



PHAN ARCHITECTS

870 S WOLFE RD SUNNYVALE CA 94086
T: 1.408.737.8323 F: 1.408.737.2357
www.phangroup-us.com



PROJECT:
198 EASY ST. DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:
COVER SHEET AND NOTES

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	10.09.2019	T.P
5	05.15.2020	T.P

NOTES:

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DRAWN BY:
PP
DATE:
MAR. 20 2019

SCALE:
AS NOTED

SHEET NUMBER:

A.00

EASY ST. DEVELOPMENT

198 EASY ST. MOUNTAIN VIEW CA 94043

GENERAL NOTES:

GENERAL NOTES:

PROJECT SCOPE OF WORK:

- DEMOLISH EXISTING SINGLE STORY SINGLE FAMILY HOME
- DEVELOP NEW 5 UNIT DETACHED SINGLE FAMILY HOMES WITH 2 CAR GARAGES - SIDE YARDS AND COMMON SPACES 4 UNITS AT 3 STORIES 1 UNIT AT 2 STORIES
- REAR SITE DRIVEWAY AND GARAGE ACCESS WITH 3 GUEST PARKING SPACES
- PROPOSED NEW LANDSCAPING AND STREET TREE PLANTINGS

PROJECT MAP:

PROJECT DIRECTORY:

OWNER	JULIAN DONG 198 EASY ST. MOUNTAIN VIEW CA 94043 T: 408.690.3281
ARCHITECT	PHAN ARCHITECTS 870 S. WOLFE ROAD SUNNYVALE CA 94086 CONTACT: PHOI PHAN, LEED AP T: 408.737.8323 F: 408.737.2357 E: phoiqphan@gmail.com
LEAD AGENCY	PLANNING DEPARTMENT CITY MOUNTAIN VIEW 500 CASTRO ST. MOUNTAIN VIEW CA 94041 T: 650.903.6306
	BUILDING DEPARTMENT CITY MOUNTAIN VIEW 500 CASTRO ST. MOUNTAIN VIEW CA 94041 T: 650.903.6306

APPLICABLE CODES:

- CALIFORNIA BUILDING CODE (STRUCTURAL DESIGN) - 2019
- CALIFORNIA MECHANICAL CODE - 2019
- CALIFORNIA GREEN BUILDING CODE - 2019
- CALIFORNIA PLUMBING CODE - 2019
- CALIFORNIA ELECTRICAL CODE - 2019
- CALIFORNIA ENERGY CODE -2019
- CALIFORNIA FIRE AND RESIDENTIAL CODES -2019
- CURRENT LOCAL BUILDING CODES AND REGULATIONS

PROJECT SUMMARY TABLE:

PROJECT NAME:	198 EASY ST. DEVELOPMENT
LOCATION:	198 EASY ST. MOUNTAIN VIEW CA 94043
BUILDING CONSTRUCTION:	TYPE V-B
NUMBER OF FLOORS:	3
FIRE SPRINKLERS:	YES

NOTES:

PROJECT: 198 EASY STREET DEVELOPMENT	UNITS: 5 ROWHOUSES	PARCELS: APNS:106-37-005
ROW-HOUSE GUIDELINE OR R3 ZONING DISTRICT	PROPOSED	
ZONING	R3SD	
DENSITY SHALL NOT EXCEED ZONING DISTRICT	5 ROW HOUSE IN 21640 SQFT	
LOT WIDTH 100' MIN	SEE SITE PLAN SHEET A02 LOT	
LOT AREA 19.5 AC	21640 SQFT / 0.3950 AC = 0.496 AC	
FAR: 19 (1.36 FOR 20 UNITS/ACRE)	SEE SHEET A03 FOR DETAILS	
DETACHED UNITS: 3 MIN MAX 10' BETWEEN UNITS	6 BETWEEN UNITS	
SET BACKS:		
FRONT (PUBLIC STREETS) 15' MIN. BLDGS 10' 10'	SEE SHEET A02 T.F FOR SITE SET BACK FOR DETAILS	
TO FRONT SIDEWALK	*	
SIDE: 10' MIN FIRST/SECOND STORIES, 15' MIN FOR 3RD	*	
REAR: 10' MIN FIRST/SECOND STORIES, 15' MIN FOR 3RD	*	
ALLEYS: 20' CLEAR DRIVE ASLE AND 24' WIDE BACK	PRIVATE DRIVEWAY: 20' MIN CLEAR, AND 24' WIDE MIN. FOR BACK UP	
UP DISTANCE BETWEEN GARAGES		
SITE COVERAGE 35% OF SITE MAX AREA COVERED	SEE SHEET A03-SITE PLAN GRAPHIC CALCULATIONS FOR DETAILS	
HEIGHT 45' MAX. 36' WALL	39' 4" AND 33' 9" MAX HEIGHT FOR TOP OF ROOF RIDGE AND TOP OF WALL HIGH FROM TOP OF STREET CURB. SEE SHEET A06 G- A06.5 FOR DETAILS	
OPEN AREA:		
COMMON OPEN SPACE: 100 SF/UNIT MIN 20' DIMENSION	SEE SHEET A03-SITE PLAN GRAPHIC CALCULATIONS FOR DETAILS	
PRIVATE OPEN SPACE: 100 SF/UNIT	SEE SHEET A03-SITE PLAN GRAPHIC CALCULATIONS FOR DETAILS	
PRIVATE STORAGE: 80 SF ENCLOSED, ELEVATED 18" OF	SEE SHEETS A06, A06.2, A06.4, A06.6 AND A06.8 FOR DETAILS	
PARKING		
2-3 BDRM: 2-3 UNIT (0.3 SHALL BE FOR GUEST)	2 GARAGE PARKING SPACES FOR EACH UNIT	
MAX 50% SPACES, 1 TEMPORARY SPACE PER 10	8 TEMP TRILET PARKING SPACE ALONG EASY STREET	
TANDEM SPACES		
GUEST SPACES: ADA SPACES	2 GUEST PARKING SPACES & ONE ADA PARKING. SEE SHEET A02 FOR DETAILS	
TANDEM SPACES: TEMP PARKING SPACE		
BI-CYCLE PARKING: 1 SPACE PER 10 PARKING SPACES	MIN 4 BI-CYCLE PARKING SPACES. SEE SHEET A02 FOR DETAILS	
DRIVEWAY: 20' CLEAR ASLE, 24' BACK BETWEEN GARAGES	PRIVATE DRIVEWAY: 20' MIN CLEAR, AND 24' WIDE MIN. FOR BACK UP	
MAX 4' FROM E		
TREE: STREET TREES EVERY 30' MAX. 40'	SEE SHEET A02 FOR DETAILS	

DRAWING SHEET INDEX:

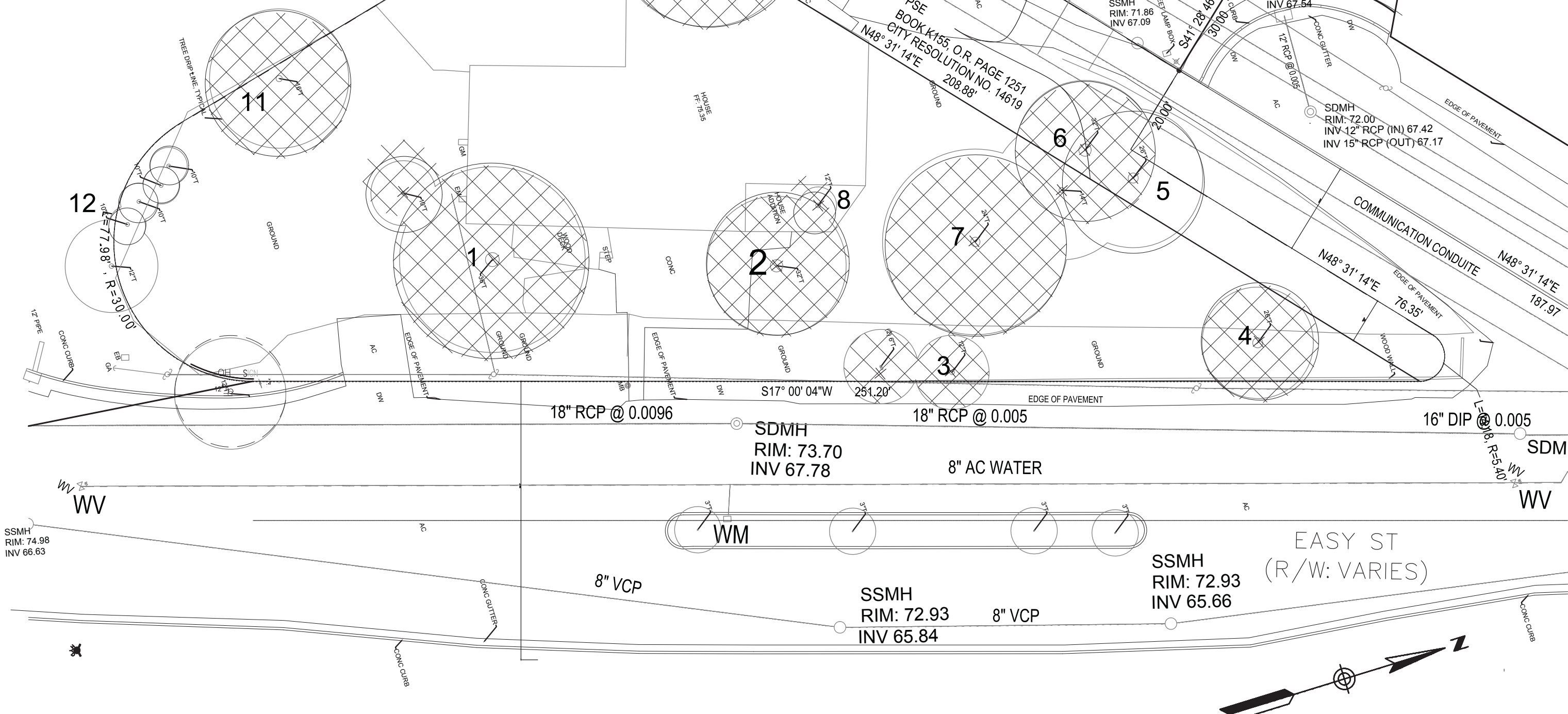
A.00	COVER SHEET AND NOTES
A.01	EXIST. SITE AND TREES REMOVAL & PROTECTION
A.02	NEW SITE PLAN - UNIT LAYOUT AND PARKING
A.02.1	SITE PLAN SET BACK & PHOTOGRAPHIC NOTES
A.03	NEW SITE PLAN GRAPHIC CALCULATIONS
A.04	NEIGHBORHOOD CONTEXT
A.05.0	UNIT 01 FIRST AND SECOND FLOOR PLANS
A.05.1	UNIT 01 THIRD AND ROOF PLANS
A.05.2	UNIT 2 FIRST AND SECOND FLOOR PLANS
A.05.3	UNIT 2 THIRD AND ROOF PLANS
A.05.4	UNIT 3 FIRST AND SECOND PLANS
A.05.5	UNIT 3 THIRD AND ROOF PLANS
A.05.6	UNIT 4 FIRST AND SECOND FLOOR PLAN
A.05.7	UNIT 4 THIRD AND ROOF PLANS
A.05.8	UNIT 5 FIRST A FLOOR PLAN
A.05.9	UNIT 5 SECOND AND ROOF PLANS
A.05.10	UNIT 1 GRAPHIC CALCULATIONS
A.05.11	UNIT 2 GRAPHIC CALCULATIONS
A.05.12	UNIT 3 GRAPHIC CALCULATIONS
A.05.13	UNIT 4 GRAPHIC CALCULATIONS
A.05.14	UNIT 5 GRAPHIC CALCULATIONS
A.06.0	UNIT 01 ELEVATION VIEWS
A.06.1	UNIT 02 ELEVATION VIEWS
A.06.2	UNIT 03 ELEVATION VIEWS
A.06.3	UNIT 04 ELEVATION VIEWS
A.06.4	UNIT 05 ELEVATION VIEWS
A.06.5	UNIT 05 ELEVATION VIEWS
A.06.6	ELEVATION COLOR BOARD
A.06.7	ELEVATION COLOR BOARD
A.07	SITE SECTION
A.07.1A	SITE 3D VIEW
A.07.1B	SITE 3D VIEW
A.07.1C	PERSPECTIVE VIEWS
A.07.1D	PERSPECTIVE VIEWS
A.07.2	SITE AERIAL VIEW
A.08	SUSTAINABILITY CHECKLIST (CAL GREEN AND MVGB)
T-1	TOPOGRAPHIC SURVEY MAP
TM-1	VESTING TENTATIVE MAP
C-1	COVER SHEET/NOTES
C-2	GRADING AND DRAINAGE PLAN
C-3	CONCEPTUAL UTILITY PLAN
C-4	STORMWATER MANAGEMENT PLAN
L1.0	LANDSCAPE PLANTING PLAN
L1.1	LANDSCAPE TREE SHADING PLAN
L1.2	EXISTING TREE REMOVAL PLAN
L2.0	LANDSCAPE HYDROZONE PLAN
L2.1	LANDSCAPE IRRIGATION PLAN
L3.0	LANDSCAPE CONSTRUCTION DETAILS
L3.1	LANDSCAPE CONSTRUCTION DETAILS
L4.0	LANDSCAPE SPECIFICATION

Tree Inventory List							date: 4/25/2018
Tree No.	Tree Name	Common Name	DBH	Condition Rating	Hazard Rating (High, Medium, Low)	Work Required Prior to Construction	Recommendation
1	California Pepper	Schinus molle	36"	55	M	remove: poor structure cavity	tree has grown sideways under target Deodara new driveway and trench min 12' away
2	Deodar cedar	Cedrus deodara	M3 (20", 26", 46")	85	M	prune, mulch, fence	bad location; no scaffolding and leaning
3	Olive	Olea europaea	14"	45	M	remove: poor structure neighboring tree clear of construction	negligible root zone impingement
4	Incense Cedar	Calocedrus decurrens	26"	85	L		
5	Deodar cedar	Cedrus deodara	20"	75	L	prune, mulch, fence	prune and property protect
6	Coast Live Oak	Quercus agrifolia	18"	85	L	prune, mulch, fence	prune and property protect tree needs proper reduction to contain tip weight
7	Black Walnut	Juglans California	36"	70	L	prune, mulch, fence	thin, deadwood, spring spray neighboring tree clear of construction
8	Coast Live Oak	Quercus agrifolia	10"	75	L	prune, mulch, fence	negligible root zone impingement; prune overhang
9	Ghost Gum	Eucalyptus papuana	40"	70	M		
10	Coast Live Oak	Quercus agrifolia	10"	70	L	prune, mulch, fence	thin, deadwood, spring spray
11	Coast Live Oak	Quercus agrifolia	16"	70	L	prune, mulch, fence	thin, deadwood, spring spray anthracnose trunk and leaf infestation weakening
12	Chinese Elm	Ulmus parvifolia	26"	65	M	remove: poor structure, diseased	anthracnose trunk and leaf infestation weakening
13	Chinese Elm	Ulmus parvifolia	M2 (20" 18")	65	M	remove: poor structure, diseased	anthracnose trunk and leaf infestation weakening

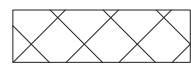
Prune, mulch, fence and fertilize trees prior to work commencement

Condition Rating: 0-29 very poor: 30-49 poor: 50-69 fair: 70-89 good: 90-100 excellent

TREE INVENTORY LIST



REMOVE TREES AS SHOWN THUS



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PROJECT:
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ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:
EXIST SITE AND TREES REMOVAL & PROTECTION PLAN

REV.	DATE	REMARKS
1	6.21.2018	T.P
6	11.15.2020	T.P

NOTES:

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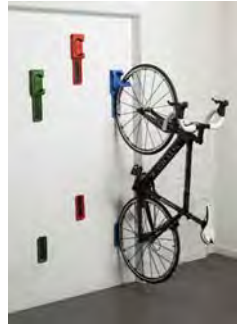
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PP
DATE:
JUNE 21, 2018

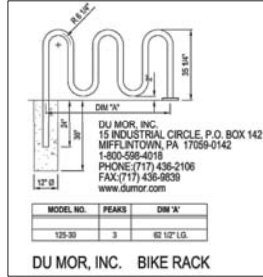
SCALE:
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SHEET NUMBER:

A.01



BIKE RACK IN GARAGE SAMPLE
SCALE: NONE



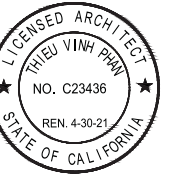
BIKE RACK BY LANDSCAPE ARCHITECT

OUTDOOR BIKE RACK SAMPLE
SCALE: NONE



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PROJECT:

**198 EASY ST.
DEVELOPMENT**

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

**NEW SITE PLAN
UNIT LAYOUT
PARKING AND
SETBACK**

REV. DATE REMARKS

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	10.09.2019	T.P
5	05.15.2020	T.P
6	11.15.2020	T.P

NOTES:

(E) WATER VALVE

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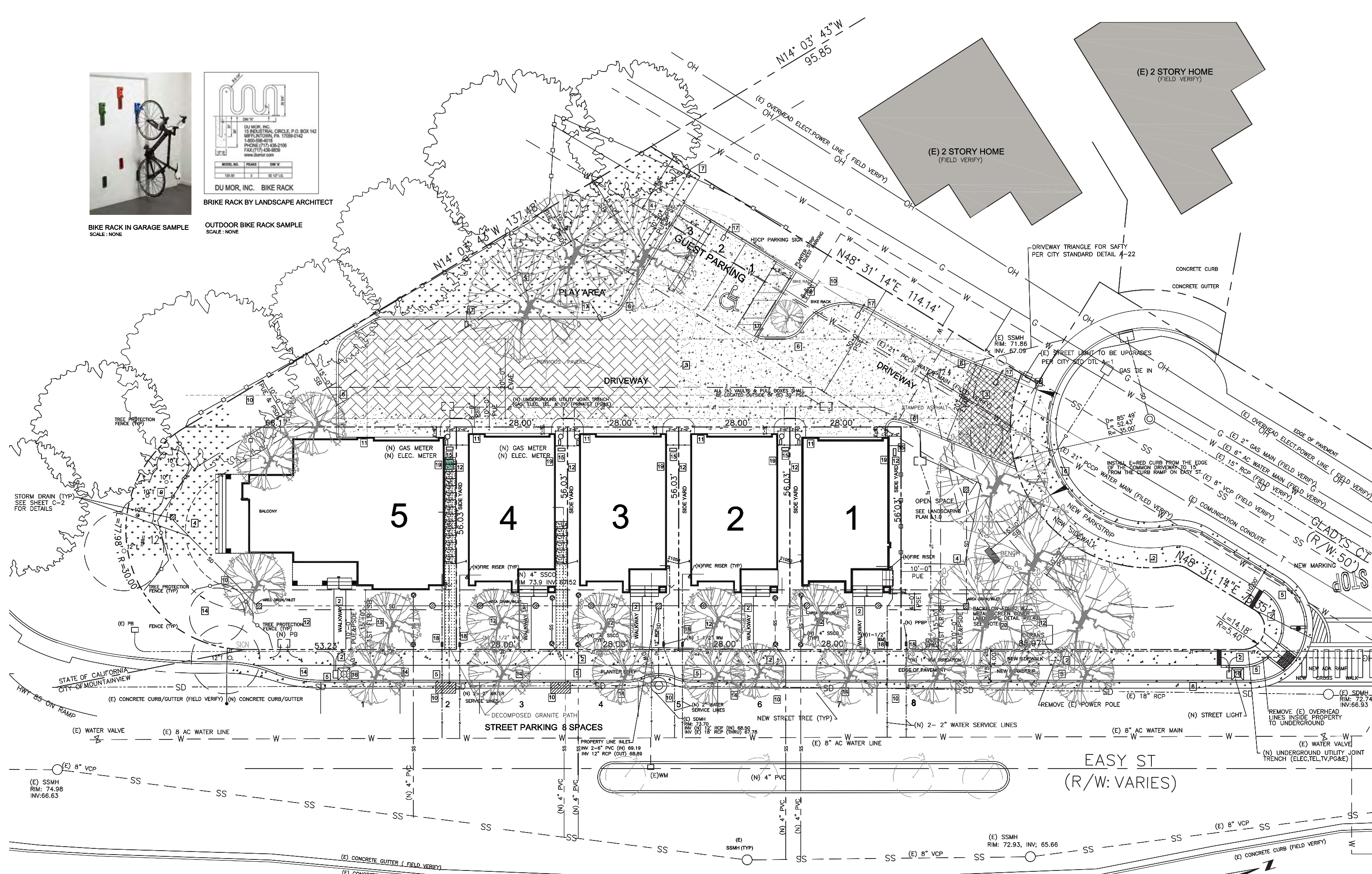
SUBMITTAL:
PLANNING

DRAWN BY:
PP
DATE:
MAR. 20, 2019

SCALE:
3/32"=1'-0"

SHEET NUMBER:

A.02



PLAN NOTES:

- CONCRETE SIDEWALK
- CONCRETE WALKWAY
- DRIVEWAY W/ DECORATIVE PAVERS
- LANDSCAPED OPEN SPACE
- LANDSCAPED PLANTER STRIP
- CONCRETE CURB
- REMOVED TREE # 10 PER LANDSCAPE PLAN L1.2
- GUEST BICYCLE PARKING
- EXISTING 4 - MEXICAN FAN PALMS
- HOUSE GARBAGE PICK UP
- BICYCLE PARKING IN GARAGE LAWN
- DROUGHT FREE LANDSCAPING
- NEW TREE
- COMPACT SIZE AC UNIT- CARRIER 24AH44
- NEW STREET LIGHT PER CITY STANDARD
- DRIVEWAY LIGHTING - SEE SPEC SHEET OR PER CITY GUIDANCE
- WATER METER AND BACK FLOW DEVICE
- ELECTRICAL CAR CHARGER
- SEE FUTURE HOSE FIRE SPRINKLER SYSTEM PERMIT FOR THE WATER BACK FLOW DEVICE IN EACH HOSE

- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- PSE PUBLIC SERVICE EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PSDE PRIVATE STORM DRAINAGE EASEMENT

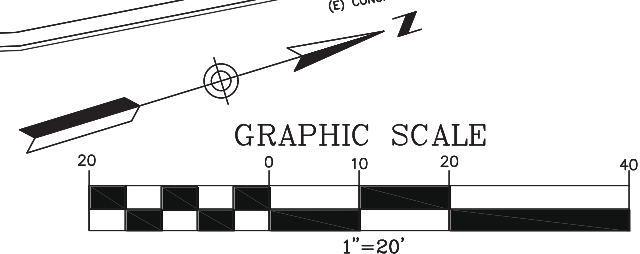
SEE SHEET A.01 & ARBORIST REPORT FOR TREE REMOVAL PLAN
SEE VESTING TENTATIVE MAP (TM-1) FOR LOT DATA

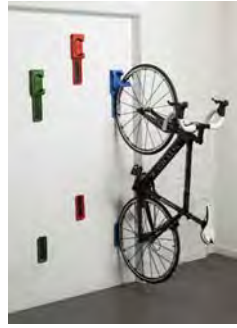
WORK TO BE IN COMPLIANCE WITH MOST
CURRENT CAL GREEN AND MVGB REQUIREMENT



(E) OFFSITE TREES TO REMAIN

FOR GRADING & DRAINAGE DETAILS SEE SHEET C-2
FOR UNDERGROUND UTILITY DETAILS SEE SHEET C-3
FOR STORM WATER MANAGEMENT SEE SHEET C-4
FOR LANDSCAPE DETAIL LAYOUT SEE LANDSCAPE SHEETS





BIKE RACK IN GARAGE SAMPLE
SCALE: NONE



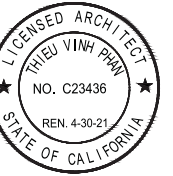
BIKE RACK BY LANDSCAPE ARCHITECT

OUTDOOR BIKE RACK SAMPLE
SCALE: NONE



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**198 EASY ST.
DEVELOPMENT**

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

**NEW SITE PLAN
UNIT LAYOUT
PARKING AND
SETBACK**

REV. DATE REMARKS

REV.	DATE	REMARKS
3	03.20.2019	T.P
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(E) WATER VALVE

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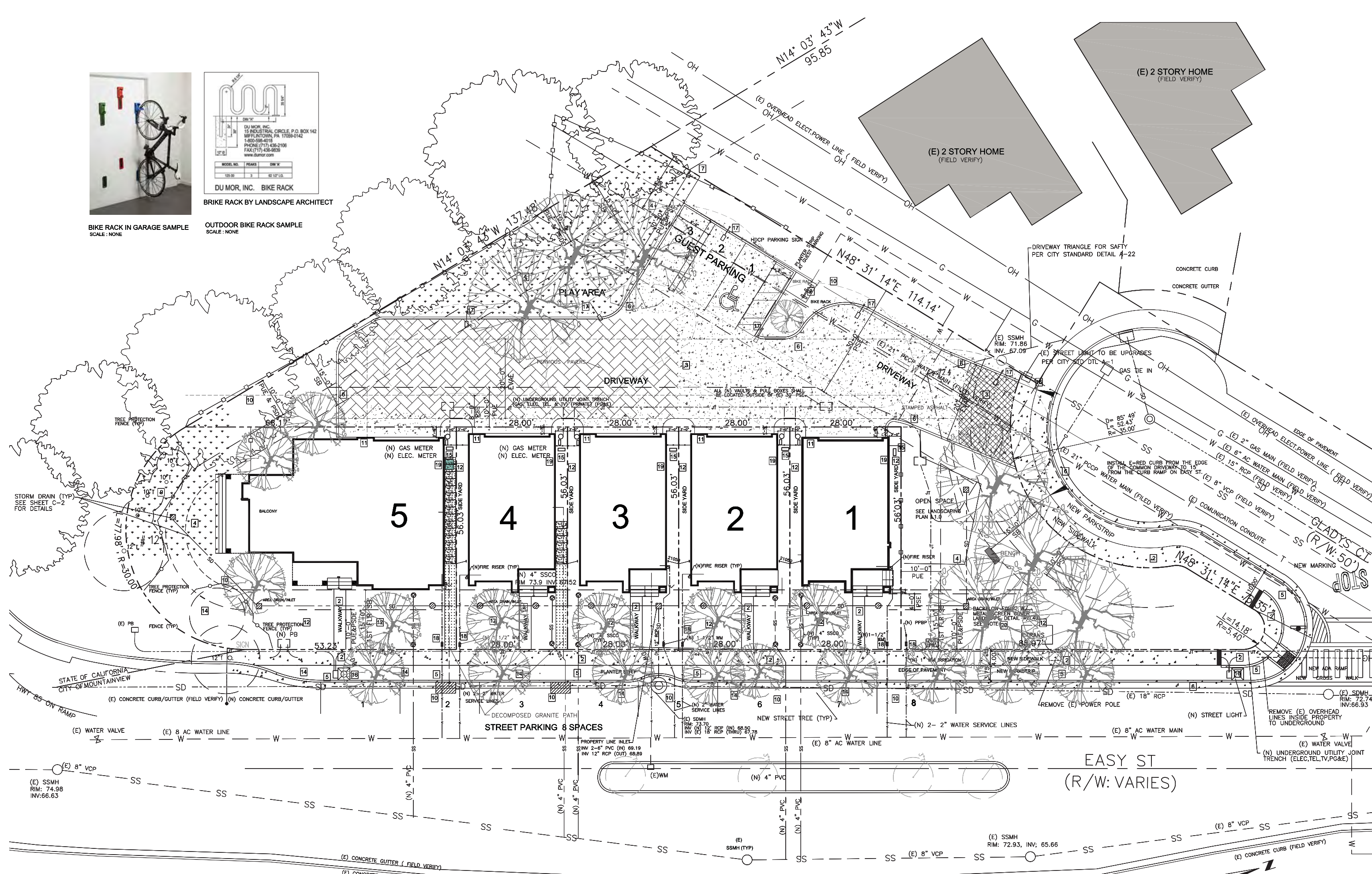
SUBMITTAL:
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PP
DATE:
MAR. 20, 2019

SCALE:
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SHEET NUMBER:

A.02

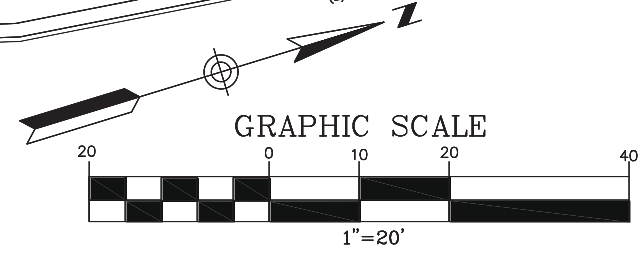


PLAN NOTES:

- | | | |
|----------------------------------|--|--|
| 1. CONCRETE SIDEWALK | 6. CONCRETE CURB | 14. NEW TREE |
| 2. CONCRETE WALKWAY | 7. REMOVED TREE # 10 PER LANDSCAPE PLAN L1.2 | 15. COMPACT SIZE AC UNIT- CARRIER 24AH44 |
| 3. DRIVEWAY W/ DECORATIVE PAVERS | 8. GUEST BICYCLE PARKING | 16. NEW STREET LIGHT PER CITY STANDARD |
| 4. LANDSCAPED OPEN SPACE | 9. EXISTING 4 - MEXICAN FAN PALMS | 17. DRIVEWAY LIGHTING - SEE SPEC SHEET OR PER CITY GUIDANCE |
| 5. LANDSCAPED PLANTER STRIP | 10. HOUSE GARBAGE PICK UP | 18. WATER METER AND BACK FLOW DEVICE |
| | 11. BICYCLE PARKING IN GARAGE LAWN | 19. ELECTRICAL CAR CHARGER |
| | 12. DROUGHT FREE LANDSCAPING | 20. SEE FUTURE HOSUE FIRE SPRINKLER SYSTEM PERMIT FOR THE WATER BACK FLOW DEVICE IN EACH HOSUE |



FOR GRADING & DRAINAGE DETAILS SEE SHEET C-2
FOR UNDERGROUND UTILITY DETAILS SEE SHEET C-3
FOR STORM WATER MANAGEMENT SEE SHEET C-4
FOR LANDSCAPE DETAIL LAYOUT SEE LANDSCAPE SHEETS



- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- PSE PUBLIC SERVICE EASEMENT
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SEE VESTING TENTANINE MAP (TM-1) FOR LOT DATA

WORK TO BE IN COMPLIANCE WITH MOST
CURRENT CAL GREEN AND MVGB REQUIREMENT



AERIAL VIEW PROJECT SITE NEIGHBORHOOD



E



D



A



B



C



PHOTO MAP



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PROJECT:

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TITLE:

**NEIGHBORHOOD
CONTEXT**

REV.	DATE	REMARKS
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DRAWN BY:
PP
DATE:
MAY 14 2020

SCALE:
NONE

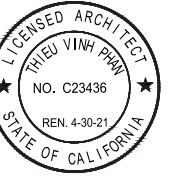
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A.04



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ADDRESS:
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TITLE:

UNIT 01
 FIRST & SECOND
 FLOOR PLANS

REV. DATE REMARKS

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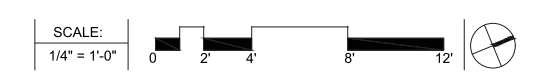
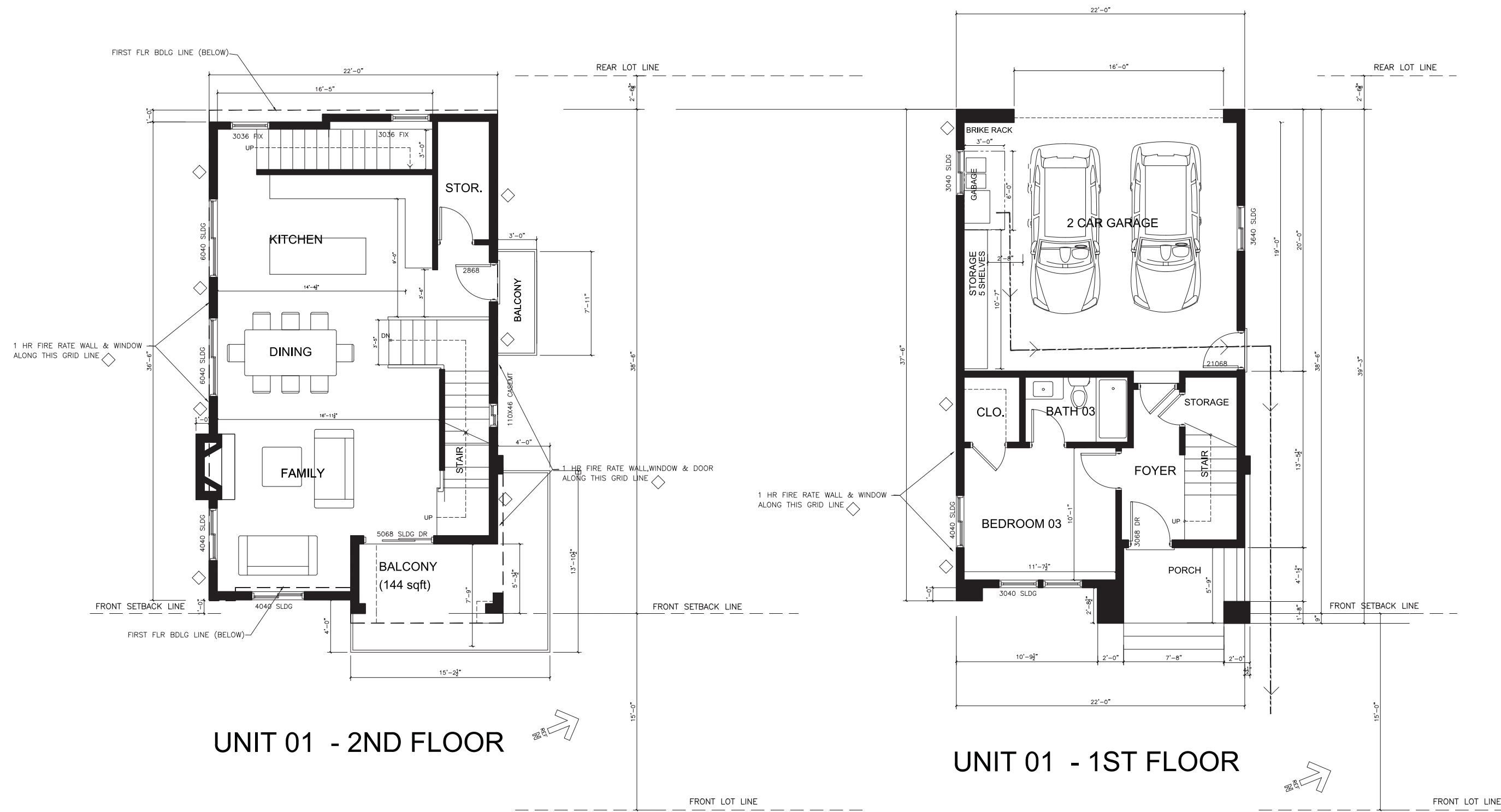
SUBMITTAL:
 PLANNING

DRAWN BY:
 PP
 DATE:
 JAN 12 2021

SCALE:
 1/4"=1'-0"

SHEET NUMBER:

A.05.0





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**198 EASY ST.
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ADDRESS:
198 EASY ST.
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TITLE:
**UNIT 01
THIRD FLOOR &
ROOF PLANS**

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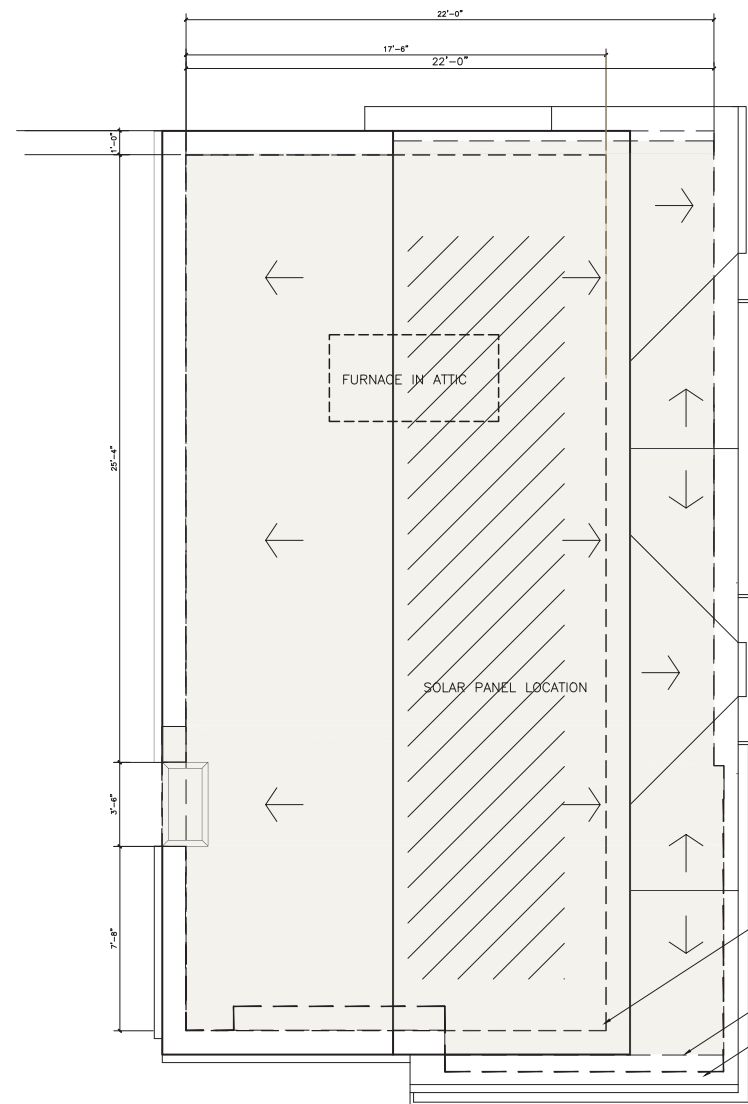
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DATE:
JAN 12 2021

SCALE:
1/4"=1'-0"

SHEET NUMBER:

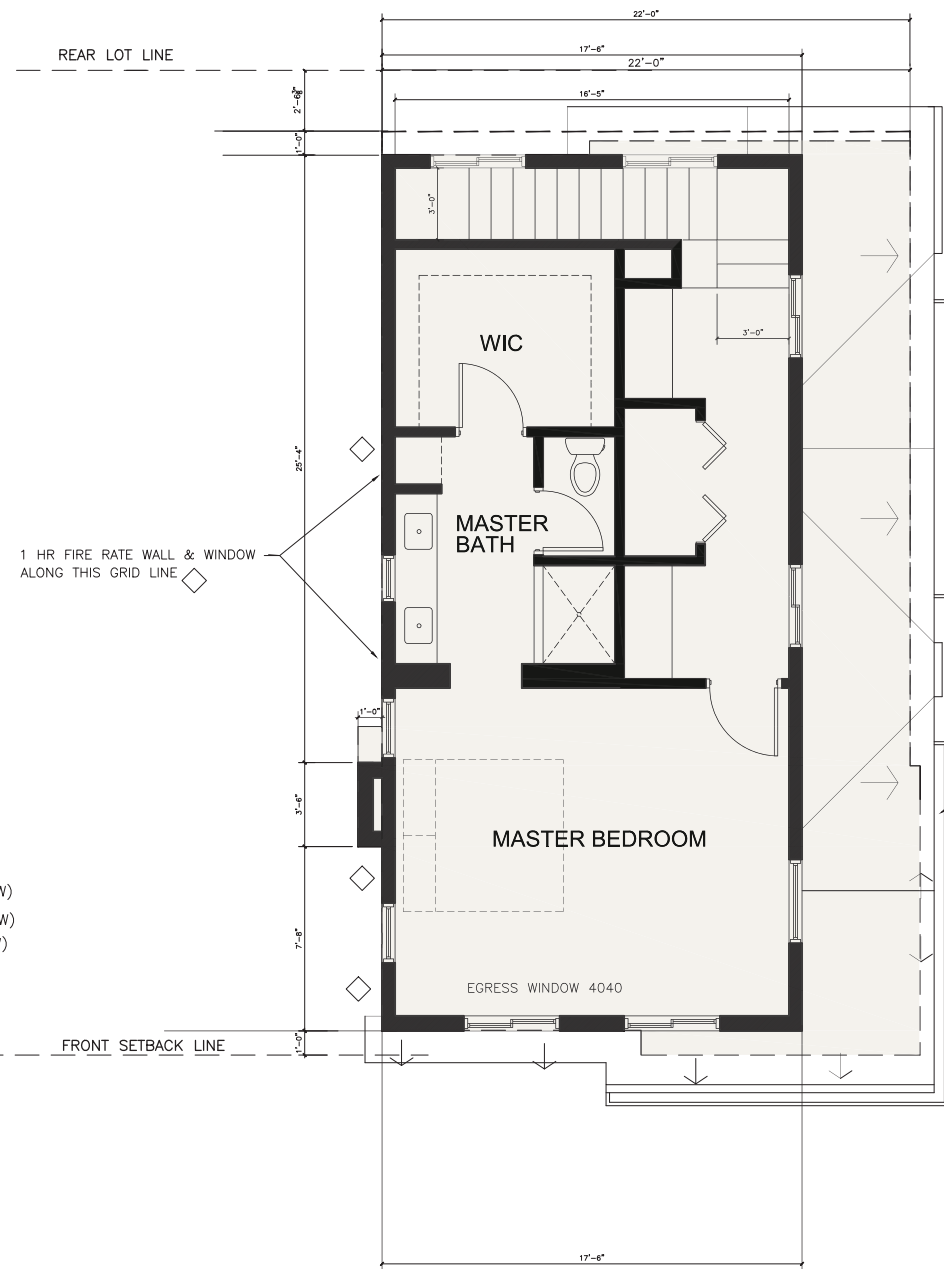
A.05.1



UNIT 01 - ROOF PLAN



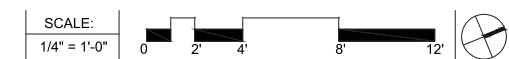
3RD FLR BLDG LINE (BELOW)
2ND FLR BLDG LINE (BELOW)
1ST FLR BLDG LINE (BELOW)



UNIT 01 - 3RD FLOOR



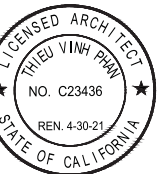
2ND FLR ROOF LINE (BELOW)





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PROJECT:
**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
**UNIT 02,03 & 04
 FIRST & SECOND
 FLOOR PLANS**

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	10.09.2019	T.P
5	05.15.2020	T.P
6	01.12.2021	T.P

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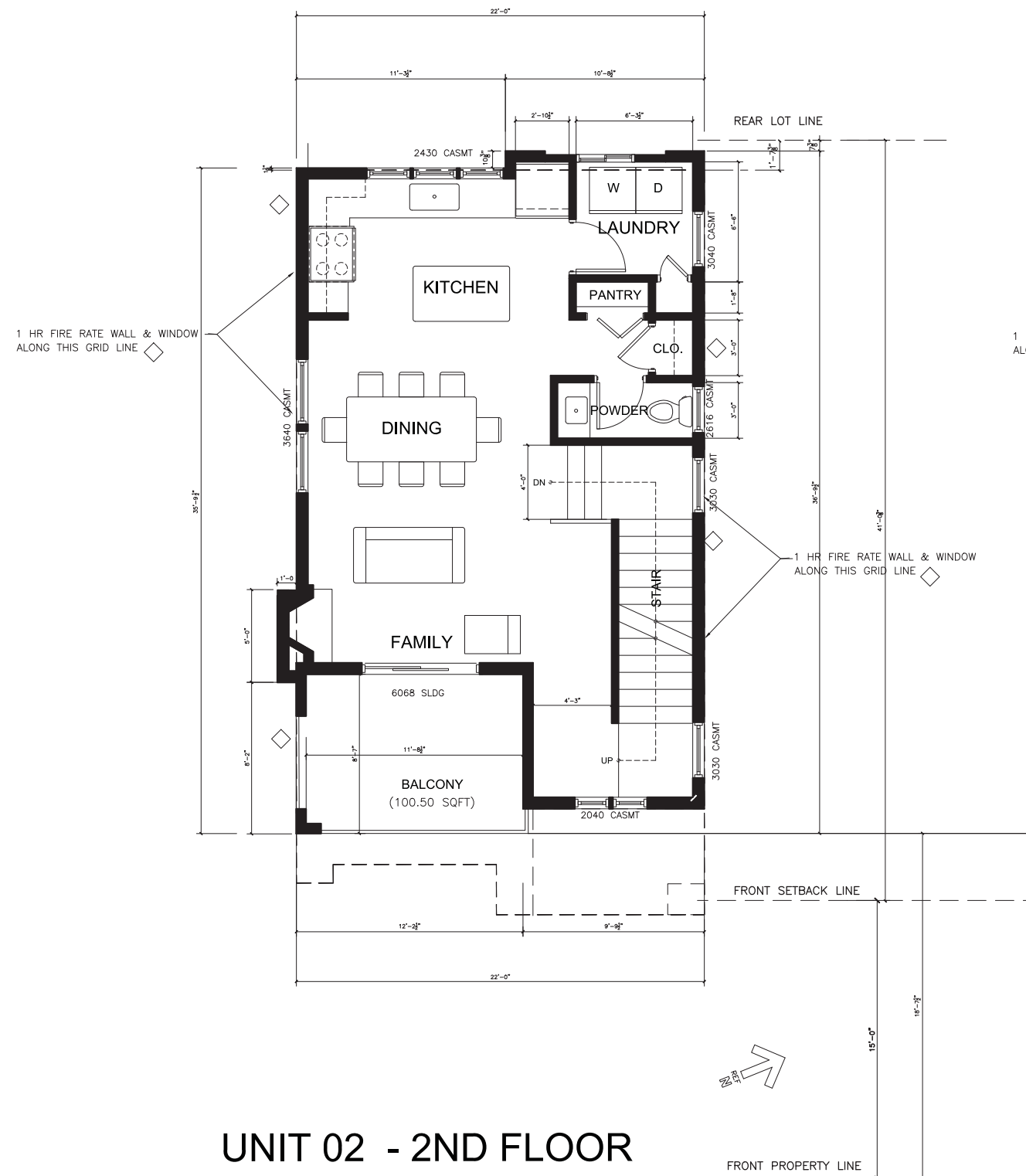
SUBMITTAL:
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DRAWN BY:
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 DATE:
 JAN 12 2021

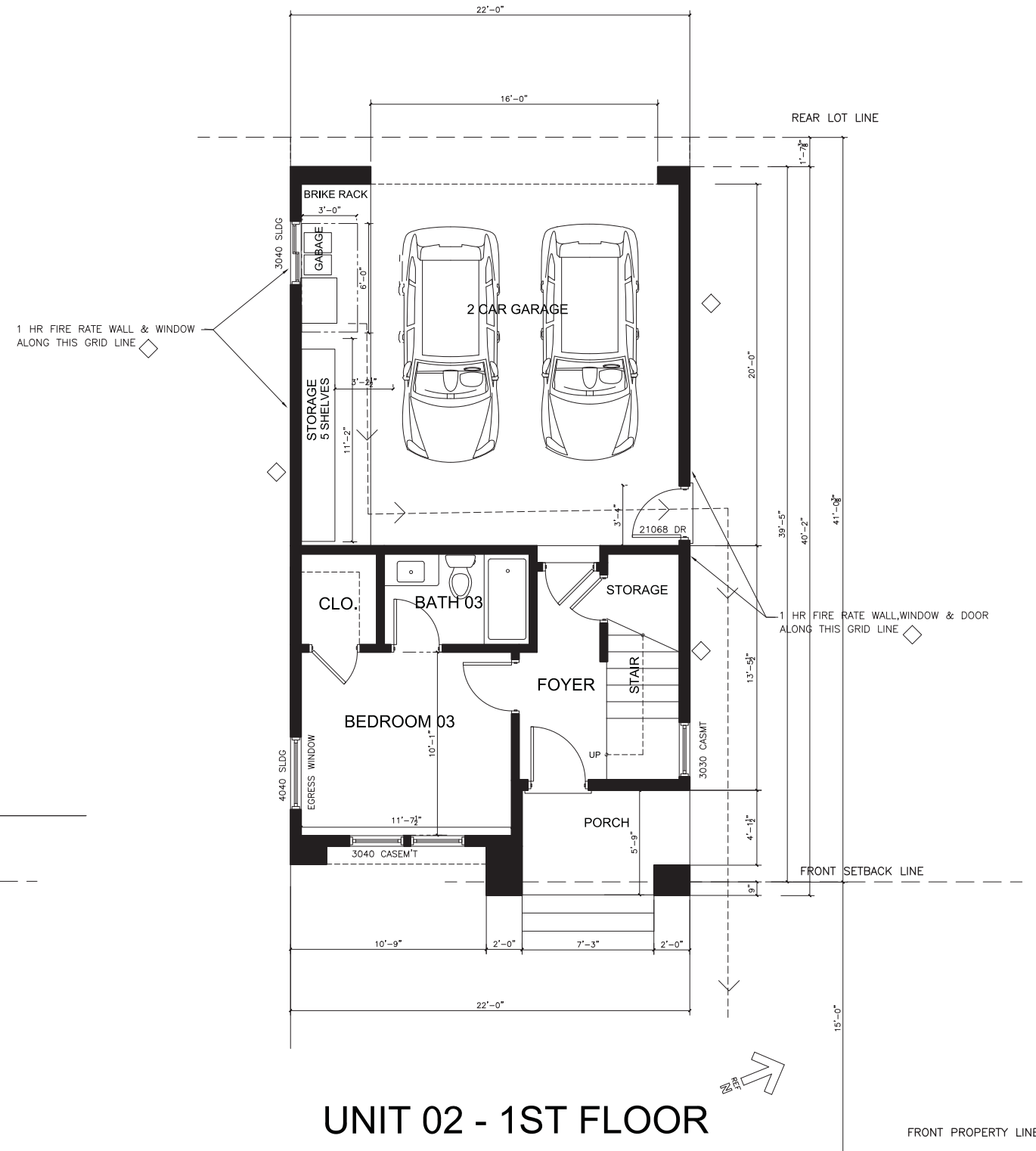
SCALE:
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SHEET NUMBER:

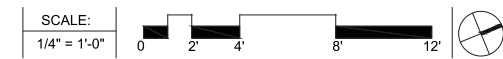
A.05.2

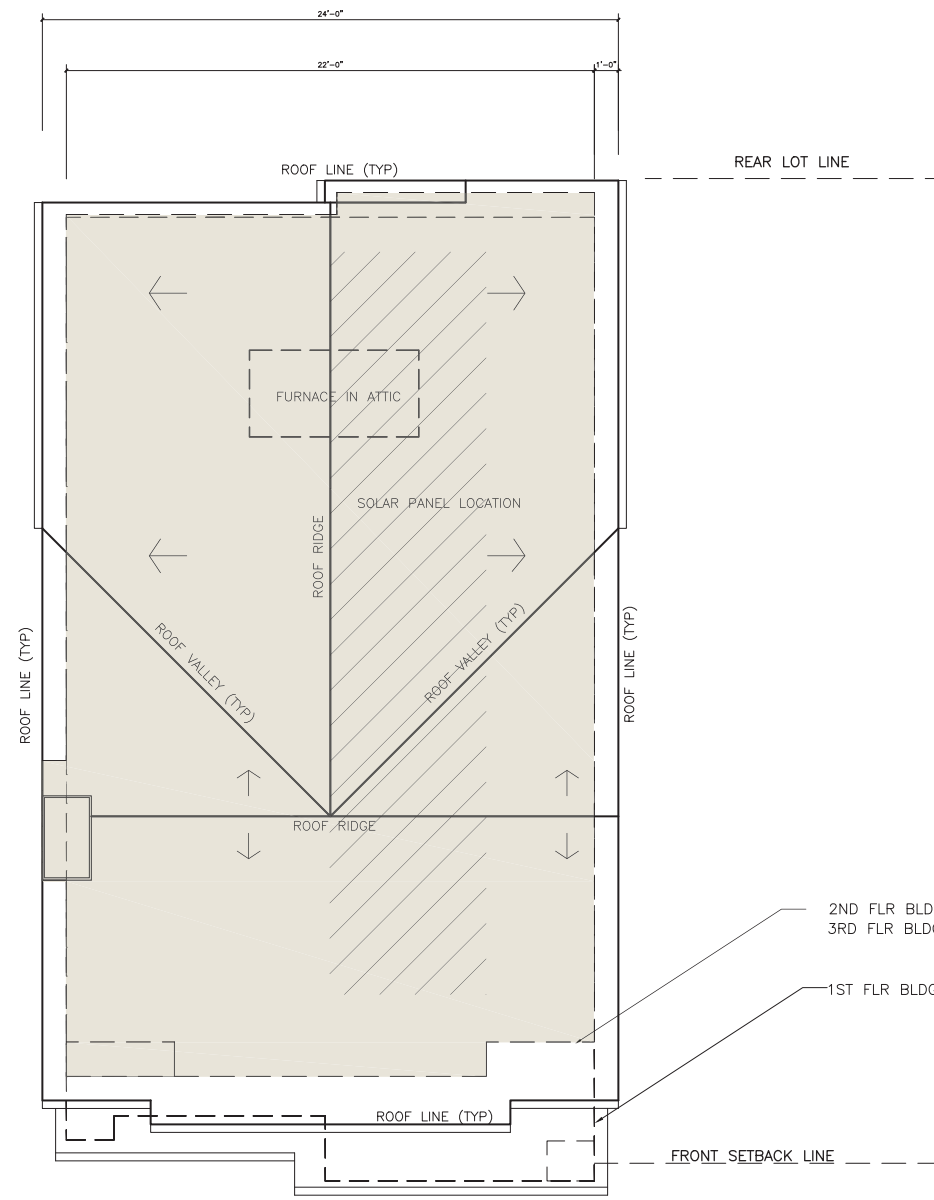


UNIT 02 - 2ND FLOOR

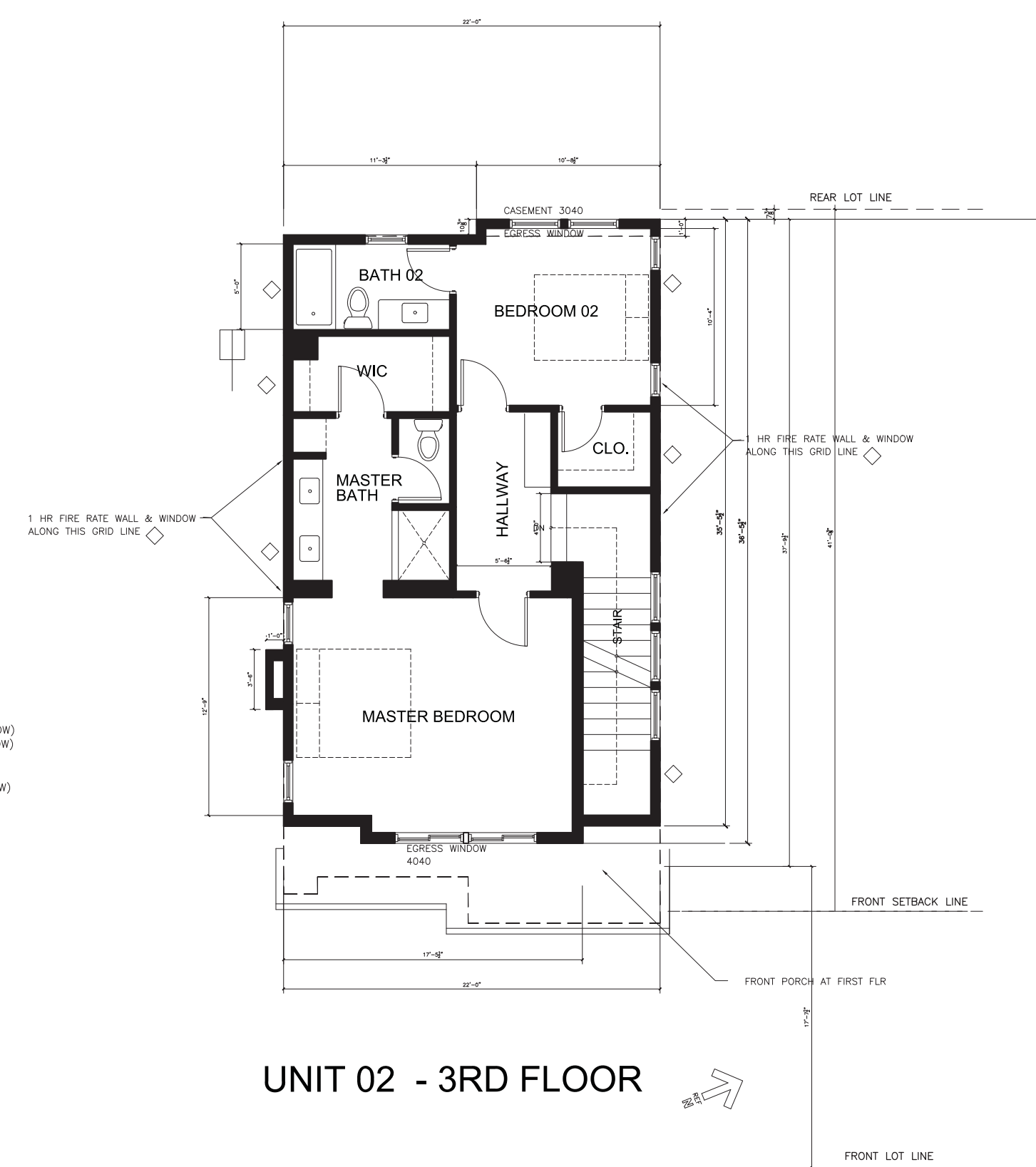


UNIT 02 - 1ST FLOOR

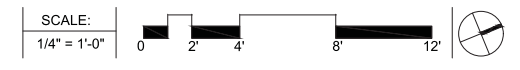




UNIT 02 ROOF PLAN

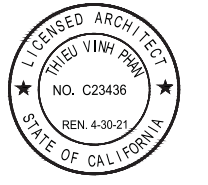


UNIT 02 - 3RD FLOOR



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PROJECT:
198 EASY ST. DEVELOPMENT

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
**UNIT 02
 THIRD FLOOR
 & ROOF PLANS**

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	10.09.2019	T.P
5	05.15.2020	T.P
6	01.12.2021	T.P

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 JAN 12 2021

SCALE:
 1/4" = 1'-0"

SHEET NUMBER:

A.05.3



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PROJECT:

198 EASY ST.
DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

UNIT 03
FIRST & SECOND
FLOOR PLANS

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	10.09.2019	T.P
5	05.15.2020	T.P
6	01.12.2021	T.P

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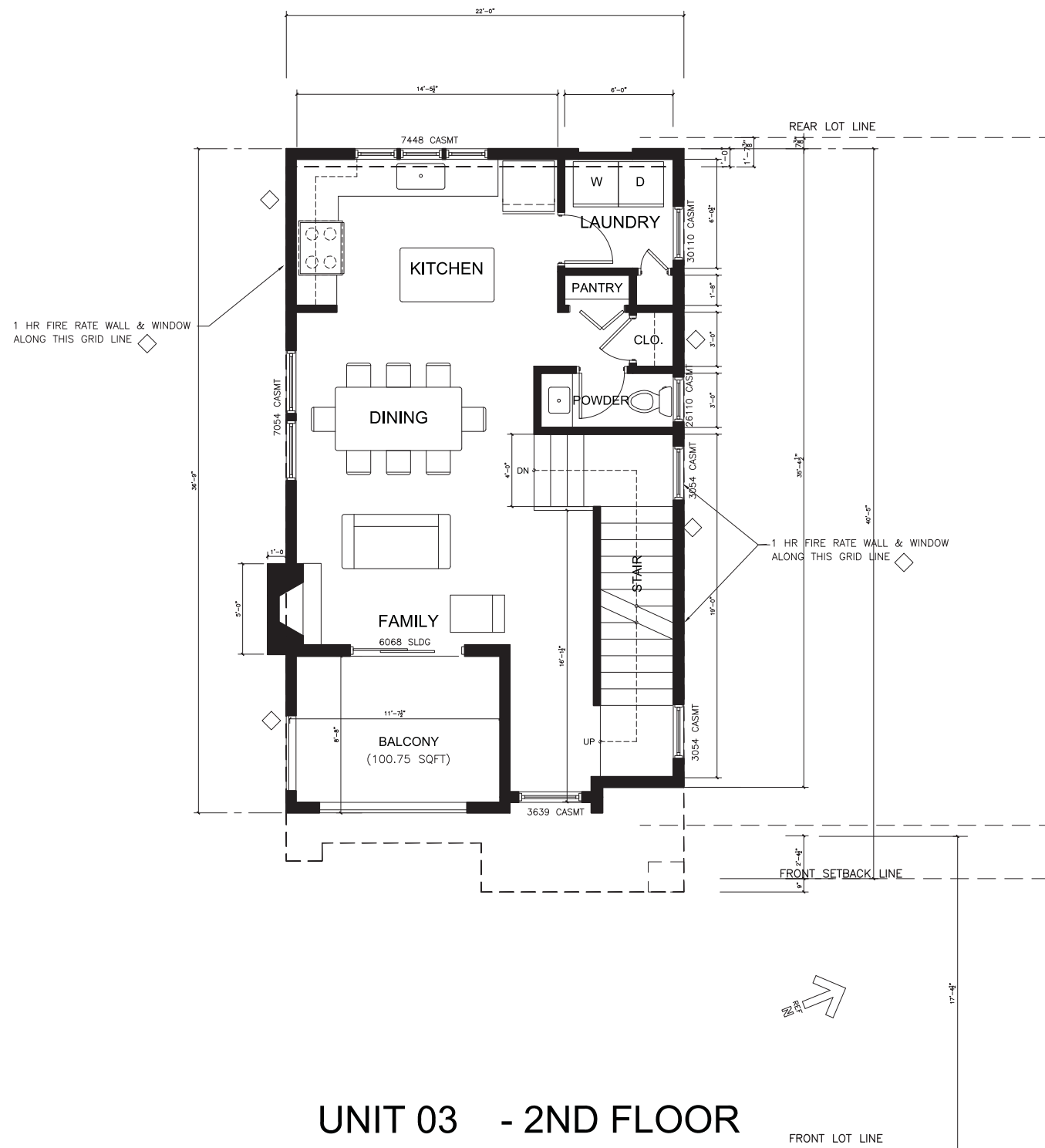
DRAWN BY:
PP
DATE:
MAR. 20, 2019

SCALE:
1/4"=1'-0"

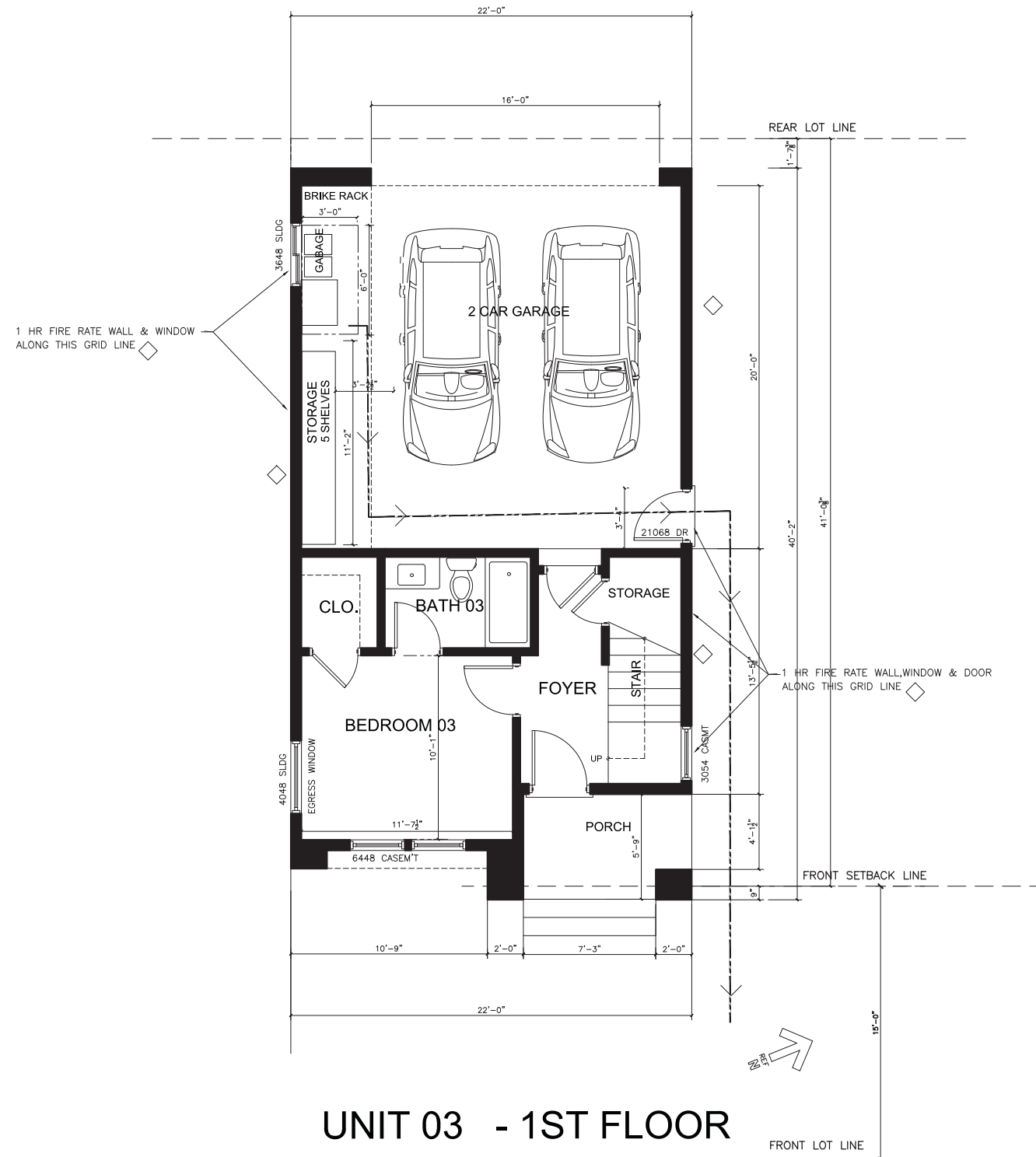
SHEET NUMBER:

6 01.12.2021 T.P

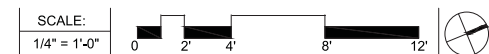
A.05.4



UNIT 03 - 2ND FLOOR



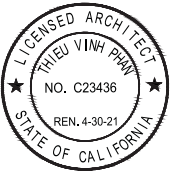
UNIT 03 - 1ST FLOOR





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PROJECT:
**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
**UNIT 03
 THIRD FLOOR
 & ROOF PLANS**

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	03.20.2019	T.P
5	05.15.2020	T.P
6	01.12.2021	T.P

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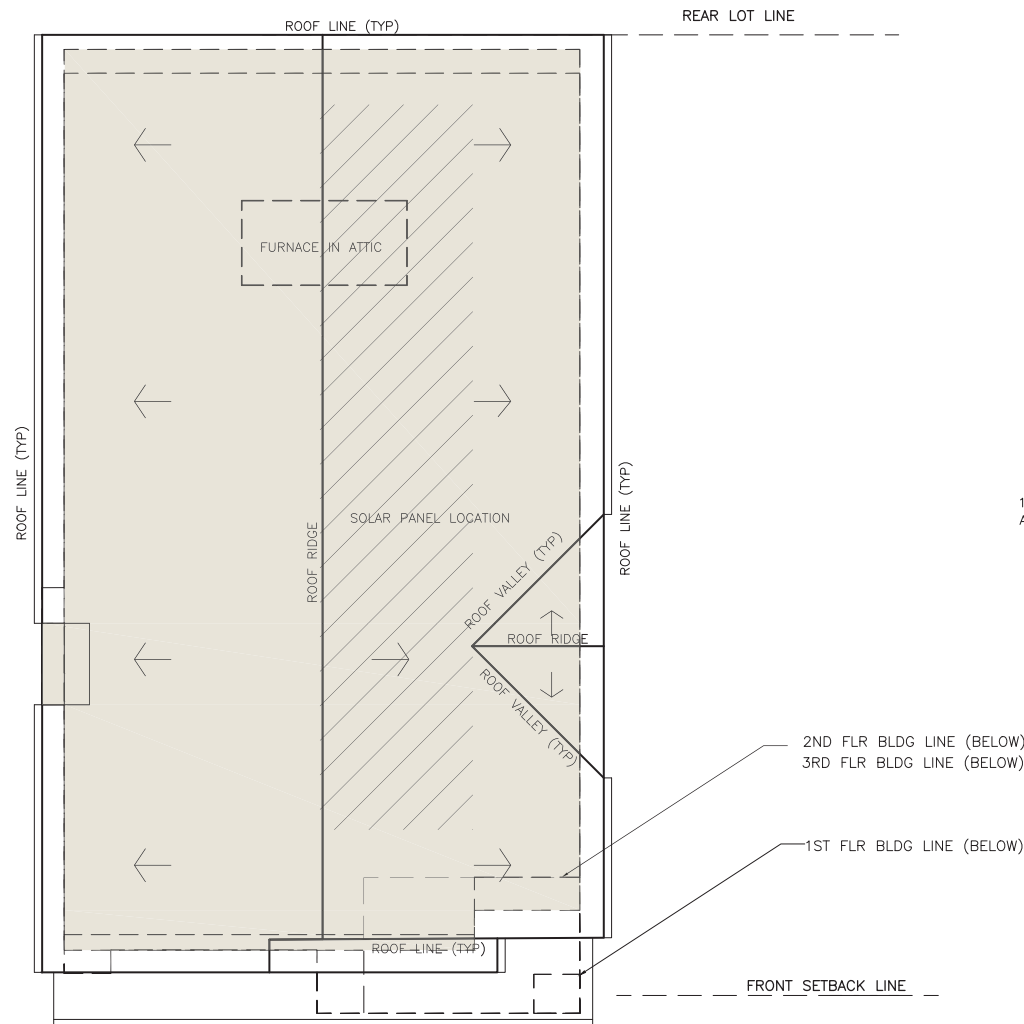
DRAWN BY:
 PP
 DATE:
 PLANNING
 MAR. 20, 2019

SCALE:
 1/4"=1'-0"

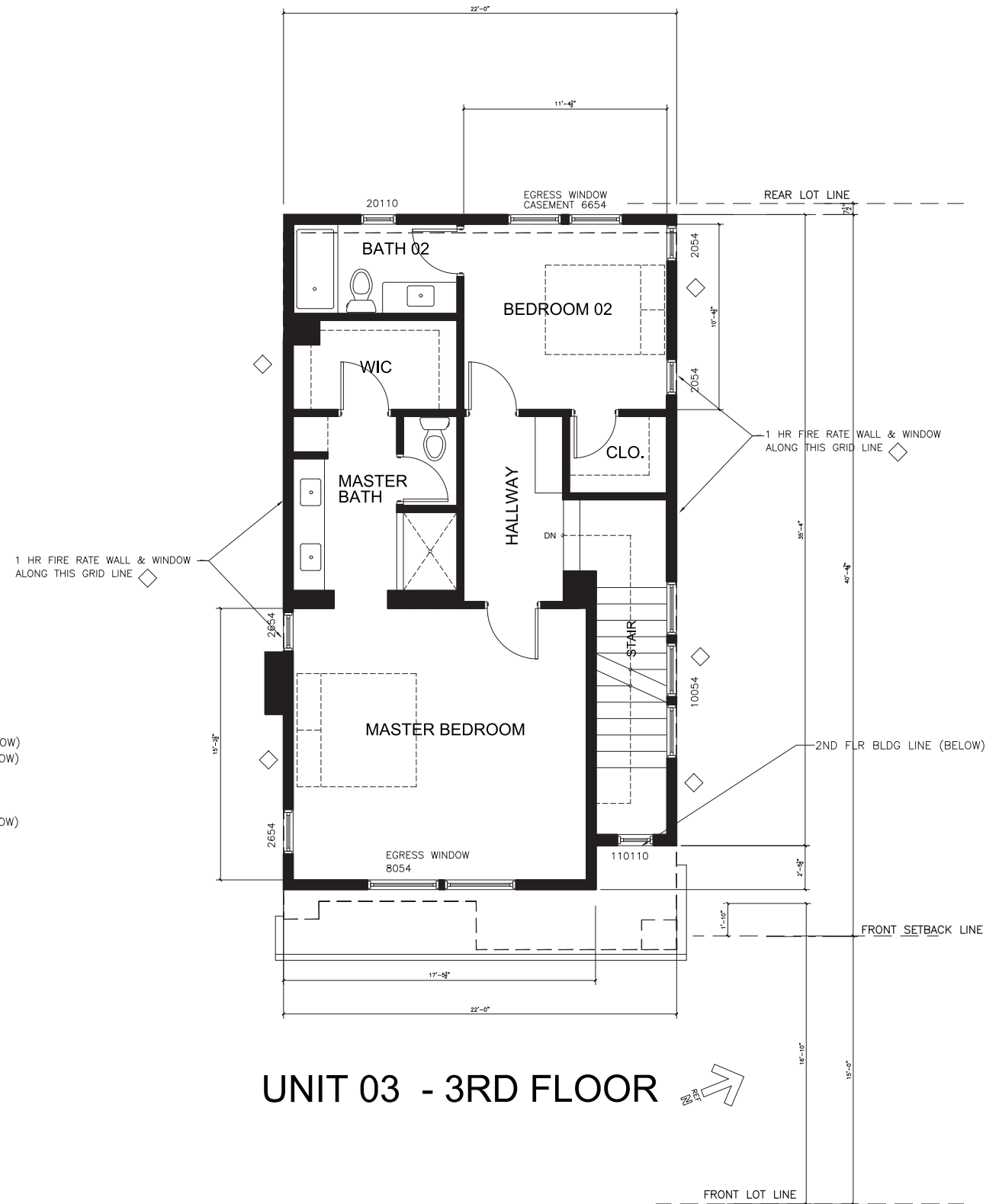
SHEET NUMBER:

6 01.12.2021 T.P

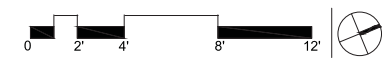
A.05.5



UNIT 03 ROOF PLAN



UNIT 03 - 3RD FLOOR





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PROJECT:

198 EASY ST. DEVELOPMENT

ADDRESS:
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 MOUNTAIN VIEW CA 94043

TITLE:

**UNIT 03
 FIRST & SECOND
 FLOOR PLANS**

REV.	DATE	T.P
3	03.20.2019	T.P
4	10.09.2019	T.P
5	02.10.2020	T.P
6	01.12.2021	T.P

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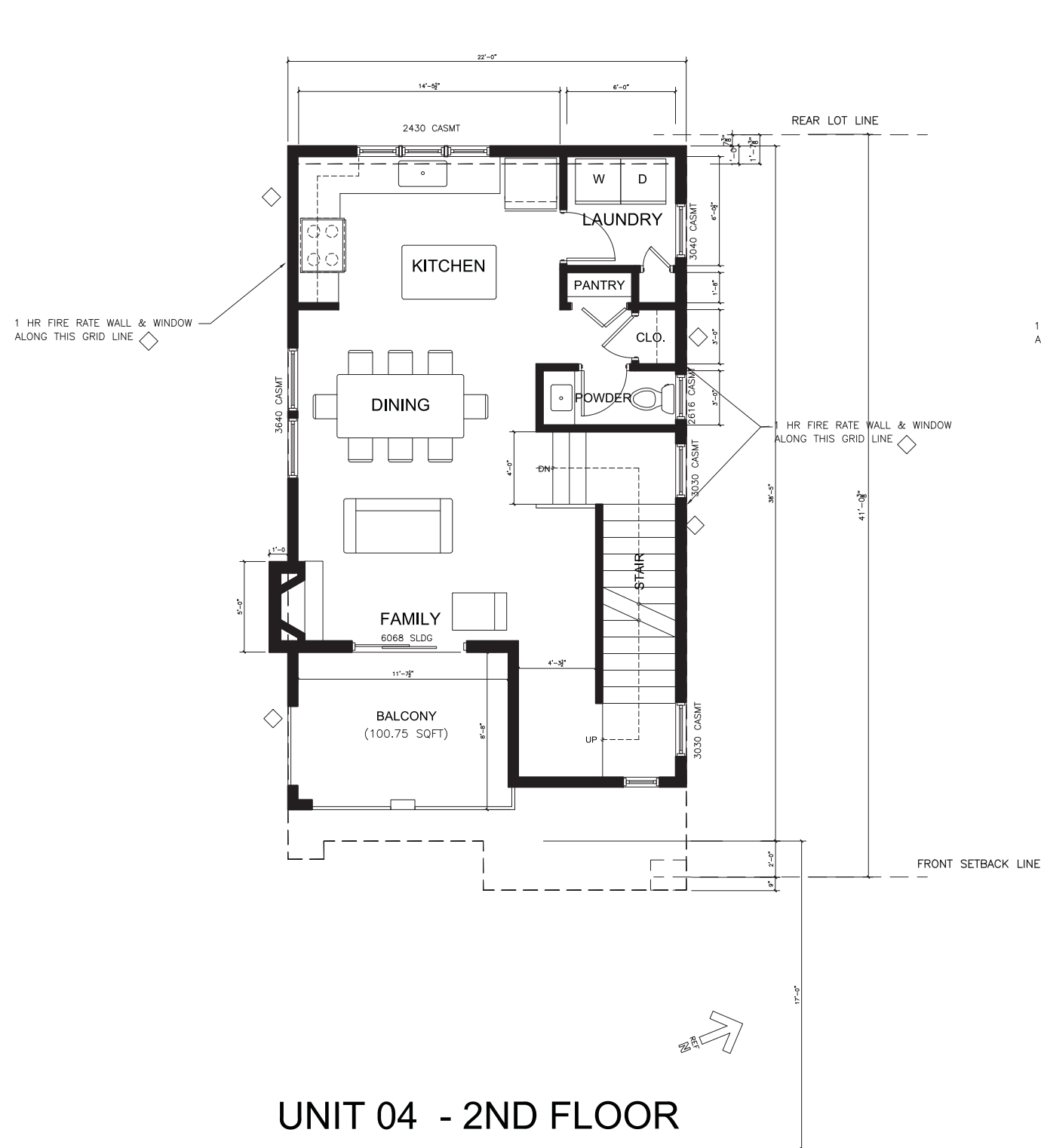
SUBMITTAL:
 PLANNING

DRAWN BY:
 PP
 DATE:
 MAR. 20, 2019

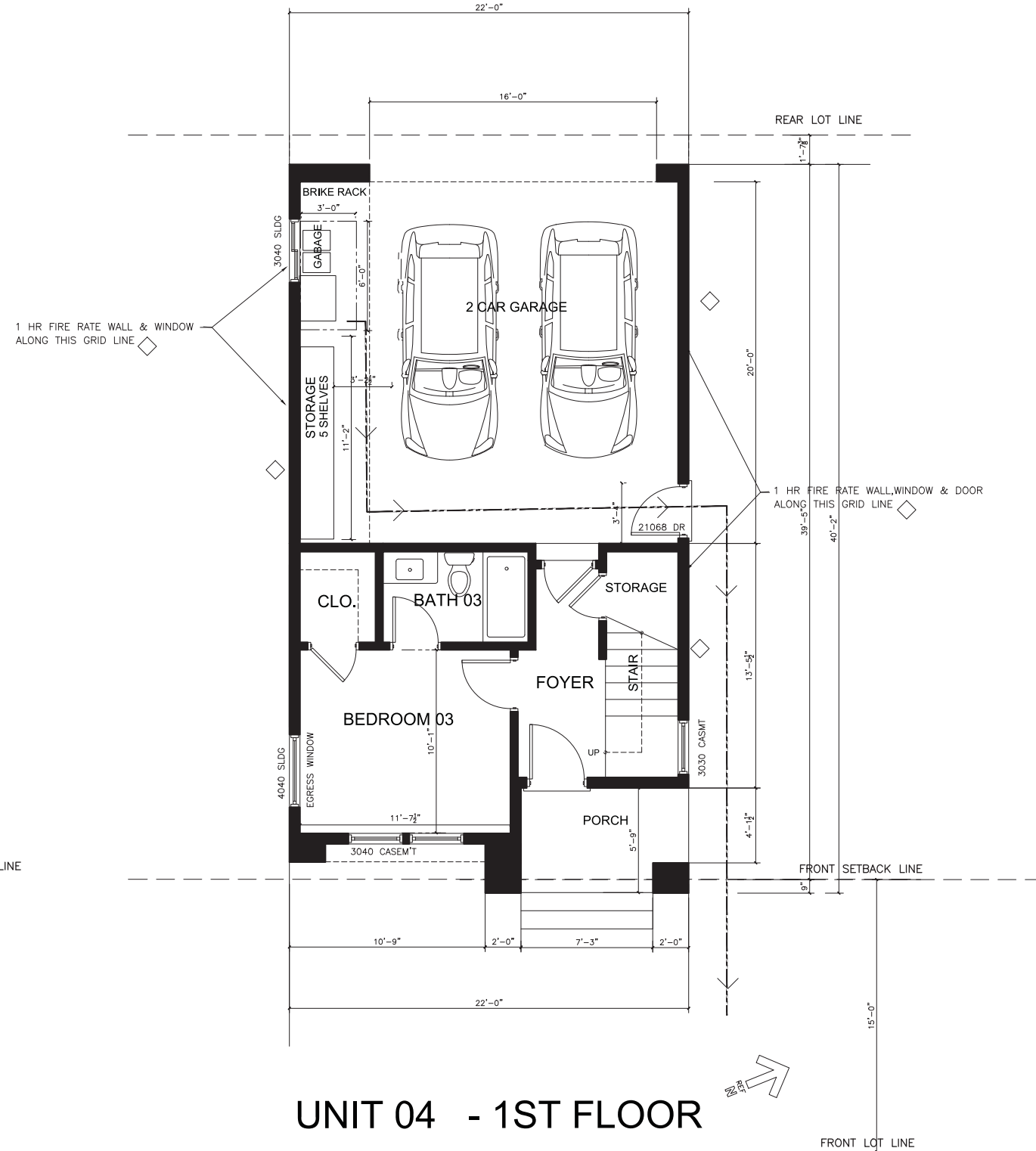
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SHEET NUMBER:

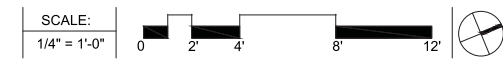
A.05.6



UNIT 04 - 2ND FLOOR



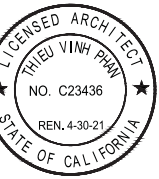
UNIT 04 - 1ST FLOOR





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PROJECT:
**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
**UNIT 04
 THIRD FLOOR
 & ROOF PLANS**

REV.	DATE	T.P.
3	03.20.2019	T.P.
4	10.09.2019	T.P.
5	02.10.2020	T.P.
6	01.12.2021	T.P.

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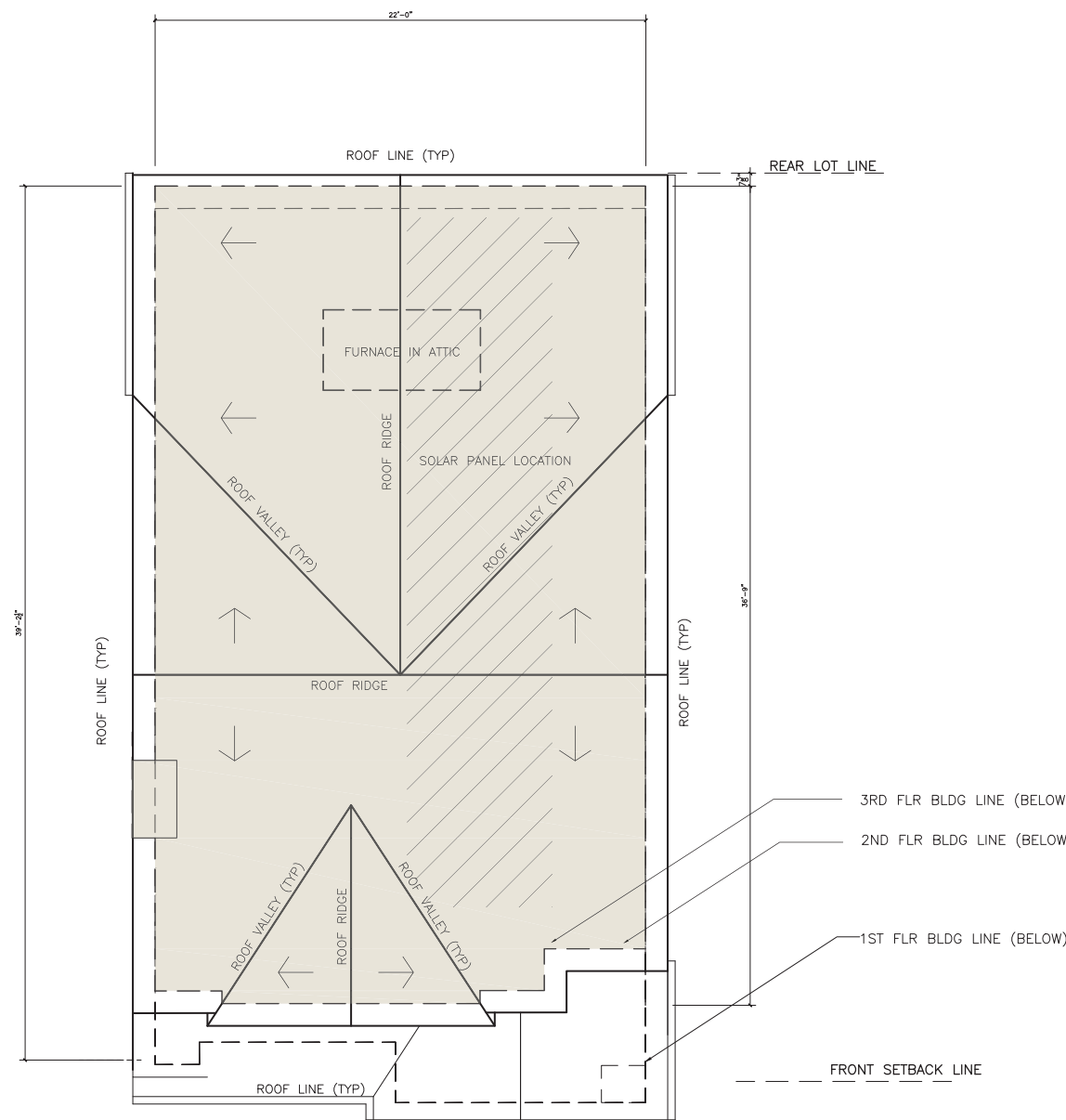
SUBMITTAL:
 PLANNING

DRAWN BY:
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 DATE:
 MAR. 20, 2019

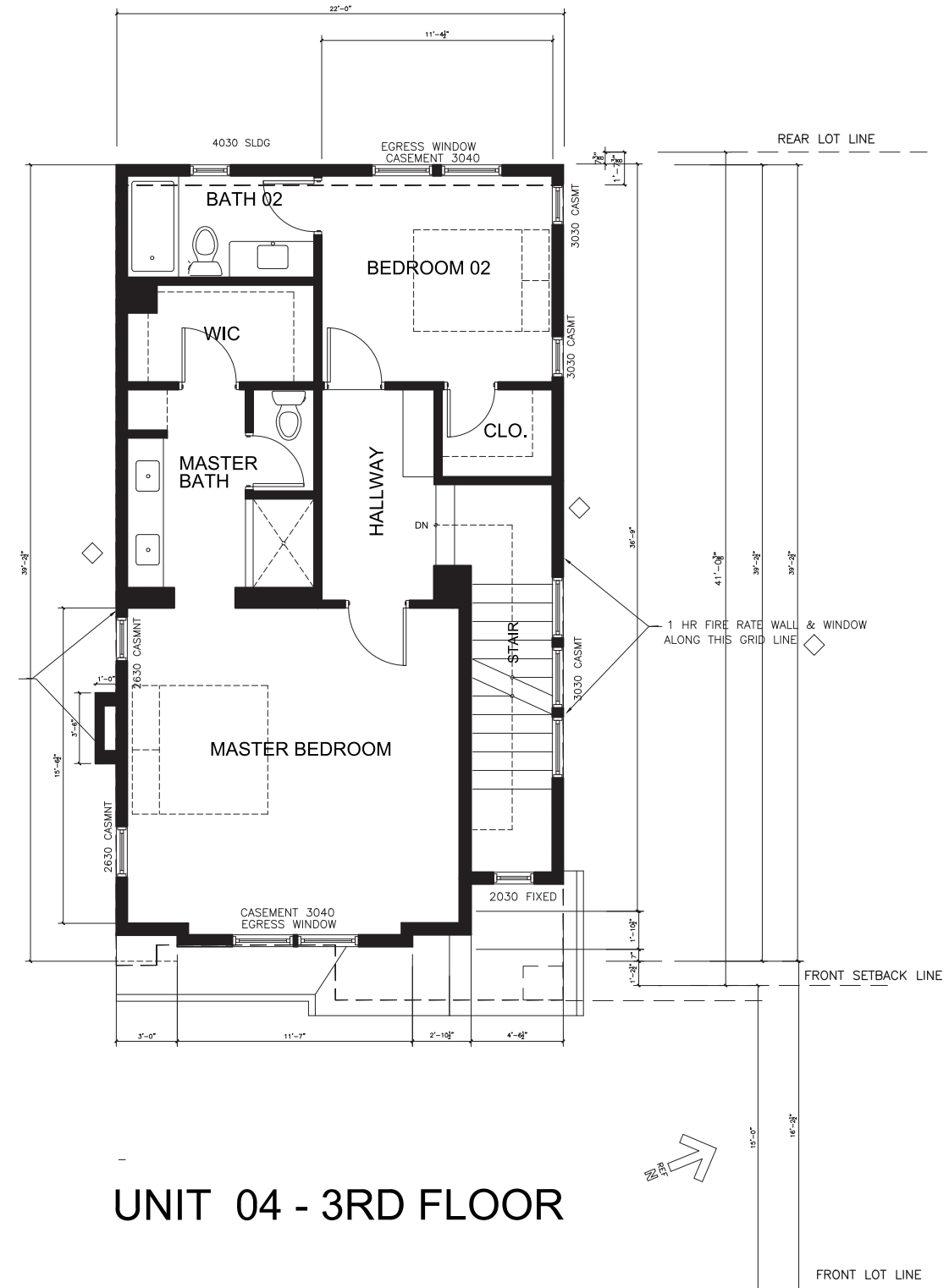
SCALE:
 1/4" = 1'-0"

SHEET NUMBER:

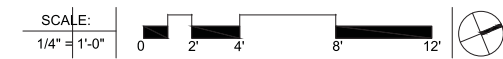
A.05.7



UNIT 04 ROOF PLAN



UNIT 04 - 3RD FLOOR





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PROJECT:
**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
**UNIT O5
 FIRST FLOOR
 PLAN**

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	10.09.2019	T.P
5	05.15.2020	T.P

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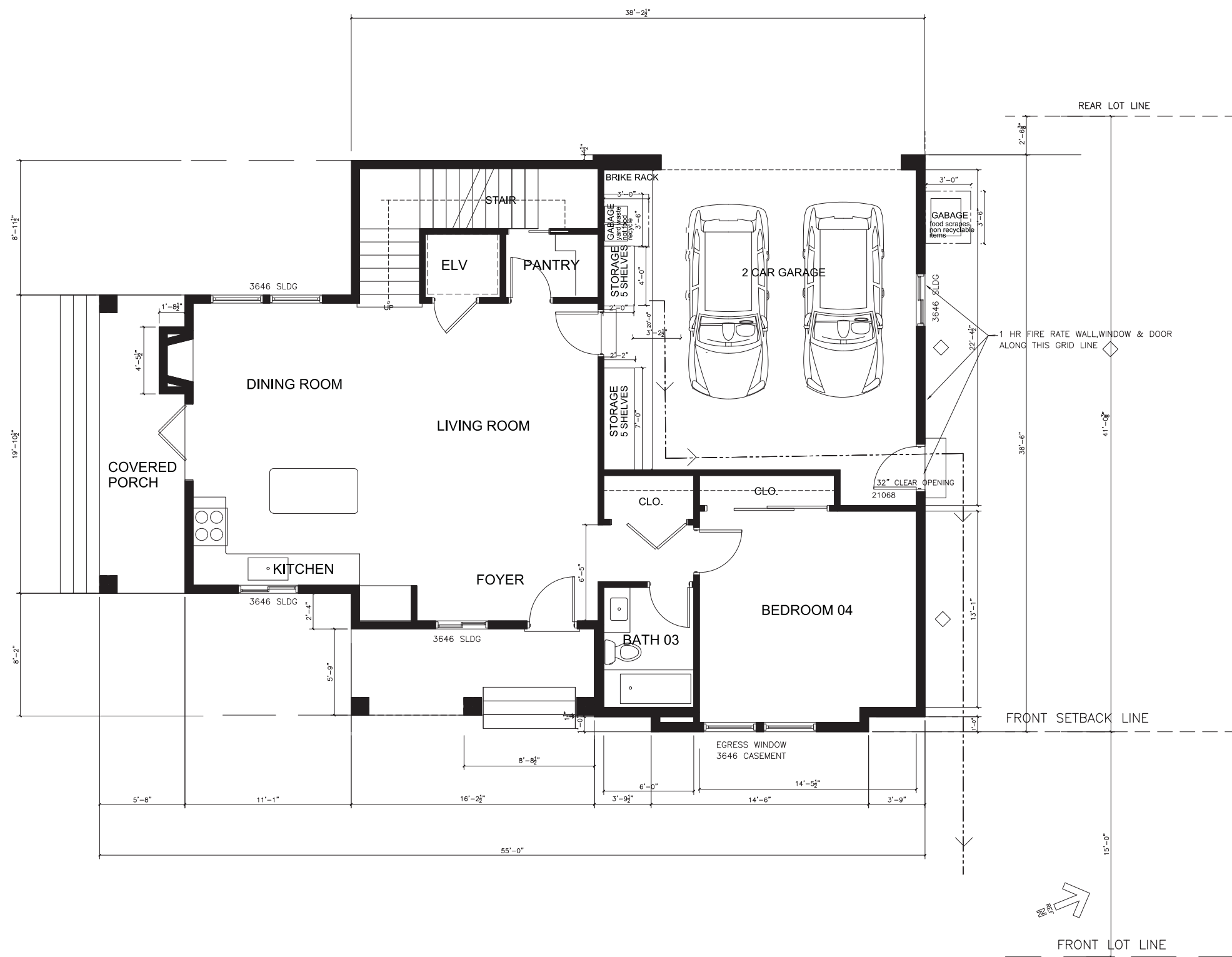
SUBMITTAL:
 PLANNING

DRAWN BY:
 PP
 DATE:
 MAR. 20. 2019

SCALE:
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SHEET NUMBER:

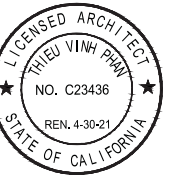
A.05.8





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PROJECT:
**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
**UNIT 05
 SECOND FLOOR
 & ROOF PLANS**

REV.	DATE	REMARKS
3	03.20.2019	T.P
4	10.09.2019	T.P
5	02.10.2020	T.P
6	01.12.2021	T.P

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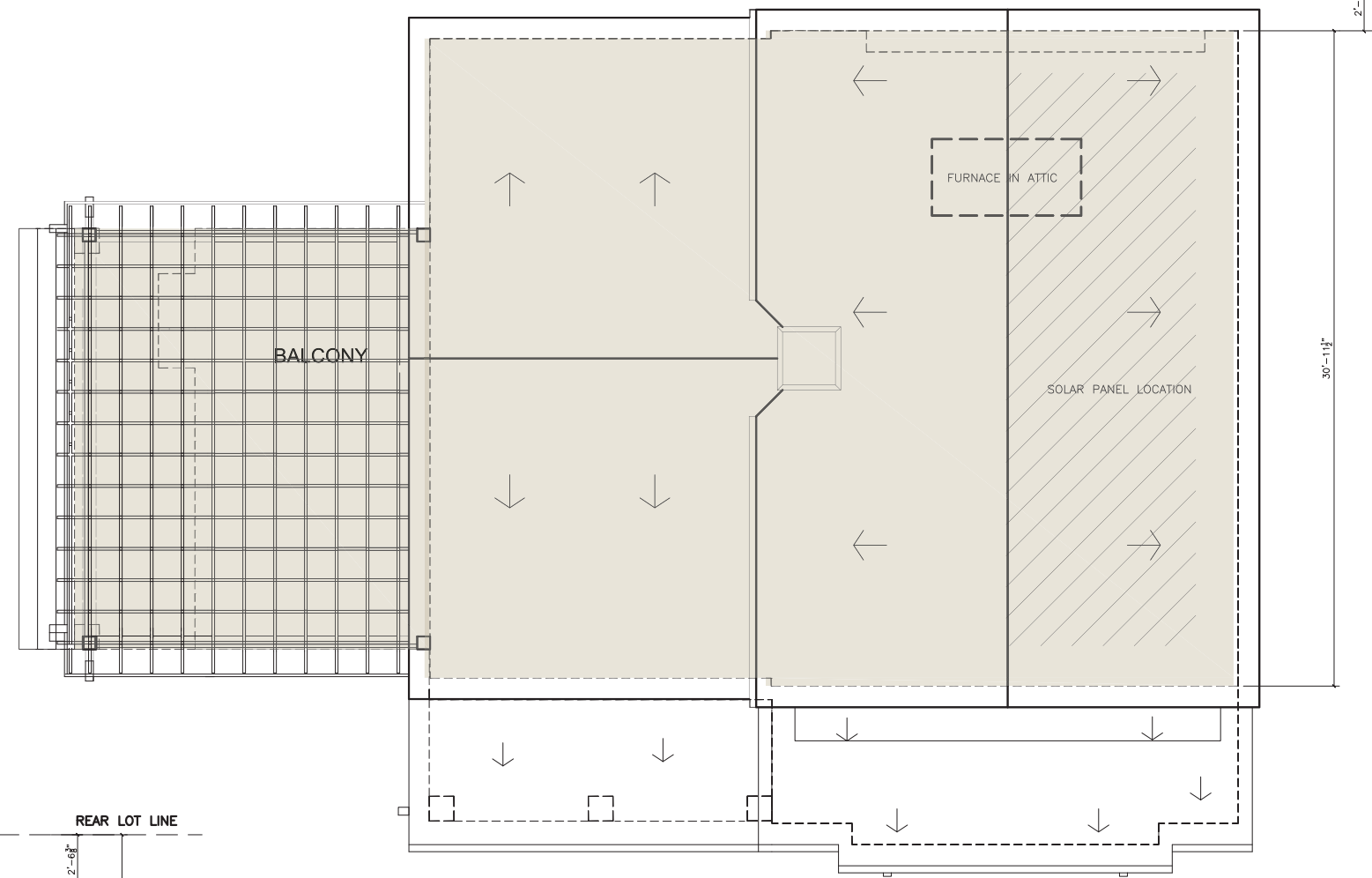
SUBMITTAL:
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DRAWN BY:
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 DATE:
 JAN 12 2021

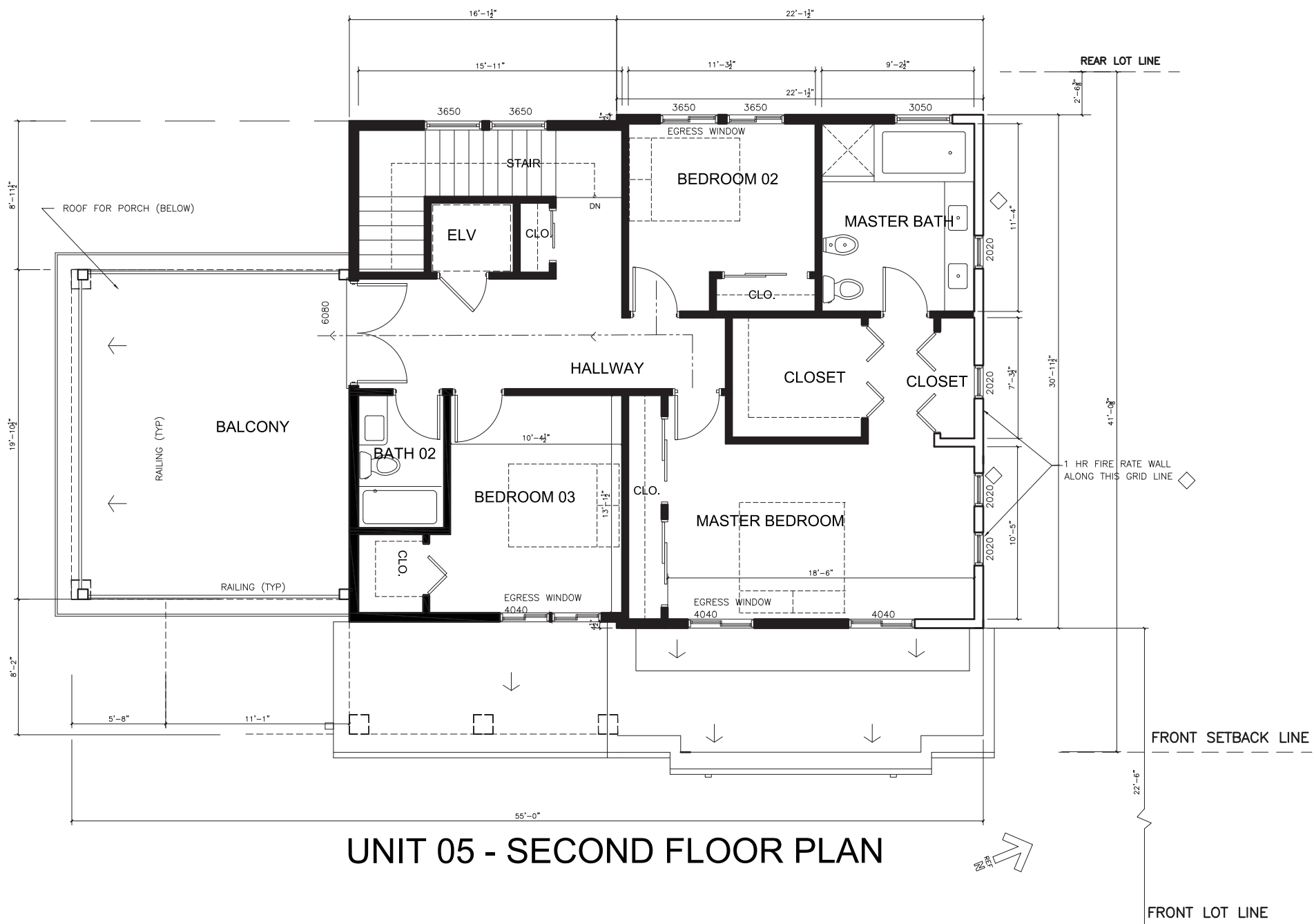
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SHEET NUMBER:

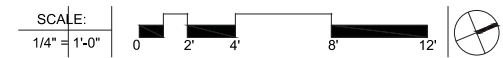
A.05.9



UNIT 05 - ROOF PLAN



UNIT 05 - SECOND FLOOR PLAN





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PROJECT:

198 EASY ST.
 DEVELOPMENT

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:

UNIT 01
 ELEVATION
 VIEWS

REV. DATE REMARKS

REV.	DATE	REMARKS

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DRAWN BY:
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 DATE:
 JAN 03 2021

SCALE:
 1/4"=1'-0"

SHEET NUMBER:

A.06.3



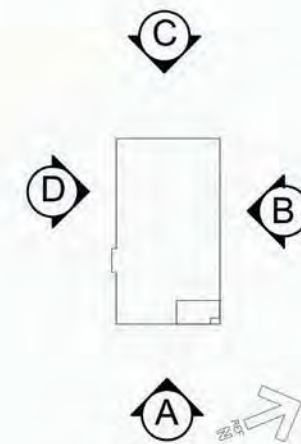
ELEVATION "B"

SCALE : 1/4" = 1'-0"



ELEVATION "C"

SCALE : 1/4" = 1'-0"



KEY PLAN
 SCALE : NONE



ELEVATION "D"

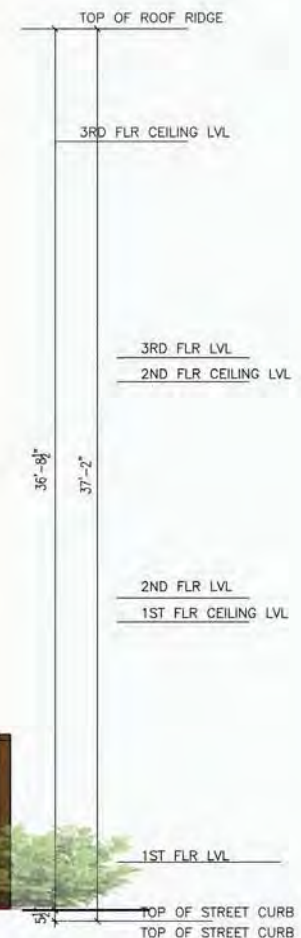
SCALE : 1/4" = 1'-0"



ELEVATION "A"

SCALE : 1/4" = 1'-0"

- 40YR COMP SHINGLES
- PTD. SEAMLESS METAL GUTTERS AND DOWN SPOUTS
- PTD. WOOD OUTRIGGERS
- PTD. SIDING
- ANDERSON 100 CASMENT WINDOWS W/ 4" RECESS
- PTD. WOOD FACIA
- PTD. WOOD TRIM
- RAIN LEADERS TYP.
- PTD. METAL RAILINGS
- PTD. WOOD OUTRIGGERS
- PTD. SIDING
- ELDORADO STONE VENEER

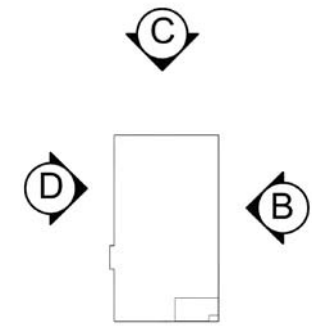




ELEVATION "B" SCALE : 1/4" = 1'-0"



ELEVATION "C" SCALE : 1/4" = 1'-0"



KEY PLAN
SCALE : NONE



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PROJECT:

**198 EASY ST.
DEVELOPMENT**

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

**UNIT 02
ELEVATION
VIEWS**

REV	DATE	REMARKS

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PLANNING

DRAWN BY:
PP
DATE:
JAN 03 2021

SCALE:
1/4"=1'-0"

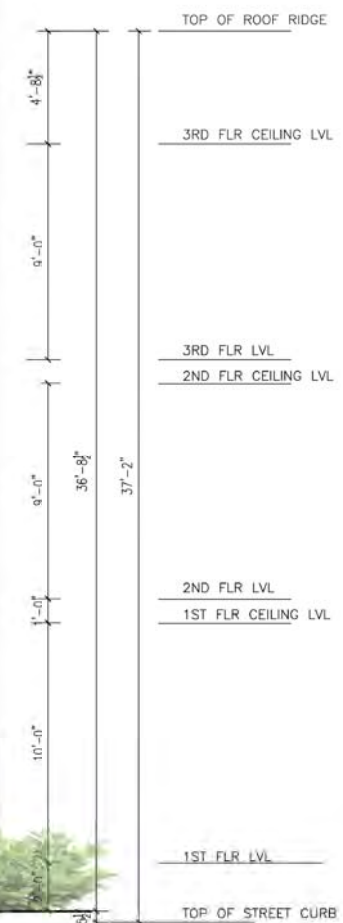
SHEET NUMBER

A.06.4

- 40YR COMP SHINGLES
- PTD. WOOD FACIA
- PTD. SEAMLESS METAL GUTTERS AND DOWN SPOUTS
- RAIN LEADERS TYP.
- ANDERSON 100 CASMENT WINDOWS W/ 4" RECESS
- PTD. STUCCO TRIM
- PTD. SMOOTH STUCCO
- PTD. METAL RAILINGS
- PTD. SMOOTH STUCCO
- ELDORADO STONE VENEER



ELEVATION "A" SCALE : 1/4" = 1'-0"



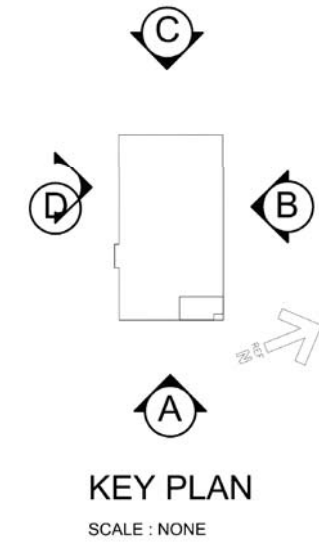
ELEVATION "D" SCALE : 1/4" = 1'-0"



ELEVATION "B" SCALE : 1/4" = 1'-0"



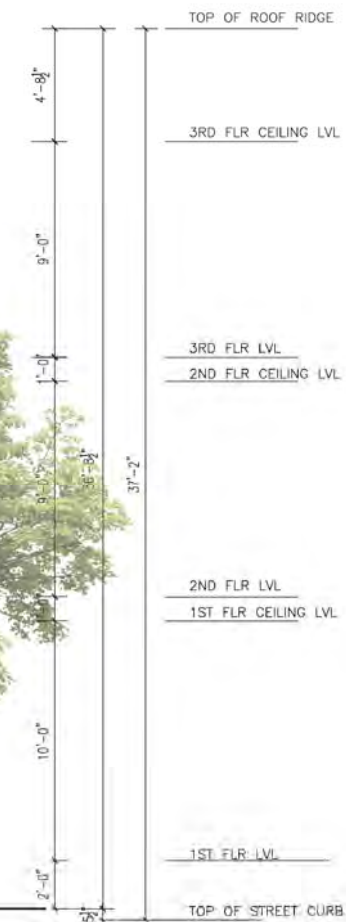
ELEVATION "C" SCALE : 1/4" = 1'-0"



ELEVATION "D" SCALE : 1/4" = 1'-0"



ELEVATION "A" SCALE : 1/4" = 1'-0"



PHAN ARCHITECTS

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PROJECT:
198 EASY ST. DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:
UNIT 03 ELEVATION VIEWS

REV. DATE REMARKS

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DRAWN BY:
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DATE:
JAN 03 2021

SCALE:
1/4" = 1'-0"

SHEET NUMBER:

A.06.5



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PROJECT:

198 EASY ST.
DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

UNIT 04
ELEVATION
VIEWS

REV. DATE REMARKS

NOTES

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PLANNING

DRAWN BY:
PP
DATE:
JAN03 2021

SCALE:
1/4"=1'-0"

SHEET NUMBER:

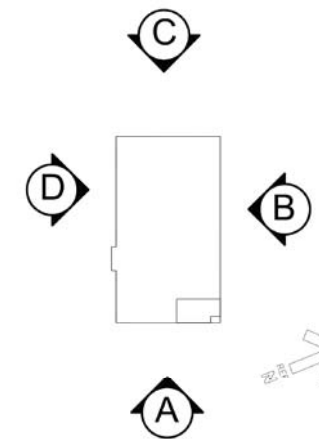
A.06.6



ELEVATION "B" SCALE : 1/4" = 1'-0"



ELEVATION "C" SCALE : 1/4" = 1'-0"



KEY PLAN
SCALE : NONE

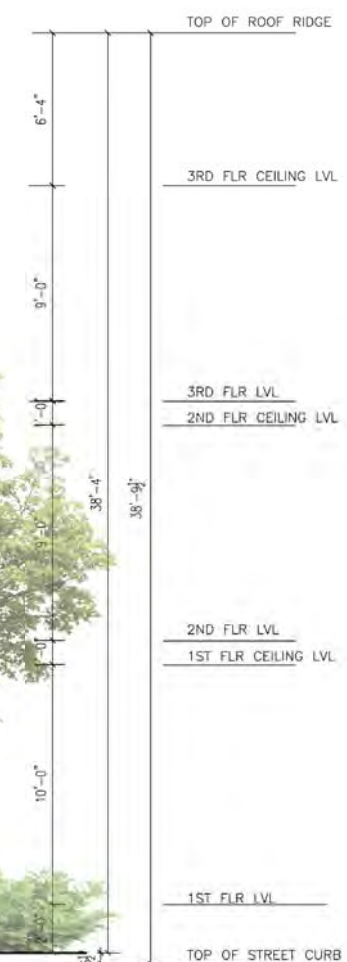


ELEVATION "D" SCALE : 1/4" = 1'-0"

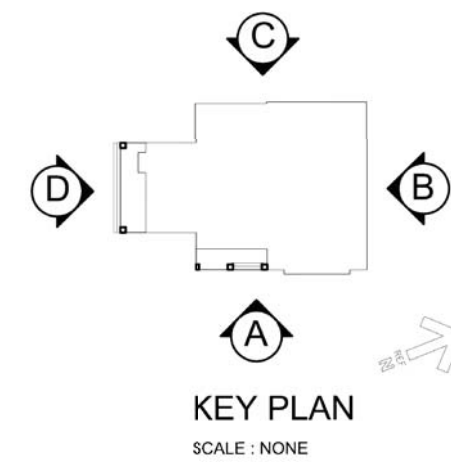


ELEVATION "A" SCALE : 1/4" = 1'-0"

- 40YR. COMP SHINGLE ROOF
- PTD. WOOD FACIA
- PTD. SEAMLESS METAL GUTTERS AND DOWN SPOUTS
- ANDERSON 100 CASMENT WINDOWS W/ 4" RECESS
- RAIN LEADERS TYP.
- PTD. WOOD TRIM
- PTD. SIDING
- PTD. WOOD TRELLIS
- PTD. METAL RAILINGS
- PTD. WOOD TRIM
- PTD. SIDING
- ELDORADO STONE



A.06.6



ELEVATION "D"

SCALE : 1/4" = 1'-0"



ELEVATION "A"

SCALE : 1/4" = 1'-0"



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PROJECT:

198 EASY ST.
DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

UNIT 05
ELEVATION
VIEWS

REV	DATE	REMARKS

NOTES

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SUBMITTAL
PLANNING

DRAWN BY:
PP
DATE:
JAN 03 2021

SCALE:
1/4" = 1'-0"

SHEET NUMBER

A.06.7



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www.phangroup-us.com



PROJECT:
**198 EASY ST.
DEVELOPMENT**

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:
**UNIT 05
ELEVATION
VIEWS**

REV. DATE REMARKS

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PLANNING

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DATE:
JAN 03 2021

SCALE:
1/4"=1'-0"

SHEET NUMBER:

A.06.8



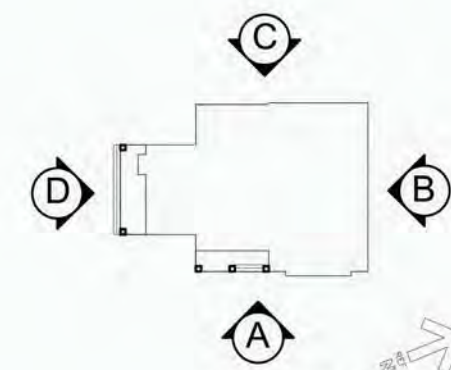
ELEVATION "B"

SCALE : 1/4" = 1'-0"



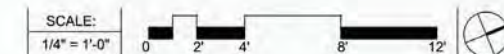
ELEVATION "C"

SCALE : 1/4" = 1'-0"

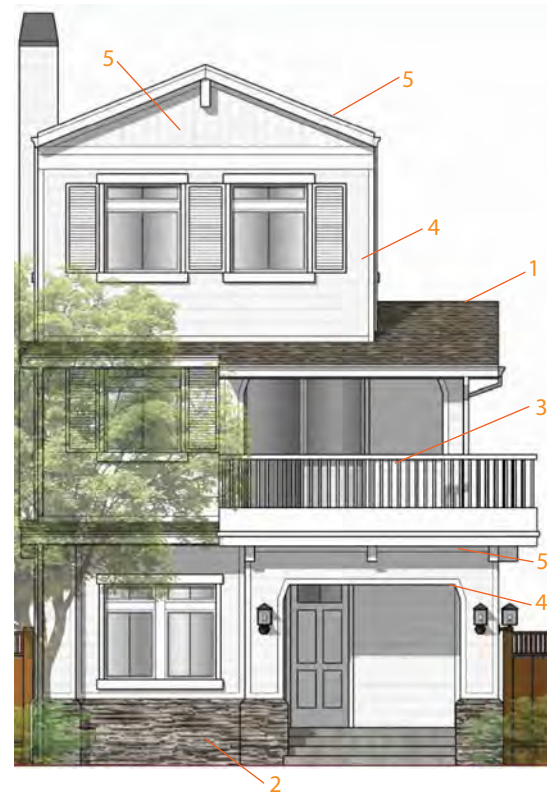



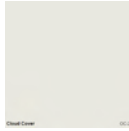

KEY PLAN

SCALE : NONE



198 EASY ST.
UNIT 01 COLOR / MATERIAL BOARD



- ROOFING:
1. CERTAINTEED
LANDMARK - DRIFTWOOD
- STONE VENEER:
2. ELDORADO STONE
STACKED STONE - SILVER LINING
3.  PAINTED METAL RAILINGS
BENJAMIN MOORE
0C-149 DECORATOR'S WHITE
4.  PAINTED SIDING BODY COLOR:
BENJAMIN MOORE
0C-25 CLOUD COVER
5.  PAINTED TRIM WORK: FACIA'S, OUTRIGGERS,
WINDOW AND DOOR TRIM
BENJAMIN MOORE
0C-149 DECORATOR'S WHITE


198 EASY ST.
UNIT 02 COLOR / MATERIAL BOARD



- ROOFING:
1. CERTAINTEED
LANDMARK PRO - GEORGETOWN GRAY
2.  PAINTED TRIM WORK: FACIA'S, OUTRIGGERS,
WINDOW AND DOOR TRIM
BENJAMIN MOORE
0C-26 SILVER SATIN
3.  PAINTED SMOOTH STUCCO BODY COLOR:
BENJAMIN MOORE
1573 CASTLE WALLS
- STONE VENEER:
4. ELDORADO STONE
HILLSTONE - LUCERA




198 EASY ST.
UNIT 03 COLOR / MATERIAL BOARD



- ROOFING:
1. EAGLE ROOFING
CAPISTRANO - 3526 VALENCIA
2.  PAINTED SMOOTH STUCCO BODY COLOR:
BENJAMIN MOORE
HC-177 RICHMOND BISQUE
3.  PAINTED TRIM WORK: FACIA'S, WINDOW AND
DOOR TRIM
BENJAMIN MOORE
0C-17 SIMPLY WHITE

198 EASY ST.
UNIT 04 COLOR / MATERIAL BOARD

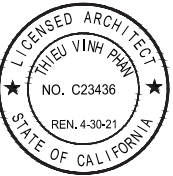


- ROOFING:
1. EAGLE ROOFING - TILE ROOF
BEL AIR - 4503 SIERRA MADRE
2.  PAINTED SIDING BODY COLOR:
BENJAMIN MOORE
HC-150 YARMOUTH BLUE
3.  PAINTED SIDING BODY COLOR:
BENJAMIN MOORE
0C-118 SNOWFALL WHITE
4.  PAINTED TRIM WORK: FACIA'S, WINDOW AND
DOOR TRIM
BENJAMIN MOORE
0C-118 SNOWFALL WHITE
- STONE VENEER:
5. ELDORADO STONE
HILLSTONE - LUCERA



PHAN ARCHITECTS

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PROJECT:

198 EASY ST.
DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

COLOR BOARD

REV.	DATE	REMARKS

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DRAWN BY:
PP
DATE:
JAN 03 2021

SCALE:

SHEET NUMBER:


A.06.6

198 EASY ST.
UNIT 05 COLOR / MATERIAL BOARD




ROOFING:
1. CERTAINTEED
LANDMARK - DRIFTWOOD

VENER STONE:
ELDORADO STONE
2. CLIFFSTONE - MANZANITA

3.  PAINTED SMOOTH STUCCO
BODY COLOR:
BENJAMIN MOORE
1544 WAYNESBORO TAUPE

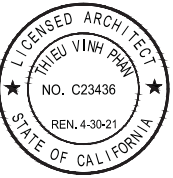
4.  PAINTED SMOOTH STUCCO
BODY COLOR:
BENJAMIN MOORE
0C-41 FRENCH CANVAS

5.  PAINTED TRIM WORK: FACIA'S,
OUTRIGGRES,
WINDOW AND DOOR TRIM
BENJAMIN MOORE
0C-152 SUPER WHITE



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PROJECT:

198 EASY ST.
DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:
COLOR BOARD

REV.	DATE	REMARKS
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DATE:
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SCALE:

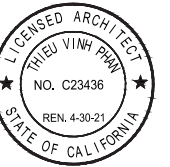
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A.06.7



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PROJECT:

**198 EASY ST.
DEVELOPMENT**

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

SITE SECTION



REV. DATE REMARKS

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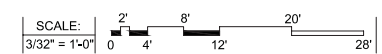
SUBMITTAL:
PLANNING

DRAWN BY:
PP
DATE:
JAN 03 2021

SCALE:
3/32"=1'-0"

SHEET NUMBER:

A.07





BIRD'S EYE VIEW



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PROJECT:
**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
3D VIEWS

REV.	DATE	REMARKS

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PLANNING

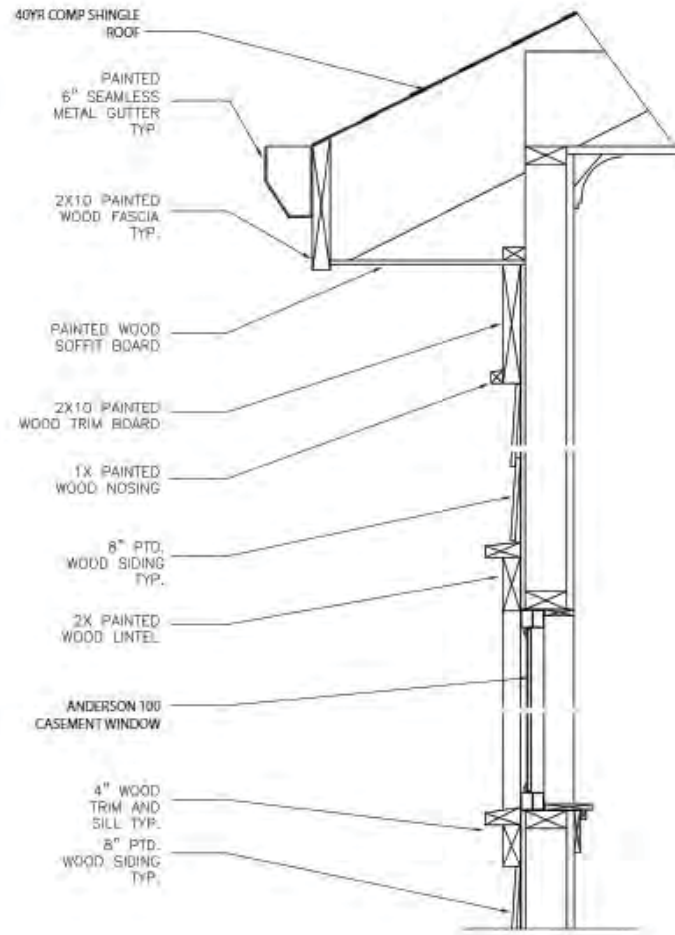
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 PP
 DATE:
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SCALE:

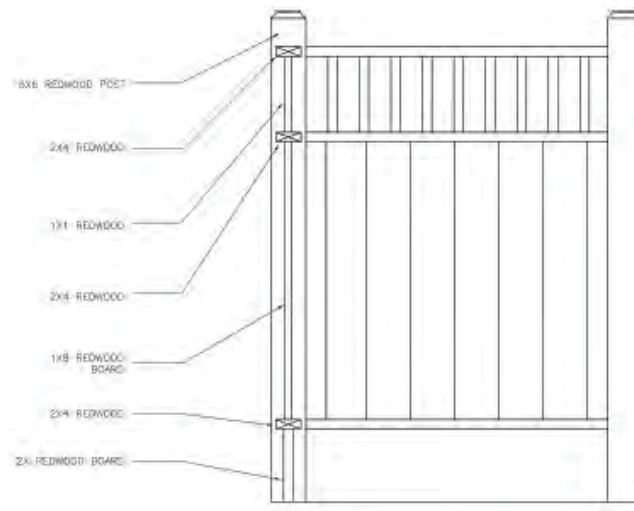
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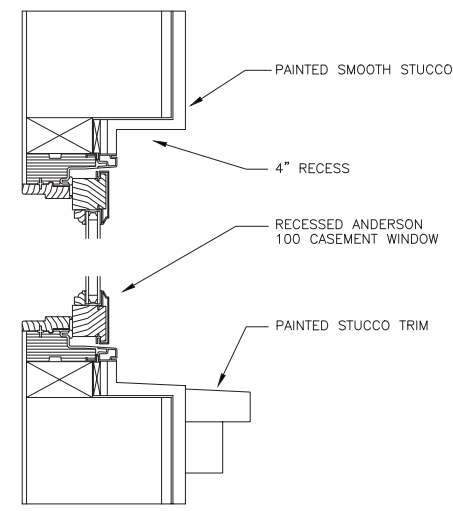
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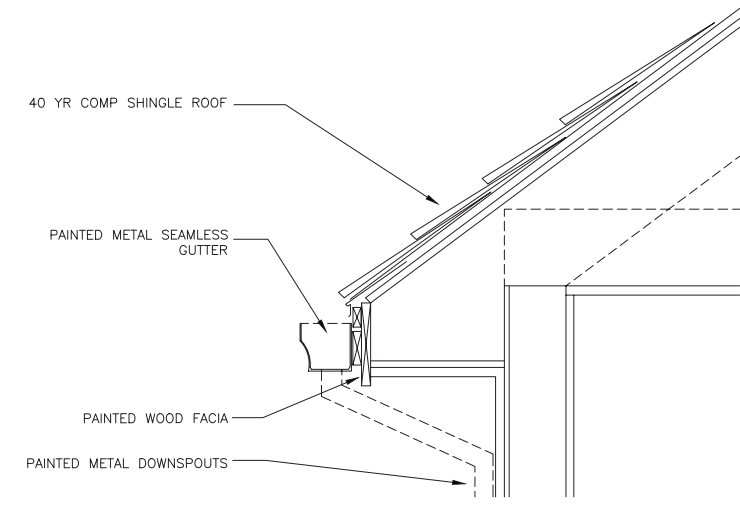
WALL DETAIL
NTS



FENCE DETAIL
NTS



RECESS WINDOW DETAIL
NTS

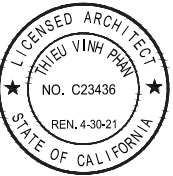


GUTTER DETAIL
NTS



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www.phangroup-us.com



PROJECT:

198 EASY ST.
DEVELOPMENT

ADDRESS:
198 EASY ST.
MOUNTAIN VIEW CA 94043

TITLE:

3D VIEWS

REV.	DATE	REMARKS

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PP
DATE:
MAY 14 2020

SCALE:

SHEET NUMBER:

A07.1B



FRONT



REAR



FRONT

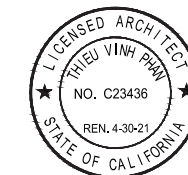


FRONT



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PROJECT:

198 EASY ST.
 DEVELOPMENT

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:

PERSPECTIVE
 VIEWS

REV.	DATE	REMARKS

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DRAWN BY:
 PP
 DATE:
 JAN 03 2021

SCALE:

SHEET NUMBER:

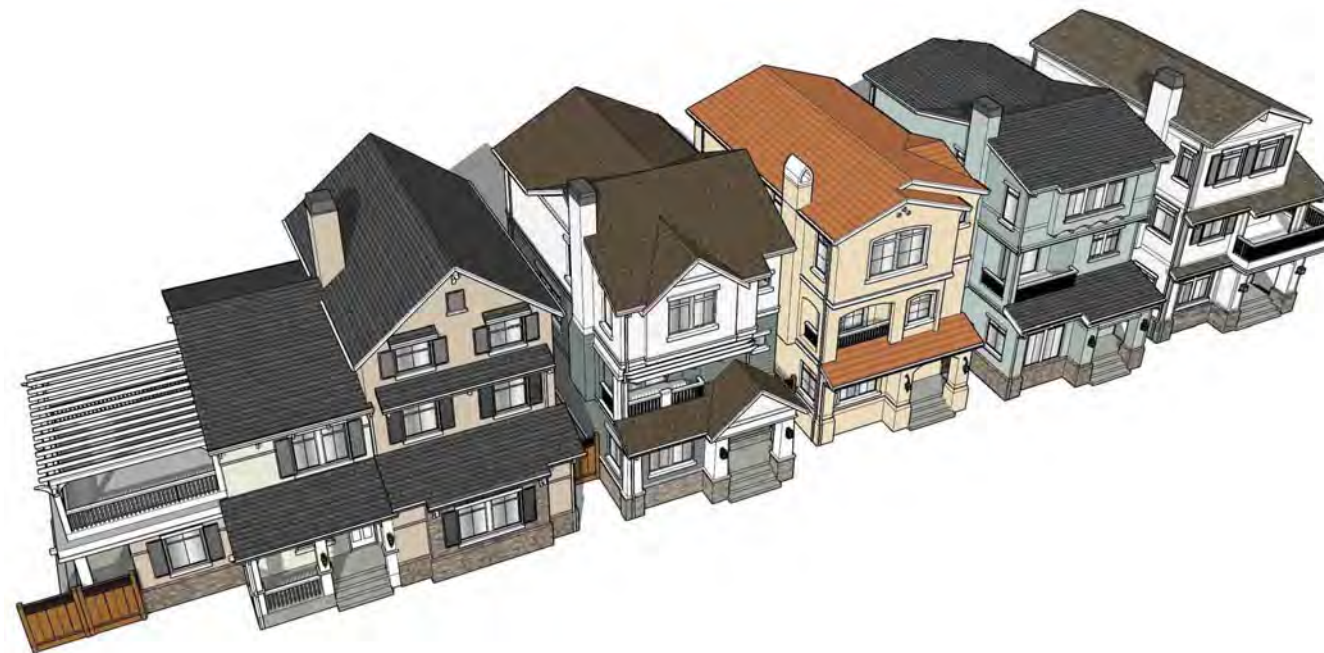
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REAR



REAR



FRONT

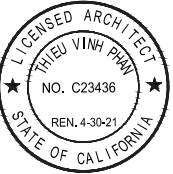


REAR



PHAN ARCHITECTS

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 T: 1.408.737.8323 F: 1.408.737.2357
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PROJECT:

**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:

**PERSPECTIVE
 VIEWS**

REV.	DATE	REMARKS

NOTES:

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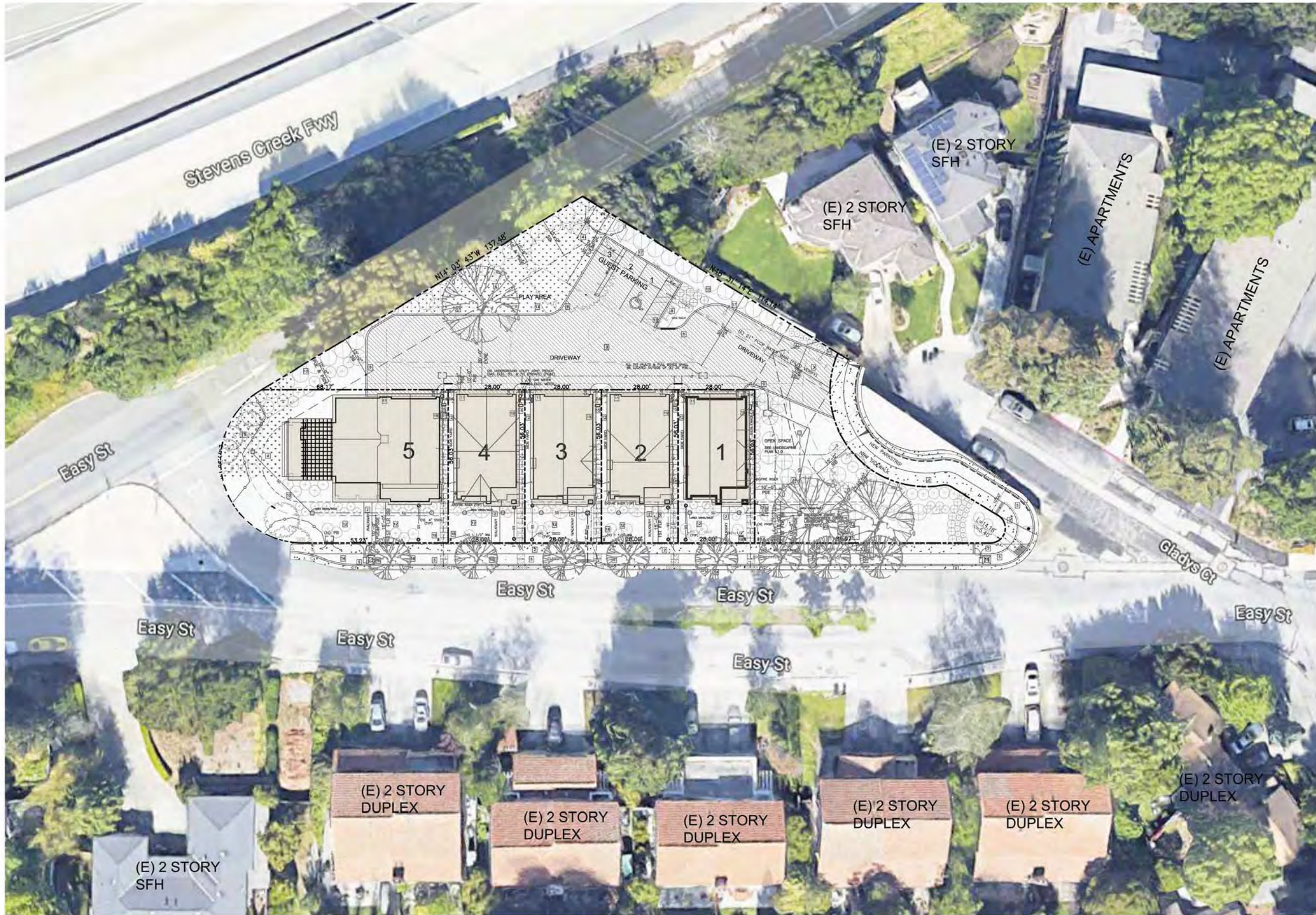
SUBMITTAL:
PLANNING

DRAWN BY:
 PP
 DATE:
 JAN 03 2021

SCALE:

SHEET NUMBER:

A.07.1D



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 T: 1.408.737.8323 F: 1.408.737.2357
 www.phangroup-us.com



PROJECT:
**198 EASY ST.
 DEVELOPMENT**

ADDRESS:
 198 EASY ST.
 MOUNTAIN VIEW CA 94043

TITLE:
SITE AIRIAL VIEW

REV.	DATE	REMARKS

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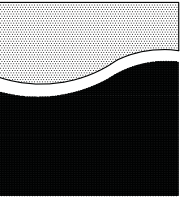
SUBMITTAL:
 PLANNING

DRAWN BY:
 PP
 DATE:
 MAY 14 2020

SCALE:
 NONE

SHEET NUMBER:

A.07.2



REED ASSOCIATES
LANDSCAPE ARCHITECTURE
477 SOUTH TAAFFE STREET
SUNNYVALE, CALIFORNIA 94086
408.481-9020 / 408.481-9022 FAX
www.reedna.net / email: paul@reedna.net

198 Easy Street Development

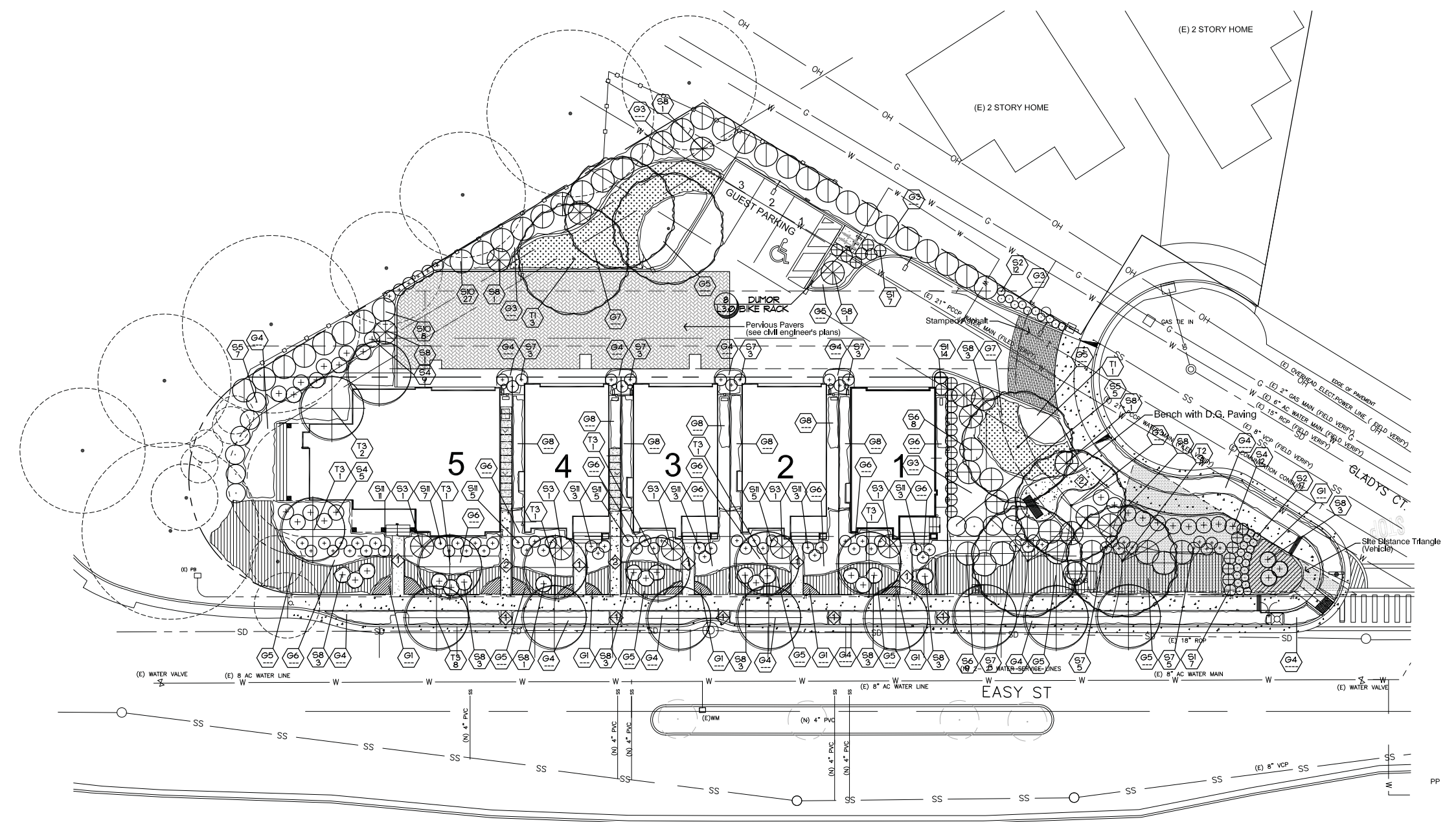
198 Easy Street
Mountain View, CA 94043

ISSUE	DATE
site changes	5.14.20



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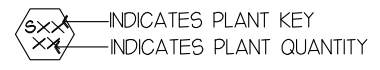
Approved	prj	Reviewed	prj
Drawn	DS	Project No.	18.64
Scale	1"=16'	Issue Date	3.1.21



PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (5% MIN).
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
- PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT -1800.227.2600
- ALL NEW PLANTED AREAS TO RECEIVE 3" MIN. LAYER OF BARK MULCH. SEE PLANTING SPECIFICATIONS.

PLANT SYMBOLS

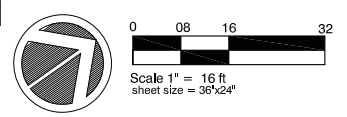


PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	PISTACIA CHINENSIS	CHINESE PISTACHIO	4	24" BOX	STANDARD	LOW
T2	AREBUTUS MARINA'	MARINA STRAWBERRY TREE	4	24" BOX	STANDARD	LOW
T3	LAGERSTROEMIA I. 'ARAPAHO'	CRAPE MYRTLE	16	24" BOX	STANDARD	LOW
SHRUBS						
S1	FENISETUM M. 'RED BUNNY TAILS'	FOUNTAIN GRASS	32	1 GAL		LOW
S2	TULBAGHIA V. 'TRICOLOR'	TRI-COLOR SOCIETY GARLIC	29	1 GAL		LOW
S3	NANDINA D. 'ROYAL PRINCESS'	HEAVENLY BAMBOO	5	5 GAL		LOW
S4	RHAPHIOLEPIS U. 'MINOR'	DWARF YEDDO HAUTHORON	14	5 GAL		LOW
S5	PITTOSPORUM T. 'VARIEGATA'	JAPANESE MOCK ORANGE	11	5 GAL		LOW
S6	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	11	5 GAL		LOW
S7	NANDINA D. 'COMPACTA'	COMPACT HEAVENLY BAMBOO	28	5 GAL		LOW
S8	PHORMIUM 'JESTER'	NEW ZEALAND FLAX	35	5 GAL		LOW
S9			--			
S10	PRUNUS C. 'COMPACTA'	COMPACT CAROLINA CHERRY LAUREL	35	5 GAL		LOW
S11	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	45	5 GAL		LOW
GROUND COVERS						
G1	GAZANIA L. 'COLORADO GOLD'	COLORADO GOLD GAZANIA	---	1 GAL	24" O.C.	LOW
G2	STACHYS B. 'SILVER CARPET'	LAMB'S EARS	---	1 GAL	18" O.C.	LOW
G3	OSTEOSPERMUM F. 'WHITE'	AFRICAN DAISY	---	1 GAL	18" O.C.	LOW
G4	LIPPIA NODIFLORA 'KURAPIA'	STERILE KURAPIA	---	PLUGS	12" O.C.	LOW
G5	ROSMARINUS O. 'HUNTINGTON CARPET'	PROSTRATE ROSEMARY	---	1 GAL	36" O.C.	LOW
G6	SATUREJA DOUGLASHII 'YERBA BUENA'	YERBA BUENA	---	1 GAL	24" O.C.	LOW
G7	MAHONIA REPENS	CREeping MAHONIA	---	1 GAL	36" O.C.	LOW
G8	PEA GRAVEL	3/8" DIA. AND 3" DEPTH	---	3/8"	3" DEPTH	---
G9	EUONYMUS FORTUNEI 'COLORATUS'	WINTER CREEPER	---	1 GAL	24" O.C.	LOW

KEY LEGEND

- CONCRETE WALK DETAIL
SEE DETAIL (#10 ON SHEET L3.1)
ALL SITE UTILITIES LOCATED IN WALK TO BE PLACED CONCRETE BOX WITH CONCRETE LID.
- DECOMPOSED GRANITE ACCESS PATH
SEE DETAIL (#10 ON SHEET L3.1)



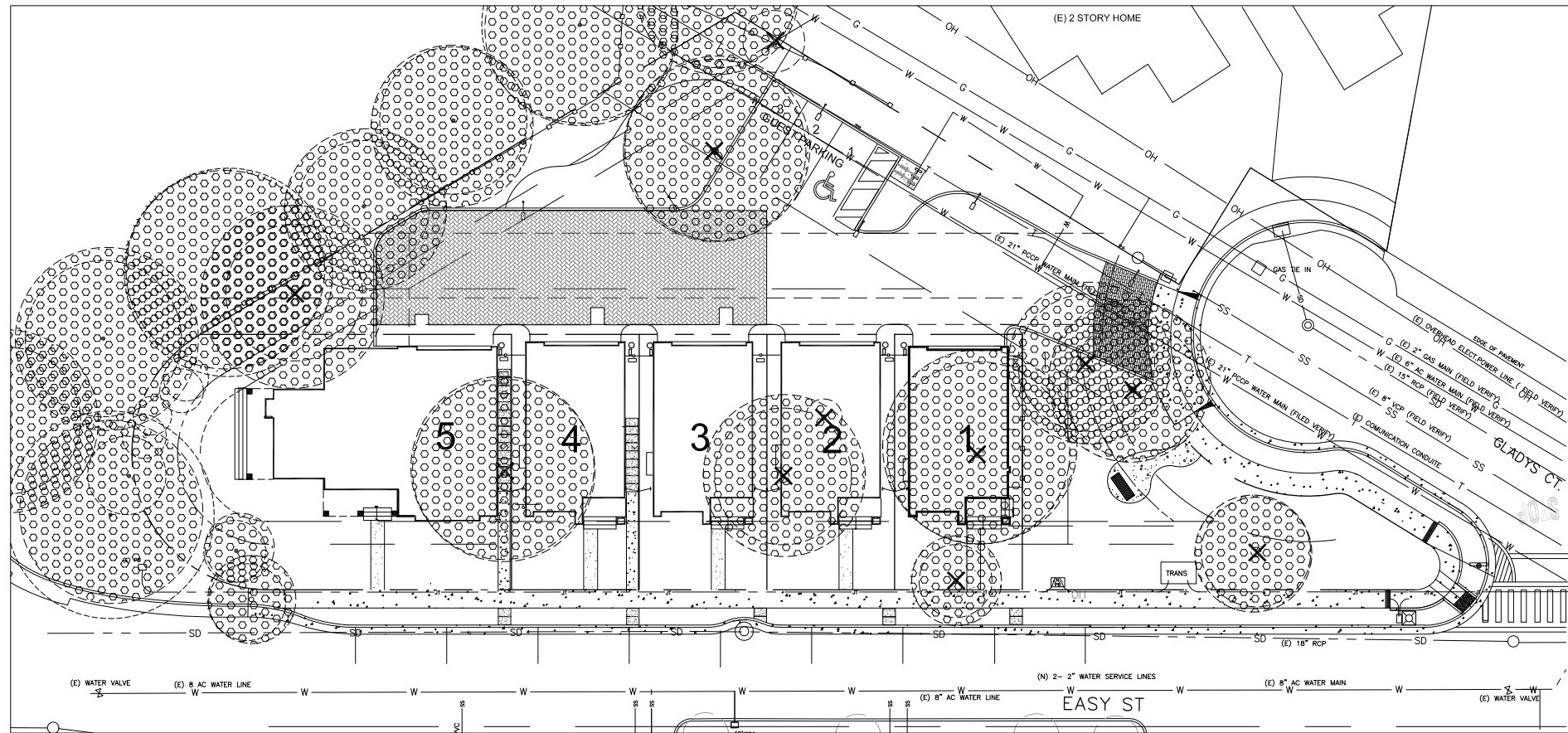
BEFORE EXCAVATING CALL: 811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS



Know what's below.
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Landscape Planting Plan

L1.0



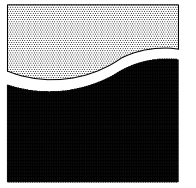
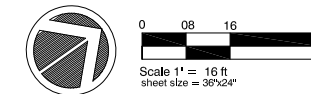
Existing Tree Shading Plan

EXISTING TREE SHADING LEGEND

-  EXISTING TREE CANOPY SHADING
-  EXISTING TREE CANOPY SHADING TREE TO BE REMOVED FOR NEW DEVELOPMENT

EXISTING TREE SHADING COVERAGE

	s.f.	% of Site
Existing Tree Canopy	9,273	38 %
Project Area	24,588	



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198 Easy Street Development

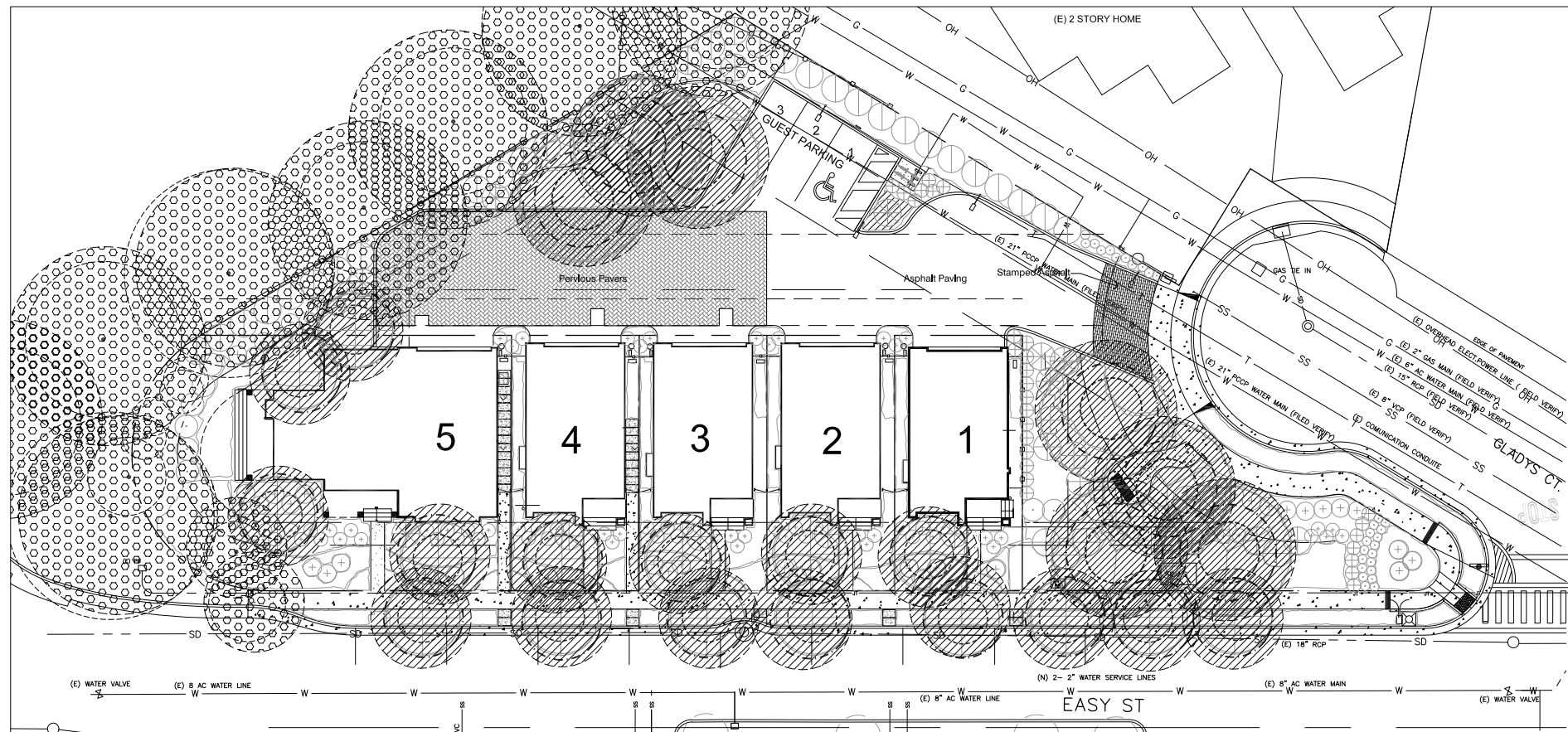
198 Easy Street
Mountain View, CA 94043

ISSUE	DATE
site changes	5.14.20







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Approved	Drawn	DS	Reviewed	pjr
Project No.		18.64		
Scale		1"=16'		Issue Date 3.1.21



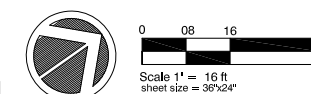
Proposed Tree Shading Plan

NEW TREE SHADING LEGEND

-  TREE CANOPY SHADING - AT INSTALLATION
-  TREE CANOPY SHADING - AT 5 YEARS
-  TREE CANOPY SHADING - AT MATURITY - 10 years
-  EXISTING TREE CANOPY SHADING - EXISTING TREES TO REMAIN

NEW TREE/EXISTING TREE SHADING COVERAGE

	s.f.	% of Site
Tree Canopy at Installation	5,161	21 %
Tree Canopy at 5 Years	7,671	31 %
Tree Canopy at 10 Years	10,127	41 %
Project Area	24,588	



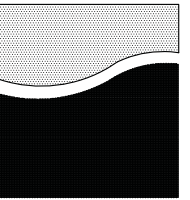
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Landscape Tree Shading Plan

L1.1



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198 Easy Street Development

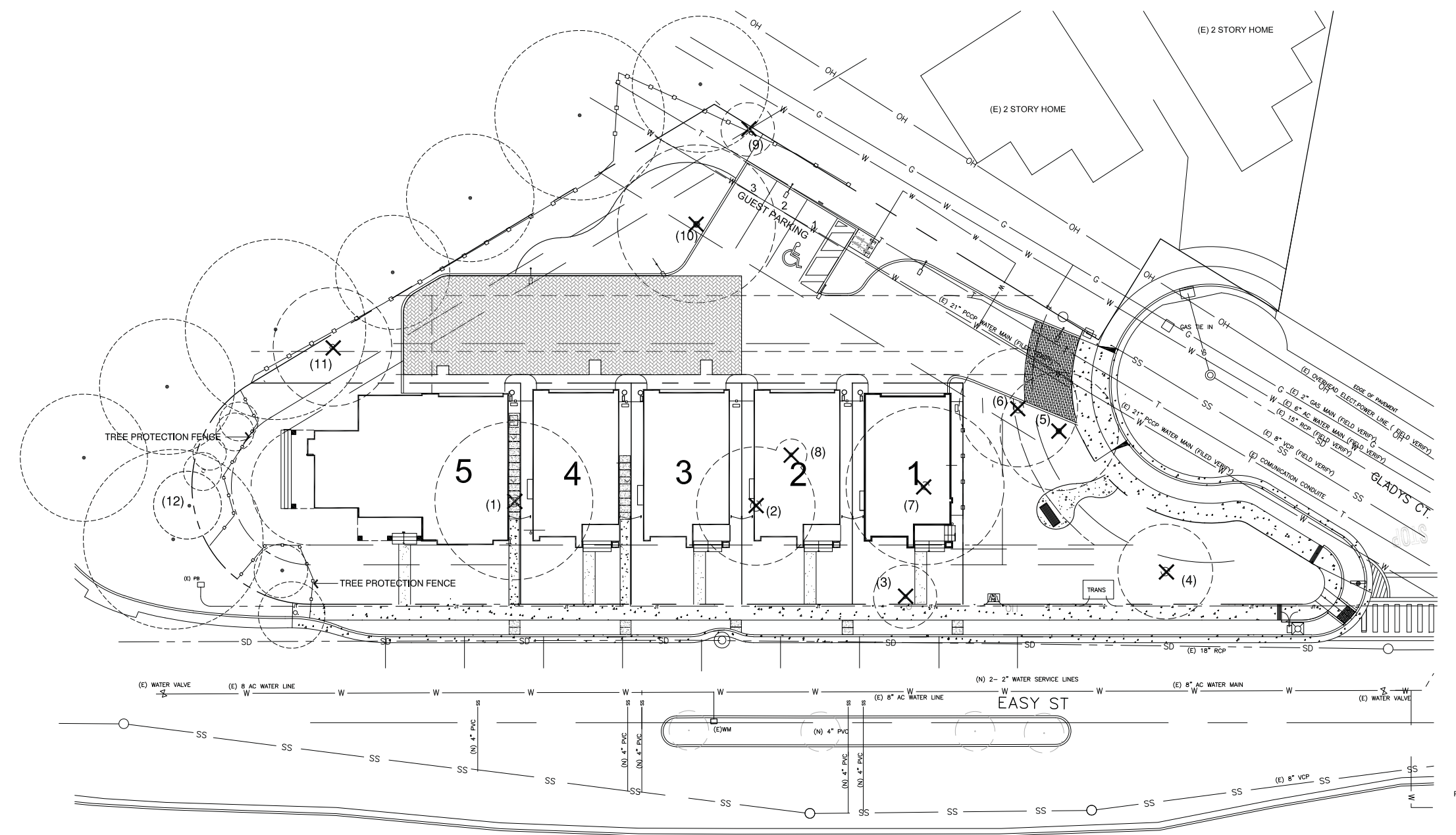
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Approved	prj
Drawn	DS
Reviewed	prj
Project No.	18.64
Scale	1"=16'
Issue Date	3.1.21



TREE PROTECTION NOTES

PROTECT EXISTING TREES SHOWN ON PLAN TO REMAIN BY FOLLOWING THESE INSTRUCTIONS.

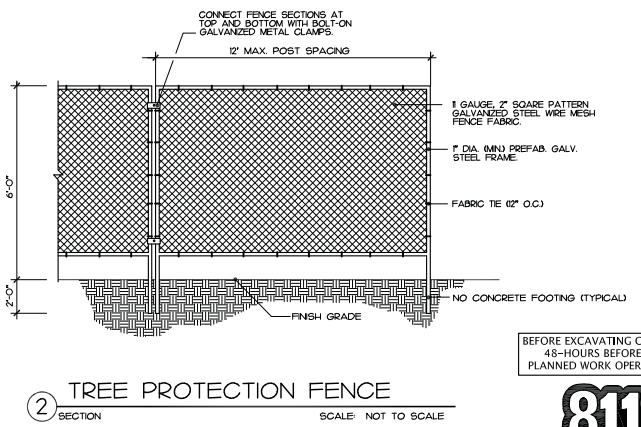
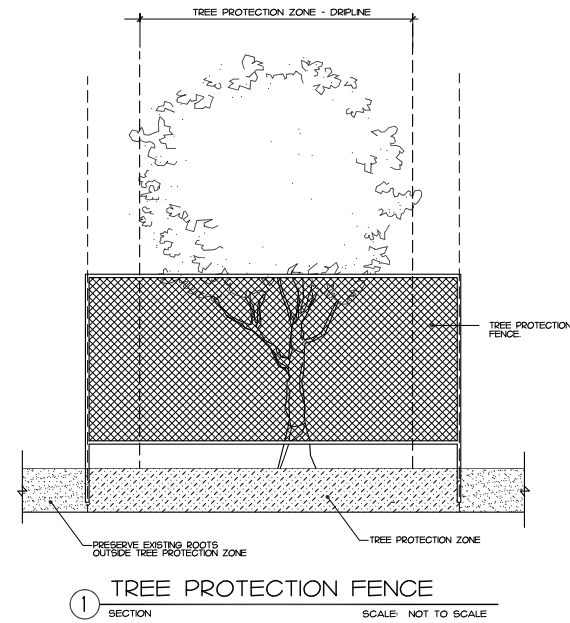
- THE GRADE BETWEEN THE DRIPLINE AND ROOT CROWN OF THE TREES SHALL NOT BE CUT AND CAN BE FILLED BY ONLY 3 INCHES, EXCEPT WITHIN 5'-0" OF THE TRUNK WHERE THE GRADE SHALL NOT BE DISTURBED.
- IRRIGATION AND RAIN WATER SHALL BE ABLE TO DRAIN AWAY FROM THE ROOT CROWN OF THE TREES.
- DO NOT DRIVE OR PARK VEHICLES WITHIN THE DRIPLINE AREA OF THE TREES UNLESS NECESSARY TO DO PAVING CONSTRUCTION. IF THERE HAS BEEN ANY VEHICULAR TRAFFIC WITHIN THE DRIPLINE, THE GROUND SHALL BE SCARIFIED BY HAND TO A DEPTH OF 12 INCHES TO DE-COMPACT.
- DO NOT ALLOW CONTRACTORS TO DUMP WASTE CONCRETE, PLASTER, ETC. UNDER DRIPLINE OF TREES. DO NOT ALLOW PAINTERS OR OTHER TO CLEAN EQUIPMENT UNDER DRIPLINE OR UPHILL OF EXISTING TREES WHERE NATURAL DRAINAGE WOULD CAUSE WASTE TO RUN WITHIN DRIPLINE. DO NOT ALLOW ANY WASTE TO BE DUMPED IN SOIL ON SITE.
- TREES SHALL NOT BE PRUNED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR ARBORIST.
- IF IT IS NECESSARY TO PRUNE OR CUT ANY ROOTS LARGER THAN 1 INCH IN DIAMETER, THE ROOTS SHALL BE CUT CLEANLY AND ROOT SEALED. WHERE EXCAVATION IS REQUIRED AROUND TREES (FOR WALL, PAVING, ETC.) THE REPLACED SOIL SHALL BE 1/3 SOIL AMENDMENT AND 2/3 NATIVE SOIL.
- NO IRRIGATION SHALL BE INSTALLED WITHIN 5'-0" OF THE TRUNK. NO SPRAY SHALL HIT THE TRUNKS OF TREES. ALL TRENCHING WITHIN THE DRIPLINE WILL BE DONE BY HAND. ALL PIPING SHALL RUN PERPENDICULAR TO THE TRUNK WITHIN THE DRIPLINE EXCEPT AT FACE OF CURB, PLANTER OR PAVING.

TREE INVENTORY LIST BY CERTIFIED ARBORIST

ARBORIST REPORT PREPARED BY HENRY KRAMER, ISA CERTIFIED ARBORIST WE-1559-A. ECONO TREE SERVICE, INC. (650) 367-4900

'X' FOR TREE NUMBER INDICATES 'HERITAGE' TREE DESIGNATION.
 II - (E) TREES TO BE REMOVED
 I - (E) TREES TO BE SAVE/PROTECTED
 TREE REPLACEMENT RATIO IS 2:1 AT 24" BOX SIZE FOR HERITAGE TREES
 22 NEW TREE REQUIRED. 23 NEW TREE TO BE INSTALLED

Tree No.	Tree Name	Common Name	DBH	Condition Rating	Hazard Rating	Work Required	Recommendation
X	Cedrus deodora	Deodar Cedar	18"	4B	H	Remove, damaged utility line pruning	Remove tree
X	Cedrus deodora	Deodar Cedar	13"	4B	H	Remove, damaged utility line pruning	Remove tree
X	Cedrus deodora	Coast Live Oak	12"	5B	H	Remove, damaged tree topped with poor structure	Remove tree
X	Cedrus deodora	Coast Live Oak	14"	5B	H	Remove, damaged tree topped with poor structure	Remove tree
X	Cedrus deodora	Coast Live Oak	22"-20"	5B	H	Remove, damaged tree topped with poor structure	Remove tree
X	Cedrus deodora	Coast Live Oak	15"	7B	L	Remove, damaged tree topped with poor structure	Remove tree
X	Cedrus deodora	Coast Live Oak	13"	5B	H	Remove, damaged tree topped with poor structure	Remove tree
X	Quercus agrifolia	Black Walnut	12"	4B	H	Remove, damaged tree topped with poor structure	Remove tree
X	Washingtonia robusta	Mission Fan Palm	24"	7B	L	Remove, damaged tree topped with poor structure	Remove tree
X	Cedrus deodora	Coast Live Oak	14"	7B	L	Remove, damaged tree topped with poor structure	Remove tree
X	Cedrus deodora	Coast Live Oak	14"	7B	L	Remove, damaged tree topped with poor structure	Remove tree
X	Washingtonia robusta	Mission Fan Palm	18"	5B	H	Remove, damaged tree topped with poor structure	Remove tree
X	Washingtonia robusta	Mission Fan Palm	18"	5B	H	Remove, damaged tree topped with poor structure	Remove tree
X	Washingtonia robusta	Mission Fan Palm	18"	5B	H	Remove, damaged tree topped with poor structure	Remove tree



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Existing Tree Removal Plan

L1.2