



FORMAL REVIEW SUBMITTAL
NEW 3-STORY BUILDING
756 CALIFORNIA STREET
MOUNTAIN VIEW . CA 94041



PROJECT DESCRIPTION / DESIGN CONCEPT

DESCRIPTION

LOCATED IN THE HEART OF THE DOWNTOWN HISTORIC RETAIL DISTRICT AREA H, THE PROPOSED PROJECT IS A 3-STORY MIXED-USE BUILDING THAT WILL REPLACE THE EXISTING 1 STORY BUILDING CURRENTLY OCCUPIED BY A TECH COMPANY WITH 10 EMPLOYEES AND DENTAL FABULOUS WHO ALSO OWNS THE PROPERTY. DENTAL FABULOUS HAS 5-7 EMPLOYEES AND IS CURRENTLY OPEN MONDAY TO FRIDAY, 9AM TO 6PM AND SATURDAY FROM 9AM TO 2PM. WHEN THE BUILDING IS COMPLETED, DENTAL FABULOUS WILL OCCUPY THE THIRD FLOOR WITH SIMILAR NUMBER OF EMPLOYEES AND OPERATION HOURS WHILE THE GROUND FLOOR WILL BE USED FOR RETAIL AND THE SECOND FLOOR WILL BE FOR PROFESSIONAL OFFICE USE. ALL PROPOSED USES ARE PERMITTED PER THE DOWNTOWN PRECISE PLAN.

GIVEN THIS DEMOGRAPHIC HAS A BIG DEMAND ON SPACES FOR SMALL TO MEDIUM COMPANIES, IT IS THE PROPERTY OWNER'S INTENT TO TAILOR THIS PROJECT TO THE COMMUNITY NEEDS. THE PROPOSED BUILDING CONSISTS OF 3 STORIES, EACH CONNECTED WITH A FRONT LOBBY AND OPEN STAIRS AS WELL AS A STAIRWELL AT THE BACK. THESE MAIN COMPONENTS ARE STRATEGICALLY PLACED AT THE OPPOSITE CORNERS ALONG WITH STRUCTURAL FRAMES AND COLUMNS BEING LOCATED ALONG THE PERIMETER TO CREATE FLEXIBLE FLOOR PLATES THAT CAN EASILY BE SUBDIVIDED INTO MULTIPLE TENANT SPACES.

LOADING IS EXPECTED TO BE LIGHT FOR THE PROPOSED DENTAL OFFICE ON THE THRID FLOOR AND THE SECOND FLOOR OFFICE. THE GROUND FLOOR RETAIL MIGHT HAVE WEEKLY OR MONTHLY DELIVERY PENDING ON THE RETAIL TYPE. THE EXISTING PARALLEL PARKING STALLS ON BLOSSOM LANE WILL BE UTILIZED WITH ALL LOADING ACTIVITIES LIMITED TO BUSINESS HOURS.

THERE IS NO ON-SITE PARKING PROPOSED DUE TO LOT SIZE CONSTRAINT. THE APPLICANT INTENDS TO PAY A FEE IN LIEU OF PARKING IN CONFORMANCE WITH THE PARKING STANDARDS AND POLICIES.

DEVELOPMENT MASSING

THE PROPOSED BUILDING IS 3 STORIES HIGH, WITH A PARAPET WALL TOPS OFF AT 40.5 FEET TO THE TOP OF DECORATIVE CORNICES WHICH IS IN COMPLIANCE WITH MAXIMUM 55 FEET AND FOUR STORIES ALLOWED IN AREA H. IT WILL BE CONSTRUCTED WITH STEEL FRAMING AND LIGHT WEIGHT CONCRETE FILLED METAL DECKING AS THE MAIN STRUCTURAL SYSTEM, WITH DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) OVER METAL STUD FRAMING AS EXTERIOR WALLS. TYPICAL FLOOR TO FLOOR HEIGHT IS 12 FEET WITH A MINIMUM OF 10' CEILING ON THE GROUND FLOOR PER THE DOWNTOWN PRECISE PLAN. THE TOP OF THE ELEVATOR SHAFT WILL BE TUGGED TO THE MIDDLE ON THE LEFT SIDE, WITH PROPOSED ROOFTOP MECHANICAL UNITS LOCATED TOWARD THE BACK SIDE AND WILL BE SCREENED BY THE PARAPET WALL.

STEPBACK HAS BEEN INTRODUCED ON THE THIRD FLOOR STREET FRONT TO BETTER PRESERVE THE HISTORICAL CHARACTER OF THE EXISTING BUILDINGS. WITH A DEEPER STEPBACK AT THE REAR OF THE BUILDING. SKYLIGHTS ARE UTILIZED TO ALLOW NATURAL LIGHT TO REACH THE DARKEST CORNER ON THE SECOND FLOOR. IT ALSO PROVIDE ENOUGH PROPERTY LINE SEPARATION IN THE REAR THAT WOULD ALLOW HAVING WINDOW OPENINGS.

DUE TO PUBLIC WORKS SIDE STREET/DRIVEWAY TRIANGLE OF SAFETY DESIGN GUIDELINES, THE GROUND LEVEL STREET FRONT FACADE HAS BEEN PULLED BACK WITH A CHAMFERED CORNER ON THE BLOSSOM LANE SIDE. FURTHERMORE, THE SUPPORTING COLUMNS ARE KEPT TO MINIMUM SIZES IN ORDER TO BE IN COMPLIANCE. THE CHAMFERED CORNER ALSO PROVIDES THE CLOSEST LOCATION FROM CALIFORNIA STREET FOR THE FIRE DEPARTMENT ASSEMBLY WITHOUT OBSTRUCTING THE STREET FRONT FACADE. A 4-FOOT SEPARATION BETWEEN THE BUILDING FACADE AND THE BLOSSOM LANE PROPERTY LINE HAS BEEN CREATED ALONG THE REAR HALF OF THE BUILDING IN ORDER TO ACCOMMODATE WINDOW OPENINGS PER THE BUILDING CODE REQUIREMENT AND TO PROVIDE ACCESS TO THE ELECTRICAL ROOM AND THE REAR EXIT STAIRCASE, AS WELL AS BICYCLE PARKING. THE FRONT HALF, HOWEVER, WILL HAVE A WIDER SEPARATION OF 6 FEET FOR THE TRASH ROOM AND DUMPSTER MANEUVER CLEARANCE PER PUBLIC WORKS REQUIREMENT.

ARCHITECTURAL STYLE

THE PROPOSED BUILDING DESIGN ECHOES THE ARCHITECTURE OF THIS SPECIFIC ZONE WITH A COMPARABLE, CONSISTENTLY LIGHT EARTH TONE FACADE AND ARCHITECTURAL FEATURES SUCH AS RECESSED STOREFRONT WINDOWS THAT CREATE SHADE AND SHADOW, COMPOSITIONAL CHANGE IN FACADE, AND DECORATIVE CORNICES THAT ARE COMPATIBLE WITH EXISTING SURROUNDING STRUCTURES.

THE GROUND LEVEL STREET FRONT IS TREATED WITH HIGH PERFORMANCE CLEAR STOREFRONT WINDOW SYSTEM, AND NARROW BUILDING INCREMENTS TO MAINTAIN AN INVITING AND INTERACTIVE EXPERIENCE FOR PEDESTRIANS SIMILAR TO REST OF THE AREA. COMPOSITIONAL CHANGE IN FACADE AT APPROXIMATELY 13 FEET TO 18 FEET IS RELATIVELY NARROW DUE TO THE SMALL BUILDING FOOTPRINT. ON THE EAST AND SOUTH FACADE, RECESSES IN FACADE ARE CLADDED WITH ENGINEERED WOOD SLAT TO FURTHER ENRICH THE VISUAL AND PEDESTRIAN EXPERIENCE. ON THE NORTH AND WEST FACADE, LANDSCAPE LATTICES WILL BE USED TO SOFTEN ITS LOOK. IN ADDITION, THE GROUND LEVEL STREET FRONT IS RECESSED AS THE SECOND FLOOR CANTILEVERS OUT. IT PROVIDES A NATURAL OVERHANG THAT PROTECTS THE ENTRANCE FROM WEATHER IN CONJUNCTION WITH THE SIDE STREET/DRIVEWAY TRIANGLE OF SAFETY DESIGN GUIDELINES. A CANOPY HAS BEEN INTRODUCED TO DEFINE THE ENTRANCE OF THE PROJECT. CORTEN STEEL PLANTER BOXES ARE PLACED ALONG THE GROUND LEVEL TO REINFORCE THE PEDESTRIAN EXPERIENCE. SIMILAR FEATURE WITH LANDSCAPE LATTICES AND CORTEN STEEL PLANTER BOXES WILL BE SEEN ON THE WEST FACADE (FACES THE 383 CASTRO STREET PROPERTY) AS WELL. DEPRESSED PLANTING AREA ARE LOCATED IN FRONT OF UTILITY AREA SUCH AS THE FIRE DEPARTMENT ASSEMBLY AND THE GAS METER FOR SCREENING. TRASH AND SERVICE ACCESS WILL BE FACING BLOSSOM LANE AND AWAY FROM STREET VIEW. UTILITY DOORS, ROLL-UP SERVICE DOOR WILL BE PAINTED TO MATCH BUILDING WALL. WINDOW OPENINGS ARE LIMITED ON BLOSSOM LANE SIDE AND IS PROHIBITED ON THE REAR PARKING LOT SIZE DUE TO THE PROXIMITY TO THE EXISTING PROPERTY LINE PER THE BUILDING CODES. RECESSES IN FACADE CONTINUE AROUND THE GROUND LEVEL ESPECIALLY ON THE NORTH AND WEST FACADE TO BREAK UP THE BLANK CONTINUOUS WALL AND TO MAINTAIN THE RHYTHM OF THE OVERALL ARCHITECTURAL DESIGN.

HORIZONTAL MOLDINGS ARE INTRODUCED AT EACH WINDOW BAY FOR VISUAL ENHANCEMENT. THE ROOF EAVE AND THE 3RD FLOOR FACADE RECESS WILL RECEIVE HORIZONTAL MOLDINGS AS WELL AS DECORATIVE CORBELS WHICH ARE EXISTING HISTORICAL DETAILS IN THE AREA TO BREAK UP THE ROOF LINE. WALL REVEALS ARE USED TO ESTABLISH A RHYTHM AND TO BREAK UP THE LARGE WALL AREA.

SUNSHADING DEVICES ARE UTILIZED TO CONTROL THE AMOUNT OF SOUTHERN SUN ADMITS INTO THE BUILDING. ALONG WITH HIGH PERFORMANCE WINDOW SYSTEMS, THEY WILL PROVIDE OPTIMAL NATURAL LIGHT QUALITY TO THE BUILDING INTERIORS AS WELL AS USER VISUAL COMFORT. AWNING WINDOWS ARE PROPOSED THROUGHOUT THE BUILDING TO PROMOTE NATURAL VENTILATION. WITH OTHER MEASURES SUCH AS HIGH EFFICIENCY HVAC SYSTEM, ENERGY EFFICIENT LIGHTING, DROUGHT TOLERANT PLANTING, THE DESIGN WILL MEET THE INTENT OF LEED GOLD.

ON THE EAST AND THE WEST FACADE, TWO LASER CUT CORTEN STEEL ART PIECES WILL BE INSTALLED ON RECESSED WALL TO ACCENTUATE THE OVERALL EXTERIOR AND FOR THE COMMUNITY TO ENJOY FOR YEARS TO COME.

SUSTAINABILITY

CREATING A TIGHT, HIGHLY INSULATING BUILDING ENVELOPE IS CRITICAL IN HVAC ENERGY SAVING AND OVERALL OPEARTING COST. THE BUILDING ENVELOPE WILL BE CONSTRUCTED WITH BASF WATER DRAINAGE EIFS THAT CONTRIBUTES TO LEED ENERGY PERFORMANCE OBJECTIVES. IT PROVIDES UP TO 19 POINTS FOR BUILDINGS THAT DEMOTRATES IMPROVEMENTS IN ENERGY CONSUMPTION. IT INCOPORATES FLUID-APPLIED AIR BARRIER MATERIALS THAT FUNCTION AS PART OF THE AIR BARRIER, BEING THE CONTINUOUS EXTERIOR INSULATION, IT AVOIDS THERMAL BRIDGING WHICH CAN REDUCE THE EFFECTIVENESS OF CAVITY INSULATION BY UP TO 55%, WHERE BASF EIFS YIELDS ITS FULL R-VALUE. FURTHERMORE, BASF PACKAGE MATERIALS CREATE MINIMAL SCRAPS AND ARE ALL RECYCLABLE. HENCE, THIS CHARACTERISTIC MAKES IT QUALIFY FOR MATERIALS AND RESOURCES CREDITS. LASTLY, EIFS CREATES THERMAL CONFORT CONDITIONS THAT MEET ASHRAE STANDARD 55-2004 AND CONTRIBUTE TO IEO CREDIT 7.1. THE GROUND LEVEL INDENTED WALL AND ROUND COLUMNS WILL BE CLADDED WITH ENGINEERED WOOD BY ACCOYA. IT HAS AN INITIAL SOLAR REFLECTANCE OF 0.70 AND IS FSC AND EPD CERTIFIED CONTRIBUTE TO REDUCING CARBON FOOTPRINT WITH LARGE IMPROVEMENT OVER COMMON BUILDING MATERIALS. THESE CONTRIBUTE TO SUSTAINABLE SITES AS WELL AS MATERIALS AND RESOURCES LEED POINTS. FOR FENESTRATION, ALL STOREFRONT WINDOW WILL BE MADE OF CLEAR HIGH PERFORMANCE GLAZING WITH THERMAL BRIDGED EXTRUDED ALUMINUM SYSTEM. 60% OF THE WINDOW UNITS ARE OPERABLE AWNING WINDOWS THAT PROMOTE NATURAL VENTILATION. WITH SUNSHADING DEVICE ABOVE WINDOWS ON THE EAST AND THE SOUTH SIDE, THEY WILL HELP MINIMIZE THE HEAT GAIN TO THE BUILDING. MAXIMUM ALLOWABLE AMOUNT OF WINDOW AREA WILL BE PROVIDED TO ENSURE A NATURAL LIGHT FILLED ENVIRONMENT TO BUILDING OCCUPANTS. ALTHOUGH THIS PROJECT WILL NOT HAVE A LARGE QUANTITY OF LANDSCAPING, DROUGHT TOLERANT PLANTS WILL BE USED TO MINIMIZE IRRIGATION CONSUMPTION. AS FOR THE INTERIORS, MATERIALS TO BE USED WILL MEET CALGREEN AS WELL AS LEED GOLD REQUIREMENTS SUCH AS WATER USE CONSUMPTION, RECYCLED CONTENTS, V.O.C. CONTENTS ETC.

LOCATION MAP



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CIVIL

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PROJECT INFORMATION

	CODE REFERENCE	SECTION
APN	158-23-082	
ZONE	P-19 DOWNTOWN PRECISE PLAN AREA H	
LOT AREA	3,075 SF	
ZONE	AREA H -HISTORIC RETAIL DISTRICT	MV DOWNTOWN PRECISE PLAN
BASE ALLOWABLE BUILDING AREA	27,000 SF (SM)	CALIFORNIA BUILDING CODE
SPRINKLER	YES	TAB 506.2
EXISTING BUILDING TYPE	V-B	CALIFORNIA BUILDING CODE
EXISTING BUILDING AREA	2,480 SF	TAB 506.2
EXISTING FLOOR AREA RATIO	0.81	
EXISTING # OF STORY	1	
EXISTING LOT COVERAGE	80.7%	
EXISTING BUILDING HEIGHT	+/- 18'-11"	
EXISTING USE	DENTAL / OFFICE	
EXISTING OCC GROUP	B / B	CALIFORNIA BUILDING CODE
EXISTING PARKING SPACES	0	SEC 309
EXISTING BICYCLE SPACES	0	
PROPOSED BUILDING TYPE	V-B	CALIFORNIA BUILDING CODE
PROPOSED BUILDING AREA	6,997 SF	TAB 506.2
	GOUND FLOOR = 2,072 SF (GROSS)	
	2ND FLOOR = 2,563 SF (GROSS)	
	3RD FLOOR = 2,362 SF (GROSS)	
PROPOSED FLOOR AREA RATIO	2.28	
PROPOSED # OF STORY	3	
PROPOSED LOT COVERAGE	67.4% (100% MAX.)	MV DOWNTOWN PRECISE PLAN
PROPOSED BUILDING HEIGHT	40'-6" (55' MAX.)	MV DOWNTOWN PRECISE PLAN
PROPOSED USE	GROUND FLOOR - RETAIL	
	SECOND FLOOR - OFFICE	
	THIRD FLOOR - DENTAL	
PROPOSED OCC GROUP	M (GROUND FLOOR) B (2ND AND 3RD FLOORS)	CALIFORNIA BUILDING CODE
PROPOSED PARKING SPACES	0	SEC 309
PARKING REQUIRED	GROUND FLOOR - 2072 SF / 300 = 7	MV DOWNTOWN PRECISE PLAN
	SECOND FLOOR - 2563 SF / 333 = 8	MV DOWNTOWN PRECISE PLAN
	THIRD FLOOR - 2362 SF / 166 = 15	MV DOWNTOWN PRECISE PLAN
	SUBTOTAL = 30	TABLE II-1, II-2
BICYCLE SPACES REQUIRED	GROUND FLOOR = 7 X 5% = 0.35	MOUNTAIN VIEW ZONING ORDINANCE
	SECOND FLOOR = 8 X 5% = 0.4	MOUNTAIN VIEW ZONING ORDINANCE
	THIRD FLOOR = 15 X 5% = 0.75	MOUNTAIN VIEW ZONING ORDINANCE
	TOTAL = 1.5	MOUNTAIN VIEW ZONING ORDINANCE
PROPOSED BICYCLE SPACES	(2) SHORT TERM SPACES + (4) LONG TERM SPACES	SEC. 36.32.50

CODE REFERENCE

PROJECT TEAM

2019 CALIFORNIA BUILDING CODE WITH MOUNTAIN VIEW CITY CODE AMENDMENTS
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA ADMINISTRATIVE CODE
 MOUNTAIN VIEW GREEN BUILDING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA FIRE CODE WITH MOUNTAIN VIEW CITY CODE AMENDMENTS
 2019 INTERNATIONAL PROPERTY MAINTENANCE CODE (WITH MOUNTAIN VIEW AMENDMENTS)
 TITLE 24, PART 6, CALIFORNIA ENERGY CODE (2008 EDITION)

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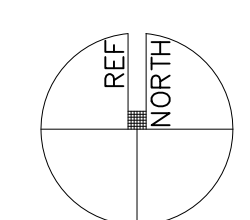
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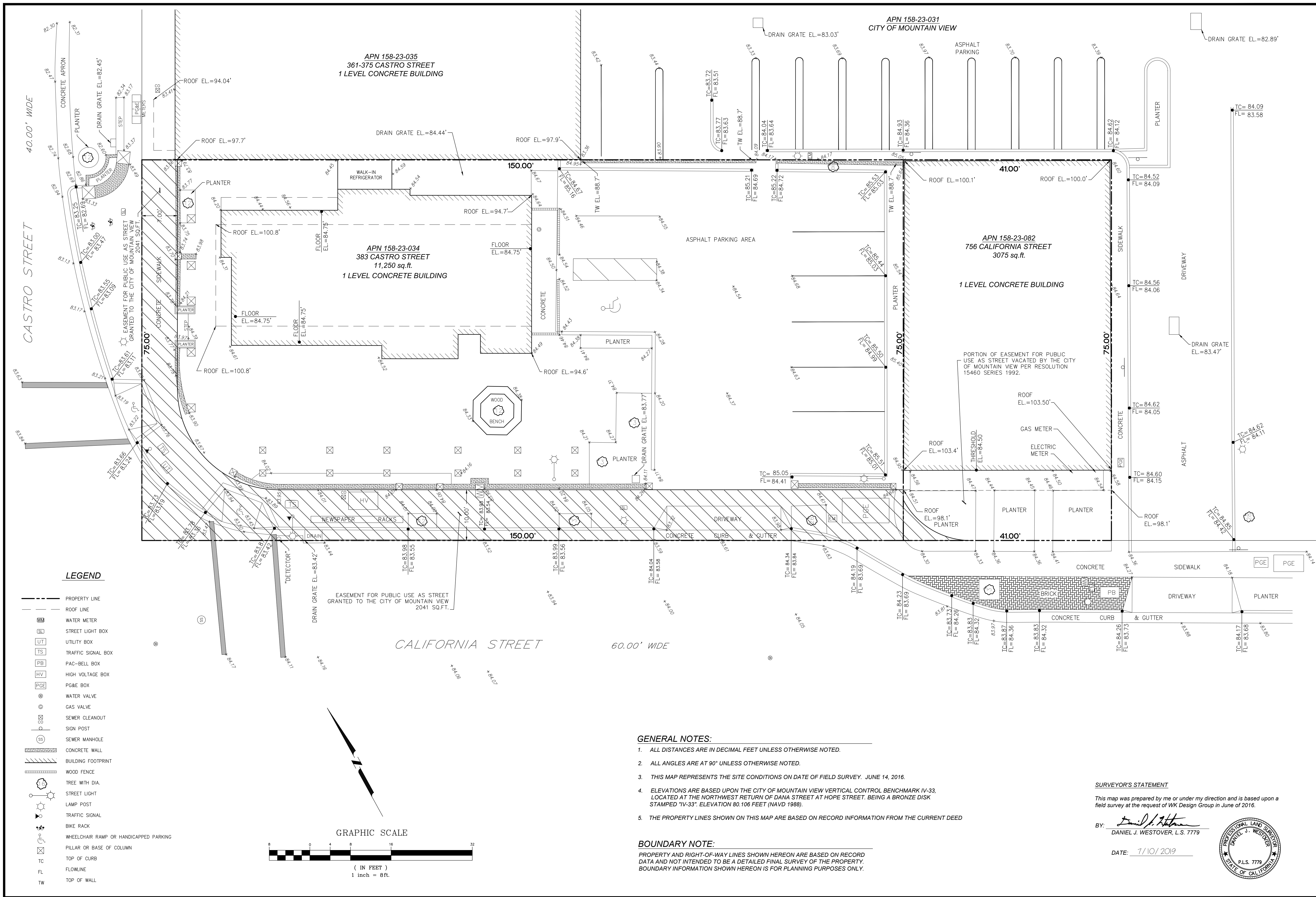
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PROJECT: 16-5650

PROJECT INFORMATION

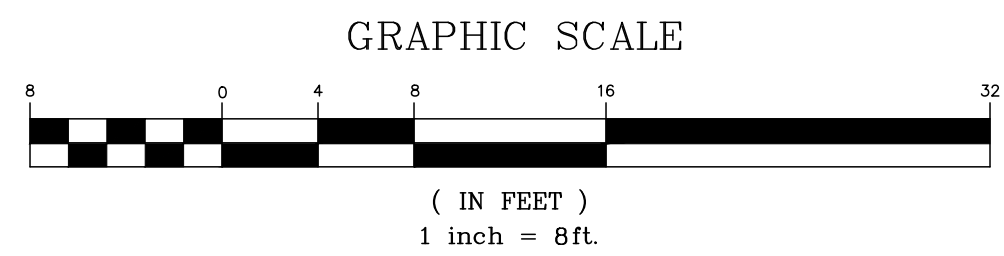


A0.0



LEGEND

- PROPERTY LINE
- ROOF LINE
- WM WATER METER
- SLB STREET LIGHT BOX
- UT UTILITY BOX
- TS TRAFFIC SIGNAL BOX
- PB PAC-BELL BOX
- HV HIGH VOLTAGE BOX
- PGE PGE BOX
- W WATER VALVE
- G GAS VALVE
- SC SEWER CLEANOUT
- SP SIGN POST
- SM SEWER MANHOLE
- CONCRETE WALL
- BUILDING FOOTPRINT
- WOOD FENCE
- T WITH DIA. TREE WITH DIA.
- SL STREET LIGHT
- LP LAMP POST
- TS TRAFFIC SIGNAL
- BR BIKE RACK
- WR WHEELCHAIR RAMP OR HANDICAPPED PARKING
- PC PILLAR OR BASE OF COLUMN
- TC TOP OF CURB
- FL FLOWLINE
- TW TOP OF WALL



GENERAL NOTES:

1. ALL DISTANCES ARE IN DECIMAL FEET UNLESS OTHERWISE NOTED.
2. ALL ANGLES ARE AT 90° UNLESS OTHERWISE NOTED.
3. THIS MAP REPRESENTS THE SITE CONDITIONS ON DATE OF FIELD SURVEY. JUNE 14, 2016.
4. ELEVATIONS ARE BASED UPON THE CITY OF MOUNTAIN VIEW VERTICAL CONTROL BENCHMARK IV-33, LOCATED AT THE NORTHWEST RETURN OF DANA STREET AT HOPE STREET, BEING A BRONZE DISK STAMPED "IV-33", ELEVATION 80.106 FEET (NAVD 1988).
5. THE PROPERTY LINES SHOWN ON THIS MAP ARE BASED ON RECORD INFORMATION FROM THE CURRENT DEED

BOUNDARY NOTE:

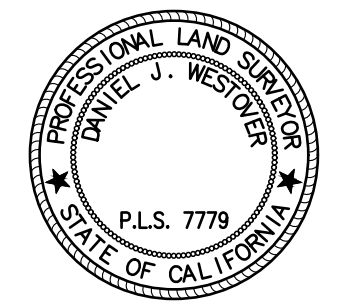
PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE BASED ON RECORD DATA AND NOT INTENDED TO BE A DETAILED FINAL SURVEY OF THE PROPERTY. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

SURVEYOR'S STATEMENT

This map was prepared by me or under my direction and is based upon a field survey at the request of WK Design Group in June of 2016.

BY: *Daniel J. Westover*
DANIEL J. WESTOVER, L.S. 7779

DATE: 7/10/2019



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NO.	DATE	COMMENTS
1	7/10/19	REVISED EASEMENT

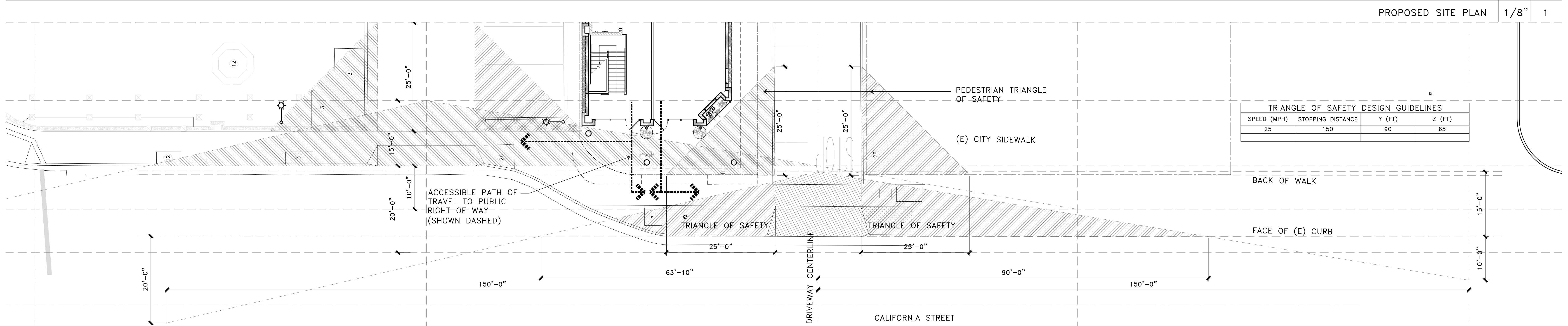
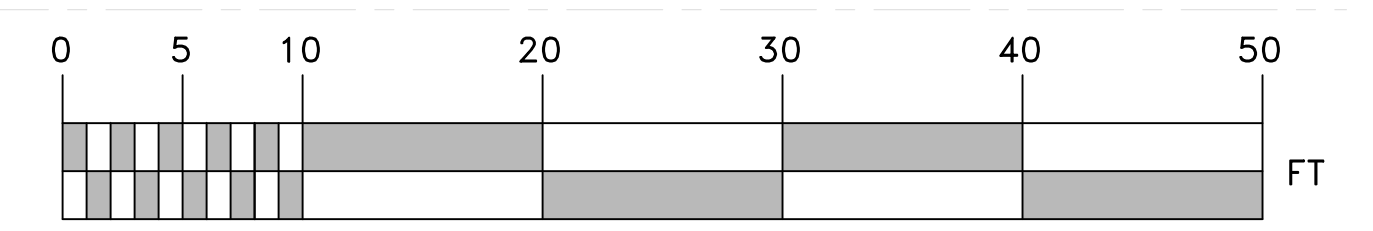
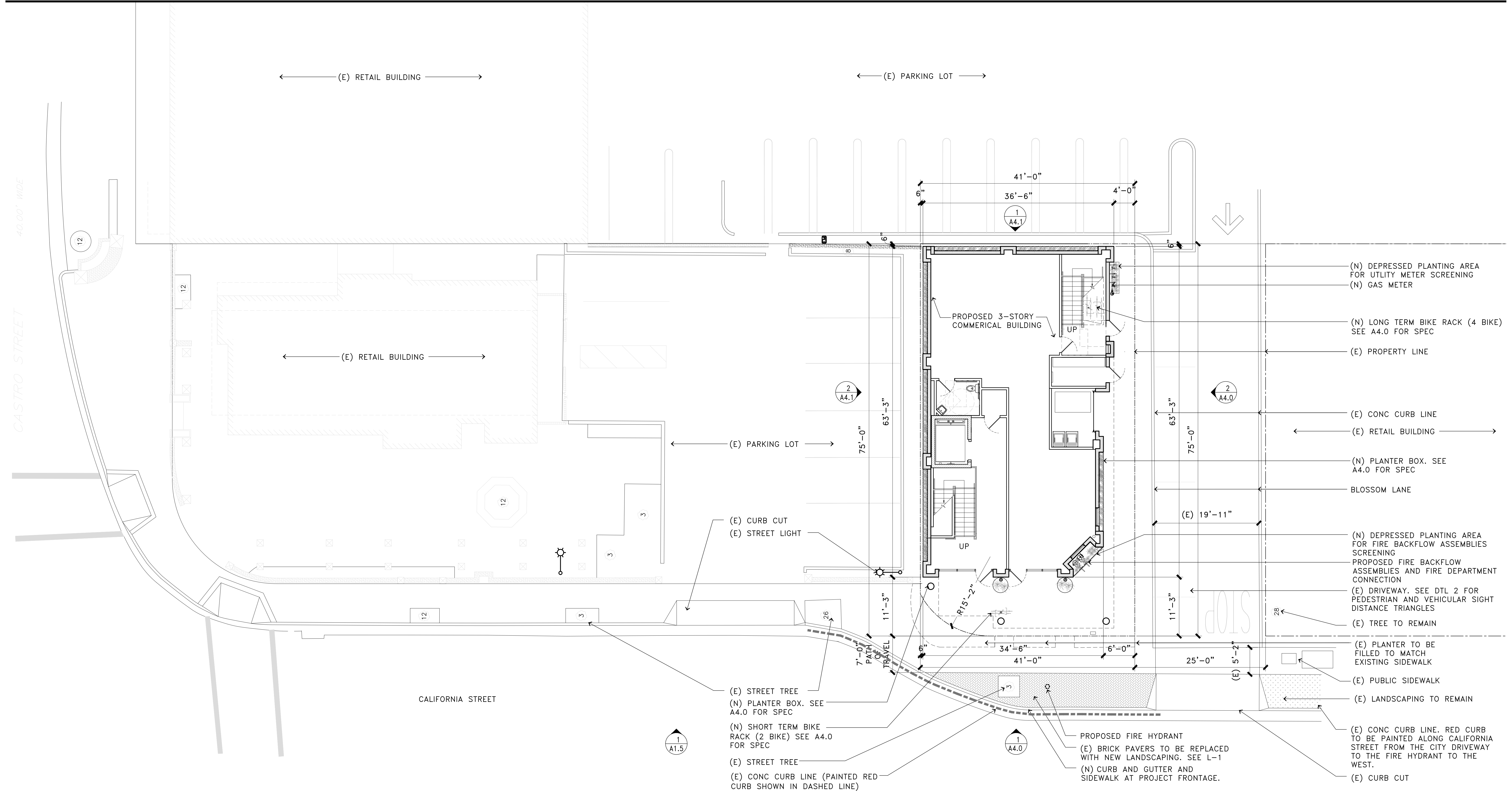
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CHECKED BY: DJW
DATE: 6/17/2016
SCALE: 1"=8'

SITE SURVEY
383 CASTRO STREET & 756 CALIFORNIA STREET
CITY OF MOUNTAIN VIEW, COUNTY OF SANTA CLARA,
CALIFORNIA

SHEET
1 OF 1

JOB NO.
16049

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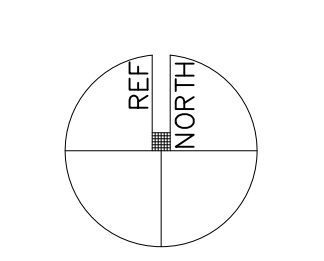


PEDESTRIAN AND VEHICULAR SIGHT DISTANCE TRIANGLES 10' 2

- 01.31.18 ISSUED FOR PLANNING
- 04.02.18 PLANNING COMMENT
- 12.05.18 PLANNING COMMENT
- 05.01.19 DRC COMMENT
- 04.06.20 PLANNING COMMENT

PROJECT: 16-5650

PROPOSED SITE PLAN



A1.0



TO CASTRO STREET

EXISTING PHOTOS AT 756 CALIFORNIA STREET

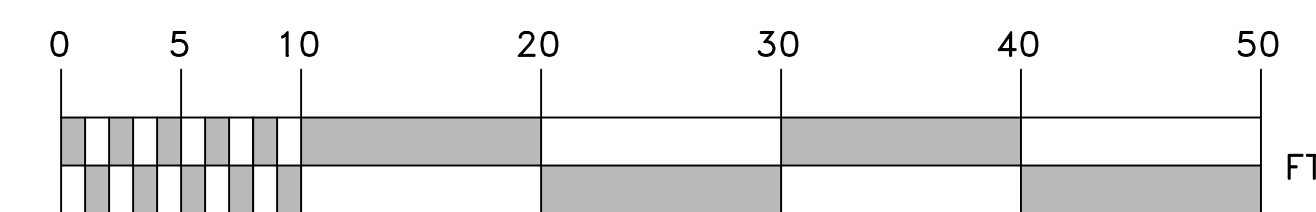
TO HOPE STREET



1 EXISTING STREETScape ELEVATION AT 756 CALIFORNIA STREET
1/8" = 1'-0"



1 PROPOSED STREETScape ELEVATION AT 756 CALIFORNIA STREET
1/8" = 1'-0"

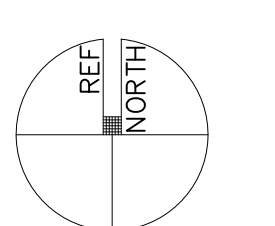


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STREETScape ELEVATIONS



A1.5

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VIEW FROM CALIFORNIA STREET



VIEW FROM HOPE STREET PARKING LOT 6



VIEW FROM CALIFORNIA STREET



VIEW FROM CALIFORNIA STREET / BLOSSOM LANE

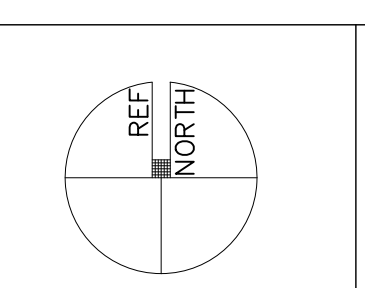


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CONCEPTUAL RENDERINGS



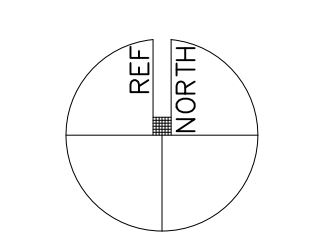
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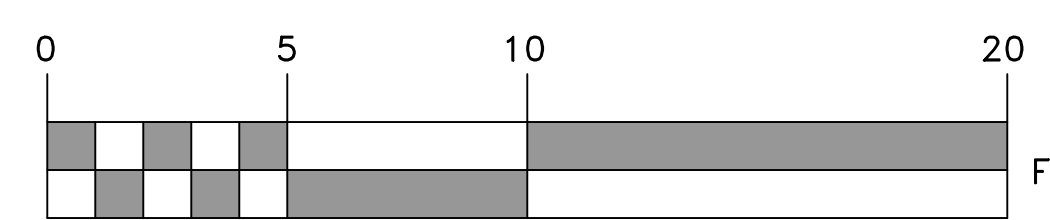
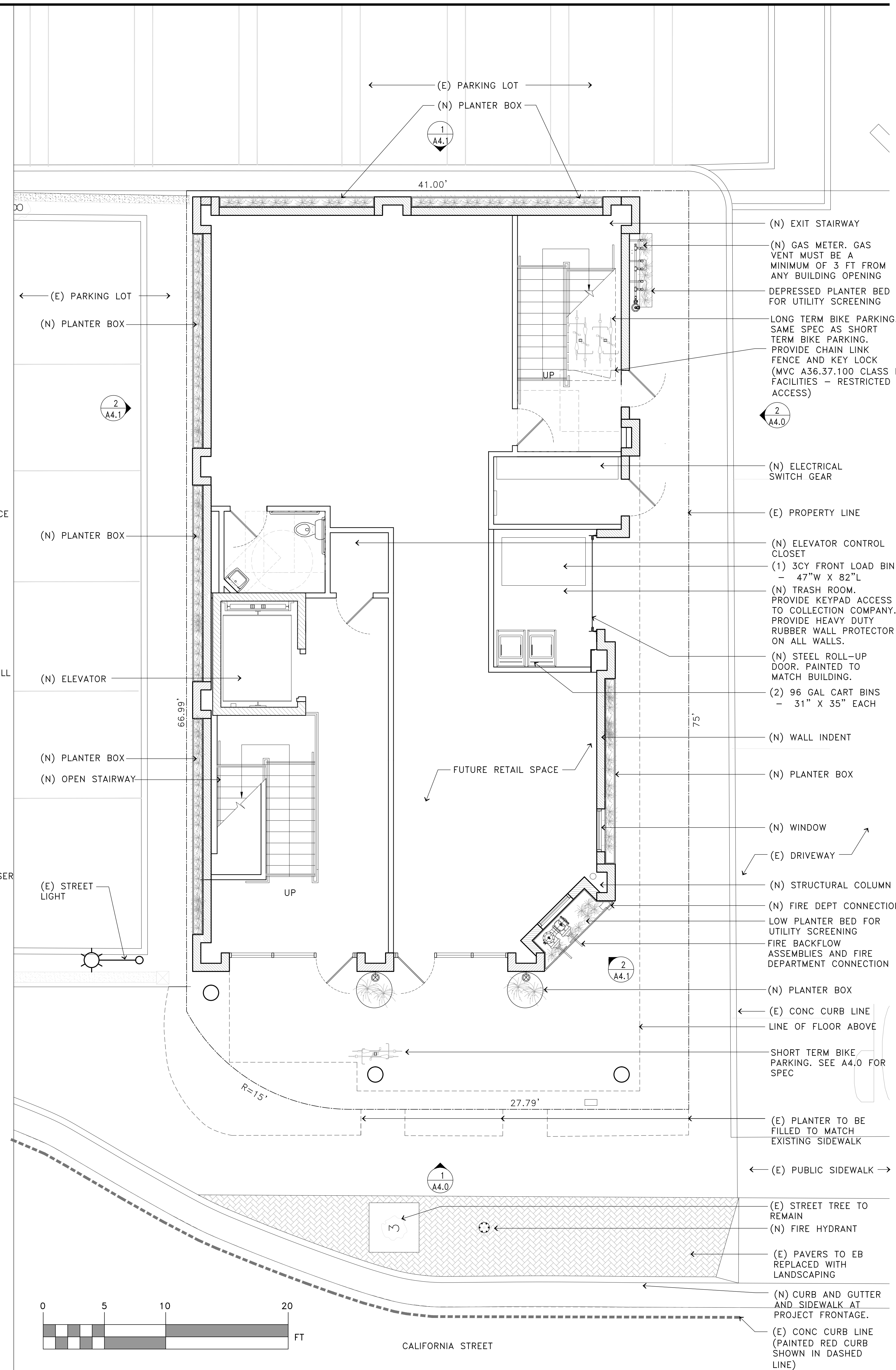
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PROPOSED LAYOUT PLANS



A2.0

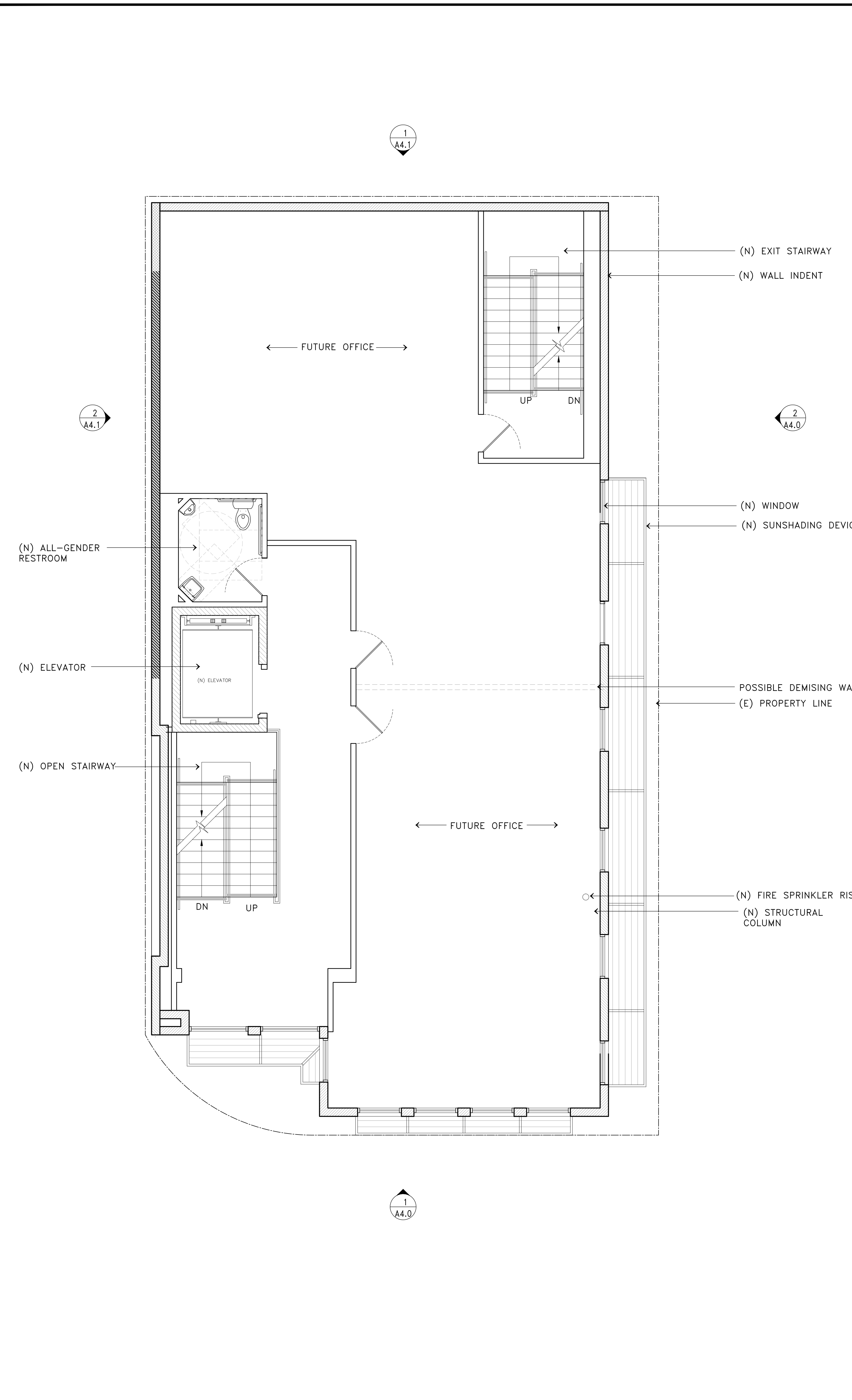
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CALIFORNIA STREET

OVERALL LAYOUT PLAN - SECOND FLOOR 1/4" 2

OVERALL LAYOUT PLAN - GROUND FLOOR 1/4" 1



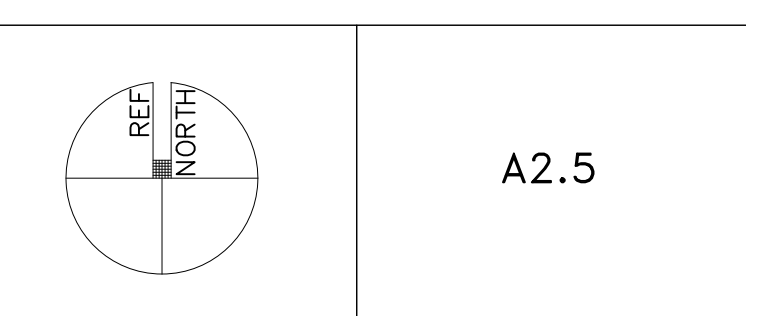
OVERALL LAYOUT PLAN - SECOND FLOOR 1/4" 2

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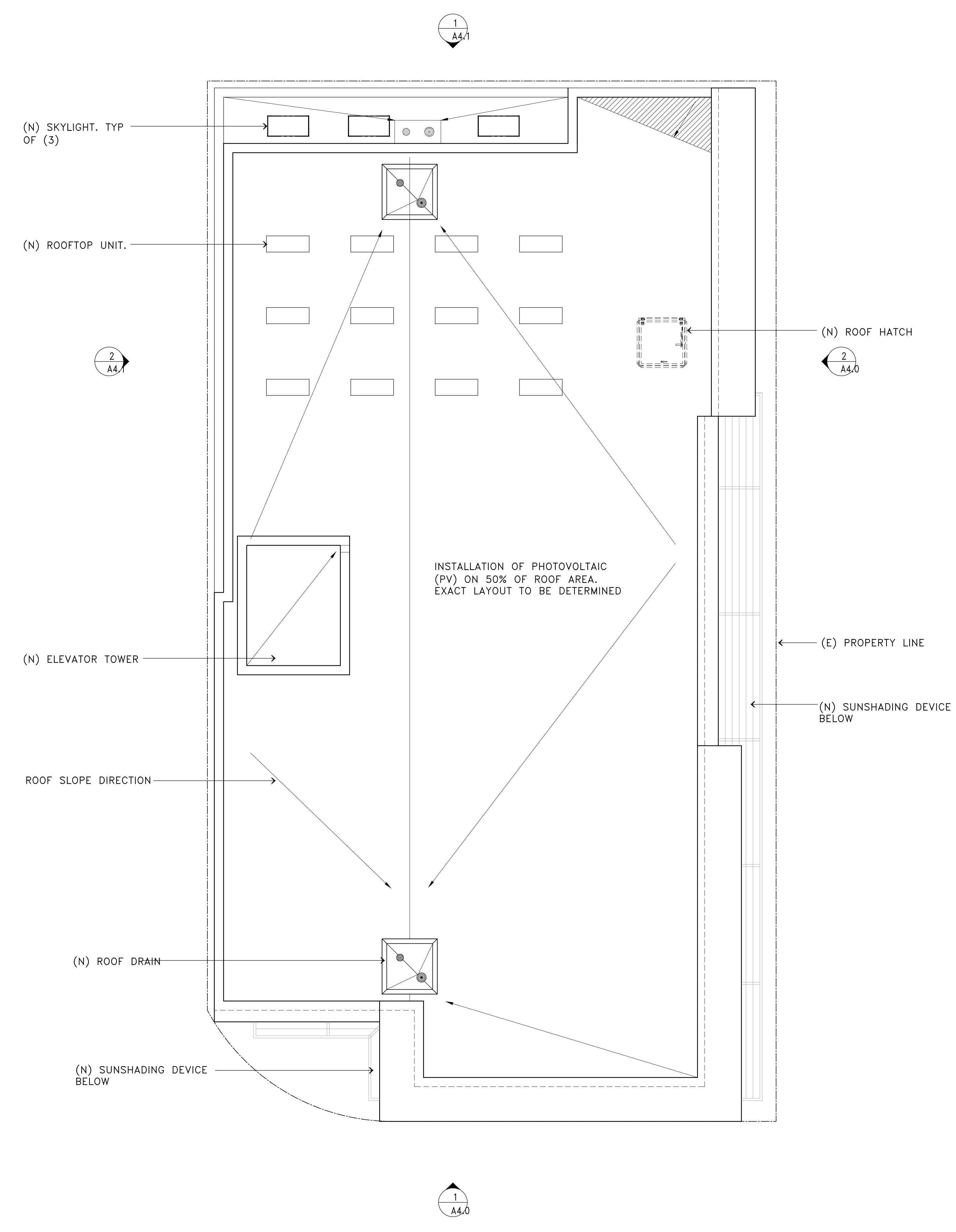
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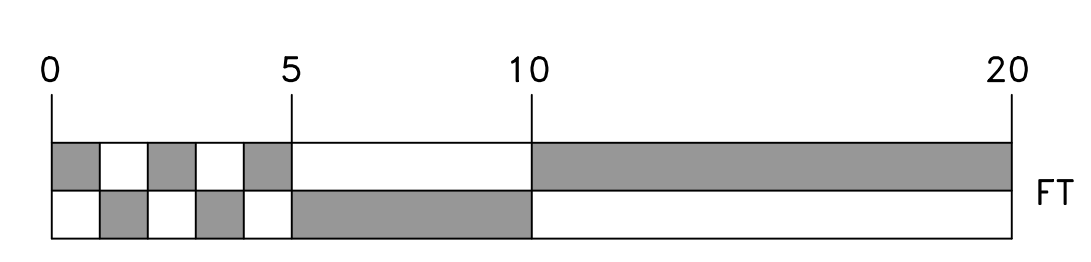
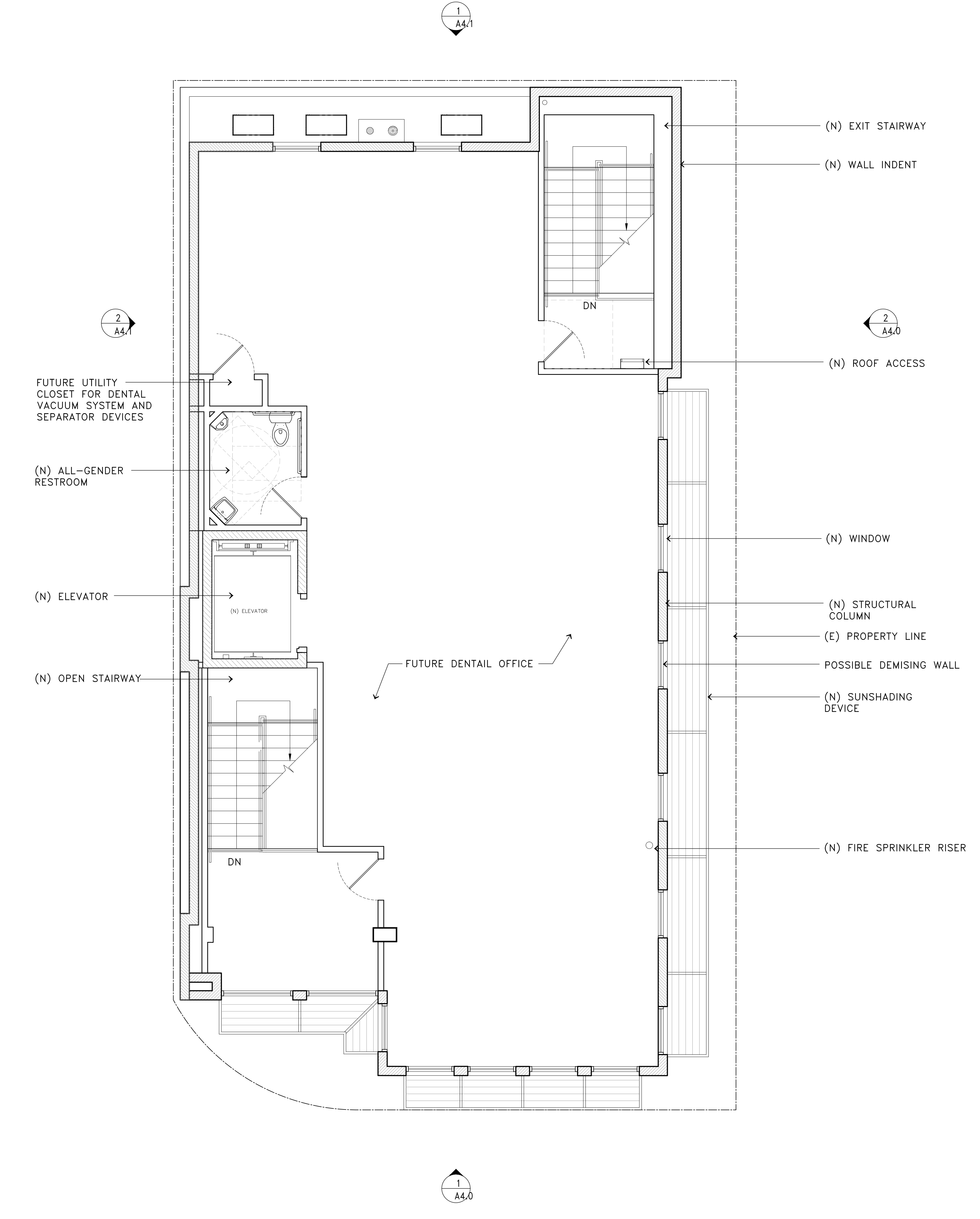
PROPOSED LAYOUT PLANS



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OVERALL LAYOUT PLAN - ROOF LEVEL 1/4" 2



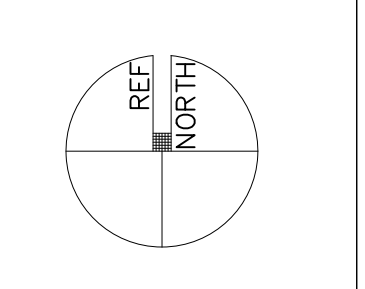
OVERALL LAYOUT PLAN - THIRD FLOOR 1/4" 1

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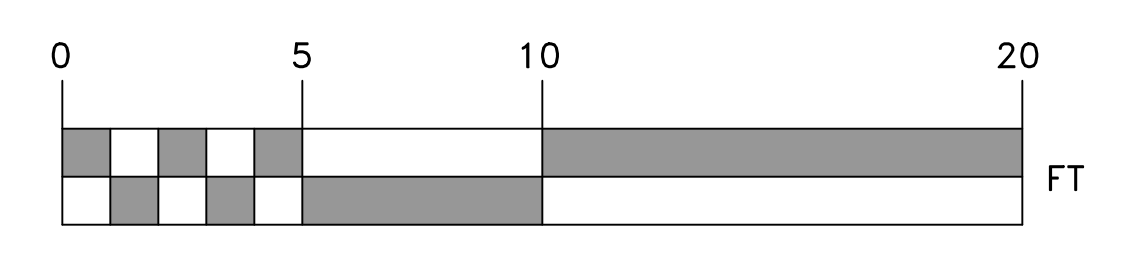
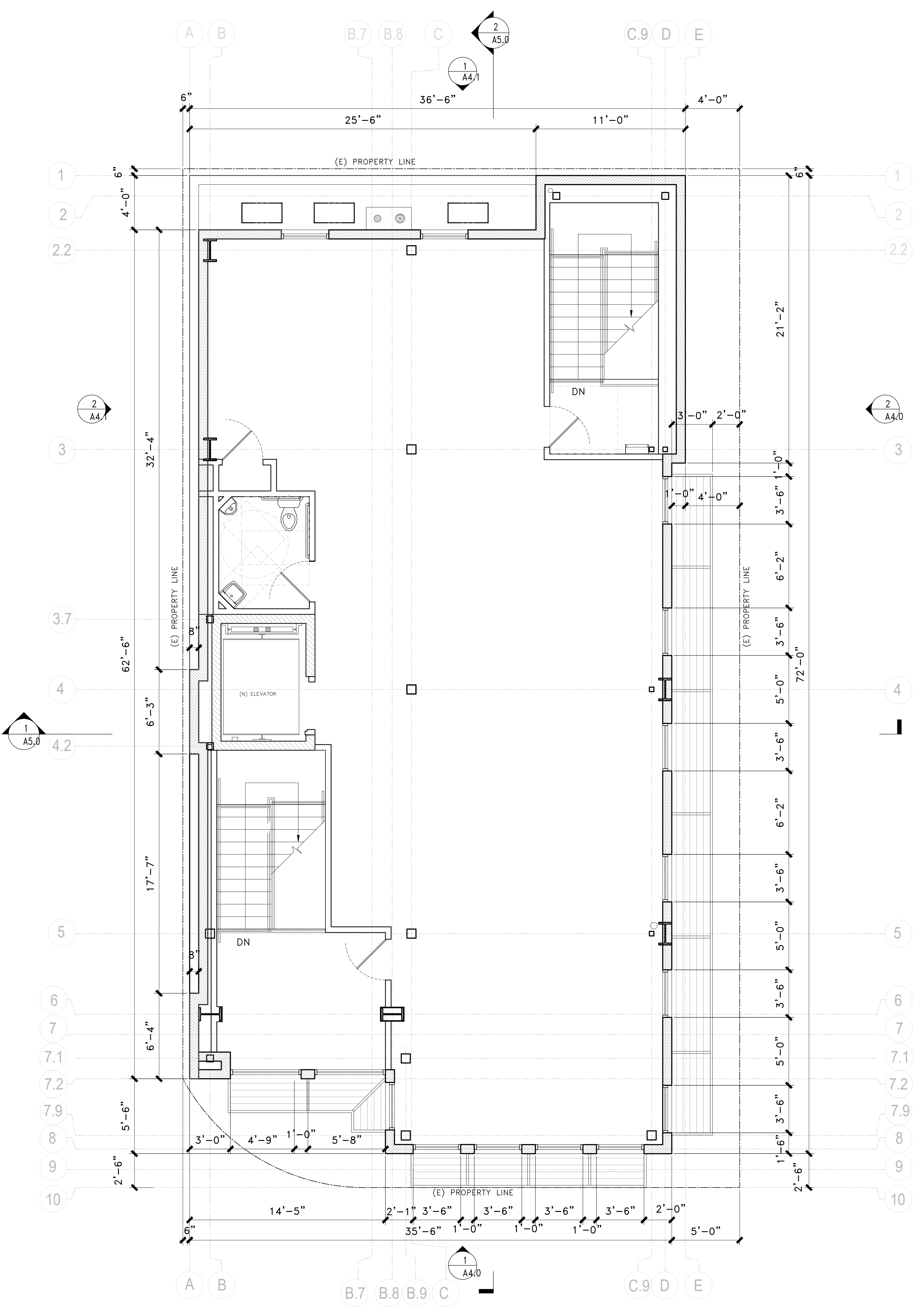
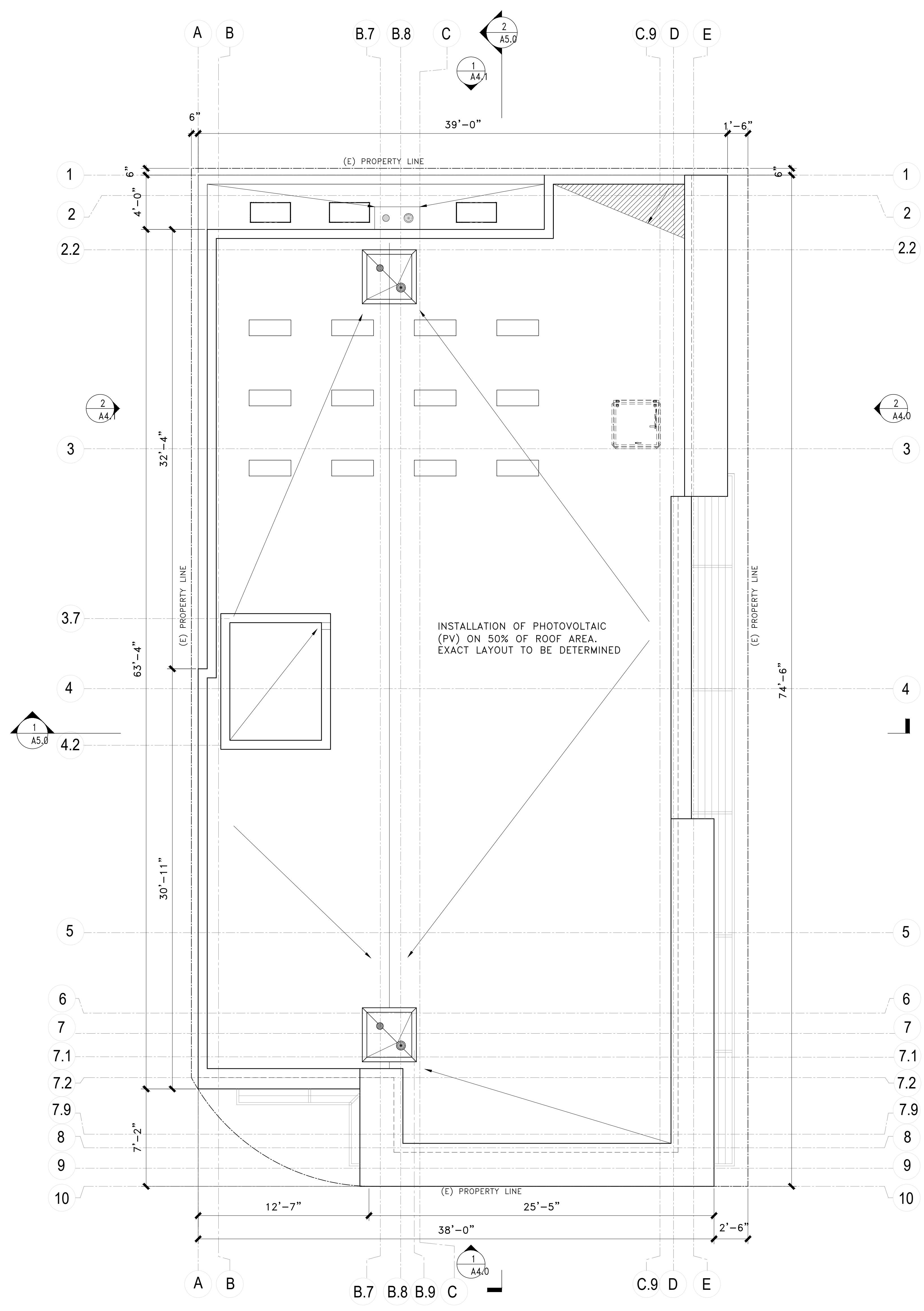
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DIMENSIONED FLOOR PLANS



A3.5

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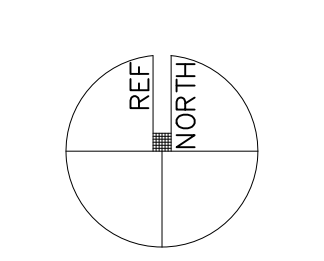


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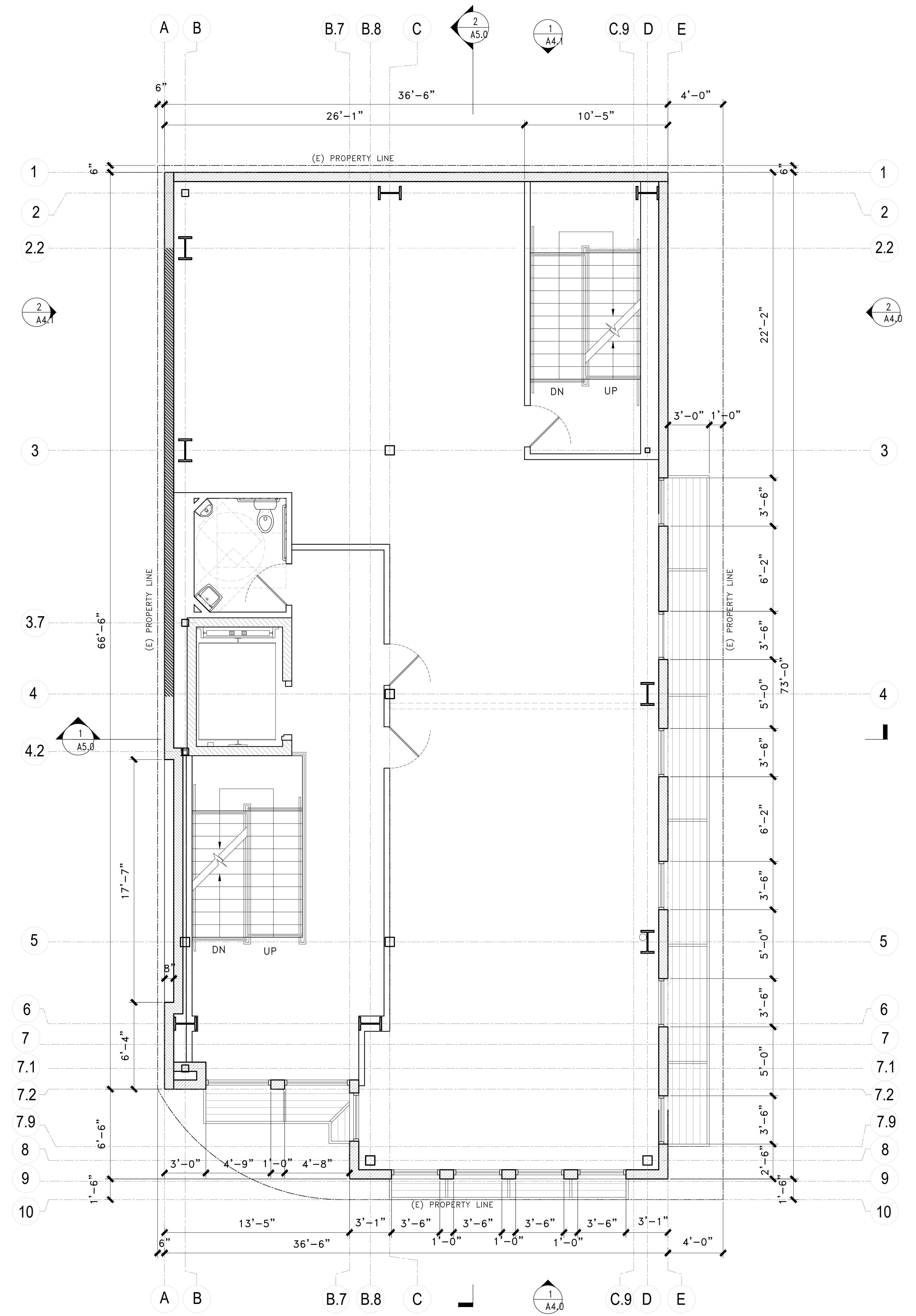
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DIMENSIONED FLOOR PLANS

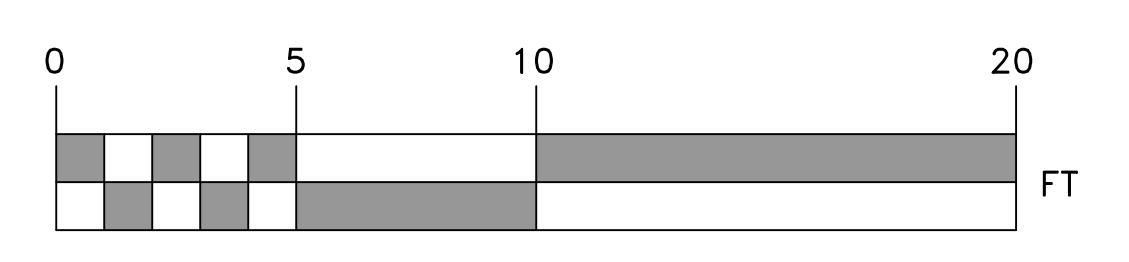
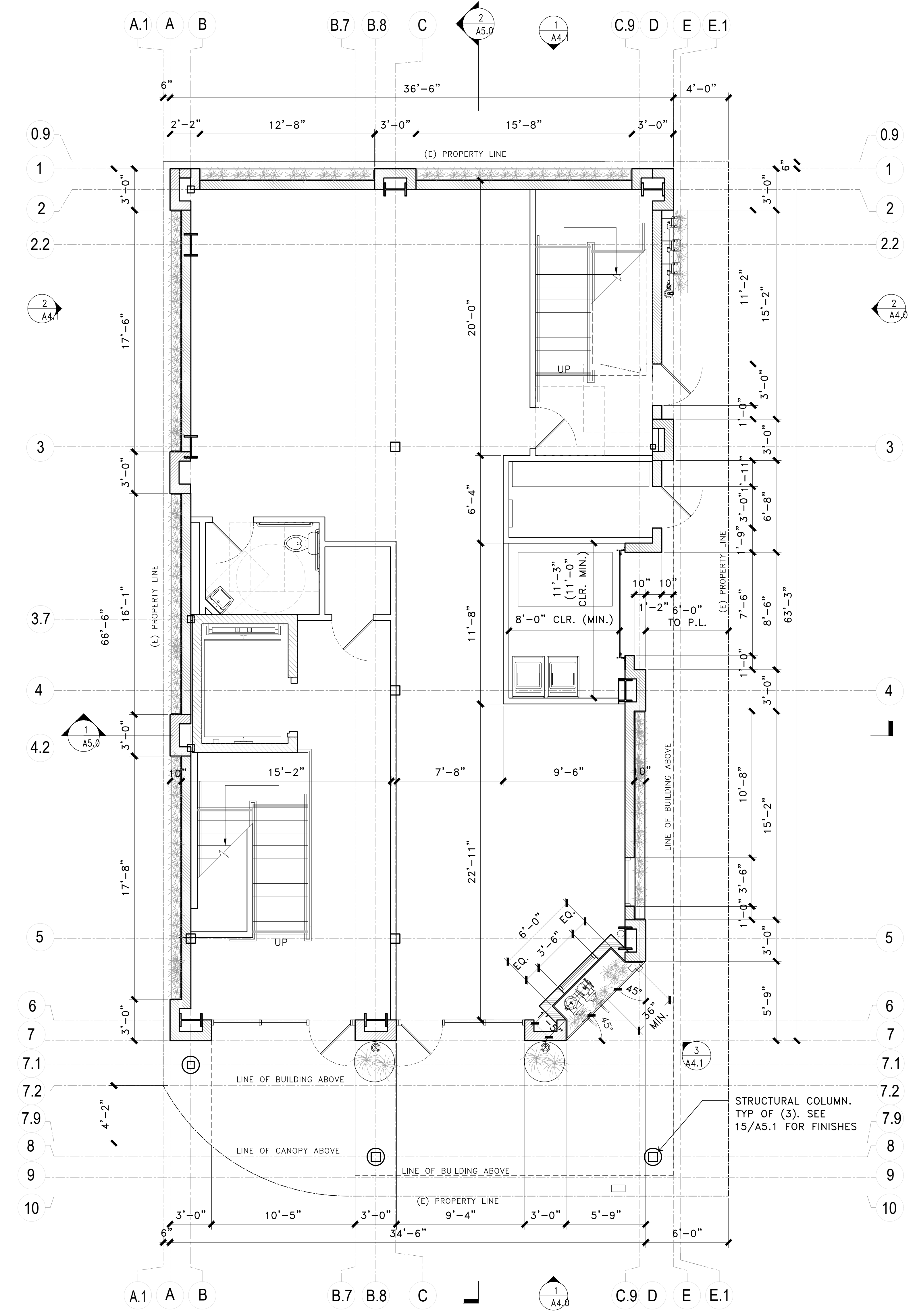


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DIMENSIONED FLOOR PLAN - SECOND FLOOR 1/4" 2



DIMENSIONED FLOOR PLAN - GROUND FLOOR 1/4" 1

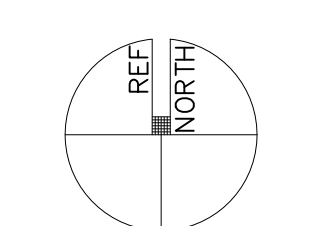
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REFLECTED CEILING PLAN
 SOFFIT SECTIONS

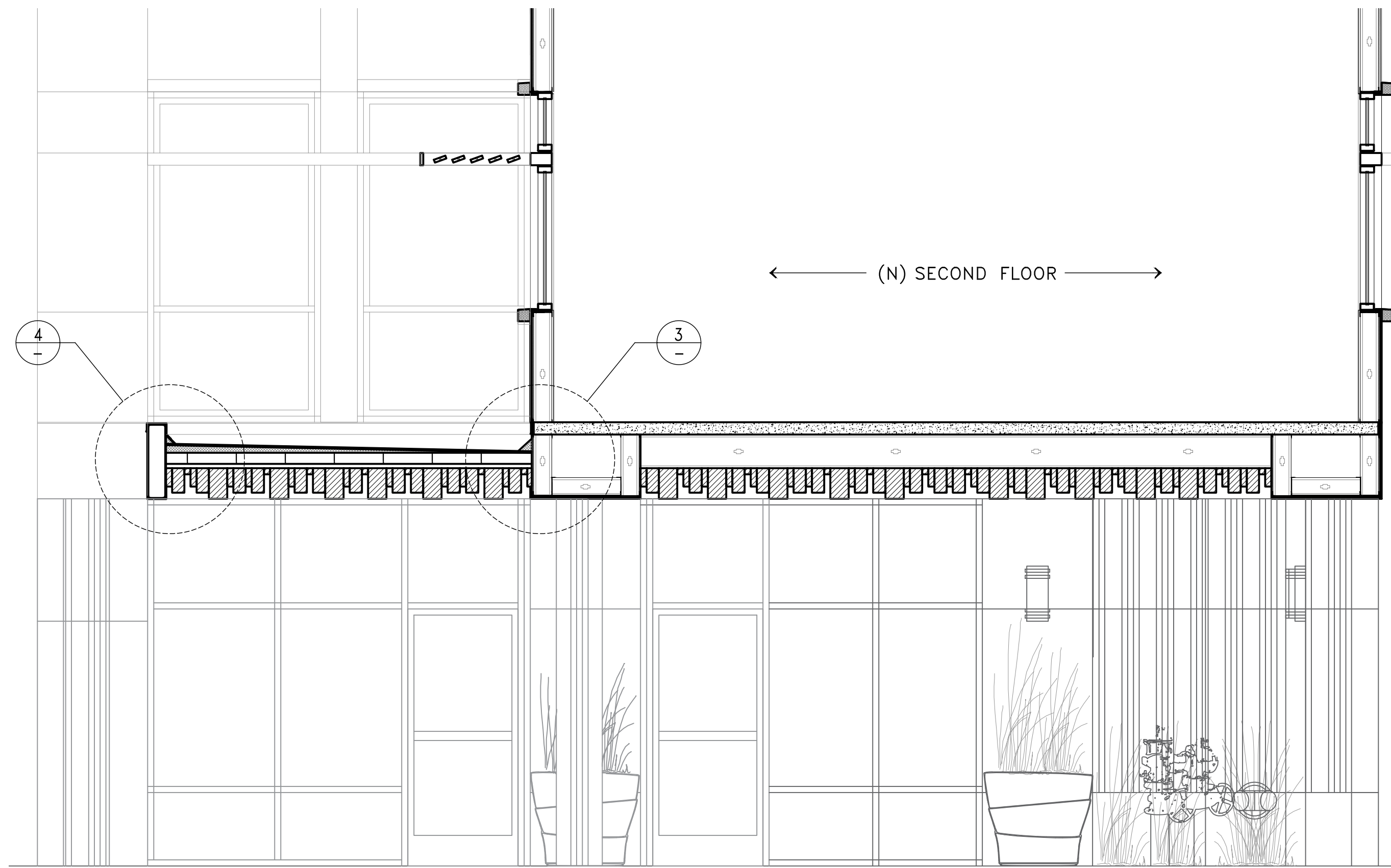


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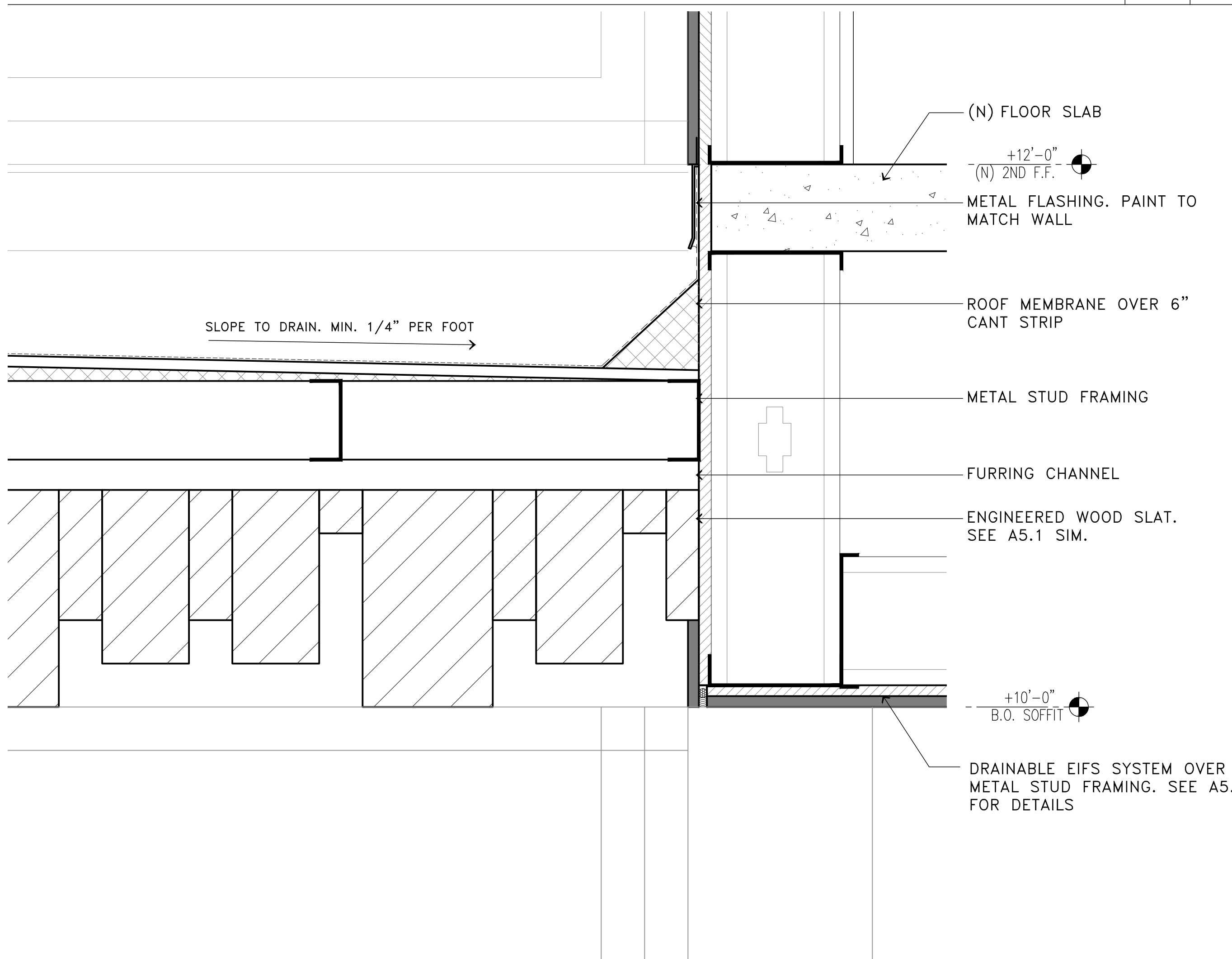
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CEILING PLAN LEGEND

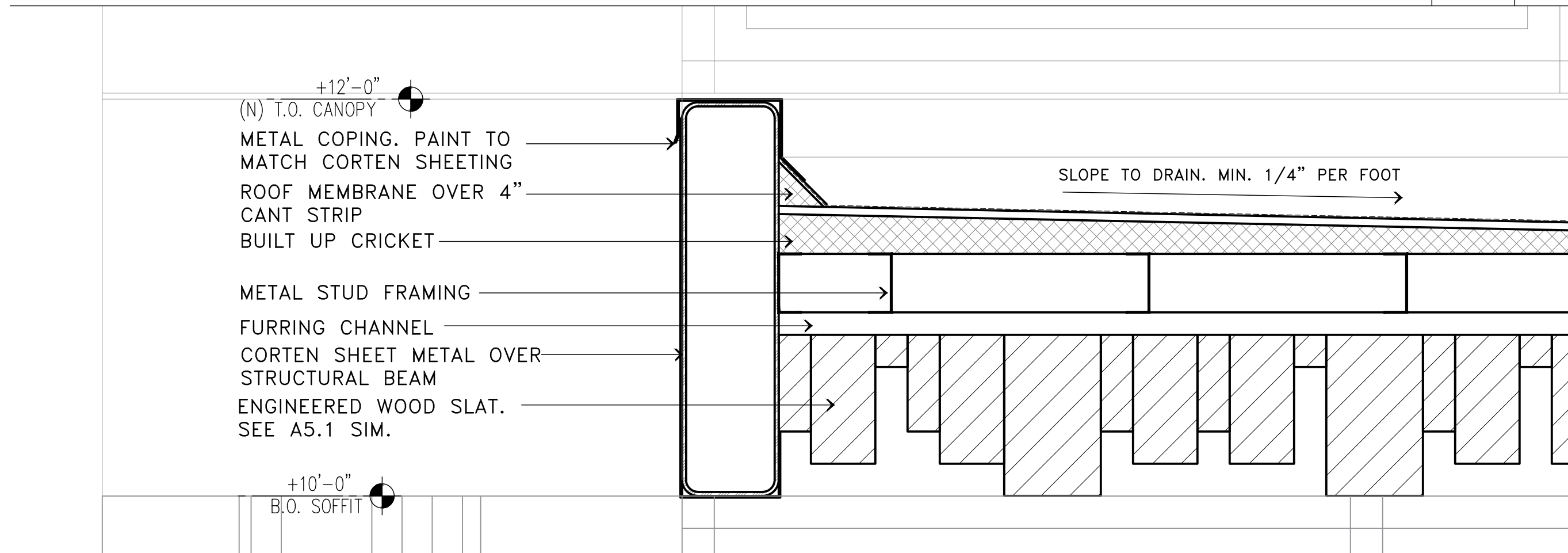
-  SOFFIT WITH ENGINEERED WOOD BY ACCOYA. SEE DETAIL 2-4
-  SOFFIT WITH DRAINAGE EIFS FINISH. PAINTED TO MATCH FACADE.
-  4" EXTERIOR RECESSED LED DOWNLIGHT TRIM: ELCO EL441 COLOR: BRONZE
-  EXTERIOR WALL SCONCE MFG: VISA LIGHTING MODEL: OW2209-NRW COLOR: BRONZE



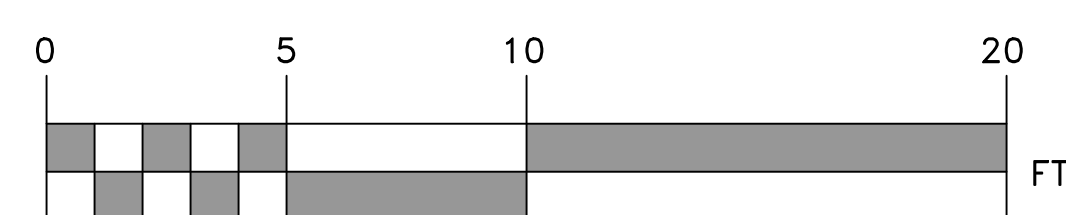
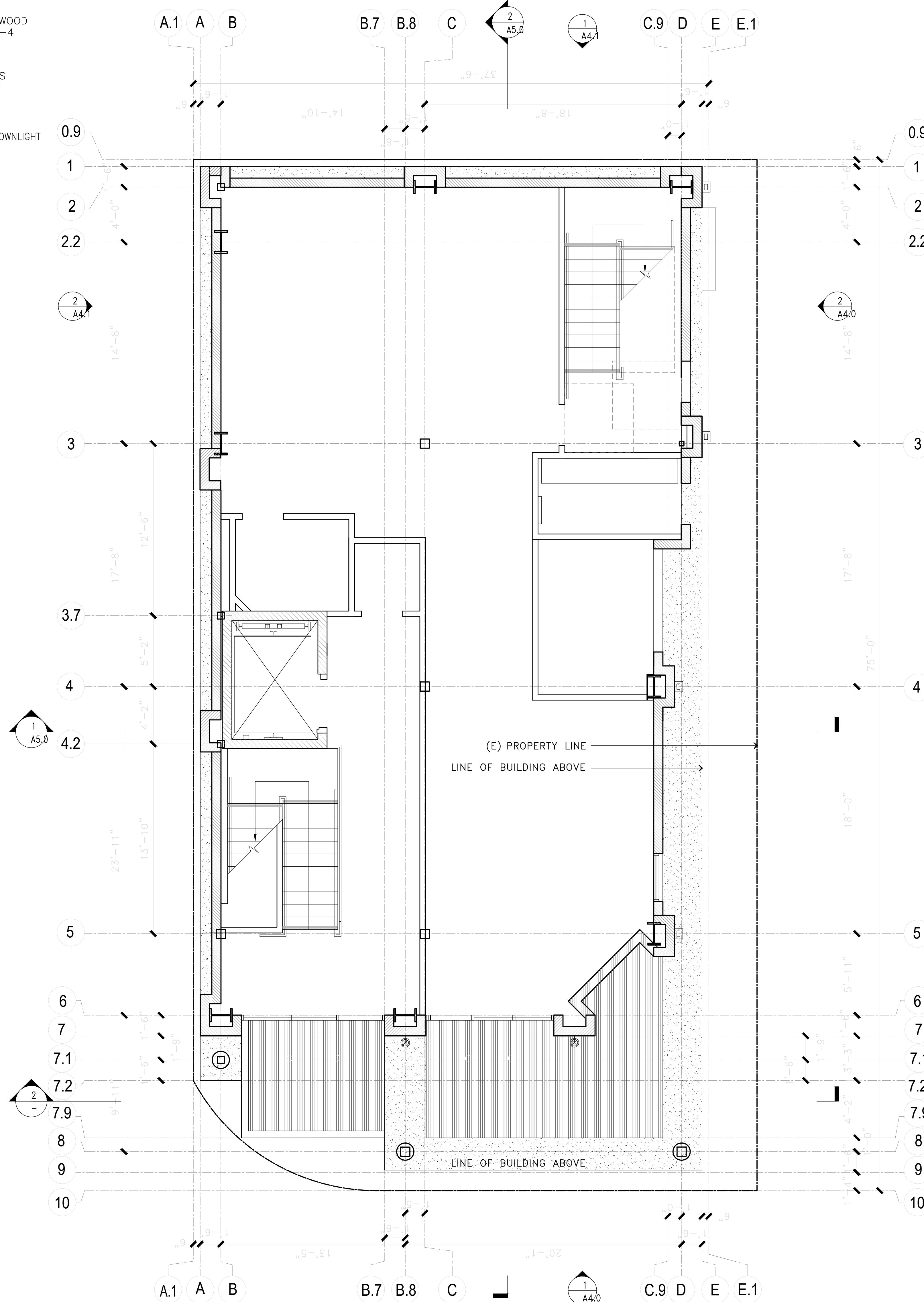
BUILDING SECTION AT FRONT OVERHANG AND CANOPY 1/4" 2



ENLARGED SOFFIT DETAIL 3" 3



ENLARGED SOFFIT DETAIL 1/4" 4



REFLECTED CEILING PLAN 1/4" 1



ALUM 'WOOD' SLAT WALL BY B&N INDUSTRY INC

DECORATIVE PLANTER BOX IMAGE

7



SHORT TERM BIKE RACK BY GRABER MANUFACTURING 'MADRAX'

SHORT TERM BIKE RACK IMAGE

5



CUSTOM CORTEN STEEL PLANTER BOX BY PLANTER UNLIMITED

CORTEN STEEL PLANTER BOX IMAGE

3



HORIZONTAL LEDGE STEP AND WALL LIGHT BY WAC LIGHTING

EXTERIOR STEP / WALL LIGHT

8



ENGINEERED WOOD SLAT BY ACCOYA WOOD

ALUM 'WOOD' SLAT IMAGE

6



EXTERIOR WALL SCONCE BY VISA LIGHTING 'PLA' SERIES

EXTERIOR WALL SCONCE IMAGE

4

ELEVATION LEGEND

- 1 EXISTING PROPERTY LINE
- 2 INTEGRATED CORNICE BY ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: BENJAMIN MOORE 'BEAR CREEK 1470'
- 3 ALUM STOREFRONT WINDOW SYSTEM, CLEAR ANODIZED FINISH.
STOREFRONT COLOR: SPECIAL-LITE 'CLEAR ANODIZED S317-3'
GLASS COLOR: BENDHEIM 'WS02-571 CLEAR'
- 4 AWNING WINDOW
STOREFRONT COLOR: SPECIAL-LITE 'CLEAR ANODIZED S317-3'
GLASS COLOR: BENDHEIM 'WS02-571 CLEAR'
- 5 ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: 401 SNOW
TEXTURE: FINE FINISH
- 6 CUSTOM CORTEN STEEL PLANTER BOX BY PLANTER UNLIMITED
- 7 GAS METER, GAS VENT MUST BE A MINIMUM OF 3 FT FROM ANY BUILDING OPENING
- 8 SHORT TERM BIKE RACK BY GRABER MFG 'MADRAX' -PBP-2-SF
COLOR: POWDER COATED 'SILVER'
- 9 EXTERIOR HOLLOW METAL DOOR.
COLOR: BENJAMIN MOORE 'SHORELINE 1471'
- 10 WOOD CLAD ALUMINUM STOREFRONT DOOR
MFG: MARVIN DOORS OR EQ.
WOOD STAIN COLOR TO MATCH ACCOYA WOOD
- 11 ALUM SUNSHADING DEVICE WITH POWDER COATED FINISH
COLOR: SPECIAL-LITE 'SEA WOLF - KA3C28665'
- 12 EXTERIOR WALL SCONCE BY VISA LIGHTING
COLOR: BRONZE FINISH
- 13 FIRE BACKFLOW ASSEMBLIES AND FIRE DEPARTMENT CONNECTION
- 14 EXTERIOR REVEAL. SEE 8/A5.1.
- 15 3" WALL DEPRESSION WITH ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: CARDAMON
TEXTURE: COARSE FINISH
- 16 LOW PLANTER BED FOR UTILITY SCREENING
- 17 ROLL-UP SERVICE DOOR.
COLOR: BENJAMIN MOORE 'SHORELINE 1471'
- 18 ROUND COLUMN CLADDED WITH ENGINEERED WOOD SLAT (SEE 15/A5.1)
MFG: ACCOYA WOOD
COLOR: PRECISION COAT SDF - ALEXANDRIA BEIGE #1120
- 19 INDENT WALL WITH ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: CARDAMON
TEXTURE: COARSE FINISH
- 20 MODULAR WALL TRELLIS SYSTEM BY GREENSCREEN
- 21 ENGINEERED WOOD SLAT (SEE 17/A5.1)
MFG: ACCOYA WOOD
COLOR: PRECISION COAT SDF - ALEXANDRIA BEIGE #1120
- 22 DECORATIVE FIBERGLASS PLANTER BOX
MFG: GREEN FORM
COLOR: CONCRETE
- 23 CANOPY AT OFFICE ENTRANCE WITH ENGINEERED WOOD SLAT AND CORTEN STEEL FASCIA BOARD
- 24 LASER CUT CORTEN STEEL WALL ART
- 25 DECORATIVE BEAM END
COLOR: BENJAMIN MOORE 'BEAR CREEK 1054'
- 26 HORIZONTAL LEDGE STEP AND WALL LIGHT
MFG: WAC LIGHTING
FINISH: BRONZE
COLOR: 2700K 120V
- 27 INTEGRATED CORNICE BY ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
BENJAMIN MOORE 'BEAR CREEK 1054'

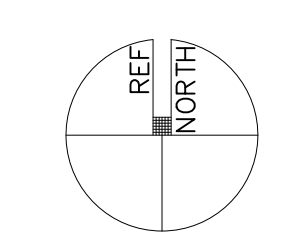


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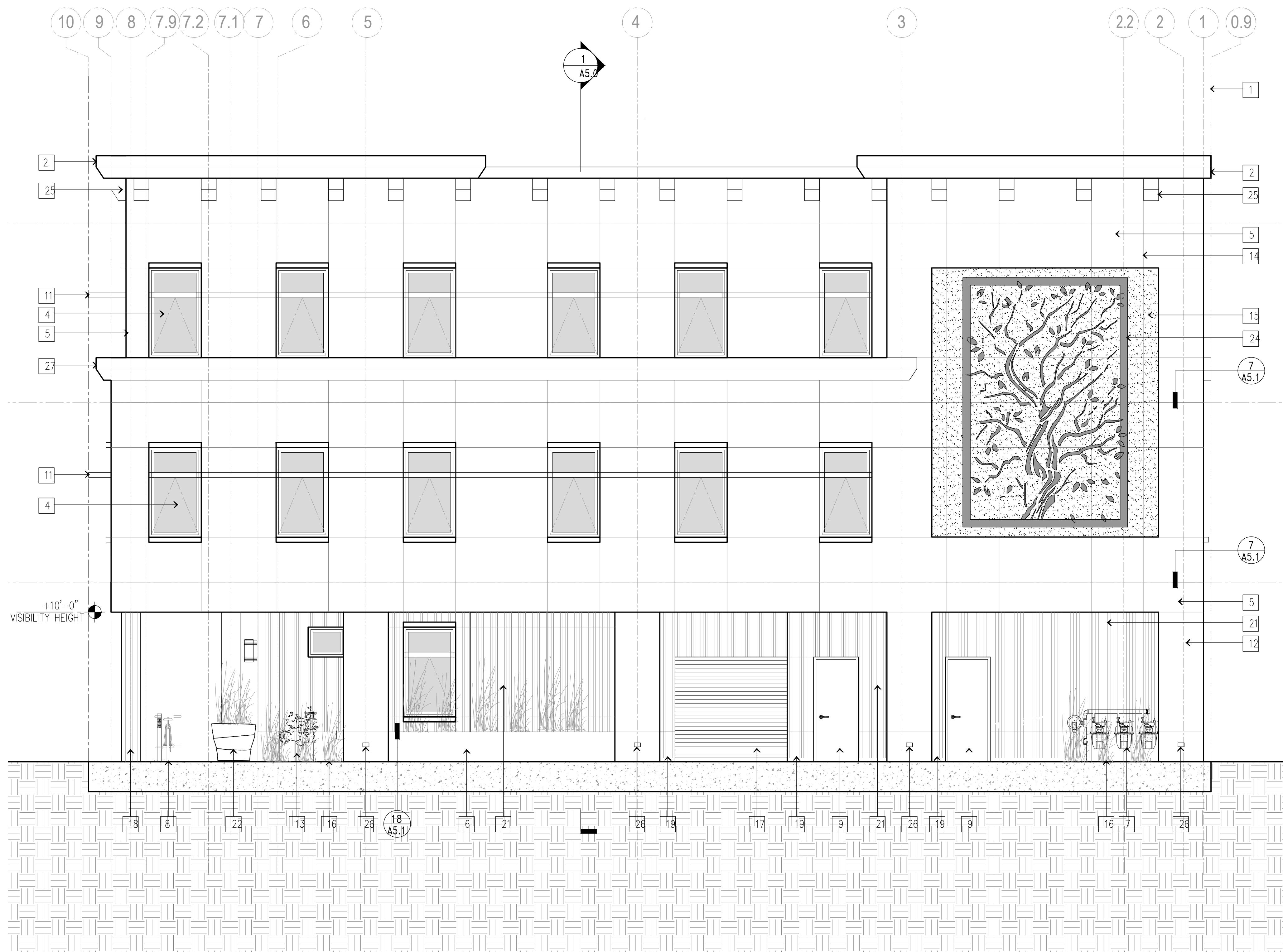
PROJECT: 16-5650

PROPOSED EXTERIOR ELEVATIONS

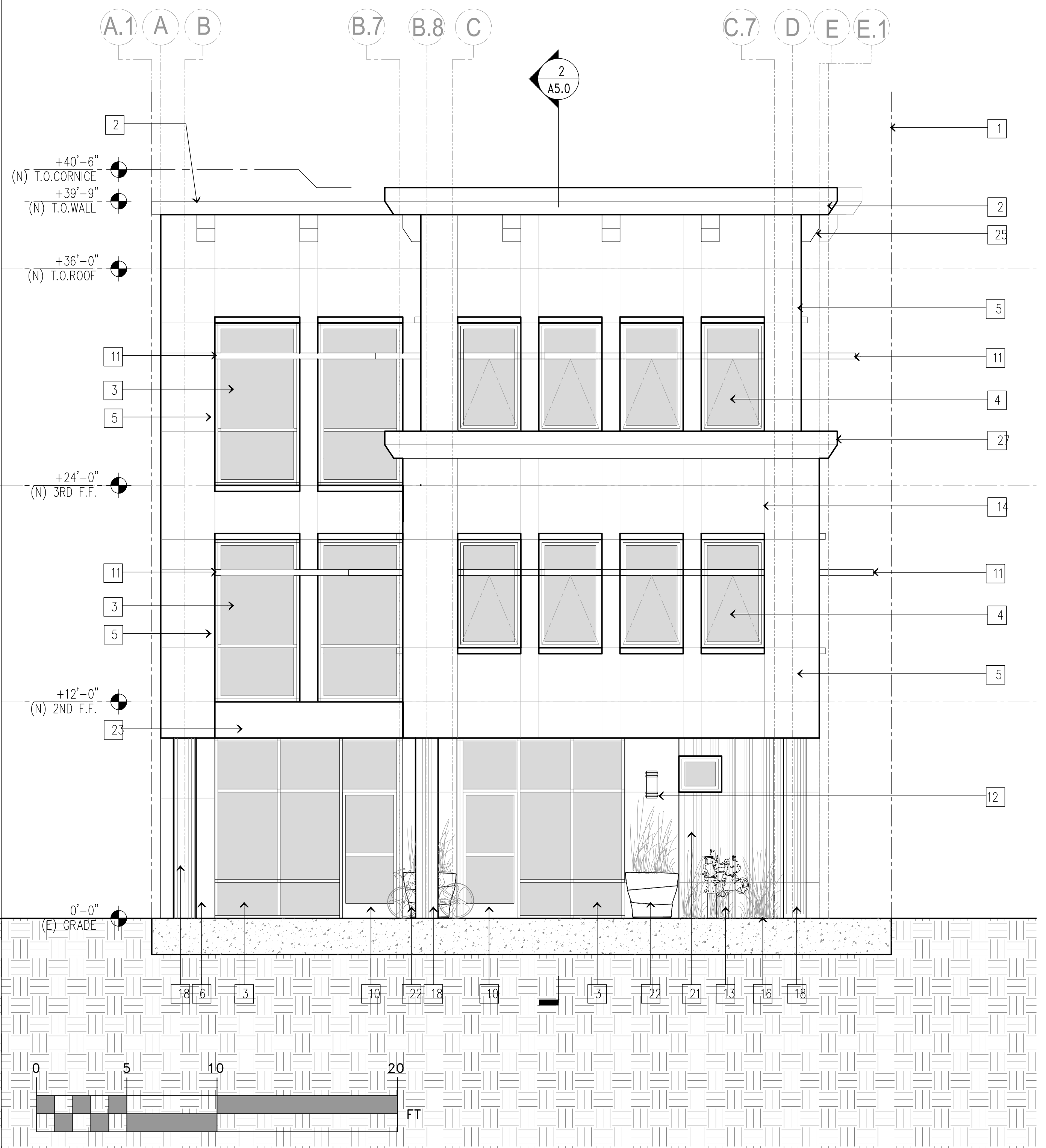


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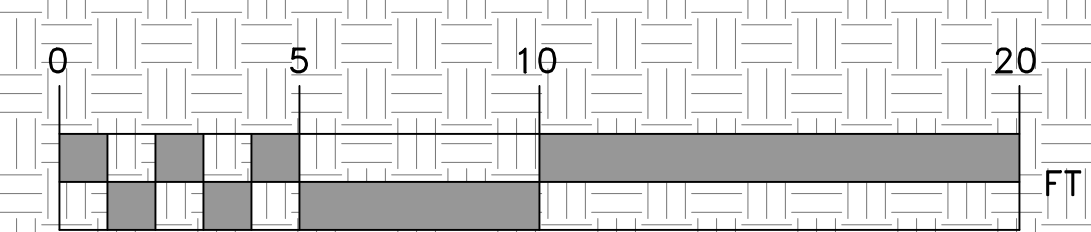
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PROPOSED EXTERIOR ELEVATION - DRIVEWAY 1/4" 2



PROPOSED EXTERIOR ELEVATION - CALIFORNIA STREET 1/4" 1

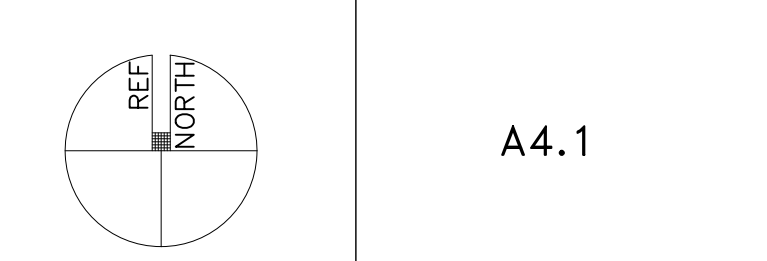


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PROPOSED EXTERIOR ELEVATIONS



- ELEVATION LEGEND**
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COLOR: BENJAMIN MOORE 'BEAR CREEK 1470'
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STOREFRONT COLOR: SPECIAL-LITE 'CLEAR ANODIZED S317-3'
GLASS COLOR: BENDHEIM 'WS02-571 CLEAR'
 - 4 AWNING WINDOW
STOREFRONT COLOR: SPECIAL-LITE 'CLEAR ANODIZED S317-3'
GLASS COLOR: BENDHEIM 'WS02-571 CLEAR'
 - 5 ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: 401 SNOW
TEXTURE: FINE FINISH
 - 6 CUSTOM CORTEN STEEL PLANTER BOX BY PLANTER UNLIMITED
 - 7 GAS METER. GAS VENT MUST BE A MINIMUM OF 3 FT FROM ANY BUILDING OPENING
 - 8 SHORT TERM BIKE RACK BY GRABER MFG 'MADRAX' -PBP-2-SF
COLOR: POWDER COATED 'SILVER'
 - 9 EXTERIOR HOLLOW METAL DOOR.
COLOR: BENJAMIN MOORE 'SHORELINE 1471'
 - 10 WOOD CLAD ALUMINUM STOREFRONT DOOR
MFG: MARVIN DOORS OR EQ.
WOOD STAIN COLOR TO MATCH ACCOYA WOOD
 - 11 ALUM SUNSHADING DEVICE WITH POWDER COATED FINISH
COLOR: SPECIAL-LITE 'SEA WOLF - KA3C28665'
 - 12 EXTERIOR WALL SCONCE BY VISA LIGHTING
COLOR: BRONZE FINISH
 - 13 FIRE BACKFLOW ASSEMBLIES AND FIRE DEPARTMENT CONNECTION
 - 14 EXTERIOR REVEAL. SEE 8/A5.1.
 - 15 3" WALL DEPRESSION WITH ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
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TEXTURE: COARSE FINISH
 - 16 LOW PLANTER BED FOR UTILITY SCREENING
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MFG: ACCOYA WOOD
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MFG: WAC LIGHTING
FINISH: BRONZE
COLOR: 2700K 120V
 - 27 INTEGRATED CORNICE BY ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
BENJAMIN MOORE 'BEAR CREEK 1054'

TYPICAL WINDOW DETAIL 1" 7

LASER CUT CORTEN STEEL WALL ART IMAGE 5

FIRE BACK FLOW AND FDC ELEVATION 1/2" 3

WOOD CLAD ALUMINUM STOREFRONT DOOR 6

MODULAR WALL TRELLIS SYSTEM IMAGE 4

PROPOSED EXTERIOR ELEVATION - ADJACENT BUILDING SIDE 1/4" 2

PROPOSED EXTERIOR ELEVATION - REAR PARKING LOT 1/4" 1

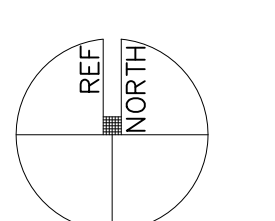


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BUILDING SECTIONS

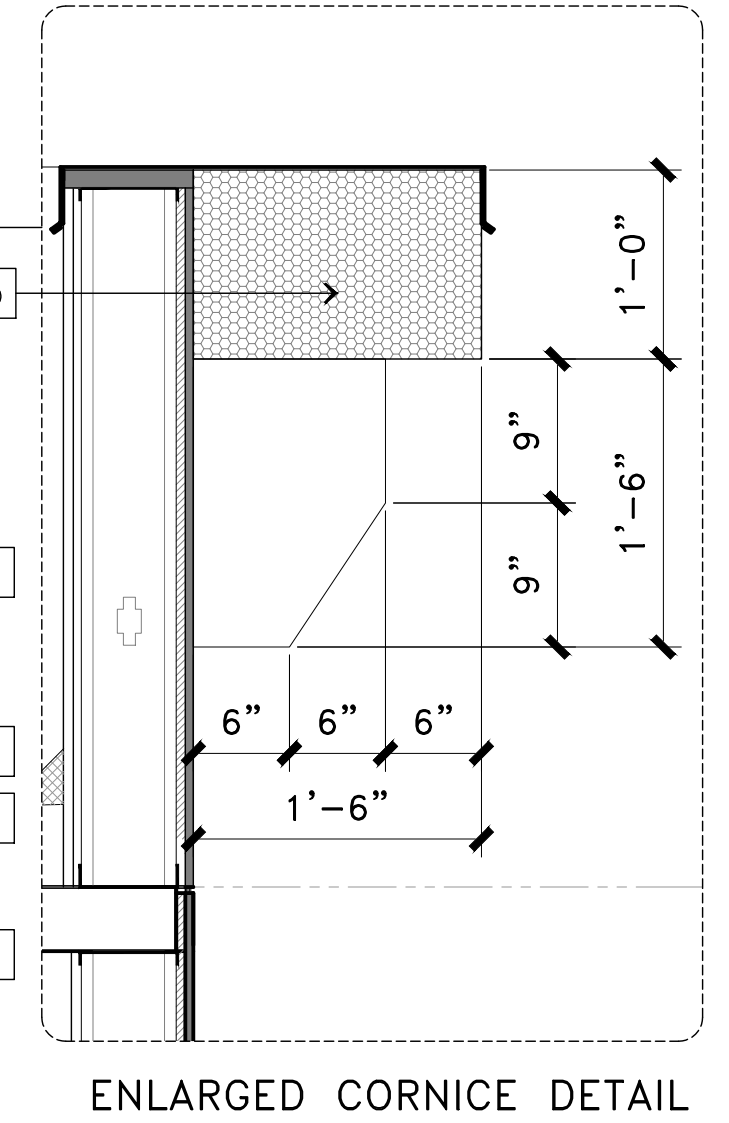
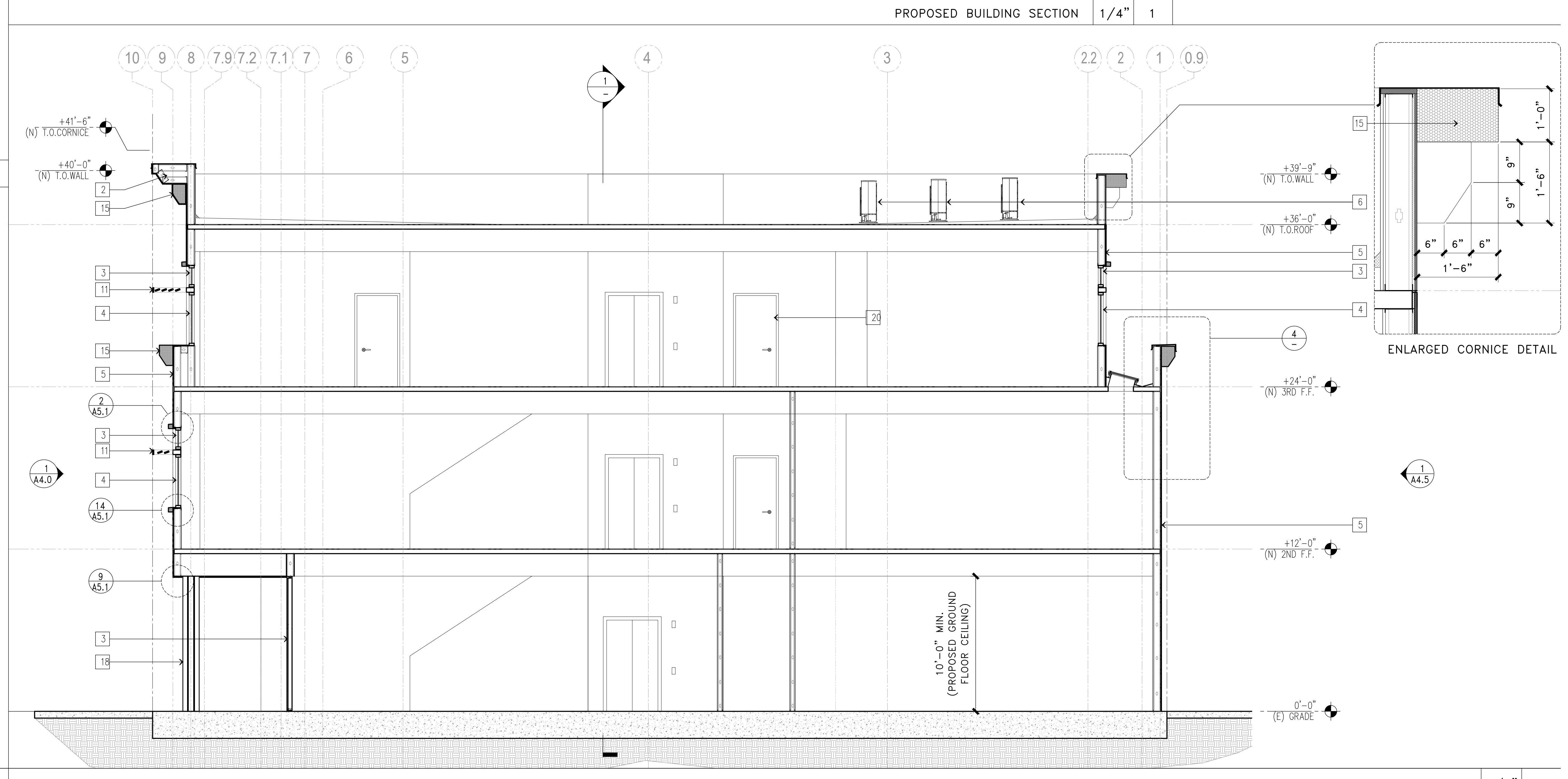
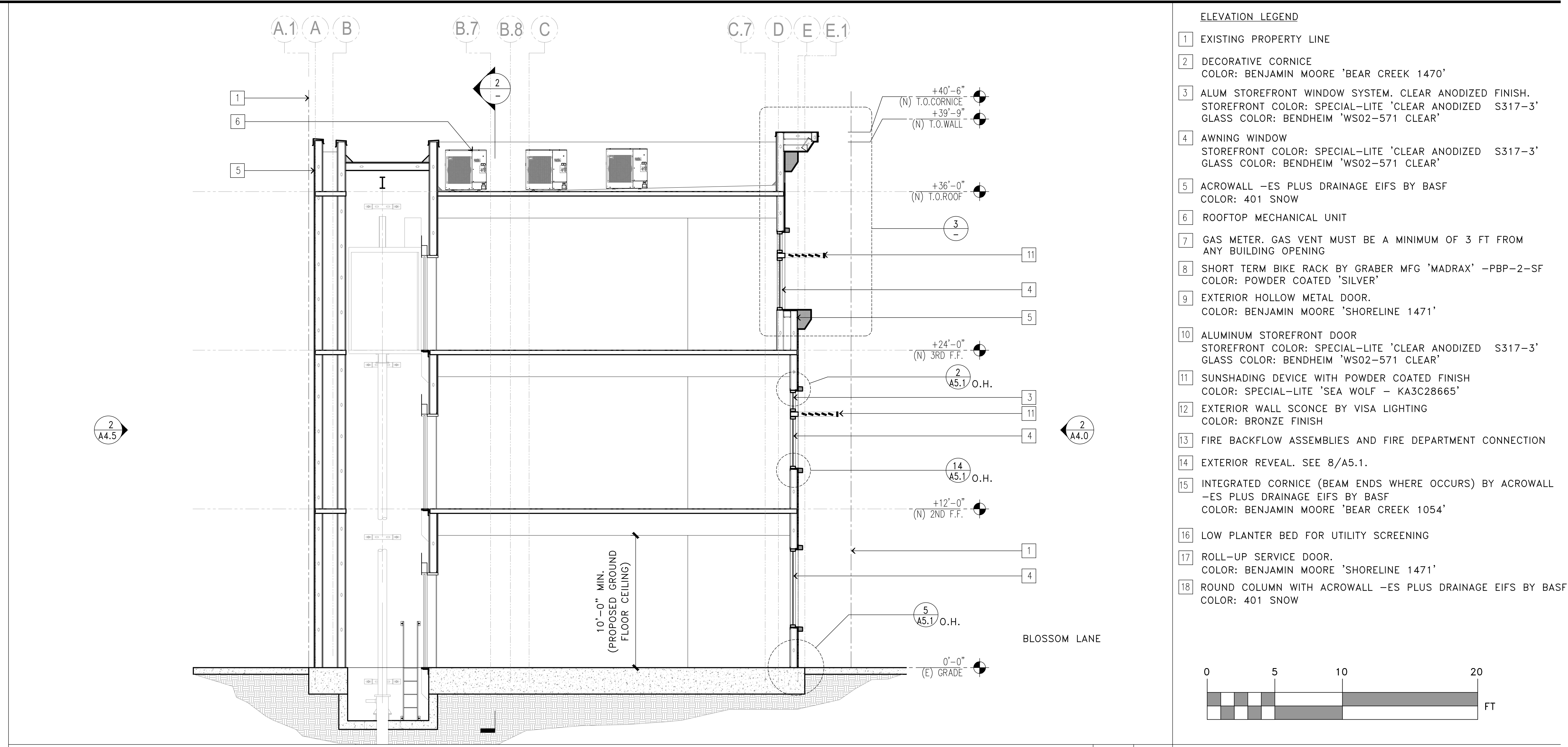
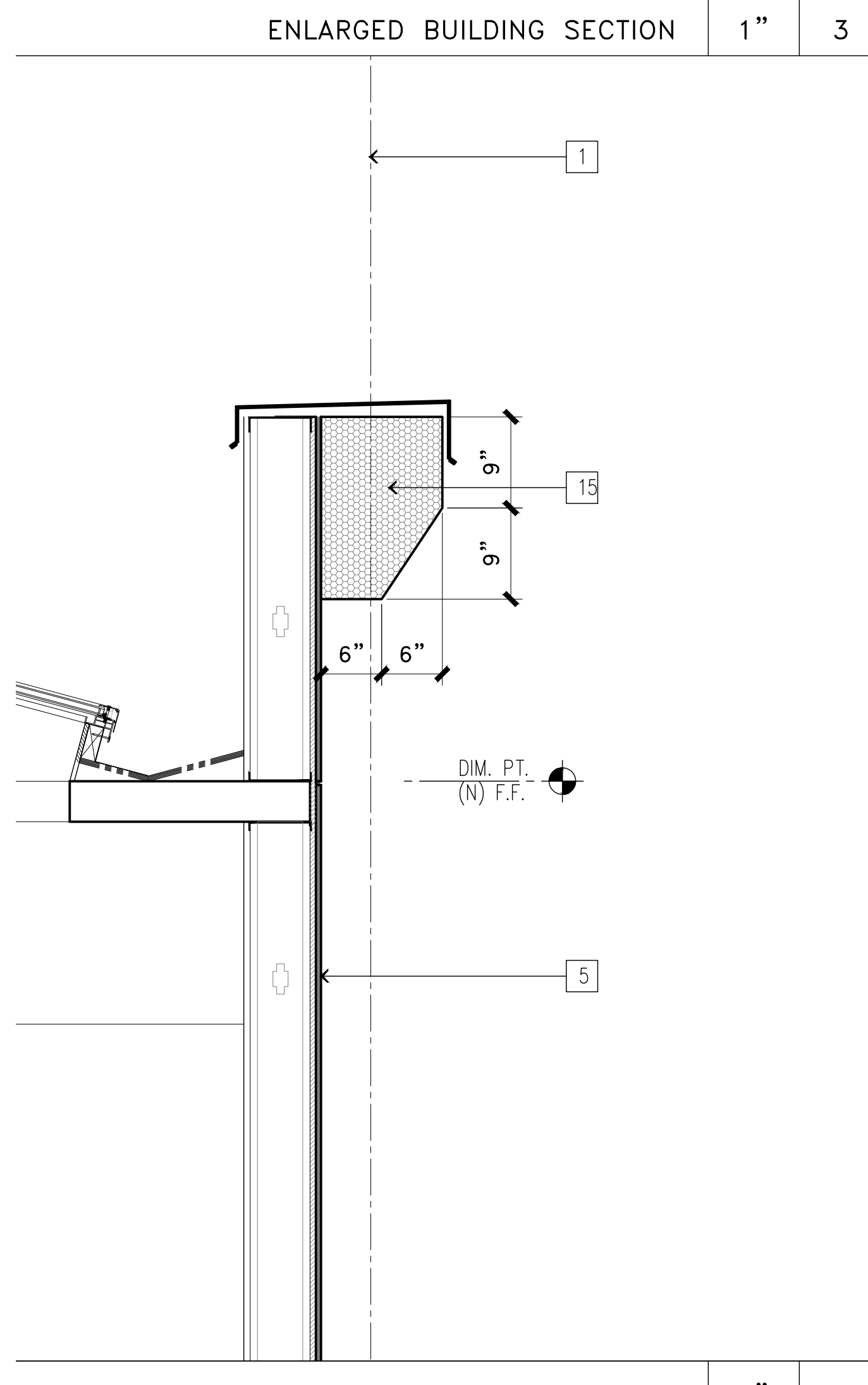
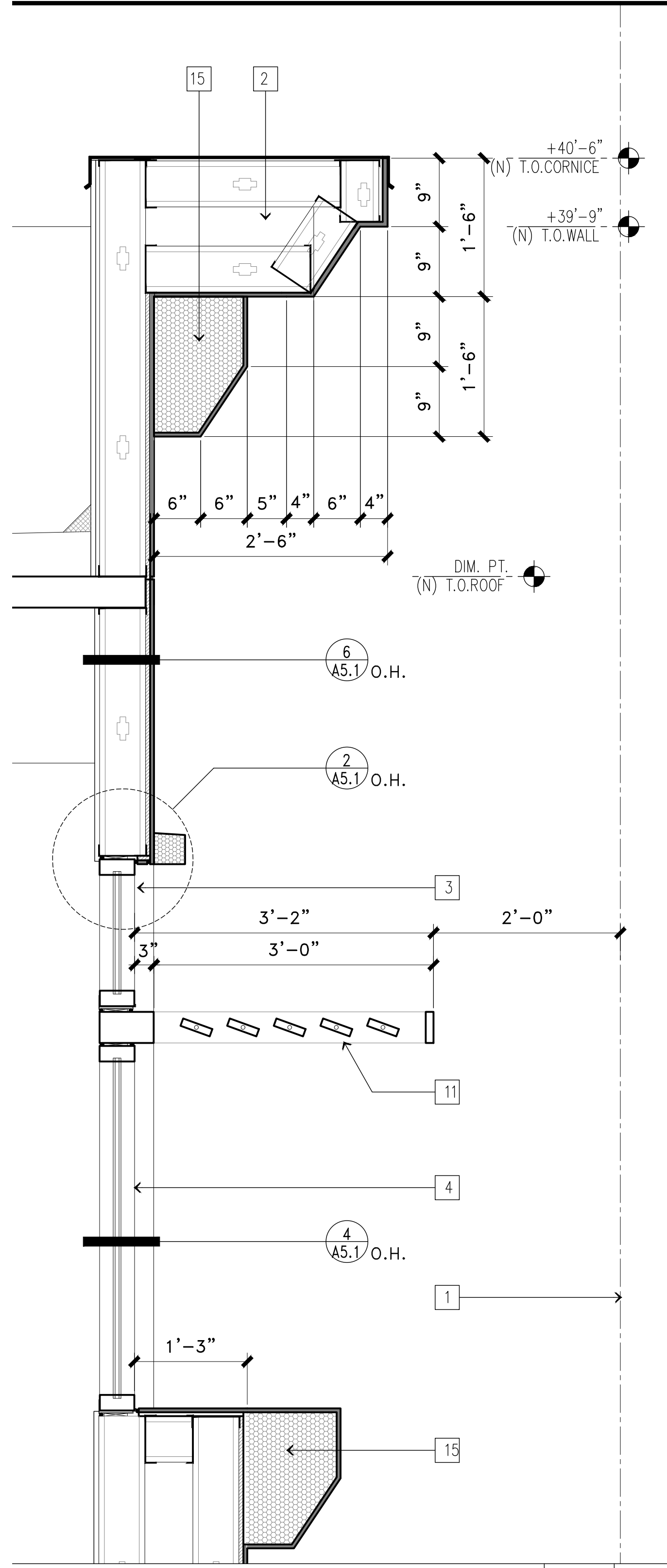
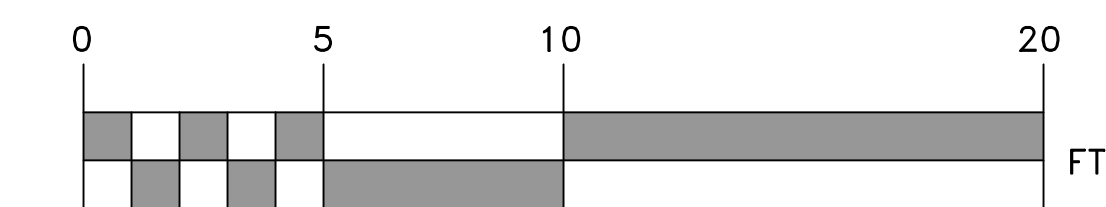


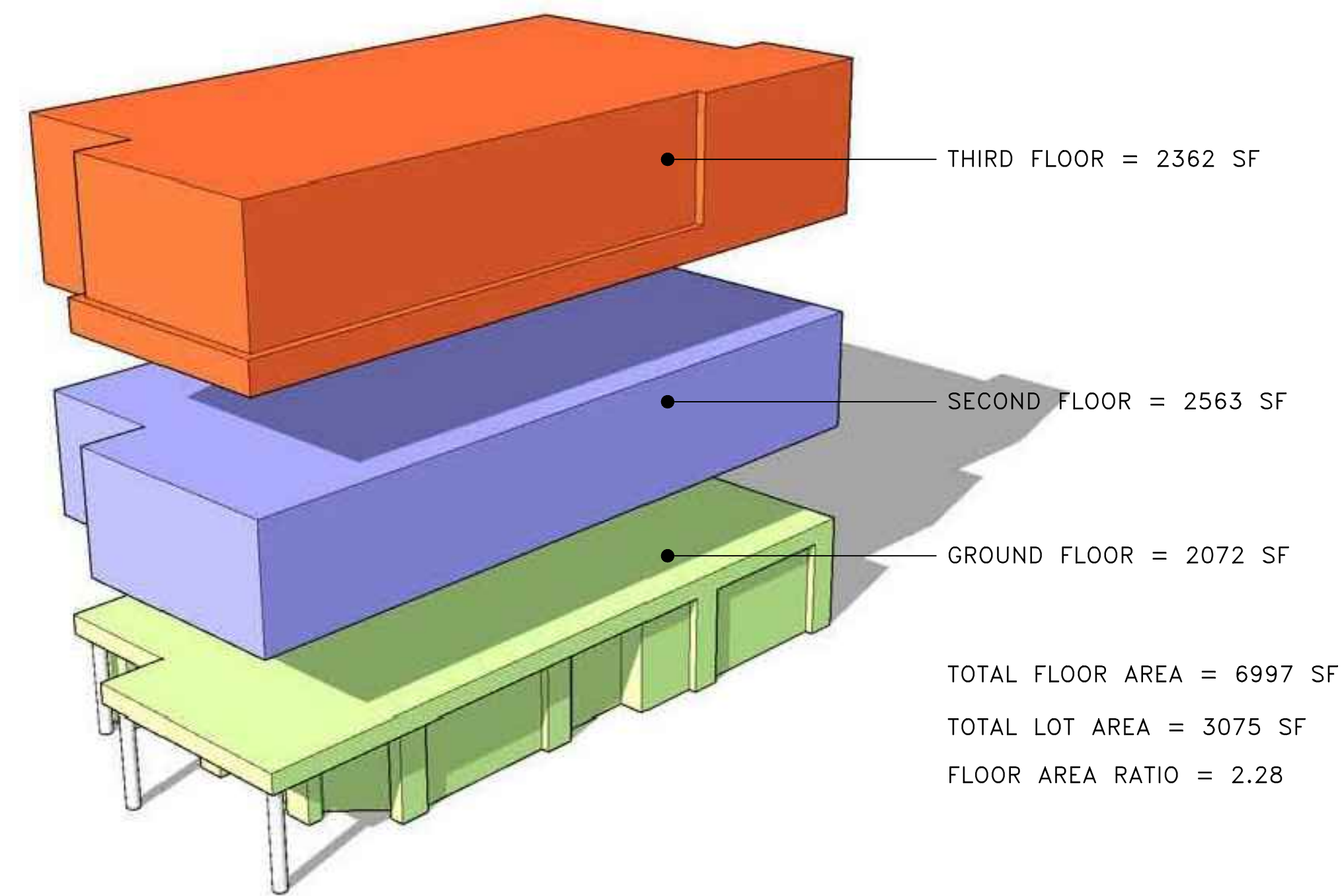
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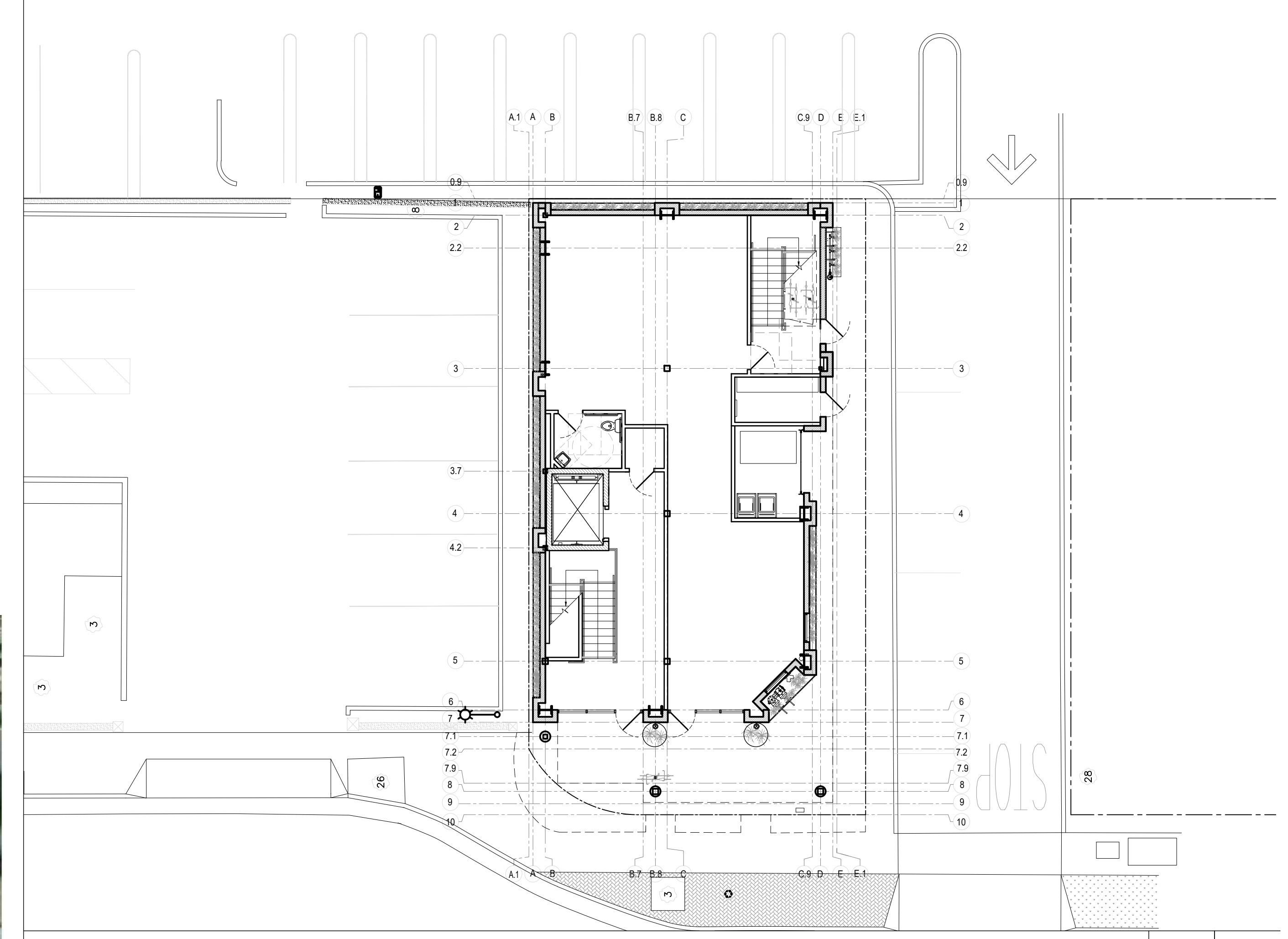
ELEVATION LEGEND

- 1 EXISTING PROPERTY LINE
- 2 DECORATIVE CORNICE
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GLASS COLOR: BENDHEIM 'WS02-571 CLEAR'
- 4 AWNING WINDOW
STOREFRONT COLOR: SPECIAL-LITE 'CLEAR ANODIZED S317-3'
GLASS COLOR: BENDHEIM 'WS02-571 CLEAR'
- 5 ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: 401 SNOW
- 6 ROOFTOP MECHANICAL UNIT
- 7 GAS METER. GAS VENT MUST BE A MINIMUM OF 3 FT FROM ANY BUILDING OPENING
- 8 SHORT TERM BIKE RACK BY GRABER MFG 'MADRAX' -PBP-2-SF
COLOR: POWDER COATED 'SILVER'
- 9 EXTERIOR HOLLOW METAL DOOR.
COLOR: BENJAMIN MOORE 'SHORELINE 1471'
- 10 ALUMINUM STOREFRONT DOOR
STOREFRONT COLOR: SPECIAL-LITE 'CLEAR ANODIZED S317-3'
GLASS COLOR: BENDHEIM 'WS02-571 CLEAR'
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COLOR: BRONZE FINISH
- 13 FIRE BACKFLOW ASSEMBLIES AND FIRE DEPARTMENT CONNECTION
- 14 EXTERIOR REVEAL. SEE 8/A5.1.
- 15 INTEGRATED CORNICE (BEAM ENDS WHERE OCCURS) BY ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: BENJAMIN MOORE 'BEAR CREEK 1054'
- 16 LOW PLANTER BED FOR UTILITY SCREENING
- 17 ROLL-UP SERVICE DOOR.
COLOR: BENJAMIN MOORE 'SHORELINE 1471'
- 18 ROUND COLUMN WITH ACROWALL -ES PLUS DRAINAGE EIFS BY BASF
COLOR: 401 SNOW

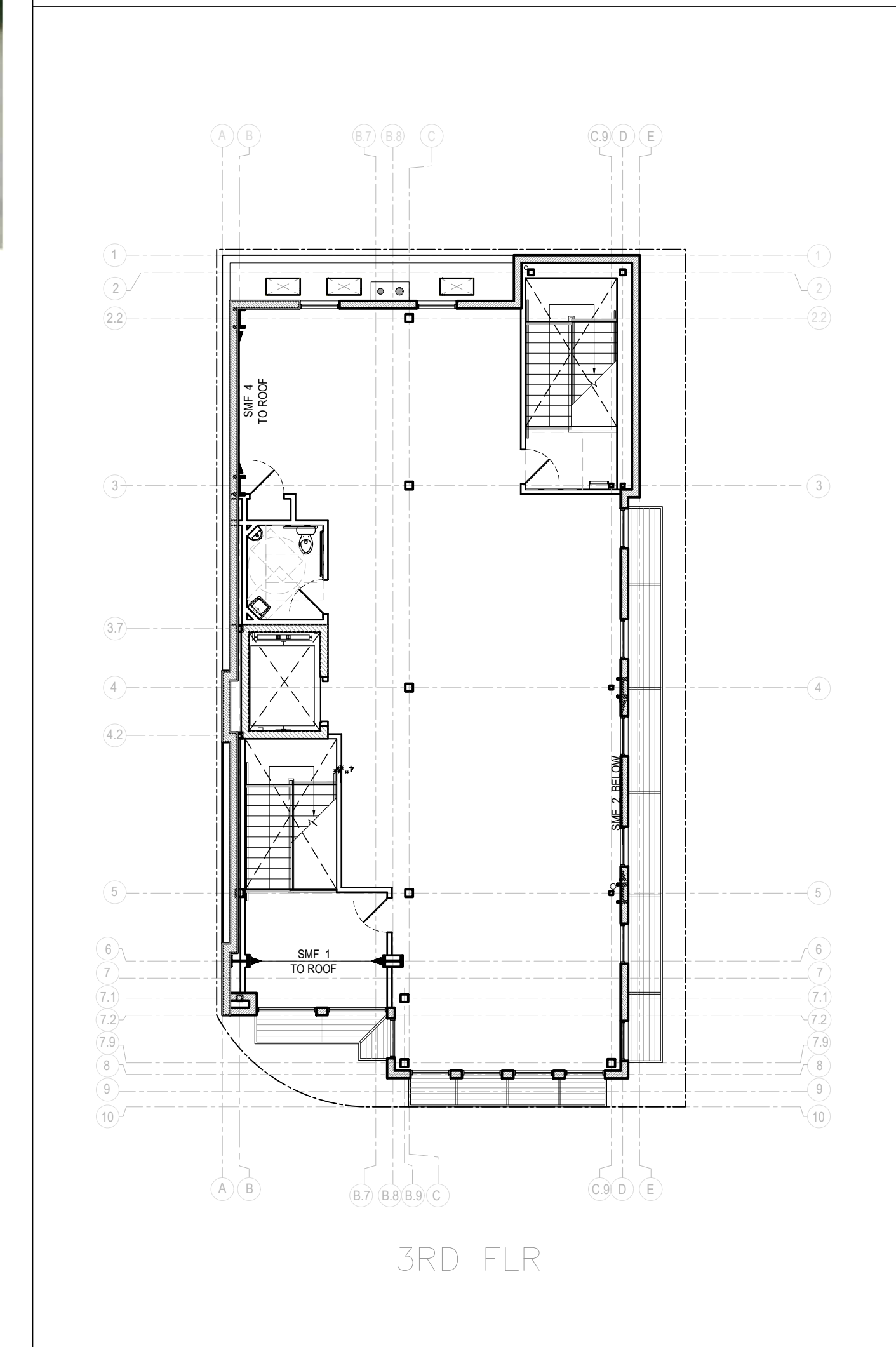




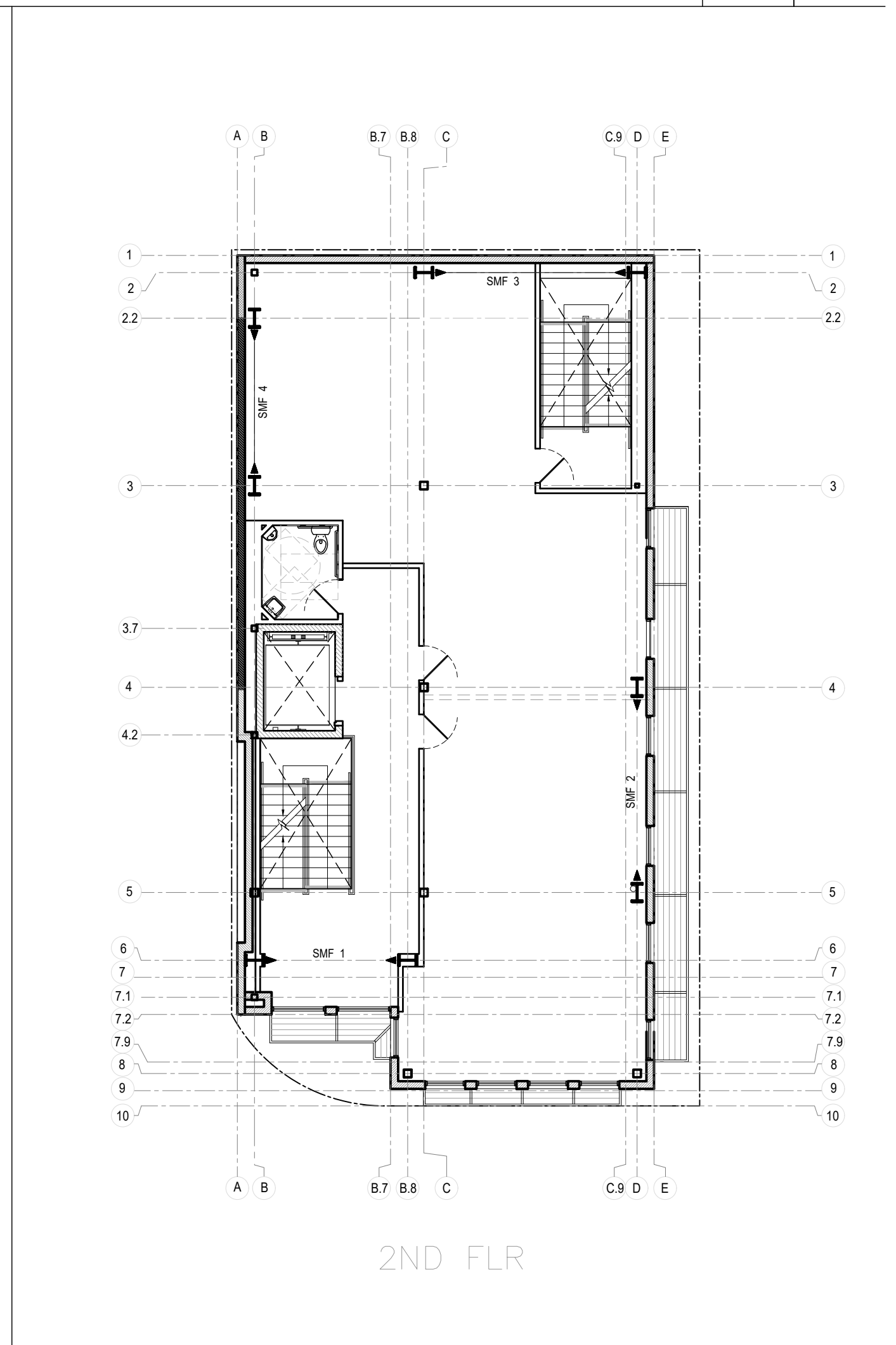
FLOOR AREA DISTRIBUTION DIAGRAM N.S. 4



PROPOSED GROUND FLOOR PLAN 3/32" 1



PROPOSED THIRD FLOOR PLAN 3/32" 3



PROPOSED SECOND FLOOR PLAN 3/32" 2

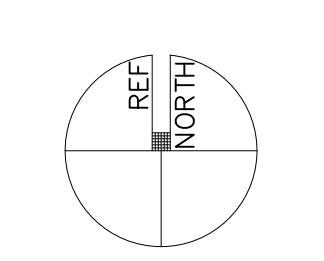


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FLOOR AREA RATIO DIAGRAM



A7.5

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TULBAGHIA CAREX PHORMIUM EUONYMUS NANDINA HARDENBERGIA TRACHELOSPERUM

PLANT LEGEND AND NOTES

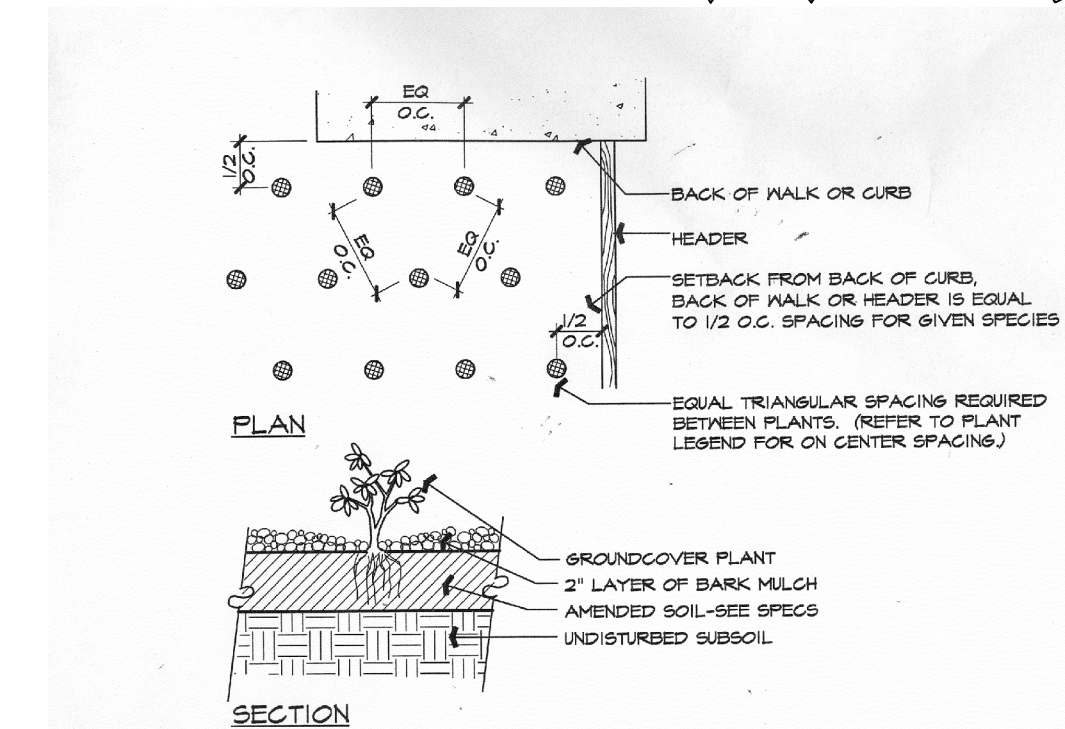
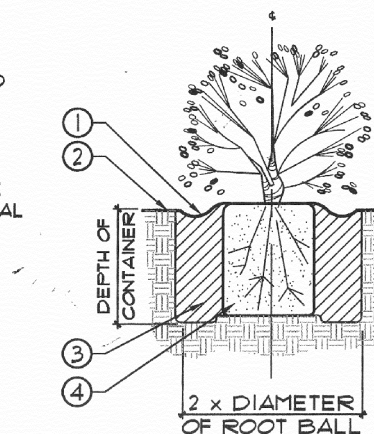
Symbol	Species	Size	Number	Water	WUCOLS	
	Tulbaghia violacea @ 24" oc	1 gallon	15	low	3	
	Carex divisa/ Berkeley Sedge @ 36" oc	1 gallon	10	low	3	
A	Phormium Tiny Tiger/Flax	5 gallon	3	low	3	
B	Nandina Harbor Dwarf	5 gallon	5	low	3	
C	Euonymus microphyllus variegata	5 gallon	7	low	3	
	D	Hardenbergia Happy Wanderer trained into trellis at building wall	5 gallon	9	low	3
E	Trachelosperum jasminoides/ Star Jasmine trained into trellis at building wall	5 gallon	4	med	5	

- Existing landscape as noted to remain.
- Soil to be thoroughly prepared prior to planting. This shall include incorporating 4cu of compost, 6" deep, per 1000 sf of native soil. Backfill planters with a mix of site and imported top soil.
- Spread 3" of wood chip mulch at all planting areas. Submit sample for approval. Shredded bark will not be approved.
- Maintenance for the life of the landscaping is required. This shall consist of regular watering, pruning, fertilization, cleaning of debris and weeds, removal and replacement of dead plants, and repair and replacement of irrigation system.

Total area of new on site planting = 160 sf
Total streetscape area planting = 195 sf

- NOTES:
1. CROWN OF ROOTBALL TO BE 1/2" ABOVE FINISH GRADE.
2. FOR ADDITIONAL INFORMATION REFER TO PLANTING NOTES AND SPECIFICATIONS.

- A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE
- FINISH GRADE
- BACKFILL IN ACCORDANCE WITH PROJECT AGRICULTURAL SUITABILITY SOILS REPORT
- ROOTBALL



A SHRUB PLANTING
NO SCALE

B GROUNDCOVER PLANTING
NO SCALE

GENERAL NOTES

- See architectural plans for any additional details, including planter and paving selection.
- See architectural site plan for site distance diagram.
- See irrigation plan, sheet L 2, for placement of backflow preventer.
- See civil plans for electrical utilities and equipment.
- See architectural site plan for striping of parking lot.
- See architectural site plan for anything to do with canopy coverage.
- The proposed planting design and plant selection is towards water conservation. Based on the area of proposed planting (under 500 sf) this project does not need to formally meet the criteria of the WELO.

APN 158-23-031
CITY OF MOUNTAIN VIEW

APN 158-23-034
383 CASTRO STREET

9/ D INSIDE PLANTERS

4/ E INSIDE PLANTERS

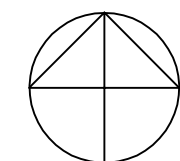
EXISTING LANDSCAPE TO REMAIN

7/ C INSIDE PLANTER

2/ B GROUNDLEVEL PLANTER

EXISTING MAPLE STREET TREE TO REMAIN

REMOVE EXISTING LANDSCAPE



MASTER PLANTING PLAN

1/8" = 1'-0"

W. Jeffrey Heid
Landscape Architect
C-2235

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- REVISED 2/ 5/ 18
REVISED 9/ 5/ 18
REVISED 10/ 24/ 18
REVISED 1/ 10/ 19
REVISED 1/ 22/ 19
REVISED 2/ 16/ 19
REVISED 7/ 12/ 19
REVISED 7/ 24/ 19
REVISED 4/ 17/ 20
REVISED 7/ 30/ 21



3-STORY BUILDING

for:
HUY DO MS DDS
756 CALIFORNIA STREET
MOUNTAIN VIEW, CA. 94041

MASTER PLANTING PLAN

date: 1/ 31/ 18
scale: NOTED
drawn by: W.J.H.
job no. 2180
sheet

of 3 sheets