

CITY OF MOUNTAIN VIEW
RESOLUTION NO.
SERIES 2023

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MOUNTAIN VIEW APPROVING A VESTING TENTATIVE MAP TO CREATE 58 NEW PARCELS, INCLUDING 27 PARCELS FOR RESIDENTIAL BUILDINGS WITH UP TO 7,000 RESIDENTIAL CONDOMINIUM UNITS, 360 COMMERCIAL CONDOMINIUM UNITS, AND 526 VERTICAL SUBDIVISION LOTS IN A 153-ACRE MASTER PLAN AREA GENERALLY LOCATED NORTH OF U.S. 101 BOUNDED BY CHARLESTON ROAD TO THE NORTH, STEVENS CREEK TO THE EAST, SPACE PARK WAY TO THE SOUTH, AND HUFF AVENUE TO THE WEST, ON PORTIONS OF THE GATEWAY MASTER PLAN AREA LOCATED AT THE NORTHWEST CORNER OF SHORELINE BOULEVARD AND THE U.S. 101 NORTHBOUND ON-RAMP, AND SIX PARCELS BETWEEN SAN ANTONIO ROAD AND MARINE WAY IN THE P(39) (NORTH BAYSHORE) PRECISE PLAN, AND ON A PORTION OF THE SHORELINE AMPHITHEATRE PARCEL NORTH OF AMPHITHEATRE PARKWAY OUTSIDE THE NORTH BAYSHORE PRECISE PLAN AREA

WHEREAS, an application (Application No. PL-2022-052) was received from Google LLC for a Vesting Tentative Map to create 58 new parcels, including 27 parcels for residential buildings with up to 7,000 residential condominium units, 360 commercial condominium units, and 526 vertical subdivision lots in a 153-acre North Bayshore Master Plan area; and

WHEREAS, the Environmental Planning Commission held a duly noticed public hearing on May 3, 2023 on said application and recommended the City Council approve the Vesting Tentative Subdivision Map subject to the findings and conditions of approval attached hereto as Exhibit A; and

WHEREAS, the City Council held a public hearing on _____ on said application and received and considered all information and evidence presented at said hearing, including the attached recommendation from the Environmental Planning Commission, the City Council report, and project materials; now, therefore, be it

RESOLVED: that, pursuant to the Subdivision Map Act and the Mountain View City Code, the City Council of the City of Mountain View finds:

1. A Subsequent Environmental Impact Report (SEIR) was prepared for the project in conformance with the California Environmental Quality Act (CEQA), which the City Council by separate resolution certified and adopted required CEQA findings, including a statement of overriding considerations in relation to the project's significant and unavoidable environmental impacts. Analysis in the SEIR determined there are certain significant effects on the environment that would result from implementation of the proposed project, and the identified mitigation measures which, when implemented, will substantially lessen or avoid the significant effects on

the environment caused by the proposed project, with the exception of the significant unavoidable air quality impacts and greenhouse gas emission impacts for which no additional mitigations are feasible to reduce to a less-than-significant level.

2. Pursuant to Section 66473.5 and Subsections (a) and (b) of Section 66474 of the Government Code, and Section 28.2 of the Mountain View City Code, the proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan and North Bayshore Precise Plan, including the applicable Land Use Designation of North Bayshore Mixed-Use and High-Intensity Office of the City, including all required elements therein applicable to said property.

3. Pursuant to California Government Code Section 65864, *et seq.*, and City Code Sections 36.54 to 36.54.40, the developer has requested a Development Agreement (DA) to implement the North Bayshore Master Plan, which includes this Subdivision Map, and which the City Council will concurrently review and consider under a separate ordinance. If adopted by the City Council, the DA includes terms which relate to the vested rights under this Vesting Tentative Map; and be it

FURTHER RESOLVED: that the Vesting Tentative Map is hereby approved subject to the subdivider's compliance with and fulfillment of all of the conditions of approval, which are attached hereto and incorporated herein by reference.

TIME FOR JUDICIAL REVIEW:

The time within which judicial review of this decision must be sought is governed by California Code of Civil Procedure, Section 1094.6, as established by Resolution No. 13850, adopted by the City Council on August 9, 1983.

DP/6/RESO
807-05-03-23r-1

- Exhibits: A. Subdivision Conditions of Approval
B. Vesting Tentative Map

SUBDIVISION CONDITIONS
APPLICATION NO.: PL-2022-052
NORTH BAYSHORE MASTER PLAN

1. **RESIDENTIAL ALLOCATION:** Record a covenant, in a form acceptable to the City Attorney’s Office, against all properties within the Master Plan that runs with the land for the benefit of property owners, their successors and assigns, and the City that sets forth the total available residential allocation within the Master Plan area.

Concurrent with the recordation of each final map that includes residential uses, record a covenant, in a form acceptable to the City Attorney’s Office, against the properties within the final map area that runs with the land for the benefit of property owners, their successors and assigns, and the City of Mountain View that sets forth the total number of residential condominiums within the final map area and the residential allocation remaining within the Master Plan area.

2. **PROPOSED LOT DATA:** The proposed lot data table shown on Sheet 1 of the Vesting Tentative Map shall include the information indicated in the “Proposed Vertical Airspace Parcels” and “Proposed Residential Condo Units” columns shown in the Table “NBS Proposed Airspace Parcellation & Residential Condominium Table” on Page 43 (43 of 77) of the Vesting Tentative Map entitlement package. This condition supersedes the information shown on the Vesting Tentative Map submittal.
3. **PHASED FINAL MAPS:** Multiple final maps may be filed prior to the expiration of the Vesting Tentative Map. Subdivision Conditions of Approval must be satisfied for the scope of work associated with the submitted map or as listed in the associated subsequent zoning permit. For example, public improvements shall be satisfied for the parcels shown on the applicable final map and improvements outlined in the subdivision conditions of approval for the development phase. Additionally, fees shall be paid based on the buildings and improvements entitled on the parcels included on the applicable final map.
4. **MAP SUBMITTAL:** File a final map for approval and recordation in accordance with the City Code and the California Subdivision Map Act prior to the issuance of any building permit for the property(ies) within the subdivision. All existing and proposed easements are to be shown on the map. Submit two black-line and electronic PDF copies of the map to the Public Works Department for review together with all items on the Map Checklist handout concurrent with the submission of the Off-Site Improvement Plans).
5. **SOILS REPORT:** Soils and geotechnical reports prepared for the subdivision shall be indicated on a final map. Submit a copy of the report with the first submittal of a final map.

As required by the State Seismic Hazards Mapping Act, a project site-specific geotechnical investigation shall be conducted by a registered soils/geologist identifying any seismic hazards and recommending mitigation measures to be taken by the project. The applicant’s registered soils engineer/geologist shall certify the project complies with the requirements of the State Seismic Hazards Mapping Act. Indicate the location (Page No.) within the geotechnical report of where this certification is located or provide a separate letter stating such.

6. **MAP DOCUMENTS:** Prior to the approval and recordation of the map, submit a subdivision guarantee, Santa Clara County Tax Collector’s letter regarding unpaid taxes or assessments, and subdivision security if there are unpaid taxes or special assessments.
7. **FINAL MAP APPROVAL:** A final map shall be signed and notarized by the owner and engineer/surveyor and submitted as an electronic PDF to the Public Works Department. In order to place the approval of a final map on the public hearing agenda for the City Council, all related materials and agreements must be completed, signed, and received by the Public Works Department 40 calendar days prior to the Council meeting date. After City Council approval, the City Engineer will sign the map. The applicant’s title company shall have the Santa Clara County Recorder’s Office record the original and shall provide a Xerox Mylar copy of the map to be endorsed by the Santa Clara County Recorder’s Office. The endorsed Xerox Mylar copy and an electronic PDF shall be returned within one week after recording the map to the Public Works Department.

8. **PARK LAND DEDICATION ACREAGE:** The maximum development program in the Master Plan requires a park land dedication of 35.7 acres, based on 5,950 market-rate residential units at a required acreage per density of 0.006. To meet this obligation, the applicant shall: (i) obtain park land credit for a privately owned, publicly accessible (POPA) open space per Condition of Approval No. 11; or (ii) dedicate land to the City for park and recreational purposes prior to building permit issuance and prior to the approval of the final map for each development phase as listed below:

| Development Phase | Referenced Name/Parcel | Size in Square Feet (sf) (Acreage) |
|-------------------|-------------------------------------|------------------------------------|
| Phase 1 | Greenway Park West (VTM Lot SB 6) | 79,907 sf (1.8 acres) |
| Phase 1 | The Portal (VTM Lot JN 14) | 32,478 sf (0.7 acre) |
| Phase 2 | Shorebird Square (VTM Lot SB 18) | 13,324 sf (0.3 acre) |
| Phase 2 | EcoGem (VTM Lot SB 26) | 468,552 sf (10.8 acres) |
| Phase 2 | Shorebird Wilds (VTM Lot SB 9) | 194,815 sf (4.5 acres) |
| Phase 3 | Greenway Park East (VTM Lot SB 8) | 28,275 sf (0.6 acre) |
| Phase 4 | Joaquin Grove (VTM Lot JN 11) | 61,558 sf (1.4 acres) |
| Phase 5 | Joaquin Commons (VTM Lot JN 16) | 111,025 sf (2.5 acres) |
| Phase 7 | Joaquin Terrace East (VTM Lot JN 3) | 55,952 sf (1.3 acres) |
| Phase 7 | Joaquin Terrace West (VTM Lot JN 2) | 39,256 sf (0.9 acres) |
| Phase 8 | Gateway Plaza (VTM Lot JS 9) | 39,466 sf (0.9 acres) |
| Phase 8 | Shoreline Square (VTM Lot JS 5) | 14,127 sf (0.3 acres) |
| TOTAL | | 1,138,735 sf (26.1 acres) |

9. **PARK LAND DEDICATION PROCESS:** Dedicate and convey in fee a total of 1,145,688 square feet (approximately 26.3 acres) of public park land in accordance with Chapter 41 of the City Code. Due to the infill nature of the phased development, the Master Plan will not fully meet park land requirements per development phase through land dedication and will be required to satisfy an interim obligation of equivalent compliance, as follows: (i) the applicant shall submit a letter of credit to the City for the deficiency in park land in equal value to the Park Land Dedication In-Lieu Fee in each phase of development; and (ii) the applicant shall ensure that the letter of credit remains in full force and effect throughout the period that the project is subject to the interim obligation, unless other means to satisfy the interim obligation are met as provided below. The Park Land Dedication In-Lieu Fee (or letter of credit amount) is subject to the fee noted in Subsection b. below and must be provided to the City prior to issuance of the building permit generating the associated park land requirement. The City shall retain that letter of credit until such time the obligation is met or is adjusted with reissued letter of credit, based on incremental land dedication provided per developer phase; or (iii) the applicant shall provide an irrevocable offer of land dedication for park land in an earlier phase of development as an interim obligation until such time the land can be dedicated to the City. Park land dedications shall follow the City's land dedication/conveyance requirements, Procedure 15.
- a. **Dedication Timing:** Each parcel for dedication of park land is to be conveyed in each development phase consistent with this condition, Project Condition No. 8, and, with approval of the Development Agreement (DA), in accordance with the DA provisions and Exhibit G of the DA.

- b. **Park Land Dedication In-Lieu Fee (Letter of Credit amount):** When necessary for interim compliance, the applicant shall pay the applicable portion of the Park Land Dedication In-Lieu Fee (Park Fee) with a letter of credit, based on the number of net new market rate residential units included in the applicable building permit. The total Park Fee is based on 5,950 market-rate units currently at \$70,200 for each net new market-rate residential unit with a project total fee of \$112,320,000 based on a land valuation of \$11.7 million per acre and a required acreage per density of \$268.6/sf in accordance with Chapter 41 of the City Code. The letter of credit is required to be provided to the City prior to issuance of the building permit generating the associated park land requirement. With approval of a Development Agreement, this fee is subject to the provisions of the DA in Exhibit I thereto and other applicable sections.
 - c. **Required Site Preparation and Remediation:** All site preparation and remediation activities for the land to be dedicated must occur in accordance with the City’s land dedication/conveyance requirements. Any demolition or building permit that is necessary for any site preparation requirements as part of the City’s land dedication/conveyance requirements can be issued at any time. In addition, any land dedicated to the City shall be clear of any easements. Any existing easements within dedicated City land shall be vacated/quitclaimed at no cost to the City prior to issuance of a building permit.
10. **CITY LAND DEDICATION/CONVEYANCE REQUIREMENTS:** For any land to be conveyed to the City, the following process is required for the City to accept the land parcel(s):
- a. **Required Site Preparation:** The applicant shall complete the following activities prior to City issuance of the building permit for the project:
 - (1) **Complete Remediation.** If site clean-up actions are required to complete remediation, the applicant shall complete the required remediation to the satisfaction of the oversight agency or the City, as applicable. If building design measures are required to complete remediation, the applicant shall determine the extent of remediation that is reasonably required for that building design, along with a cost estimate based on the remediation required, in order to ensure that there is no unacceptable risk to human health or the environment, which was verified by the Community Development Director and/or Public Works Director (“Director”) during zoning permit review. The applicant shall pay the cost estimate to the City.
 - (2) **Site Construction/Infrastructure.** The applicant shall ensure that the dedicated parcel is “development-ready” by removing all existing structures, landscaping, and improvements on-site, including existing utilities, and finish the site to a rough-grade finish, graded toward the public street, and the topsoil stabilized. The parcel must be clear of all debris and clear of any easements.
 - (a) For land dedicated for park development, the applicant shall provide utility stubs to the property line and install all frontage improvements along the public street(s).
 - (b) For land dedicated for residential development, the applicant shall provide all infrastructure necessary to serve the units to the property line from the public street, including sewer, utilities, water, electricity, street access, and all frontage improvements on the dedicated parcel(s).

Any “development-ready” work will require a separate demolition permit for on-site work if: (1) it is completed earlier than prescribed herein; or (2) it is not included on the building permit plans for a given development phase. All work in the public right-of-way will require an excavation permit.
 - b. **Indemnity Agreement:** The applicant shall execute an agreement with the City to protect, defend, indemnify, and hold harmless the City and the City’s directors, officers, employees, and agents from and against any environmental liability related to any hazardous substances arising from or caused by acts of the applicant or the applicant’s agents or contractors (collectively referred to as the “applicant” herein) at the property and any and all claims, demands, judgments, settlements, damages, actions, causes of action, injuries, administrative orders, consent agreements and orders, liabilities, losses, penalties, and costs related to hazardous substances or contamination arising from or caused

by acts of the applicant, including, but not limited to, any clean-up costs, remediation costs, and response costs, and all expenses of any kind whatsoever, including reasonable attorneys' fees and expenses, including, but not limited to, those arising out of loss of life caused by, or arising from, acts of the applicant; injury to persons, property, or business caused by, or arising from, acts of the applicant; or damage to natural resources in connection with the activities of applicant, the foregoing being collectively referred to as "claims," which:

- (1) Arise out of the actual, alleged, or threatened mitigation, spill, leaching, pouring, emptying, injection, discharge, dispersal, release, storage, treatment, generation, or disposal or escape of any hazardous substances onto or from the premises;
- (2) Actually or allegedly arise out of or in connection with the premises, the use, specification, or inclusion of any product, material, or process containing hazardous substances, the failure to detect the existence or proportion of hazardous substances in the soil, air, surface water, or groundwater, or the performance of or failure to perform the abatement of any hazardous substances source or the replacement or removal of any soil, water, surface water, or groundwater containing any hazardous substances;
- (3) Arise out of the breach of any covenant, warranty, or representation by the applicant contained in any statement or other information given by the applicant to the City in connection with environmental matters; or
- (4) Arise out of any enforcement or remedial action or any judicial or administrative action brought pursuant to any environmental law.

The applicant and the applicant's successors and assigns shall bear, pay, and discharge, when and as the same become due and payable, any and all such judgments or claims for damages, penalties, or otherwise against City, as provided in this section; shall hold the City harmless for those judgments or claims; and shall assume the burden and expense of defending all suits, administrative proceedings, and negotiations of any description with any and all persons, political subdivisions, or government agencies.

c. **Land Transfer:** The applicant shall offer the fee interest parcel(s) in dedication to the City on the face of a phased final map. Prior to conveying the land to the City, the applicant shall provide a preliminary title report and a grant deed, each subject to City approval. For dedicated parcels for residential development only, conveyance shall be accepted through escrow with a title company that the applicant and City mutually and jointly instruct.

11. **PARK LAND CREDIT—PRIVATELY OWNED, PUBLICLY ACCESSIBLE (POPA) OPEN SPACE, ALTERNATE PROPOSAL:** Per Chapter 41 of the City Code, this project has been approved with a credit toward the park land requirements of the Master Plan development. Specifically, the approval includes a 100% credit on the value of the land dedication, or Park Land Dedication In-Lieu Fee, for providing up to an 11.3-acre privately owned, publicly accessible (POPA) open space alternate proposal, consistent with the term and maintenance requirements per Section 41.11.a.3, the alternate proposal objectives of Section 41.11.a.2.b, and the general requirements in Subsection 41.11.a.2.a of the City Code. The conceptual POPA design is included in the approved Master Plan to be further refined through subsequent zoning permits for each phase of development adjacent to the POPA (Phases 1, 2, 3, 4, and 7). Credit for the resulting POPA design will be issued with verification of design compliance with each subsequent zoning permit and upon construction completion per Subdivision Condition No. 12.

Minor modifications to the approved POPA plans for construction, such as adjusts to element location, dimensional area, specifications, and/or site modifications to comply with Building and Fire Codes, can be approved by the Community Services Director and/or Community Development Director. All other modifications are considered major modifications and must be approved by the City Council at a duly noticed public hearing.

12. **PARK LAND CREDIT—POPA PUBLIC ACCESS COVENANT, AGREEMENT, AND DEED RESTRICTIONS (POPA AGREEMENT):** The applicant shall execute a Public Access Covenant, Agreement, and Deed Restrictions with the City for the privately owned, publicly accessible open space shown on the Vesting Tentative Map ("POPA Open Space"), which: (a) provides the POPA Open Space as accessible to the public for passive and active recreational use in alignment with City park hours; (b) allows extended hours for public passive and active recreational use in the plaza portion of the POPA Open Space until 9:00 p.m. on weekdays

and 10:00 p.m. on weekends;); (d) describes the owner’s maintenance responsibilities; (e) sets forth procedures for future modifications or upgrades to the POPA Open Space; and (f) provides compliance requirements. The POPA Agreement shall be in a form acceptable to the City Attorney, recorded, and run with the land. The recorded document shall provide indemnification of the City for liabilities arising out of activities of the land and use of the POPA Open Space, except to the extent attributable to the gross negligence or willful misconduct of the City. All documentation for the POPA Agreement shall be submitted to the Planning Division at initial building permit submittal for the first phase of development that includes the POPA Open Space. The POPA Agreement must be executed prior to issuance of a building permit and/or final map for that first development phase with the POPA Open Space and will become effective upon construction completion of the POPA Open Space.

13. **STREET DEDICATION (STREET WIDTHS):** Dedicate a public street easement on the face of the final map to widen or create the public streets as noted below to meet minimum required full-street build-out widths, as required by the Public Works Director and consistent with the North Bayshore Precise Plan:

| Public Street | Existing ROW Width | Additional Width Required | Total ROW Build-Out Width |
|--|---------------------------|----------------------------------|----------------------------------|
| Marine Way (half-street) (between Casey Avenue and Garcia Avenue) | 70' | 3' | 76' ⁱ |
| Casey Avenue (half-street) (between North San Antonio Road and Marine Way) | 70' | 3' | 76' ⁱ |
| North San Antonio Road (half-street) (between Bayshore Parkway and Casey Avenue) | 60' | 16' | 76' |
| Bayshore Parkway (half-street) (between Garcia Avenue and North San Antonio Road) | 45' | 5' | 50' |
| Charleston Road (half-street) (between Huff Avenue and Joaquin Road) | 56' | 52' (varies) | 108' (varies) |
| Charleston Road (half-street) (between Joaquin Road and North Shoreline Boulevard) | 56' (varies) | 22' (varies) | 78' |
| Charleston Road (half-street) (between North Shoreline Boulevard and Inigo Way) | 70' (varies) | 14' (varies) | 84' |
| Charleston Road (fronting Eco Gem) | 70' | 0' | 70' |
| North Shoreline Boulevard (north of Plymouth Street) | 105' (varies) | 28' (varies) | 130'-140' (varies) |
| North Shoreline Boulevard (south of Plymouth Street/Space Park Way) | 97' (varies) | 43' (varies) | 140' (varies) |

ⁱ Additional 3' to be dedicated on the opposite side of the street by other property owners.

| | | | |
|---|------------|--------------|--------------|
| Shorebird Way (between North Shoreline Boulevard and Manzanita Street) | 60' | 16' | 76' |
| Shorebird Way (between Manzanita Street and Inigo Way) | 60' | 16' | 70' |
| Shorebird Way (between Inigo Way and west of 1201 Charleston Road) | 60' | 7' | 67' |
| Shorebird Way (between west of 1201 Charleston Road and Black Street) | New Street | 67' | 67' |
| Joaquin Road (between Charleston Road and Plymouth Street) | 20' | 60' | 80' |
| Huff Avenue (half-street) (between Charleston Road and Plymouth Street) | 20' | 53' | 73' |
| Inigo Way (between Charleston Road and Space Park Way) | New Street | 80' | 80' |
| Space Park Way (between Manzanita Street and Inigo Way) | 70' | 15' (varies) | 80' |
| Space Park Way (between North Shoreline Boulevard and Manzanita Street) | 60' | 20' (varies) | 80' |
| Plymouth Street (between Huff Avenue and Joaquin Road) | 20' | 60' | 80' |
| Plymouth Street (between Joaquin Road and North Shoreline Boulevard) | 20' | 66' (varies) | 89' (varies) |
| Monarch Street (between Huff Avenue and North Shoreline Boulevard, and between Manzanita Street and Black Street) | New Street | 66' | 66' |
| Manzanita Street (between Space Park Way and Shorebird Way) | New Street | 66' | 66' |
| Black Street (between Monarch Street and Shorebird Way) | New Street | 66' | 66' |
| Main Street | New Street | 58' | 58' |
| B Street | New Street | 78' | 78' |

| | | | |
|------------------------|------------|-----|-------------------|
| C Street (half-street) | New Street | 58' | 62' ⁱⁱ |
|------------------------|------------|-----|-------------------|

14. **STREET DEDICATION (CHARLESTON ROAD-INIGO WAY ROUNDABOUT):** Dedicate a public street easement for a roundabout at the Charleston Road-Inigo Way intersection as shown on Page 81 of the North Bayshore Master Plan entitlement document. The proposed design shown on entitlement documents has not been evaluated, and the required street dedication is dependent on the final details of the roundabout design and dimensions, which shall accommodate large vehicles, including, but not limited to, shuttles, emergency vehicles, and waste-collection vehicles. In addition, the roundabout design and dimensions are to be determined as part of the development of the adjacent private properties and included in subsequent City zoning permits for the associated development phase. Any additional street right-of-way required on the applicant's lands to accommodate the improvements shall be at no cost to the City.
15. **STREET DEDICATION (CHARLESTON ROAD EVA TURNAROUND):** Dedicate a public street easement for an emergency vehicle turnaround at the eastern terminus of Charleston Road as shown on Page 83 of the North Bayshore Master Plan entitlement document. The EVA turnaround shall have a minimum radius of 50' to satisfy emergency vehicle truck turning and City standards as required by the Public Works Director. The design and dimensions shall be determined as part of the development of the adjacent private properties and included in corresponding zoning permit applications. Any additional street right-of-way required on the applicant's lands to accommodate the improvements shall be at no cost to the City.
16. **STREET DEDICATION (MARINE WAY AND CASEY AVENUE):** Dedicate a public street easement to widen Marine Way and Casey Avenue 3' from the centerline of the street, as required by the Public Works Director. Marine Way and Casey Avenue are access streets and shall be designed and dimensioned consistent with North Bayshore Precise Plan standards.
17. **STREET DEDICATION (NORTH SAN ANTONIO ROAD):** Dedicate a public street easement to widen North San Antonio Road 16' from the centerline of the street where it fronts the new development, as required by the Public Works Director. North San Antonio Road is an Access Street and shall be designed and dimensioned consistent with North Bayshore Precise Plan standards.
18. **STREET DEDICATION (BAYSHORE PARKWAY):** Dedicate a public street easement to widen Bayshore Parkway 5' from the centerline of the street where it fronts the new development, as required by the Public Works Director. Bayshore Parkway is a Transit Boulevard and shall be designed and dimensioned consistent with North Bayshore Precise Plan standards.
19. **STREET CORNER DEDICATION:** Dedicate a 30' radius public street-corner return easement on the face of the final map, at all intersections where a 30' radius arc is not already provided from the property line, as required by the Public Works Director.
20. **DISTRICT UTILITY SYSTEMS MASTER ENCROACHMENT AGREEMENT:** If the applicant elects to implement the optional district utility systems, subject to City approval, the district utility system infrastructure shall be permitted to be located within certain portions of the public right-of-way with the execution of a Master Encroachment Agreement (MEA), between the City and applicant, in a form acceptable by the City Attorney. The MEA shall be prepared and provided to the applicant as part of the City's response to the first zoning permit application, which includes the district utility system and the District Utility System Implementation Plan, as described in Appendix I of the Implementation Plan. The MEA shall include the terms in Exhibit N of the Development Agreement (DA) and be executed prior to approval of a final map incorporating the district utility systems, and prior to issuance of the associated building permit that includes the district utility system infrastructure. With approval of the DA, the terms and provisions of the district utility system and MEA (Exhibit N) in the DA apply.
21. **DISTRICT UTILITY SYSTEMS ENCROACHMENT LOCATIONS:** Subject to execution of the Master Encroachment Agreement (MEA) and subsequent City permits and approval, the district utility system will be permitted to encroach multiple crossings (perpendicular and nonperpendicular) of the public right-of-way on Joaquin Road, Plymouth Street, Monarch Street, North Shoreline Boulevard, Shorebird Way, and Inigo Way to allow for a continuous district utility system. District utility system shall not be constructed parallel to Shoreline Boulevard within the City's right-of-way. District utility system facilities and any related

ⁱⁱ Additional 4' to be dedicated on the opposite side of the street by other property owners.

appurtenances shall not be installed within any land dedicated to the City. No encroachment may limit use, interfere with, or prevent the City’s development of a future capital improvement project, and specific installation depths of district utility systems within the public right-of-way shall be at the City’s discretion.

22. **PUBLIC ACCESS EASEMENTS (MULTI-MODAL CONNECTIONS THROUGH SITES):** Prior to the issuance of any building permits or approval of a final map per development phase, the owner shall dedicate public access easements (PAE) on private property (within private streets and/or an emergency vehicle access lane) for multi-modal connections as shown on the Vesting Tentative Map and as identified in Condition No. 23. The dedication shall be per the City’s standard form and provide that:

- a. Public access shall be granted for automotive and nonautomotive use at all times except for Black Street north of Shorebird Way. For this segment of Black Street, nonvehicular modes shall be granted use at all times, but public vehicular access may be restricted to certain conditions or times of day as mutually agreed upon by the City and owner. Access restrictions, if any, shall be determined prior to issuance of a building permit for adjacent properties;
- b. The owner shall maintain, inspect, and monitor the PAE improvements in good order, condition, and repair and in compliance with the Americans with Disabilities Act (ADA);
- c. The PAE shall be recorded, run with the land, and be binding upon any successors;
- d. If the owner fails to abide by the PAE, the owner shall pay all reasonable costs and expenses incurred by the City in enforcing the performance of such obligations; and
- e. The owner agrees to defend, indemnify, and hold the City and the City’s officers, employees, agents, and volunteers harmless from any liability for damage or claims for damage for personal injury, including, but not limited to, death and/or property damage caused by negligent acts, errors, or omissions in the performance of services or operations under the PAE, including maintenance operations performed on the PAE by the owner or the owner’s contractors, subcontractors, agents, or employees, except to the extent caused by the gross negligence or willful misconduct of the City or the City’s officers, employees, or agents.

A legal description (metes and bounds) and plat map (drawing) of: (1) the owner’s property; and (2) the PAE area shall be prepared by the owner in accordance with the City’s Legal Description and Plat Requirements and submitted to the Public Works Department for review and approval. The legal description and plat must be prepared and stamped by a California-registered civil engineer or land surveyor. Associated improvements within the PAE (PAE Improvements) shall be constructed by the owner and approved by the City.

23. **PUBLIC ACCESS EASEMENTS (MULTI-MODAL AND VEHICULAR LOCATIONS AND WIDTHS):** Public Access Easements (PAE) shall be provided at multi-modal connection locations with minimum widths indicated below, in accordance with the North Bayshore Precise Plan:

| Street Name | Location in Master Plan | Type and Modes Allowed | Min. Width of Public Access |
|---------------|---|---------------------------------------|-----------------------------|
| Grove Street | Between Shorebird Way, Manzanita Street, and Space Park Way | Private street with all modes allowed | 66’ |
| Willow Street | Between Shorebird Way and Monarch Street | Private street with all modes allowed | 66’ |
| Black Street | Between Charleston Road and Shorebird Way, adjacent to the District Utility System Plant and 1201 Charleston Road | Private street with all modes allowed | 42’ |

24. **PUBLIC ACCESS COVENANTS, AND DEED RESTRICTIONS (MULTI-MODAL CONNECTIONS THROUGH SITES):** Prior to the issuance of any building permits or approval of a final map per development phase, the owner shall execute a Public Access Covenants, Agreements, and Deed Restrictions (PAC) with the City for multi-modal connections on private property and as identified in Condition No. 23. The PAC shall be per the City's standard form and provide that:

- a. Public access shall be granted for nonautomotive use to the public for its intended multi-modal connection uses generally from 6:00 a.m. to 12:00 midnight on all calendar days, subject to the applicant's right to temporarily exclude the public for maintenance and repair and to temporarily limit access to, and use of, the Public Access Covenant area as necessary for owner or its authorized occupants or users, or their respective employees, agents, and contractors, to construct, repair, maintain, relocate, or replace improvements in the Public Access Covenant area from time to time. Except as necessary for such construction and maintenance, in no event shall the owner exclude the public from the Public Access Covenant area more frequently than on five (5) calendar days in the aggregate during any calendar year ("Special Event Closures"). The owner shall notify the City in writing two (2) weeks before any closure, including any Special Event Closure (which written notice may be made by electronic mail to the Zoning Administrator (which email address shall be provided by City upon request by owner or to another email address as the City hereafter may designate in a written notice to the owner). The owner shall post on-site notification signs a minimum of seven (7) calendar days before any closure. The owner shall indicate the dates and times and purpose of any closure when noticing the City. The rights of the public to the Public Access Covenant area shall not include the use of any motorized-scooters (except as needed for disabled persons), motorcycles or ATVs, or any automobiles, trucks, recreational vehicles, or other motorized vehicles on any portion of the Public Access Covenant area;
- b. The owner shall maintain, inspect, and monitor the PAC improvements in good order, condition, and repair and in compliance with the Americans with Disabilities Act (ADA);
- c. The owner reserves the right to impose reasonable rules, regulations, and conditions on the use of said Public Access Covenant area to the extent the owner deems necessary: (i) to reasonably impose safety and security requirements; (ii) for purposes of reasonably preventing interference by any member of the public with the operation of any business conducted by the owner or its authorized occupants or users of the owner's property and/or the improvements and buildings thereon; (iii) for purposes of preventing damage to the owner's property, including any improvements thereon; and/or (iv) to reasonably ensure that the Public Access Covenant area remains unobstructed and may be used for its intended use as a public multi-use path;
- d. The PAC shall be recorded, run with the land, and be binding upon any successors;
- e. If the owner shall fail to abide by the PAC, the owner agrees to pay all reasonable costs and expenses incurred by the City in enforcing the performance of such obligations; and
- f. The owner agrees to defend, indemnify, and hold the City and the City's officers, employees, agents, and volunteers harmless from any liability for damage or claims for damage for personal injury, including, but not limited to, death and/or property damage caused by negligent acts, errors, or omissions in the performance of services or operations under the PAC, including maintenance operations performed on the PAC by the owner or the owner's contractors, subcontractors, agents, or employees, except to the extent caused by the gross negligence or willful misconduct of the City or the City's officers, employees, or agents.

A legal description (metes and bounds) and plat map (drawing) of: (1) the owner's property; and (2) the PAC area shall be prepared by the owner in accordance with the City's Legal Description and Plat Requirements and submitted to the Public Works Department for review and approval. The legal description and plat must be prepared and stamped by a California-registered civil engineer or land surveyor. Associated improvements within the PAC (PAC Improvements) shall be constructed by the owner and approved by the City.

25. **PUBLIC ACCESS COVENANTS AND DEED RESTRICTIONS (MULTI-MODAL LOCATIONS AND WIDTHS):** Public Access Covenants and Deed Restriction Areas (PAC) shall be provided at multi-modal connection locations with minimum widths indicated below, in accordance with the North Bayshore Precise Plan:

| Location in Master Plan | Type of Access | Minimum Width of Public Access |
|---|--|--------------------------------|
| Within LOT JN 1: (a) north-south between Charleston Road and Joaquin Terrace West; (b) east-west between Huff Avenue and Joaquin Road | Bike and pedestrian access | 22' |
| North-south between Lots JN 5/JN 6 and Lot JN 4 | Bike and pedestrian access | 22' |
| East-west between Lot JN 5 and Lot JN 6 | Bike and pedestrian access | 22' |
| North-south between Lots JN 7 and Lots JN 8/JN 9 | Bike and pedestrian access | 22' |
| East-west between Lots JN 8 and JN 9 | Bike and pedestrian access | 22' |
| East-west between Lots JS 1 and JS 2 | Bike and pedestrian access | 22' |
| Within Lot JN 10: north-south between Charleston Road and Lot JN 11 | Bike and pedestrian access | 22' |
| Within Lot JN 12: north-south between Lots JN 11 and JN 16 | Bike and pedestrian access | 22' |
| North-south between Lots JN 17/JN 19 and JN 18 | Bike and pedestrian access | 22' |
| East-west between Lots JN 17 and JN 19 | Bike and pedestrian access | 22' |
| North-south between Lots JS 7 and JS 8 | Bike and pedestrian access | 22' |
| Lot SB 4 | Social Spine—40' Pedestrian Access Easement (no bike access) | 40' |
| East-west between Lots SB 1 and SB 2 | Bike and pedestrian access | 22' |
| East-west between Lots SB 20 and SB 21 | Bike and pedestrian access | 22' |
| Within Lot SB 5: east-west between Lot SB 4 and Manzanita Street (private) | Bike and pedestrian access | 22' |
| Within Lot SB 5: Manzanita Street (private) between Charleston Road and Shorebird Way | Bike and pedestrian access | 22' |
| Within Lot SB 5: north-south between Charleston Road and Lot SB 6 | Bike and pedestrian access | 22' |
| Within Lot SB 5: east-west between Manzanita Street (private) and Inigo Way | Bike and pedestrian access | 22' |

| | | |
|---|----------------------------|-----|
| North-south between Lots SB 24 and SB 25 | Bike and pedestrian access | 22' |
| Within Lot SB 25: north-south between Monarch Street and Space Park Way | Bike and pedestrian access | 22' |
| Within Lot SB 7: north-south and east-west between Charleston Road, Inigo Way, and Lot SB 9 | Bike and pedestrian access | 22' |

26. **PRIVATE UTILITY AND ACCESS EASEMENTS:** Dedicate private utility and/or access easements on the face of the final map or by separate recorded instrument, as necessary, for the common private streets/driveways and utility improvements. Private Utility and Access Easements will be dedicated along the private driveways on Lots JN 1, JN 4, JN 5, JN 6, JN 7, JN 8, JN 9, JN 10, JN 12, JN 17, JN 18, JN 19, SB 1, SB 2, SB 20, SB 21, SB 5, SB 24, SB 25, and SB 7 and in private streets on Lot SB 22, SB 16, and SB 11.
27. **FRONTAGE PUBLIC UTILITY EASEMENT DEDICATION:** Dedicate a 10' wide public utility easement (PUE) along project street frontage(s), or an amount equal to the setback of the building for setbacks less than 10', for such use as sanitary sewer, water, storm drains, and other public utilities, including gas, electric, and telecommunication facilities, as required by the Public Works Director. The property owner or homeowners association shall maintain the surface improvements over the easement and must not modify or obstruct the easement area in a manner contrary to the intent of the easement. The dedication statement shall specify the PUE shall be kept free and clear of buildings. However, auxiliary structures that extend from the building frontages, such as front porches, stairs and stoops, are permitted within the PUE.
- Exceptions to these PUE requirements may be considered by the Public Works Director in conjunction with the review and approval of the off-site improvement plans and building permit plans for the project.
28. **CITY OF MOUNTAINVIEW UTILITY EASEMENT ON SHOREBIRD WAY:** Dedicate a minimum 30' wide, exclusive utility easement to the City of Mountain View along the existing north-south alignment of Shorebird Way. The easement shall be clear of any existing, non-City facilities/utilities and shall not overlap any other easements. Removal of any existing facilities/utilities within the easement shall be at no cost to the City. The alignment, length, and dedication statement of the easement shall be to the satisfaction of the Public Works Director.
29. **UTILITY EASEMENT AND APPROVALS:** Dedicate utility easements as required by utility companies and as approved by the Public Works Director. All street and public service easement dedications are to be shown on a phased final map, including information indicating whether said easements are to be dedicated on the final map or by separate recorded instrument. The subdivider shall submit two copies of the map to PG&E, AT&T (SBC), and Comcast (Xfinity) for their review and determination of easement needs. The public service easement dedications must be approved by the utility companies prior to the approval of a phased final map.
30. **EASEMENT VACATIONS AND QUITCLAIMS:** All existing easements that are or will no longer be needed or conflict with the proposed buildings and structures shall be vacated or quitclaimed. All vacations shall be approved with the project at the City Council meeting. Easements in conflict with a proposed building shall be vacated prior to issuance of the building permit. The recording number of the easement vacation and quitclaim document(s) shall be included in the phased final map.
31. **EASEMENT AGREEMENT (VERTICAL SUBDIVISIONS):** At the discretion of the City, a final map with a vertical subdivision may require subsequent execution of an easement agreement between each vertical-parcel owner within the same building, which shall include and stipulate all the provisions of ownership, shared access, improvements, repairs, replacement, maintenance, inspections, code compliance, and operations of the parcels, including shared facilities and/or common areas, such as, but not limited to, storm drainage system, roof structure, parking, etc. The easement may also require a single point-of-contact for all communication between the City and the vertical-parcel owners for matters, including, but not limited to, annual inspections, a single operational permit for hazardous materials and safety, immediate life safety violations or actions, emergency access, and emergency system shut-down by City Fire, Building, Public Works, and Police personnel.

- 32. **SUBDIVISION FEES:** Pay all subdivision fees due in accordance with the adopted fees in effect at the time of payment, which must occur prior to the approval of a final map. This is a standard City processing fee.
- 33. **MAP PLAN CHECK FEE:** Prior to issuance of any building permits and prior to approval of a phased final map, as applicable, the applicant shall pay the map plan check fee in accordance with Sections 28.7.b and 28.6.b of the City Code per the rates in effect at time of payment. An initial map plan check fee shall be paid at the time of initial map plan check submittal per the adopted fee in effect at time of payment. This is a standard City processing fee.
- 34. **PLAN CHECK AND INSPECTION FEE:** Prior to issuance of any building permits and prior to approval of a final map, the applicant shall pay the plan check and inspection fee in accordance with Sections 27.60 and 28.36 of the City Code per the adopted fee in effect at the time of payment. This is a standard City processing fee.

An initial plan check fee based on the Public Works Adopted Fee Schedule shall be paid at the time of initial improvement plan check submittal based on the initial cost estimate for constructing street improvements and other public facilities; public and private utilities and structures located within the public right-of-way; and utility, grading, and driveway improvements for common green and townhouse-type condominiums. Once the plans have been approved, the approved cost estimate will be used to determine the final bond amounts, plan check fees, and inspection fees. Any paid initial plan check fee will be deducted from the approved final plan check fee.

- 35. **TRANSPORTATION IMPACT FEE:** As required by Section 43 of the City Code, prior to the issuance of any building permits and approval of a final map, for any net new square footage, the applicant shall pay the transportation impact fee for the development included in each building permit and in the subdivision. Residential category fees are based on the number of units. Retail, Service, Office, R&D, and Industrial category fees are based on the square footage of the development.

Credit shall be given for the existing development of each site(s), as applicable. This is an impact fee and subject to the adopted fee, if any, in place at time of payment, except that during the term of the Development Agreement (DA) when the fee is subject to the provisions of the DA in Exhibit I thereto and other applicable sections.

- 36. **WATER AND/OR SEWER IMPACT FEE:** Prior to the issuance of any building permits and prior to the approval of the final map, the applicant shall pay the water and/or sewer impact fee for the development contributing their proportional fair share of required improvements to the City utility system to accommodate the project, as identified in the Project's Utility Impact Study, dated December 16, 2022 or, provided that the applicant agrees, install the water and/or sewer mains at its costs, but subject to a reimbursement agreement acceptable to the applicant with the City Attorney to reimburse the applicant for costs in excess. This is an impact fee and subject to the adopted fee, if any, in place at time of payment, except with approval of the Development Agreement (DA) when the fee is subject to the provisions of Exhibit I of the DA.
- 37. **STORM DRAINAGE FEE:** Prior to the issuance of any building permits and prior to the approval of a final map, the applicant shall pay the off-site storm drainage fee per Section 28.51(b) with the rates in effect at the time of payment, except with approval of the Development Agreement (DA) when the fee is subject to the provisions of Exhibit I of the DA.
- 38. **TRAFFIC SIGNAL FEE:** The Master Plan's Multi-Modal Transportation Analysis (MTA) identified three currently unsignalized intersections that need to be fully signalized to operate effectively at full Master Plan development. These new signals will be located at the Plymouth Street/Huff Avenue, Plymouth Street/Joaquin Road, and Inigo Way/La Avenida intersections. Fair-share contribution of future signalization is required. Project responsibility (percentage of project traffic) fair share is 41% based on MTA assignment of project traffic. Timing of these improvements will be tied to the corresponding zoning permits for each applicable building permit of Master Plan development and will be identified through the subsequent Site-Specific Transportation Analysis (SSTA) for each building permit application.
- 39. **TRAFFIC SIGNAL AGREEMENT:** Prior to the issuance of any building permits and prior to the approval of a final map, the applicant shall sign a traffic signal payment agreement for the construction of new traffic signal(s) or modifications to an existing signal(s) as identified through subsequent Site-Specific Transportation Analysis for each building permit application. The

agreement shall require the owner to pay the City the proportional fair share (percentage of project traffic) of the total cost for the traffic signal improvements if a traffic signal is required to be installed within five years after the date of completion of the owner's project. The date of completion shall be measured by the date on the Certificate of Occupancy issued by the Building Inspection Division for the last portion of the owner's project. The cost of the traffic signal improvements shall include all design, construction, inspection, testing, and administration costs. Prior to the issuance of the building permit and prior to the approval of a final map, the owner must submit a security deposit made payable to the City to guarantee payment of the proportional share of the traffic signal improvements required. The amount of the security will be determined and shall be paid prior to issuance of a building permit. The agreement shall also require the owner to dedicate easements on the owner's property that are necessary for the applicable traffic signal improvements.

40. **UTILITY PAYMENT AGREEMENT:** Prior to the approval of the final map, the applicant shall sign a utility payment agreement and post a security deposit made payable to the City as security if each unit or building does not have separate sewer connections and water meters in accordance with Section 35.38 of the City Code. The utility payment agreement shall include provisions to have the security transferred from the applicant to the homeowners association (HOA) or commercial owners association (COA), but still made payable to the City, when the HOA or COA is formed for the subdivision.
41. **PUBLIC IMPROVEMENTS:** Install or reconstruct standard public improvements required for the project and as required by Chapters 27 and 28 of the City Code, which can be executed per phase of development as identified in the Master Plan. Bonds, securities, and insurance requirements are subject to current City requirements in place at the time of submittal of the associated improvement plans.
 - a. **Required Improvements:** The applicant is responsible to install the following public improvements:
 - (1) Curb, gutter, driveway aprons, sidewalks, and landscape strips along all project frontages as shown in Figures 6.1.2 through 6.1.13 of the Master Plan, in accordance with City standards and consistent with dimensions in the North Bayshore Precise Plan, unless an alternative is approved in a subsequent zoning permit;
 - (2) All required utility laterals per City standards; and
 - (3) All bike lane installations along all roadways as shown in Figure 6.1.7 of the Master Plan, including both sides of Huff Avenue, Joaquin Road, Charleston Road, Monarch Street, Plymouth Street, C Street, B Street, Main Street, North Shoreline Boulevard, Manzanita Street, Inigo Way, Black Street, Shorebird Way, Space Park Way, and Pear Avenue, consistent with the North Bayshore Precise Plan, unless otherwise noted in these conditions of approval.
 - (4) Any additional public improvement(s) required for a parcel(s) to be dedicated to the City per Project Condition Nos. 75 and 186.
 - b. **Improvement Agreement:** Prior to the approval of a final map, the property owner must sign a Public Works Department improvement agreement in standard City form, for the installation of the public improvements.
 - c. **Bonds/Securities:** Prior to the approval of a final map, the property owner must sign a Public Works Department faithful performance bond (100%) and materials/labor bond (100%), or provide a cash deposit (100%), or provide a letter of credit (150%) or cash security (100%) securing the installation and warranty of the off-site improvements in a form approved by the City Attorney's Office. The surety (bond company) must be listed as an acceptable surety on the most current Department of the Treasury's Listing of Approved Sureties on Federal Bonds, Department Circular 570. This list of approved sureties is available through the internet at: www.fiscal.treasury.gov/fsreports/ref/suretyBnd/c570_a-z.htm. The bond amount must be below the underwriting limitation amount listed on the Department of the Treasury's Listing of Approved Sureties. The surety must be licensed to do business in California. Guidelines for security deposits are available at the Public Works Department.
 - d. **Insurance:** Prior to the approval of a final map, the property owner must provide a Certificate of Insurance and endorsements for Commercial General Liability and Automobile Liability naming the City as an additional insured from the entity that will sign the improvement agreement prior to the issuance of a building permit or approval of a final map.

The insurance coverage amounts are a minimum of Two Million Dollars (\$2,000,000) Commercial General Liability, One Million Dollars (\$1,000,000) Automobile Liability, One Million Dollars (\$1,000,000) Contractor's Pollution Liability, and One Million Dollars (\$1,000,000) Workers' Compensation. The insurance requirements are available from the Public Works Department.

42. **ENGINEER'S INFRASTRUCTURE COST ESTIMATE:** Upon submittal of an initial building permit and improvement plans, submit a completed construction cost estimate form indicating the quantities of the street and utility improvements with the submittal of the improvement plans. The construction cost estimate is used to estimate the cost of improvements and to determine the Public Works plan check and inspection fees. The construction cost estimate is to be prepared by the civil engineer preparing the improvement plans.
43. **OFF-SITE IMPROVEMENT PLANS:** Prepare off-site public improvement plans in accordance with Chapter 28 of the City Code, the City's Standard Design Criteria, Submittal Checklist, Plan Review Checklist, and the conditions of approval of the project. The plans are to be drawn on 24" x 36" sheets at a minimum scale of 1"=20'. The plans shall be stamped by a California-registered civil engineer and shall show all public improvements and other applicable work within the public right-of-way.

Traffic control plans for each phase of construction shall be prepared in accordance with the latest edition of the California Manual of Uniform Traffic Control Devices (CA MUTCD) and shall show, at a minimum, work areas, delineators, signs, and other traffic-control measures required for work that impact traffic on existing streets. Construction management plans: Locations of on-site parking for construction equipment and construction workers and on-site material storage areas must be submitted for review and approval and shall be incorporated into the off-site improvement plans and identified as "For Reference Only."

Off-site improvement plans, an initial plan check fee and map plan check fee based on the Public Works fee schedule, Improvement Plan Checklist, and items noted within the checklist must be submitted together as a separate package concurrent with the first submittal of the building plans and a final map. All required materials shall be submitted electronically (i.e., flattened, reduced-size PDFs).

The off-site plans must be approved and signed by the Public Works Department. After the plans have been signed by the Public Works Department, 10 full-size and two half-size black-line sets, one Xerox Mylar (4 mil) set of the plans, and a CD with CAD file and PDF must be submitted to the Public Works Department prior to the approval of a final map. The CAD files shall meet the City's Digital Data Submission Standards.

44. **ON-SITE UTILITY MAINTENANCE:** On-site water, sanitary sewer, and storm drainage facilities shall be privately maintained by the property owner(s), commercial owner associations(s), or homeowners association(s). This includes any and all district systems infrastructure and facilities, if pursued by the applicant.
45. **UNDERGROUNDING OF OVERHEAD SERVICES:** All new and existing electric and telecommunication facilities serving the subdivision are to be placed underground, including transformers. The undergrounding of the new and existing overhead electric and telecommunication lines is to be completed prior to issuance of a Certificate of Occupancy for any new buildings within the subdivision. If allowed by the City, aboveground transformers shall be located so they are screened in the least visible location from the street or to the general public, as approved by the Community Development and Public Works Departments.
46. **UNDERGROUNDING OF OVERHEAD LINES:** Underground existing overhead electric and telecommunication facilities fronting the property and/or within the division of land, unless waived by the City Council after consideration of the recommendation of the Public Works Director due to unusual or impractical circumstances. The undergrounding work shall be constructed in conjunction with any applicable off-site improvements and completed prior to issuance of a Certificate of Occupancy for any new unit. All poles fronting the property and/or within the division of land shall be removed. If the undergrounding requirement is waived, the subdivider shall fulfill whatever substitute conditions the City shall impose prior to a final map approval.
47. **JOINT UTILITY PLANS:** Upon submittal of an initial building permit and improvement plans, the applicant shall submit joint utility plans showing the location of the proposed electric, gas, and telecommunication conduits and associated facilities,

including, but not limited to, vaults, manholes, cabinets, pedestals, etc. Appropriate horizontal and vertical clearances in accordance with PG&E requirements shall be provided between gas transmission lines, gas service lines, overhead utility lines, street trees, streetlights, and building structures. These plans shall be combined with and made part of the improvement plans. Joint trench intent drawings will be accepted at the first improvement plan submittal. All subsequent improvement plan submittals shall include joint trench design plans. Dedicate utility easements that are necessary for the common utility on a final map.

48. **LOT DRAINAGE:** Each residential lot shall be designed to drain toward the streets, alleys, common driveways, or common areas. The drainage paths for the privately owned lots shall be designed such that the drainage paths do not cross the common property lines, unless an exception is approved due to unavoidable circumstances by the Public Works Department, such as to provide drainage to an existing Heritage tree.
49. **SURFACE WATER RELEASE:** Provide a surface stormwater release for the lots, driveways, alleys, and private streets that prevents the residential buildings from being flooded in the event the storm drainage system becomes blocked or obstructed. Show and identify path of surface water release on the improvement plans.
50. **RETAINING WALL:** Retaining walls shall have a maximum height of 18” unless an exception is granted by the Community Development and Public Works Departments. A private easement for the retaining walls shall be shown on a final map. Retaining walls along the perimeter of the subdivision shall be maintained by the homeowners association (HOA) or commercial owners association (COA). The maintenance of the retaining walls shall be included in the Covenants, Conditions, and Restrictions (CC&Rs). A copy of the CC&Rs with this provision marked or highlighted shall be submitted to the Community Development Department for review and approval by the Public Works Department.
51. **STORM DRAIN HOLD HARMLESS AGREEMENT:** As portions of the site are or will be lower than the adjacent public street or the surface grade over the City’s storm mains, the owner shall sign an agreement to hold the City harmless against storm surcharges or blockages that may result in on-site flooding or damage prior to approval of a final map.
52. **SANITARY SEWER HOLD HARMLESS AGREEMENT:** If the sanitary sewer connection(s) inside the structure(s) is/are less than 1’ above the rim elevation of the upstream sanitary sewer manhole, before approval of the building permit, the owner shall sign an agreement to hold the City harmless against sewer surcharges or blockages that may result in on-site damage prior to approval of a final map.
53. **SHARED PARKING AND ACCESS AGREEMENT:** Owners shall sign and be a party to an agreement (or amendment of an existing agreement), subject to the City’s approval and recorded to run with the land, which provides for easements, covenants, and conditions relating to applicable parking, vehicle access, pedestrian access, utility use, and other uses for properties in the Master Plan that use shared and/or district parking. The agreement, together with all attachments, must be submitted to and approved by the Community Development Department and City Attorney’s Office prior to the approval of a final map.
54. **COVENANTS, CONDITIONS, AND RESTRICTIONS:** As applicable to the development phase of the Master Plan and required by the City, Covenants, Conditions, and Restrictions (CC&Rs) for the homeowners or commercial owners association(s) (HOA/COA) and the Development Agreement, together with a completed CC&R checklist handout, shall be submitted to the Planning Division for review and approval, in consultation with the City Attorney’s Office, prior to approval and recordation of a final map. The said covenants shall include and stipulate all of the standard provisions which are listed on the CC&R checklist and the following information:
 - a. **Private Utility Maintenance Plan and Sanitary Sewer.** The CC&Rs shall include a provision that the HOA/COA prepare a private utility maintenance plan for on-site water, sanitary sewer, and storm drainage facilities. The maintenance plan shall include elements such as, but not limited to, flushing of the sanitary sewer and storm lines, cleaning of storm drain inlets and grates, and inspection of the water system (including flushing and exercising of valves and blowoffs). The CC&Rs shall also include a provision that the HOA/COA prepare a sanitary sewer overflow plan, which includes elements such as 24-hour contact information, response times, confinement, and methods to contain and remediate spills. These provisions may be addressed through district systems infrastructure and disclosures as required in subsection c. of this condition, if pursued by the applicant.

- b. **Garage Pickup (Shared Service).** The CC&Rs shall include a provision stating the HOA/COA are responsible for the removal of all the trash and refuse from the Owner's lot to the central trash collection point. The HOA/COA shall be responsible for the maintenance of the central trash collection point and for the periodic removal therefrom.
 - c. **District Systems.** Disclosure of all relevant information pertaining to the district systems, if pursued by the applicant, as included in the District Systems Implementation Plan and Development Agreement and located on the development property included on the associated final map and building permit(s).
 - d. **Disclosures.** Include all necessary disclosures of surrounding environmental context and conditions, including, but not limited to, nearby noise generating activities, phased construction of the Master Plan, site conditions, U.S. EPA oversight, etc., as required by the Davis-Stirling Act or California Commercial and Industrial Common Interest Development Act.
55. **CONSISTENCY WITH OTHER APPROVALS:** This map shall be consistent with all requirements of the Master Plan, Application No. PL-2021-181, and any subsequent approval from the City to implement the Master Plan, as identified in the Master Plan and Development Agreement. All applicable subdivision conditions of approval imposed shall remain in full force and effect and shall be met prior to approval of the applicable phased final map.
56. **APPROVAL EXPIRATION:** If the map is not completed within 24 months from the date of this approval, subject to any allowable extension in the City Code or Subdivision Map Act, or the term of the DA, whichever is longer.

Exhibit B

Google

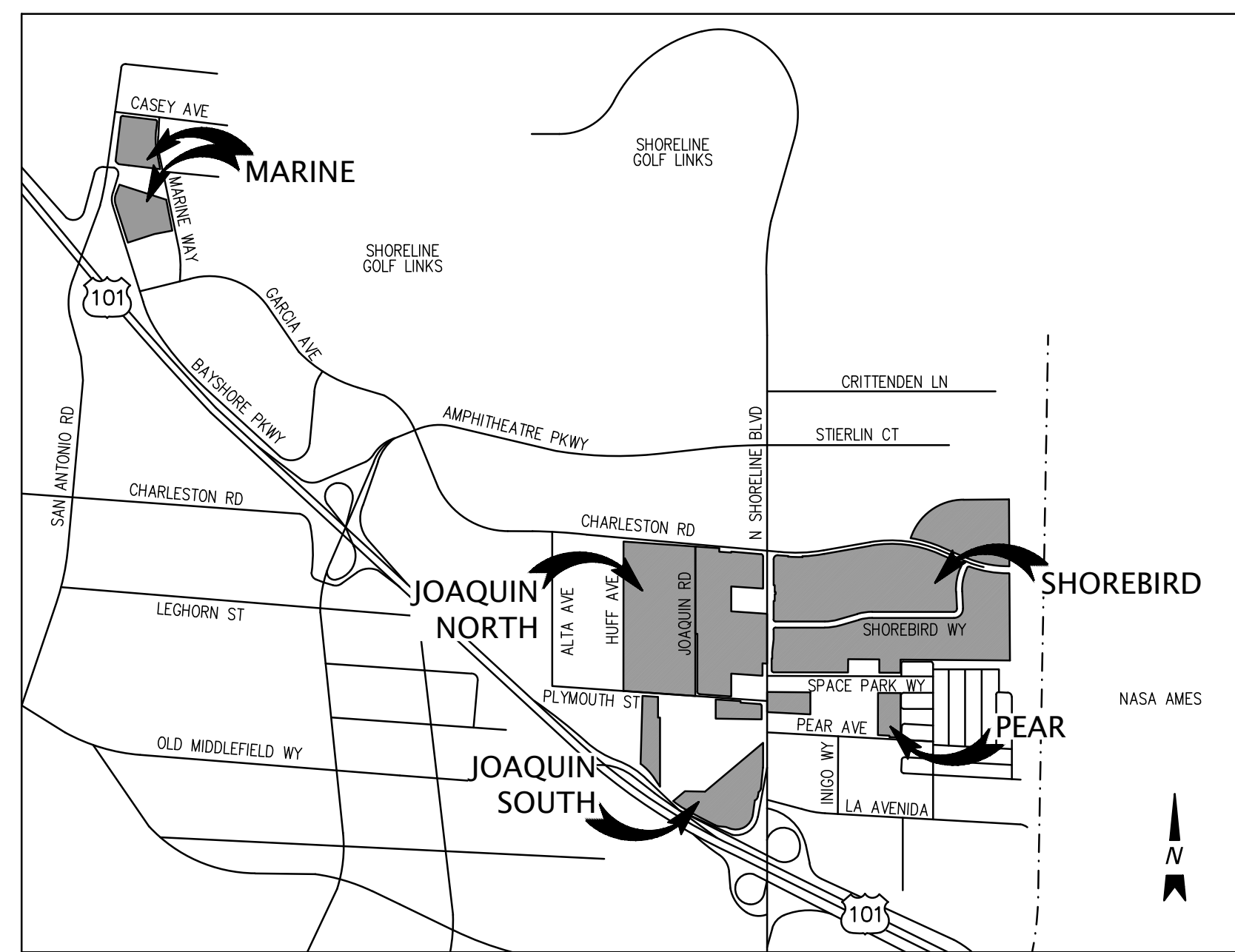
Vesting Tentative Map 04.2023

North Bayshore Master Plan

NORTH BAYSHORE MASTER PLAN

VESTING TENTATIVE MAP

CITY OF MOUNTAIN VIEW SANTA CLARA COUNTY CALIFORNIA



VICINITY MAP

NOT TO SCALE

PROPOSED LOT GENERAL NOTES

- THE NORTH BAYSHORE MASTER PLAN AUTHORIZES UP TO 7,000 RESIDENTIAL UNITS WITHIN THE SUBDIVISION. THE PROPOSED LOT DATA TABLE ON SHEET C1.0 IDENTIFIES THE TOTAL NUMBER OF RESIDENTIAL AND COMMERCIAL CONDOMINIUM UNITS THAT MAY BE ESTABLISHED WITHIN THE SUBDIVISION THROUGH PHASED FINAL MAPS.
- A FINAL MAP FOR RESIDENTIAL AND/OR COMMERCIAL CONDOMINIUM PURPOSES MAY, PURSUANT TO THE CALIFORNIA SUBDIVISION MAP ACT, BE RECORDED FOR EACH OR ALL OF THE LOTS INDICATED IN THE PROPOSED LOT DATA TABLE, AND THE SUBDIVISION OF THOSE LOTS MAY INCLUDE A RESIDENTIAL AND/OR COMMERCIAL CONDOMINIUM PROJECT OR PROJECTS WITHIN THE MEANING OF CALIFORNIA CIVIL CODE SECTIONS 4125 AND 4285 ET SEQ. OR SECTIONS 6542 AND 6624 ET SEQ., AS APPLICABLE.
- SUBDIVIDER FURTHER INTENDS TO FILE VERTICAL AIRSPACE SUBDIVISION MAPS FOR MIXED USE PROJECTS (INCLUDING CONDOMINIUMS) FOR EACH OR ALL OF THE LOTS IDENTIFIED IN THE PROPOSED LOT DATA TABLE IN ACCORDANCE WITH THE CALIFORNIA SUBDIVISION MAP ACT.

NOTES RELATING TO CONDOMINIUMS

- THE PROPERTY COVERED BY THIS VESTING MAP HAS BEEN APPROVED BY THE CITY FOR CREATION OF CONDOMINIUMS CONSISTING OF UP TO 7,000 RESIDENTIAL UNITS ("TOTAL APPROVED RESIDENTIAL CONDOMINIUM UNITS") AND UP TO 360 COMMERCIAL CONDOMINIUMS ("TOTAL APPROVED COMMERCIAL CONDOMINIUM UNITS"). THE ESTABLISHMENT OF CONDOMINIUMS AND SEPARATION OF THREE-DIMENSIONAL PORTIONS OF THE PROPERTY FROM THE REMAINDER THEREOF SHALL NOT CONSTITUTE A FURTHER SUBDIVISION AS DEFINED IN GOVERNMENT CODE SECTION 66424 AND, PURSUANT TO THE AUTHORITY OF GOVERNMENT CODE SECTION 66427(E), MAY OCCUR BY ONE OR MORE CONDOMINIUM PLANS WITHOUT FURTHER APPROVAL BY THE CITY.
- SUBDIVIDER SHALL BE PERMITTED, WITHOUT THE NEED FOR FURTHER APPROVAL BY THE CITY, TO ALLOCATE UNITS FROM THE TOTAL APPROVED RESIDENTIAL CONDOMINIUM UNITS FOR ALL LOTS INDICATED ON THE APPROVED VESTING TENTATIVE MAP TO SPECIFIC LOTS AS SHOWN ON PHASED FINAL MAPS. UPON SUCH ALLOCATION AND RECORDED OF THE ASSOCIATED PHASED FINAL MAP, ANY ALLOCATED UNITS SHALL BE DEBITED FROM THE TOTAL APPROVED RESIDENTIAL CONDOMINIUM UNITS AS APPLICABLE. NO FURTHER CITY APPROVAL SHALL BE REQUIRED FOR SUBDIVIDER TO CONSTRUCT RESIDENTIAL UNITS THROUGH SUBSEQUENT CONDOMINIUM PLANS FOR THE SUBJECT LOTS PROVIDED THAT THE NUMBER OF RESIDENTIAL UNITS ALLOCATED TO ANY GIVEN LOT DOES NOT EXCEED THE NUMBER OF UNITS DEPICTED ON THE ASSOCIATED PHASED FINAL MAP. THE CUMULATIVE NUMBER OF RESIDENTIAL CONDOMINIUM UNITS ALLOCATED TO LOTS ON PHASED FINAL MAPS MAY NOT AT ANY TIME EXCEED THE TOTAL APPROVED RESIDENTIAL UNITS.
- SUBDIVIDER IS AUTHORIZED TO CONSTRUCT UP TO 3,908,887 SQUARE FEET OF COMMERCIAL USES WITHIN THE SUBDIVISION. THERE IS NO UNIT-BASED LIMITATION ON COMMERCIAL DEVELOPMENT. AS SUCH, "TOTAL APPROVED COMMERCIAL CONDOMINIUM UNITS," WHICH INCLUDE RETAIL, OFFICE AND RENTAL APARTMENTS AND OTHER COMMERCIAL USES, ARE DESCRIBED HEREIN SOLELY FOR THE PURPOSE OF DESCRIBING APPROVED COMMERCIAL CONDOMINIUM UNITS.
- SUBDIVIDER'S ALLOCATION OF UNITS TO SPECIFIC LOTS IN PHASED FINAL MAPS, AS DESCRIBED IN NOTE #2 ABOVE, SHALL INCLUDE TEXT STATING THAT SUBDIVIDER IS ALLOCATING "UP TO" A SPECIFIED NUMBER OF UNITS TO A GIVEN LOT. HOWEVER, THE FINAL NUMBER OF UNITS ACTUALLY ALLOCATED TO A GIVEN LOT AND DEBITED FROM THE TOTAL APPROVED RESIDENTIAL CONDOMINIUM UNITS SHALL BE ESTABLISHED BY A SEPARATE CONDOMINIUM PLAN, TO BE PREPARED AND RECORDED AFTER THE PHASED FINAL MAP IS RECORDED. PURSUANT TO GOVERNMENT CODE SECTION 66427(e)(1) AND CONSISTENT WITH NOTE #2 ABOVE, THE FINAL NUMBER OF UNITS IN ANY GIVEN CONDOMINIUM PLAN SHALL NOT EXCEED THE NUMBER OF UNITS STATED ON THE CORRESPONDING LOT(S) AND/OR PHASED FINAL MAP(S).

NOTES RELATING TO MID-BLOCK PASSAGES, PRIVATE STREETS AND ANY NON-DEDICATED OPEN SPACE AREAS

- PRIVATELY-OWNED OPEN SPACES: OPEN SPACE AREAS OTHER THAN THOSE IDENTIFIED AS PUBLICLY-DEDICATED OPEN SPACES (I.E. PORTIONS OF LOT SB5) SHALL BE PRIVATELY OWNED UNLESS THE CITY COUNCIL, THROUGH A SUBSEQUENT PROCESS, AGREES TO ACCEPT THE DEDICATION OF THESE AREAS. ALL PRIVATELY-OWNED OPEN SPACES SHOWN HEREON ARE SUBJECT TO ADJUSTMENT WITHOUT THE NEED TO AMEND THIS VESTING MAP OR TO FILE A NEW VESTING TENTATIVE MAP OR TENTATIVE MAP FINAL LOCATIONS OF PRIVATELY-OWNED OPEN SPACE AREAS DEPICTED HEREON AND ANY RIGHTS OF PUBLIC ACCESS SHALL BE ESTABLISHED PURSUANT TO COVENANTS, EASEMENTS OR RESTRICTIONS TO BE RECORDED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR BUILDINGS ON LOTS THAT INCLUDE PRIVATELY-OWNED OPEN SPACES.
- PRIVATE STREETS: PRIVATE STREETS, SERVICE STREETS AND/OR ALLEYS, AS PERMITTED BY THE NORTH BAYSHORE PRECISE PLAN (NBSPP), ARE PRIVATELY-OWNED AREAS INTENDED FOR VEHICULAR, BICYCLE AND PEDESTRIAN TRAVEL, AND WHICH ARE INTENDED TO BE KEPT CLOSED FROM PUBLIC ACCESS (WITH THE EXCEPTION OF ANY PUBLICLY-DEDICATED EASEMENTS AND/OR EMERGENCY VEHICLE ACCESS SHOWN HEREON). DEPICTIONS OF PRIVATE STREETS ON THIS VESTING MAP ARE SHOWN IN APPROXIMATE LOCATIONS. FINAL LOCATIONS WILL BE DEPICTED ON COVENANTS, AGREEMENTS, EASEMENTS OR RESTRICTIONS RECORDED CONCURRENT WITH OR SUBSEQUENT TO PHASED FINAL MAPS.

NOTES RELATING TO OPEN SPACE DEDICATIONS

- PARK LOTS ECO GEM, SHOREBIRD SQUARE, JOAQUIN COMMONS, SHORELINE SQUARE AND GATEWAY PLAZA ARE PROPOSED FOR DEDICATION TO THE CITY. THESE LOTS ARE APPROXIMATE AND WILL BE DIMENSIONED ON PHASED FINAL MAPS. SAID LOTS MAY BE ADJUSTED TO EXPAND OR CONTRACT TO ACCOUNT FOR FINAL OPEN SPACE PROGRAMMING, STREET OR UTILITY ENGINEERING, AND VERTICAL DESIGN, PROVIDED THAT THE SUM TOTAL OF THE OPEN SPACE LOTS DEDICATED TO THE CITY IS CONCURRENT WITH PHASED FINAL MAPS (AND SUBJECT TO ANY DELAYED DEDICATIONS AS PERMITTED IN AN AGREEMENT PURSUANT TO GOVERNMENT CODE SECTION 66462).

NOTES RELATING TO VERTICAL AIR SPACE LOTS

- THIS VESTING MAP AUTHORIZES PHASED FINAL MAPS THAT VERTICALLY SUBDIVIDE AIR SPACE INTO SEPARATE AIR SPACE LOTS FOR PURPOSES OF ACCOMMODATING SEPARATE OWNERSHIP OR USES. ANY SUCH AIR SPACE LOTS SHALL BE DIMENSIONED ON THE ASSOCIATED PHASED FINAL MAP.
- THIS VESTING MAP AUTHORIZES PHASED FINAL MAPS THAT WILL VERTICALLY SUBDIVIDE UP TO 526 AIR SPACE LOTS FOR THE PURPOSES OF ACCOMMODATING SEPARATE OWNERSHIP OR USES. THE TOTAL NUMBER OF VERTICAL AIR SPACE LOTS PER PROPOSED GROUND LOT WILL VARY.

PROPOSED LOT DATA

| VTM LOT | NET DEVELOPABLE AREA (±ACRES) | PROPOSED USE |
|----------------------|-------------------------------|------------------------|
| JOAQUIN NORTH | | |
| JN1 | 7.6 | OFFICE |
| JN2 | 0.9 | PARKLAND |
| JN3 | 1.3 | PARKLAND |
| JN4 | 2.0 | RESIDENTIAL |
| JN5 | 1.5 | RESIDENTIAL |
| JN6 | 0.8 | RESIDENTIAL |
| JN7 | 2.1 | RESIDENTIAL |
| JN8 | 1.2 | PARKING |
| JN9 | 1.4 | RESIDENTIAL |
| JN10 | 3.8 | OFFICE |
| JN11 | 1.4 | PARKLAND |
| JN12 | 1.7 | RESIDENTIAL |
| JN14 | 0.7 | PARKLAND |
| JN15 | 1.5 | RESIDENTIAL |
| JN16 | 2.5 | PARKLAND |
| JN17 | 1.6 | RESIDENTIAL |
| JN18 | 1.1 | RESIDENTIAL |
| JN19 | 0.9 | RESIDENTIAL |
| JOAQUIN SOUTH | | |
| JS1 | 0.8 | RESIDENTIAL |
| JS2 | 1.0 | RESIDENTIAL |
| JS3 | 0.6 | RESIDENTIAL |
| JS4 | 1.0 | RESIDENTIAL |
| JS5 | 0.3 | PARKLAND |
| JS6 | 1.2 | HOTEL |
| JS7 | 1.8 | PARKING |
| JS8 | 1.4 | OFFICE |
| JS9 | 0.9 | PARKLAND |
| JS10 | 1.2 | RESIDENTIAL |
| SHOREBIRD | | |
| SB1 | 0.8 | HOTEL |
| SB2 | 0.7 | RESIDENTIAL |
| SB3 | 1.3 | RESIDENTIAL |
| SB4 | 0.6 | SOCIAL SPINE |
| SB5 | 11.6 | OFFICE |
| SB6 | 1.8 | PARKLAND |
| SB7 | 4.4 | OFFICE |
| SB8 | 0.6 | PARKLAND |
| SB9 | 4.5 | PARKLAND |
| SB10 | 2.5 | DISTRICT CENTRAL PLANT |
| SB11 | 0.5 | ROAD |
| SB12 | 2.4 | DISTRICT CENTRAL PLANT |
| SB13 | 4.1 | PUBLIC USE |
| SB14 | 2.1 | RESIDENTIAL |
| SB15 | 0.9 | RESIDENTIAL |
| SB16 | 0.3 | ROAD |
| SB17 | 1.2 | RESIDENTIAL |
| SB18 | 0.3 | PARKLAND |
| SB19 | 0.5 | RESIDENTIAL |
| SB20 | 0.8 | RESIDENTIAL |
| SB21 | 1.6 | RESIDENTIAL |
| SB22 | 1.0 | ROAD |
| SB23 | 1.2 | RESIDENTIAL |
| SB24 | 0.9 | PARKING |
| SB25 | 1.4 | RESIDENTIAL |
| SB26 | 10.8 | PARKLAND |
| MARINE WAY | | |
| ME1 | 1.8 | RESIDENTIAL |
| ME2 | 2.1 | RESIDENTIAL |
| PEAR | | |
| MW1 | 4.2 | PARKING |
| MW2 | 4.9 | PARKING |
| TOTAL | | 116.4 |

EXISTING LOT DATA

SEE SHEETS 2.1 AND 2.2 FOR THE EXISTING LOT DATA (ASSESSOR PARCEL NUMBERS AND ADDRESSES)

NOTES RELATING TO STREETS

- ANY MODIFICATION TO LOTS, PUBLIC EASEMENTS, OR IMPROVEMENTS SHOWN HEREON AS A RESULT OF ANY TRANSPORTATION ANALYSIS SHALL BE PERMITTED WITHOUT THE NEED TO AMEND THIS VESTING MAP OR APPROVAL OF A SEPARATE TENTATIVE MAP OR VESTING TENTATIVE MAP.

NOTES RELATING TO VACATIONS

- STREET AND UTILITY VACATIONS ARE PENDING CONCURRENT WITH THE APPLICATION FOR THIS MAP. IN ANY LOCATION WHERE VACATION OF A STREET INTEREST, UTILITY EASEMENT, OR OTHER INTEREST IS ANTICIPATED OR REQUIRED TO BE TERMINATED IN CONNECTION WITH THIS MAP, SAID VACATION SHALL BE INDICATED ON THE PHASED FINAL MAP.
- PUBLIC EASEMENTS OR ROW SHOWN TO BE VACATED SHALL FOLLOW THE CITY OF MOUNTAIN VIEW MUNICIPAL CODE EASEMENT VACATION PROCESS AND CALIFORNIA STREETS AND HIGHWAY CODE.

NOTE RELATING TO STREET SECTIONS

REFER TO THE MASTER APPLICATION BEING SUBMITTED CONCURRENTLY UNDER SEPARATE COVER

NOTE RELATING TO UTILITIES

- REFER TO THE MASTER APPLICATION BEING SUBMITTED CONCURRENTLY UNDER SEPARATE COVER.
- ADDITIONAL EASEMENTS, SUCH AS FOR PUBLIC UTILITIES, WILL BE DEDICATED BY FINAL MAP OR SEPARATE INSTRUMENT, AS NEEDED.

SURVEYOR'S STATEMENT

THIS VESTING TENTATIVE MAP SUBMITTAL HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.

RODNEY A. STEWART II, LS 9225 DATE
RSTEWART@KIERWRIGHT.COM

SHEET INDEX

| SHEET | DESCRIPTION |
|---------|---|
| 1 | GENERAL NOTES |
| 2 | EXISTING CONDITIONS KEY MAP |
| 2.1-2.2 | EXISTING LOT DATA |
| 3 | EXISTING CONDITIONS - JOAQUIN NORTH |
| 4 | EXISTING CONDITIONS - JOAQUIN SOUTH |
| 5 | EXISTING CONDITIONS - PEAR |
| 6 | EXISTING CONDITIONS - SHOREBIRD |
| 7 | EXISTING CONDITIONS & PROPOSED PARCELIZATION - MARINE WAY |
| 8 | PROPOSED PARCELIZATION KEY MAP |
| 9 | PROPOSED PARCELIZATION - JOAQUIN NORTH |
| 10 | PROPOSED PARCELIZATION - JOAQUIN SOUTH |
| 11 | PROPOSED PARCELIZATION - PEAR |
| 12 | PROPOSED PARCELIZATION - SHOREBIRD |
| 13-16 | GRADING PLANS |

GENERAL NOTES

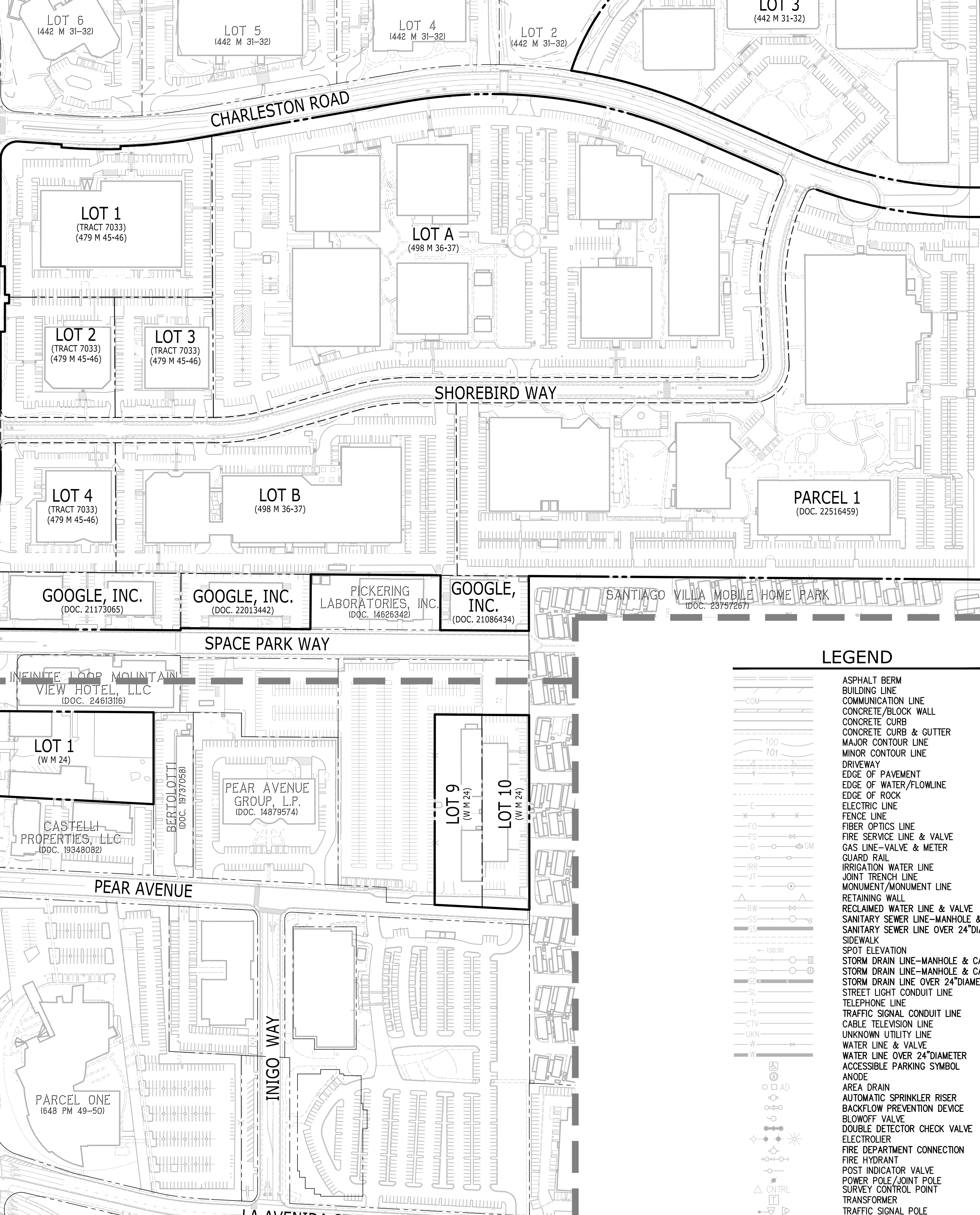
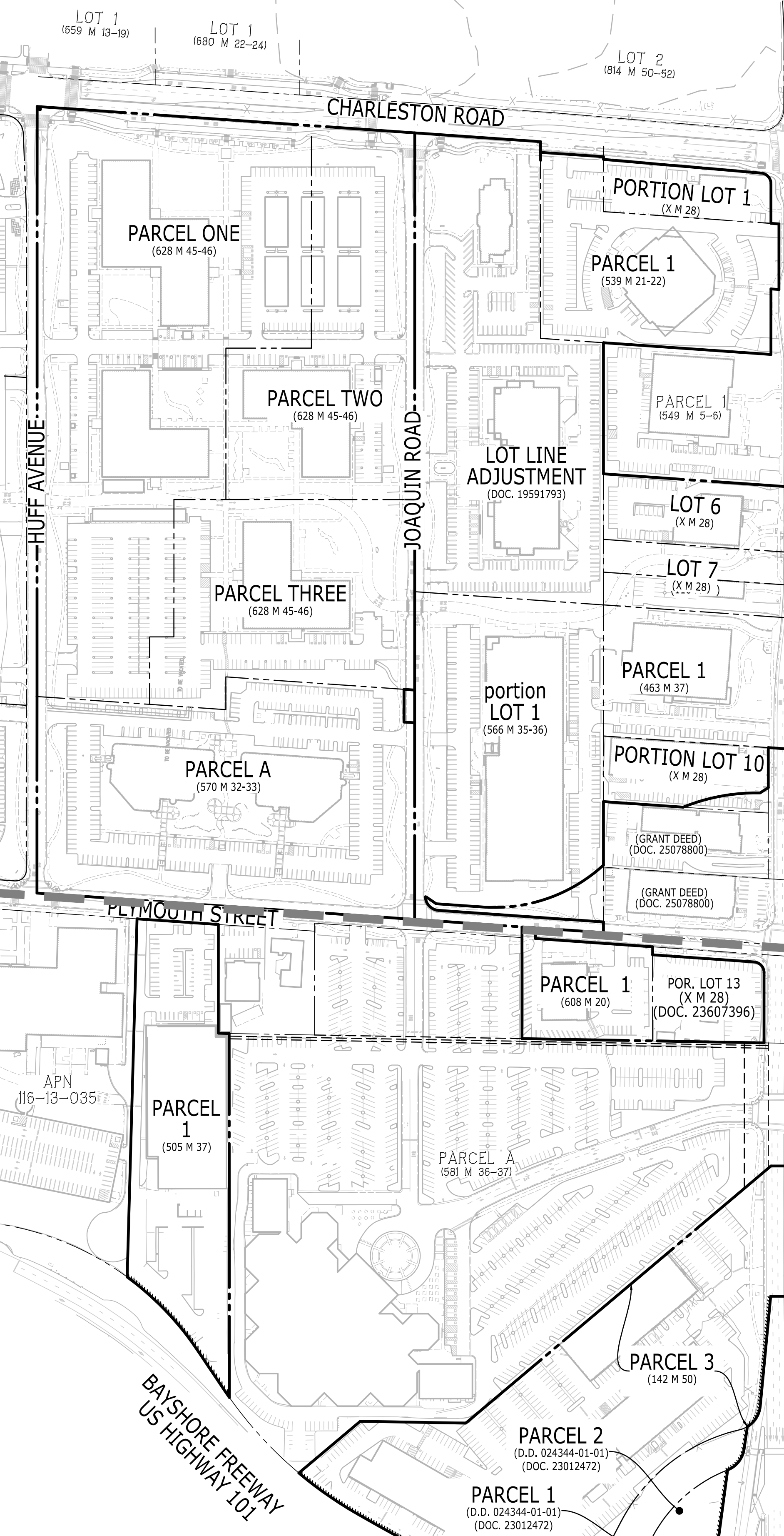
- OWNER:** GOOGLE LLC
1600 AMPHITHEATRE PARKWAY
MOUNTAIN VIEW, CA 94043
PH: (650) 253-0000
- OWNER REPRESENTATIVE:** LENDLEASE SILICON VALLEY DEVELOPMENT LLC
1375 GENEVA DRIVE
SUNNYVALE, CA 94089
- CIVIL ENGINEER:** KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS, INC.
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
PH: (408) 727-6665
CONTACT: CHUCK McCALLUM
- MAP PREPARED BY:** KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS, INC.
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
PH: (408) 727-6665
CONTACT: RYAN M. AMAYA/RODNEY A. STEWART II
- APN:** SEE EXISTING LOT DATA TABLE ON SHEETS 2.1 AND 2.2
- EXISTING USE:** OFFICE AND RESEARCH & DEVELOPMENT
- PROPOSED USE:** MIXED-USE
- EXISTING ZONING:** P(39) NORTH BAYSHORE PRECISE PLAN
- PROPOSED ZONING:** NO CHANGE
- GENERAL PLAN:** HGH-INTENSITY OFFICE, NORTH BAYSHORE MIXED-USE, & MIXED-USE CENTER (NORTH BAYSHORE)
- SEWAGE DISPOSAL:** GRAVITY FLOW TO EXISTING SEWER MAIN
- STORM WATER DISPOSAL:** GRAVITY FLOW TO EXISTING STORM DRAIN MAIN
- EXISTING # OF LOTS:** 36
- PROPOSED # OF GROUND LOTS:** 58
PROPOSED # OF VERTICAL AIRSPACE LOTS: 526
- PROPOSED MAXIMUM # OF CONDOMINIUMS:**
7000 RESIDENTIAL UNITS
360 COMMERCIAL UNITS
- EXISTING GROSS ACREAGE:** 142.7± ACRES (INCLUSIVE OF EXISTING STREET EASEMENTS TO BE VACATED)
EXISTING NET ACREAGE: 130.7± ACRES (EXCLUSIVE OF EXISTING STREET EASEMENTS TO BE VACATED)
- PROPOSED NET ACREAGE:** 116.4± ACRES (TOTAL DEVELOPABLE AREA, EXCLUSIVE OF 26.3± ACRES LYING WITHIN PROPOSED NEW & EXPANDED STREET EASEMENT DEDICATIONS)
- THIS VESTING TENTATIVE MAP WAS PREPARED FROM INFORMATION FURNISHED IN PRELIMINARY TITLE REPORTS, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY:
A) ORDER NUMBER NCS-1142883-SC, DATED NOVEMBER 29, 2022, AMENDED DECEMBER 6, 2022
B) ORDER NUMBER NCS-1154752-SC, DATED OCTOBER 31, 2022
C) ORDER NUMBER NCS-1023449-SC, DATED OCTOBER 31, 2022
D) ORDER NUMBER NCS-1155454-SC, DATED NOVEMBER 22, 2022, AMENDED DECEMBER 2, 2022
E) ORDER NUMBER NCS-1154750-SC, DATED OCTOBER 31, 2022
F) ORDER NUMBER NCS-988182-SC, DATED NOVEMBER 1, 2022
G) ORDER NUMBER NCS-1016524-SC, DATED OCTOBER 31, 2022
H) ORDER NUMBER NCS-1154751-SC, DATED NOVEMBER 1, 2022
I) ORDER NUMBER NCS-1155469-SC, DATED JANUARY 6, 2023
J) ORDER NUMBER NCS-1155455-SC, DATED DECEMBER 22, 2022
K) ORDER NUMBER NCS-1155467-SC, DATED DECEMBER 19, 2022
L) ORDER NUMBER NCS-1165220-SC, DATED FEBRUARY 16, 2023
M) ORDER NUMBER NCS-1165223-SC, DATED FEBRUARY 22, 2023
- BENCHMARK:** CITY OF MOUNTAIN VIEW BENCHMARK "11-10R" BRONZE DISK STAMPED "11-10R" SET IN THE TOP OF CURB, CENTER OF RETURN AT THE NORTHEAST CORNER OF LA AVENIDA STREET AND SHORELINE BOULEVARD. ELEVATION: 24.857 FEET (NAVD 88)
- BASIS OF BEARINGS:** THE BEARING OF NORTH TAKEN ON THE CENTERLINE OF NORTH SHORELINE BOULEVARD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON SEPTEMBER 13, 1982 IN BOOK 504 OF MAPS AT PAGES 14 THROUGH 16, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- FLOOD ZONE NOTE:** THIS SITE IS PARTIALLY LOCATED IN FLOOD ZONE "X (SHADED)" AND PARTIALLY LOCATED IN FLOOD ZONE "AE" (EL 11") PER FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 0608500307H FOR COMMUNITY NUMBER 060347 (CITY OF MOUNTAIN VIEW), WITH AN EFFECTIVE DATE OF MAY 18, 2009.
- THE PROJECT SITE IS WITHIN THE LANDSLIDE AND LIQUEFACTION ZONES, WHICH ARE ZONES OF REQUIRED INVESTIGATION PURSUANT TO THE STATE SEISMIC HAZARD MAPPING ACT AND SEISMIC HAZARD ZONE MAPS FOR MOUNTAIN VIEW.
- VESTING MAP:** THIS VESTING TENTATIVE MAP ("VESTING MAP") IS BEING FILED IN ACCORDANCE WITH CHAPTER 3, ARTICLE 2, SECTION 66452 AND CHAPTER 4.5 OF THE SUBDIVISION MAP ACT.
- FINAL MAP:** PURSUANT TO CHAPTER 3, ARTICLE 4, SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS (EACH A "PHASED FINAL MAP").
- EXISTING INTERIOR LOT LINES TO BE REMOVED UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS DEPICTED HEREON ARE APPROXIMATE AND ARE SUBJECT TO REVISION AT FINAL MAP(S) STAGE.
- ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE LOCATIONS OF PUBLICLY-DEDICATED EASEMENTS SHOWN HEREON ARE APPROXIMATE AND WILL BE FINALIZED ON PHASED FINAL MAPS. ADDITIONAL EASEMENTS WILL BE DEDICATED, AS NEEDED, BY FINAL MAP OR SEPARATE INSTRUMENT.
- NEW RIGHTS-OF-WAY MAY REQUIRE NEW STREET NAMES.
- THE DISTRICT SYSTEM EASEMENTS ARE APPROXIMATE AND WILL BE DIMENSIONED ON PHASED FINAL MAPS. THE EASEMENTS ARE SUBJECT TO THE IMPLEMENTATION OF THE DISTRICT SYSTEM. IF THE DISTRICT SYSTEM IS NOT PURSUED, THE EASEMENTS ARE NOT REQUIRED (OR GRANTED) ON THE PHASED FINAL MAPS.

GENERAL NOTES

| | | | | | | | | | |
|---|-------------|----------|----------|----------|----------|----------|----------|----------|----------|
| NO. | NO. | NO. | NO. | NO. | NO. | NO. | NO. | NO. | NO. |
| BY | BY | BY | BY | BY | BY | BY | BY | BY | BY |
| REVISION | REVISION | REVISION | REVISION | REVISION | REVISION | REVISION | REVISION | REVISION | REVISION |
| | | | | | | | | | |
| NORTH BAYSHORE MASTER PLAN VESTING TENTATIVE MAP FOR GOOGLE LLC MOUNTAIN VIEW, CALIFORNIA | | | | | | | | | |
| DATE | APRIL, 2023 | | | | | | | | |
| SCALE | AS SHOWN | | | | | | | | |
| SURVEYOR | RSII | | | | | | | | |
| DRAWN BY | CT | | | | | | | | |
| JOB NO. | A20107 | | | | | | | | |
| SHEET | 1 | | | | | | | | |
| OF | 16 | | | | | | | | |

SHOREBIRD - SHEET 6

JOAQUIN NORTH - SHEET 3



LEGEND (cont'd)

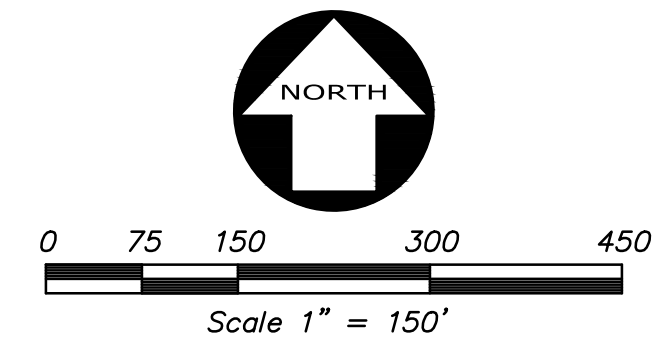
- PROPERTY LINE - EXTERIOR BOUNDARY
- PROPERTY LINE - ADJACENT LOT
- RIGHT OF WAY - NEW
- PROPERTY LINE - EXISTING INTERIOR
- PROPERTY LINE - NEW INTERIOR
- EASEMENT LINE - EXISTING
- EASEMENT LINE - NEW
- UNDERLYING PROPERTY LINE
- MONUMENT LINE / CENTERLINE, AS NOTED

ABBREVIATIONS

| | |
|--------------|---|
| AC | ASPHALT CONCRETE |
| AD | AREA DRAIN |
| APN | ASSASSOR'S PARCEL NUMBER |
| B.D. | BRASS DISK |
| BTM | BOTTOM |
| BW | BACK OF WALK |
| C/CONC | CONCRETE |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| COMM | COMMUNICATION |
| CP | CATHODIC PROTECTION |
| CTVB | CABLE TELEVISION BOX |
| CTVB | CABLE TELEVISION BOX |
| D.D. | DIRECTOR'S DEED |
| DIP | DUCTILE IRON PIPE |
| DOC. | DOCUMENT |
| DWY | DRIVEWAY |
| E | EAST |
| EB | ELECTRIC BOX |
| ECAB | ELECTRIC CABINET |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EMH | ELECTRICAL MANHOLE |
| EP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EV | ELECTRIC VAULT |
| EVC | ELECTRIC VEHICLE CHARGING STATION |
| EW | EDGE OF WALK |
| FAB | FIRE ALARM BOX |
| FC | FACE OF CURB |
| FF | FINISH FLOOR |
| FND | FOUND |
| FOB | FIBER OPTIC BOX |
| FOMH | FIBER OPTIC MANHOLE |
| FV | FIBER OPTICS VAULT |
| GEN | GENERATOR |
| GV | GREASE INTERCEPTOR |
| I.E.E. | INGRESS/EGRESS EASEMENT |
| IB | IRRIGATION BOX |
| ICV | IRRIGATION CONTROL VALVE |
| IR | INVERT ELEVATION |
| IRRIC | IRRIGATION |
| JB | JUNCTION BOX |
| L.D. | LEGAL DESCRIPTION |
| L.E. | LANDSCAPE EASEMENT |
| L/S | LANDSCAPE |
| LIP | LIP OF GUTTER |
| M | MAPS |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| N.B.G.E.P.S. | NORTH BAYSHORE GROUNDWATER EXTRACTION PIPING SYSTEM |
| NO. | NUMBER |
| O.R. | OFFICIAL RECORD |
| P.A.E. | PUBLIC ACCESS EASEMENT |
| PCL | PARCEL |
| P.I.E.E. | PRIVATE INGRESS/EGRESS EASEMENT |
| POR. | PORTION |
| P.P.A.E. | PRIVATE PEDESTRIAN ACCESS EASEMENT |
| P.P.B.A.E. | PRIVATE PEDESTRIAN AND BICYCLE ACCESS EASEMENT |
| P.S.E. | PUBLIC SERVICE EASEMENT |
| P.S.S.E. | PRIVATE SANITARY SEWER EASEMENT |
| P.S.P.E. | PUBLIC SERVICE PARKWAY EASEMENT |
| P.T&T | PUBLIC TELEPHONE & TELEGRAPH |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PE | PEDESTAL |
| PG&E | PACIFIC GAS & ELECTRIC |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| R | RADIAL BEARING |
| R | RECORD MAP REFERENCE |
| R/W | RIGHT OF WAY |
| RCE | REGISTERED CIVIL ENGINEER |
| RE | RIM ELEVATION |
| RWB | RECLAIMED WATER BOX |
| RWL | RAIN WATER LEADER |
| RWM | RECLAIMED WATER METER |
| S | SOUTH |
| S.D.E. | STORM DRAIN EASEMENT |
| S.E. | STREET EASEMENT |
| S.S.E. | SANITARY SEWER EASEMENT |
| SDCO | STORM DRAIN CLEAN OUT |
| SDJB | STORM DRAIN JUNCTION BOX |
| SDMH | STORM DRAIN MANHOLE |
| S.L.B. | STREET LIGHT BOX |
| SSB | SANITARY SEWER BOX |
| SSCO | SANITARY SEWER CLEAN OUT |
| SSMH | SANITARY SEWER MANHOLE |
| S.W.E. | SIDEWALK EASEMENT |
| STL | STEEL |
| TB | TELEPHONE BOX |
| TC | TOP OF CURB |
| TCAB | TELEPHONE CABINET |
| TE | TRASH ENCLOSURE |
| TELE | TELEPHONE |
| TMH | TELEPHONE MANHOLE |
| TR | TOP OF RAMP |
| TSB | TRAFFIC SIGNAL BOX |
| U.U.A. | UNDERGROUND UTILITY AGREEMENT |
| U.E. | UTILITY EASEMENT |
| UB | UTILITY BOX |
| UNK | UNKNOWN |
| UV | UTILITY VAULT |
| W | WEST |
| W/W | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |

LEGEND

- ASPHALT BERM
- BUILDING LINE
- COMMUNICATION LINE
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- DRIVEWAY
- EDGE OF PAVEMENT
- EDGE OF WATER/FLOWLINE
- EDGE OF ROCK
- ELECTRIC LINE
- FENCE LINE
- FIBER OPTICS LINE
- FIRE SERVICE LINE & VALVE
- GAS LINE-VALVE & METER
- GUARD RAIL
- IRRIGATION WATER LINE
- JOINT TRENCH LINE
- MONUMENT/MONUMENT LINE
- RETAINING WALL
- RECLAIMED WATER LINE & VALVE
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SANITARY SEWER LINE OVER 24"DIAMETER
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE OVER 24"DIAMETER
- STREET LIGHT CONDUIT LINE
- TELEPHONE LINE
- TRAFFIC SIGNAL CONDUIT LINE
- CABLE TELEVISION LINE
- UNKNOWN UTILITY LINE
- WATER LINE & VALVE
- WATER LINE OVER 24"DIAMETER
- ACCESSIBLE PARKING SYMBOL
- ANODE
- AREA DRAIN
- AUTOMATIC SPRINKLER RISER
- BACKFLOW PREVENTION DEVICE
- BLOWOFF VALVE
- DOUBLE DETECTOR CHECK VALVE
- ELECTROUER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- POST INDICATOR VALVE
- POWER POLE/Joint POLE
- SURVEY CONTROL POINT
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- TREE
- UTILITY BOX
- WALK-BOLLARD LIGHT
- WATER VALVE
- WELL



KIER+WRIGHT

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Phone: (408) 727-6665
www.kierwright.com

**NORTH BAYSHORE MASTER PLAN
VESTING TENTATIVE MAP**

FOR
GOOGLE LLC

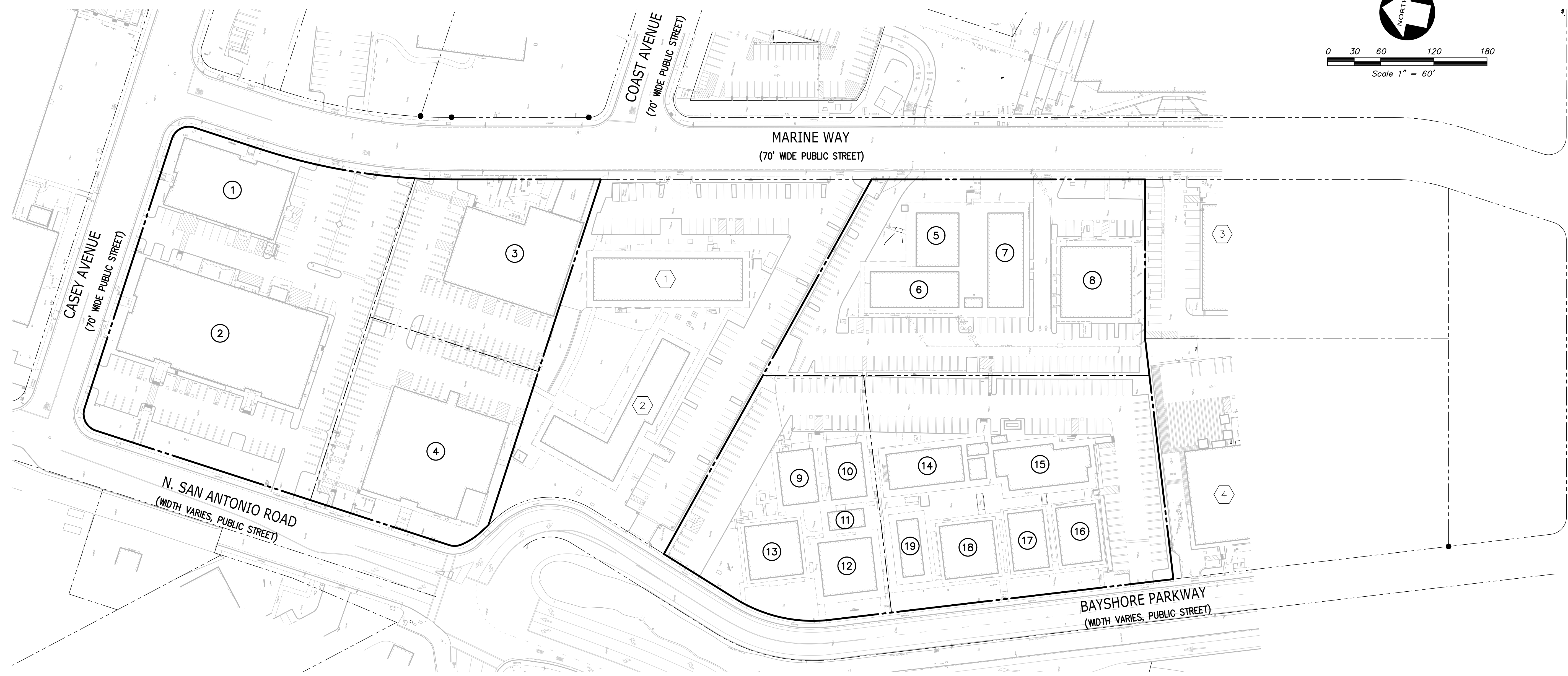
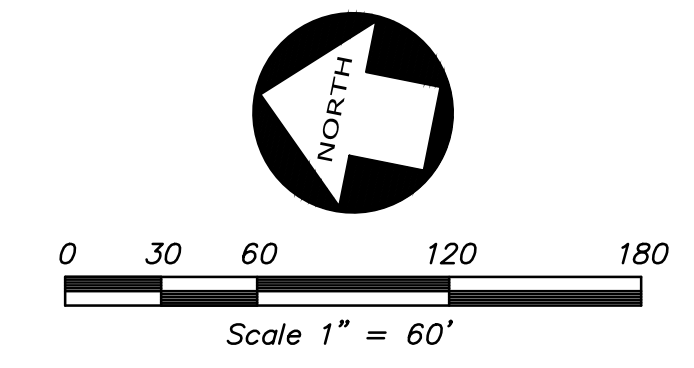
CALIFORNIA

MOUNTAIN VIEW,

| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 2 |
| OF | 16 SHEETS |

EXISTING CONDITIONS KEY MAP

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EXISTING LOT DATA
① NORTH BAYSHORE VTM LOTS

| Property No. | APN | Address |
|--------------|------------|-------------------------------|
| 1 | 116-02-037 | 2761 Marine Way |
| 2 | 116-02-037 | 1161 San Antonio Rd |
| 3 | 116-02-084 | 2751 Marine Way |
| 4 | 116-02-083 | 1157 San Antonio Rd |
| 5 | 116-02-088 | 2665 Marine Way, Bldg 1200 |
| 6 | 116-02-088 | 2665 Marine Way, Bldg 1400 |
| 7 | 116-02-088 | 2665 Marine Way, Bldg 1300 |
| 8 | 116-02-088 | 2665 Marine Way, Bldg 1100 |
| 9 | 116-02-054 | 2672 Bayshore Pkwy, Bldg 400 |
| 10 | 116-02-054 | 2672 Bayshore Pkwy, Bldg 300 |
| 11 | 116-02-054 | |
| 12 | 116-02-054 | 2672 Bayshore Pkwy, Bldg 200 |
| 13 | 116-02-054 | 2672 Bayshore Pkwy, Bldg 100 |
| 14 | 116-02-081 | 2672 Bayshore Pkwy, Bldg 500 |
| 15 | 116-02-081 | 2672 Bayshore Pkwy, Bldg 1000 |
| 16 | 116-02-081 | 2672 Bayshore Pkwy, Bldg 900 |
| 17 | 116-02-081 | 2672 Bayshore Pkwy, Bldg 800 |
| 18 | 116-02-081 | 2672 Bayshore Pkwy, Bldg 700 |
| 19 | 116-02-081 | 2672 Bayshore Pkwy, Bldg 600 |

EXISTING LOT DATA
② ADJACENT LOTS

| Property No. | APN | Address | Owner |
|--------------|------------|---------------------|------------------------------|
| 1 | 116-02-079 | 1101 San Antonio Rd | Lords Grace Christian Church |
| 2 | 116-02-079 | 1101 San Antonio Rd | Lords Grace Christian Church |
| 3 | 116-02-041 | 2637 Marine Way | Google, Inc. |
| 4 | 116-02-089 | 2644 Bayshore Pkwy | Google, Inc. |

LEGEND

- — — — — PROPERTY LINE - EXTERIOR BOUNDARY
- — — — — PROPERTY LINE - ADJACENT LOT
- — — — — RIGHT OF WAY - NEW
- — — — — PROPERTY LINE - EXISTING INTERIOR
- — — — — PROPERTY LINE - NEW INTERIOR
- - - - - EASEMENT LINE - EXISTING
- - - - - EASEMENT LINE - NEW
- — — — — UNDERLYING PROPERTY LINE
- — — — — MONUMENT LINE / CENTERLINE, AS NOTED

NORTH BAYSHORE MASTER PLAN
VESTING TENTATIVE MAP

FOR
GOOGLE LLC

MOUNTAIN VIEW,
 CALIFORNIA

| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 2.2 |
| OF | 16 SHEETS |

EXISTING LOT DATA

| NO. | BY | REVISION |
|-----|----|----------|
| | | |
| | | |
| | | |
| | | |

KIER+WRIGHT
 3350 Scott Boulevard, Building 22
 Santa Clara, California 95054
 Phone: (408) 727-6665
 www.kierwright.com

C:\Users\ctw\appdata\local\temp\120107-X-A20107-SUC-MARINE.dwg 4-20-23 05:28:09 PM ctw

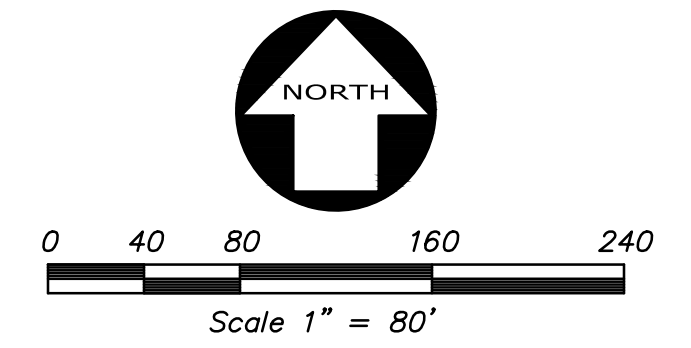


LINE TABLE

| LINE # | DIRECTION | LENGTH |
|--------|-------------|---------|
| L1 | S86°00'16"E | 101.85' |
| L2 | S4°00'02"W | 6.92' |
| L3 | N86°00'08"W | 20.50' |
| L4 | N1°33'54"W | 7.00' |
| L5 | S80°00'08"W | 36.98' |
| L6 | S23°30'18"W | 23.77' |
| L7 | S23°30'18"W | 74.16' |
| L8 | S23°30'18"W | 26.51' |
| L9 | N90°00'00"E | 10.00' |
| L10 | N0°00'00"E | 67.50' |
| L11 | N90°00'00"E | 10.00' |
| L12 | N0°00'00"E | 14.21' |
| L13 | N0°00'00"E | 5.79' |
| L14 | N90°00'00"E | 10.00' |
| L15 | N0°00'00"E | 67.50' |
| L16 | N90°00'00"W | 10.00' |

CURVE TABLE

| CURVE # | RADIUS | DELTA | LENGTH |
|---------|----------|------------|---------|
| C1 | 40.00' | 93°59'43" | 65.62' |
| C2 | 1236.00' | 5°33'46" | 120.00' |
| C3 | 20.00' | 89°59'55" | 31.42' |
| C4 | 20.00' | 86°02'49" | 30.04' |
| C5 | 1129.00' | 2°33'29" | 50.41' |
| C6 | 20.00' | 32°19'16" | 11.28' |
| C7 | 50.00' | 165°42'08" | 144.60' |
| C8 | 1095.63' | 1°31'45" | 29.24' |
| C9 | 832.68' | 0°20'39" | 5.00' |
| C10 | 60.00' | 92°49'45" | 97.21' |
| C11 | 500.00' | 16°06'29" | 140.57' |
| C12 | 500.00' | 16°08'36" | 140.88' |
| C13 | 20.00' | 90°00'00" | 31.42' |
| C14 | 20.00' | 90°00'00" | 31.42' |



LEGEND (cont'd)

| | |
|-----|--------------------------------------|
| --- | PROPERTY LINE - EXTERIOR BOUNDARY |
| --- | PROPERTY LINE - ADJACENT LOT |
| --- | RIGHT OF WAY - NEW |
| --- | PROPERTY LINE - EXISTING INTERIOR |
| --- | PROPERTY LINE - NEW INTERIOR |
| --- | EASEMENT LINE - EXISTING |
| --- | EASEMENT LINE - NEW |
| --- | UNDERLYING PROPERTY LINE |
| --- | MONUMENT LINE / CENTERLINE, AS NOTED |

ABBREVIATIONS

| | |
|--------------|---|
| AC | ASPHALTIC CONCRETE |
| AD | AREA DRAIN |
| APN | ASSASSOR'S PARCEL NUMBER |
| B.D. | BRASS DISK |
| BTM | BOTTOM |
| BW | BACK OF WALK |
| C/CONC | CONCRETE |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| COMM | COMMUNICATION |
| CP | CATHODIC PROTECTION |
| CTVB | CABLE TELEVISION BOX |
| CTVB | CABLE TELEVISION BOX |
| D.D. | DIRECTOR'S DEED |
| DOC | DOCUMENT |
| DWY | DRIVEWAY |
| E | EAST |
| EB | ELECTRIC BOX |
| ECAB | ELECTRIC CABINET |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EMH | ELECTRICAL MANHOLE |
| EP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EV | ELECTRIC VAULT |
| EVC | ELECTRIC VEHICLE CHARGING STATION |
| EW | EDGE OF WALK |
| FAB | FIRE ALARM BOX |
| FAC | FACE OF CURB |
| FF | FINISH FLOOR |
| FND | FINDING |
| FBO | FIBER OPTIC BOX |
| FOMH | FIBER OPTIC MANHOLE |
| FV | FIBER OPTICS VAULT |
| GEN | GENERATOR |
| GV | GREASE INTERCEPTOR |
| I.E.E. | INGRESS/EGRESS EASEMENT |
| IB | IRRIGATION BOX |
| ICV | IRRIGATION CONTROL VALVE |
| IR | IRIGATION |
| IRRIC | IRRIGATION |
| JB | JUNCTION BOX |
| L.D. | LEGAL DESCRIPTION |
| L.E. | LANDSCAPE EASEMENT |
| L/S | LANDSCAPE |
| LIP | LIP OF GUTTER |
| M | MAPS |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| N.B.G.E.P.S. | NORTH BAYSHORE GROUNDWATER EXTRACTION PIPING SYSTEM |
| NO. | NUMBER |
| O.R. | OFFICIAL RECORD |
| P.A.E. | PUBLIC ACCESS EASEMENT |
| PCL | PARCEL |
| P.I.E.E. | PRIVATE INGRESS/EGRESS EASEMENT |
| POR. | PORTION |
| P.P.A.E. | PRIVATE PEDESTRIAN ACCESS EASEMENT |
| P.P.B.A.E. | PRIVATE PEDESTRIAN AND BICYCLE ACCESS EASEMENT |
| P.S.E. | PUBLIC SERVICE EASEMENT |
| P.S.S.E. | PRIVATE SANITARY SEWER EASEMENT |
| P.S.P.E. | PUBLIC SERVICE PARKWAY EASEMENT |
| P.T&T | PUBLIC TELEPHONE & TELEGRAPH |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PE | PEDESTAL |
| PQ&E | PACIFIC GAS & ELECTRIC |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| R | RADIUS |
| R/W | RIGHT OF WAY |
| RCE | REGISTERED CIVIL ENGINEER |
| RE | RECLAIMED WATER BOX |
| RWB | RECLAIMED WATER BOX |
| RWL | RAIN WATER LEADER |
| RWM | RECLAIMED WATER METER |
| S | SOUTH |
| S.D.E. | STORM DRAIN EASEMENT |
| S.E. | STREET EASEMENT |
| S.S.E. | SANITARY SEWER EASEMENT |
| SDCO | STORM DRAIN CLEAN OUT |
| SDJB | STORM DRAIN JUNCTION BOX |
| SDMH | STORM DRAIN MANHOLE |
| S.E.B. | STREET LIGHT BOX |
| SSB | SANITARY SEWER BOX |
| SSCO | SANITARY SEWER CLEAN OUT |
| SSMH | SANITARY SEWER MANHOLE |
| S.W.E. | SIDEWALK EASEMENT |
| STL | STEEL |
| T | TELEPHONE BOX |
| TC | TOP OF CURB |
| TCAB | TELEPHONE CABINET |
| TE | TRASH ENCLOSURE |
| TELE | TELEPHONE |
| TMH | TELEPHONE MANHOLE |
| TR | TOP OF RAMP |
| TSB | TRAFFIC SIGNAL BOX |
| U.U.A. | UTILITY UNDERLYING AGREEMENT |
| U.E. | UTILITY EASEMENT |
| UN | UNKNOWN |
| UV | UTILITY VAULT |
| W | WEST |
| W/W | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |

RECORD MAP REFERENCES

| | | |
|-----|-------------------------|---------------|
| R1 | RECORD OF SURVEY | 504 M 14-16 |
| R2 | TRACT MAP #7033 | 479 M 45-46 |
| R3 | PARCEL MAP | 498 M 36-37 |
| R4 | PARCEL MAP | 459 M 54-55 |
| R5 | TRACT MAP #6621 | 442 M 31-32 |
| R6 | RECORD OF SURVEY | 182 M 27 |
| R7 | PARCEL MAP | 648 M 49-50 |
| R8 | GRANT DEED | DOC. 21173065 |
| R9 | GRANT DEED | DOC. 22013442 |
| R10 | GRANT DEED | DOC. 21086434 |
| R11 | GRANT DEED | DOC. 23089093 |
| R12 | SUBDIVISION MAP | W M 24 |
| R13 | PARCEL MAP | 539 M 21-22 |
| R14 | RECORD OF SURVEY | 573 M 7 |
| R15 | RECORD OF SURVEY | 478 M 9 |
| R16 | RECORD OF SURVEY | 575 M 45-46 |
| R17 | PARCEL MAP | 628 M 45-46 |
| R18 | PARCEL MAP | 570 M 32-33 |
| R19 | LOT LINE ADJUSTMENT | 19591793 |
| R20 | MAP OF LOS ALAMOS ACRES | X M 28 |
| R21 | PARCEL MAP | 598 M 23-24 |
| R22 | PARCEL MAP | 549 M 5-6 |
| R23 | GRANT DEED | DOC. 24178425 |
| R24 | PARCEL MAP | 566 M 36 |
| R25 | GRANT DEED | DOC. 21328095 |
| R26 | RECORD OF SURVEY | 116 M 29 |
| R27 | PARCEL MAP | 463 M 37 |
| R28 | CORNER RECORD | CR118 CR5-2W |
| R29 | EASEMENT DEED | 5535 OR 286 |
| R30 | PARCEL MAP | 505 M 37-38 |
| R31 | RECORD OF SURVEY | 142 M 50 |
| R32 | PARCEL MAP | 608 M 20 |
| R33 | GRANT DEED | DOC. 25078800 |

LEGEND

| | |
|-----|--|
| --- | ASPHALT BERM |
| --- | BUILDING LINE |
| --- | COMMUNICATION LINE |
| --- | CONCRETE/BLOCK WALL |
| --- | CONCRETE CURB |
| --- | CONCRETE CURB & GUTTER |
| --- | MAJOR CONTOUR LINE |
| --- | MINOR CONTOUR LINE |
| --- | DRIVEWAY |
| --- | EDGE OF PAVEMENT |
| --- | EDGE OF WATER/FLOWLINE |
| --- | EDGE OF ROCK |
| --- | ELECTRIC LINE |
| --- | FENCE LINE |
| --- | FIBER OPTICS LINE |
| --- | FIRE SERVICE LINE & VALVE |
| --- | GAS LINE-VALVE & METER |
| --- | GUARD RAIL |
| --- | IRRIGATION WATER LINE |
| --- | JOINT TRENCH LINE |
| --- | MONUMENT/MONUMENT LINE |
| --- | RETAINING WALL |
| --- | RECLAIMED WATER LINE & VALVE |
| --- | SANITARY SEWER LINE-MANHOLE & CLEANOUT |
| --- | SANITARY SEWER LINE OVER 24"DIAMETER |
| --- | SIDEWALK |
| --- | SPOT ELEVATION |
| --- | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| --- | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| --- | STORM DRAIN LINE OVER 24"DIAMETER |
| --- | STREET LIGHT CONDUIT LINE |
| --- | TRAFFIC SIGNAL CONDUIT LINE |
| --- | CABLE TELEVISION LINE |
| --- | UNKNOWN UTILITY LINE |
| --- | WATER LINE & VALVE |
| --- | WATER LINE OVER 24"DIAMETER |
| --- | ACCESSIBLE PARKING SYMBOL |
| --- | ANODE |
| --- | AREA DRAIN |
| --- | AUTOMATIC SPRINKLER RISER |
| --- | BACKFLOW PREVENTION DEVICE |
| --- | BLOWOFF VALVE |
| --- | DOUBLE DETECTOR CHECK VALVE |
| --- | ELECTROUER |
| --- | FIRE DEPARTMENT CONNECTION |
| --- | FIRE HYDRANT |
| --- | POST INDICATOR VALVE |
| --- | POWER POLE/JOINT POLE |
| --- | SURVEY CONTROL POINT |
| --- | TRANSFORMER |
| --- | TRAFFIC SIGNAL POLE |
| --- | TRAFFIC SIGN |
| --- | TREE |
| --- | UTILITY BOX |
| --- | WALK-BOLLARD LIGHT |
| --- | WATER VALVE |
| --- | WELL |

KIER+WRIGHT

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CALIFORNIA

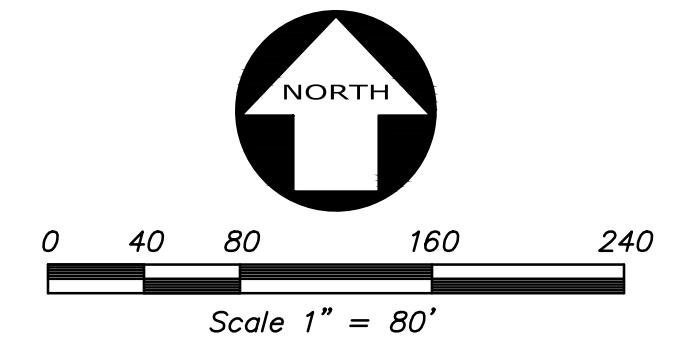
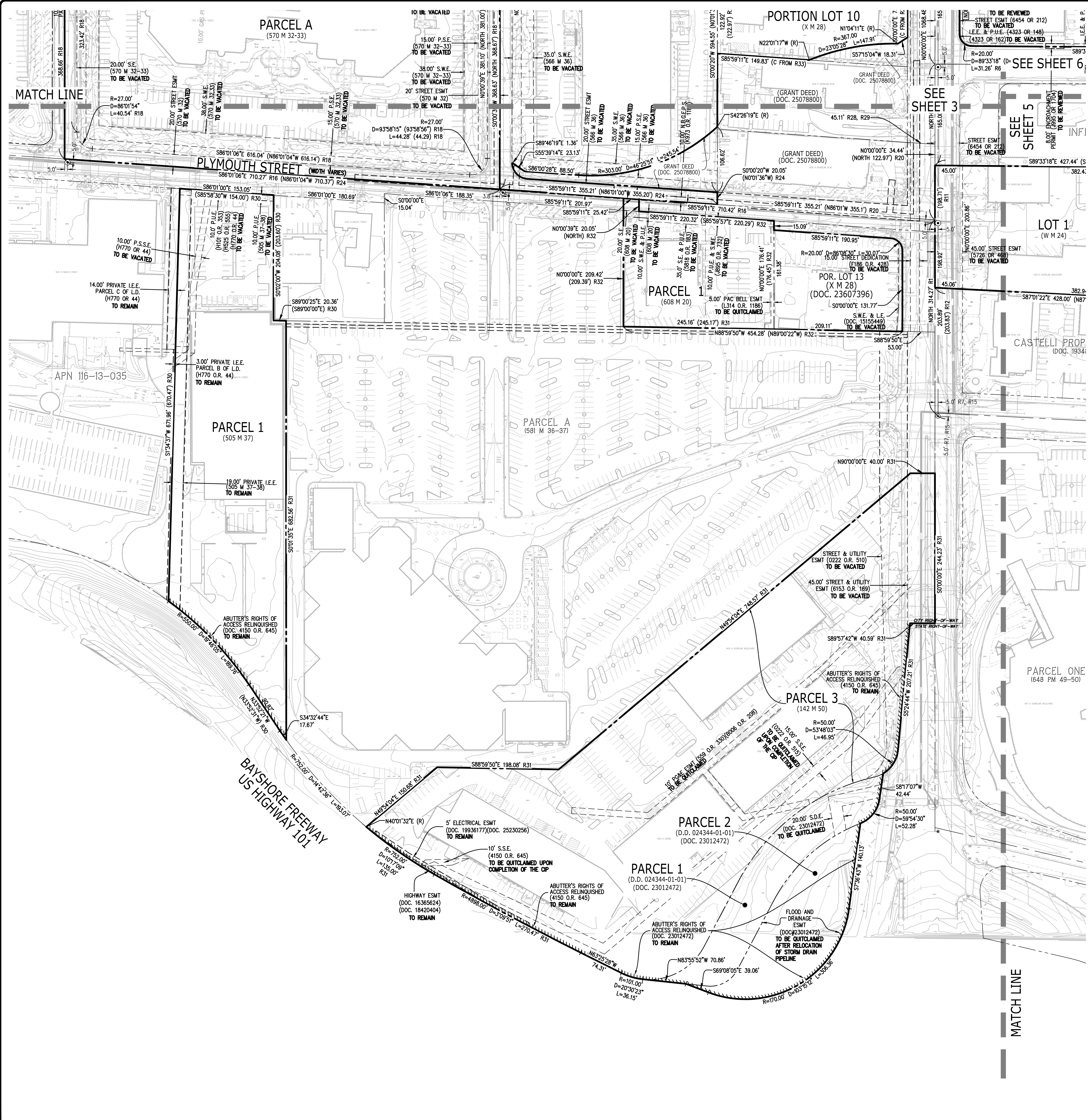
FOR GOOGLE LLC

NORTH BAYSHORE MASTER PLAN VESTING TENTATIVE MAP

MOUNTAIN VIEW,

| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 3 |
| OF | 16 SHEETS |

EXISTING CONDITIONS - JOAQUIN NORTH



LEGEND (cont'd)

| | |
|-----|--------------------------------------|
| --- | PROPERTY LINE - EXTERIOR BOUNDARY |
| --- | PROPERTY LINE - ADJACENT LOT |
| --- | RIGHT OF WAY - NEW |
| --- | PROPERTY LINE - EXISTING INTERIOR |
| --- | PROPERTY LINE - NEW INTERIOR |
| --- | EASEMENT LINE - EXISTING |
| --- | EASEMENT LINE - NEW |
| --- | UNDERLYING PROPERTY LINE |
| --- | MONUMENT LINE / CENTERLINE, AS NOTED |

ABBREVIATIONS

| | |
|--------------|---|
| AC | ASPHALTIC CONCRETE |
| AD | AREA DRAIN |
| APN | ASSESSOR'S PARCEL NUMBER |
| B.D. | BRASS DISK |
| BTM | BOTTOM |
| BW | BACK OF WALK |
| C/CONC | CONCRETE |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| COMM | COMMUNICATION |
| CP | CATHODIC PROTECTION |
| CTVB | CABLE TELEVISION BOX |
| CTVB | CABLE TELEVISION BOX |
| D.D. | DIRECTOR'S DEED |
| DD | DUCTILE IRON PIPE |
| DOC | DOCUMENT |
| DWY | DRIVEWAY |
| E | EAST |
| EB | ELECTRIC BOX |
| ECAB | ELECTRIC CABINET |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EMH | ELECTRICAL MANHOLE |
| EP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EV | ELECTRIC VAULT |
| EVC | ELECTRIC VEHICLE CHARGING STATION |
| EW | EDGE OF WALK |
| FAB | FIRE ALARM BOX |
| FC | FACE OF CURB |
| FF | FINISH FLOOR |
| FO | FOUND |
| FND | FOUNDATION |
| FOB | FIBER OPTIC BOX |
| FOMH | FIBER OPTIC MANHOLE |
| FV | FIBER OPTICS VAULT |
| GEN | GENERATOR |
| GV | GREASE INTERCEPTOR |
| GV | GAS VALVE |
| I.E.E. | INGRESS/EGRESS EASEMENT |
| IB | IRRIGATION BOX |
| ICV | IRRIGATION CONTROL VALVE |
| INVERT | INVERT ELEVATION |
| IRRIG | IRRIGATION |
| JB | JUNCTION BOX |
| L.D. | LEGAL DESCRIPTION |
| L.E. | LANDSCAPE EASEMENT |
| L/S | LANDSCAPE |
| LIP | LIP OF GUTTER |
| M | MAPS |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| N.B.G.E.P.S. | NORTH BAYSHORE GROUNDWATER EXTRACTION PIPING SYSTEM |
| NO. | NUMBER |
| O.R. | OFFICIAL RECORD |
| P.A.E. | PUBLIC ACCESS EASEMENT |
| PCL | PARCEL |
| P.I.E.E. | PRIVATE INGRESS/EGRESS EASEMENT |
| POR. | PORTION |
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| P.P.B.A.E. | PRIVATE PEDESTRIAN AND BICYCLE ACCESS EASEMENT |
| P.S.E. | PUBLIC SERVICE EASEMENT |
| P.S.S.E. | PRIVATE SANITARY SEWER EASEMENT |
| P.S.P.E. | PUBLIC SERVICE PARKWAY EASEMENT |
| P.T&T | PUBLIC TELEPHONE & TELEGRAPH |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PE | PEDESTAL |
| PGE | PACIFIC GAS & ELECTRIC |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| R | RADIUS |
| R | RECORD MAP REFERENCE |
| R/W | RIGHT OF WAY |
| RCE | REGISTERED CIVIL ENGINEER |
| RE | RIM ELEVATION |
| RWB | RECLAIMED WATER BOX |
| RWL | RAIN WATER LEADER |
| RWM | RECLAIMED WATER METER |
| S | SOUTH |
| S.D.E. | STORM DRAIN EASEMENT |
| S.E.E. | SEWER EASEMENT |
| S.S.E. | SANITARY SEWER EASEMENT |
| SDCO | STORM DRAIN CLEAN OUT |
| SDJB | STORM DRAIN JUNCTION BOX |
| SDMH | STORM DRAIN MANHOLE |
| S.L.B. | STREET LIGHT BOX |
| SSB | SANITARY SEWER BOX |
| SSCO | SANITARY SEWER CLEAN OUT |
| SSMH | SANITARY SEWER MANHOLE |
| S.W.E. | SEWER EASEMENT |
| STB | STEEL |
| TC | TELEPHONE BOX |
| TC | TOP OF CURB |
| TCAB | TELEPHONE CABINET |
| TE | TRASH ENCLOSURE |
| TELE | TELEPHONE |
| TMH | TELEPHONE MANHOLE |
| TR | TOP OF RAMP |
| TSB | TRAFFIC SIGNAL BOX |
| U.U.A. | UNDERGROUND UTILITY AGREEMENT |
| U.E. | UTILITY EASEMENT |
| UB | UTILITY BOX |
| UNK | UNKNOWN |
| UV | UTILITY VAULT |
| W | WEST |
| W | WALK |
| WB | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |

RECORD MAP REFERENCES

| | | |
|-----|-------------------------|---------------|
| R1 | RECORD OF SURVEY | 504 M 14-16 |
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| R5 | TRACT MAP #6621 | 442 M 31-32 |
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| R8 | GRANT DEED | DOC. 21173065 |
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| R10 | GRANT DEED | DOC. 21086434 |
| R11 | GRANT DEED | DOC. 23089093 |
| R12 | SUBDIVISION MAP | W M 24 |
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| R20 | MAP OF LOS ALAMOS ACRES | X M 28 |
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| R29 | EASEMENT DEED | 5535 OR 286 |
| R30 | PARCEL MAP | 505 M 37-38 |
| R31 | RECORD OF SURVEY | 142 M 50 |
| R32 | PARCEL MAP | 608 M 20 |
| R33 | GRANT DEED | DOC. 25078800 |

LEGEND

| | |
|-----|--|
| --- | ASPHALT BERM |
| --- | BUILDING LINE |
| --- | COMMUNICATION LINE |
| --- | CONCRETE/BLOCK WALL |
| --- | CONCRETE CURB |
| --- | CONCRETE CURB & GUTTER |
| --- | MAJOR CONTOUR LINE |
| --- | MINOR CONTOUR LINE |
| --- | DRIVEWAY |
| --- | EDGE OF PAVEMENT |
| --- | EDGE OF WATER/FLOWLINE |
| --- | EDGE OF ROCK |
| --- | ELECTRIC LINE |
| --- | FENCE LINE |
| --- | FIBER OPTICS LINE |
| --- | FIRE SERVICE LINE & VALVE |
| --- | GAS LINE-VALVE & METER |
| --- | GUARD RAIL |
| --- | IRRIGATION WATER LINE |
| --- | JOINT TRENCH LINE |
| --- | MONUMENT/MONUMENT LINE |
| --- | RETAINING WALL |
| --- | RECLAIMED WATER LINE & VALVE |
| --- | SANITARY SEWER LINE-MANHOLE & CLEANOUT |
| --- | SANITARY SEWER LINE OVER 24"DIAMETER |
| --- | SIDEWALK |
| --- | SPOT ELEVATION |
| --- | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| --- | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| --- | STORM DRAIN LINE OVER 24"DIAMETER |
| --- | STREET LIGHT CONDUIT LINE |
| --- | TELEPHONE LINE |
| --- | TRAFFIC SIGNAL CONDUIT LINE |
| --- | CABLE TELEVISION LINE |
| --- | UNKNOWN UTILITY LINE |
| --- | WATER LINE & VALVE |
| --- | WATER LINE OVER 24"DIAMETER |
| --- | ACCESSIBLE PARKING SYMBOL |
| --- | ANODE |
| --- | AREA DRAIN |
| --- | AUTOMATIC SPRINKLER RISER |
| --- | BACKFLOW PREVENTION DEVICE |
| --- | BLOWOFF VALVE |
| --- | DOUBLE DETECTOR CHECK VALVE |
| --- | ELECTROUER |
| --- | FIRE DEPARTMENT CONNECTION |
| --- | FIRE HYDRANT |
| --- | POST INDICATOR VALVE |
| --- | POWER POLE/Joint POLE |
| --- | SURVEY CONTROL POINT |
| --- | TRANSFORMER |
| --- | TRAFFIC SIGNAL POLE |
| --- | TRAFFIC SIGN |
| --- | TREE |
| --- | UTILITY BOX |
| --- | WALK-BOLLARD LIGHT |
| --- | WATER VALVE |
| --- | WELL |

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CALIFORNIA

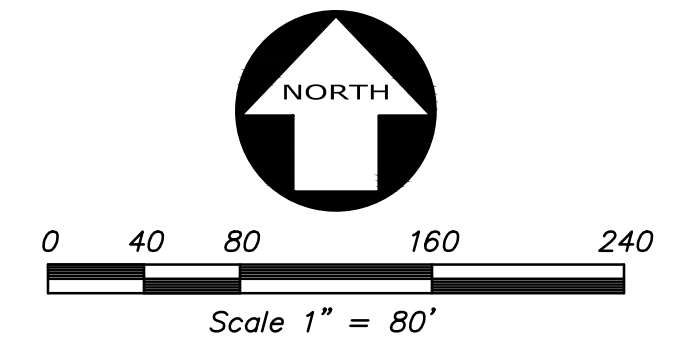
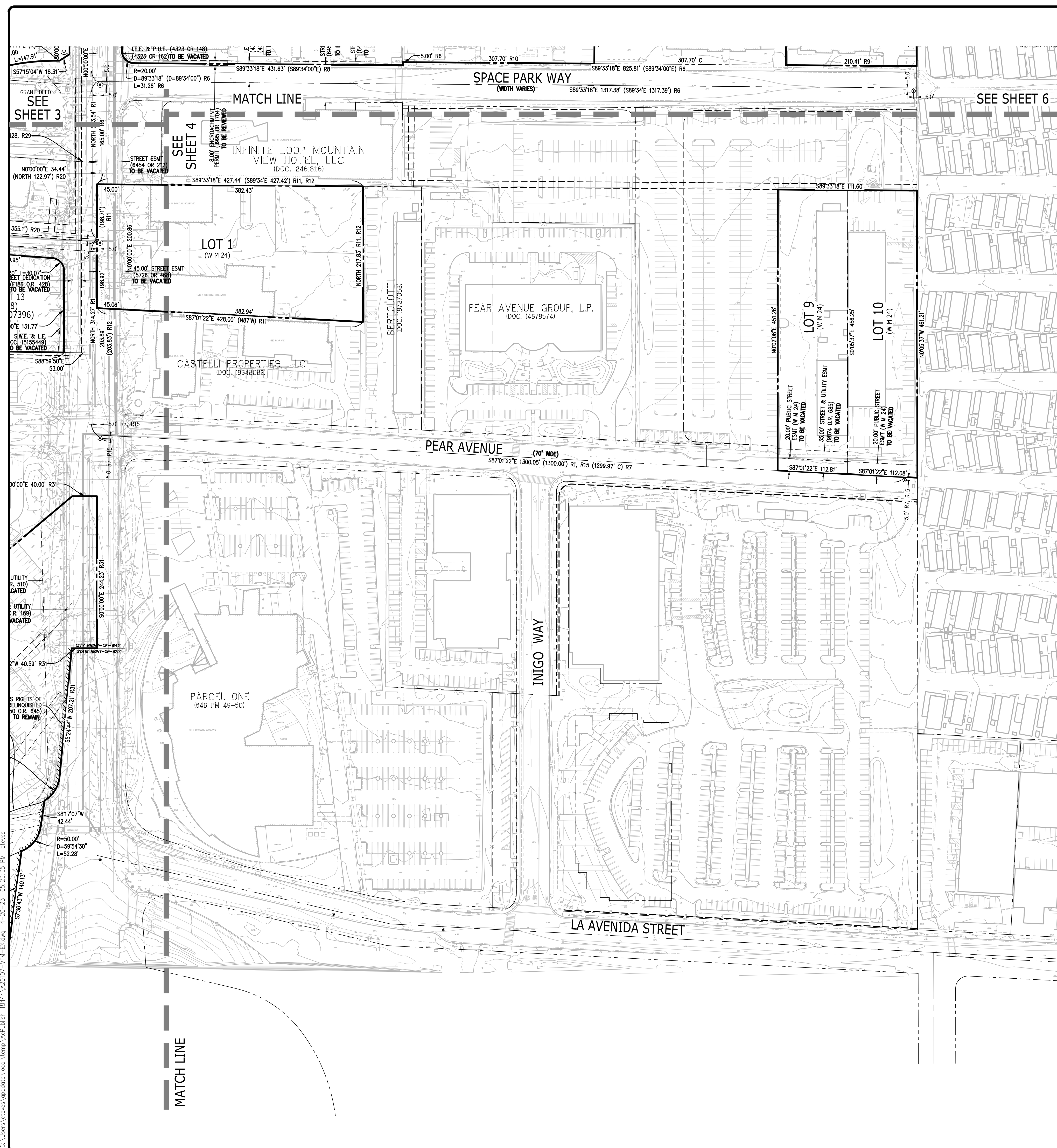
**NORTH BAYSHORE MASTER PLAN
VESTING TENTATIVE MAP**

FOR
GOOGLE LLC

MOUNTAIN VIEW,

| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 4 |
| OF | 16 SHEETS |

EXISTING CONDITIONS - JOAQUIN SOUTH



LEGEND (cont'd)

| | |
|--|--------------------------------------|
| | PROPERTY LINE - EXTERIOR BOUNDARY |
| | PROPERTY LINE - ADJACENT LOT |
| | RIGHT OF WAY - NEW |
| | PROPERTY LINE - EXISTING INTERIOR |
| | PROPERTY LINE - NEW INTERIOR |
| | EASEMENT LINE - EXISTING |
| | EASEMENT LINE - NEW |
| | UNDERLYING PROPERTY LINE |
| | MONUMENT LINE / CENTERLINE, AS NOTED |

ABBREVIATIONS

| | |
|---------------|---|
| AC | ASPHALTIC CONCRETE |
| AD | AREA DRAIN |
| APN | ASSESSOR'S PARCEL NUMBER |
| B.D. | BRASS DISK |
| BTM | BOTTOM |
| BW | BACK OF WALK |
| C/CONC | CONCRETE |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| COMM | COMMUNICATION |
| CP | CATHODIC PROTECTION |
| CTVB | CABLE TELEVISION BOX |
| CTVB | CABLE TELEVISION BOX |
| D.D. | DIRECTOR'S DEED |
| DIP | DUCTILE IRON PIPE |
| DOC | DOCUMENT |
| DWY | DRIVEWAY |
| E | EAST |
| EB | ELECTRIC BOX |
| ECAB | ELECTRIC CABINET |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EMH | ELECTRICAL MANHOLE |
| EP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EV | ELECTRIC VAULT |
| EVC | ELECTRIC VEHICLE CHARGING STATION |
| EW | EDGE OF WALK |
| FAB | FIRE ALARM BOX |
| FC | FACE OF CURB |
| FF | FINISH FLOOR |
| FND | FOUND |
| FOB | FIBER OPTIC BOX |
| FOMH | FIBER OPTIC MANHOLE |
| FV | FIBER OPTICS VAULT |
| GEN | GENERATOR |
| G | GREASE INTERCEPTOR |
| GV | GAS VALVE |
| I.E.E. | INGRESS/EGRESS EASEMENT |
| IB | IRRIGATION BOX |
| ICV | IRRIGATION CONTROL VALVE |
| INVERT | INVERT ELEVATION |
| IRRIG | IRRIGATION |
| JB | JUNCTION BOX |
| L.D. | LEGAL DESCRIPTION |
| L.E. / L.S.E. | LANDSCAPE EASEMENT |
| L/S | LANDSCAPE |
| LIP | LIP OF GUTTER |
| M | MAPS |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| N.B.G.E.P.S. | NORTH BAYSHORE GROUNDWATER EXTRACTION PIPING SYSTEM |
| NO. | NUMBER |
| O.R. | OFFICIAL RECORD |
| P.A.E. | PUBLIC ACCESS EASEMENT |
| PCL | PARCEL |
| P.I.E.E. | PRIVATE INGRESS/EGRESS EASEMENT |
| POR. | PORTION |
| P.P.A.E. | PRIVATE PEDESTRIAN ACCESS EASEMENT |
| P.P.B.A.E. | PRIVATE PEDESTRIAN AND BICYCLE ACCESS EASEMENT |
| P.S.E. | PUBLIC SERVICE EASEMENT |
| P.S.S.E. | PRIVATE SANITARY SEWER EASEMENT |
| P.S.P.E. | PUBLIC SERVICE PARKWAY EASEMENT |
| P1&T | PACIFIC TELEPHONE & TELEGRAPH |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PEDESTAL | PEDESTAL |
| PQ&E | PACIFIC GAS & ELECTRIC |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| R | RADIAL BEARING |
| R1 | RECORD MAP REFERENCE |
| R/W | RIGHT OF WAY |
| RCE | REGISTERED CIVIL ENGINEER |
| RE | RIM ELEVATION |
| RWB | RECLAIMED WATER BOX |
| RWL | RAIN WATER LEADER |
| RWM | RECLAIMED WATER METER |
| S | SOUTH |
| S.D.E. | STORM DRAIN EASEMENT |
| S.E. | SEWER EASEMENT |
| S.S.E. | SANITARY SEWER EASEMENT |
| SDCO | STORM DRAIN CLEAN OUT |
| SDJB | STORM DRAIN JUNCTION BOX |
| SDMH | STORM DRAIN MANHOLE |
| S.B. | STREET LIGHT BOX |
| SSB | SANITARY SEWER BOX |
| SSCO | SANITARY SEWER CLEAN OUT |
| SSMH | SANITARY SEWER MANHOLE |
| S.W.E. | SIDEWALK EASEMENT |
| STL | STEEL |
| TB | TELEPHONE BOX |
| TC | TOP OF CURB |
| TCAB | TELEPHONE CABINET |
| TE | TRASH ENCLOSURE |
| TELE | TELEPHONE |
| TMH | TELEPHONE MANHOLE |
| TR | TOP OF RAMP |
| TSB | TRAFFIC SIGNAL BOX |
| U.U.A. | UNDERGROUND UTILITY AGREEMENT |
| U.E. | UTILITY EASEMENT |
| UB | UTILITY BOX |
| UNK | UNKNOWN |
| UV | UTILITY VAULT |
| W | WEST |
| W/B | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |

RECORD MAP REFERENCES

| | | |
|-----|-------------------------|---------------|
| R1 | RECORD OF SURVEY | 504 M 14-16 |
| R2 | TRACT MAP #7033 | 479 M 45-46 |
| R3 | PARCEL MAP | 498 M 36-37 |
| R4 | PARCEL MAP | 459 M 54-55 |
| R5 | TRACT MAP #6621 | 442 M 31-32 |
| R6 | RECORD OF SURVEY | 182 M 27 |
| R7 | PARCEL MAP | 648 M 49-50 |
| R8 | GRANT DEED | DOC. 21173065 |
| R9 | GRANT DEED | DOC. 22013442 |
| R10 | GRANT DEED | DOC. 21086434 |
| R11 | GRANT DEED | DOC. 23089093 |
| R12 | SUBDIVISION MAP | W M 24 |
| R13 | PARCEL MAP | 539 M 21-22 |
| R14 | RECORD OF SURVEY | 573 M 7 |
| R15 | RECORD OF SURVEY | 478 M 9 |
| R16 | RECORD OF SURVEY | 575 M 45-46 |
| R17 | PARCEL MAP | 628 M 45-46 |
| R18 | PARCEL MAP | 570 M 32-33 |
| R19 | LOT LINE ADJUSTMENT | 19591793 |
| R20 | MAP OF LOS ALAMOS ACRES | X M 28 |
| R21 | PARCEL MAP | 598 M 23-24 |
| R22 | PARCEL MAP | 549 M 5-6 |
| R23 | GRANT DEED | DOC. 24178425 |
| R24 | PARCEL MAP | 566 M 36 |
| R25 | GRANT DEED | DOC. 21328095 |
| R26 | RECORD OF SURVEY | 116 M 29 |
| R27 | PARCEL MAP | 463 M 37 |
| R28 | CORNER RECORD | CR118 CR5-2W |
| R29 | EASEMENT DEED | 5535 OR 286 |
| R30 | PARCEL MAP | 505 M 37-38 |
| R31 | RECORD OF SURVEY | 142 M 50 |
| R32 | PARCEL MAP | 608 M 20 |
| R33 | GRANT DEED | DOC. 25078800 |

LEGEND

| | |
|--|--|
| | ASPHALT BERM |
| | BUILDING LINE |
| | COMMUNICATION LINE |
| | CONCRETE/BLOCK WALL |
| | CONCRETE CURB |
| | CONCRETE CURB & GUTTER |
| | MAJOR CONTOUR LINE |
| | MINOR CONTOUR LINE |
| | DRIVEWAY |
| | EDGE OF PAVEMENT |
| | EDGE OF WATER/FLOWLINE |
| | EDGE OF ROCK |
| | ELECTRIC LINE |
| | FENCE LINE |
| | FIBER OPTICS LINE |
| | FIRE SERVICE LINE & VALVE |
| | GAS LINE-VALVE & METER |
| | GUARD RAIL |
| | IRRIGATION WATER LINE |
| | JOINT TRENCH LINE |
| | MONUMENT/MONUMENT LINE |
| | RETAINING WALL |
| | RECLAIMED WATER LINE & VALVE |
| | SANITARY SEWER LINE-MANHOLE & CLEANOUT |
| | SANITARY SEWER LINE OVER 24\"/> |
| | SIDEWALK |
| | SPOT ELEVATION |
| | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| | STORM DRAIN LINE OVER 24\"/> |
| | STREET LIGHT CONDUIT LINE |
| | TELEPHONE LINE |
| | TRAFFIC SIGNAL CONDUIT LINE |
| | CABLE TELEVISION LINE |
| | UNKNOWN UTILITY LINE |
| | WATER LINE & VALVE |
| | WATER LINE OVER 24\"/> |
| | ACCESSIBLE PARKING SYMBOL |
| | ANODE |
| | AREA DRAIN |
| | AUTOMATIC SPRINKLER RISER |
| | BACKFLOW PREVENTION DEVICE |
| | BLOWOFF VALVE |
| | DOUBLE DETECTOR CHECK VALVE |
| | ELECTROLUER |
| | FIRE DEPARTMENT CONNECTION |
| | FIRE HYDRANT |
| | POST INDICATOR VALVE |
| | POWER POLE/JOINT POLE |
| | SURVEY CONTROL POINT |
| | TRANSFORMER |
| | TRAFFIC SIGNAL POLE |
| | TRAFFIC SIGN |
| | TREE |
| | UTILITY BOX |
| | WALK-BOLLARD LIGHT |
| | WATER VALVE |
| | WELL |

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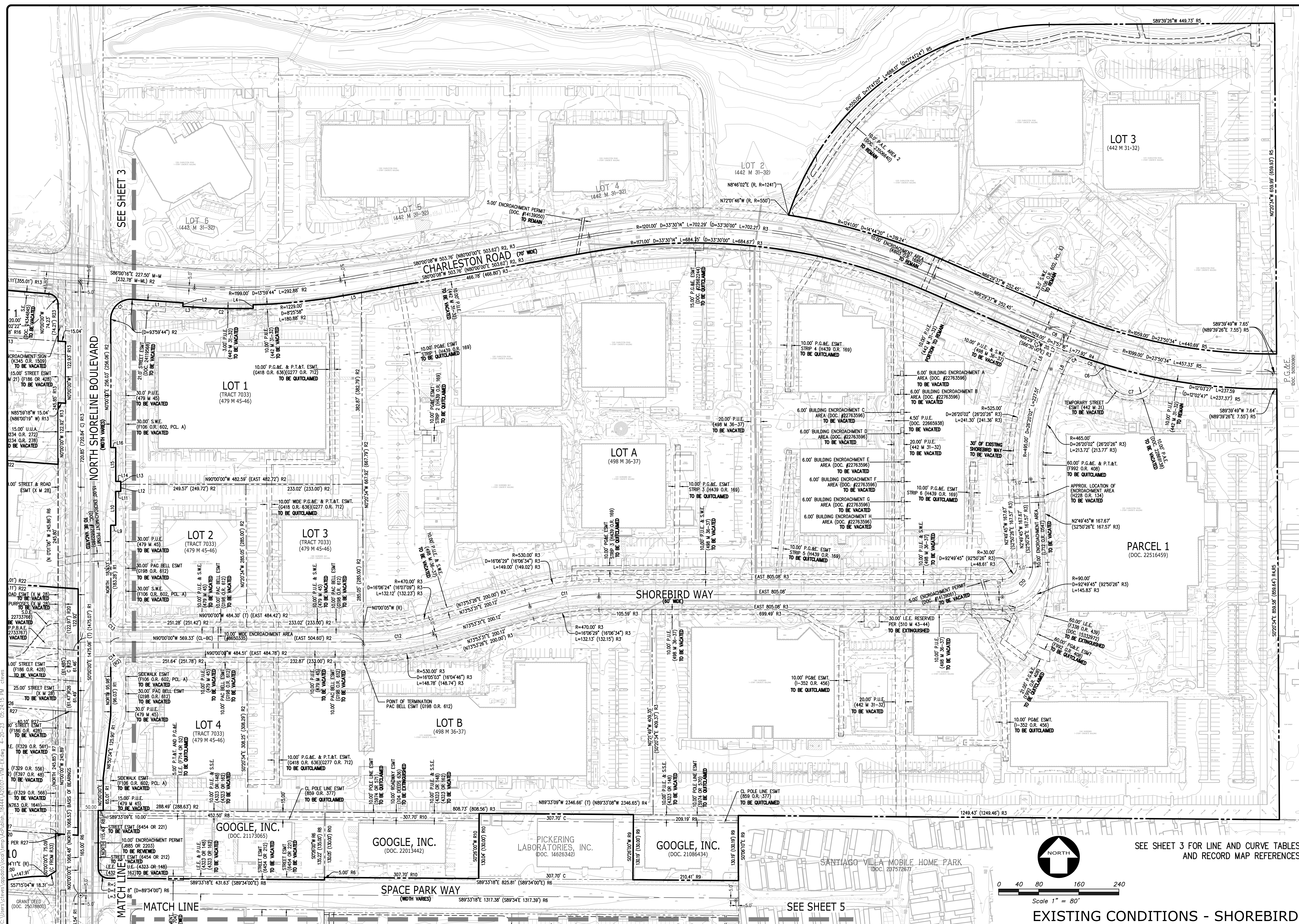
**NORTH BAYSHORE MASTER PLAN
VESTING TENTATIVE MAP**

FOR
GOOGLE LLC

MOUNTAIN VIEW,
CALIFORNIA

| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 5 |
| OF | 16 SHEETS |

EXISTING CONDITIONS - PEAR



| REVISION | | BY | | NO. | |
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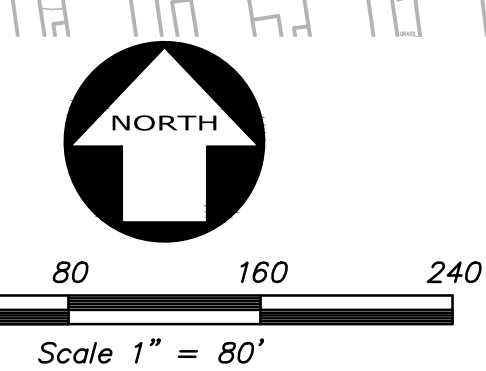
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| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 6 |
| OF | 16 SHEETS |

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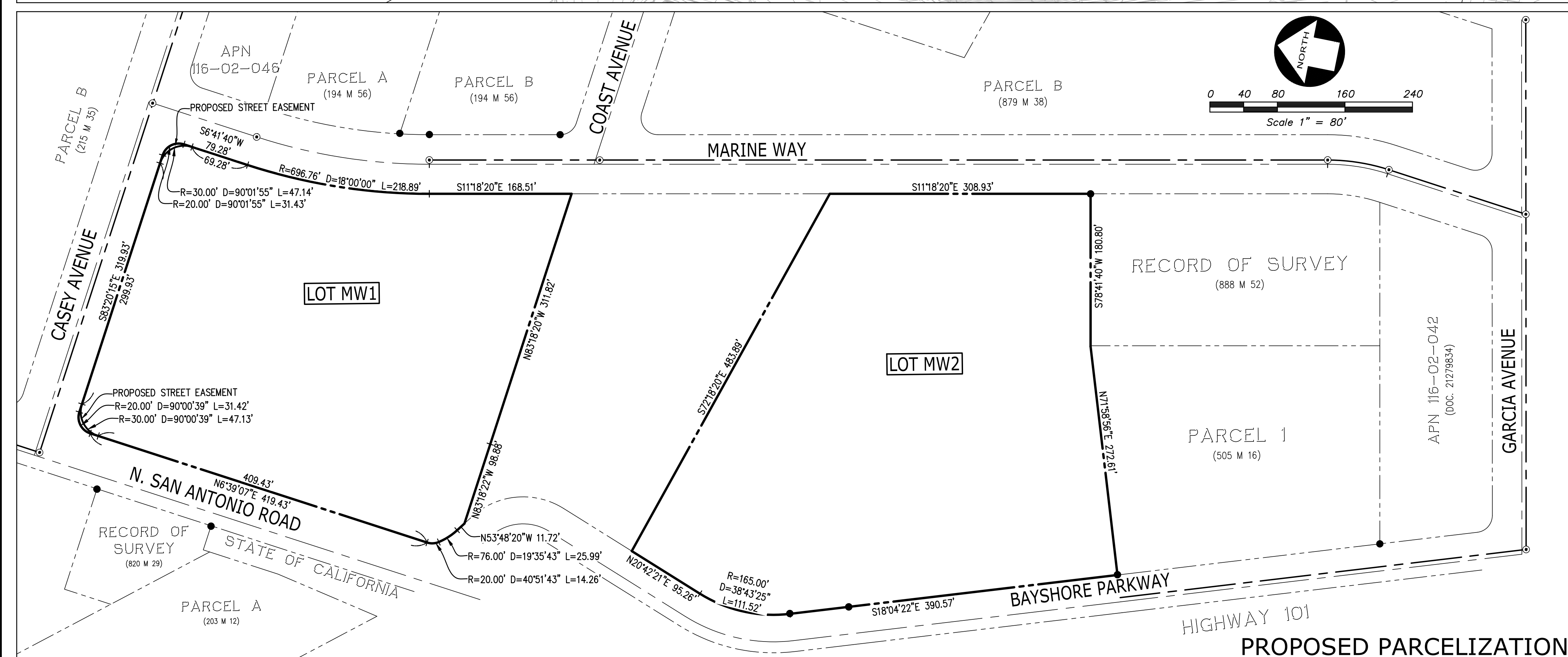
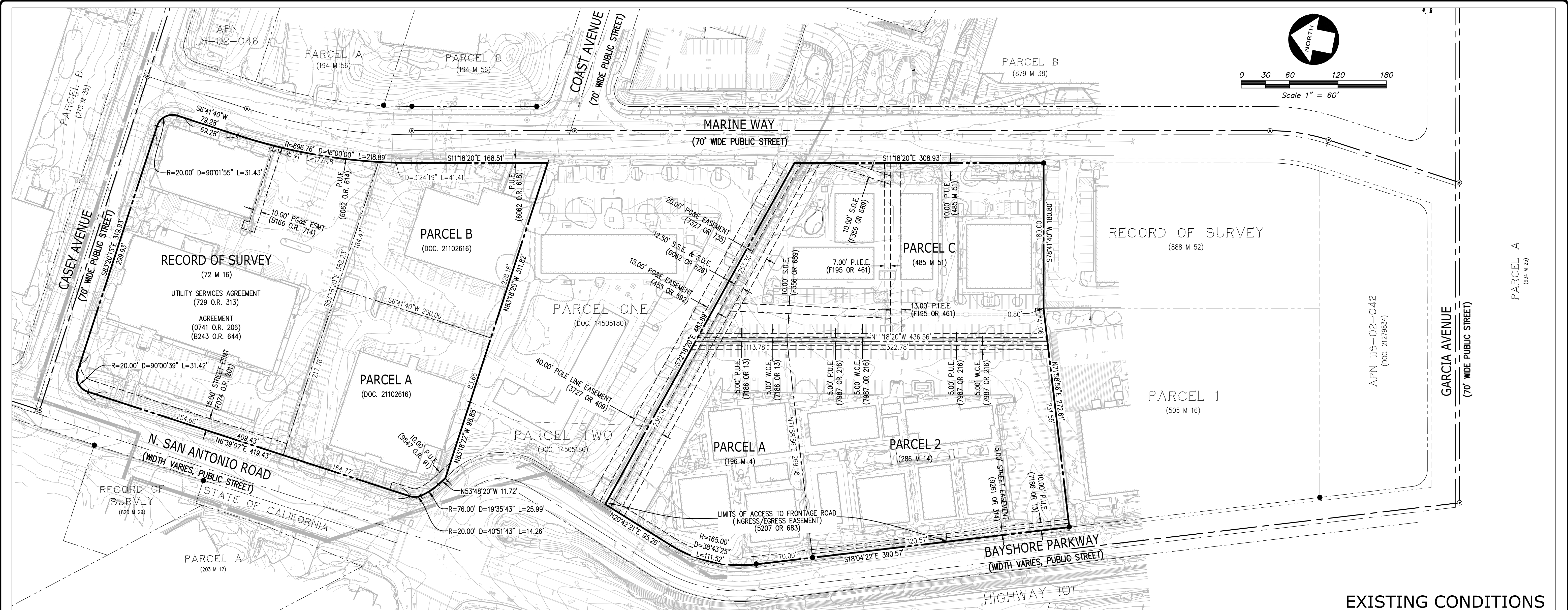
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NORTH BAYSHORE MASTER PLAN
VESTING TENTATIVE MAP
 FOR
GOOGLE LLC
 MOUNTAIN VIEW, CALIFORNIA



SEE SHEET 3 FOR LINE AND CURVE TABLES AND RECORD MAP REFERENCES

EXISTING CONDITIONS - SHOREBIRD



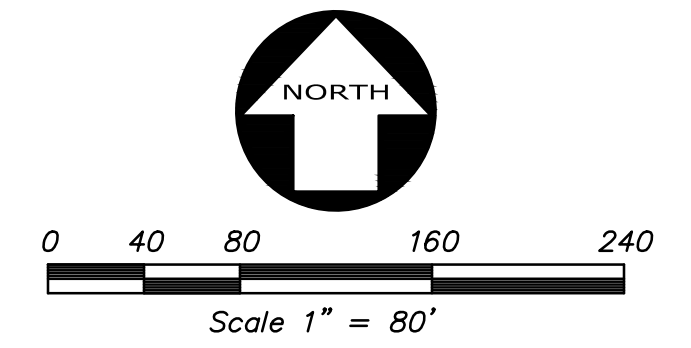
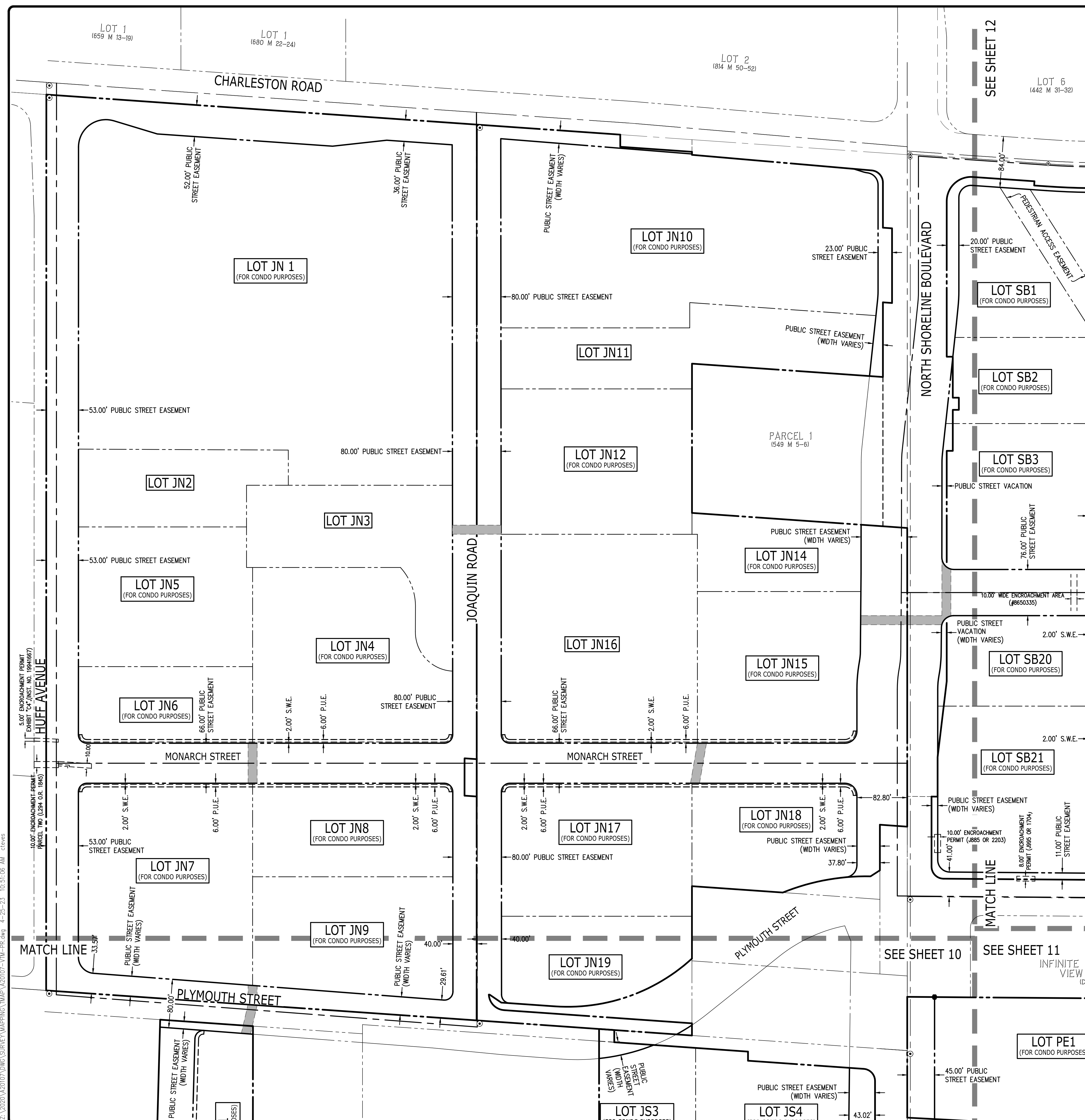
LEGEND

| | |
|--|--------------------------------------|
| | PROPERTY LINE - EXTERIOR BOUNDARY |
| | PROPERTY LINE - ADJACENT LOT |
| | RIGHT OF WAY - NEW |
| | PROPERTY LINE - EXISTING INTERIOR |
| | PROPERTY LINE - NEW INTERIOR |
| | EASEMENT LINE - EXISTING |
| | EASEMENT LINE - NEW |
| | UNDERLYING PROPERTY LINE |
| | MONUMENT LINE / CENTERLINE, AS NOTED |

EXISTING CONDITIONS & PROPOSED PARCELIZATION - MARINE WAY

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| <p>DATE: APRIL, 2023 SCALE: AS SHOWN SURVEYOR: RSII DRAWN BY: CT JOB NO.: A20107 SHEET: 7 OF 16 SHEETS</p> | | | | | | | | | | | | | | | | | | | | | | | | | |

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LEGEND (cont'd)

| | |
|-----|--|
| --- | PROPERTY LINE - EXTERIOR BOUNDARY |
| --- | PROPERTY LINE - ADJACENT LOT |
| --- | RIGHT OF WAY - NEW |
| --- | PROPERTY LINE - EXISTING INTERIOR |
| --- | PROPERTY LINE - NEW INTERIOR |
| --- | EASEMENT LINE - EXISTING |
| --- | EASEMENT LINE - NEW |
| --- | UNDERLYING PROPERTY LINE |
| --- | MONUMENT LINE / CENTERLINE, AS NOTED |
| --- | DISTRICT SYSTEMS PUBLIC STREET CROSSINGS |

ABBREVIATIONS

| | |
|--------------|---|
| AC | ASPHALTIC CONCRETE |
| AD | AREA DRAIN |
| APN | ASSASSOR'S PARCEL NUMBER |
| B.D. | BRASS DISK |
| BTM | BOTTOM |
| BW | BACK OF WALK |
| C/CONC | CONCRETE |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| COMM | COMMUNICATION |
| CP | CATHODIC PROTECTION |
| CTVB | CABLE TELEVISION BOX |
| CTVB | CABLE TELEVISION BOX |
| D.D. | DIRECTOR'S DEED |
| DIP | DUCTILE IRON PIPE |
| DOC | DOCUMENT |
| DWY | DRIVEWAY |
| E | EAST |
| EB | ELECTRIC BOX |
| ECAB | ELECTRIC CABINET |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EMH | ELECTRICAL MANHOLE |
| EP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EV | ELECTRIC VAULT |
| EVC | ELECTRIC VEHICLE CHARGING STATION |
| EW | EDGE OF WALK |
| FAB | FIRE ALARM BOX |
| FC | FACE OF CURB |
| FF | FINISH FLOOR |
| FND | FOUND |
| FOB | FIBER OPTIC BOX |
| FOMH | FIBER OPTIC MANHOLE |
| FV | FIBER OPTICS VAULT |
| GEN | GENERATOR |
| GI | GREASE INTERCEPTOR |
| GV | GAS VALVE |
| I.E.E. | INGRESS/EGRESS EASEMENT |
| IB | IRRIGATION BOX |
| ICV | IRRIGATION CONTROL VALVE |
| IE | INVERT ELEVATION |
| IRRIG | IRRIGATION |
| JB | JUNCTION BOX |
| L.D. | LEGAL DESCRIPTION |
| L.E. | LANDSCAPE EASEMENT |
| L/S | LANDSCAPE |
| LIP | LIP OF GUTTER |
| M | MAPS |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| N.B.G.E.P.S. | NORTH BAYSHORE GROUNDWATER EXTRACTION PIPING SYSTEM |
| NO. | NUMBER |
| O.R. | OFFICIAL RECORD |
| P.A.E. | PUBLIC ACCESS EASEMENT |
| PCL | PARCEL |
| P.I.E.E. | PRIVATE INGRESS/EGRESS EASEMENT |
| POR. | PORTION |
| P.P.A.E. | PRIVATE PEDESTRIAN ACCESS EASEMENT |
| P.P.B.A.E. | PRIVATE PEDESTRIAN AND BICYCLE ACCESS EASEMENT |
| P.S.E. | PUBLIC SERVICE EASEMENT |
| P.S.S.E. | PRIVATE SANITARY SEWER EASEMENT |
| P.S.P.E. | PUBLIC SERVICE PARKWAY EASEMENT |
| PT&T | PACIFIC TELEPHONE & TELEGRAPH |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PE | PEDESTAL |
| PG&E | PACIFIC GAS & ELECTRIC |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| (R) | RADIAL BEARING |
| RM | RECORD MAP REFERENCE |
| R/W | RIGHT OF WAY |
| RCE | REGISTERED CIVIL ENGINEER |
| RE | RIM ELEVATION |
| RWB | RECLAIMED WATER BOX |
| RWL | RAIN WATER LEADER |
| RWM | RECLAIMED WATER RWM |
| S | SOUTH |
| S.D.E. | STORM DRAIN EASEMENT |
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| SSCO | SANITARY SEWER CLEAN OUT |
| SSMH | SANITARY SEWER MANHOLE |
| S.W.E. | SIDEWALK EASEMENT |
| STL | STEEL |
| IB | TELEPHONE BOX |
| TC | TOP OF CURB |
| TCAB | TELEPHONE CABINET |
| TE | TRASH ENCLOSURE |
| TELE | TELEPHONE |
| TMH | TELEPHONE MANHOLE |
| TR | TOP OF RAMP |
| TSB | TRAFFIC SIGNAL BOX |
| U.U.A. | UNDERGROUND UTILITY AGREEMENT |
| U.E. | UTILITY EASEMENT |
| UB | UTILITY BOX |
| UNK | UNKNOWN |
| UV | UTILITY VAULT |
| W | WEST |
| W/W | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |

LEGEND

| | |
|-----|--|
| --- | ASPHALT BERM |
| --- | BUILDING LINE |
| --- | COMMUNICATION LINE |
| --- | CONCRETE/BLOCK WALL |
| --- | CONCRETE CURB |
| --- | CONCRETE CURB & GUTTER |
| --- | MAJOR CONTOUR LINE |
| --- | MINOR CONTOUR LINE |
| --- | DRIVEWAY |
| --- | EDGE OF PAVEMENT |
| --- | EDGE OF WATER/FLOWLINE |
| --- | EDGE OF ROCK |
| --- | ELECTRIC LINE |
| --- | FENCE LINE |
| --- | FIBER OPTICS LINE |
| --- | FIRE SERVICE LINE & VALVE |
| --- | GAS LINE-VALVE & METER |
| --- | IRRIGATION WATER LINE |
| --- | JOINT TRENCH LINE |
| --- | MONUMENT/MONUMENT LINE |
| --- | RETAINING WALL |
| --- | RECLAIMED WATER LINE & VALVE |
| --- | SANITARY SEWER LINE-MANHOLE & CLEANOUT |
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| --- | TREE |
| --- | UTILITY BOX |
| --- | WALK-BOLLARD LIGHT |
| --- | WATER VALVE |
| --- | WELL |

PROPOSED PARCELIZATION - JOAQUIN NORTH

| | | | | | |
|----------|---|---|---|---|---|
| BY | | | | | |
| REVISION | | | | | |
| NO. | 1 | 2 | 3 | 4 | 5 |
| BY | | | | | |
| REVISION | | | | | |
| NO. | 1 | 2 | 3 | 4 | 5 |
| BY | | | | | |

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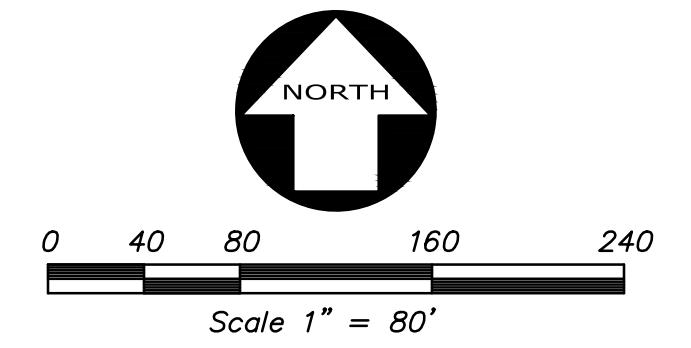
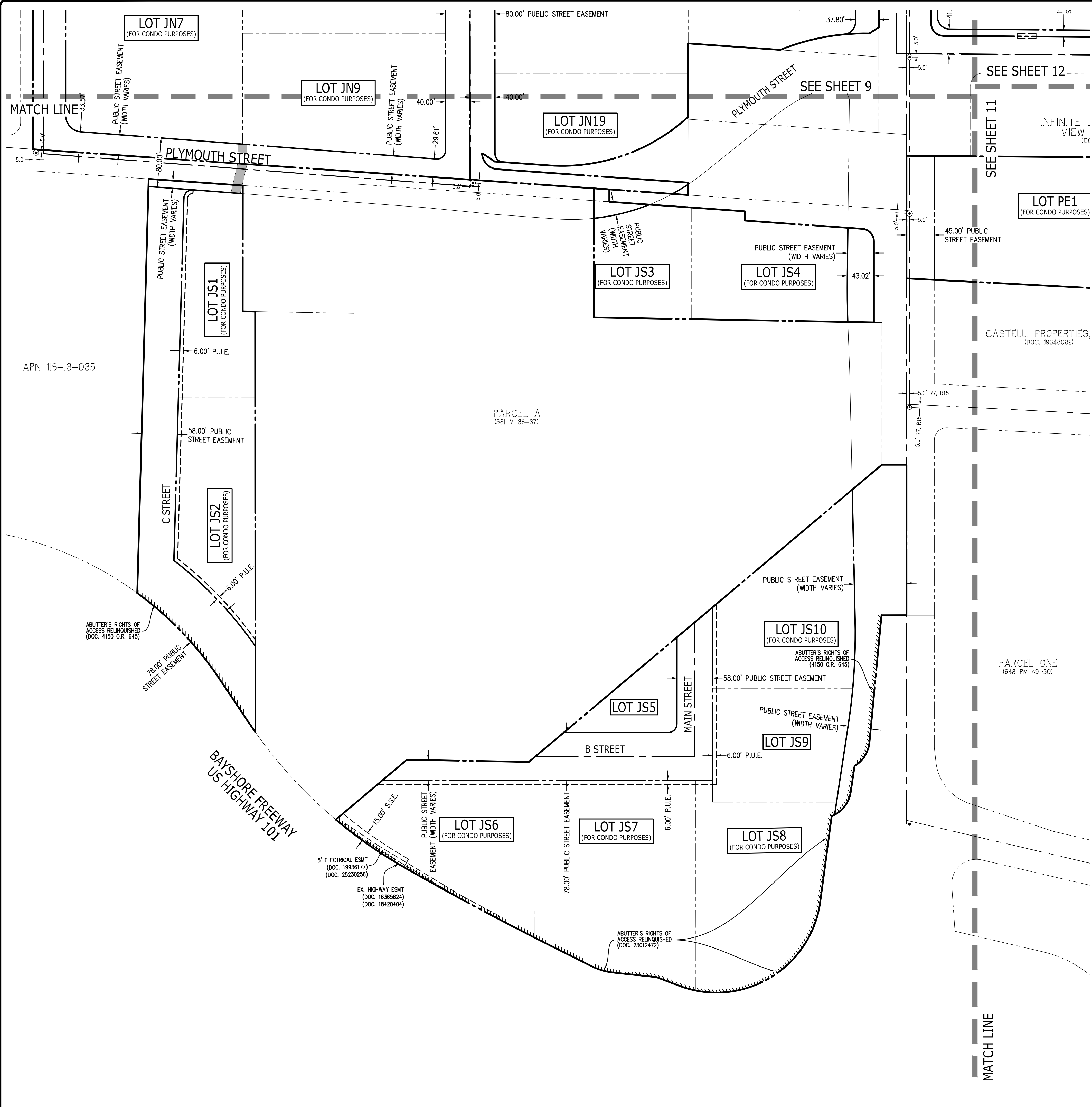
**NORTH BAYSHORE MASTER PLAN
VESTING TENTATIVE MAP**

FOR
GOOGLE LLC

CALIFORNIA

MOUNTAIN VIEW,

| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 9 |
| OF | 16 SHEETS |



LEGEND (cont'd)

| | |
|-----|--|
| --- | PROPERTY LINE - EXTERIOR BOUNDARY |
| --- | PROPERTY LINE - ADJACENT LOT |
| --- | RIGHT OF WAY - NEW |
| --- | PROPERTY LINE - EXISTING INTERIOR |
| --- | PROPERTY LINE - NEW INTERIOR |
| --- | EASEMENT LINE - EXISTING |
| --- | EASEMENT LINE - NEW |
| --- | UNDERLYING PROPERTY LINE |
| --- | MONUMENT LINE / CENTERLINE, AS NOTED |
| --- | DISTRICT SYSTEMS PUBLIC STREET CROSSINGS |

ABBREVIATIONS

| | |
|---------------|---|
| AC | ASPHALTIC CONCRETE |
| AD | AREA DRAIN |
| APN | ASSASSOR'S PARCEL NUMBER |
| B.D. | BRASS DISK |
| BTM | BOTTOM |
| BW | BACK OF WALK |
| C/CONC | CONCRETE |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| COMM | COMMUNICATION |
| CP | CATHODIC PROTECTION |
| CTVB | CABLE TELEVISION BOX |
| CTVB | CABLE TELEVISION BOX |
| D.D. | DIRECTOR'S DEED |
| DIP | DUCTILE IRON PIPE |
| DOC | DOCUMENT |
| DWY | DRIVEWAY |
| E | EAST |
| EB | ELECTRIC BOX |
| ECAB | ELECTRIC CABINET |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EMH | ELECTRICAL MANHOLE |
| EP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EV | ELECTRIC VAULT |
| EVC | ELECTRIC VEHICLE CHARGING STATION |
| EW | EDGE OF WALK |
| FAB | FIRE ALARM BOX |
| FC | FACE OF CURB |
| FF | FINISH FLOOR |
| FND | FOUND |
| FOB | FIBER OPTIC BOX |
| FOMH | FIBER OPTIC MANHOLE |
| FV | FIBER OPTICS VAULT |
| GEN | GENERATOR |
| G | GREASE INTERCEPTOR |
| GV | GAS VALVE |
| I.E.E. | INGRESS/EGRESS EASEMENT |
| IB | IRRIGATION BOX |
| ICV | IRRIGATION CONTROL VALVE |
| IE | INVERT ELEVATION |
| IRRIG | IRRIGATION |
| JB | JUNCTION BOX |
| L.D. | LEGAL DESCRIPTION |
| L.E. / L.S.E. | LANDSCAPE EASEMENT |
| L | LANDSCAPE |
| L/S | LANDSCAPE |
| LIP | LIP OF GUTTER |
| M | MAPS |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| N.B.G.E.P.S. | NORTH BAYSHORE GROUNDWATER EXTRACTION PIPING SYSTEM |
| NO. | NUMBER |
| O.R. | OFFICIAL RECORD |
| P.A.E. | PUBLIC ACCESS EASEMENT |
| PCL | PARCEL |
| P.I.E.E. | PRIVATE INGRESS/EGRESS EASEMENT |
| POR. | PORTION |
| P.P.A.E. | PRIVATE PEDESTRIAN ACCESS EASEMENT |
| P.P.B.A.E. | PRIVATE PEDESTRIAN AND BICYCLE ACCESS EASEMENT |
| P.S.E. | PUBLIC SERVICE EASEMENT |
| P.S.S.E. | PRIVATE SANITARY SEWER EASEMENT |
| P.S.P.E. | PUBLIC SERVICE PARKWAY EASEMENT |
| P1&T | PACIFIC TELEPHONE & TELEGRAPH |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PED | PEDESTAL |
| PG&E | PACIFIC GAS & ELECTRIC |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| (R) | RADIAL BEARING |
| R1 | RECORD MAP REFERENCE |
| R/W | RIGHT OF WAY |
| RCE | REGISTERED CIVIL ENGINEER |
| RE | RIM ELEVATION |
| RWB | RECLAIMED WATER BOX |
| RWL | RAIN WATER LEADER |
| RWM | RECLAIMED WATER METER |
| S | SOUTH |
| S.D.E. | STORM DRAIN EASEMENT |
| S.E. | STREET EASEMENT |
| S.S.E. | SANITARY SEWER EASEMENT |
| SDCO | STORM DRAIN CLEAN OUT |
| SDJB | STORM DRAIN JUNCTION BOX |
| SDMH | STORM DRAIN MANHOLE |
| S.L.B. | STREET LIGHT BOX |
| SSB | SANITARY SEWER BOX |
| SSCO | SANITARY SEWER CLEAN OUT |
| SSMH | SANITARY SEWER MANHOLE |
| S.W.E. | SIDEWALK EASEMENT |
| STL | STEEL |
| TE | TELEPHONE BOX |
| TC | TOP OF CURB |
| TCAB | TELEPHONE CABINET |
| TE | TRASH ENCLOSURE |
| TELE | TELEPHONE |
| TMH | TELEPHONE MANHOLE |
| TR | TOP OF RAMP |
| TSB | TRAFFIC SIGNAL BOX |
| U.U.A. | UNDERGROUND UTILITY AGREEMENT |
| U.E. | UTILITY EASEMENT |
| UB | UTILITY BOX |
| UNK | UNKNOWN |
| UV | UTILITY VAULT |
| W | WEST |
| W/ | WALK-BOLLARD LIGHT |
| WB | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |

LEGEND

| | |
|-----|--|
| --- | ASPHALT BERM |
| --- | BUILDING LINE |
| --- | COMMUNICATION LINE |
| --- | CONCRETE/BLOCK WALL |
| --- | CONCRETE CURB |
| --- | CONCRETE CURB & GUTTER |
| --- | MAJOR CONTOUR LINE |
| --- | MINOR CONTOUR LINE |
| --- | DRIVEWAY |
| --- | EDGE OF PAVEMENT |
| --- | EDGE OF WATER/FLOWLINE |
| --- | EDGE OF ROCK |
| --- | ELECTRIC LINE |
| --- | FENCE LINE |
| --- | FIBER OPTICS LINE |
| --- | FIRE SERVICE LINE & VALVE |
| --- | GAS LINE-VALVE & METER |
| --- | GUARD RAIL |
| --- | IRRIGATION WATER LINE |
| --- | JOINT TRENCH LINE |
| --- | MONUMENT/MONUMENT LINE |
| --- | RETAINING WALL |
| --- | RECLAIMED WATER LINE & VALVE |
| --- | SANITARY SEWER LINE-MANHOLE & CLEANOUT |
| --- | SANITARY SEWER LINE OVER 24"DIAMETER |
| --- | SIDEWALK |
| --- | SPOT ELEVATION |
| --- | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| --- | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
| --- | STORM DRAIN LINE OVER 24"DIAMETER |
| --- | STREET LIGHT CONDUIT LINE |
| --- | TELEPHONE LINE |
| --- | TRAFFIC SIGNAL CONDUIT LINE |
| --- | CABLE TELEVISION LINE |
| --- | UNKNOWN UTILITY LINE |
| --- | WATER LINE & VALVE |
| --- | WATER LINE OVER 24"DIAMETER |
| --- | ACCESSIBLE PARKING SYMBOL |
| --- | ANODE |
| --- | AREA DRAIN |
| --- | AUTOMATIC SPRINKLER RISER |
| --- | BACKFLOW PREVENTION DEVICE |
| --- | BLOWOFF VALVE |
| --- | DOUBLE DETECTOR CHECK VALVE |
| --- | ELECTROUER |
| --- | FIRE DEPARTMENT CONNECTION |
| --- | FIRE HYDRANT |
| --- | POST INDICATOR VALVE |
| --- | POWER POLE/JOINT POLE |
| --- | SURVEY CONTROL POINT |
| --- | TRANSFORMER |
| --- | TRAFFIC SIGNAL POLE |
| --- | TRAFFIC SIGN |
| --- | TREE |
| --- | UTILITY BOX |
| --- | WALK-BOLLARD LIGHT |
| --- | WATER VALVE |
| --- | WELL |

PROPOSED PARCELIZATION - JOAQUIN SOUTH

| | | | | | |
|----------|---|---|---|---|---|
| BY | | | | | |
| REVISION | | | | | |
| NO. | 1 | 2 | 3 | 4 | 5 |
| BY | | | | | |
| REVISION | | | | | |
| NO. | 1 | 2 | 3 | 4 | 5 |

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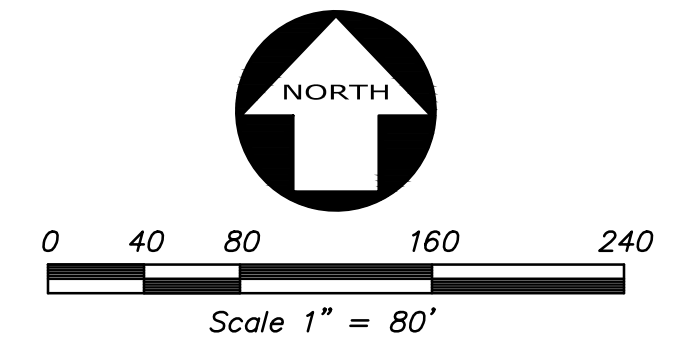
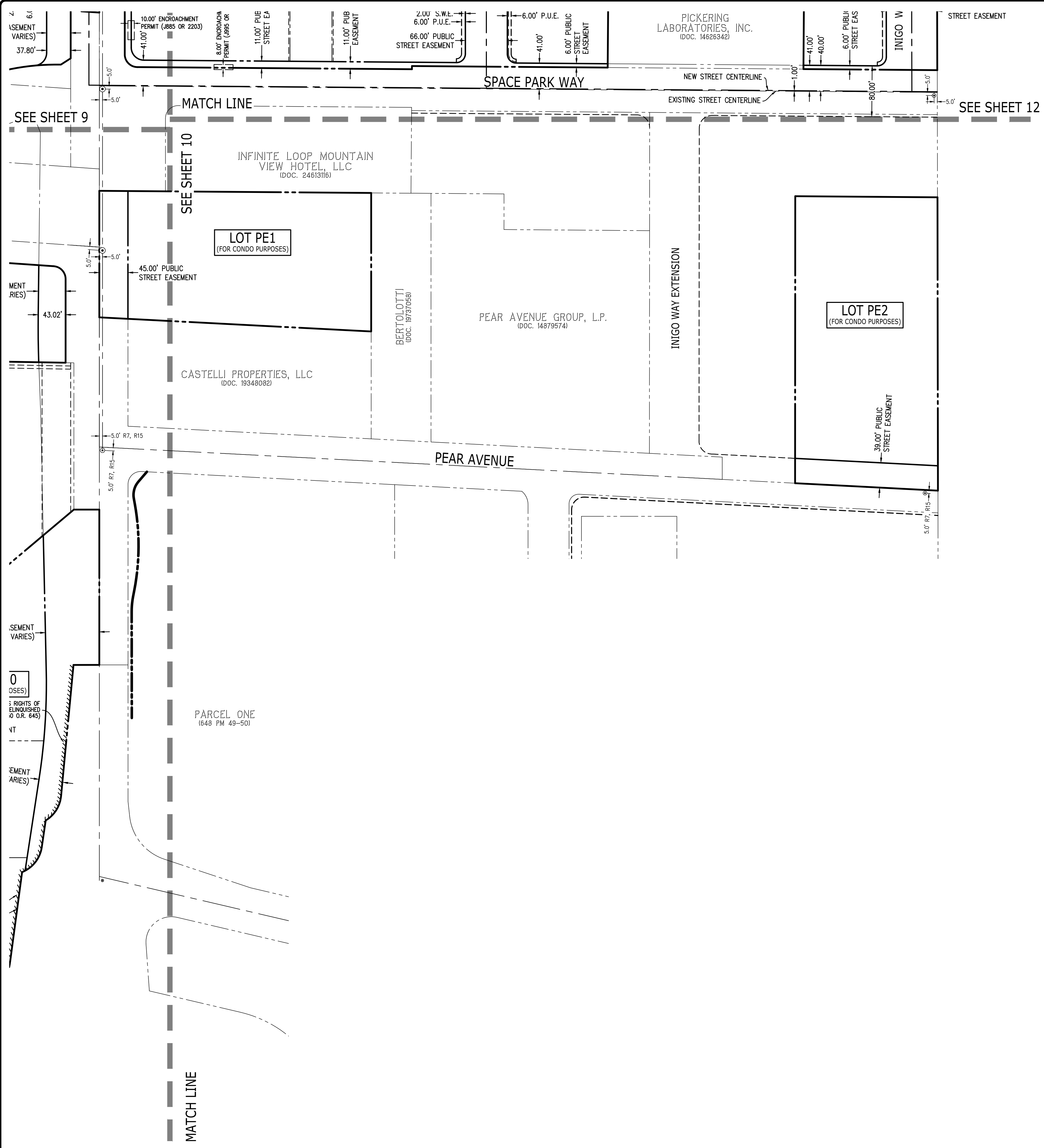
**NORTH BAYSHORE MASTER PLAN
VESTING TENTATIVE MAP**

FOR
GOOGLE LLC

CALIFORNIA

MOUNTAIN VIEW,

| | |
|----------|-------------|
| DATE | APRIL, 2023 |
| SCALE | AS SHOWN |
| SURVEYOR | RSII |
| DRAWN BY | CT |
| JOB NO. | A20107 |
| SHEET | 10 |
| OF | 16 SHEETS |



LEGEND (cont'd)

| | |
|--|--|
| | PROPERTY LINE - EXTERIOR BOUNDARY |
| | PROPERTY LINE - ADJACENT LOT |
| | RIGHT OF WAY - NEW |
| | PROPERTY LINE - EXISTING INTERIOR |
| | PROPERTY LINE - NEW INTERIOR |
| | EASEMENT LINE - EXISTING |
| | EASEMENT LINE - NEW |
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ABBREVIATIONS

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| B.D. | BRASS DISK |
| BTM | BOTTOM |
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| C/CONC | CONCRETE |
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| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| COMM | COMMUNICATION |
| CP | CATHODIC PROTECTION |
| CTVB | CABLE TELEVISION BOX |
| CTVB | CABLE TELEVISION BOX |
| D.D. | DIRECTOR'S DEED |
| DIP | DUCTILE IRON PIPE |
| DOC | DOCUMENT |
| DWY | DRIVEWAY |
| E | EAST |
| EB | ELECTRIC BOX |
| ECAB | ELECTRIC CABINET |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EMH | ELECTRICAL MANHOLE |
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| EW | EDGE OF WALK |
| FAB | FIRE ALARM BOX |
| FC | FACE OF CURB |
| FF | FINISH FLOOR |
| FND | FOUND |
| FOB | FIBER OPTIC BOX |
| FOMH | FIBER OPTIC MANHOLE |
| FV | FIBER OPTICS VAULT |
| GEN | GENERATOR |
| GI | GREASE INTERCEPTOR |
| GV | GAS VALVE |
| I.E.E. | INGRESS/EGRESS EASEMENT |
| IB | IRRIGATION BOX |
| ICV | IRRIGATION CONTROL VALVE |
| IE | INVERT ELEVATION |
| IRRI | IRRIGATION |
| JB | JUNCTION BOX |
| L.D. | LEGAL DESCRIPTION |
| L.E. | LANDSCAPE EASEMENT |
| L/S | LANDSCAPE |
| LIP | LIP OF GUTTER |
| M | MAPS |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| N.B.G.E.P.S. | NORTH BAYSHORE GROUNDWATER EXTRACTION PIPING SYSTEM |
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| P.U.E. | PUBLIC UTILITY EASEMENT |
| PED | PEDESTAL |
| PG&E | PACIFIC GAS & ELECTRIC |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| (R) | RADIAL BEARING |
| R1 | RECORD MAP REFERENCE |
| R/W | RIGHT OF WAY |
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| S.W.E. | SIDEWALK EASEMENT |
| STL | STEEL |
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| TC | TOP OF CURB |
| TCAB | TELEPHONE CABINET |
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| UB | UTILITY BOX |
| UNK | UNKNOWN |
| UV | UTILITY VAULT |
| W | WEST |
| W/ | WALK-BOLLARD LIGHT |
| WB | WATER BOX |
| W.C.E. | WIRE CLEARANCE EASEMENT |
| WM | WATER METER |

LEGEND

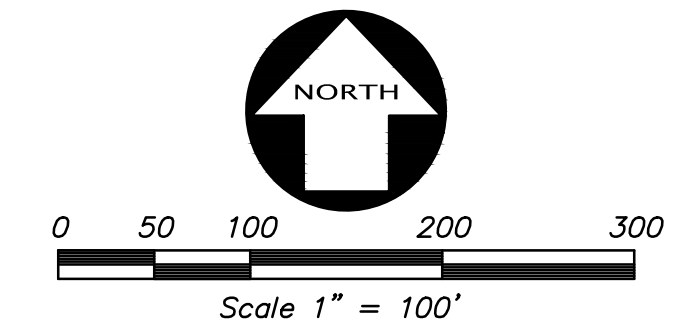
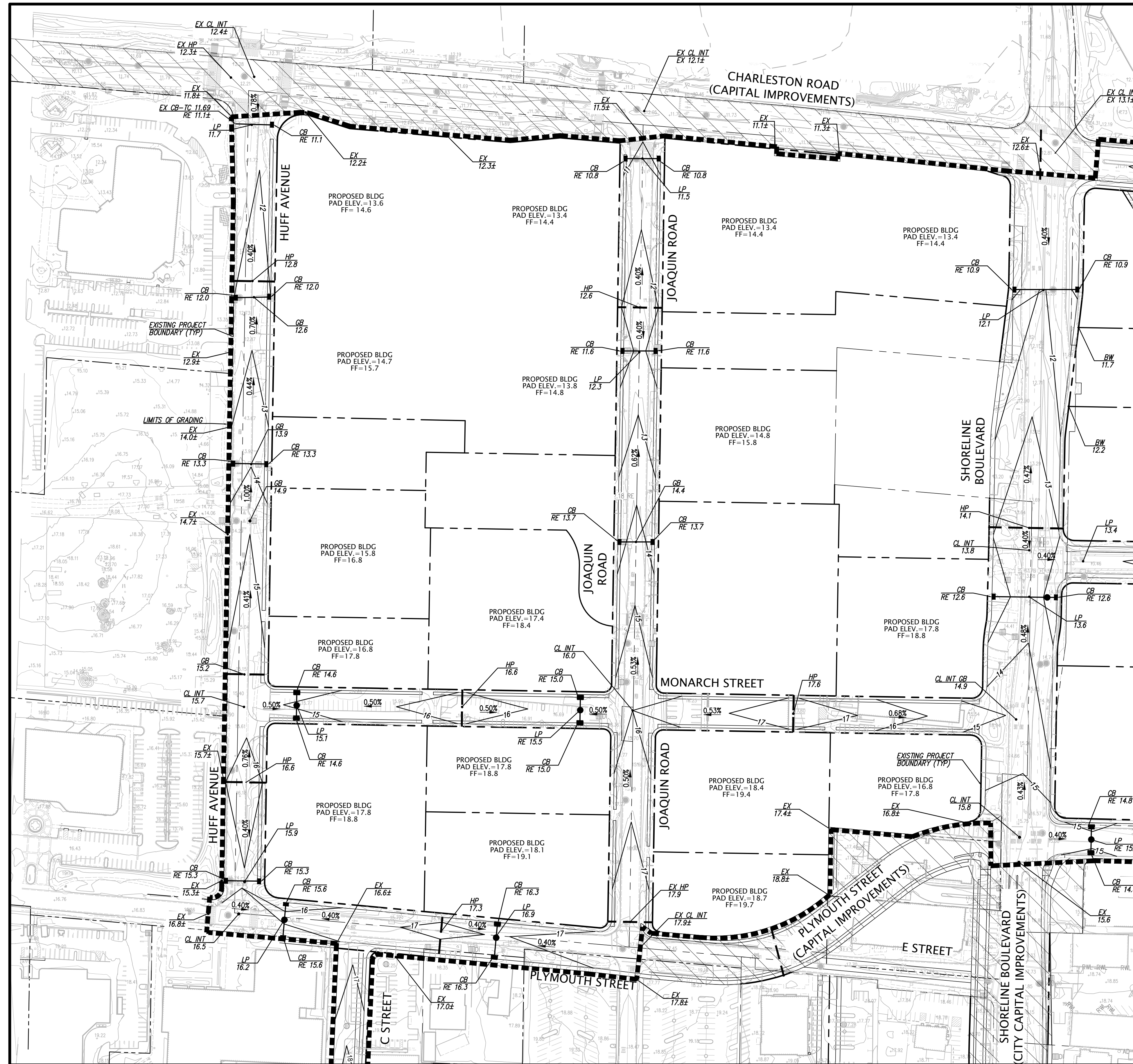
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| | ASPHALT BERM |
| | BUILDING LINE |
| | COMMUNICATION LINE |
| | CONCRETE/BLOCK WALL |
| | CONCRETE CURB |
| | CONCRETE CURB & GUTTER |
| | MAJOR CONTOUR LINE |
| | MINOR CONTOUR LINE |
| | DRIVEWAY |
| | EDGE OF PAVEMENT |
| | EDGE OF WATER/FLOWLINE |
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| | ELECTRIC LINE |
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| | FIRE SERVICE LINE & VALVE |
| | GAS LINE-VALVE & METER |
| | GUARD RAIL |
| | IRRIGATION WATER LINE |
| | JOINT TRENCH LINE |
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| | SANITARY SEWER LINE-MANHOLE & CLEANOUT |
| | SANITARY SEWER LINE OVER 24\"/> |
| | SIDEWALK |
| | SPOT ELEVATION |
| | STORM DRAIN LINE-MANHOLE & CATCH BASIN |
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| | STORM DRAIN LINE OVER 24\"/> |
| | STREET LIGHT CONDUIT LINE |
| | TELEPHONE LINE |
| | TRAFFIC SIGNAL CONDUIT LINE |
| | CABLE TELEVISION LINE |
| | UNKNOWN UTILITY LINE |
| | WATER LINE & VALVE |
| | WATER LINE OVER 24\"/> |
| | ACCESSIBLE PARKING SYMBOL |
| | ANODE |
| | AREA DRAIN |
| | AUTOMATIC SPRINKLER RISERS |
| | BACKFLOW PREVENTION DEVICE |
| | BLOWOFF VALVE |
| | DOUBLE DETECTOR CHECK VALVE |
| | ELECTROUSER |
| | FIRE DEPARTMENT CONNECTION |
| | FIRE HYDRANT |
| | POST INDICATOR VALVE |
| | POWER POLE/JOINT POLE |
| | SURVEY CONTROL POINT |
| | TRANSFORMER |
| | TRAFFIC SIGNAL POLE |
| | TRAFFIC SIGN |
| | TREE |
| | UTILITY BOX |
| | WALK-BOLLARD LIGHT |
| | WATER VALVE |
| | WELL |

PROPOSED PARCELIZATION - PEAR

| | | | | | |
|---|-------------|----------|--|--|--|
| NO. | BY | REVISION | | | |
| 1 | | | | | |
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| NORTH BAYSHORE MASTER PLAN VESTING TENTATIVE MAP FOR GOOGLE LLC | | | | | |
| CALIFORNIA MOUNTAIN VIEW, | | | | | |
| DATE | APRIL, 2023 | | | | |
| SCALE | AS SHOWN | | | | |
| SURVEYOR | RSII | | | | |
| DRAWN BY | CT | | | | |
| JOB NO. | A20107 | | | | |
| SHEET | 11 | | | | |
| OF | 16 SHEETS | | | | |

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 www.kierwright.com

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- LEGEND**
- BUILDING LINE
 - EXISTING CONCRETE CURB
 - EXISTING CONCRETE CURB & GUTTER
 - EXISTING CONTOURS
 - EXISTING HIGH POINT RIDGELINE (HP)
 - EXISTING PROJECT BOUNDARY
 - EXISTING SIDEWALK
 - EDGE OF PAVEMENT
 - LOT LINE
 - PROPOSED ROW
 - PROPOSED CONCRETE CURB
 - PROPOSED CONTOURS
 - SPOT ELEVATION
 - EXISTING STORM DRAIN MANHOLE (SDMH)
 - EXISTING CATCH BASIN
 - CITY CAPITAL IMPROVEMENTS (DESIGN BY OTHERS)
 - PROPOSED CB
 - EXISTING CB
 - PROPOSED MANHOLE
 - PROPOSED SD
 - LIMITS OF GRADING

- ABBREVIATIONS**
- BW BACK OF WALK
 - CB CATCH BASIN
 - CL INT CENTERLINE INTERSECTION
 - EX EXISTING
 - HP HIGH POINT
 - SDMH STORM DRAIN MANHOLE
 - PD PRIVATE DRIVEWAY
 - RE RIM ELEVATION
 - ROW RIGHT OF WAY
 - TC TOP OF CURB

SEE SHEET 14

SEE SHEET 15

| | | | | |
|----------|---|---|---|---|
| BY | | | | |
| REVISION | | | | |
| NO. | 1 | 2 | 3 | 4 |
| NO. | 1 | 2 | 3 | 4 |
| REVISION | | | | |

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NORTH BAYSHORE MASTER PLAN
SCHEMATIC GRADING PLAN
FOR
GOOGLE LLC

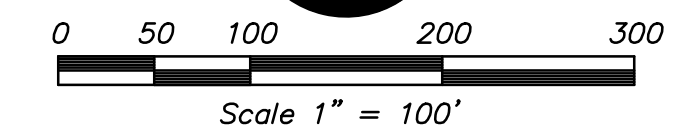
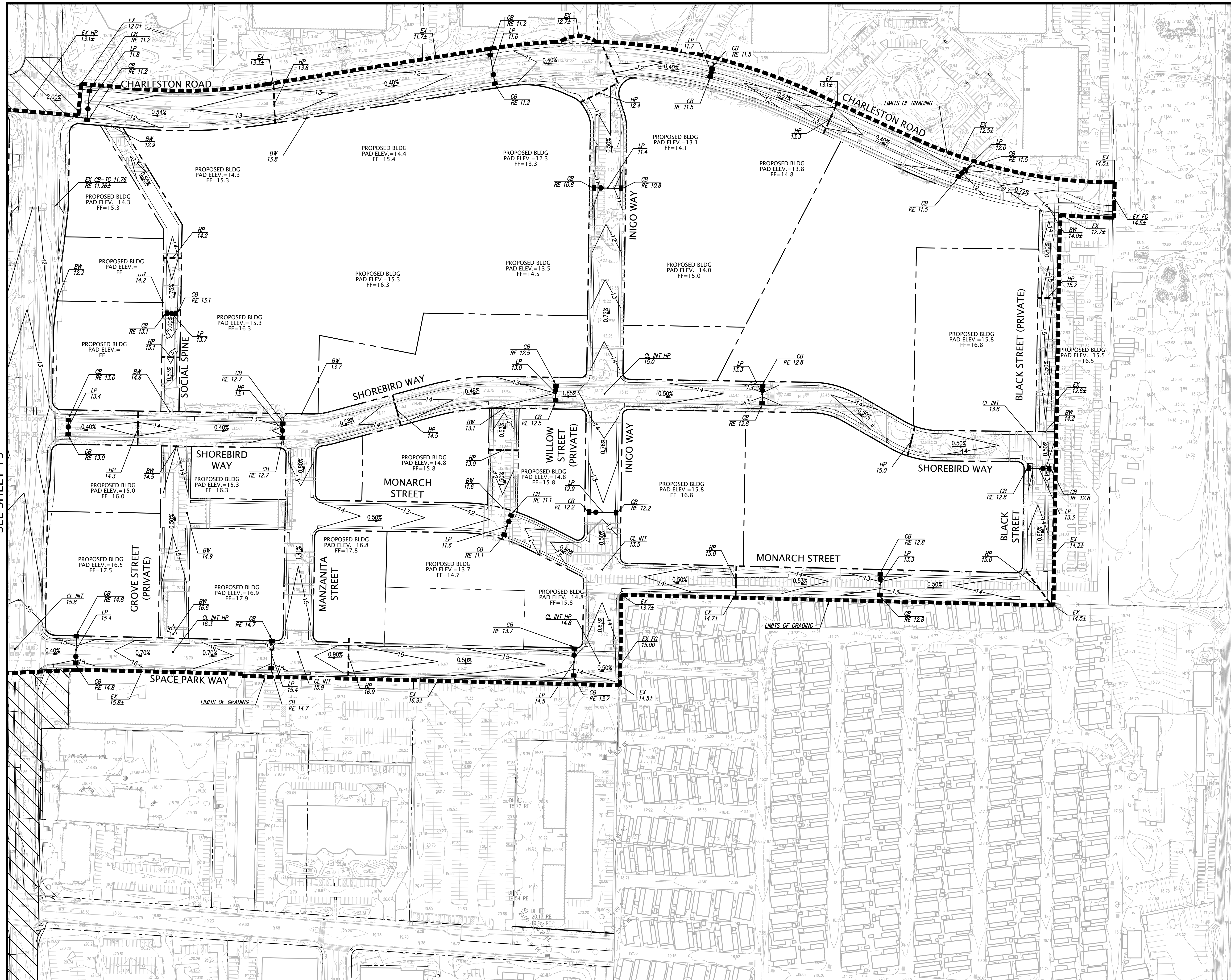
MOUNTAIN VIEW, CALIFORNIA

DATE MAR., 2023
SCALE AS SHOWN
DESIGNER PNB
DRAWN BY IVW
JOB NO. A20107
SHEET 13 OF 16 SHEETS

GRADING PLANS

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SEE SHEET 13



LEGEND

- BUILDING LINE
- EXISTING CONCRETE CURB
- EXISTING CONCRETE CURB & GUTTER
- EXISTING CONTOURS
- EXISTING HIGH POINT RIDGELINE (HP)
- EXISTING PROJECT BOUNDARY
- EXISTING SIDEWALK
- EDGE OF PAVEMENT
- LOT LINE
- PROPOSED ROW
- PROPOSED CONCRETE CURB
- SPOT ELEVATION
- EXISTING STORMDRAIN MANHOLE (SDMH)
- EXISTING CATCH BASIN
- CITY CAPITAL IMPROVEMENTS (DESIGN BY OTHERS)
- PROPOSED CB
- EXISTING CB
- PROPOSED MANHOLE
- PROPOSED SD
- LIMITS OF GRADING

ABBREVIATIONS

- BW BACK OF WALK
- CB CATCH BASIN
- CL INT CENTERLINE INTERSECTION
- EX EXISTING
- HP HIGH POINT
- SDMH STORM DRAIN MANHOLE
- PD PRIVATE DRIVEWAY
- RE RIM ELEVATION
- ROW RIGHT OF WAY
- TC TOP OF CURB

| NO. | REVISION |
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| NO. | REVISION |
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| NO. | REVISION |
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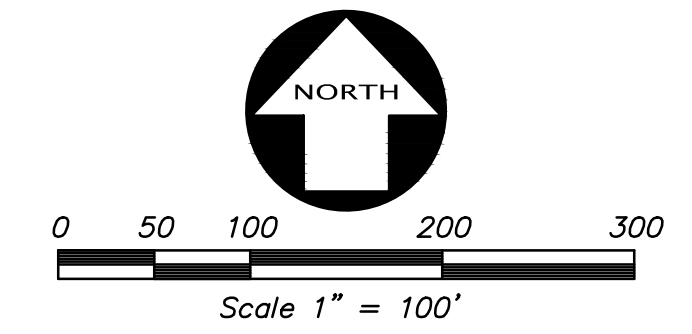
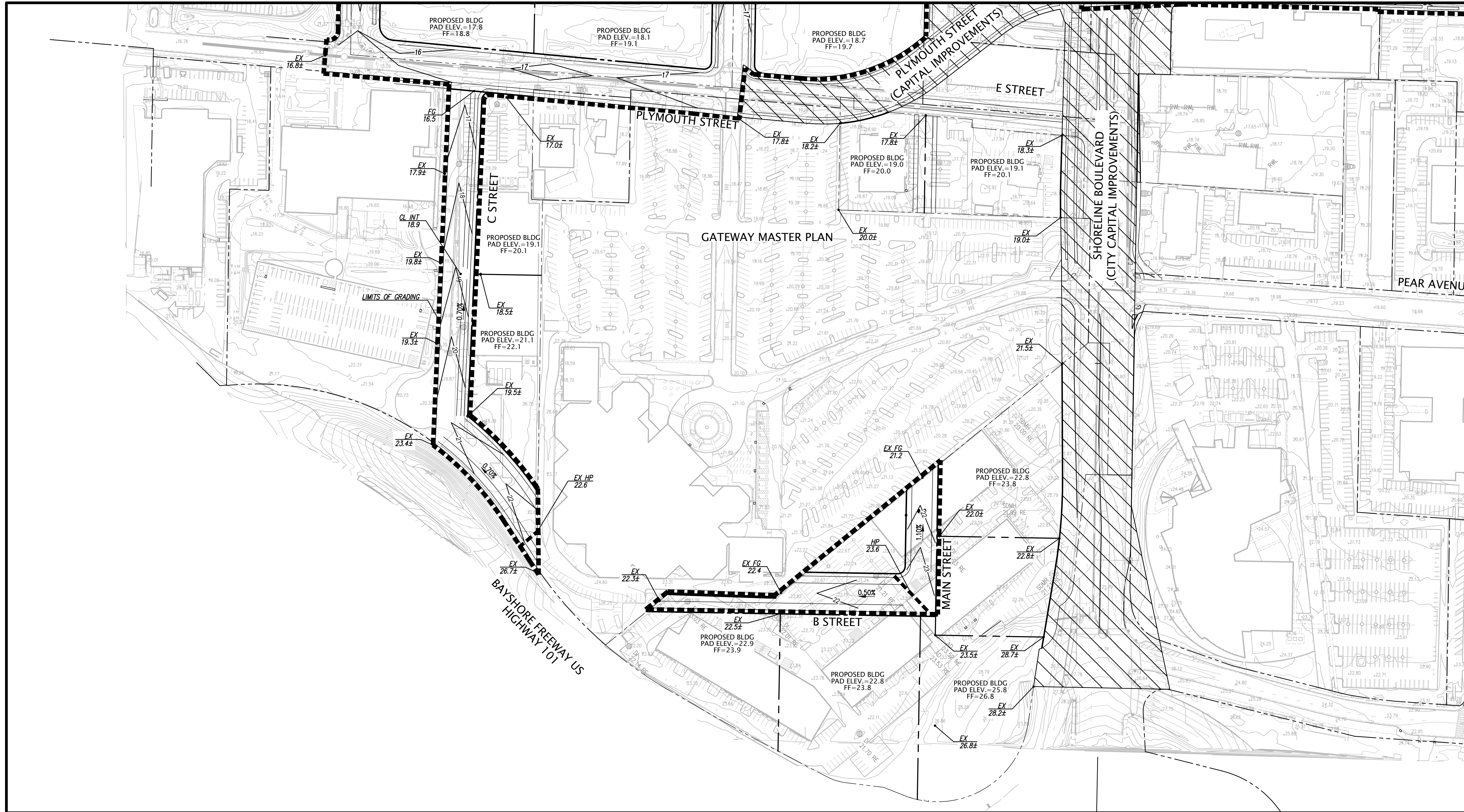
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SCHEMATIC GRADING PLAN
FOR
GOOGLE LLC
MOUNTAIN VIEW, CALIFORNIA

| | |
|----------|------------|
| DATE | MAR., 2023 |
| SCALE | AS SHOWN |
| DESIGNER | PNB |
| DRAWN BY | IVW |
| JOB NO. | A20107 |

SEE SHEET 13



LEGEND

- BUILDING LINE
- EXISTING CONCRETE CURB
- EXISTING CONCRETE CURB & GUTTER
- EXISTING CONTOURS
- EXISTING HIGH POINT RIDGELINE (HP)
- EXISTING PROJECT BOUNDARY
- EXISTING SIDEWALK
- EDGE OF PAVEMENT
- LOT LINE
- PROPOSED ROW
- PROPOSED CONCRETE CURB
- PROPOSED CONTOURS
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- EXISTING STORMDRAIN MANHOLE (SDMH)
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- CITY CAPITAL IMPROVEMENTS (DESIGN BY OTHERS)
- PROPOSED CB
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ABBREVIATIONS

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- RE RIM ELEVATION
- ROW RIGHT OF WAY
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| NO. | REVISION | BY | NO. | REVISION |
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KIER+WRIGHT



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 www.kierwright.com

NORTH BAYSHORE MASTER PLAN
SCHEMATIC GRADING PLAN

FOR
GOOGLE LLC

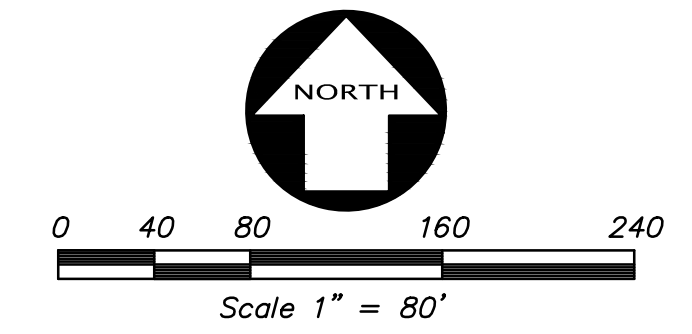
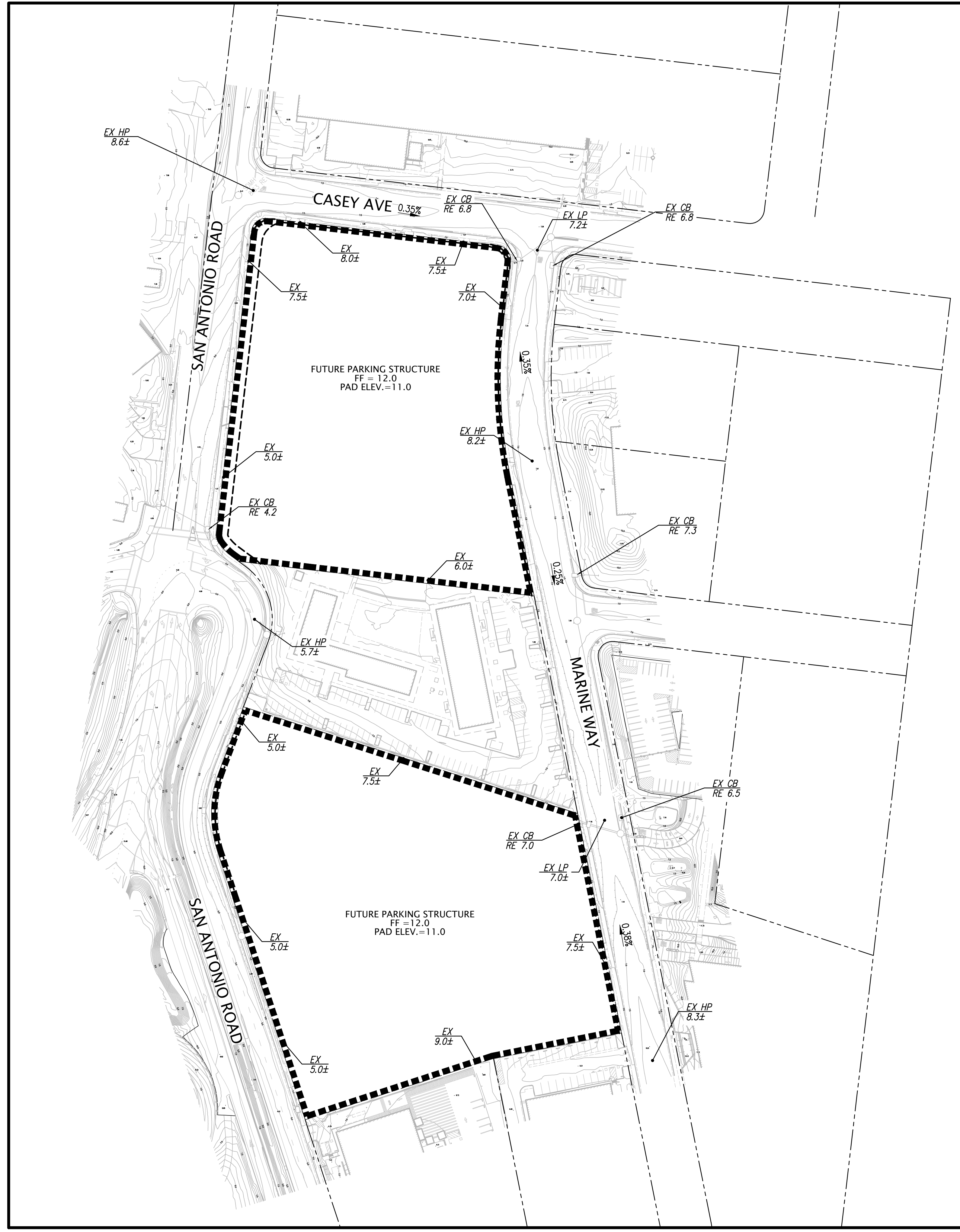
MOUNTAIN VIEW, CALIFORNIA

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|----------|------------|
| DATE | MAR., 2023 |
| SCALE | AS SHOWN |
| DESIGNER | PNB |
| DRAWN BY | IVW |
| JOB NO. | A20107 |
| SHEET | 15 |
| OF | 16 SHEETS |

GRADING PLANS

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LEGEND

| | |
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| | BUILDING LINE |
| | EXISTING CONCRETE CURB |
| | EXISTING CONCRETE CURB & GUTTER |
| | EXISTING CONTOURS |
| | EXISTING HIGH POINT RIDGELINE(HP) |
| | EXISTING PROJECT BOUNDARY |
| | EXISTING SIDEWALK |
| | EDGE OF PAVEMENT |
| | LOT LINE |
| | PROPOSED ROW |
| | PROPOSED CONCRETE CURB |
| | PROPOSED CONTOURS |
| | SPOT ELEVATION |
| | EXISTING STORM DRAIN MANHOLE (SDMH) |
| | EXISTING CATCH BASIN |
| | CITY CAPITAL IMPROVEMENTS (DESIGN BY OTHERS) |
| | PROPOSED CB |
| | EXISTING CB |
| | PROPOSED MANHOLE |
| | EXISTING SD |
| | LIMITS OF GRADING |

ABBREVIATIONS

| | |
|--------|-------------------------|
| BW | BACK OF WALK |
| CB | CATCH BASIN |
| CL INT | CENTERLINE INTERSECTION |
| EX | EXISTING |
| HP | HIGH POINT |
| SDMH | STORM DRAIN MANHOLE |
| PD | PRIVATE DRIVEWAY |
| RE | RIM ELEVATION |
| ROW | RIGHT OF WAY |
| TC | TOP OF CURB |

| NO. | BY | REVISION |
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