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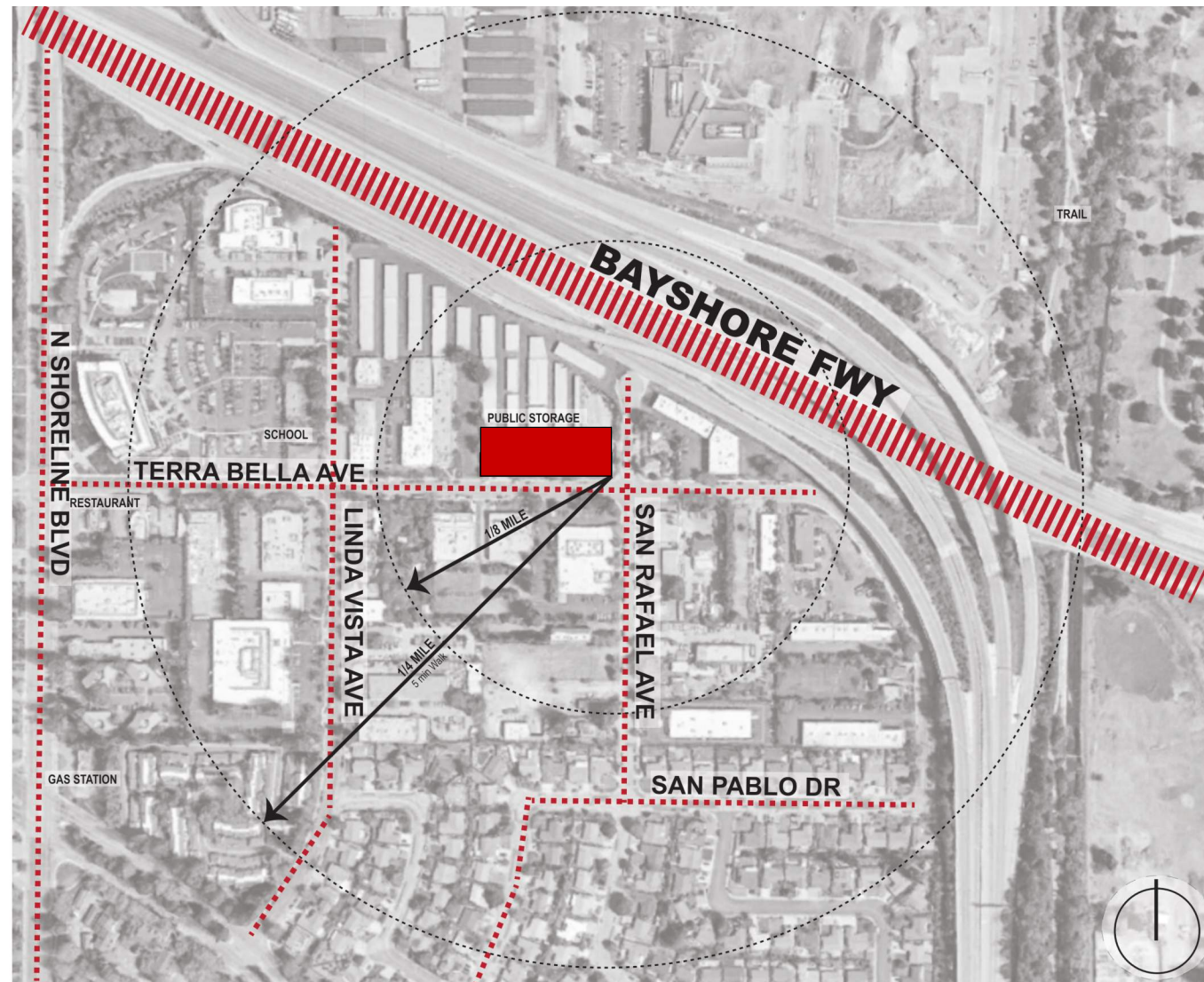
- A0.....COVER SHEET
- A1.....VICINITY MAP
- A2.....SITE PLAN - LEVEL 1
- A3.....FLOOR PLAN - LEVEL 2
- A4.....FLOOR PLAN - LEVEL 3
- A5.....FLOOR PLAN - LEVEL 4-7
- A6.....ROOF PLAN
- A7.....BUILDING ELEVATIONS
- A8.....BUILDING ELEVATIONS
- A9.....MATERIALS & COLORS
- A10..... SUSTAINABILITY GOALS
- A11..... RENDERING
- A12..... RENDERING
- A13..... RENDERING
- A14..... RENDERING
- A15.....PROJECT STATISTICS

A0

1020 TERRA BELLA | PRELIMINARY PROJECT CONCEPT

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING





1. SITE CORNER LOOKING NORTH WEST



2. FROM TERRA BELLA AVE LOOKING SOUTH WEST



3. FROM TERRA BELLA AVE LOOKING NORTH EAST



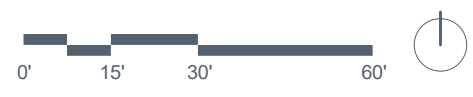
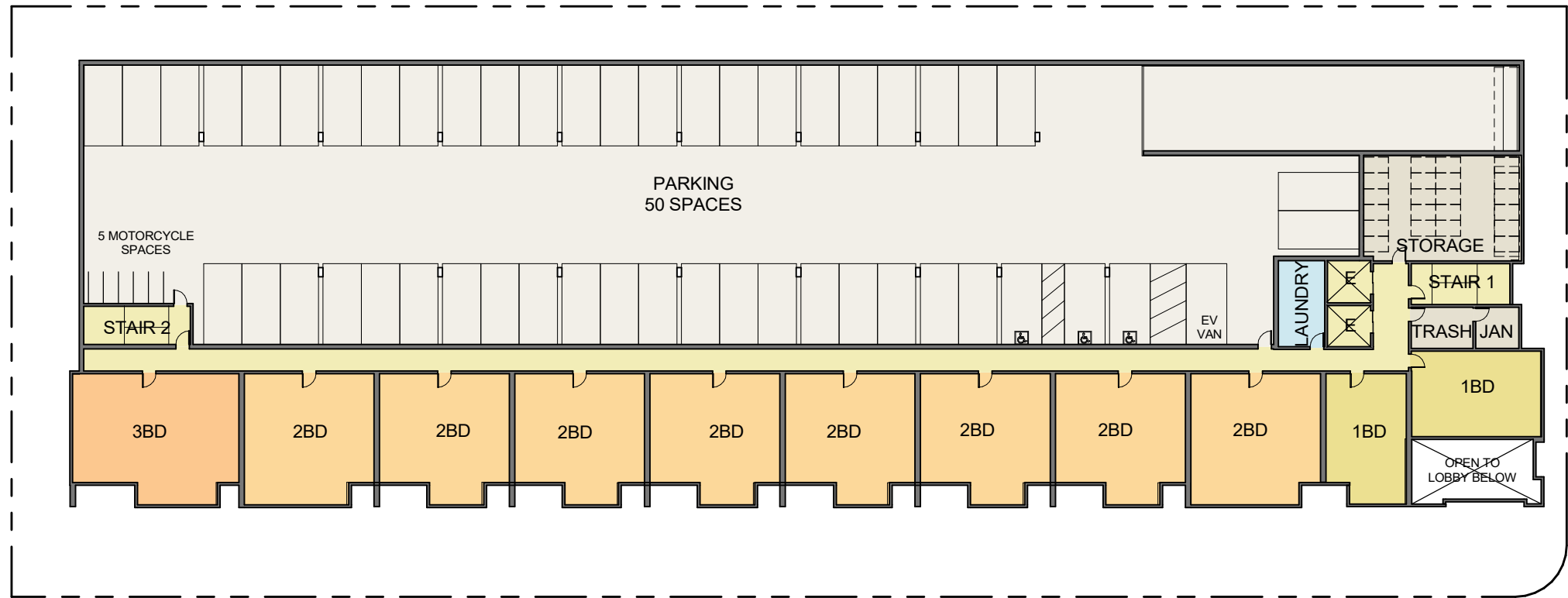
1020 TERRA BELLA | SITE PLAN - LEVEL 1

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING



**ALTA
HOUSING**

**VAN METER
WILLIAMS
POLLACK ^{LLP}**



1020 TERRA BELLA | FLOOR PLAN - LEVEL 2

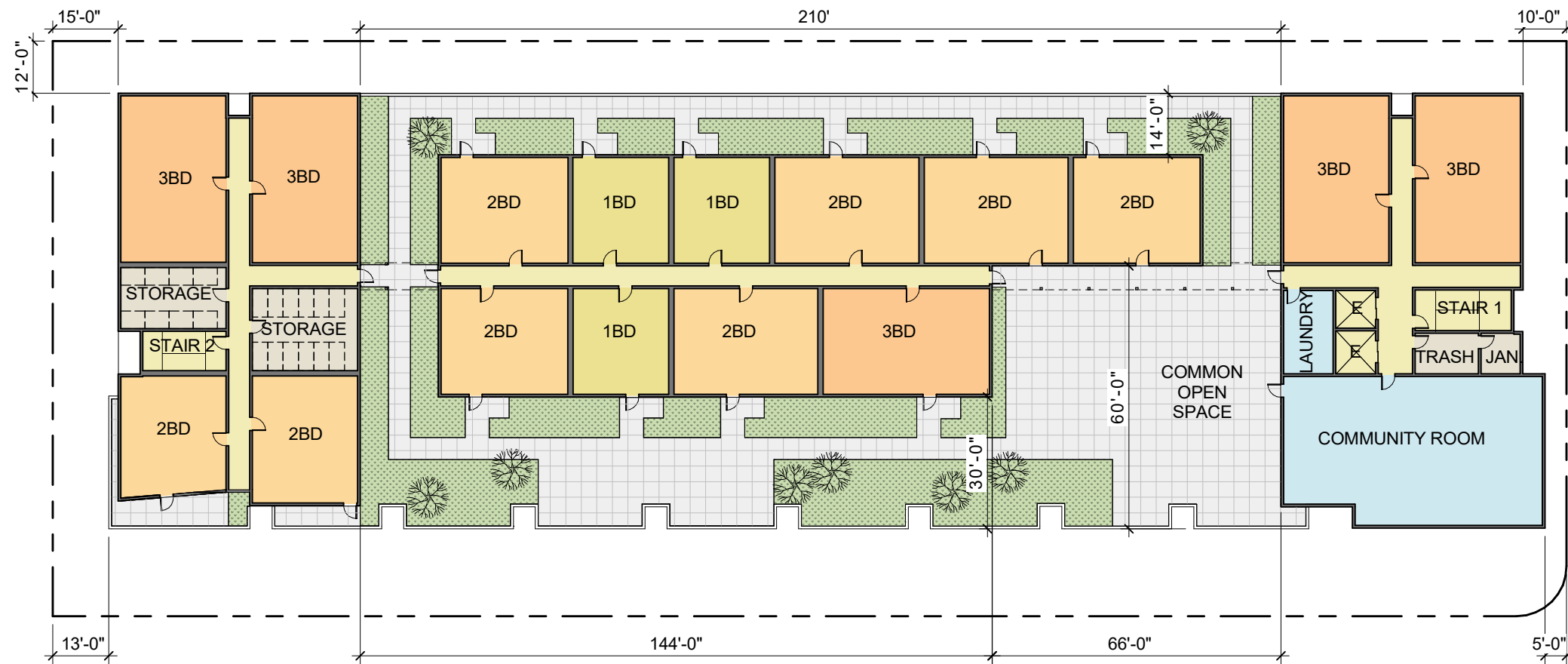
MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING

A3



**ALTA
HOUSING**

**VAN METER
WILLIAMS
POLLACK ^{LLP}**



1020 TERRA BELLA | PODIUM PLAN - LEVEL 3

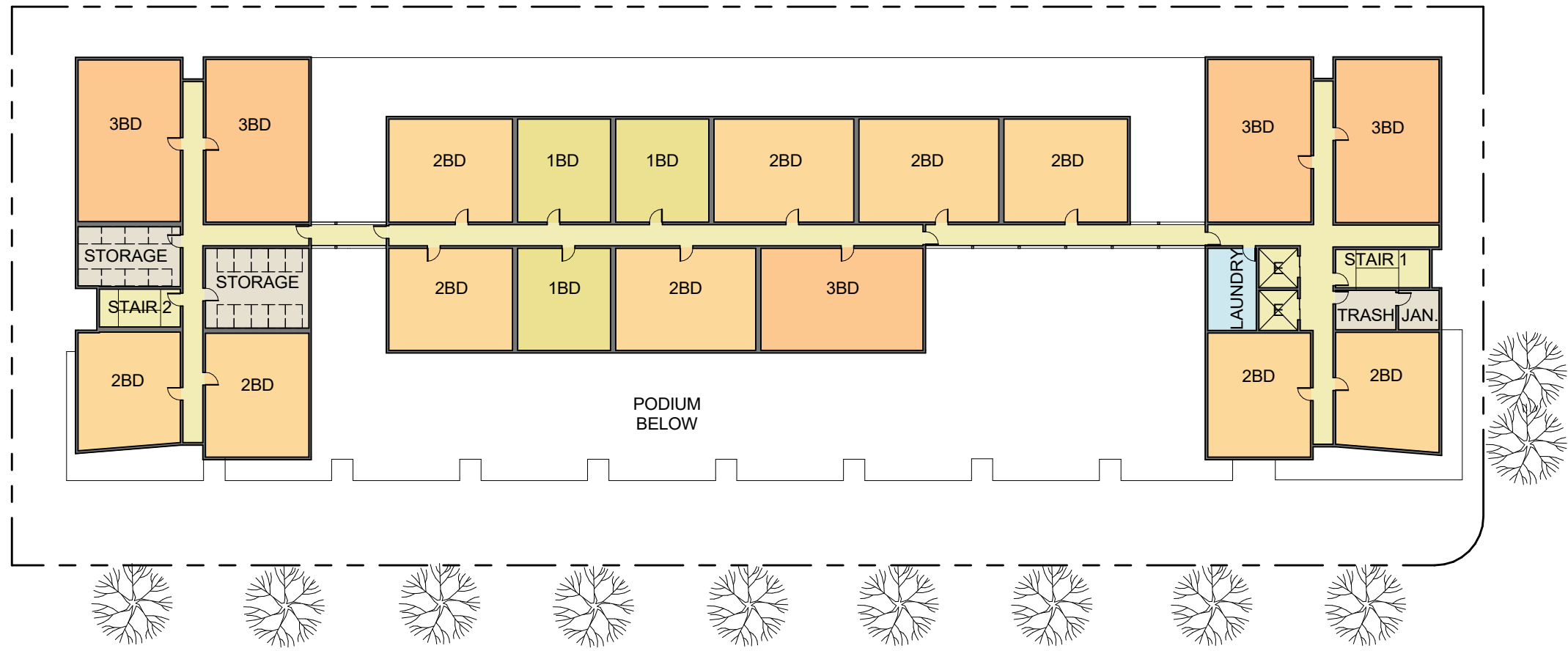
MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING

A4



**ALTA
HOUSING**

**VAN METER
WILLIAMS
POLLACK ^{LLP}**



1020 TERRA BELLA | FLOOR PLAN - LEVEL 4-7, TYP.
 MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING

A5





2 SOUTH ELEVATION

SCALE: 1" = 30'-0"



1 NORTH ELEVATION

SCALE: 1" = 30'-0"



MATERIALS

- 1 FIBER CEMENT LAP SIDING
- 2 BRICK
ALT: EXT PLASTER WITH STEEL TROWEL FINISH
- 3 METAL SIDING - STANDING SEAM
- 4 METAL SIDING - PANEL
- 5 CONCRETE
- 6 ALUMINUM WINDOW
- 7 ALUMINUM STOREFRONT
- 8 HORIZONTAL METAL SUNSHADE - SOLID PANEL
- 9 METAL AWNING - SOLID PANEL
- 10 METAL COLUMN
- 11 METAL GUARDRAIL - PERFORATED
- 12 METAL GUARDRAIL - GLAZED
- 13 PERFORATED SCREEN
- 14 ALUMINUM SPANDREL
- 15 PARAPET CAP
- 16 PUBLIC ART LOCATION

COLORS

- A METRO BRICK "EMPIRE"
- B METRO BRICK "CHARCOAL"
- C METRO BRICK "COMMONS"
- D AEP SPAN "METALLIC CHAMPAGNE"
- E AEP SPAN ETERNAL "SUNGOLD"
- F AEP SPAN TO MATCH COLOR G
- G METAL ACCENT COLOR
- H KELLY MOORE "YANG MIST"
- J KELLY MOORE TO MATCH COLOR G

A7

1020 TERRA BELLA | BUILDING ELEVATIONS

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING



ALTA HOUSING

VAN METER WILLIAMS POLLACK LLP



1 WEST ELEVATION
SCALE: 1" = 30'-0"



2 EAST ELEVATION
SCALE: 1" = 30'-0"

MATERIALS

- 1 FIBER CEMENT LAP SIDING
- 2 BRICK
ALT: EXT PLASTER WITH STEEL TROWEL FINISH
- 3 METAL SIDING - STANDING SEAM
- 4 METAL SIDING - PANEL
- 5 CONCRETE
- 6 ALUMINUM WINDOW
- 7 ALUMINUM STOREFRONT
- 8 HORIZONTAL METAL SUNSHADE - SOLID PANEL
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- 14 ALUMINUM SPANDREL
- 15 PARAPET CAP
- 16 PUBLIC ART LOCATION

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- B METRO BRICK "CHARCOAL"
- C METRO BRICK "COMMONS"
- D AEP SPAN "METALLIC CHAMPAGNE"
- E AEP SPAN ETERNAL "SUNGOLD"
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- G METAL ACCENT COLOR
- H KELLY MOORE "YANG MIST"
- J KELLY MOORE TO MATCH COLOR G



1020 TERRA BELLA | BUILDING ELEVATIONS

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING



**ALTA
HOUSING**

**VAN METER
WILLIAMS
POLLACK LLP**



METRO BRICK
"COMMONS" 101
ALT: EXT PLASTER
STEEL TROWEL FINISH
SIM COLOR



AEP SPAN ETERNAL
"SUNGOLD"



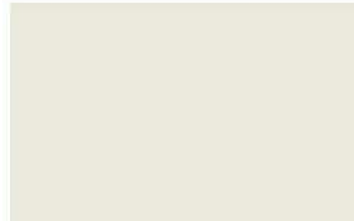
METRO BRICK
"EMPIRE" 507
ALT: EXT PLASTER
STEEL TROWEL FINISH
SIM COLOR



AEP SPAN
"METALLIC CHAMPAGNE"



METRO BRICK
"CHARCOAL" 710
ALT: EXT PLASTER
STEEL TROWEL FINISH
SIM COLOR



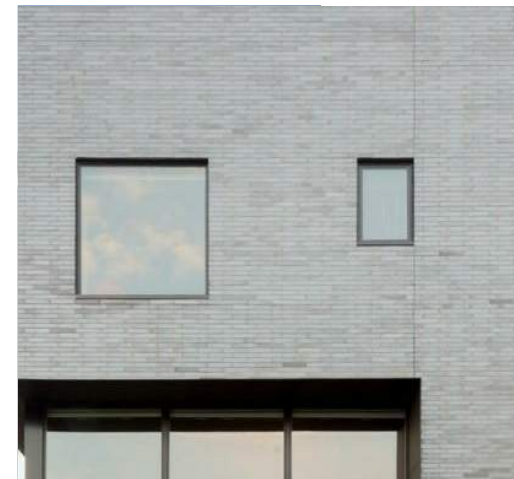
KELLY MOORE
"YANG MIST" 4576



FIBER CEMENT LAP SIDING FRAMED BY BRICK



STANDING SEAM



BRICK BASE



ALUMINUM WINDOWS

A9

1020 TERRA BELLA | MATERIALS & COLORS

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING



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POLLACK ^{LLP}**



A11

1020 TERRA BELLA | STREET VIEW FROM TERRA BELLA & SAN RAFAEL

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POLLACK ^{LLP}**



A12

1020 TERRA BELLA | AERIAL VIEW ABOVE TERRA BELLA

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING



ALTA
HOUSING

VAN METER
WILLIAMS
POLLACK ^{LLP}



A13

1020 TERRA BELLA | AXON VIEW ABOVE TERRA BELLA

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING



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HOUSING**

**VAN METER
WILLIAMS
POLLACK ^{LLP}**



1020 TERRA BELLA | PODIUM VIEW

MOUNTAIN VIEW, CA | 7/28/20 | ALTA HOUSING

A14



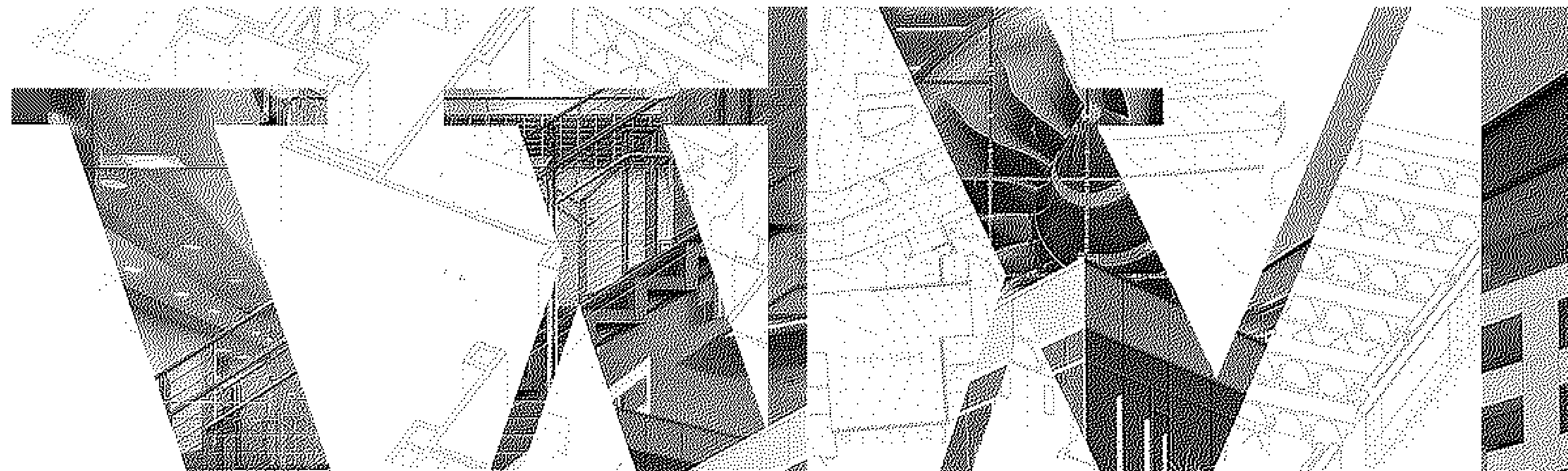
**ALTA
HOUSING**

**VAN METER
WILLIAMS
POLLACK LLP**

PROJECT DATA		PLANNING	
Control	Required	Provided	
Control (Based on East Whisman High Intensity Mixed-Use)			
FAR:	3.50 Maximum	3.52	
Density:	n/a	101 du/acre	
Height:	95' roof plate	74' roof plate; 7 stories	
Setback - Front @ Street (Terra Bella)	10'	15'-20'	
Setback - Side @ Street (San Rafael)	10'	5'-12'	
Setback - Side @ Interior	15'	13'-15'	
Setback - Rear	15'	12'	
Minimum Site Area:	Applicable Requirement?	45,167 SQ. FT.	
Site Open Area	Applicable Requirement?	13,516 SQ. FT.	
Gross Building Footprint	n/a	31,233 SQ. FT.	
Maximum Auto-Dedicated Pavement Coverage	Applicable Requirement?	418 SQ. FT.	
Usable Open Space @ 80 SF per unit	8,400 SQ. FT.	14,000 SQ. FT.	
Private usable open space	n/a	1,044 SQ. FT.	
Usable Open Space (120 SF per unit total, common and private)	12,600 SQ. FT.	15,044 SQ. FT.	
Resident Storage 164 CF per unit	105 storage units	105 storage units 164 CF per unit	
Parking			
Parking Ratio:		0.97 spaces : 1 unit	
Parking: 1.5:1 for one BDRM's and 2:1 for two and three BDRM's	193 SPACES	102 SPACES	
Accessible spaces	5 SPACES (1 Van Accessible)	5 SPACES	
Designated EVCS	16 EV installed, all EV ready	TBD, 1 VAN EV	
Resident Bicycle Parking	1 SPACE : 1 UNIT	105 SPACES	
Short Term Bicycle Parking	1 SPACE : 10 UNITS	11 SPACES	
Unit Count			
1 Bedroom	17		
2 Bedroom	61		
3 Bedroom	27		
Total:	105		

PROJECT DATA		BUILDING	
Lot Area		45,167	
Acre		1.04	
Building Areas		5F	
Ground floor		31,233	includes covered parking
2nd floor		31,233	includes covered parking
3rd floor		18,736	
4th floor		18,830	
5th floor		18,830	
6th floor		18,830	
7th floor		18,830	
Total		156,522	
Usable Open Space		5F	
Ground level common		5,630	
Podium common		8,370	
Private open space		1,044	includes ground level stoops
Total		15,044	
Residential Units			
Ground floor		6	
2nd floor		11	
3rd floor		16	
4th floor		18	
5th floor		18	
6th floor		18	
7th floor		18	
Total		105	

Building Area	RESIDENTIAL	COMMON	UTILITY/CIRCULATION	PARKING	TOTALS
Ground floor	5,128	959	5,994	19,152	31,233
2nd floor	8,841	222	3,896	18,274	31,233
3rd floor	12,852	2,257	3,627		18,736
4th floor	14,340	244	4,246		18,830
5th floor	14,340	244	4,246		18,830
6th floor	14,340	244	4,246		18,830
7th floor	14,340	244	4,246		18,830
Total	84,181	4,414	30,501	37,426	156,522



PUBLIC STORAGE MOUNTAIN VIEW

1040 TERRA BELLA ROAD
MOUNTAIN VIEW, CA

CONCEPTUAL DESIGN
SEA19-0015-00
04.09.2020

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ARCHITECTURE | PLANNING | INTERIORS

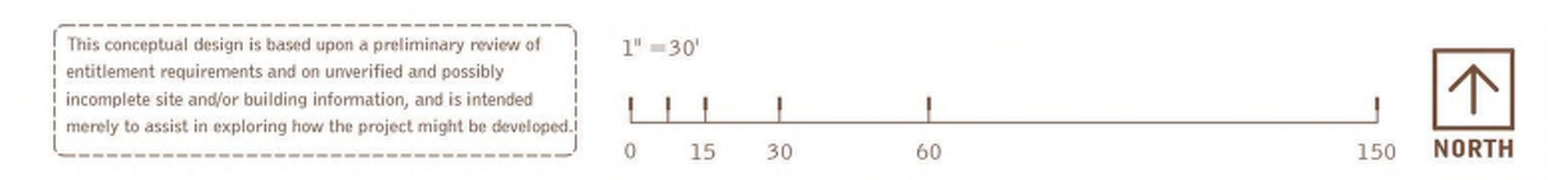
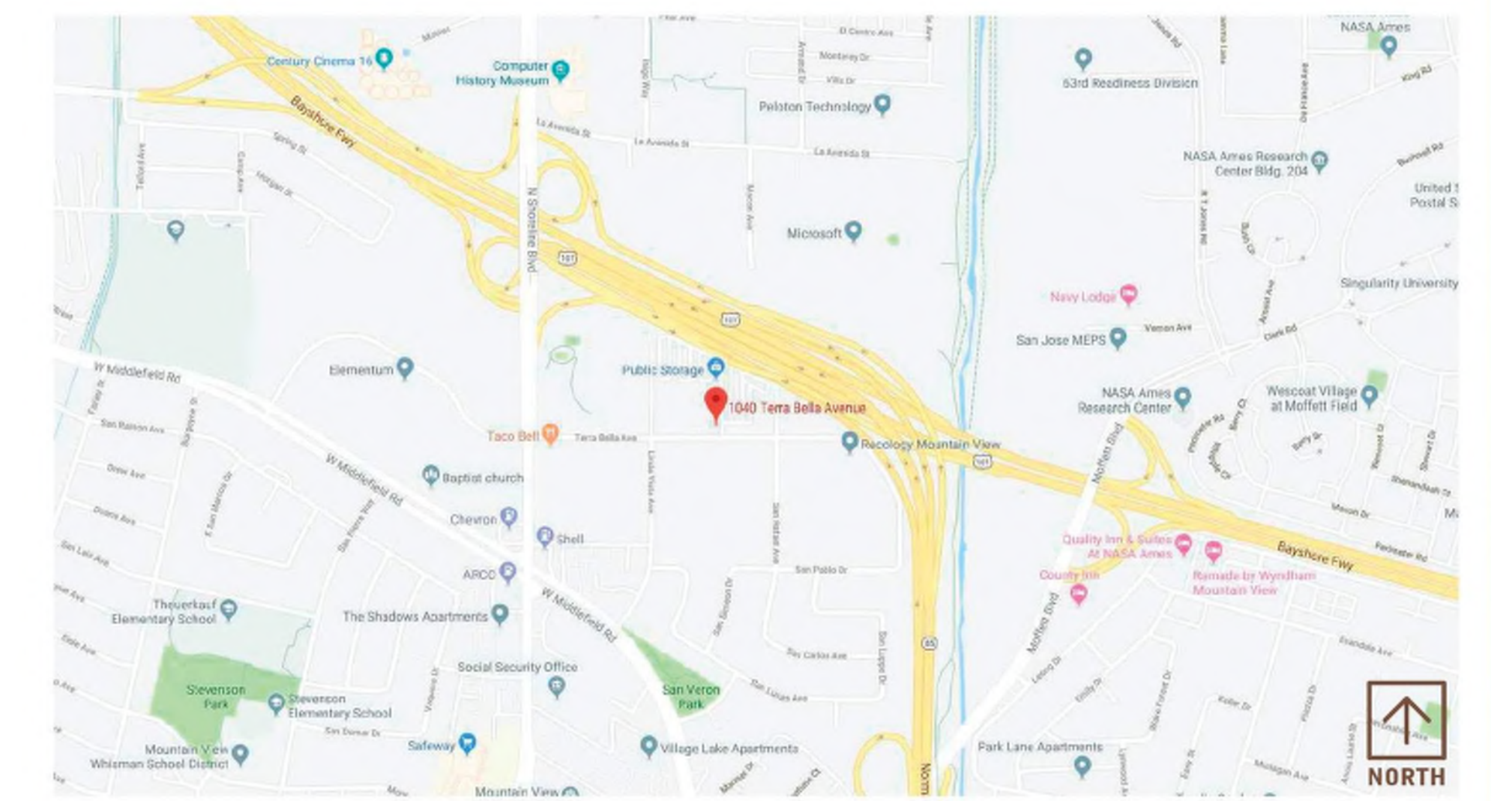
BRANDING | CIVIL ENGINEERING



PROJECT DATA:	
SITE AREA:	3.78 AC
GROSS:	164,453 SF
BUILDING AREA:	
BUILDING 1 (5-STORY)	187,680 SF
BUILDING 2 (5-STORY)	248,555 SF
OFFICE	900 SF
TOTAL AREA:	437,135 SF
EXIST. BLDG. AREA TO BE DEMO'D.	76,788 SF
NET NEW BLDG. AREA	360,347 SF
BUILDING USE:	
PERS. STORAGE	436,235 SF
OFFICE	900 SF
FAR:	
GROSS:	2.66
COVERAGE:	
GROSS:	53%
PARKING REQUIRED:	
PERS. STORAGE	1/2000 SF 217 STALLS
OFFICE	1/300 SF 3 STALLS
TOTAL	220 STALLS
PARKING PROVIDED:	
AUTO:	53 STALLS @0.15/1000 SF
REQ. ACCESSIBLE	3 STALLS
APNs (EXISTING):	153-015-030 153-015-002

DEVELOPMENT STANDARDS:	
ZONING:	MM
MAX. F.A.R.:	0.55
MAX. COVERAGE:	
MAX. HEIGHT:	NONE
BUILDING SETBACKS:	
FRONT:	25 FT
PROPOSED FRONT:	10 FT
SIDE:	0 FT
REAR:	0 FT
LANDSCAPE SETBACKS:	
FRONT:	50%
SIDE:	
REAR:	
LANDSCAPE REQ.:	10%
AREA REQ.:	16,445
AREA PROVIDED:	22,170
% PROVIDED:	13%
OFF-STREET PARKING:	
STANDARD:	8.5X18
COMPACT:	N/A
COMPACT %:	N/A
DRIVE AISLE:	24 FT
FIRE LANE:	26 FT
OVERHANG:	2'

- NOTES:**
- 1 Provided however, that no structure shall exceed 50' in ht if located within 200' of any R district.
 - 2 No parking space backup area shall occur in the first 20' from the street ROW and a parking lot entrance or exit.
 - 3 Except as may be required by development review approval to ensure a reasonable layout taking not only the particular development, but also adjacent developments into consideration.
 - 4 Of required front yard
 - 5 Fire apparatus access roads shall have an unobstructed vertical of 13'-6". Buildings with occupancy above 30' above the access road the minimum width is 26'. At least one road meeting this requirement shall be located 15' min and 30' max from the building parallel along one side (Sec. 14.10.15)
 - 6 Note that the City measures height as "The vertical distance from the elevation of the top of the existing or planned curb along the front property line to the highest point of the coping of a flat roof or to the top of the slope of a mansard roof or the mean height level between the eaves and ridge for gable, hip or gambrel roofs."



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CONCEPTUAL SITE PLAN
PUBLIC STORAGE: MOUNTAIN VIEW
MOUNTAIN VIEW, CA - SEA19-0015-00



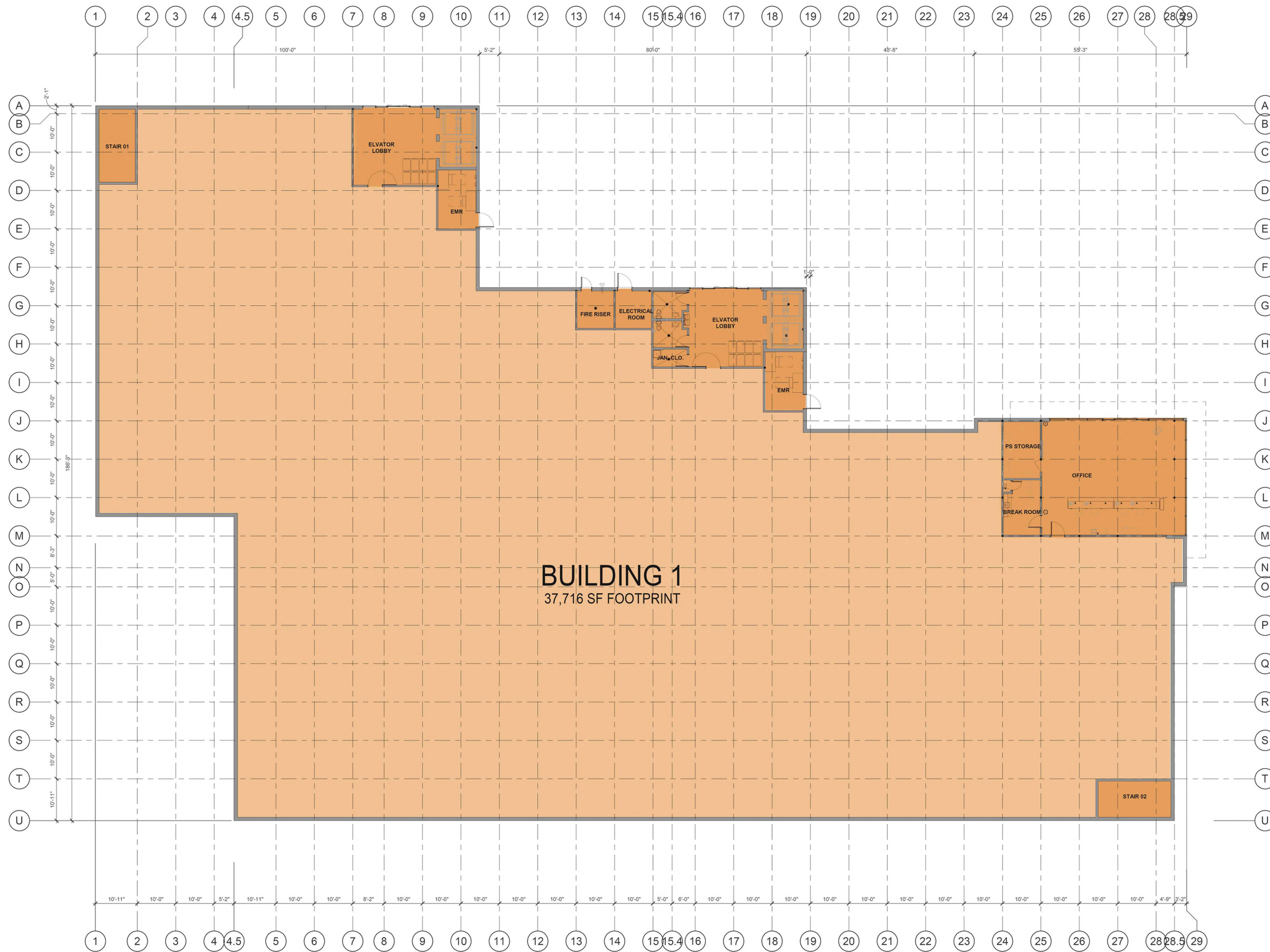
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AERIAL VIEW
PUBLIC STORAGE: MOUNTAIN VIEW
MOUNTAIN VIEW, CA - SEA19-0015-00

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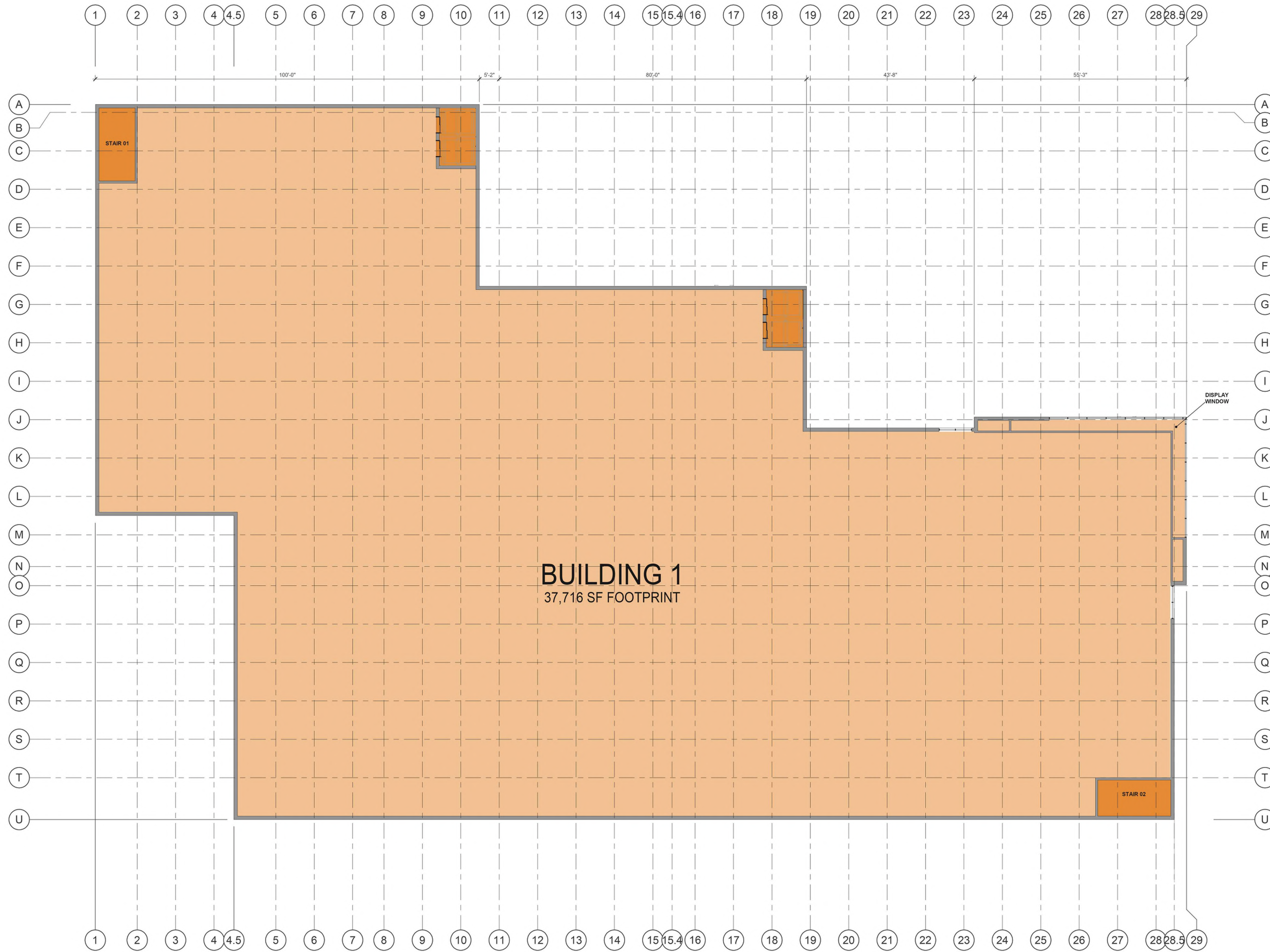
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PHASE 1: FIRST FLOOR PLAN
PUBLIC STORAGE: MOUNTAIN VIEW
MOUNTAIN VIEW, CA - SEA19-0015-00

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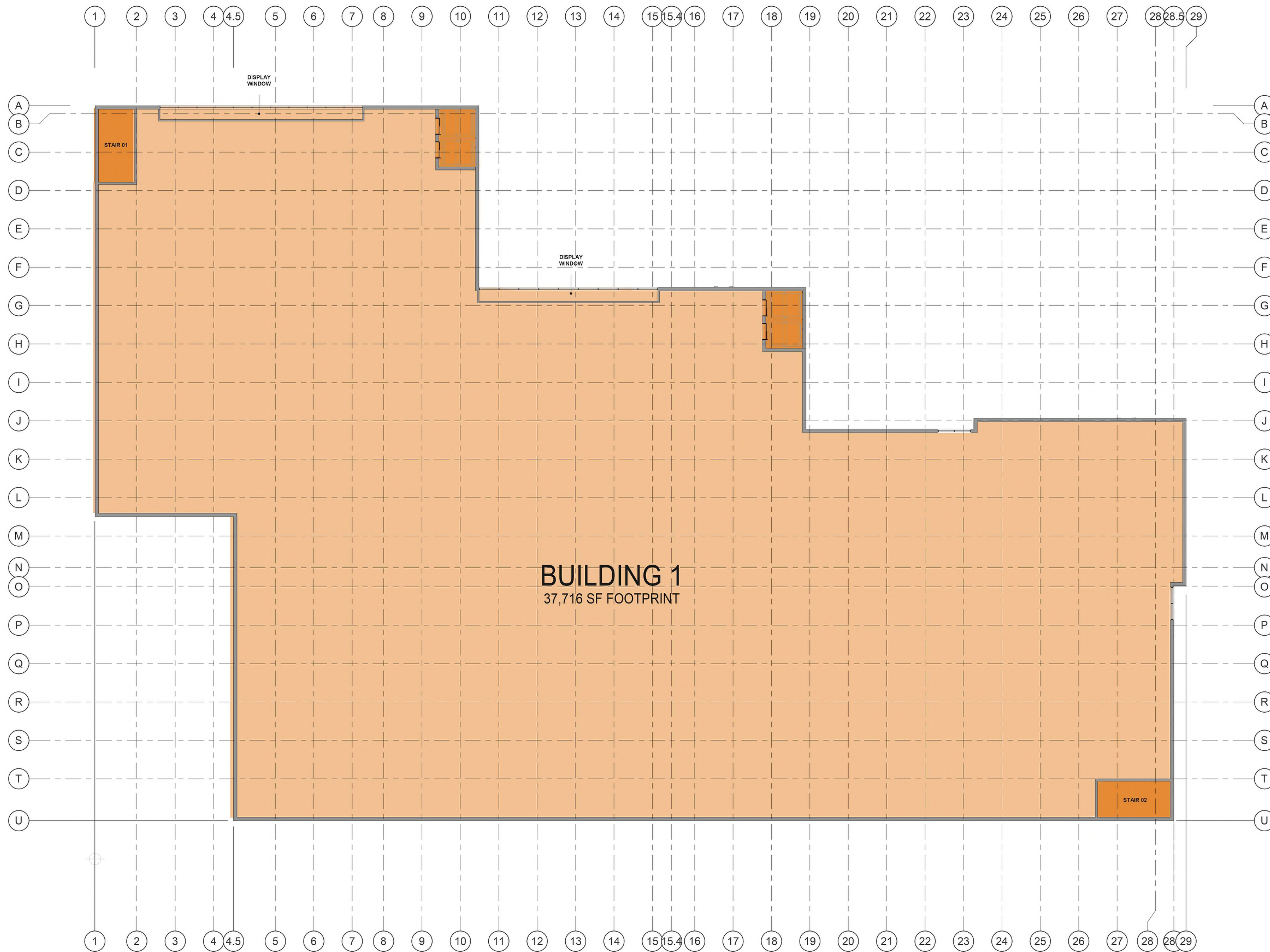
04.09.2020

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BUILDING 1
37,716 SF FOOTPRINT

DISPLAY WINDOW

DISPLAY WINDOW

STAIR 01

STAIR 02

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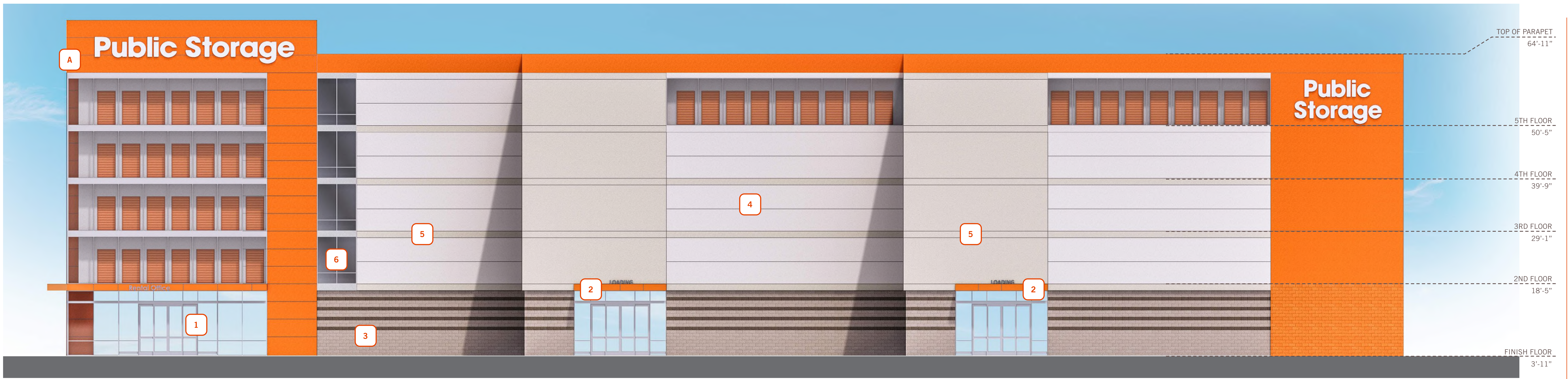
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PHASE 1: FIFTH FLOOR PLAN
PUBLIC STORAGE: MOUNTAIN VIEW
MOUNTAIN VIEW, CA - SEA19-0015-00

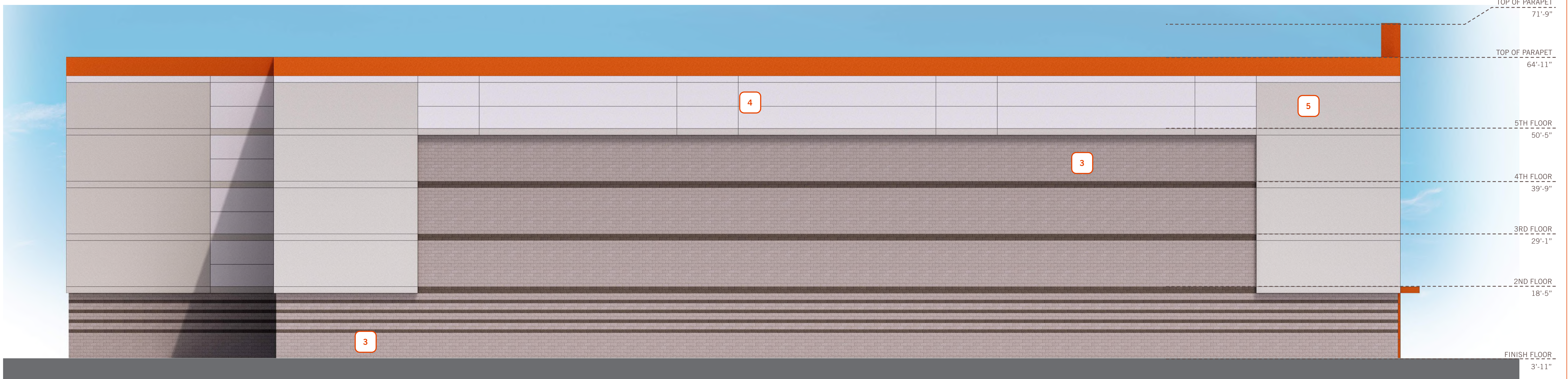
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PAGE 7



NORTH ELEVATION - SCALE 1/8" = 1'-0"



SOUTH ELEVATION - SCALE 1/8" = 1'-0"

KEYNOTES

- 1** STOREFRONT: CLEAR ANODIZED ALUMINUM MULLIONS WITH VISION GLAZING AND SLIDING DOORS

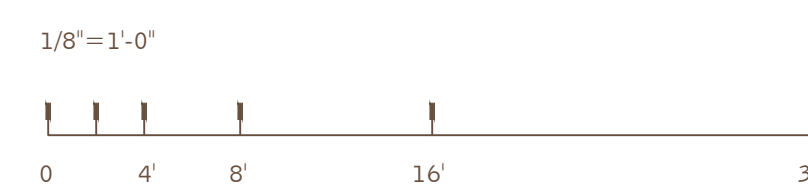
2 MAPES ARCHITECTURAL LUMISHADE CANOPY TO BE PS ORANGE

3 8" SPLIT FACE WITH PRECISION BANDS - "PLACER CREEK" BY ANGELUS BLOCK
- 4** PAINTED STUCCO WALL TO BE WINTER MOOD - PPG14-16

5 PAINTED STUCCO WALL TO BE MOTH GRAY - PPG14-29

6 STOREFRONT CLEAR ANODIZED ALUMINUM MULLIONS WITH SPANDREL GLAZING

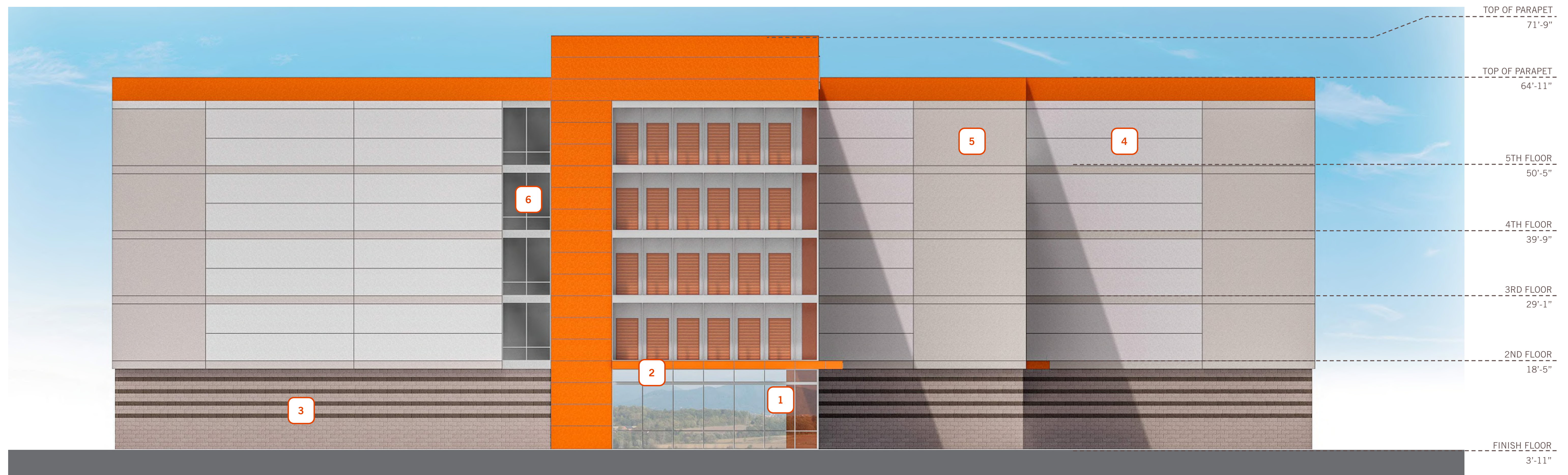
A SIGNAGE AREA: 4'-2" X 40'-4" | 169 SF



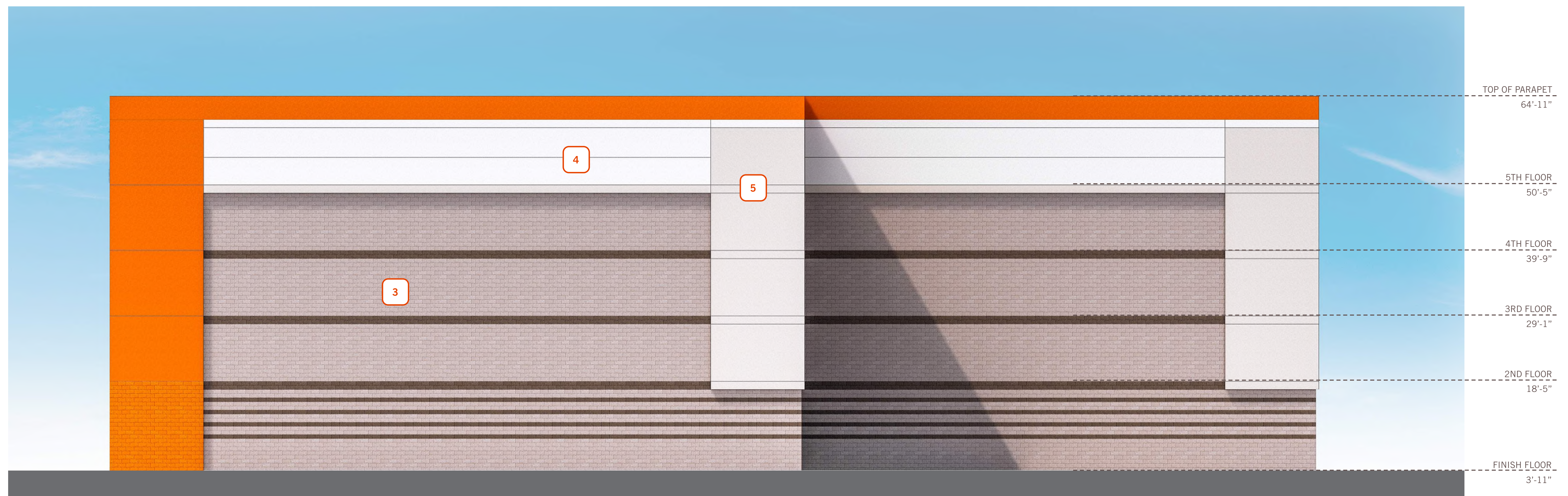
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PHASE 1: NORTH & SOUTH EXTERIOR ELEVATIONS
PUBLIC STORAGE: MOUNTAIN VIEW
 MOUNTAIN VIEW, CA - SEA19-0015-00

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EAST ELEVATION - SCALE 1/8" = 1'-0"



WEST ELEVATION - SCALE 1/8" = 1'-0"

KEYNOTES

- 1** STOREFRONT: CLEAR ANODIZED ALUMINUM MULLIONS WITH VISION GLAZING AND SLIDING DOORS

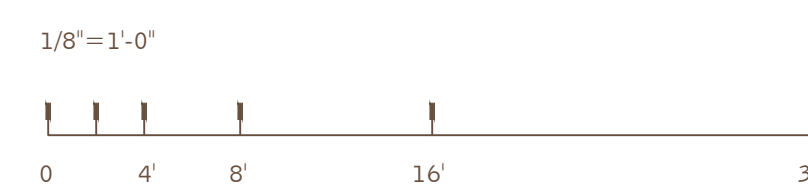
2 MAPES ARCHITECTURAL LUMISHADE CANOPY TO BE PS ORANGE

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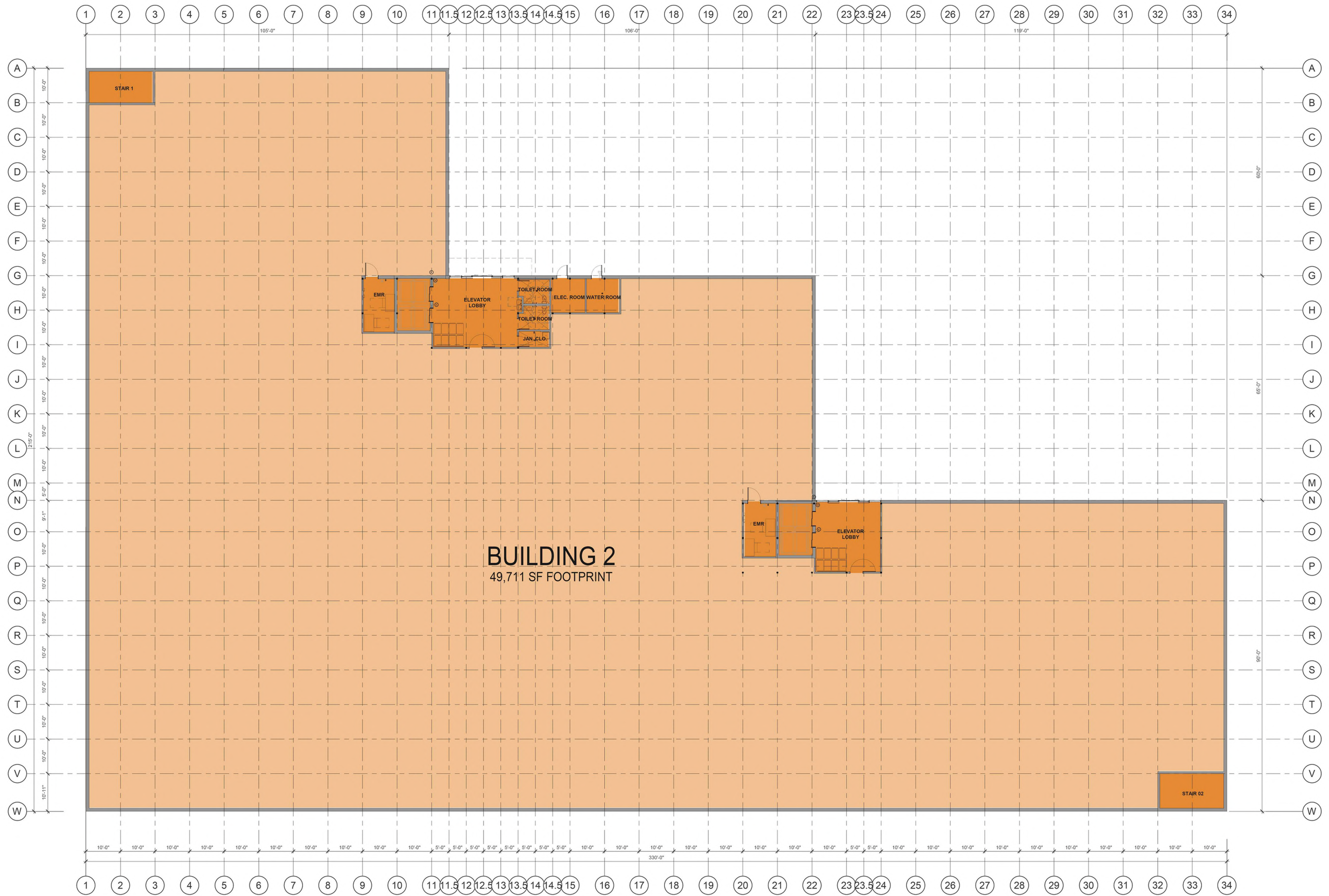
A SIGNAGE AREA: 4'-2" X 40'-4" | 169 SF



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PHASE 1: EAST & WEST EXTERIOR ELEVATIONS
PUBLIC STORAGE: MOUNTAIN VIEW
 MOUNTAIN VIEW, CA - SEA19-0015-00

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NORTH



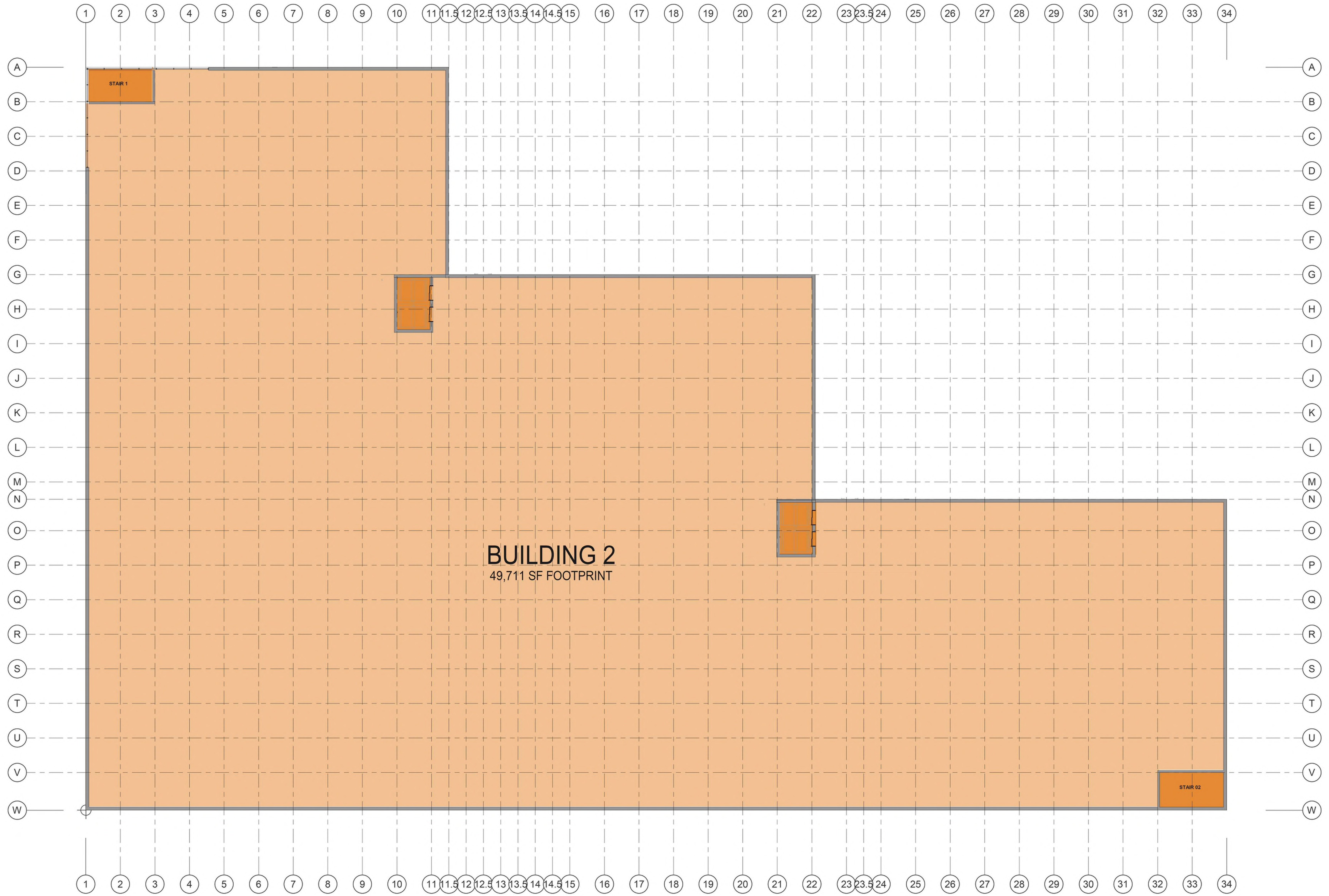
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PHASE 2: FIRST FLOOR PLAN
PUBLIC STORAGE: MOUNTAIN VIEW
MOUNTAIN VIEW, CA - SEA19-0015-00

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BUILDING 2
49,711 SF FOOTPRINT

STAR 1

STAR 02

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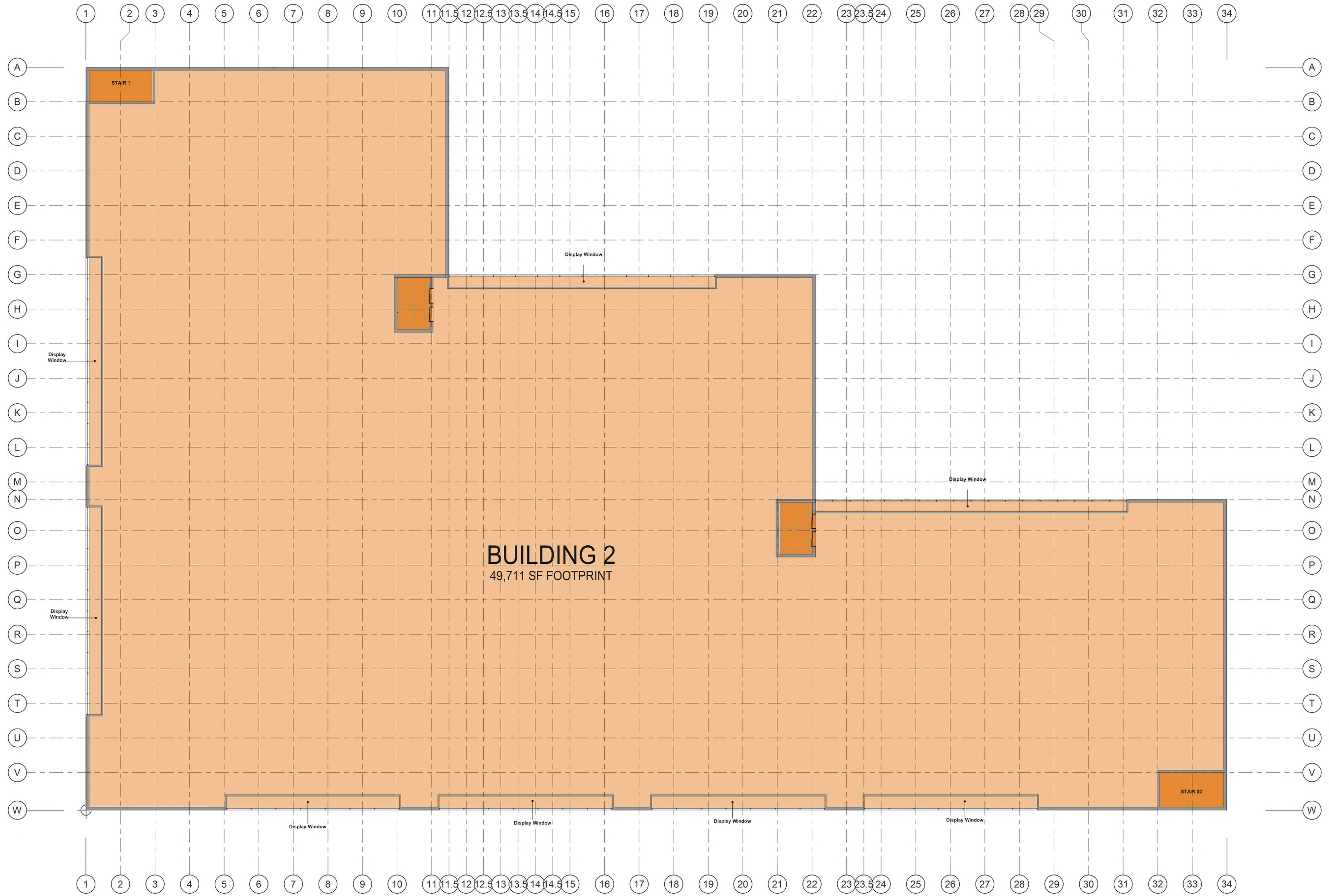
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PHASE 2: TYPICAL FLOOR PLAN (SECOND-FOURTH)
PUBLIC STORAGE: MOUNTAIN VIEW
MOUNTAIN VIEW, CA - SEA19-0015-00

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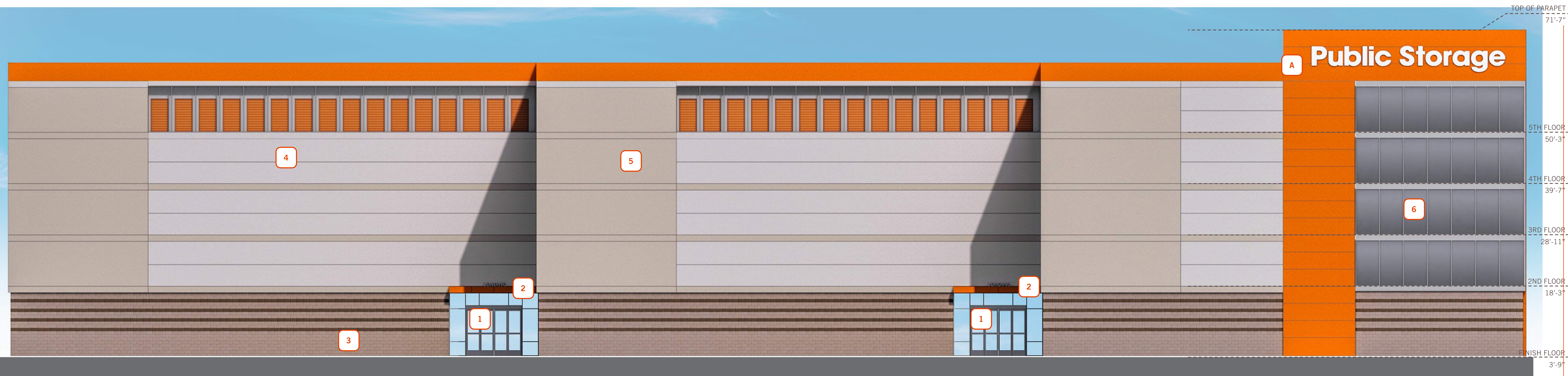
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PHASE 2: FIFTH FLOOR PLAN
 PUBLIC STORAGE: MOUNTAIN VIEW
 MOUNTAIN VIEW, CA - SEA19-0015-00

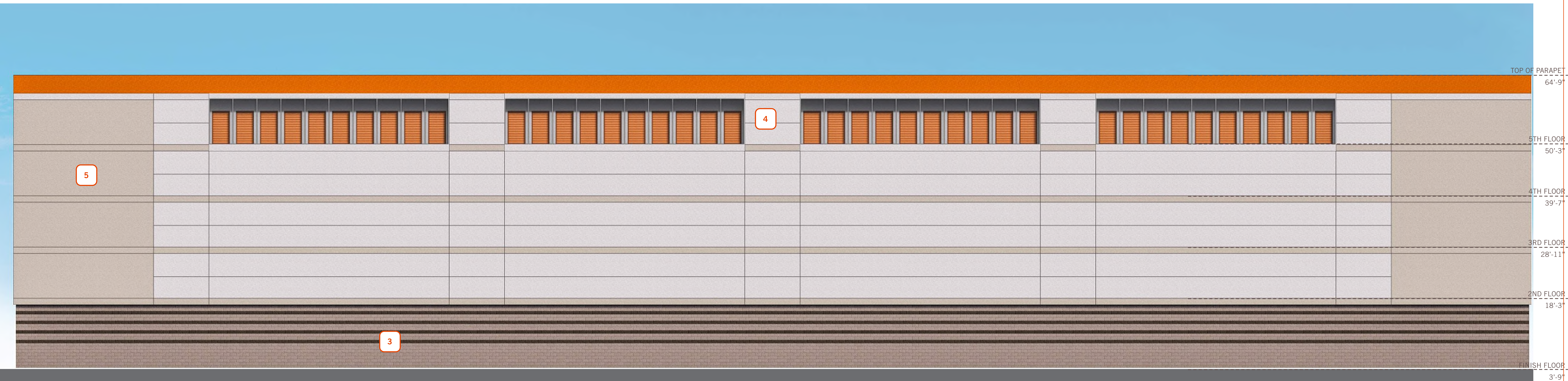
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04.09.2020

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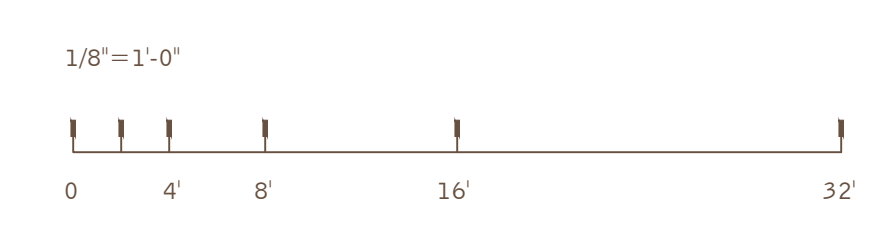
NORTH ELEVATION - SCALE 1/8" = 1'-0"



SOUTH ELEVATION - SCALE 1/8" = 1'-0"

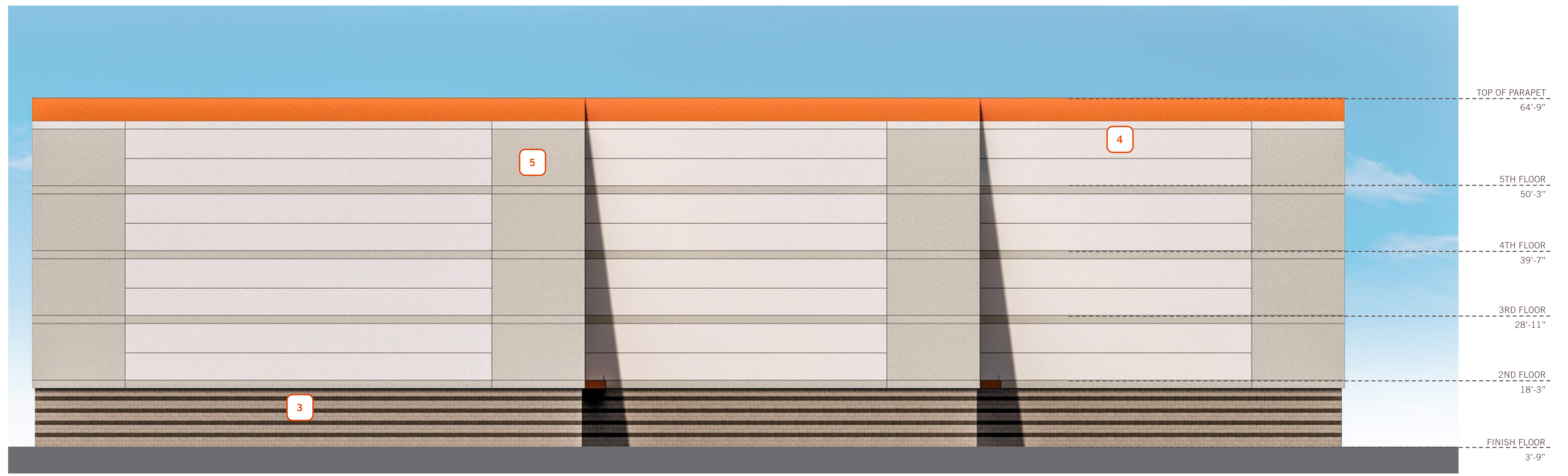
KEYNOTES

- 1 STOREFRONT: CLEAR ANODIZED ALUMINUM MULLIONS WITH VISION GLAZING AND SLIDING DOORS
- 2 MAPES ARCHITECTURAL LUMISHADE CANOPY TO BE PS ORANGE
- 3 8" SPLIT FACE WITH PRECISION BANDS - "PLACER CREEK" BY ANGELUS BLOCK
- 4 PAINTED STUCCO WALL TO BE WINTER MOOD - PPG14-16
- 5 PAINTED STUCCO WALL TO BE MOTH GRAY - PPG14-29
- 6 STOREFRONT CLEAR ANODIZED ALUMINUM MULLIONS WITH SPANDREL GLAZING
- A SIGNAGE AREA: 4'-2" X 40'-4" | 169 SF

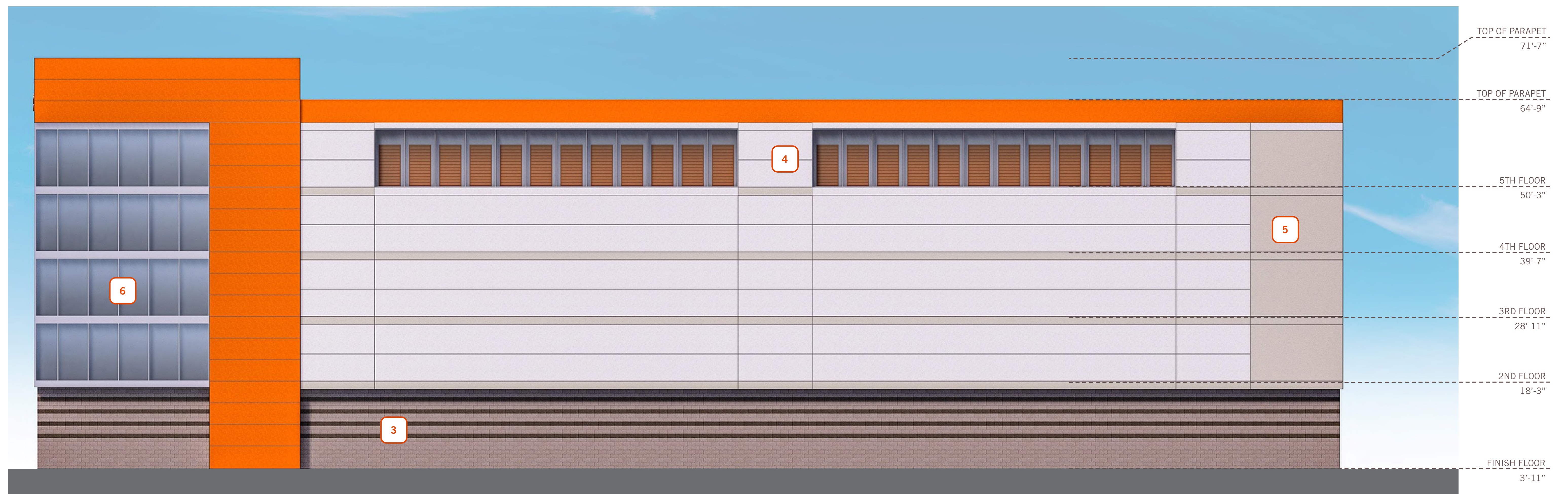


This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance.

PHASE 2: NORTH & SOUTH EXTERIOR ELEVATIONS
PUBLIC STORAGE: MOUNTAIN VIEW
 MOUNTAIN VIEW, CA - SEA19-0015-00



EAST ELEVATION - SCALE 1/8" = 1'-0"



WEST ELEVATION - SCALE 1/8" = 1'-0"

KEYNOTES

- 1** STOREFRONT: CLEAR ANODIZED ALUMINUM MULLIONS WITH VISION GLAZING AND SLIDING DOORS

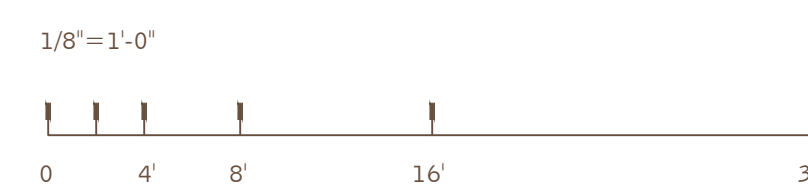
2 MAPES ARCHITECTURAL LUMISHADE CANOPY TO BE PS ORANGE

3 8" SPLIT FACE WITH PRECISION BANDS - "PLACER CREEK" BY ANGELUS BLOCK
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6 STOREFRONT CLEAR ANODIZED ALUMINUM MULLIONS WITH SPANDREL GLAZING

A SIGNAGE AREA: 4'-2" X 40'-4" | 169 SF



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PHASE 2: EAST & WEST EXTERIOR ELEVATIONS
PUBLIC STORAGE: MOUNTAIN VIEW
 MOUNTAIN VIEW, CA - SEA19-0015-00

WARE MALCOMB 04.09.2020