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**PROJECT DESIGN TEAM:**

**ARCHITECT**  
 Barry Swenson Architectural  
 Dan Sell dsell@barryswensonbuilder.com  
 Yin Su ysu@barryswensonbuilder.com  
 Tel:408.938.6339

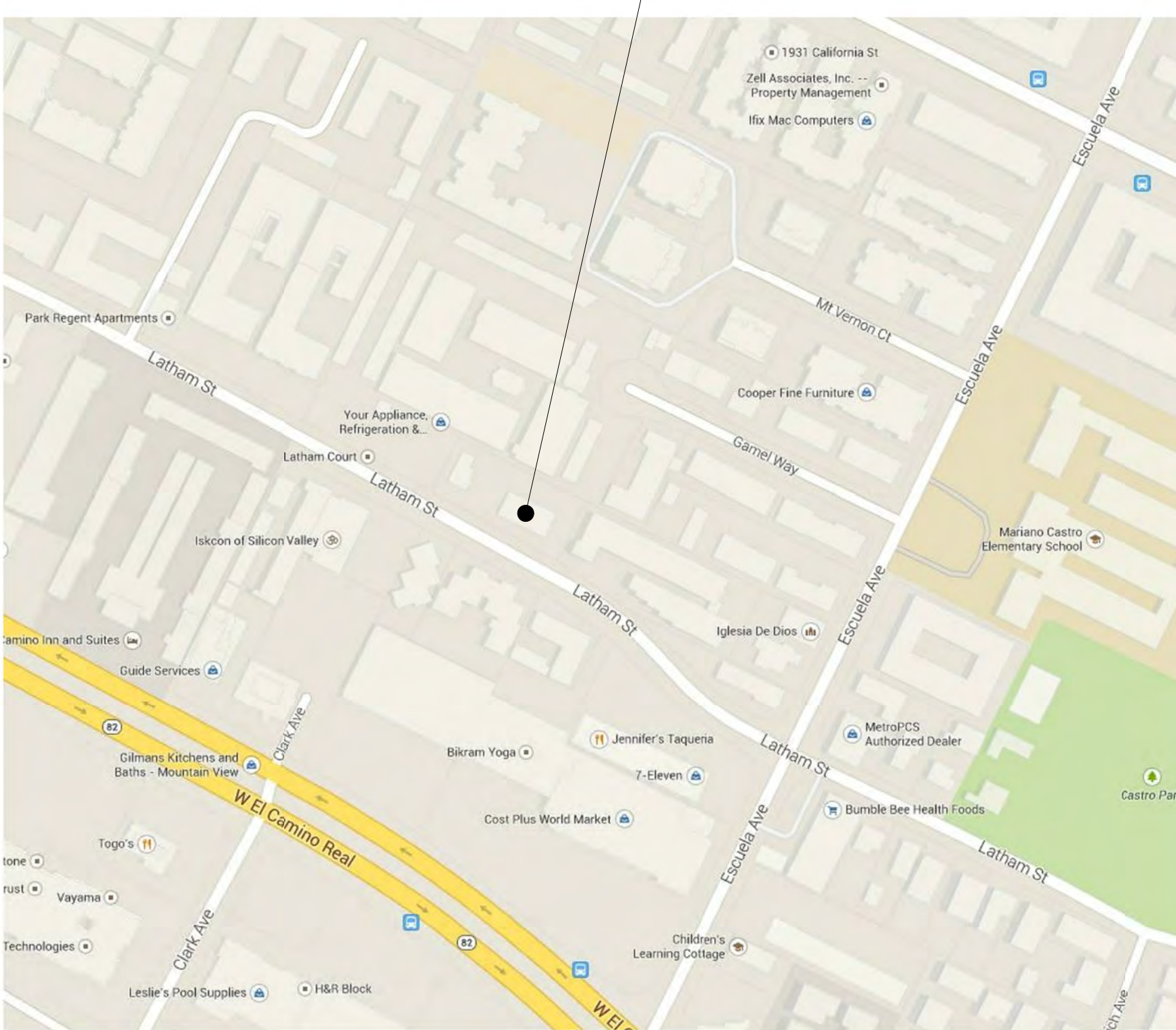
**CIVIL**  
 Dave Voorhies, PE, LEED AP  
 Underwood & Rosenblum, Inc.  
 Tel:408.472.5222

**LANDSCAPE**  
 Greg Lewis  
 Greg Lewis – Landscape Architect  
 Tel.:831.425.4747

**PROJECT DESCRIPTION:**

1958 LATHAM ST RESIDENTIAL PROJECT IS A NEW CONSTRUCTION OF A THREE-STORY ROWHOUSE BUILDING COMPRISING OF 6 DWELLINGS OF THREE BEDROOM UNITS.

**VICINITY MAP:**



**1958 LATHAM ST**

DATE 01.25.2016

**PROJECT INFORMATION:**

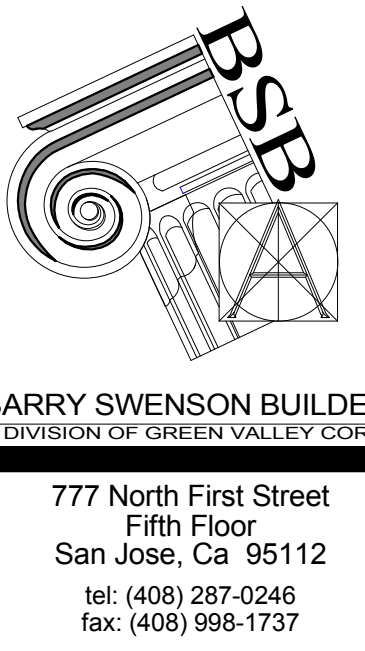
PROJECT ADDRESS: 1958 LATHAM ST, MOUNTAIN VIEW, CA94040  
 APN: 154-21-017 ZONING DESIGNATION: R3  
 OCCUPANCY GROUP : GROUP R3 /U (PRIVATE GARAGE)  
 BUILDING AREA: 14,650 SF  
 BUILDING HEIGHT: 3 STORY

**ZONING INFORMATION:**

ZONING: R3	PROPOSED
LOT AREA:	16,988 SF
LOT WIDTH:	201 FT
FRONT SETBACK:	15'
SIDE SETBACK:	15'
REAR SETBACK:	MIN 27'
FAR:	0.86<1.05
BUILDING AREA:	13,824 SF
LOT COVERAGE:	4,872/16,988=28.7% < 35%
BUILDING HEIGHT:	OVERALL MAX 41'5", TOP OF PLATE 30'9"
# OF UNITS:	6
# OF PARKING STALLS:	12
OPEN AREA:	42.1%.

**DRAWING INDEX:**

PLANNING	
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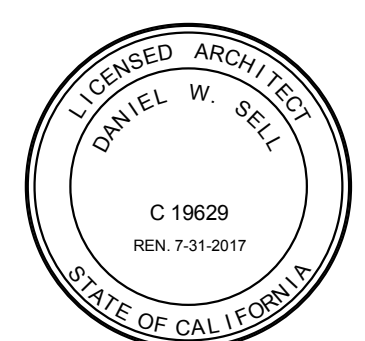
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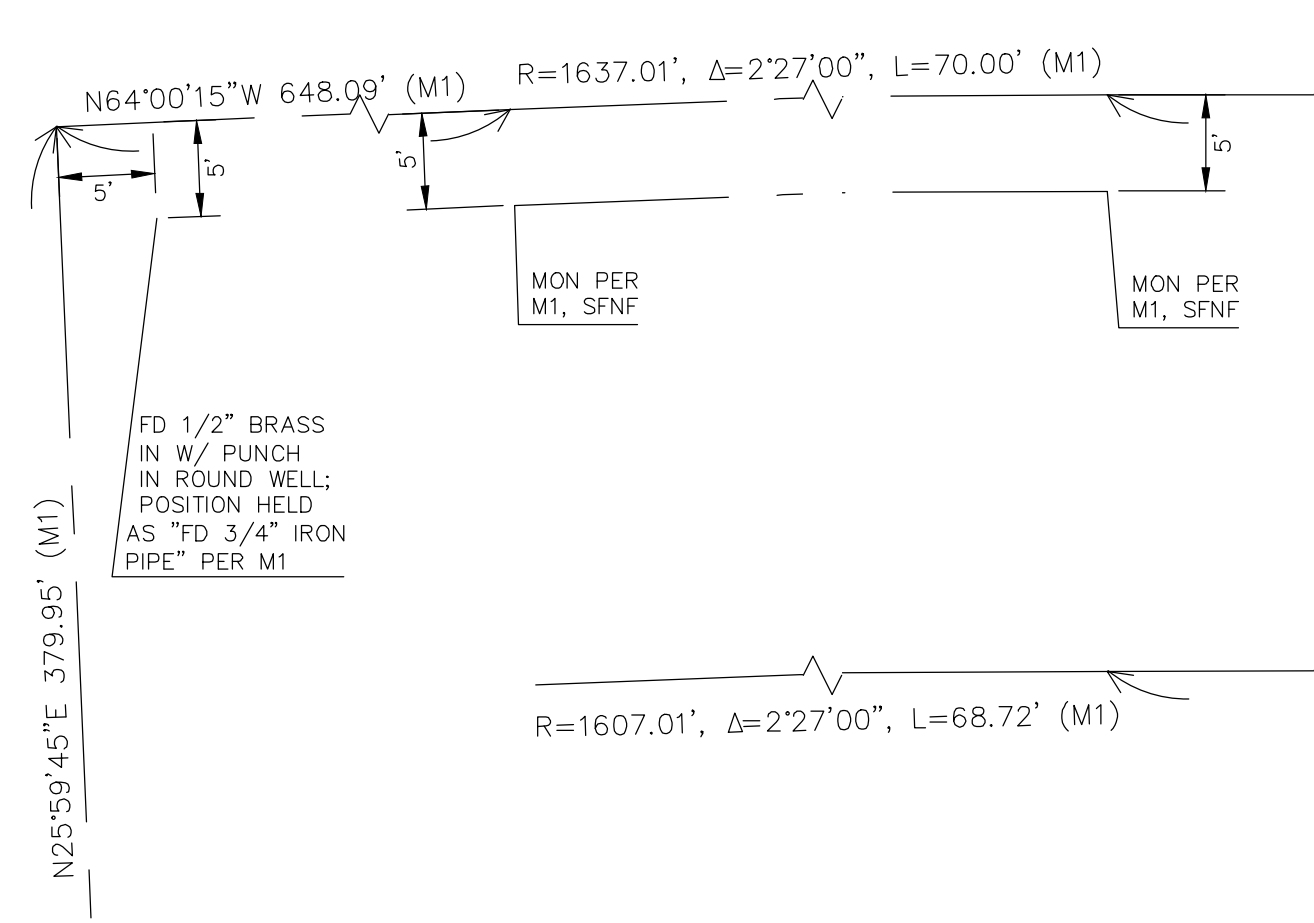
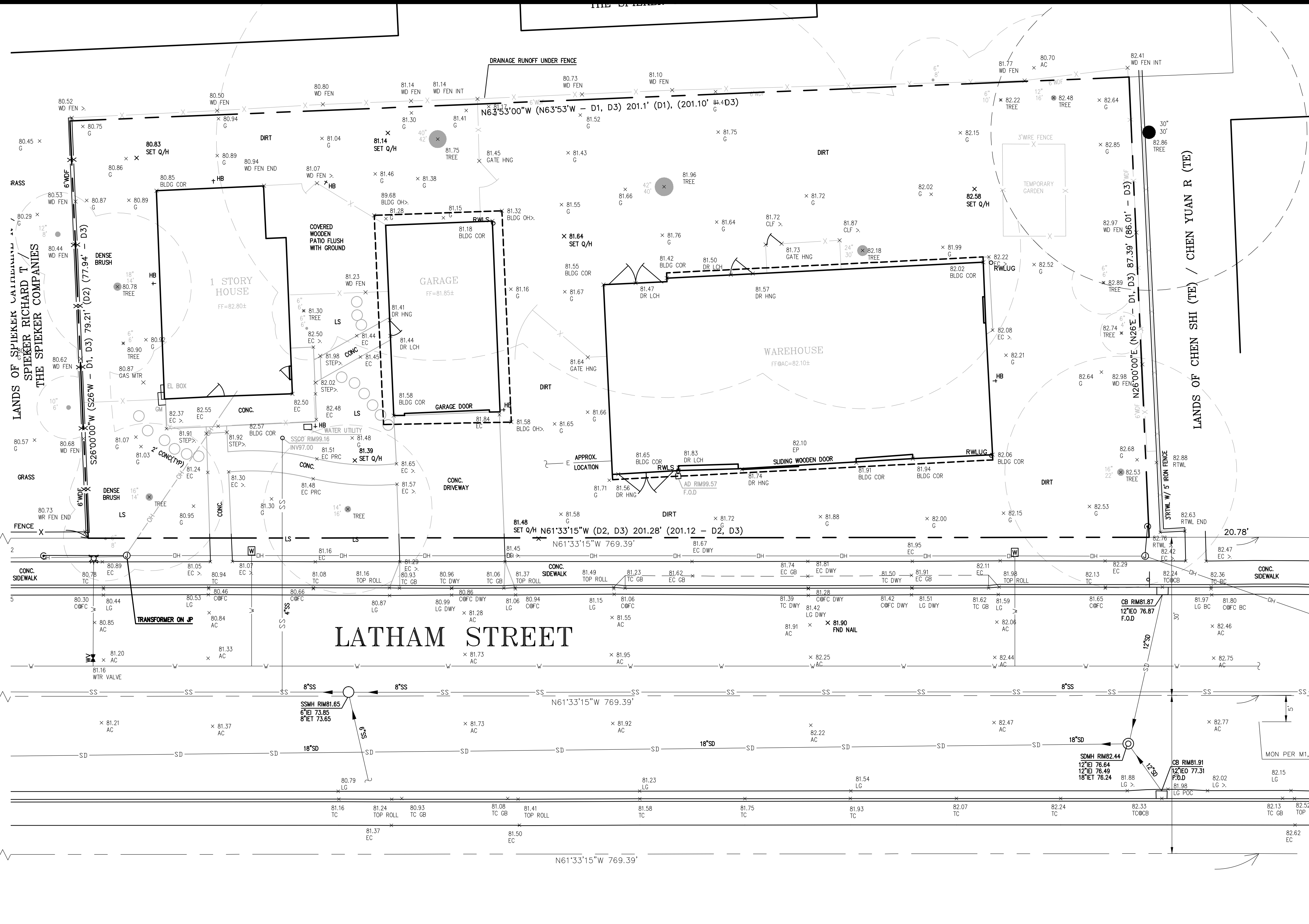
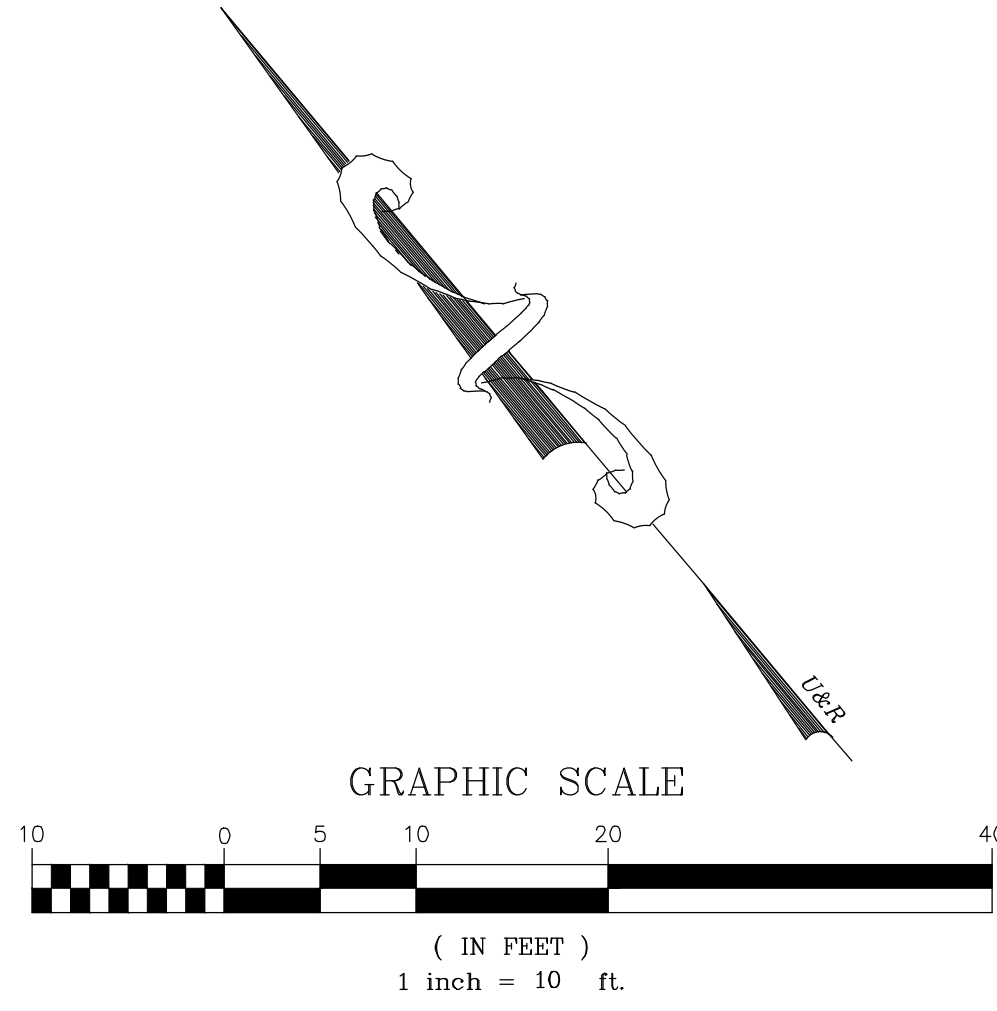
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MOUNTAIN VIEW 6-UNITS  
 ROWHOUSE  
 1958 LATHAM ST,  
 MOUNTAIN VIEW, CA 94043  
 COVER SHEET



Date: Nov 11, 2014  
 Scale:  
 Drawn by:  
 Job #: 14-9178  
 Sheet

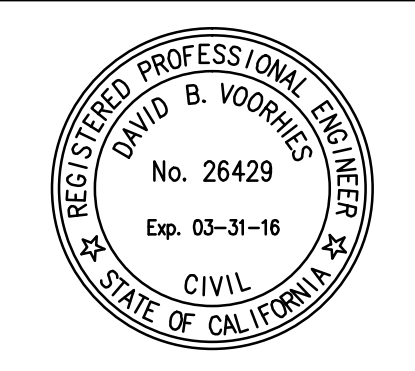
A-000



LEGEND			
AC ASPHALT CONCRETE AD AREA DRAIN BC BEGIN CURVE BLD COR BUILDING CORNER C/CONC CONCRETE CB CATCH BASIN CLF CHAIN LINK FENCE CMU CONCRETE MASONRY WALL EC EDGE OF CONCRETE EL ELECTRIC EP EDGE OF PAVEMENT FC FACE OF CURB FF FINISH FLOOR FL FLOW LINE FNC FENCE FOD FULL OF DEBRIS G GROUND	GB GRADE BREAK INV INVERT ELEVATION IEI INVERT ELEVATION IN IEO INVERT ELEVATION OUT IET INVERT ELEVATION THRU IP IRON PIPE LG LIPOF OF GUTTER LS LANDSCAPING MH MAINTENANCE HOLE POC POINT ON CURVE TC TOP OF CURB TEL TELEPHONE WD WOOD TYP TYPICAL WR WROUGHT IRON	AD AREA DRAIN CB CATCH BASIN RWL RAIN WATER LEADER RWLUG RAIN WATER LEADER TO UNDERGROUND RWLS RAIN WATER LEADER SPLASH SDMH STORM DRAIN MAINTENANCE HOLE SSMH SANITARY SEWER MAINTENANCE HOLE CO CLEAN OUT	<div style="display: flex; justify-content: space-between;"> <div> <p>20" 30"</p> <p>TREE WITH TRUNK DIAMETER AND DRIP LINE RADIUS</p> <p>TREE LINE</p> <p>STREET LIGHT</p> <p>LIGHT POLE</p> <p>SIGN</p> <p>BOLLARD/POLE</p> <p>JOINT POLE</p> <p>GUY POLE</p> </div> <div> <p>ANCHOR</p> <p>SURVEY CONTROL POINT</p> <p>IRON PIPE FOUND</p> <p>MONUMENT FOUND</p> <p>BENCHMARK</p> <p>HOSE BIB</p> <p>WATER METER</p> <p>WATER VALVE</p> <p>FIRE HYDRANT</p> </div> </div>
		SD STORM DRAIN LINE SS SANITARY SEWER LINE OH OVERHEAD UTILITIES BL BOUNDARY LINE CL CENTER LINE EL EASEMENT LINE GB GRADE BREAK FL FENCE LINE RH ROOF OVERHANG BLD BUILDING LINE	<p>222.03 G SPOT ELEVATION WITH DESCRIPTION</p> <p>60 INDEX ELEVATION CONTOUR</p> <p>59 INTERMEDIATE ELEVATION CONTOUR</p>

BASIS OF BEARINGS: THE BEARING OF N25°59'45"E SHOWN AS THE CENTERLINE OF RENSTORFF AVENUE ON THE RECORD OF SURVEY MAP RECORDED FEBRUARY 25, 1959 IN BOOK 102 OF MAPS AT PAGE 55 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK: BRONZE DISK STAMPED "IV-45" SET IN THE TOP OF CURB AT THE NORTH END OF THE NORTHWEST RETURN OF ESCUELA AVENUE AT EL CAMINO REAL ELEVATION: 88.43 NAVD1988



DATE	
REVISIONS	
#	DESC.

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civil engineers and surveyors  
1830 Ockland Road, Ste. A114, San Jose, Ca. 95131  
Tel. No. (408) 453-1222  
www.underwood.com

UR

MOUNTAIN VIEW 6-UNITS  
ROWHOUSE  
1958 LATHAM STREET  
MOUNTAIN VIEW CALIFORNIA

TOPOGRAPHIC SURVEY

Date 9-09-2015  
Scale 1"=10'  
Drawn: AB/CR  
Checked: TM  
Job J14064  
Sheet  
**C0.1**



1



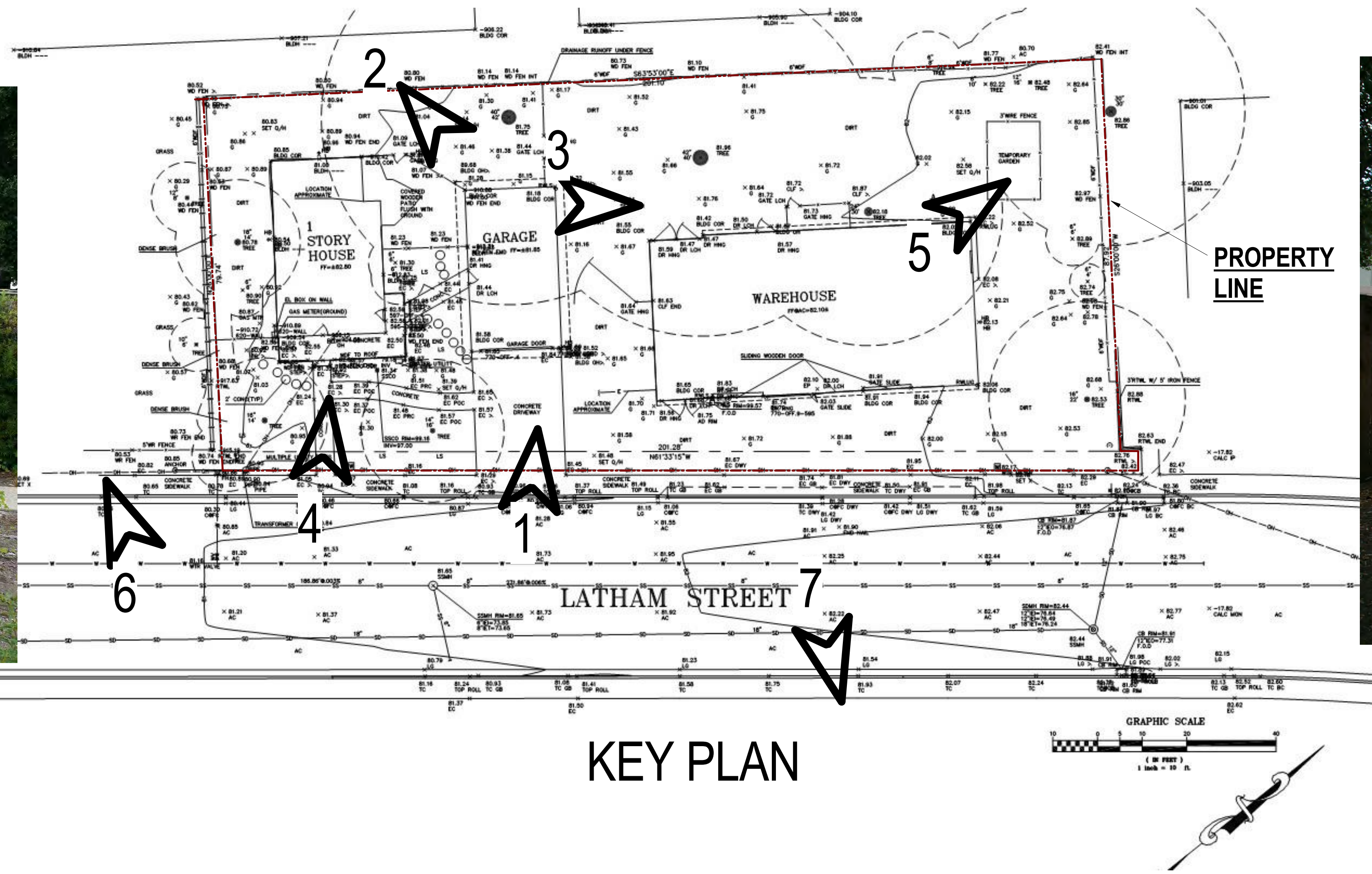
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3



4



KEY PLAN



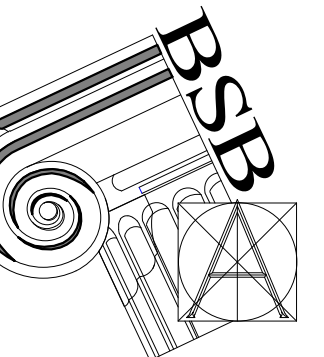
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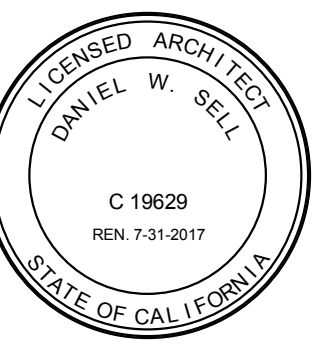
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EXISTING SITE PHOTOS



Date: Nov 11, 2014

Scale:

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Job #: 14-9178

Sheet

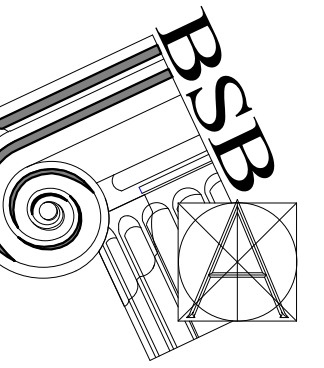
A-001



NEIGHBORHOOD CONTEXT  
1/16" = 1'-0"



PROPOSE SITE CONCEPT  
1/16" = 1'-0"



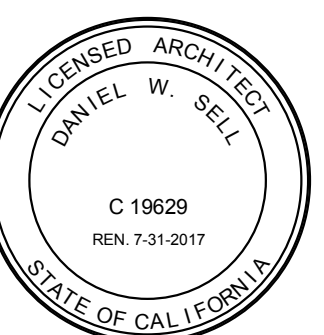
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NEIGHBORHOOD CONTEXT



Date: Nov 11, 2014

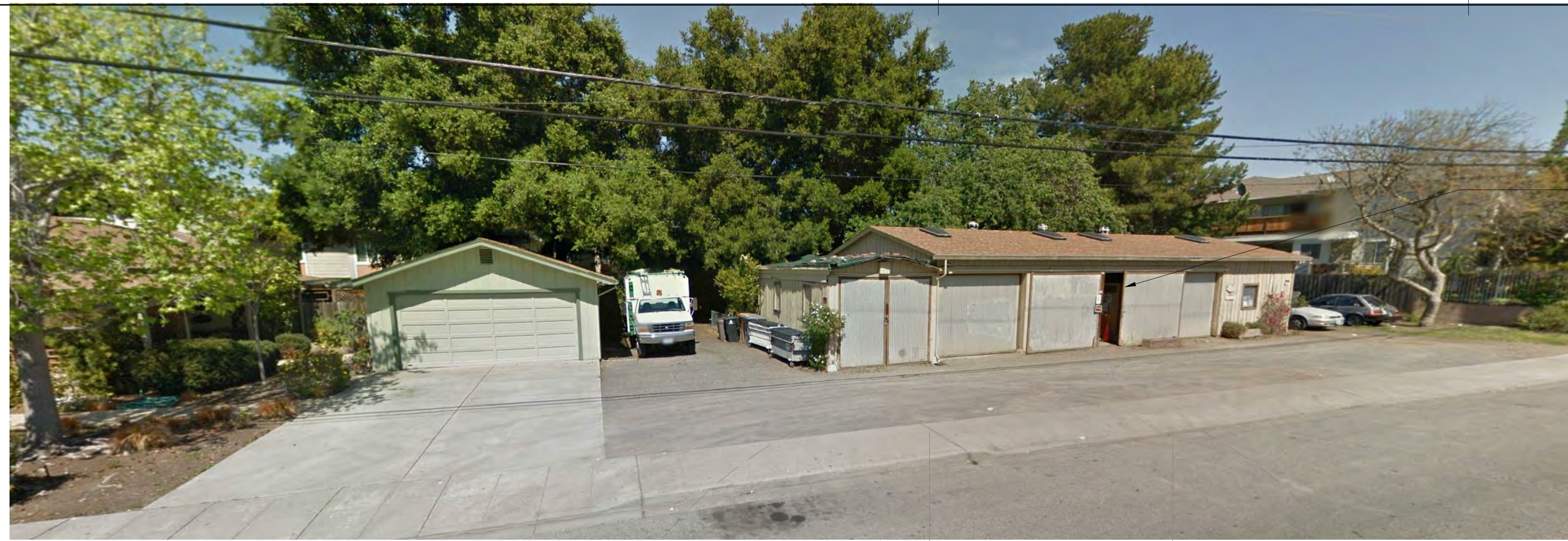
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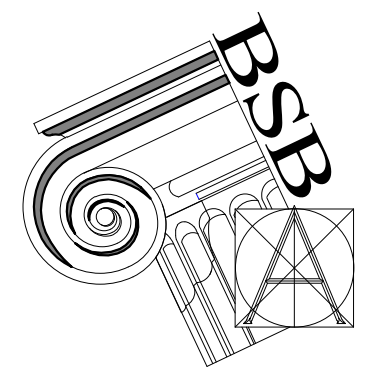
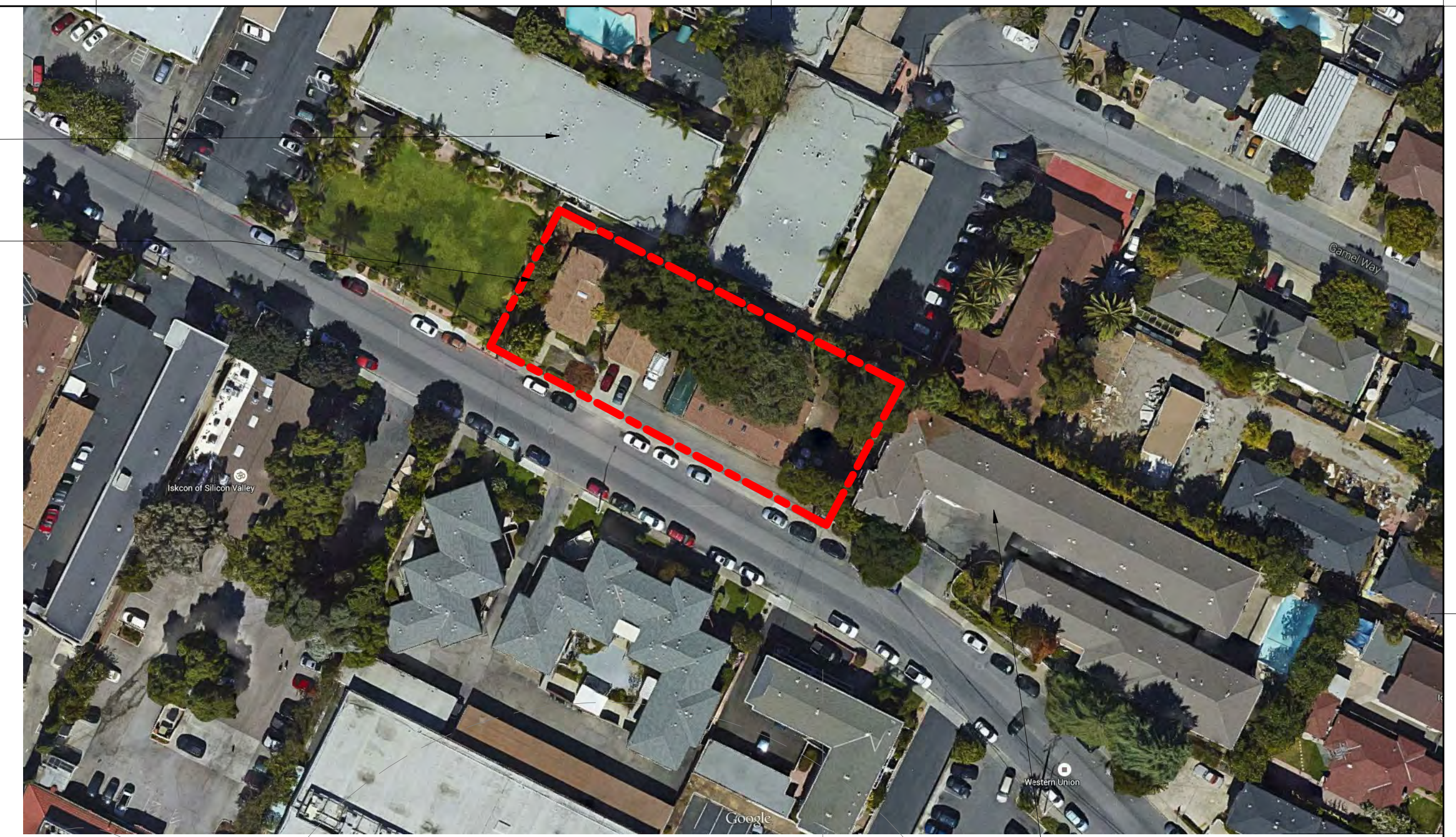
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A-002



**EXISTING TWO STORY APARTMENT BUILDING**

**EXISTING SITE**



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**KEY PLAN**

**EXISTING THREE STORY APARTMENT BUILDING**

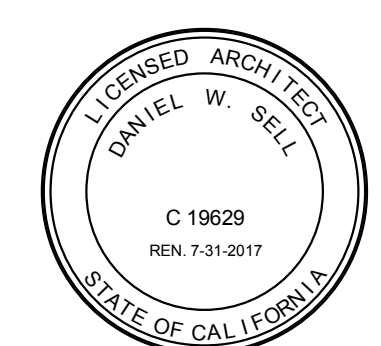
LEGEND:

RED CURB, NO PARKING

Revision Schedule  
# Description Date

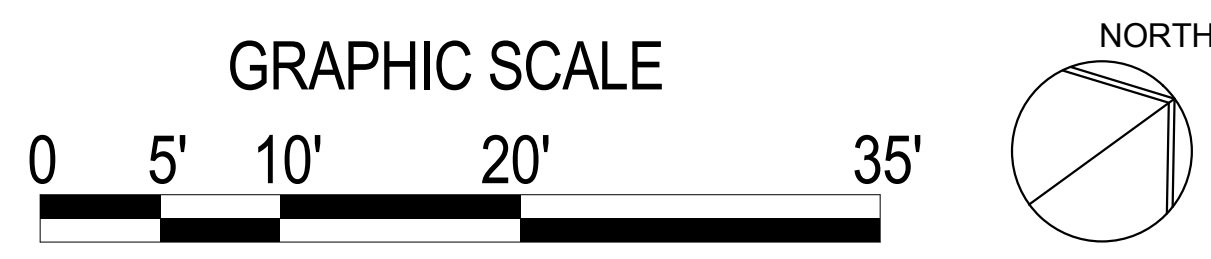
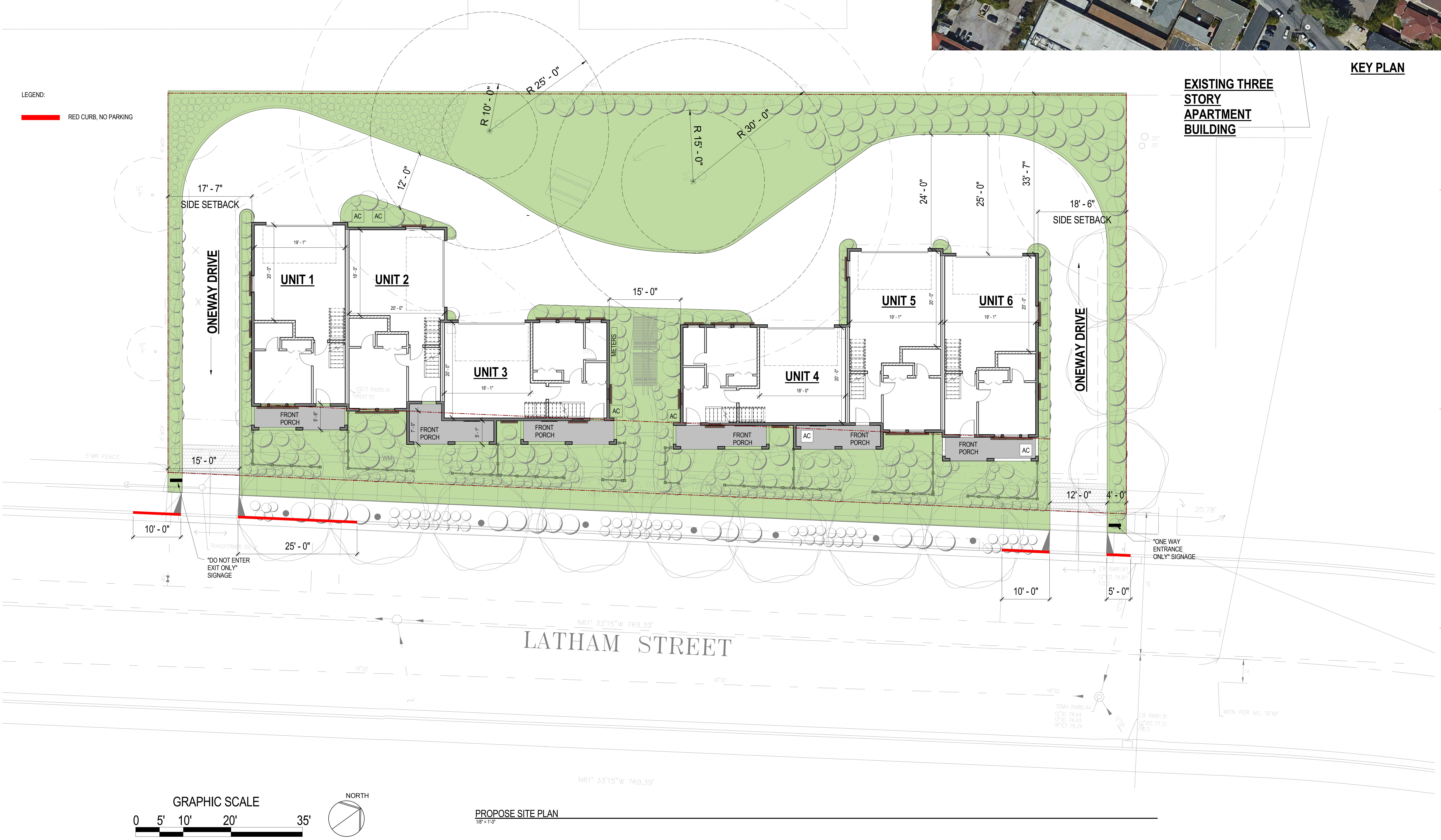
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ROWHOUSE**  
1958 LATHAM ST.  
MOUNTAIN VIEW, CA 94043  
ARCHITECTURAL SITE PLAN

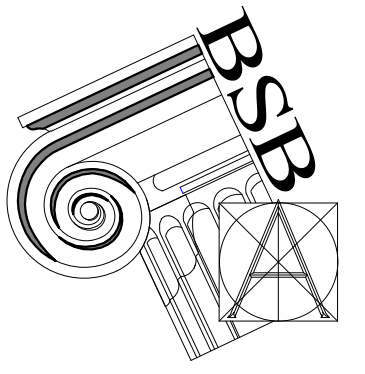


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Job #: 14-9178  
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A-100



**PROPOSE SITE PLAN**  
1/8" = 1'-0"



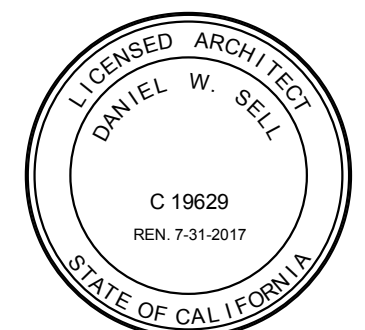
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**MOUNTAIN VIEW 6-UNITS**  
**ROWHOUSE**  
 1958 LATHAM ST.  
 MOUNTAIN VIEW, CA 94043  
**FIRST LEVEL OVERALL FLOOR PLAN**



Date: Nov 11, 2014

Scale:

Drawn by:

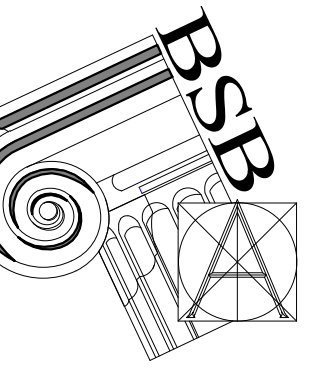
Job #: 14-9178

Sheet

A-101



**1** GROUND LEVEL FLOOR PLAN  
 SCALE: 3/16" = 1'-0"



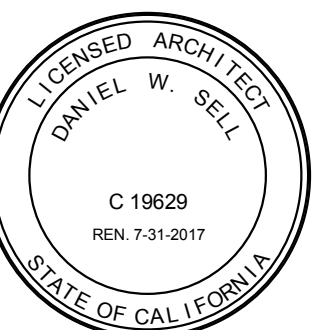
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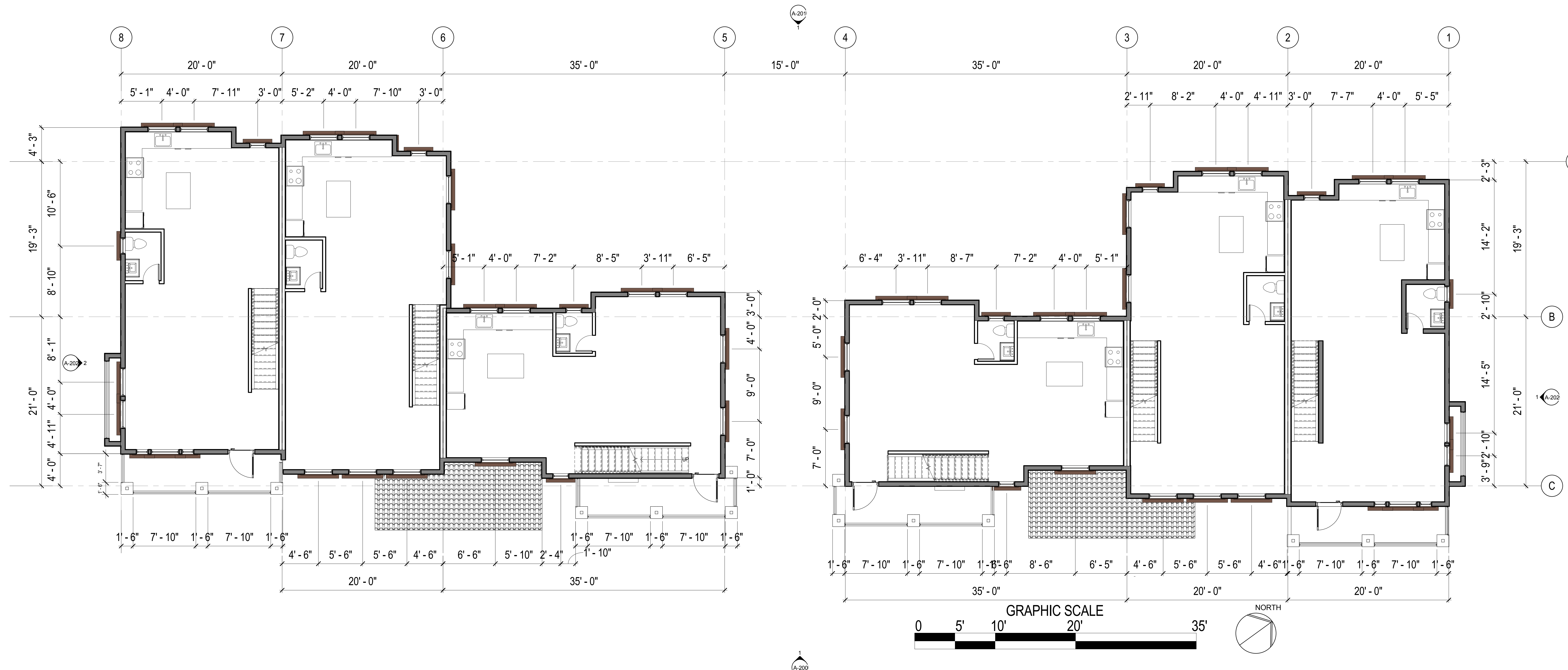
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**ROWHOUSE**  
 1958 LATHAM ST.  
 MOUNTAIN VIEW, CA 94043  
**SECOND LEVEL OVERALL FLOOR PLAN**

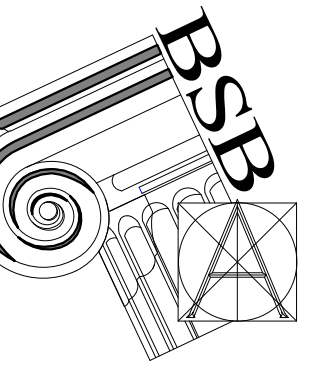


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 Scale:  
 Drawn by:  
 Job #: 14-9178  
 Sheet:

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**2ND LEVEL FLOOR PLAN**  
 3/16" = 1'-0"



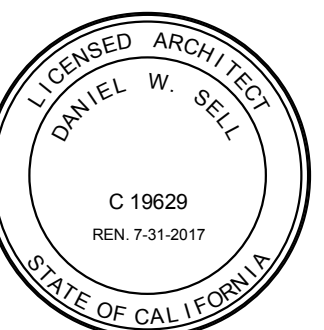
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**THIRD LEVEL OVERALL FLOOR PLAN**



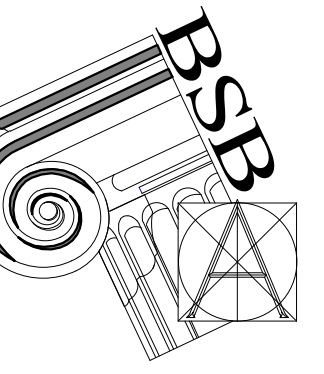
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A-103



3RD FLOOR PLAN  
 3/16" = 1'-0"





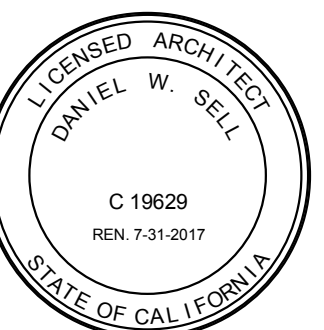
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**MOUNTAIN VIEW 6-UNITS  
 ROWHOUSE**  
 1958 LATHAM ST.  
 MOUNTAIN VIEW, CA 94043  
**ROOF PLAN**



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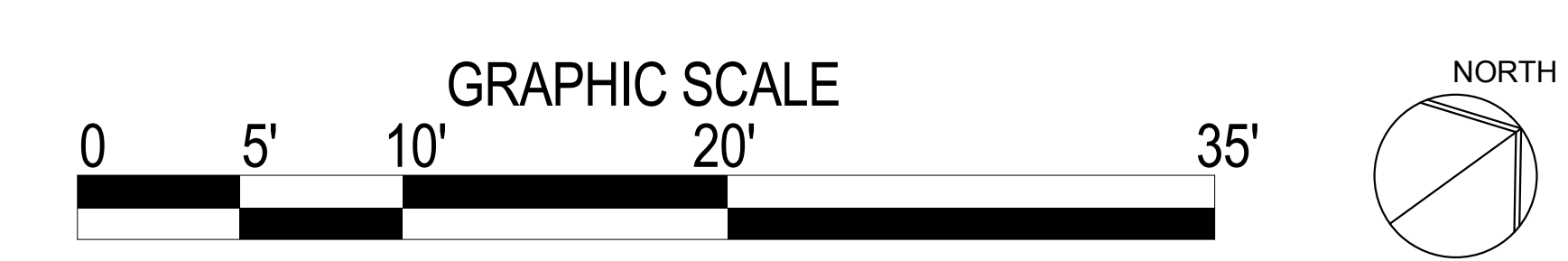
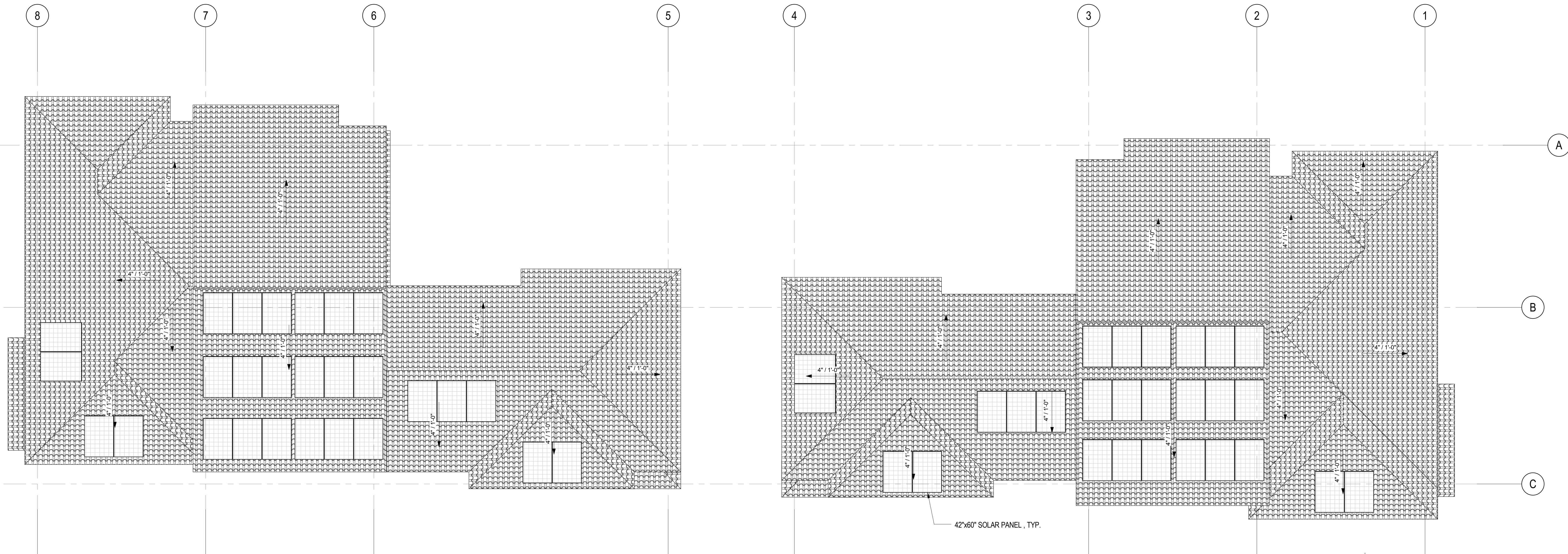
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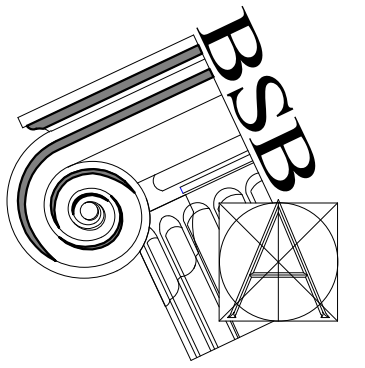
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Sheet

A-104



**1 ROOF PLAN**  
 SCALE: 3/16" = 1'-0"



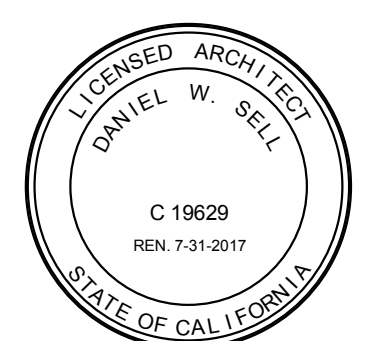
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MOUNTAIN VIEW 6-UNITS  
 ROWHOUSE  
 1958 LATHAM ST.  
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 FAR CALCULATION



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Scale:

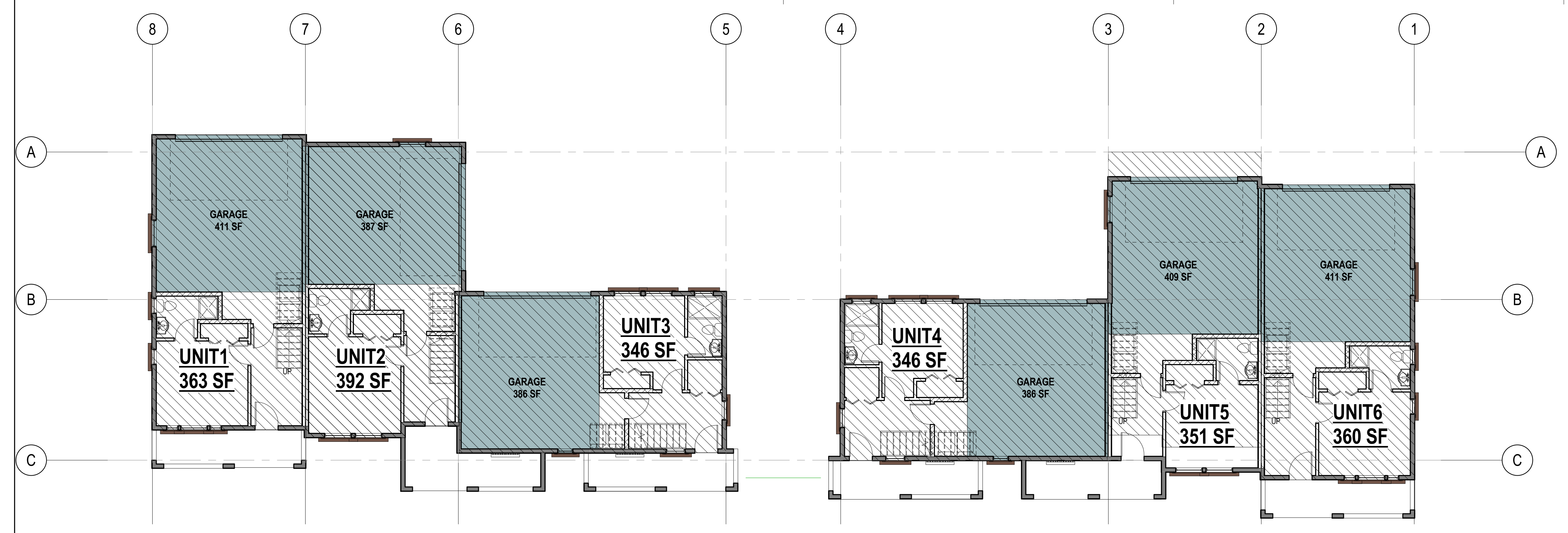
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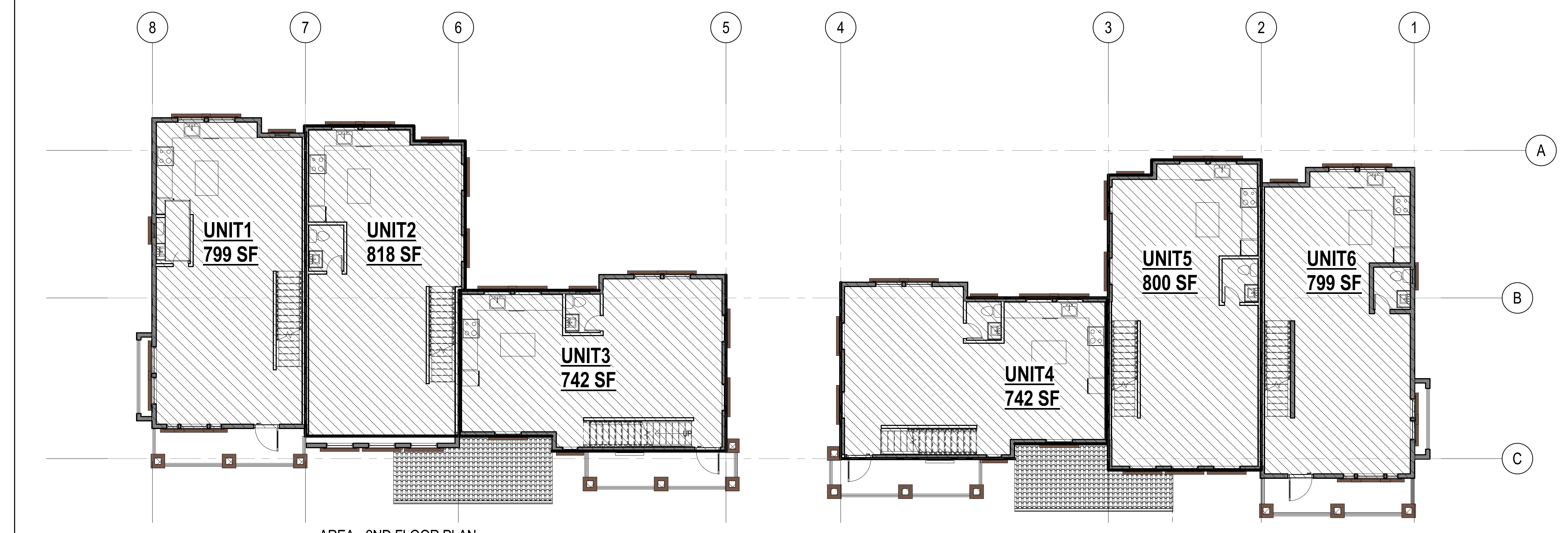
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A-105

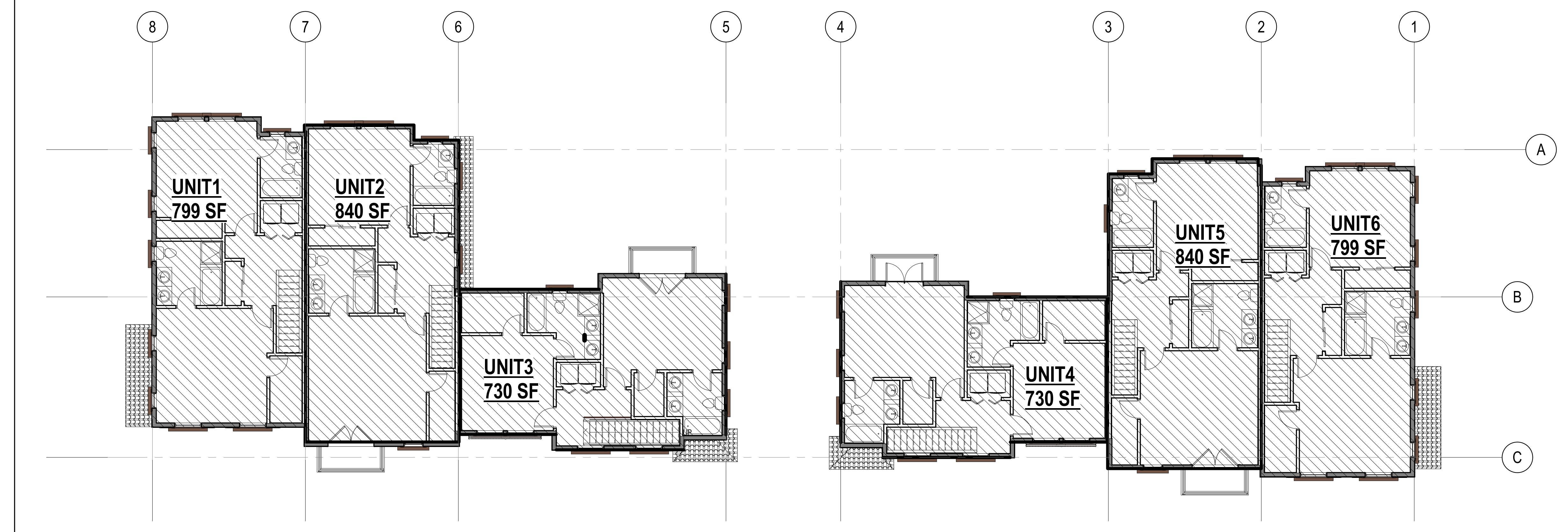
F.A.R. CALCULATION			
UNIT #	LIVABLE	GARAGE	TOTAL
UNIT 1	345+799+799 = 1,943 SF	411 SF	2,354SF
UNIT 2	392+818+840 = 2,050 SF	387 SF	2,437 SF
UNIT 3	346+742+730 = 1,818 SF	386 SF	2,204 SF
UNIT 4	346+742+730 = 1,818 SF	386 SF	2,204 SF
UNIT 5	351+800+840 = 1,991 SF	409 SF	2,400 SF
UNIT 6	360+799+799 = 1,958 SF	411 SF	2,369SF
		<b>TOTAL</b>	<b>13,968 SF</b>
<b>LOT AREA</b>	<b>16,988 SF</b>	<b>FAR</b>	<b>0.82</b>



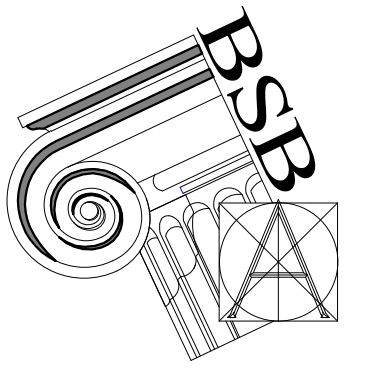
AREA - GROUND LEVEL FLOOR PLAN  
 1/8" = 1'-0"



AREA - 2ND FLOOR PLAN  
 1/8" = 1'-0"



AREA - 3RD FLOOR PLAN  
 1/8" = 1'-0"



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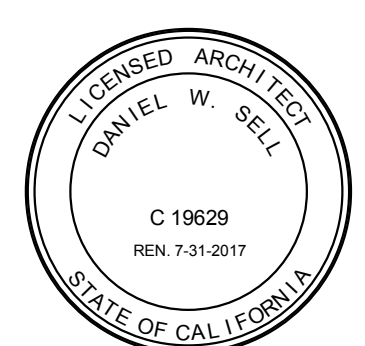
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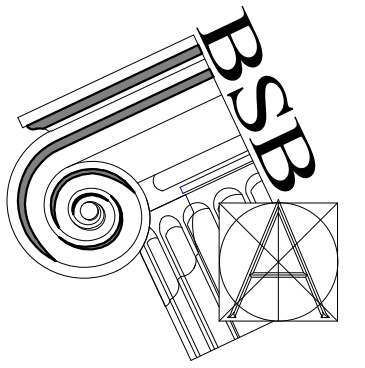
ROOF T.O.P. 30'-9"  
 3RD FLOOR F.F. 21'-8"  
 2ND FLOOR TOP 20'-5"  
 2ND FLOOR F.F. 10'-4"  
 1ST FLOOR TOP 9'-1"  
 1ST FLOOR F.F./T.O.C. GRADE -1'-2"

**STREET ELEVATION**  
 3/16" = 1'-0"

**MOUNTAIN VIEW 6-UNITS  
 ROWHOUSE**  
 1958 LATHAM ST.  
 MOUNTAIN VIEW, CA 94043  
 BUILDING ELEVATION AND MASSING I



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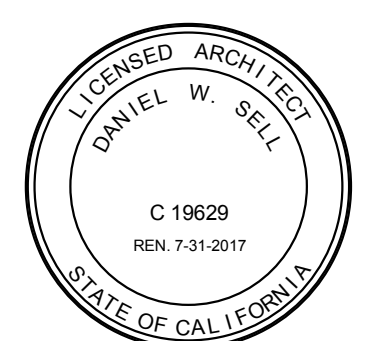
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WAYNE DALTON FIBERGLASS GARAGE DOOR, TYP.

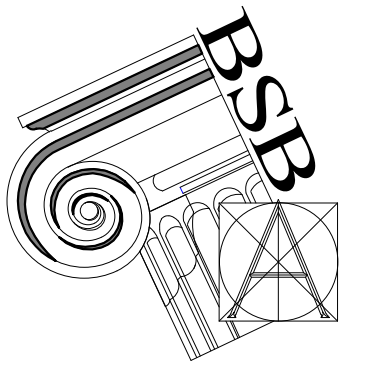
NORTH ELEV.  
3/16" = 1'-0"

**MOUNTAIN VIEW 6-UNITS  
ROWHOUSE**  
1958 LATHAM ST.  
MOUNTAIN VIEW, CA 94043  
BUILDING ELEVATION AND MASSING II



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A-201



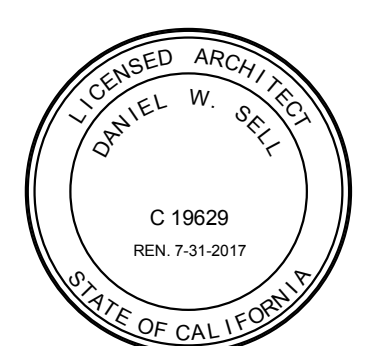
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 San Jose, Ca 95112  
 tel: (408) 287-0246  
 fax: (408) 998-1737

Consultant:

Revision Schedule		
#	Description	Date

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**MOUNTAIN VIEW 6-UNITS  
 ROWHOUSE**  
 1958 LATHAM ST.  
 MOUNTAIN VIEW, CA 94043  
 EXTERIOR ELEVATIONS AND BUILDING  
 SECTIONS

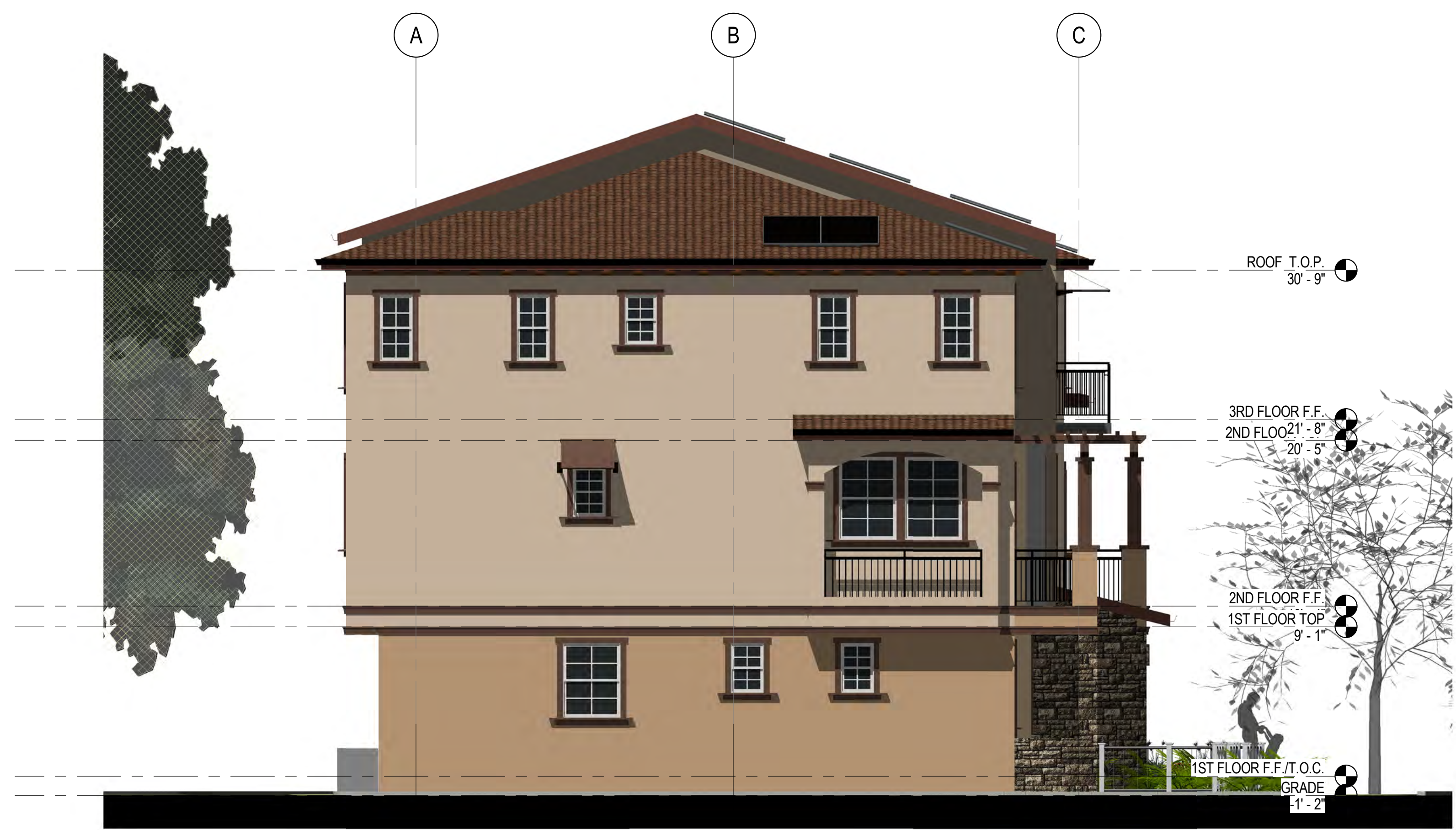


Date: Nov 11, 2014  
 Scale:  
 Drawn by:  
 Job #: 14-9178  
 Sheet:

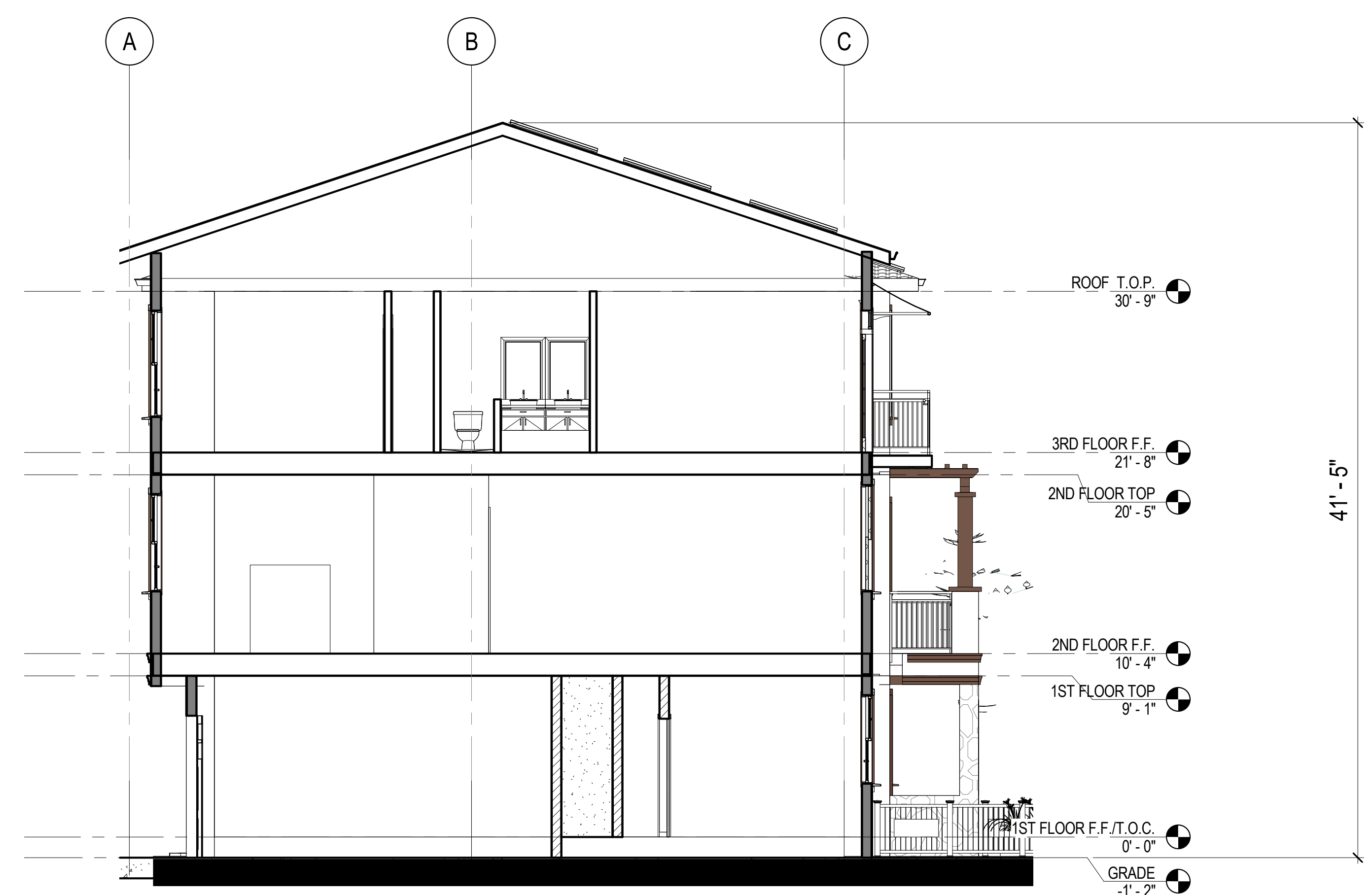
A-202



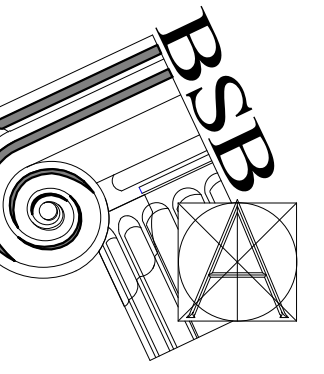
**EAST ELEV.**  
 3/16" = 1'-0"



**WEST ELEV.**  
 3/16" = 1'-0"



**CROSS BUILDING SECTION**  
 3/16" = 1'-0"



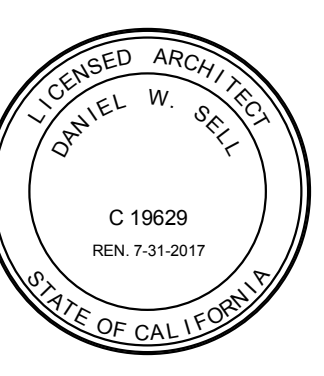
**BARRY SWENSON BUILDER**  
 A DIVISION OF GREEN VALLEY CORP.  
 777 North First Street  
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Consultant:

Revision Schedule		
#	Description	Date

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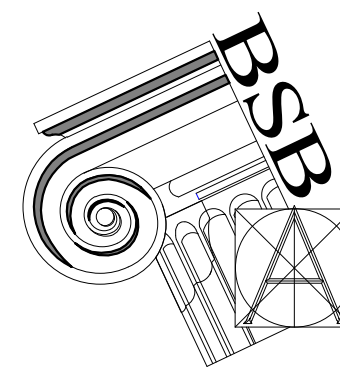
**MOUNTAIN VIEW 6-UNITS  
 ROWHOUSE**  
 1958 LATHAM ST.  
 MOUNTAIN VIEW, CA 94043  
 STREETVIEW PERSPECTIVE



Date: Nov 11, 2014  
 Scale:  
 Drawn by:  
 Job #: 14-9178  
 Sheet:

A-302





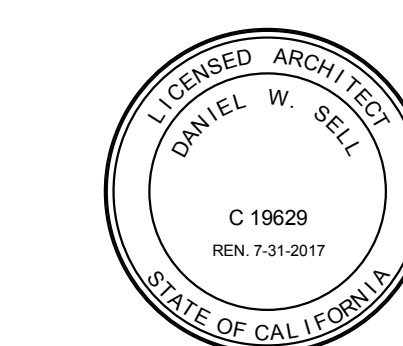
**BARRY SWENSON BUILDER**  
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Revision Schedule		
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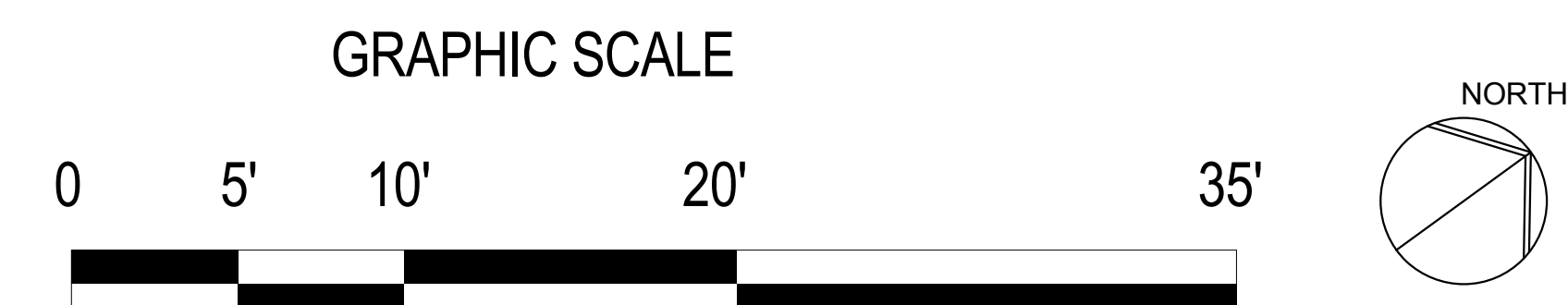
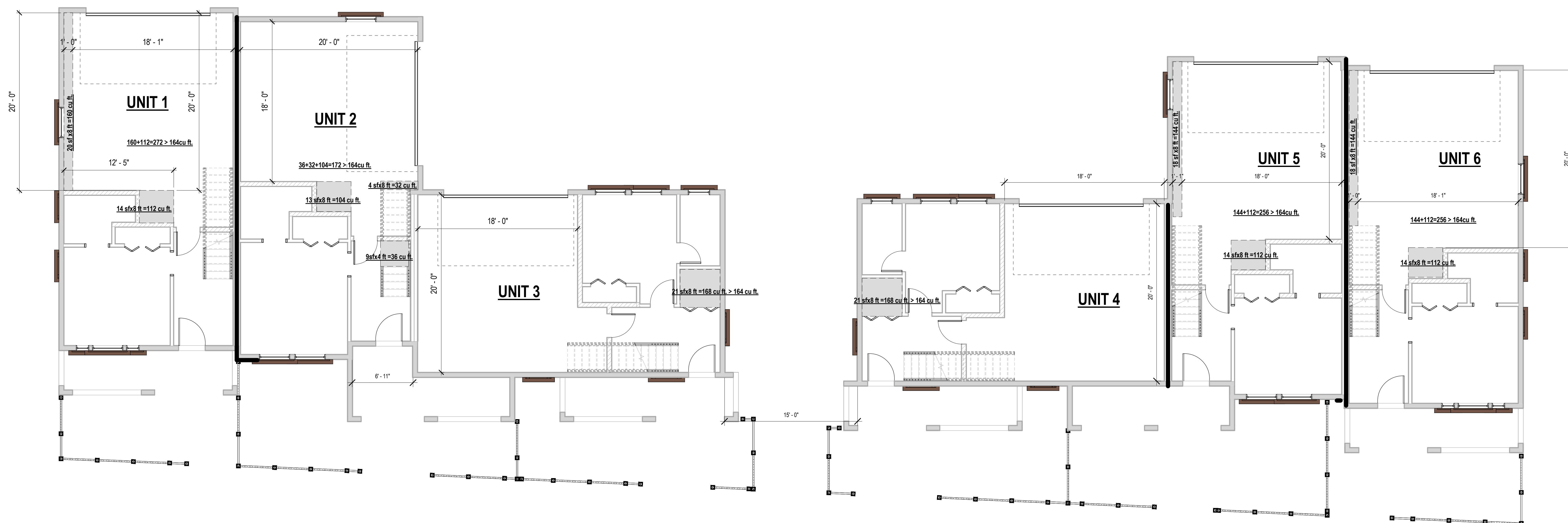
**MOUNTAIN VIEW 6-UNITS  
 ROWHOUSE**  
 1958 LATHAM ST.  
 MOUNTAIN VIEW, CA 94043  
**STORAGE AREA CALCULATION**

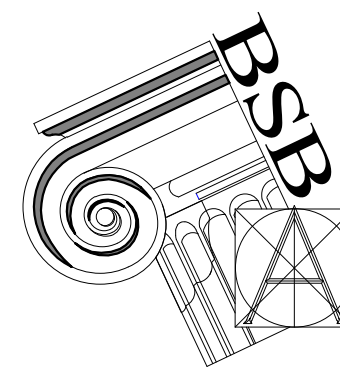


Date: Nov 11, 2014  
 Scale:  
 Drawn by:  
 Job #: 14-9178  
 Sheet

A-304

PERSONAL STORAGE AREA  
 MIN164 CU FT/UNIT





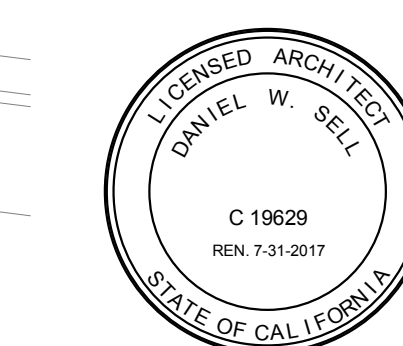
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Fifth Floor  
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Revision Schedule		
#	Description	Date

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**MOUNTAIN VIEW 6-UNITS  
ROWHOUSE**  
1958 LATHAM ST.  
MOUNTAIN VIEW, CA 94043  
TRASH SERVICE DIAGRAM

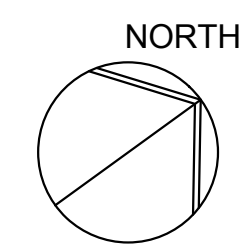
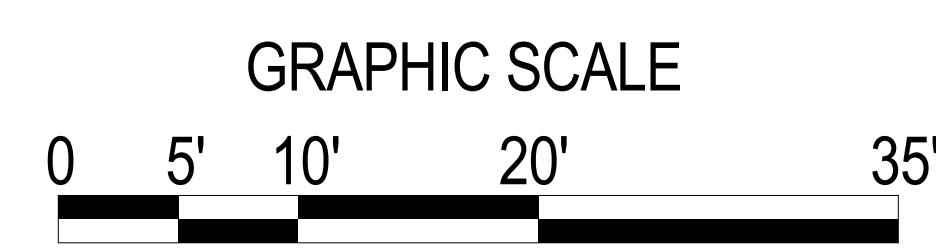


Date: Nov 11, 2014  
Scale:  
Drawn by:  
Job #: 14-9178  
Sheet:

A-305

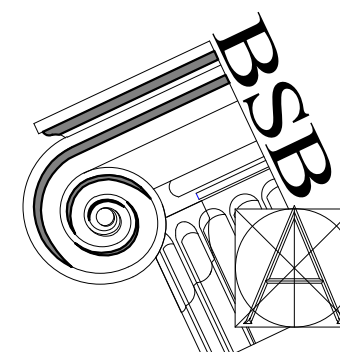
LEGEND:

- RED CURB, NO PARKING
- - - TRASH SERVICE ROUTE



**PROPOSE SITE PLAN TRASH SERVICE**  
1/8" = 1'-0"





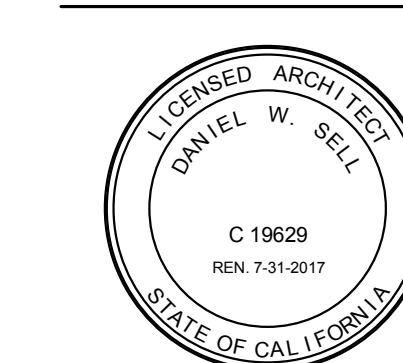
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Consultant:

Revision Schedule		
#	Description	Date

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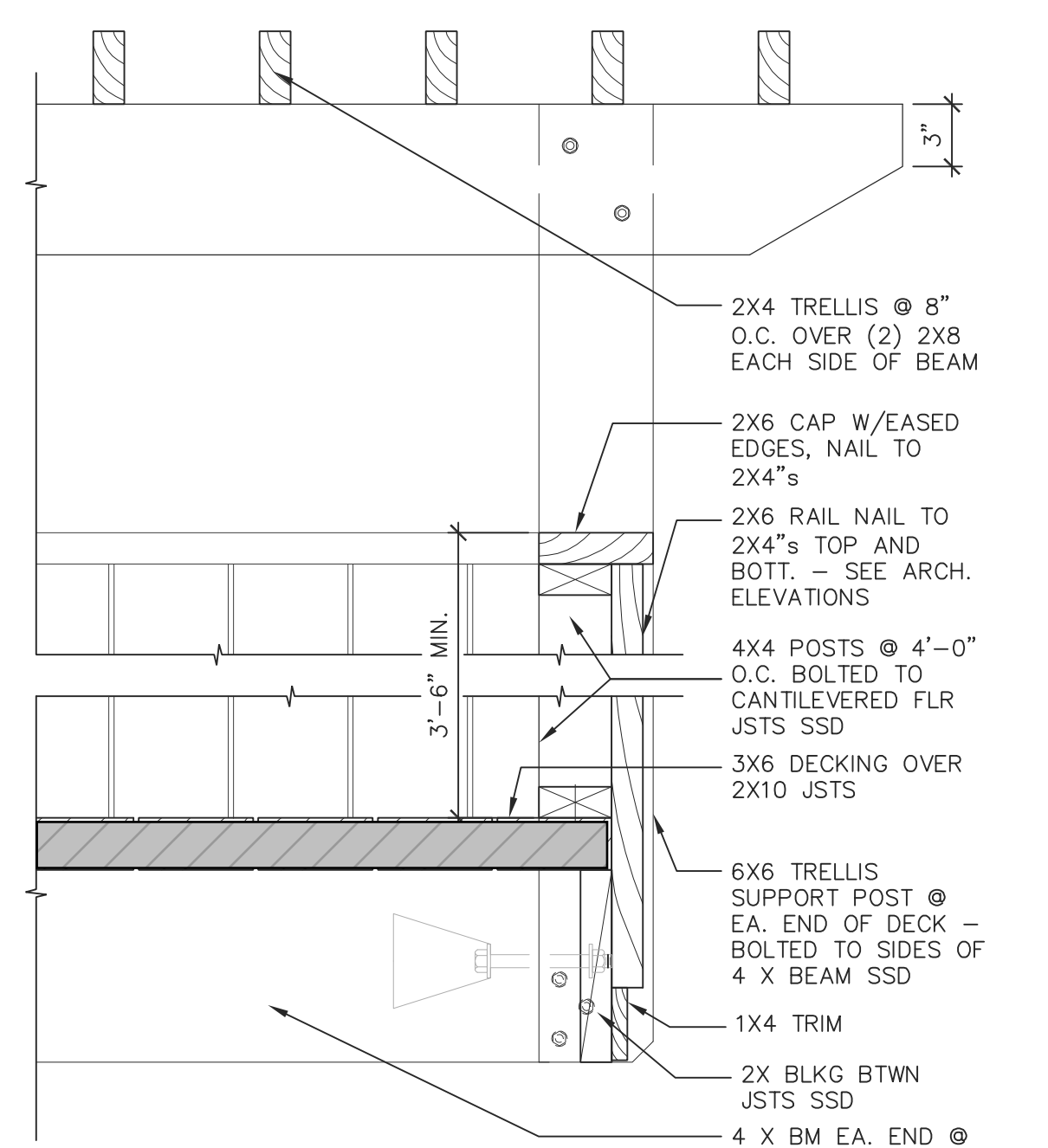
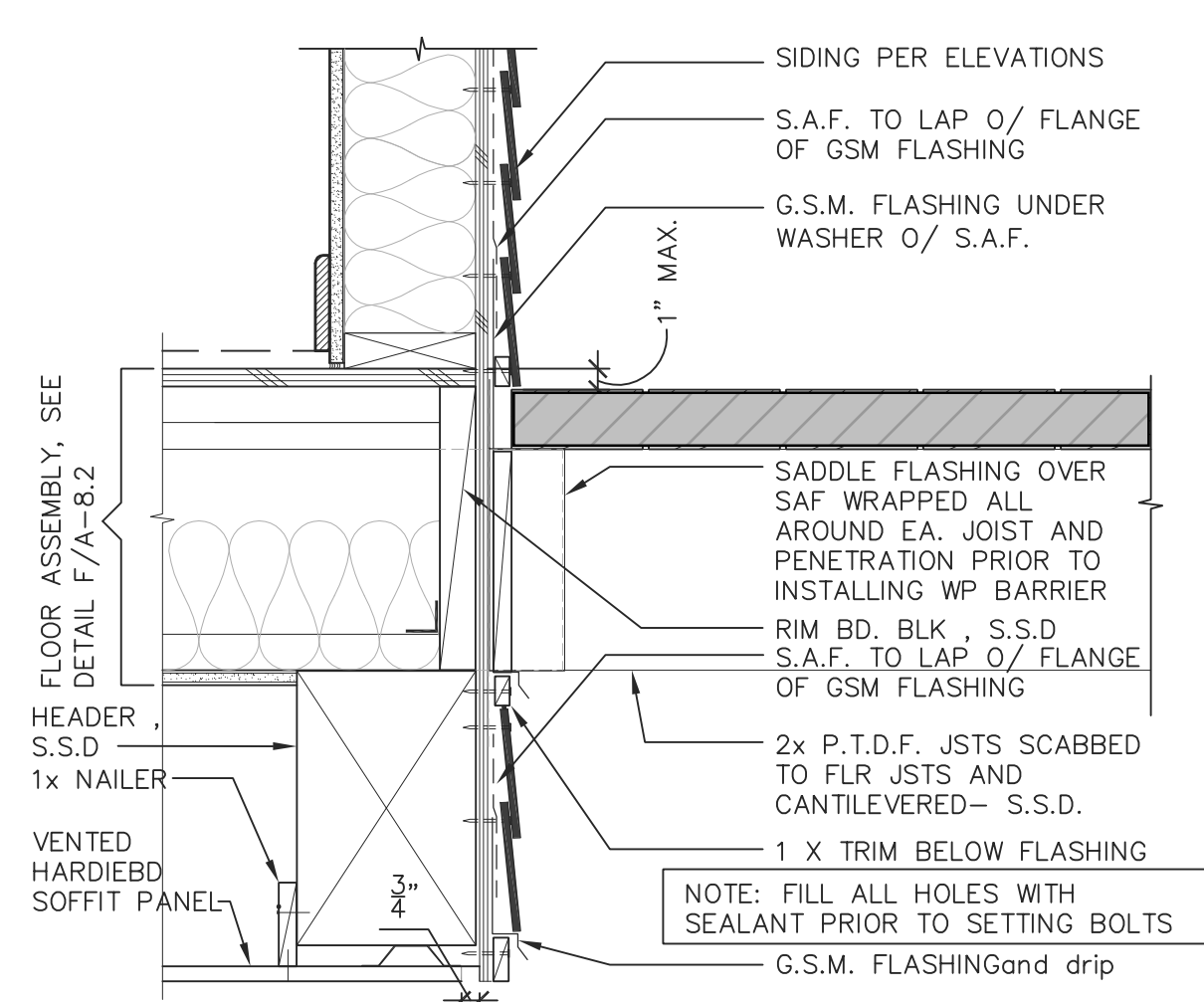
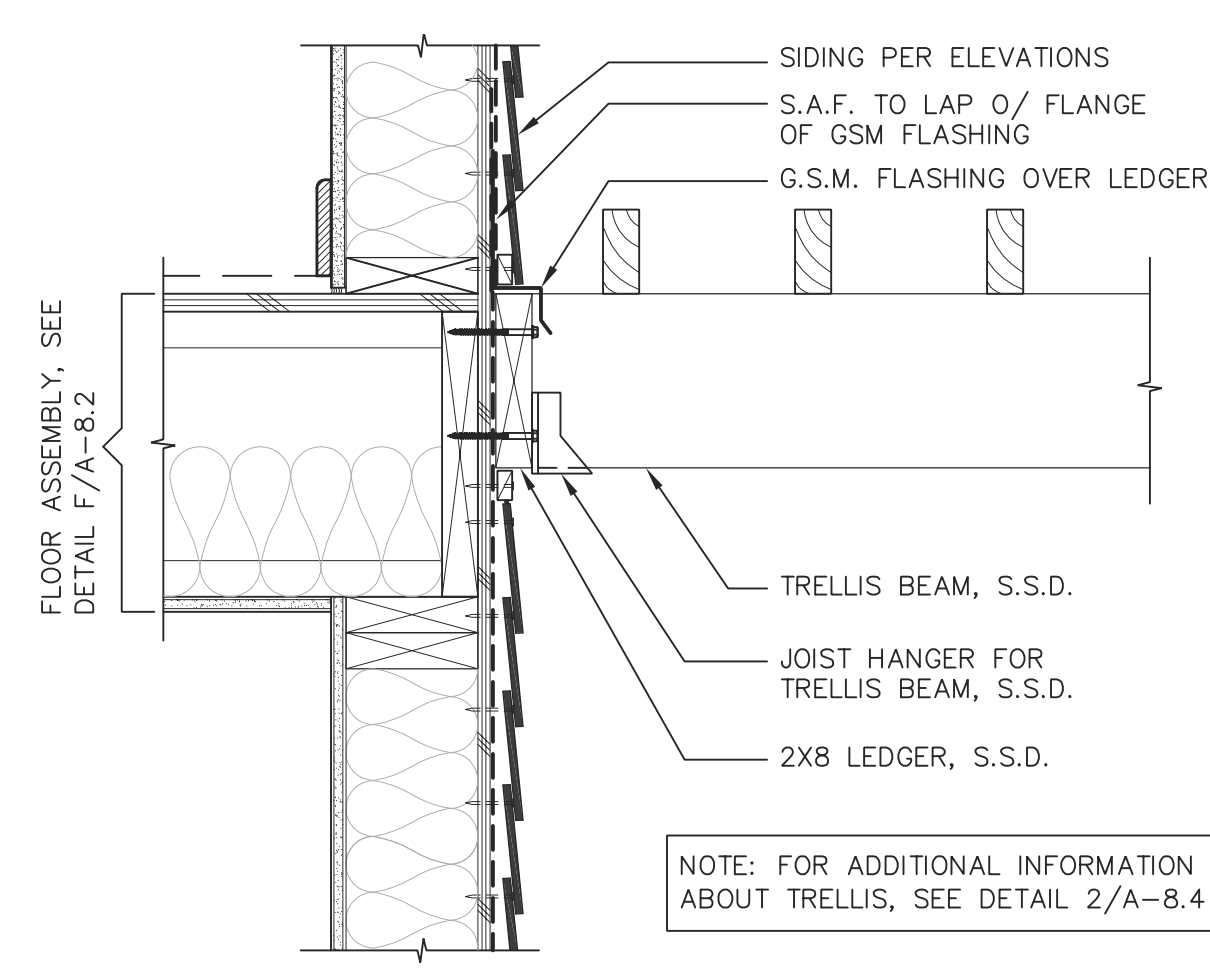
MOUNTAIN VIEW 6-UNITS  
ROWHOUSE  
1958 LATHAM ST.  
MOUNTAIN VIEW, CA 94043  
EXTERIOR DETAILS



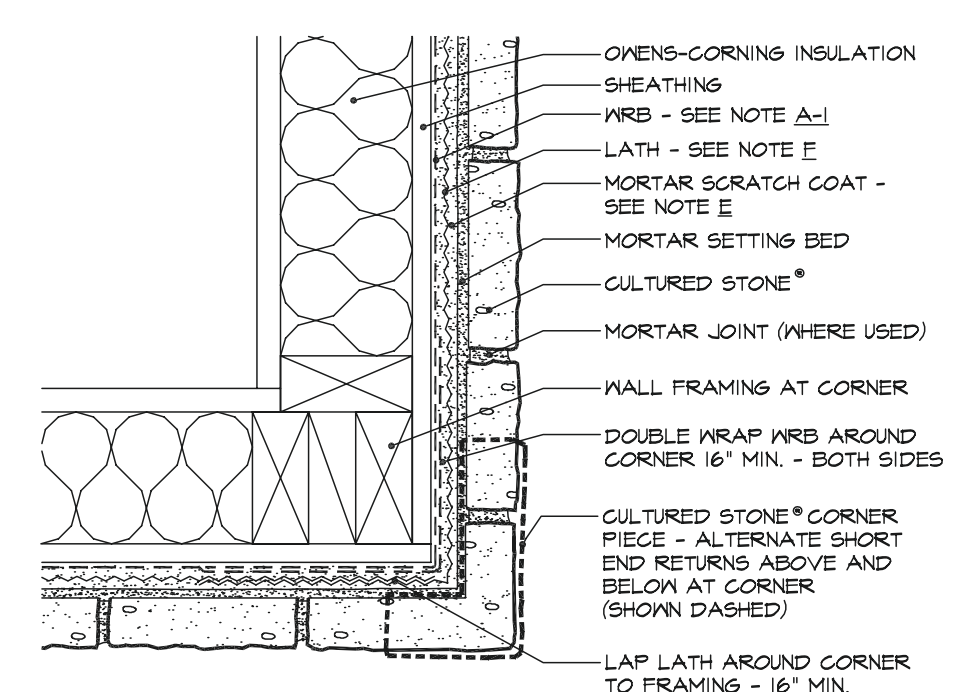
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Drawn by:  
Job #: 14-9178  
Sheet

A-501

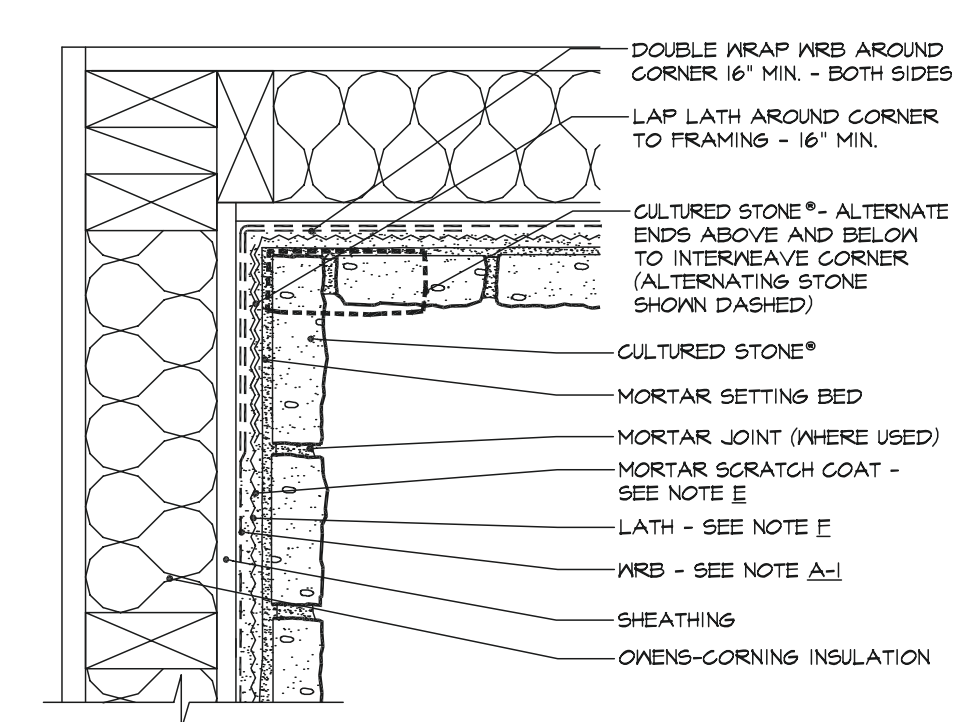
PLANNING: Dec 10, 2015



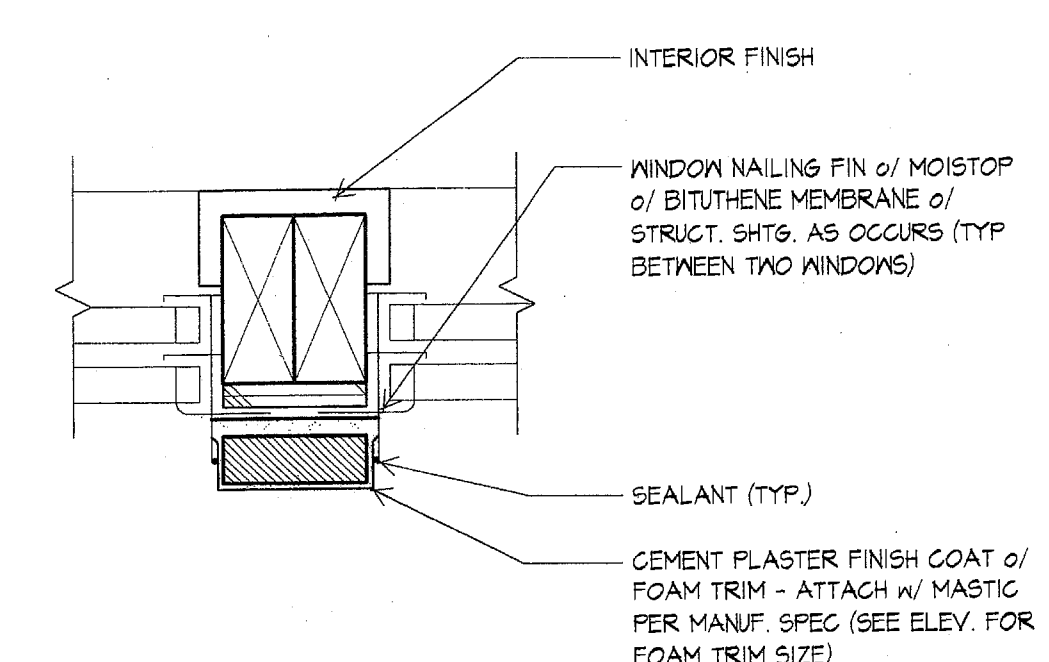
FRONT DECK/  
TRELLIS DETAIL



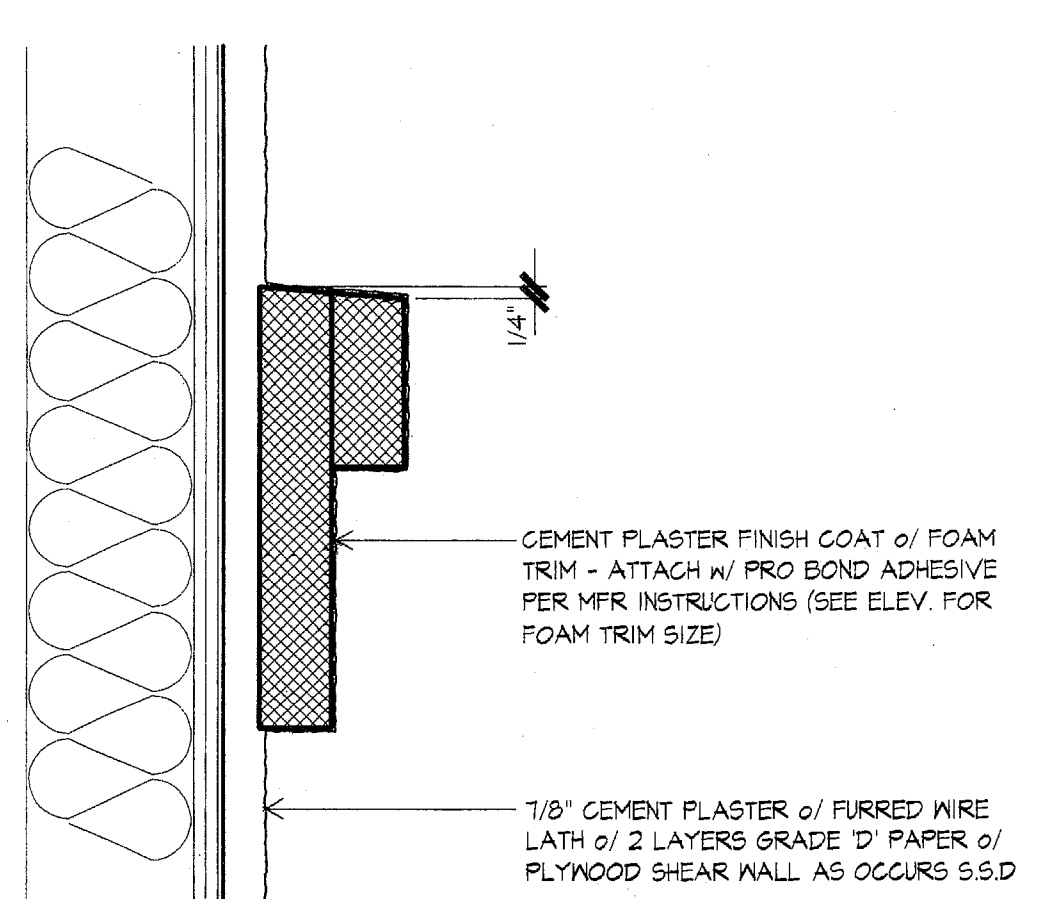
STONE VENER OUTSIDE CORNER



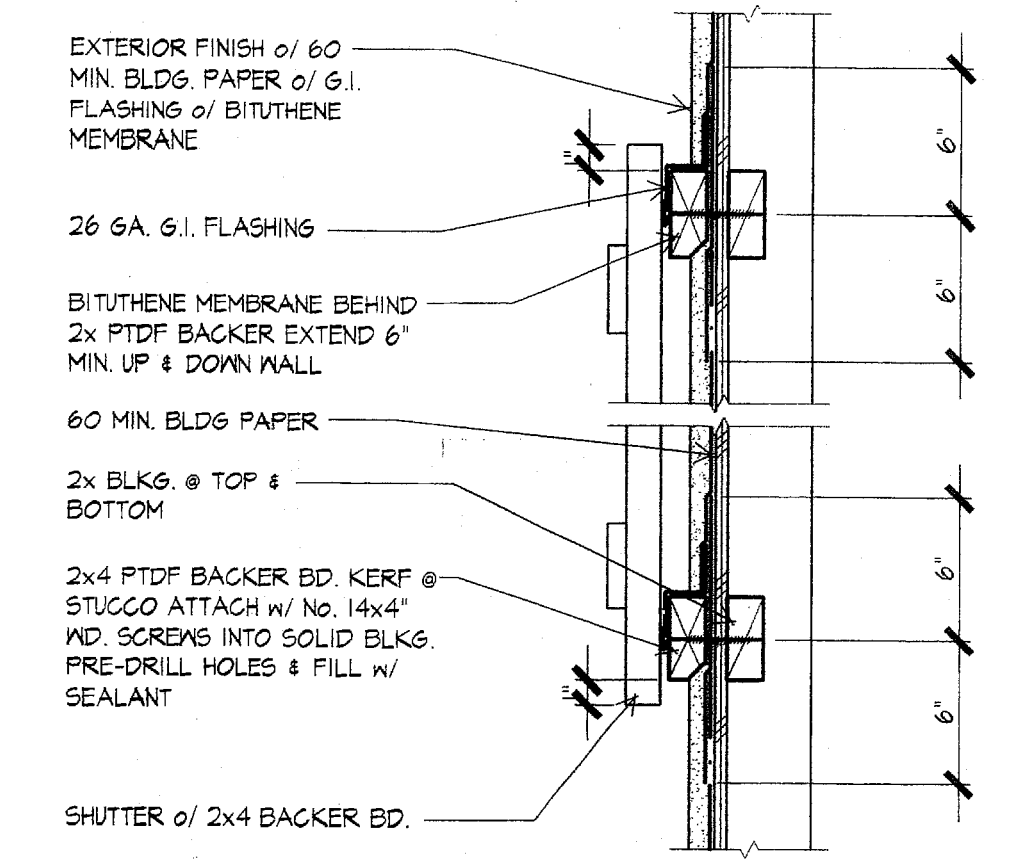
STONE VENER INSIDE CORNER



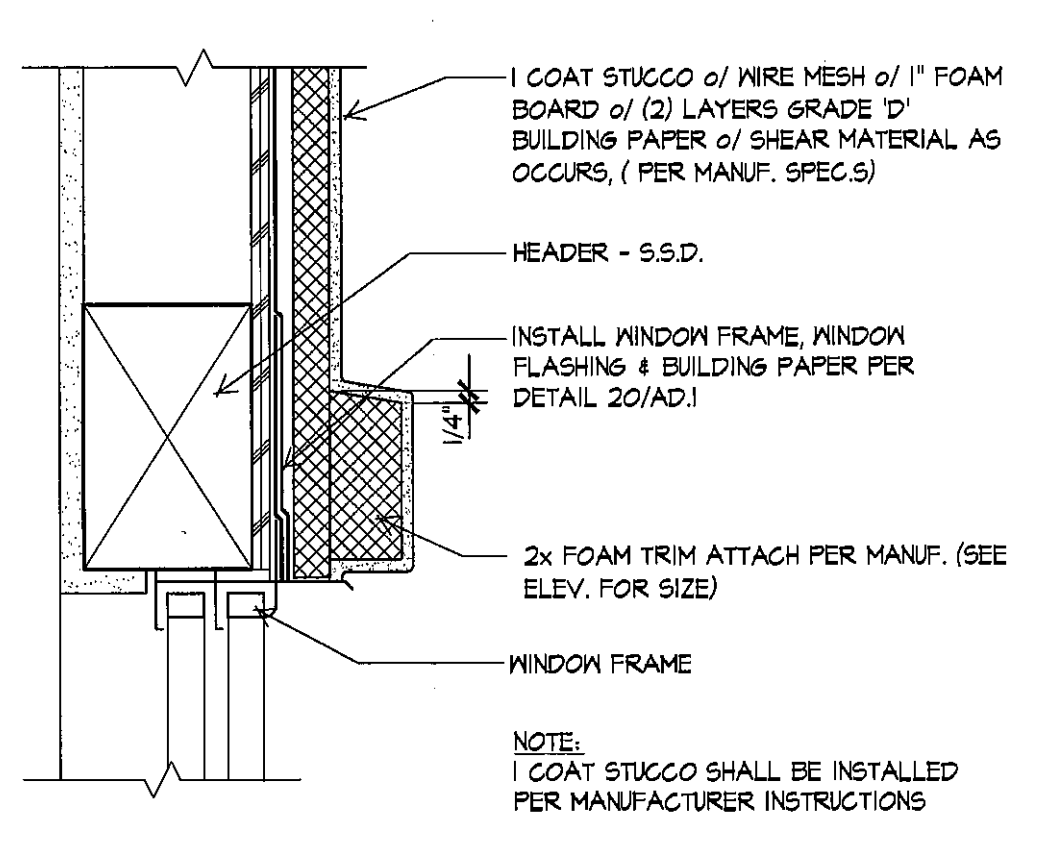
TRIM BETWEEN WINDOWS



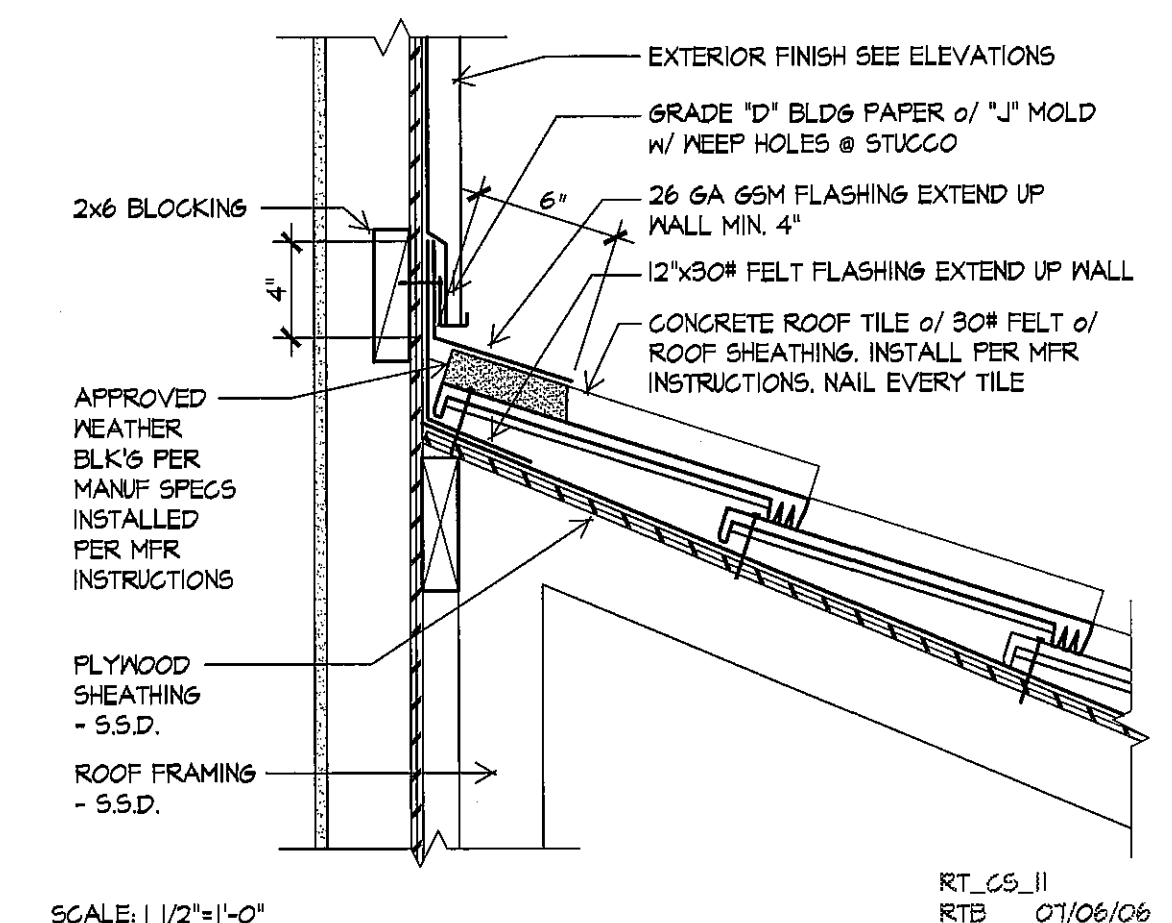
FOAM BELLY BAND



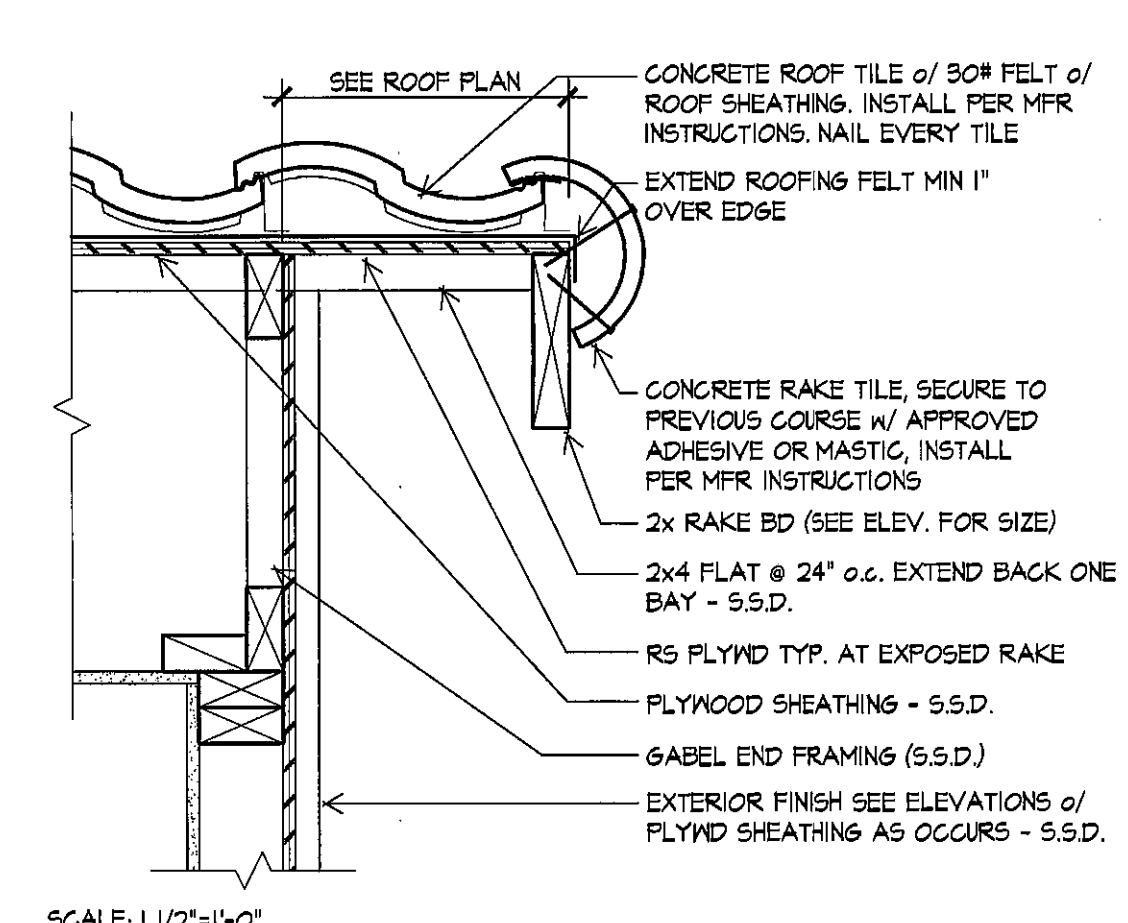
WOOD SHUTTER SECTION



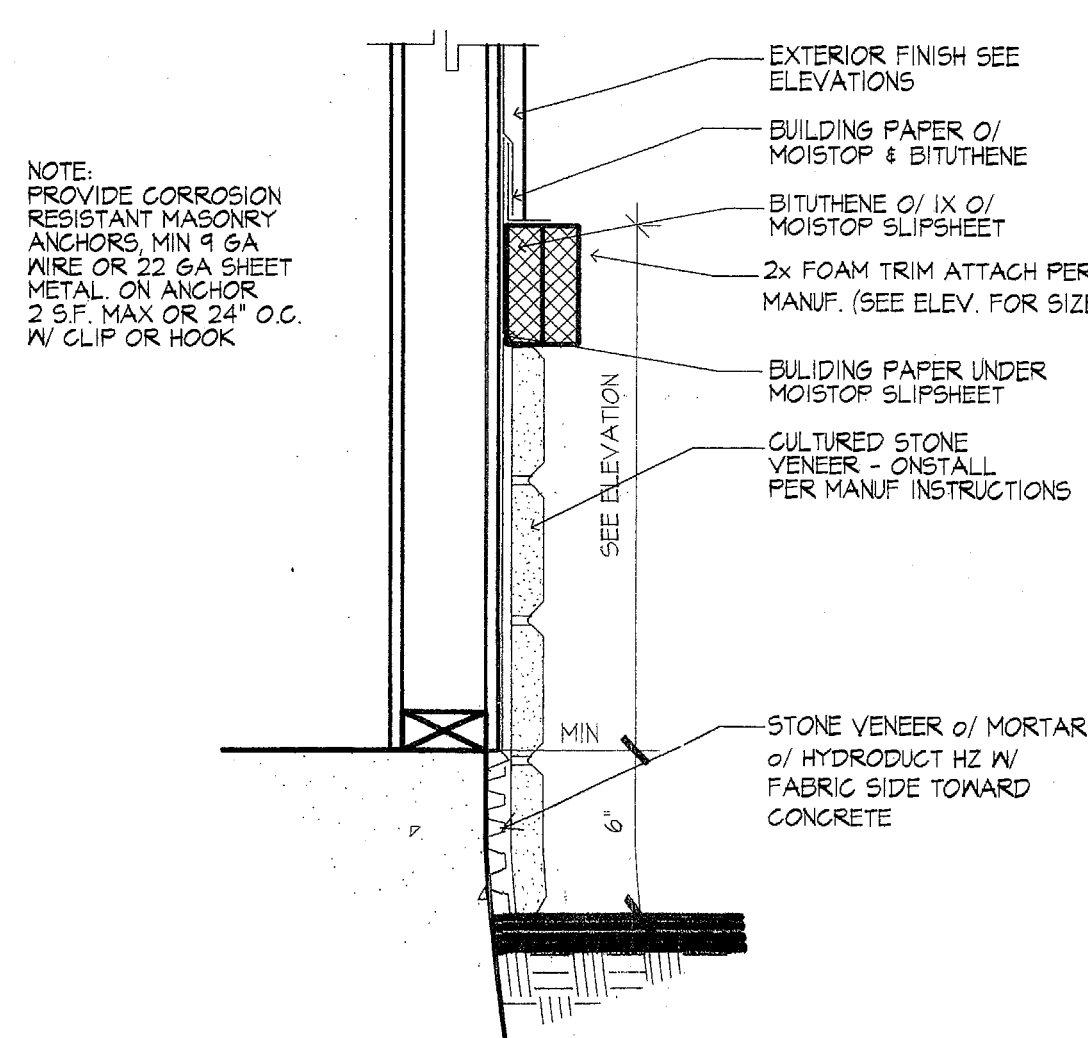
WINDOW HEAD W/ TRIM



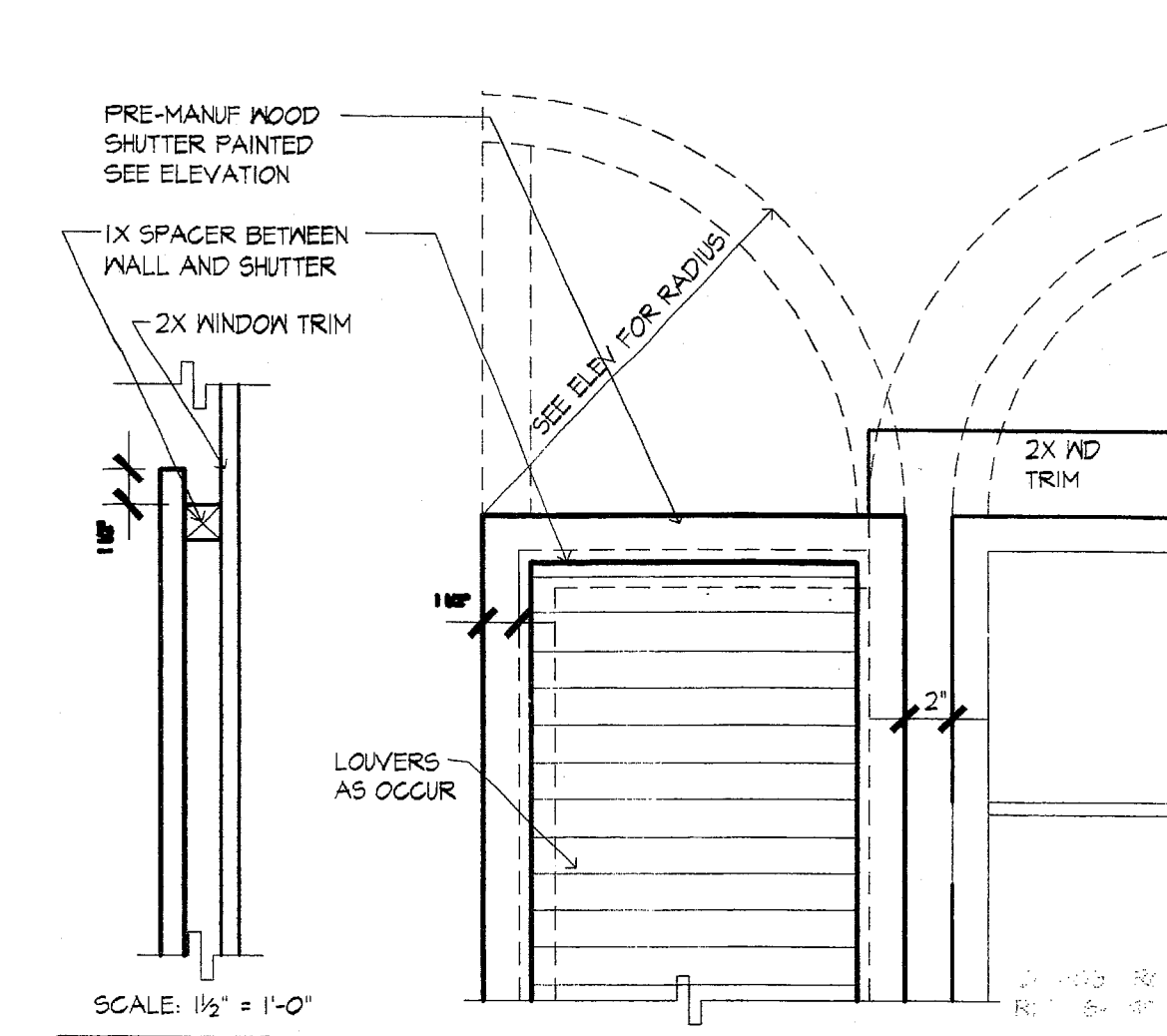
ROOF PERP TO WALL



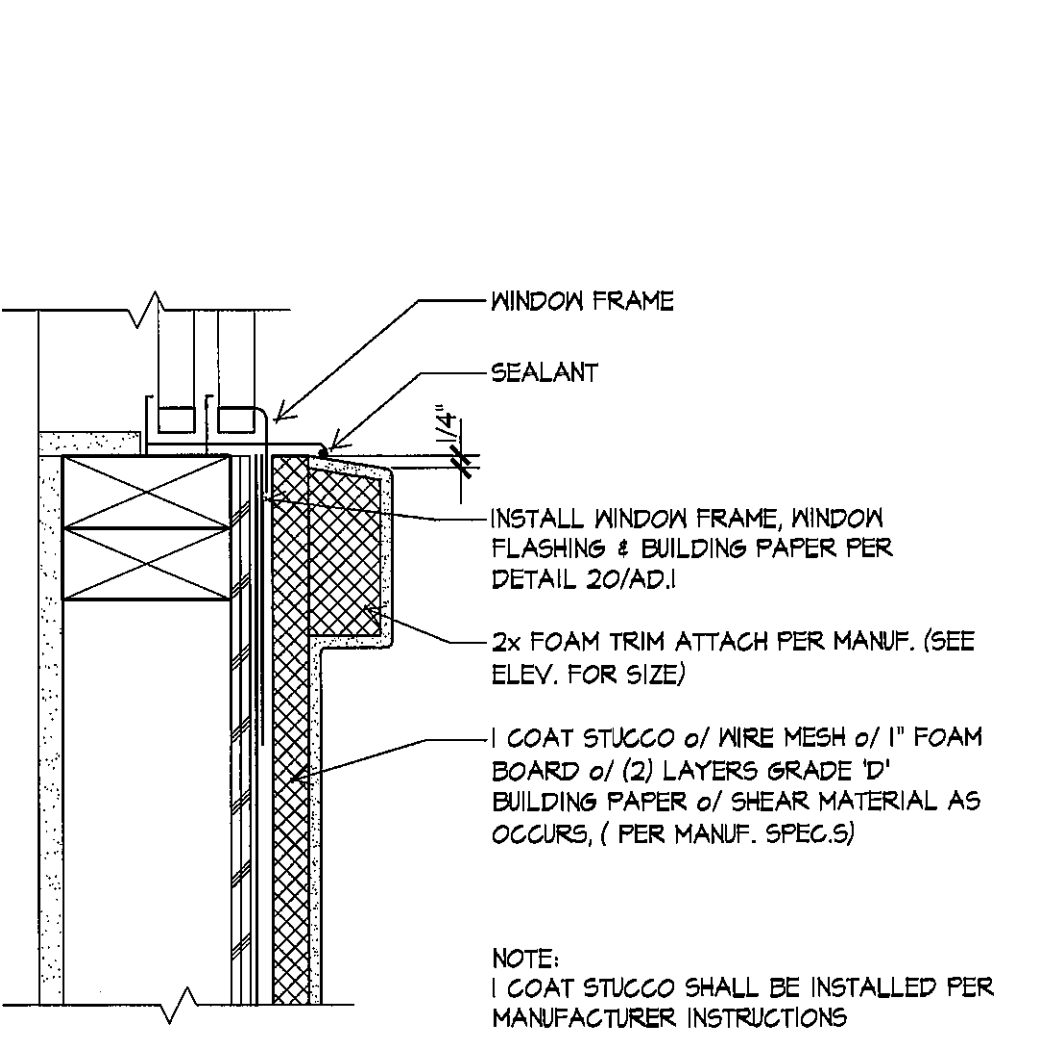
ROOF RAKE



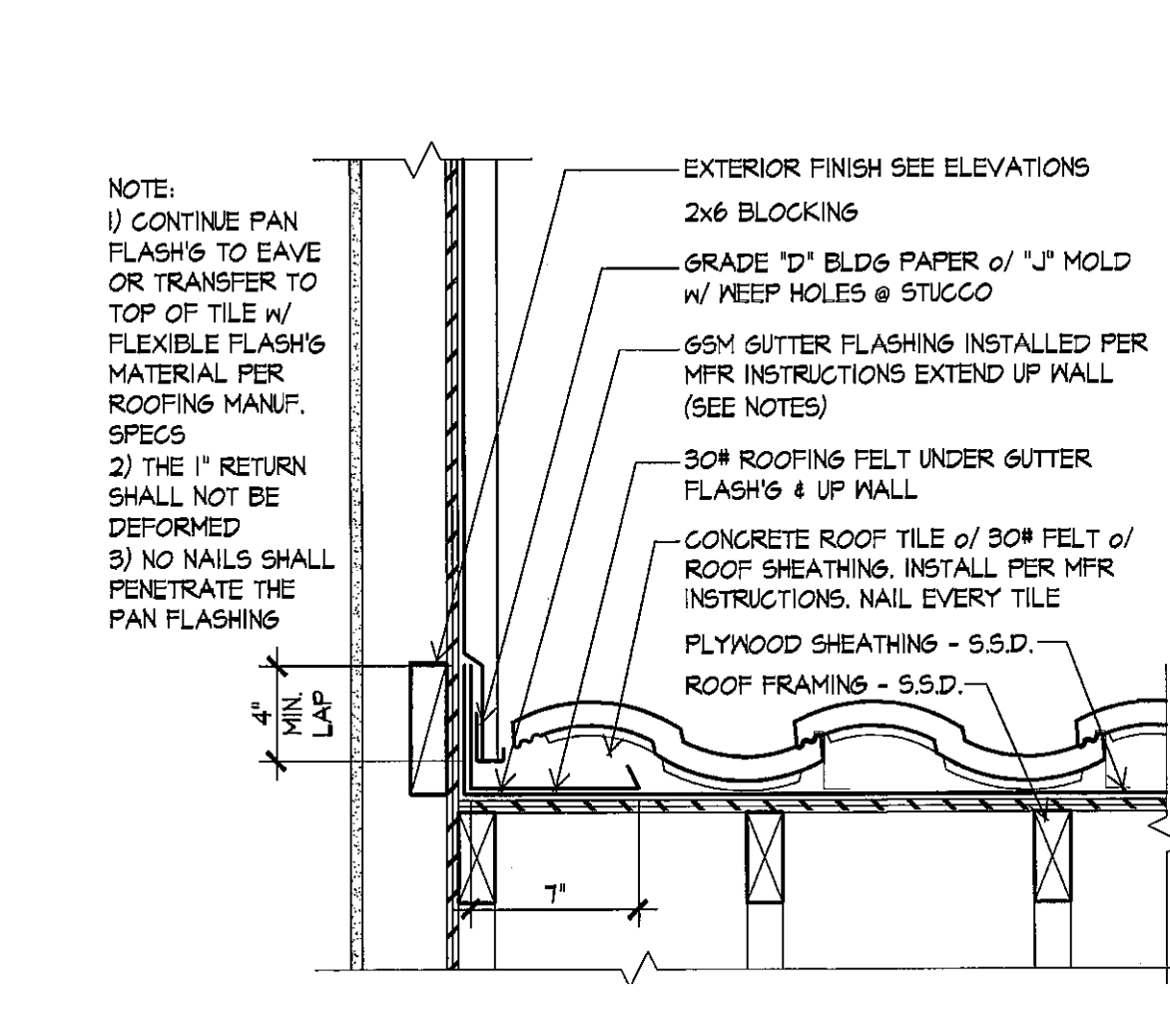
STONE VENEER AT FRONT



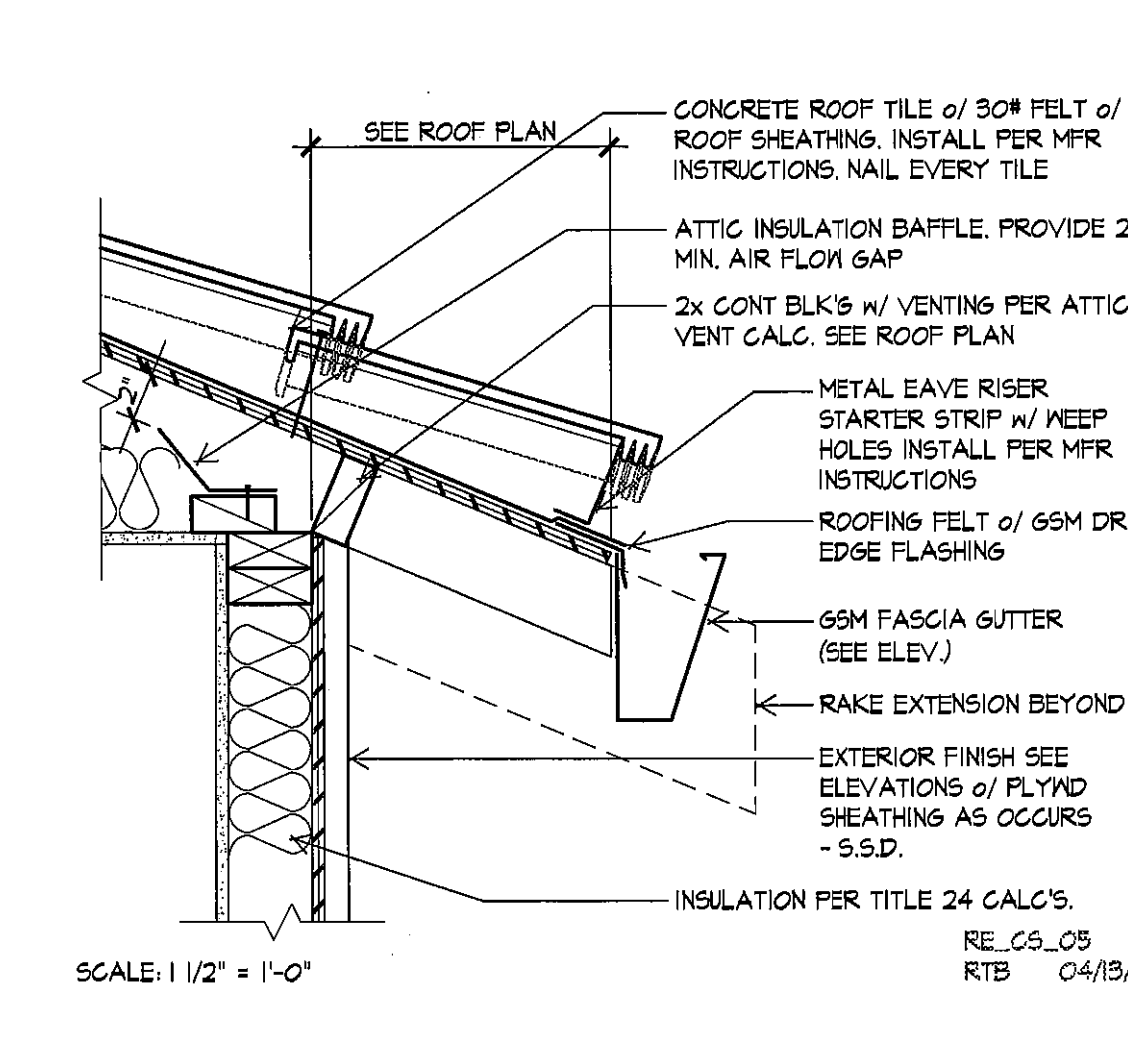
WOOD SHUTTER



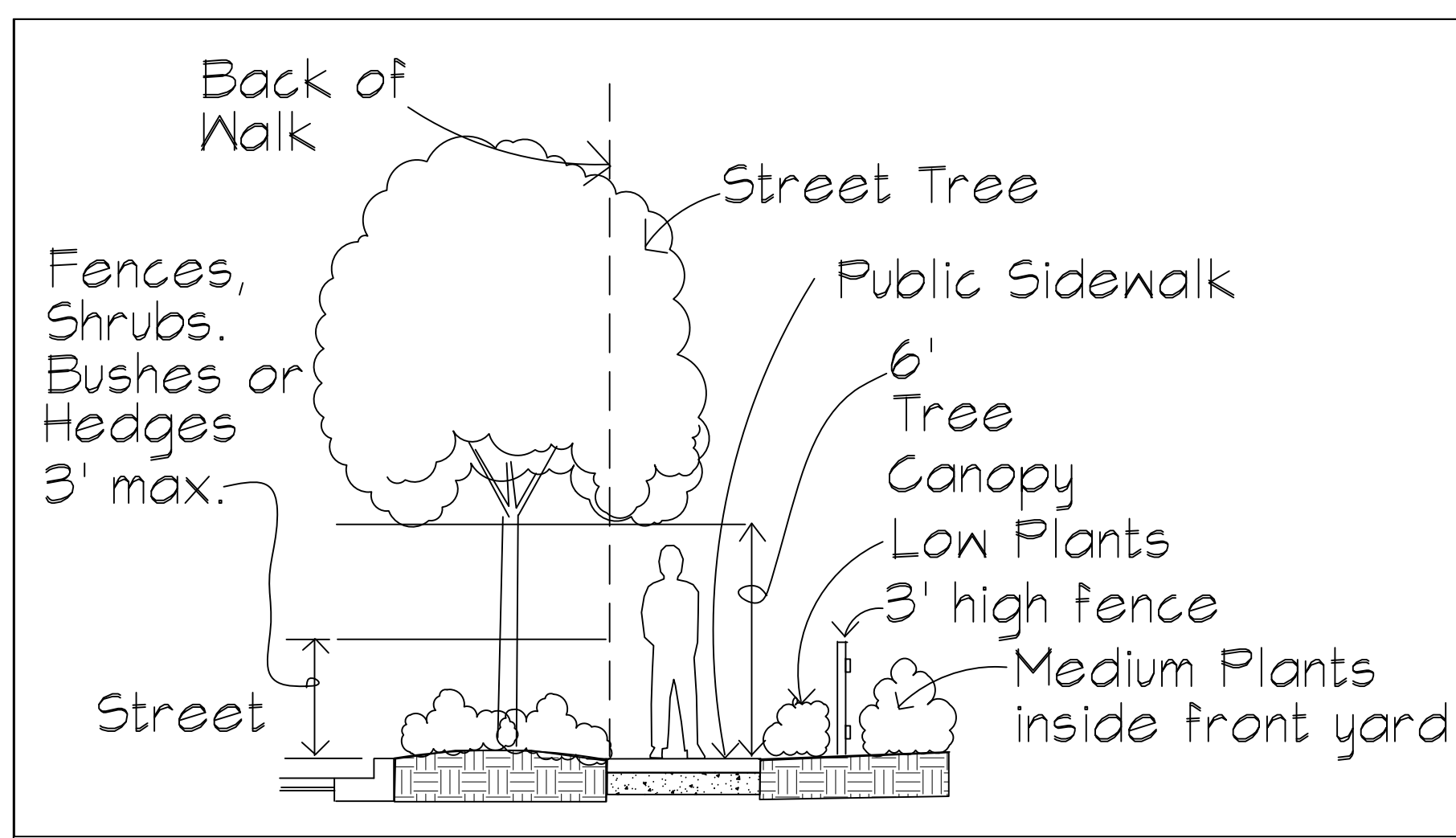
WINDOW SILL W/ TRIM



ROOF PARA TO WALL



ROOF EAVE



**Side Street/Driveway Triangle of Safety Design Guidelines**

1"=5'-0"

**Landscape Notes**

- See sheets L3 and L4 for Details, and Specs.
- Exact location of plants on site to be adjusted so as to best coordinate with sprinkler head locations, lights, drainage features, and swales
- Use 3 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including Golden Nugget from Sun Up in Sacramento (800) 222-2551, Pro-Chip Decorative Mulch (dark brown) from BFI Organics or Redwood Chip Mulch from Jet Mulch 1-866-506-8524 (bid the last one)
- Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8' wide is 5 gal. size and any circle scaled larger is 24" box size
- The plan is schematic. Don't install plants too close to edges of paving or buildings. Be sure plants are not blocking sprinkler spray excessively. Keep valves and quick couplers away from trees.
- Uncompact soil that is compacted during building construction by ripping the top 12 inches of soil or importing 12 inches deep of top soil. The top of the finish grade of soil is to follow the Civil Grading Plan.
- See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of nitrilized redwood sawdust and 16 pounds of 12-12-12 fertilizer tilled into the top 6" to 8" of soil after ripping soil to 12" deep, except on steep slopes. (there are no steep slopes on this project)
- The site is relatively level. There are no slopes exceeding 10%
- There is no lawn
- Plants are grouped in hydrozones for irrigation. The different hydrozones have separate valves so they can have different watering schedules. See the Irrigation Plan
- The irrigation controller will be automatic utilizing weather data to change the schedule as needed on a frequent basis. There will be rain sensor shutoff for the controller. The irrigation system will have operation limited to between 8 PM and 10 AM.
- Plants and fences in the clear sight triangle at the driveways to be maintained at 3 feet or less in height and tree branches pruned up to at least 7 feet high to create better visibility for cars at the corner.
- Install angular granite rocks 3" to 6" in dia. at any storm drain pipe outlets into retention basins or swales that are necessary to reduce erosion
- Trees are to be installed at least 5 feet from storm drain and water lines and 10 feet from sewer lines.
- See the Civil Engineers Grading Plan for topography and proposed grading.
- Existing Trees - Trees that will be removed and trees that will be saved are described in the arborist report. Trees that are to be saved or removed are noted on this plan
- Front entry walks and porch patios are to be pavers
- See Building Architect's plans for all fence details and paving details.

**Plant Legend**

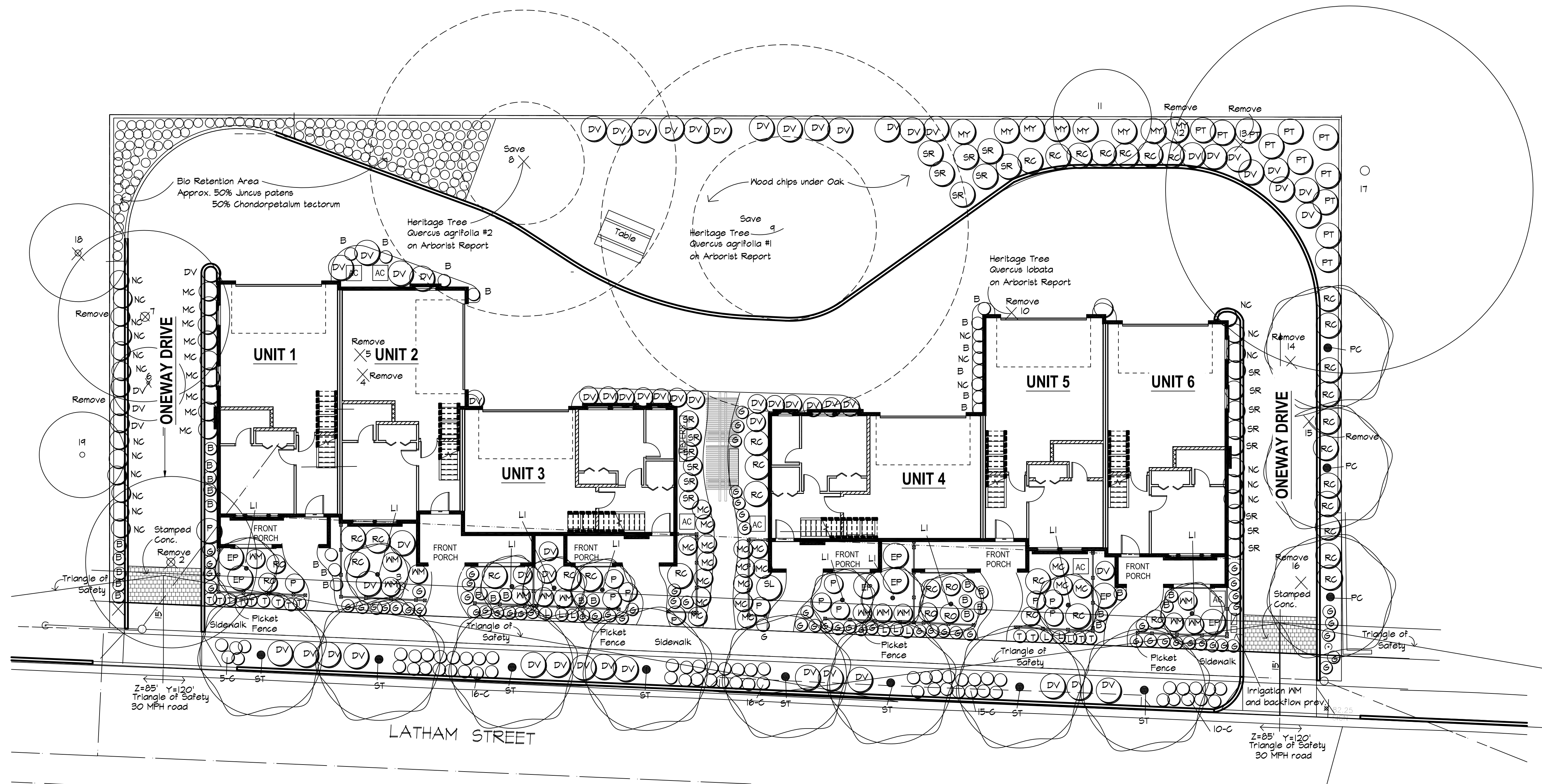
KEY	SIZE	WATER USE	BOTANICAL NAME	COMMON NAME
<b>TREES</b>				
LI	24" box	LOW	Lagerstromia indica Tuscarora	Crape Myrtle
PC	24" box	LOW	Pistacia chinensis	Chinese Pistache
ST	24" box	MED	Acer platanoides Schwedleri	Schwedleri Maple
Required street trees as selected by the city on the Master Street Tree List				
<b>SHRUBS</b>				
PT	5	LOW	Pittosporum tobira	Myrtle
MC	5	LOW	Myrtus communis	Myrtle
MY	5	LOW	Myrica californica	CA Wax Myrtle
NC	5	LOW	Nandina Gulf Stream	Heavenly Bamboo
EP	5	LOW	Euryops pectinatus Viridis	Golden Daisy
MM	5	LOW	Mesitringia Morning Light	Compact Coast Rosemary
RC	5	LOW	Raphirolepis Clara	India Hawthorne
DV	5	LOW	Dietes vegeta	Fortnight Lily
FS	5	LOW	Fajoa sellowiana	Pineapple Guava
SR	5	LOW	Sarcococca nuscifolia	Fragrant Sarcococca
RO	5	LOW	Rosmarinus Collingwood Ingram	Rosemary
B	5	LOW	Berberis thunbergia Grimson Pygmy	Dwarf Barberry
<b>GROUND COVERS</b>				
T	182 O.C.	LOW	Teucrium chamaedrys	Germander
P	1	LOW	Phormium Tiny Tim or Tom Thumb	Small Flax
L	1	LOW	Limnium pereslii	Statice
SL	1	LOW	Salvia leucantha	Mexican Sage
G	1	LOW	Lomandra Breeze	
C	1	LOW	Coprosma kirkii	
<b>BIO RETENTION AREA</b>				
⊙	T	MED	Juncus patens	Blue Rush
⊗	P	MED	Chondropetalum tectorum	Small Cape Rush

**Conceptual Statement of Design Intent**

- Tall trees, tall and medium shrubs and ground cover will soften the appearance of the proposed structures and paving.
- Deciduous trees will create shade in the summer and allow the sun to penetrate and create warmth and light in the winter.
- Different plant heights, foliage textures and flowers will create seasonal interest and variety.
- A large public open space with wood chips and a picnic table under existing Oaks will provide opportunities for social gatherings and community interaction. Existing trees in this area will be saved.
- Small porch/patios surrounded by picket fences in the front yards will provide access to the first level bedroom and a place for outdoor living.
- Screen air conditioners and other utilities with shrubs

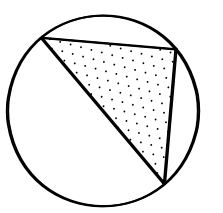
**Tree Protection Notes**

- There are trees on site being saved and protected.
- There are trees on the neighboring parcels with canopies that overhang this parcel. The following tree protection notes apply to those trees. The recommendations should be included on the cover sheet of the Grading Plans.
- Install a 6 foot high chain link or orange construction netting fence with steel posts at the canopy edge of trees with canopies that overhang this project parcel. If you get the approval of a consulting arborist these fences can be closer to the property line so that they do not restrict the building construction and the roots can be protected with plywood on top of a 3 to 4 inch deep layer of coarse bark mulch.
- If utility lines or other excavation is required under the canopies of trees in neighbors yards the method of trenching is to be approved by a consulting arborist. Hand or air spade trenching is usually recommended to damage the roots as little as possible. Any damaged roots over 1 inch diameter are to be cut clean with a sharp saw.
- Do not allow dumping or storage of building materials or debris under the tree canopies.
- Monitor the health of the trees during construction and get recommendations from a consulting arborist if there is a decline in health.
- The trees may need some supplemental irrigation during or after construction. Obtain recommendations concerning this irrigation from a consulting arborist.
- Any pruning that is necessary before, during, or after construction is to be approved by a consulting arborist.
- The consulting arborist for the project is Michael Bench (831) 594-5151



**Planting Plan**

1"=10'-0"  
0' 10' 20'



Revision  
7/2/15 Site Plan changes  
8/31/15 Site Plan changes  
9/10/15 Planning review

GREGORY LEWIS LANDSCAPE ARCHITECT #2176  
738 Park Way Santa Cruz, CA 95065 (831) 425-4747  
lew@landscapet.com



**6 Condos**  
1958 Latham, Mountain View, CA

Date 9/9/15  
Scale As Noted  
Drawn Greg  
Job Sheet  
**L1**  
of 4

### Irrigation Legend

KEY	MANUF.	MANUF. #	DESCRIPTION
	Rainbird	RNS B C 1402	Tree irrigation - install 2 bubblers at each tree on opposite sides of root ball Use Rainbird RNS Root Watering Series with 5 GPM bubbler and fabric sand sleeve Use two per tree
	Rainbird	3BDLRC	3/4" quick coupler with locking cover - provide one valve key and one hose snivel
	Hunter	IC-1800 FL	1/2 station controller (expandable) exterior PEDESTAL MOUNT with multiple programming, cycle start, and calendar program Install Wireless Solar Sync On-Site Weather Station
	Rainbird	100 DVF	1" remote control globe valve with flow control below grade in valve box for tree bubblers - no filter or pressure regulator required
	Rainbird		Manual flush valve in valve box - for regular system flushing maintenance Install at a low point at the end of the circuit opposite the valve on Rainbird XF-SDI system
	Rainbird	AR	Air relief valves are required with Rainbird XF-SDI drip tubing. Install at high point in circuit.
	Rainbird	XCZ-075-PRF	3/4" low flow valve, self cleaning filter, and regulator for inline drip - 5 GPM and less flow Install below grade in valve box - Also use this valve, filter, and regulator for regular drip
	Rainbird	XCZ-100-PRF	1" DV valve, self cleaning filter, and regulator for inline drip - 3 to 15 GPM flow Install below grade in valve box

Contractor to provide alternate bid extra for manual isolation valve at each remote control valve

KEY	MANUF.	MANUF. #	DESCRIPTION
			Manual gate valve below grade in valve box Same size as pressure line
	Febco	825Y 1"	Reduced pressure backflow preventer and Y strainer at point of connection close to the water meter To be accessible for maintenance outside of fence
		3/4"	Nonpressure line - CL 200 PVC 3/4" unless noted for larger size - 12" deep - pipes less than 2" to be Sch 40 PVC Pipes 2" and larger to be CL35PVC
		Sch 40 PVC	Pressure line - Sch 40 PVC 1" unless noted for smaller size - 18" deep (24" deep under A.C. paving) Lines under paving Pressure line - Sch 40 PVC 1" unless noted for size on plans Nonpressure line - Sch 40 PVC
			Gray electrical conduit for wires
At each paving crossing of the pressure line, install a 1" Sch 40 PVC pressure line in 2" sleeve, an extra 1" Sch 40 PVC line, and a 1-1/2" gray PVC conduit for control wires.			
Where ever a non pressure line crosses paving, use 1" Sch 40 PVC line in 2" sleeve Cap and mark pipes until used. Sleeves are required for water lines. They should be twice the size of the pipe inside them. i.e. Use a 6" sleeve for a 3" line			

### Hydrozone Table

HYDROZONE-VALVES	PLANT WATER USE	PLANT FACTOR (PF)	AREA SQ.FT. (HA)	PFxHA SQ.FT.
1 - 13/1/10	Low, sun, drip	5	2818	845
2 - 3/3/10	Med, sun, trees, bubblers	5	525	262
3 - 5	Low, sun, grid drip	3	504	151
4 - 11	Med, sun, grid drip, bioretention	5	388	194
Sum of PFxHA=				1452

There is no lawn there is 0 sq.ft. of bioswale  
 MAMA = (45.3)(0.62)(0.7)(4235)(0.3x0) = 83,260 gallons per year  
 Maximum allowable water use  
 ETNU = (45.3)(0.62)(452)(0.7) = 57,431 gallons per year  
 ETNU 57,431 is less than MAMA 83,260 ETNU complies with MAMA

### Landscape and Irrigation Maintenance Checklist

As per the City of Mountain View water conservation in Landscaping Regulations, landscapes and irrigation systems shall be maintained to ensure successful establishment following installation, and to ensure the efficient use of water. Maintenance shall be performed regularly and must include, at a minimum the following components:

Irrigation System - System check (every 6 months), Routine inspection (monthly), Adjustment and repair, Failed irrigation hardware components shall be replaced with the same or functionally equivalent components

Landscape - Replenish mulch, Fertilize, Prune, Weed control, Pest control, Aeration and dethatching of turf areas, Failed plants shall be replaced with the same or functionally equivalent plants.

### Mountain View Green Building Code

Cal Green Section 4.30.4.1 - Irrigation Controllers  
 The controllers that are specified meet this requirement of weather based controllers. The controller has system that changes the run time of the irrigation based on the current weather. It also keeps the irrigation from operating when it is raining.

The controller will change the schedule based on input from the weather sensor  
 Contractor is to limit irrigation valve run times to less than the time that it is observed on site for drip or bubbler runoff to flow onto paving. Native grass may require more water the first 1-2 years.

### Irrigation Notes

- See sheet L3 and L4 for details and specifications
- This system is designed to operate with minimum 10 GPM at minimum 55 psi. at the point of connection. If this condition is not met contact the Landscape Architect for possible redesign. If pressure exceeds 15 psi at point of connection install a Wilkins 600 1" pressure regulator. Static water pressure is supposed to be 72 psi.
- Detector tape should be installed with any pressure lines not buried in the same trench with control wires and with any lines of any kind under paving not in a trench with control wires.
- Electric controllers should be set to water between 8:00 PM and 10:00 a.m. to avoid watering during times of higher wind or temperature and programmed with repeat cycles to avoid runoff. Set irrigation schedule according to plants' water needs.
- The Hunter controller and Solar Sync weather station will keep the irrigation system from operating during times of rain.
- Run 2 extra control wires from the controller to the far end of each leg of pressure line, coming up at each valve with some extra wire along the way so valves could be added if necessary in the future.
- The routing of sprinkler lines is schematic on the plan. Do not put valves too close to trees. Stay 8' to 10' away if possible. Do not put pressure lines under trees. Install line in planting areas instead of under paving whenever possible.
- There is a dedicated irrigation water meter and backflow preventer.
- See the Water-Efficient Landscaping Checklist and Water Budget Calculation Worksheets that have been done. They are 8-1/2x11 format. The Water Budget Calculations are based on historically average year evapotranspiration rate data.
- The irrigation schedule used will be done by the irrigation controller using recent evapotranspiration rate and weather data.
- All irrig. valves are below grade in valve boxes. The backflow preventer is hidden from public view by shrubs. The irrig. controller is hidden from public view by shrubs in the open space area.
- The Landscape Contractor is responsible for the cost of an Irrigation Audit and Report with an Irrigation Schedule done by a certified professional after landscaping and irrigation has been installed and prior to final building inspection. The Landscape Contractor is also responsible for fixing or changing anything that is required to pass the audit and meet the requirements of the city of Sunnyvale. A Landscape Maintenance Schedule and Certificate of Completion will also be required.
- Drip tubing is to be secured under the soil with staples 4 feet apart in clay loam soil to keep the tubing spacing consistent. Double stake the fittings diagonally
- Follow the installation instructions of the drip tubing manufacturer.
- There are no lawns and at least 80% of non-turf landscape is low water use so Option 1 - Plant Type Restriction Requirements are being used
- Make sure every drip grid circuit has a flush valve and an air relief valve (at the high point).

SINCE THE PLANS COMPLY WITH COMPLIANCE OPTION 1 ON THE WATER EFFICIENT DESIGN AND MAINTENANCE CHECKLIST THE OPTION 2 WATER BUDGET CALCULATIONS ARE NOT REQUIRED

### Drip Irrigation Notes

- Secure larger 3/4" drip tubing 1" below grade with 1" or 1 1/2" U-shaped stakes 3 feet on center or closer so that the tubing can be found easily but does not show if the mulch gets brushed away. Cover tubing with soil and mulch and install manual flush valves at ends of tubing and mark them so they can be found easily.
  - Run large tubing close to plants to minimize length of smaller 1/4" tubing. Secure emitters on 3/4" tubing at plant root balls. When necessary run short lengths of 1/4" tubing from emitters to plant root balls. Install stakes on 1/4" tubing at 12" on center and cover tubing with 1" of soil plus mulch.
  - As the plant and plant rootball increase in size, the locations of the emitters may need to be adjusted so they are evenly spaced over the rootball.
  - Install pressure compensating emitters (with minimal difference in flow between 10 PSI and 40 PSI) at each plant on root ball (not right at stem). Use Agrifilm PC Plus (pressure compensating emitters). Use the ones that 1/4 tubing can be connected to. Other emitters may have a higher discharge rate at startup requiring larger pipe sizes.
- Emitter schedule:  
 Two 1 GPH emitters at small shrubs (eventual size) and exist.  
 Three 1 GPH emitters at medium shrubs  
 Five 1 GPH emitters at large shrubs  
 With shrubs that have multiple emitters, put some at edge of root ball (not right on stem) and some out under future canopy. Space emitters evenly in future root zone area.

### Irrigation Base Schedule

Hydrozone - Drip, low water trees, shrubs, groundcover		Valves 1,2,4,5,6	
WINTER	SPRING	SUMMER	FALL
Dec. - Feb.	Mar. - May	Jun - Aug	Sept - Nov
Days Per Week	Off	2	2
Number of Cycles	Off	2	2
Minutes per Cycle	Off	22	21
Total Minutes per Week	None	41	81

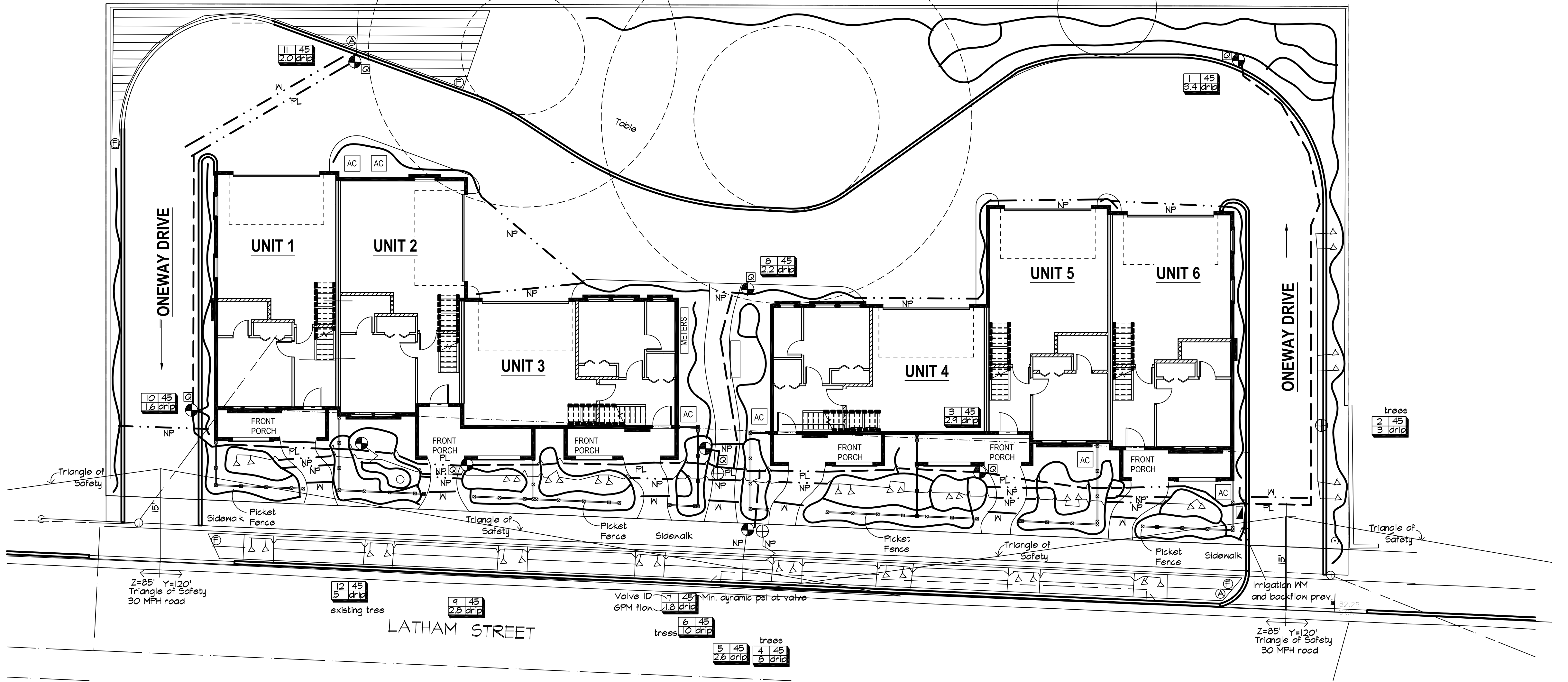
Hydrozone - Bubbler, med water trees		Valves 2,4,6	
WINTER	SPRING	SUMMER	FALL
Dec. - Feb.	Mar. - May	Jun - Aug	Sept - Nov
Days Per Week	Off	3	2
Number of Cycles	Off	2	1
Minutes per Cycle	Off	5	5
Total Minutes per Week	None	10	10

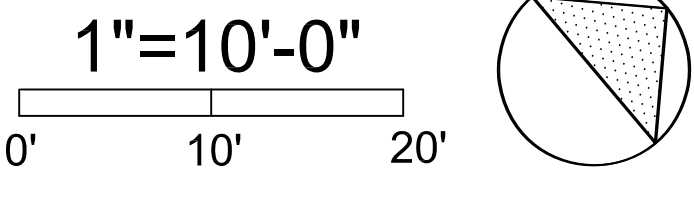
Hydrozone - Grid Drip, low water shrub, ROY		Valves 5	
WINTER	SPRING	SUMMER	FALL
Dec. - Feb.	Mar. - May	Jun - Aug	Sept - Nov
Days Per Week	Off	3	3
Number of Cycles	Off	3	3
Minutes per Cycle	Off	14	13
Total Minutes per Week	None	131	125

Hydrozone - Grid Drip, med water, bio retention area		Valves 11	
WINTER	SPRING	SUMMER	FALL
Dec. - Feb.	Mar. - May	Jun - Aug	Sept - Nov
Days Per Week	Off	3	3
Number of Cycles	Off	2	2
Minutes per Cycle	Off	16	15
Total Minutes per Week	None	48	44

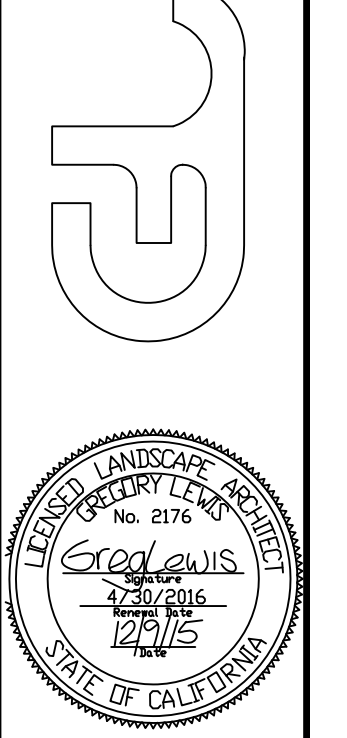


# Hydrozone/ Irrigation Plan



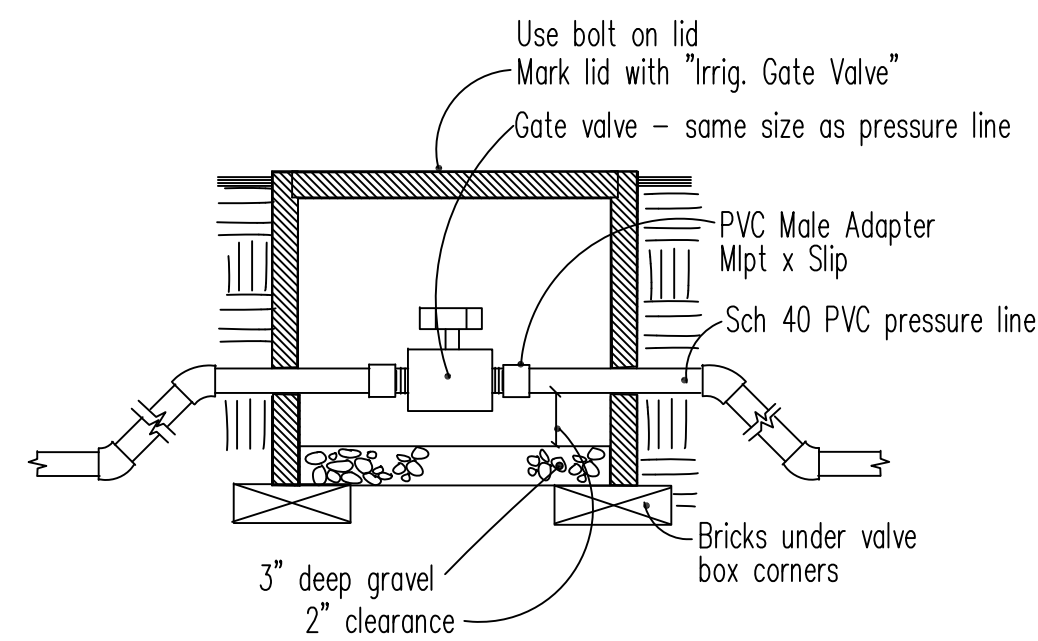
Revision
7/2/15
Site Plan changes
8/31/15
Site Plan changes
9/10/15
Planning review

GREGORY LEWIS LANDSCAPE ARCHITECT #2776  
 736 Park Way Santa Cruz, CA 95065 (831) 425-4747  
 greg@greglewis.com  
 greglewislandscape@gmail.com



6 Condos  
 1958 Latham, Mountain View, CA

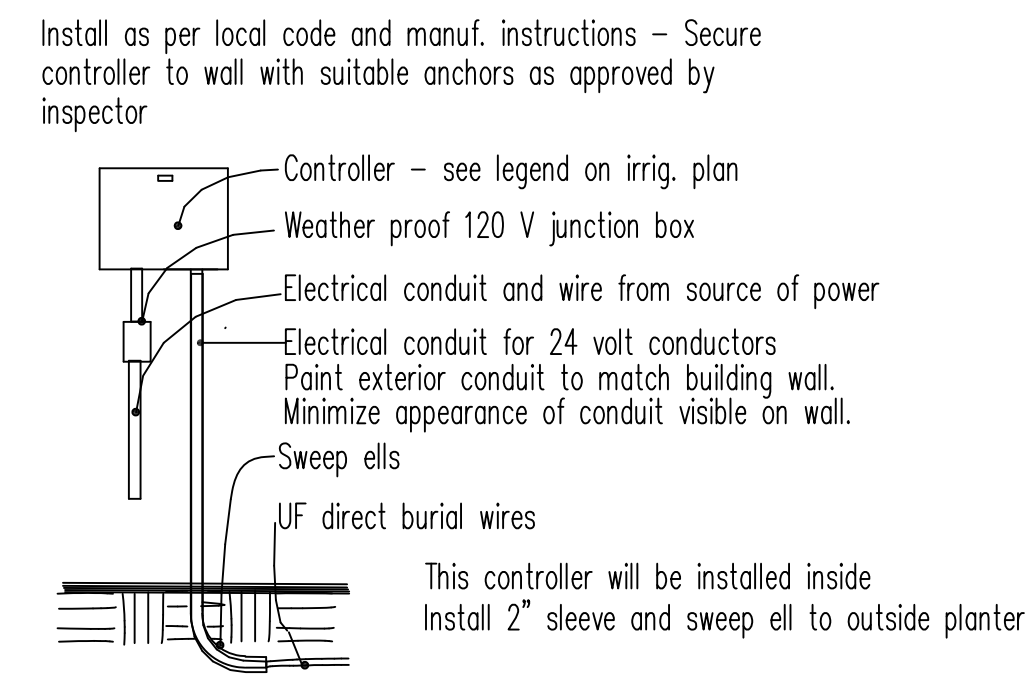
Date	9/9/15
Scale	As Noted
Drawn	Greg
Job	
Sheet	L2 of 4



**Manual Gate Valve**

No Scale

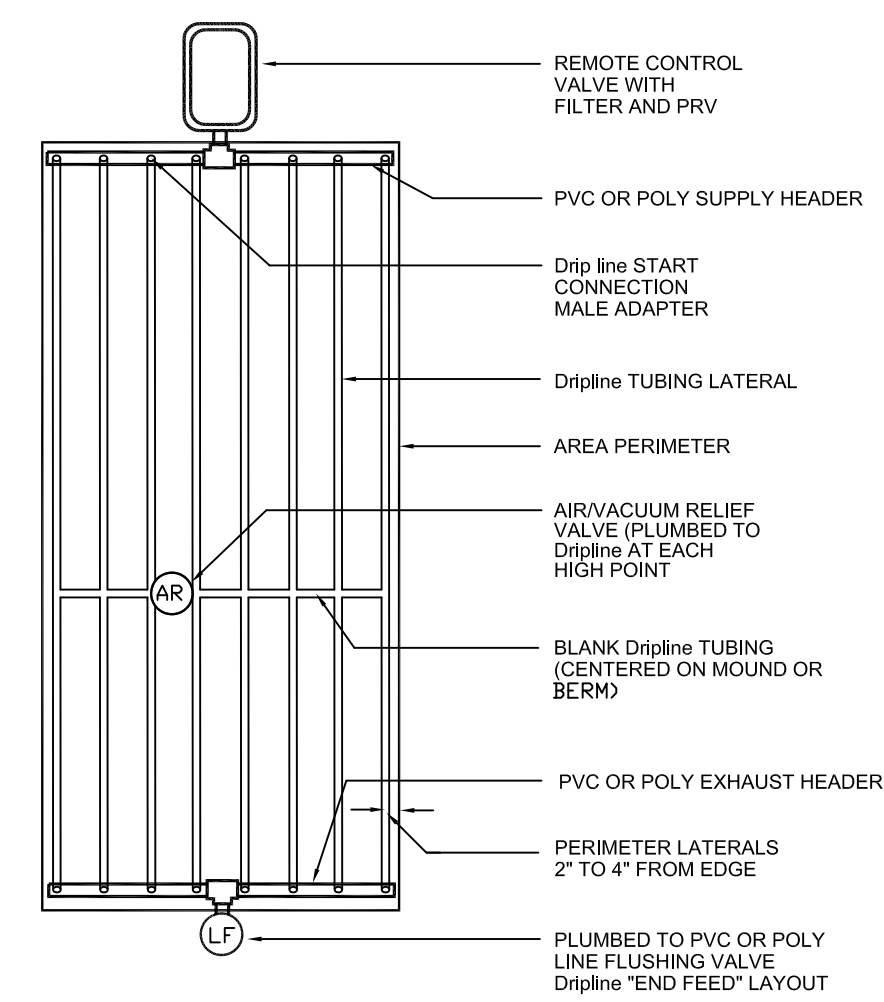
A



**Wall Mount Controller**

No Scale

E

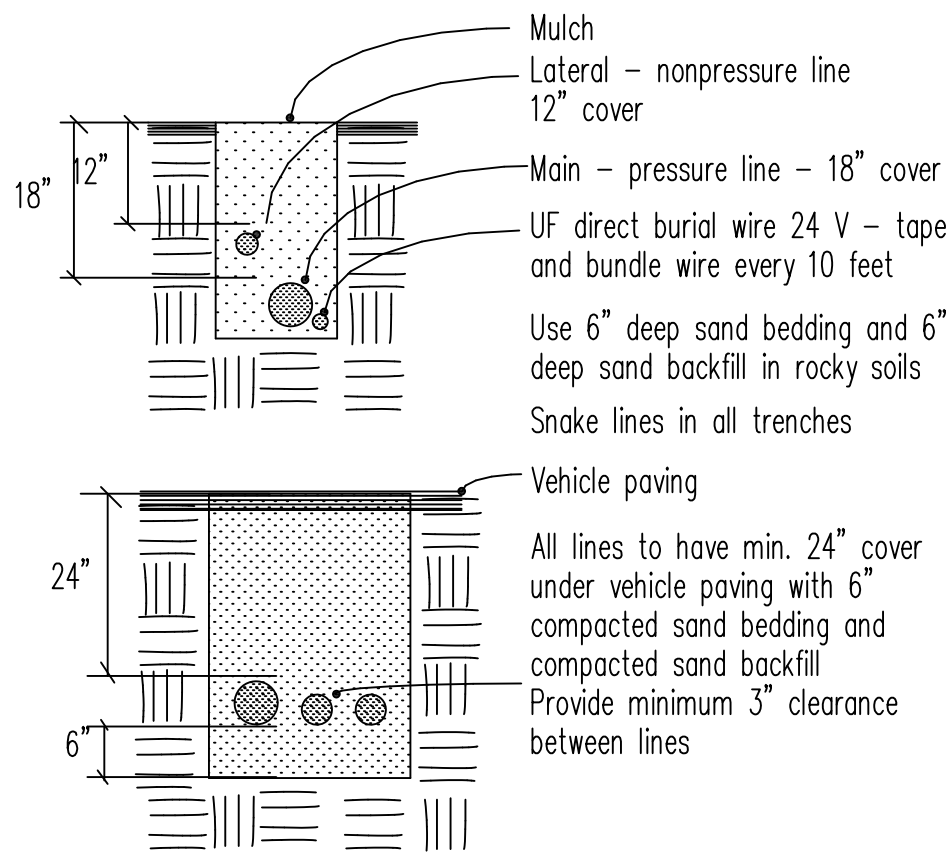


**END FEED LAYOUT**

DETAIL - NO SCALE

I

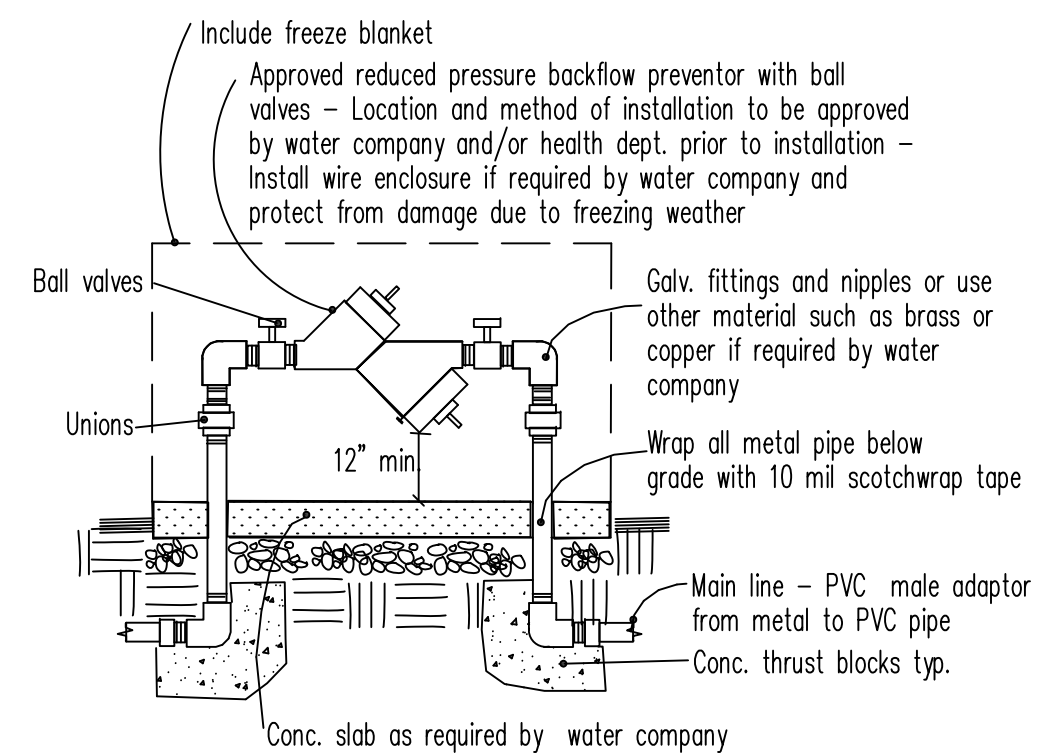
See additional details and specs. on the Rainbird web site  
Air relief valves are required.  
All of the supply headers and exhaust headers can be drip line  
1/2" size if the flow is less than 4 GPM  
Flow of 4 to 8 GPM need 3/4" headers



**Trenches/Lines**

No Scale

B

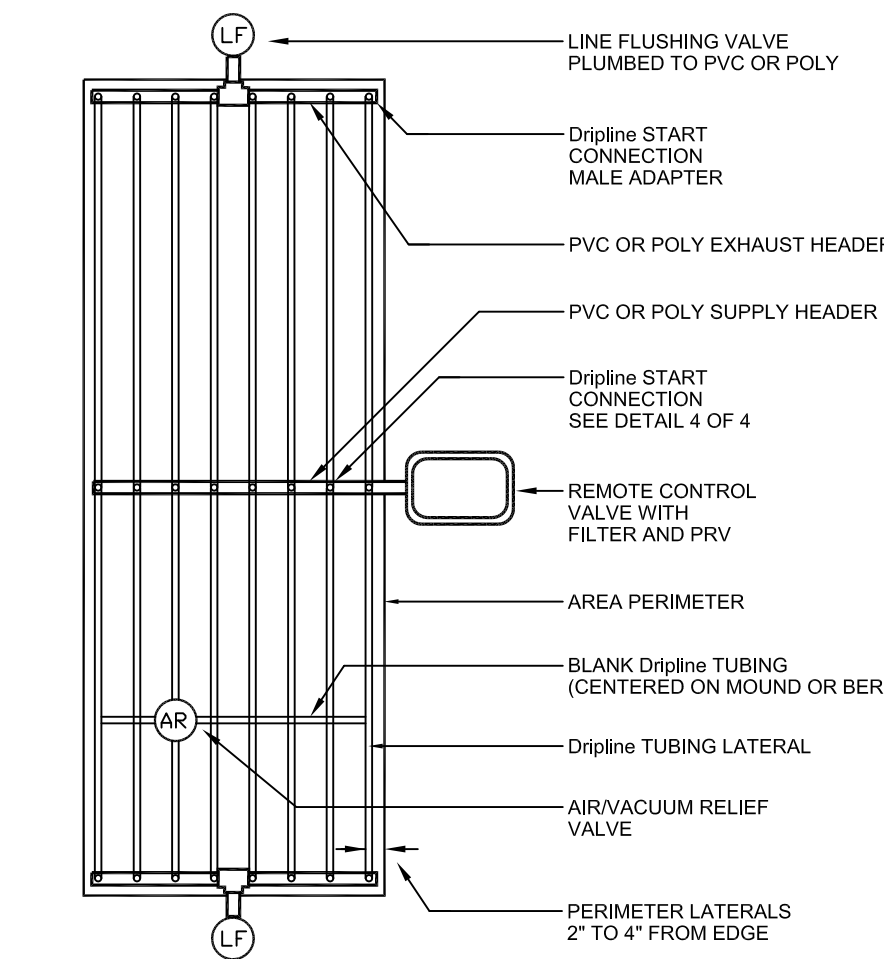


**Reduced Pressure Backflow Preventer**

No Scale

F

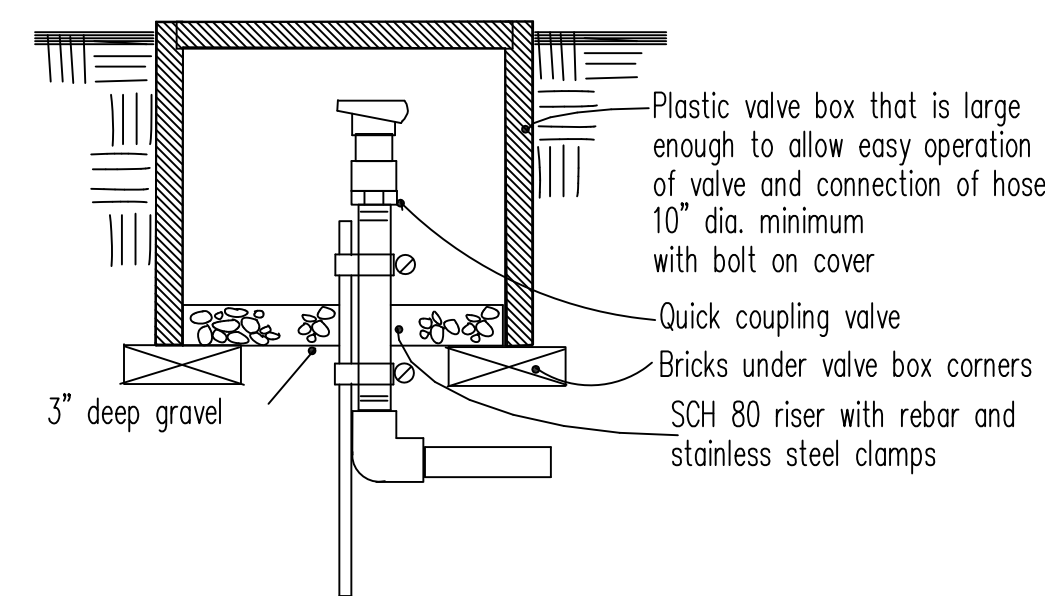
When necessary, due to high water pressure, install pressure regulator downstream from backflow prevent unless noted for other location on plans



**CENTER FEED LAYOUT**

DETAIL - NO SCALE

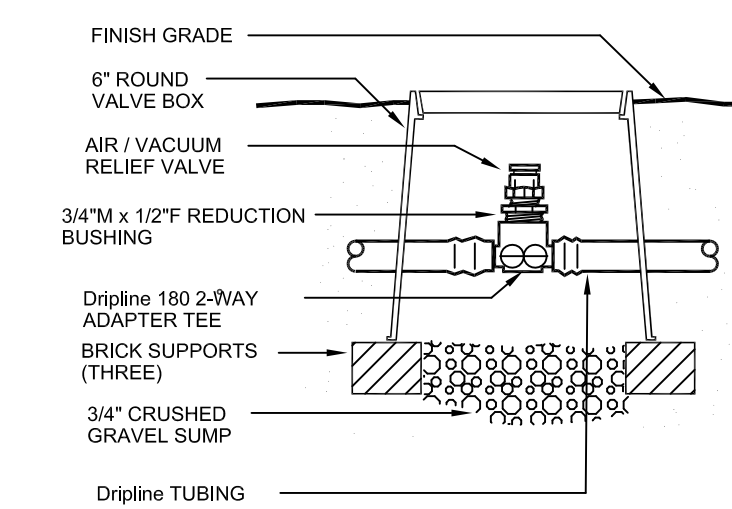
J



**Quick Coupling Valve**

No Scale

G



**AIR/VACUUM RELIEF VALVE (PLUMBED TO Dripline)**

SECTION - NO SCALE

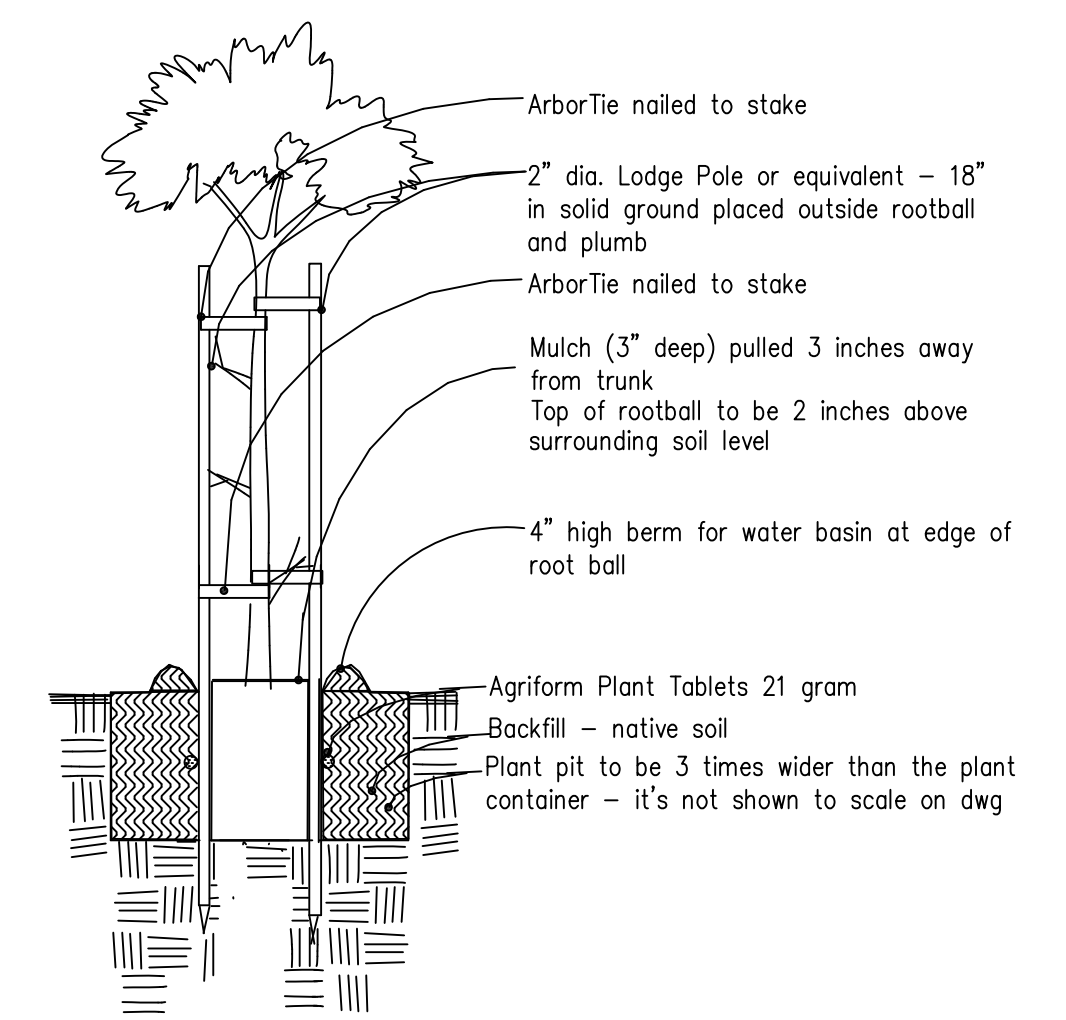
K

- 1 4-INCH GRATE (INCLUDED)
- 2 BUBBLER - SEE IRRIGATION LEGEND (INCLUDED)
- 3 ROOT WATERING SYSTEM: RAIN BIRD RWS-BG02 (INCLUDES BUBBLER WITH RISER, GRATE, SWING ASSEMBLY, 1/2" MALE NPT INLET, AND BASKET CANISTER)
- 4 FINISH GRADE
- 5 OPTIONAL PEA GRAVEL OR RWS SAND SOCK (RWS-SOCK) FOR SANDY SOILS
- 6 1/2-INCH PVC SCH 80 NIPPLE (INCLUDED)
- 7 1/2-INCH 90-DEGREE ELBOW (INCLUDED)
- 8 12-INCH SWING ASSEMBLY (INCLUDED)
- 9 1/2-INCH MALE NPT INLET (INCLUDED)
- 10 PVC SCH 40 TEE OR EL
- 11 LATERAL PIPE
- 12 4-INCH BASKET WEAVE CANISTER (INCLUDED)

**Street Tree Bubblers**

No Scale

I

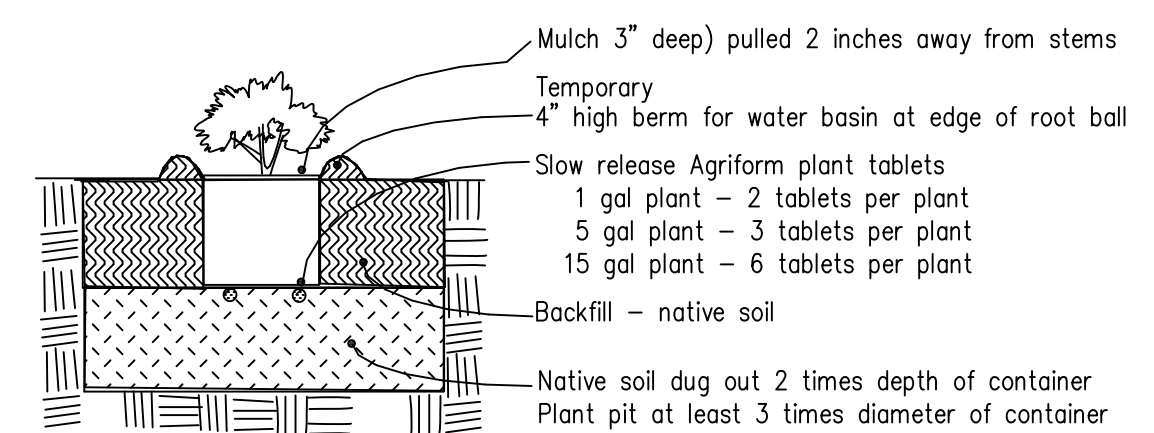


- 1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls
- 2) Dig hole at least 2" less deep than the container and 3 times wider than the diameter of the container the plants were delivered in.
- 3) Gauge holes in the side of the plant pit - 2 holes per sq. ft. of wall surface
- 4) Remove rootball carefully from container with support from below. Sever any circling roots (3/16" dia. or greater) with sharp knife. Do not pull roots apart. The severing of large roots will encourage new roots at the cuts. Install enough backfill under root ball so top of rootball ends up 2" above grade of surrounding soil when it settles. Install some of fertilizer packets under root ball.
- 5) Fill around rootball with backfill mix to 1/2 its height and pack soil as you fill with shovel handle or feet being careful not to disturb root ball
- 6) Put Agriform Plant Tablet fertilizer at this level adjacent to rootball and at bottom of hole (5 tablets per 15 gal. or 5 tablets per 1 inch of caliper width. Fill the remainder of the hole with backfill and pack it.
- 7) Water tree thoroughly by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
- 8) Install stakes such that the stakes and the tree ties won't damage the tree and the stakes won't lean toward each other. Cut off tops of stakes if necessary to lower below branches that could be rubbed by stakes. Install stakes so they are straight up and don't lean in to each other

**Tree Planting**

No Scale

O

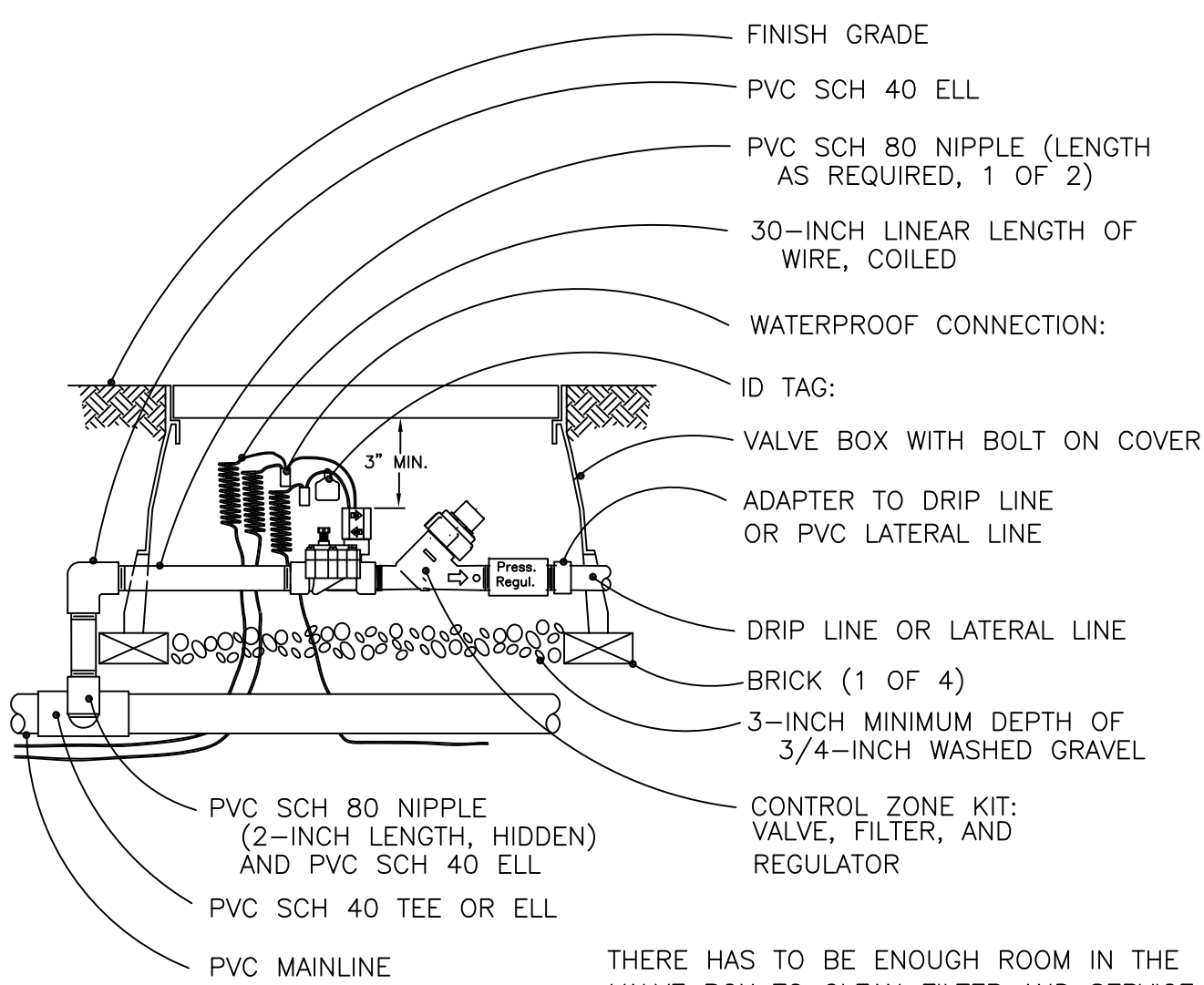


- 1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls
- 2) Dig the plant hole at least 3 times the dia. and 2 times the depth of the plant container.
- 3) Replace this mixture in bottom half of hole and walk on it. The level of it should be such that when the plant is installed and settled it will be slightly above grade of existing soil. Fill hole with water
- 4) Remove rootball carefully from container by tapping out, not pulling out by the stem. Scarify rootball walls in 3 vertical cuts and bottom to 1/2" deep, or by cutting roots of 1/2" or larger with shears. Do not pull roots apart.
- 5) Install fertilizer packets under rootball of plant. Set rootball on prepared surface and fill hole to 1/2 the depth, tamping soil around rootball. Fill hole with water.
- 6) Fill the remainder of the hole with backfill and pack it but do not tamp rootball.
- 7) Make the water basin.
- 8) Water shrub thoroughly within 1 hour of planting by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
- 9) Install mulch

**Shrub Planting**

No Scale

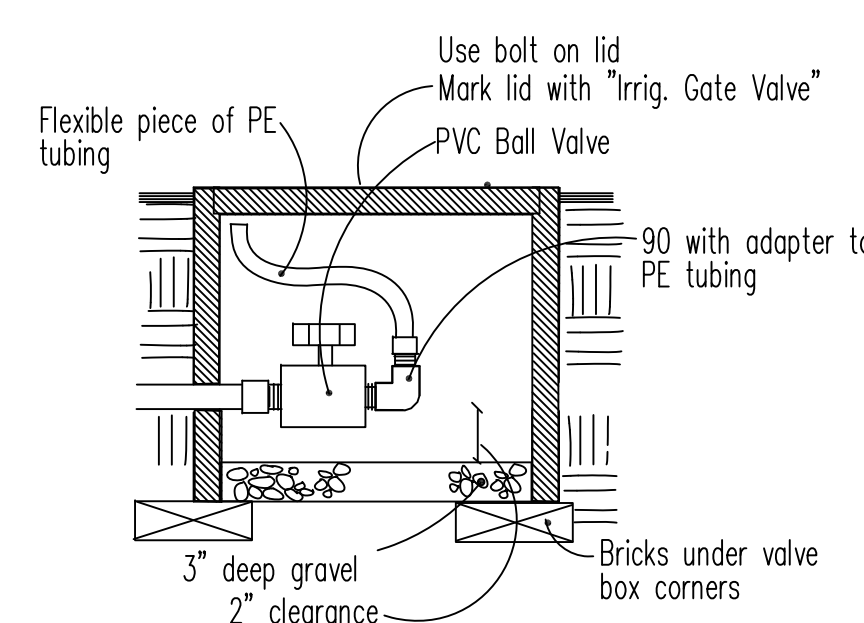
O



**Remote Control Globe Valve, Filter and Pressure Regulator**

No Scale

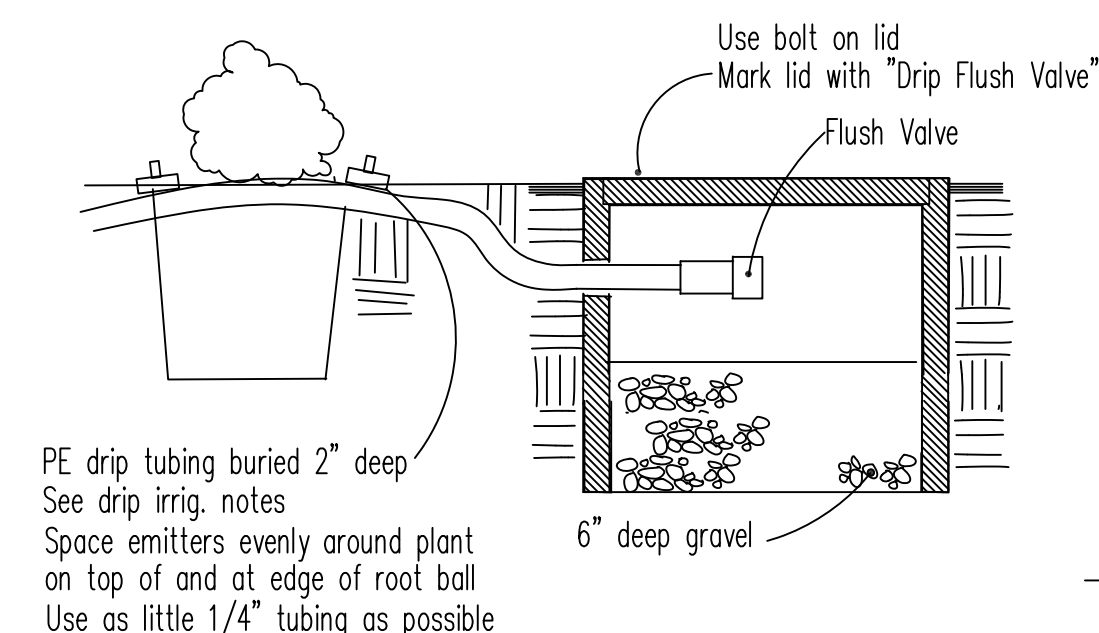
C



**Manual Flush Valve**

No Scale

D



**Drip Emitter and Flush Valve**

No Scale

**Drip in Shrub Areas**

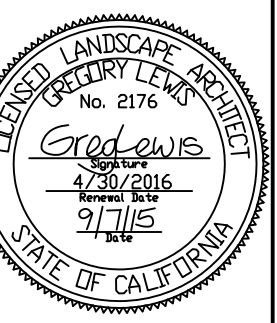
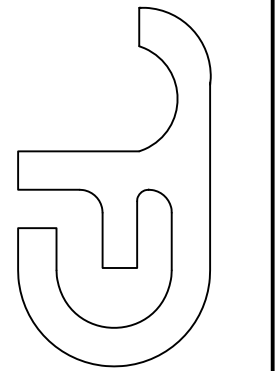
H

Revision

Planning review  
9/10/15

#2176

GREGORY LEWIS LANDSCAPE ARCHITECT  
736 Park Way Santa Cruz, CA 95065 (831) 425-4747  
lew@landscapelab.com



**6 Condos**  
1958 Latham, Mountain View

Date 9/10/15  
Scale As Noted  
Drawn Greg  
Job  
Sheet

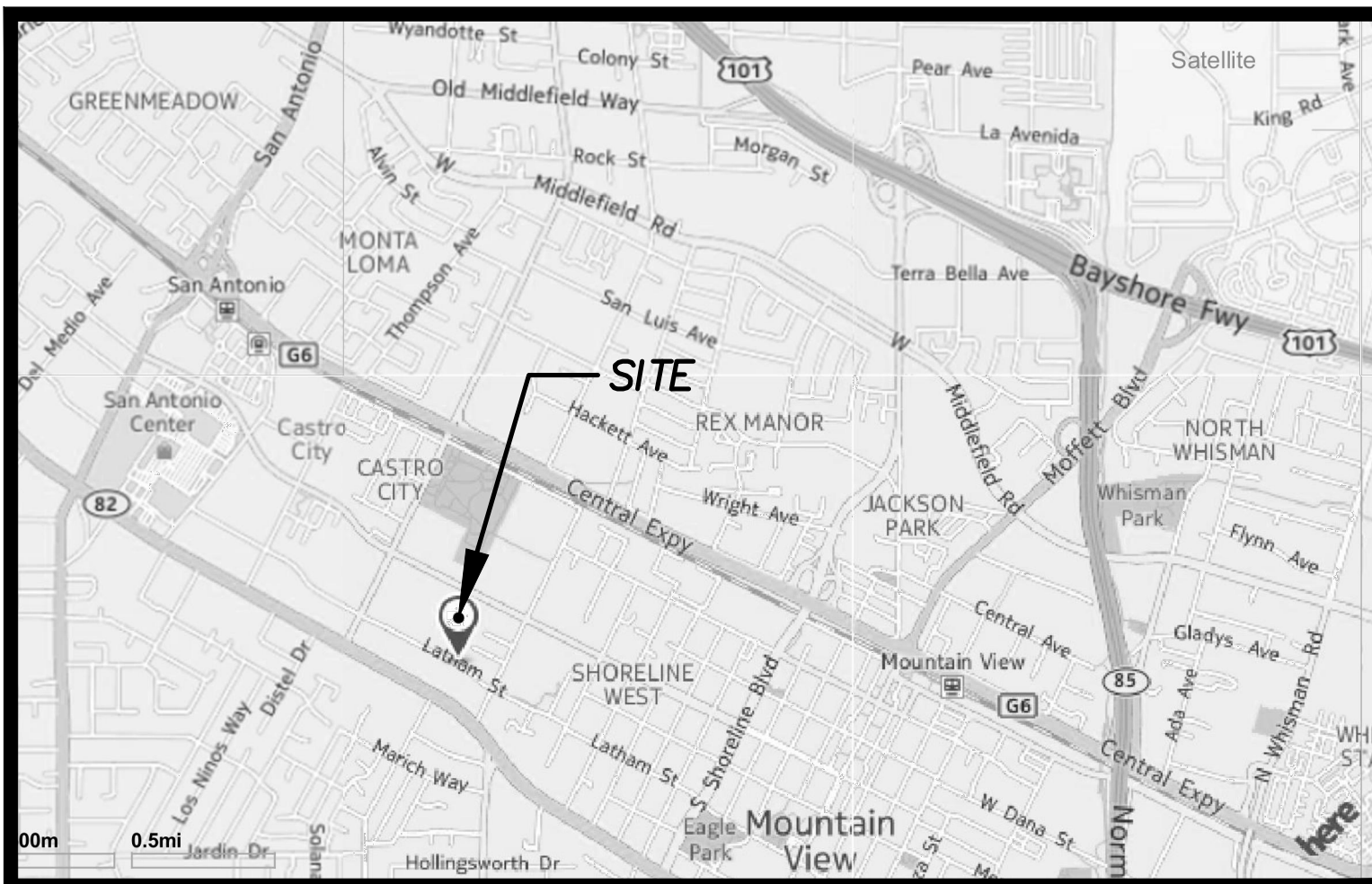
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of 4

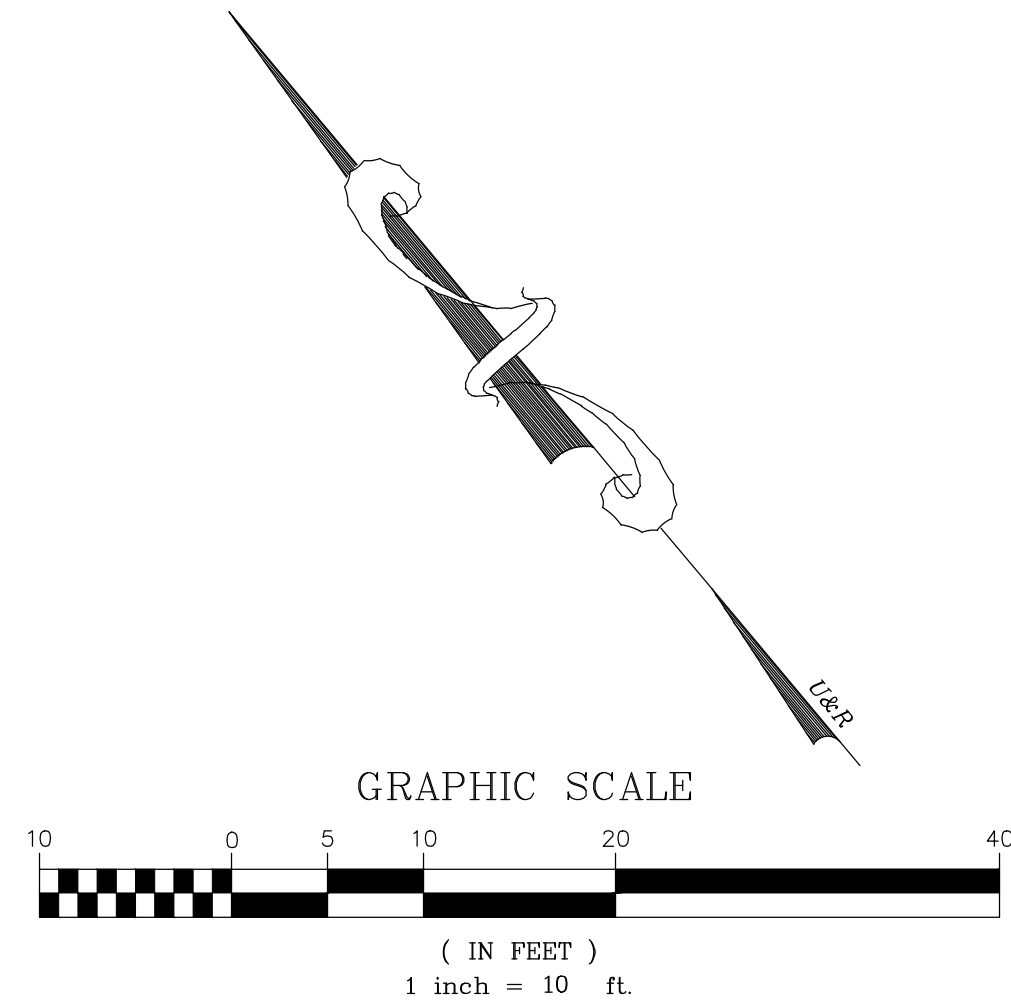


# 1958 LATHAM STREET

## ONE-LOT SUBDIVISION FOR RESIDENTIAL CONDOMINIUM PURPOSES



VICINITY MAP NTS



### ABBREVIATION

BW	BACK OF WALK
C	CONCRETE
EX.	EXISTING
FL	FLOW LINE
GB	GRADE BREAK
GR	GRATE
HP	HIGH POINT
INV	INVERT
P	PAVEMENT
TC	TOP OF CURB

### LEGEND

DESCRIPTION	TO BE CONST.	EXISTING
PROPERTY LINE	---	---
CURB	====	---
CURB AND GUTTER	====	---
CONCRETE SIDEWALKS / WALKWAYS	[Pattern]	[Pattern]
DRIVEWAY	[Pattern]	[Pattern]
FLAT GRATE INLET	[Symbol]	[Symbol]
CHRISTY U23 W/ 71RHD GRATE	[Symbol]	[Symbol]
AREA DRAIN (HARDSCAPE AREA USE NDS #639) (LANDSCAPE AREA USE NDS #80)	[Symbol]	[Symbol]
EASEMENT	---	---

### NOTES:

- ALL UTILITIES IN THE SUBDIVISION ARE PRIVATELY OWNED AND MAINTAINED BY HOA
- ALL STREET TREES INSTALLED PER CITY STANDARD MAINTAINED BY HOA.
- ALL STREETS WITHIN THE SUBDIVISION WILL BE PRIVATE STREETS AND MAINTAINED BY HOA.
- STREET LIGHTS ON PRIVATE STREETS WILL BE MAINTAINED BY THE HOA.
- ALL WALLS WITH WILL BE PRIVATE FACILITIES AND MAINTAINED BY THE HOA.

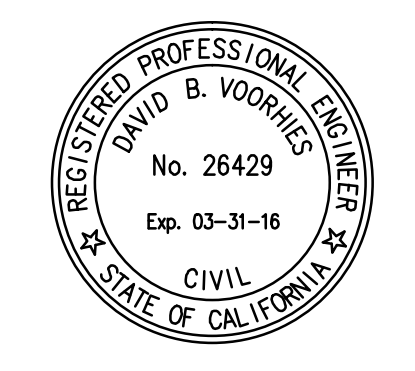
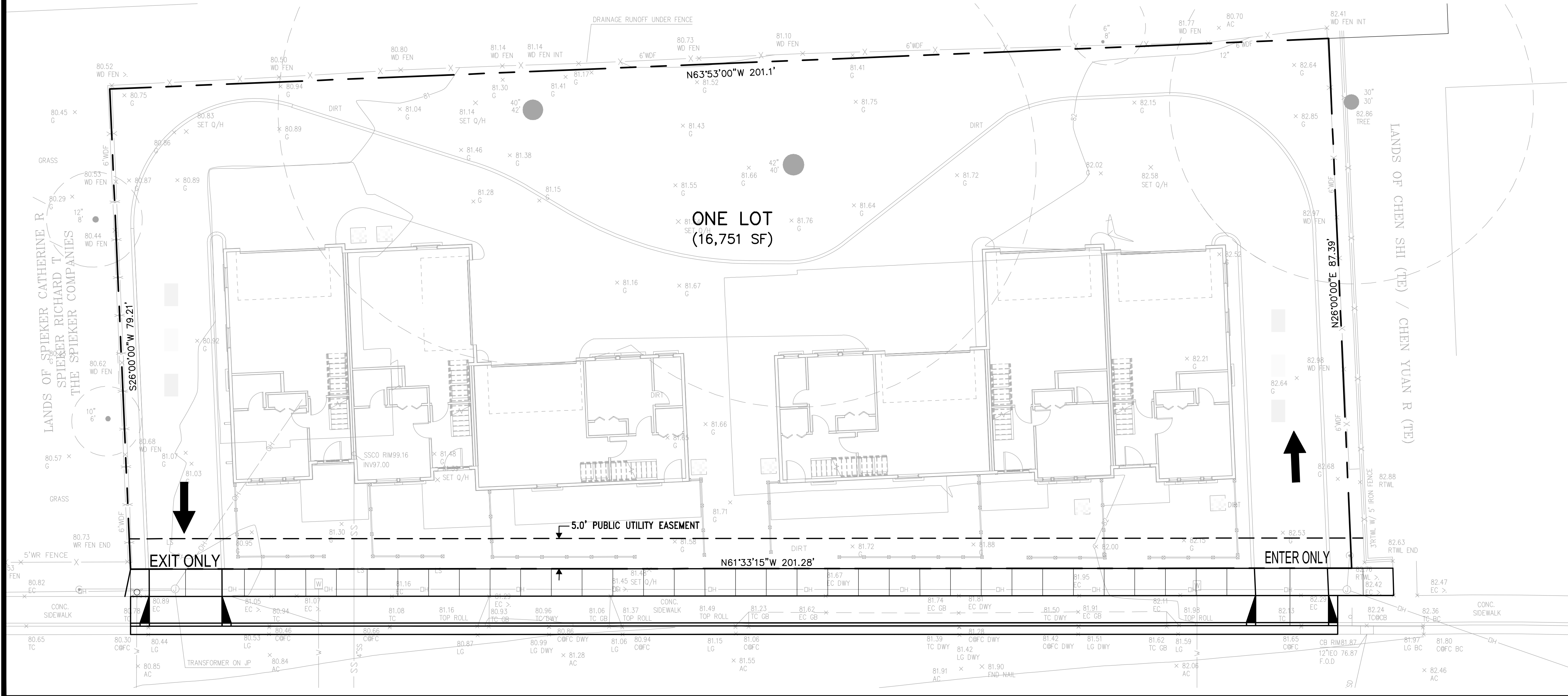
### SHEET INDEX

C0	TITLE
C0.1	TOPOGRAPHIC SURVEY
C1	DEMOLITION PLAN
C2	GRADING AND PAVING PLAN
C3	UTILITY PLAN
C4	STORMWATER TREATMENT PLAN
C5	DETAILS
C6	EROSION CONTROL PLAN

**BENCHMARK:** BRONZE DISK STAMPED "IV-45" SET IN THE TOP OF CURB AT THE NORTH END OF THE NORTHWEST RETURN OF ESCUELA AVENUE AT EL CAMINO REAL ELEVATION:88.43 NAVD1988

### GENERAL NOTES

NAME:	RESIDENTIAL DEVELOPMENT 1958 LATHAM STREET, MOUNTAIN VIEW, CA
OWNER:	JASON KIM, LLC 1958 LATHAM STREET MOUNTAIN VIEW, CA 94040
ARCHITECT:	BARRY SWENSON ARCHITECTURAL
CIVIL ENGINEER:	UNDERWOOD & ROSENBLUM, INC. DAVID B VOORHIES, P.E. 1630 OAKLAND ROAD, SUITE A114 SAN JOSE, CA 95131 RCE 26429 EXPIRES 3-31-14
ASSESSORS PARCEL NUMBER:	APN 154-21-017
BOOK AND PAGE:	BOOK B PAGE 32
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
EXISTING ZONING:	R3
PROPOSED ZONING:	R3
WATER:	CITY OF MOUNTAIN VIEW
SANITARY SEWER:	CITY OF MOUNTAIN VIEW
STORM DRAIN:	CITY OF MOUNTAIN VIEW
GAS:	PG&E
ELECTRICAL:	PG&E
TELEPHONE:	AT&T
CABLE TV:	A T&T BROADBAND
EXISTING NUMBER OF LOTS:	1
PROPOSED NUMBER OF LOTS:	1
PROPOSED NUMBER OF CONDOMINIUMS:	6 RESIDENTIAL CONDOMINIUMS
TOTAL GROSS SITE ACREAGE:	0.372± ACRES
EXISTING WELLS:	NO WELLS FOUND ON SITE
FEMA FLOOD ZONE:	FLOOD ZONE X



DATE: | | | | |

REVISIONS: | | | | |

# | DESC. | | | | |

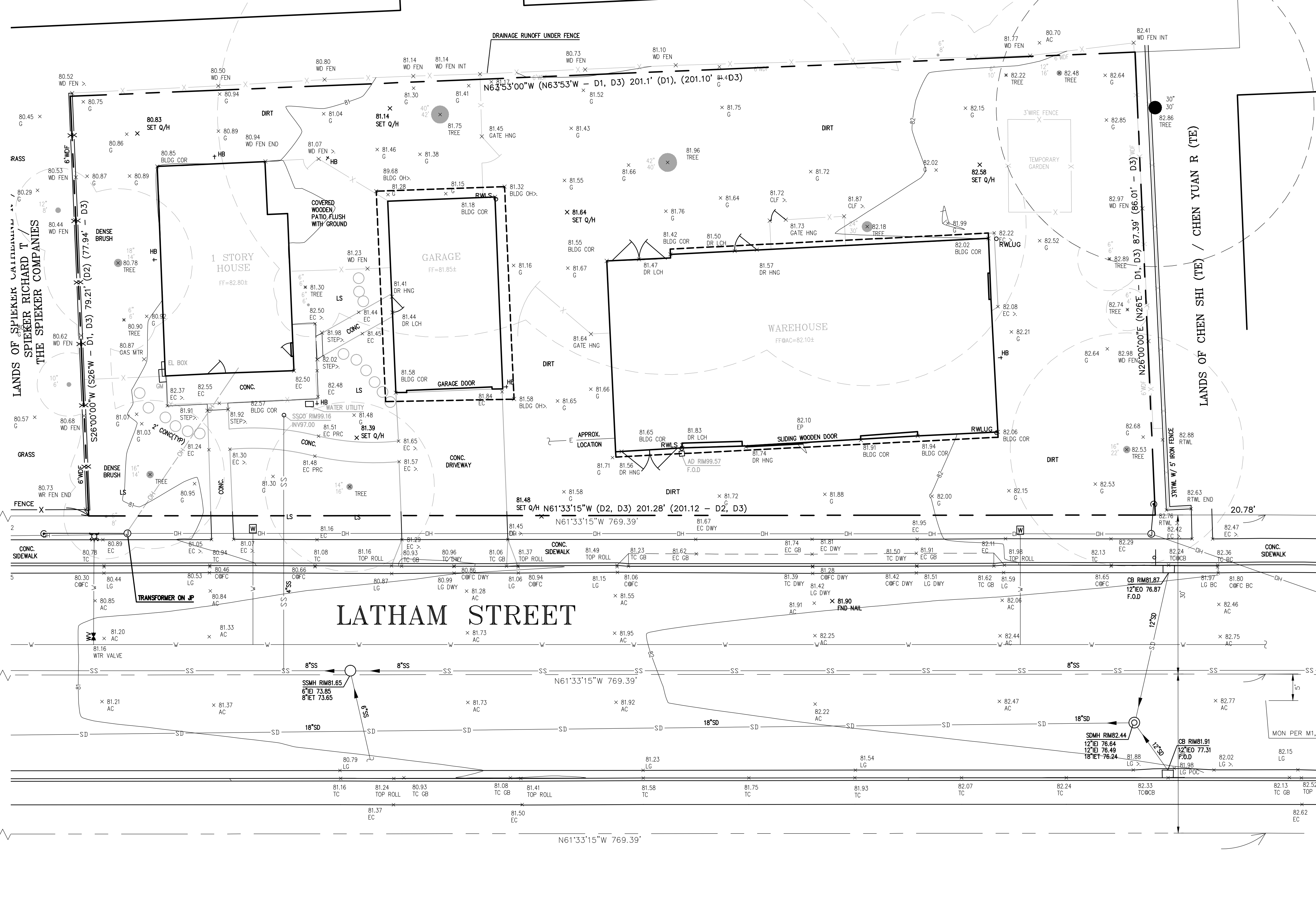
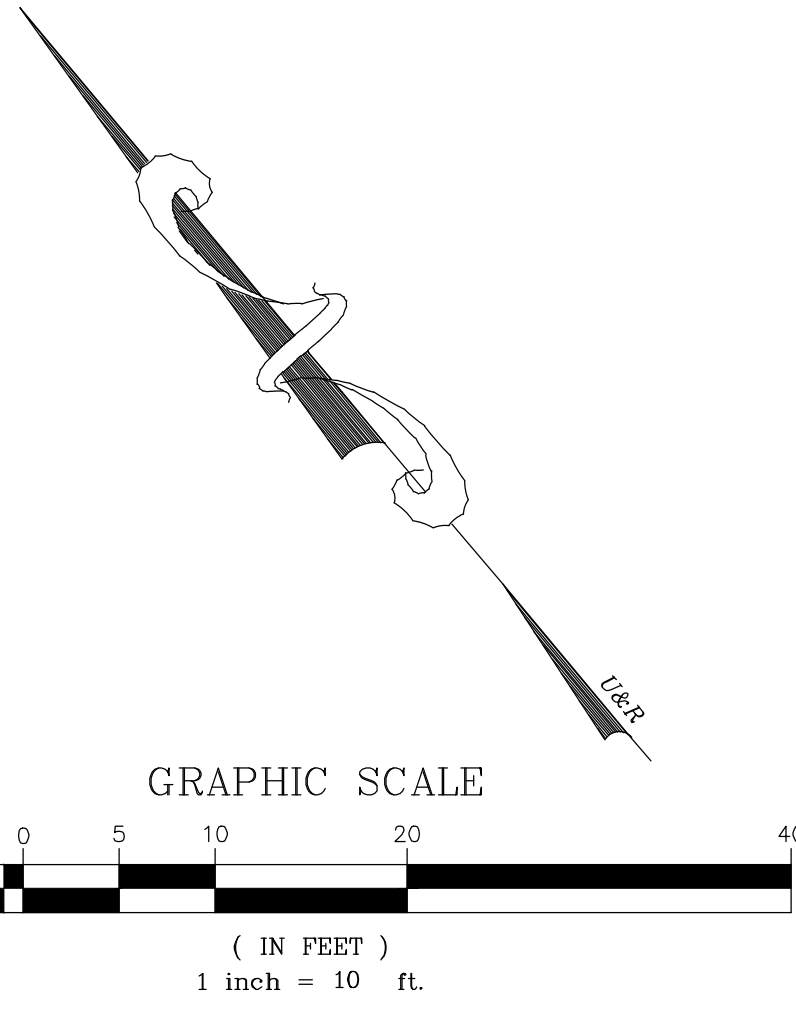
**UNDERWOOD & ROSENBLUM, INC.**  
civil engineers and surveyors  
1630 Oakland Road, Ste. A114, San Jose, CA 95131  
Tel. No. (408) 453-1222  
www.underwood.com

**U&R**

MOUNTAIN VIEW 6-UNITS  
ROWHOUSE  
1958 LATHAM STREET  
MOUNTAIN VIEW CALIFORNIA

TITLE SHEET  
TENTATIVE MAP

Date 1-14-2016  
Scale 1"=10'  
Design By: DV  
Job J14064  
Sheet  
**C0**

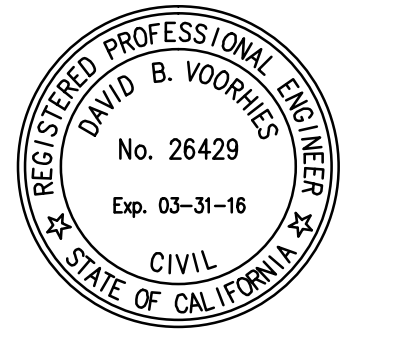


### LATHAM STREET

LEGEND		
AC ASPHALT CONCRETE	GB GRADE BREAK	AD AREA DRAIN
AD AREA DRAIN	INV INVERT ELEVATION	CB CATCH BASIN
BC BEGIN CURVE	IEI INVERT ELEVATION IN	○ RWL RAIN WATER LEADER
BLD COR BUILDING CORNER	IEO INVERT ELEVATION OUT	○ RWLUG RAIN WATER LEADER TO UNDERGROUND
C/CONC CONCRETE	IET INVERT ELEVATION THRU	○ RWLS RAIN WATER LEADER SPLASH
CB CATCH BASIN	IP IRON PIPE	SDMH STORM DRAIN MAINTENANCE HOLE
CLF CHAIN LINK FENCE	LG LIP OF GUTTER	○ CO CLEAN OUT
CMU CONCRETE MASONRY WALL	LS LANDSCAPING	SSMH SANITARY SEWER MAINTENANCE HOLE
EC EDGE OF CONCRETE	MH MAINTENANCE HOLE	○ Poles BOLLARD/POLE
EL ELECTRIC	POC POINT ON CURVE	○ Poles GUY POLE
EP EDGE OF PAVEMENT	TC TOP OF CURB	△ ANCHOR
FC FACE OF CURB	TEL TELEPHONE	△ SURVEY CONTROL POINT
FF FINISH FLOOR	TYP TYPICAL	● IRON PIPE FOUND
FL FLOW LINE	WR WROUGHT IRON	○ MONUMENT FOUND
FNC FENCE		⊗ BENCHMARK
FOD FULL OF DEBRIS		+ HB HOSE BIB
G GROUND		W WATER VALVE
		X FIRE HYDRANT
		—SD— STORM DRAIN LINE
		—SS— SANITARY SEWER LINE
		—OH— OVERHEAD UTILITIES
		- - - - - BOUNDARY LINE
		—— CENTER LINE
		— EASEMENT LINE
		- - - GRADE BREAK
		— FENCE LINE
		- - - - - ROOF OVERHANG
		— BUILDING LINE
		x222.03 G SPOT ELEVATION WITH DESCRIPTION
		— 60 — INDEX ELEVATION CONTOUR
		— 59 — INTERMEDIATE ELEVATION CONTOUR

**BASIS OF BEARINGS:** THE BEARING OF N25°59'45"E SHOWN AS THE CENTERLINE OF RENSTORFF AVENUE ON THE RECORD OF SURVEY MAP RECORDED FEBRUARY 25, 1959 IN BOOK 102 OF MAPS AT PAGE 55 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK:** BRONZE DISK STAMPED "IV-45" SET IN THE TOP OF CURB AT THE NORTH END OF THE NORTHWEST RETURN OF ESCUELA AVENUE AT EL CAMINO REAL ELEVATION: 88.43 NAVD1988



DATE	
#	
DESC.	






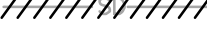



**UNDERWOOD & ROSENBLUM, INC.**  
civil engineers and surveyors  
1830 Oakleaf Road, Ste. A114, San Jose, CA 95131  
Tel. No. (408) 431-1222  
www.underwood.com

**MOUNTAIN VIEW 6-UNITS ROWHOUSE**  
1958 LATHAM STREET  
MOUNTAIN VIEW CALIFORNIA

**TOPOGRAPHIC SURVEY**

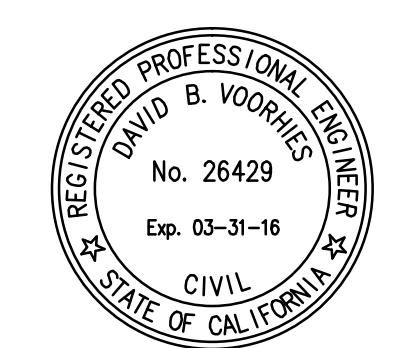
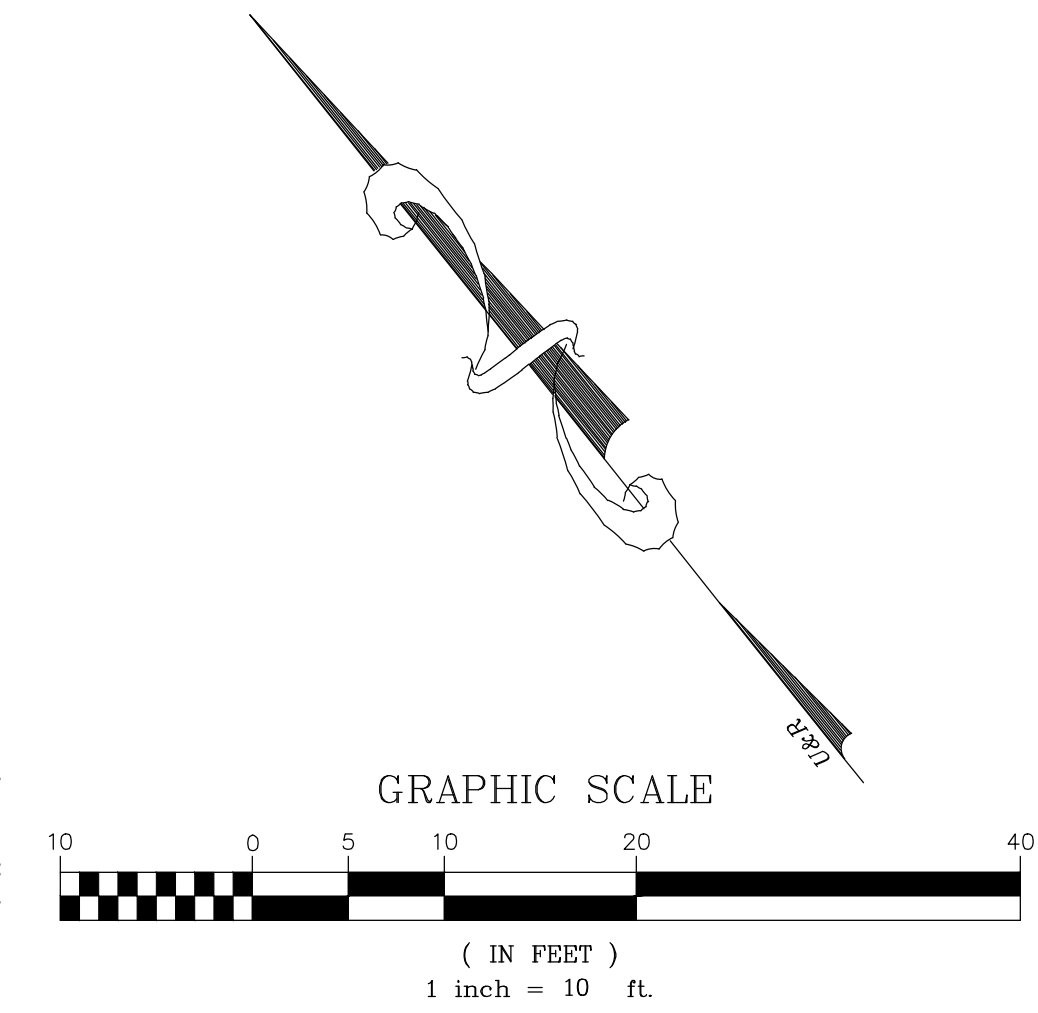
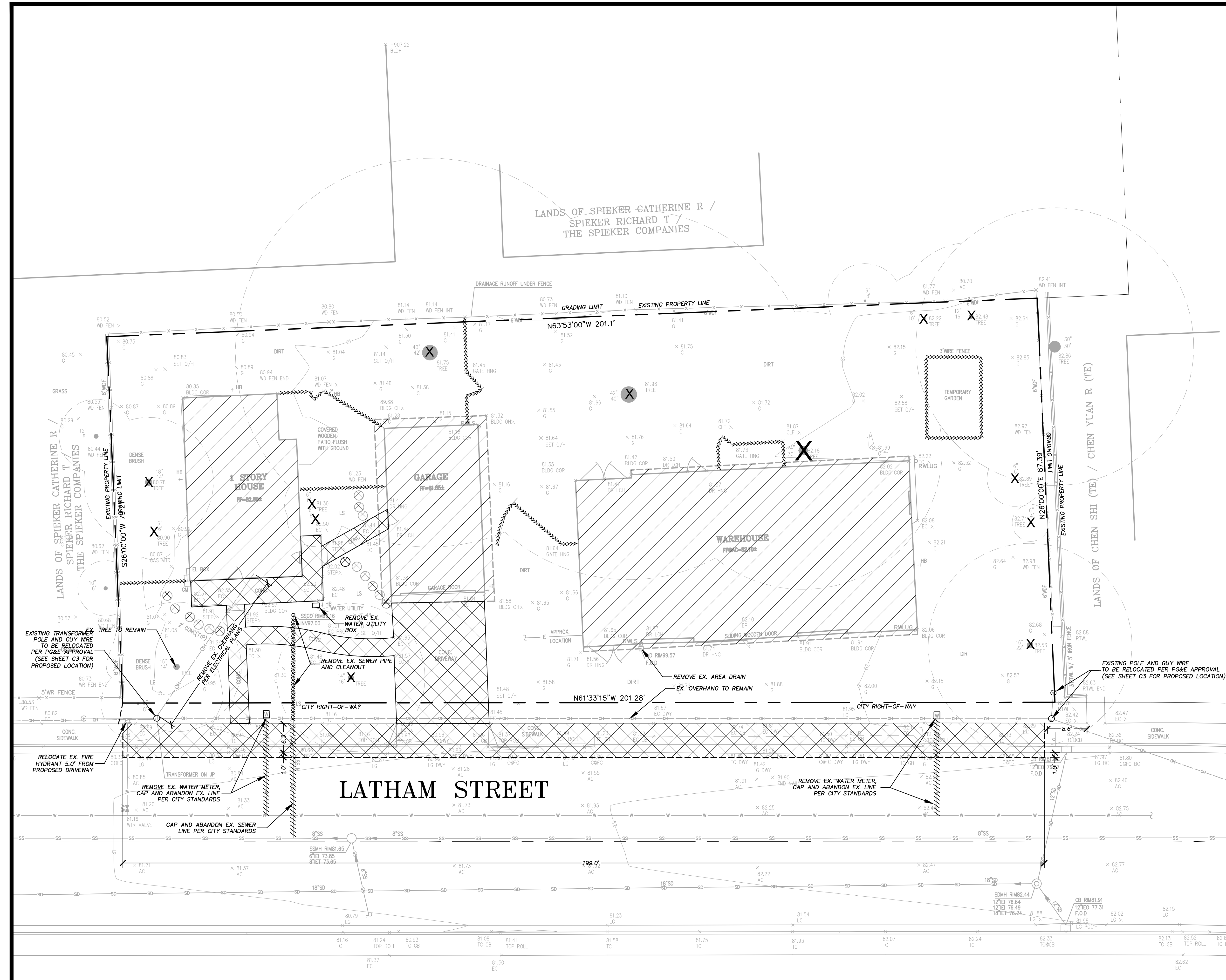
Date 1-14-2016  
Scale 1"=10'  
Drawn: AB/CR  
Checked: TM  
Job J14064  
Sheet  
C0.1

**DEMOLITION LEGEND**

-  REMOVE EXISTING PAVEMENT
-  REMOVE EXISTING STRUCTURE
-  REMOVE EXISTING TREE
-  REMOVE EXISTING CURB
-  REMOVE EXISTING FENCE
-  REMOVE EXISTING UNDERGROUND UTILITY
-  LIMIT OF SITE DEMOLITION, CLEARING AND GRADING
-  SAW CUT LINE
-  TEMPORARY CONSTRUCTION CHAIN LINK FENCE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- CB CATCH BASIN
- CO CLEAN OUT
- CONC. CONCRETE
- EX., EXIST. EXISTING

**NOTES**

1. ALL EXISTING UTILITIES WILL BE ABANDONED PER CITY STANDARDS.
2. ALL THE ON-SITE UTILITIES ARE TO BE A PRIVATELY MAINTAINED.



#	DESC.	DATE

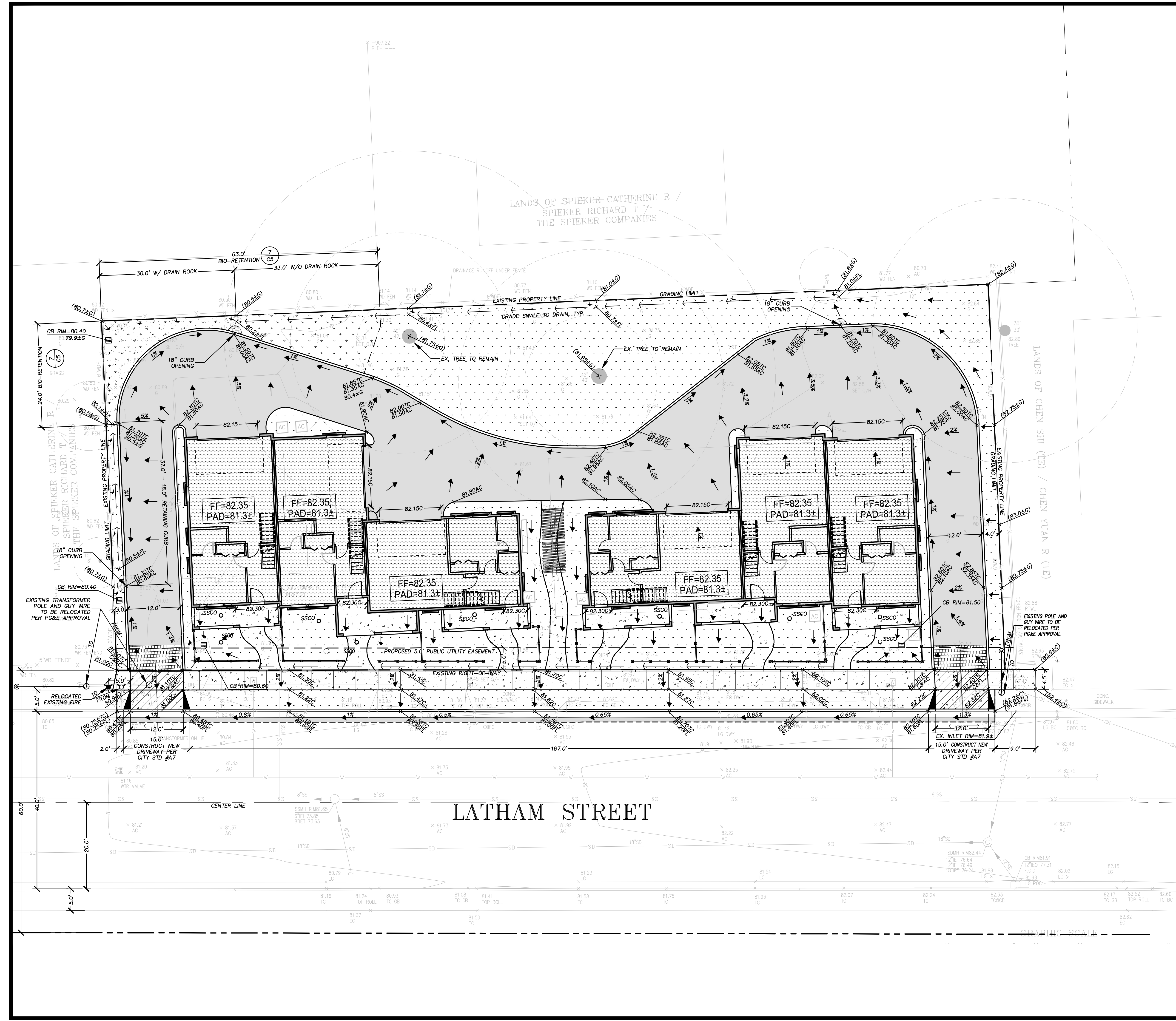
**UNDERWOOD & ROSENBLUM, INC.**  
 civil engineers and surveyors  
 1830 Oakford Road, Ste. A114, San Jose, Ca. 95131  
 Tel. No. (408) 451-1222  
 www.under.com

**U&R**

**MOUNTAIN VIEW 6-UNITS ROWHOUSE**  
 1958 LATHAM STREET  
 MOUNTAIN VIEW CALIFORNIA

Date 1-14-2016  
 Scale 1"=10'  
 Design By: VQ  
 Job J14064  
 Sheet





**GRADING & PAVING LEGEND**

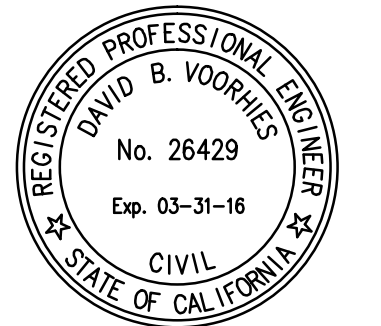
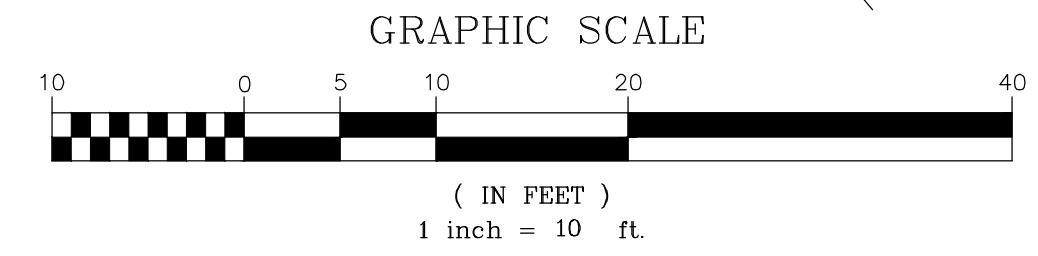
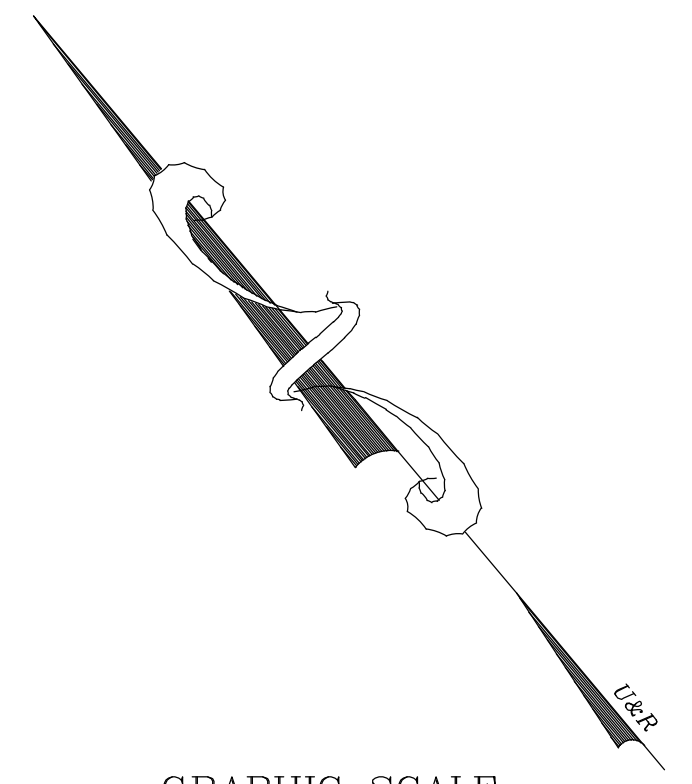
- NEW CONCRETE SLAB - THICKENED SECTION  
(6" REINFORCED PCC ON 6" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (90%))
- NEW CONCRETE SLAB  
(4" REINFORCED PCC ON 4" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (90%))
- 3" ON 6"**  
NEW AC PAVEMENT  
(3" AC ON 6" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (95%))
- BIO-RETENTION WITH & WITHOUT DRAIN ROCK
- STAMPED CONCRETE  
(SEE LANDSCAPE PLANS)
- LIMIT OF GRADING
- SAW CUT LINE
- DRAINAGE FLOW LINE
- GRADE BREAK LINE
- 99**  
FINISH GRADE CONTOUR
- AC  
ASPHALT CONCRETE
- AD  
AREA DRAIN
- C, PCC, CONC.  
PORTLAND CEMENT CONCRETE
- CB  
CATCH BASIN
- O  
CLEAN OUT TO GRADE
- EX, EXIST.  
EXISTING
- FF  
FINISH FLOOR
- FH  
FIRE HYDRANT
- FL  
FLOW LINE
- G  
GROUND
- GB  
GRADE BREAK
- JB  
JUNCTION BOX
- SDMH  
STORM DRAIN MAINTENANCE HOLE
- TC  
TOP OF CURB
- TYP.  
TYPICAL

**EARTHWORK QUANTITIES:**

QUANTITIES (CUBIC YARDS)

CUT:	169 CY
FILL:	162 CY (INCLUDES 15% SHRINKAGE)
EXPORT:	7 CY
IMPORT:	0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.



#	DESC.	REVISIONS	DATE

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civil engineers and surveyors  
1930 Oakland Road, Ste. A114, San Jose, Ca. 95131  
Tel. No. (408) 453-1222  
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**MOUNTAIN VIEW 6-UNITS ROWHOUSE**  
1958 LATHAM STREET  
MOUNTAIN VIEW CALIFORNIA

**GRADING AND PAVING PLAN**

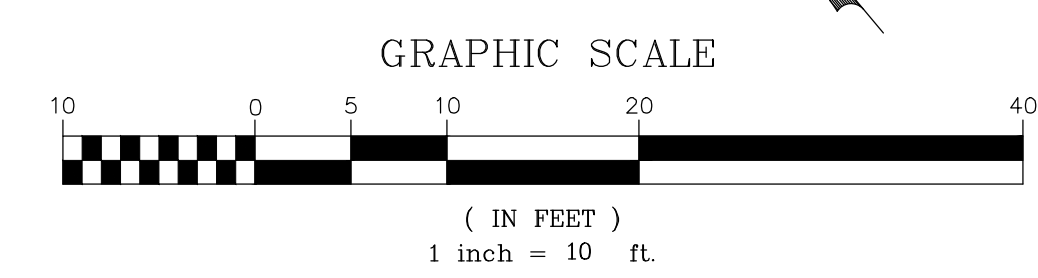
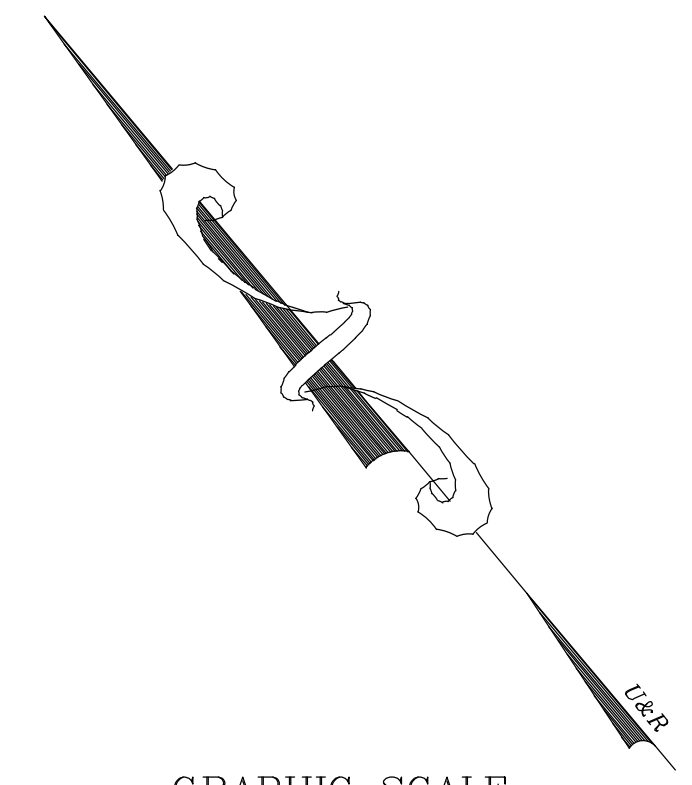
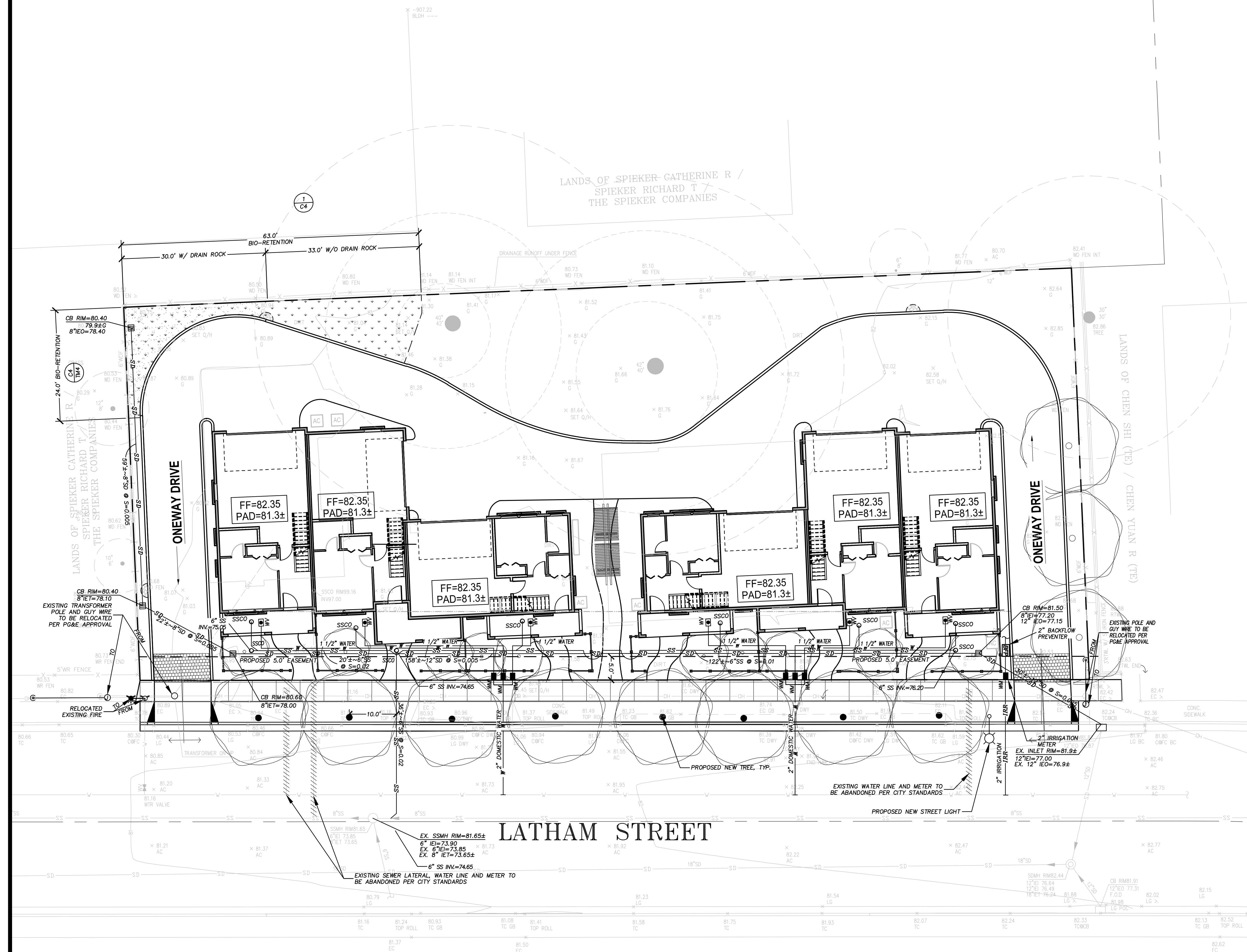
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**NOTES**

1. ALL EXISTING UTILITIES WILL BE ABANDONED PER CITY STANDARDS.
2. ALL THE ON-SITE UTILITIES ARE TO BE A PRIVATELY MAINTAINED.
3. STORM DRAIN INLETS SHALL BE LABELED "NO DUMPING, FLOWS TO BAY", IN ACCORDANCE WITH THE CITY'S STORM DRAIN INLET LABEL PROGRAM.

**PLUMBING LEGEND**

SD	NEW STORM DRAIN SIZE AND SLOPE AS INDICATED
SS	NEW SANITARY SEWER (SIZE AS INDICATED) S=0.01 UNLESS OTHERWISE INDICATED
W	NEW WATER LINE (SIZE AS INDICATED)
CB	CATCH BASIN
CO/6/SDCO/SSCO	CLEAN OUT TO GRADE
WV	WATER VALVE
WM	WATER METER
EX., EXIST.	EXISTING
FF	FINISH FLOOR
INV	INVERT ELEVATION
IEI	INVERT ELEVATION IN
IEO	INVERT ELEVATION OUT
IE/T	INVERT ELEVATION THROUGH
SS	SANITARY SEWER
SD	STORM DRAIN
TYP.	TYPICAL
W	WATER



DATE	
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#	DESC.

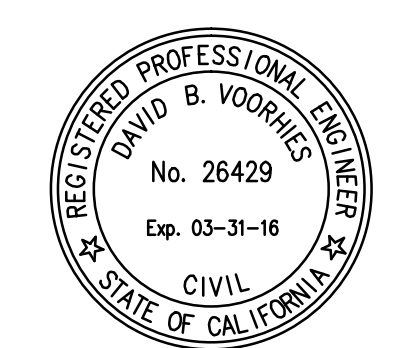
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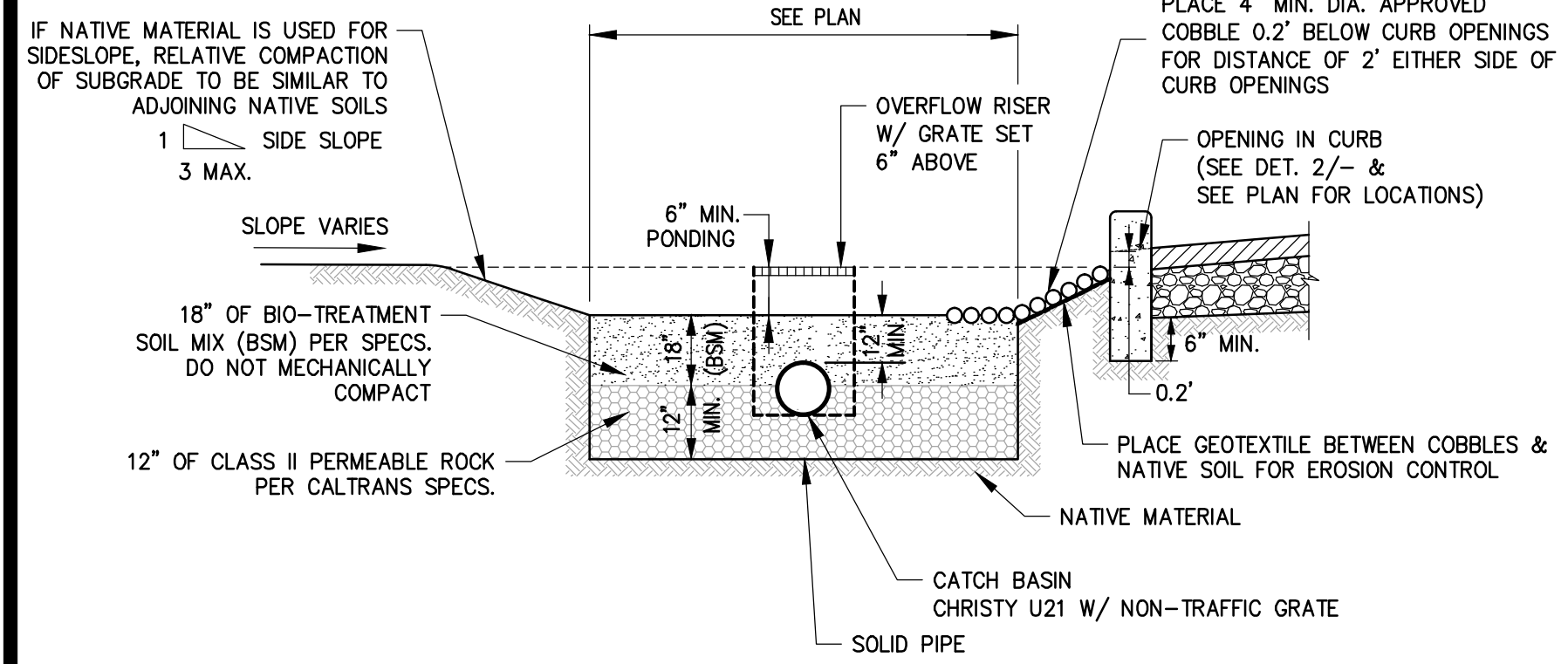
MOUNTAIN VIEW 6-UNITS  
ROWHOUSE  
1958 LATHAM STREET  
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UTILITY PLAN

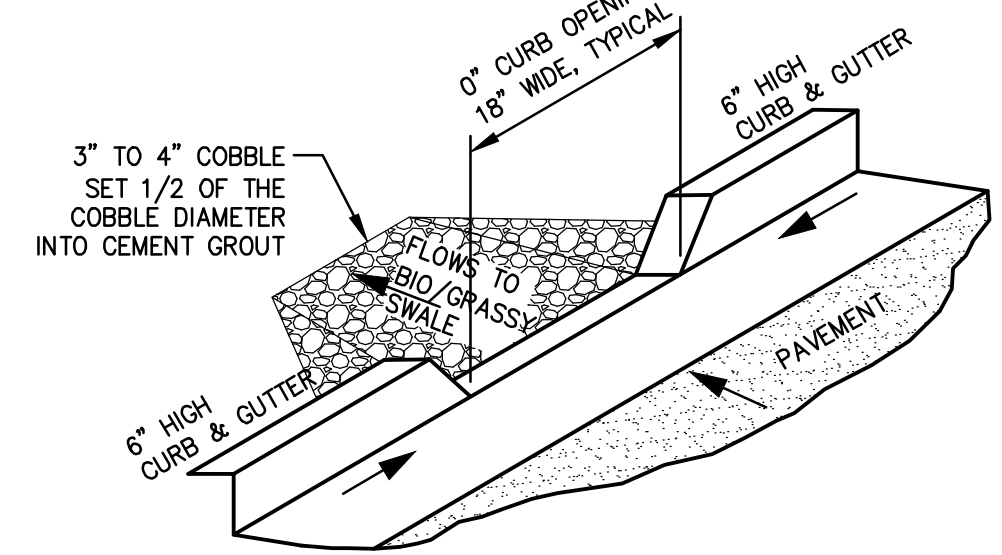
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**SOIL CONSIDERATIONS:**  
 BIORETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C.3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C3 HANDBOOK AT : [www.scvurppp-w2k.com/c3\\_handbook\\_2012.shtml](http://www.scvurppp-w2k.com/c3_handbook_2012.shtml)



**1 BIO-RETENTION DETAIL**  
NTS



**2 CURB OPENING DETAIL**  
NTS

- LANDSCAPE (SEE LANDSCAPE PLANS)
- BIO-RETENTION WITH & WITHOUT DRAIN ROCK
- CONCRETE AT WALKWAY / PATIO
- AC PAVEMENT
- CONCRETE CURB

Sizing Volume-Based Treatment Measures Based on the Adapter CASQA Stormwater BMP Handbook Approach:

AREA A : CALCULATON  
 A = Site Area = 16,751 0.385 Acres  
 Amount of Impervious Surfaces in Watershed = 16,751 0.385 Acres

$i$  = amount of impervious area/drainage area = 1.00 (0-1)  
 Percent Impervious = 100 %

Annual Mean Precipitation at Site MAP site = 14.00  
 Map Gage = San Jose = 13.10  
 Rain Gage Correction = MAP site / MAP gage = 1.07

Soil Type  
 Clay Sandy Clay (D) Clay Loam (D) Silt Loam/Loam (B) Sandy Clay

Average Slope = 2 %  
 Figure 2A Unit Basin Volume for 80% Capture (1%) = 0.58 "  
 Figure 3A Unit Basin Volume for 80% Capture (15%) = 0.60 "  
 Unit Basin Storage for 2% Slope (UBSx) = 0.58 "  
 UBSx = UBSx 1% + (UBSx 15% - UBSx 1%) \* (x%-1%)/(15%-1%)

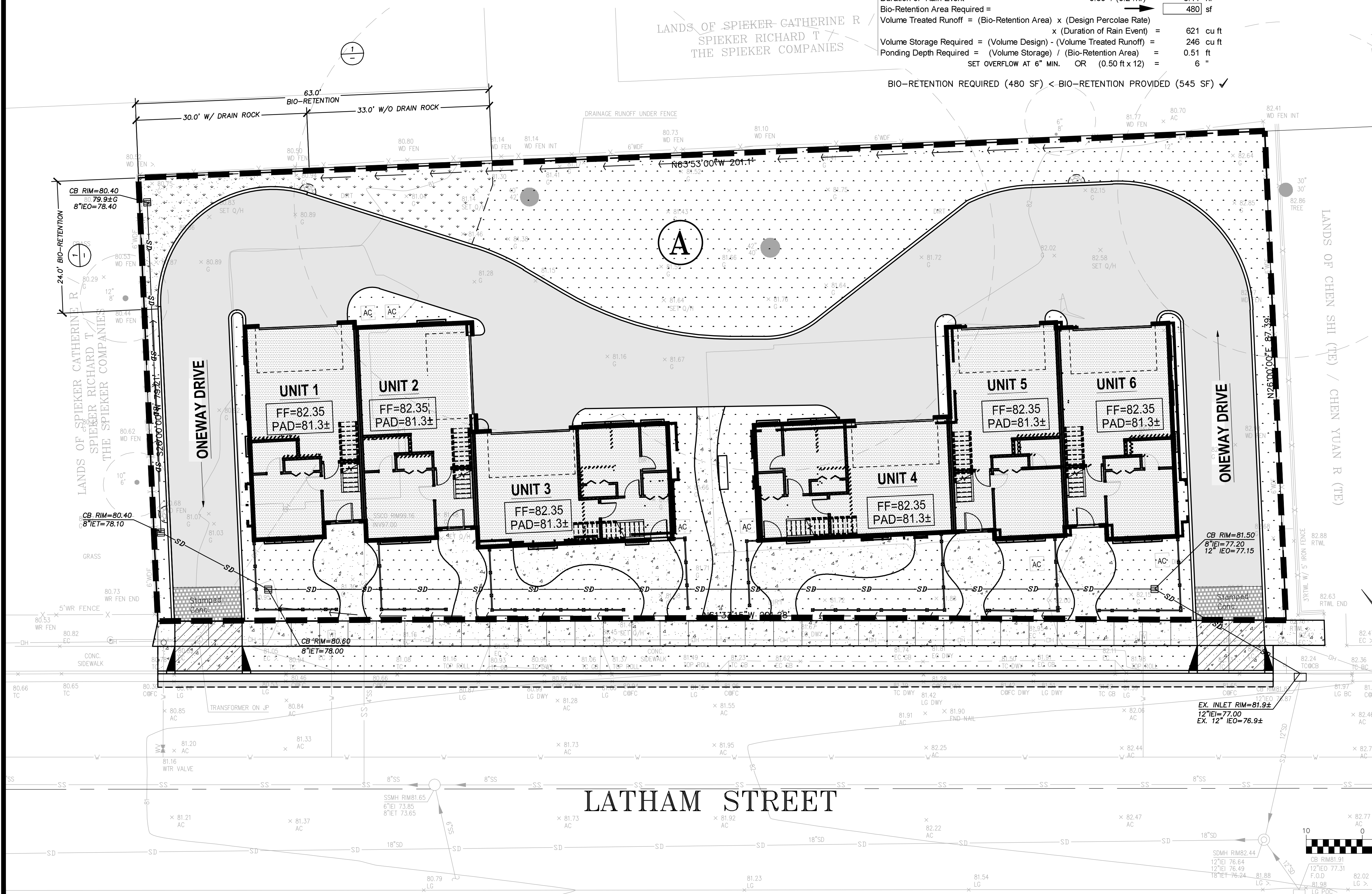
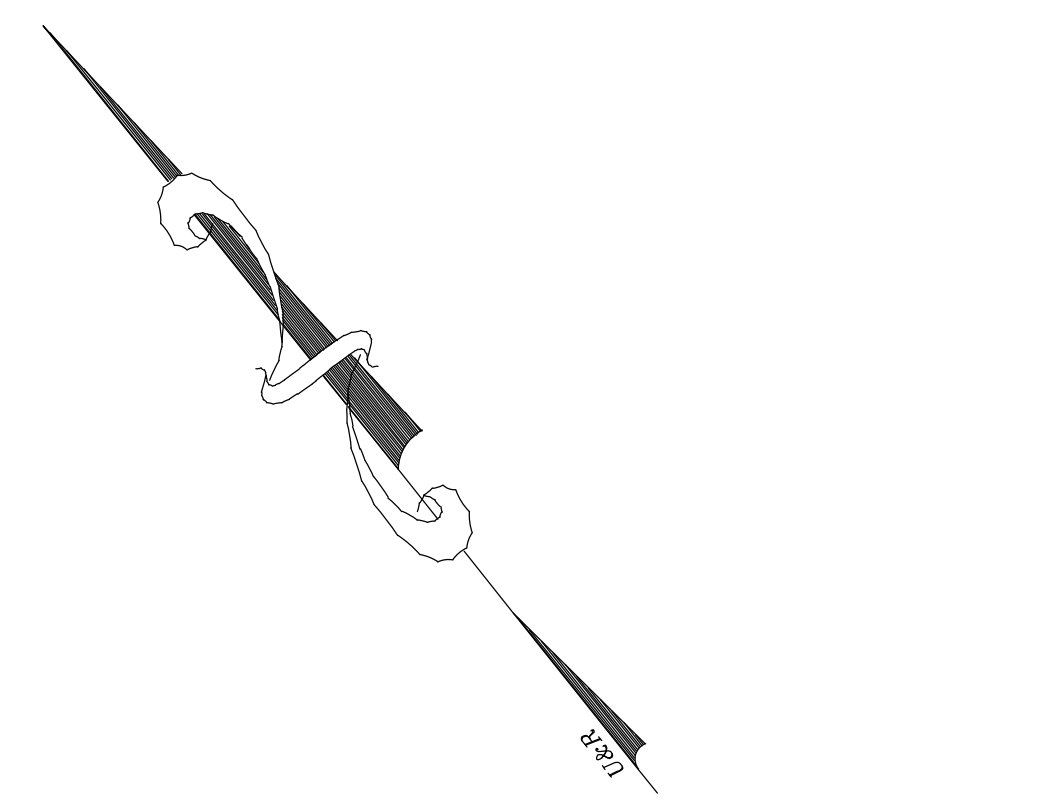
Design Volume = (Rain Gage Correction Factor) x (Unit Basin Storage Volume) x (Drainage Area) = 0.020 Acre ft = 867 cu ft  
 OR (0.034 acre ft x 43,560 sf/acre) = 867 cu ft

Combination Flow and Volume Sizing:  
 Design Percolate Rate = 5 "/hr  
 Adjusted Basin Storage Volume = 10.8 x 0.58" = 0.62 "  
 Rainfall Intensity = 0.2 "/hr  
 Duration of Rain Event = 0.60" / (0.2"/hr) = 3.11 hr  
 Bio-Retention Area Required = 480 sf  
 Volume Treated Runoff = (Bio-Retention Area) x (Design Percolate Rate) x (Duration of Rain Event) = 621 cu ft  
 Volume Storage Required = (Volume Design) - (Volume Treated Runoff) = 246 cu ft  
 Ponding Depth Required = (Volume Storage) / (Bio-Retention Area) = 0.51 ft = 6 "  
 SET OVERFLOW AT 6" MIN. OR (0.50 ft x 12) = 6 "

BIO-RETENTION REQUIRED (480 SF) < BIO-RETENTION PROVIDED (545 SF) ✓

BIORETENTION SIZING							
ID AREA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)	4% OF THE CONTRIBUTING IMPERVIOUS AREA	TREATMENT DEVICE	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
A	9,656	7,095	16,751	4%	BIO-RETENTION	386	545
<b>TOTAL AREA</b>	<b>9,656</b>	<b>7,095</b>	<b>16,751</b>			<b>386</b>	<b>545</b>

PERVIOUS/IMPERVIOUS SITE	
EXISTING	
PERVIOUS	11,034
IMPERVIOUS	5,717
<b>TOTAL</b>	<b>16,751</b>
PROPOSED	
PERVIOUS	7,095
IMPERVIOUS	9,656
<b>TOTAL</b>	<b>16,751</b>



a. Total Site Area: 16,751 SF = 0.385 acres  
 b. Total Site Area Disturbed: 16,751 SF = 0.385 acre (including clearing, grading, or excavating)

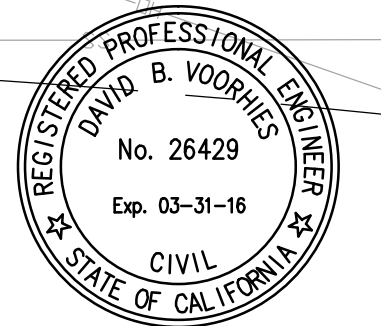
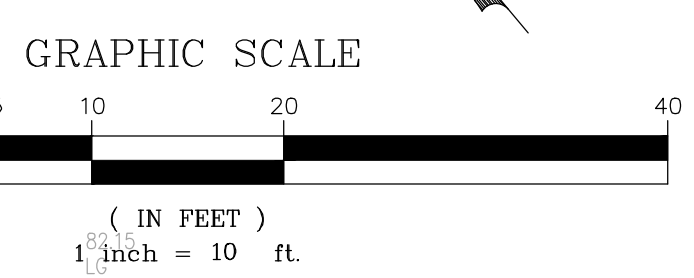
	Existing Area (ft²)	Proposed Area (ft²)		Total Post-Project Area (ft²)
		Replaced	New	
<b>Impervious Area</b>				
Roof	4676	4,516	0	4,516
Parking	562	5,140	0	5,140
Sidewalks and Streets	479	0	0	0
<b>c. Total Impervious Area</b>	<b>5,717</b>	<b>0</b>	<b>0</b>	<b>9,656</b>
<b>d. Total new and replaced impervious area</b>			<b>9,656</b>	
<b>Pervious Area</b>				
Landscaping	11,271	7,095	0	7,095
Grass Cell Pavers	0	0	0	0
Other (e.g. Green Roof)	0	0	0	0
<b>e. Total Pervious Area</b>	<b>11,271</b>	<b>7,095</b>	<b>0</b>	<b>7,095</b>
<b>f. Percent Replacement of Impervious Area in Redevelopment Projects (Replaced Total Impervious Area + Existing Total Impervious Area) x 100% =</b>	<b>0%</b>			

**STORM WATER CALCULATIONS**

PRE AND POST DEVELOPMENT RUN-OFF CALCULATIONS:  
 \* USE RATIONAL METHOD: Q=CIA  
 \* USE SANTA CLARA COUNTY DRAINAGE MANUAL (2007)  
 \* DESIGN FOR A 10-YEAR STORM EVENT  
 \* RAINFALL INTENSITY (i) = 1.50 IN/HR  
 \* TOTAL AREA = 16,751 (0.385± ACRE)  
 \* C COEFFICIENT<sub>Turban open space</sub> = 0.1  
 \* C COEFFICIENT<sub>Impervious surface</sub> = 0.85  
 \* EXISTING IMPERVIOUS AREA = 11,034 SQ FT (0.253± ACRE)  
 \* EXISTING IMPERVIOUS AREA = 5,717 SQ FT (0.131± ACRE)  
 \* PROPOSED IMPERVIOUS AREA = 7,095 SQ FT (0.163± ACRES)  
 \* PROPOSED IMPERVIOUS AREA = 9,656 SQ FT (0.222± ACRES)

\* C COEFFICIENT<sub>Pre</sub> = (0.1 x 0.253) + (0.85 x 0.131)/0.385 = 0.35  
 \* C COEFFICIENT<sub>Post</sub> = (0.1 x 0.163) + (0.85 x 0.222)/0.385 = 0.53

\* Q<sub>Pre</sub> = CIA = 0.35\*1.50\*0.385 = 0.202 CFS  
 \* Q<sub>Post</sub> = CIA = 0.53\*1.50\*0.385 = 0.306 CFS  
 \* Q<sub>Diff</sub> = Q<sub>Post</sub> - Q<sub>Pre</sub> = 0.306 CFS - 0.202 CFS = 0.104 CFS



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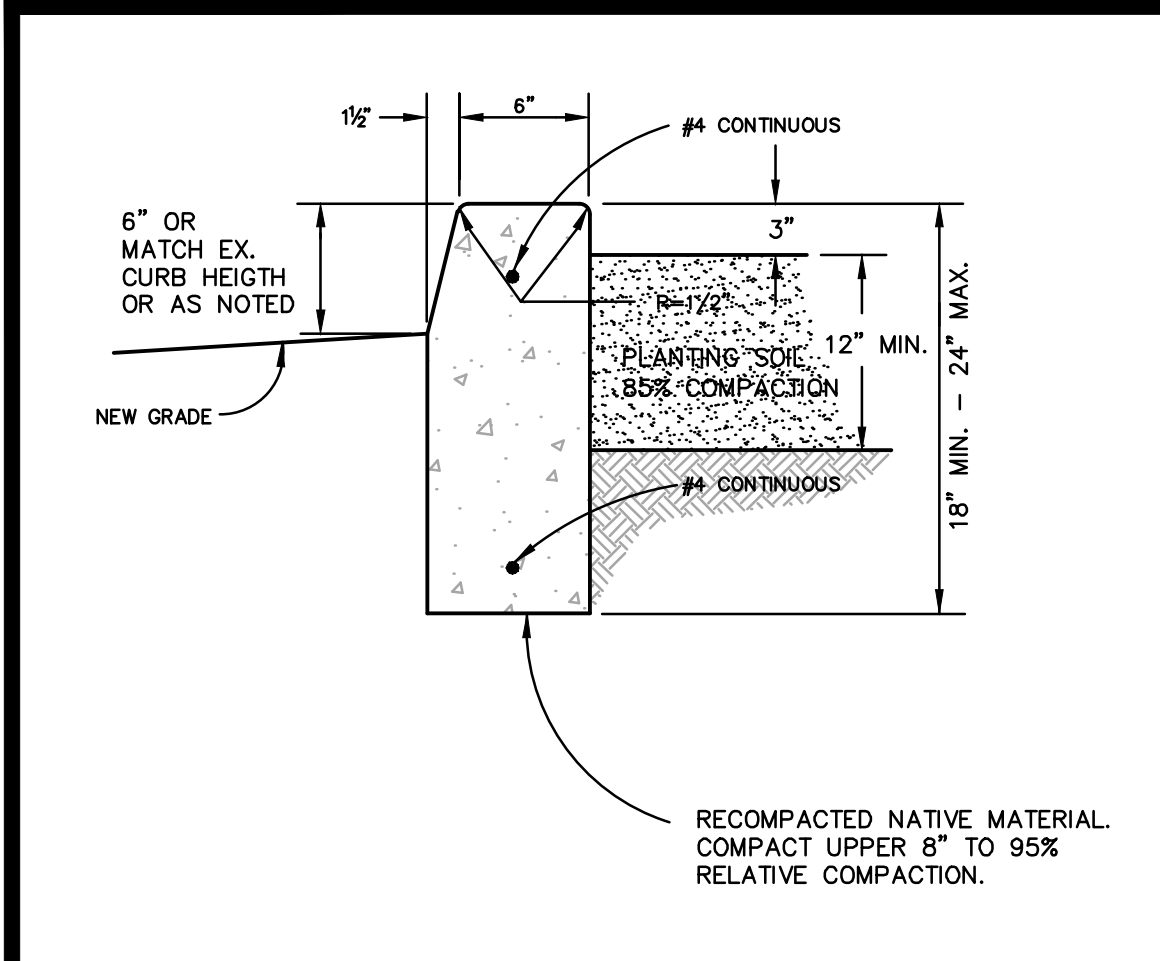
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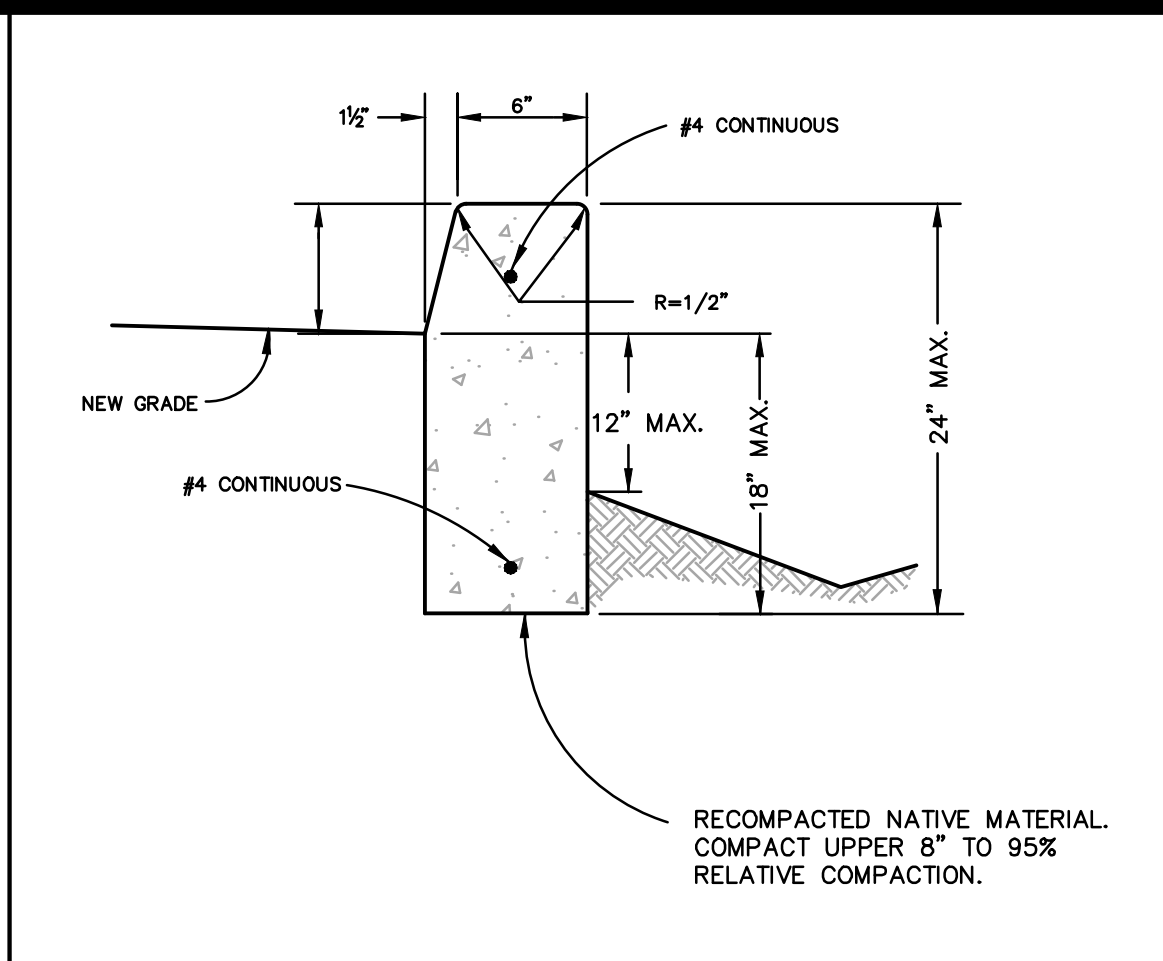
MOUNTAIN VIEW 6-UNITS ROWHOUSE  
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STORMWATER TREATMENT

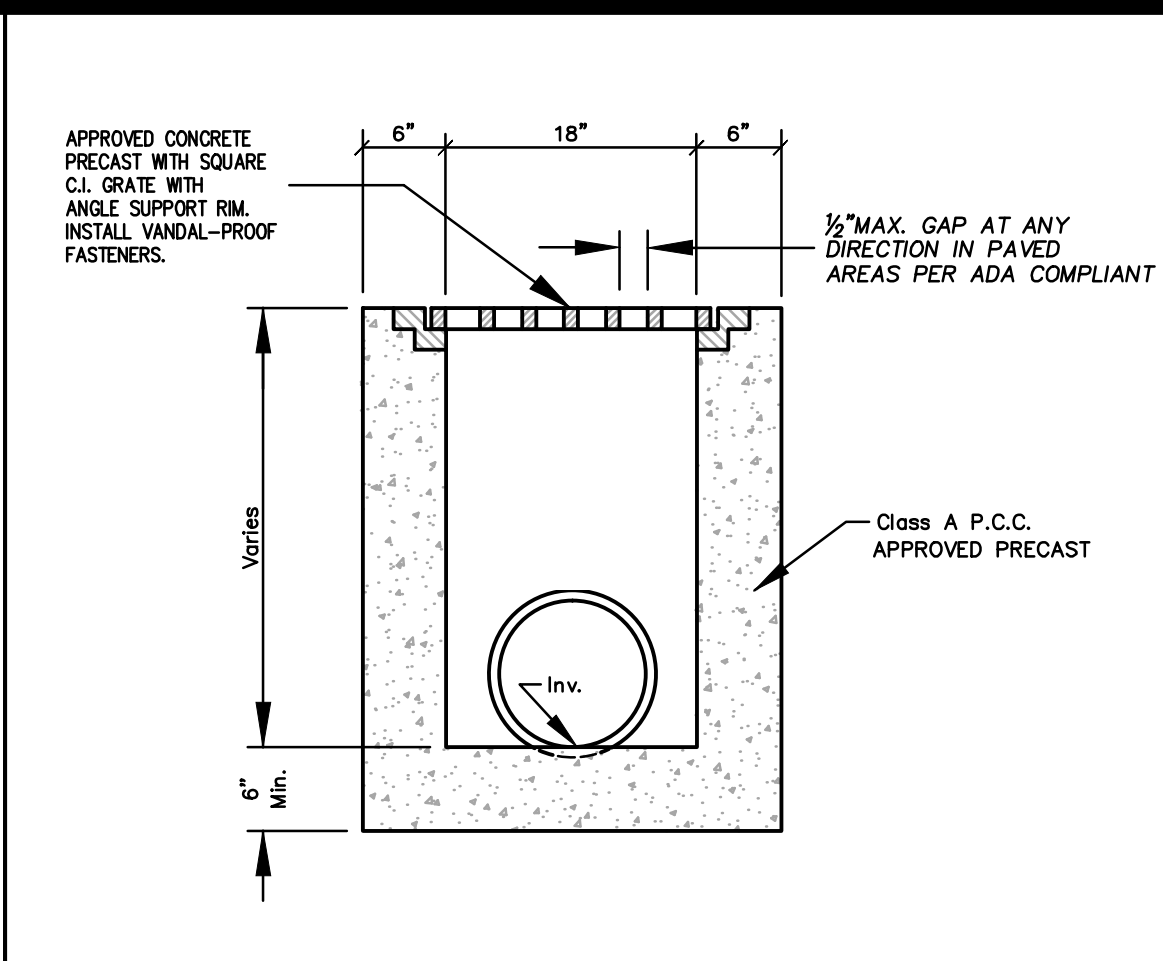
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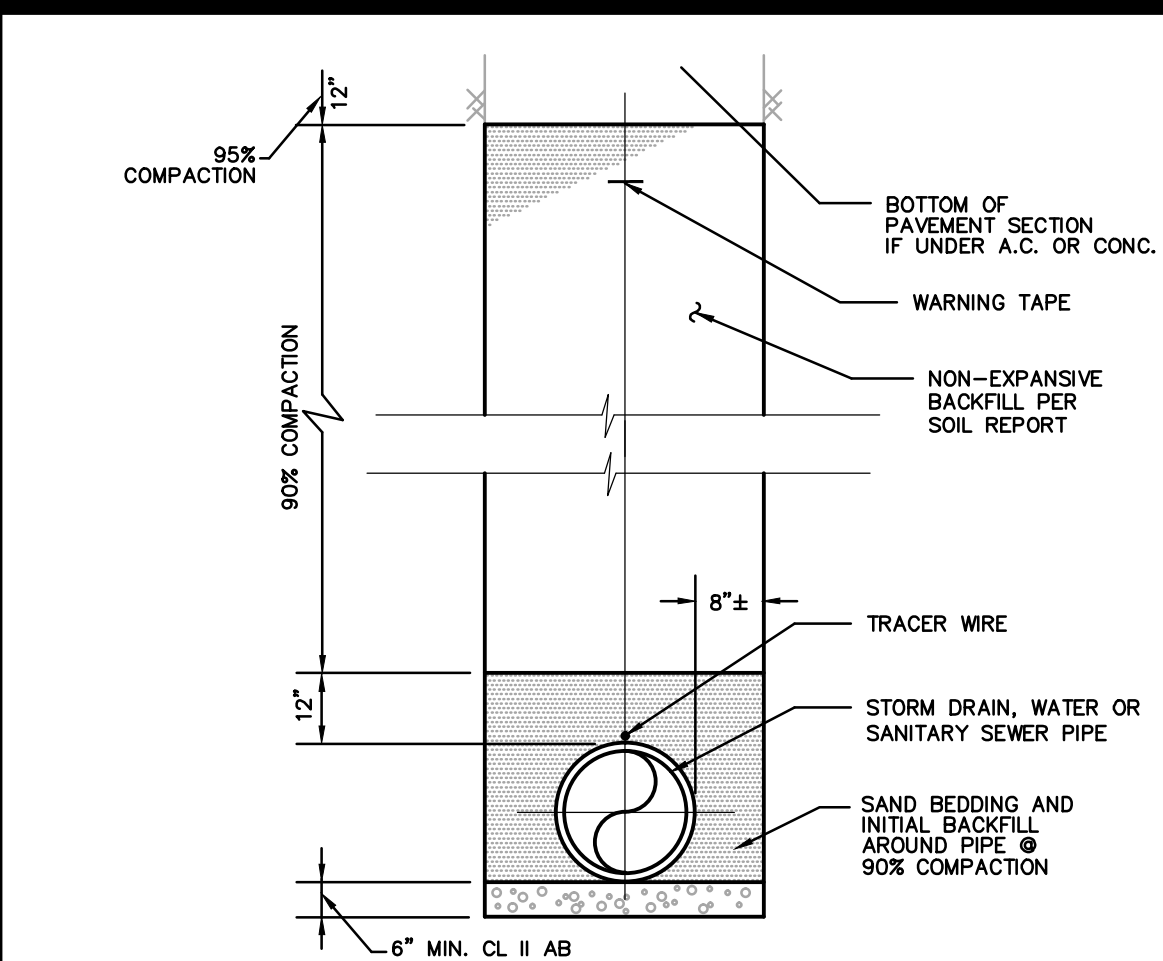
1 VERTICAL CURB DETAIL N.T.S.



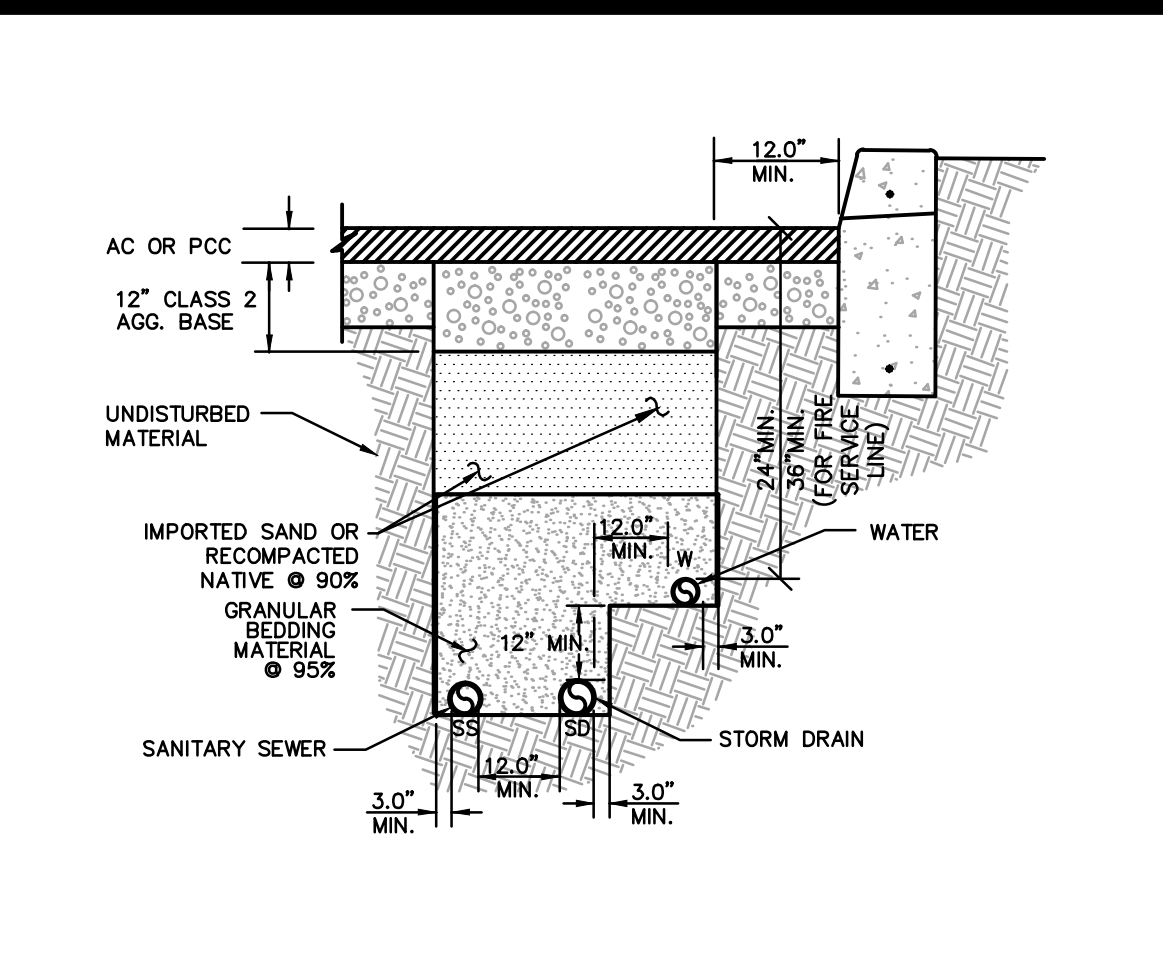
2 18" RETAINING CURB N.T.S.



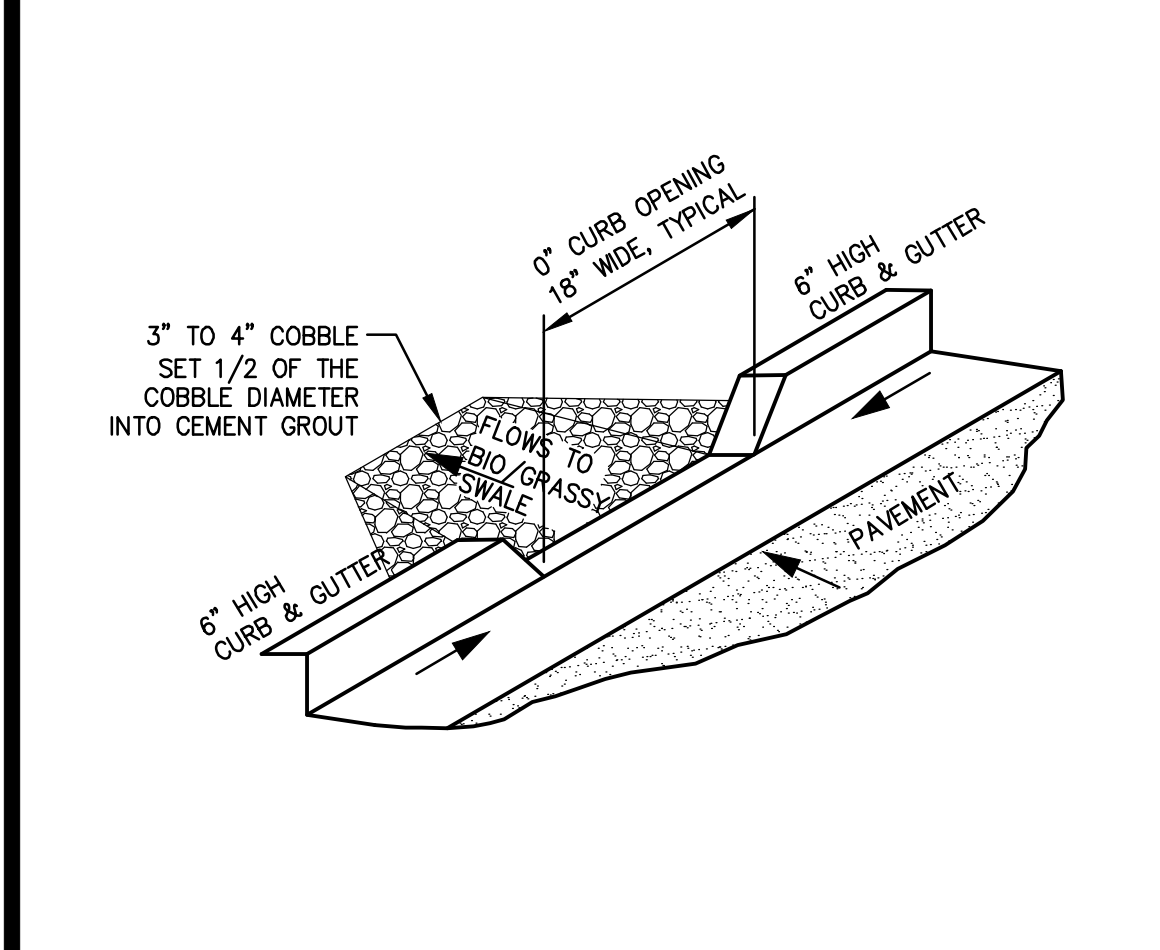
3 CATCH BASIN N.T.S.



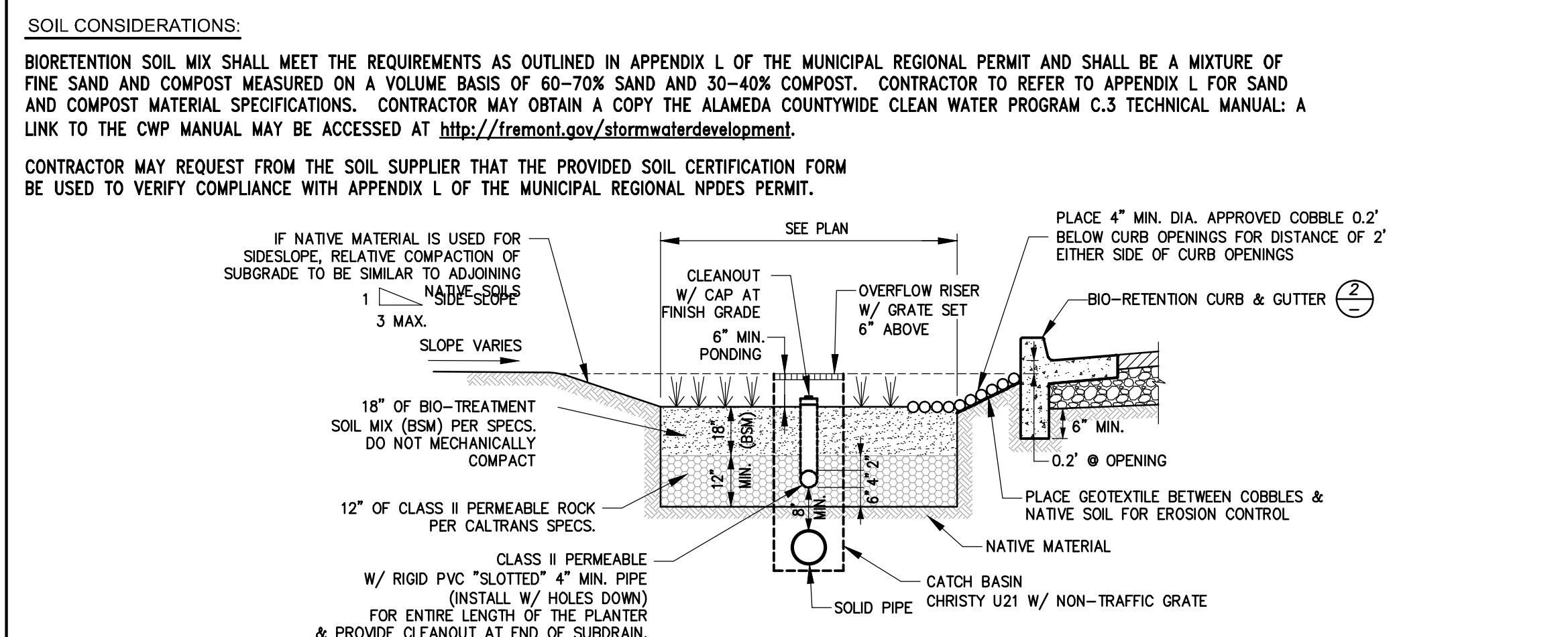
4 TRENCH BACKFILL DETAIL N.T.S.



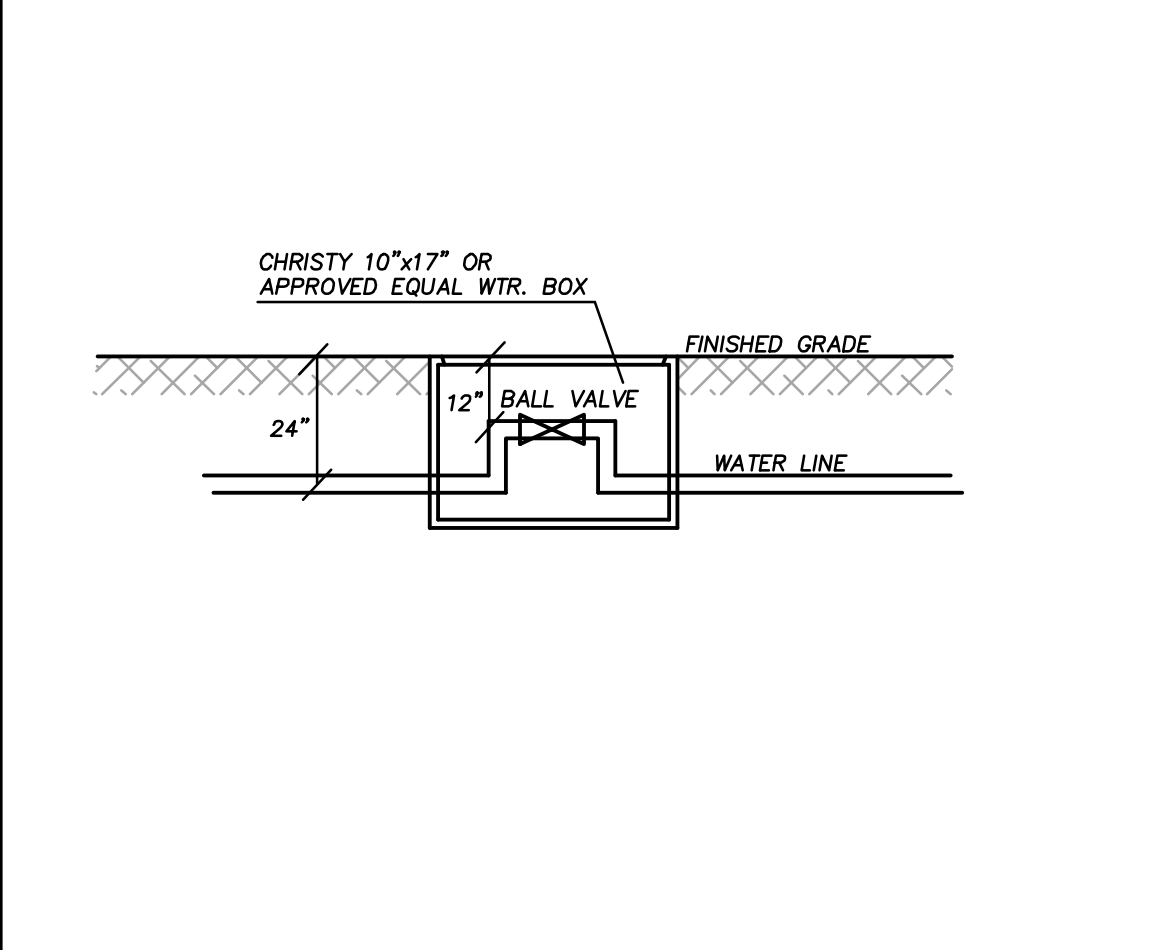
5 JOINT TRENCH DETAIL N.T.S.



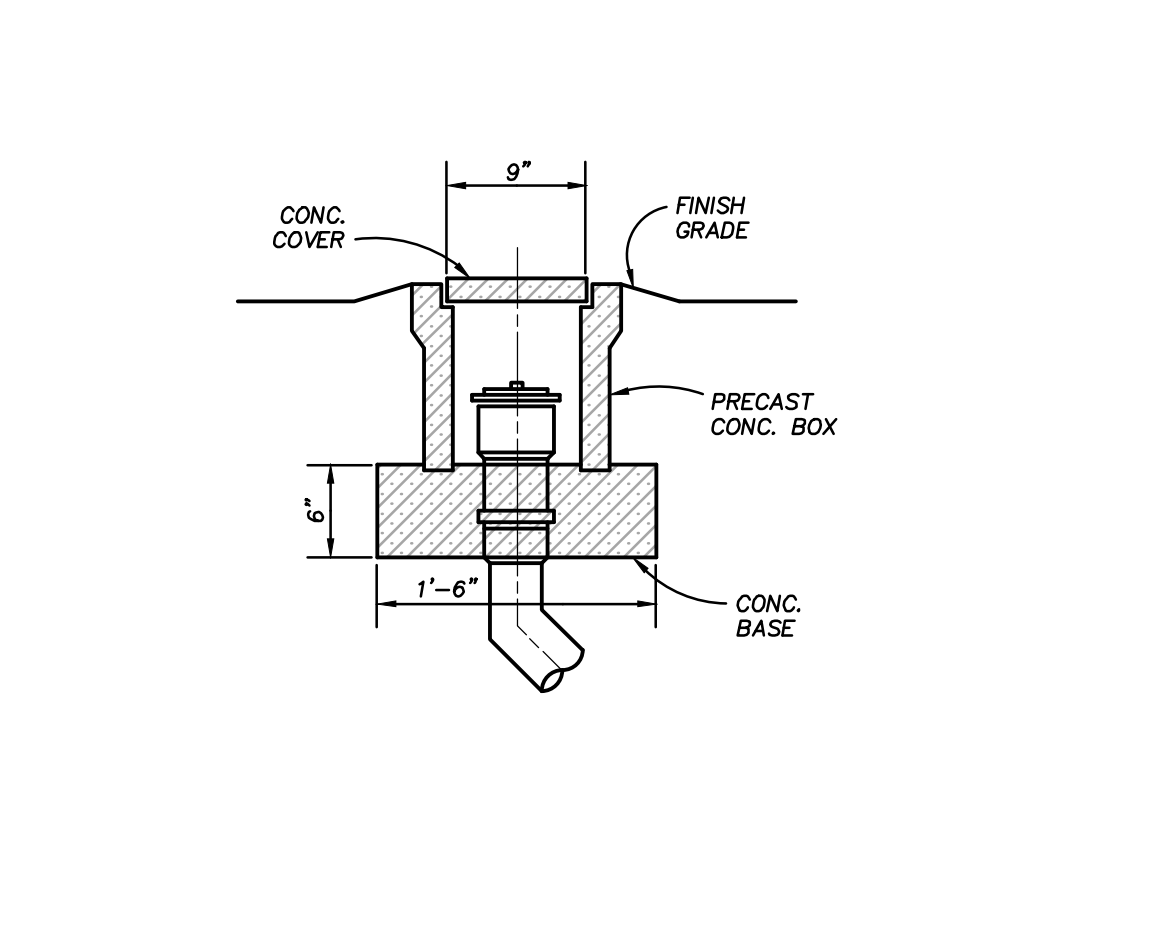
6 CURB OPENING N.T.S.



7 BIO-RETENTION DETAIL - INFILTRATION ALLOWED N.T.S.



8 WATER VALVE BOX INSTALLATION DETAIL N.T.S.



9 GRADE CLEANOUT N.T.S.

**SOIL CONSIDERATIONS:**  
 BIORETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX L OF THE MUNICIPAL REGIONAL PERMIT AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX L FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM C.3 TECHNICAL MANUAL: A LINK TO THE CWP MANUAL MAY BE ACCESSED AT <http://fremont.gov/stormwaterdevelopment>.  
 CONTRACTOR MAY REQUEST FROM THE SOIL SUPPLIER THAT THE PROVIDED SOIL CERTIFICATION FORM BE USED TO VERIFY COMPLIANCE WITH APPENDIX L OF THE MUNICIPAL REGIONAL NPDES PERMIT.

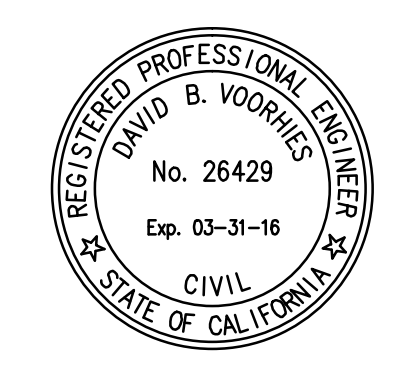
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 1958 LATHAM STREET  
 MOUNTAIN VIEW CALIFORNIA

DETAILS

Date 1-14-2016  
 No Scale  
 Design By: VQ  
 Job J14064  
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**EROSION CONTROL NOTES**

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL THE SEDIMENT DURING THE RAINY EVENTS, AFTER ROUGH GRADING HAS BEEN COMPLETED. MEASURES ARE TO BE OPERABLE PRIOR TO RAIN EVENTS OF ANY YEAR. GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS REQUIRED.
  - STRAW BALE DIKE, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS ARE TO BE MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO WITHIN ONE FOOT OF OUTLET ELEVATION.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- DURING THE RAINY EVENTS, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONSTRUCTION ENTRANCE CONSISTING OF AN 8" THICK LAYER OF 2"-3" COARSE DRAIN ROCK FOR A DISTANCE OF 50 FEET IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE DIRECTOR OF PUBLIC WORKS.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RE-SUBMITTED FOR CITY APPROVAL PRIOR TO THE SEPTEMBER FIRST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
- ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY OR DAILY DURING THE RAINY EVENTS.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVER BANK FLOW.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE CITY.
- ALL NEW ON-SITE DRAINS IN EXISTING OR PROPOSED AC PAVEMENT AREAS SHALL BE FITTED WITH A "FOSSIL FILTER FLOGARD" SYSTEM IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

DATE	REVISIONS	#	DESC.

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**EROSION CONTROL PLAN**

Date 1-14-2016  
 Scale 1"=10'  
 Design By: VQ  
 Job J14064  
 Sheet

C6

