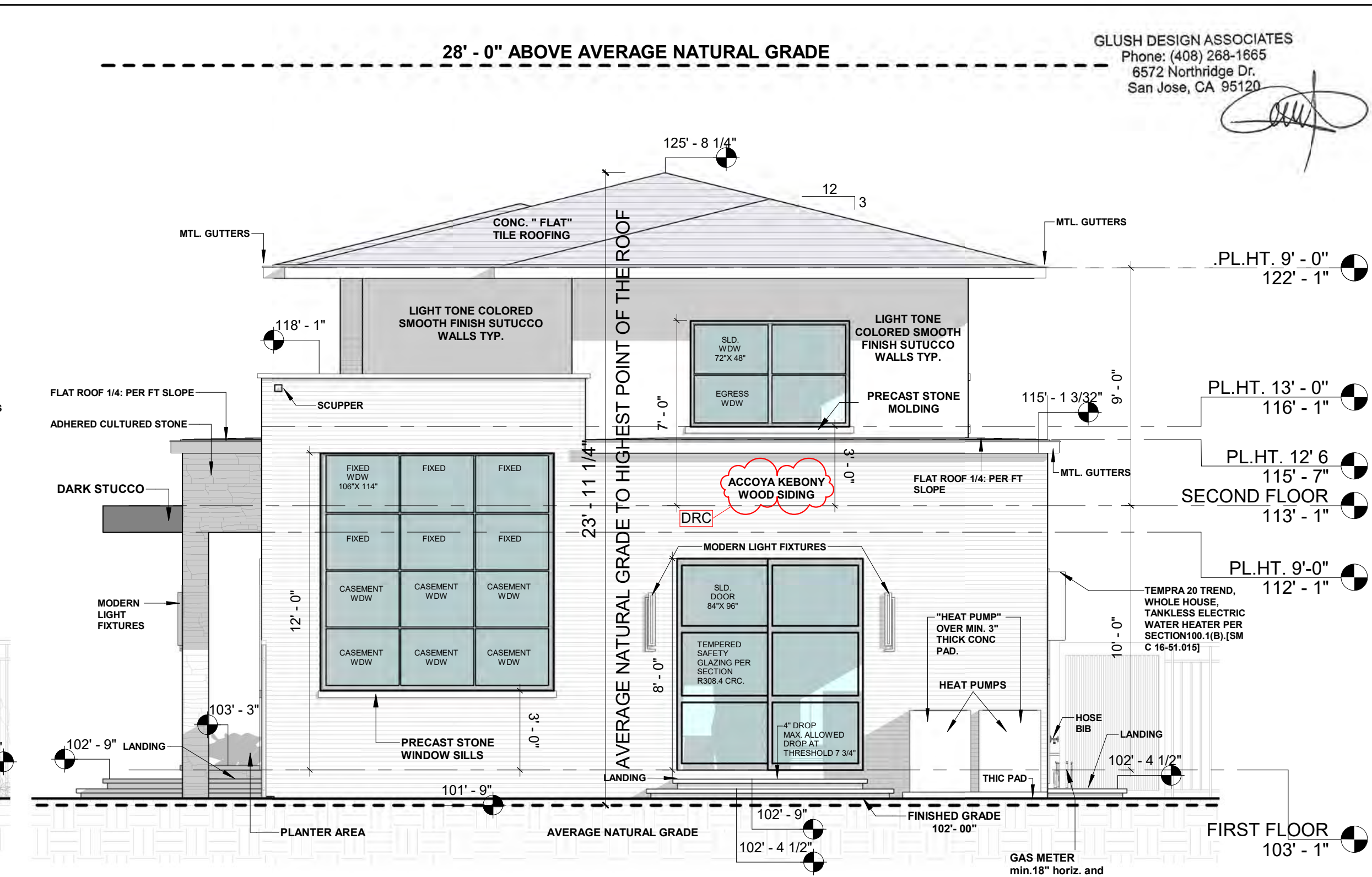
**1**  
**A5**  
**BUILDING A ROOF PLAN**  
**1/4" = 1'-0"**







**1 BUILDING A FRONT (NORTH) ELEVATION**  
A7 1/4" = 1'-0"



**4 BUILDING A RIGHT (EAST) ELEVATION**  
A7 1/4" = 1'-0"

**GENERAL NOTES:**

- 1- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE CONTRACTORS, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, IN THE METHODS USED IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS, OR THE LACK THERE OF TAKEN AT THE PROJECT SITE.
- 2- CONTRACTORS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY REVIEW OF DRAWINGS BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION, FOR COMPLIANCE WITH CONTRACT DOCUMENTS, FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORMWORK, E.T.C.) FOR COORDINATION OF THE VARIOUS TRADES AND FOR SAFE CONDITION AT THE JOB SITE.
- 3- VARIATION IN THE FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGNER OR OWNER WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE DESIGNER OR OWNER.
- 4- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE AND VOID UNLESS IN CONJUNCTION WITH ALL THE SPECIFICATION, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- 5- DESIGNER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTOR'S SUPPLIERS ETC. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND SHOP DRAWING STAMPED AND SIGNED BY THE DESIGNER OR OWNER WILL BE ALLOWED AT THE JOB SITE.

- 6- UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- 7- CONTRACTOR SHALL AND SIGNING CONTRACT DOES WARRANT THAT ALL WORK AND MATERIALS WILL COMPLY WITH REQUIREMENTS OF THE CONTRACT DOCUMENT AND SHALL BE OF GOOD WORKMANLIKE QUALITY AND FREE FROM DEFECTS IN WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE(1) YEAR FROM DATE OF FULL OCCUPANCY UNLESS LONGER THAN ONE YEAR WARRANTY IS REQUIRED, SPECIFIED OR PROVIDED. INSULATED GLASS SHALL HAVE TEN YEARS WARRANTY.
- 8- CONTRACTOR SHALL REGARD, PATCH AND MATCH ALL CONSTRUCTION DAMAGES TO SITE, GRASS, CONCRETE, FENCING, ETC. TO MATCH EXISTING CONDITIONS.
- 9- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. THE STORING OF GOODS AND MATERIALS ON THE SIDE WALK AND/OR STREETS WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED. THE SUPERINTENDENT IN CHARGE OF CONSTRUCTION SHALL BE AT THE JOB SITE DURING ALL WORKING HOURS.
- 10- THE CONSTRUCTION SHALL COMPLY WITH THE 2016 CBC, 2016 CRC 2016 CMC, 2016 CPC, 2016 CEC AND 2016 CALIFORNIA FIRE CODE. PROJECT SHALL BE CONSTRUCTED UNDER CALIFORNIA GREEN BUILDING CODE.
- 11- ALL DIMENSIONS ON THE DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, AND REPORT ANY OR ALL DISCREPANCIES AND ERRORS TO DESIGNER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RELATES.

**ADDRESS NOTE:**

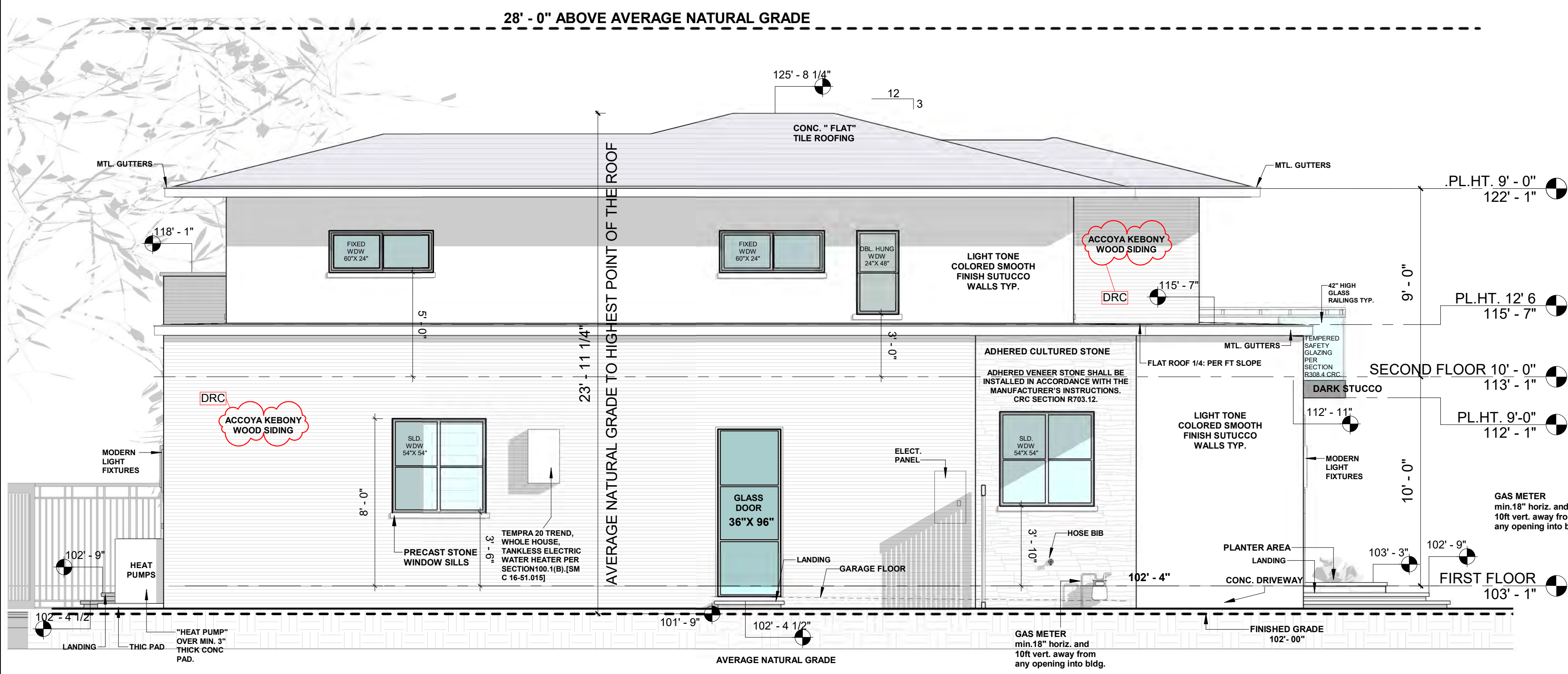
BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2". CRC R319.1

**STUCCO NOTE:**

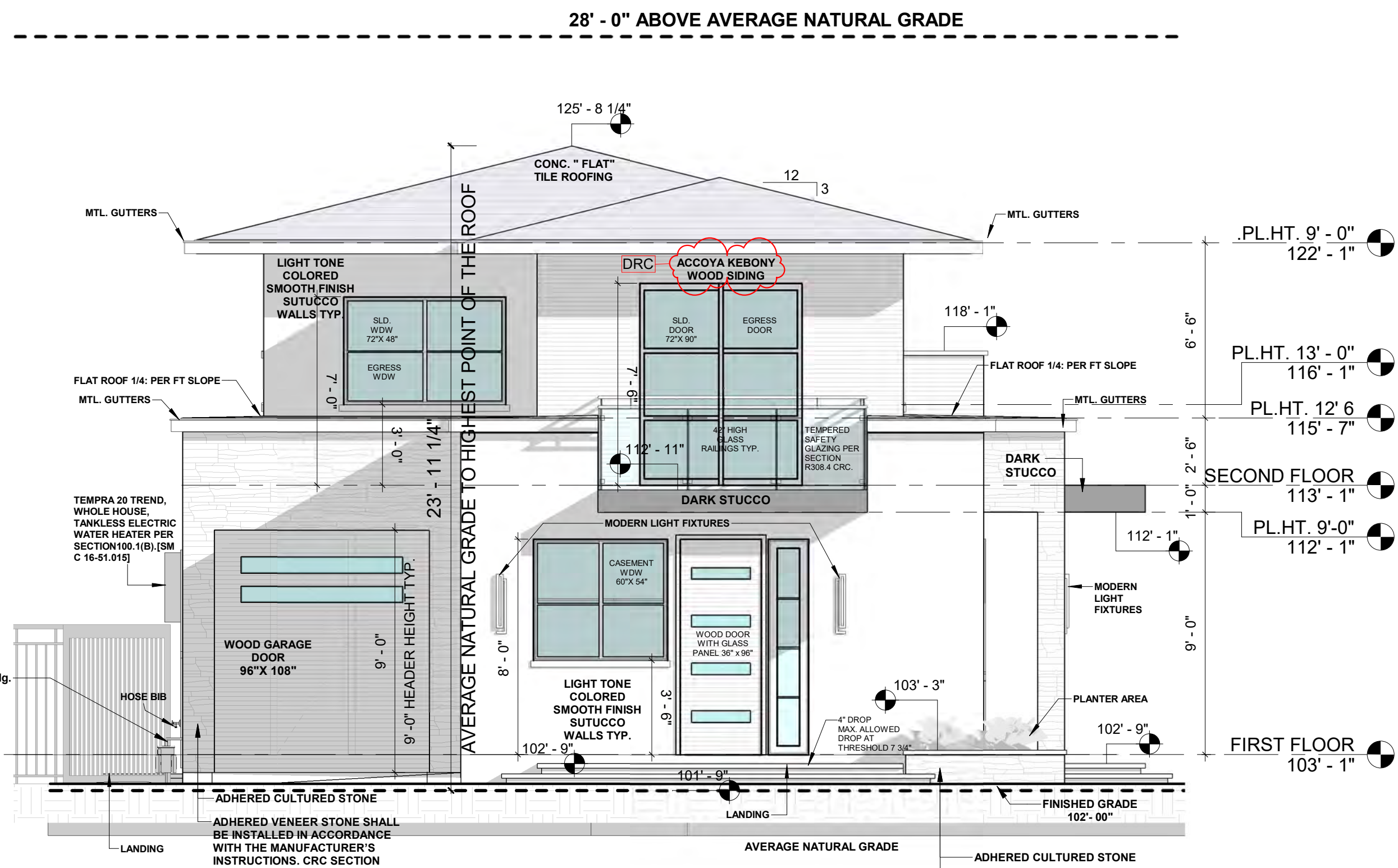
THE STUCCO WILL BE APPLIED OVER TWO LAYERS OF GRADE D BUILDING PAPER. ALSO, PROVIDE A WEEP SCREED THAT IS LOCATED A MINIMUM OF 4 INCHES ABOVE EARTH AND A MINIMUM OF 2 INCHES ABOVE A PAVED AREA. CRC R703.6.3

WINDER TREADS SHALL HAVE A MINIMUM DEPTH OF 10" MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTION WITH THE WALKLINE PER CRC R311.7.5.2.1.

WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT WITHIN THE CLEAR WIDTH OF STAIR. THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST WINDER TREAD DEPTH BY MORE THAN 3/8" (CRC R311.7.5.2.1)



**3 BUILDING A REAR (SOUTH) ELEVATION**  
A7 1/4" = 1'-0"



**2 BUILDING A LEFT (WEST) ELEVATION**  
A7 1/4" = 1'-0"



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No.	Description	Date
3	Revision 3	

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**BUILDING A ELEVATIONS**

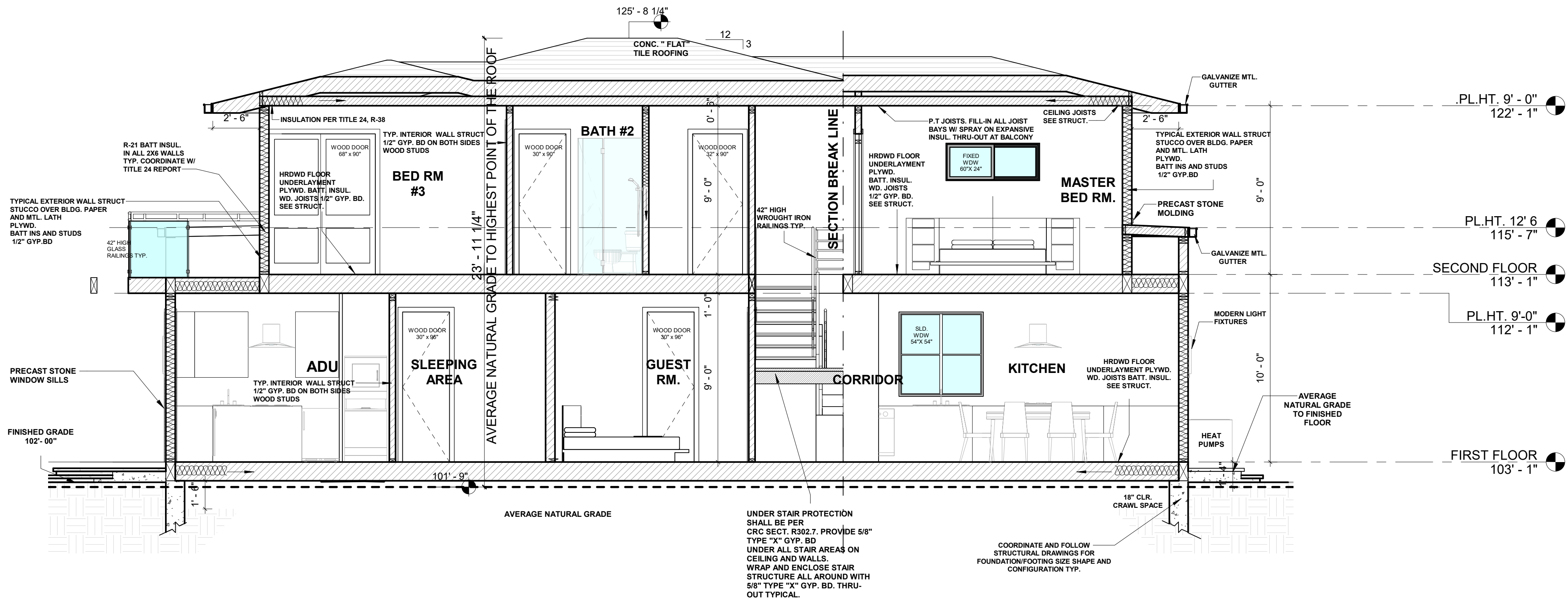
MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU  
1332 PARK DRIVE  
IN THE CITY OF MOUNTAIN VIEW,  
CA 94040

Project no:  
Date:  
Drawn by:  
Checked by:  
A7  
Scale 1/4" = 1'-0"



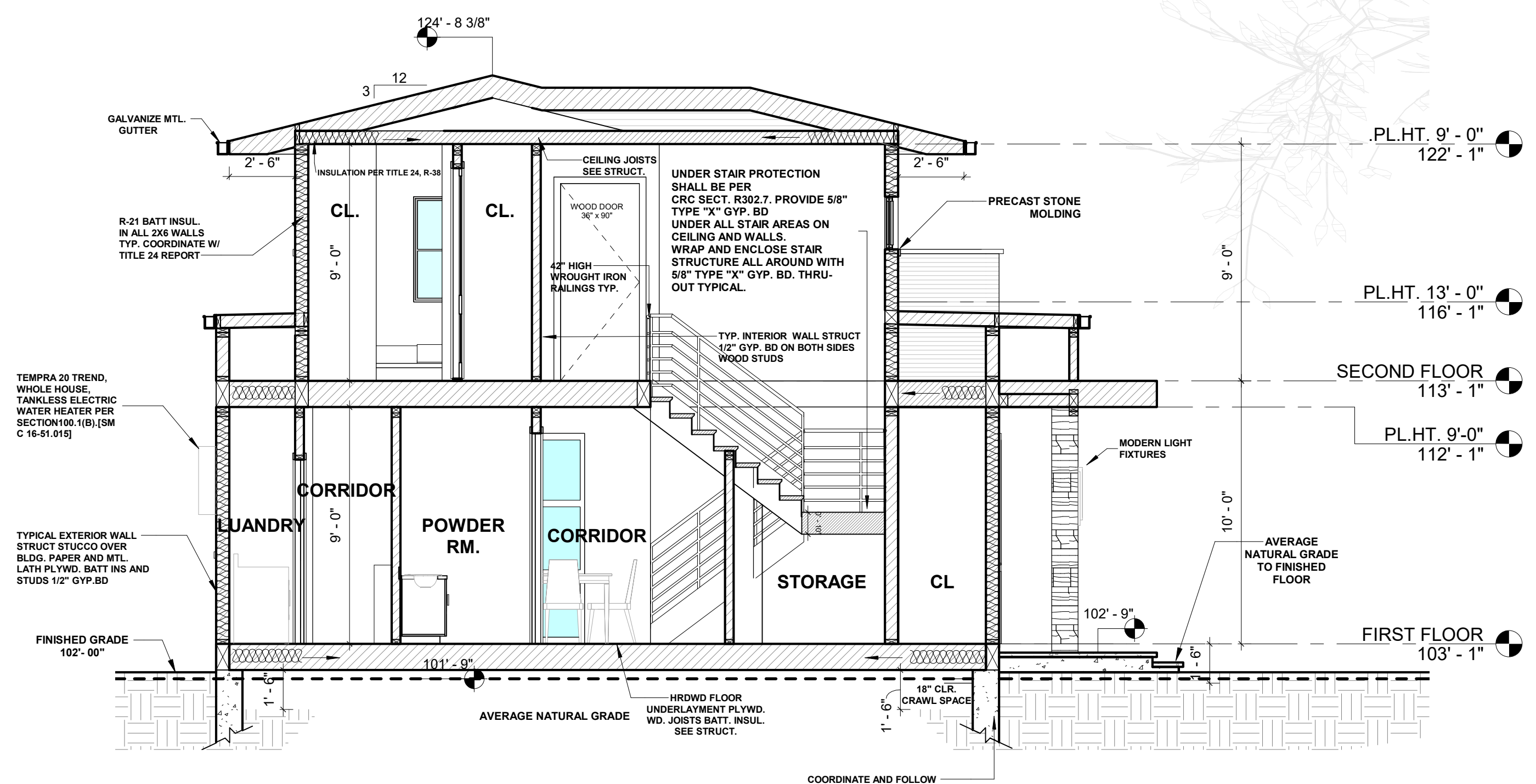


ALL CEILING HEIGHTS  
TO BE UNDER 16'.



**A BUILDING A SECTION A-A**  
A8 1/4" = 1'-0"

**NOTE:**  
THE PURPOSE OF THIS DRAWING IS TO SHOW ARCHITECTURAL ELEMENTS OF THE BUILDING. FOR ALL OTHER STRUCTURAL ITEMS AND THEIR SIZE CONFIGURATIONS, COORDINATE AND FOLLOW STRUCTURAL DRAWINGS.  
SOME WALLS SHOWN HERE MAY EXTEND TO THE CEILING OR ROOF, SOME MAY TERMINATE UNDER CEILINGS, VERIFY AND FOLLOW STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WALLS, FOUNDATIONS / FOOTINGS, CEILINGS, ROOF STRUCTURE, BEAMS, GIRDERS.



**B BUILDING A SECTION B-B**  
A8 1/4" = 1'-0"



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**BUILDING A CROSS SECTIONS**

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1332 PARK DRIVE  
IN THE CITY OF MOUNTAIN VIEW,  
CA 94040

Project no:  
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Drawn by: Author  
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A8

Scale 1/4" = 1'-0"

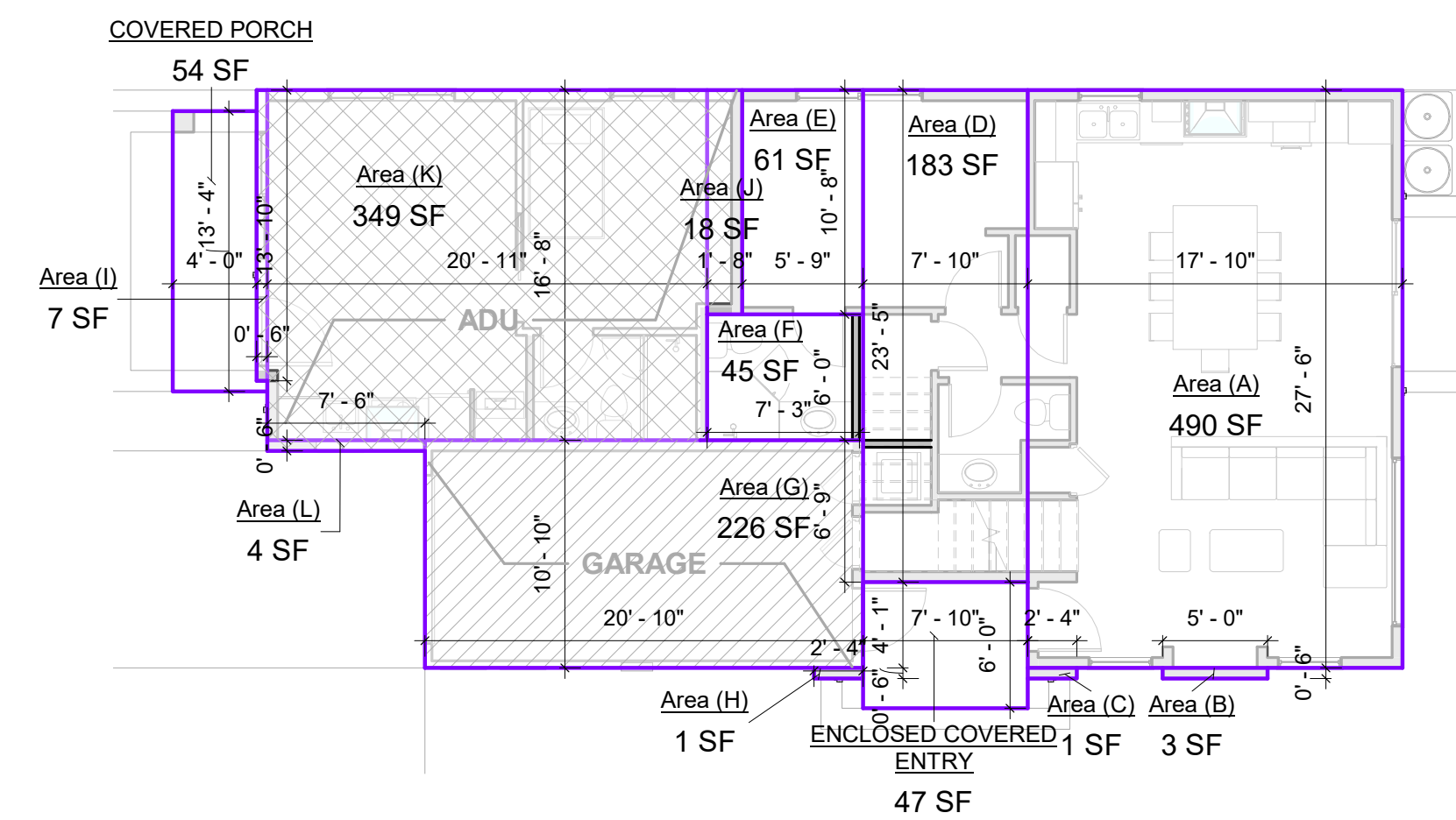




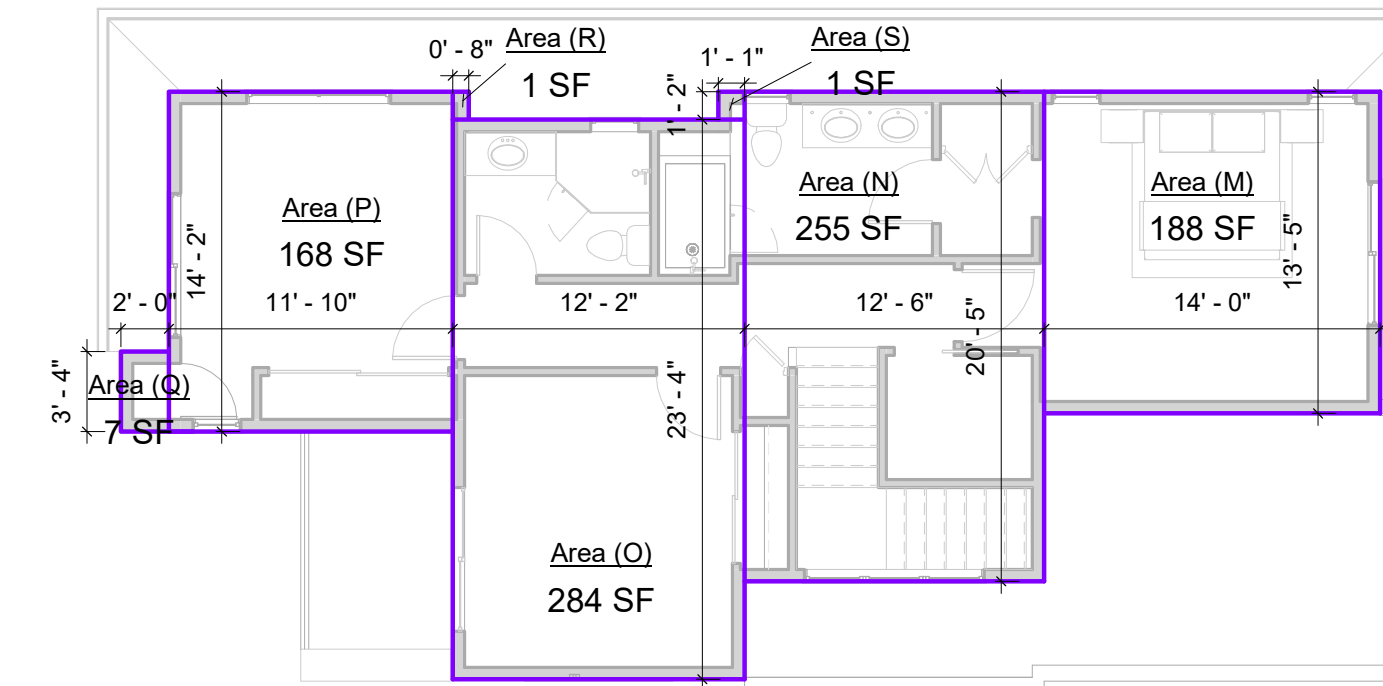
# DEMOLISH AND REMOVE EXISTING OLD BUILDING, GARAGE CONSTRUCT NEW DOUBLE STORIES CUSTOM HOUSES WITH ATTACHED ADU



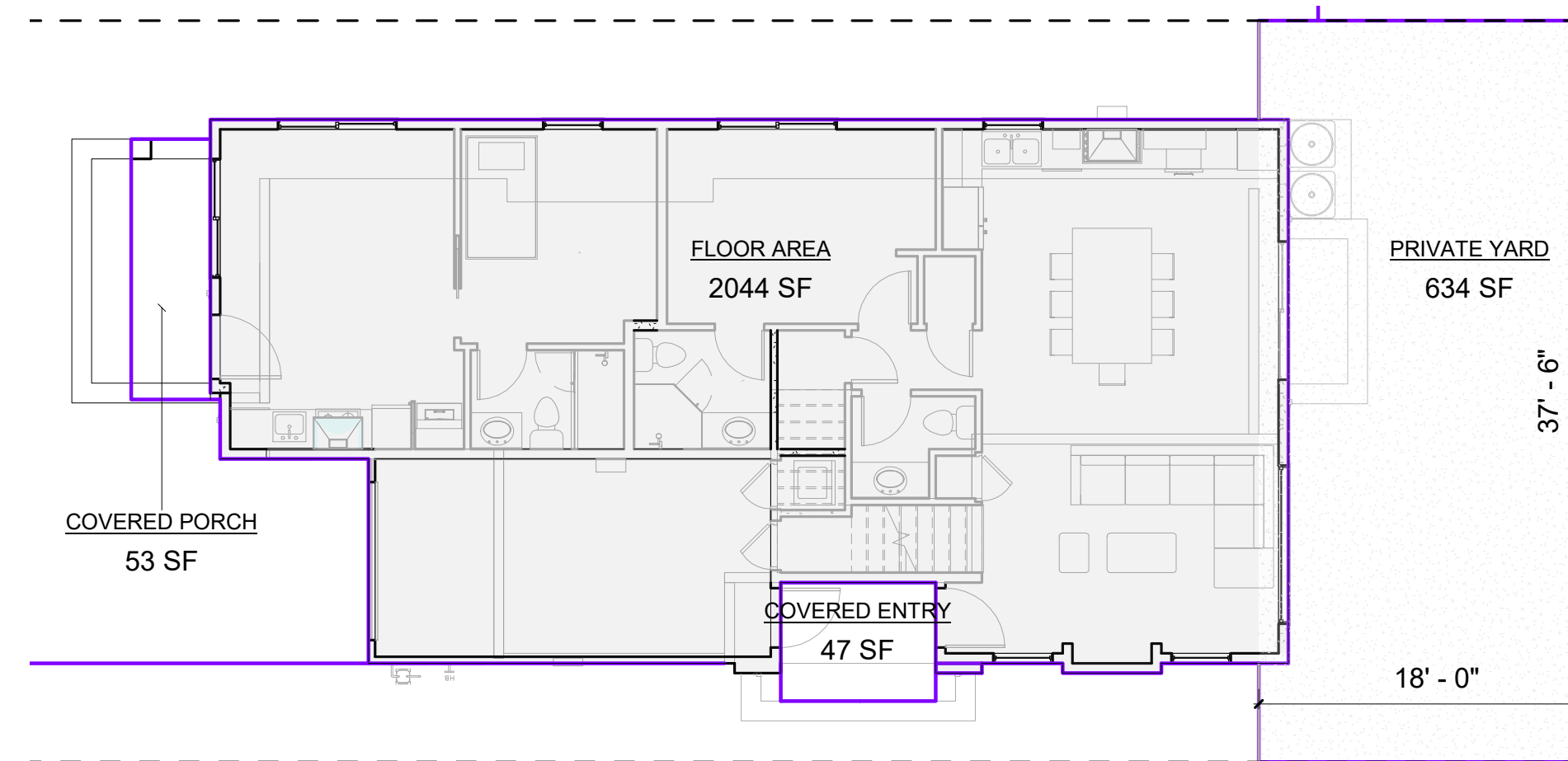
**2 BUILDING B FIRST FLOOR AREA CALCULATIONS**  
1/8" = 1'-0"



**3 BUILDING B SECOND FLOOR AREA CALCULATIONS**  
1/8" = 1'-0"



**5 BUILDING B LOT COVERAGE**  
1/8" = 1'-0"



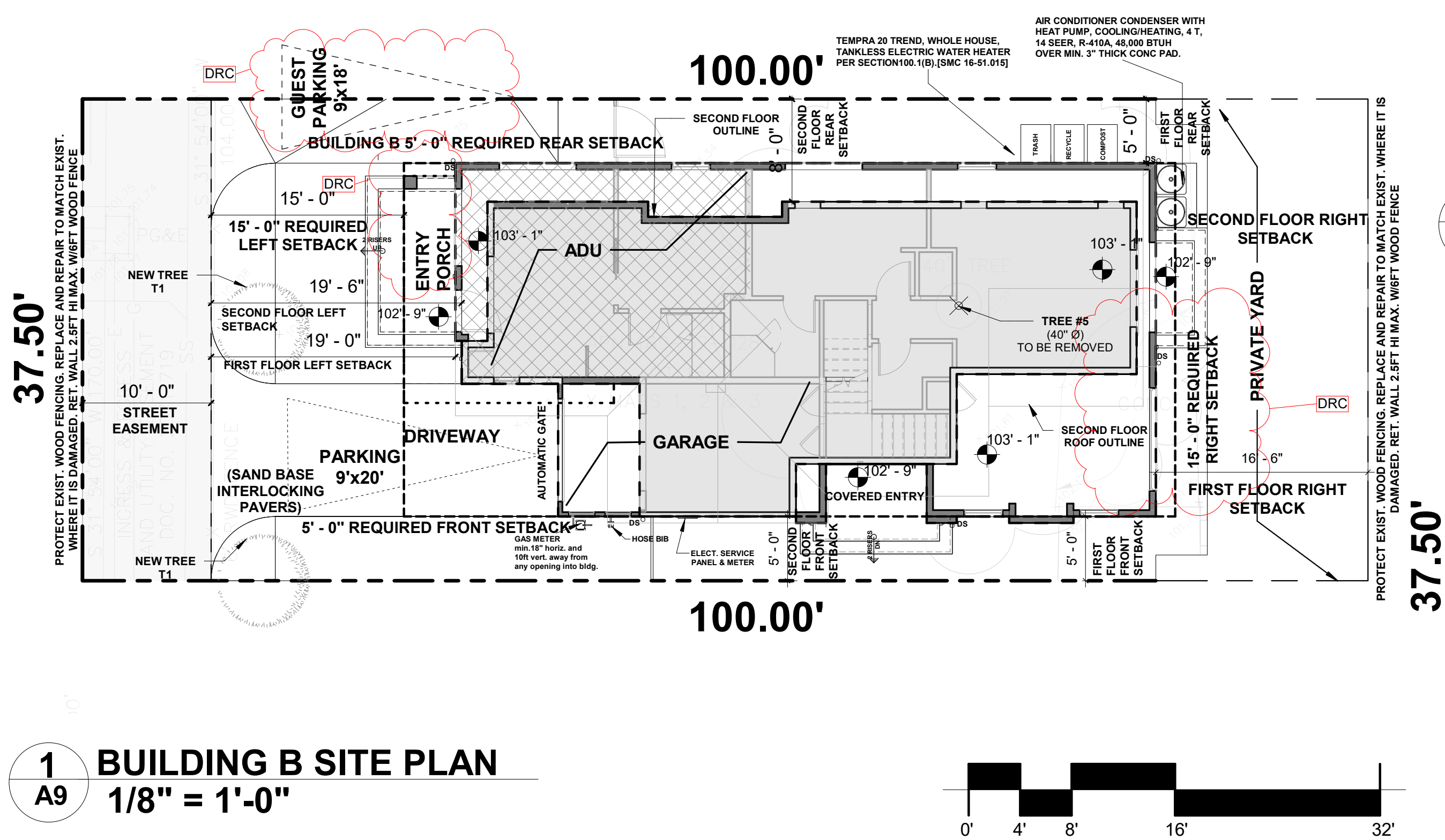
**BUILDING B LOT SIZE: 3,750.00 SQ. FT.**

BUILDING B	
FLOOR AREA	SQ.FT.
FIRST FLOOR	783
SECOND FLOOR	904
GARAGE	227
ENCLOSED COVERED ENTRY	47
FAR	1,961
ADU	378
TOTAL LIVABLE AREA	2,065
TOTAL BUILDING FLOOR AREA (inc. garage)	2,339

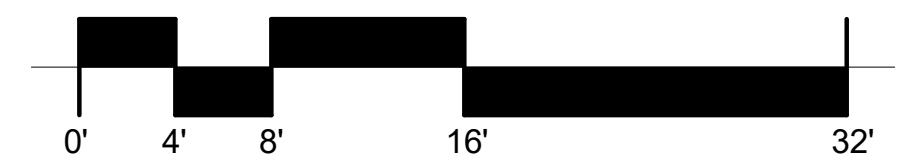
FLOOR AREA CALCULATIONS (B)		
SECTIONS	DIMENTIONAS	AREA
FIRST FLOOR	A	27' 6" x 17' 10" = 490 SF
	B	5' 0" x 0' 6" = 3 SF
	C	2' 4" x 0' 6" = 1 SF
	D	7' 10" x 23' 5" = 183 SF
	E	5' 9" x 10' 8" = 61 SF
	F	7' 3" x 6' 0" = 45 SF
GARAGE	G	10' 10" x 20' 10" = 226 SF
	H	2' 4" x 0' 6" = 1 SF
ADU	I	0' 6" x 13' 10" = 7 SF
	J	1' 8" x 10' 8" = 18 SF
	K	20' 11" x 16' 8" = 349 SF
	L	7' 6" x 0' 6" = 4 SF
SECOND FLOOR	T	14' 0" x 13' 5" = 188 SF
	N	12' 6" x 20' 5" = 255 SF
	O	12' 2" x 23' 4" = 284 SF
	P	11' 10" x 14' 2" = 168 SF
	Q	2' 0" x 3' 4" = 7 SF
	R	0' 8" x 1' 2" = 1 SF
	S	1' 1" x 1' 2" = 1 SF
TOTAL MAIN HOUSE FLOOR AREA (INC. ENCLOSED PORCH)		1,961 SF
TOTAL FLOOR AREA (INC. ADU)		2,292 SF

BUILDING B	
LOT COVERAGE	SQ.FT.
MAIN HOUSE	1,010
COVERED PORCH (47 + 54)	101
ADU	378
MAIN HOUSE COVERAGE	1,111
TOTAL COVERAGE	1,489

PRIVATE USABLE OPEN SPACE		634			
SETBACKS BUILDING B		FRONT	LEFT SIDE	RIGHT SIDE	REAR
FIRST FLOOR	REQUIRED	5'-0"	15'-0"	15'-0"	5'-0"
	PROPOSED	5'-0"	19'-0"	16'-6"	5'-0"
SECOND FLOOR	REQUIRED	8'-0"	19'-0"	18'-0"	8'-0"
	PROPOSED	5'-0"	19'-6"	18'-0"	8'-0"



**1 BUILDING B SITE PLAN**  
1/8" = 1'-0"



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**6 BLDG "B"**  
3/64" = 1'-0"

No.	Description	Date
2	PLANNING DIVISION	02/07/2022

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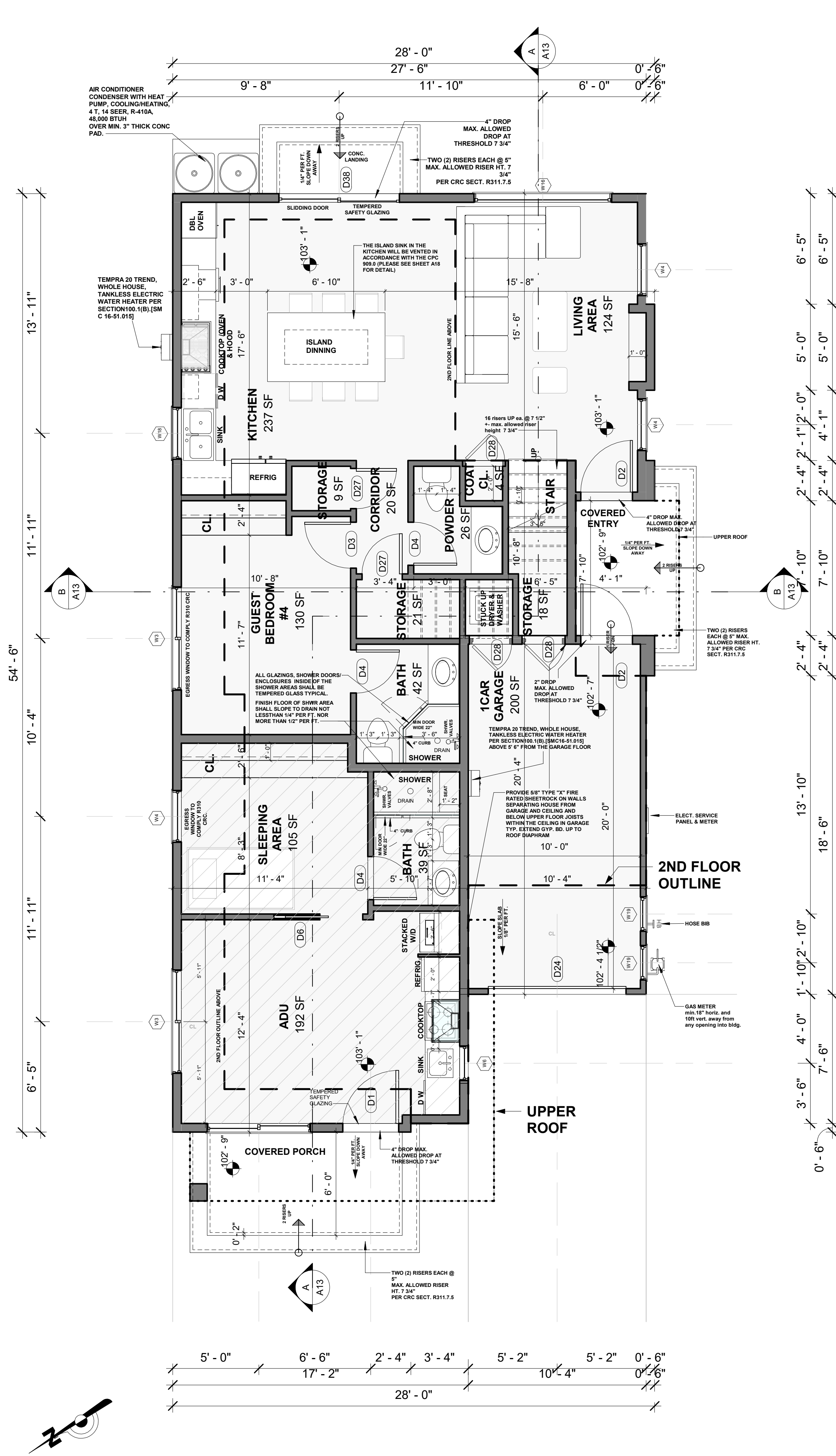
**BUILDING B SITE PLAN & AREA CALCULATIONS**

**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
1332 PARK DRIVE  
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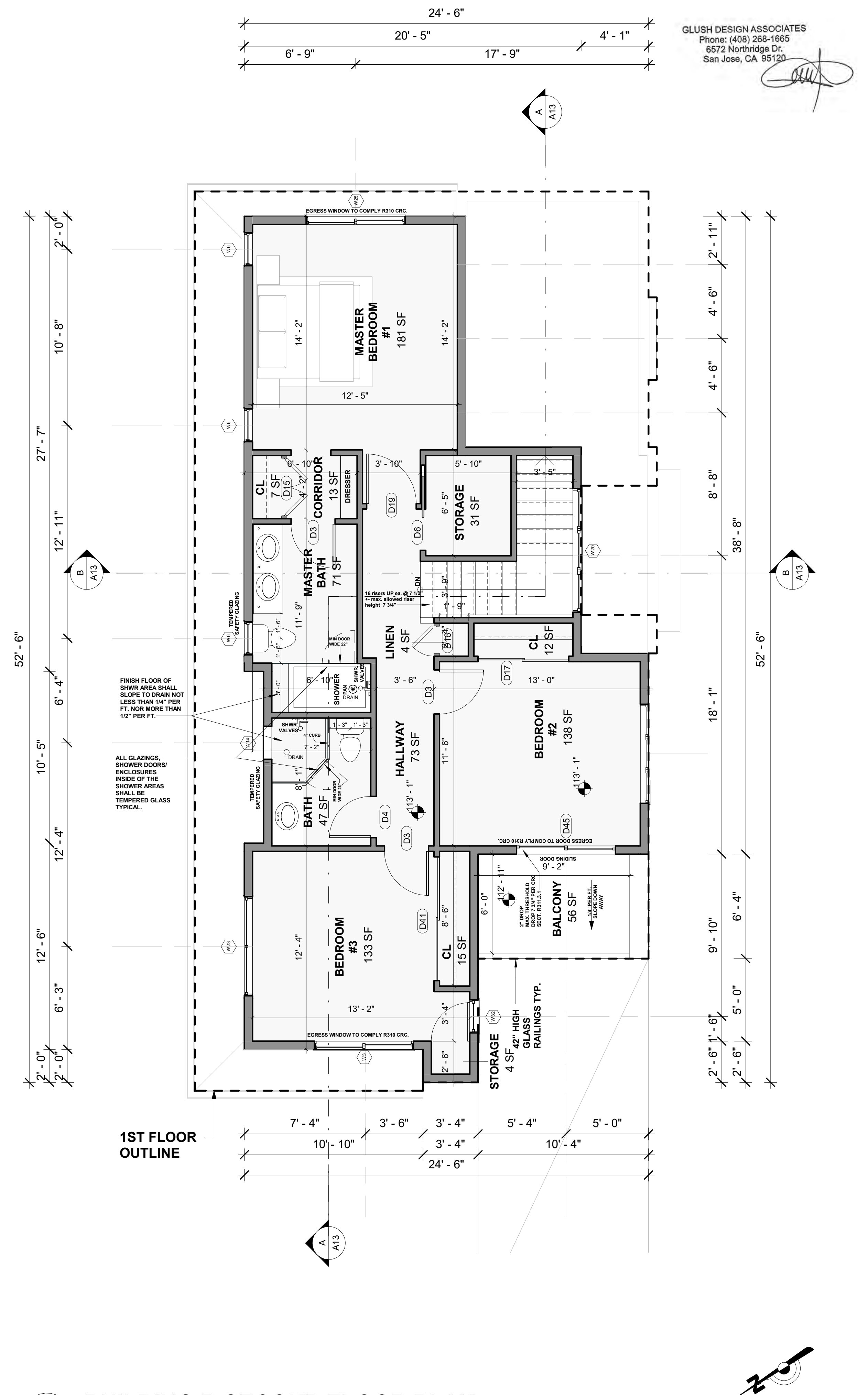
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Date:	
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Scale:	As indicated







**1 BUILDING B FIRST FLOOR PLAN**  
**1/4" = 1'-0"**



**2 BUILDING B SECOND FLOOR PLAN**  
**1/4" = 1'-0"**

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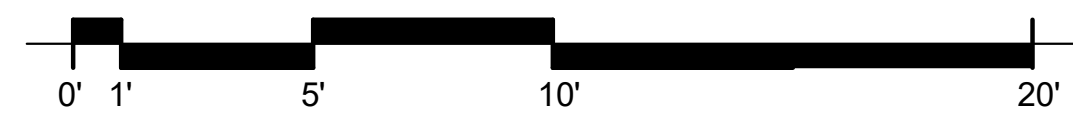
**BUILDING B FLOOR PLANS**

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**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:  
 Date:  
 Drawn by: Author  
 Checked by: Checker

**A10**  
 Scale 1/4" = 1'-0"





GLUSH DESIGN ASSOCIATES  
 Phone: (408) 268-1665  
 6572 Northridge Dr.  
 San Jose, CA 95120

**NOTE: MOLDINGS AND TRIMS ARE NOT SHOWN FOR CLARITY OF DRAWING.**

**TYPICAL NOTES FOR VENTILATIONS:**  
 1- ATTIC VENTS SHALL BE PER CRC 2013 SECT. R806.1 , R806.2  
 A- NET FREE AREA SHALL NOT BE LESS THAN- 1/150 OF THE ATTIC SPACE OR  
 ii- 1/300 OF THE ATTIC SPACE PROVIDED THAT A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING OR  
 iii- 1/300 OF THE ATTIC AREA PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATION ARE MUST BE LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS.  
 B- OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MIN. AND 1/4" MAX. OPENINGS.  
 C- A MIN. OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATING. CRC 2013 SECT. R806.3

ALL FASTENERS FOR ROOF COVERING SHALL BE RESISTANT SUCH AS COPPER, BRASS, STAINLESS STEEL OR GALVANIZED PER 1507 , R905.3.6 , R905.2.5

WHERE REQUIRED FOR ROOF DRAINAGE , SCUPPERS SHALL BE PLACED LEVEL WITH THE ROOF SURFACE IN A WALL OR PARAPET. THE SCUPPERS SHALL BE LOCATED AS DETERMINED BY THE ROOF SLOPE AND CONTRIBUTING AREA. PER CRC SECT R903.4

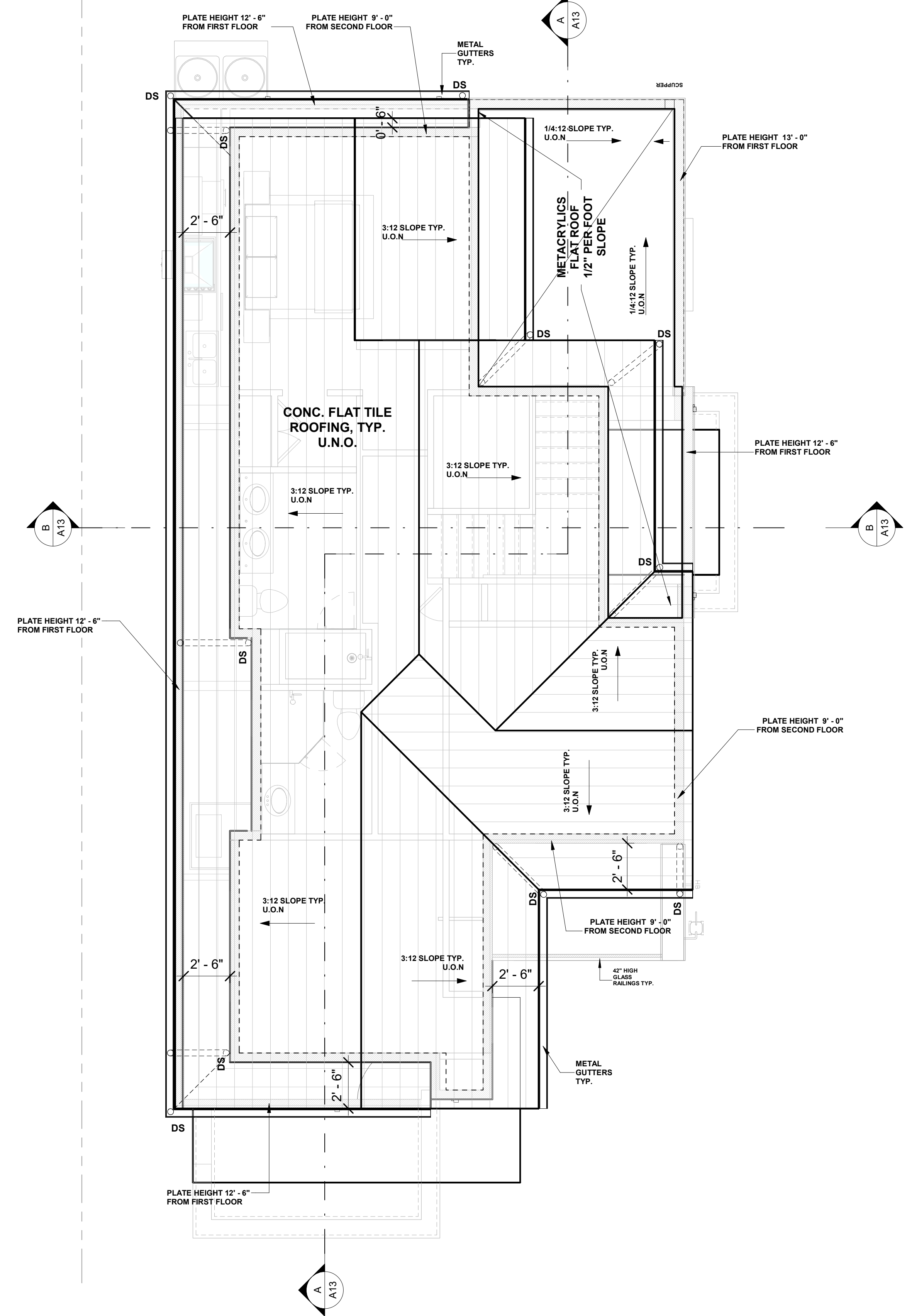
WHERE ROOF DRAINS ARE REQUIRED , OVERFLOW DRAINS HAVING THE SAME SIZE AS ROOF DRAINS SHALL BE INSTALLED WITH THE INLET LOCATED 2" INCHES ABOVE THE LOW POINT OF ROOF. CRC SECT. R903.4.1

UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY , AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDM/CSA 1011.S.2/A440 PER CRC 2016 SECT R308.6.9  
 ALL MTL. CHIMNEY SHROUDS SHALL BE LISTED AND LABELED ASSEMBLY FOR THE MAKE AND MODEL OF FIREPLACE PER CRC AND CMC

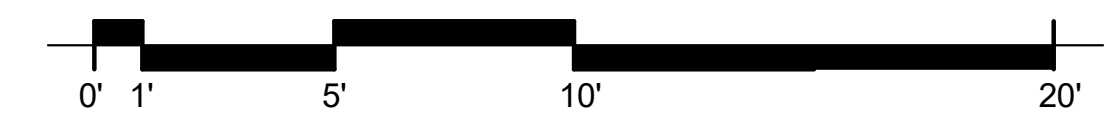
DO NOT ALLOW DOWNSPOUTS DISCHARGE INTO PLANTER BOX AREAS. CONTINUE IN-GROUND AND DAY LIGHT ALL DOWNSPOUTS OUT OF PLANTER BOXES AND PROVIDE SPLASH BLOCK FOR EACH DISCHARGING TO GROUND. SLOPE CONC. WALKS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM BUILDINGS.

FIRE BLOCKING SHALL BE INSTALLED AT OPENINGS AROUND CHIMNEYS AND FIRE PLACES AT CEILING LEVEL PER CRC 2016 SECTION R1003.19 AND R1001.12 . FACTORY BUILT CHIMNEYS AND FIRE PLACES SHALL BE IN CCORDANCE WITH UL 103 AND UL 127

**NOTES FOR ROOFING:**  
 A. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN 0.019 INCHES (0.483 MM) (E.G. NO. 26 GALVANIZED SHEET) AND SHALL BE PRIMED AND PAINTED. [PAMC 16.06.253]  
 B. CLAY AND CONCRETE ROOF SHALL BE USED ONLY ON ROOF SLOPES OF 2-1/2:12 OR GREATER PER CRC R905.3.2. ROOF SLOPES OF 2:12 UP TO 4:12 REQUIRE DOUBLE UNDERLAYMENT PER CRC R905.3.3.  
 C. CONCRETE AND CLAY TILE SHALL BE INSTALLED ONLY OVER SOLID SHEATHING OR SPACED STRUCTURAL SHEATHING BOARDS. (CRC R905.3.1)  
 D. UNDERLAYMENT SHALL BE NO. 30 ASPHALT FELT OR CLASS M MINERAL SURFACED ROLL ROOFING. (CRC R905.3.3)  
 E. THE VALLEY FLASHING SHALL EXTEND AT LEAST 11" FROM THE CENTERLINE EACH WAY AND HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1" HIGH IN HEIGHT AT THE FLOW LINE FORMED AS PART OF THE FLASHING. (CRC R905.3.8)



**1 BUILDING B ROOF PLAN**  
 1/4" = 1'-0"



No.	Description	Date

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**BUILDING B ROOF PLAN**  
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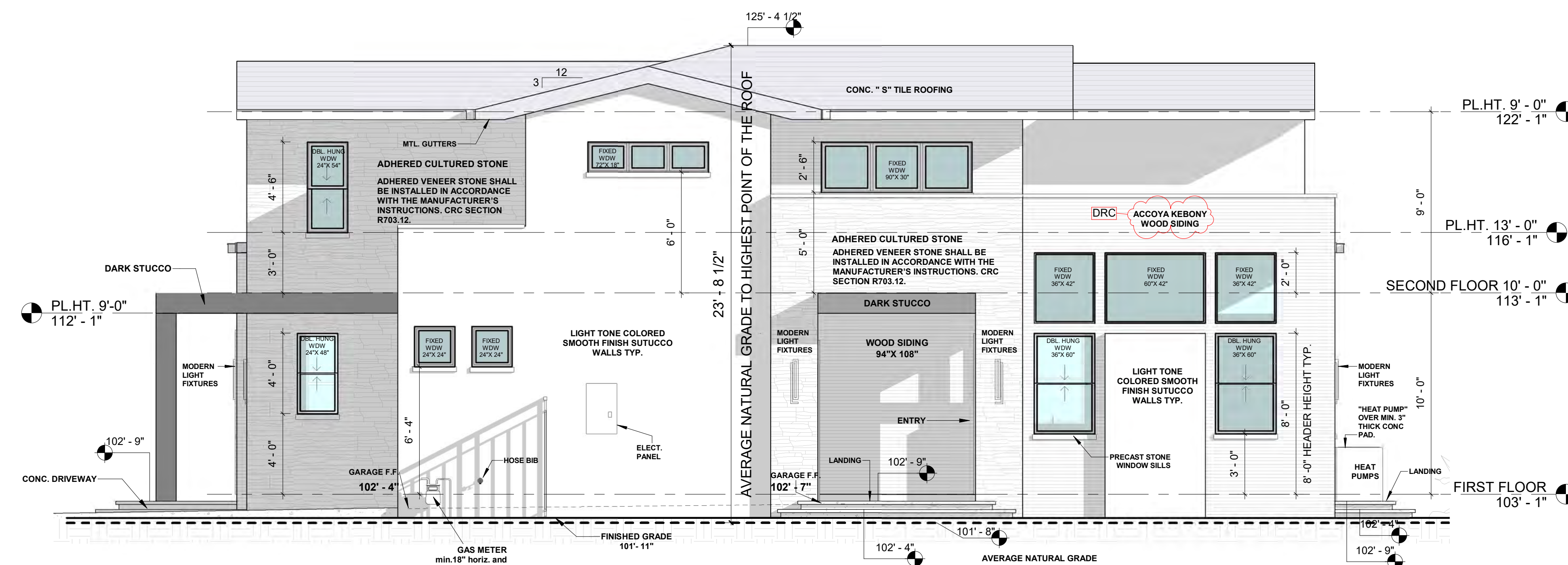
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 Checked by: Checker

**A11**  
 Scale 1/4" = 1'-0"





28' - 0" ABOVE AVERAGE NATURAL GRADE



**1 BUILDING B FRONT (NORTH) ELEVATION**  
 A12 1/4" = 1'-0"

**TEMPERED GLAZING LOCATIONS (CRC R308.1, R308.4):**

- A. IN THE SAME PLANE OF A DOOR IN THE CLOSED POSITION AND WITHIN TWO FEET OF EITHER SIDE OF THE DOOR.
- B. ON A WALL PERPENDICULAR TO THE PLANE OF A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF IN-SWINGING DOOR.
- C. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.
- D. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- E. ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:
  - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET
  - EXPOSED BOTTOM EDGE IS LESS THAN 41 INCHES ABOVE THE FINISHED FLOOR
  - EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR
  - WHERE A WALKING SURFACE IS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING

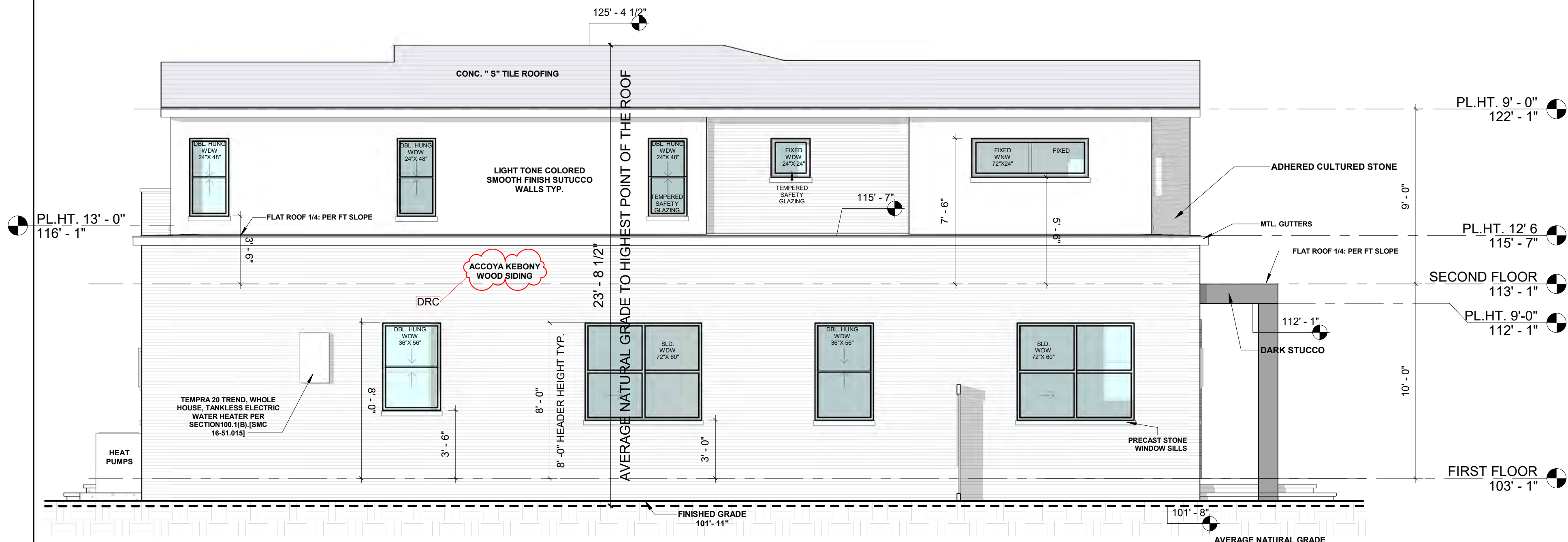
TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED (E.G. SAND BLASTED, ACID ETCHED, CERAMIC FIRED, LASER ETCHED, OR EMBOSSED). STICKERS ATTACHED TO THE WINDOW ARE NOT SUFFICIENT.

**GENERAL NOTES:**

- 1 - THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE CONTRACTORS, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, IN THE METHODS USED IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS, OR THE LACK THERE OF TAKEN AT THE PROJECT SITE.
- 2 - CONTRACTORS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY REVIEW OF DRAWINGS BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION, FOR COMPLIANCE WITH CONTRACT DOCUMENTS, FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORMWORK, E.T.C.) FOR COORDINATION OF THE VARIOUS TRADES AND FOR SAFE CONDITION AT THE JOB SITE.
- 3 - VARIATION IN THE FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGNER OR OWNER WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE DESIGNER OR OWNER.
- 4 - THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE AND VOID UNLESS IN CONJUNCTION WITH ALL THE SPECIFICATION, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- 5 - DESIGNER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTOR'S SUPPLIERS ETC. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND SHOP DRAWING STAMPED AND SIGNED BY THE DESIGNER OR OWNER WILL BE ALLOWED AT THE JOB SITE.

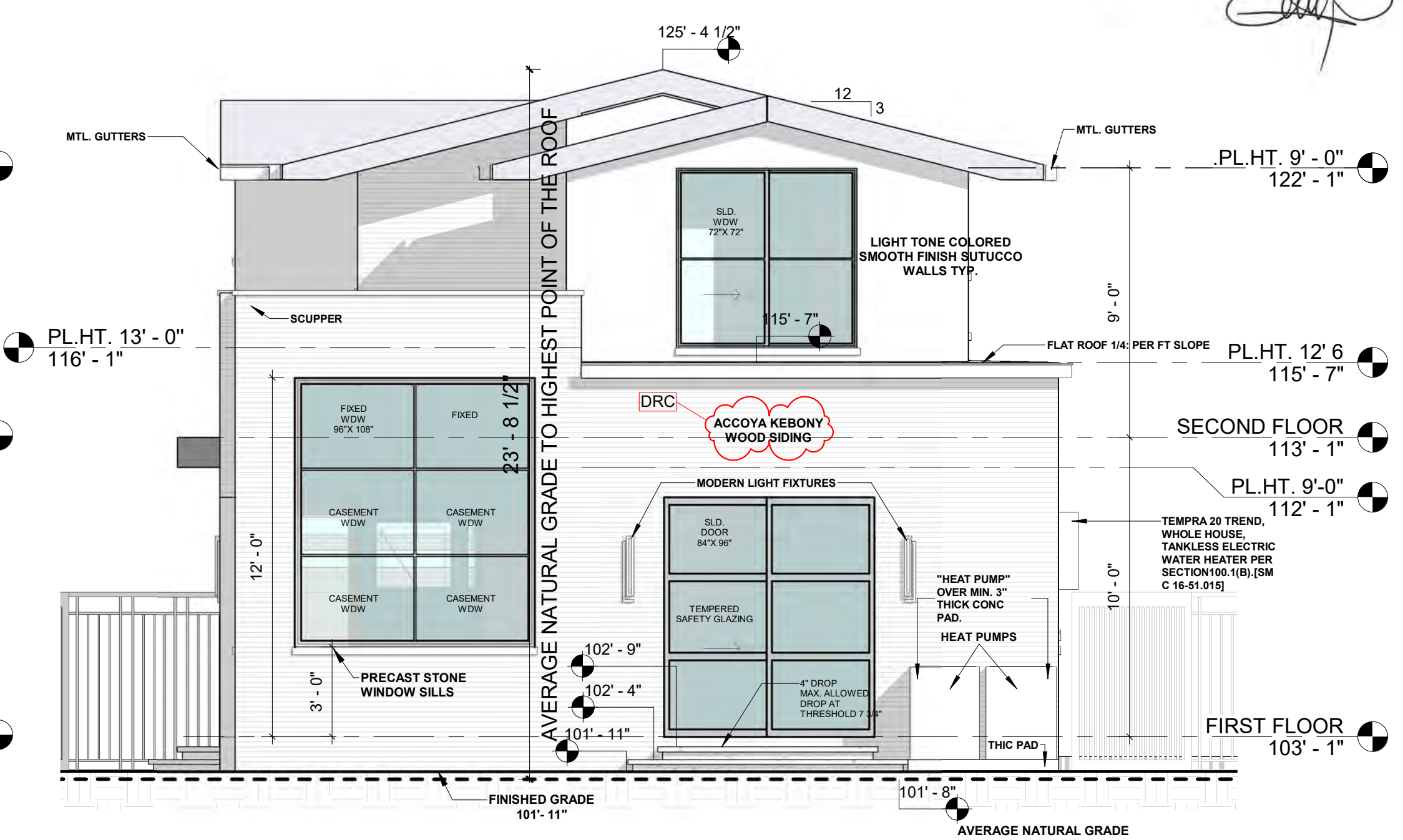
- 6 - UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- 7 - CONTRACTOR SHALL AND SIGNING CONTRACT DOES WARRANT THAT ALL WORK AND MATERIALS WILL COMPLY WITH REQUIREMENTS OF THE CONTRACT DOCUMENT AND SHALL BE OF GOOD WORKMANLIKE QUALITY AND FREE FROM DEFECTS IN WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE(1) YEAR FROM DATE OF FULL OCCUPANCY UNLESS LONGER THAN ONE YEAR WARRANTY IS REQUIRED, SPECIFIED OR PROVIDED. INSULATED GLASS SHALL HAVE TEN YEARS WARRANTY.
- 8 - CONTRACTOR SHALL REGARD, PATCH AND MATCH ALL CONSTRUCTION DAMAGES TO SITE, GRASS, CONCRETE, FENCING, ETC. TO MATCH EXISTING CONDITIONS.
- 9 - GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, THE STORING OF GOODS AND MATERIALS ON THE SIDE WALK AND/OR STREETS WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED. THE SUPERINTENDENT IN CHARGE OF CONSTRUCTION SHALL BE AT THE JOB SITE DURING ALL WORKING HOURS.
- 10 - THE CONSTRUCTION SHALL COMPLY WITH THE 2016 CBC, 2016 CRC 2016 CMC, 2016 CPC, 2016 CEC AND 2016 CALIFORNIA FIRE CODE. PROJECT SHALL BE CONSTRUCTED UNDER CALIFORNIA GREEN BUILDING CODE.
- 11 - ALL DIMENSIONS ON THE DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, AND REPORT ANY OR ALL DISCREPANCIES AND ERRORS TO DESIGNER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.

28' - 0" ABOVE AVERAGE NATURAL GRADE



**3 BUILDING B REAR (SOUTH) ELEVATION**  
 A12 1/4" = 1'-0"

28' - 0" ABOVE AVERAGE NATURAL GRADE



**4 BUILDING B RIGHT (EAST) ELEVATION**  
 A12 1/4" = 1'-0"

**ADDRESS NOTE:**

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 12". CRC R319.1

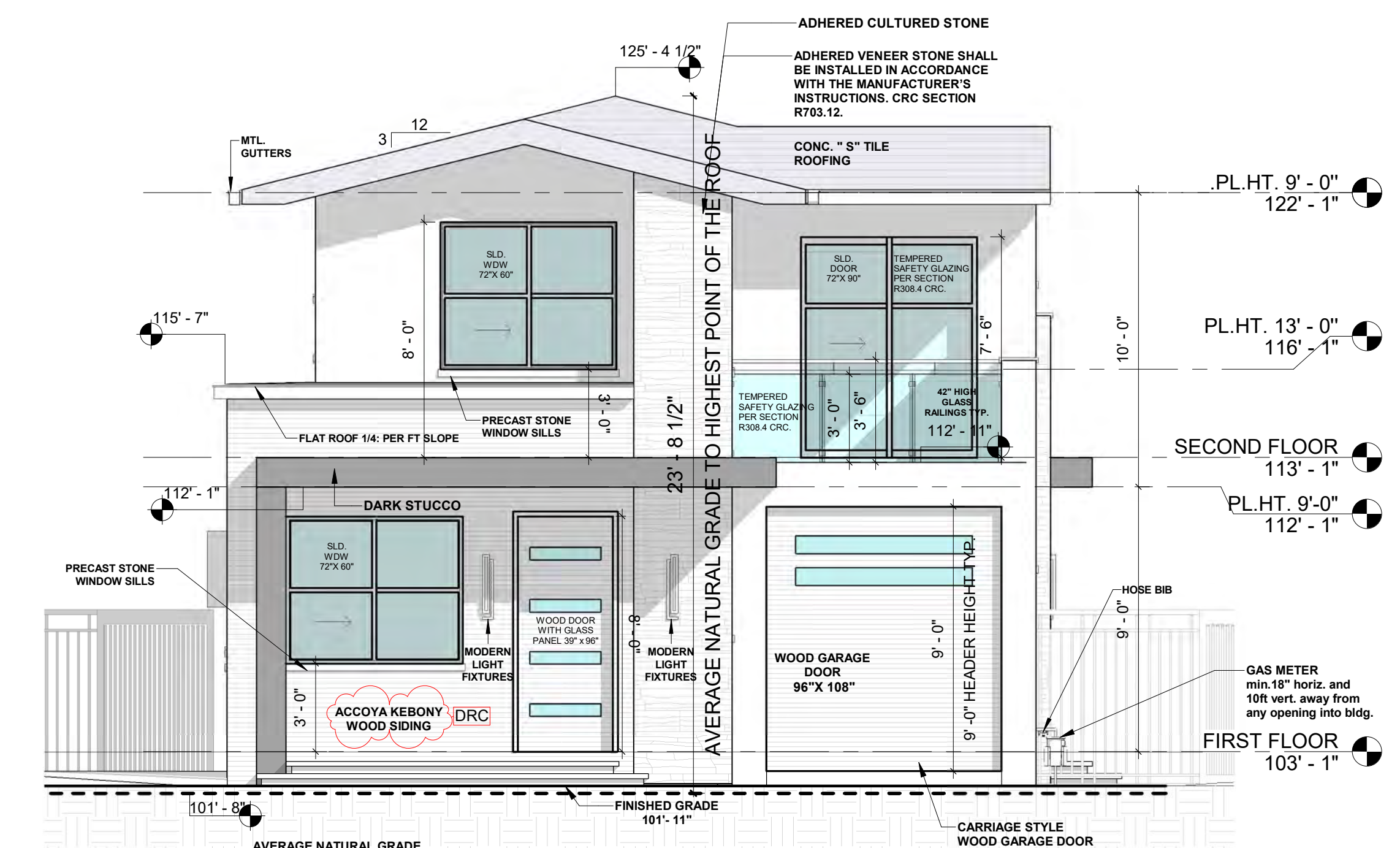
**STUCCO NOTE:**

THE STUCCO WILL BE APPLIED OVER TWO LAYERS OF GRADE D BUILDING PAPER. ALSO, PROVIDE A WEEP SCREED THAT IS LOCATED A MINIMUM OF 4 INCHES ABOVE EARTH AND A MINIMUM OF 2 INCHES ABOVE A PAVED AREA. CRC R703.6.3

WINDER TREADS SHALL HAVE A MINIMUM DEPTH OF 10" MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTION WITH THE WALKLINE PER CRC R311.7.5.2.1.

WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT WITHIN THE CLEAR WIDTH OF STAIR. THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST WINDER TREAD DEPTH BY MORE THAN 3/8" (CRC R311.7.5.2.1)

28' - 0" ABOVE AVERAGE NATURAL GRADE



**2 BUILDING B LEFT (WEST) ELEVATION**  
 A12 1/4" = 1'-0"



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 San Jose, CA 95120



No.	Description	Date
2	PLANNING DIVISION	02/07/2022
3	Revision 3	Date 3

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 GLUSH@GADASH.COM



**BUILDING B ELEVATIONS**

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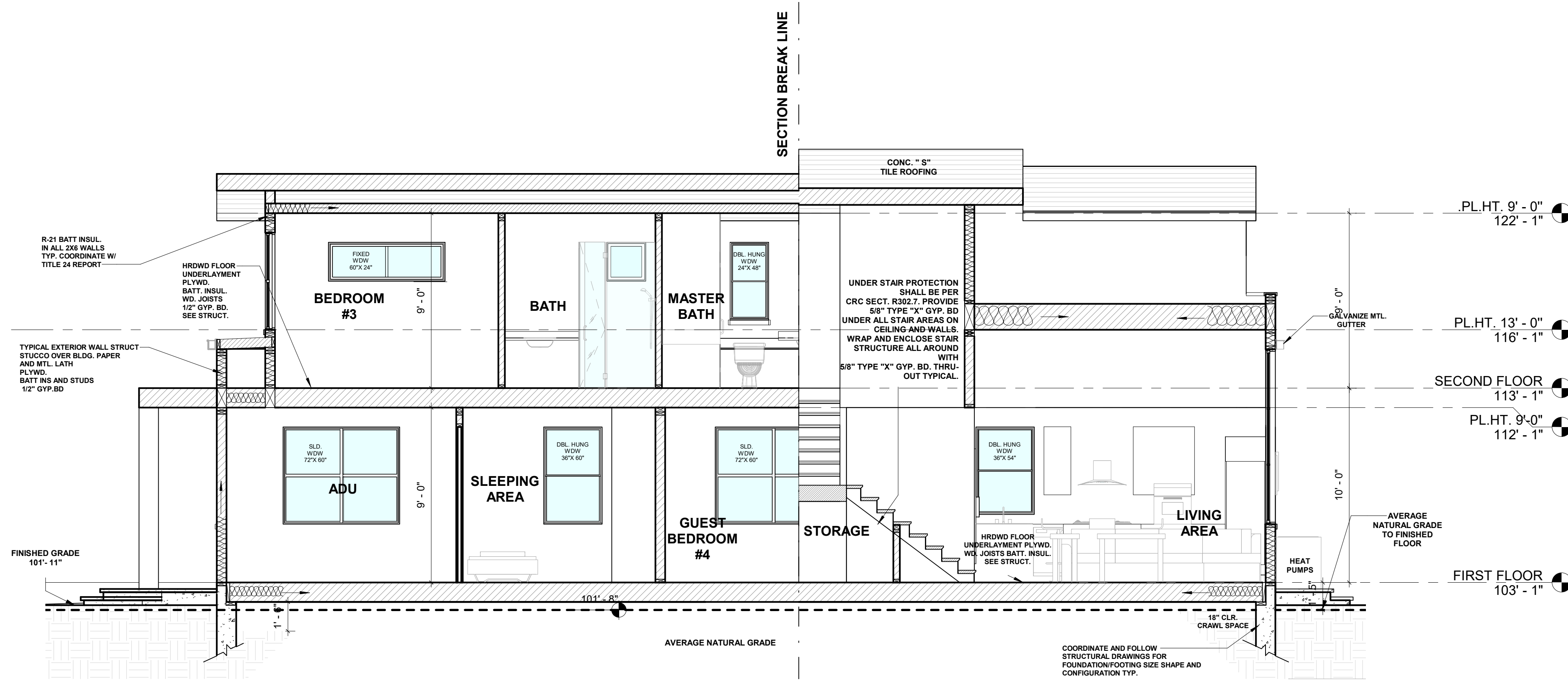
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 Checked by: Checker

**A12**  
 Scale 1/4" = 1'-0"



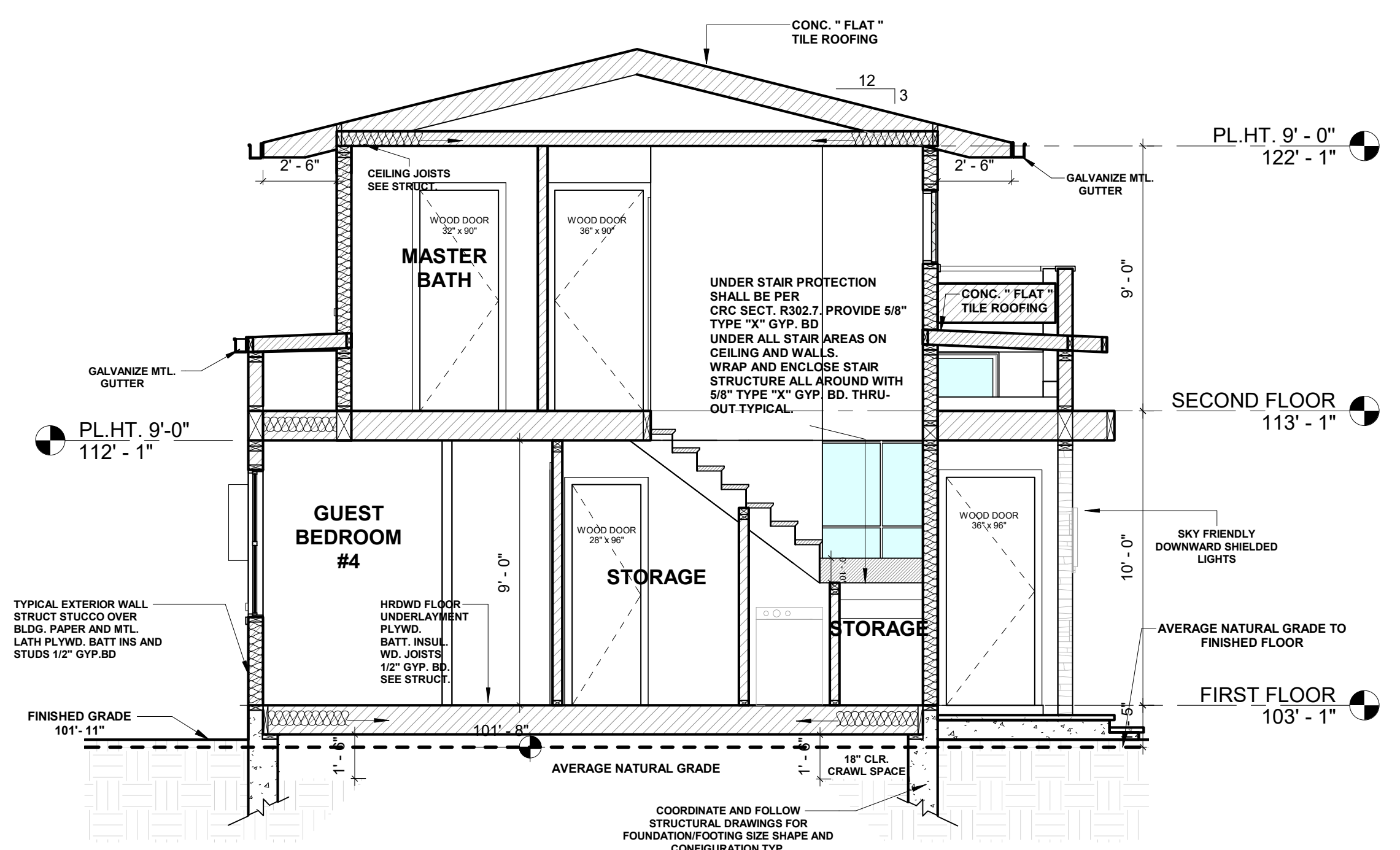


ALL CEILING HEIGHTS  
TO BE UNDER 16'.

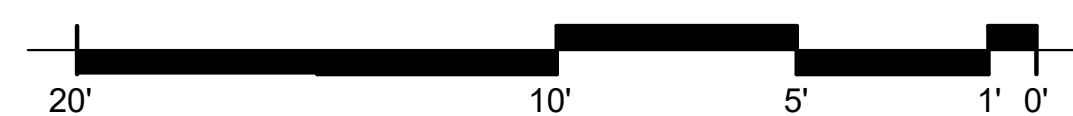


**A BUILDING B SRCTION A-A**  
A13 1/4" = 1'-0"

**NOTE:**  
THE PURPOSE OF THIS DRAWING IS TO SHOW ARCHITECTURAL ELEMENTS OF THE BUILDING . FOR ALL OTHER STRUCTURAL ITEMS AND THEIR SIZE CONFIGURATIONS, COORDINATE AND FOLLOW STRUCTURAL DRAWINGS.  
SOME WALLS SHOWN HERE MAY EXTEND TO THE CEILING OR ROOF, SOME MAY TERMINATE UNDER CEILINGS , VERIFY AND FOLLOW STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WALLS , FOUNDATIONS / FOOTINGS, CEILINGS, ROOF STRUCTURE, BEAMS , GIRDERS.



**B BUILDING B SECTION B-B**  
A13 1/4" = 1'-0"



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San Jose, CA 95120



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**BUILDING B CROSS SECTIONS**  
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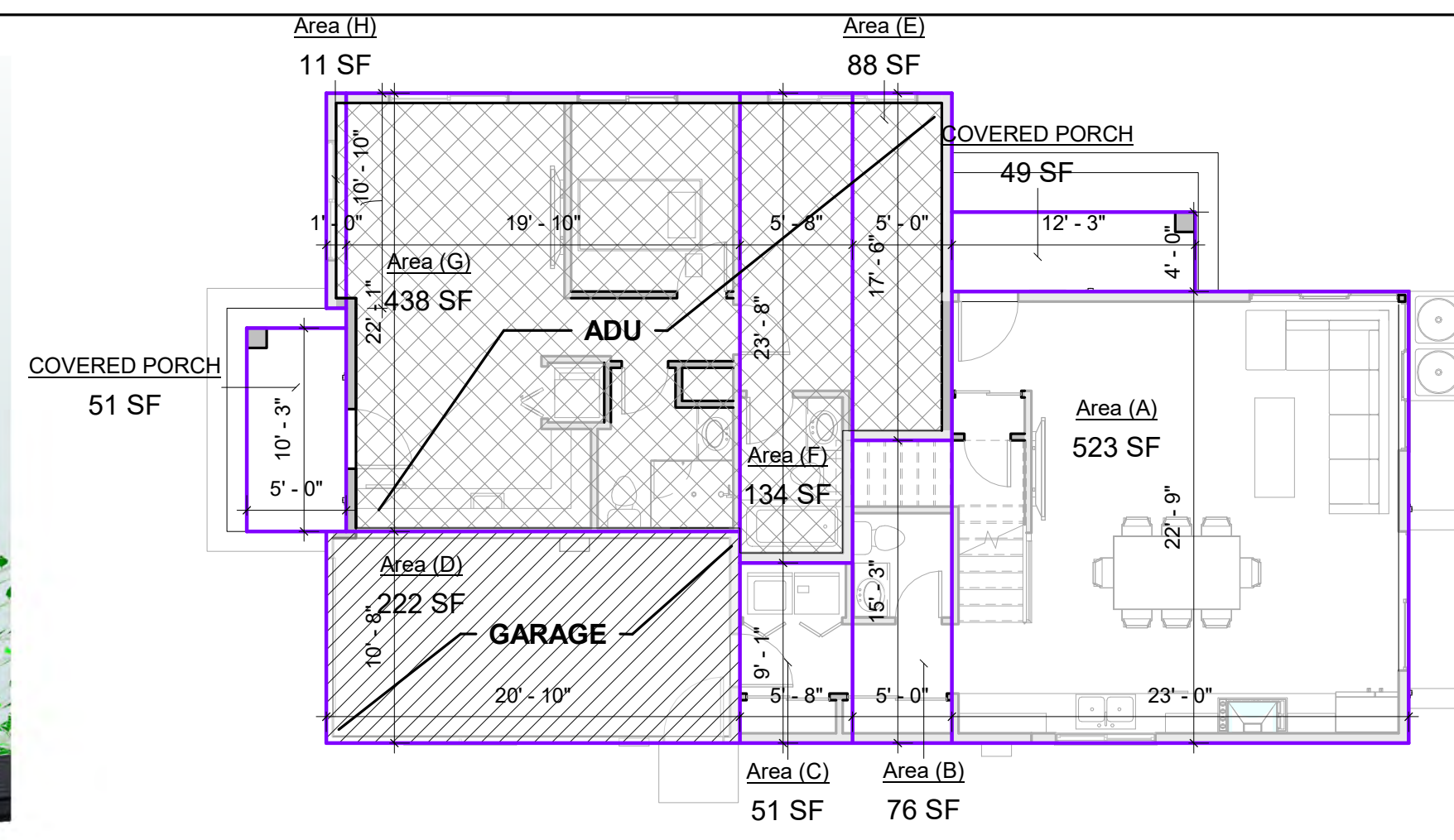
**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:  
Date  
Drawn by: Author  
Checked by: Checker  
**A13**  
Scale: 1/4" = 1'-0"

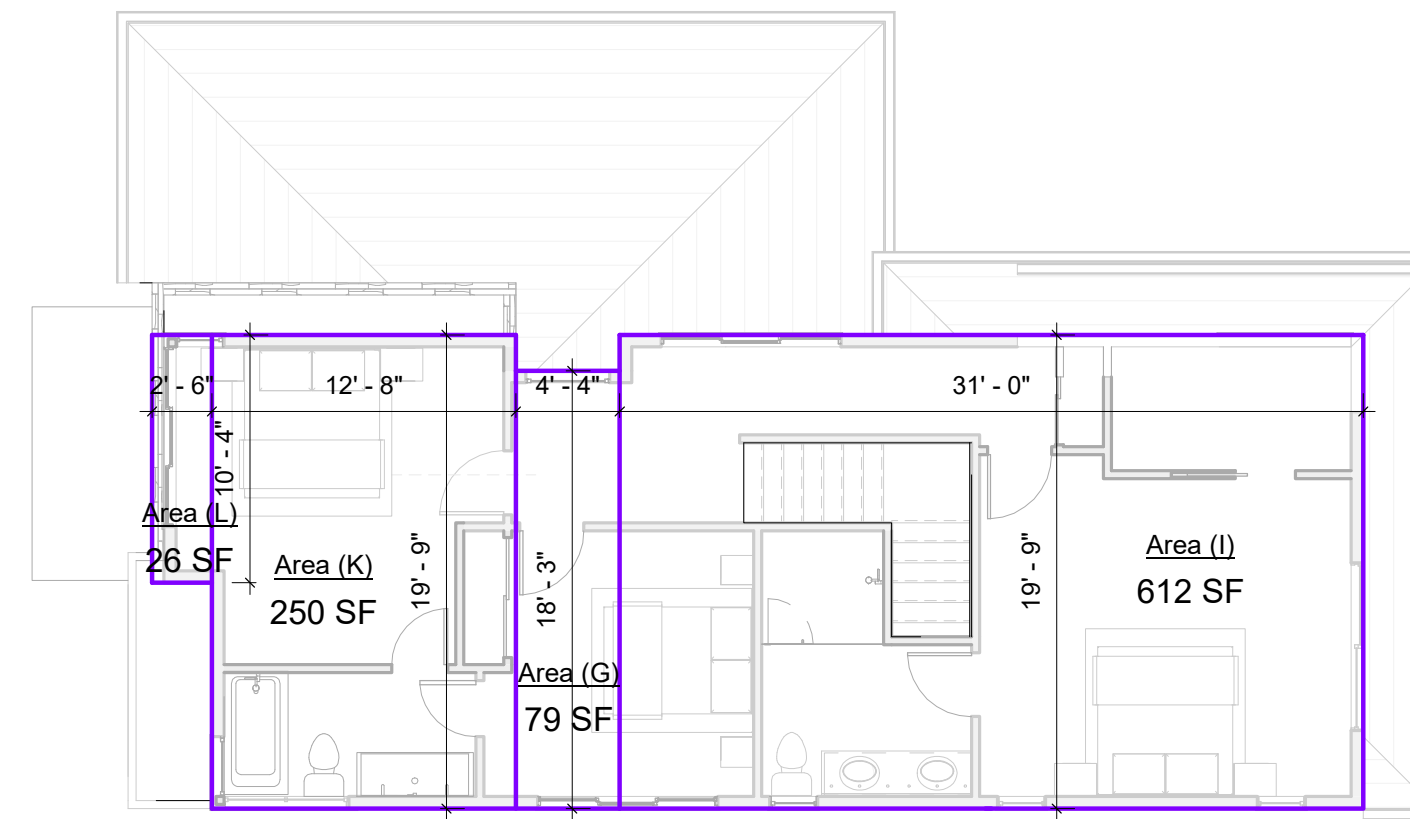
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**DEMOLISH AND REMOVE EXISTING OLD BUILDING,  
GARAGE  
CONSTRUCT NEW DOUBLE STORIES  
CUSTOM HOUSES WITH ATTACHED ADU**



**2 BUILDING C FIRST FLOOR AREA CALCULATIONS**  
A14 1/8" = 1'-0"



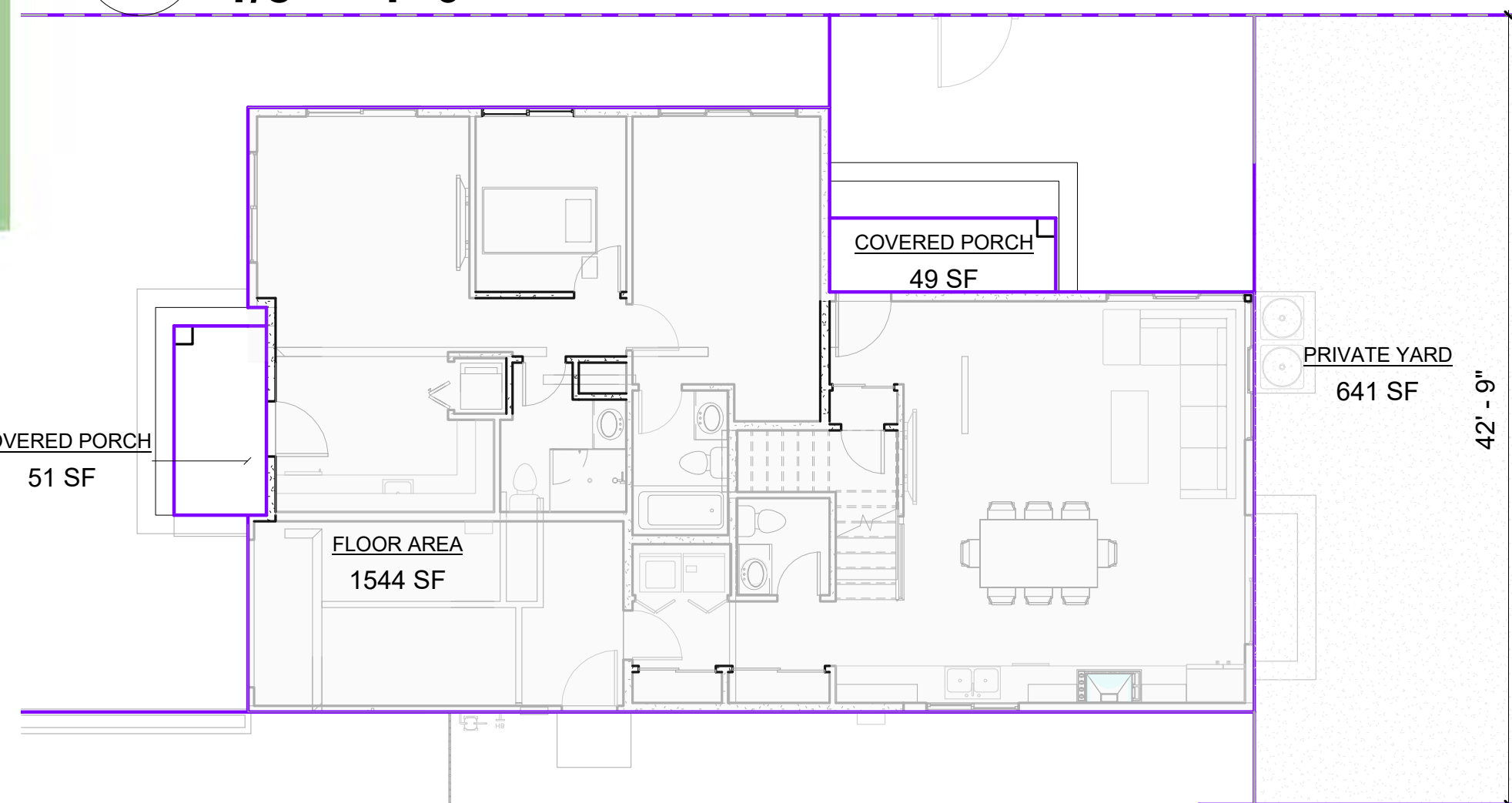
**3 BUILDING C SECOND FLOOR AREA CALCULATIONS**  
A14 1/8" = 1'-0"

**BUILDING C LOT SIZE: 4,275.00 SQ. FT.**

BUILDING C	
FLOOR AREA	SQ.FT.
FIRST FLOOR	650
SECOND FLOOR	967
GARAGE	222
FAR	DRC 1,839
ADU	680
TOTAL LIVABLE AREA	2,297
TOTAL BUILDING FLOOR AREA (inc. garage)	2,519

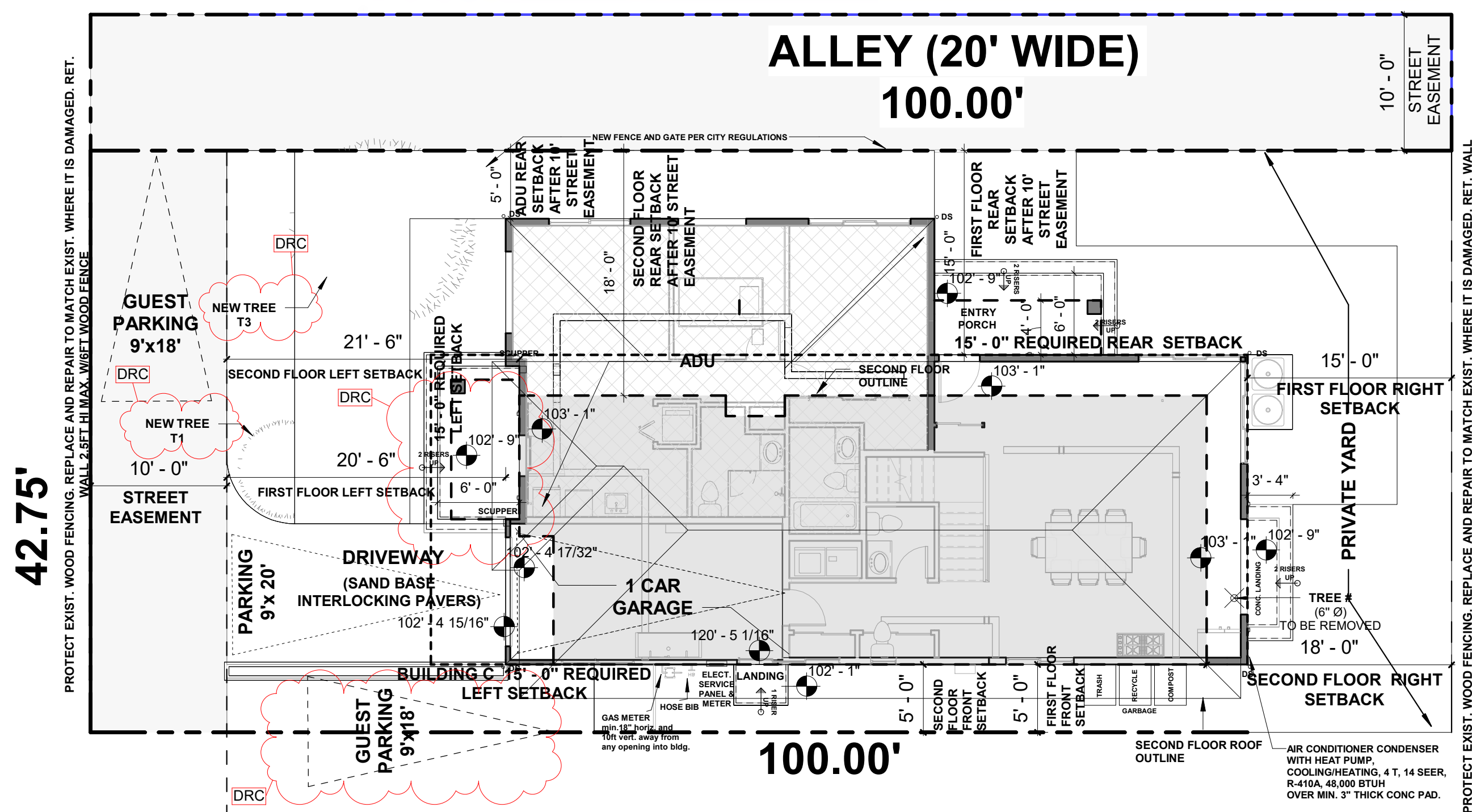
FLOOR AREA CALCULATIONS (C)			
SECTIONS	DIMENTIONAS	AREA	
FIRST FLOOR	A	23' 0" x 29' 2"	523 SF
	B	5' 0" x 15' 3"	76 SF
	C	5' 8" x 9' 1"	51 SF
GARAGE	D	20' 10" x 10' 8"	222 SF
	E	5' 0" x 17' 6"	88 SF
ADU	F	5' 8" x 23' 8"	143 SF
	G	19' 10" x 22' 1"	438 SF
	H	10' 10" x 1' 0"	11 SF
SECOND FLOOR	I	31' 0" x 19' 9"	612 SF
	J	18' 3" x 4' 4"	79 SF
	K	12' 8" x 19' 9"	250 SF
	L	2' 6" x 10' 4"	26 SF
TOTAL MAIN HOUSE FLOOR AREA			1,839 SF
TOTAL FLOOR AREA (INC. ADU)			2,519 SF

SETBACKS BUILDING A	FRONT	LEFT SIDE	RIGHT SIDE	REAR
FIRST FLOOR	REQUIRED 5'-0"	15'-0"	15'-0"	15'-0"
FIRST FLOOR	PROPOSED 5'-0"	20'-6"	15'-0"	15'-0"
SECOND FLOOR	REQUIRED 8'-0"	18'-0"	18'-0"	8'-0"
SECOND FLOOR	PROPOSED 5'-0"	22'-0"	16'-0"	18'-0"

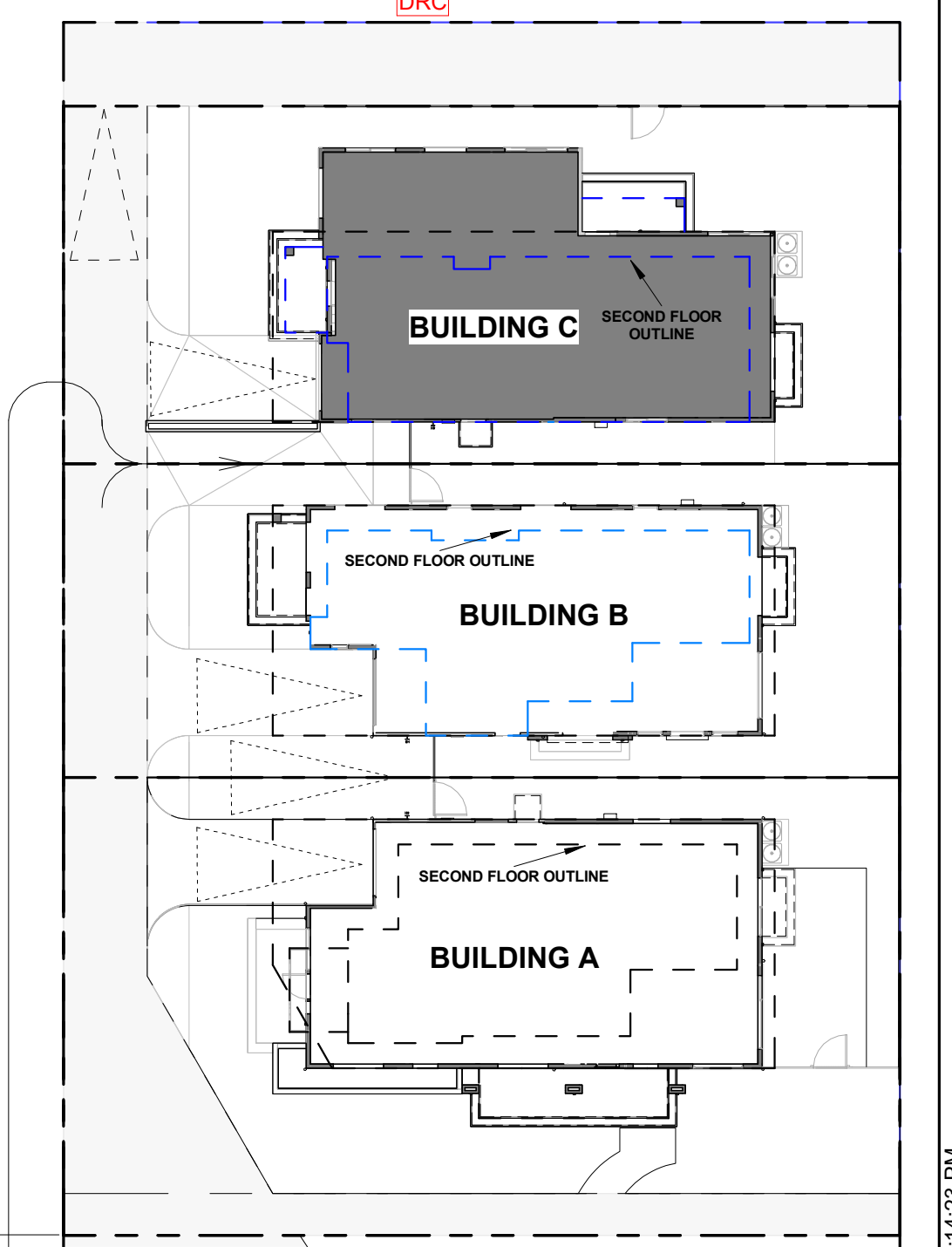


**5 BUILDING C LOT COVERAGE**  
A14 1/8" = 1'-0"

BUILDING C	SQ.FT.	
LOT COVERAGE		
MAIN HOUSE	872	1,652
COVERED PORCH	49	
COVERED PORCH (ADU)	51	
ADU	680	
MAIN HOUSE COVERAGE	972	
TOTAL COVERAGE	1,652	
PRIVATE USABLE OPEN SPACE	641	



**1 BUILDING C SITE PLAN**  
A14 1/8" = 1'-0"



6 BLDG "C"  
1" = 20'-0"

No.	Description	Date
2	PLANNING DIVISION	02/07/2022

GLUSH DESIGN



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**BUILDING C SITE PLAN & AREA CALCULATIONS**

MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU  
1332 PARK DRIVE  
IN THE CITY OF MOUNTAIN VIEW,  
CA 94040

Project no:	
Date:	
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**A14**  
Scale As indicated







No.	Description	Date

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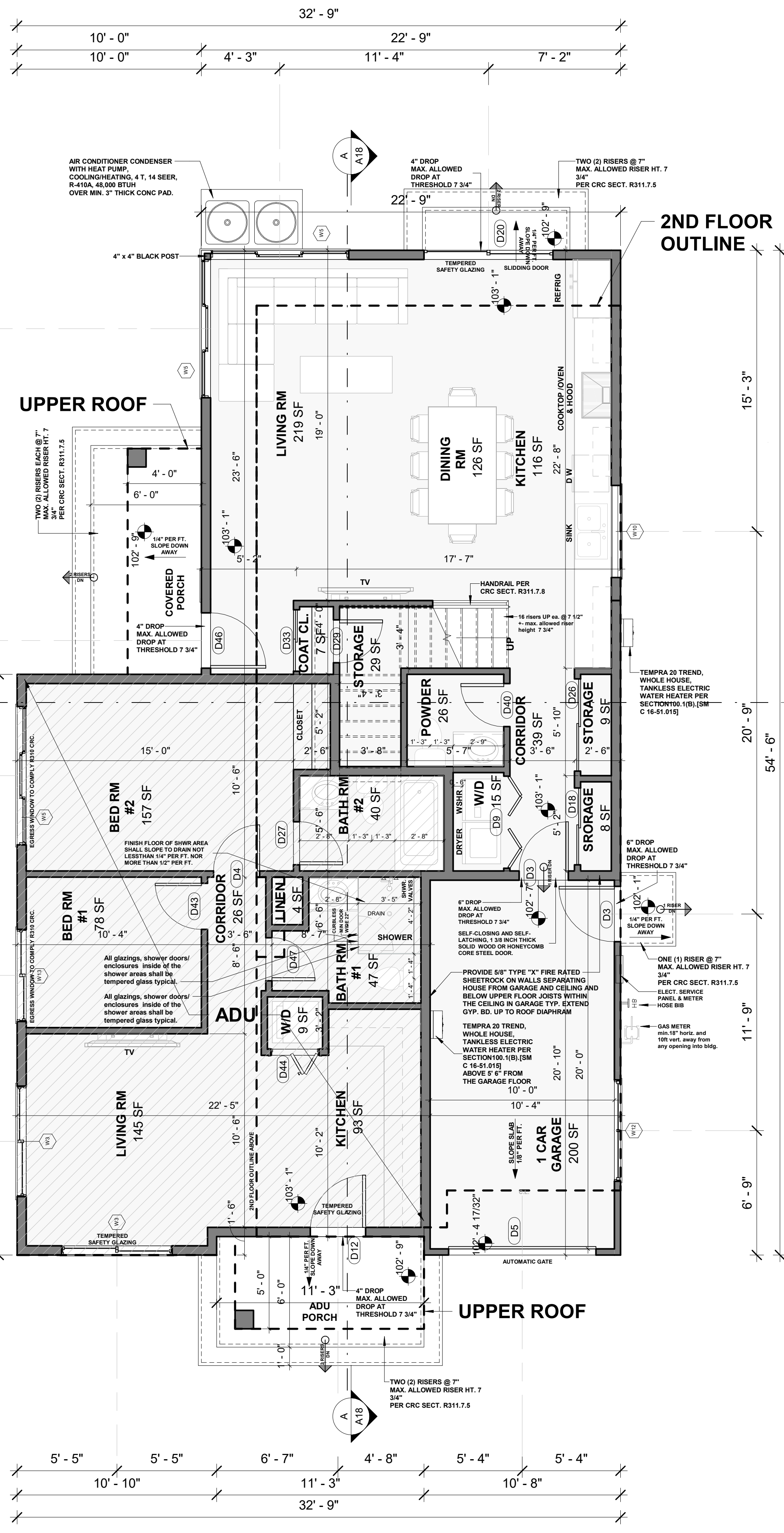
**BUILDING C FLOOR PLANS**

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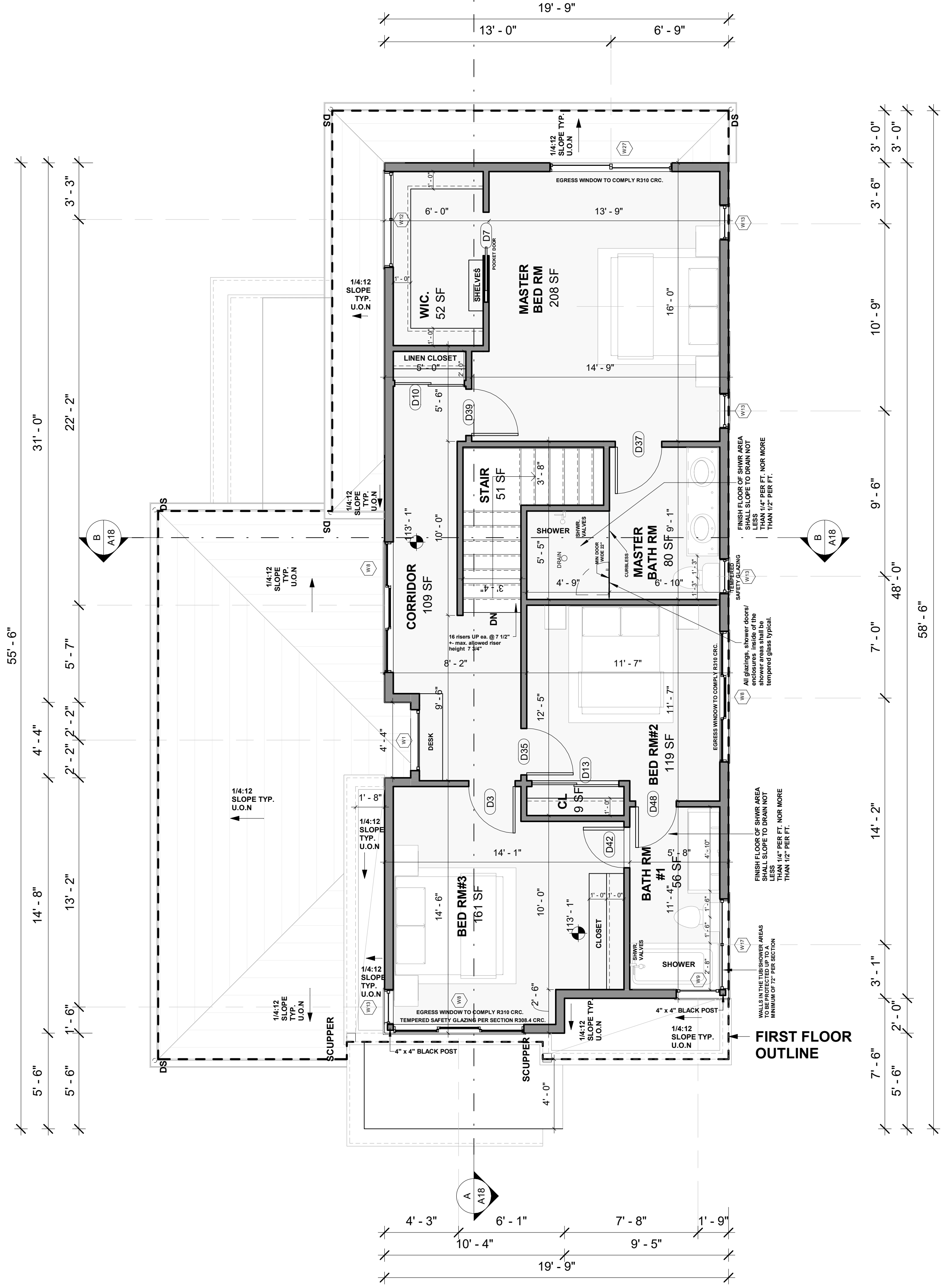
**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
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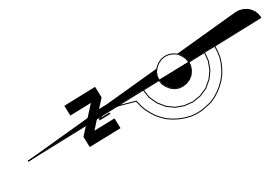
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**A15**  
 Scale 1/4" = 1'-0"



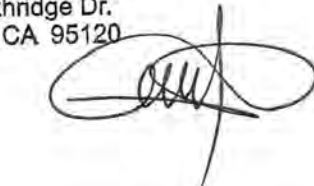
**1 A14 BUILDING C FIRST FLOOR PLAN**  
 1/4" = 1'-0"



**2 A14 BUILDING C SECOND FLOOR PLAN**  
 1/4" = 1'-0"







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WHERE REQUIRED FOR ROOF DRAINAGE , SCUPPERS SHALL BE PLACED LEVEL WITH THE ROOF SURFACE IN A WALL OR PARAPET. THE SCUPPERS SHALL BE LOCATED AS DETERMINED BY THE ROOF SLOPE AND CONTRIBUTING AREA. PER CRC SECT R903.4

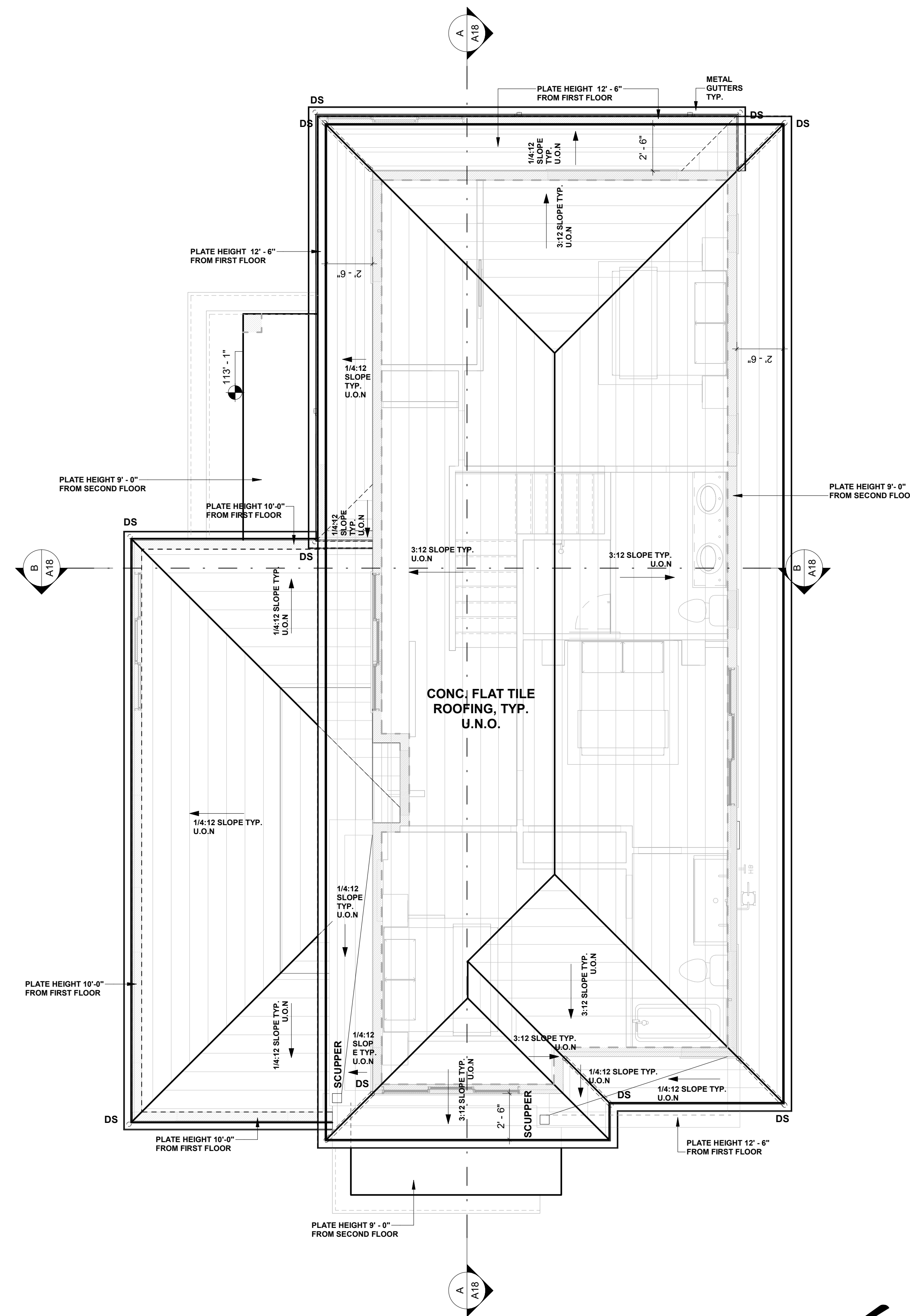
WHERE ROOF DRAINS ARE REQUIRED , OVERFLOW DRAINS HAVING THE SAME SIZE AS ROOF DRAINS SHALL BE INSTALLED WITH THE INLET LOCATED 2" INCHES ABOVE THE LOW POINT OF ROOF. CRC SECT. R903.4.1

UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY , AND BEAR A LABEL IDENTIFYING MANUFACTURER , PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMN/CSA 101/I.S.2/A440 PER CRC 2016 SECT R308.6.9  
 ALL MTL. CHIMNEY SHROUDS SHALL BE LISTED AND LABELED ASSEMBLY FOR THE MAKE AND MODEL OF FIREPLACE PER CRC AND CMC

DO NOT ALLOW DOWNSPOUTS DISCHARGE INTO PLANTER BOX AREAS. CONTINUE IN-GROUND AND DAY LIGHT ALL DOWNSPOUTS OUT OF PLANTER BOXES AND PROVIDE SPLASH BLOCK FOR EACH DISCHARGING TO GROUND. SLOPE CONC. WALKS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM BUILDINGS.

FIRE BLOCKING SHALL BE INSTALLED AT OPENINGS AROUND CHIMNEYS AND FIRE PLACES AT CEILING LEVEL PER CRC 2016 SECTION R1003.19 AND R1001.12 . FACTORY BUILT CHIMNEYS AND FIRE PLACES SHALL BE IN CCORDANCE WITH UL 103 AND UL 127

**NOTES FOR ROOFING:**  
 A. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN 0.019 INCHES (0.483 MM) (E.G. NO. 26 GALVANIZED SHEET) AND SHALL BE PRIMED AND PAINTED. (PAMC 16.08.253)  
 B. CLAY AND CONCRETE ROOF SHALL BE USED ONLY ON ROOF SLOPES OF 2-1/2:12 OR GREATER PER CRC R905.3.2. ROOF SLOPES OF 2:12 UP TO 4:12 REQUIRE DOUBLE UNDERLAYMENT PER CRC R905.3.3.  
 C. CONCRETE AND CLAY TILE SHALL BE INSTALLED ONLY OVER SOLID SHEATHING OR SPACED STRUCTURAL SHEATHING BOARDS. (CRC R905.3.1)  
 D. UNDERLAYMENT SHALL BE NO. 30 ASPHALT FELT OR CLASS M MINERAL SURFACED ROLL ROOFING. (CRC R905.3.3)  
 E. THE VALLEY FLASHING SHALL EXTEND AT LEAST 11" FROM THE CENTERLINE EACH WAY AND HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1" HIGH IN HEIGHT AT THE FLOW LINE FORMED AS PART OF THE FLASHING. (CRC R905.3.8)



**1 BUILDING C ROOF PLAN**  
 A15 1/4" = 1'-0"



No.	Description	Date

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 GLUSH@GDA.COM



**BUILDING C ROOF PLAN**

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**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:	
Date:	
Drawn by:	Author
Checked by:	Checker
<b>A16</b>	
Scale:	1/4" = 1'-0"





No.	Description	Date
3	Revision 3	Date 3

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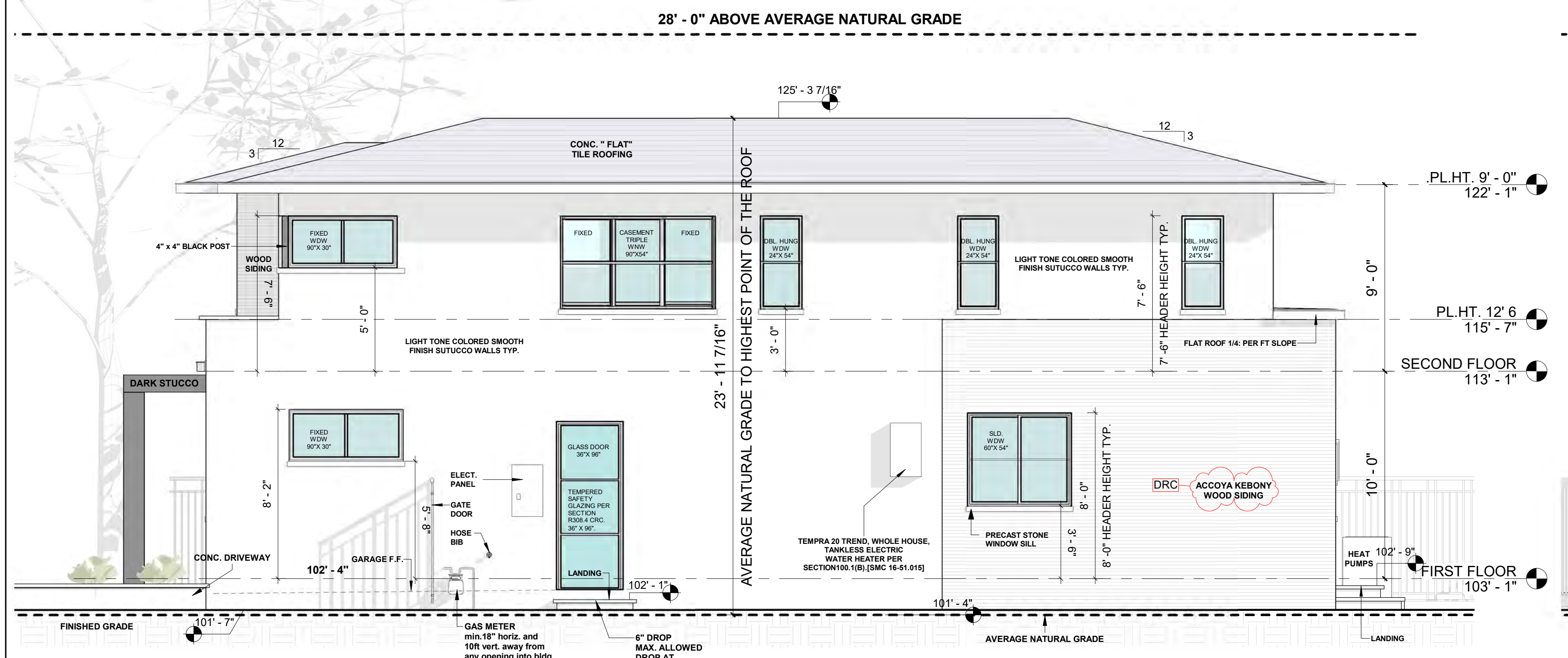
**BUILDING C ELEVATIONS**

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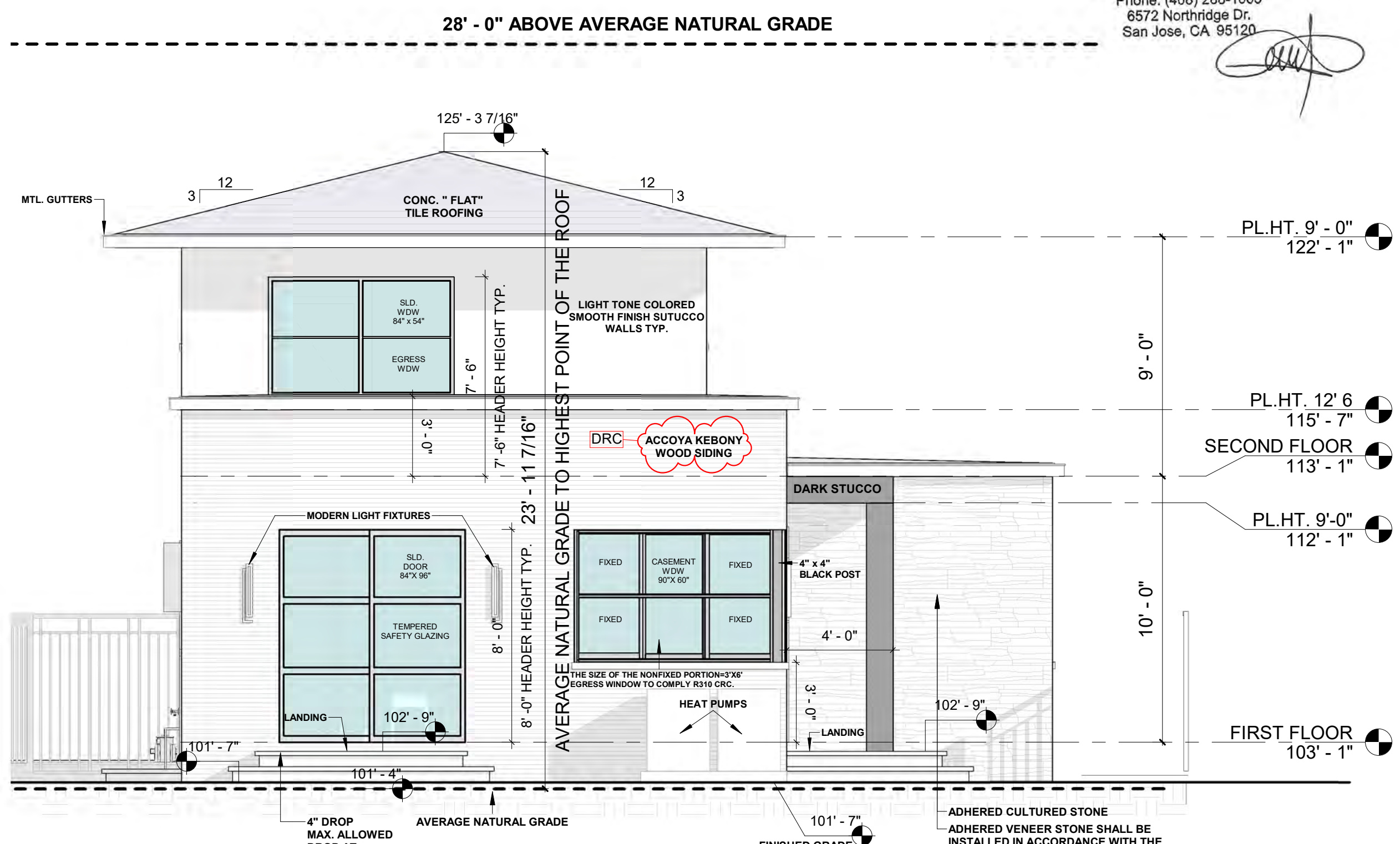
**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
 1332 PARK DRIVE  
 IN THE CITY OF MOUNTAIN VIEW,  
 CA 94040

Project no.	
Date	
Drawn by	Author
Checked by	Checker

10/07/2022 12:14:42 PM  
**A17**  
 Scale 1/4" = 1'-0"



**1 BUILDING C FRONT (NORTH) ELEVATION**  
 A17 1/4" = 1'-0"



**4 BUILDING C RIGHT (EAST) ELEVATION**  
 A17 1/4" = 1'-0"

**TEMPERED GLAZING LOCATIONS (CRC R308.1, R308.4):**

A. IN THE SAME PLANE OF A DOOR IN THE CLOSED POSITION AND WITHIN TWO FEET OF EITHER SIDE OF THE DOOR.  
 B. ON A WALL PERPENDICULAR TO THE PLANE OF A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF IN-SWINGING DOOR.  
 C. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.  
 D. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.  
 E. ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:  
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET  
 - EXPOSED BOTTOM EDGE IS LESS THAN 1 A INCHES ABOVE THE FINISHED FLOOR  
 - EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR  
 - WHERE A WALKING SURFACE IS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING

TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED (E.G. SAND BLASTED, ACID ETCHED, CERAMIC FIRED, LASER ETCHED, OR EMBOSSED). STICKERS ATTACHED TO THE WINDOW ARE NOT SUFFICIENT.

**GENERAL NOTES:**

- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE CONTRACTORS, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, IN THE METHODS USED IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS, OR THE LACK THERE OF TAKEN AT THE PROJECT SITE.
- CONTRACTORS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY REVIEW OF DRAWINGS BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION, FOR COMPLIANCE WITH CONTRACT DOCUMENTS, FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORMWORK, E.T.C.) FOR COORDINATION OF THE VARIOUS TRADES AND FOR SAFE CONDITION AT THE JOB SITE.
- VARIATION IN THE FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGNER OR OWNER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE DESIGNER OR OWNER.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE AND VOID UNLESS IN CONJUNCTION WITH ALL THE SPECIFICATION, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- DESIGNER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTOR'S SUPPLIERS ETC. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND SHOP DRAWING STAMPED AND SIGNED BY THE DESIGNER OR OWNER WILL BE ALLOWED AT THE JOB SITE.

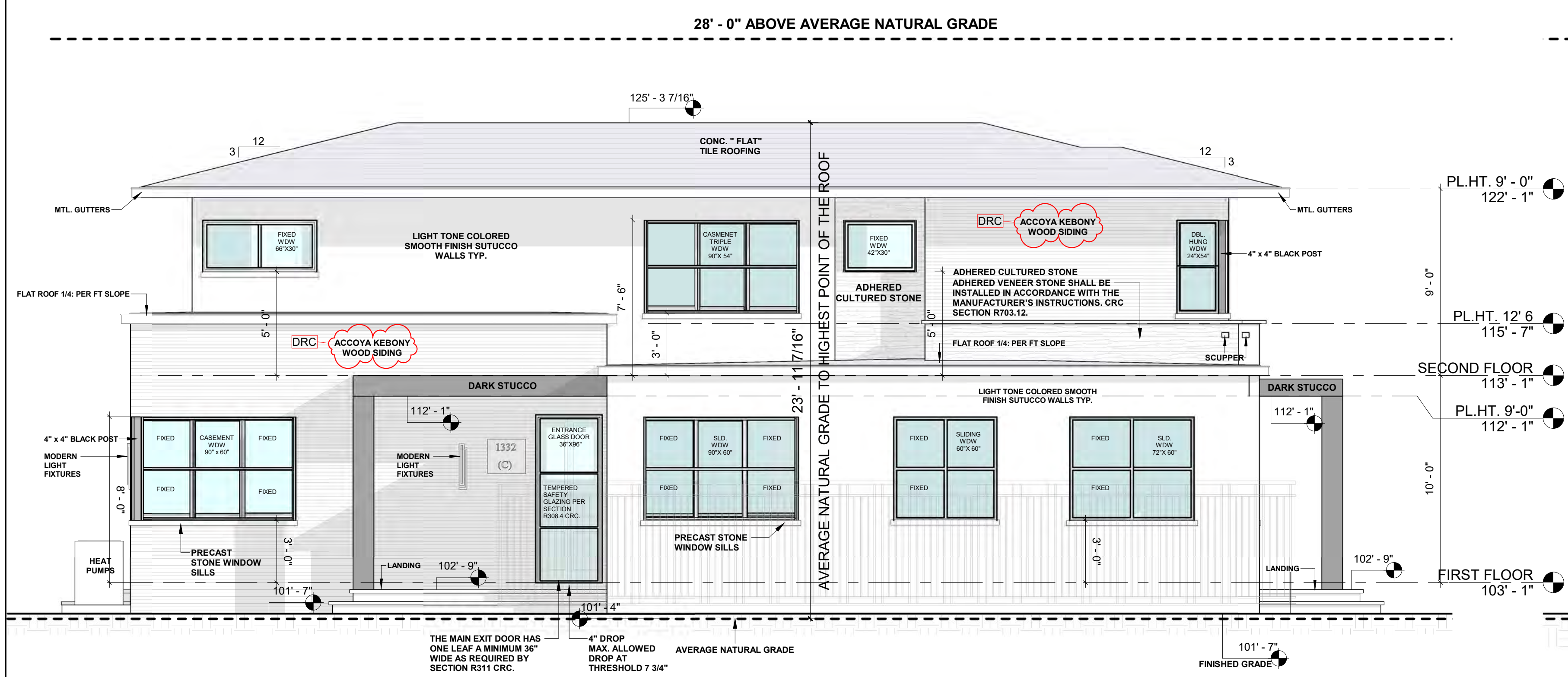
- UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- CONTRACTOR SHALL AND SIGNING CONTRACT DOES WARRANT THAT ALL WORK AND MATERIALS WILL COMPLY WITH REQUIREMENTS OF THE CONTRACT DOCUMENT AND SHALL BE OF GOOD WORKMANLIKE QUALITY AND FREE FROM DEFECTS IN WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE(1) YEAR FROM DATE OF FULL OCCUPANCY UNLESS LONGER THAN ONE YEAR WARRANTY IS REQUIRED, SPECIFIED OR PROVIDED. INSULATED GLASS SHALL HAVE TEN YEARS WARRANTY.
- CONTRACTOR SHALL REGARD PATCH AND MATCH ALL CONSTRUCTION DAMAGES TO SITE, GRASS, CONCRETE, FENCING, ETC. TO MATCH EXISTING CONDITIONS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. THE STORING OF GOODS AND MATERIALS ON THE SIDE WALK AND/OR STREETS WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED. THE SUPERINTENDENT IN CHARGE OF CONSTRUCTION SHALL BE AT THE JOB SITE DURING ALL WORKING HOURS.
- THE CONSTRUCTION SHALL COMPLY WITH THE 2016 CBC, 2016 CRC 2016 CMC, 2016 CPC, 2016 CEC AND 2016 CALIFORNIA FIRE CODE. PROJECT SHALL BE CONSTRUCTED UNDER CALIFORNIA GREEN BUILDING CODE.
- ALL DIMENSIONS ON THE DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, AND REPORT ANY OR ALL DISCREPANCIES AND ERRORS TO DESIGNER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.

**ADDRESS NOTE:**  
 BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 12". CRC R319.1

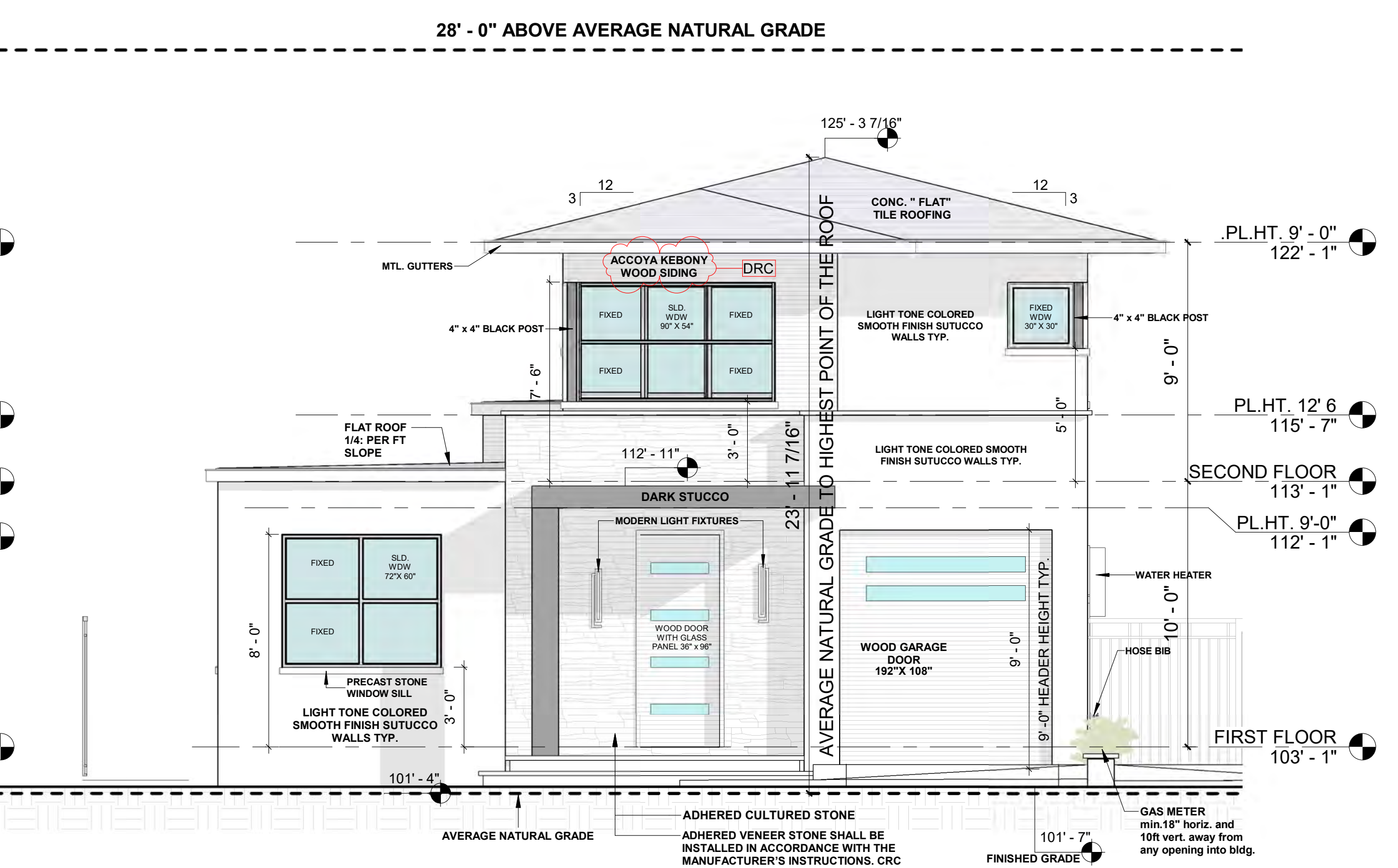
**STUCCO NOTE:**  
 THE STUCCO WILL BE APPLIED OVER TWO LAYERS OF GRADE D BUILDING PAPER. ALSO, PROVIDE A WEEP SCREED THAT IS LOCATED A MINIMUM OF 4 INCHES ABOVE EARTH AND A MINIMUM OF 2 INCHES ABOVE A PAVED AREA. CRC R703.6.3

WINDER TREADS SHALL HAVE A MINIMUM DEPTH OF 10" MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTION WITH THE WALKLINE PER CRC R311.7.5.2.1.

WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT WITHIN THE CLEAR WIDTH OF STAIR. THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST WINDER TREAD DEPTH BY MORE THAN 3/8" (CRC R311.7.5.2.1)



**3 BUILDING C REAR (SOUTH) ELEVATION**  
 A17 1/4" = 1'-0"



**2 BUILDING C LEFT (WEST) ELEVATION**  
 A17 1/4" = 1'-0"

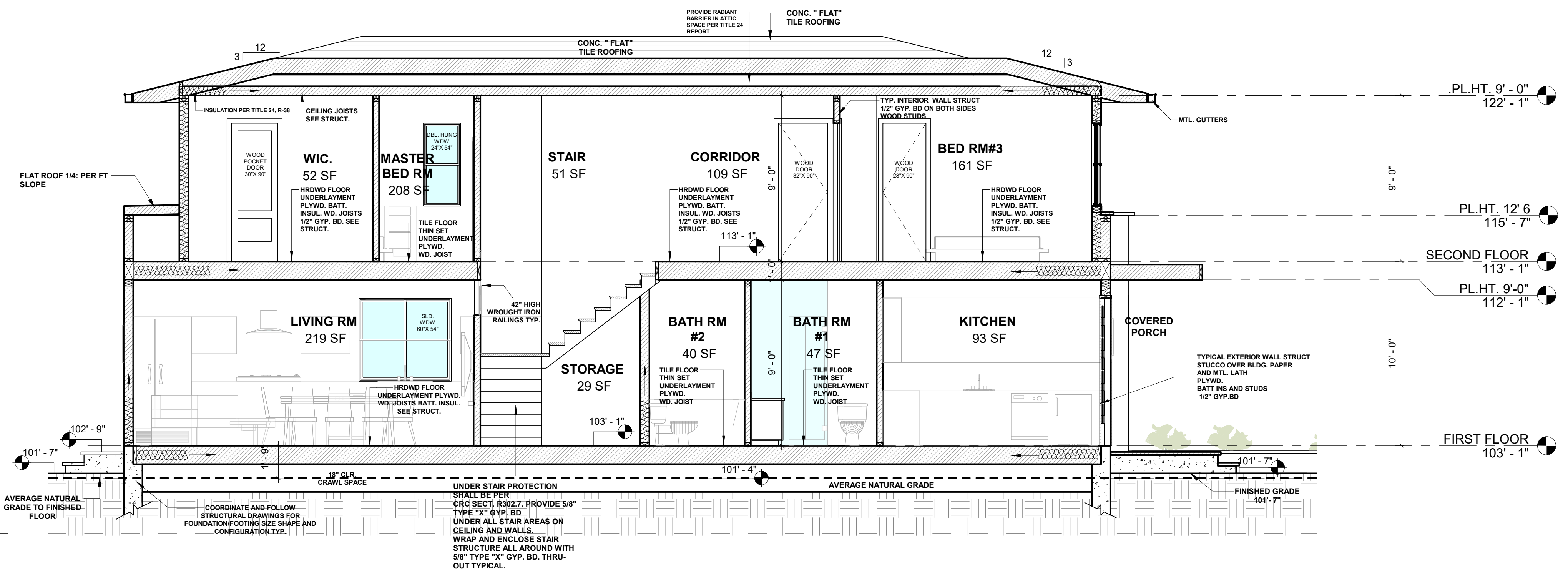




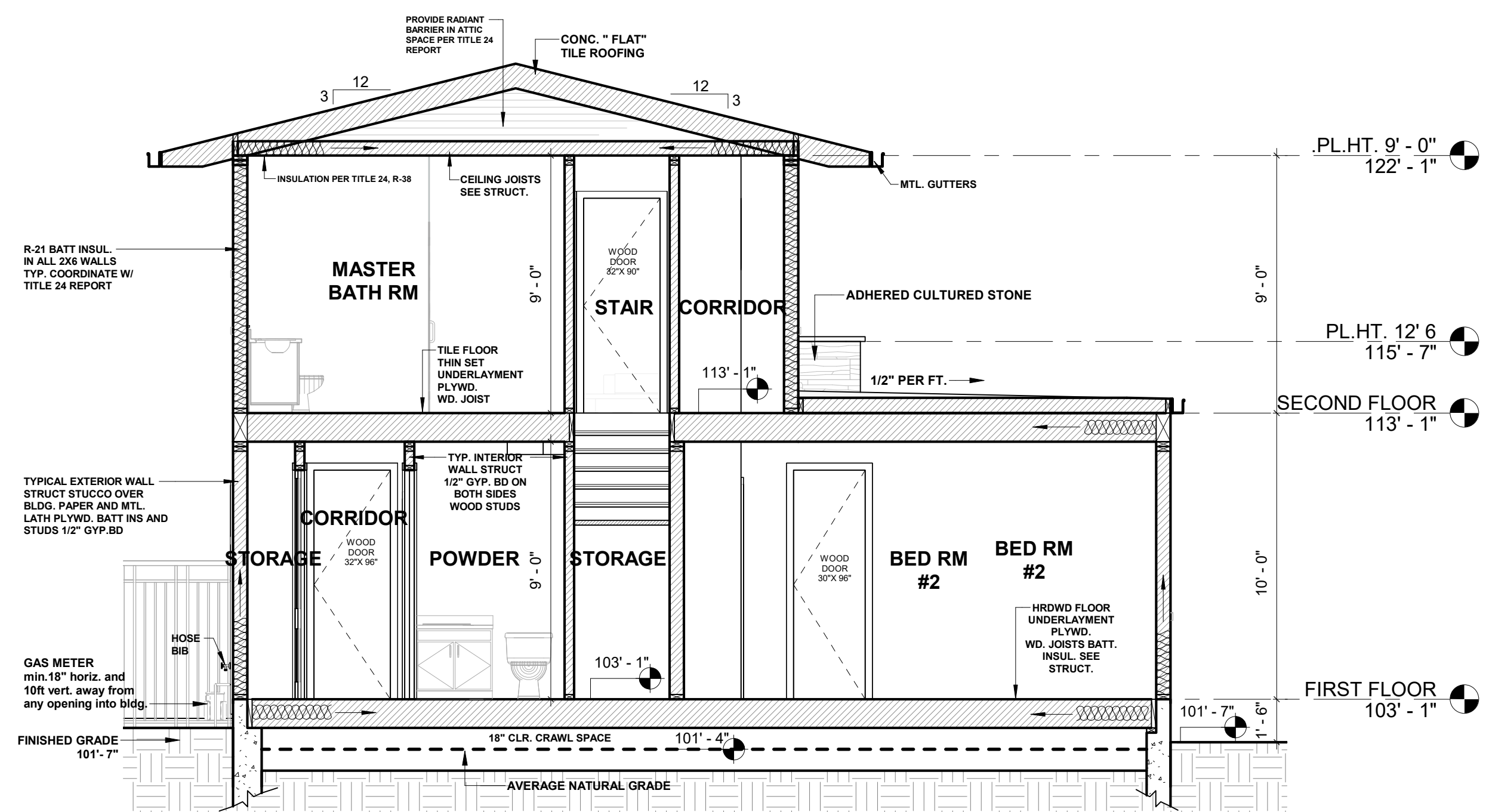
ALL CEILING HEIGHTS TO BE UNDER 16'.

NOTE:

THE PURPOSE OF THIS DRAWING IS TO SHOW ARCHITECTURAL ELEMENTS OF THE BUILDING. FOR ALL OTHER STRUCTURAL ITEMS AND THEIR SIZE CONFIGURATIONS, COORDINATE AND FOLLOW STRUCTURAL DRAWINGS. SOME WALLS SHOWN HERE MAY EXTEND TO THE CEILING OR ROOF, SOME MAY TERMINATE UNDER CEILINGS, VERIFY AND FOLLOW STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WALLS, FOUNDATIONS / FOOTINGS, CEILINGS, ROOF STRUCTURE, BEAMS, GIRDERS.



**A** BUILDING C SECTION A-A  
A18 1/4" = 1'-0"



**B** BUILDING C SECTION B-B  
A18 1/4" = 1'-0"

GLUSH DESIGN ASSOCIATES  
Phone: (408) 288-1665  
6572 Northridge Dr.  
San Jose, CA 95120



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**BUILDING C CROSS SECTIONS**  
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**A18**  
Scale 1/4" = 1'-0"







**2** 3D View 5  
A20



**1** 3D View 4  
A20

No.	Description	Date

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**3D VIEWS**  
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**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:  
Date:  
Drawn by: Author  
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**A20**  
Scale:





No.	Description	Date
3	Revision 3	Date 3

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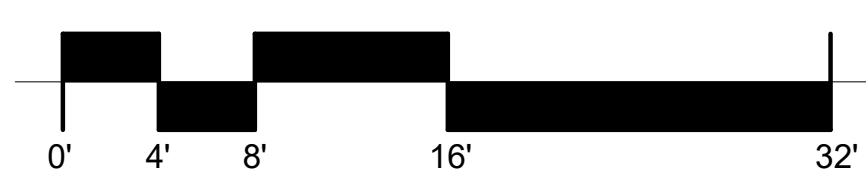
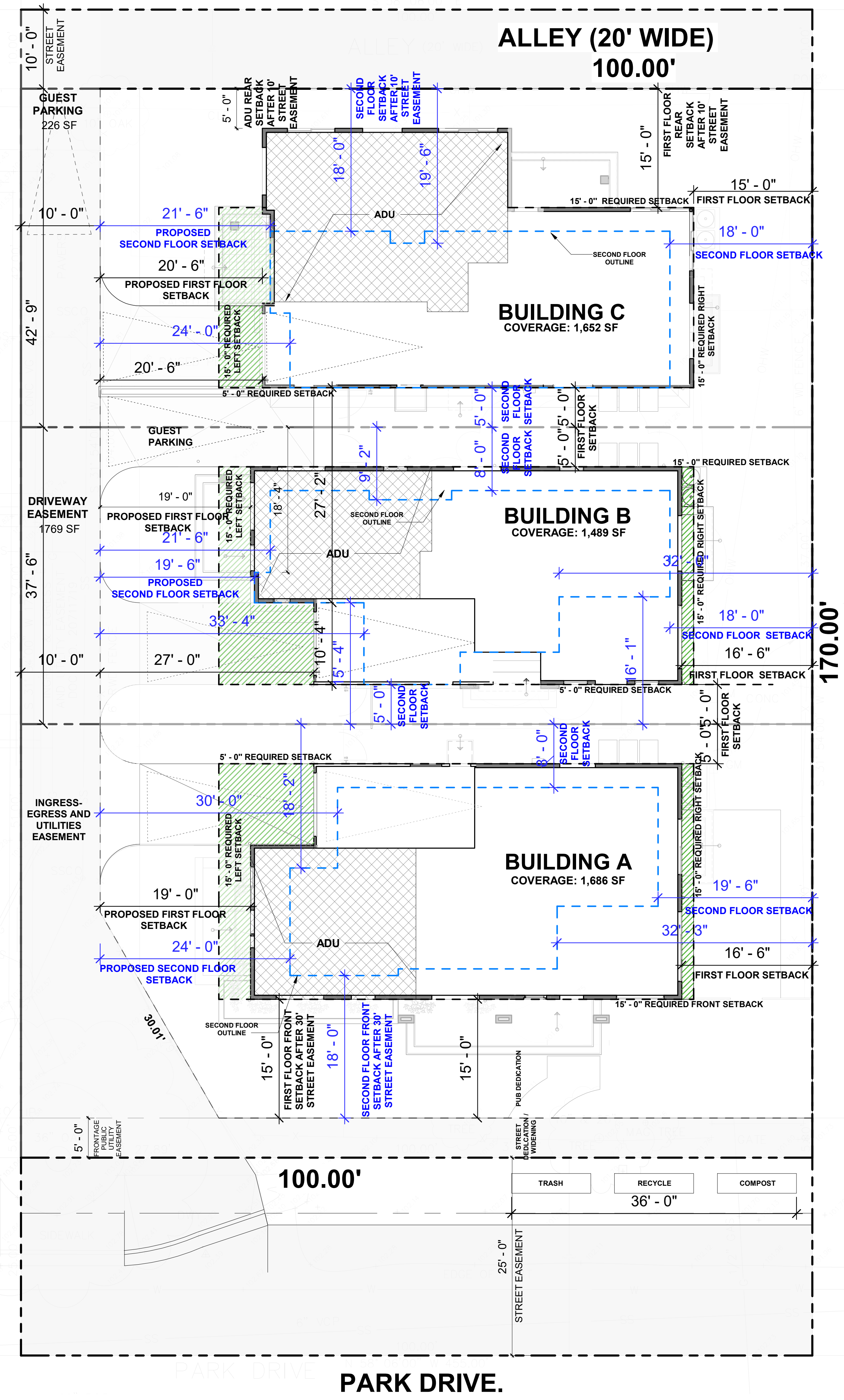


**SETBACKS**

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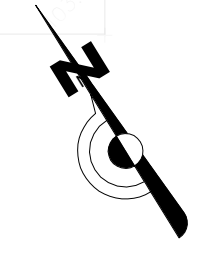
**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Project no:  
 Date:  
 Drawn by: Author  
 Checked by: Checker  
**A22**  
 Scale: 1/8" = 1'-0"



SETBACK	SETBACKS	REQUIRED		PROPOSED	
		FIRST FLOOR	SECOND FLOOR	FIRST FLOOR	SECOND FLOOR
FRONT		15'-0"	18'-0"	15'-0"	18'-0" <small>(DRC)</small>
LEFT SIDE		15'-0"	18'-0"	18'-8"	19'-6"
RIGHT SIDE		15'-0"	18'-0"	16'-6"	18'-0" <small>(DRC)</small>
REAR	<small>(DRC)</small>	15'-0"	18'-0"	15'-0" ADU 5'-0"	18'-0"

SMALL LOT SINGLE-FAMILY (2.5.3 AND 2.5.4) DEV STDS AND DES GUIDE FOR SMALL LOT SINGLE FAMILY DEV (MOUNTAINVIEW.GOV)



① SETBACK EXCEPTION  
 1/8" = 1'-0"





**Existing Tree Legend**

Tree #	Tree Species	Tree Health (1 to 5)	DBH (Inches)	Crown Height (feet)	Crown Spread (Feet)	Disposition
#1	Black Walnut ( <i>Juglans nigra</i> )	3	35	45	50	Remove
#2	Magnolia ( <i>Magnolia grandiflora</i> )	3	9.5	18	12	Remove
#3	Juniper ( <i>Juniperus sp.</i> )	3	8.7	30	12	Remove
#4	Coast Live Oak ( <i>Quercus agrifolia</i> )	3	52	50	45	Treat for Moth Infestation Remove
#5	Black Walnut ( <i>Juglans nigra</i> )	2	42	50	50	Remove
#6	Black Walnut ( <i>Juglans nigra</i> )	2	22	22	30	Remove

\* Refer to Arborist's Report for further information,

**Plant Legend**

Key	Botanical & Common Names	Qty.	Size	Water Req't.	Comments
<b>Trees:</b>					
T1	<i>Lophostemon confertus</i> / Brisbane Box	3	24" box	L	Standard
T2	<i>Olea e.</i> "Swan Hill" / Fruitless Olive	0	24" box	L	Multi-Stem
T3	<i>Pistacia c.</i> "Keith Davies" / Fruitless Chinese Pistache	3	24" box	L	Standard
<b>Shrubs:</b>					
S1	<i>Anigozanthos hybrid</i> / Kangaroo's Paw	3	5 gl.	L	
S2	<i>Bidens hybrid</i> / Bidens	5	5 gl.	L	
S3	<i>Carpenteria c.</i> "Elisabeth" / Bush Anemone	4	5 gl.	L	
S4	<i>Euryops p.</i> "Virdis" / Golden Daisy	3	5 gl.	L	
S5	<i>Loropetalum c.</i> "Plum Delight" / Chinese Fringe Flower	6	5 gl.	L	
S6	<i>Penstemon hybrid</i> / Beard Tongue	2	5 gl.	L	
S7	<i>Polygala f.</i> "Petite Butterflies" / Sweet Pea Shrub	17	1 gl.	L	
S8	<i>Raphiolepis i.</i> "Jack Evans" / Indian Hawthorne	5	5 gl.	L	
S9	<i>Salvia m.</i> "Hot Lips" / Sage	5	5 gl.	L	
<b>Groundcovers:</b>					
	<i>Arctostaphylos</i> "Emerald Carpet" / Manzanita	as req'd.	1 gl.	L	Set at 48" o.c.
	<i>Coprosma p.</i> "Verde Vista" / Verde Vista Coprosma	"	1 gl.	L	Set @ 48" o.c.
	<i>Lantana m.</i> "White Lightning" / White Lantana	"	1 gl.	L	Set @ 48" o.c.
	Lawn	"	sod	M	Park Avenue Turf, RTF blend

Water conservation classification is based on Water Use Classification of Landscape Species (WUCOLS) prepared by the Water Conservation Office of the Department of Water Resources, 2000.

**Notes:**

- Quantities in the Plant Legend are for general reference only. Verify count per Plan.
- indicates plant key  
 indicates plant count
- Locations of trees and shrubs shown on Plan are schematic and shall be adjusted in the field to avoid conflicts with utilities, footings, etc.
- All shrub areas to be top dressed with a 3" layer of fir bark mulch.

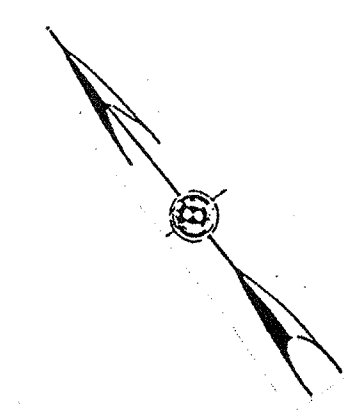
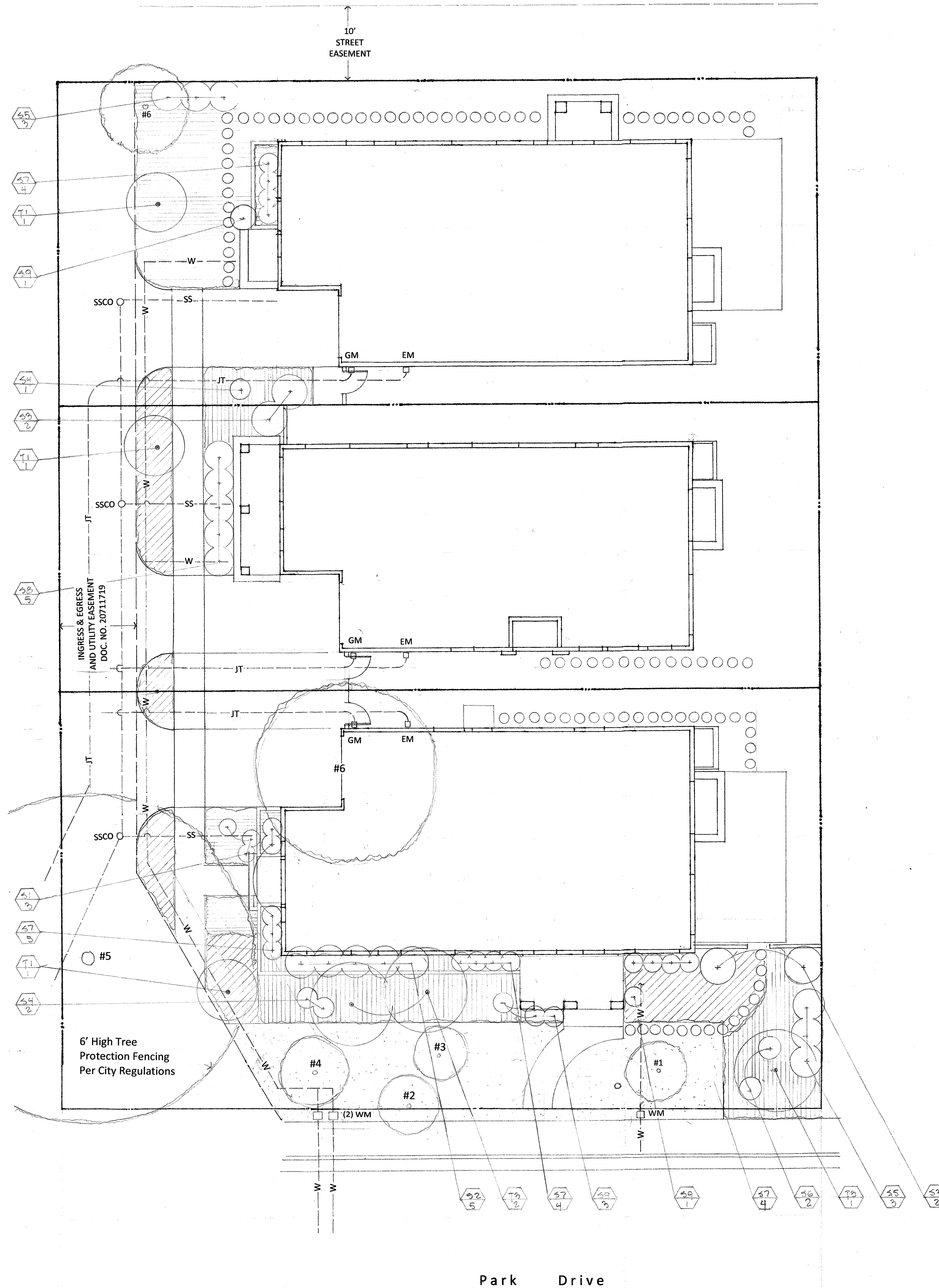
**Water Efficient Landscape Worksheet**

Hydrozone #	Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq.ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
A1	Trees	.2	Bubblers	0.85	.35	25	8.7	232	
A2	Mixed	.3	Drip	0.80	.38	457	174	4,646	
B1	Trees	.2	Bubblers	0.85	.35	50	17	454	
B2	Mixed	.3	Drip	0.80	.38	142	54	1,442	
C1	Mixed	.3	Drip	0.80	.38	1,632	620	16,554	
C2	Trees	.2	Bubblers	0.85	.35	125	106	2,830	
C3	Lawn	.5	Spray	0.50	1.0	668	668	17,836	
							3,229	1,664.7	44,094 gallons

Average ETAF (1,664.7/3,229) = 0.52

MAWA = (43.1 x 0.62) (0.55 x 3229) = 26.72 x 2,433 = 6,5010 gallons

MAWA > ETWU



**Revisions**

1		1/28/21
2		10/9/23

**Linn B. Winterbotham**  
Landscape Architect  
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(650) 859-4951  
winterbotham@pacnet

**PLANTING PLAN**

**MR. PRASAD PARIMI & MR. PRASAD NALLAMOTHU**  
**1332 PARK DRIVE**  
**IN THE CITY OF MOUNTAIN VIEW,**  
**CA 94040**

Date: 2-16-2021  
Drawn: LBW  
Sheet: **L1**  
Scale: 1/8" = 1'-0"

