

# 334 SAN ANTONIO ROAD MOUNTAIN VIEW, CA

## FORMAL PLANNING APPLICATION



### PROJECT DESCRIPTION:

The proposed project at 334 San Antonio Road is a 100-unit, affordable housing development located at the corner of San Antonio Road and California Street in Mountain View. The project will provide a mix of one, two, and three-bedroom apartment units in a C-shaped building that wraps around an at-grade secured courtyard. The courtyard fronts California Street, providing visibility between the private and public realm for connectivity to the neighborhood. It includes outdoor amenities, such as a play area and lounging spaces, and has direct connectivity to the community room so that activities can spill out from that space.

Consistent with the San Antonio Precise Plan, active indoor spaces, including the resident amenity areas lobbies, leasing offices, mail, and secured bike room have been located on the San Antonio Road frontage with storefront glazing to enhance the pedestrian environment. A taller plate height will be provided at the ground floor to further the sense of a commercial aesthetic. Entry canopies define each main entry, enhancing the pedestrian scale of building base. The two- and three-story plinth grounds the building through a change of plane and color blocking to further accentuate the sense of building base that relates to the pedestrian realm. At these levels, windows are recessed to further differentiate this plinth from the upper levels.

The building is five stories of Type IIIA construction over three stories of Type IA construction, for a total of 8 stories. The massing has been designed to give the building a sense of base, which balances out the height of the structure. All sides of the architecture will be articulated with changes in plane and color blocking.

A variety of parapet heights surround the flat roof and articulate the skyline, which is a style consistent with the neighborhood context and provides a place for solar and mechanical equipment to be concealed.

As the site falls within half of a mile of major transit, access to alternate means of transportation is very convenient for residents. A ground-level garage is provided on the west side of the building that will accommodate approximately 16 parking stalls. Vehicular access to the garage is proposed at the location of a current driveway entrance to the existing gas station on California Street. The building will also provide 100 secured bike storage spaces for the residents that will include charging capability for electric bikes and scooters. Outdoor guest bike parking will be provided.

The building will be designed to comply with the California Building Code including Chapter 11B insofar as it is applicable to this project. The project will be all electric, designed with solar PV, and will comply with all other applicable California Codes, including the California Energy Code, and the California Green Building Code. The project will also comply with the Mountain View Green Building Code and LEED intent.

As of August 2023, the site's use is commercial. Onsite operations consist of the sale of fuel and convenience store items and auto repair with asphalt-paved parking areas, concrete-paved parking areas, limited landscaping, and one fuel canopy, four fuel islands, and eight pump dispensers. The subject property is currently occupied by Valero for commercial use. Hours of operation for the convenience store are 5:40am-11:00pm daily; the auto shop is open 8:00am-6:00pm Monday through Saturday and is closed on Sundays. Currently, there are four active underground storage tanks (USTs) located on the eastern portion of the subject property that will be excavated prior to construction.

Sidewalks and streets surrounding the site will be revised per City standards as shown in the drawing set. For more information on offsite improvements, please refer to the Civil sheets.

There are no requested approvals under the Subdivision Map Act, including, but not limited to, a parcel map, or a condominium map.

### PROJECT TEAM INFO:

**DEVELOPER:**  
CRP Affordable Housing and Community Development  
4429 Morena Blvd., Suite A  
San Diego, CA 92117  
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5865 Owens Drive  
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**LANDSCAPE:**  
vanderToolen Associates  
855 Bordeaux Way, Suite 240  
Napa, CA 94558  
Phone: (707) 224-2299  
Contact: Phil vanderToolen  
phil@vandertoolen.com

**APPLICANT:**  
SMR Development  
Phone: (406) 531-0401  
Contact: Shellan Rodriguez  
shellan@smrdevelopment.com

**CIVIL:**  
BKF Engineers  
1730 N. First Street, Suite 600  
San Jose, CA 95112  
Phone: (408) 467-9100  
Contact: Joey Bernardi  
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### REVISIONS:

04/05/2024	SECOND PLANNING DEPARTMENT SUBMITTAL
06/13/2024	THIRD PLANNING DEPARTMENT SUBMITTAL
07/19/2024	FOURTH PLANNING DEPARTMENT SUBMITTAL
10/04/2024	FIFTH PLANNING DEPARTMENT SUBMITTAL

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### VICINITY MAP



**PROJECT LOCATION:**  
334 SAN ANTONIO ROAD





### PROPOSED TREE LEGEND

TREES	BOTANICAL NAME COMMON NAME	CONT	WATER USE	QTY
	ACER PLATANOIDES 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	24"BOX	MOD	3
	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	36"BOX	MOD	4
	ACER X FREEMANII 'JEFFERSRED' AUTUMN BLAZES FREEMAN MAPLE	36"BOX	MOD	3
	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA' OKLAHOMA TEXAS REDBUD	24"BOX	MOD	3
	PRUNUS CAROLINIANA 'COMPACTA' COMPACT CAROLINA LAUREL CHERRY	15 GAL	LOW	16
	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	48"BOX	LOW	1
	EXISTING TREE	N/A	N/A	

### PROPOSED SHRUB LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	NATIVE/ADAPTIVE	QTY
	AZALEA RUTHERFORDIANA 'ALASKA'	ALASKA AZALEA	5 GAL	MOD	ADAPTIVE	8
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	LOW	NATIVE	250
	CARPENTERIA CALIFORNICA 'ELIZABETH'	BUSH ANEMONE	5 GAL	MOD	NATIVE	5
	CHONDRPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	LOW	ADAPTIVE	36
	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	LOW	ADAPTIVE	18
	DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	MOD	ADAPTIVE	29
	GALVEZIA SPECIOSA 'FIRECRACKER'	FIRECRACKER ISLAND SNAPDRAGON	5 GAL	LOW	NATIVE	15
	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL	MOD	NATIVE	91
	JUNCUS PATENS 'ELK BLUE'	CALIFORNIA GRAY RUSH	1 GAL	LOW	NATIVE	111
	LIRIOPE MUSCARI 'SILVERY SUNPROOF'	SILVERY SUNPROOF LILYTURF	1 GAL	MOD	ADAPTIVE	58
	PODOCARPUS MACROPHYLLUS 'MAKI'	MAKI SHRUBBY YEW	15 GAL	MOD	ADAPTIVE	12
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	MOD	NATIVE	27
	SARCOCOCCA HOOKERIANA HUMILIS 'FRAGRANT MOUNTAIN'	FRAGRANT MOUNTAIN SWEETBOX	5 GAL	LOW	ADAPTIVE	9
	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	MOD	NATIVE	22

TOTAL NATIVE PLANTINGS 75%

### SETBACK NOTES

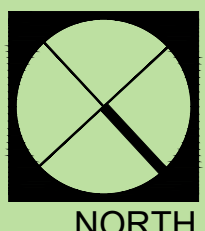
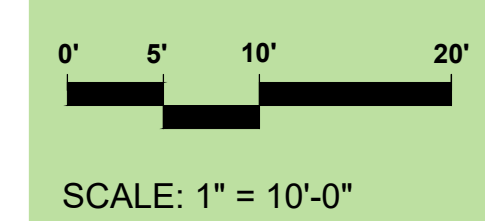
TYPICAL TREE SETBACKS:

- 5'-0" FROM WATER METERS AND JOINT TRENCH
- 10'-0" FROM SANITARY SEWER LINES
- 15'-0" FROM STREETLIGHT

**334 SAN ANTONIO ROAD**  
Mountain View, California

**LANDSCAPE PLAN**  
CONCEPTUAL PHASE  
OCTOBER 4, 2024

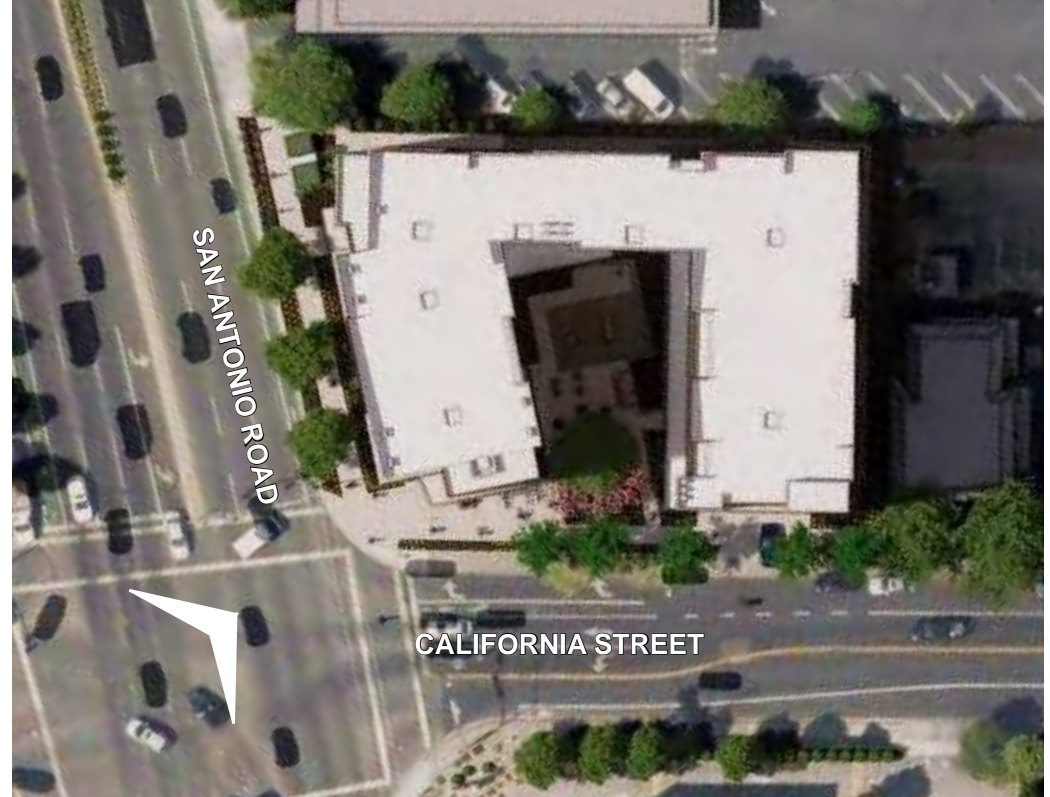
vanderToolen Associates  
700 Ygnacio Valley Rd.  
Suite 100  
Walnut Creek, CA 94596  
tel: 925.274.1305  
www.vandertoolen.com



**L-1**  
Project No. 05123



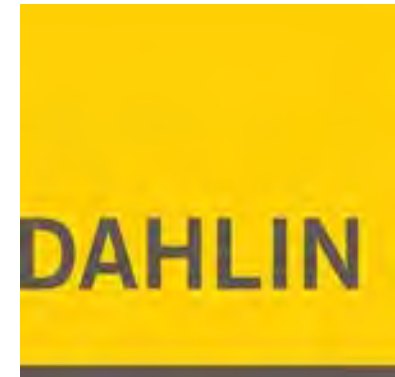
KEYPLAN



PERSPECTIVE VIEW:  
SAN ANTONIO ROAD  
(EAST) ELEVATION

NOT TO SCALE (N.T.S.)

334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT

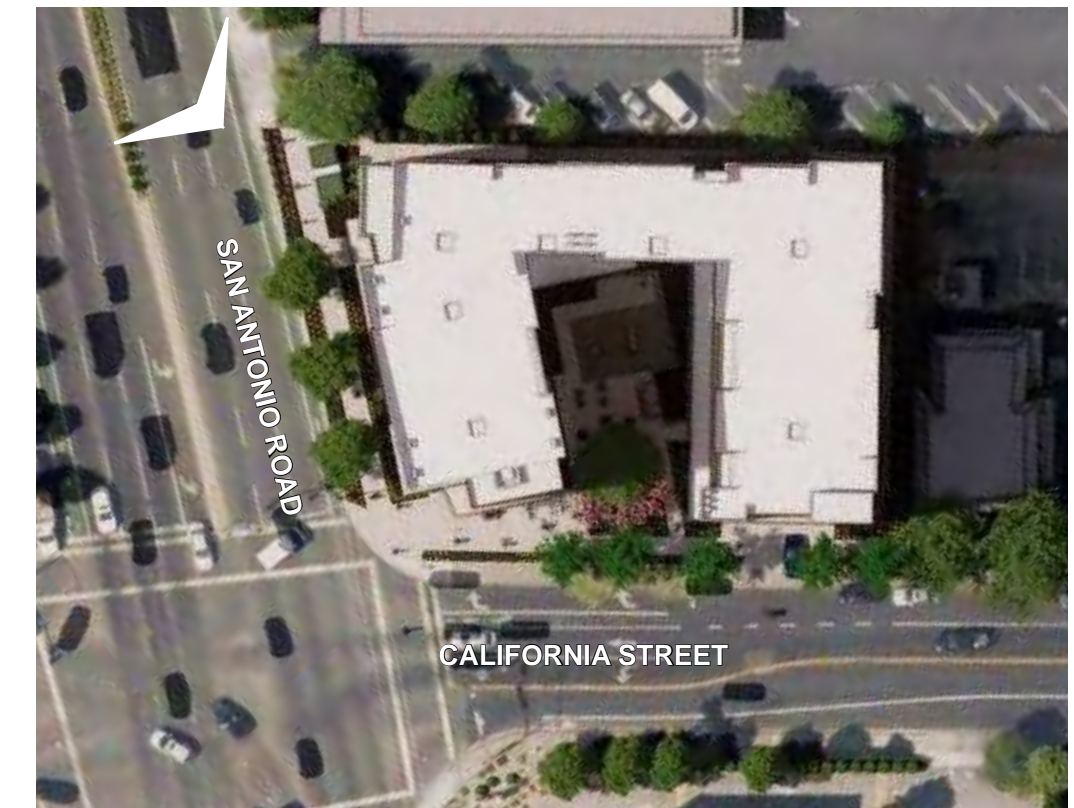


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KEYPLAN



**PERSPECTIVE VIEW:  
VIEW OF SOUTH  
ELEVATION FROM  
SAN ANTONIO ROAD**

NOT TO SCALE (N.T.S.)

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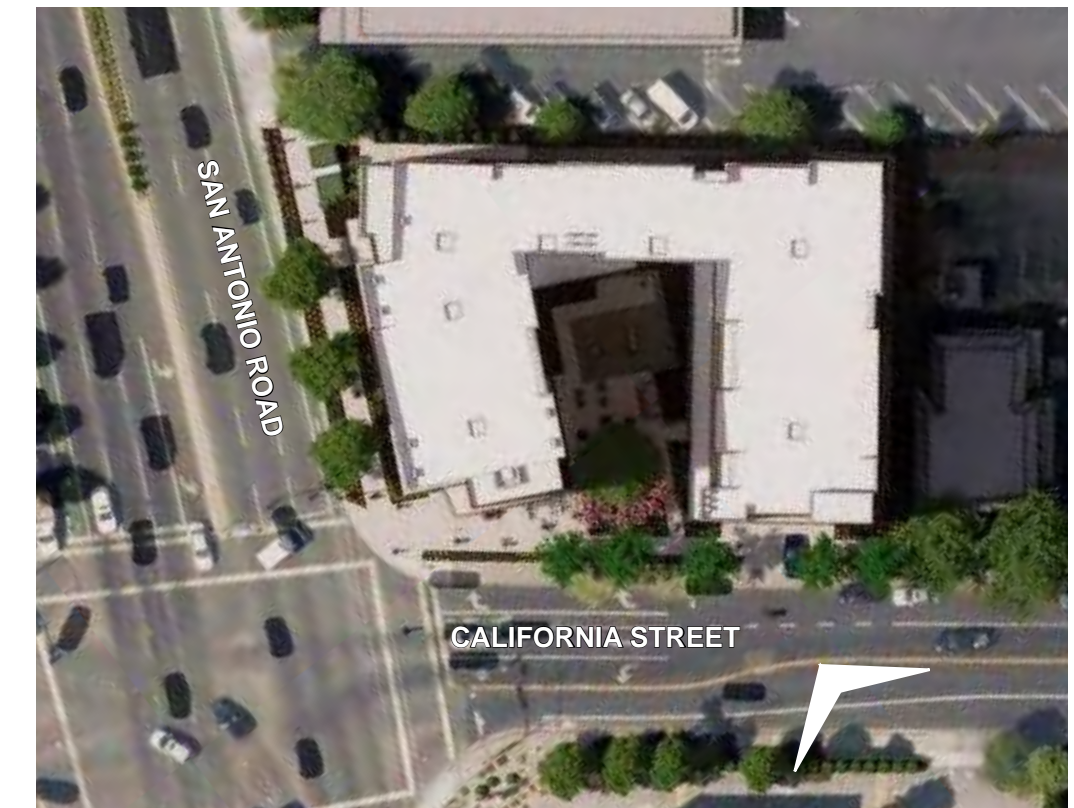


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KEYPLAN



**PERSPECTIVE VIEW:  
CALIFORNIA STREET  
(NORTH) ELEVATION**

NOT TO SCALE (N.T.S.)

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**A1.4**



**KEYPLAN**



**PERSPECTIVE VIEW:  
STREETScape  
ALONG SAN  
ANTONIO ROAD**



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**PERSPECTIVE VIEW:  
AERIAL**

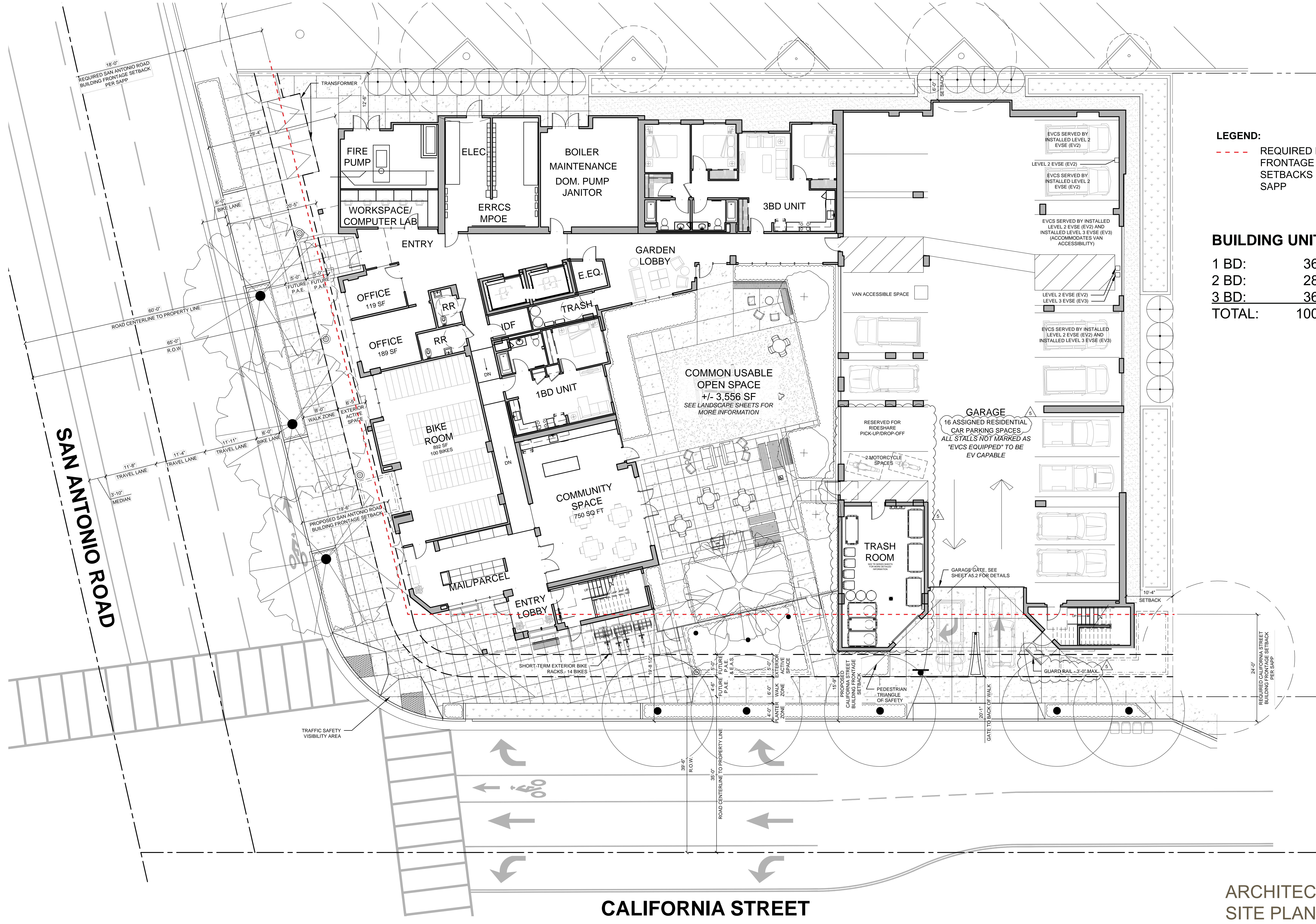
NOT TO SCALE (N.T.S.)

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**A1.6**



**LEGEND:**  
 - - - - - REQUIRED BUILDING FRONTAGE SETBACKS PER SAPP

**BUILDING UNIT MIX:**

1 BD:	36 UNITS
2 BD:	28 UNITS
3 BD:	36 UNITS
<b>TOTAL:</b>	<b>100 UNITS</b>

**SAN ANTONIO ROAD**

**CALIFORNIA STREET**

**ARCHITECTURAL SITE PLAN**

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**A1.7**

0 8 16 32

N





**GROUND FLOOR  
UNIT MIX**

1 BD:	1 UNIT
2 BD:	0 UNITS
3 BD:	1 UNIT
<b>TOTAL:</b>	<b>2 UNITS</b>

**SAN ANTONIO ROAD**

**CALIFORNIA STREET**

**GROUND FLOOR  
PLAN**



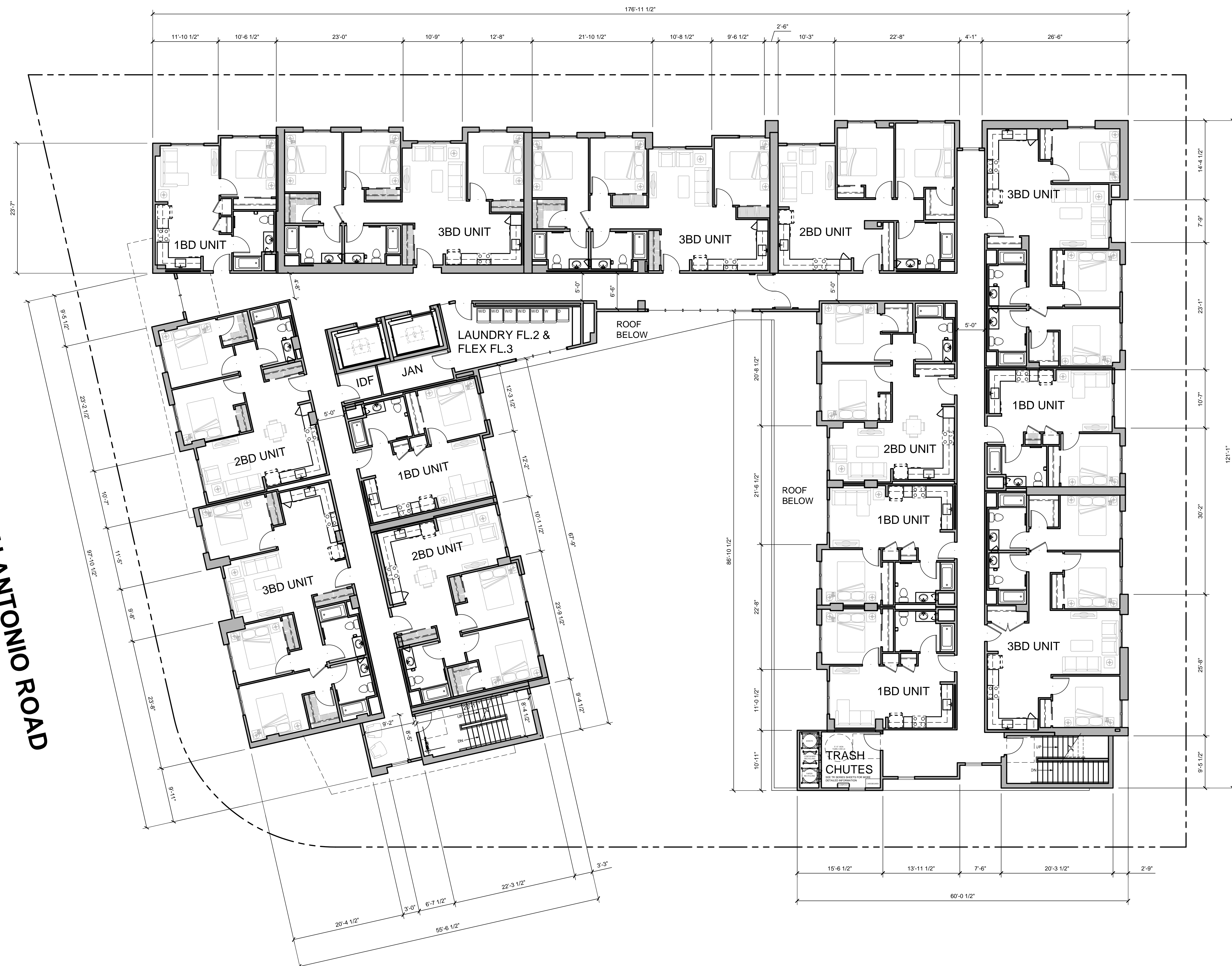
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SAN ANTONIO ROAD



CALIFORNIA STREET

**SECOND & THIRD FLOOR UNIT MIX**

1 BD:	5 UNITS
2 BD:	4 UNITS
3 BD:	5 UNITS
<b>TOTAL:</b>	<b>14 UNITS</b>

**SECOND AND THIRD FLOOR PLANS**

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N  
A2.2

SAN ANTONIO ROAD



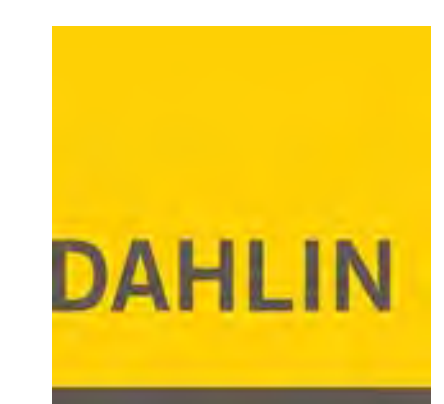
CALIFORNIA STREET

**FOURTH FLOOR  
UNIT MIX**

1 BD:	5 UNITS
2 BD:	4 UNITS
3 BD:	5 UNITS
<b>TOTAL:</b>	<b>14 UNITS</b>

FOURTH FLOOR PLAN

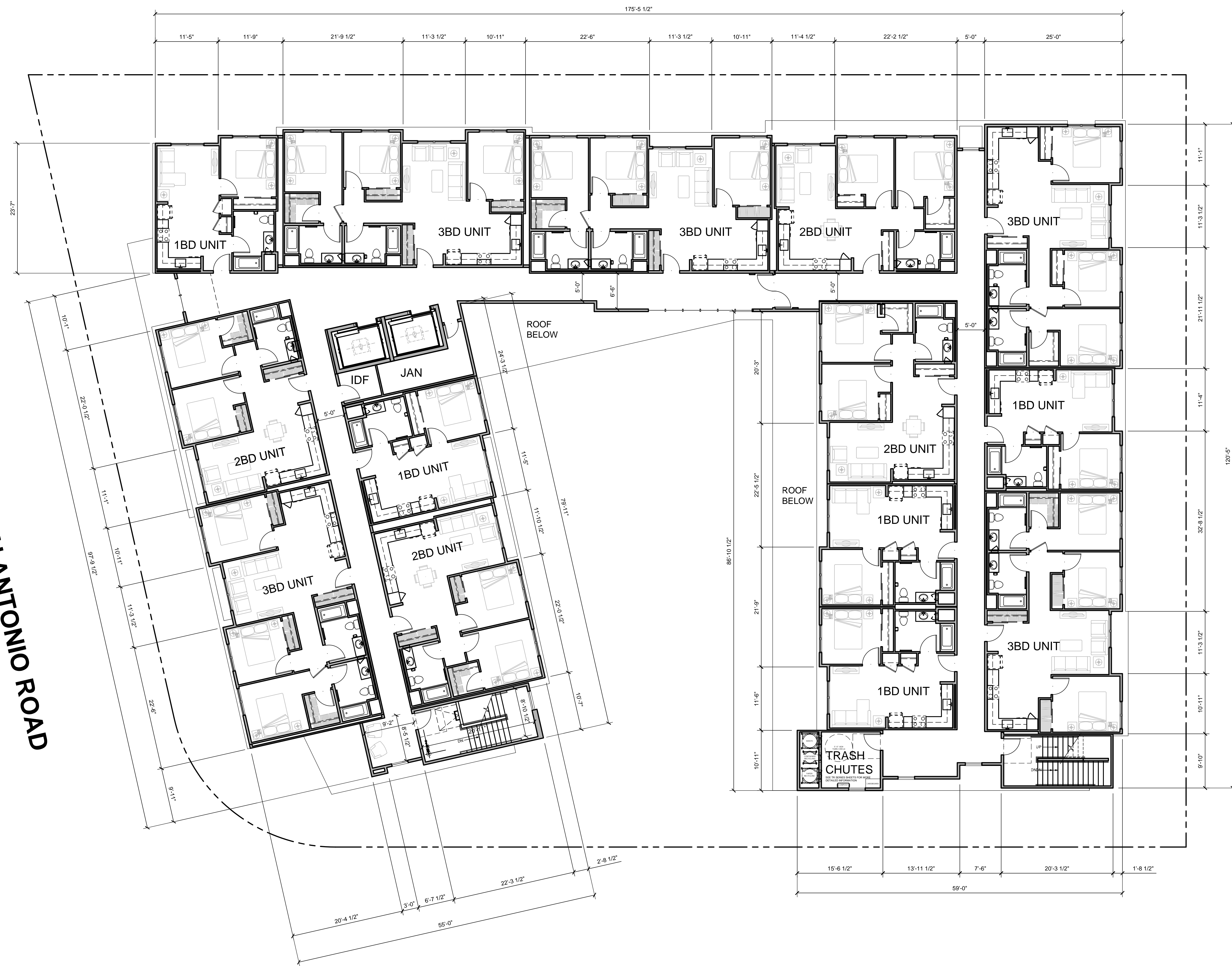
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SAN ANTONIO ROAD



CALIFORNIA STREET

**FIFTH THROUGH SEVENTH FLOOR UNIT MIX**

1 BD:	5 UNITS
2 BD:	4 UNITS
3 BD:	5 UNITS
<b>TOTAL:</b>	<b>14 UNITS</b>

**FIFTH THROUGH SEVENTH FLOOR PLAN**



SAN ANTONIO ROAD



CALIFORNIA STREET

**EIGHTH FLOOR UNIT MIX**

1 BD:	5 UNITS
2 BD:	4 UNITS
3 BD:	5 UNITS
<b>TOTAL:</b>	<b>14 UNITS</b>

**EIGHTH FLOOR PLAN**

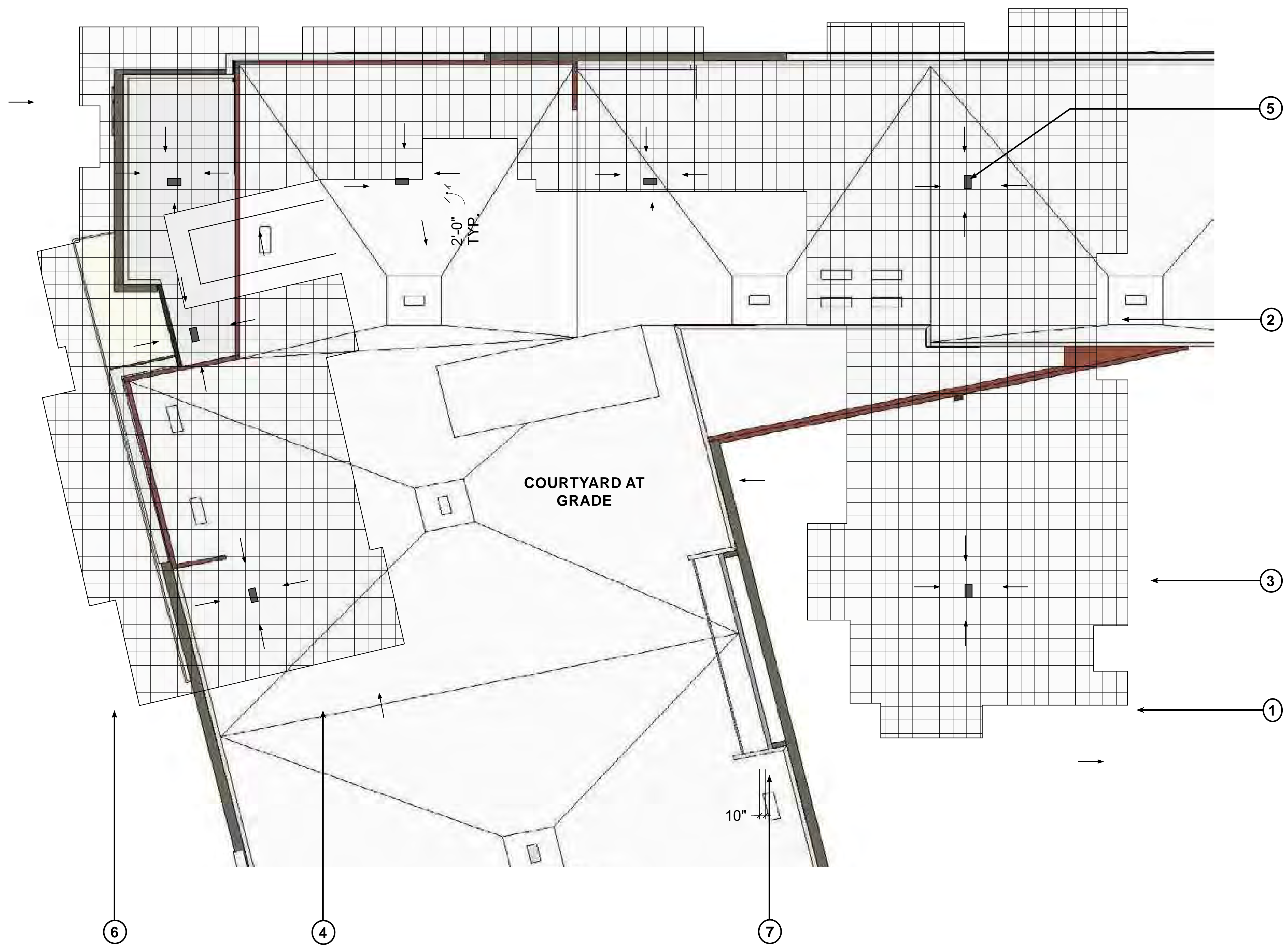


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**ROOF PLAN KEYNOTE LEGEND: #**

1. FLAT ROOF, TYP. - SLOPE 1/2" PER FOOT MINIMUM TO DRAIN. DIRECTION OF SLOPE REPRESENTED GRAPHICALLY.
2. METAL RAILING, TYP.
3. METAL PARAPET CAP, TYP.
4. HATCH ROOF ACCESS
5. ROOF DRAIN, TYP. - FINAL LOCATION AND NUMBER TBD
6. MECHANICAL UNIT, TYP. - FINAL LOCATION AND NUMBER TBD, TYPICAL DISTANCE FROM PARAPET WALL SHOWN
7. TRASH CHUTE VENT

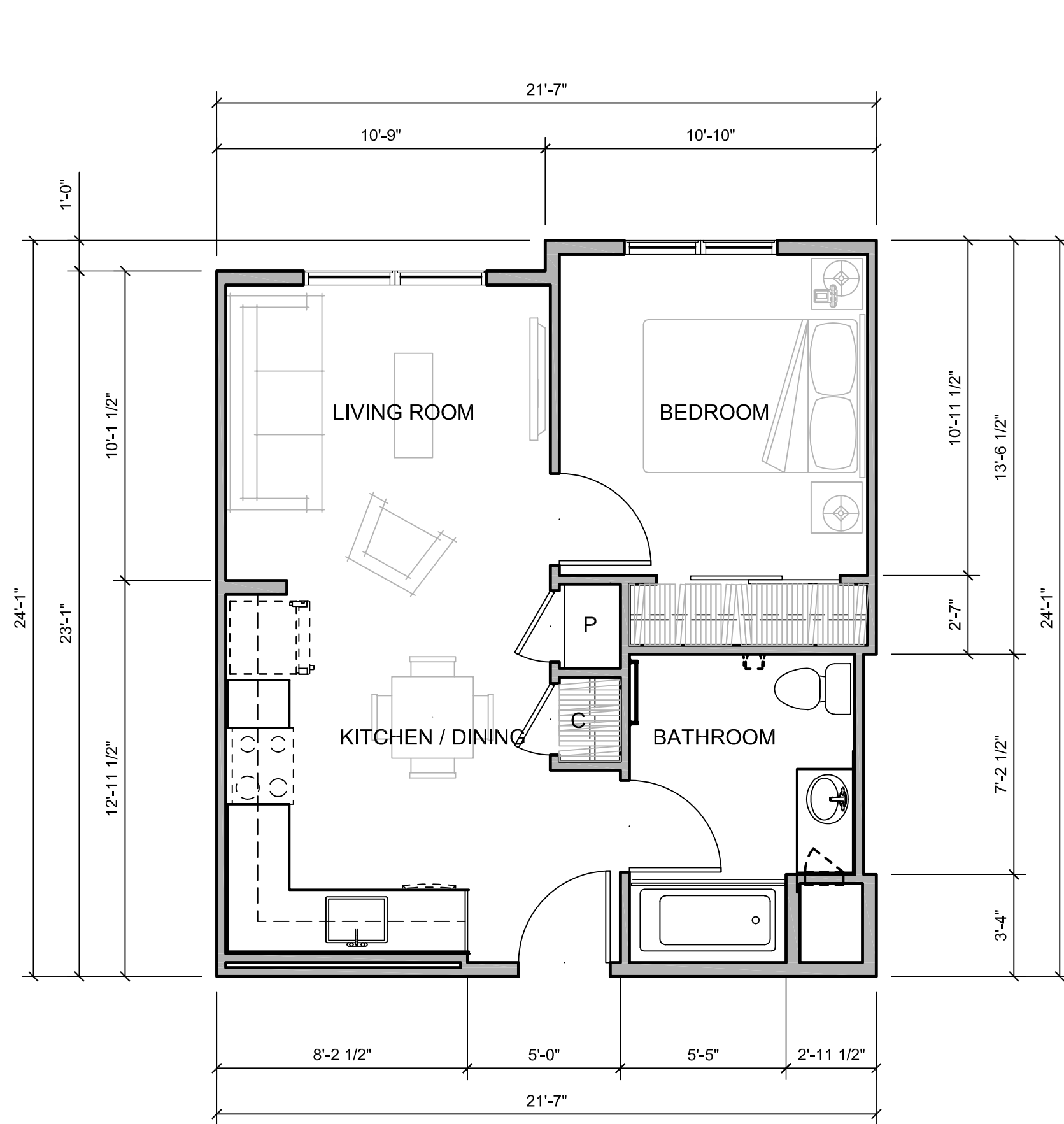
**NOTES:**

1. ROOF PLAN IS CONCEPTUAL. ADDITIONAL TIE-BACKS AND PENETRATION LOCATIONS WILL BE DETERMINED AS THE PROJECT PROGRESSES TOWARD BUILDING PERMITS.
2. EXACT EQUIPMENT MODELS AND HEIGHTS WILL BE DETERMINED AS THE PROJECT PROGRESSES TOWARD BUILDING PERMITS.
3. PARAPETS WILL BE UTILIZED TO SCREEN THE EQUIPMENT.
4. THE SOLAR PV SYSTEM WILL BE DESIGNED BY A PV ENGINEER AND FINAL LOCATIONS AND NUMBERS OF PANELS WILL BE DETERMINED AS THE PROJECT PROGRESSES TOWARD BUILDING PERMITS; THE SYSTEM WILL BE DESIGNED TO COMPLY WITH BUILDING CODE.
5. THE ROOF AREA PROVIDED FOR PV SHOULD BE SUFFICIENT TO COMPLY WITH CITY OF MOUNTAIN VIEW REACH CODE MVCC 8.20.9 AND TABLE 101.10 WHICH REQUIRES PV INSTALLATION ON THE ROOF AREA TO ACCOMMODATE ALL-ELECTRIC BUILDING TO 100% OF ANNUAL KWH CONSUMPTION OFFSET

POTENTIAL SOLAR PV AREA

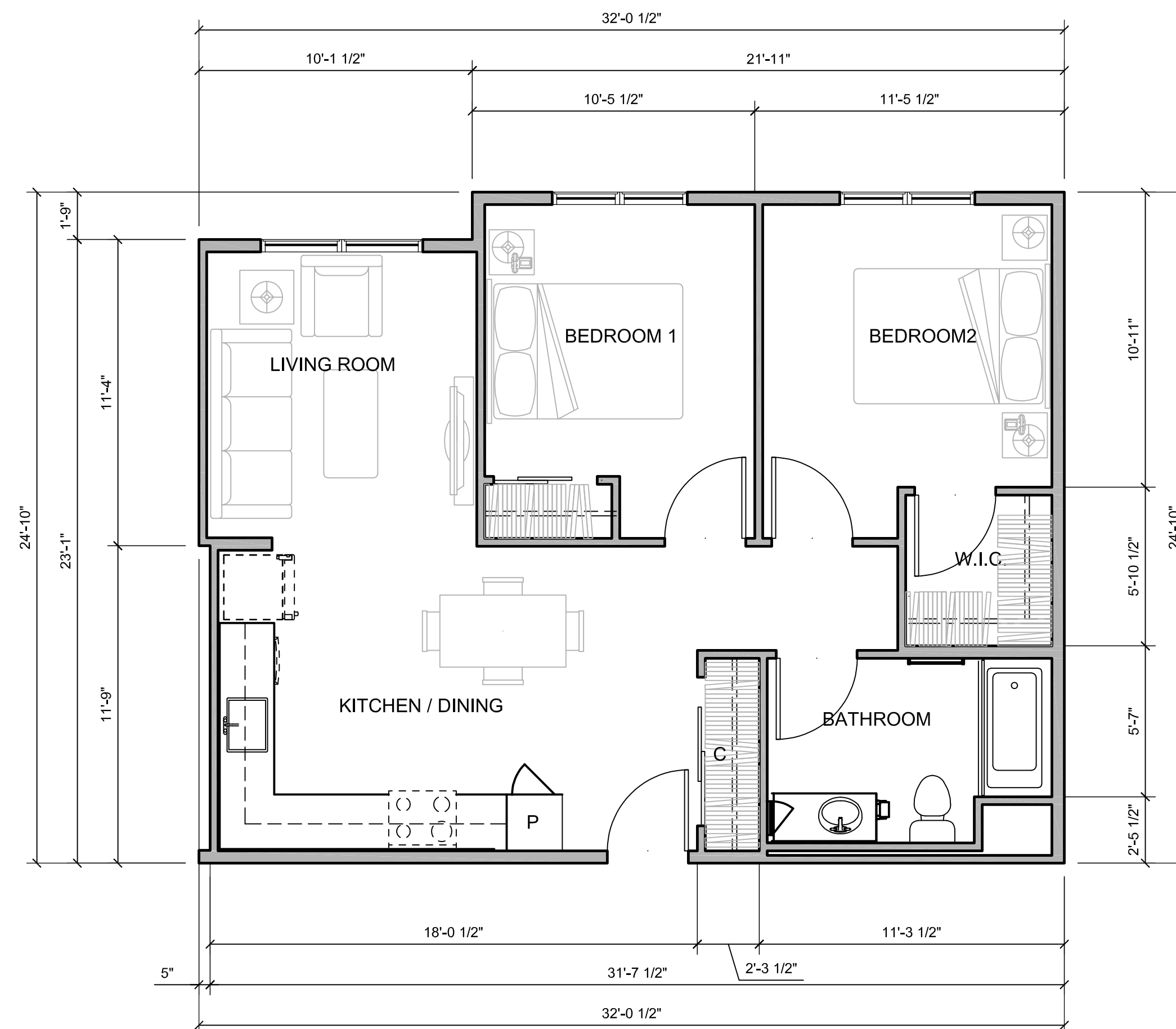
**ROOF PLAN**





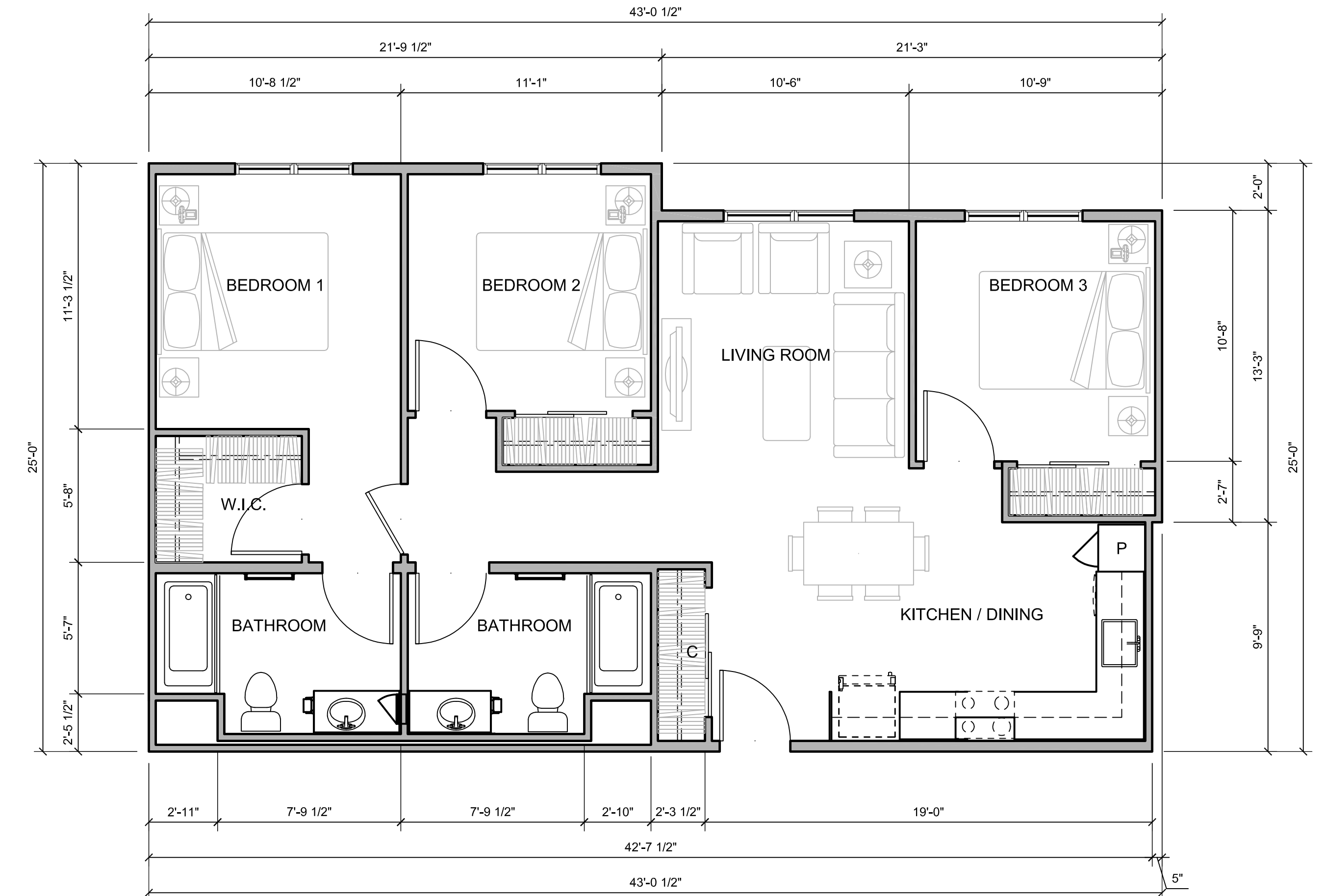
**TYPICAL 1-BEDROOM UNIT**

1 BED/1 BATH  
 GROSS AREA: 499 SF  
 NET AREA: 463 SF



**TYPICAL 2-BEDROOM UNIT**

2 BED/1 BATH  
 GROSS AREA: 763 SF  
 NET AREA: 718 SF



**TYPICAL 3-BEDROOM UNIT**

2 BED/1 BATH  
 GROSS AREA: 1018 SF  
 NET AREA: 959 SF

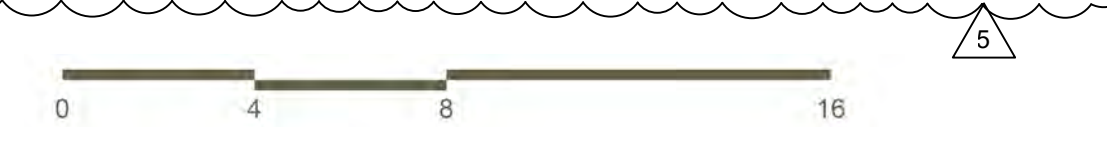
**SQUARE FOOTAGE CALCULATIONS<sup>1</sup>:**

**UNIT GROSS SQ. FT.** IS MEASURED TO THE OUTSIDE FACE OF PERIMETER STUDS. CHASES ARE EXCLUDED<sup>2</sup>.

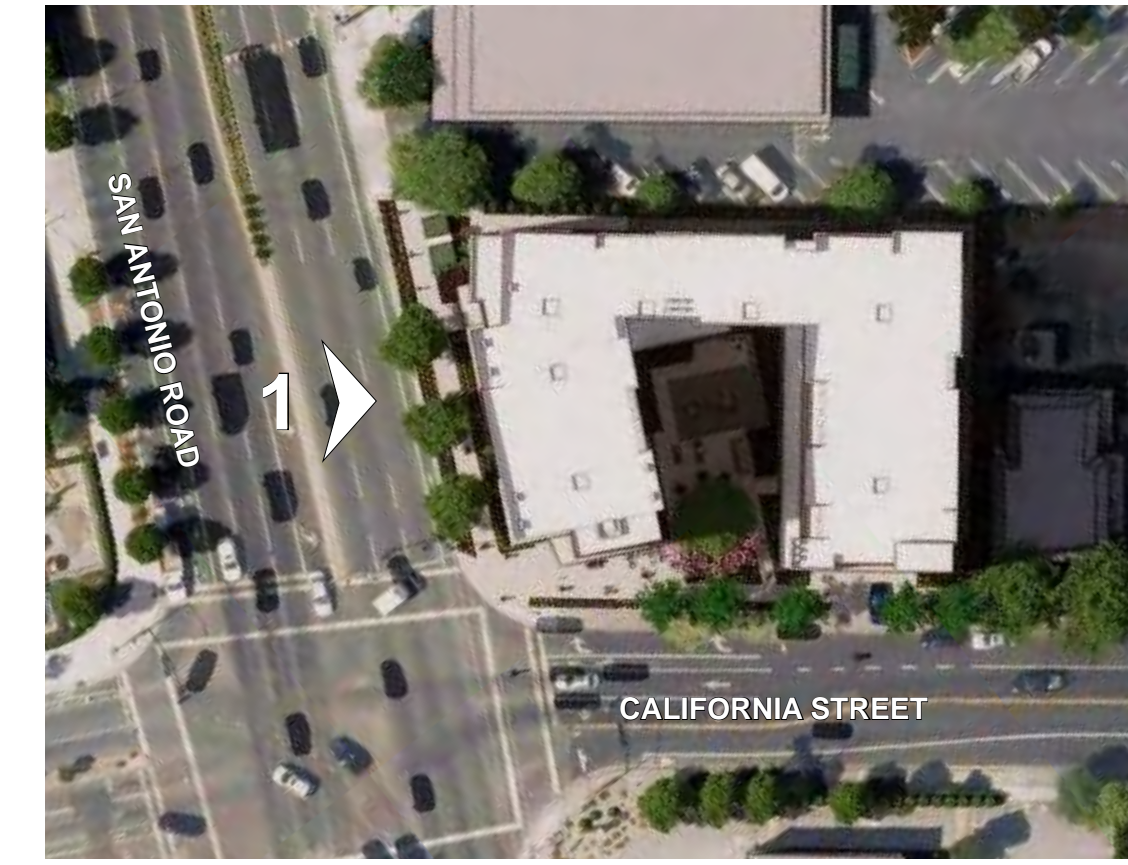
**UNIT NET SQ. FT.** IS MEASURED TO THE INSIDE FACE OF GYPSUM BOARD. CHASES ARE EXCLUDED<sup>2</sup>.

1. SQUARE FOOTAGES MAY VARY SLIGHTLY FOR CONSTRUCTION DOCUMENTS.
2. CHASES ARE INCLUDED IN BUILDING UTILITY AREAS, SEE CHART "GROSS BUILDING AREAS BY SPACE TYPE" ON SHEET A6.1.

**TYPICAL UNIT PLANS**



**KEYPLAN**



**ELEVATION KEYNOTE LEGEND:**

- 1. PAINTED METAL FLASHING CAP
- 2. METAL GUARD RAIL
- 3. PAINTED STUCCO WITH CONTROL JOINTS, TYPICAL
- 4. DARK BRONZE ANODIZED VINYL FRAME WINDOW BY PLY GEM (OR SIMILAR), TYPICAL
- 5. DARK BRONZE ANODIZED STOREFRONT BY KAWNEER (OR SIMILAR) TYPICAL
- 6. PAINTED MECHANICAL LOUVER
- 7. PAINTED METAL CANOPY AT PROJECT ENTRY
- 8. PAINTED DOOR
- 9. METAL ROLL-UP DOOR
- 10. METAL GRATE
- 11. PROJECT SIGNAGE
- 12. LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS

**1 BUILDING ELEVATION - SAN ANTONIO ROAD**

**BUILDING ELEVATIONS**

334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT



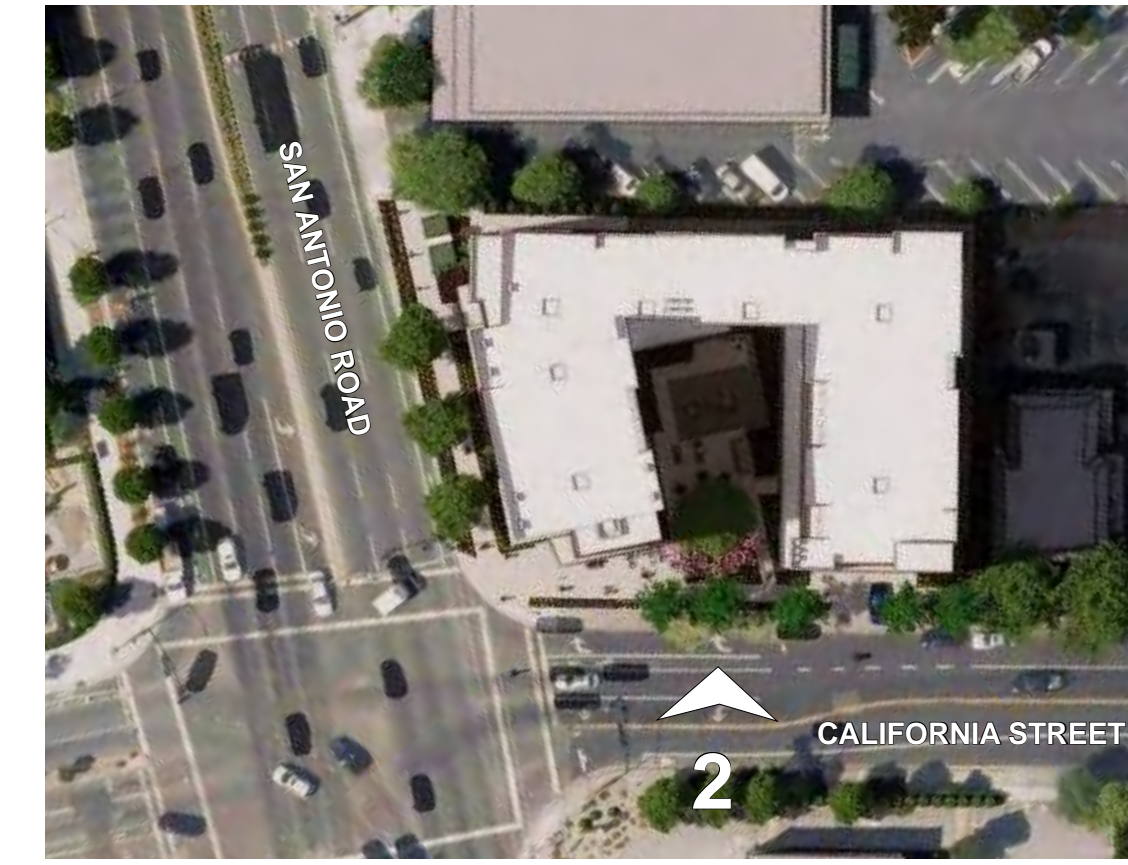
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925-251-7200







**KEYPLAN**



**ELEVATION KEYNOTE LEGEND:**

1. PAINTED METAL FLASHING CAP
2. METAL GUARD RAIL
3. PAINTED STUCCO WITH CONTROL JOINTS, TYPICAL
4. DARK BRONZE ANODIZED VINYL FRAME WINDOW BY PLY GEM (OR SIMILAR), TYPICAL
5. DARK BRONZE ANODIZED STOREFRONT BY KAWNEER (OR SIMILAR) TYPICAL
6. PAINTED MECHANICAL LOUVER
7. PAINTED METAL CANOPY AT PROJECT ENTRY
8. PAINTED DOOR
9. METAL ROLL-UP DOOR
10. METAL GRATE
11. PROJECT SIGNAGE
12. LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS

**2 BUILDING ELEVATION - CALIFORNIA STREET**

**BUILDING ELEVATIONS**

334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
 CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT

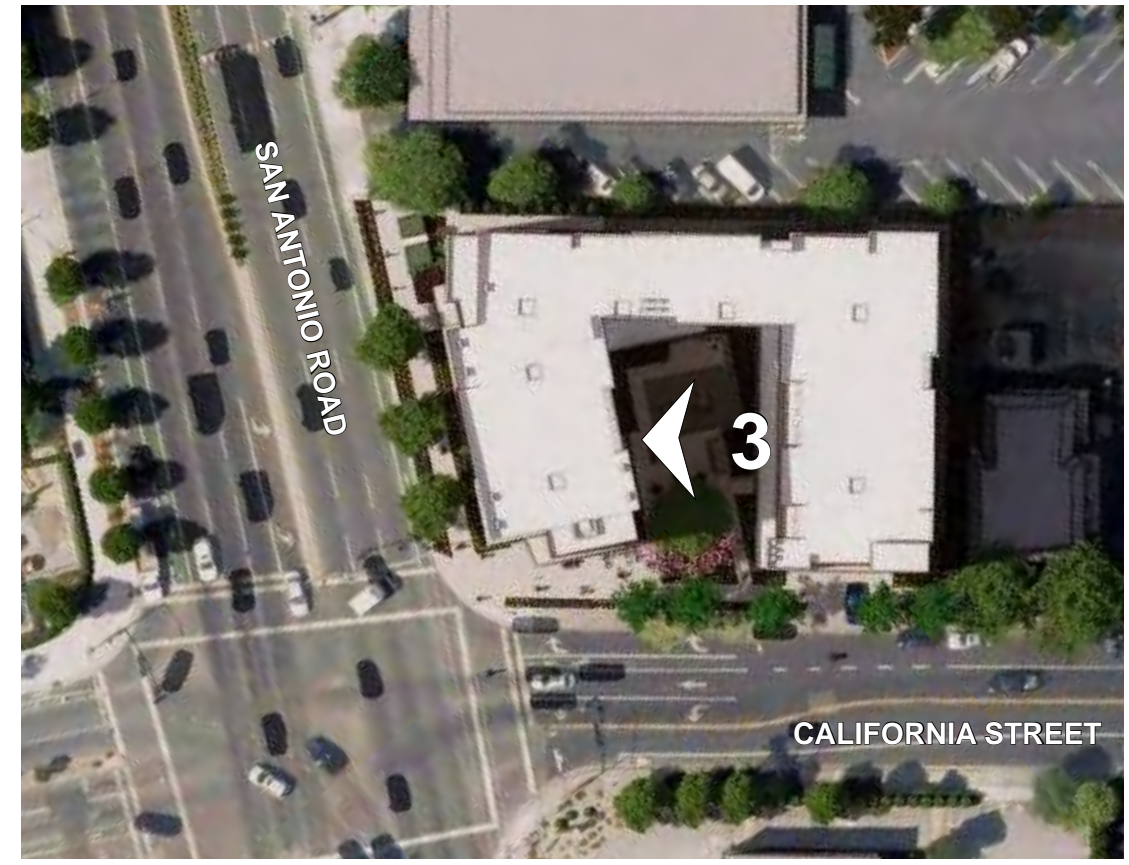
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 925-251-7200

N  
 A3.3

**KEYPLAN**



**ELEVATION KEYNOTE LEGEND:**

1. PAINTED METAL FLASHING CAP
2. METAL GUARD RAIL
3. PAINTED STUCCO WITH CONTROL JOINTS, TYPICAL
4. DARK BRONZE ANODIZED VINYL FRAME WINDOW BY PLY GEM (OR SIMILAR), TYPICAL
5. DARK BRONZE ANODIZED STOREFRONT BY KAWNEER (OR SIMILAR) TYPICAL
6. PAINTED MECHANICAL LOUVER
7. PAINTED METAL CANOPY AT PROJECT ENTRY
8. PAINTED DOOR
9. METAL ROLL-UP DOOR
10. METAL GRATE
11. PROJECT SIGNAGE
12. LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS

**3 BUILDING ELEVATION - INTERIOR COURTYARD**

**BUILDING COURTYARD ELEVATIONS**



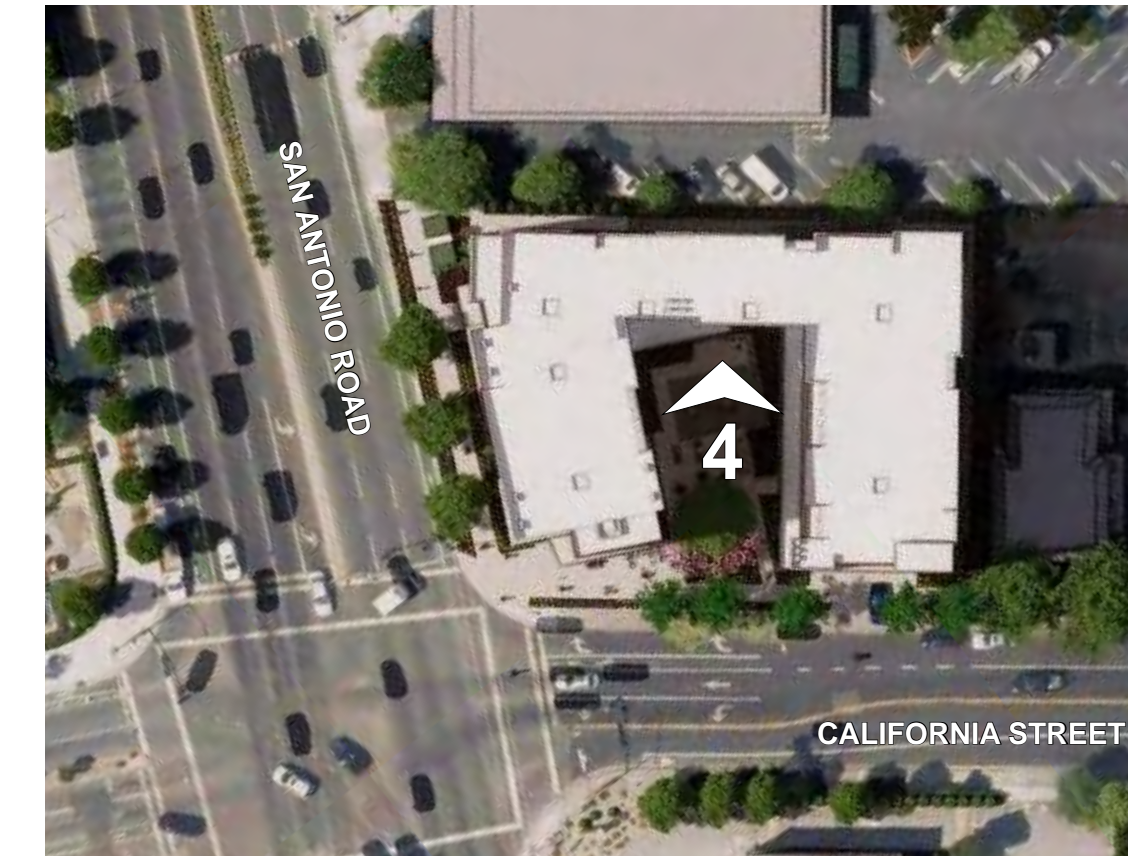
334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT



JOB NO. 1648.002  
DATE 10.04.2024  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200



**KEYPLAN**



**ELEVATION KEYNOTE LEGEND:** #

1. PAINTED METAL FLASHING CAP
2. METAL GUARD RAIL
3. PAINTED STUCCO WITH CONTROL JOINTS, TYPICAL
4. DARK BRONZE ANODIZED VINYL FRAME WINDOW BY PLY GEM (OR SIMILAR), TYPICAL
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**4 BUILDING ELEVATION - INTERIOR COURTYARD**

**BUILDING COURTYARD ELEVATIONS**

334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT

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925-251-7200

N  
A3.5

**KEYPLAN**

**KEYPLAN**



**ELEVATION KEYNOTE LEGEND:** #

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**5 BUILDING ELEVATION - INTERIOR COURTYARD**

**BUILDING COURTYARD ELEVATIONS**



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CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT

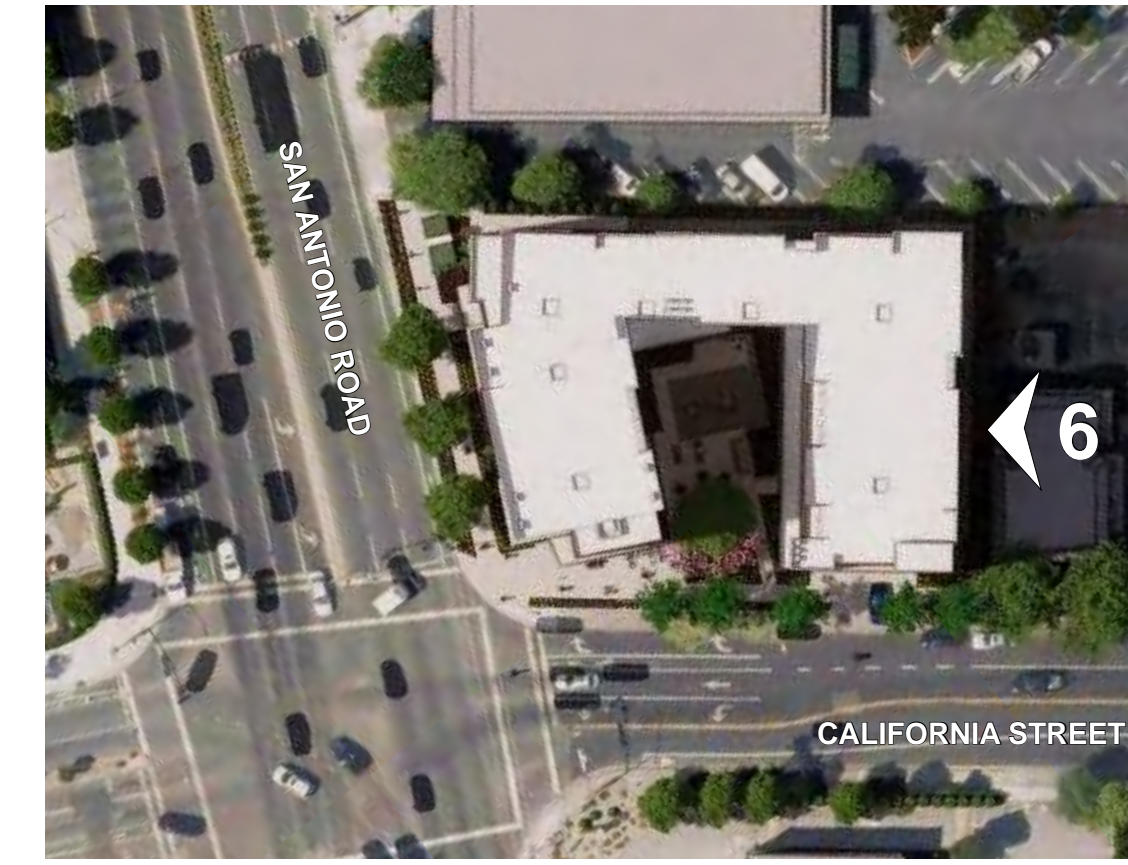


JOB NO. 1648.002  
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925-251-7200



**A3.6**

**KEYPLAN**



**ELEVATION KEYNOTE LEGEND:**

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**6 BUILDING ELEVATION**

**BUILDING ELEVATIONS**



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CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT

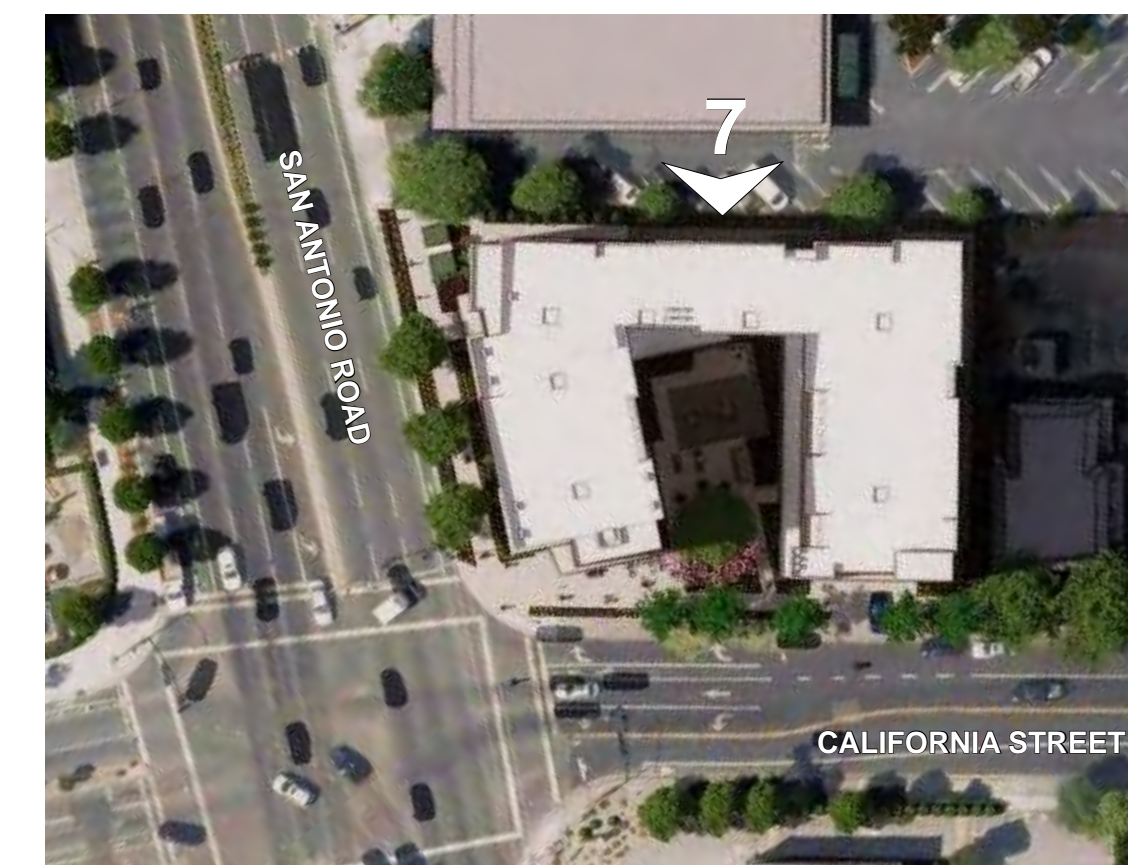


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925-251-7200





**KEYPLAN**



**ELEVATION KEYNOTE LEGEND:**

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- 2. METAL GUARD RAIL
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**7 BUILDING ELEVATION**

**BUILDING ELEVATIONS**

334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
 CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT



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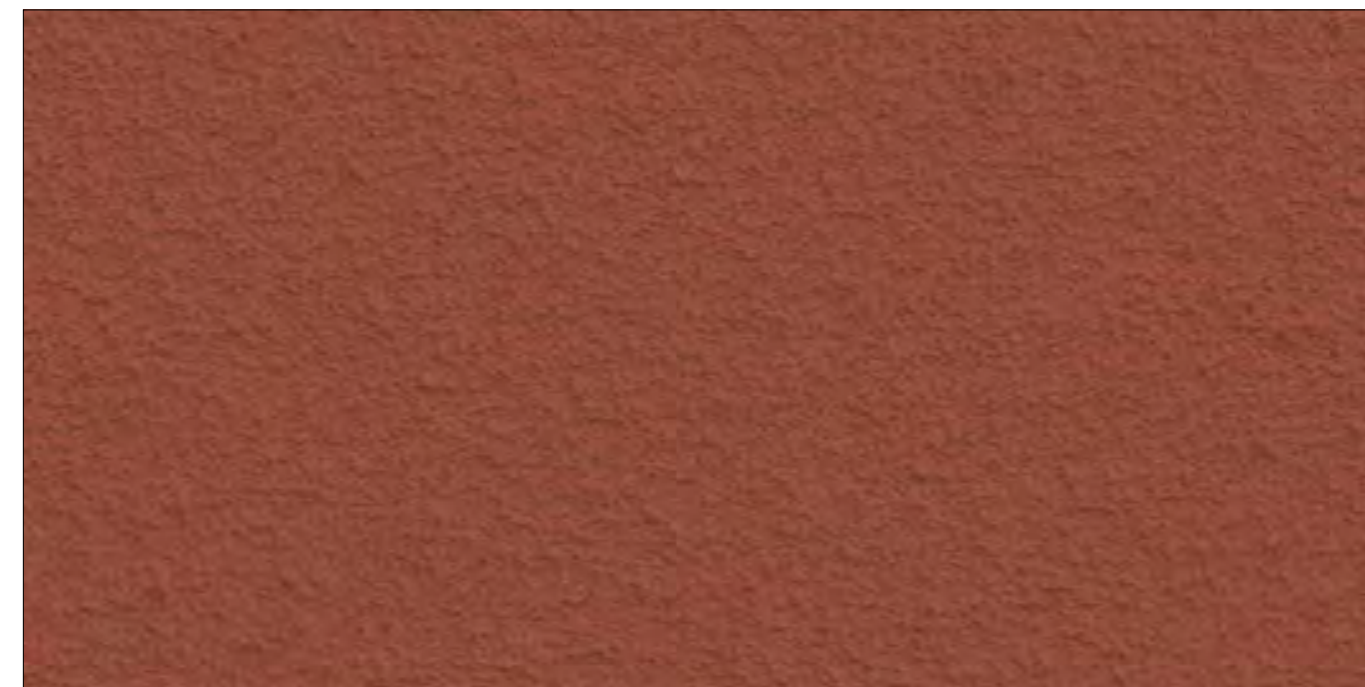
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**EXTERIOR WALL MATERIAL**  
**CEMENT PLASTER - MEDIUM SAND FINISH**  
*Oyster White SW 7637 by Sherwin Williams*



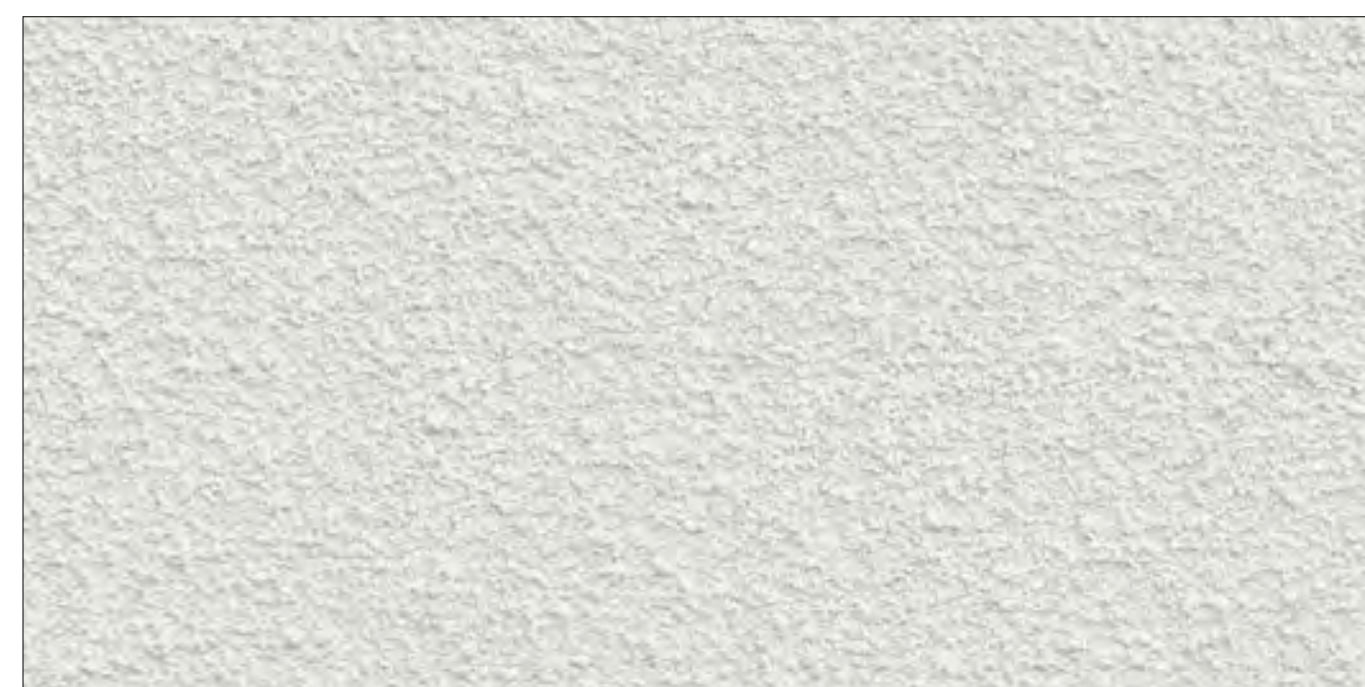
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**EXTERIOR WALL MATERIAL**  
**CEMENT PLASTER - MEDIUM SAND FINISH**  
*Intellectual Gray SW 7045 by Sherwin Williams*



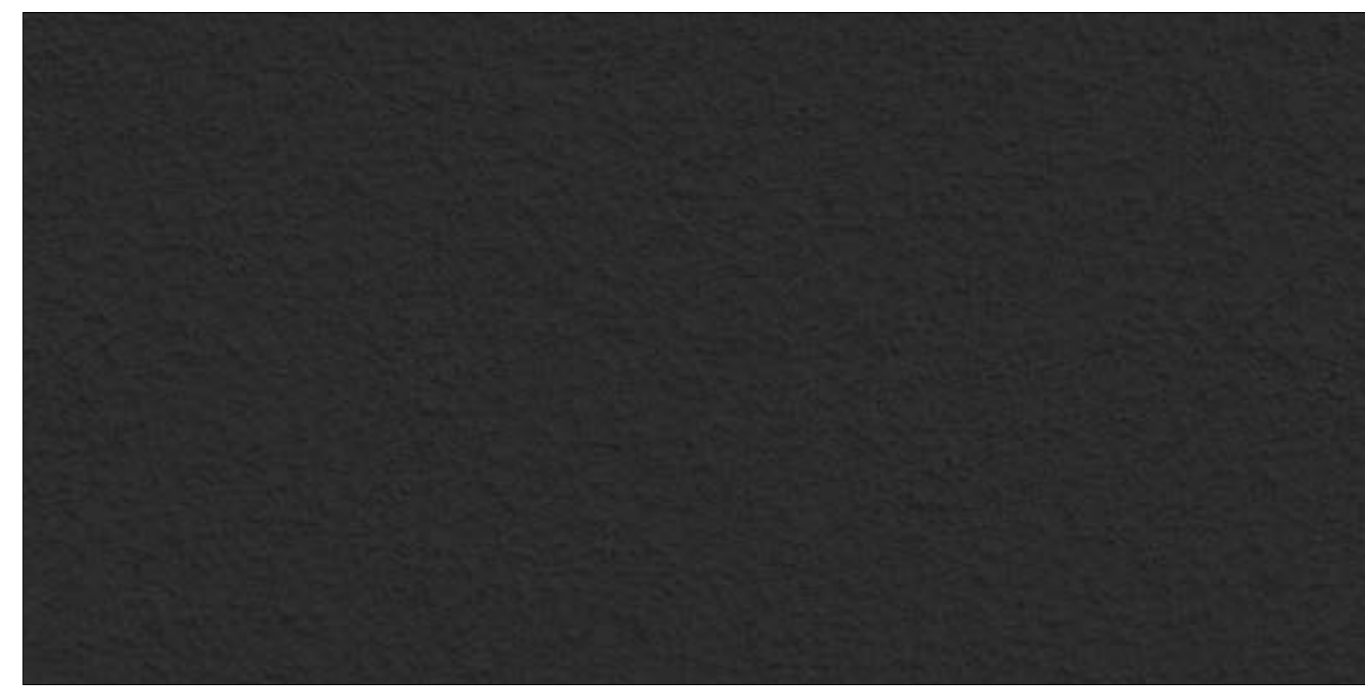
③ BODY COLOR 3  
**EXTERIOR WALL MATERIAL**  
**CEMENT PLASTER - FINE SAND FINISH**  
*Porpoise SW 7047 by Sherwin Williams*



④ BODY COLOR 4  
**EXTERIOR WALL MATERIAL**  
**CEMENT PLASTER - MEDIUM SAND FINISH**  
*Sierra Redwood SW 7598 by Sherwin Williams*



⑤ ACCENT COLOR 5  
**EXTERIOR WALL MATERIAL**  
**CEMENT PLASTER - MEDIUM SAND FINISH**  
*Extra White SW 7006 by Sherwin Williams*



⑥ ACCENT COLOR 6  
**EXTERIOR WALL MATERIAL**  
**CEMENT PLASTER - MEDIUM SAND FINISH**  
*Caviar SW 6990 by Sherwin Williams*



**COLORS & MATERIALS**

NOT TO SCALE (N.T.S.)





**2** STREETSCAPE ELEVATION - SAN ANTONIO ROAD



**2** STREETSCAPE ELEVATION - CALIFORNIA STREET

*NOTE: ELEMENTS OF STREETSCAPE ELEVATIONS ARE REPRODUCED FROM PREVIOUS ENTITLEMENT OF OUR PROJECT SITE*

**STREETSCAPE ELEVATIONS**

NOT TO SCALE (N.T.S.)

**334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT**

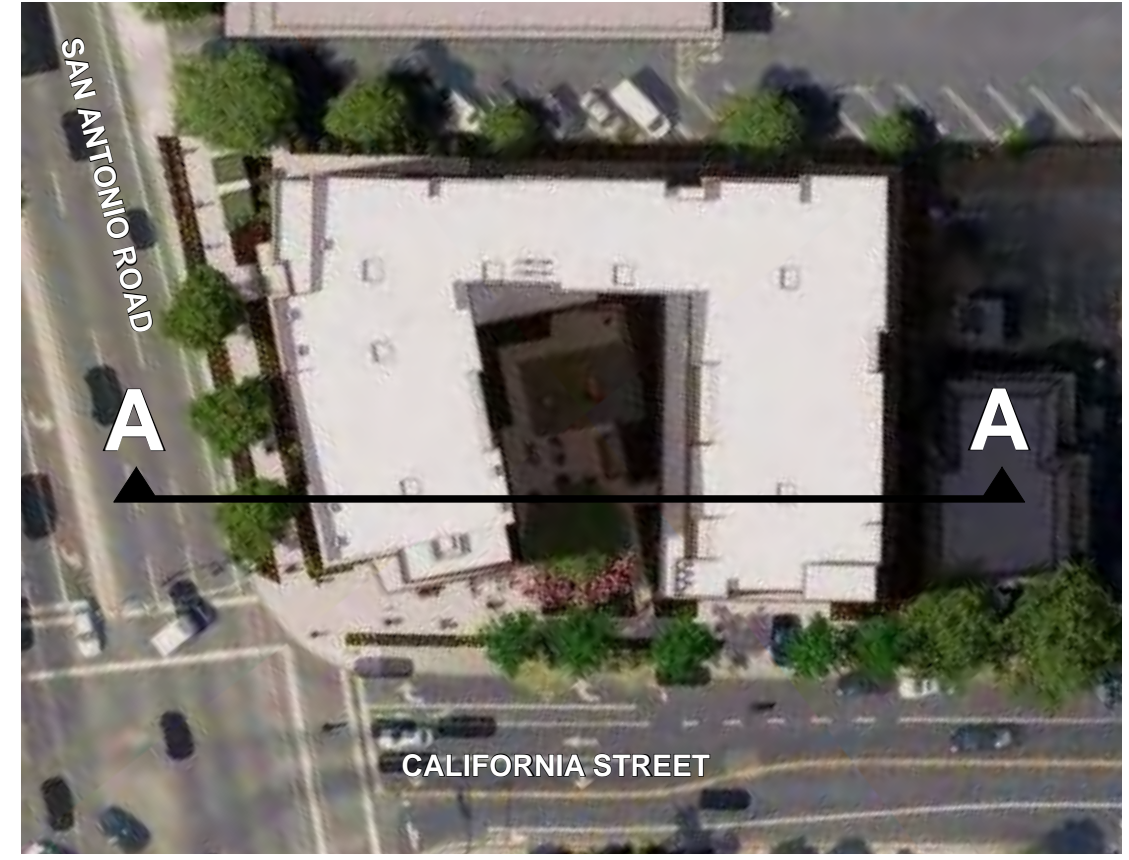


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925-251-7200

**A4.1**



KEYPLAN



**A** SECTION A-A

BUILDING SECTION



334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT



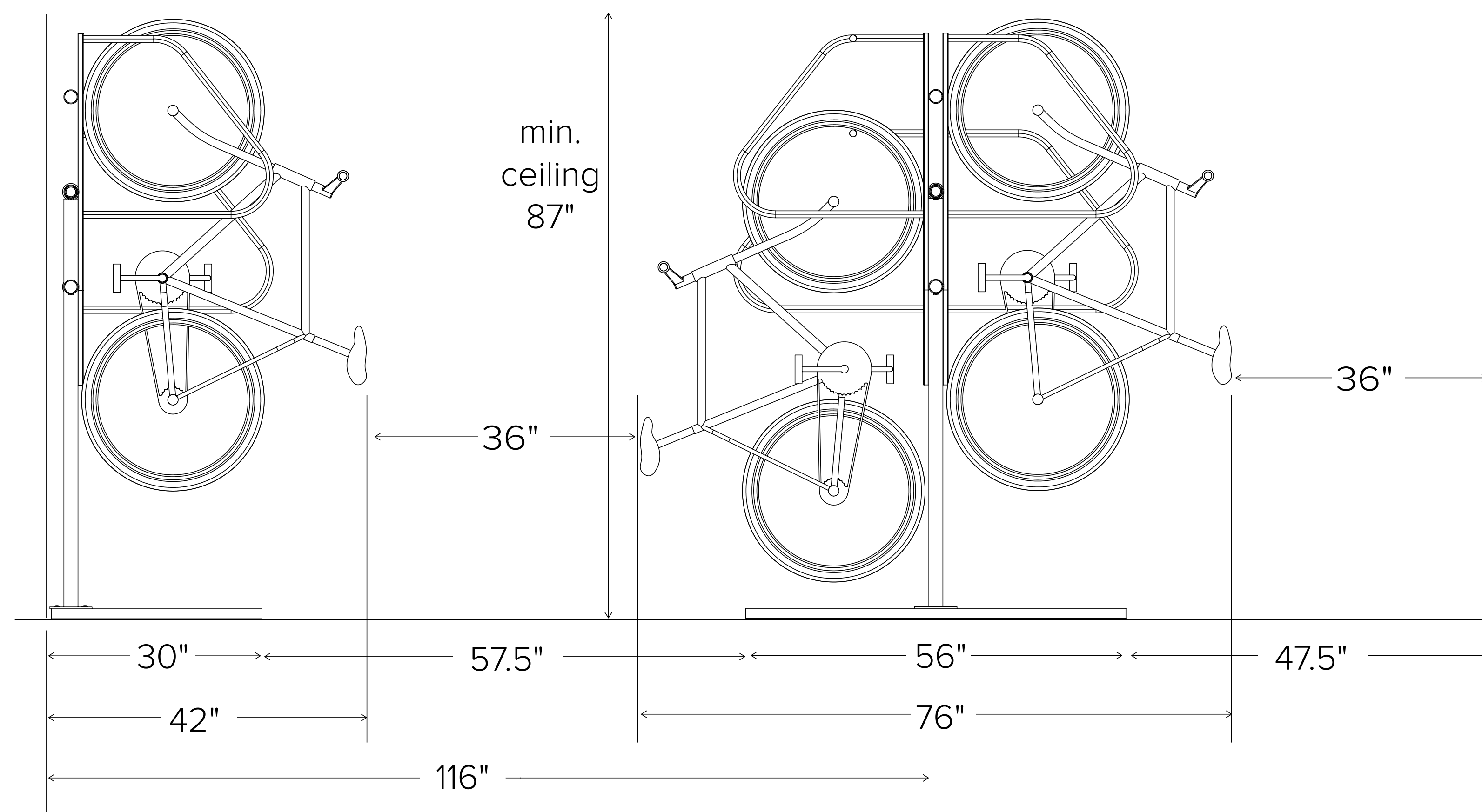
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Ultra Space Saver™ Squared

Setbacks

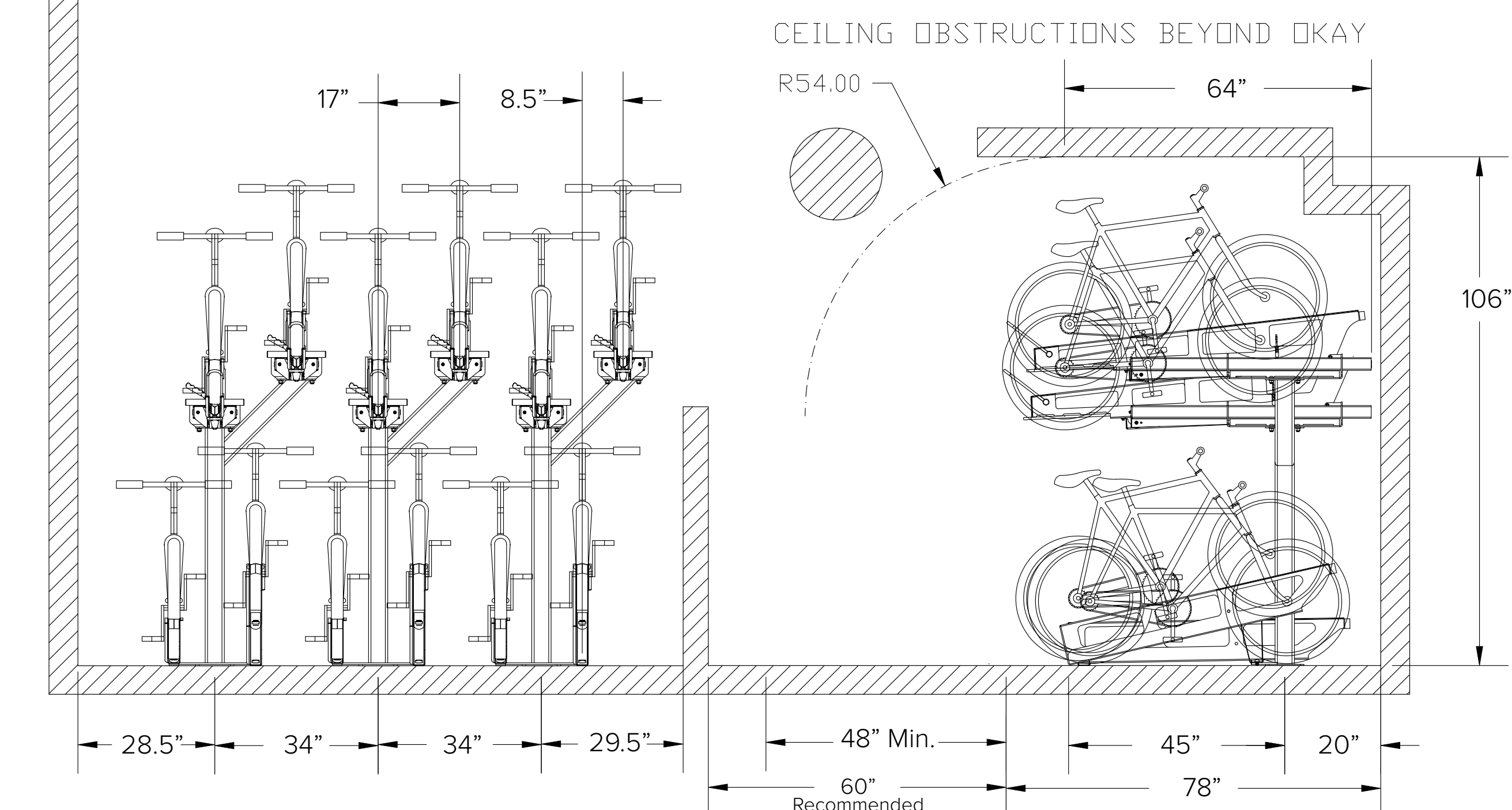
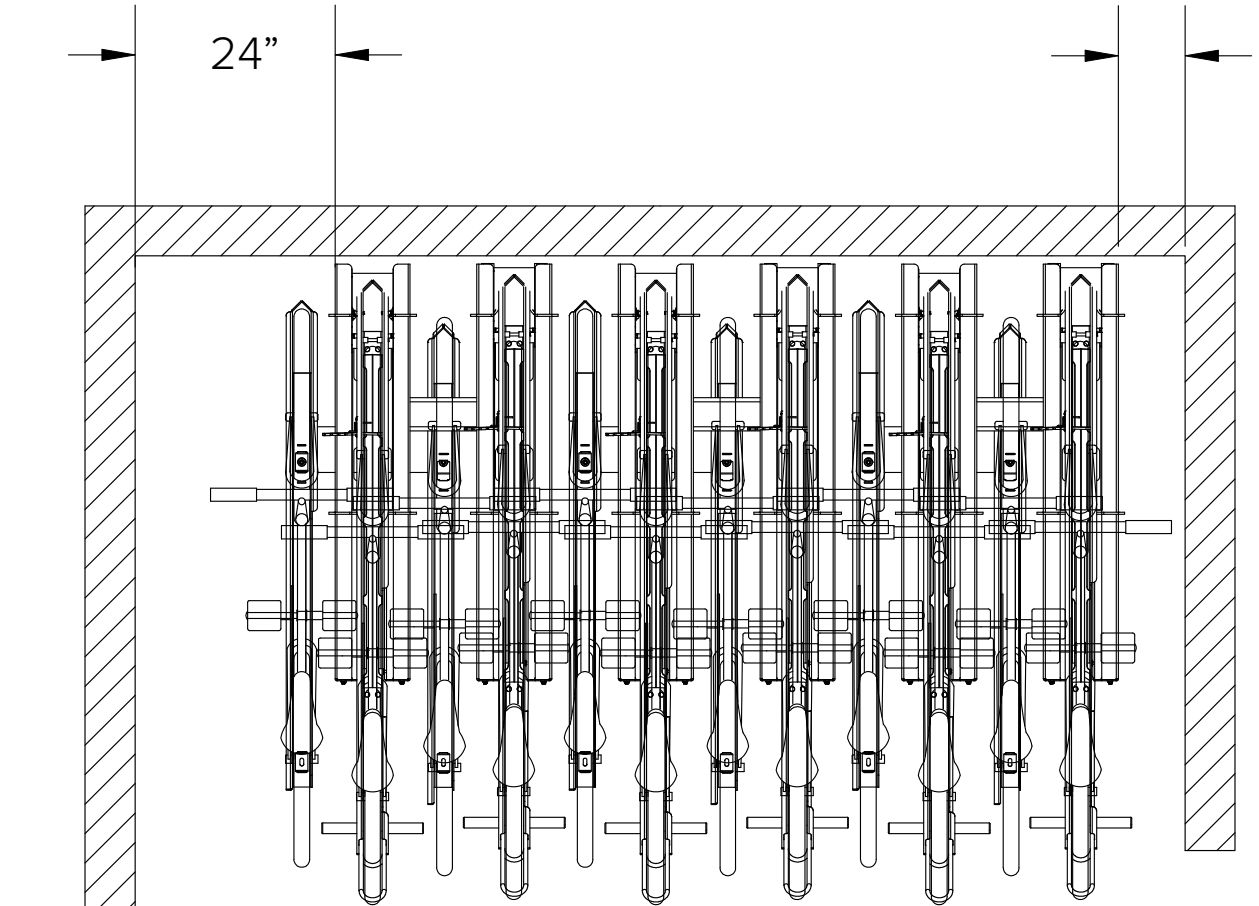


**PROPOSED WALL-MOUNTED LONG-TERM BIKE RACK**  
(OR SIMILAR)



Dero Decker

Setbacks Single Sided



**PROPOSED STACKING LONG-TERM BIKE RACK**  
(OR SIMILAR)

PROPOSED BIKE RACKS



PLANNING DATA	
Address	334 San Antonio Road, Mountain View, California 94040
APN	148-15-020
Total Site Area	27,090 SF
	0.62 AC
Existing Zoning	P(40) - Planned Community / San Antonio Precise Plan
Existing GP Land Use Information	Mixed Use Corridor (January 2020)
Project Units Proposed	100
Proposed DU/AC	161
FEMA Special Hazard Zone	FEMA Special Hazard Zone Maps not applicable

BUILDING CODE	
Construction shall comply with the 2022 California Building Code including CBC Chapter 11B insofar as it is applicable to this project.	

OCCUPANCY GROUPS	
Residential	R-2
Garage	S-2

CONSTRUCTION TYPE		3 STORIES TYPE IA, NFPA 13 SPRINKLERS	
2022 CBC Table 601	Fire-resistance rating		
Primary Structural Frame	3 HOURS		
Bearing Walls - Exterior	2 HOURS		
Bearing Walls - Interior	2 HOURS	← 2 HOURS per 2022 CBC 403.2.1.1 EX. 1	
Non-Bearing Walls - Exterior	1 HOUR	← 0 HOUR if more than 30 feet fire separation distance per 2022 CBC table 705.5	
Non-Bearing Walls - Interior	0 HOUR		
Floor Construction	2 HOURS		
Roof Construction	1.5 HOURS		
<b>Horizontal Separation</b>		<b>3 HOURS</b>	PER 2022 CBC 510.2
CONSTRUCTION TYPE		5 STORIES TYPE IIIA, NFPA 13 SPRINKLERS	
2022 CBC Table 601	Fire-resistance rating		
Primary Structural Frame	1 HOUR		
Bearing Walls - Exterior	2 HOURS		
Bearing Walls - Interior	1 HOUR		
Non-Bearing Walls - Exterior	1 HOUR	← 0 HOUR if more than 30 feet fire separation distance per 2022 CBC table 705.5	
Non-Bearing Walls - Interior	0 HOUR		
Floor Construction	1 HOUR		
Roof Construction	1 HOUR		

ZONING BUILDING PARAMETERS (SAN ANTONIO PRECISE PLAN, TIER 1)		
	ALLOWED <sup>1,2</sup>	PROPOSED
<b>HEIGHT</b>	55'-0"	85'-0"
<b>STORIES</b>	4	8
(1) Per the San Antonio Precise Plan, Tier 1 projects of 5 stories (65 feet) will be considered if project provides significant public benefits.		
(2) Per the San Antonio Precise Plan, Tier 1 projects of 5 stories (85 feet) will be considered if project provides significant public benefits.		
<b>SETBACKS</b>		
	REQUIRED	PROPOSED <sup>3</sup>
Major Public Street (San Antonio Road)	18'-0"	19'-6"
Neighborhood Street (California Street) <sup>4</sup>	24'-0"	15'-9"
Side Yard (southwest)	NONE REQUIRED	6'-0"
Rear Yard (northwest)	NONE REQUIRED	10'-4"
(3) Setbacks are measured from curb line, per the San Antonio Precise Plan Figure 4-4, to the closest point of the building, see Architectural Site Plan Sheet A1.6		
(4) Provided setback is less, based on Waiver		
<b>FAR</b>		
	ALLOWED	PROPOSED <sup>5</sup>
	1.85	4.37
(5) Density Bonus Law is used to permit a higher FAR than allowed by the San Antonio Precise Plan		

CODE BUILDING PARAMETERS (2022 CBC) Occupancy R2 / S2 without area increase / Type IA & IIIA		
	ALLOWED	PROPOSED
<b>HEIGHT<sup>6</sup></b>	85'-0"	85'-0"
<b>STORIES</b>		
Type IA	UL	3
Type IIIA	5	5
Total		8
(6) Building height is defined as the vertical distance from grade plane to the average height of the highest roof surface; excludes stair tower penthouse.		

ALLOWABLE AREAS (SF)			
	ALLOWED	PROPOSED FIREWALL AREA A	PROPOSED FIREWALL AREA B
Occupancy S-2 / SM with height increase / Type IA	UL	0	7,153
Occupancy R-2 / SM with height increase / Type IA	UL	22,096	16,352
Occupancy R-2 / SM with height increase / Type IIIA	48,000	33,347	39,338

BUILDING ALLOWABLE AREAS			
TOTAL	OCCUPANCY	ACTUAL (SF)	ALLOWABLE (SF)
Level 1	Mixed Occupancy	8,482	UL
	S-2 (Garage)	7,153	UL
Level 2	R-2 (Residential)	14,983	UL
Level 3	R-2 (Residential)	14,983	UL
Level 4	R-2 (Residential)	14,739	24,000 0.61
Level 5	R-2 (Residential)	14,512	24,000 0.60
Level 6	R-2 (Residential)	14,512	24,000 0.60
Level 7	R-2 (Residential)	14,512	24,000 0.60
Level 8	R-2 (Residential)	14,410	24,000 0.60
			3.03 > 2

FIRE WALL AREA #A			
Level	Occupancy	ACTUAL (SF)	ALLOWABLE (SF)
Level 1	Mixed Occupancy	8,482	UL
Level 2	R-2 (Residential)	6,807	UL
Level 3	R-2 (Residential)	6,807	UL
Level 4	R-2 (Residential)	6,659	24,000 0.28
Level 5	R-2 (Residential)	6,659	24,000 0.28
Level 6	R-2 (Residential)	6,659	24,000 0.28
Level 7	R-2 (Residential)	6,659	24,000 0.28
Level 8	R-2 (Residential)	6,711	24,000 0.28
			1.39 < 2
2022 CBC 506.2.2			

FIRE WALL AREA #B			
Level	Occupancy	ACTUAL (SF)	ALLOWABLE (SF)
Level 1	S-2 (Garage)	7,153	UL
Level 2	R-2 (Residential)	8,176	UL
Level 3	R-2 (Residential)	8,176	UL
Level 4	R-2 (Residential)	8,080	24,000 0.34
Level 5	R-2 (Residential)	7,853	24,000 0.33
Level 6	R-2 (Residential)	7,853	24,000 0.33
Level 7	R-2 (Residential)	7,853	24,000 0.33
Level 8	R-2 (Residential)	7,699	24,000 0.32
			1.64 < 2
2022 CBC 506.2.2			

3-hour Fire Wall required 2022 CBC Table 706.4  
 1-hour Occupancy Separation required between S-2/R-2, A-3/R-2 - (Sprinklered) 2022 CBC Table 508.4

BASE DENSITY CALCULATION	
Refer to Base Density Study provided.	

BMR UNITS PROVIDED	
Refer to Density Bonus Letter provided.	

CONCESSIONS/INCENTIVES	
Refer to Density Bonus Letter provided.	

WAIVERS	
Refer to Density Bonus Letter provided.	

RESIDENTIAL STORAGE	
<b>Total Required</b>	164 CF / unit 100 UNITS = 16,400 CF
<b>Total Provided<sup>7</sup></b>	0 CF / unit
(7) Refer to Density Bonus Letter provided for more information regarding residential storage requirements.	

FLOOR AREA CALCULATIONS			
		Gross Building	
ALLOWABLE FAR		Tier 1	
ACTUAL TOTAL BUILDING AREA		BLDG	Balconies
		SF	
Level 1 Residential	8,798	0	
Garage	6,837	0	
Level 2 Residential	14,983	0	
Level 3 Residential	14,983	0	
Level 4 Residential	14,739	0	
Level 5 Residential	14,512	0	
Level 6 Residential	14,512	0	
Level 7 Residential	14,512	0	
Level 8 Residential	14,410	0	
<b>PROPOSED FAR (includes Density Bonus)</b>	<b>118,286</b>	<b>0</b>	<b>4.37 FAR</b>

ZONING BUILDING AREA	
Residential	111,449
Non-Residential (Garage)	6,837
<b>Total</b>	<b>118,286</b>

GROSS BUILDING AREAS BY SPACE TYPE (SF)	
Units	75,976
Amenity	2,766
Office	356
Circulation	26,096
Utility	6,254
Garage	6,837
<b>Total</b>	<b>118,286</b>

GROSS BUILDING AREAS BY SPACE TYPE PER FLOOR (SF)	
Level 1	
Units	1,289
Amenity	2,389
Office	356
Circulation	2,143
Utility	2,620
Garage	6,837
<b>Total</b>	<b>15,635</b>

Level 2	
Units	10,821
Circulation	3,408
Utility	754
<b>Total</b>	<b>14,983</b>
Level 3	
Units	10,821
Amenity	377
Circulation	3,408
Utility	377
<b>Total</b>	<b>14,983</b>

Level 4	
Units	10,609
Circulation	3,363
Utility	747
<b>Total</b>	<b>14,739</b>
Level 5	
Units	10,609
Circulation	3,469
Utility	434
<b>Total</b>	<b>14,512</b>

Level 6	
Units	10,609
Circulation	3,469
Utility	434
<b>Total</b>	<b>14,512</b>
Level 7	
Units	10,609
Circulation	3,469
Utility	434
<b>Total</b>	<b>14,512</b>

Level 8	
Units	10,609
Circulation	3,347
Utility	454
<b>Total</b>	<b>14,410</b>

COMMON USABLE OPEN SPACE		
<b>Total Required</b>	175 SF / unit 100 UNITS =	17,500 SF
<b>Total Provided<sup>8</sup></b>	35.56 SF / unit 100 UNITS =	3,556 SF
(8) Refer to Density Bonus Letter provided for more information regarding common usable open space. See Sheet A6.6 for diagram.		

PRIVATE OPEN SPACE		
<b>Total Required<sup>9</sup></b>	0 SF / unit 100 UNITS =	0 SF
<b>Total Provided</b>	0 SF / unit 100 UNITS =	0 SF
(9) None required per San Antonio Precise Plan.		

PAVING COVERAGE, OPEN AREA, & PERCENTAGE OF LANDSCAPING	
See Sheet A6.6 for calculations and diagram.	

GREEN BUILDING NOTES	
Project shall meet mandatory CalGreen requirements and any Mountain View Amendments	
Project shall demonstrate energy compliance to meet or exceed Title 24, Part 6	
Project will install photovoltaic panels as required for Multi-family housing. The system will be designed by a PV Engineer and additional details on the system will be provided as the building progresses toward building permits.	
All installed water fixtures will be low-flow per CalGreen requirements	
Annular spaces shall be rodent proofed	
Project shall meet the minimum 65% construction waste diversion requirements per Cal Green	
Project shall be all electrical, no natural gas installed	
All open duct/registers shall be covered/protected during construction	
All installed materials such as flooring, insulation, counter top, carpets, and finishing materials such as paints, primers, adhesives shall meet CalGreen's VOC requirements	
Concrete foundations shall have a vapor retarder/capillary break installed	
Moisture content for wood framing shall not exceed 19% per CalGreen	
Bathroom exhaust fans shall be Energy Star rated	
HVAC installers shall be qualified and trained to perform the required installations	
Construction Waste Management Plan/Diversion will be provided for demolitions	
Operation and maintenance manual will be provided at the time of final inspection	

TYPICAL CONCEPTUAL RESIDENTIAL UNITS				
Unit Type	Quantity	Avg Unit SF (Gross Square Footage)	Percentage	Approximate Total SF
1 bedroom	36	499	36%	17,964
2 bedroom	28	763	28%	21,364
3 bedroom	36	1,018	36%	36,648
<b>TOTAL ALL UNITS</b>	<b>100</b>	<b>760</b>	<b>100%</b>	<b>75,976</b>

VEHICULAR PARKING SPACES REQUIRED				
Unit Type	Quantity	SAPP Ratio	SAPP Required	Density Bonus Required <sup>10</sup>
1 bedroom	36	1	36	0
2 bedroom	28	2	56	0
3 bedroom	36	2	72	0
<b>Total Car Parking Spaces Required</b>			<b>164</b>	<b>0</b>
(10) Per Density Bonus Law (State of California Government Code Section 65915) no parking is required for 100% low-income rental developments located within 1/2 mile of a major transit stop.				

VEHICULAR PARKING SPACES PROVIDED <sup>11</sup>	
Standard Spaces	15
Van Accessible Space <sup>12</sup>	1
<b>Total Vehicular Parking Spaces Provided</b>	<b>16</b>
(11) All spaces will be assigned.	
(12) No additional guest parking required, see Density Bonus Letter Provided.	

ELECTRIC VEHICLE CHARGING STATION (EVCS) & ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) REQUIRED	
Spaces served by installed Level 2 EVSE (EV2)	per MVCC Table 101.10 (15%*16 = 2.40) 3
Spaces served by installed Level 3 EVSE (EV3)	per MVCC Table 101.10 (1 per 100 spaces) 1
<b>EV Ready Spaces</b>	per MVCC Table 101.10 (all non EV installed spaces) 12
<b>Total Spaces<sup>13</sup></b>	16
(13) 1 per 25 spaces shall be sized to accommodate an accessible vehicle with a 9' wide x 18' long parking space adjacent to an 5' wide aisle per CGBC 4.106.4.2.2.1.1.	

ELECTRIC VEHICLE CHARGING STATION (EVCS) & ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) PROVIDED	
Installed Level 2 EVSE (EV2)	2 installed chargers, 4 spaces served
Installed Level 3 EVSE (EV3)	1 installed charger, 3 spaces served
<b>EV Ready Spaces</b>	12 remaining spaces not served by a charger
<b>Total Spaces<sup>14</sup></b>	16
(14) Refer to plan sheet A2.1 for additional information on location of chargers and spaces served. Per CGBC 4.106.4.2.2.1.1, the 1 required space sized to accommodate an accessible vehicle has been provided and has access to service by both a level 2 and a level 3 charger.	

PAVEMENT COVERAGE (per SAPP Section 4.D p. 82)	
Garage Area	6,837
Driveway	511
<b>TOTAL PAVEMENT COVERAGE (SF)</b>	<b>7,348</b>
<b>TOTAL PAVEMENT COVERAGE (PERCENTAGE OF SITE AREA)</b>	<b>27%</b>

MOTORCYCLE PARKING SPACES PROVIDED	
Motorcycle Spaces	2

BIKE PARKING		
	CLASS I <sup>15</sup>	CLASS II <sup>16</sup>
Resident	1 per unit	100
Residential Guest	1 per 10 units	10
<b>Total Required</b>	<b>100</b>	<b>110</b>
Level 1 Bicycle Room Parking (Long-Term) <sup>15</sup>	100	
Level 1 Bicycle Rack Parking (Short-Term) <sup>16</sup>		14
<b>Total Provided</b>	<b>100</b>	<b>14</b>
(15) Class I Facility - locked storage room and/or lockers inside building for residents and retail owner / not general public		
(16) Class II Facility - exterior racks to which bicycles can be locked / general public. Each rack has capacity for 2 bikes. Number represents number of bikes accommodated by bike racks, not number of racks.		

# 334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA

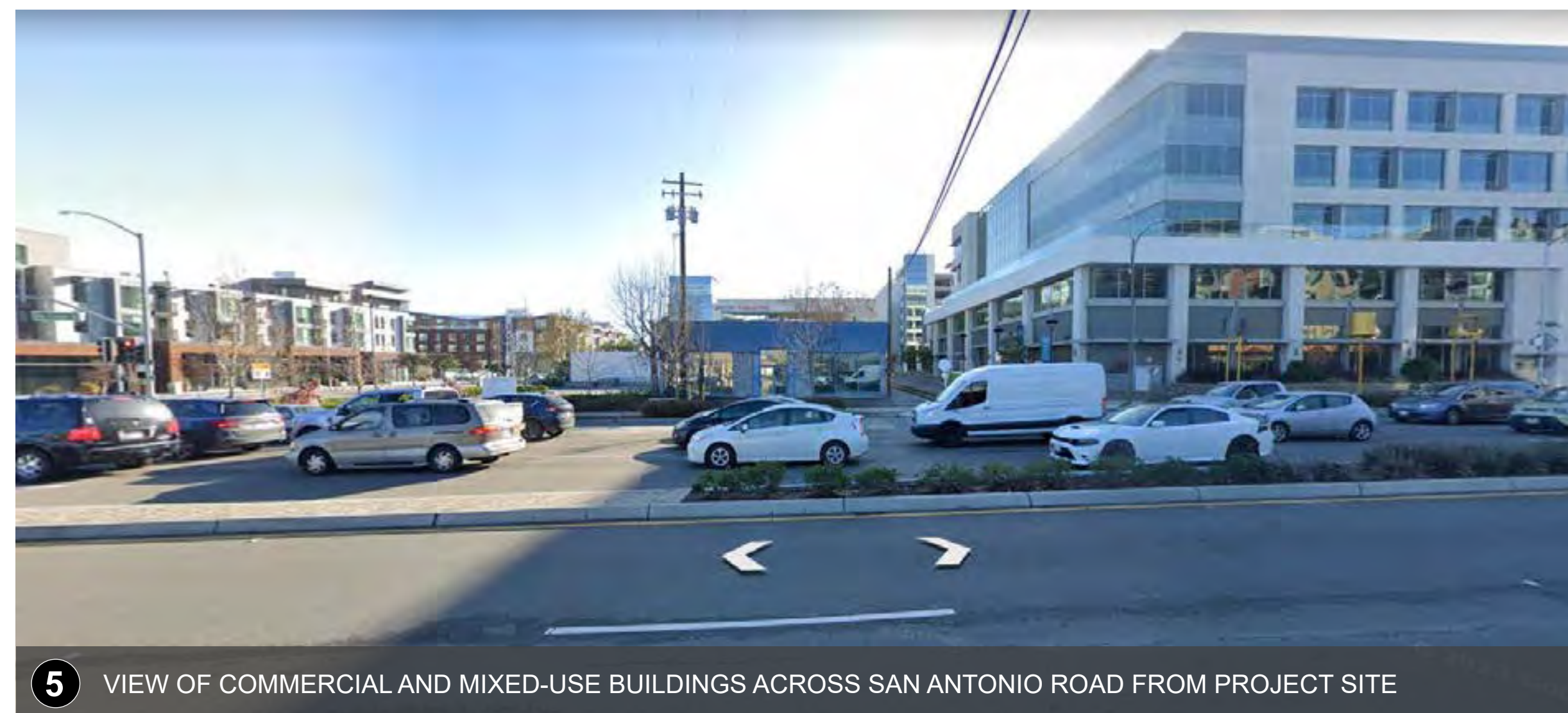
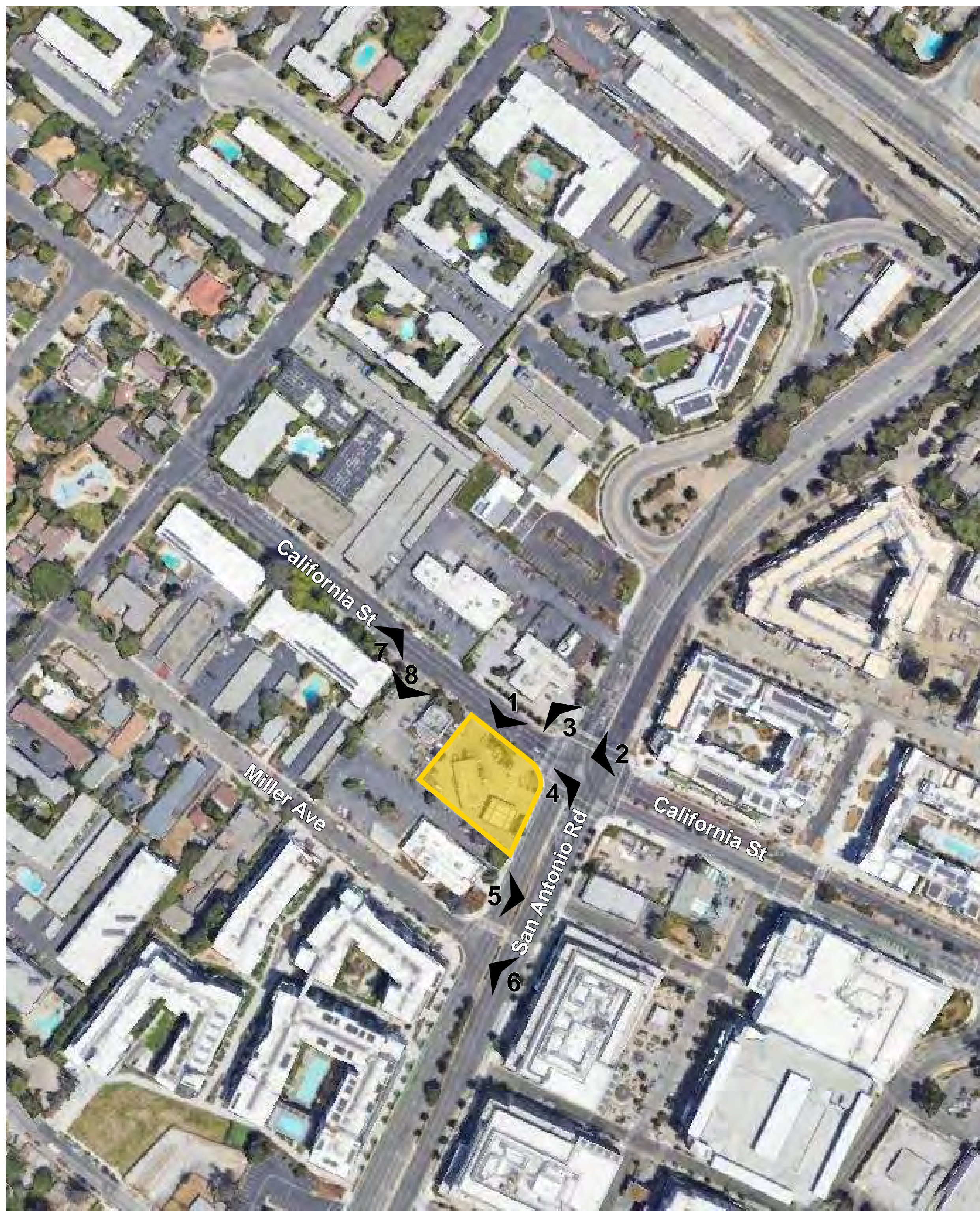
## CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT

# PROJECT DATA SUMMARY

JOB NO. 1648.002  
 DATE 10.04.2024  
 5865 Owens Drive  
 Pleasanton, CA 94588  
 925-251-7200



# A6.1



334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
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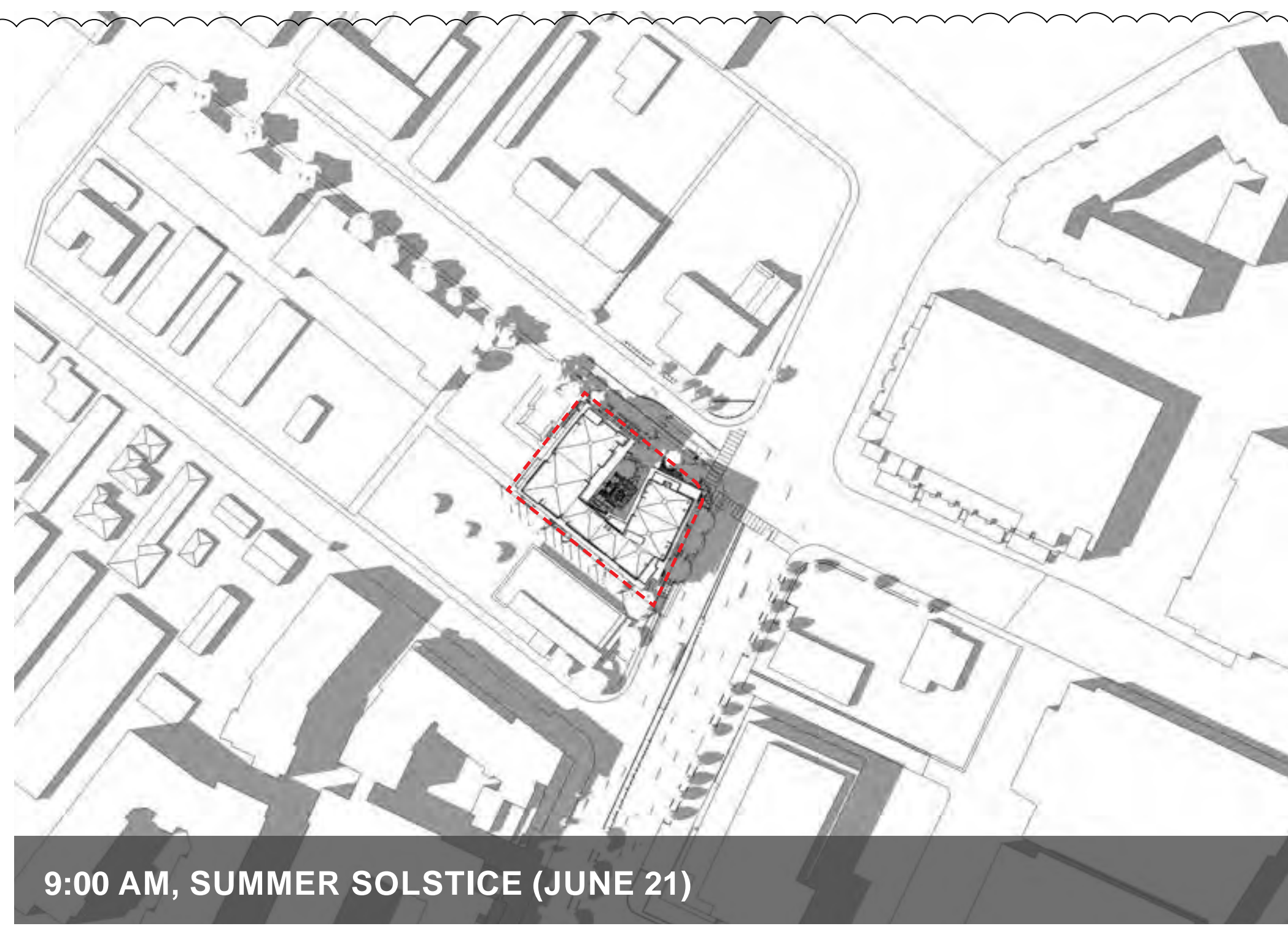
NEIGHBORHOOD  
CONTEXT

NOT TO SCALE (N.T.S.)

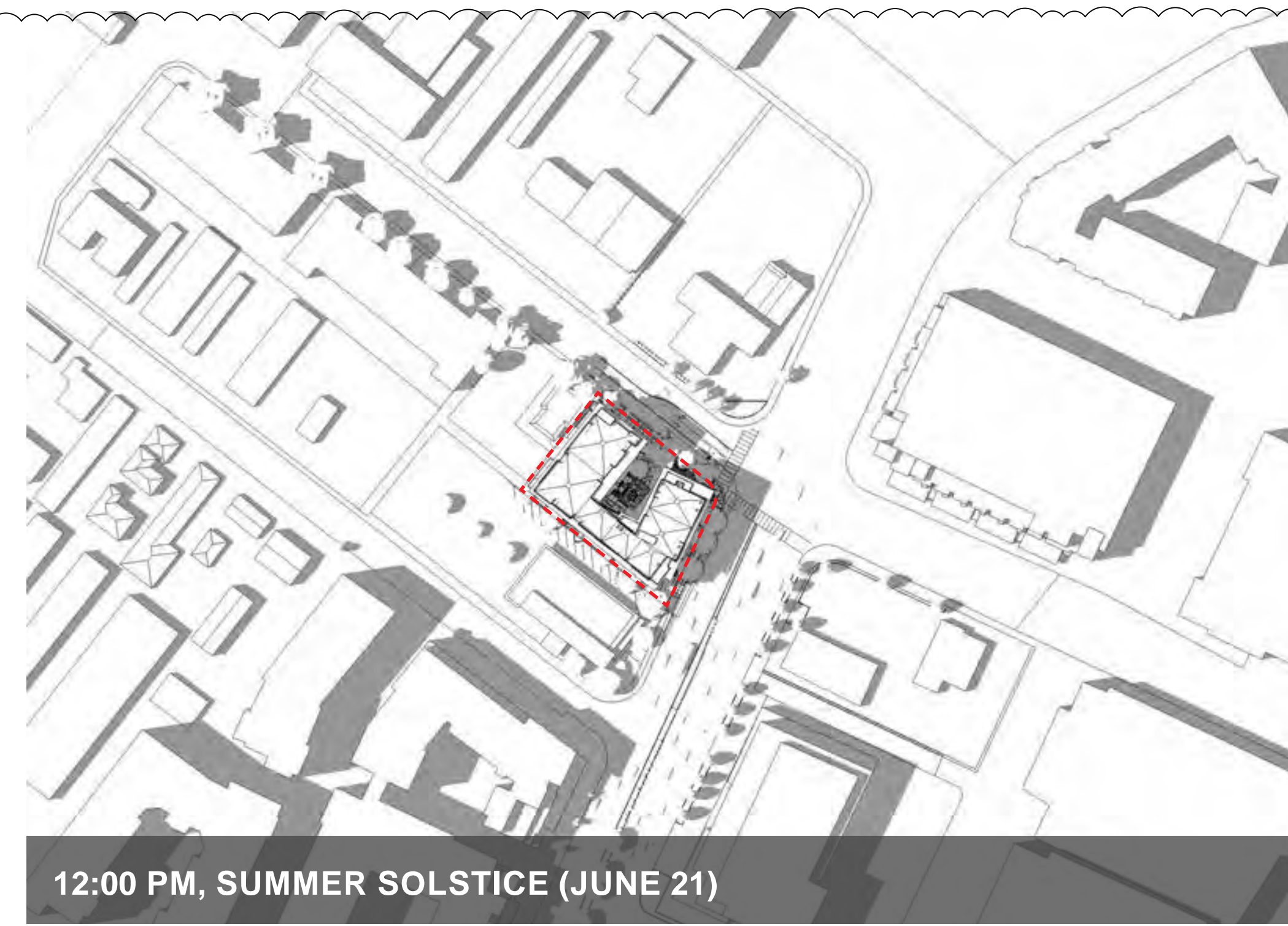


JOB NO. 1648.002  
DATE 10.04.2024  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

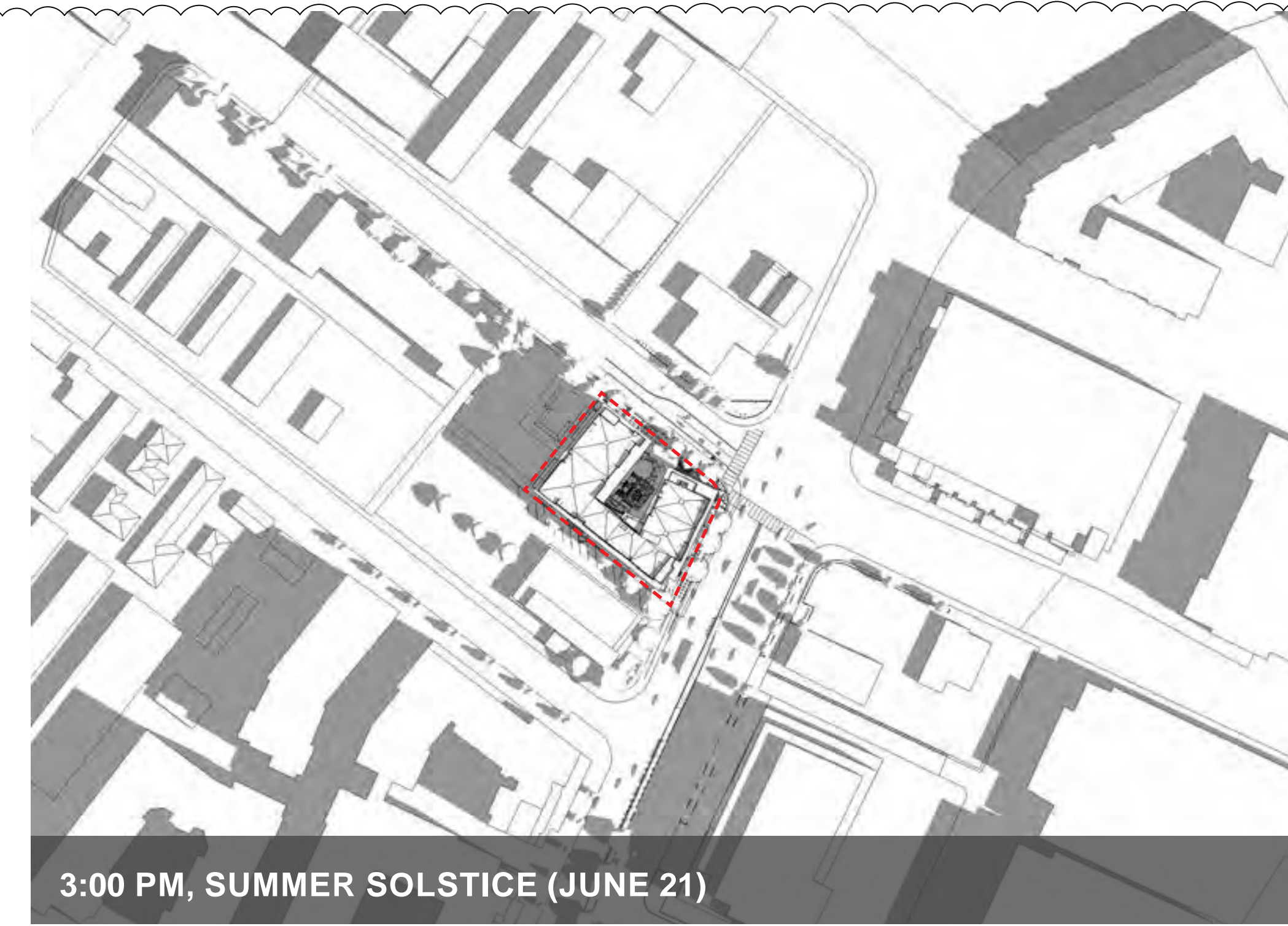




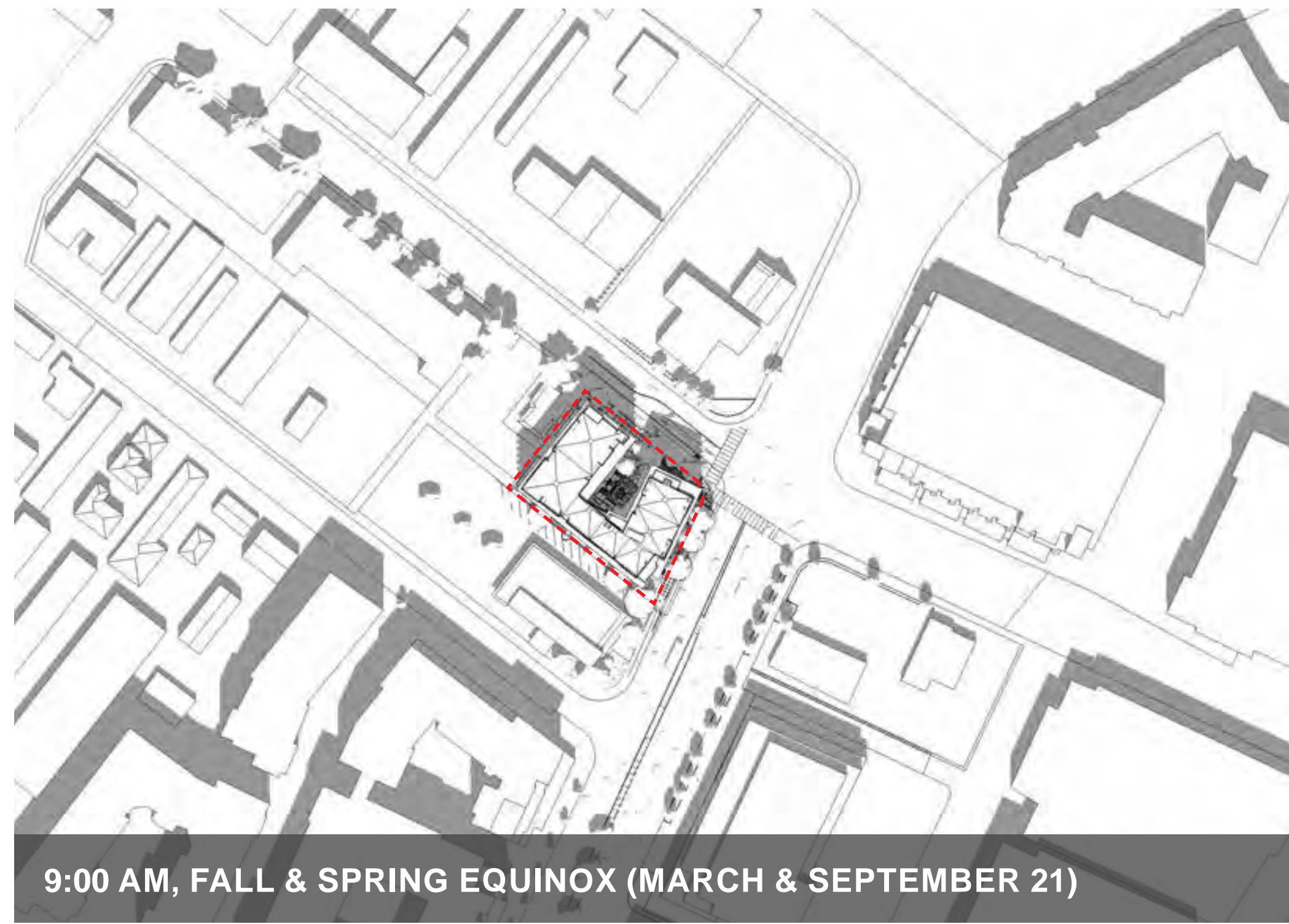
9:00 AM, SUMMER SOLSTICE (JUNE 21)



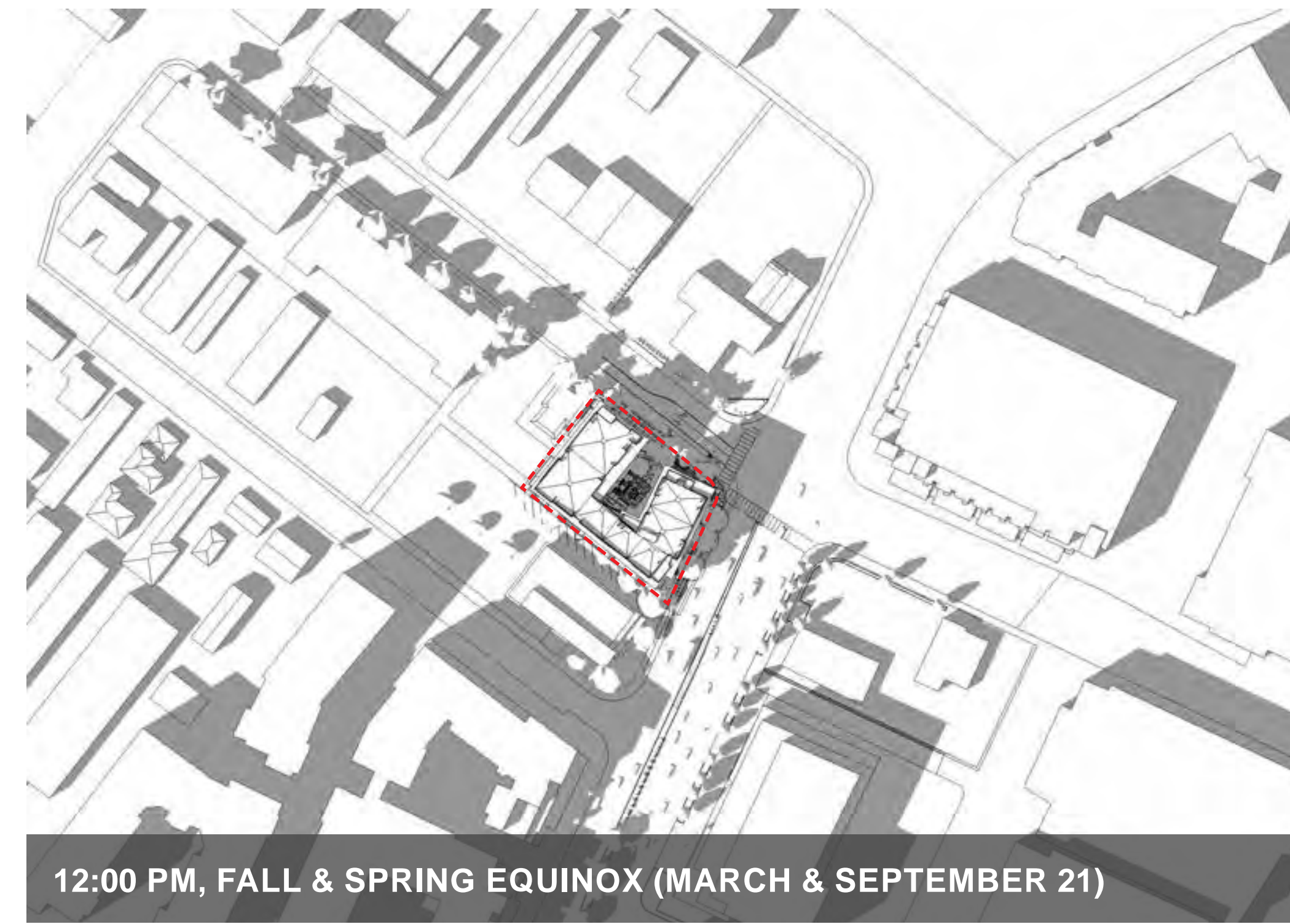
12:00 PM, SUMMER SOLSTICE (JUNE 21)



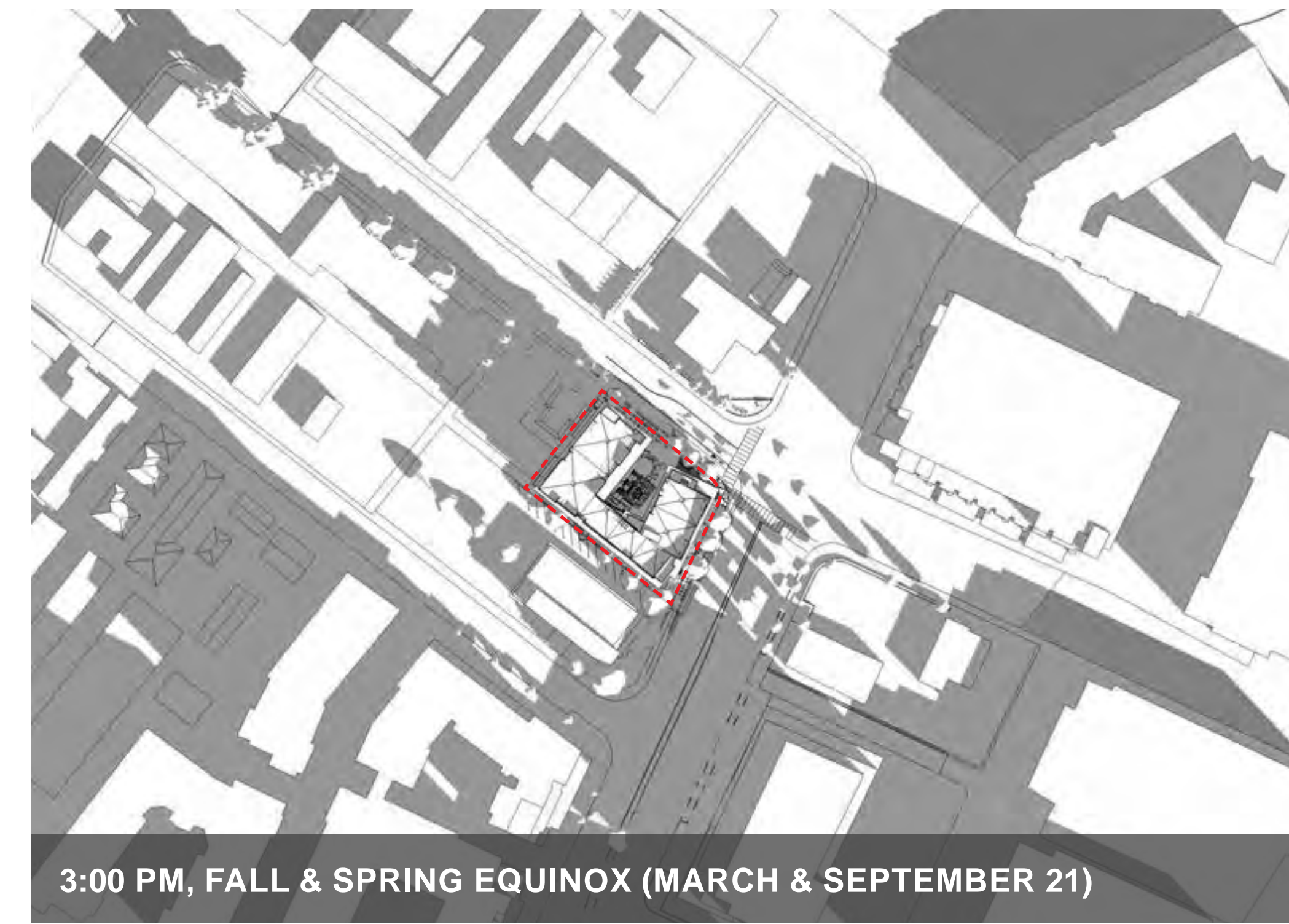
3:00 PM, SUMMER SOLSTICE (JUNE 21)



9:00 AM, FALL & SPRING EQUINOX (MARCH & SEPTEMBER 21)



12:00 PM, FALL & SPRING EQUINOX (MARCH & SEPTEMBER 21)



3:00 PM, FALL & SPRING EQUINOX (MARCH & SEPTEMBER 21)



9:00 AM, WINTER SOLSTICE



12:00 PM, WINTER SOLSTICE (DECEMBER 21)



3:00 PM, WINTER SOLSTICE (DECEMBER 21)

### SHADOW STUDIES

NOT TO SCALE (N.T.S.)

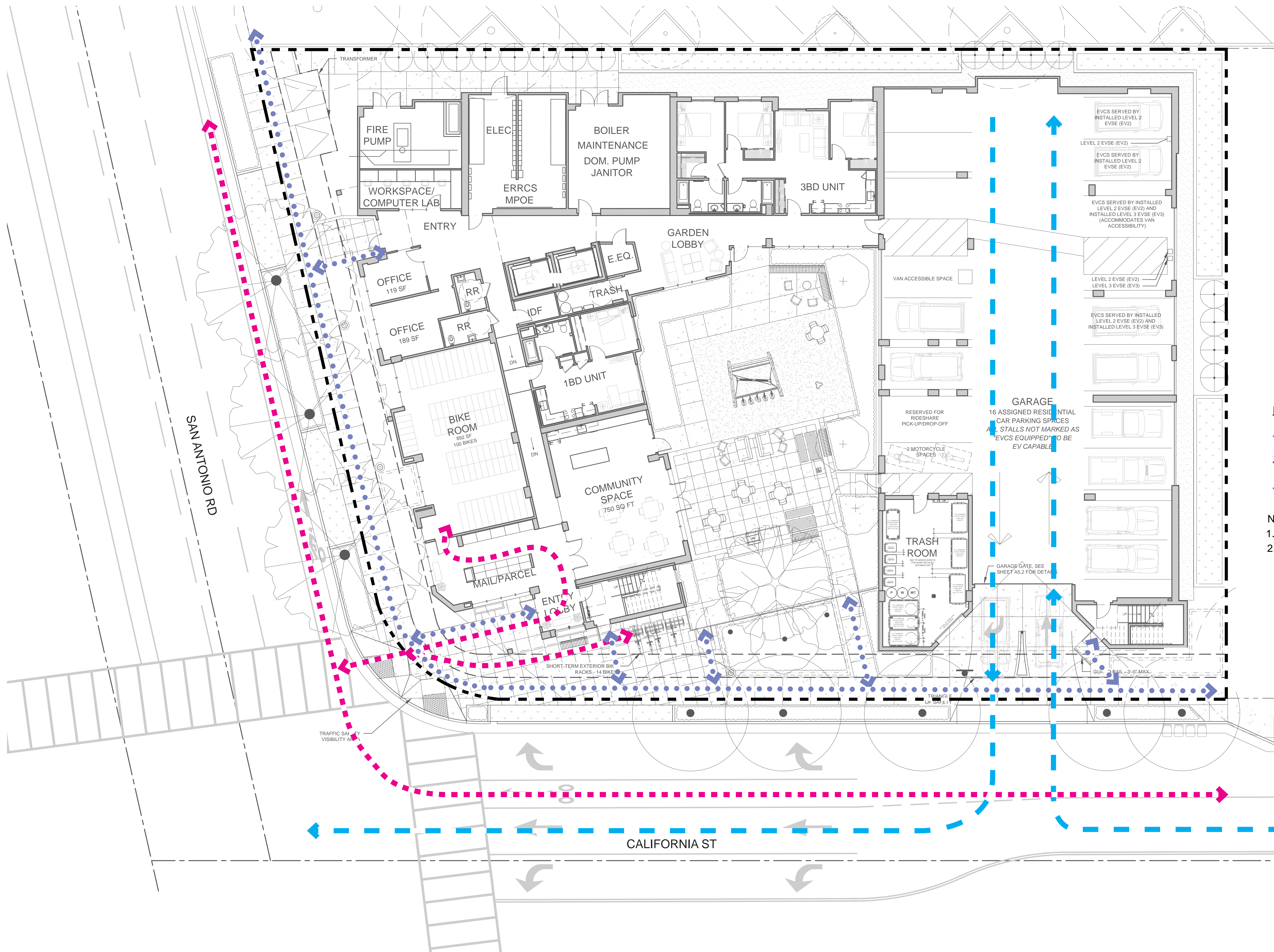
334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT



JOB NO. 1648.002  
DATE 10.04.2024  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200



A6.4



- KEY:**
- PEDESTRIAN CIRCULATION
  - BICYCLE CIRCULATION
  - VEHICLE CIRCULATION

- NOTES:**
1. FOR FIRE TRUCK CIRCULATION, S.C.D.
  2. FOR TRASH VEHICLE CIRCULATION, SEE TR SERIES PLANS.

**CIRCULATION DIAGRAM**







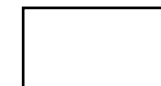
334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
 CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT



JOB NO. 1648.002  
 DATE 10.04.2024  
 5865 Owens Drive  
 Pleasanton, CA 94588  
 925-251-7200





	BUILDING COVERAGE <sup>1</sup>	9,539 SF (35.21%)
	PAVEMENT COVERAGE <sup>3</sup>	7,348 SF (27.13%)
+	 OPEN AREA/PERCENTAGE OF LANDSCAPING <sup>4</sup>	10,203 SF (37.66%)
 TOTAL SITE AREA <sup>5</sup>		27,090 SF (100%)
 RESIDENTIAL COMMON USABLE OPEN SPACE <sup>5</sup>		3,556 SF (13.13%)

- NOTES:
- BUILDING COVERAGE** IS DEFINED AS THE TOTAL LOT AREA COVERED BY STRUCTURES.
  - STRUCTURE** IS DEFINED AS THAT WHICH IS BUILT OR CONSTRUCTED, AN EDIFICE OR BUILDING OF ANY KIND OR ANY PIECE OF WORK ARTIFICIALLY BUILT UP OR COMPOSED OF PARTS JOINED TOGETHER IN SOME DEFINITE MANNER.
  - PAVING** IS DEFINED AS ANY AREA NECESSARY FOR THE INGRESS, EGRESS, OR PARKING OF MOTOR VEHICLES. THIS PROJECT HAS COUNTED THE GARAGE AREA IN PAVEMENT COVERAGE.
  - OPEN AREA** IS DEFINED AS THE TOTAL LOT AREA MINUS THE AREA COVERED BY BUILDINGS, ACCESSORY STRUCTURES, OTHER STRUCTURES, GARBAGE AND REFUSE FACILITIES, DRIVEWAYS, AND OFF-STREET PARKING. THIS PROJECT DOES NOT PROPOSE ANY STAND-ALONE GARBAGE AND REFUSE FACILITIES OR OFF-STREET PARKING.
  - TOTAL SITE AREA** IS DEFINED AS THE COMPUTED AREA CONTAINED WITHIN THE LOT LINES, EXCLUSIVE OF STREET RIGHTS-OF-WAY, BUT INCLUDING EASEMENTS.
  - PER THE SAN ANTONIO PRECISE PLAN CHAPTER 4, SECTION D, SETBACKS ARE NOT CONSIDERED RESIDENTIAL COMMON USABLE OPEN SPACE UNLESS THEY ARE 25'-0" WIDE.

DEFINITIONS SOURCED FROM CITY OF MOUNTAIN VIEW'S ZONING CALCULATIONS: METHODS, DEFINITIONS AND CLARIFICATIONS UNLESS OTHERWISE NOTED.

## ZONING CALCULATIONS & DIAGRAM

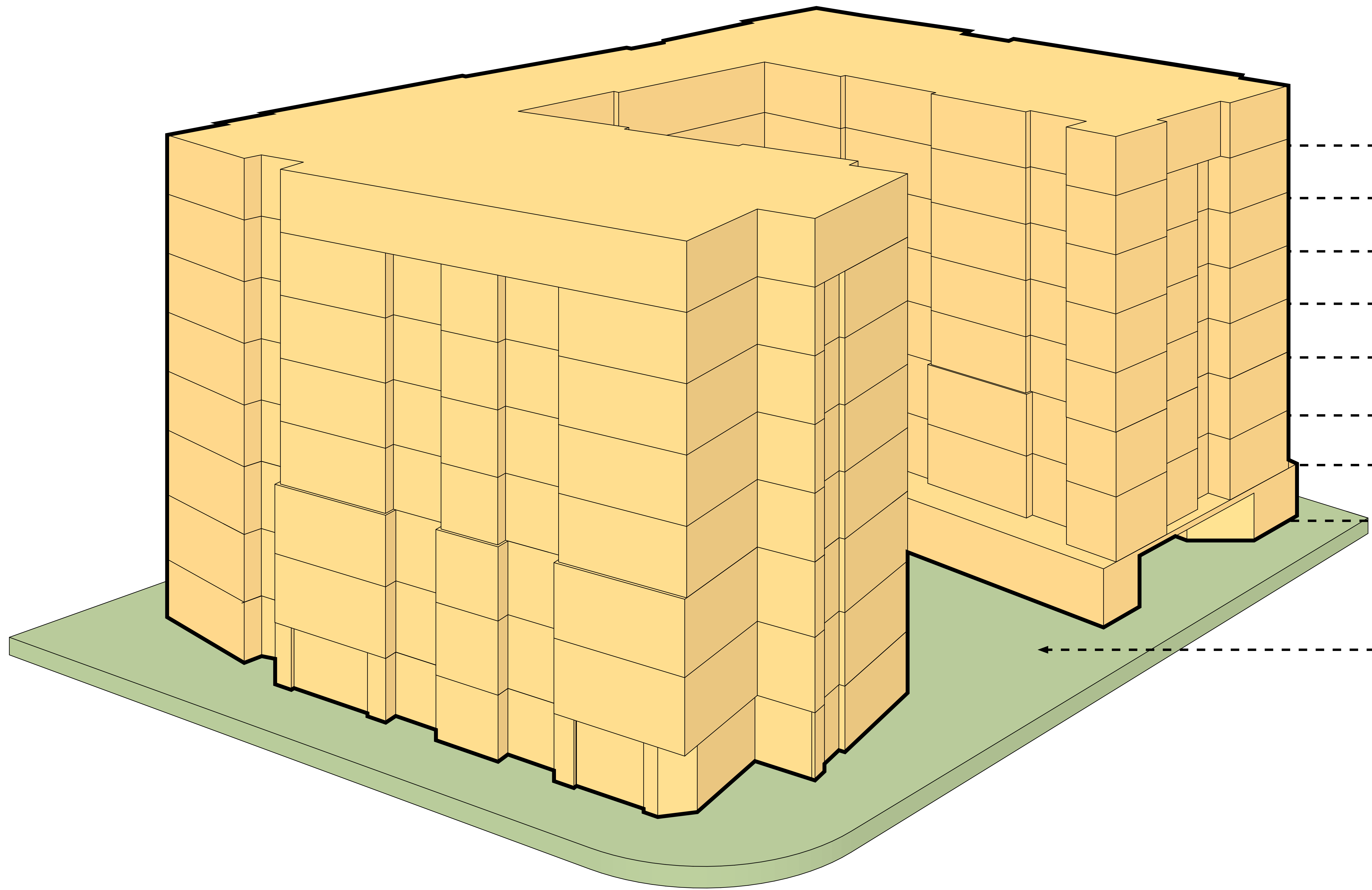


334 SAN ANTONIO ROAD | MOUNTAIN VIEW, CA  
CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT



JOB NO. 1648.002  
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EIGHTH FLOOR AREA = 14,410 SF  
 SEVENTH FLOOR AREA = 14,512 SF  
 SIXTH FLOOR AREA = 14,512 SF  
 FIFTH FLOOR AREA = 14,512 SF  
 FOURTH FLOOR AREA = 14,739 SF  
 THIRD FLOOR AREA = 14,983 SF  
 SECOND FLOOR AREA = 14,983 SF  
 GROUND FLOOR AREA = 15,635 SF

**TYPICAL FLOOR PLAN**

**TOTAL BUILDING AREA = 118,286 SF**  
**SITE AREA = 27,090 SF**  
**118,286 SF / 27,090 SF = 4.37 FAR**

- NOTES:
1. FLOOR AREAS SHALL INCLUDE THE FOLLOWING: ALL FLOOR AREA ENCLOSED WITHIN THE WALLS OF THE PRINCIPAL STRUCTURE (MEASURED FROM THE OUTSIDE PERIMETER OF THE WALLS); THE TOTAL FLOOR AREA OF ALL ACCESSORY STRUCTURES, INCLUDING GARAGES, CARPORTS, AND STORAGE SHEDS; ENCLOSED PATIOS, AND ANY OTHER FULLY ENCLOSED SPACE THAT CONTRIBUTES TOWARD THE OVERALL MASS OR BULK OF THE BUILDING.
  2. THE TOTAL AREA OF EACH FLOOR IS DEFINED AS THE AREA ENCLOSED BY THE EXTERIOR PERMANENT WALLS. THIS HAS BEEN CALCULATED SEPARATELY. OPENINGS FOR STAIRWAYS OR SHAFTS HAVE NOT BEEN DEDUCTED.
  3. "OPEN, UNENCLOSED STRUCTURES" SUCH AS DECKS, OPEN PORCHES, OPEN PATIOS, AND TRELLISES ARE NOT COUNTED AS FLOOR AREA. A COVERED STRUCTURE IS "OPEN AND UNENCLOSED" IF IT HAS WALLS ON NO MORE THAN TWO SIDES. AN UNCOVERED STRUCTURE IS "OPEN AND UNENCLOSED" IF IT HAS WALLS ON NO MORE THAN THREE SIDES.

DEFINITIONS SOURCED FROM CITY OF MOUNTAIN VIEW'S ZONING CALCULATIONS: METHODS, DEFINITIONS AND CLARIFICATIONS

**TYPICAL FIFTH THROUGH SEVENTH FLOOR PLAN**



**GROSS BUILDING AREA BY SPACE TYPE (SF) FIFTH THROUGH SEVENTH FLOORS, TYP.**

Units	10,609
Circulation	3,469
Utility	434
<b>Total</b>	<b>14,512</b>

NOTE: FIFTH THROUGH SEVENTH FLOOR PLAN AND FIFTH THROUGH SEVENTH GROSS FLOOR AREAS ARE SHOWN AS A TYPICAL CONDITION TO ILLUSTRATE HOW FAR HAS BEEN CALCULATED. ALL BUILDING AREAS HAVE BEEN COUNTED ON EACH FLOOR PLAN LEVEL. FOR A DETAILED PER-FLOOR BREAKDOWN OF GROSS FLOOR AREAS, SEE THE TABLE TITLED "GROSS BUILDING AREAS BY SPACE TYPE (SF)" ON SHEET A6.1.

**FAR DIAGRAM**

NOT TO SCALE (N.T.S.)





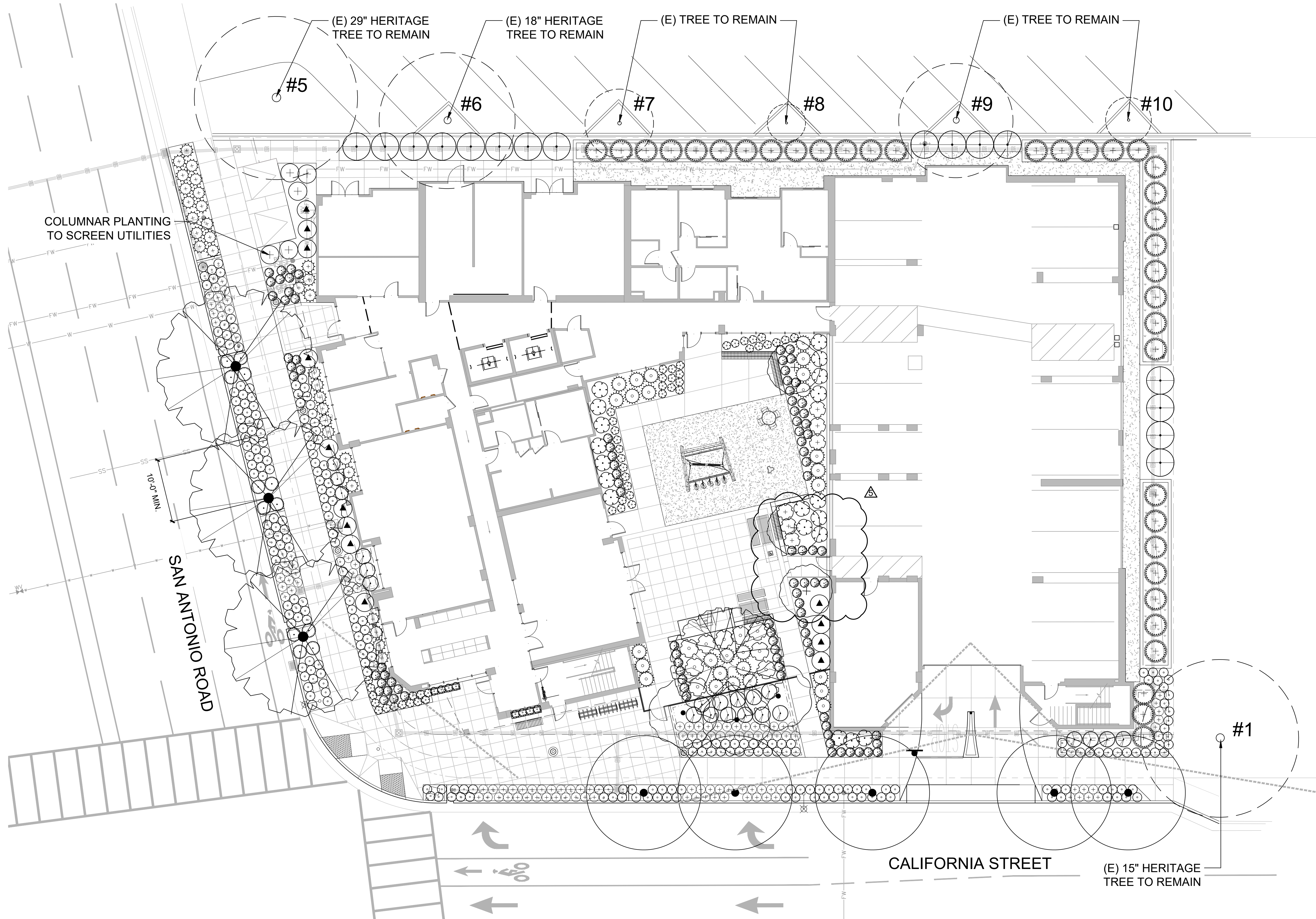
### PROPOSED TREE LEGEND

TREES	BOTANICAL NAME COMMON NAME	CONT	WATER USE	QTY
	ACER PLATANOIDES 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	24"BOX	MOD	3
	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	36"BOX	MOD	4
	ACER X FREEMANII 'JEFFERSRED' AUTUMN BLAZE® FREEMAN MAPLE	36"BOX	MOD	3
	CERCIS CANADENSIS 'TEXENSIS' 'OKLAHOMA' OKLAHOMA TEXAS REDBUD	24"BOX	MOD	3
	PRUNUS CAROLINIANA 'COMPACTA' COMPACT CAROLINA LAUREL CHERRY	15 GAL	LOW	16
	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	48"BOX	LOW	1
	EXISTING TREE	N/A	N/A	

### PROPOSED SHRUB LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	NATIVE/ ADAPTIVE	QTY
	AZALEA RUTHERFORDIANA 'ALASKA'	ALASKA AZALEA	5 GAL	MOD	ADAPTIVE	8
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	LOW	NATIVE	250
	CARPENTERIA CALIFORNICA 'ELIZABETH'	BUSH ANEMONE	5 GAL	MOD	NATIVE	5
	CHONDRPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	LOW	ADAPTIVE	36
	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	LOW	ADAPTIVE	18
	DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	MOD	ADAPTIVE	29
	GALVEZIA SPECIOSA 'FIRECRACKER'	FIRECRACKER ISLAND SNAPDRAGON	5 GAL	LOW	NATIVE	15
	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL	MOD	NATIVE	91
	JUNCUS PATENS 'ELK BLUE'	CALIFORNIA GRAY RUSH	1 GAL	LOW	NATIVE	111
	LIRIOPE MUSCARI 'SILVERY SUNPROOF' LILYTURF	SILVERY SUNPROOF LILYTURF	1 GAL	MOD	ADAPTIVE	58
	PODOCARPUS MACROPHYLLUS 'MAKI'	MAKI SHRUBBY YEW PODOCARPUS	15 GAL	MOD	ADAPTIVE	13
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	MOD	NATIVE	27
	SARCOGOCOA HOOKERIANA HUMILIS 'FRAGRANT MOUNTAIN' SWEETBOX	FRAGRANT MOUNTAIN SWEETBOX	5 GAL	LOW	ADAPTIVE	9
	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	MOD	NATIVE	22

TOTAL NATIVE PLANTINGS 75%



### PROPOSED SHRUB LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	NATIVE/ADAPTIVE	QTY
⊕	AZALEA RUTHERFORDIANA 'ALASKA'	ALASKA AZALEA	5 GAL	MOD	ADAPTIVE	8
⊖	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	LOW	NATIVE	247
⊕	CARPENTERIA CALIFORNICA 'ELIZABETH'	BUSH ANEMONE	5 GAL	MOD	NATIVE	5
⊕	CHONDRPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	LOW	ADAPTIVE	36
⊕	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	LOW	ADAPTIVE	18
⊕	DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	MOD	ADAPTIVE	32
⊕	GALVEZIA SPECIOSA 'FIRECRACKER'	FIRECRACKER ISLAND SNAPDRAGON	5 GAL	LOW	NATIVE	15
⊕	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL	MOD	NATIVE	91
⊕	JUNCUS PATENS 'ELK BLUE'	CALIFORNIA GRAY RUSH	1 GAL	LOW	NATIVE	111
⊕	LIRIOPE MUSCARI 'SILVERY SUNPROOF'	SILVERY SUNPROOF LILYTURF	1 GAL	MOD	ADAPTIVE	58
⊕	PODOCARPUS MACROPHYLLUS 'MAKI'	MAKI SHRUBBY YEW	15 GAL	MOD	ADAPTIVE	13
⊕	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	MOD	NATIVE	27
⊕	SARCOCOCCA HOOKERIANA HUMILIS 'FRAGRANT MOUNTAIN'	FRAGRANT MOUNTAIN SWEETBOX	5 GAL	LOW	ADAPTIVE	9
⊕	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	MOD	NATIVE	22
TOTAL NATIVE PLANTINGS 75%						

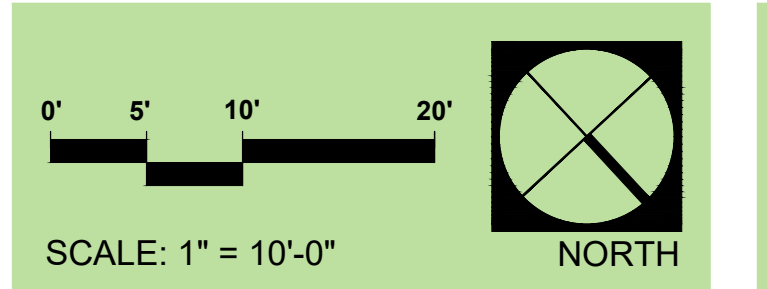
### PROPOSED TREE LEGEND

TREES	BOTANICAL NAME COMMON NAME	CONT	WATER USE	QTY
⊗	ACER PLATANOIDES 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	24"BOX	MOD	3
⊗	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	36"BOX	MOD	5
⊗	ACER X FREEMANII 'JEFFERSRED' AUTUMN BLAZE® FREEMAN MAPLE	36"BOX	MOD	3
⊗	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA' OKLAHOMA TEXAS REDBUD	24"BOX	MOD	3
⊗	PRUNUS CAROLINIANA 'COMPACTA' COMPACT CAROLINA LAUREL CHERRY	15 GAL	LOW	16
⊗	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	48"BOX	LOW	1
#	EXISTING TREE	N/A	N/A	

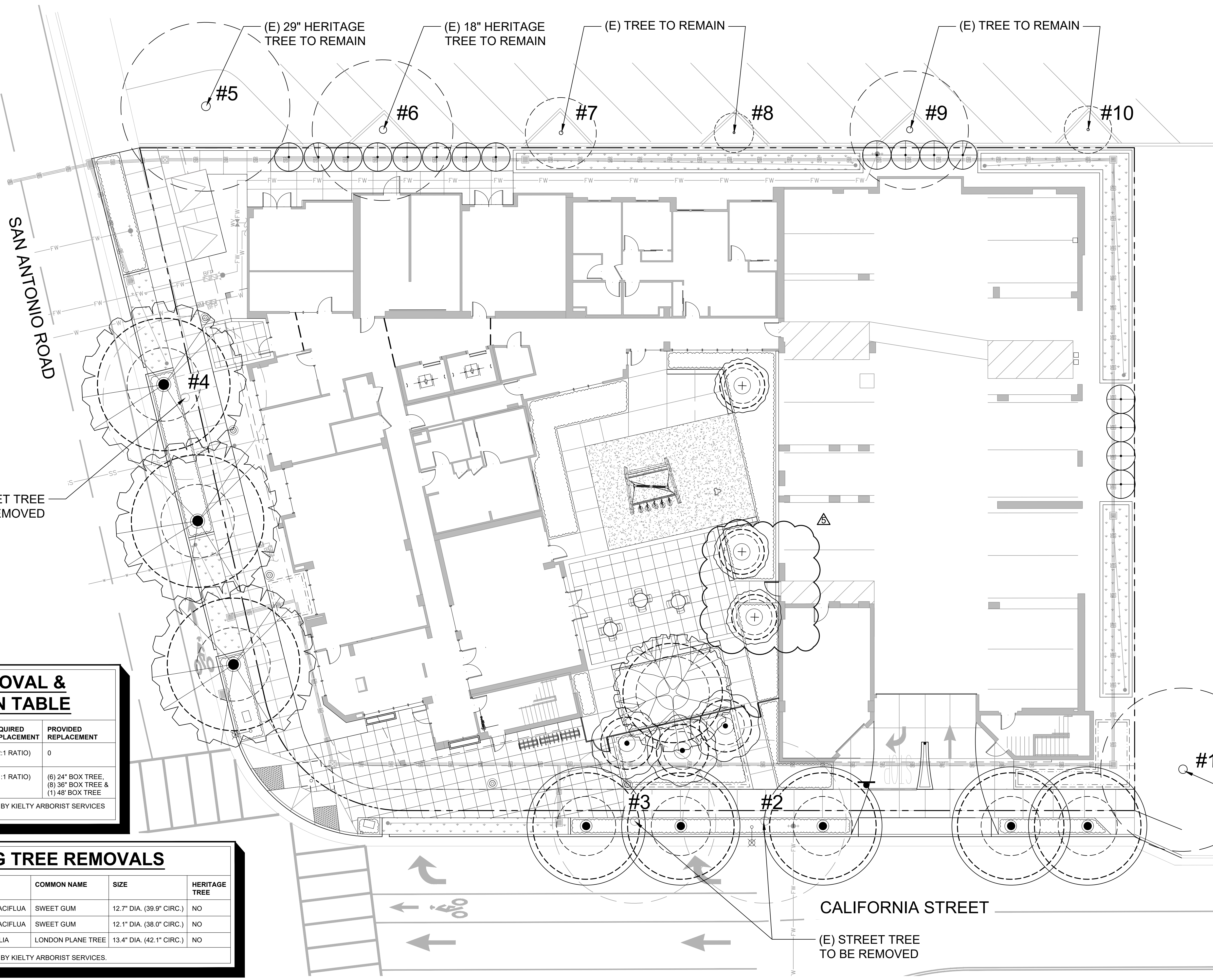
- ### PLANTING NOTES
1. THE PLANTING DESIGN FOR THE SITE IS DROUGHT TOLERANT AND CONSISTS OF A BALANCE OF EVERGREEN AND DECIDUOUS PLANTING AS WELL AS NATIVE AND ORNAMENTAL PLANTING.
  2. PROPOSED TREE LOCATIONS ARE BASED ON PRELIMINARY UTILITY LOCATIONS. FINAL TREE LOCATIONS TO BE DETERMINED WHEN FINAL UTILITY LOCATIONS ARE PROVIDED. TREE PLACEMENT MAY BE ADJUSTED AND FINAL TREE COUNT MAY CHANGE.
  3. ALL SHRUBS AND GROUNDCOVER MATERIAL SELECTED HAVE A WUCOLS WATER USE RATING OF VERY LOW TO MODERATE.
  4. PROPOSED TREE CANOPIES ARE SHOWN AT 85% MATURE GROWTH DIAMETER IN ORDER TO ENSURE THERE IS SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.
  5. ALL SHRUB / GROUNDCOVER PLANTING LOCATED WITHIN SIGHT VIEW TRIANGLE SHALL NOT EXCEED 36" IN HEIGHT.

**334 SAN ANTONIO ROAD**  
Mountain View, California

**PRELIMINARY PLANTING PLAN**  
CONCEPTUAL PHASE  
OCTOBER 4, 2024

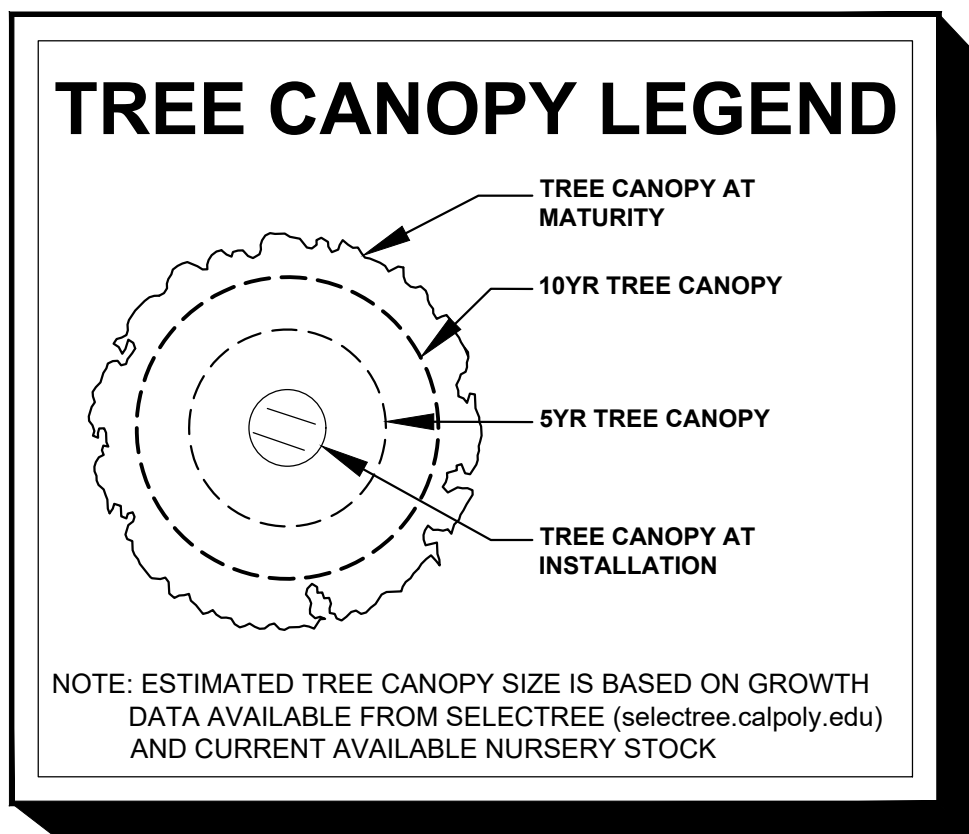


**L-3**  
Project No. 05123



### PROPOSED TREE LEGEND

TREES	BOTANICAL NAME COMMON NAME	CONT	WATER USE	QTY
	ACER PLATANOIDES 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	24"BOX	MOD	3
	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	36"BOX	MOD	5
	ACER X FREEMANII 'JEFFERSRED' AUTUMN BLAZE® FREEMAN MAPLE	36"BOX	MOD	3
	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA' OKLAHOMA TEXAS REDBUD	24"BOX	MOD	3
	PRUNUS CAROLINIANA 'COMPACTA' COMPACT CAROLINA LAUREL CHERRY	15 GAL	LOW	16
	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	48"BOX	LOW	1
	EXISTING TREE	N/A	N/A	



### TREE CANOPY COVERAGE TABLE

CANOPY COVERAGE*	TOTAL AREA	% OF SITE
EXISTING OFF-SITE TREE TO BE REMOVED	1,128 SF	4.16%
AT INSTALLATION	95 SF	0.35%
5 TO 10 YEARS	1,822 SF	6.73%
AT MATURITY	2,781 SF	10.27%

TOTAL SITE AREA: 27,090 SF  
\*CANOPY AREA MEASURED WHERE CANOPY OVERHANGS PROJECT SITE AREA

### TREE REMOVAL & MITIGATION TABLE

EXISTING TREE CLASSIFICATION	REMOVED	REQUIRED REPLACEMENT	PROVIDED REPLACEMENT
HERITAGE TREES (>48" CIRCUMFERENCE)	0	0 (2:1 RATIO)	0
NON-HERITAGE TREES	3	3 (1:1 RATIO)	(6) 24" BOX TREE, (8) 36" BOX TREE & (1) 48" BOX TREE

NOTE: SEE ARBORIST REPORT PREPARED BY KIELTY ARBORIST SERVICES

### EXISTING TREE REMOVALS

TREE # PER ARBORIST REPORT	BOTANICAL NAME	COMMON NAME	SIZE	HERITAGE TREE
#2	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	12.7" DIA. (39.9" CIRC.)	NO
#3	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	12.1" DIA. (38.0" CIRC.)	NO
#4	PLATANUS ACERIFOLIA	LONDON PLANE TREE	13.4" DIA. (42.1" CIRC.)	NO

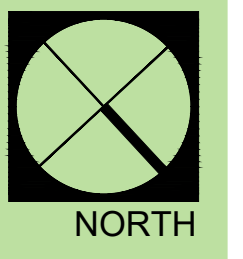
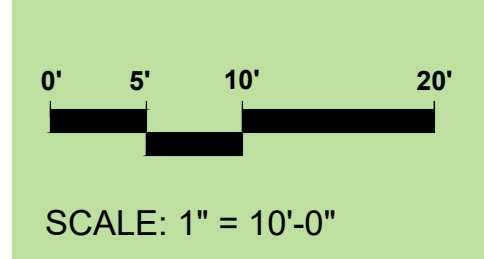
NOTE: SEE ARBORIST REPORT PREPARED BY KIELTY ARBORIST SERVICES.

- \*NOTES:
- TOTAL SQUARE FOOTAGE NOTED ABOVE IS OF THE GROUND LEVEL PROPOSED TREE CANOPIES. EXISTING TREES ON ADJACENT PROPERTIES & PROPOSED STREET TREES OUTSIDE THE PROPERTY LINE ARE NOT INCLUDED.
  - CITY REQUIREMENTS STATE THAT THERE SHALL BE NO NET LOSS OF TREE CANOPY COVERAGE WITH NEW IMPROVEMENTS. THE PROPOSED PLAN PROVIDES 1,653 SF NET GAIN OF TREE CANOPY COVERAGE ONCE PROPOSED TREES REACH MATURITY.
  - ALL PRUNING SHALL BE COMPLETED BY A CERTIFIED ARBORIST OR TREE WORKER, NOT BY CONSTRUCTION PERSONNEL. PRUNING SHALL ADHERE TO THE LATEST EDITION OF THE ANSI Z133 AND A300 STANDARDS AS WELL AS THE BEST MANAGEMENT PRACTICES - TREE PRUNING PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE.

**334 SAN ANTONIO ROAD**  
Mountain View, California

**PRELIMINARY TREE AND CANOPY PLAN**  
CONCEPTUAL PHASE  
OCTOBER 4, 2024

vanderToolen Associates  
700 Ygnacio Valley Rd.  
Suite 100  
Walnut Creek, CA 94596  
tel: 925.274.1305  
www.vandertoolen.com



**L-4**  
Project No. 05123



CONCRETE WITH SCORELINES TO CREATE PATTERNS



RUBBERIZED SURFACE WITH PLAYFUL PATTERN AND COLORS



**B** VIEW FENCE AND SECURITY GATE AT COURTYARD



**C** BIKE RACKS

**A** ENHANCED PAVING

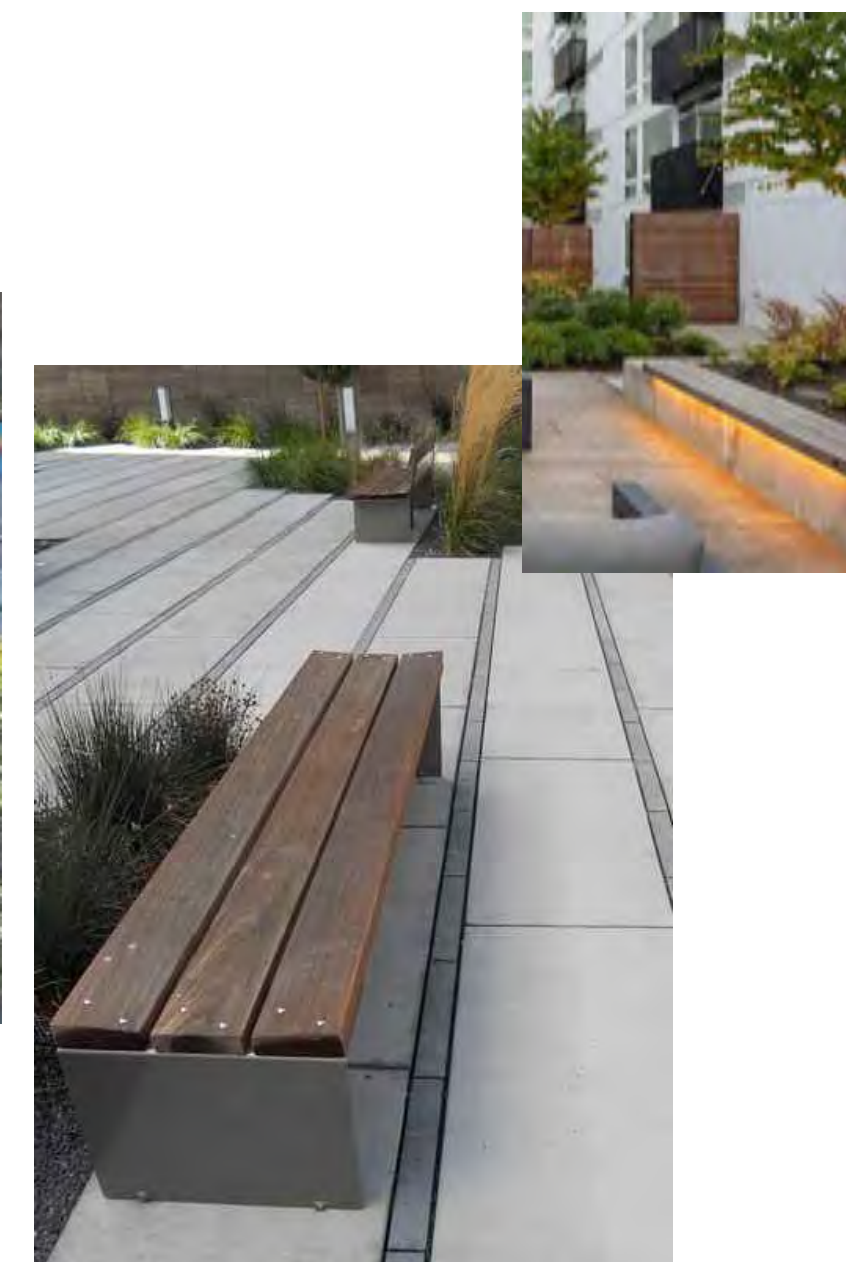


PICNIC TABLES

CASUAL SEATING TABLE AND CHAIRS



BENCH STYLE SEATING



GAME TABLES

**D** COURTYARD SITE FURNITURE



**E** PLAY EQUIPMENT FOR AGES 2-12



CLIMBER



CHILDREN'S SEATING



**F** PLANTER AT ENTRY



### LIGHTING CONCEPT STATEMENT

THE SITE LIGHTING WILL SERVE AS BOTH FUNCTIONAL LIGHTING AS WELL AS ACCENT. LIGHTING WILL MEET OR EXCEED THE MINIMUM FOOT-CANDLE LEVELS REQUIRED BY THE CITY OF MOUNTAIN VIEW. THE STYLE OF THE FIXTURES ARE PROPOSED TO COMPLEMENT THE ARCHITECTURAL CHARACTER.

THE BUILDING ENTRIES WILL BE LIT VIA ARCHITECTURALLY MOUNTED AREA DOWNLIGHTS.

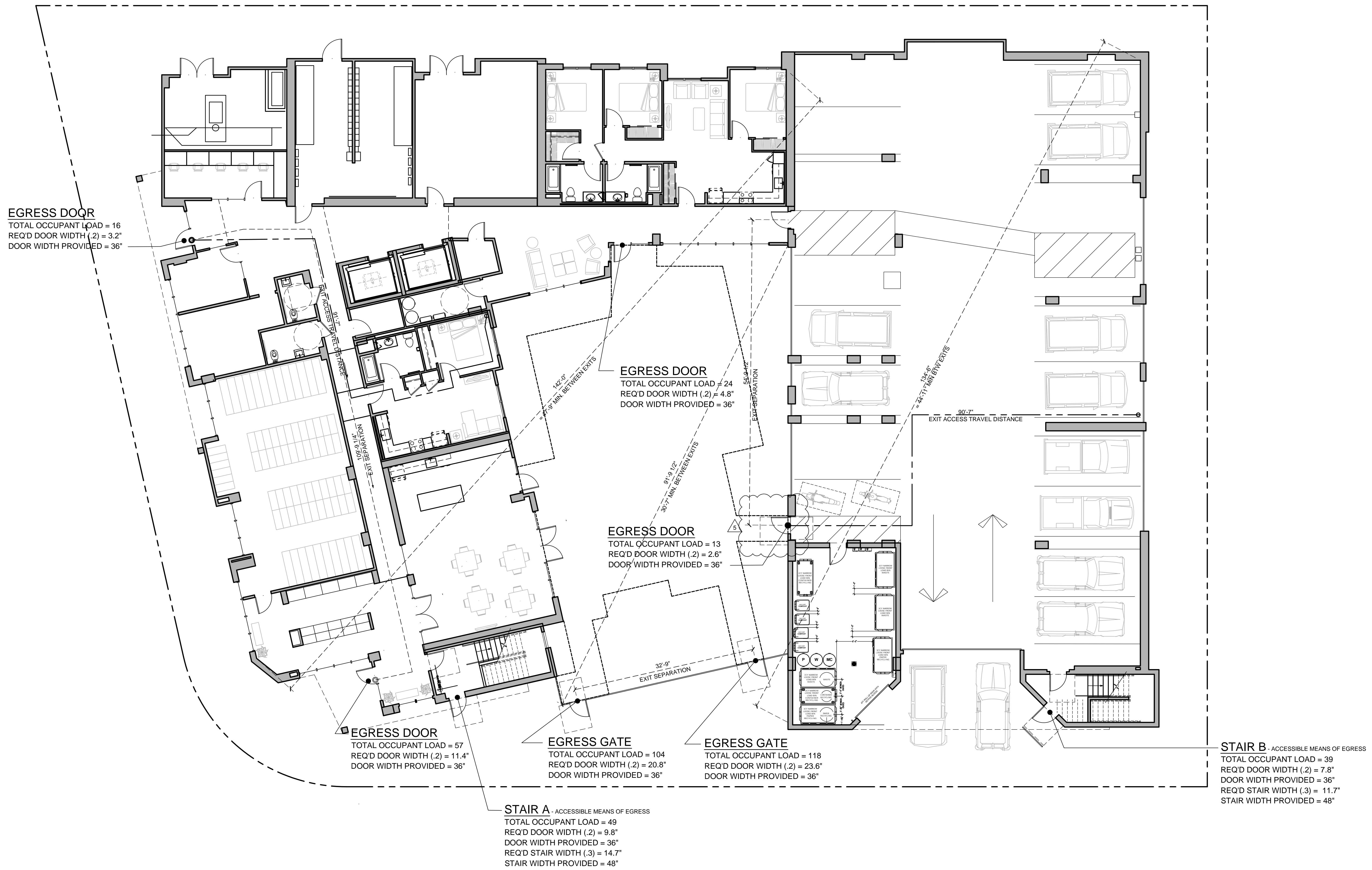
COURTYARD: THE COURTYARD IS INTENDED TO BE LIT USING WALL MOUNTED DOWNLIGHTS AT THE ENTRIES TO THE SPACE AND BOLLARDS FOR WALKS. BOLLARD LIGHT IS DIRECTIONAL SO GLARE INTO UNIT WINDOW IS MINIMIZED.

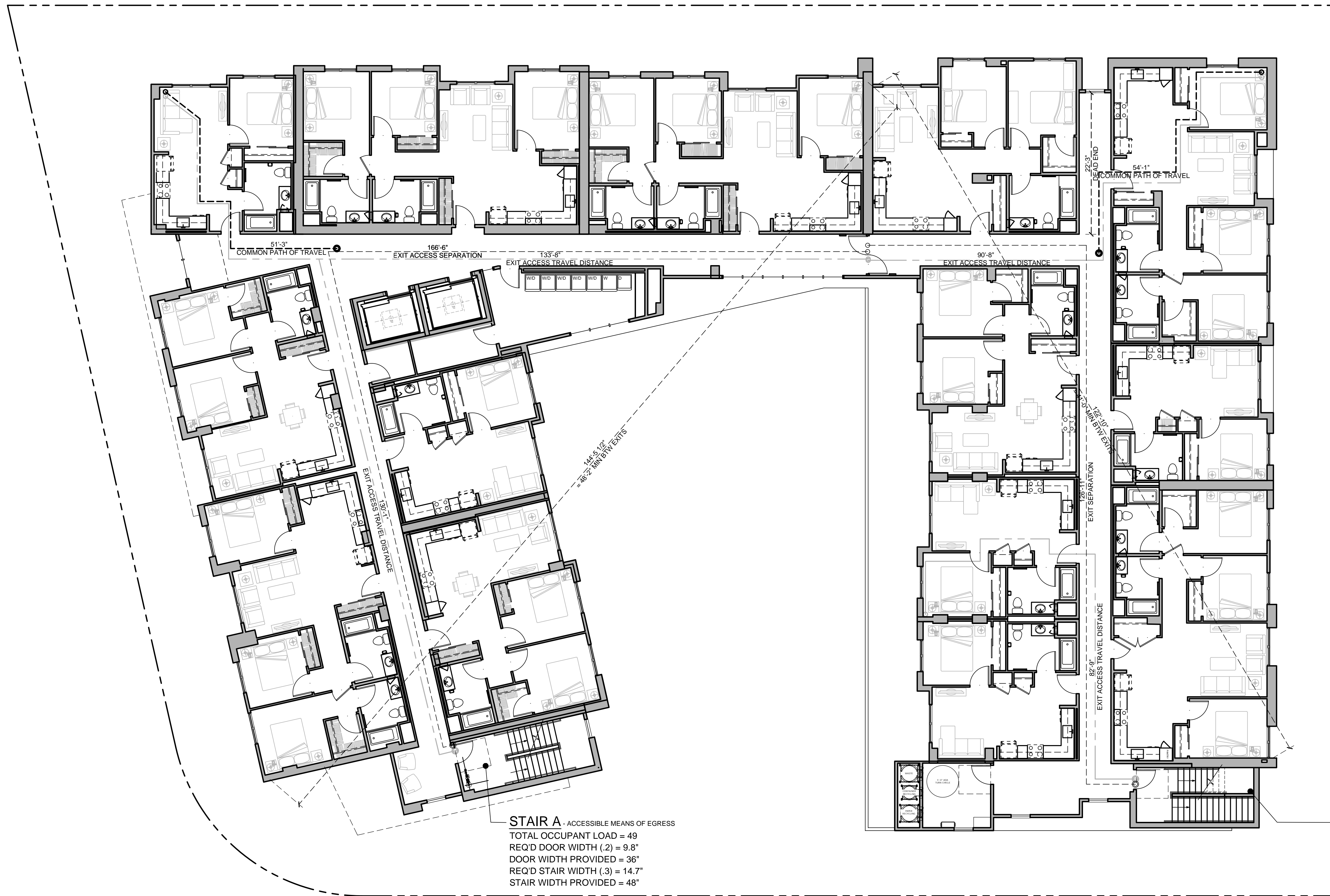
SIDE WALK ALONG SAN ANTONIO ROAD AND CALIFORNIA STREET: THE SIDEWALK IS INTENDED TO BE LIT WITH BOLLARDS WITH 360-DEGREE THROW, THE WALK AND ADJACENT PLANTING AREAS ARE ILLUMINATED.

LIGHT LOCATIONS ARE SCHEMATIC FINAL LOCATIONS SHALL BE PER PHOTOMETRIC PLAN.

### LIGHT FIXTURE SCHEDULE

SYMBOL	CATALOG #	HEIGHT	DESCRIPTION
⊙ BB	COURTYARD BOLLARD (180 DEGREE) BEGA #84 238 11.5 W 1650LM (OR EQUIVALENT)	42" HIGH	SHIELDED BOLLARD LIGHTS
⊙ BB	SIDEWALK BOLLARD (360 DEGREE) BEGA #84 063 13.4 W 1363LM (OR EQUIVALENT)	42" HIGH	BOLLARD LIGHTS
WP	H.E. WILLIAMS, INC. WWM LED - VOLTAIRE MINI ARCHITECTURAL WALL PACK WWM-H-L20740-T3-DBZ-SDGL-XX-DIM-UNV (OR EQUIVALENT)	NA	WALL PAC LIGHTS
---	WALL LIGHT	NA	RECESSED WALL LIGHT OPTIONS
⊙	RELOCATED STREET LIGHT	PER CITY OF MOUNTAIN VIEW STANDARDS	





**STAIR A - ACCESSIBLE MEANS OF EGRESS**  
 TOTAL OCCUPANT LOAD = 49  
 REQ'D DOOR WIDTH (2) = 9.8'  
 DOOR WIDTH PROVIDED = 36"  
 REQ'D STAIR WIDTH (3) = 14.7'  
 STAIR WIDTH PROVIDED = 48"

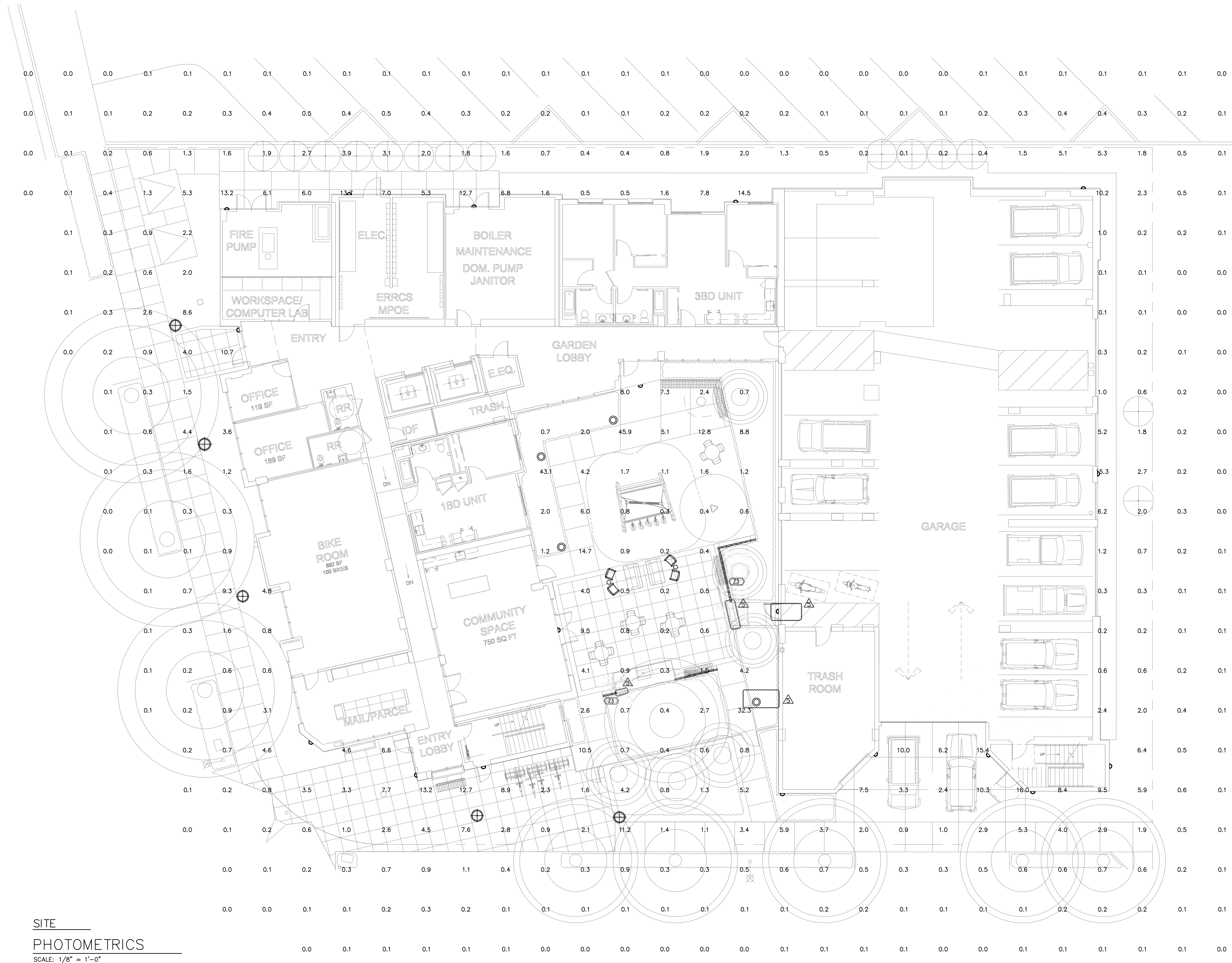
**STAIR B - ACCESSIBLE MEANS OF EGRESS**  
 TOTAL OCCUPANT LOAD = 39  
 REQ'D DOOR WIDTH (2) = 7.8'  
 DOOR WIDTH PROVIDED = 36"  
 REQ'D STAIR WIDTH (3) = 11.7'  
 STAIR WIDTH PROVIDED = 48"

TYPICAL SECOND  
 THROUGH EIGHTH  
 FLOOR EGRESS  
 PLAN



JOB NO. 1648.002  
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 5865 Owens Drive  
 Pleasanton, CA 94588  
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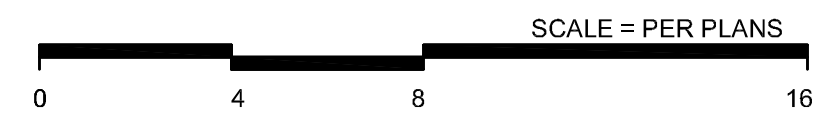
SITE  
PHOTOMETRICS  
SCALE: 1/8" = 1'-0"

# 334 SAN ANTONIO ROAD, MOUNTAINVIEW

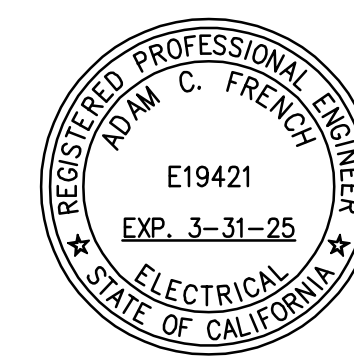
PROJECT CLIENT

CRP AFFORDABLE

## SITE PHOTOMETRICS



DATE 10-04-2024  
JOB NO. 1648.002



5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

E1.01



**LED bollards - rotationally symmetrical light distribution**

**Application:** LED bollards with rotationally symmetrical light distribution designed to illuminate ground surfaces. Provided with mounting system that allows the bollards to be adjusted independent of each other vertically.

**Materials:** Luminaires housing and optics constructed of die-cast and extruded metals. Clear safety glass. Reflector made of pure anodized aluminum. Reflector made of extruded aluminum. Silicone applied internally to ceiling, exterior treated for increased protection.

**Notes:** For full technical details please contact: [info@bega.com](mailto:info@bega.com). Not necessarily suitable for use in wet locations. Average life expectancy of luminaire: 50,000 hours.

**Electrical:** Operating voltage: 120-277VAC. Minimum start temperature: 20°C. LED output voltage: 24-30V. Current: 0.1A. Power consumption: 20W. Lumen output: 1,210 (typical, 8000K). Lifetime at Tc=25°C: 50,000 hours (L70). Lifetime at Tc=35°C: 37,500 hours (L70).

**LED color temperature:** 3000K, 4000K, 5000K, 6000K, 8000K. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**.

**Finish:** All BEGA standard finishes are made, finished polyester powder coat with high gloss finish. Available colors: Black (BLK), White (WHT), RAL, Bronze (BRN), Silver (SLV), Chrome (CHR).



**FIXTURE Z5**  
SCALE: NONE

**Shielded bollard - asymmetric**

**Application:** The fully recessed design of this bollard provides about 90° of asymmetric light distribution. Provided with mounting system that allows the bollards to be adjusted independent of each other vertically.

**Materials:** Luminaires housing constructed of die-cast zinc alloy, copper free. Clear safety glass. Reflector made of pure anodized aluminum. Reflector made of extruded aluminum. Silicone applied internally to ceiling, exterior treated for increased protection.

**Notes:** For full technical details please contact: [info@bega.com](mailto:info@bega.com). Not necessarily suitable for use in wet locations. Average life expectancy of luminaire: 50,000 hours.

**Electrical:** Operating voltage: 120-277VAC. Minimum start temperature: 20°C. LED output voltage: 24-30V. Current: 0.1A. Power consumption: 20W. Lumen output: 1,210 (typical, 8000K). Lifetime at Tc=25°C: 50,000 hours (L70). Lifetime at Tc=35°C: 37,500 hours (L70).

**LED color temperature:** 3000K, 4000K, 5000K, 6000K, 8000K. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**.

**Finish:** All BEGA standard finishes are made, finished polyester powder coat with high gloss finish. Available colors: Black (BLK), White (WHT), RAL, Bronze (BRN), Silver (SLV), Chrome (CHR).

**Available options:** 70000 Direct beam exchange.



**FIXTURE Z6**  
SCALE: NONE

**VVM LED Voltare Mini Architectural Wall Pack**

**Application:** The fully recessed design of this bollard provides about 90° of asymmetric light distribution. Provided with mounting system that allows the bollards to be adjusted independent of each other vertically.

**Materials:** Luminaires housing constructed of die-cast zinc alloy, copper free. Clear safety glass. Reflector made of pure anodized aluminum. Reflector made of extruded aluminum. Silicone applied internally to ceiling, exterior treated for increased protection.

**Notes:** For full technical details please contact: [info@bega.com](mailto:info@bega.com). Not necessarily suitable for use in wet locations. Average life expectancy of luminaire: 50,000 hours.

**Electrical:** Operating voltage: 120-277VAC. Minimum start temperature: 20°C. LED output voltage: 24-30V. Current: 0.1A. Power consumption: 20W. Lumen output: 1,210 (typical, 8000K). Lifetime at Tc=25°C: 50,000 hours (L70). Lifetime at Tc=35°C: 37,500 hours (L70).

**LED color temperature:** 3000K, 4000K, 5000K, 6000K, 8000K. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**.

**Finish:** All BEGA standard finishes are made, finished polyester powder coat with high gloss finish. Available colors: Black (BLK), White (WHT), RAL, Bronze (BRN), Silver (SLV), Chrome (CHR).

**Available options:** 70000 Direct beam exchange.



**FIXTURE Z1**  
SCALE: NONE

**Kendo M Recessed - Static White**

**Application:** The fully recessed design of this bollard provides about 90° of asymmetric light distribution. Provided with mounting system that allows the bollards to be adjusted independent of each other vertically.

**Materials:** Luminaires housing constructed of die-cast zinc alloy, copper free. Clear safety glass. Reflector made of pure anodized aluminum. Reflector made of extruded aluminum. Silicone applied internally to ceiling, exterior treated for increased protection.


**Notes:** For full technical details please contact: [info@bega.com](mailto:info@bega.com). Not necessarily suitable for use in wet locations. Average life expectancy of luminaire: 50,000 hours.

**Electrical:** Operating voltage: 120-277VAC. Minimum start temperature: 20°C. LED output voltage: 24-30V. Current: 0.1A. Power consumption: 20W. Lumen output: 1,210 (typical, 8000K). Lifetime at Tc=25°C: 50,000 hours (L70). Lifetime at Tc=35°C: 37,500 hours (L70).

**LED color temperature:** 3000K, 4000K, 5000K, 6000K, 8000K. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**. Product number: **KA**, **KB**, **KC**, **CD**.

**Finish:** All BEGA standard finishes are made, finished polyester powder coat with high gloss finish. Available colors: Black (BLK), White (WHT), RAL, Bronze (BRN), Silver (SLV), Chrome (CHR).

**Available options:** 70000 Direct beam exchange.



**FIXTURE Z3**  
SCALE: NONE

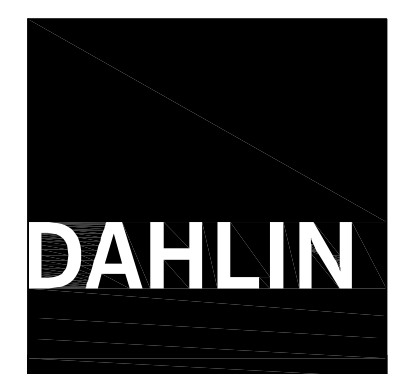
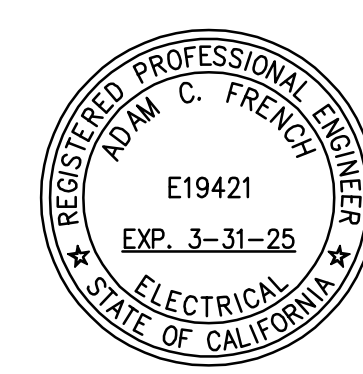
LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	DESCRIPTION	LAMP	MODEL	BALLAST	MOUNTING	INPUT WATTS	NOTES	
Z1	⌒	EXTERIOR WALL LIGHT	(1) 27W LED 4000K	VVM LED VOLTAIRE MINI L20-740-13-DB2-SDGL-XX-DIM-UNV	ELECTRONIC	WALL	27	EXTERIOR SITE, PER PLANS	
Z3	⌒	EXTERIOR RATED LED ACCENT LIGHT	(1) 2W LED 4000K	LUMINI KENDO M RECESSED- STATIC WHITE KRM-LENGTH-40K-F-HS-FINISH	ELECTRONIC	RECESSED	2	COURTYARD, PER PLANS	
Z5	⊕	EXTERIOR 42" TALL BOLLARD, SYMMETRIC DIST.	(1) 20W LED 4000K	BEGA 84 063 LED BOLLARD	ELECTRONIC	BOLLARD	20	SITE, B1-UO-GO	
Z6	⊙	EXTERIOR 42" TALL BOLLARD, SYMMETRIC DIST.	(1) 20W LED 4000K	BEGA 84 238 LED BOLLARD	ELECTRONIC	BOLLARD	20	SITE, B1-UO-GO	

**LUMINAIRE SCHEDULE**  
SCALE: NONE

334 SAN ANTONIO ROAD, MOUNTAINVIEW

PROJECT CLIENT

CRP AFFORDABLE



**SITE LIGHTING DETAILS**

SCALE = PER PLANS

DATE: 10-04-2024  
JOB NO.: 1648.002

5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

**E1.02**

CONSULTANT

DAHLIN GROUP

ARCHITECT

XXXXX

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

334 SAN ANTONIO ROAD  
MOUNTAIN VIEW, CA

PROJECT

PULLOUT SERVICE BY HAULER

DRAWING TITLE

PROJECT NO.

DRAWN PH

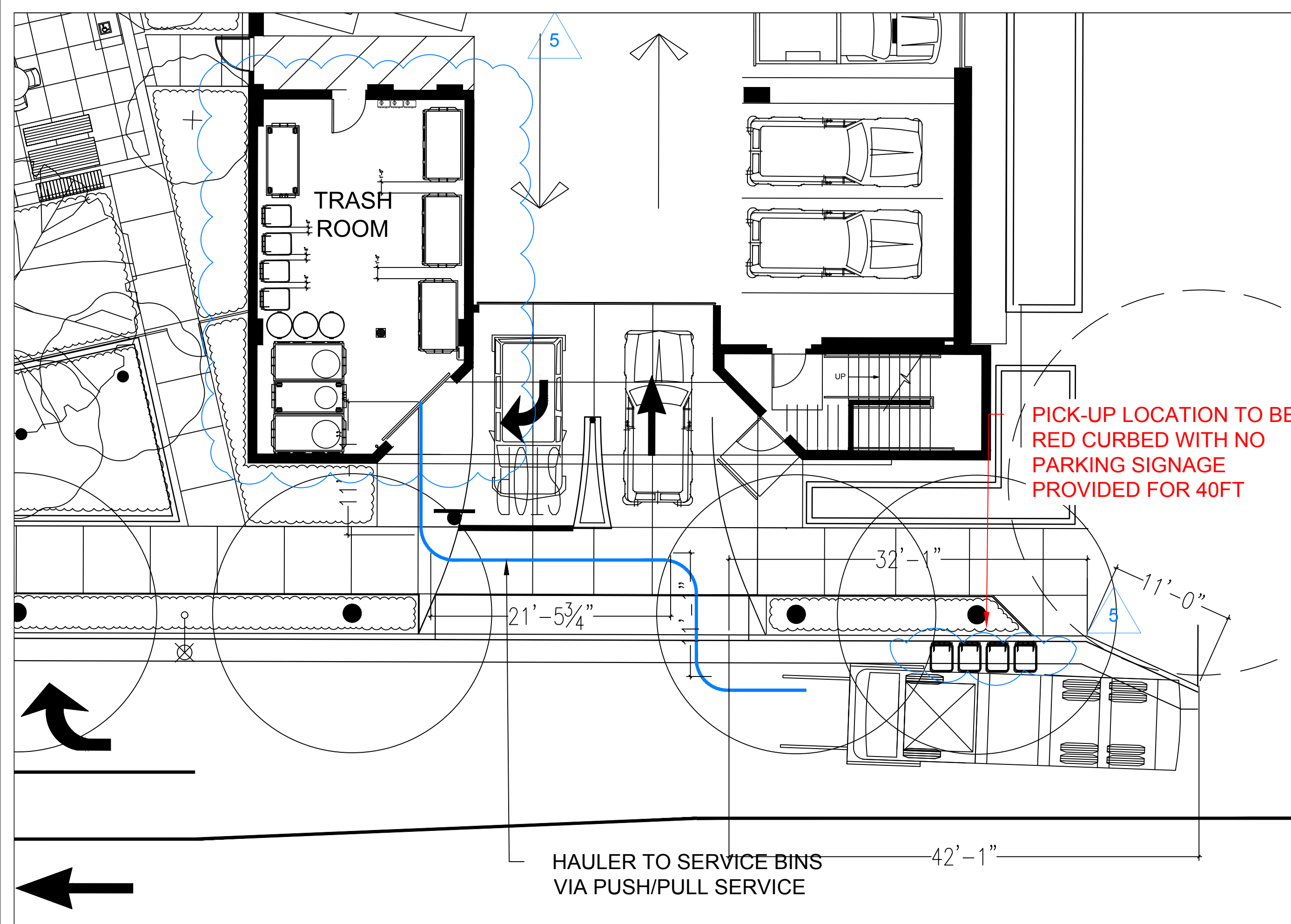
APPROVED DU

DATE 10/04/2024

SCALE AS SHOWN

DRAWING NO.

TR1.2



**1** PUSH PULL SERVICE  
1/8" = 1'-0"