

LOT 12

MOUNTAIN VIEW, CA

LOT 12

424 Bryant Street
Mountain View, CA 94041

SA JOB NO.2004

RELATED

44 MONTGOMERY STREET, #1300
SAN FRANCISCO, CA 94104
415 653 3172

ALTA HOUSING

2595 E BAYSHORE ROAD, SUITE 200
PALO ALTO, CA 94303
650 321 9709

SEIDEL ARCHITECTS

545 SANSOME STREET, SUITE 901
SAN FRANCISCO, CALIFORNIA 94111
T 415.397.5535 F 415.397.5536



PROJECT ADDRESS

424 Bryant Street
Mountain View, CA 94041

PROJECT DESCRIPTION

The current use of 424 Bryant Street is a public parking lot. The site is surrounded by a mix of uses including commercial offices and retail space, the Mountain View Civic Center, as well as single and multifamily residential. The site is well located in relation to downtown transit and services. The proposed project will reflect the best practices of sustainability. There is a bus stop at the site, and the Downtown Mountain View Station is within easy walking distance of the site. Also in walking distance are the services, employment and amenities of downtown Mountain View. A range of sustainable strategies will be incorporated including energy and water conservation, support for electric vehicles, bicycle parking, and organic produce planned to be grown on site.

The proposed project consists of 120 affordable residential units ranging in size from studios to three bedroom units. The residences will be located in three distinct buildings. The two larger buildings facing Bryant Street range in height from 2 to 5 stories. Along the western side of the project, a series of three bedroom townhouses with individual entries are located at podium level to create a lower scale transition to the existing residential neighborhood to the west.

The project will provide a variety of active ground floor uses facing Bryant Street, California Street and Mercy Street. Approximately 3,333 SF of community serving retail and meeting space will anchor the corner of California Street down to midblock on Bryant. An approximately 1,600 SF retail plaza will provide café seating, landscaping, bike parking and other streetscape amenities that will activate this prominent corner and provide an attractive public amenity. Sidewalk improvements and new street trees are planned as well.

Along Bryant Street a midblock courtyard is planned that features a stair ascending to the resident courtyard at the podium. An ornamental metal work railing is featured at the upper courtyard overlook to courtyard and street scene below. The stair incorporates stair step seating on the sunny side of the courtyard, as well as benches, trees, and other landscape plantings. Activated uses surround the courtyard including the previously mentioned community meeting room, the building lobby/gallery, and the community management office.

The ground floor street frontages are also activated by 8 residential units with individual stoop entries facing California, Bryant, and Mercy Streets respectively. Each of the residential entries has the character of a porch with trellis overhead. The massing of the street elevation is modulated into 25' to 33' increments with framed gable forms. The exterior materials include cementitious shingles, plaster, and composite wood siding. Bay windows, metal awnings, exterior lighting and retail signage contribute to the street scene. The fifth floor setback along Bryant Street will establish a pleasing pedestrian scale.

The corner of Bryant and Mercy Streets features a Bike Center for the residents. The Center has transparent glazing to an interior seating area with tables and chairs, as well as bike maintenance stations. A small outdoor terrace with seating is also located here.

A new midblock garden is proposed on the western side of the block. The garden will provide a new amenity for residents and the public alike, as well as provide a quiet and attractive transition to the neighboring residences. The landscape design will incorporate plantings that can be maintained and harvested by the residents, as well as outdoor amenity areas for socializing. A covered porch and a workroom with roll up door will provide space for informal and programmed activities or classes. A continuous path connecting California Street to Mercy Street will be open to the public during the day. Two exterior stairways provide convenient access to the resident courtyard located one level above the midblock garden.

The resident courtyard is located at the podium (2nd floor) level. Resident amenities at this level include a sub-dividable multipurpose room with kitchen, a teen center, and several resident services offices. Two laundry rooms are located to have access to an exterior patio within easy sight of a children's play area. A variety of seating, outdoor cooking, and landscape areas will foster opportunities for residents to socialize in this community setting.

Project parking is located in an at grade garage structure entered from Bryant Street. The northern portion of the garage is open parking adjacent to the retail and accommodates guest parking for the residential, as well as a truck loading space. A convenient open air arcade provides pedestrian access directly to the street. The southern portion of the garage provides secure resident parking with direct access to the residential building lobby. The parking garage is entirely screened from public view by the active uses lining the surrounding street frontages.

The architectural design of the project will present a distinctly residential character that will provide a welcoming atmosphere to its new residents, and create an appropriate neighborhood transition from the more commercial "downtown" character of development on Castro Street to lower scale residential to the west along Franklin and adjacent streets.

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DATE	NO.	DESCRIPTION
01/28/2021		INFORMAL PLANNING APPLICATION
03/03/2021		INFORMAL APPLICATION REVISIONS
03/16/2021		INFORMAL APPLICATION REVISIONS / DRC PACKAGE
05/28/2021		INFORMAL SUBMITTAL 2
06/11/2021		DRC PACKAGE

PROJECT TEAM

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RELATED CALIFORNIA
44 MONTGOMERY STREET, #1300
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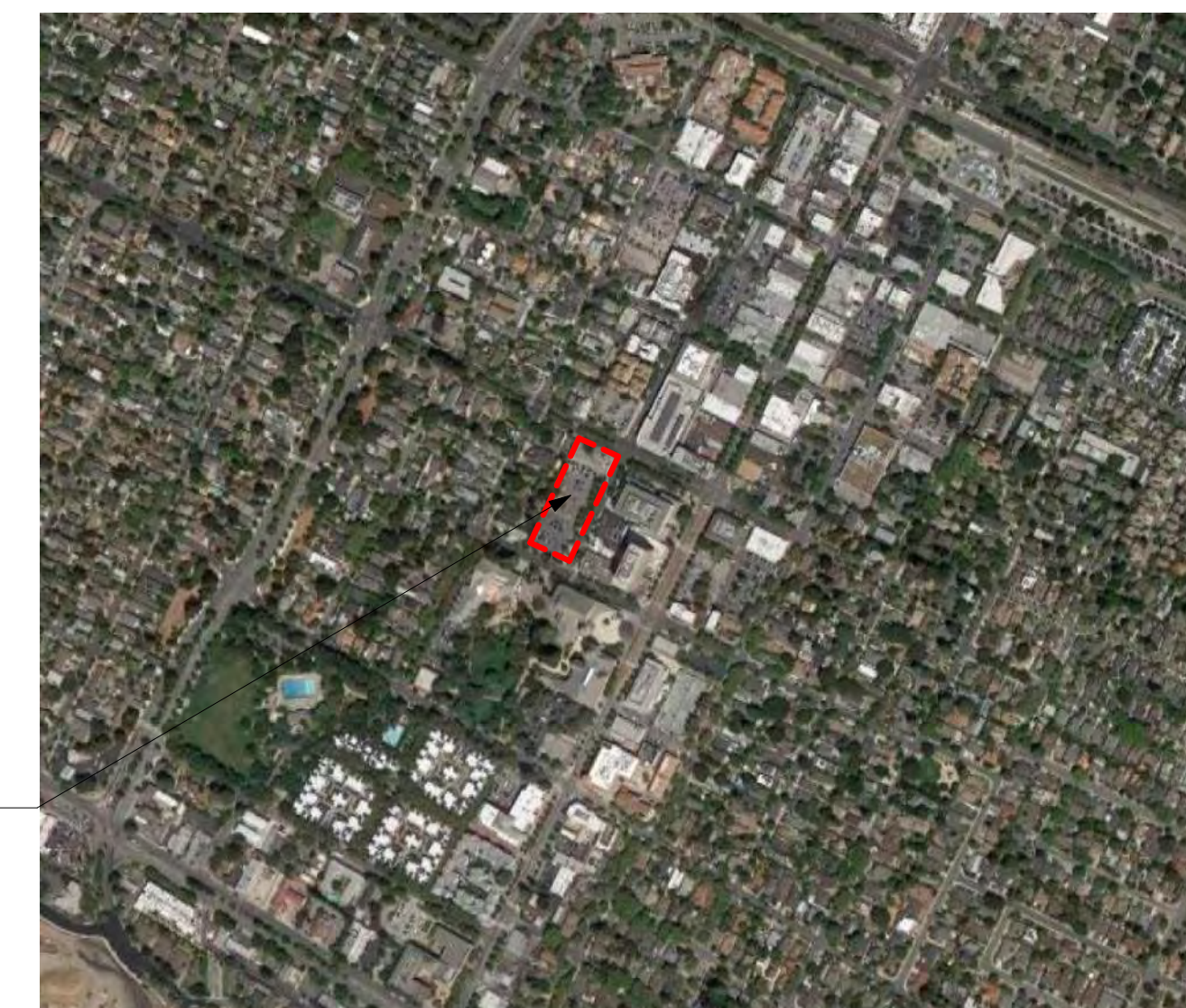
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VICINITY MAP



PROJECT SITE

COVER SHEET

A0.0



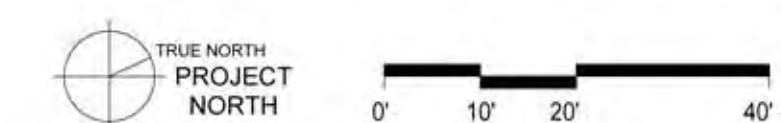


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1/28/2021		INFORMAL PLANNING APPLICATION SUBMITTAL
4/02/2021		PROGRESS
5/28/2021		PLANNING APPLICATION RESUBMITTAL

ILLUSTRATIVE SITE PLAN - ALL LEVELS

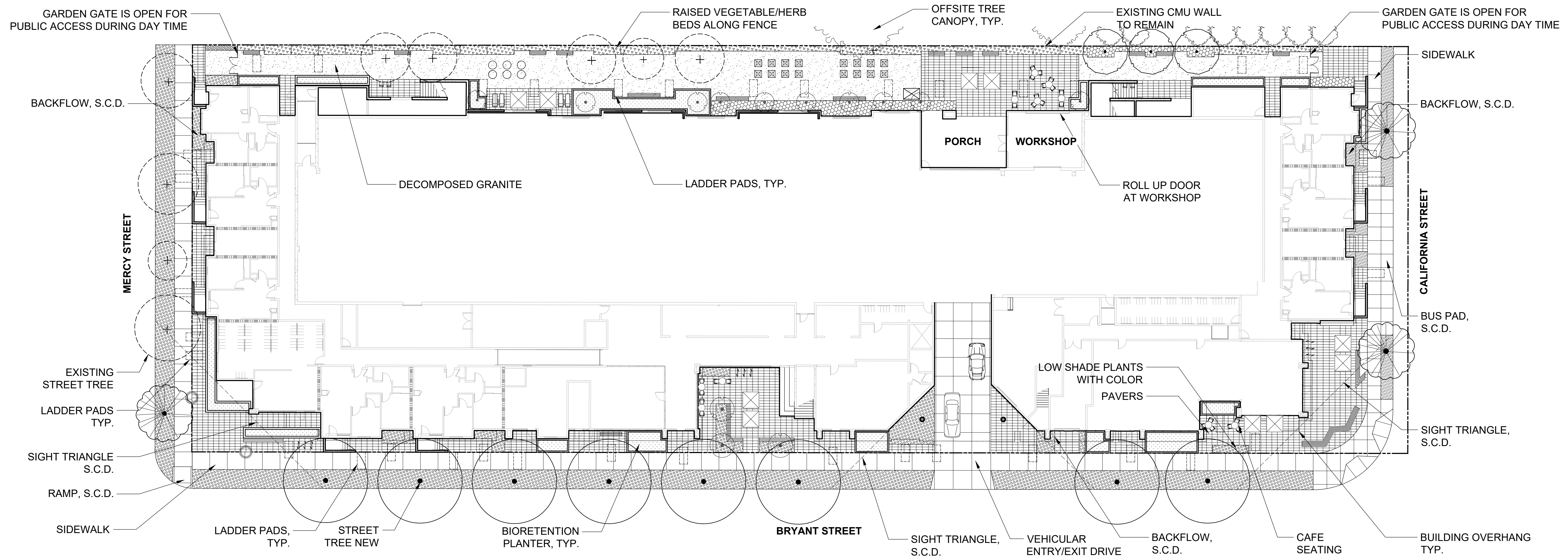
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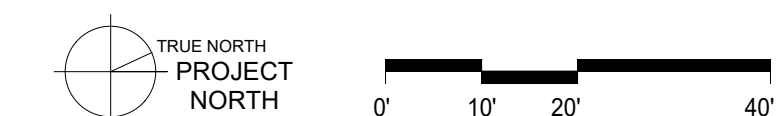


GROUND LEVEL PLANT LEGEND

PLANTING AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	QTY.	IRRIGATION TYPE / IRRIGATION EFFICIENCY	REMARKS
EXISTING TREES		VARIOUS SPECIES	SEE ARBORIST REPORT	L	24" BOX	9	BUBBLER	SEE ARBORIST REPORT DATED BY MAY 12, 2021 & SHEET L5.0 EXISTING TREE PLAN
MERCY & CALIFORNIA STREET TREES		ACER X F. ARMSTRONG	FREEMAN MAPLE	M	24" BOX	3	BUBBLER	PER CITY GUIDELINES
BRYANT STREET TREES		PLATANUS X ACERFOLIA	LONDON PLANE TREE	M	24" BOX	8	BUBBLER	PER CITY GUIDELINES
MID CROSS BLOCKING TREES		CARPINUS B. FRANS FONTAINE	FRANS FONTAINE HORNBEAM	M	24" BOX	3	BUBBLER	SPECIMEN QUALITY
MID STREET CONNECTION TREES		PODOCARPUS ELONGATUS 'MONMAL'	ICE BLUE YELLOW-WOOD	L	24" BOX	13	BUBBLER	MATCHED
HYDROZONE 1		MAHONIA REPENS RHAPHIOLEPIS U. MINOR LOMANDRA LONGIFOLIA 'BREEZE' CHONDRPETALUM TECTORUM LAVANDULA STOECHAS ANIGOZANTHOS 'BUSH GOLD' SENECIO SERPENS TEUCRIUM COSSONII	CREeping OREGON GRAPE YEDDO HAWTHORNE DWARF MAT RUSH CAPE RUSH SPANISH LAVENDER YELLOW KANGAROO PAW BLUE CHALKSTICKS MAJORCAN GERMANDER	L L L L L L L L	1&5 GAL	4,641 FT ²	DRIP/0.85	FULL
HYDROZONE 2		RHAPHIOLEPIS U. MINOR LOMANDRA LONGIFOLIA 'BREEZE' CHONDRPETALUM TECTORUM DIETES BICOLOR TEUCRIUM COSSONII	YEDDO HAWTHORNE DWARF MAT RUSH CAPE RUSH FORTNIGHT LILY/AFRICAN IRIS MAJORCAN GERMANDER	L L L L L	1&5 GAL	456 FT ²	DRIP/0.85	FULL
HYDROZONE 3		ACHILLEA MILLEFOLIUM FICUS PUMILA CHONDRPETALUM TECTORUM DIETES BICOLOR PITTOSPORUM T. 'WHEELERS DWARF' EUPHORBIA C WULFENII MAHONIA REPENS	YARROW CREeping FIG CAPE RUSH FORTNIGHT LILY/AFRICAN IRIS DWARF JAPANESE PITTOSPORUM EUPHORBIA CREeping OREGON GRAPE	L L L L L L L	1&5 GAL	617 FT ²	DRIP/0.85	FULL
(BIORETENTION) HYDROZONE 4		MIMULUS AURANTIACUS CHONDRPETALUM TECTORUM JUNCUS PATTENS 'ELK BLUE' CERCIS OCCIDENTALIS ACHILLEA MILLEFOLIUM MUHLENBERGIA RIGENS	RED MONKEY FLOWER CAPE RUSH CALIFORNIA GRAY RUSH WESTERN REDBUD SALMON YARROW DEERGRASS	L L L L L L	1&5 GAL	1,223 FT ²	DRIP/0.85	FULL
(EDIBLES) HYDROZONE 5		TO BE DETERMINED	TO BE DETERMINED	L	1&5 GAL	918 FT ²	DRIP/0.85	COMMUNITY GARDEN & PERENNIALS

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	DECOMPOSED GRANITE
	CONCRETE PAVERS
	PAVING/SIDEWALK
	PARK GATE
	HYDROPONIC TOWERS
	BENCH
	RAISED PLANTERS
	VEGETABLE/HERB BEDS
	LOUNGE
	SEATING WITH UMBRELLA
	PYRAMID FRAMES WITH VINES/HERBS
	GREEN WALL
	SITE FURNITURE
	BIKE RACKS
	CHICKEN COOP
	LONG BENCH OUTDOOR CLASS
	PARALLEL 42 ZIGZAG BENCH



LANDSCAPE SITE PLAN

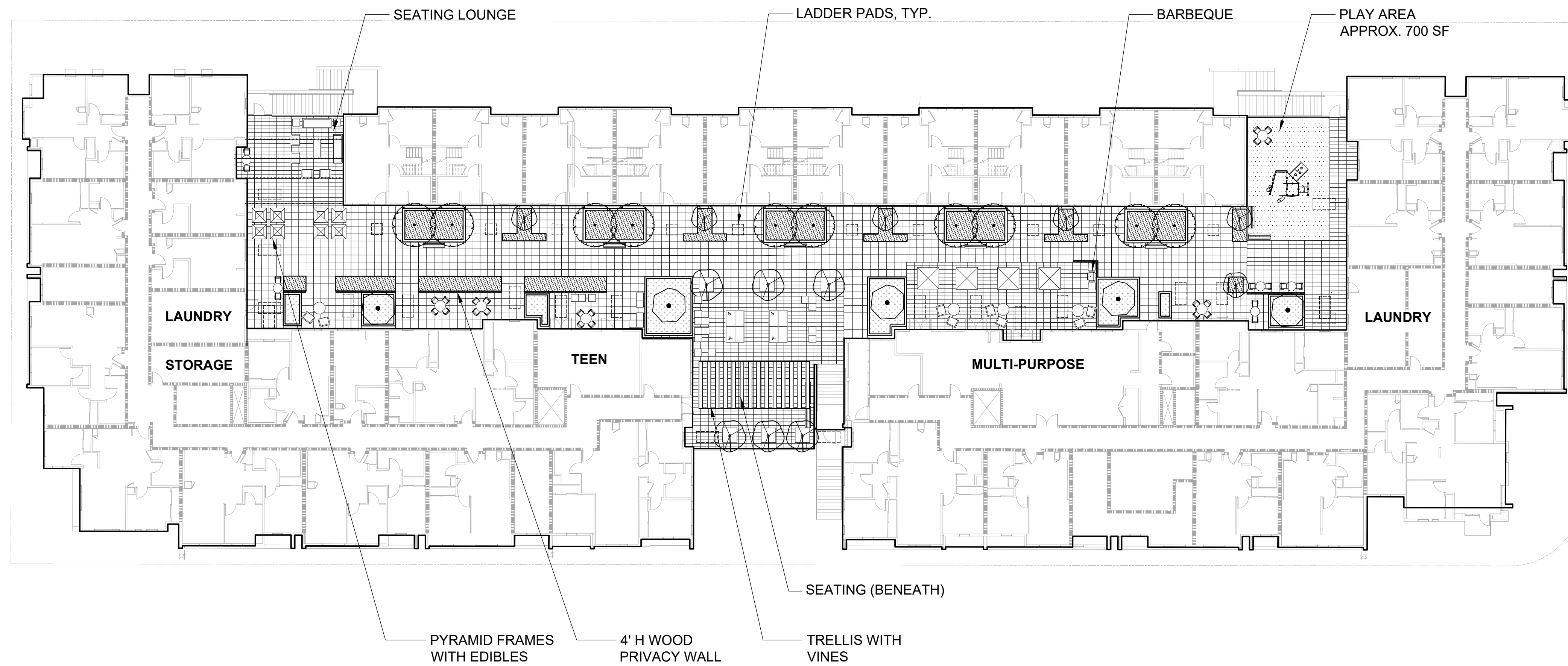
1"-0" = 20'-0"

L1.1



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PODIUM PLANT LEGEND

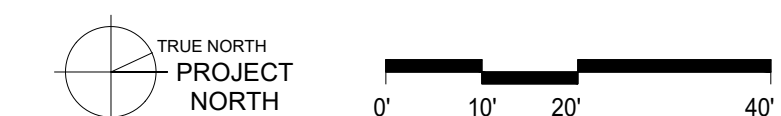
PLANTING AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	QTY.	IRRIGATION TYPE / IRRIGATION EFFICIENCY	REMARKS
PODIUM TREES		<i>OLEA EUROPAEA 'SWAN HILL'</i>	SWANHILL FRUITLESS OLIVE	VL	24" BOX	10	BUBBLER	
PODIUM TREES		<i>CITRUS X MEYERI</i>	MEYER LEMON	L	24" BOX	12	BUBBLER	
BIORETENTION TREES		<i>CERCIS OCCIDENTALIS</i>	WESTERN REDBUD	L	24" BOX	5	BUBBLER	
HYDROZONE 6		<i>PITTIOSPORUM T. 'WHEELERS DWARF'</i> <i>ACHILLEA MILLEFOLIUM</i> <i>JUNCUS PATTENS 'ELK BLUE'</i> <i>BOUETEA GRACILIS</i> <i>DIANELLA CAERULEA</i> <i>IRIS DOUGLASIANA</i> <i>TEUCRIUM COSSONII</i>	DWARF JAPANESE PITTOSPORUM YARROW CALIFORNIA GRAY RUSH BLONDE AMBITION GRASS LAX LILY DOUGLAS IRIS MAJORCAN GERMANDER	L L L L M L L M L	1&5 GAL	1,183 FT ²	DRIP/0.85	
(BIORETENTION) HYDROZONE 7		<i>CHONDROPETALUM TECTORUM</i> <i>JUNCUS PATTENS 'ELK BLUE'</i>	CAPE RUSH CALIFORNIA GRAY RUSH	L L L	1&5 GAL	629 FT ²	DRIP/0.85	
(EDIBLES) HYDROZONE 8		TO BE DETERMINED	TO BE DETERMINED	L	1&5 GAL	256 FT ²	DRIP/0.85	

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVERS 'A'
	CONCRETE PAVERS 'B'
	SYNTHETIC TURF
	BENCH
	SEATING WITH UMBRELLA
	PYRAMID FRAMES WITH VINES/HERBS
	BARBEQUE
	TRELLIS WITH VINES
	COMMUNAL DINING TABLE
	RAISED VEGETABLE BEDS
	RAISED PLANTERS
	4' HT WOOD PRIVACY WALL
	PLAZA FURNITURE
	PING PONG TABLE
	PLAY STRUCTURE
	SEATING WITH UMBRELLA
	STRING LIGHTS
	MODULAR SEATING

LANDSCAPE PODIUM PLAN

1'-0" = 20'-0"

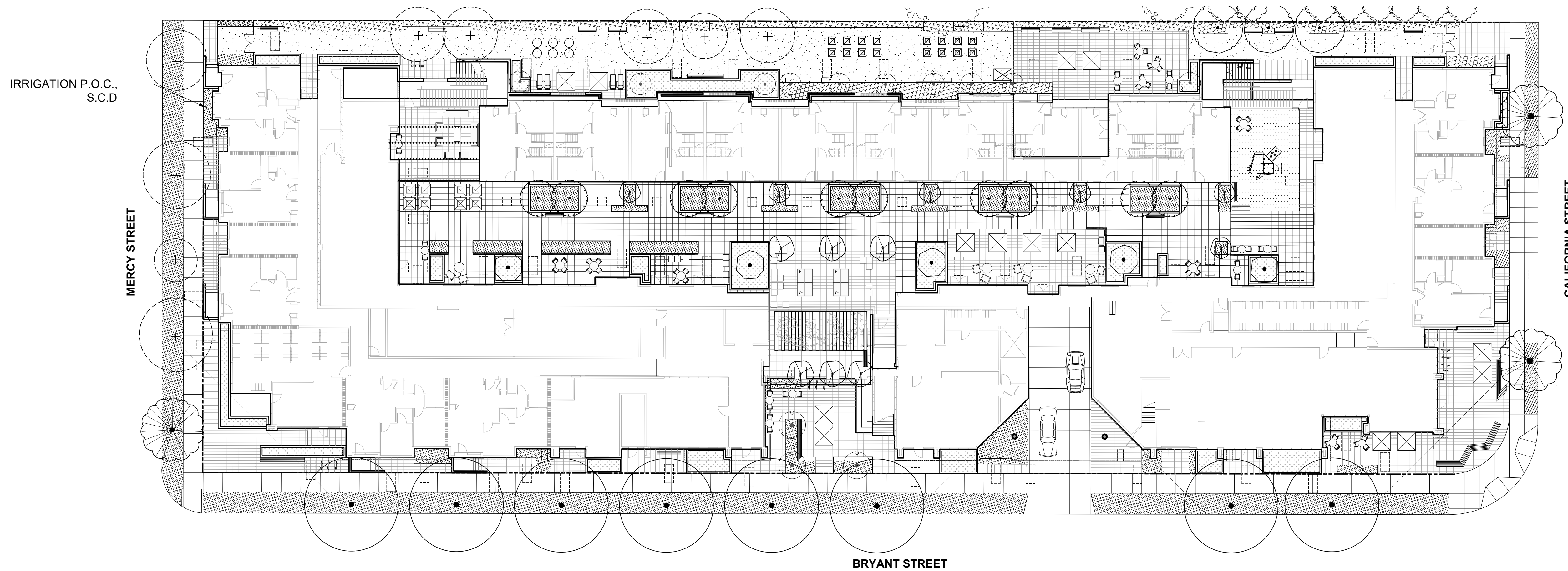


L1.2



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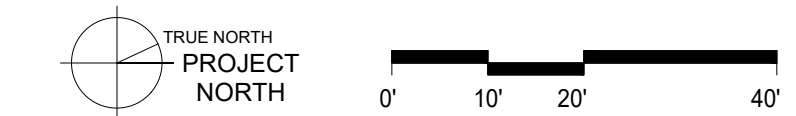
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PODIUM TREES	⊙	CITRUS X MEYERI	MEYER LEMON	L	24" BOX	12	BUBBLER	
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(EDIBLES) HYDROZONE 8		TO BE DETERMINED	TO BE DETERMINED	L	1&5 GAL	256 FT²	DRIP/0.85	

Water Efficient Landscape Worksheet

Page 38.14(d) of 2015 MWEL

HydroZone #	Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x AREA	Estimated Total Water Use (ETWU) ¹	
1.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.25	4,641	1,146	35,097	
2.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.25	456	113	3,448	
3.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.62	617	383	11,716	
4.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.25	1,223	302	9,249	
5.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.25	918	227	6,942	
6.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.25	1,006	248	7,703	
7.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.25	629	155	4,815	
8.	Low Water Shrubs & GC's	0.2	Drip	0.81	0.25	256	63	1,960	
SubTotals							9,746	2,637	80,933
Special Landscape Areas (pools/water features/recreational sports fields/edible gardens)									
SubTotals									
							ETWU Total	80,933	
							Maximum Allowed Water Allowance (MAWA) ²	164,175	

ETAF Calculations	FORMULAS:
Regular Landscape Areas	ETWU = (Eto * 0.62 * ETAF ₂ * Area)
Total ETAF x AREA	MAWA = (Eto * 0.62 * ((ETAF ₂ * TLA) + ((1-ETAF ₂) * SLA)))
Total Area	
Average ETAF	
All Landscape Areas	ETAF ₁ PF/IE from table
Total ETAF x AREA	ETAF ₂ 0.55 or 0.45 (Residential or Non-Res.)
Total Area	TLA Total Landscape Area
Average ETAF	SLA Special Landscape Area



WATER USAGE PLAN - ALL LEVELS

1"=0' = 20'-0"



Landscape Narrative Statement

The planting concept is based on a regenerative agrarian landscape ideology that focuses on sustainability and wellness. Water conservation, native habitat and edible plants are combined into a resilient neighborhood landscape vocabulary that extends from ground floor to roof. An opportunity for a community garden or for a farm to table retail establishment will be encouraged. A Fence/gate on either side of the Mid Block garden will be open during the day to encourage the public to walk through the garden but will be locked at night for safety. A workshop and outdoor porch for community gathering is part of the program.



Stormwater planters with trees



Planters used for space making



4' ht. wood privacy fence

Podium Garden Concepts



Community tables & work tables



Concrete pavers to set apart circulation spaces and destination spaces



Community tables /family style

Mid Block Garden Concepts



Decomposed Granite surface is the main floor of the garden path.



Edible harvest to share



String lighting at Porch & Workshop

Quiet seating nook



Overhead lighting

Urban Agriculture Concepts



Raised planters from galvanized metal and wood



Materials will be friendly and inviting in character with a homespun nature to craft the low key neighborhood vibe and environmental and nature based consciousness.



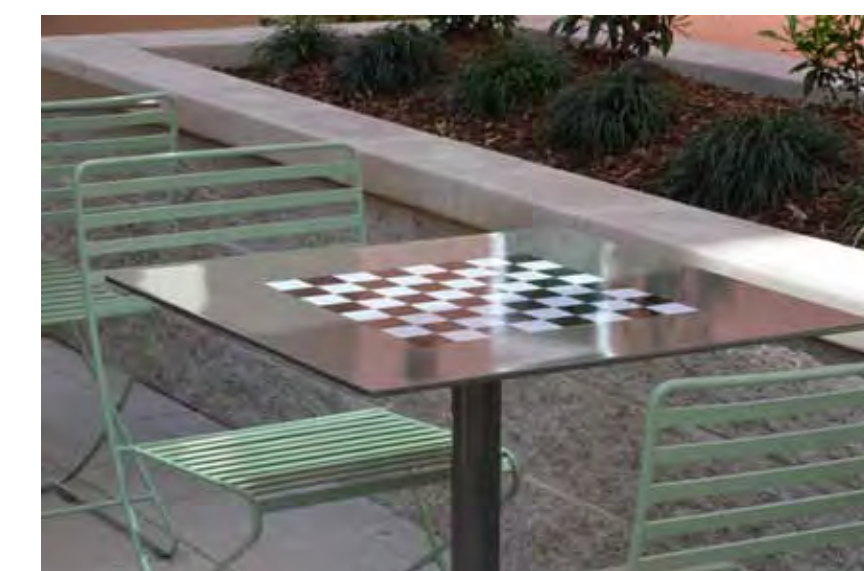
Public Benches



Edible plant towers



Play structure zone for ages 2-12



Game tables



Moveable ping pong tables for teens

LOT 12

MOUNTAIN VIEW

SA JOB NO. 2004

424 BRYANT STREET
MOUNTAIN VIEW, CA 94041

SEIDEL
ARCHITECTS

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LANDSCAPE ARCHITECTURE - PLANNING - ILLUSTRATION
819 5TH AVENUE, SAN RAFAEL, CA 94901
T 415.457.2774 F 415.457.0329 www.apdww.com

DATE	NO.	DESCRIPTION
1/28/2021	1	INFORMAL PLANNING APPLICATION SUBMITTAL
4/02/2021	2	PROGRESS
5/28/2021	3	PLANNING APPLICATION RESUBMITTAL

LANDSCAPE VOCABULARY
MID BLOCK GARDEN AND PODIUM

1"= 20'-0"

L3.1

Plaza & Streetscape Vocabulary



Flush planter areas with shade trees, low drought tolerant plantings, pavers and site furnishings for dynamic streetscape

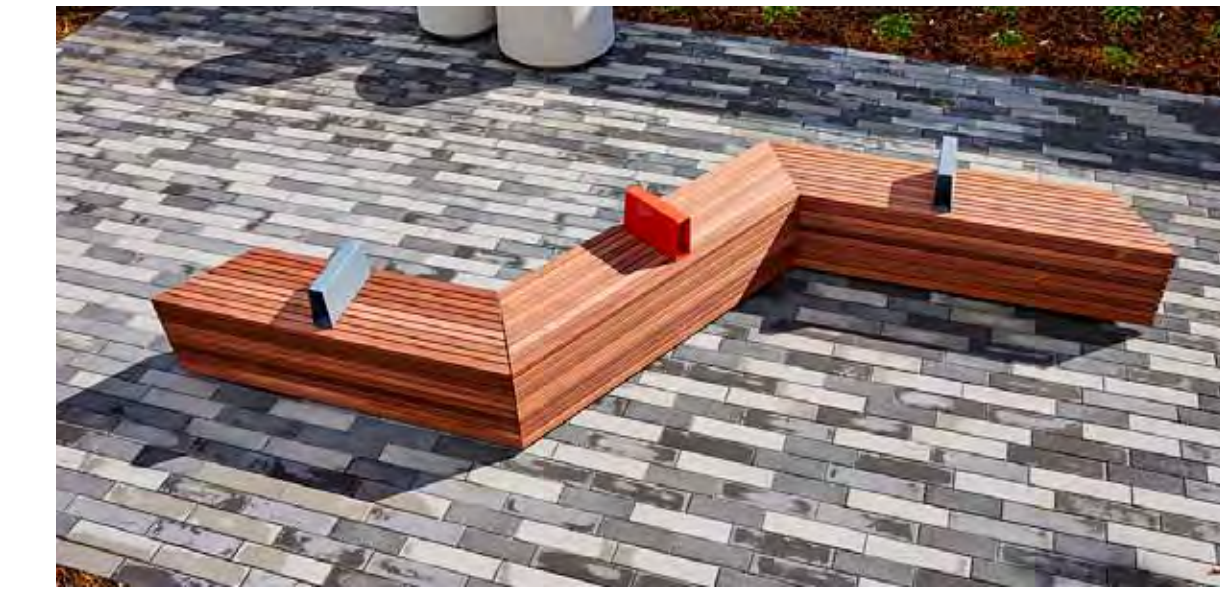


Zigzag benches at corner plaza add to energy of corner movement



Benches at retail facades and at stoops

Paving & Plaza Concepts



Concrete pavers for permeability and placemaing for plazas and entries



Local plant impressions in concrete paving in specail areas such as midblock crossing



Agraairan landscape plaette



Linear planter strips at curbson all streets



Rear fence to tie into existing concrete wall



Trellis with vines at mid plaza podium overlook - viewed from street



Linear planters for stromwater & at stoops



Linear planters



Public bike parking



Seating elements



Stormwater plantings

Green Vertical Element Concepts



Greenwall accents at main corner plaza and at bbq podium areas- may be edibles, evergreen drought tolerant plants. vines on cables, and may have patterns. Vegetated elements may be of various components for low tech, opacity or solid nature of location.

LOT 12

MOUNTAIN VIEW

SA JOB NO. 2004

424 BRYANT STREET
MOUNTAIN VIEW, CA 94041

SEIDEL
ARCHITECTS

545 SANSOME STREET, SUITE 901
SAN FRANCISCO, CALIFORNIA 94111
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APRIL PHILIPS DESIGN WORKS, INC.
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LANDSCAPE VOCABULARY
STREET FRONTAGE

1"= 20'-0"

L3.2



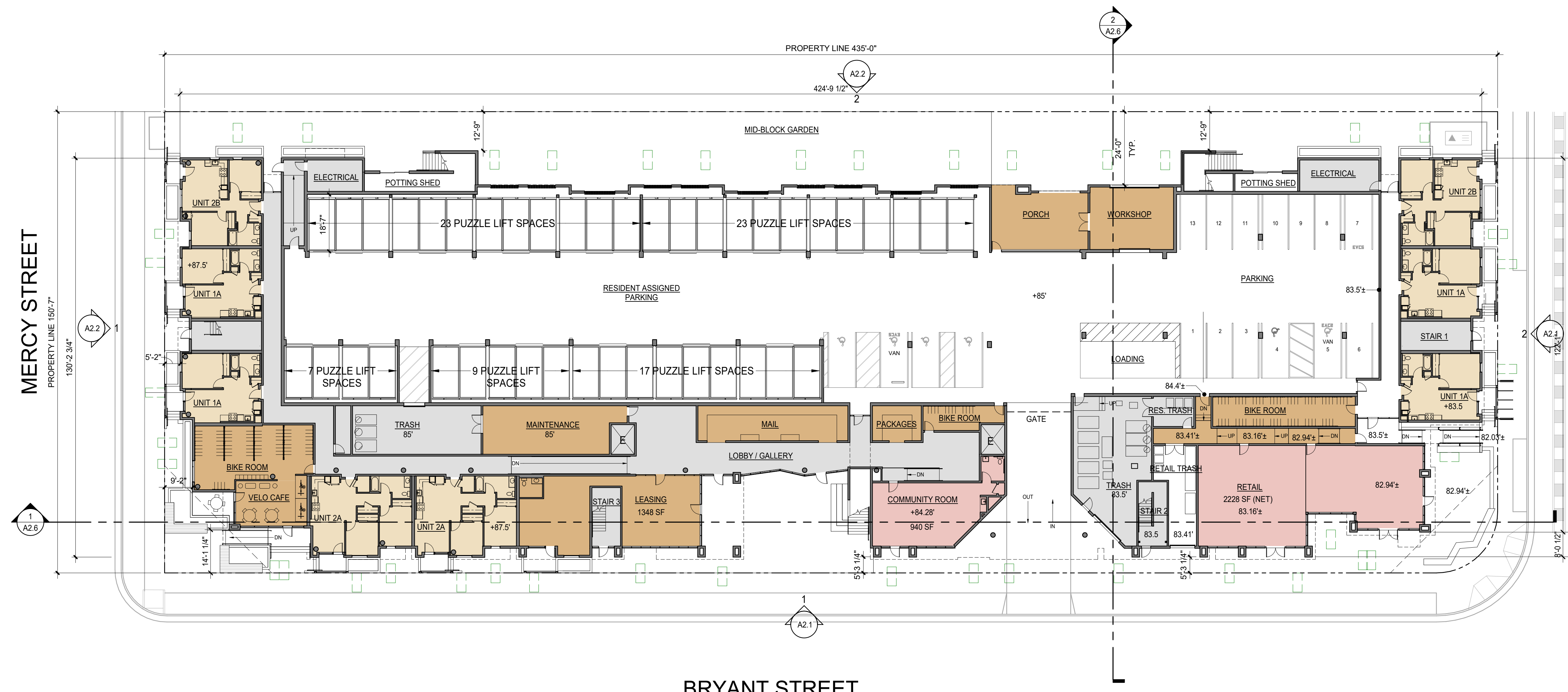
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SAN FRANCISCO, CA 94104
415 653 3172



2595 E BAYSHORE ROAD, SUITE 200
PALO ALTO, CA 94303
650 321 9709



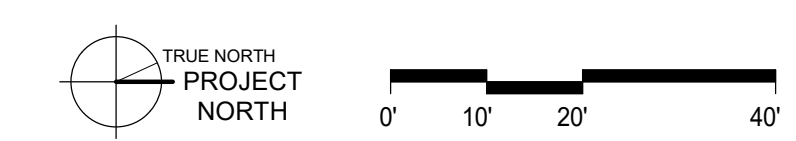
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1 GROUND FLOOR PLAN
A1.1 1" = 20'-0"

GROUND FLOOR PLAN

1" = 20'-0"



A1.1



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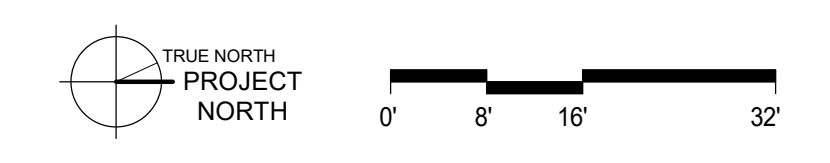


1 SECOND (PODIUM) LEVEL PLAN
A1.2 1/16" = 1'-0"

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06/11/2021		DRC PACKAGE

2ND (PODIUM) FLOOR PLAN

1/16" = 1'-0"



A1.2



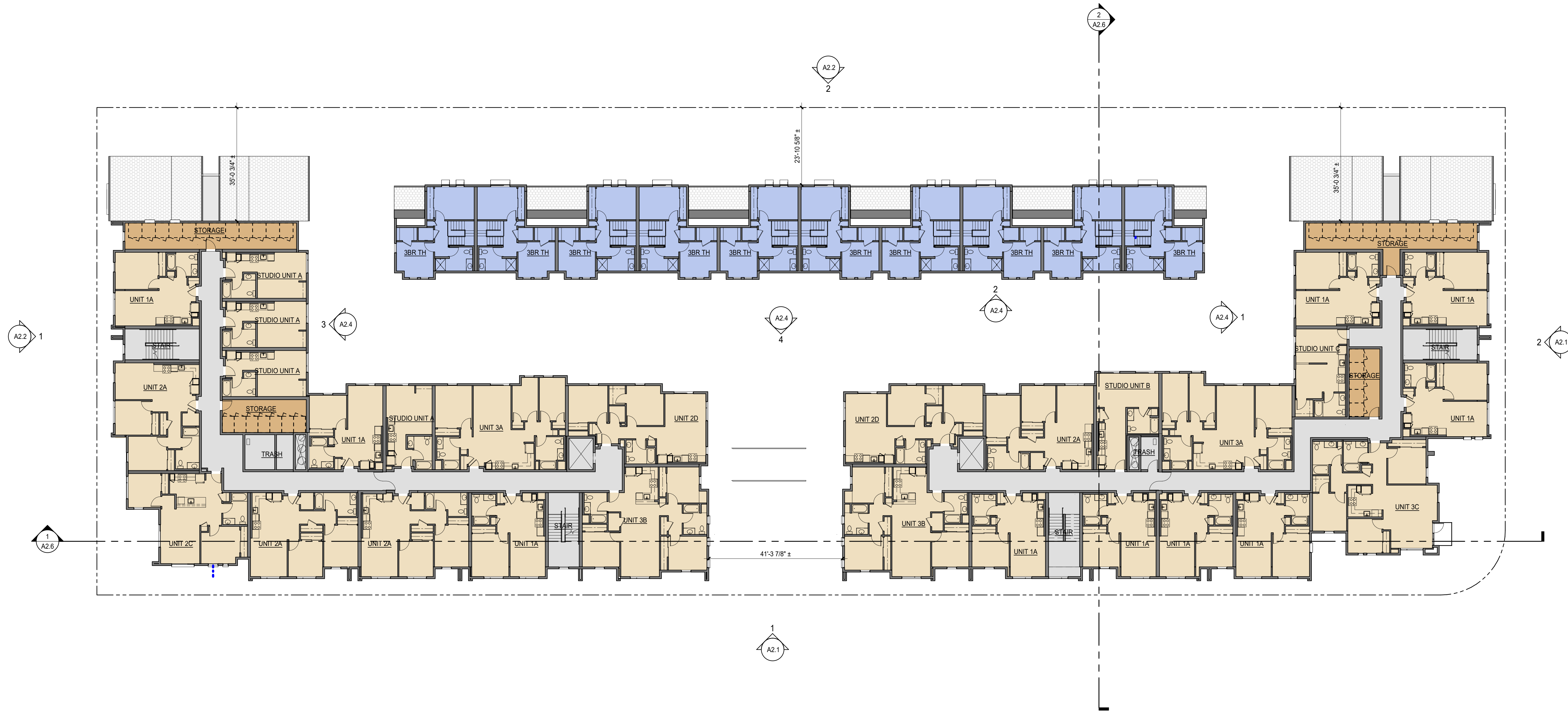
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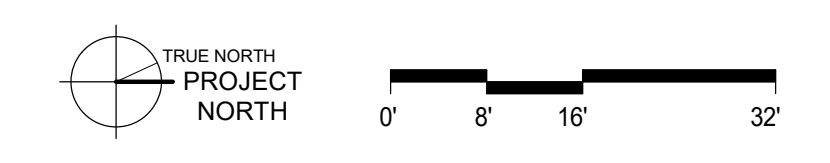


1 THIRD FLOOR PLAN
A1.3 1/16" = 1'-0"

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3RD FLOOR PLAN

1/16" = 1'-0"



A1.3



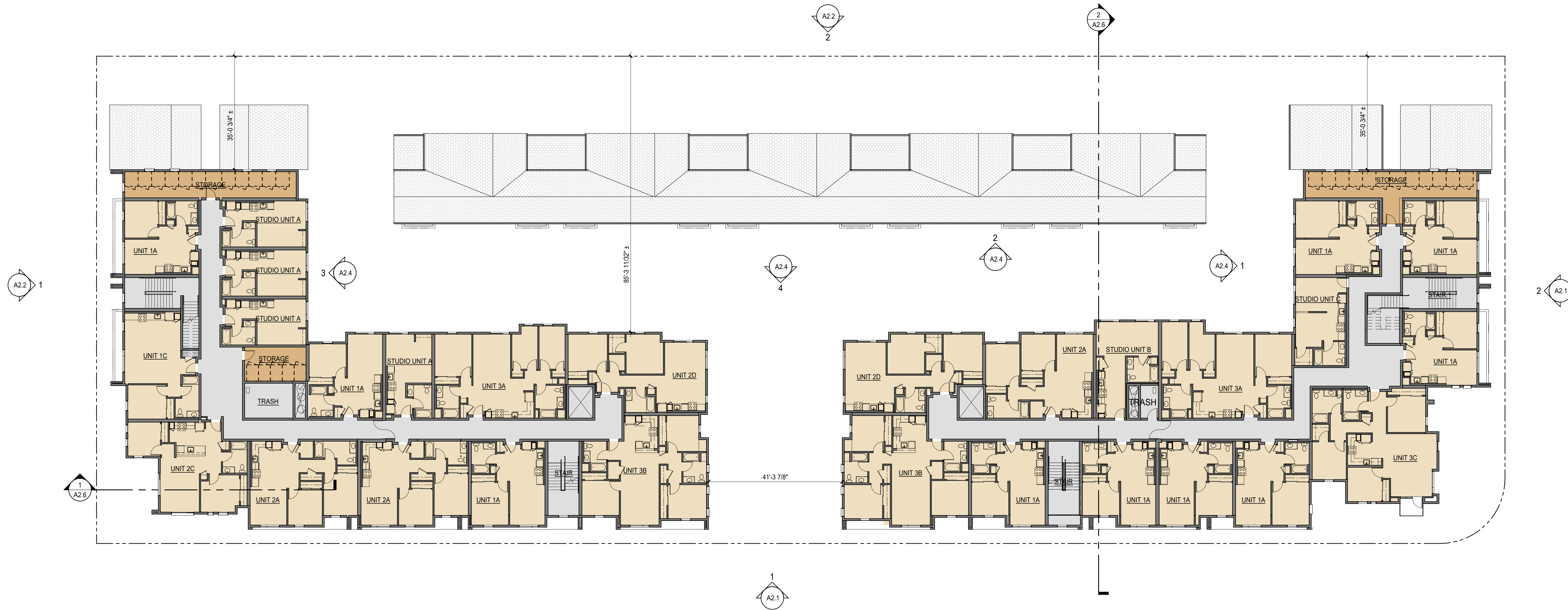
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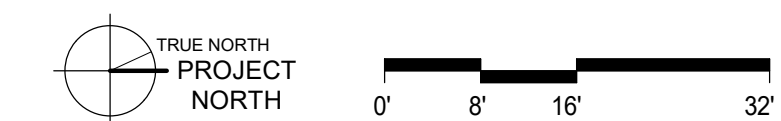


1 FOURTH FLOOR PLAN
A1.4 1/16" = 1'-0"

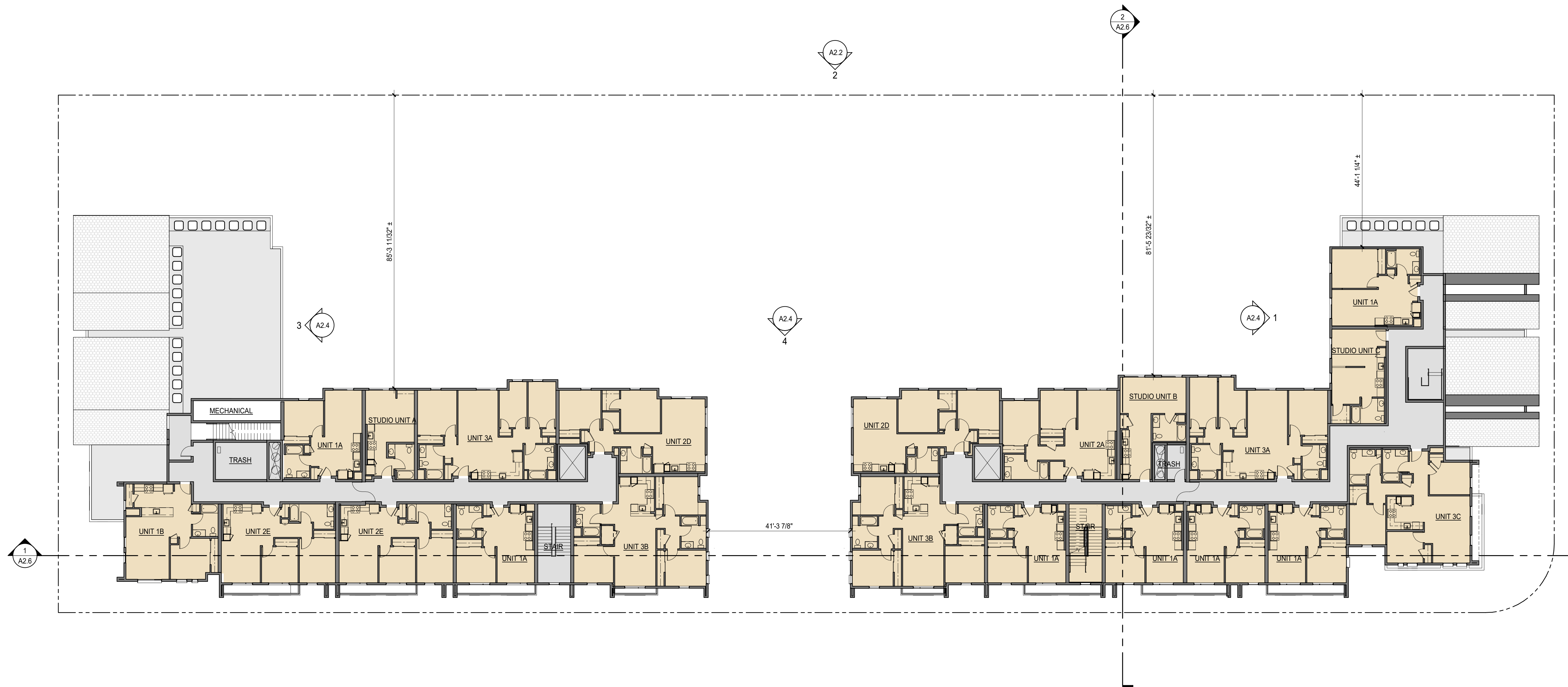
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4TH FLOOR PLAN

1/16" = 1'-0"



A1.4

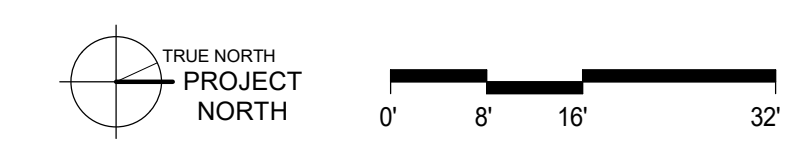


1 FIFTH FLOOR PLAN
A1.5 1/16" = 1'-0"

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5TH FLOOR PLAN

1/16" = 1'-0"



A1.5

LOT 12

424 Bryant Street
Mountain View, CA 94041

SA JOB NO.2004



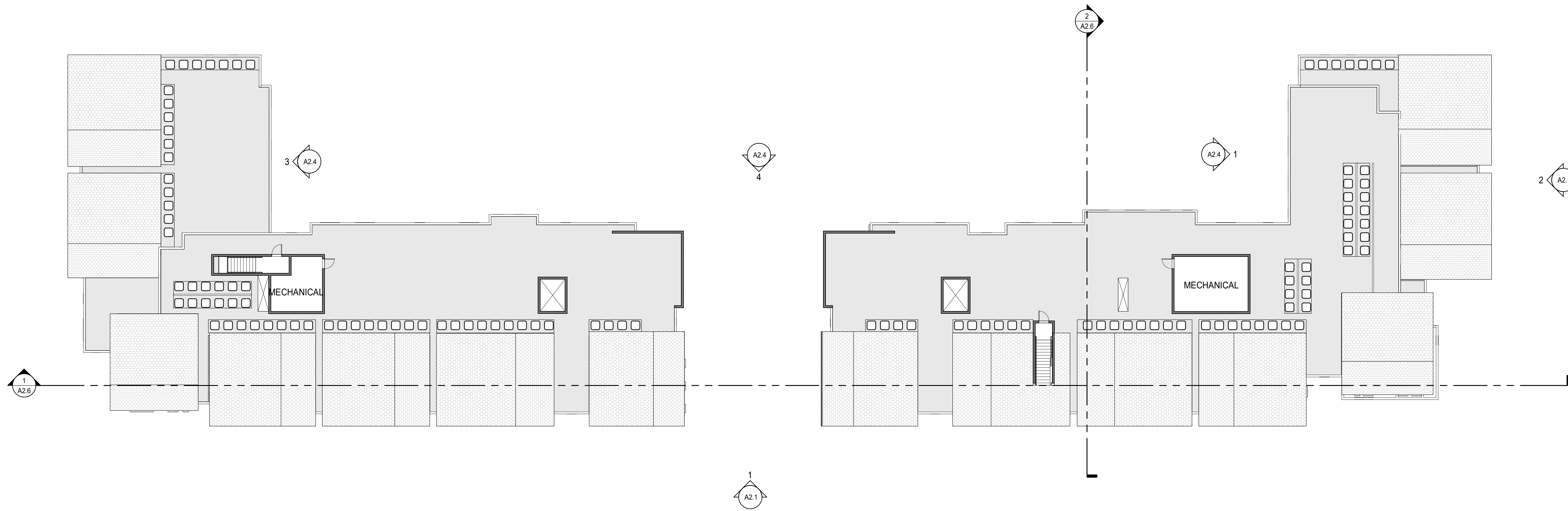
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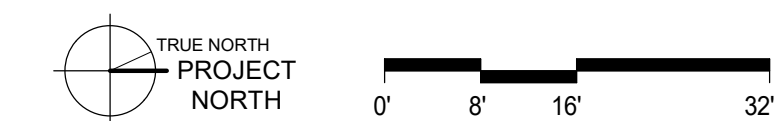


1 ROOF PLAN
A1.6 1/16" = 1'-0"

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ROOF PLAN

1/16" = 1'-0"



A1.6



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2 CALIFORNIA STREET ELEVATION
A2.1 1" = 20'-0"



1 BRYANT STREET ELEVATION
A2.1 1" = 20'-0"

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EXTERIOR ELEVATIONS

1" = 20'-0"

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2 MID BLOCK GARDEN ELEVATION
A2.2 1" = 20'-0"



1 MERCY STREET ELEVATION
A2.2 1" = 20'-0"

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EXTERIOR ELEVATIONS

1" = 20'-0"

A2.2



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Exterior Perspective - Corner of Bryant St. and California St.

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EXTERIOR PERSPECTIVE

1/4" = 1'-0"

A2.3a

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Exterior Perspective - Bryant St. at Midblock Courtyard

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EXTERIOR PERSPECTIVE

1/4" = 1'-0"

A2.3b

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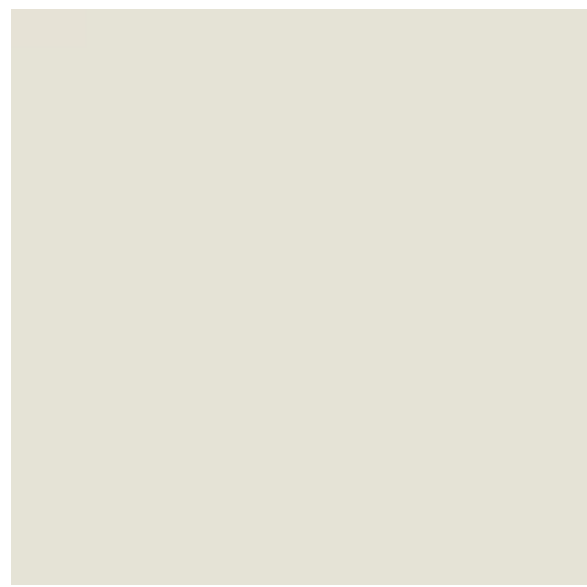
Exterior Perspective - Corner of Bryant St. and Mercy St.

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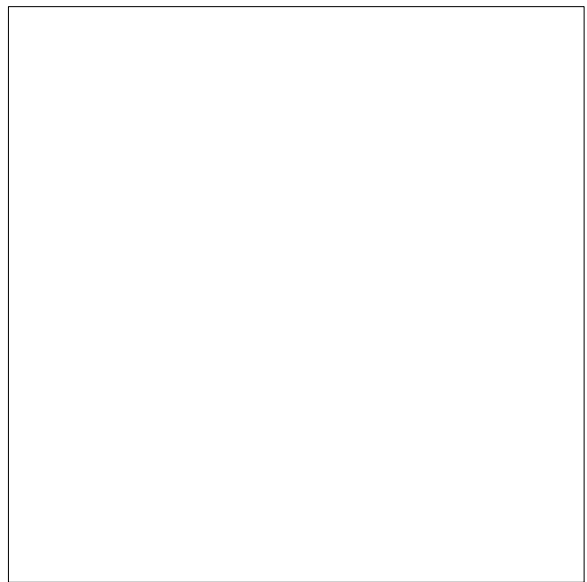
EXTERIOR PERSPECTIVE

1/4" = 1'-0"

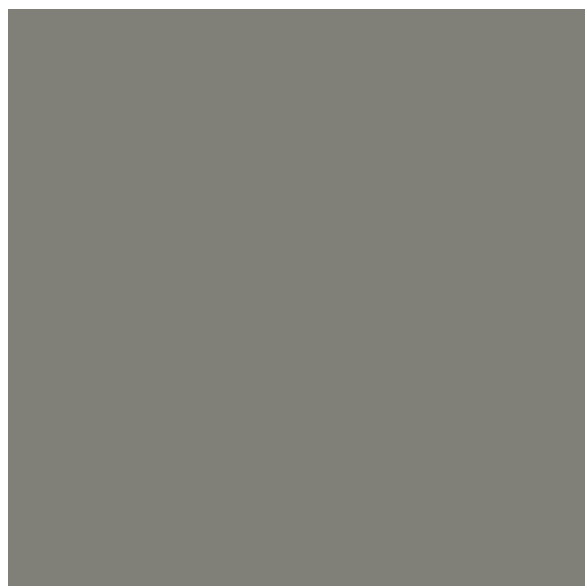
A2.3c



PLASTER 1
CRISP MUSLIN
DUNN EDWARDS DE6212



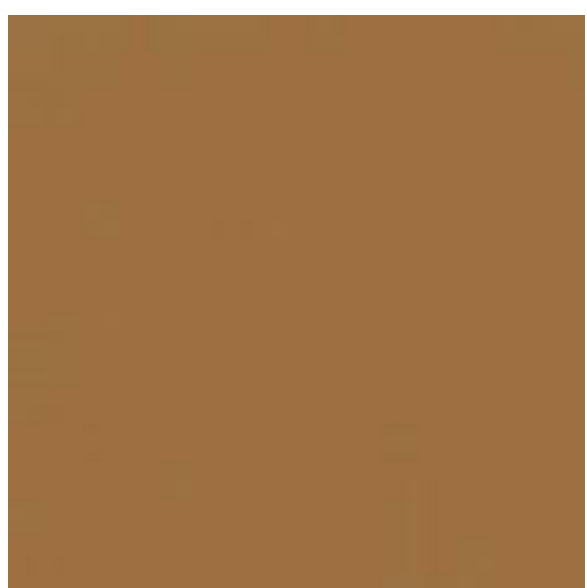
PLASTER 2
WARM WHITE
DUNN EDWARDS DEW380



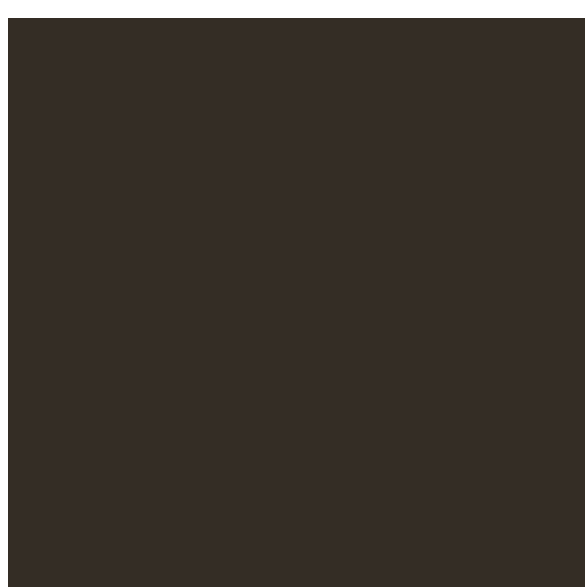
HARDIE ARTISAN SHIPLAP SIDING
AGED PEWTER



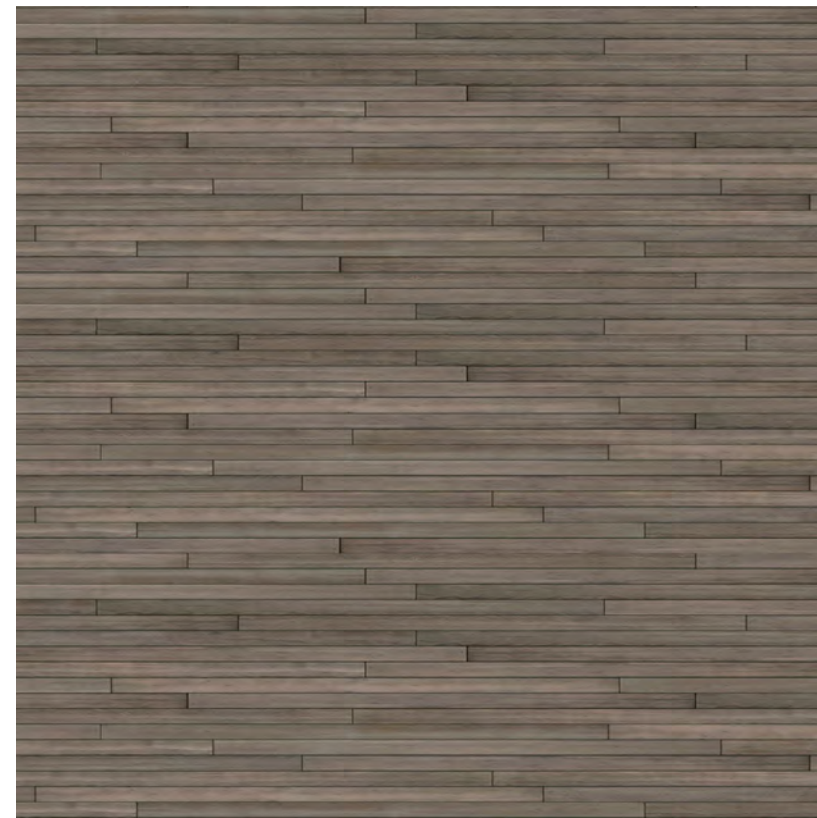
HARDIE ARTISAN SHIPLAP SIDING
NAVAJO BEIGE



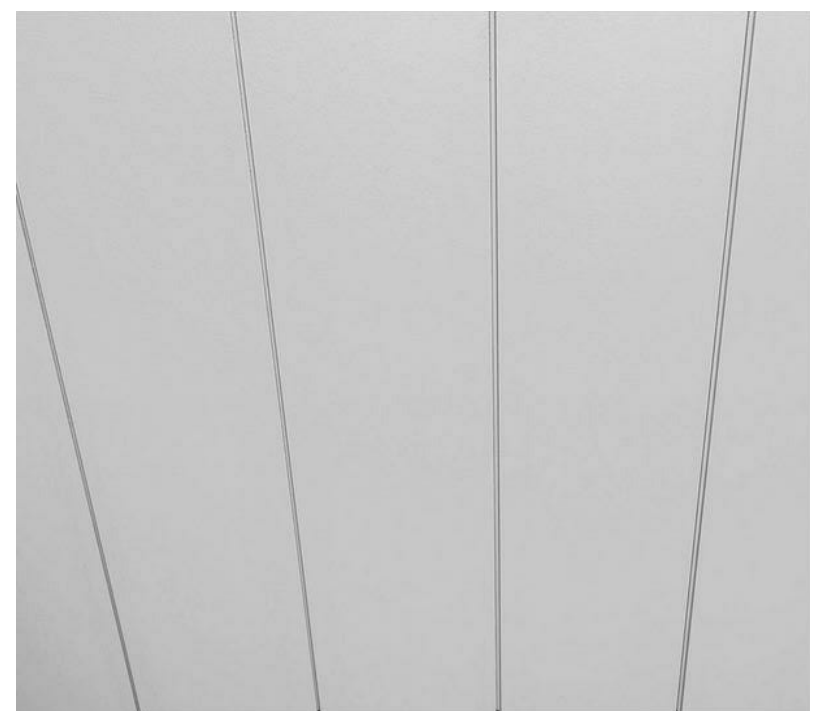
STOOP UNIT ENTRY
DOOR PAINT
AUTUMN BARK
DUNN EDWARDS
DEA164



VINYL AND ALUMINUM
WINDOWS, PAINTED METAL
BRONZE



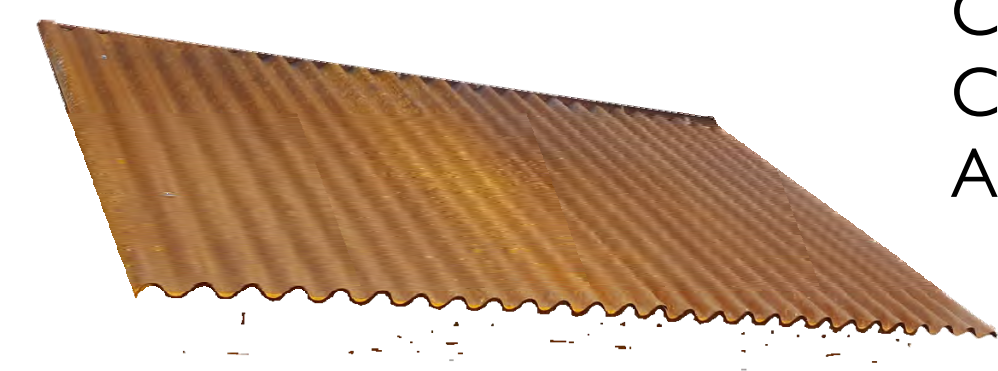
WOOD SIDING
TRESPA
MYSTIC CEDAR



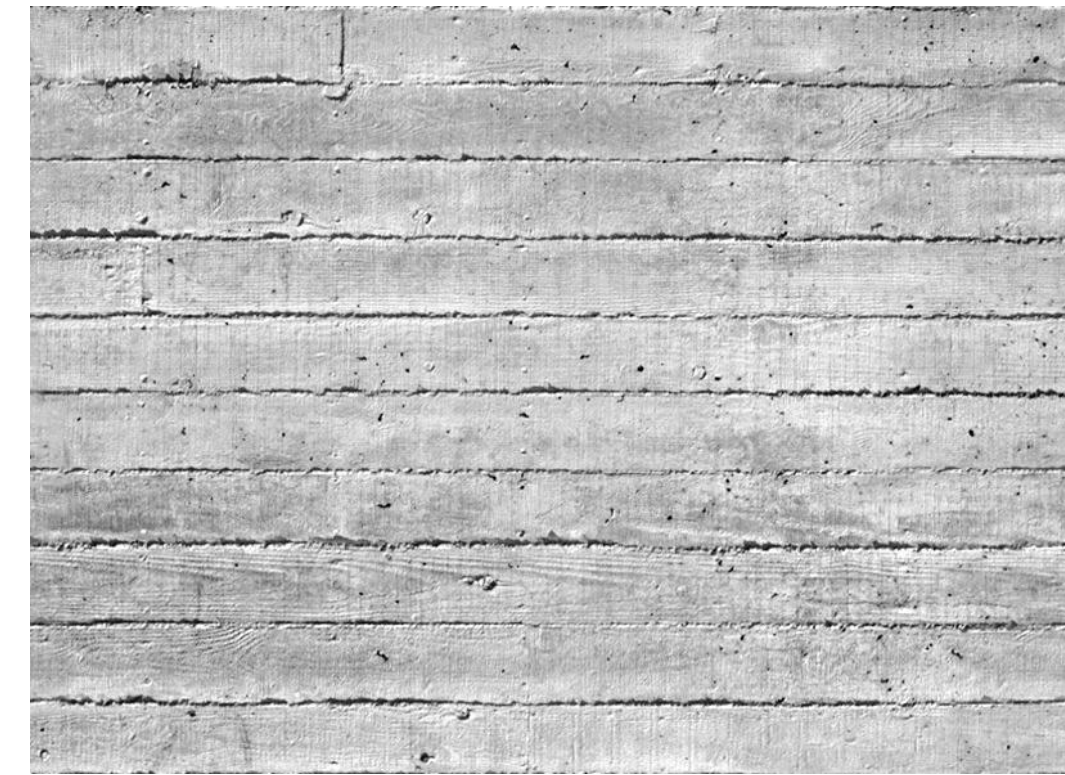
HARDIE ARTISAN
SHIPLAP SIDING



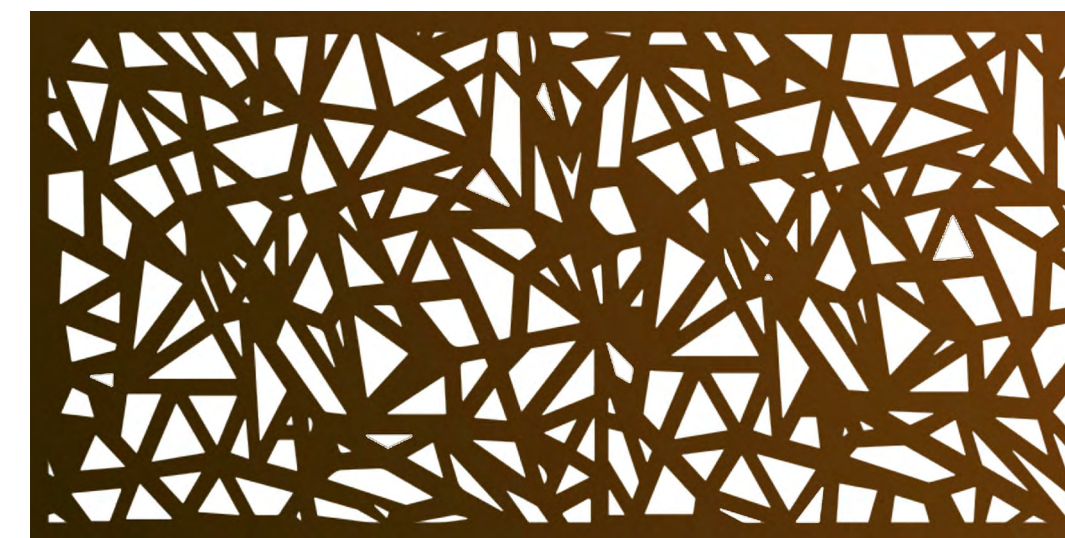
HARDIE
SHINGLE SIDING
AND ROOFING



CORTEN
CORRUGATED
AWNING



BOARD FORMED
CONCRETE



PARASOLEIL
METAL SCREENING

LOT 12

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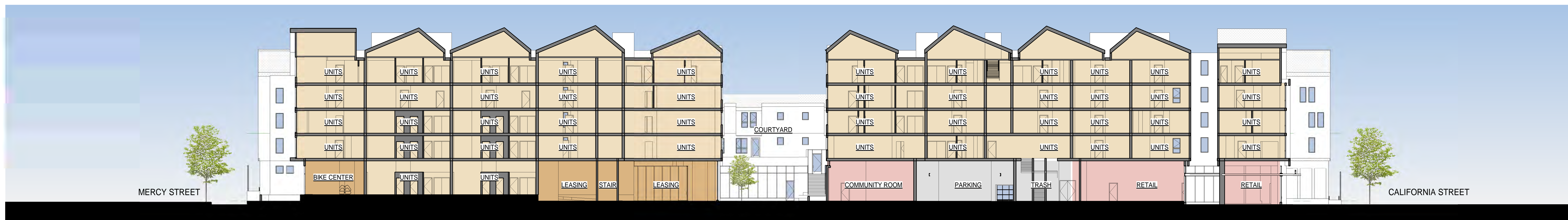
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MATERIALS AND COLORS



2 TRANSVERSE SECTION
A2.6 1" = 10'-0"



1 LONGITUDINAL SECTION
A2.6 1" = 20'-0"

NOTE: PRECISE BUILDING HEIGHTS ARE SUBJECT TO FINAL CIVIL GRADING.

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BUILDING SECTIONS

As indicated