



SIERRA VISTA ROWHOUSES

410 & 414 SIERRA VISTA AVE, MOUNTAIN VIEW, CA

#	Rev.	Date

William Maston
Architect & Associates



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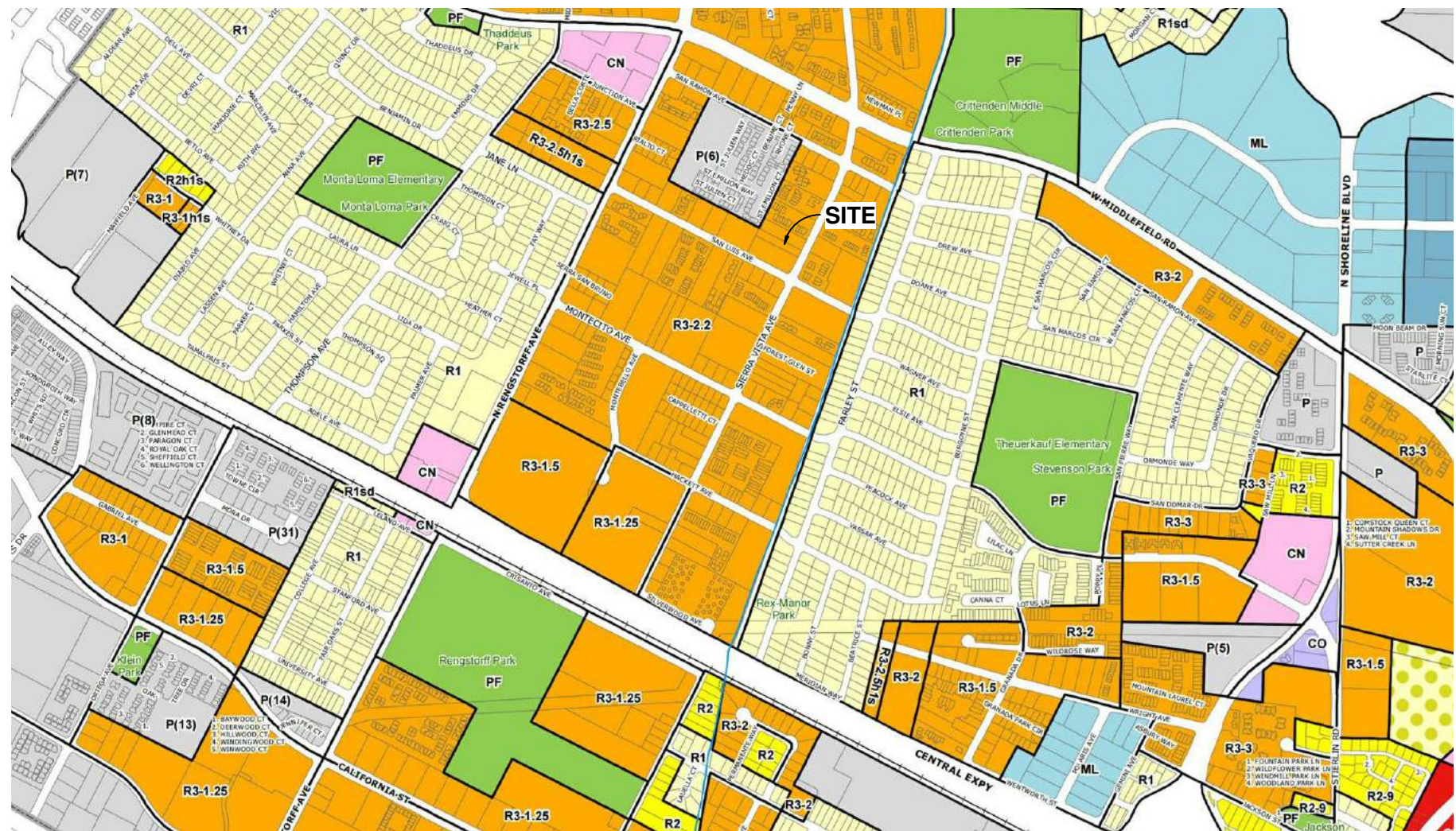
**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

COVER SHEET

Job SIE 2016 006
Date 2018.04.18
Drawn By LAB

A0.00

Scale 12" = 1'-0"



VICINITY MAP



PROJECT DATA

APN	150-03-013 150-03-014
PROJECT #	SIE-2016-006
PROPERTY OWNER	DENARDI HOMES
ZONING DISTRICT	R3.2
OCCUPANCY GROUP	R-3 FEE SIMPLE
TYPE OF CONSTRUCTION	V-A, SPRINKLERED
EXISTING USE	RESIDENTIAL
PROPOSED USE	RESIDENTIAL, 14 UNITS
NUMBER OF STORIES	3
CODE COMPLIANCE	2016 CALIFORNIA BUILDING CODE

ZONING DATA

DESCRIPTION	ALLOWABLE	PROPOSED
LOT AREA	36,701 SF	36,701 SF
UNITS	14.23 UNITS	14 UNITS
BUILDING COVERAGE	35% MAX 12,845 SF	34% 12,304 SF
LANDSCAPED AREA	35% MIN 12,845 SF	38% 14,120 SF
COMMON OPEN SPACE	100 SF / UNIT 1,400 SF	4,259 SF
PRIVATE OPEN SPACE	100 SF / UNIT	MET. SEE A0.02
SETBACKS:		
FRONT	15'	15'
REAR	10'	26'
SIDE	10'	10'
BLDG. HEIGHT	45' (36' T.O.P.)	42' (31'-8" T.O.P.)
AREA		
FIRST FLOOR	--	11,257 SF
SECOND FLOOR	--	11,270 SF
THIRD FLOOR	--	10,131 SF
F.A.R.	0.90 X 36,701 SF = 33,030 SF	32,657 SF
PARKING		
GUEST SPACES	2 PER UNIT (28) +3 PER UNIT (4.2)	2 PER UNIT (28) 4 (1 ADA VAN)
STORAGE	164 CU. FT. / UNIT	164 CU.FT. / UNIT
STORMWATER CONTROL	3.5% MIN	4%

PROJECT DESCRIPTION

DEMOLISH EXISTING STRUCTURES AND COMBINE LOTS. CONSTRUCT FOUR NEW MULTIFAMILY ROW HOUSE BUILDINGS, THREE STORIES EACH, FOR A TOTAL OF 14 RESIDENTIAL UNITS (A MIXED OF 3 AND 4 BEDROOM UNITS). ALL PARKING IS PROVIDED AT GRADE, WITH RESIDENTIAL PARKING IN PRIVATE GARAGES AND GUEST PARKING ADJACENT THE SHARED COURTYARD. BICYCLE PARKING IS PROVIDED IN THE PRIVATE GARAGES IN A STORAGE CLOSET. THERE ARE NO HABITABLE ROOFTOP DECKS AND NO ELEVATORS. THERE IS A LARGE, SHARED, CENTRAL OPEN COURT.

PROJECT TEAM

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<p>CONTRACTOR TO BE DETERMINED (INSERT ADDRESS HERE)</p> <p>CONTACT: PH. FAX. E.</p>	<p>LANDSCAPE LEVESQUE DESIGN 1414 BAY STREET, STE 100 ALAMEDA, CA 94501</p> <p>CONTACT: Kevin Levesque PH. 510.521.6700 E. ktplanning@gmail.com</p>	<p>GEOTECHNICAL ENGINEER TO BE DETERMINED (INSERT ADDRESS HERE)</p> <p>CONTACT: PH. FAX. E.</p>	<p>SHORING ENGINEER TO BE DETERMINED (INSERT ADDRESS HERE)</p> <p>CONTACT: PH. FAX. E.</p>	<p>JOINT TRENCH TO BE DETERMINED (INSERT ADDRESS HERE)</p> <p>CONTACT: PH. FAX. E.</p>

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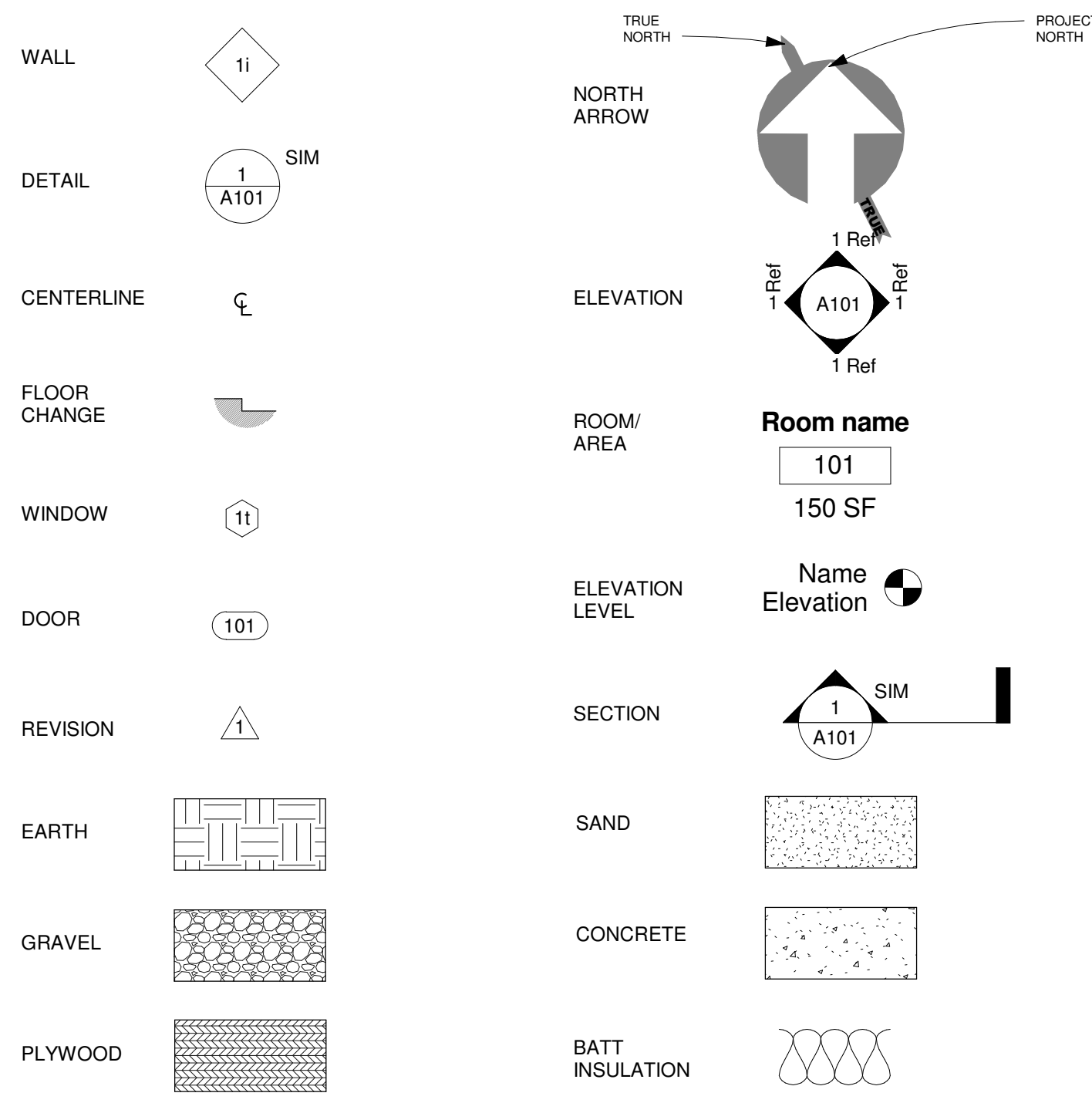
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A0.01

Scale

SYMBOL LEGEND



F.A.R. AND COVERAGES CALCULATIONS

TOTAL LOT AREA = 36,701 SF
 ALLOWABLE FAR IS 0.90 OR 33,030 SF

AREA TOTALS BY UNIT:

UNIT 1 (4 BD/3.5 BA)	2,374 SF
UNIT 2 (4 BD/3.5 BA)	2,358 SF
UNIT 3 (2 BD/2.5 BA)	1,877 SF
UNIT 4 (3 BD/3.5 BA)	2,323 SF
UNIT 5 (3 BD/3.5 BA)	2,233 SF
UNIT 6 (4 BD/3.5 BA)	2,291 SF
UNIT 7 (4 BD/3.5 BA)	2,289 SF
UNIT 8 (4 BD/3.5 BA)	2,498 SF
UNIT 9 (4 BD/3.5 BA)	2,482 SF
UNIT 10 (3 BD/3.5 BA)	2,265 SF
UNIT 11 (3 BD/3.5 BA)	2,315 SF
UNIT 12 (4 BD/3.5 BA)	2,492 SF
UNIT 13 (4 BD/3.5 BA)	2,370 SF
UNIT 14 (3 BD/3.5 BA)	2,261 SF

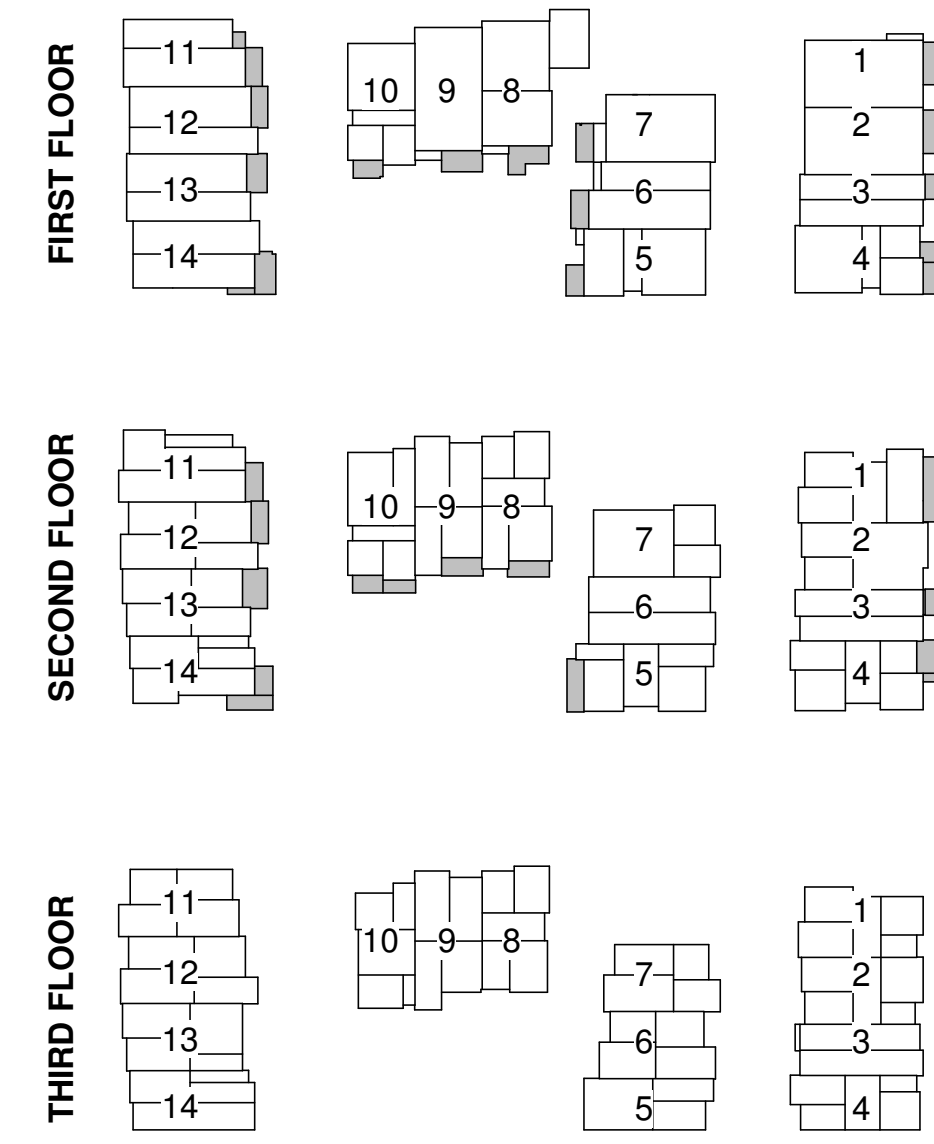
AREA TOTALS BY BLDG:

BLDG A (01-04)	8,932 SF
BLDG B (05-07)	6,813 SF
BLDG C (08-10 + TRASH)	7,474 SF
BLDG D (11-14)	9,438 SF

AREA TOTALS BY FLOOR:

FIRST FLOOR	11,257 SF
SECOND FLOOR	11,270 SF
THIRD FLOOR	10,131 SF

GRAND TOTAL FLOOR AREA = 32,657 SF
 PROPOSED F.A.R. = 0.90



SEE A0.03 FOR DETAILED FLOOR AREA ANALYSIS

DRAWING INDEX

SHEET NO.	SHEET NAME
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• ARCHITECTURAL

A0.00	COVER SHEET
A0.01	PROJECT DATA
A0.02	SHEET INDEX AND NOTES
A0.03	F.A.R. ANALYSIS
A0.04	PERSPECTIVES
A0.05	PERSPECTIVES
A0.06	PERSPECTIVES
A0.09	STREETSCAPE & NEIGHBORHOOD CONTEXT
A0.10	SOLAR STUDIES
A1.00	DEMO & TREE REMOVAL PLAN
A1.01	SITE PLAN
A2.01	OVERALL FIRST & SECOND FLOOR PLANS
A2.02	OVERALL THIRD FLOOR & ROOF PLANS
A2.11	BUILDING A FIRST FLOOR PLAN
A2.12	BUILDING A SECOND FLOOR PLAN
A2.13	BUILDING A THIRD FLOOR PLAN
A2.14	BUILDING A ROOF PLAN
A2.21	BUILDING B FIRST FLOOR PLAN
A2.22	BUILDING B SECOND FLOOR PLAN
A2.23	BUILDING B THIRD FLOOR PLAN
A2.24	BUILDING B ROOF PLAN
A2.31	BUILDING C FIRST FLOOR PLAN
A2.32	BUILDING C SECOND FLOOR PLAN
A2.33	BUILDING C THIRD FLOOR PLAN
A2.34	BUILDING C ROOF PLAN
A2.41	BUILDING D FIRST FLOOR PLAN
A2.42	BUILDING D SECOND FLOOR PLAN
A2.43	BUILDING D THIRD FLOOR PLAN
A2.44	BUILDING D ROOF PLAN
A3.01	OVERALL EXTERIOR ELEVATIONS
A3.11	BUILDING A ELEVATIONS
A3.12	BUILDING A ELEVATIONS
A3.21	BUILDING B ELEVATIONS
A3.22	BUILDING B ELEVATIONS
A3.31	BUILDING C ELEVATIONS
A3.32	BUILDING C ELEVATIONS
A3.41	BUILDING D ELEVATIONS
A3.42	BUILDING D ELEVATIONS
A4.02	SECTIONS & DETAILS
A4.03	DETAILS
A4.04	DETAILS

• CIVIL

C0.0	TITLE SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE PLAN
C3.0	VESTING TENTATIVE MAP
C4.0	GRADING AND DRAINAGE
C5.0	UTILITY PLAN
C5.1	UTILITY PROFILE
C6.0	STORMWATER CONTROL PLAN
C7.0	EROSION CONTROL PLAN

• LANDSCAPE

L-1.1	NOTES & LEGENDS
L-3.1	LAYOUT PLAN
L-4.1	CONSTRUCTION DETAILS
L-4.2	WALL DETAILS
L-4.3	TRELLIS / GRILL DETAILS
L-4.4	SITE FURNITURE
L-4.5	PRECAST PAVERS
L-5.0	IRRIGATION NOTES
L-5.1	HYDROZONE PLAN
L-6.0	PLANTING NOTES
L-6.1	PLANTING PLAN
L-6.1a	COLOR PLANTING PLAN
L-6.2	PLANTER DETAILS
L-6.3	VINE PALETTE
L-6.4	SHRUB PALETTE
L-6.5	SHRUB PALETTE
L-6.6	PLANTING DETAILS
L-7.1	LIGHTING PLAN
L-7.2	LIGHTING CUT SHEETS
L-8.1	TREE CANOPY PLAN

• ELECTRICAL

EL1.01	EXTERIOR LIGHTING PLAN - SITE
PH1	SITE PHOTOMETRICS PLAN

ZONING NOTES

1. ALLOWABLE UNITS CALCULATION PER SEC. 36.10.75 OF MV CODE:

FOR THE R3-2.2 ZONE:
 5 UNITS ALLOWED FOR THE FIRST 16,400 SF LOT AREA
 THEN 1 UNIT PER 2,200 SF

$$\frac{36,701 - 16,400}{2,200} = 20,301 \text{ SF (5 UNITS)}$$

$$\frac{20,301}{2,200} = 9.23 \text{ UNITS}$$

$$9.23 + 5 = 14.23 \text{ OR 14 TOTAL ALLOWED UNITS}$$

2. FAR EXCEPTION NOT MET:

ALLOWABLE FAR FOR R3 ROWHOUSES (SEC. 36.16.25) IS 0.90. AN EXCEPTION ALLOWS FOR 1.05 FAR IF THE DENSITIES EQUAL OR ARE GREATER THAN 20 UNITS PER ACRE. THIS PROJECT IS 16.9 UNITS PER ACRE = NOT DENSE ENOUGH FOR THE FAR BONUS.

FAR MAX FOR THIS PROJECT = 0.90

3. BICYCLE PARKING REQUIREMENT:

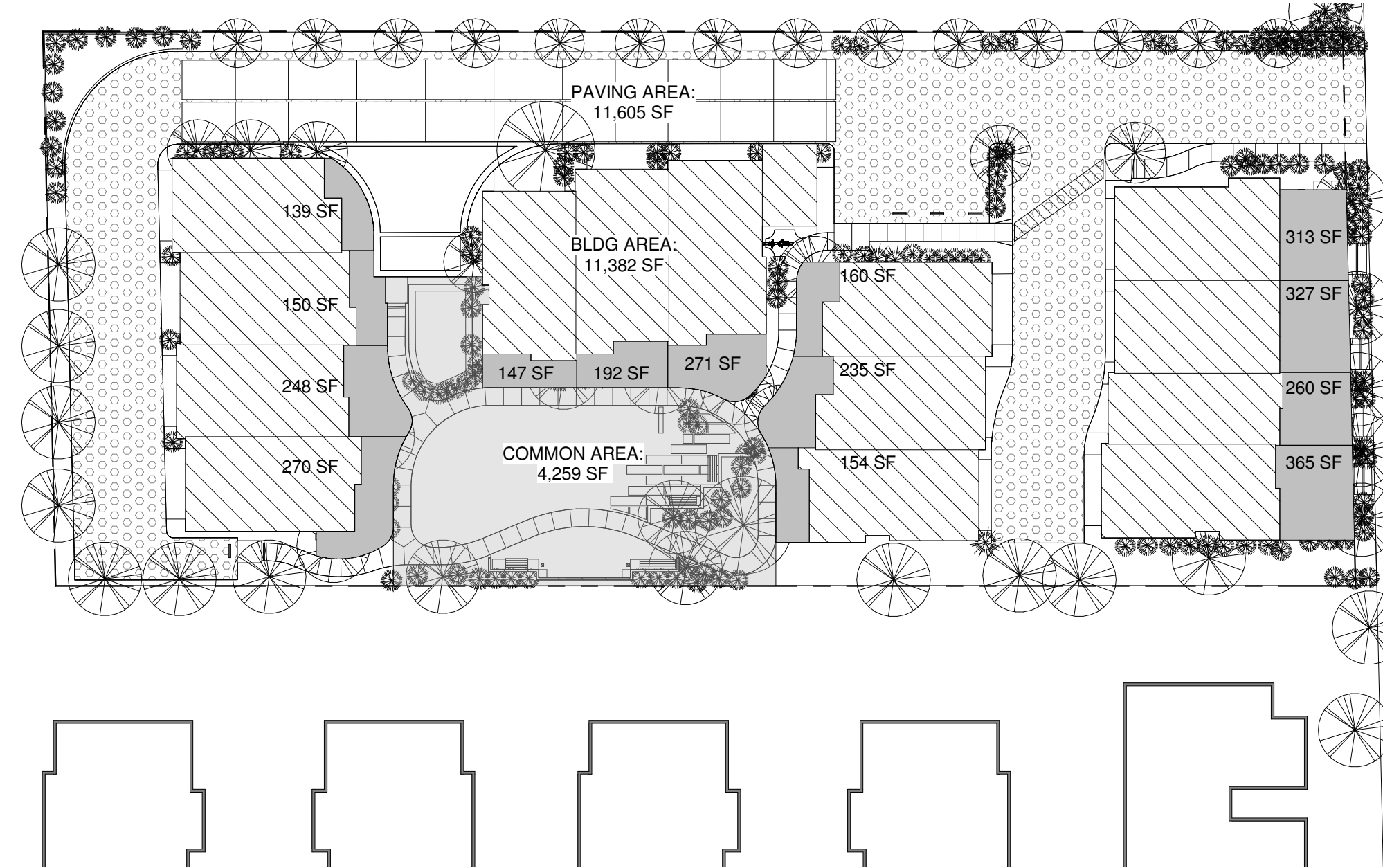
1 SPACE PER UNIT REQUIRED (SEC. 36.32.85.A.1) FOR RESIDENTS (PROVIDED IN EACH DWELLING UNIT GARAGE) = 14 TOTAL

1 SPACE PER 10 UNITS REQUIRED FOR GUESTS = 2 TOTAL

ABBREVIATIONS

ACOUS.	ACOUSTICAL	FL.	FLOOR	P.T.D.	PAPER TOWEL DISPENSER
AB.	ANCHOR BOLT	FLASH.	FLASHING	PTN.	PARTITION
AD.	AREA DRAIN	FLUOR.	FLUORESCENT	P.T.R	PAPER TOWEL RECEPTACLE
ADJ.	ADJUSTABLE	F.O.F.	FACE OF FINISH	RAD.	RADIUS
AGGR.	AGGREGATE	F.O.S.	FACE OF STUDS	RD.	ROOF DRAIN
AL.	ALUMINUM	FPRF.	FIREPROOF	MB.	MACHINE BOLT
ANOD.	ANODIZED	FT.	FOOT / FEET	M.C.	MEDICINE CABINET
APPROX.	APPROXIMATE	FTG.	FOOTING	REF.	REFRIGERATOR
ARCH.	ARCHITECTURAL	FURR.	FURRING	REINF.	REINFORCED
ASPH.	ASPHALT	GA.	GAUGE	REQ.	REQUIRED
BD.	BOARD	GALV.	GALVANIZED	RESIL.	RESILIENT
BLDG.	BUILDING	G.I.	GALVANIZED IRON	RM.	ROOM
BLK.	BLOCK	G.B.	GRAB BAR	R.O.	ROUGH OPENING
BLKG.	BLOCKING	GL.	GLASS	RWD.	REDWOOD
BM.	BEAM	GR.	GRADE	R.W.L.	RAIN WATER LEADER
BOT.	BOTTOM	GSM.	GALVANIZED SHEET METAL	S.	SOUTH
B.P.	BUILDING PAPER	GWB.	GYPSUM WALLBOARD	S.B.	SOLID BLOCKING
CAB.	CABINET	H.B.	HOSE BIBB	S.C.	SOLID CORE
C.B.	CATCH BASIN	H.C.	HOLLOW CORE	S.C.D.	SEAT COVER DISP.
CEM.	CEMENT	HDWD.	HARDWOOD	SCHED.	SCHEDULE
CER.	CERAMIC	HDR.	HEADER	S.D.	SOAP DISPENSER
C.I.	CAST IRON	H.M.	HOLLOW METAL	SECT.	SECTION
C.J.	CONSTRUCTION JOINT	HORIZ.	HORIZONTAL	SHT.	SHEET
CLG.	CEILING	HR.	HOUR	SIM.	SIMILAR
CLKG.	CAULKING	HT.	HEIGHT	S.N.D.	SANITARY NAPKIN DISPENSER
CLR.	CLEAR	I.D.	INSIDE DIAMETER	S.N.R.	SANITARY NAPKIN RECEPT.
COL.	COLUMN	INSUL.	INSULATION	SPEC.	SPECIFICATION
CONC.	CONCRETE	INT.	INTERIOR	SQ.	SQUARE
CONN.	CONNECTION	JAN.	JANITOR	STD.	STANDARD
CONT.	CONTINUOUS	JT.	JOINT	STL.	STEEL
CORR.	CORRIDOR	KIT.	KITCHEN	STOR.	STORAGE
C.O.	CLEAN OUT	LAB.	LABORATORY	STRL.	STRUCTURAL
CNTR.	COUNTER	LAM.	LAMINATE	SUSP.	SUSPENDED
CTR.	CENTER	LAV.	LAVATORY	T.O.	TOP OF
DBL.	DOUBLE	LT.	LIGHT	T.B.	TOWEL BAR
DEPT.	DEPARTMENT	LT.WT.	LIGHTWEIGHT	T.B.N.	TYP. BOUNDARY NAILING
D.F.	DRINKING FOUNTAIN	MAX.	MAXIMUM	T.B.S.	TO BE SELECTED
DET.	DETAIL	MB.	MACHINE BOLT	T.C.	TOP OF CURB
DIA.	DIAMETER	M.C.	MEDICINE CABINET	TEL.	TELEPHONE
DIM.	DIMENSION	MECH.	MECHANICAL	T.E.N.	TYP. EDGE NAILING
DISP.	DISPENSER	MEMB.	MEMBRANE	T&G	TONGUE AND GROOVE
DN.	DOWN	MET.	METAL	THK.	THICK
DR.	DOOR	MFR.	MANUFACTURER	T.P.	TOP OF PAVEMENT
DWR.	DRAWER	M.H.	MANHOLE	T.P.D.	TOILET PAPER DISPENSER
D.S.	DOWNSPOUT	MIN.	MINIMUM	T.V.	TELEVISION
DWG.	DRAWING	MIR.	MIRROR	T.W.	TOP OF WALL
E.	EAST	MISC.	MISCELLANEOUS	TYP.	TYPICAL
EA.	EACH	MTD.	MOUNTED	U.N.O.	UNLESS NOTED OTHERWISE
E.J.	EXPANSION JOINT	MUL.	MULLION	VERT.	VERTICAL
EL.	ELEVATION	N.	NORTH	VEST.	VESTIBULE
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT	W.	WEST
ELEV.	ELEVATION	NO. / #	NUMBER	W/	WITH
EMER.	EMERGENCY	NOM.	NOMINAL	W.C.	WATER CLOSET
E.P.	ELEC. PANELBOARD	N.T.S.	NOT TO SCALE	WD.	WOOD
EQ.	EQUAL	O/	OVER	W.H.	WATER HEATER
EQPT.	EQUIPMENT	OBS.	OBSURE	W/O	WITHOUT
E.W.C.	ELEC. WATER HEATER	O.C.	ON CENTER	WP.	WATERPROOF
EXIST. / (E)	EXISTING	O.D.	OUTSIDE DIAMETER	WSCT.	WAINSCOT
EXPO.	EXPOSED	OFF.	OFFICE	WT.	WEIGHT
EXP.	EXPANSION	OPP.	OPPOSITE	W.W.M.	WELDED WIRE MESH
EXT.	EXTERIOR	PL.	PLATE	&	AND
F.A.	FIRE ALARM	P. LAM.	PLASTIC LAMINATE	L	ANGLE
F.D.	FLOOR DRAIN	PLAS.	PLASTER	@	AT
FDN.	FOUNDATION	PW.	PLYWOOD	CL	CENTERLINE
F.E.	FIRE EXTINGUISHER	PR.	PAIR	(E)	EXISTING
F.E.C.	FIRE EXISTING CABINET	PSF	POUNDS PER SQ. FOOT	(N)	NEW
F.H.C.	FIRE HOSE CABINET	PSI	POUNDS PER SQ. INCH		
FIN. / (F)	FINISH	PT.	POINT		

SITE COVERAGES PLAN



TOTAL LOT AREA = 36,705 SF

PAVING AREA	11,605 SF
TOTAL BUILDING COVERAGE	12,304 SF
TOTAL LANDSCAPED AREA	14,120 SF
TOTAL COMMON OPEN SPACE	4,259 SF
TOTAL PRIVATE OPEN SPACE BY UNIT:	
UNIT 1	313 SF
UNIT 2	327 SF
UNIT 3	260 SF
UNIT 4	365 SF
UNIT 5	154 SF
UNIT 6	235 SF
UNIT 7	160 SF
UNIT 8	271 SF
UNIT 9	191 SF
UNIT 10	147 SF
UNIT 11	139 SF
UNIT 12	150 SF
UNIT 13	248 SF
UNIT 14	270 SF

NO MAX LIMIT
 MAX ALLOWABLE: 35% OR 12,845 SF
 MIN REQUIRED: 35% OR 12,845 SF
 MIN REQUIRED: 100 SF / UNIT OR 1,400 SF
 MIN REQUIRED: 100 SF / UNIT

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 410 & 414 SIERRA VISTA
 AVE, MOUNTAIN VIEW

SHEET INDEX
 AND NOTES

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Scale As indicated



A0.04 - SIERRA VISTA AVENUE PERSPECTIVE

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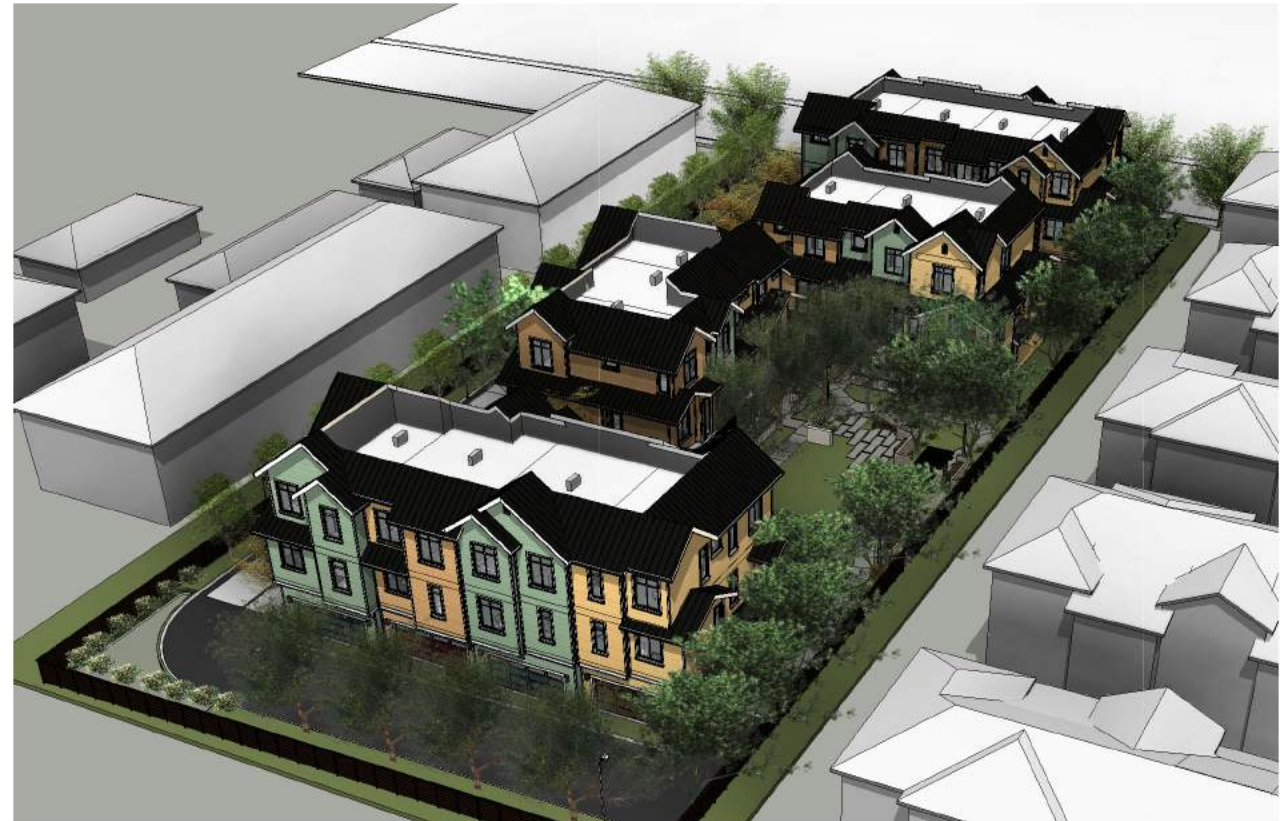
AERIAL - EAST



AERIAL - SOUTH



AERIAL - NORTH



AERIAL - WEST

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A0.06 - COURTYARD - BUILDINGS B & C



A0.06 - COURTYARD - BUILDINGS C & D

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PROPOSED SITE



SURROUNDING COMMUNITY: NOTABLE ARCHITECTURE



13

14

15

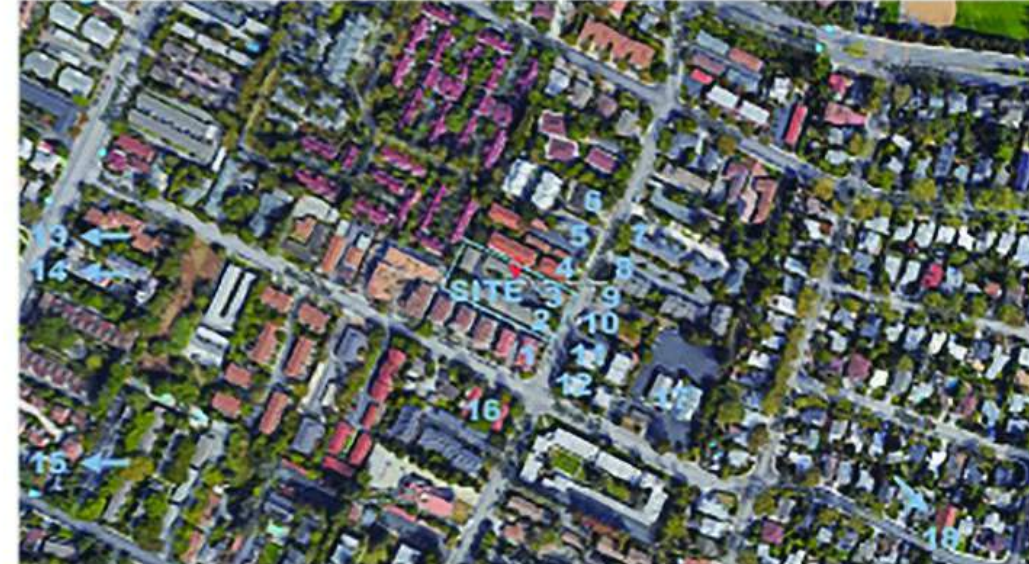


16

17

18

AREA MAP



STREETSCAPES: SIERRA VISTA



1

2

3

4

5

6



7

8

9

10

11

12

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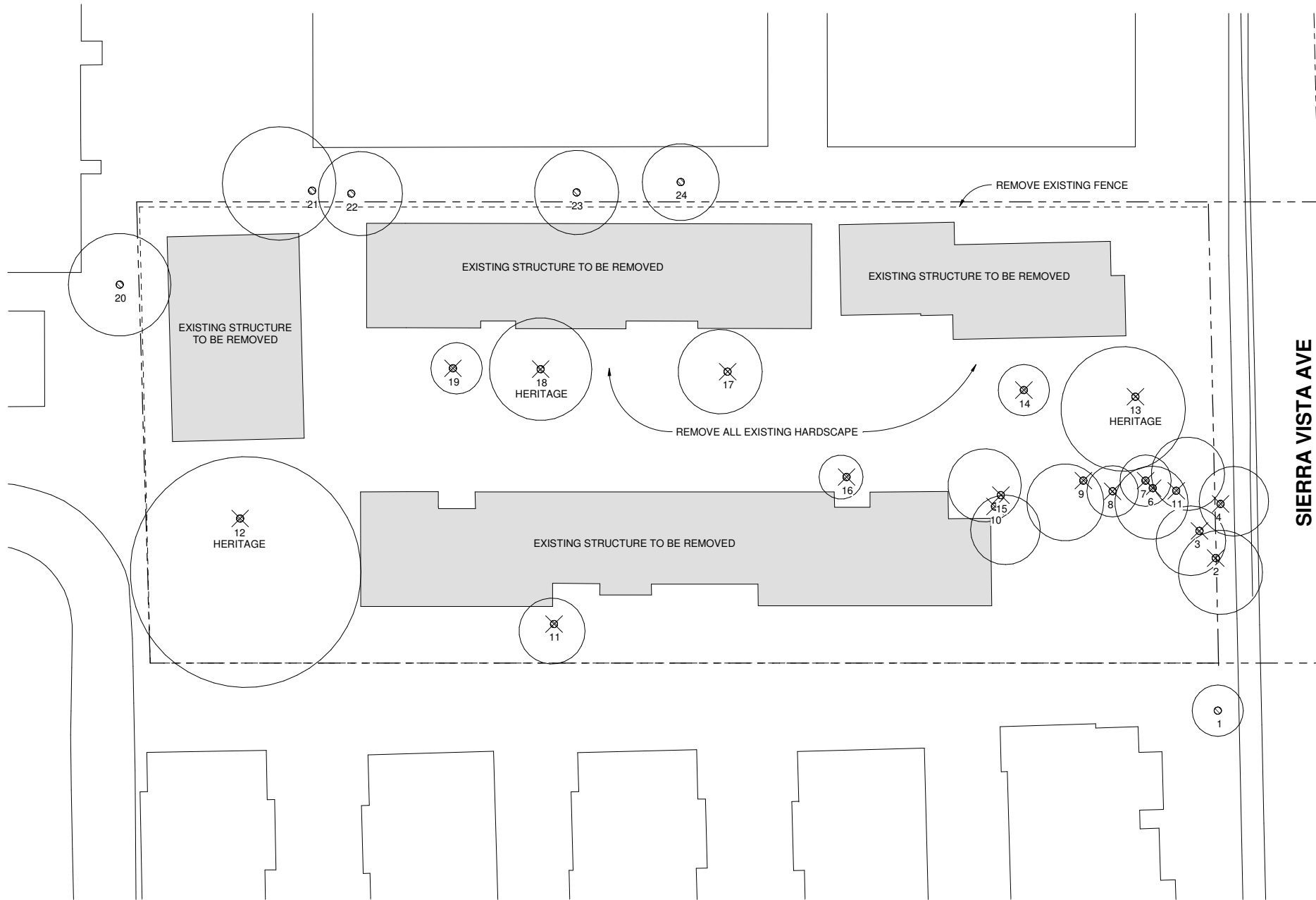
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**STREETSCAPE
&
NEIGHBORHOOD
CONTEXT**

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A0.09

Scale



DEMOLITION NOTES

- PROTECT RETAINED TREES PER ARBORIST RECOMMENDATIONS.
- EACH HERITAGE TREE TO BE REMOVED SHALL BE REPLACED WITH A 24" BOX TREE ON SITE.
- SEE LANDSCAPE PLAN FOR ADDITIONAL DETAILS, INCLUDING CANOPY COVERAGE PLANS.
- SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION ON TREE LOCATIONS, SPECIES, CONDITION, AND RECOMMENDATIONS.

TREE PROTECTION PER ARBORIST RECOMMENDATIONS:

TREE PROTECTION FENCING
 TREE PROTECTION ZONES SHOULD BE ESTABLISHED AND MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. FENCING FOR PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK SUPPORTED BY 2 INCH DIAMETER POLES POUNDED INTO THE GROUND. THE LOCATION FOR PROTECTIVE FENCING SHOULD BE AS CLOSE TO THE DRIPLINE AS POSSIBLE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFELY CONTINUE. NO EQUIPMENT OR MATERIALS SHOULD BE STORED OR CLEANED INSIDE PROTECTION ZONES. AREAS OUTSIDE PROTECTION ZONES, BUT STILL BENEATH THE TREE'S DRIPLINES, WHERE FOOT TRAFFIC IS EXPECTED TO BE HEAVY, SHOULD BE MULCHED WITH 4-6" OF CHIPPER CHIPS. THE SPREADING OF CHIPS WILL HELP TO REDUCE COMPACTION AND IMPROVE SOIL STRUCTURE.

DEMOLITION
 DURING THE DEMOLITION PROCESS ALL TREE PROTECTION SHOULD BE IN PLACE. AN INSPECTION PRIOR TO THE START OF THE DEMOLITION MAY BE REQUIRED. A PRE-DEMOLITION MEETING WITH THE SITE ARBORIST IS ALSO ADVISED. ALL VEHICLES MUST REMAIN ON PAVED SURFACES IF POSSIBLE. IF VEHICLES ARE TO STRAY FROM PAVED SURFACES, 4 TO 6 INCHES OF CHIPS SHALL BE SPREAD AND PLYWOOD LAID OVER THE MULCH LAYER. THIS TYPE OF LANDSCAPE BUFFER WILL HELP REDUCE COMPACTION OF DESIRED TREES. PARKING WILL NOT BE ALLOWED OFF THE PAVED SURFACES. THE REMOVAL OF FOUNDATION MATERIALS, WHEN INSIDE THE DRIPLINES OF PROTECTED TREES, SHOULD BE CARRIED OUT WITH CARE. HAND EXCAVATION MAY BE REQUIRED IN AREAS OF HEAVY ROOTING. EXPOSED OR DAMAGED ROOTS SHOULD BE REPAIRED AND COVERED WITH NATIVE SOIL. TREE PROTECTION FENCING MAY NEED TO BE MOVED AFTER THE DEMOLITION. THE SITE ARBORIST SHOULD BE NOTIFIED AND THE RELOCATED FENCE SHOULD BE INSPECTED.

ROOT CUTTING
 ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. LARGE ROOTS (OVER 2" DIAMETER) OR LARGE MASSES OF ROOTS TO BE CUT MUST BE INSPECTED BY THE SITE ARBORIST. AT THIS TIME, MAY RECOMMEND IRRIGATION OR FERTILIZATION OF THE ROOT ZONE. ALL ROOTS NEEDING TO BE CUT SHOULD BE CUT CLEAN WITH A SAW OR LOPPER. ROOTS TO BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD BE COVERED WITH LAYERS OF BURLAP AND KEPT MOIST.

TRENCHING
 TRENCHING FOR IRRIGATION, DRAINAGE, ELECTRICAL OR ANY OTHER REASON SHALL BE DONE BY HAND WHEN INSIDE THE DRIPLINE OF A PROTECTED TREE. HAND DIGGING AND THE CAREFUL PLACEMENT OF PIPES BELOW OR BESIDES PROTECTED ROOTS WILL SIGNIFICANTLY REDUCE ROOT LOSS, THUS REDUCING TRAUMA TO THE TREE. ALL TRENCHES SHALL BE BACKFILLED WITH NATIVE MATERIALS AND COMPACTED TO NEAR ITS ORIGINAL LEVEL, AS SOON AS POSSIBLE. TRENCHES TO BE LEFT OPEN FOR A PERIOD OF TIME, WILL REQUIRE THE COVERING OF ALL EXPOSED ROOTS WITH BURLAP AND BE KEPT MOIST. THE TRENCHES WILL ALSO NEED TO BE COVERED WITH PLYWOOD TO HELP PROTECT THE EXPOSED ROOTS. IRRIGATION NORMAL IRRIGATION SHALL BE MAINTAINED ON THIS SITE AT ALL TIMES. ON A CONSTRUCTION SITE, I RECOMMEND IRRIGATION DURING WINTER MONTHS, 1 TIME PER MONTH. SEASONAL RAINFALL MAY REDUCE THE NEED FOR ADDITIONAL IRRIGATION. DURING THE WARM SEASON, APRIL - NOVEMBER, MY RECOMMENDATION IS TO USE HEAVY IRRIGATION, 2 TIMES PER MONTH. ENOUGH WATER SHOULD BE APPLIED TO THE SOIL TO WET THE ENTIRE ROOT ZONE. THIS TYPE OF IRRIGATION SHOULD BE STARTED PRIOR TO ANY EXCAVATION. THE IRRIGATION WILL IMPROVE THE VIGOR OF THE TREE AND WILL ALSO IMPROVE THE WATER CONTENT OF THE TREE. THE ON-SITE ARBORIST MAY MAKE ADJUSTMENTS TO THE IRRIGATION RECOMMENDATIONS AS NEEDED. THE FOLIAGE OF THE TREE MANY NEED CLEANING IF DUST LEVELS ARE EXTREME. REMOVING DUST FROM THE FOLIAGE WILL HELP TO REDUCE MITE AND INSECT INFESTATION.

INSPECTIONS
 THE CITY OF MOUNTAIN VIEW MAY REQUIRE SCHEDULED TREE REPORTS. IF REQUIRED TREE PROTECTION REPORTS WILL BE PROVIDED WHEN TREE PROTECTION MEASURES ARE INSTALLED AND PRIOR TO OCCUPANCY. REMAINING TREE INSPECTIONS WILL BE ON AN AS NEEDED BASIS.

DEMO LEGEND

- (E) STRUCTURES TO BE REMOVED
- (E) NEIGHBORING STRUCTURES
- (E) FENCE TO BE REMOVED
- PROPERTY LINE
- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED

TREE LEGEND (PER ARBORIST)

- RAYWOOD ASH
- CHERRY PLUM
- BIRCH
- CHERRY PLUM
- TREE OF HEAVEN
- FRUITING PLUM
- TREE OF HEAVEN
- TREE OF HEAVEN
- PRIVET
- PRIVET
- BIRCH
- BLACK WALNUT - HERITAGE TREE, POOR CONDITION
- CALIFORNIA PEPPER - HERITAGE TREE, POOR CONDITION
- APPLE
- TREE OF HEAVEN
- BOTTLE BRUSH
- EVERGREEN PEAR
- MULBERRY - HERITAGE TREE, POOR CONDITION
- ORANGE
- BLACK ACACIA (NEIGHBOR'S TREE)
- FERN PINE (NEIGHBOR'S TREE)
- ITALIAN CYPRESS (NEIGHBOR'S TREE)
- APPLE (NEIGHBOR'S TREE)
- PRIVET (NEIGHBOR'S TREE)

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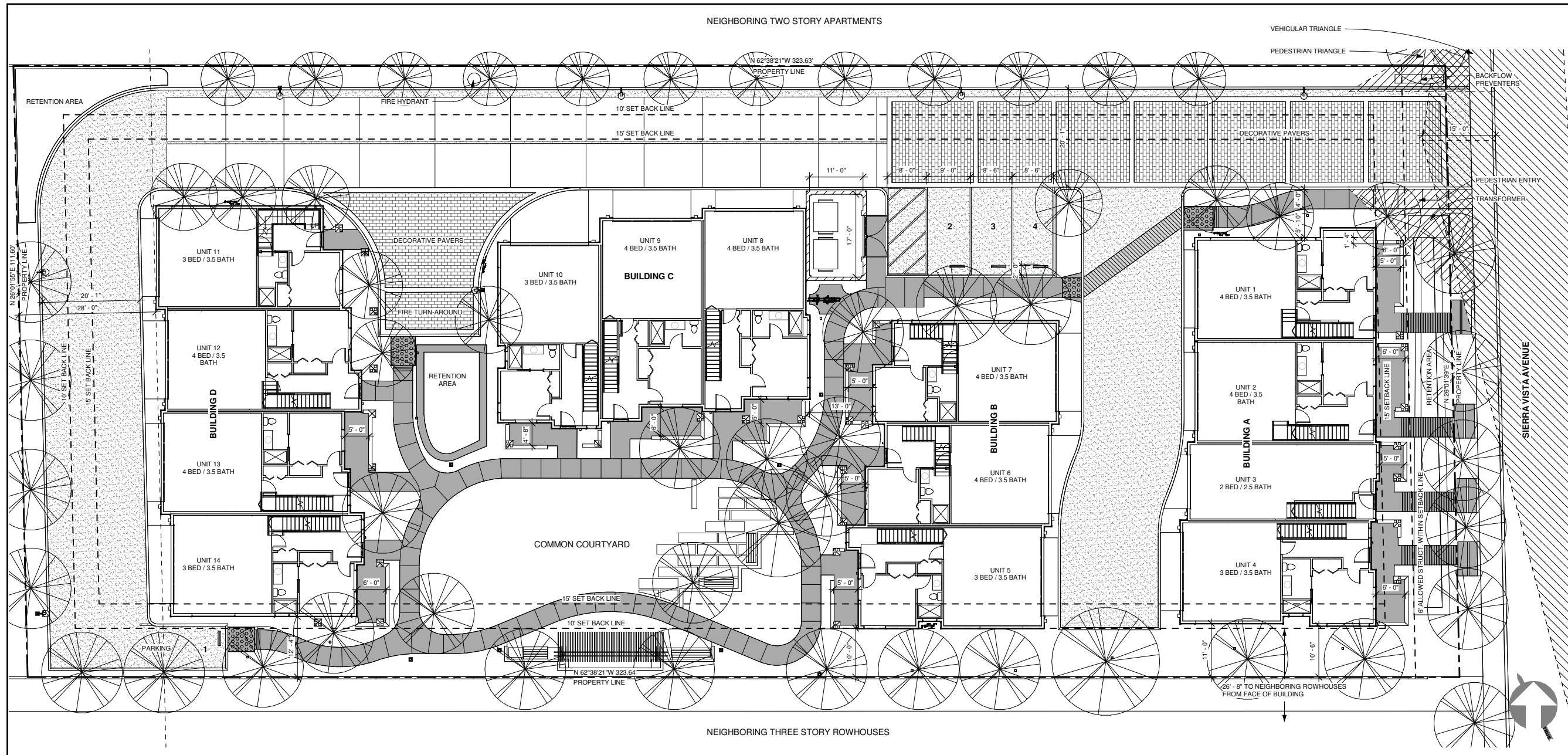
**SIERRA VISTA
 ROWHOUSES**
 410 & 414 SIERRA VISTA
 AVE, MOUNTAIN VIEW

**DEMO & TREE
 REMOVAL PLAN**

Job SIE 2016 006
 Date 2018.04.18
 Drawn By LAB

A1.00
 Scale As indicated





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**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

SITE PLAN

Job SIE 2016 006
Date 2018.04.18
Drawn By LAB

A1.01

Scale As indicated

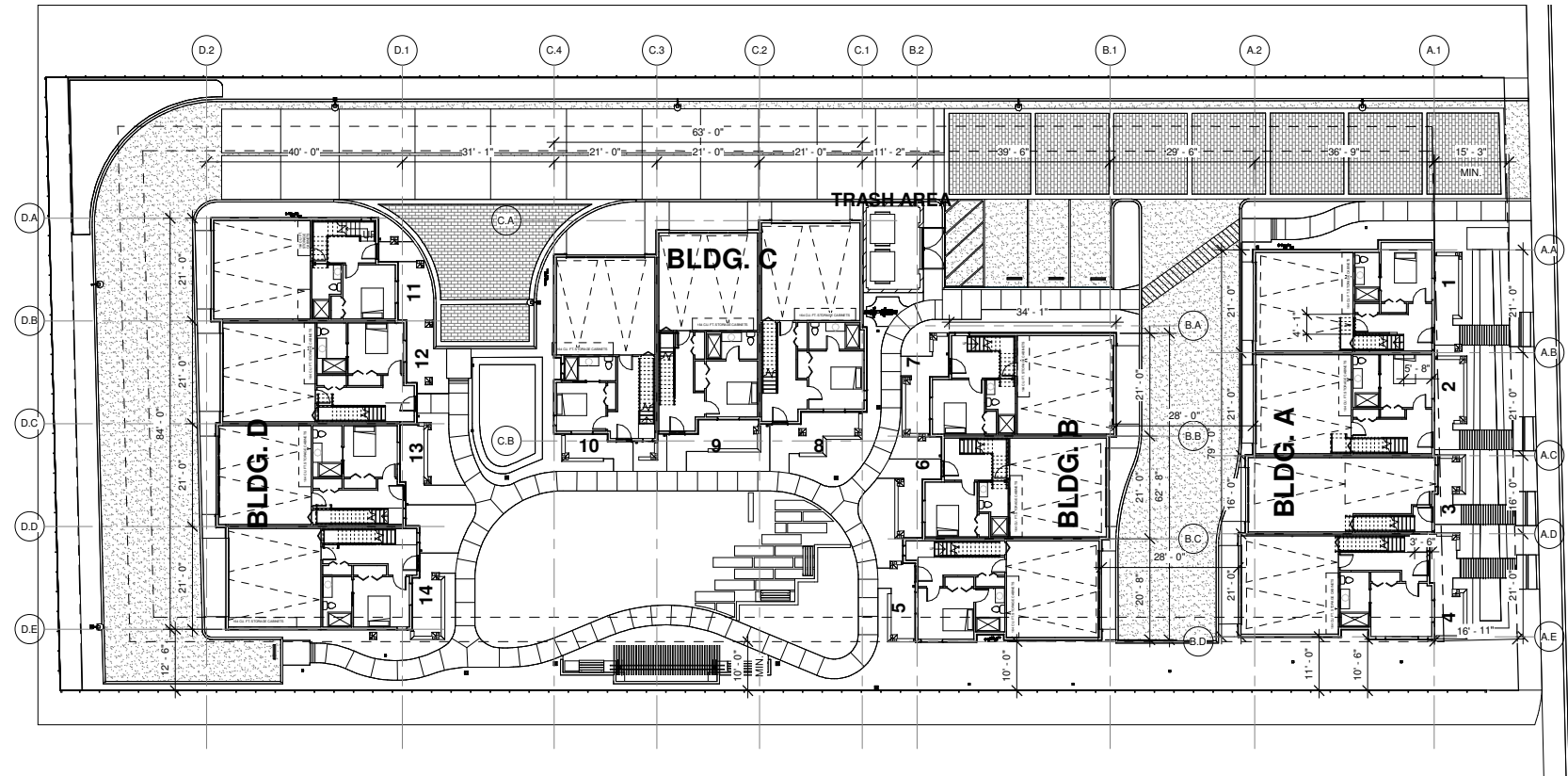
SITE PLAN 1" = 10'-0" 1

SITE PLAN NOTES

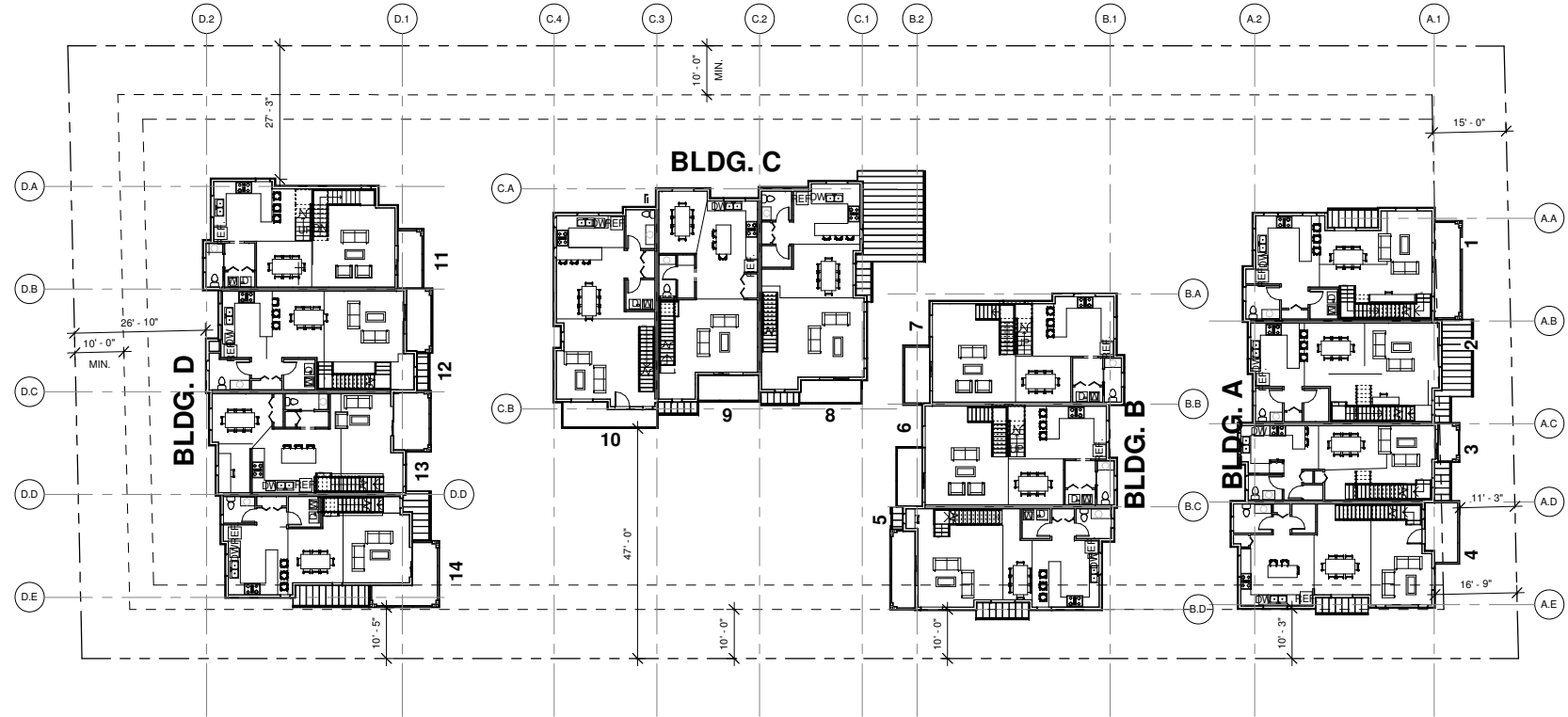
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION PERTAINING TO PLANTING, LANDSCAPING, SCREENING, PAVING, FENCE DESIGN, AND IRRIGATION NOT SHOWN HERE.
- SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN HERE, INCLUDING LOCATIONS OF UTILITIES.

SITE PLAN LEGEND

SPOT GRADE	
PROPERTY LINE	
SETBACK LINE	
(E) TREE TO REMAIN	
(N) TREE	
(N) PAVERS	
(N) CONCRETE	
GAS METERS	



OVERALL FIRST FLOOR PLAN 1/16" = 1'-0" 1



OVERALL SECOND FLOOR PLAN 1/16" = 1'-0" 2



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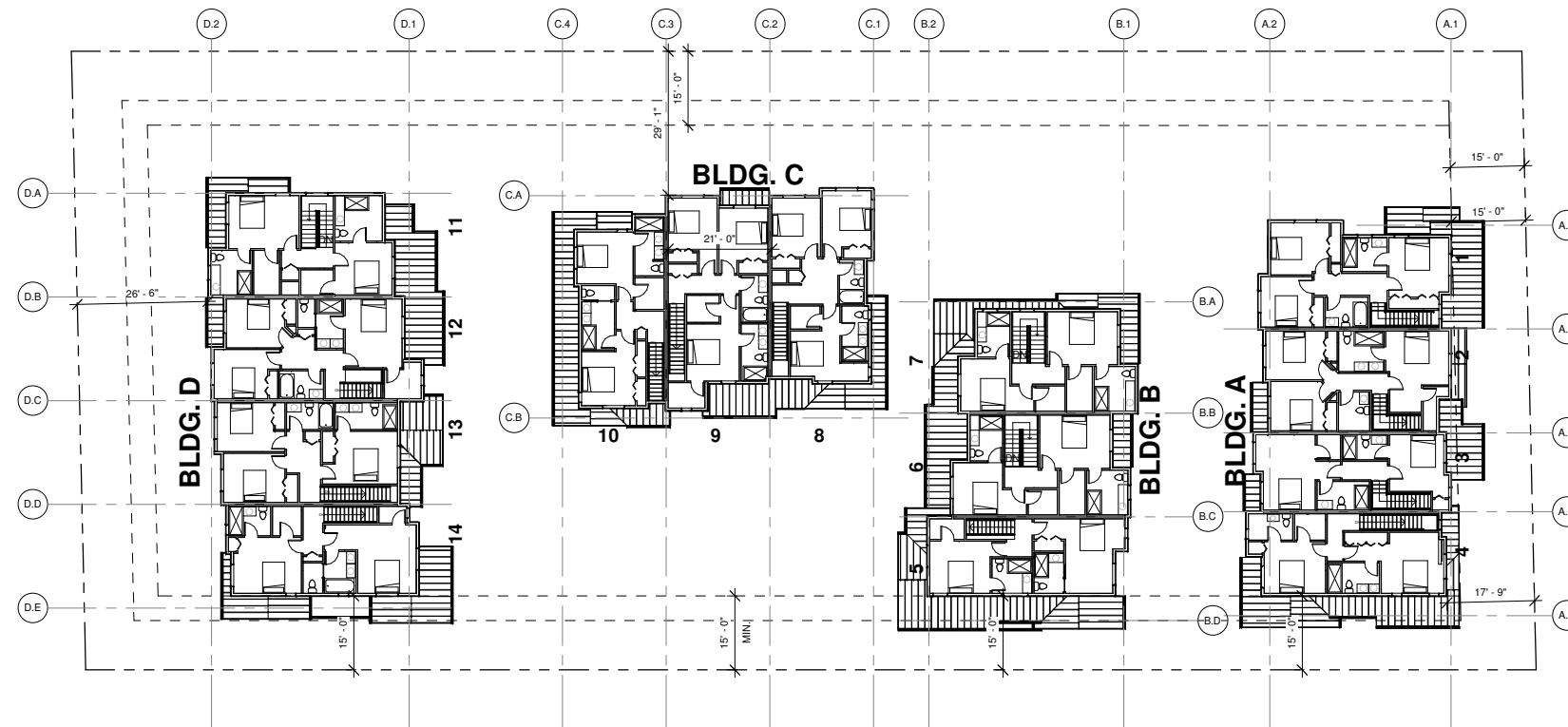
**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**OVERALL FIRST
& SECOND
FLOOR PLANS**

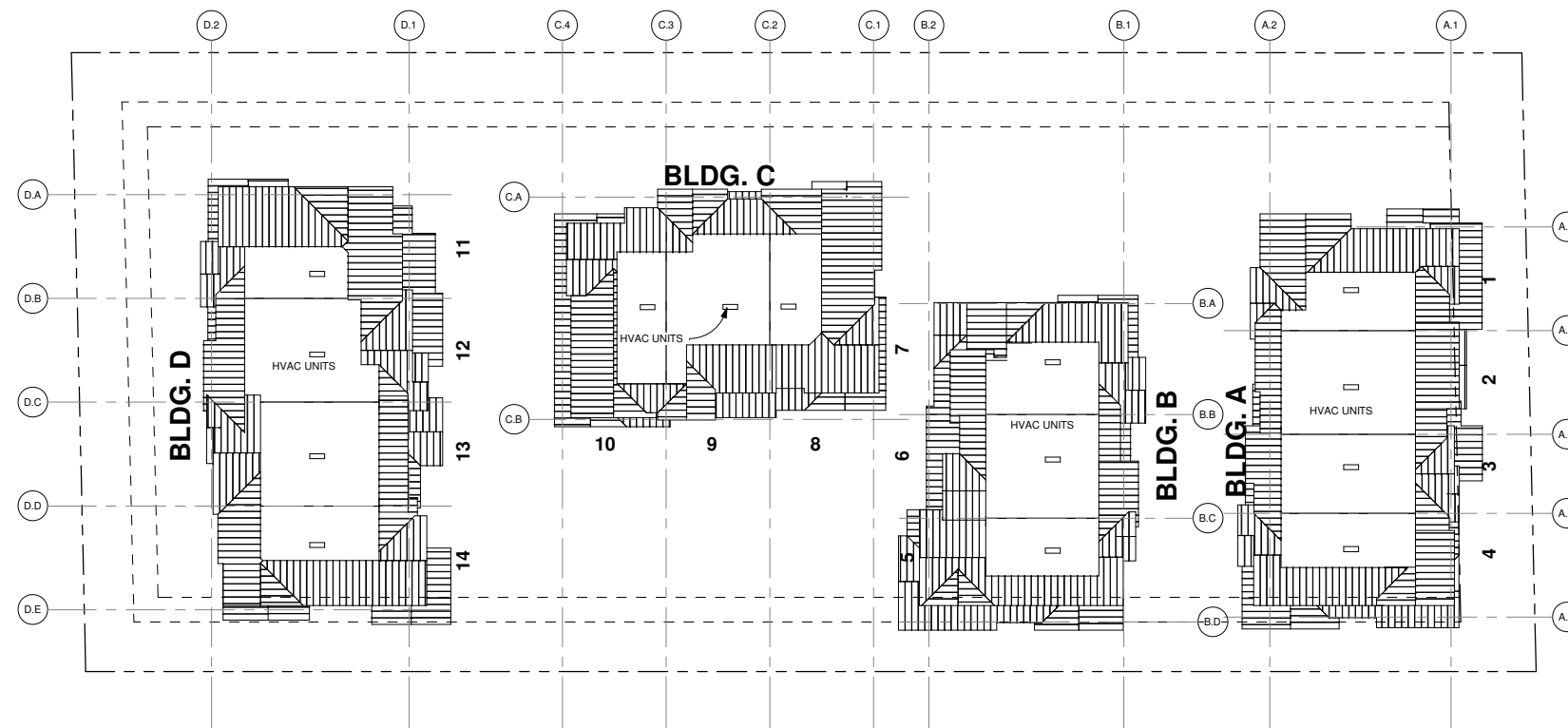
Job SIE 2016 006
Date 2018.04.18
Drawn By LAB

A2.01

Scale 1/16" = 1'-0"



OVERALL THIRD FLOOR PLAN 1/16" = 1'-0" 1



OVERALL ROOF PLAN 1/16" = 1'-0" 2

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**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**OVERALL
THIRD FLOOR &
ROOF PLANS**

Job SIE 2016 006
Date 2018.04.18
Drawn By LAB

A2.02

Scale 1/16" = 1'-0"



FULL WEST ELEVATION 3/32" = 1'-0" 4



FULL EAST ELEVATION 3/32" = 1'-0" 1

ELEVATION MATERIAL KEYNOTES

- WALL FINISHES:**
 S1 SMOOTH HORIZONTAL & SHINGLE LAP SIDING, BENJAMIN MOORE, SCENIC DRIVE 697
 S2 SMOOTH HORIZONTAL & SHINGLE LAP SIDING, BENJAMIN MOORE, LENAX TAN HC-44
 S3 SMOOTH HORIZONTAL & SHINGLE LAP SIDING, BENJAMIN MOORE, DUNMORE CREAM HC-29
- DOOR FINISHES:**
 D1 BENJAMIN MOORE, YARKTOWNE GREEN HC-133
 D2 BENJAMIN MOORE, COUNTRY RED WOOD
 D3 BENJAMIN MOORE, CHARLESTON BROWN
- ROOFING:**
 MR STANDING SEAM METAL, WESTERN LOCK, COOL WEATHER COPPER
- TRIM:**
 FT BENJAMIN MOORE, CREAMY WHITE OC-7
- WINDOWS:**
 W1 H3 CASEMENT ALUMINUM CLAD WOOD, SIERRA PACIFIC, WHITE
- METAL RAILING:**
 BR BLACK PATINA



FULL SOUTH ELEVATION 3/32" = 1'-0" 2



FULL NORTH ELEVATION 3/32" = 1'-0" 3

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**SIERRA VISTA
 ROWHOUSES**
 410 & 414 SIERRA VISTA
 AVE, MOUNTAIN VIEW

**OVERALL
 EXTERIOR
 ELEVATIONS**

Job SIE 2016 006
 Date 2018.04.18
 Drawn By LAB

A3.01

Scale As indicated

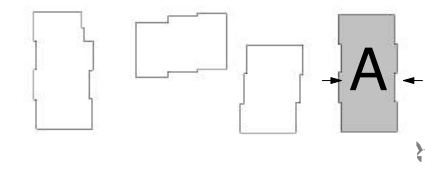


BUILDING A - EAST ELEVATION 3/16" = 1'-0" 1



BUILDING A - WEST ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING A



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**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING A
ELEVATIONS**

Job SIE 2016 006
Date 2018.04.18
Drawn By LAB

A3.11

Scale As indicated

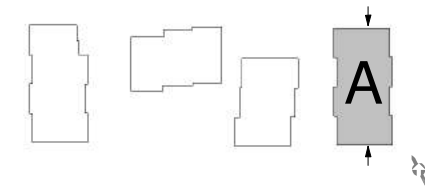


BUILDING A - NORTH ELEVATION 3/16" = 1'-0" 1



BUILDING A - SOUTH ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING A



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**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING A
ELEVATIONS**

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Date 2018.04.18
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A3.12

Scale As indicated

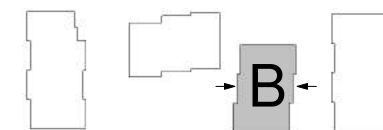


BUILDING B - EAST ELEVATION 3/16" = 1'-0" 1



BUILDING B - WEST ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING B



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**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING B
ELEVATIONS**

Job SIE 2016 006
Date 2018.04.18
Drawn By LAB

A3.21

Scale As indicated

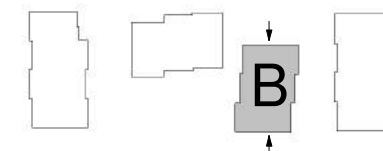


BUILDING B - NORTH ELEVATION 3/16" = 1'-0" 1



BUILDING B - SOUTH ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING B



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**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING B
ELEVATIONS**

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Date 2018.04.18
Drawn By LAB

A3.22

Scale As indicated

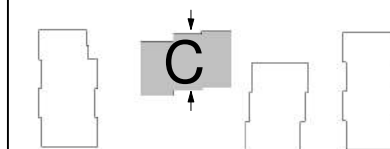


BUILDING C - NORTH ELEVATION 3/16" = 1'-0" 1



BUILDING C - SOUTH ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING C



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ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING C
ELEVATIONS**

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Date 2018.04.18
Drawn By LAB

A3.31

Scale As indicated

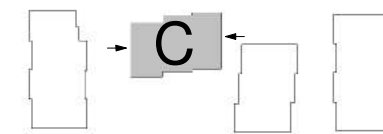


BUILDING C - EAST ELEVATION 3/16" = 1'-0" 1



BUILDING C - WEST ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING C



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ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING C
ELEVATIONS**

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Drawn By LAB

A3.32

Scale As indicated

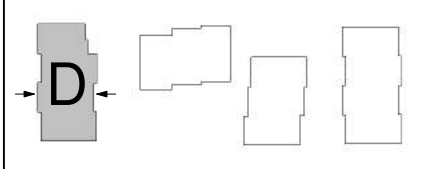


BUILDING D - EAST ELEVATION 3/16" = 1'-0" 1



BUILDING D - WEST ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING D



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ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING D
ELEVATIONS**

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Date 2018.04.18
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A3.41

Scale As indicated

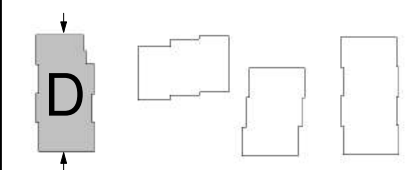


BUILDING D - NORTH ELEVATION 3/16" = 1'-0" 1



BUILDING D - SOUTH ELEVATION 3/16" = 1'-0" 2

KEY MAP - BUILDING D



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**SIERRA VISTA
ROWHOUSES**
410 & 414 SIERRA VISTA
AVE, MOUNTAIN VIEW

**BUILDING D
ELEVATIONS**

Job SIE 2016 006
Date 2018.04.18
Drawn By LAB

A3.42

Scale As indicated

LEGEND

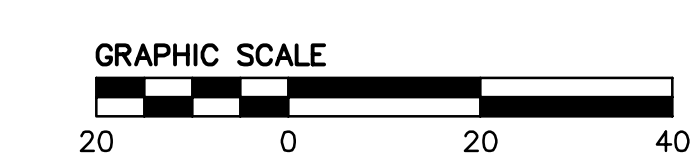
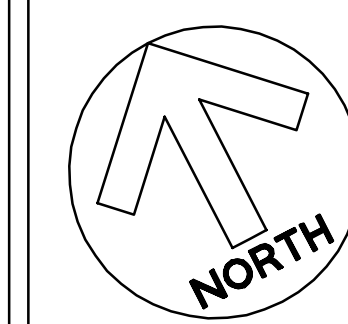
	PROPERTY LINE
	PROPERTY LINE (TO BE REMOVED)
	ADJACENT LOT LINE
	STREET CENTER LINE
	MONUMENT LINE
	GAS MAIN
	WATER MAIN
	ELECTRICAL LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE (AERIAL TOPO)
	JOINT UTILITY TRENCH
	OVER HEAD WIRE
	UNDERGROUND TELEPHONE
	FENCE
	ABANDON EX. UTILITY LATERAL
	CURB, GUTTER, AND SIDEWALK WITH DRIVEWAY
	EXISTING CONTOUR LINES
	CATCH BASIN
	STORM DRAIN INLET
	WATER METER
	WATER VALVE
	ELECTRIC PULLBOX
	ELECTRIC & GAS METER
	FIRE HYDRANT
	UTILITY BOX (GENERAL)
	TELEPHONE BOX
	MANHOLE (UNSPECIFIED)
	TELEPHONE MANHOLE
	STORM DRAIN MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER LATERAL
	ELECTROLIER
	STREETLIGHT
	STREET LIGHT PULL BOX
	POWER POLE
	POWER POLE
	JOINT UTILITY POLE
	SURVEY CONTROL PT
	STREET MONUMENT (SURVEY)
	WATER METER
	TREE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN

EXISTING CONDITIONS NOTES

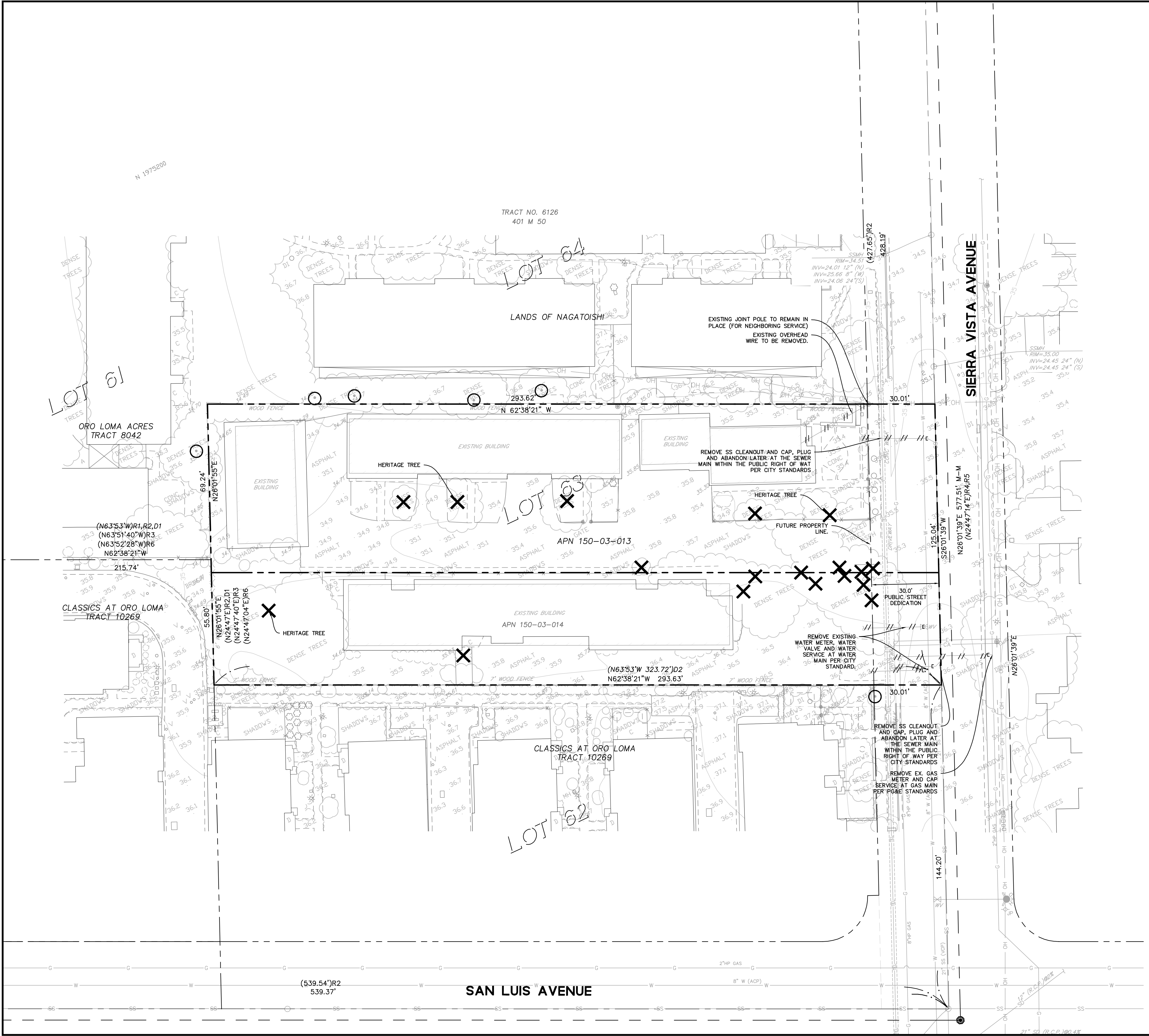
- 1.) PER THE TITLE REPORT FOR SUBJECT SITE, AN EASEMENT PER 563 O.R. 422 FOR PG&E ELECTRIC OVERHEAD LINES AT SIERRA VISTA AVENUE CANNOT BE MAPPED SINCE THE ELECTRIC LINES AND POLES NO LONGER EXIST AS DESCRIBED IN SAID DOCUMENT. PER THE FIELD SURVEY AND INSPECTION OF SUBJECT SITE, NO OVERHEAD WIRES OR POLES EXIST AT THIS PROJECT SITE FRONTAGE. THIS EASEMENT OR PORTION OF THIS EASEMENT APPURTENANT TO SUBJECT SITE CAN ONLY BE QUITCLAIMED BY PG&E.
- 2.) SITE IS TO BE CLEARED AND GRUBBED PRIOR TO THE START OF CONSTRUCTION.
- 3.) ALL EXISTING ON SITE UTILITY LATERALS TO BE ABANDONED AFTER PROPERTY LINE.
- 4.) ALL UTILITIES SERVING 410 & 414 SIERRA VISTA ARE TO BE ABANDONED OR REMOVED BY SERVICE PROVIDERS STANDARDS.
- 5.) SEE LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.
- 6.) AERIAL SURVEY WAS PERFORMED BY AMERICAN AERIAL MAPPING ON 8/8/2016.
- 7.) TOPOGRAPHIC SURVEY WAS PERFORMED BY BKF ENGINEERS ON 8/26/2016.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	S	SLOPE
ACP	ASBESTOS CEMENT PIPE	SD	STORM DRAIN
BV	BLOW OFF VALVE	SDDI	STORM DRAIN DROP INLET
CB	CATCH BASIN	SSMH	SANITARY SEWER MANHOLE
DWY	DRIVEWAY	T	TREE
EP	EDGE OF PAVEMENT	TC	TOP OF CURB
HP	HIGH PRESSURE	VCP	VITRIFIED CLAY PIPE
INV	INVERT	WB	WATER BOX
L	LENGTH	WV	WATER VALVE
LG	LIP OF GUTTER	E	EAST
R	RADIUS	N	NORTH
		S	SOUTH
		W	WEST

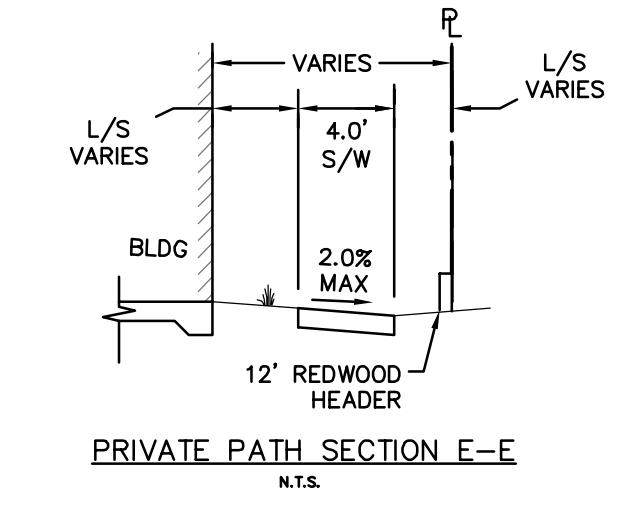
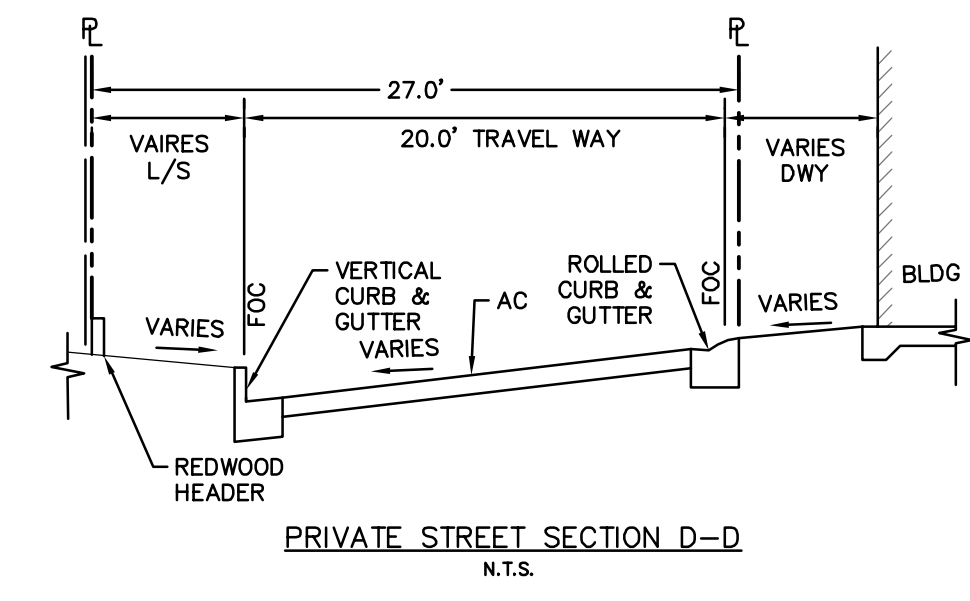
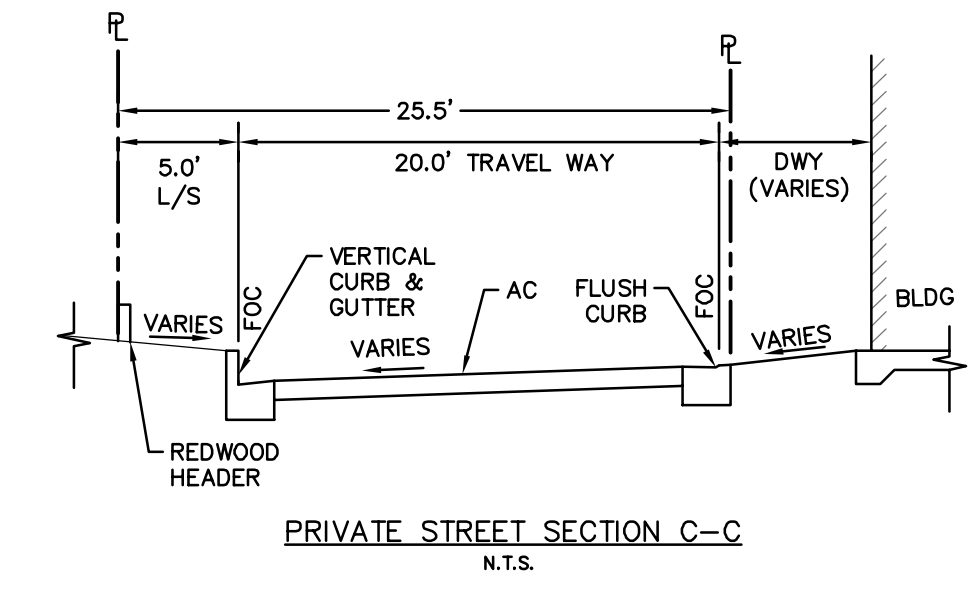
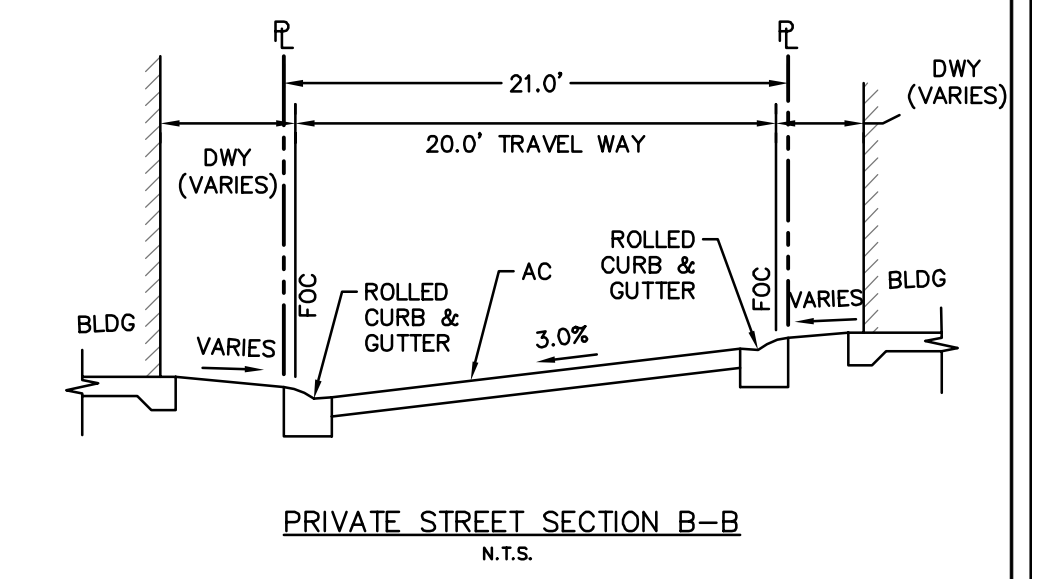
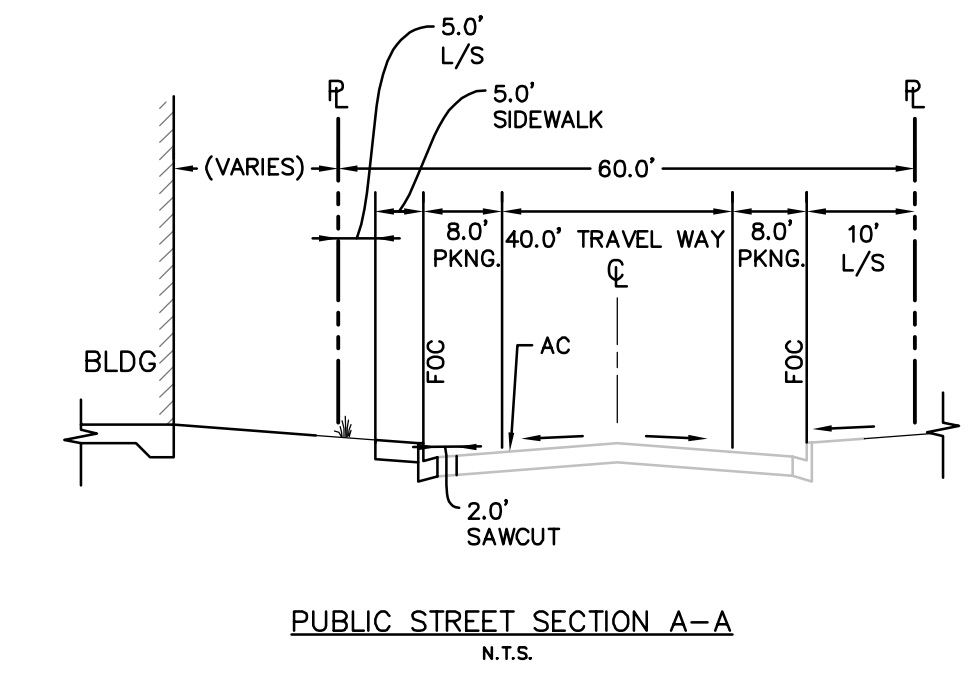
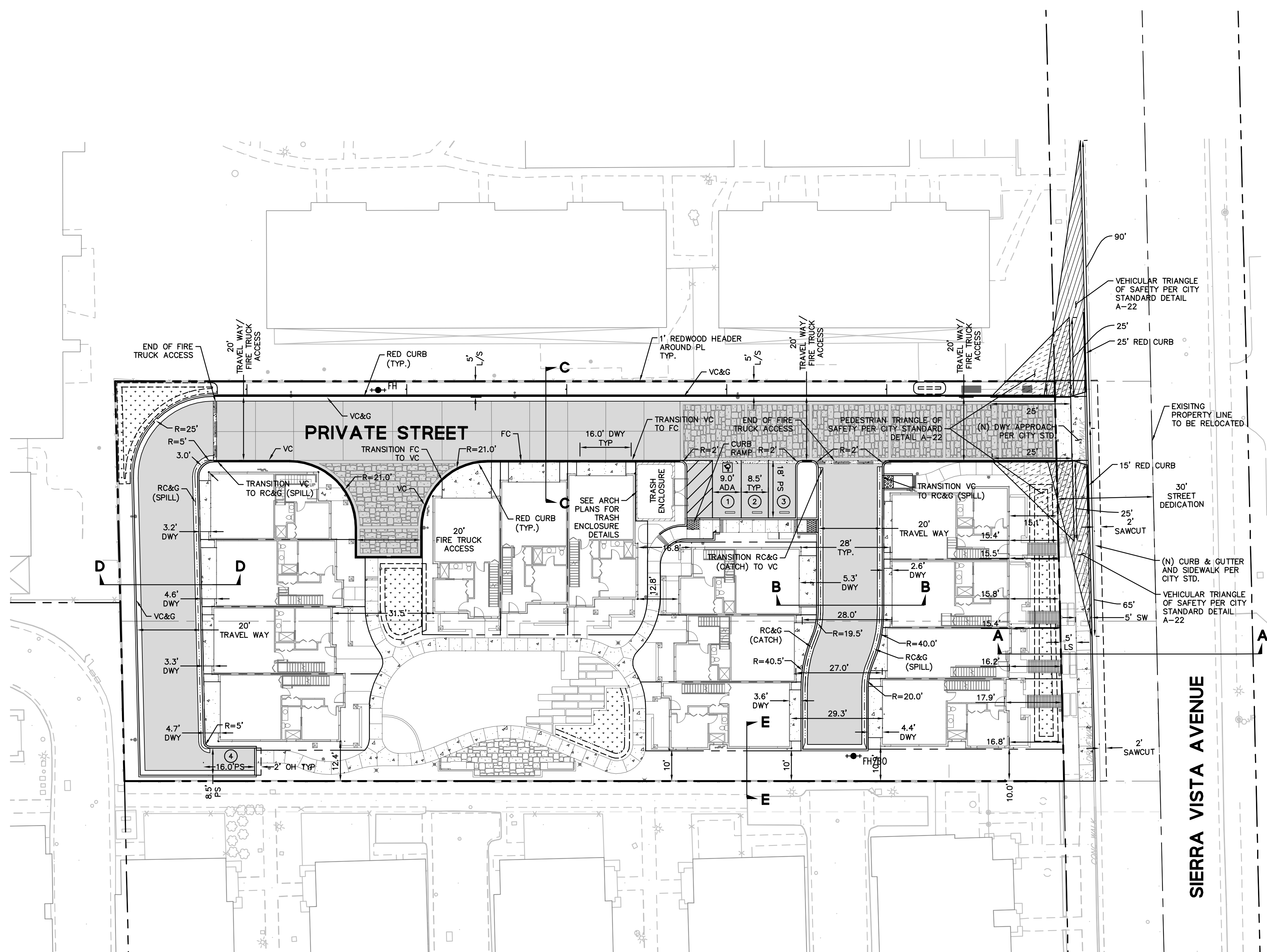


DRAWING NAME: K:\2016\166109_410&414_Sierra_Vista_Ave_W\ENG\PLANNING\SHEETS\01-410&415SV-EC1.0.dwg
PLOT DATE: 05-15-18 PLOTTED BY: kozo



SAN LUIS AVENUE

DRAWING NAME: K:\2016\166109_410&414_Sierra_Vista_Ave_MV\ENG\PLANNING\SHEETS\02-410&415SV-SP2_0.dwg
PLOT DATE: 05-15-18 PLOTTED BY: kozo



LEGEND

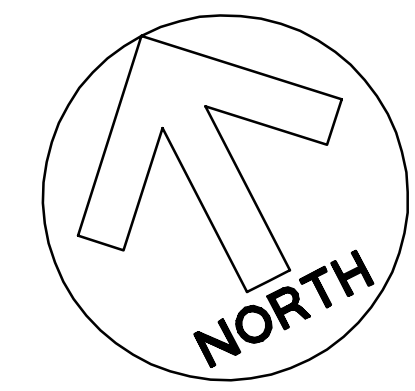
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- STREET CENTER LINE
- VERTICAL CURB/FLUSH CURB
- VERTICAL CURB & GUTTER
- VALLEY GUTTER
- ROLLED CURB & GUTTER
- FIRE LANE SIGNAGE: "NO PARKING-FIRE LANE"
- BIORETENTION BASIN
- END OF FIRE TRUCK ACCESS
- SAW CUT LINE
- RED CURB WITH STENCIL "NO PARKING-FIRE LANE" IN WHITE ON TOP AND SIDE OF CURB EVERY 50'
- NEW ASPHALTIC CONCRETE
- NEW CONCRETE
- FIRE TRUCK ACCESS
- PARKING STALL

ABBREVIATIONS

DWY	DRIVEWAY	RC&G	ROLLED CURB AND GUTTER
FC	FLUSH CURB	STD.	STANDARD
FOC	FACE OF CURB	TYP	TYPICAL
L/S	LANDSCAPE	VC&G	VERTICAL CURB AND GUTTER
N.T.S.	NOT TO SCALE		
OH	OVERHANG		
PKNG.	PARKING		
PL	PROPERTY LINE		
PS	PARKING STALL		
R	RADIUS		

NOTE

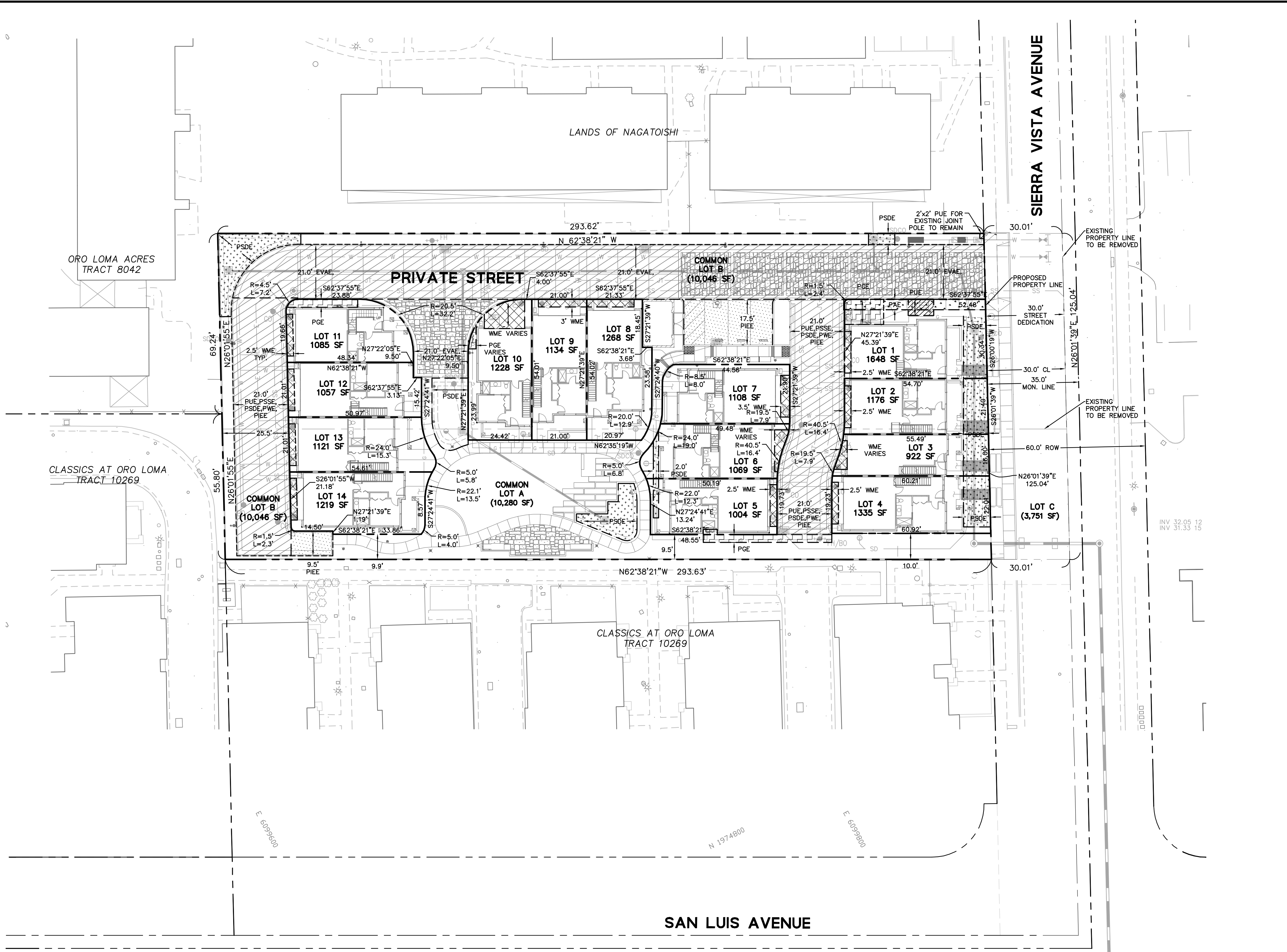
- PER RECOLOGY, GARBAGE IS TO ACCESS THE SITE, LOAD FROM THE BINS AND BACK OUT, APPROXIMATELY 120' FROM PROPERTY LINE TO THE TRASH ENCLOSURE.



Revisions

Date	05/15/2018	No.	
Scale	1"=20'	Design	JB
Drawn	NK	Approved	PC
Drawing Number:	C2.0		
	3 OF 9		

DRAWING NAME: K:\2016\166109_410&414_Sierra_Vista_Ave_MV\ENGL\PLANNING\SHEETS\03-410&415SV-TM3.0.dwg
 PLOT DATE: 05-15-18 PLOTTED BY: k020



LEGEND

	PROPERTY LINE
	LOT LINE
	EASEMENT LINE
	ADJACENT PROPERTY LINE
	STREET CENTER LINE (PUE/PSSE/PSDE/PWE/PIEE)
	PRIVATE STORM DRAIN EASEMENT (PSDE)
	WATER METER EASEMENT (PWME)
	PRIVATE GAS EASEMENT (PGE)
	PRIVATE INGRESS EGRESS EASEMENT (PIEE)
	PRIVATE ACCESS EASEMENT (PAE)

GENERAL NOTES

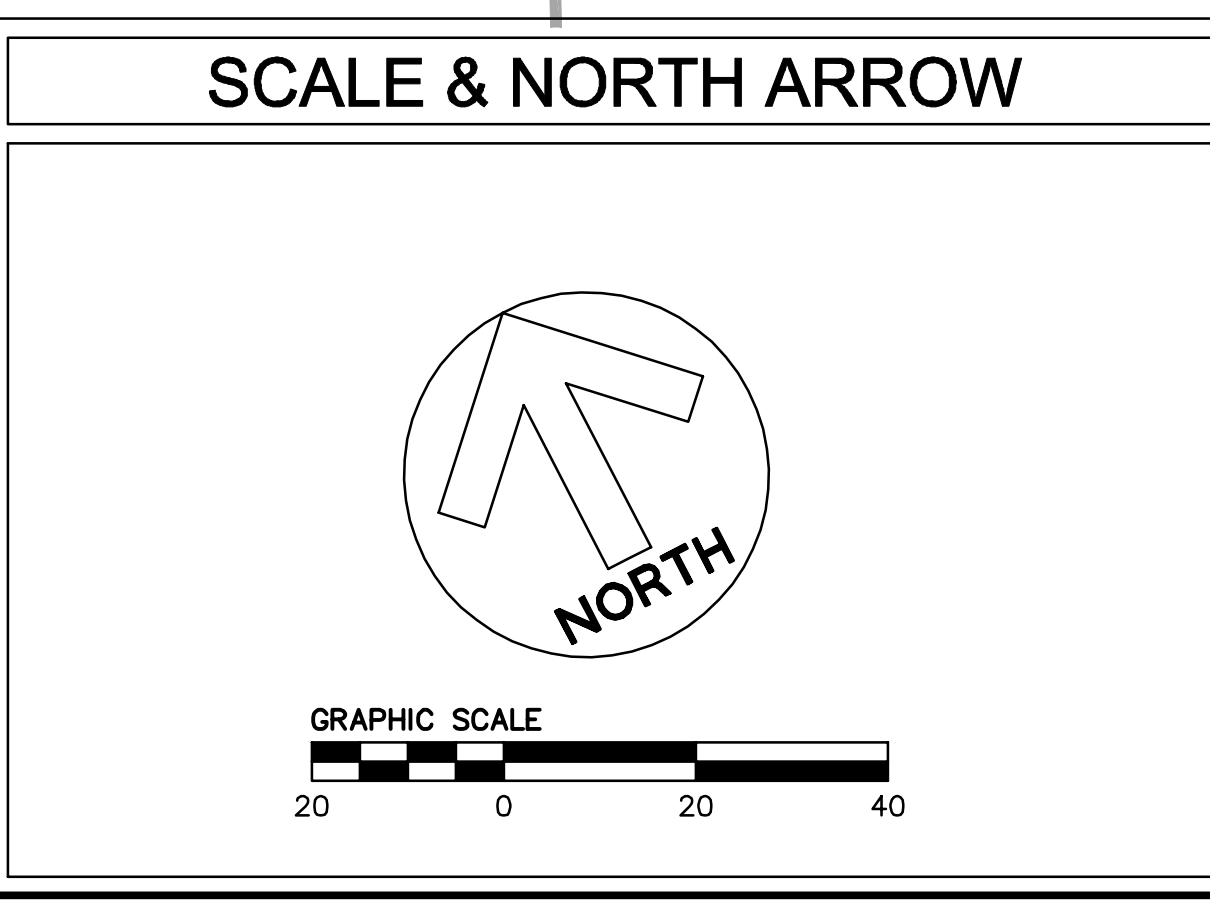
- OWNER: D&C DEVELOPMENT, INC.
- DEVELOPER: D&C DEVELOPMENT, INC.
 349 FIRST STREET, SUITE J
 LOS ALTOS, CA. 94022
 CONTACT: KEVIN DeNARDI
 (650)917-9414
- CIVIL ENGINEER: BKF ENGINEERS
 1730 N. FIRST STREET, SUITE 600
 SAN JOSE, CA. 95112
 CONTACT: PATRICK CHAN
 (408)467-9100
- PROPERTY DESCRIPTION: PORTION OF LOT 63
 "MAP OF ORO LOMA ACRES"
 RECORDED JULY 24, 1930
 VOLUME Y OF MAPS,
 PAGES 18 & 19
- ASSESSORS PARCEL NO.: 150-03-13
- GENERAL PLAN: MEDIUM-DENSITY RESIDENTIAL
- EXISTING ZONING: R3
- PROPOSED ZONING: R3
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- GROSS AREA: 0.84± ACRES
 (AFTER STREET DEDICATION)
- NUMBER OF UNITS: 14
- NUMBER OF LOTS: 16
- UTILITIES

A. WATER:	PUBLIC STREETS:	CITY OF MOUNTAIN VIEW
	PRIVATE STREETS:	HOME OWNERS ASSOCIATION
B. SANITARY SEWER:	PUBLIC STREETS:	CITY OF MOUNTAIN VIEW
	PRIVATE STREETS:	HOME OWNERS ASSOCIATION
C. STORM DRAIN:	PUBLIC STREETS:	CITY OF MOUNTAIN VIEW
	PRIVATE STREETS:	HOME OWNERS ASSOCIATION
D. GAS/ELECTRIC:	PUBLIC STREETS:	PACIFIC GAS & ELECTRIC
E. TELEPHONE:	PRIVATE STREETS:	AT&T/SBC
F. CABLE TV:		COMCAST
- BENCHMARK: CITY OF MOUNTAIN VIEW DISK IN TOP OF CURB AT CATCH BASIN AT S SOUTHWEST CORNER AT INTERSECTION OF SIERRA VISTA AVENUE AND MONTECINO AVENUE, STAMPED 111-57 (ELEV. 41.82)
- TOPOGRAPHY: INFORMATION SHOWN IS BASED ON ARIEL SURVEY PREPARED BY AMERICAN AERIAL MAPPING, DATED 08/08/16.
- LOT SIZES: THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY MAP NO. 06085C0037H, DATED MAY 18, 2009

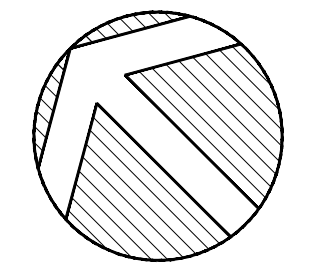
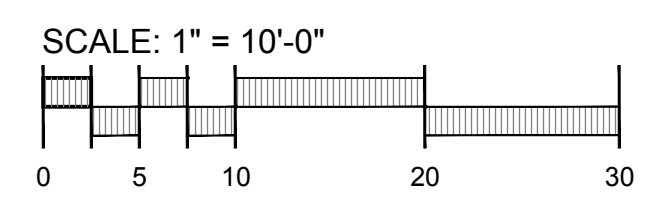
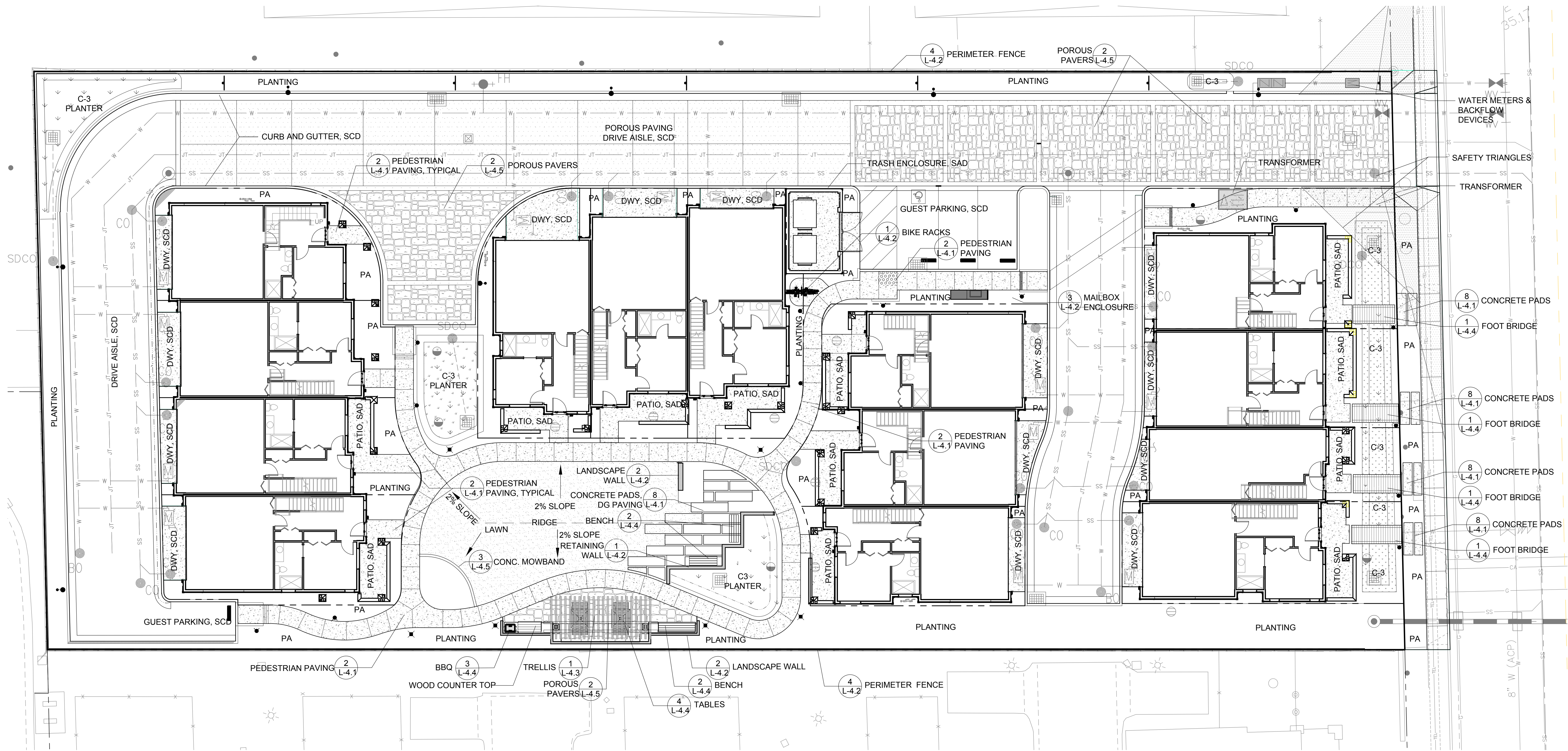
COMMON LOT A	10,281 SF (COMMON PARCEL INCLUDES PAE, PSDE, PGE, PIEE)
COMMON LOT B	10,046 SF (COMMON PARCEL INCLUDES EVAE, PUE, PWE, PSDE, PSSE, PWME, PGE, PIEE)
LOT C	3,751 SF TO BE DEDICATED IN FEE TO THE CITY
LOT 1-14 TOTAL	16,374 SF 36,701 SF
18. EASEMENTS:	EVAE EMERGENCY VEHICLE ACCESS EASEMENT PUE PRIVATE UTILITY EASEMENT PWE PRIVATE WATER EASEMENT PSSE PRIVATE SANITARY SEWER EASEMENT PSDE PRIVATE STORM DRAIN EASEMENT PWME PRIVATE WATER METER EASEMENT PGE PRIVATE GAS EASEMENT PIEE PRIVATE INGRESS EGRESS EASEMENT PAE PRIVATE ACCESS EASEMENT

NOTES CONTINUED

- PER THE TITLE REPORT FOR SUBJECT SITE, AN EASEMENT PER 563 O.R. 422 FOR PG&E ELECTRIC OVERHEAD LINES AT SIERRA VISTA AVENUE CANNOT BE MAPPED SINCE THE ELECTRIC LINES AND POLES NO LONGER EXIST AS DESCRIBED IN SAID DOCUMENT. PER THE FIELD SURVEY AND INSPECTION OF SUBJECT SITE, NO OVERHEAD WIRES OR POLES EXIST AT THIS PROJECT SITE FRONTAGE. THIS EASEMENT OR PORTION OF THIS EASEMENT APPURTENANT TO SUBJECT SITE CAN ONLY BE QUITCLAIMED BY PG&E.



Date	05/15/2018
Scale	1"=20'
Design	JB
Drawn	NK
Approved	PC
Job No	201616109
Drawing Number:	C3.0
	4 OF 9



LAYOUT PLAN

PRELIMINARY LANDSCAPE PLAN

410-414 Serra Vista Ave.
Mountain View, California

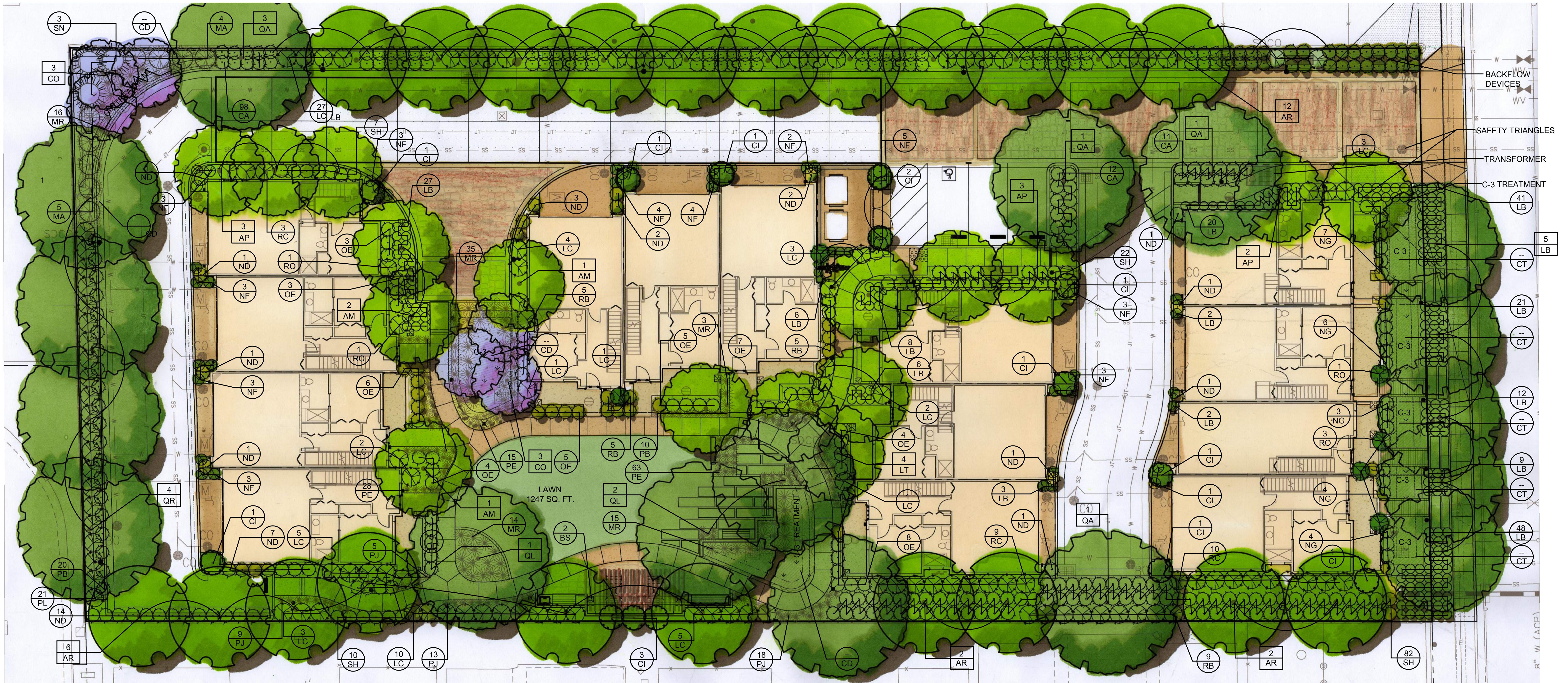


LEVESQUE DESIGN

1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: April 20, 2018
Job: 16-127

L-3.1



PLANT LIST:

SYM.	SIZE	WUCOLS	BOTANIC NAME	COMMON NAME	
AR	24" box	Mod	Acer R. 'Redpointe'	Redpointe Red Maple	40' T x 20' W
AP	24" box	Mod	Acer p. 'Sango Kaku'	Coral Bark Japanese Maple	15'-20' T & W
AM	24" box	Low	Arbutus 'Marina'	Strawberry tree	20'-40' T x 20'-30' W
CI	15 gal.	Low	Cupressus sempervirens	Italian Cypress	60' T x 4'-6' W
CO	15 gal.	Low	Cercis occidentalis	Western Redbud	10'-18' T x 10'-18' W
LB	24" box	Mod	Lophostemon confertus	Brisbane Box	30'-40' T x 25' W
QA	24" box	Low	Quercus agrifolia	Coast Lvie Oak	20'-70' T x 25'-80' W
QL	36" Box	Low	Quercus lobata	Valley Oak	50-80' T x 50-80' W
MA	24" box	Mod	Juglans nigra	Black Walnut	33.6 DBH 40' T x 35' W
MR	24" box	Mod	Schinus molle	California Pepper	18.5 DBH 20' t & 30' W
MR	24" box	Mod	Morus alba	Mulberry	18.7 DBH 15' T & 15' W

Tree Mitigation
 3 Trees protected by city ordinance are to be removed.
 Tree #12
 Tree #13
 Tree #18

Shrubs:

LC	5 gal.	Low	Loropetalum chinense 'Ruby'	Ruby Chinese Fringe Flower
MA	15 gal.	Low	Mahonia agrifolia	Oregon Grape Holly
ND	5 gal.	Low	Nandina d. 'Plum Passion'	Heavenly Bamboo
NG	5 gal.	Low	Nandina d. 'Gulf Stream'	Gulf Stream Heavenly Bamboo
NF	1 gal.	Low	Nepeta x faassenii	Cat Mint
OE	5 gal.	Low	Olea europaea 'Montra'	Little Ollie Dwarf Olive
PL	5 gal.	Low	Pyracantha 'Lowboy'	Dwarf Firethorn
RB	5 gal.	Low	Rhaphiolepis i. 'Ballerina'	Indian Hawthorn
RC	5 gal.	Low	Rhaphiolepis i. 'Clara'	Indian Hawthorn
RO	15 gal.	Low	Rosemarinus o. 'Tuscan Blue'	Tuscan Blue Rosemary
SH	5 gal.	Low	Sarcococca h. ar. humilis	Himalayan Sweet Box
SN	5 gal.	Low	Sambucus nigra 'Effel 1'	Black Tower Elderberry

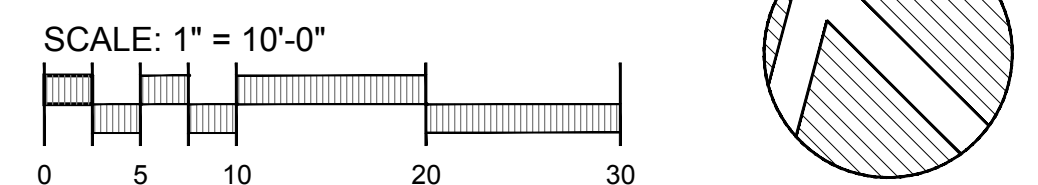
Grasses:

CA	5 gal.	Low	Calamagrostis 'Karl Foerster'	Feather Reed Grass
CD	1 gal.	Low	Carex divulsa	European Grey Sedge
CT	5 gal.	Low	Chondropetalum tetorum	Small Cape Rush
LB	5 gal.	Low	Lomandra longifolia 'Breeze'	Dwarf Mat Rush
MR	1 gal.	Low	Muhlenbergia rigens	Deer Grass
PB	1 gal.	Low	Phormium tenax 'Black Adder'	New Zealand Flax
PD	1 gal.	Low	Phormium tenax 'Duet'	New Zealand Flax
PJ	1 gal.	Low	Phormium tenax 'Jubilee'	New Zealand Flax

Vines:

BS	15 gal.	Low	Bougainvillea 'Scarlet O'Hara'	San Diego Red
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On Trellis



COLOR PLANTING PLAN

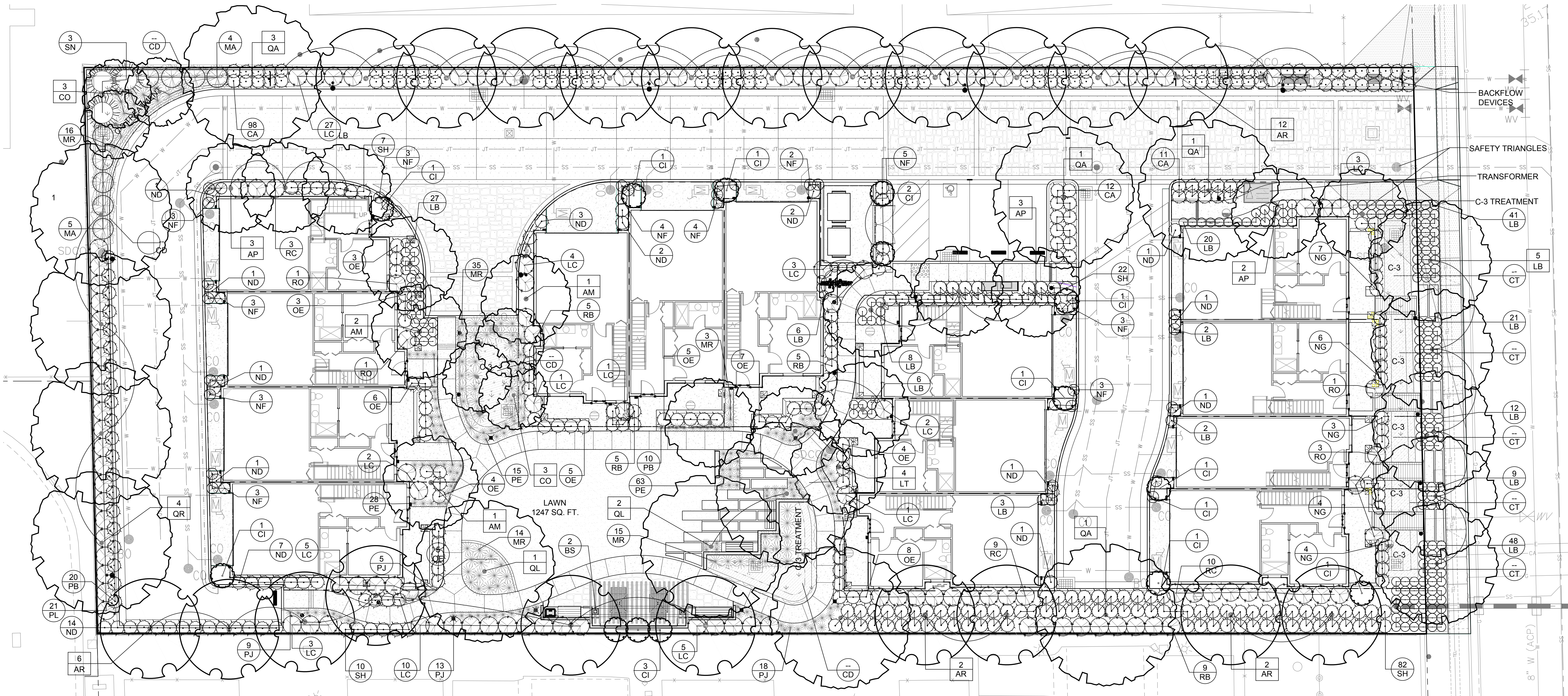
PRELIMINARY LANDSCAPE PLAN

410-414 Serra Vista Ave.
 Mountain View, California

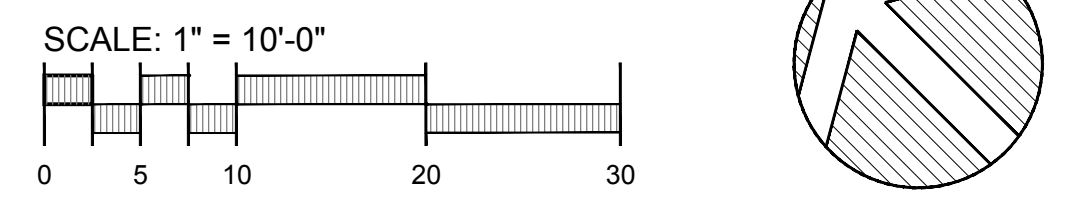
LEVESQUE DESIGN
 1414 BAY STREET, SUITE 100
 ALAMEDA, CALIFORNIA 94501
 (510) 521 6700

Date: April 20, 2018
 Job: 16-127

L-6.1



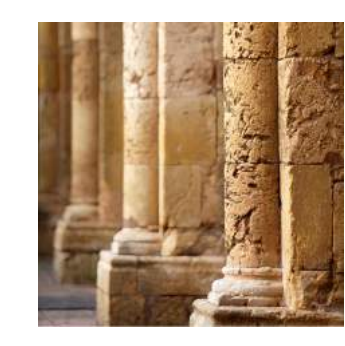
PLANT LIST:				Shrubs:				Grasses:									
SYM.	SIZE	WUCOLS	BOTANIC NAME	COMMON NAME	SYM.	SIZE	WUCOLS	BOTANIC NAME	COMMON NAME	SYM.	SIZE	WUCOLS	BOTANIC NAME	COMMON NAME			
Trees:				LC	5 gal.	Low		Loropetalum chinense 'Ruby'	Ruby Chinese Fringe Flower	CA	5 gal.	Low		Calamagrostis 'Karl Foerster'	Feather Reed Grass		
AR	24" box	Mod	Acer R. 'Redpointe'	Redpointe Red Maple	MA	15 gal.	Low	Mahonia agrifolia	Oregon Grape Holly	CD	1 gal.	Low		Carex divulsa	European Grey Sedge		
AP	24" box	Mod	Acer p. 'Sango Kaku'	Coral Bark Japanese Maple	ND	5 gal.	Low	Nandina d. 'Plum Passion'	Heavenly Bamboo	CT	5 gal.	Low		Chondropetalum tetorum	Small Cape Rush		
AM	24" box	Low	Arbutus 'Marina'	Strawberry tree	NG	5 gal.	Low	Nandina d. 'Gulf Stream'	Gulf Stream Heavently Bamboo	LB	5 gal.	Low		Lomandra longifolia 'Breeze'	Dwarf Mat Rush		
CI	15 gal.	Low	Cupressus sempervirens	Italian Cypress	NF	1 gal.	Low	Nepeta x faassenii	Cat Mint	MR	1 gal.	Low		Muhlenbergia rigens	Deer Grass		
CO	15 gal.	Low	Cercis occidentalis	Western Redbud	OE	5 gal.	Low	Olea europaea 'Montra'	Little Ollie Dwarf Olive	PB	1 gal.	Low		Phormium tenax 'Black Adder'	New Zealand Flax		
LB	24" box	Mod	Lophostemon confertus	Brisbane Box	PL	5 gal.	Low	Pyracantha 'Lowboy'	Dwarf Firethorn	PD	1 gal.	Low		Phormium tenax 'Duet'	New Zealand Flax		
QA	24" box	Low	Quercus agrifolia	Coast Lvie Oak	RB	5 gal.	Low	Rhaphiolepis i. 'Ballerina'	Indian Hawthorn	PJ	1 gal.	Low		Phormium tenax 'Jubilee'	New Zealand Flax		
QL	36" Box	Low	Quercus lobata	Valley Oak	RC	5 gal.	Low	Rhaphiolepis i. 'Clara'	Indian Hawthorn								
Tree Mitigation				RO	15 gal.	Low		Rosemarinus o. 'Tuscan Blue'	Tuscan Blue Rosemary								
3 Trees protected by city ordinance are to be removed.				SH	5 gal.	Low		Sarcococca h. ar. humilis	Himalayan Sweet Box								
Tree #12	Juglans nigra			Black Walnut	SN	5 gal.	Low	Sambucus nigra 'Effel 1'	Black Tower Elderberry								
Tree #13	Schinus molle			California Pepper						BS	15 gal.	Low		Bougainvillea 'Scarlet O'Hara'	San Diego Red	On Trellis	
Tree #18	Morus alba			Mulberry													



PLANTING PLAN PRELIMINARY LANDSCAPE PLAN

410-414 Serra Vista Ave.
Mountain View, California

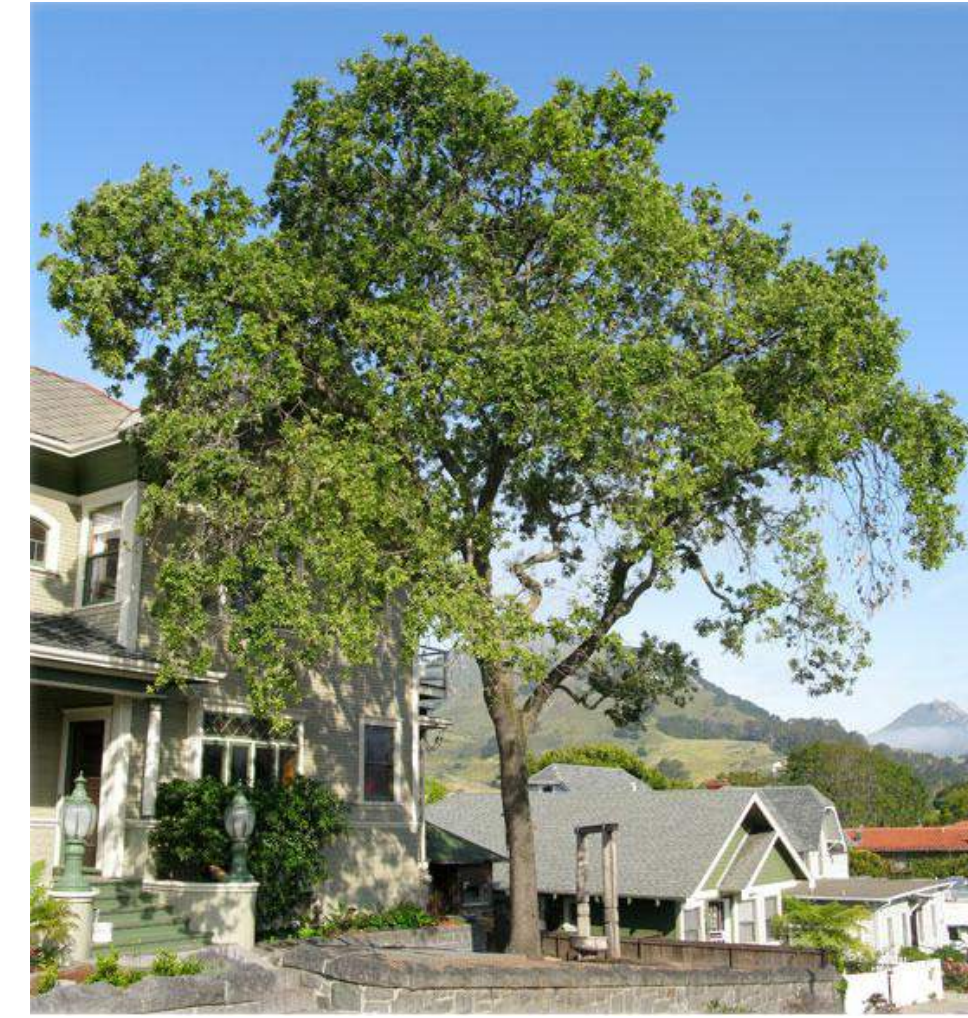
- LANDSCAPE NOTES:**
- TOTAL PLANTED AREA INCLUDING WATER FEATURES (NONE) IS 8672 SQUARE FEET.
 - ALL NEW LANDSCAPE AREAS SHALL BE MULCHED, SEE PLANTING NOTES, SHT, L-6.0.
 - ALL LAWN AREAS ARE ON SLOPES THAT DO NOT EXCEED 10%.
 - OVER 80% OF THE LANDSCAPE AREAS SHALL BE PLANTED WITH NATIVE OR DROUGHT TOLERANT PLANTS. SEE THE PLANT LIST ON L-6.1.
 - THE PLANTS SHALL BE APPROPRIATE FOR THE LOCATION IN ACCORDANCE WITH APPROPRIATE CLIMATE ZONES.
 - ALL OF THE ABOVE PRACTICES, SHALL BE USED IN THE BUILDING PLAN SUBMITTAL.
 - FINAL TREE LOCATIONS SHALL BE STAKED, PRIOR TO PLANTING FOR APPROVAL, AND SHALL BE 5' MIN. FROM WATER LINES AND 10' FROM SEWER LINES.



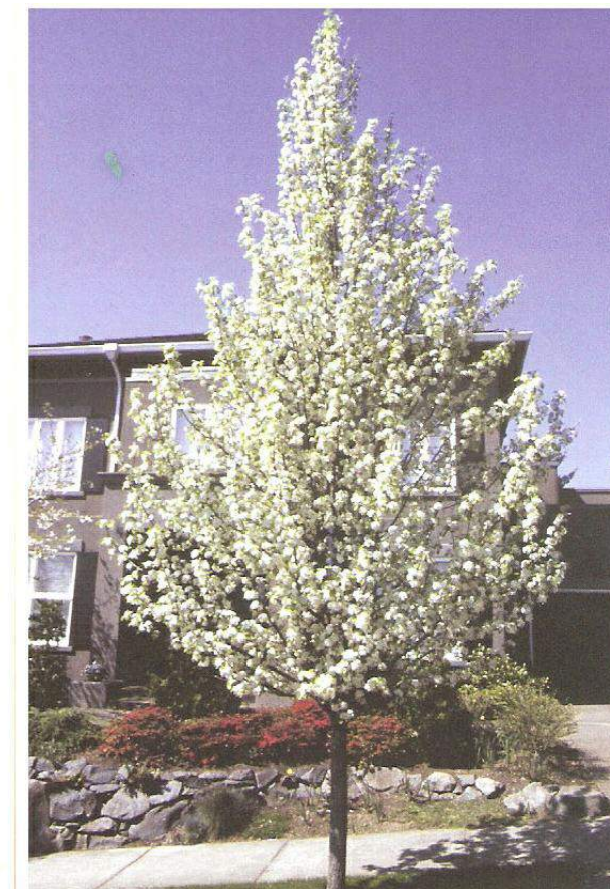
LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: April 20, 2018
Job: 16-127

L-6.1



○ QUERCUS LOBATA



○ ACER R. 'REDPOINTE'

○ LOPHOSTEMON CONFERTUS

○ PYRUS CALLERYANA 'CHANTICLEER'



○ BOUGAINVILLEA 'CLV'



○ ACER PALMATUM 'SANGO KAKU'

TREE PALETTE

VINE PALETTE

PRELIMINARY LANDSCAPE PLAN

410-414 Serra Vista Ave.
Mountain View, California



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(510) 521 6700

Date: April 20, 2018
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L-6.3



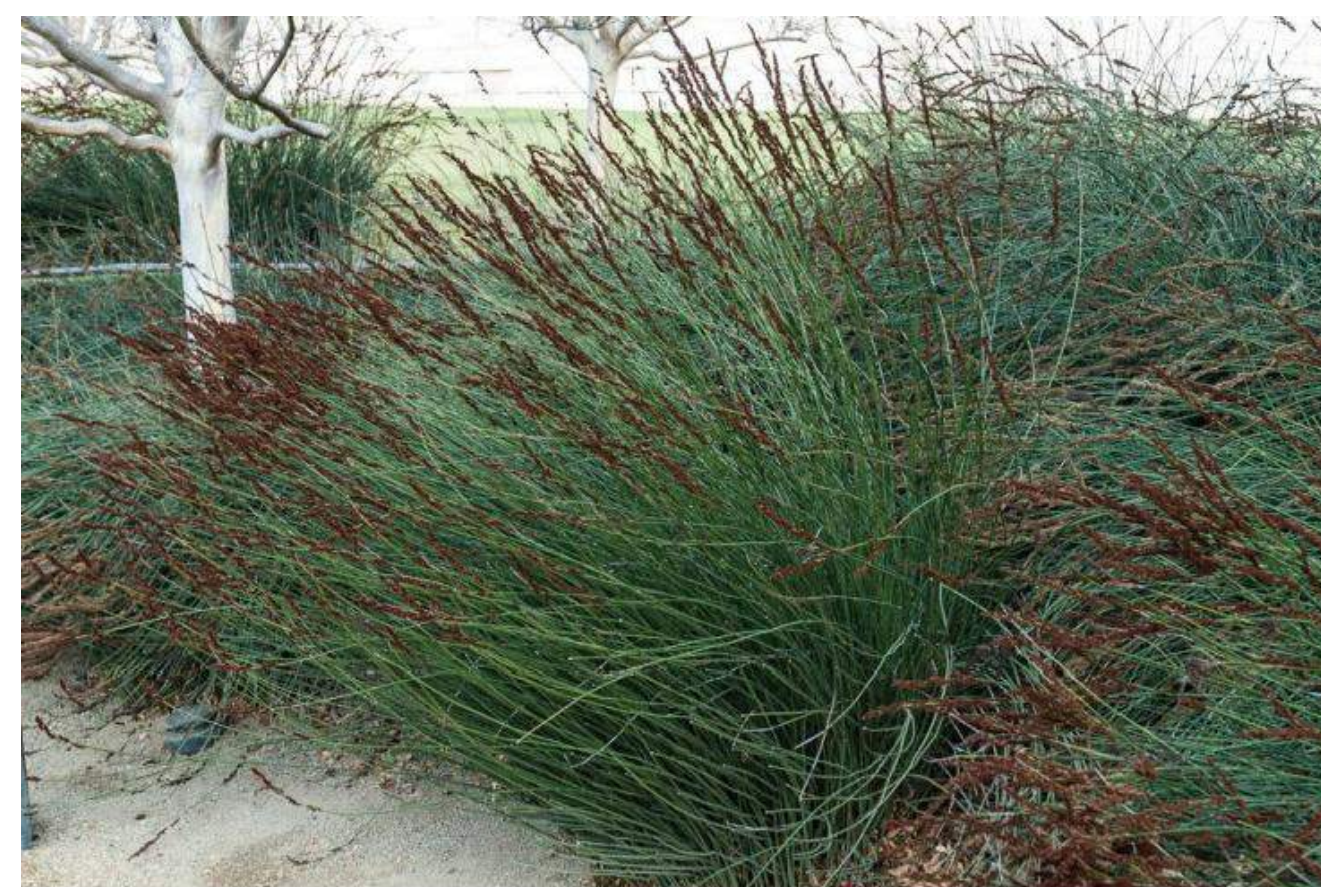
LOMANDRA LONGIFOLIA 'BREEZE'



CAREX TUMULICOLA



LOROPETALUM CHINENSE 'RUBY'

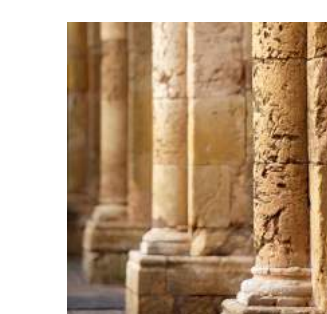


CHONDRONPETALUM TECTORUM



NEPETA X FAASSENII SHRUB PALETTE
PRELIMINARY LANDSCAPE PLAN

410-414 Serra Vista Ave.
Mountain View, California

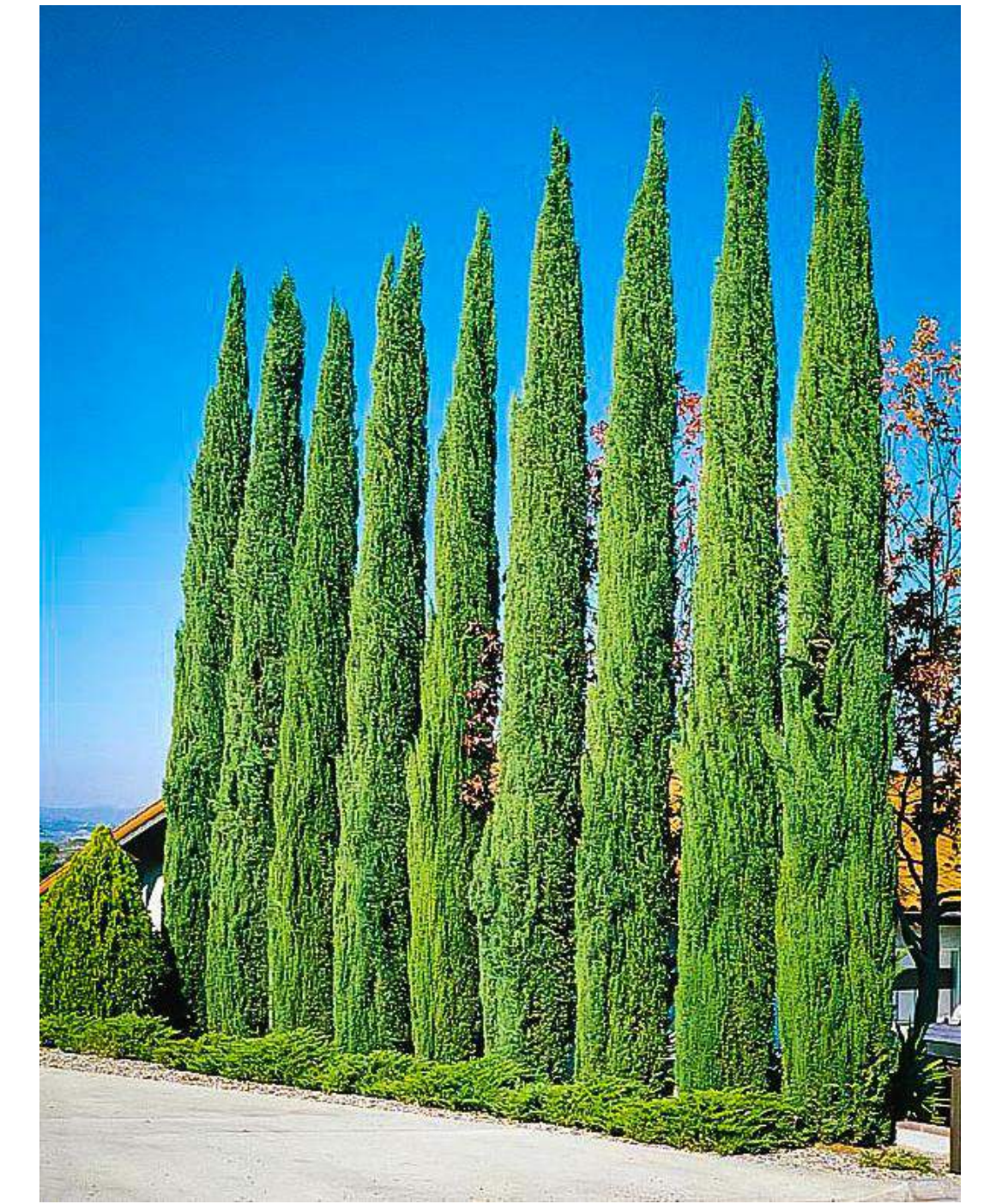


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Date: April 20, 2018
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L-6.4



NANDINA DOMESTICA 'PLUM PASSION'

SAMBUCUS NIGRA 'EFFEL 1'

CUPRESSUS SEMERVIRENS
'MONSHEL'



PENNISETUM 'EATON CANYON'

SARCOCOCCA H HUMILIS



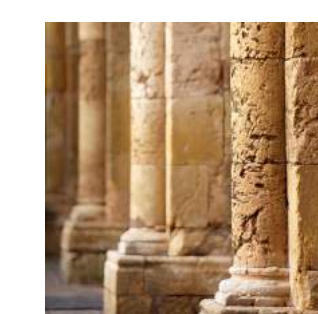
PHORMIUM T. 'BLACK ADDER'

PHORMIUM T. 'DUET'

SHRUB PALETTE

PRELIMINARY LANDSCAPE PLAN

410-414 Serra Vista Ave.
Mountain View, California

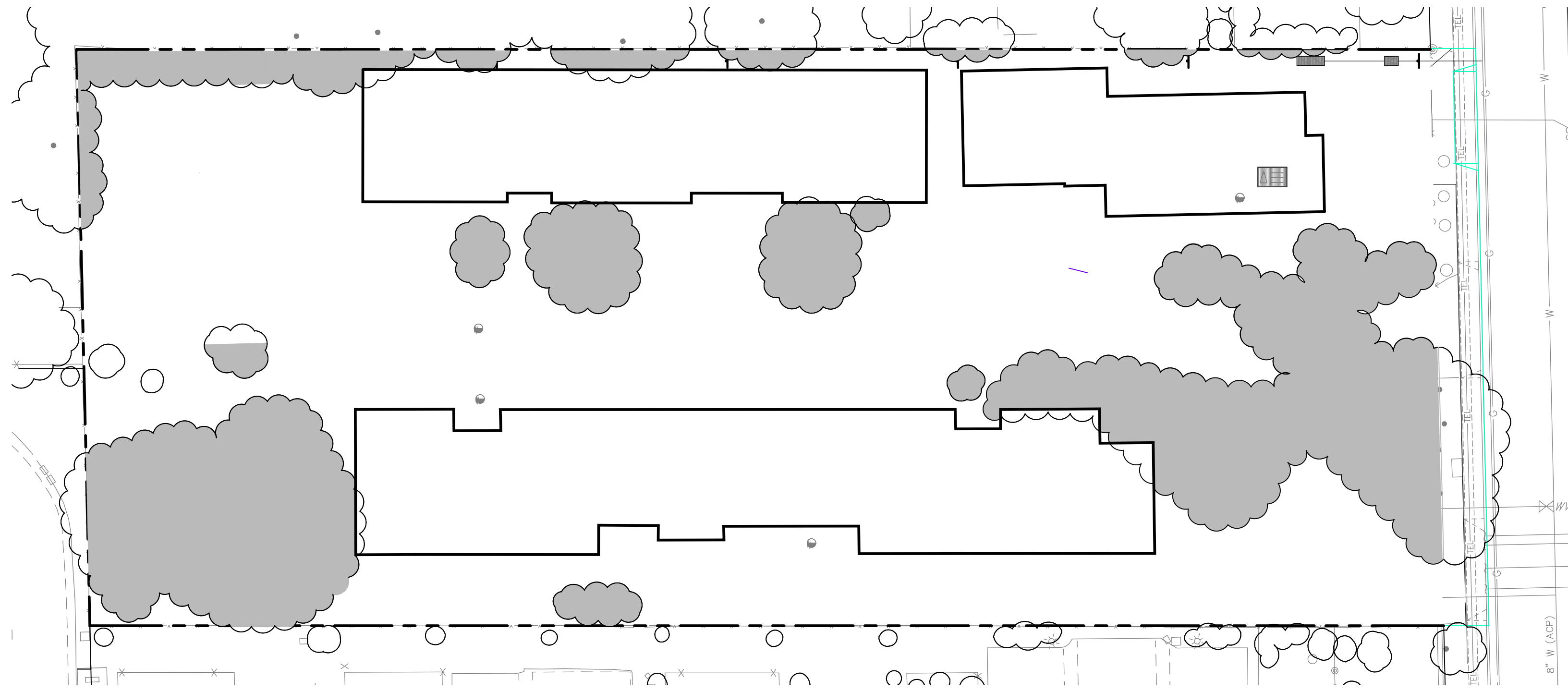


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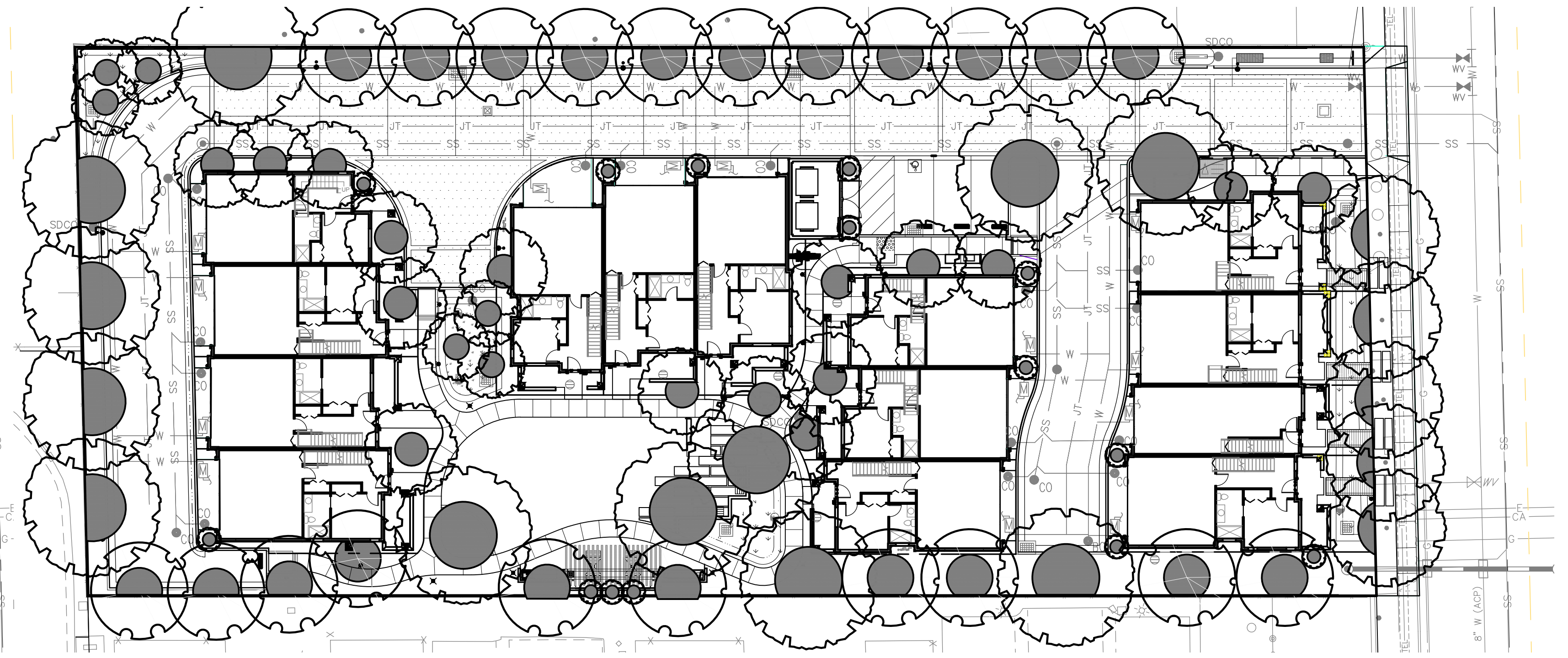
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: April 20, 2018
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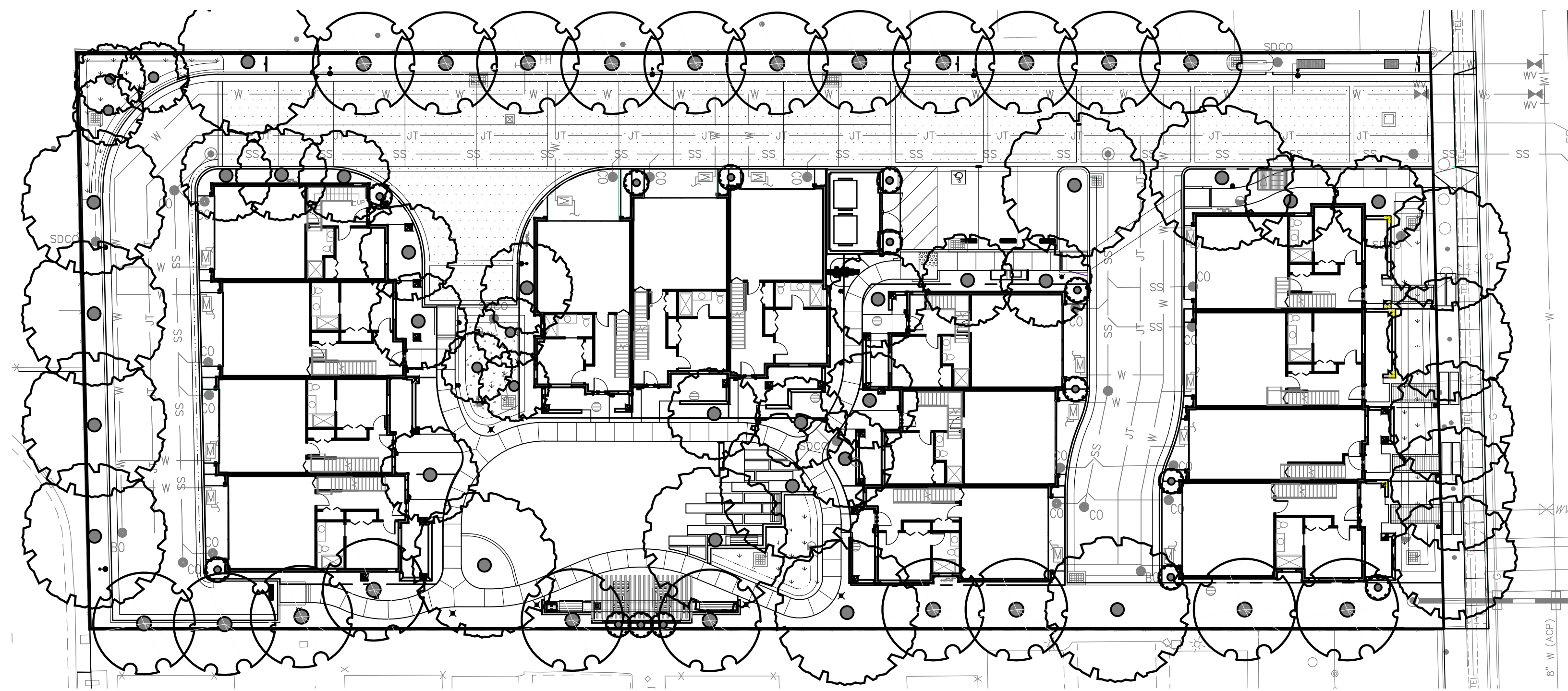
L-6.5



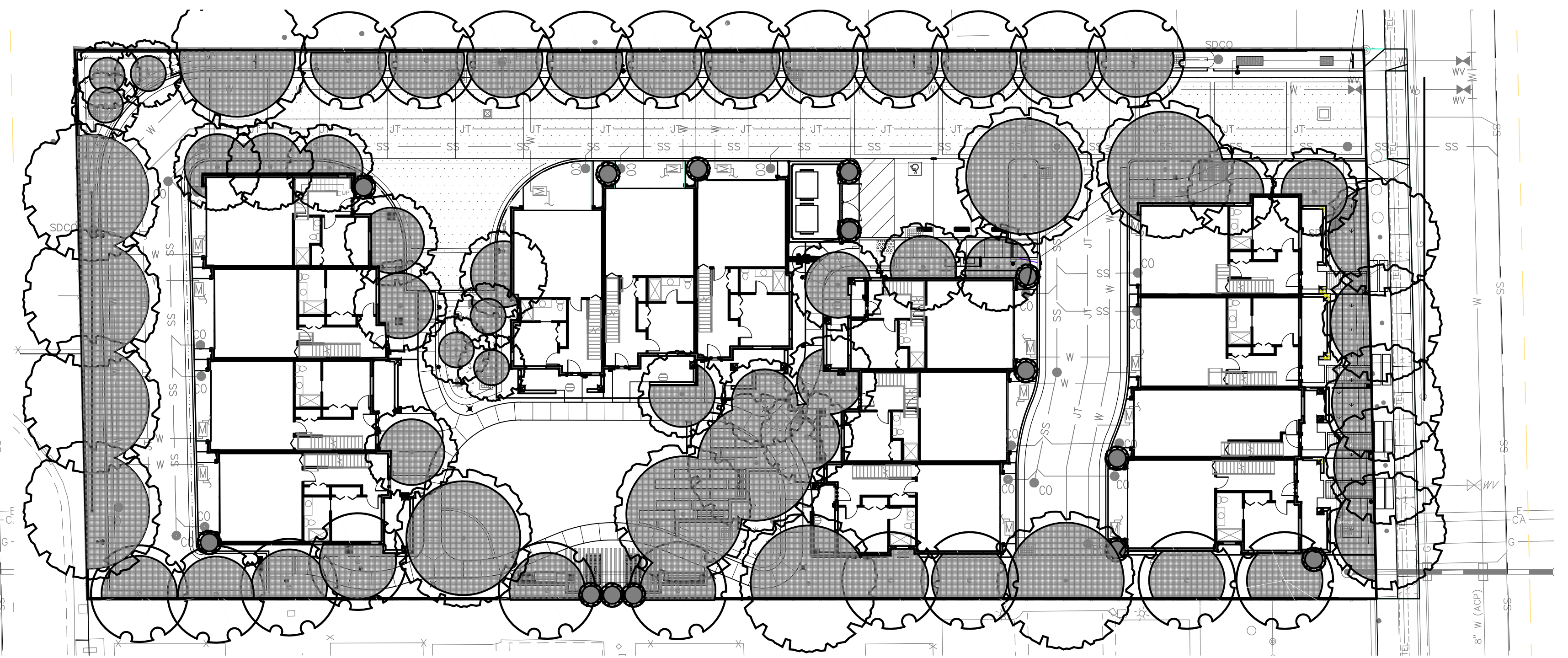
1 EXISTING TREE CANOPY: 8085 sq. ft.



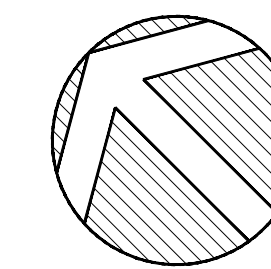
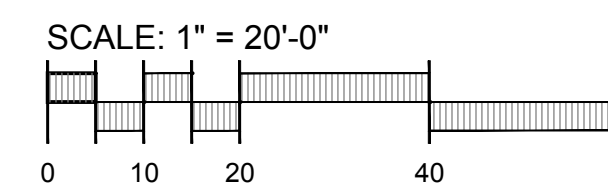
3 TREE CANOPY AT 5 YEARS: 3752 sq. ft.



2 TREE CANOPY AT PLANTING: 721 sq. ft.



4 TREE CANOPY AT 10 YEARS: 11,096 sq. ft.



TREE CANOPY PLAN PRELIMINARY LANDSCAPE PLAN

410-414 Serra Vista Ave.
Mountain View, California



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Job: 16-127

L-8.1