



PROJECT TEAM INFO:

Developer
773 Cuesta LLC
C/O DeNardi Wang Homes
 4962 El Camino Real, Suite 223
 Los Altos, CA 94022
 Tel: (408) 439-8325
 Contact: Kevin DeNardi
 info@denardiwang.com

Landscape
Levesque Design
 1414 Bay Street, Suite 100
 Alameda, CA 94501
 Tel: (510) 521-6700
 Contact: Kevin Levesque
 ktplanning@gmail.com

Architect
Dahlin Group
 5865 Owens Drive
 Pleasanton, CA 94588
 Tel: (925) 251-7200
 Contact: Jaime Matheron
 jaime.matheron@dahlingroup.com

Civil Engineer
BKF Engineers
 1730 N. First Street, Suite 600
 San Jose, CA 95112
 Tel: (408) 467-9192
 Contact: Isaac Birocci
 ibirocci@bkf.com

SHEET INDEX:

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PROJECT DESCRIPTION

A NEW, FOR SALE FOUR-UNIT INFILL PROJECT ON CUESTA DRIVE IN MOUNTAIN VIEW. THE PROPOSED PROJECT IS A PLANNED UNIT DEVELOPMENT ON A SITE OF APPROXIMATELY 0.7 ACRE THE FOUR SINGLE-FAMILY DETACHED HOMES FEATURE TRADITIONAL ROOFING AND SIDING MATERIALS ACCENTED WITH THICKENED STUCCO WALLS AND STONE ELEMENTS. SUSTAINABLE ASPECTS OF THE PROJECT INCLUDE PHOTOVOLTAIC PANELS, ALL-ELECTRIC APPLIANCES, AND HIGH-PERFORMANCE WALLS PER THE CALIFORNIA GREEN BUILDING STANDARDS CODE

THE PROJECT WILL OPT TO FOLLOW THE CITY'S BMR PROGRAM'S IN LIEU FEE.

AS A PLANNED UNIT DEVELOPMENT, THE PROJECT REQUESTS THE FOLLOWING EXCEPTIONS TO THE R1 OR R1 FLAG LOT STANDARDS:

FLAG LOT DIMENSIONS
 AS PER THE CODE REQUIREMENT OUTLINED IN THE MOUNTAIN VIEW CODE OF ORDINANCE FOR FLAG LOTS, A FLAG "POLE" SERVING TWO (2) OR MORE LOTS SHALL BE A MINIMUM OF TWENTY-FIVE (25) FEET WITH SIXTEEN (16) FEET PAVED, PROVIDED THERE IS AT LEAST EIGHT (8) FEET OF STREET FRONTAGE PER LOT. AS DRAWN, THIS PLAN IS PROVIDING A COMMON LOT WITH A WIDTH OF TWENTY-THREE (23) FEET FROM BACK OF CURB TO BACK OF CURB, WITH A TWENTY-TWO (22) FOOT DRIVEWAY, EXCEEDING THE MINIMUM OF SIXTEEN (16) FEET. THE PLAN SHOWS A STREET FRONTAGE OF SIXTY (60) FEET FOR BOTH LOTS 1 AND 2, EXCEEDING THE MINIMUM FRONTAGE FOR THIS PARTICULAR REQUIREMENT, WHILE ADHERING TO THE MINIMUM LOT WIDTH FOR THE R1 ZONING DESIGNATION. THE APPROACH IS TO PROVIDE A SUFFICIENT AMOUNT OF PAVEMENT FOR VEHICULAR MANEUVERABILITY WHILE MAINTAINING THE INTENT OF THE CODE BY PLACING MORE FOCUS ON THE STREET/LOT FRONTAGE FOR THE INDIVIDUAL LOTS.

EXISTING USE: ONE SINGLE FAMILY HOME OF APPROXIMATELY 1,100 SF TO BE DEMOLISHED

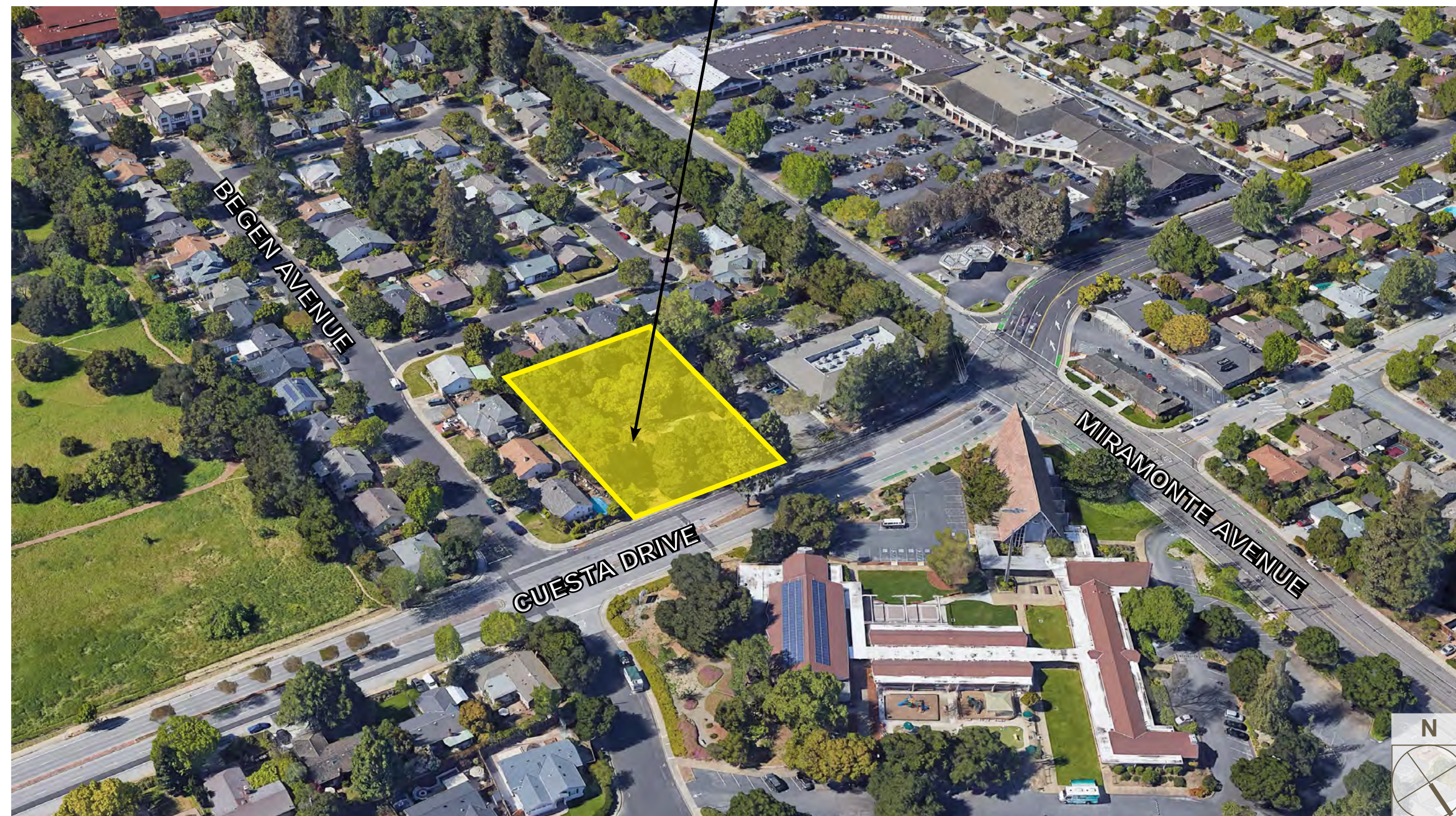
FIRE SPRINKLERS: FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D.

CODES AND REGULATIONS GOVERNING THE PROJECT: CURRENT 2019 CALIFORNIA CODES

UTILITY NOTE: NO GAS ALLOWED

VICINITY MAP:

PROJECT LOCATION



NOT TO SCALE

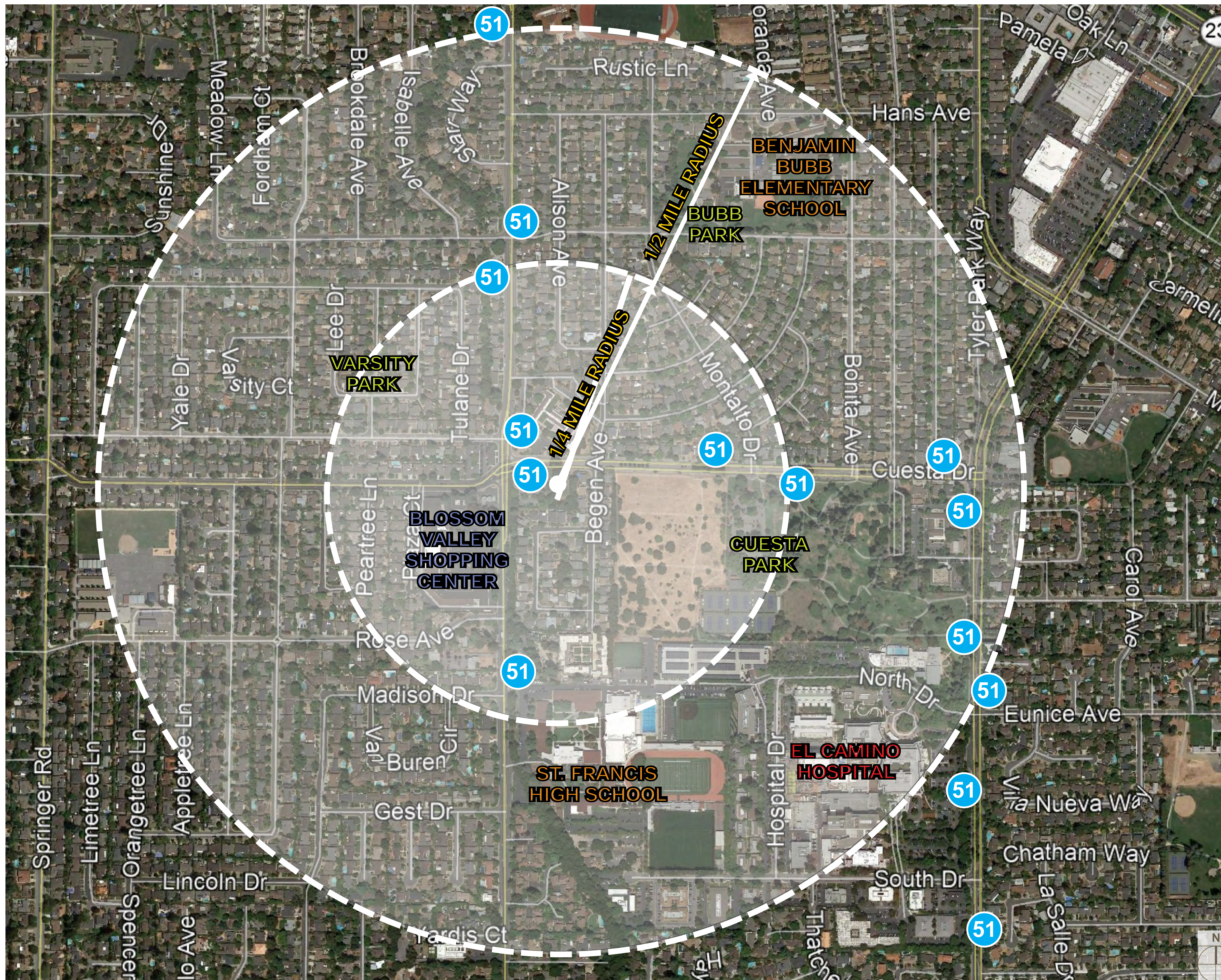
LANDSCAPE:

- LANDSCAPE COVER SHEET
- L-1.0 NOTES & LEGENDS
- L-1.1 ARBORIST'S REPORT
- L-1.2 ARBORIST'S REPORT
- L-1.3 EXISTING TREE PLAN
- L-3.1 LANDSCAPE PLAN
- L-4.1 SITE DETAILS
- L-4.2 SITE DETAILS
- L-4.3 SITE DETAILS
- L-5.0 NOTES & LEGENDS
- L-5.1 HYDROZONE PLAN
- L-5.2 IRRIGATION DETAILS
- L-6.0 NOTES & LEGENDS
- L-6.1 PLANTING PLAN
- L-6.2 PLANTING PLAN
- L-7.1 SITE LIGHTING PLAN
- L-8.1 SHADE CANOPY EXHIBIT

CIVIL:

- TM1.0 VESTING TENTATIVE MAP
- C1.0 EXISTING CONDITIONS & TREE REMOVAL PLAN
- C2.0 PRELIMINARY SITE PLAN
- C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.0 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN

Planning Division
 City of Mountain View
Received on
Apr 19, 2021



SCALE: 1" = 300' - 0"

TRANSIT STOPS WITHIN 1/4 MILE RADIUS



- 51 CUESTA & MIRAMONTE
- 51 MIRAMONTE & CUESTA
- 51 CUESTA & MONTALTO
- 51 ST. FRANCIS HIGH SCHOOL
- 51 MIRAMONTE & BARBARA

TRANSIT STOPS WITHIN 1/2 MILE RADIUS



- 51 MIRAMONTE & BARBARA
- 51 MIRAMONTE & MARILYN
- 51 CUESTA & MONTALTO
- 51 CUESTA & GRANT
- 51 GRANT & CUESTA
- 51 GRANT & SLEEPER
- 51 GRANT & EUNICE

DETAILED VICINITY MAP

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES

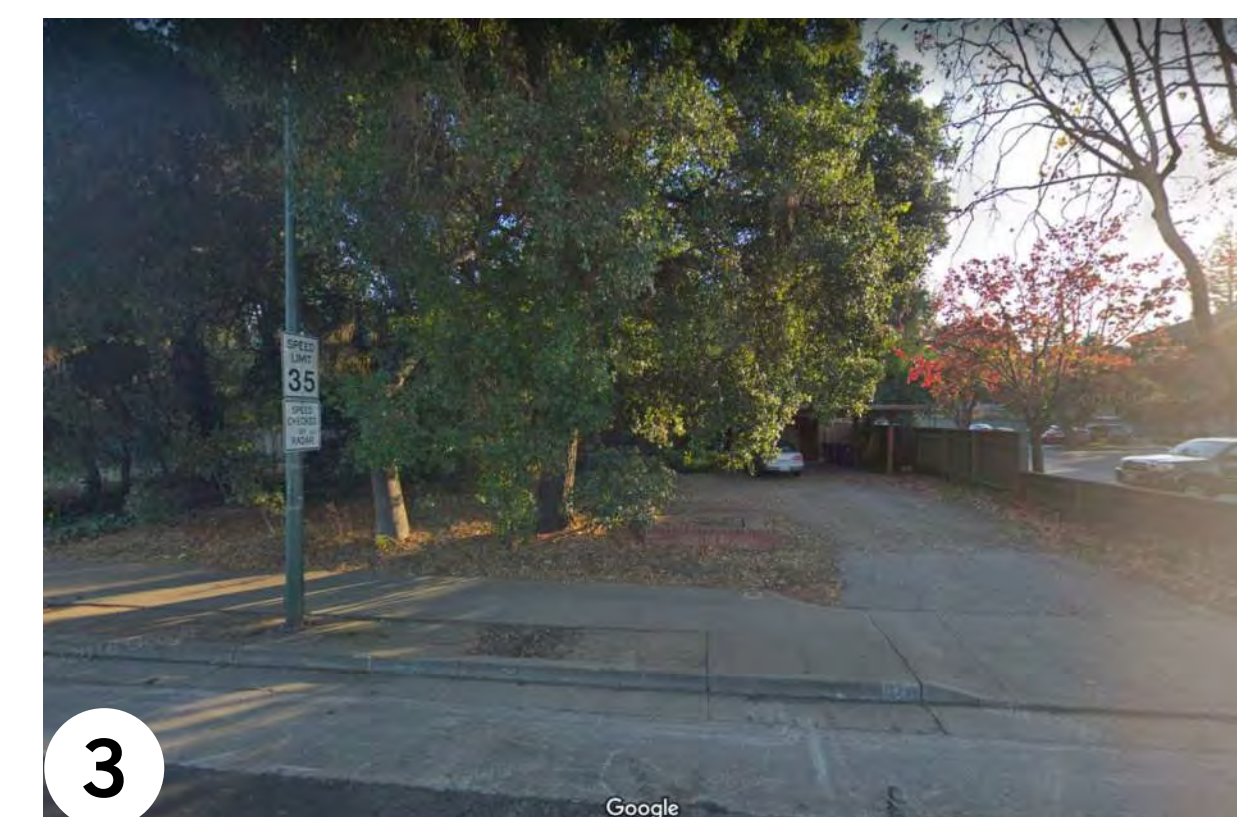
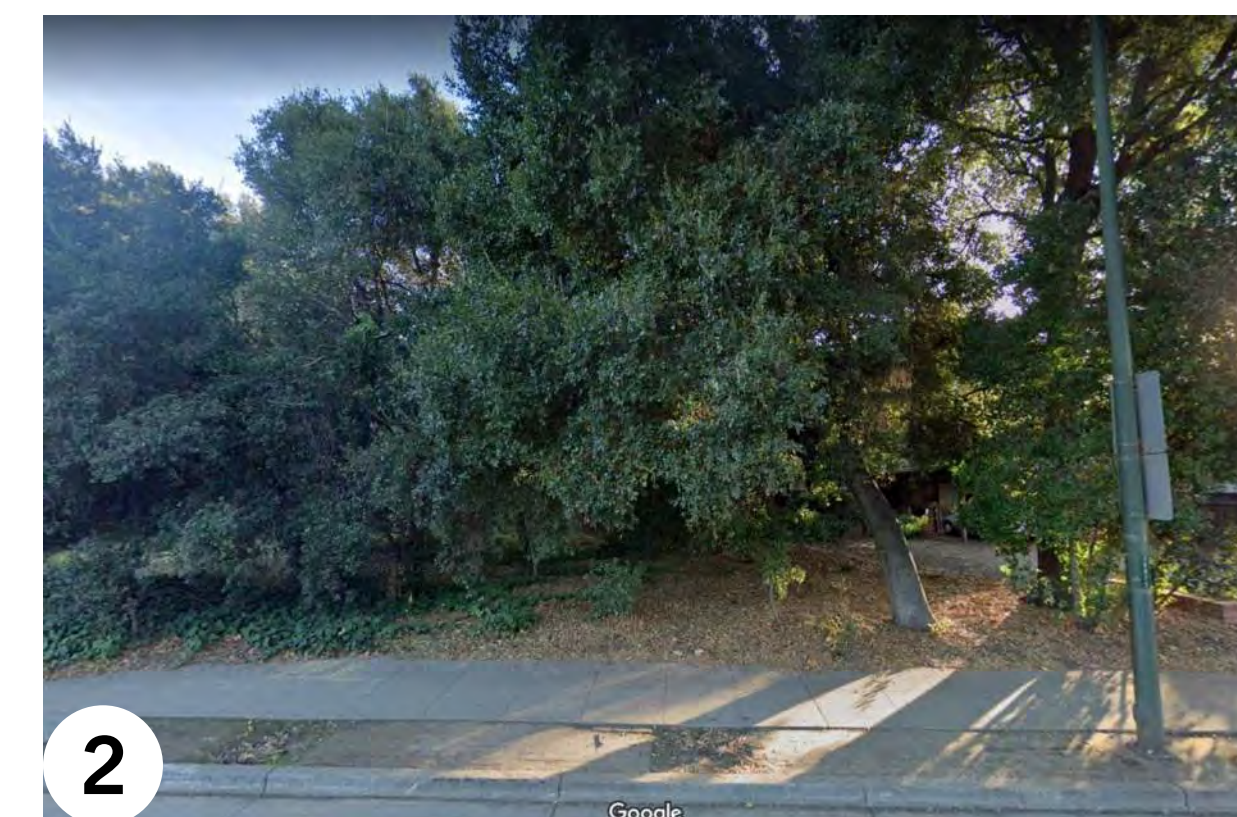
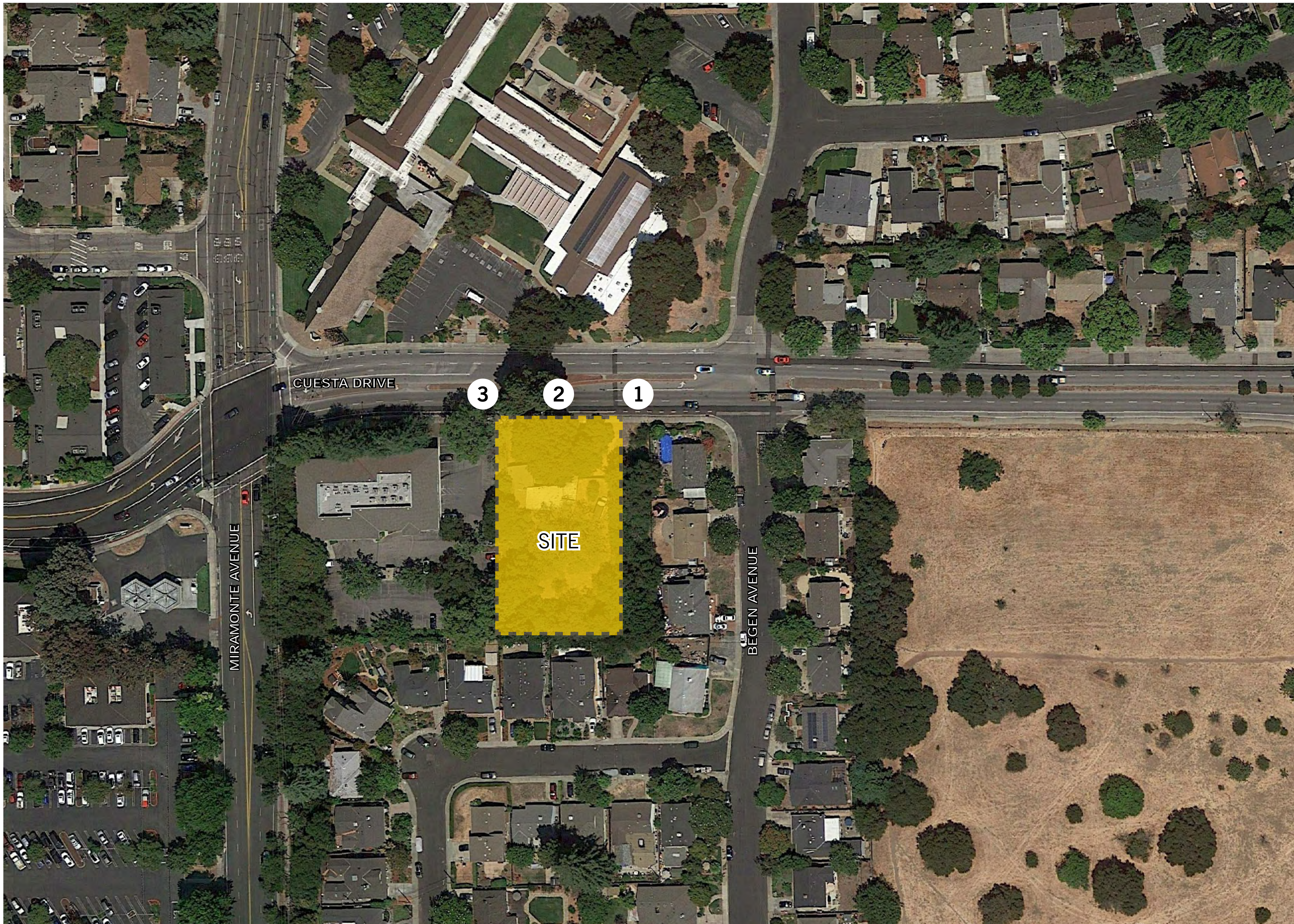


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A.2



NOT TO SCALE

SITE AERIAL & PHOTOS

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A.3



DRIVEWAY SIGHT TRIANGLE

AC CONDENSER LOCATION

TWO (2) GARAGE SPACES WITH MIN 20' DEEP X 18' WIDE CLEARANCE (TYP.)

TRASH RECEPTACLE STORAGE AREA ON NON-COLLECTION DAYS TO INCLUDE: (1) 96-GALLON TRASH, (1) 96-GALLON COMPOST, AND (1) 96-GALLON SPLIT RECYCLE CART

AC CONDENSER LOCATION

SETBACK LINES PER ZONING CODE (REFER TO SHEET A.5 FOR A DETAILED SETBACK COMPLIANCE AND DIMENSIONED SITE PLAN EXHIBIT)

TRASH COLLECTION AREA: CARTS TO BE SET OUT BY 7AM ON COLLECTION DAY AND REMOVED WITHIN 24 HOURS

TRANSFORMER MAILBOX KIOSK

PRIVACY FENCE (TYP.)

AC CONDENSER LOCATION

EXISTING TREES TO REMAIN (TYP.) REFER TO LANDSCAPE SHEET L-1.1 FOR AN EXHIBIT IDENTIFYING TREES TO BE REMOVED

2 DRIVEWAY SPACES WITH MIN. 17' WIDE X 18' DEEP CLEARANCE (TYP.)

TRASH RECEPTACLE STORAGE AREA ON NON-COLLECTION DAYS TO INCLUDE: (1) 96-GALLON TRASH, (1) 96-GALLON COMPOST, AND (1) 96-GALLON SPLIT RECYCLE CART

AC CONDENSER LOCATION

LANDSCAPE DECKS (TYP.)

SITE PLAN

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES



0 20 40 80 NORTH

DATE 04-08-2021

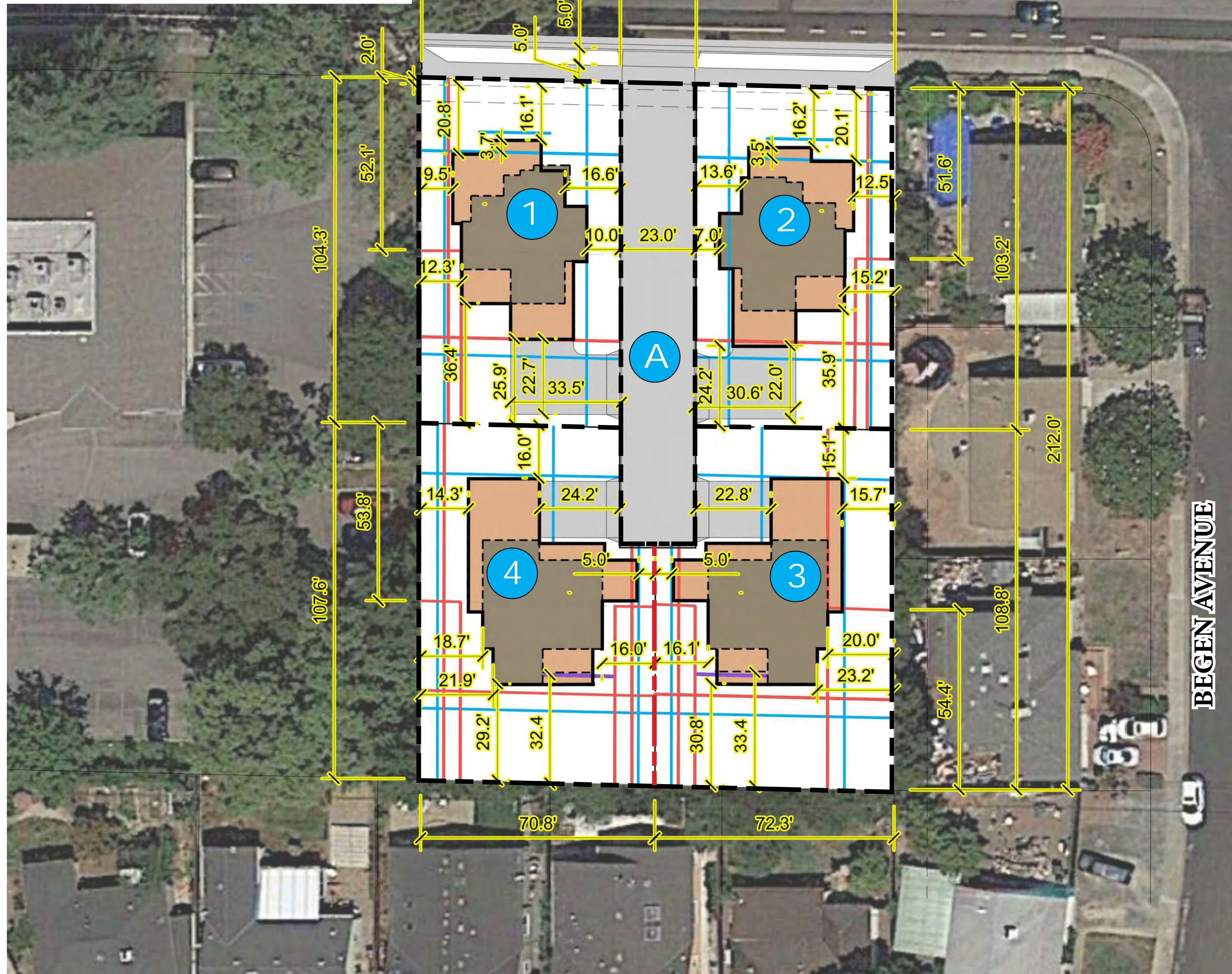
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A.4

LEGEND:

- FIRST FLOOR FOOTPRINT
- SECOND FLOOR FOOTPRINT
- FIRST FLOOR REQ'D. SETBACKS (PER ZONING CODE)
- SECOND FLOOR REQ'D. SETBACKS (PER ZONING CODE)
- SECOND STORY DECK REQ'D. SETBACKS (PER ZONING CODE)



DEVELOPMENT SUMMARY:

SITE ADDRESS: 773 CUESTA DRIVE, MOUNTAIN VIEW, CA 94040
 APN: 193-2-003
 SITE AREA: +/- 30,017 SQ. FT./ 0.69 ACRES
 (EXCLUDES 2'-0" R.O.W. DEDICATION)

- 1 LOT 1: 6,139 SQ. FT./ 0.14 ACRES
- 2 LOT 2: 6,069 SQ. FT./ 0.14 ACRES
- 3 LOT 3: 7,402 SQ. FT./ 0.17 ACRES
- 4 LOT 4: 7,231 SQ. FT./ 0.17 ACRES
- A LOT A (COMMON LOT): 3,176 SQ. FT./ 0.07 ACRES

CURRENT ZONING DESIGNATION: R1: SINGLE-FAMILY RESIDENTIAL
 PROPOSED CONSTRUCTION TYPE: TYPE V-B
 OCCUPANCY TYPE: R3
 UNITS: 4

DENSITY: 5.8 DU/AC
 SITE COVERAGE: 27.5%
 PARKING PROVIDED: 2 COVERED GARAGE SPACES + 2 UNCOVERED DRIVEWAY SPACES PER UNIT

SECOND FLOOR DECK SETBACK SUMMARY:

LOT 3: $(107.6 \times 0.25) + 5' = 31.9'$ MINIMUM REAR SETBACK
 33.4' PROVIDED REAR SETBACK
 LOT 4: $(108.8 \times 0.25) + 5' = 32.2'$ MINIMUM REAR SETBACK
 32.4' PROVIDED REAR SETBACK

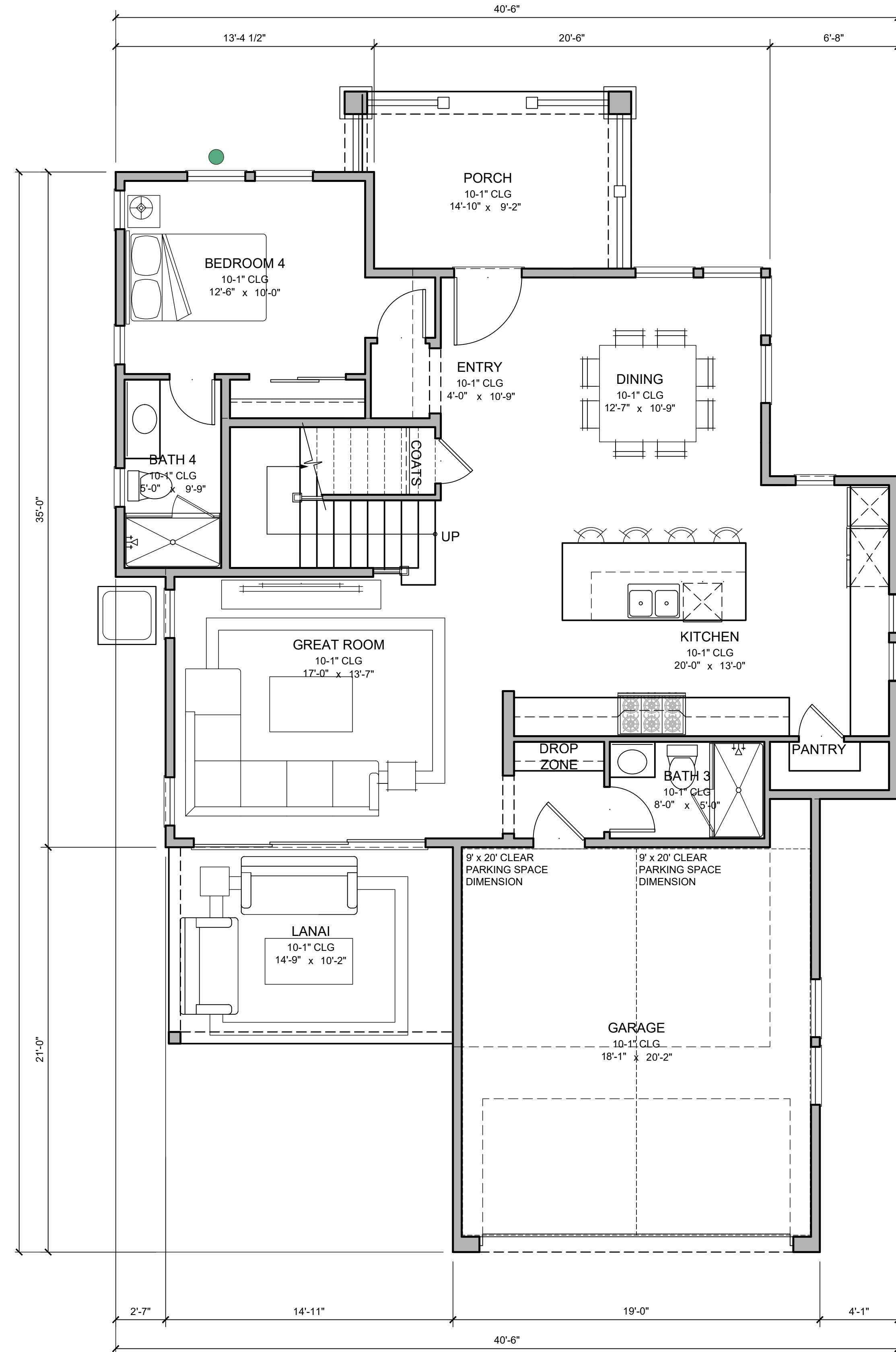
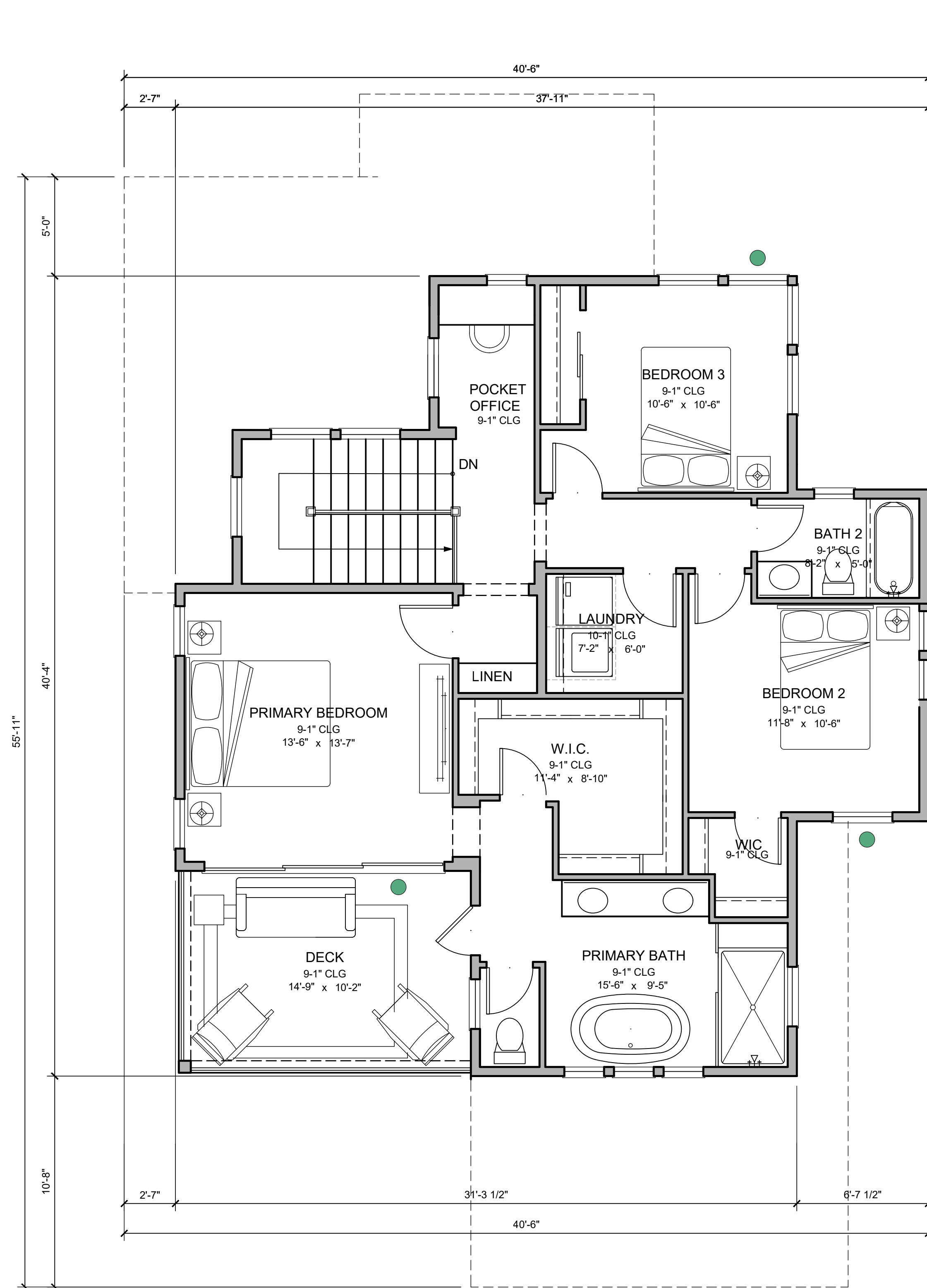
LOT 1 - PLAN 1A	
FIRST FLOOR LIVING	1156 SQ. FT.
SECOND FLOOR LIVING	1014 SQ. FT.
STAIR @ 2ND FLOOR	85 SQ. FT.
TOTAL LIVING	2170 SQ. FT.
GARAGE	405 SQ. FT.
PORCH	128 SQ. FT.
LANAI	150 SQ. FT.
DECK	150 SQ. FT.
FAR: (LIVING + STAIRS + GARAGE)	2660 SQ. FT.

LOT 2 - PLAN 1B	
FIRST FLOOR LIVING	1156 SQ. FT.
SECOND FLOOR LIVING	1014 SQ. FT.
STAIR @ 2ND FLOOR	85 SQ. FT.
TOTAL LIVING	2171 SQ. FT.
GARAGE	405 SQ. FT.
PORCH	170 SQ. FT.
LANAI	150 SQ. FT.
DECK	150 SQ. FT.
FAR: (LIVING + STAIRS + GARAGE)	2661 SQ. FT.

LOT 3 - PLAN 2A	
FIRST FLOOR LIVING	1459 SQ. FT.
SECOND FLOOR LIVING	1099 SQ. FT.
STAIR @ 2ND FLOOR	137 SQ. FT.
TOTAL LIVING	2558 SQ. FT.
GARAGE	398 SQ. FT.
PORCH	111 SQ. FT.
LANAI	149 SQ. FT.
DECK	114 SQ. FT.
FAR: (LIVING + STAIRS + GARAGE)	3092 SQ. FT.

LOT 4 - PLAN 2B	
FIRST FLOOR LIVING	1459 SQ. FT.
SECOND FLOOR LIVING	1099 SQ. FT.
STAIR @ 2ND FLOOR	137 SQ. FT.
TOTAL LIVING	2558 SQ. FT.
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PORCH	111 SQ. FT.
LANAI	149 SQ. FT.
DECK	114 SQ. FT.
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SETBACK DIAGRAM & DEVELOPMENT SUMMARY



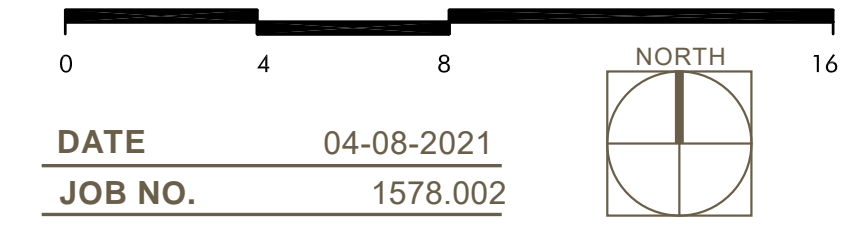
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● EMERGENCY ESCAPE OPENINGS PER CRC, SECTION R310 (3050 WINDOW OR GREATER)

PLAN 1A (LOT 1) - FLOOR PLAN

773 CUESTA DRIVE, MOUNTAIN VIEW

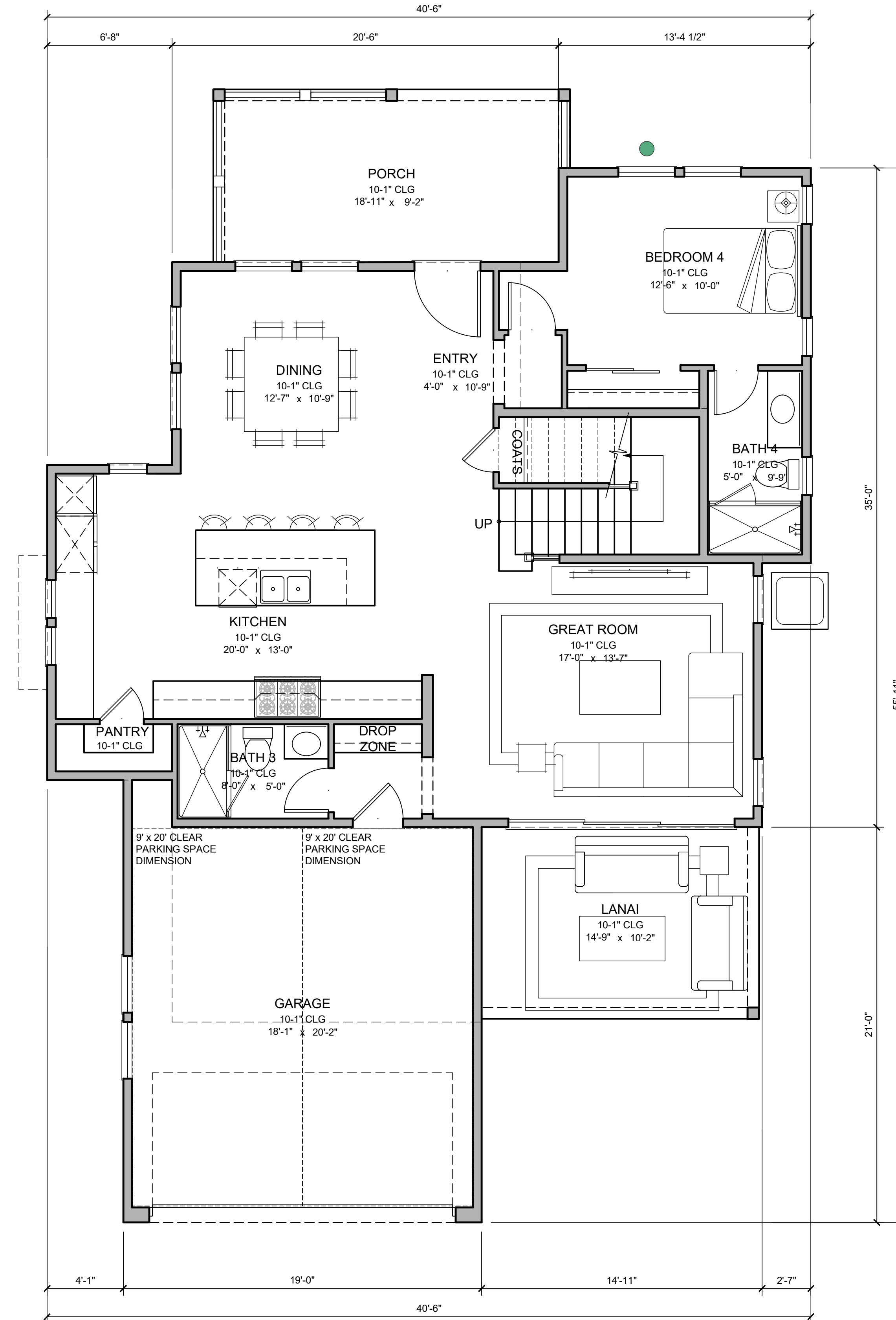
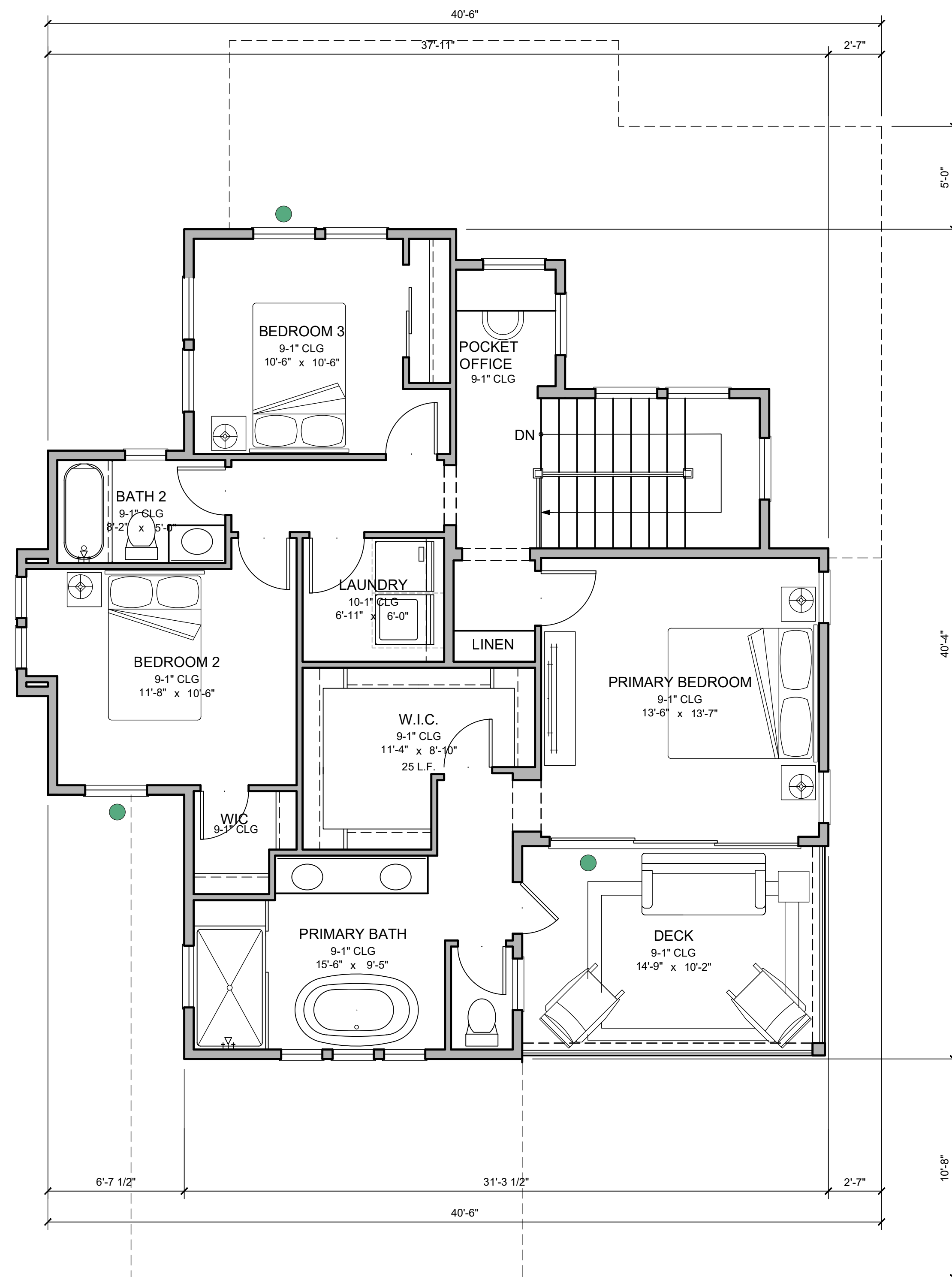
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A.8



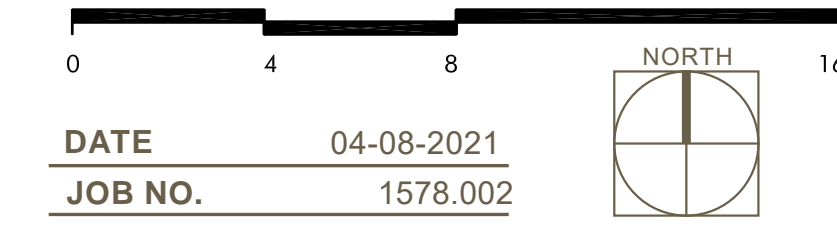
LOT 2 - PLAN 1B	
FIRST FLOOR LIVING	1156 SQ. FT.
SECOND FLOOR LIVING	1014 SQ. FT.
STAIR @ 2ND FLOOR	85 SQ. FT.
TOTAL LIVING	2171 SQ. FT.
GARAGE	405 SQ. FT.
PORCH	170 SQ. FT.
LANAI	150 SQ. FT.
DECK	150 SQ. FT.
FAR: (LIVING + STAIRS + GARAGE)	2661 SQ. FT.

● EMERGENCY ESCAPE OPENINGS PER CRC, SECTION R310 (3050 WINDOW OR GREATER)

PLAN 1B (LOT 2) - FLOOR PLAN

773 CUESTA DRIVE, MOUNTAIN VIEW

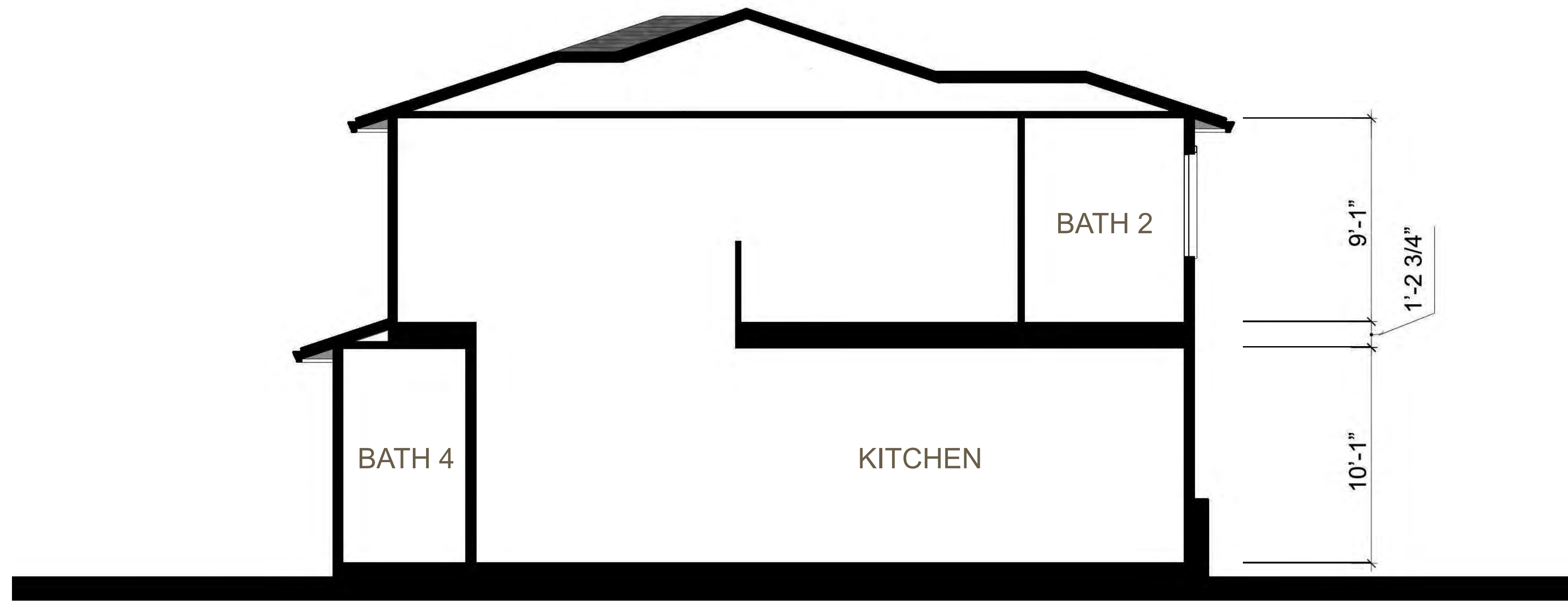
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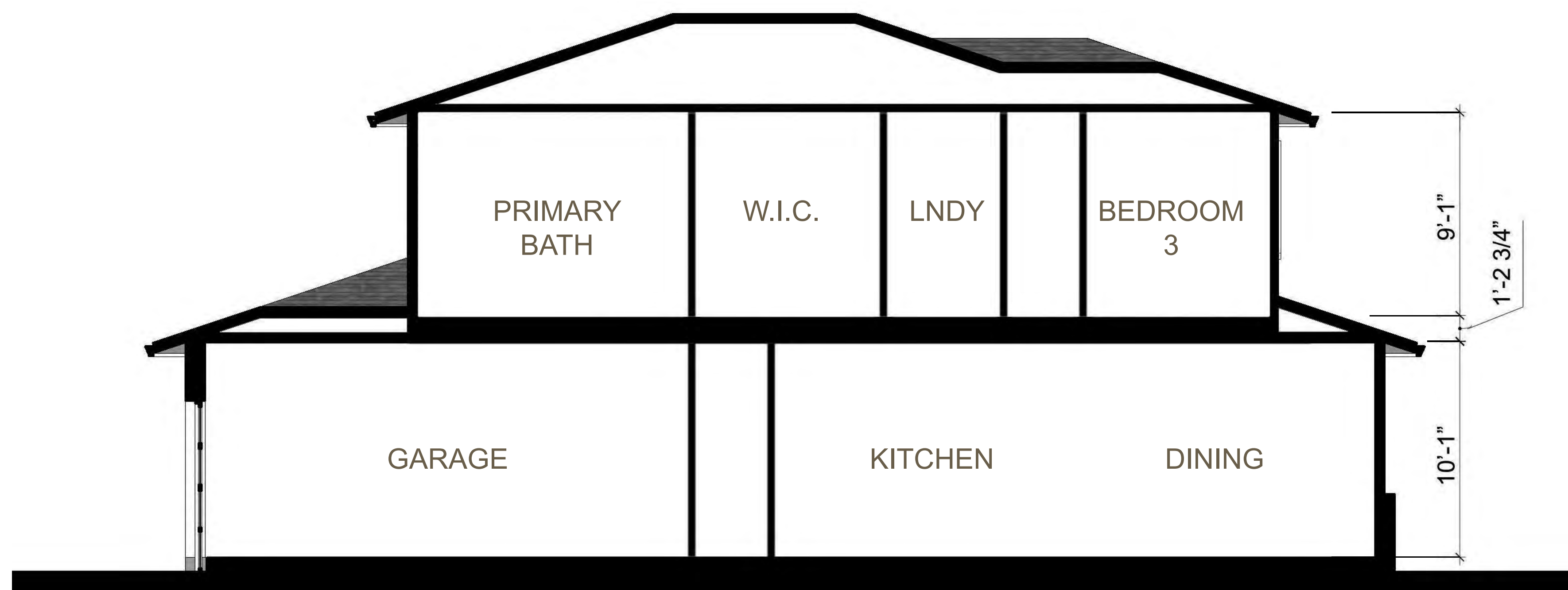
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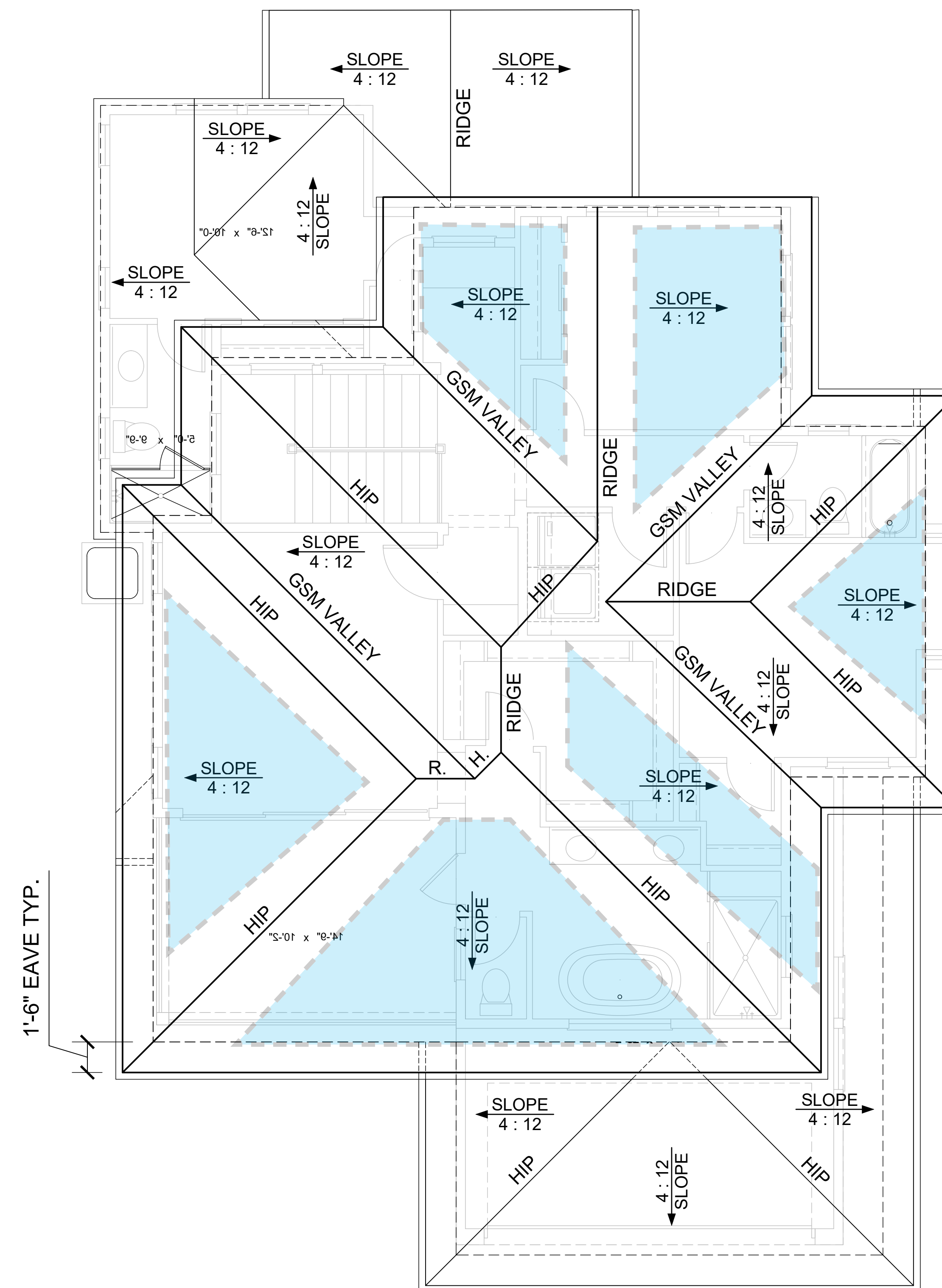
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PLAN 1 - SECTION - B 1/4" = 1'-0"



PLAN 1 - SECTION - A 1/4" = 1'-0"



PLAN 1 - ROOF PLAN - A 1/4" = 1'-0"

- POTENTIAL SOLAR ZONES

PLAN 1 - ROOF PLAN & SECTIONS



PLAN 1 - 'A' CORNER PERSPECTIVE VIEWS (LOT 1)

773 CUESTA DRIVE, MOUNTAIN VIEW

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A.11



PLAN 1 - 'A' REAR ELEVATION

1/4" = 1'-0"



PLAN 1 - 'A' RIGHT ELEVATION

1/4" = 1'-0"



PLAN 1 - 'A' LEFT ELEVATION

1/4" = 1'-0"

ROOF

TIMBERLINE COMPOSITION SHINGLES
Slate

TRIM COLOR

EAVES, GUTTERS, FASCIA
Peppercorn SW 7674

BODY COLOR 1

STUCCO
First Star SW 7646

BODY COLOR 2

SIDING, WINDOW TRIM, PORCH TRIM
Porpoise SW 7047

STONE VENEER

By **Eldorado Stone**
Seashell Cut Coarse Stone



PLAN 1 - 'A' FRONT ELEVATION

1/4" = 1'-0"

PLAN 1 - 'A' ELEVATIONS (LOT 1)

773 CUESTA DRIVE, MOUNTAIN VIEW

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A.12



PLAN 1 - 'B' CORNER PERSPECTIVE VIEWS (LOT 2)

773 CUESTA DRIVE, MOUNTAIN VIEW

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A.13



PLAN 1 - 'B' REAR ELEVATION 1/4" = 1'-0"



PLAN 1 - 'B' RIGHT ELEVATION 1/4" = 1'-0"



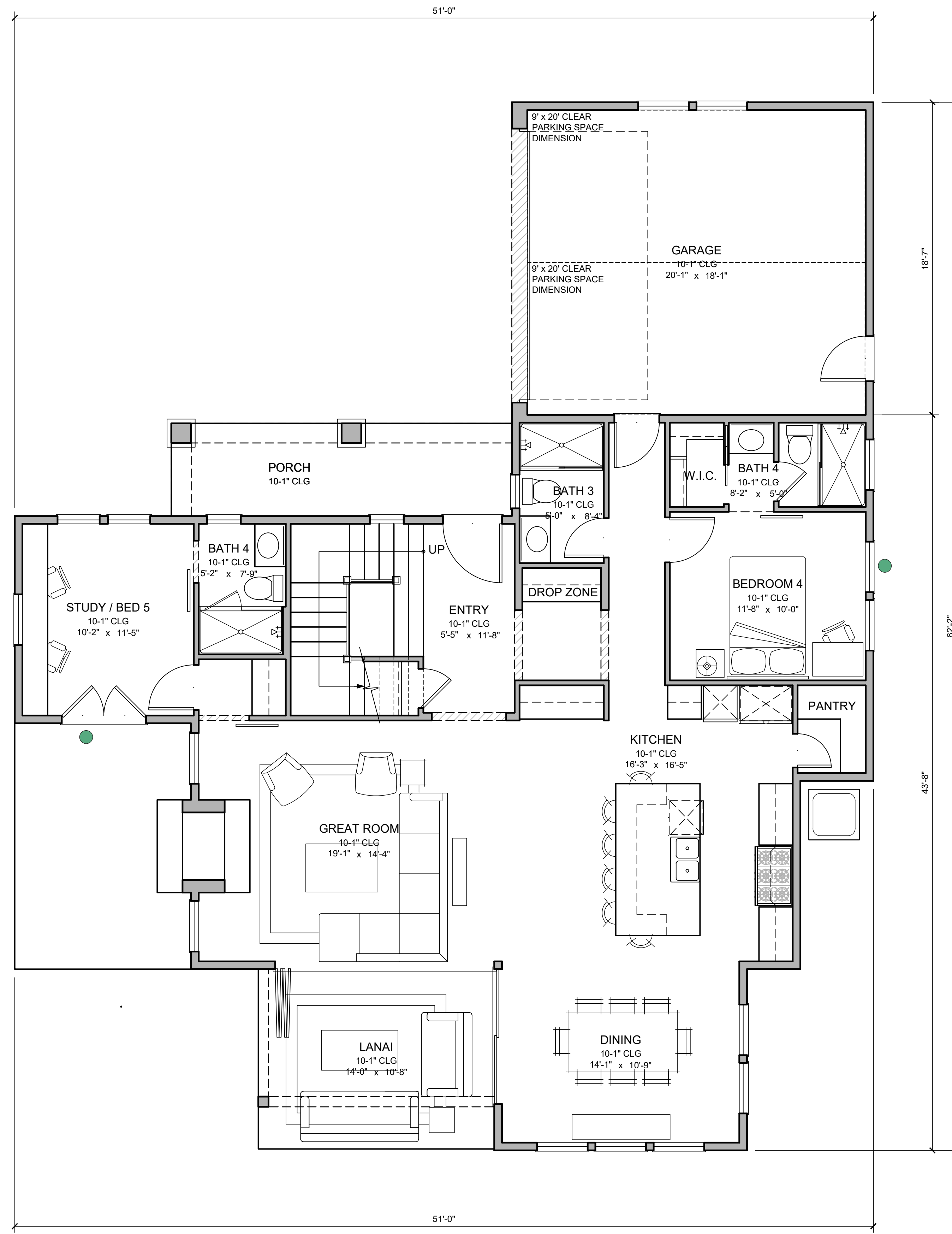
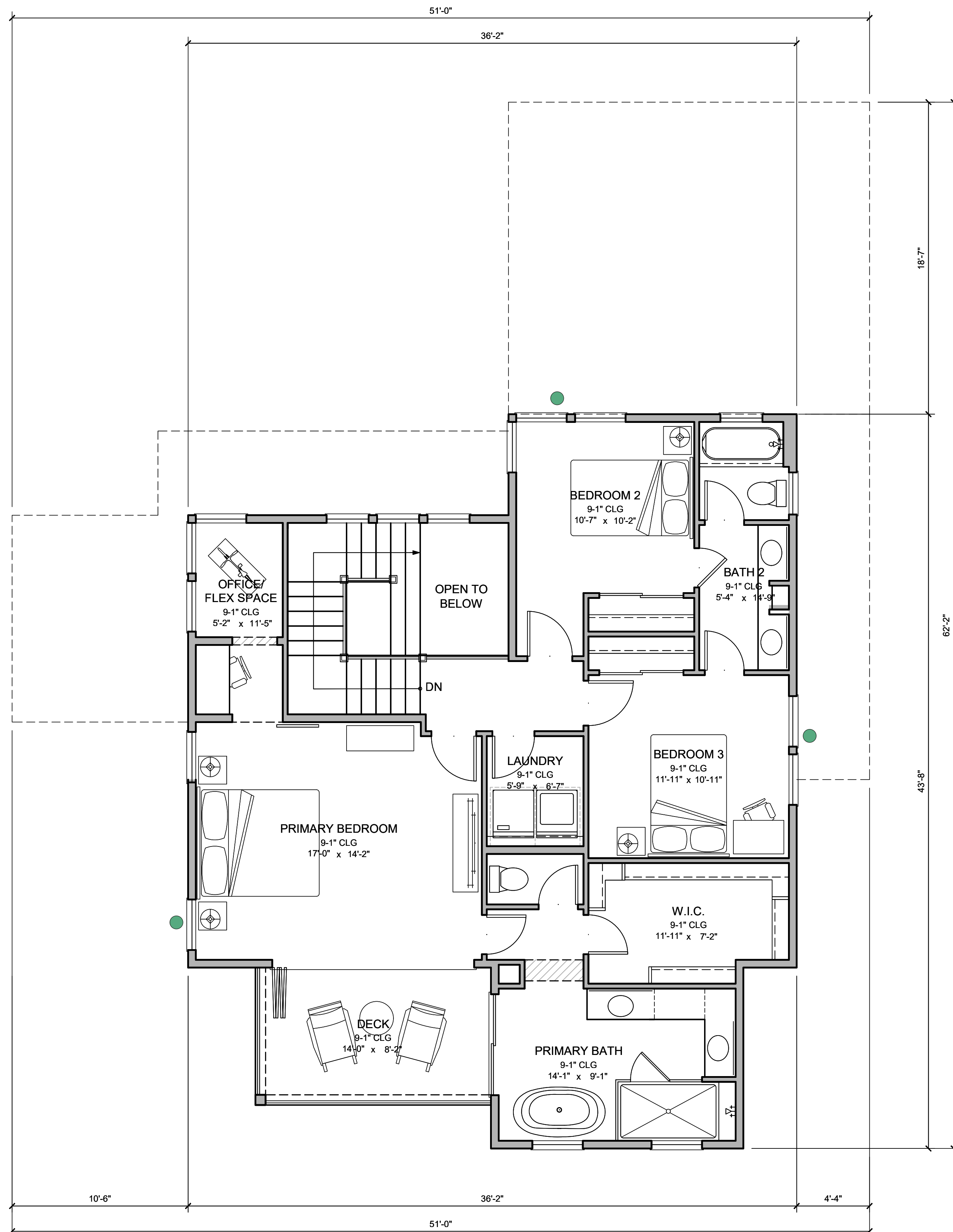
PLAN 1 - 'B' LEFT ELEVATION 1/4" = 1'-0"

- ROOF
TIMBERLINE COMPOSITION SHINGLES
Birchwood
- TRIM COLOR
WOOD TRIM, EAVES, GUTTERS
Caviar SW 6990
- BODY COLOR 1
STUCCO, BOARD & BATT SIDING
Snowbound SW 7004



PLAN 1 - 'B' FRONT ELEVATION 1/4" = 1'-0"

PLAN 1 - 'B' ELEVATIONS (LOT 2)



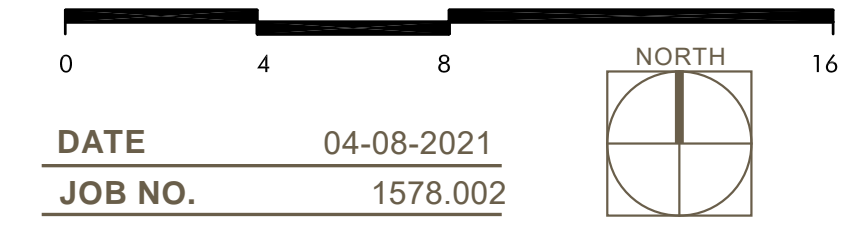
LOT 3 - PLAN 2A	
FIRST FLOOR LIVING	1459 SQ. FT.
SECOND FLOOR LIVING	1099 SQ. FT.
STAIR @ 2ND FLOOR	137 SQ. FT.
TOTAL LIVING	2558 SQ. FT.
GARAGE	398 SQ. FT.
PORCH	111 SQ. FT.
LANAI	149 SQ. FT.
DECK	114 SQ. FT.
FAR: (LIVING + STAIRS + GARAGE)	3092 SQ. FT.

● EMERGENCY ESCAPE OPENINGS PER CRC, SECTION R310 (3050 WINDOW OR GREATER)

PLAN 2A (LOT 3) - FLOOR PLAN

773 CUESTA DRIVE, MOUNTAIN VIEW

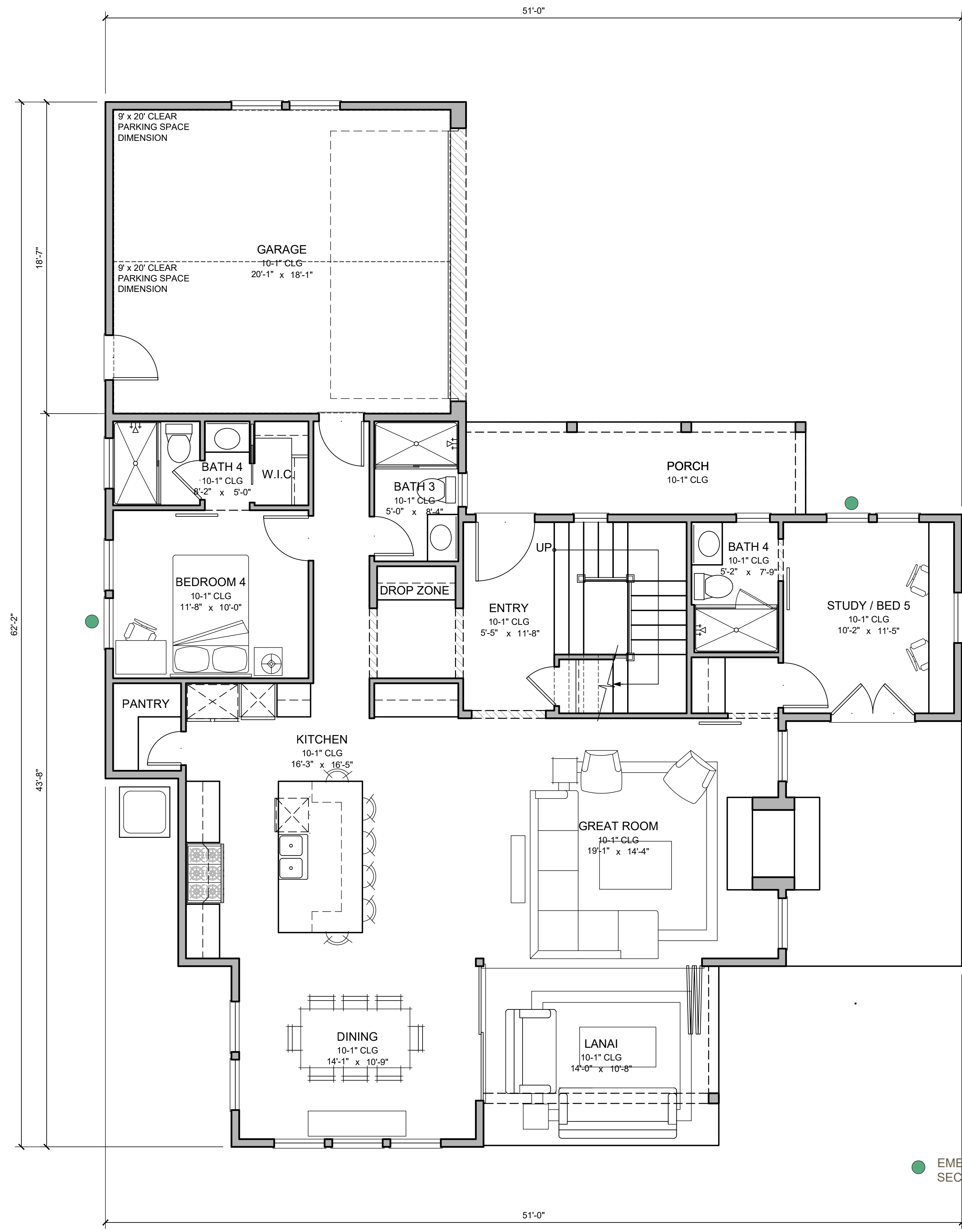
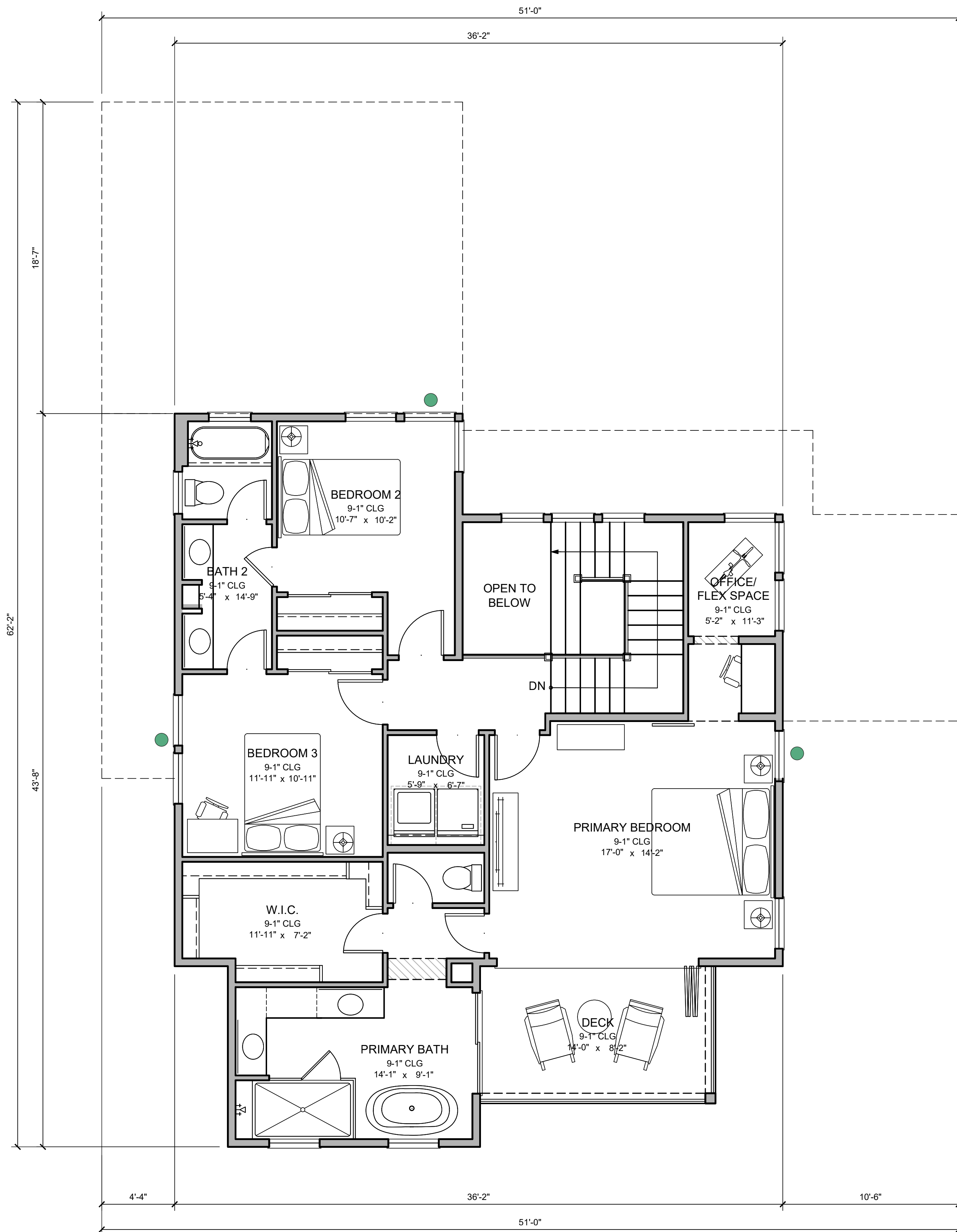
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A.15



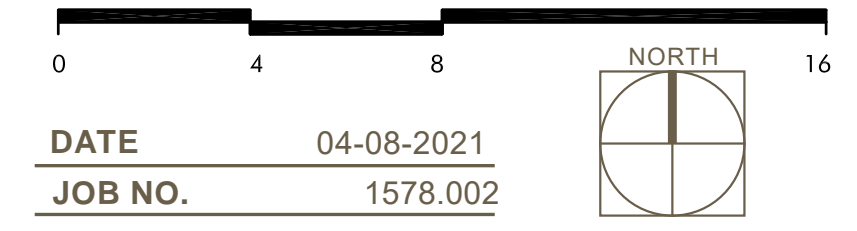
LOT 4 - PLAN 2B	
FIRST FLOOR LIVING	1459 SQ. FT.
SECOND FLOOR LIVING	1099 SQ. FT.
STAIR @ 2ND FLOOR	137 SQ. FT.
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FAR: (LIVING + STAIRS + GARAGE)	3092 SQ. FT.

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PLAN 2B (LOT 4) - FLOOR PLAN

773 CUESTA DRIVE, MOUNTAIN VIEW

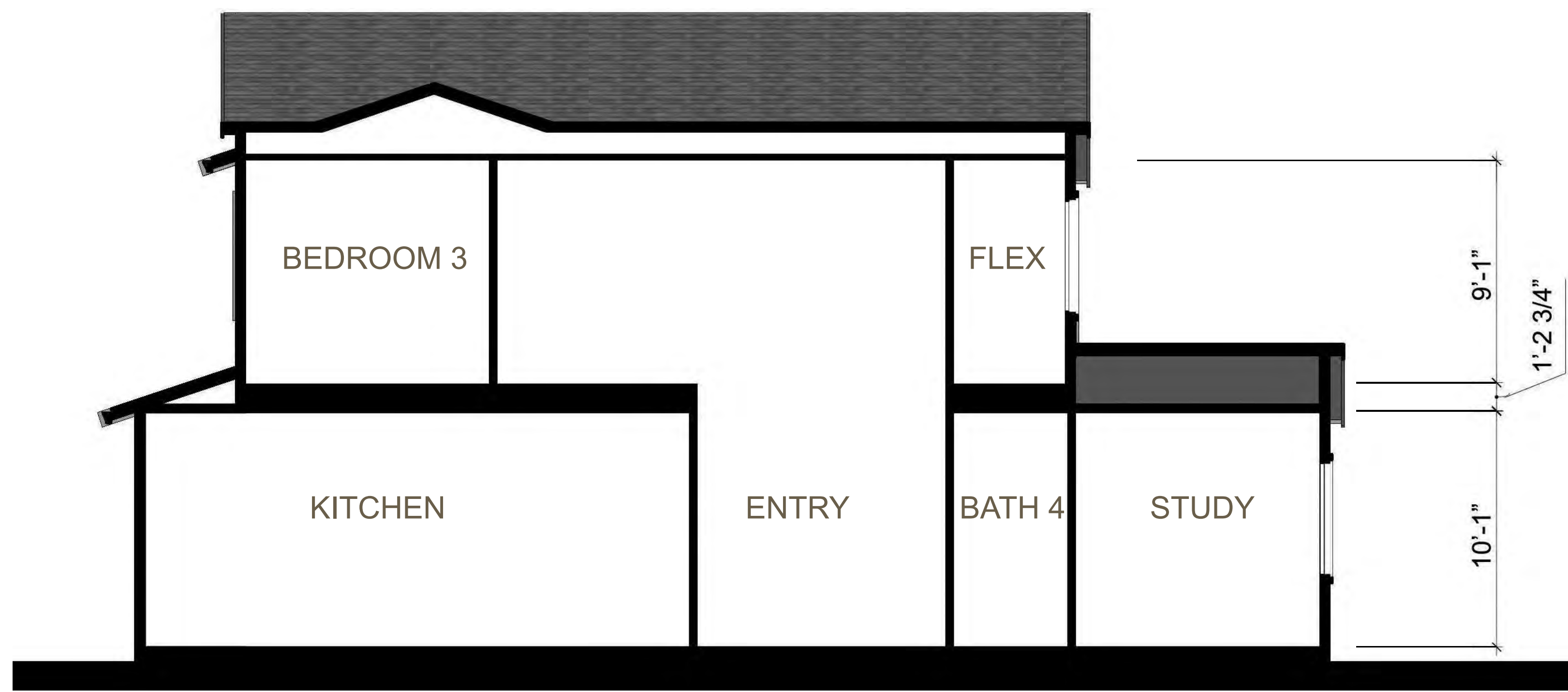
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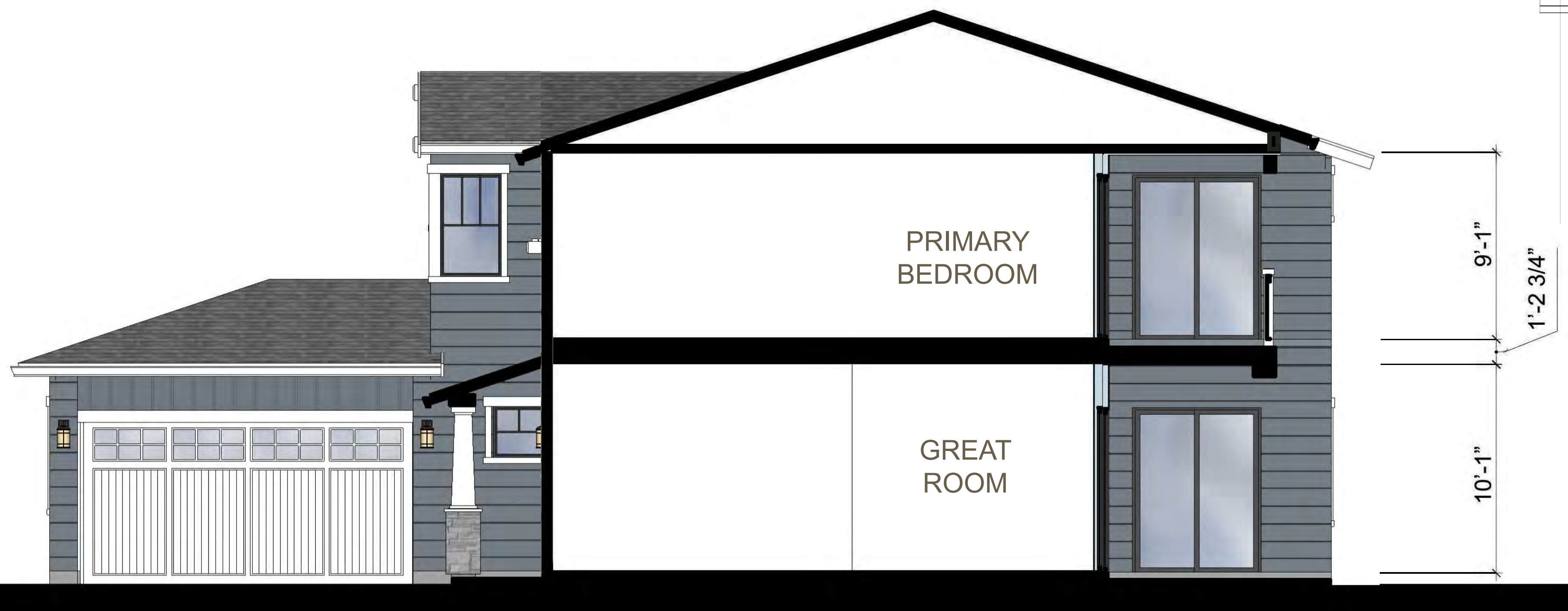
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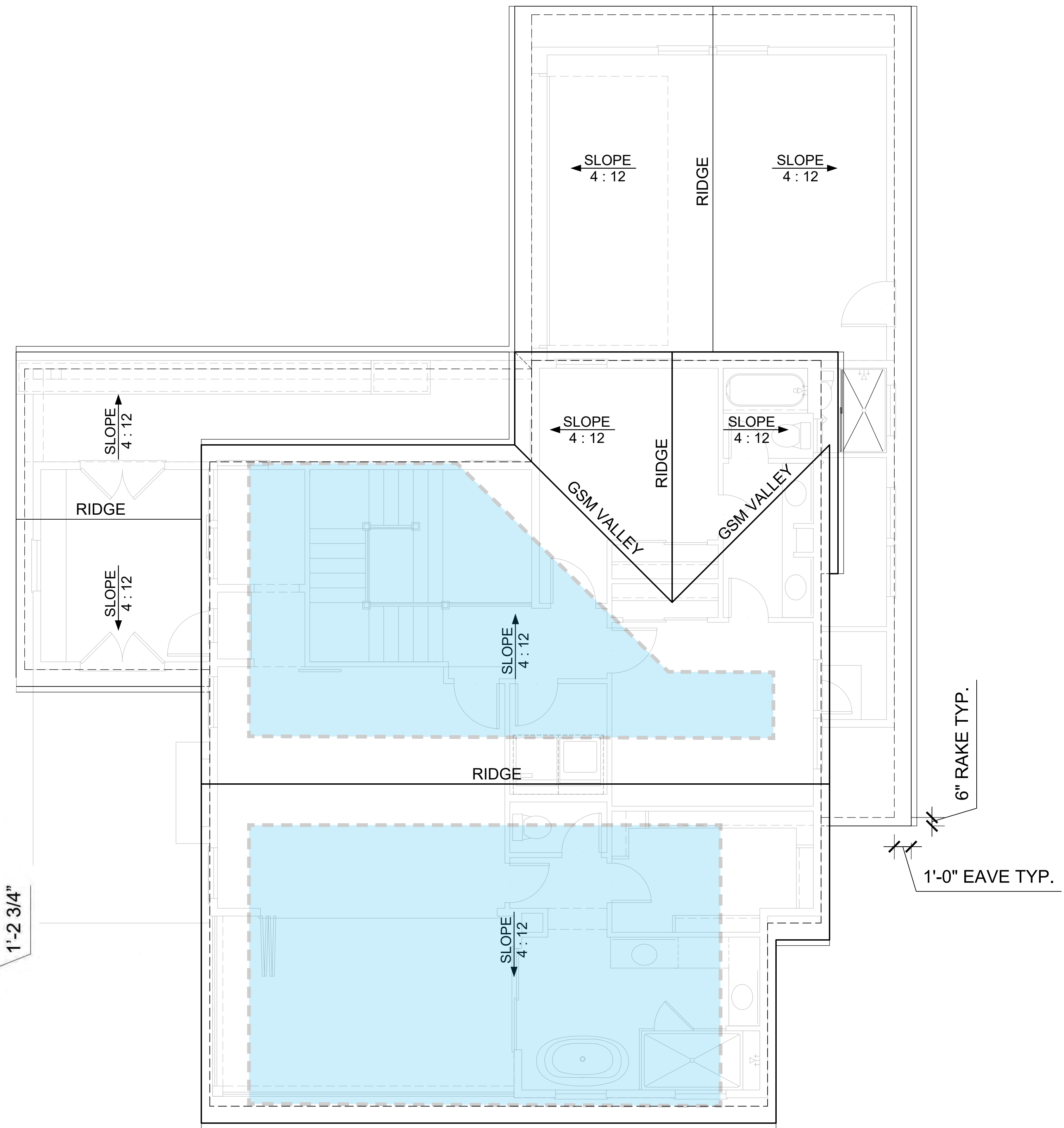
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PLAN 2 - SECTION - B 1/4" = 1'-0"



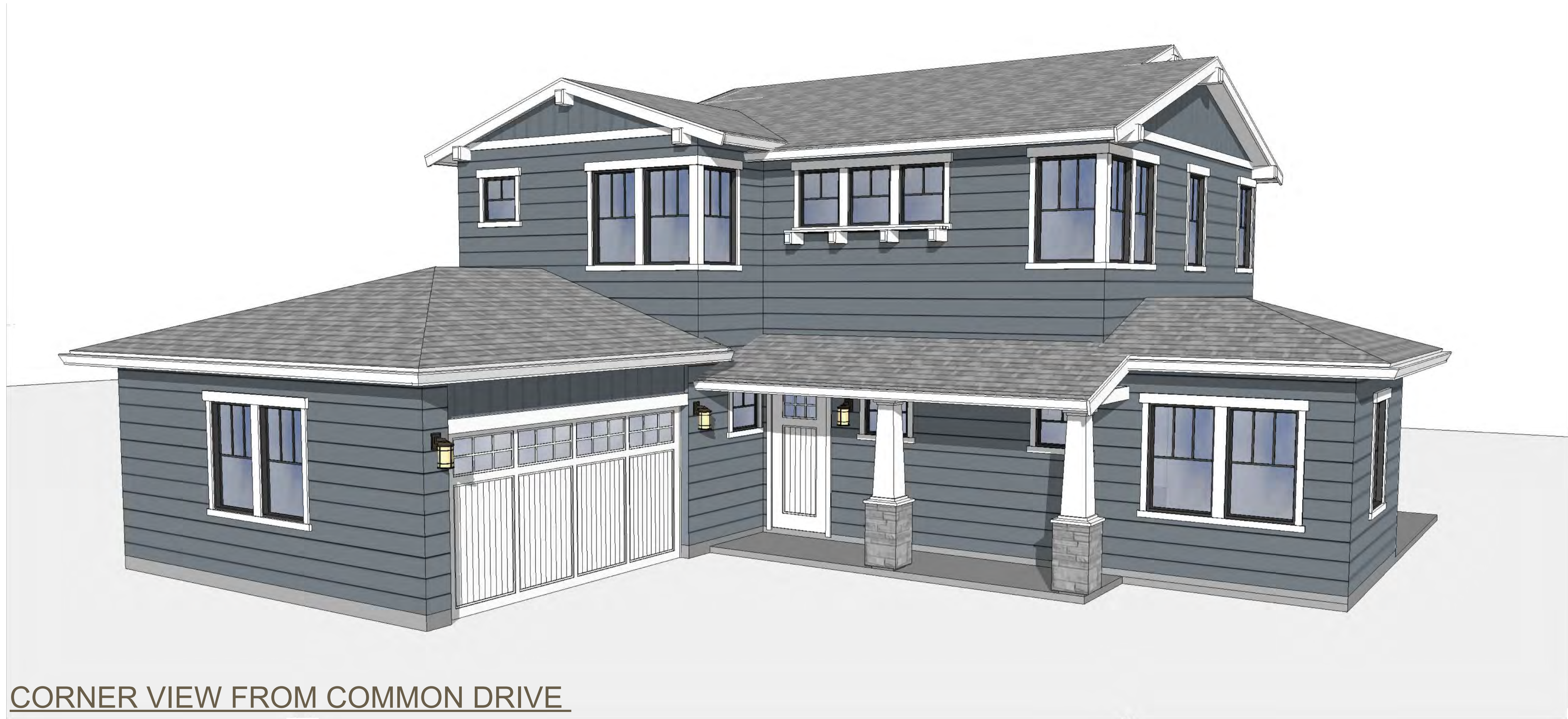
PLAN 2 - SECTION - A 1/4" = 1'-0"



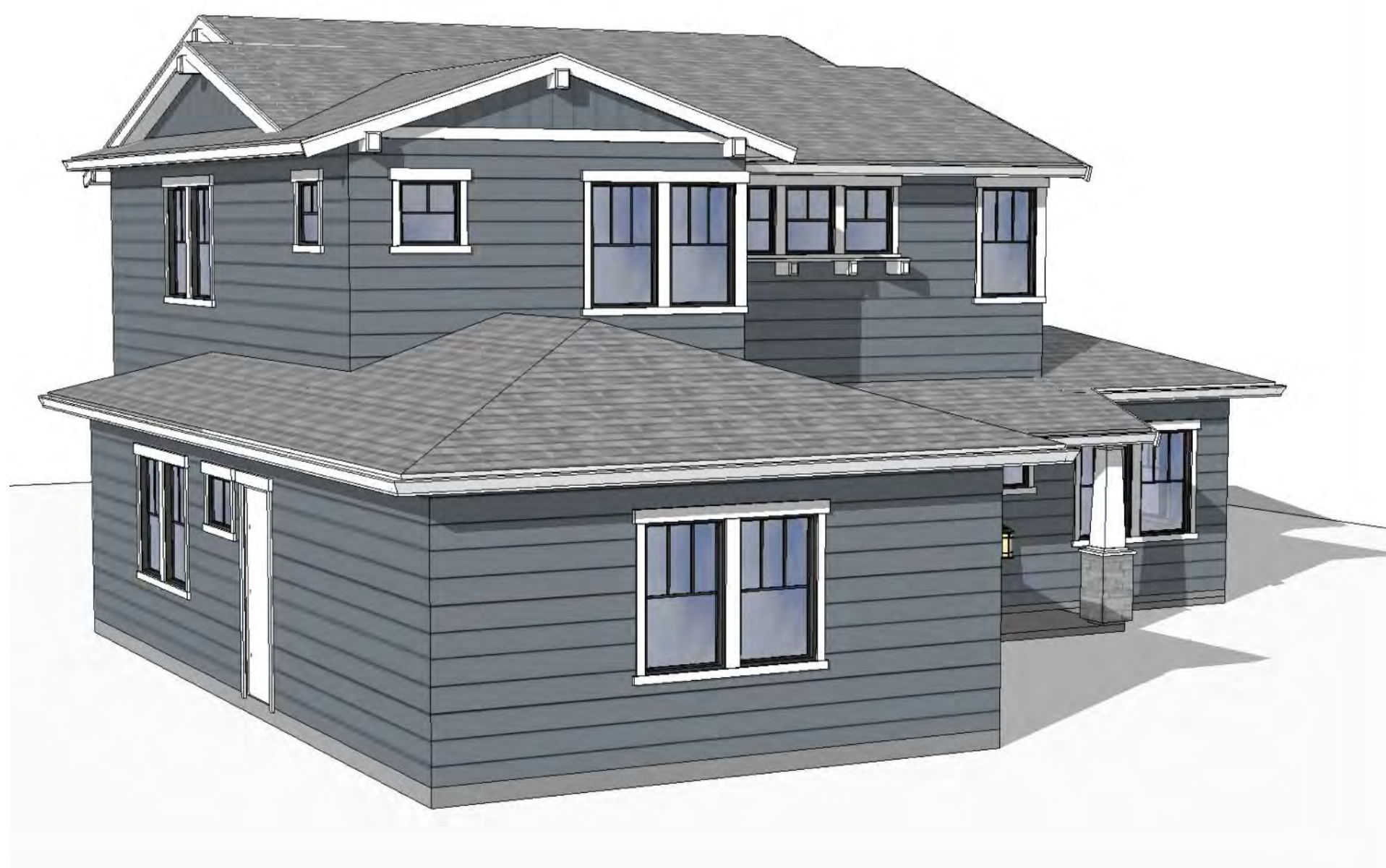
PLAN 2 - ROOF PLAN - B 1/4" = 1'-0"

 - POTENTIAL SOLAR ZONES

PLAN 2 - ROOF PLAN & SECTIONS



CORNER VIEW FROM COMMON DRIVE




PLAN 2 - 'A' CORNER PERSPECTIVE VIEWS (LOT 3)

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES



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PLAN 2 - 'A' REAR ELEVATION

1/4" = 1'-0"



PLAN 2 - 'A' RIGHT ELEVATION

1/4" = 1'-0"



PLAN 2 - 'A' LEFT ELEVATION

1/4" = 1'-0"

ROOF

TIMBERLINE COMPOSITION SHINGLES

Slate

TRIM COLOR

WOOD TRIM, EAVES, GUTTERS

Westhighland White SW 7566

BODY COLOR

SIDING, BOARD & BATT GABLE

Gibraltar SW 6257

STONE VENEER

*By Eldorado Stone
Cannonade Cut Coarse Stone*



PLAN 2 - 'A' FRONT ELEVATION

1/4" = 1'-0"

PLAN 2 - 'A' ELEVATIONS (LOT 3)

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES



0 4 8 16 NORTH

DATE 04-08-2021
JOB NO. 1578.002

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.19



CORNER VIEW FROM COMMON DRIVE



PLAN 2 - 'B' CORNER PERSPECTIVE VIEWS (LOT 4)

773 CUESTA DRIVE, MOUNTAIN VIEW

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A.20



PLAN 2 - 'B' REAR ELEVATION

1/4" = 1'-0"



PLAN 2 - 'B' LEFT ELEVATION

1/4" = 1'-0"



PLAN 2 - 'B' RIGHT ELEVATION

1/4" = 1'-0"



PLAN 2 - 'B' FRONT ELEVATION

1/4" = 1'-0"

PLAN 2 - 'B' ELEVATIONS (LOT 4)

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES



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A.21



STREETSCAPE



LOT 1

PRIVATE DRIVE

LOT 2

SITE SECTION - A

1/8" = 1'-0"



CUESTA DRIVE

LOT 2

PRIVATE DRIVE

LOT 4

SITE SECTION - B

1/8" = 1'-0"

SITE SECTIONS & STREETSCAPE

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES



0 8 16 32		NORTH ↑
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EQUINOX - 9:00 AM



EQUINOX - 12:00 PM



EQUINOX - 3:00 PM



SOLSTICE - 9:00 AM



SOLSTICE - 12:00 PM



SOLSTICE - 3:00 PM

SOLAR STUDIES

773 CUESTA DRIVE, MOUNTAIN VIEW

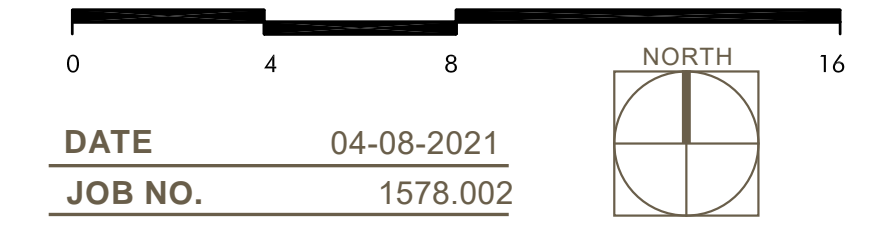
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DENARDI WANG
HOMES



ENGINEERS . SURVEYORS . PLANNERS



DATE 04-08-2021
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925-251-7200

A.23



VIEW 1 FROM CUESTA DRIVE



VIEW 2 FROM CUESTA DRIVE

PERSPECTIVE VIEWS

773 CUESTA DRIVE, MOUNTAIN VIEW

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VIEW 1 FROM PRIVATE DRIVE



VIEW 2 FROM PRIVATE DRIVE




VIEW 3 FROM PRIVATE DRIVE

PERSPECTIVE VIEWS

773 CUESTA DRIVE, MOUNTAIN VIEW

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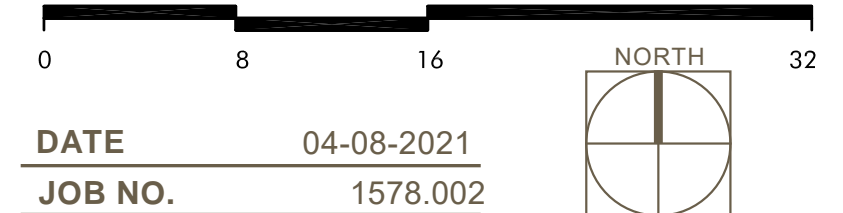
PERSPECTIVE VIEWS

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES



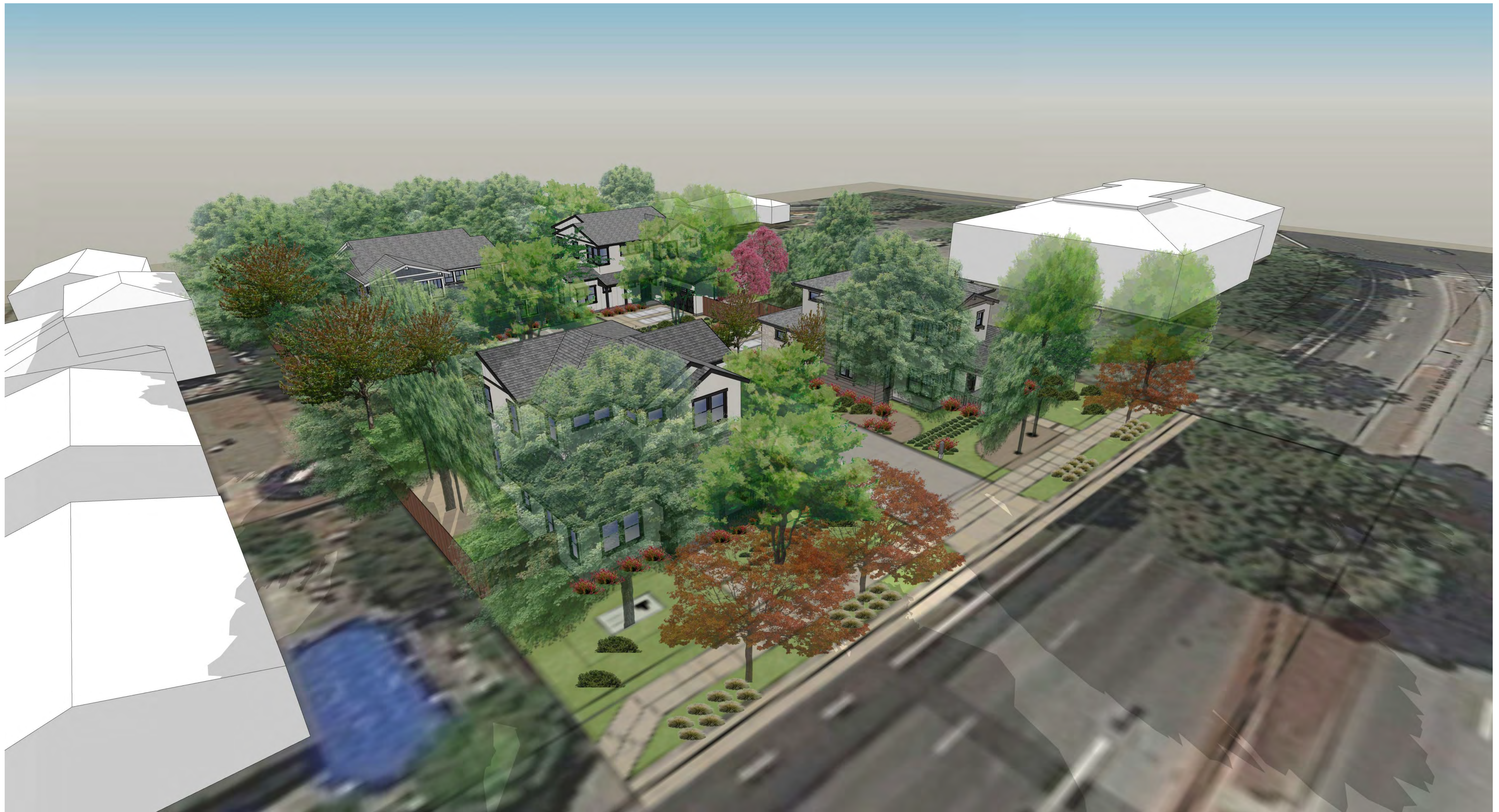
DENARDI WANG
HOMES



DATE 04-08-2021
JOB NO. 1578.002

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A.26



AERIAL PERSPECTIVE VIEW

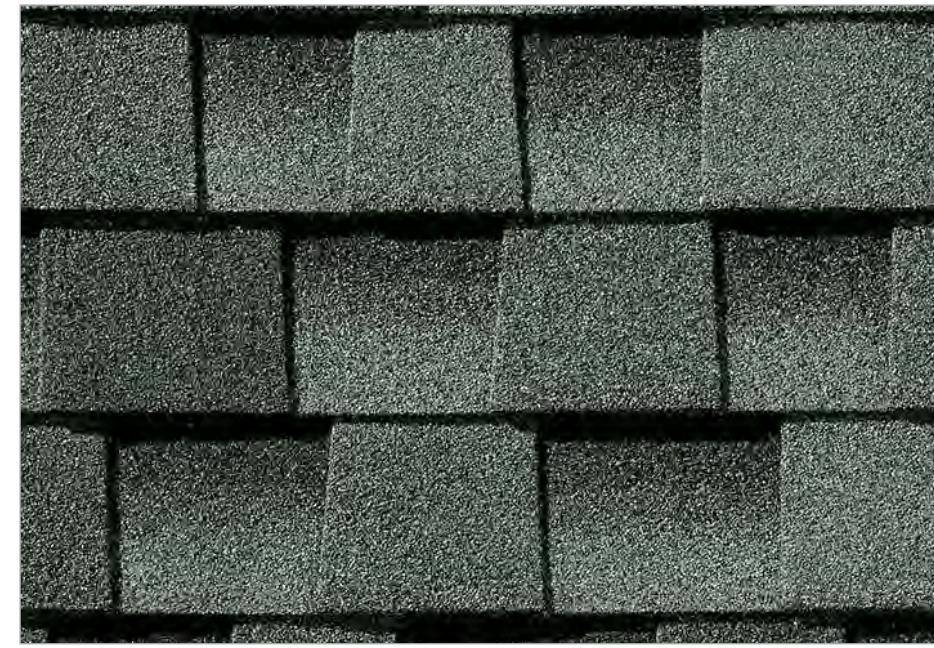
773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI WANG HOMES

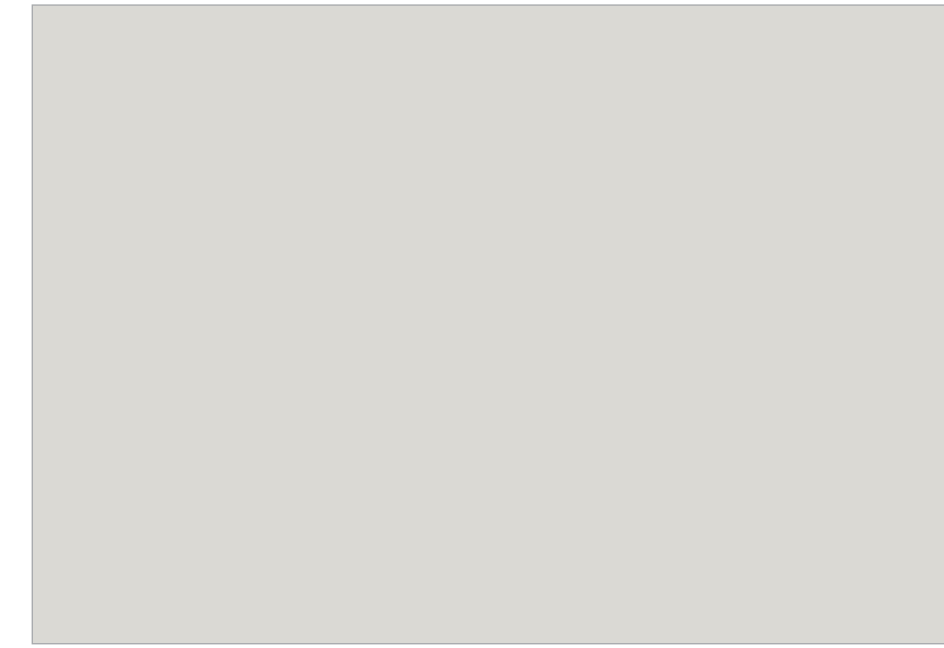


0 8 16 32
DATE 04-08-2021
JOB NO. 1578.002
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200
NORTH
A.27

SCHEME 1 (LOT 1)



ROOF
TIMBERLINE COMPOSITION SHINGLES
Slate



BODY COLOR 1
STUCCO
First Star SW 7646



BODY COLOR 2
SIDING & WINDOW TRIM
Porpoise SW 7047



TRIM COLOR
EAVES, GUTTERS, PORCH TRIM
Peppercorn SW 7674



STONE VENEER
By Eldorado Stone
Seashell Cut Coarse Stone

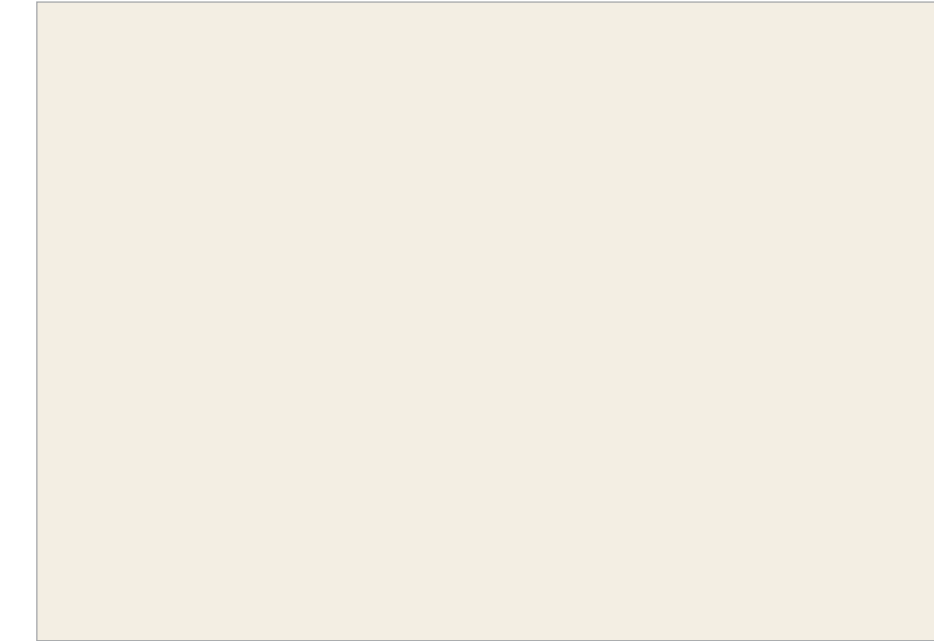
SCHEME 3 (LOT 3)



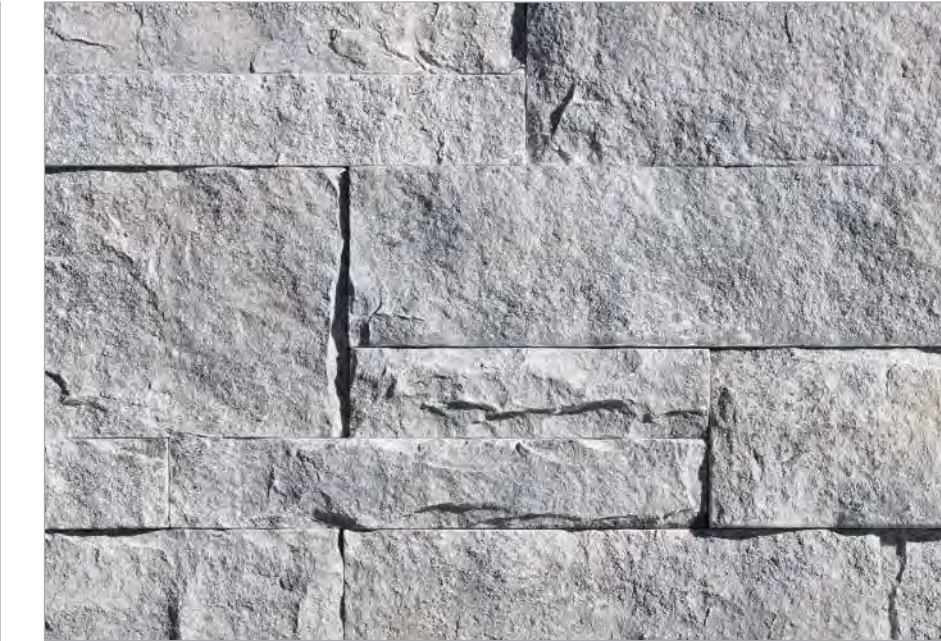
ROOF
TIMBERLINE COMPOSITION SHINGLES
Slate



BODY COLOR
SIDING, BOARD & BATT GABLE ACCENT
Gibraltar SW 6257



TRIM COLOR
WOOD TRIM, EAVES, GUTTERS, PORCH TRIM
Westhighland White SW 7566

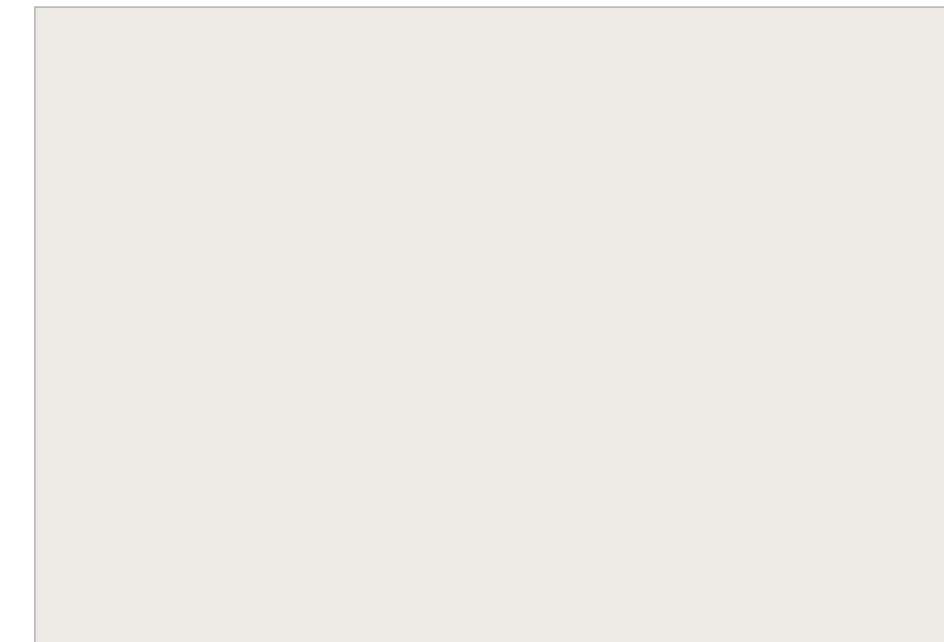


STONE VENEER
By Eldorado Stone
Cannonade Cut Coarse Stone

SCHEME 2 (LOT 2 & LOT 4)



ROOF
TIMBERLINE COMPOSITION SHINGLES
Birchwood

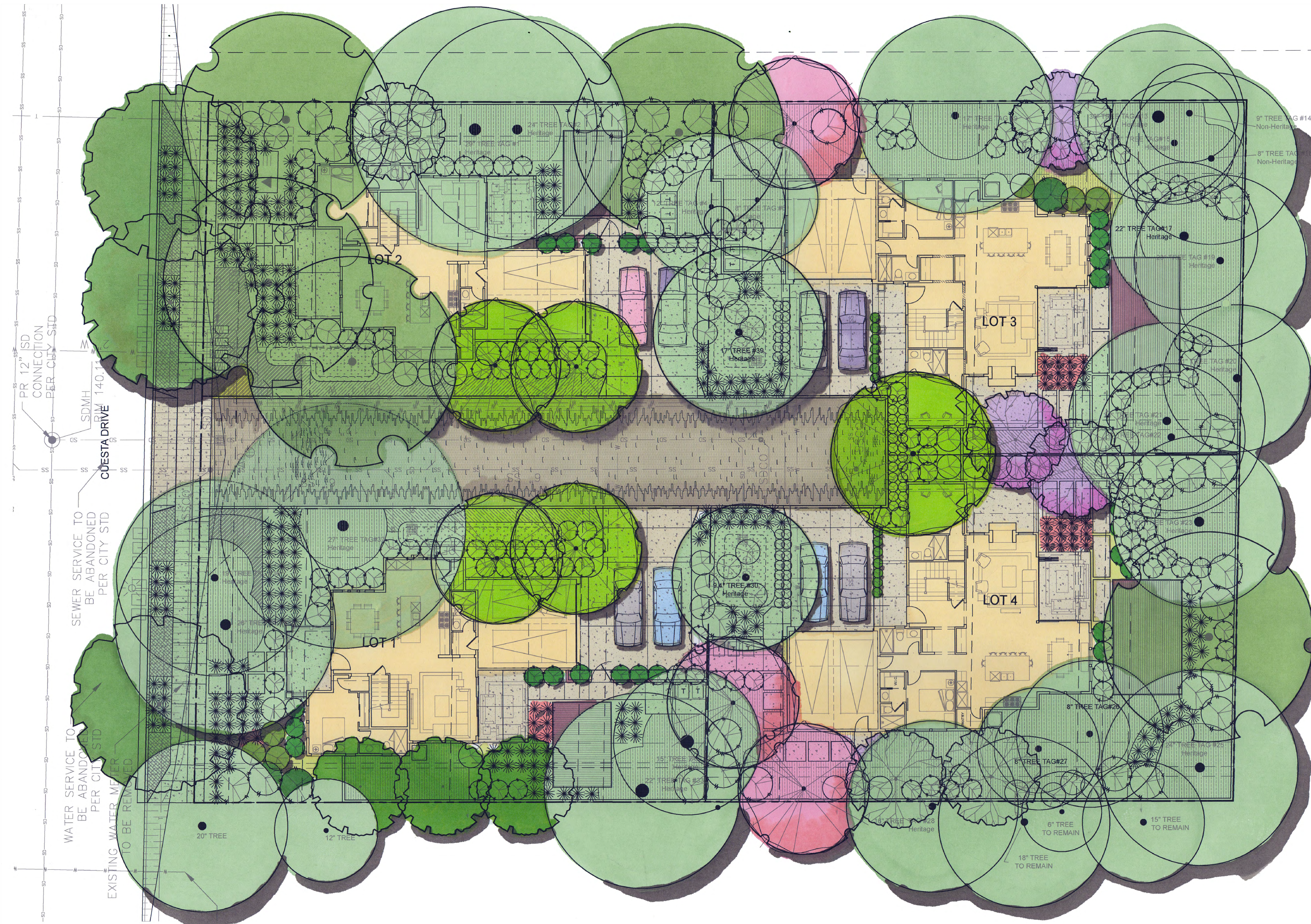


BODY COLOR 1
STUCCO, BOARD & BATT SIDING
Snowbound SW 7004



TRIM COLOR
WOOD TRIM, EAVES, GUTTERS, PORCH TRIM
Caviar SW 6990

COLORS & MATERIALS

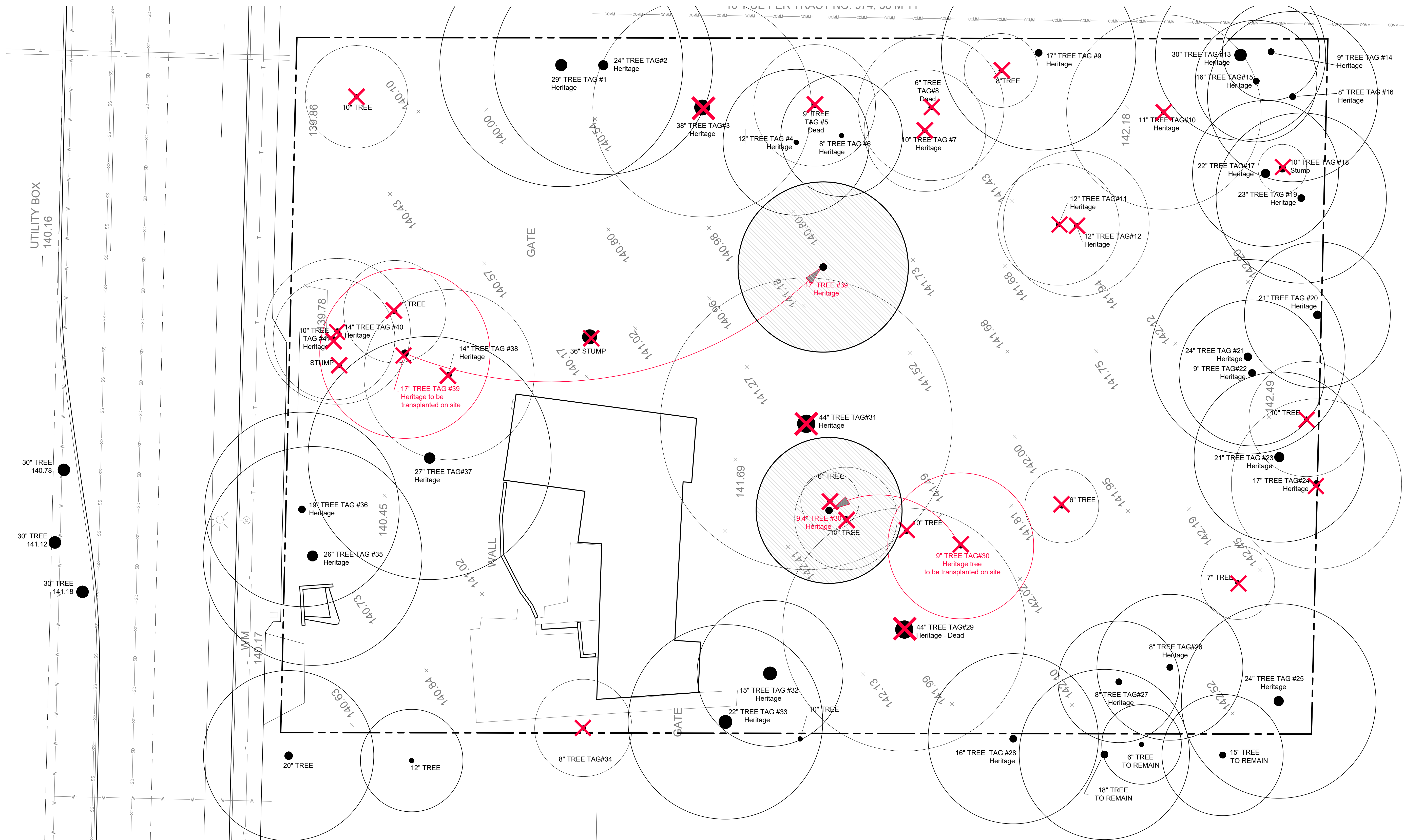


773 Cuesta Drive

MOUNTAIN VIEW, CALIFORNIA

April 16, 2021

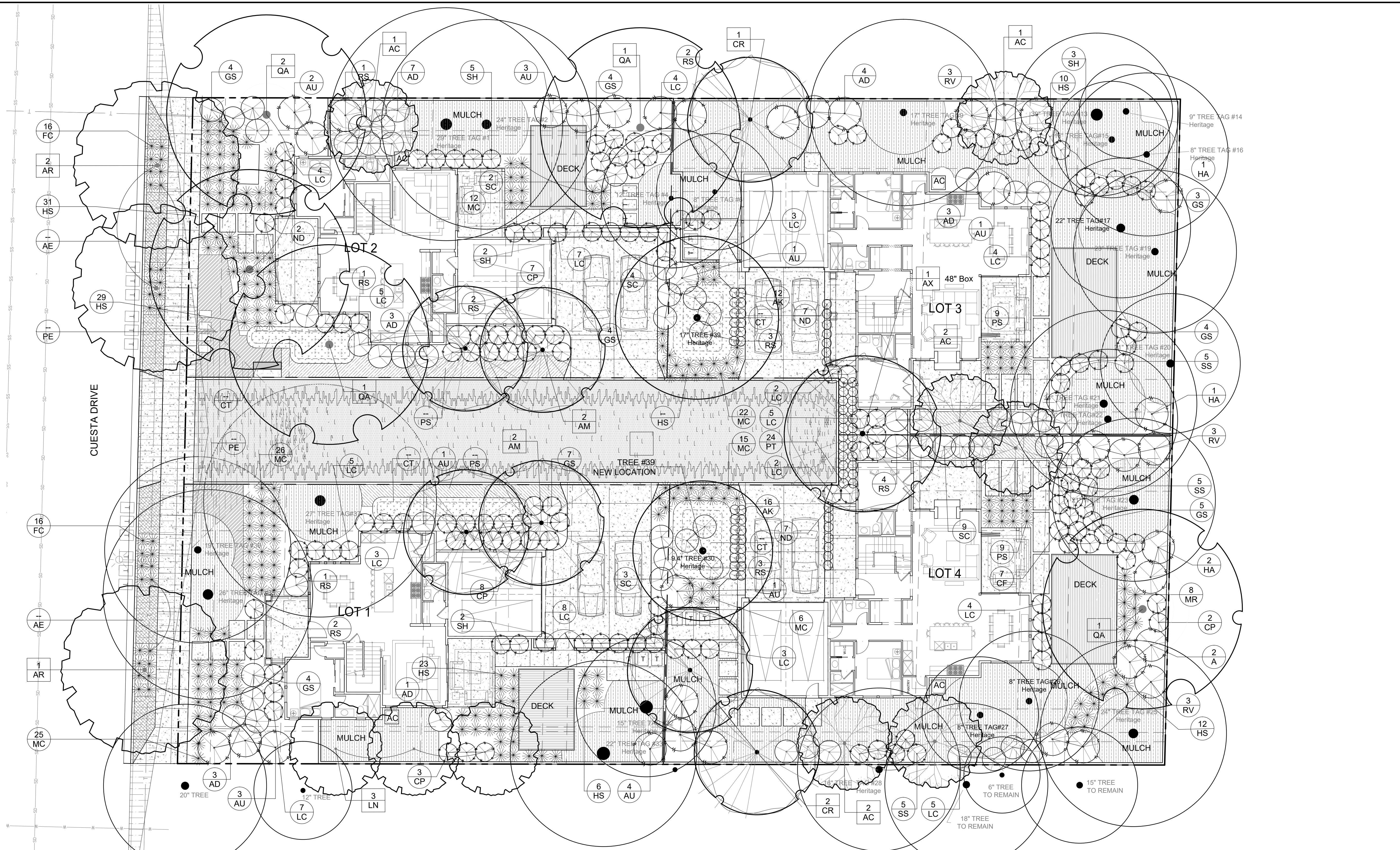
LANDSCAPE PLANS



HERITAGE TREE		HERITAGE TREE		NON-HERITAGE TREE	
TREES TO REMAIN:		TREES TO BE TRANSPLANTED ON SITE:		TREES TO BE REMOVED:	
1	29.1 DBH Coast Live Oak	39	16.5" DBH Coast Live Oak	5	8.5", 8.2" DBH Black Walnut (Dead)
2	24.4 DBH Coast Live Oak	30	9.4" DBH Valley Oak	8	4 x 6" Black Walnut (Dead)
4	12.4 DBH Coast Live Oak			18	9.5" DBH Stump (Unknown)
6	8.3" DBH Coast Live Oak			34	8.1" DBH Xylosma
9	16.3", 17.1", 16.5" Coast Live Oak				
13	29.9" DBH Coast Live Oak	TREES TO BE REMOVED:			
14	9.4 DBH Coast Live Oak	3	38" @ Base Black Walnut		
15	15.8" DBH Coast Live Oak	7	10.4" DBH Coast Live Oak		
16	8.2 DBH Coast Live Oak	10	8.5", 10.4", 10.6" Black Walnut		
17	22.3" DBH Coast Live Oak	11	12.1" DBH Coast Live Oak		
19	22.9" DBH Coast Live Oak	12	11.8" DBH Coast Live Oak		
20	20.8" DBH Coast Live Oak	24	16.8" DBH Black Walnut		
21	23.7" DBH Coast Live Oak	29	44.2" DBH Monterey Pine (Dead)		
22	8.9" DBH Valley Oak	31	43.9" DBH Valley Oak		
23	20.9" DBH Coast Live Oak	38	14.1" DBH Coast Live Oak		
25	23.8" DBH Coast Live Oak	40	13.6" DBH Coast Live Oak		
26	8.1" DBH Coast Live Oak	41	9.6" DBH Coast Live Oak		
27	7.6" DBH Coast Live Oak				
28	16.1" DBH Coast Live Oak				
32	14.6" DBH Coast Live Oak				
33	21.7" DBH Coast Live Oak				
35	25.8" DBH Coast Live Oak				
36	18.8" DBH Coast Live Oak				
37	26.9" DBH Coast Live Oak				

Prepared By: LEVESQUE DESIGN 1414 BAY STREET, SUITE 100 ALAMEDA, CALIFORNIA 94501 (510) 521 6700			
Prepared For: DENARDI WANG HOMES 773 Cuesta LLC C/O Denardi Wang Homes 4962 El Camino Real, Suite 223 Los Altos, CA 94022 info@denardihomes.com			
<h1 style="margin: 0;">773 Cuesta Drive</h1> <p style="margin: 0;">MOUNTAIN VIEW, CALIFORNIA</p>			
<h2 style="margin: 0;">LANDSCAPE PLANS</h2>			
<h3 style="margin: 0;">EXISTING TREE PLAN</h3>			
Scale: SCALE: 1" = 10'-0" 			
Date: April 16, 2021		Scale:	
Job: 20-213	Design: KTL	Drawn: KTL	Checked: KTL
North:		Sheet: L-1.1	
of 15 Sheets			

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PLANT LIST:

QTY	SYM	SIZE	WUCOLS	BOTANIC NAME	COMMON NAME	NOTES
Trees:						
6	AC	24" box	Mod	<i>Acer circinatum</i>	Vine Maple	Multi/CA Native
3	AR	24" box	Mod	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	
4	AM	24" Box	Low	<i>Arbutus x 'Marina'</i>	Marina Strawberry Tree	
1	AX	48" Box	Low	<i>Arbutus x 'Marina'</i>	Marina Strawberry Tree	
3	CR	24" box	Low	<i>Cercis reniformis</i> 'Oklahoma'	Oklahoma Redbud	
3	LN	24" box	Low	<i>Laurus nobilis</i>	Coast Live Oak	Standard / CA Native
5	QA	24" box	Low	<i>Quercus agrifolia</i>	Coast Live Oak	
Shrubs:						
AD	5 gal.	Low		<i>Arctostaphylos</i> 'John Dourley'	Low-Growing Manzanita	CA Native
AU	15 gal.	Low		<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree	
CP	5 gal.	Low		<i>Correa pulchella</i>	Pink Australian Fuchsia	
HA	15 gal.	Low		<i>Heteromeles arbutifolia</i>	Toyon	CA Native
ND	5 gal.	Low		<i>Nandina domestica</i> 'Sienna Sunrise'	Sienna Sunrise Heavenly Bamboo	
SC	5 gal.	Low		<i>Salvia clevelandii</i> 'Winnifred Gilman'	Winnifred Gilman Cleveland Sage	
SH	1 gal.	Low		<i>Sarcococca hookeriana</i> var. <i>humilis</i>	Himalayan Sweet Box	
GS	5 gal.	Low		<i>Galvezia speciosa</i> 'Firecracker'	Island Snapdragon	
LC	15 gal.	Low		<i>Loropetalum c.</i> 'Plum Delight'	Fringe Flower	

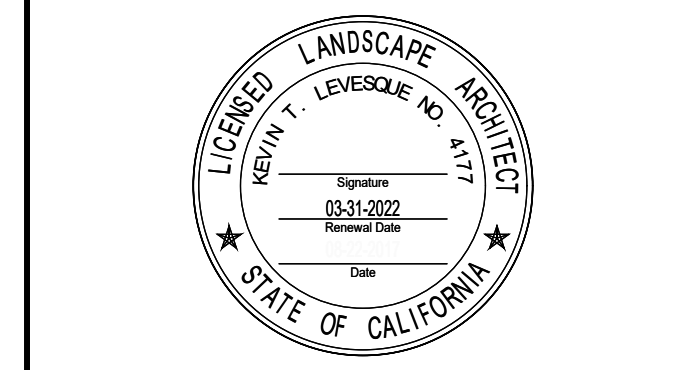
LC	15 gal.	Low	<i>Loropetalum c.</i> 'Plum Delight'	Fringe Flower		
RS	15 gal.	Low	<i>Ribes sanguineum</i> 'King Edward VII'	Red Flowering Currant	CA Native/ C-3 Basins / Appendix D	
RV	5 gal.	Low	<i>Ribes viburnifolium</i>	Evergreen Currant		
SS	5 gal.	Low	<i>Salvia spathacea</i>	Hummingbird Sage		
Grasses:						
CT	1 gal.	Low	<i>Carex tumulicola</i> (divulsa)	Berkeley Sedge	C-3 Basins / Appendix D	
FC	3 gal.	Low	<i>Festuca c.</i> 'River House Blues'	California Fescue		
HS	1 gal.	Low	<i>Helictotrichon sempervirens</i>	Blue Oat Grass		
MC	1 gal.	Low	<i>Muhlenbergia capillaris</i>	Pink-Red Muhly		
MR	5 gal.	Low	<i>Muhlenbergia rigens</i>	Deer Grass	CA Native	
PE	1 gal.	Low	<i>Pennisetum setaceum</i> 'Eaton Canyon'	Dwarf Red Fountain Grass		
PS	5 gal.	Low	<i>Pennisetum setaceum</i> 'Sky Rocket'	Sky Rocket Fountain Grass		
Groundcovers / Perennials						
AE	1 gal.	Low	<i>Arctostaphylos e.</i> 'Carmel Sur'	Carmel Sur Manzanita		
AK	1 gal.	Low	<i>Anigozanthos</i> 'Kanga Red'	Anigozanthos 'Kanga Red'		
CF	1 gal.	Low	<i>Cotoneaster d.</i> 'Streibs Finding'	Streibs Finding Cotoneaster		
PT	1 gal.	Low	<i>Phormium tenax</i> 'Tom Thumb'	Green-Bronze Dwarf New Zealand Flax		

- LANDSCAPE NOTES:**
- THE TOTAL IRRIGATED LANDSCAPE AREA IS 11,159 SQUARE FEET.
 - ALL NEW LANDSCAPE AREAS SHALL HAVE 3" OF WOOD MULCH, SEE PLANTING NOTES.
 - SHT. L-6.0.
 - OVER 80% OF THE LANDSCAPE AREAS SHALL BE PLANTED WITH NATIVE OR DROUGHT TOLERANT PLANTS. SEE THE PLANT LIST ON L-6.1.
 - THE PLANTS SHALL BE APPROPRIATE FOR THE LOCATION IN ACCORDANCE WITH APPROPRIATE CLIMATE ZONES.
 - ALL OF THE ABOVE PRACTICES, SHALL BE USED IN THE BUILDING PLAN SUBMITTAL.
 - FINAL TREE LOCATIONS SHALL BE STAKED, PRIOR TO PLANTING FOR APPROVAL, AND SHALL BE 5' MIN. FROM WATER LINES AND 10' FROM SEWER LINES.

Prepared By:
LEVESQUE DESIGN
 1414 BAY STREET, SUITE 100
 ALAMEDA, CALIFORNIA 94501
 (510) 521 6700

Prepared For:

DENARDI WANG HOMES
 773 Cuesta LLC
 C/O Denardi Wang Homes
 4962 El Camino Real, Suite 223
 Los Altos, CA 94022
 info@denardihomes.com

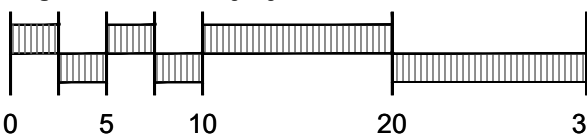


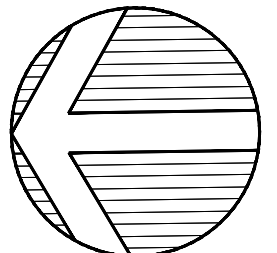
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MOUNTAIN VIEW, CALIFORNIA

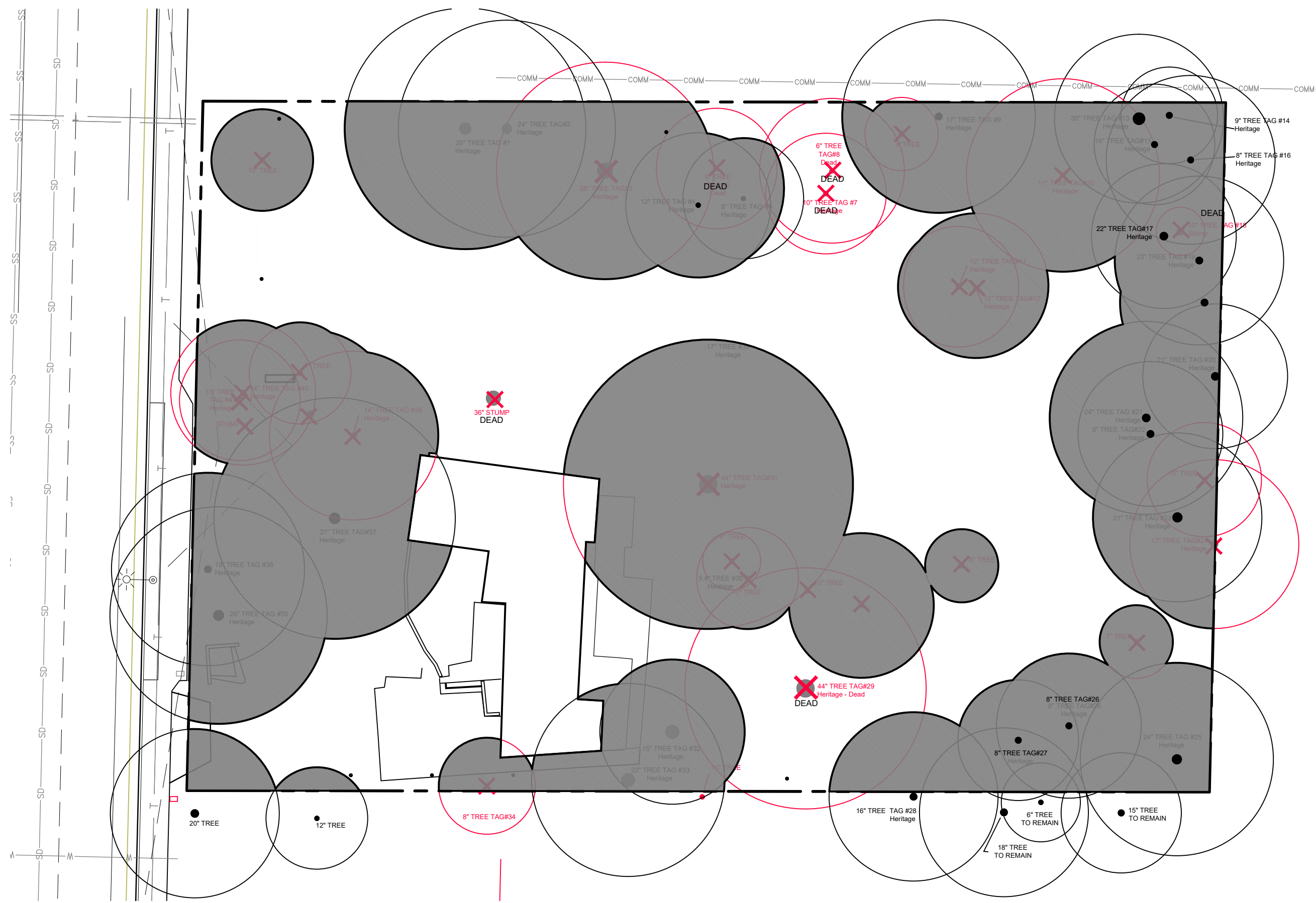
LANDSCAPE PLANS

PLANTING PLAN

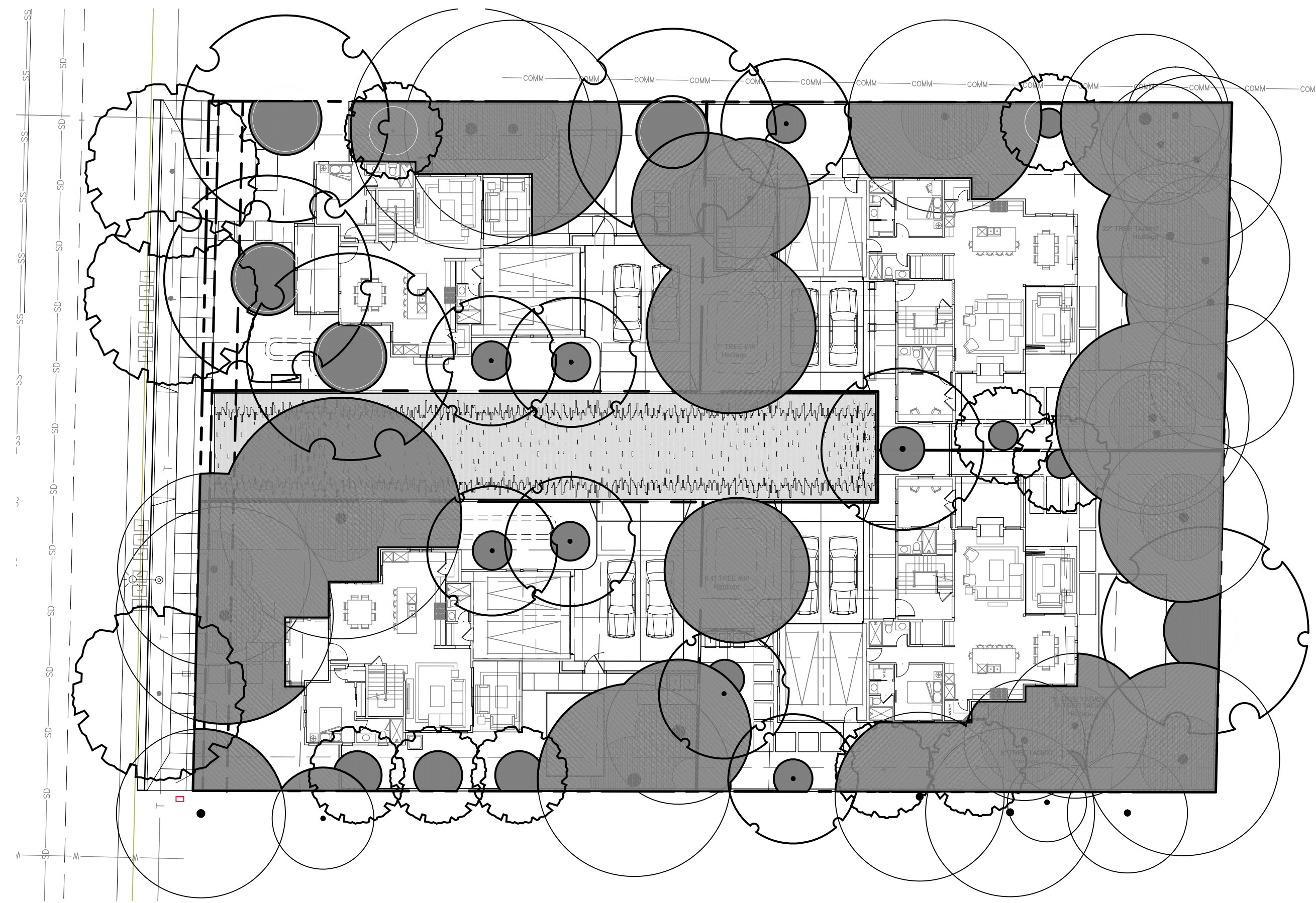
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Date: April 16, 2021
 Job: 20-213 Design: KTL Drawn: KTL Checked: KTL
 North:  Sheet: **L-6.1**
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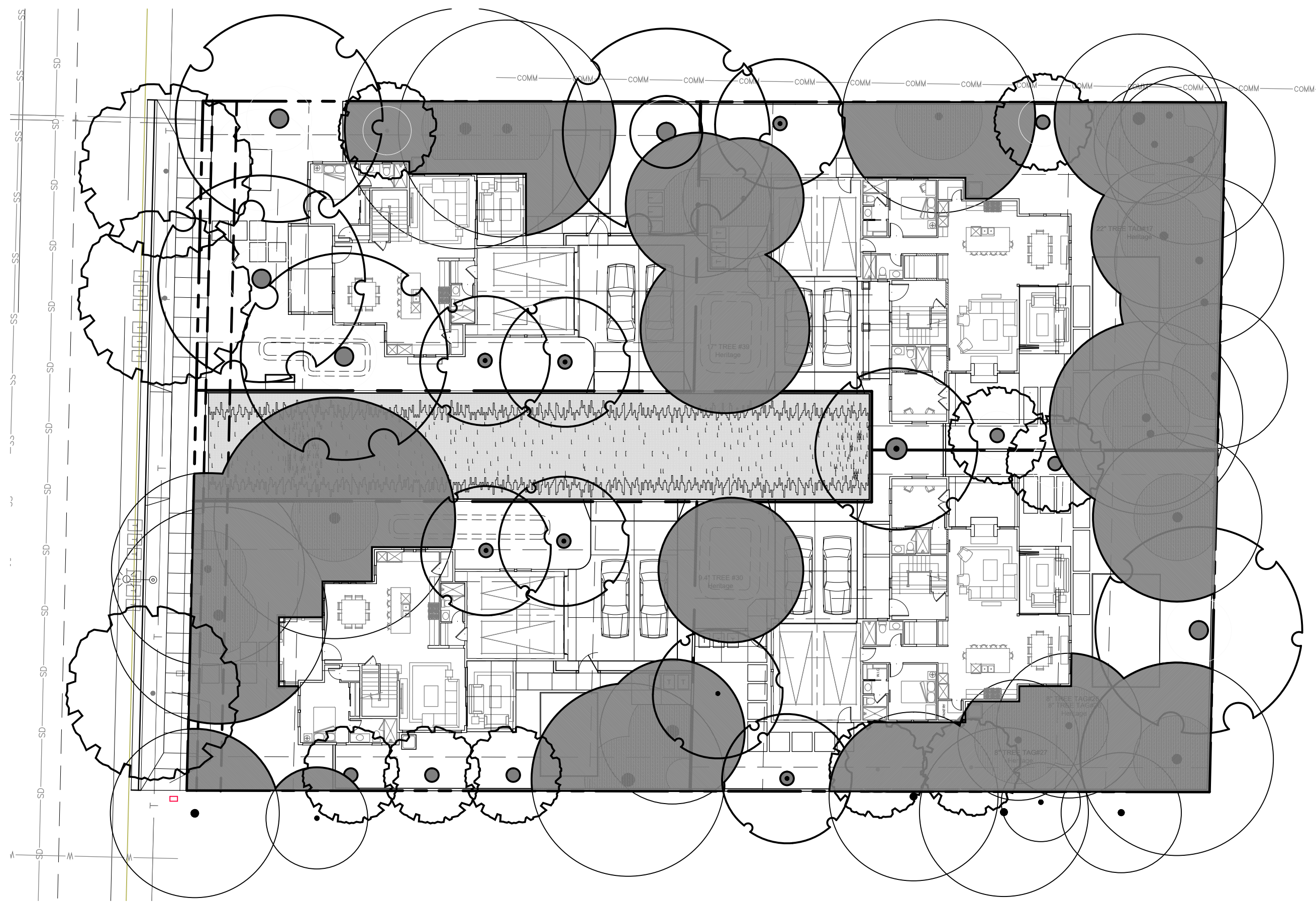


1 EXISTING TREE CANOPY: 17868 sq. ft.
Scale: 1' = 20'-0"



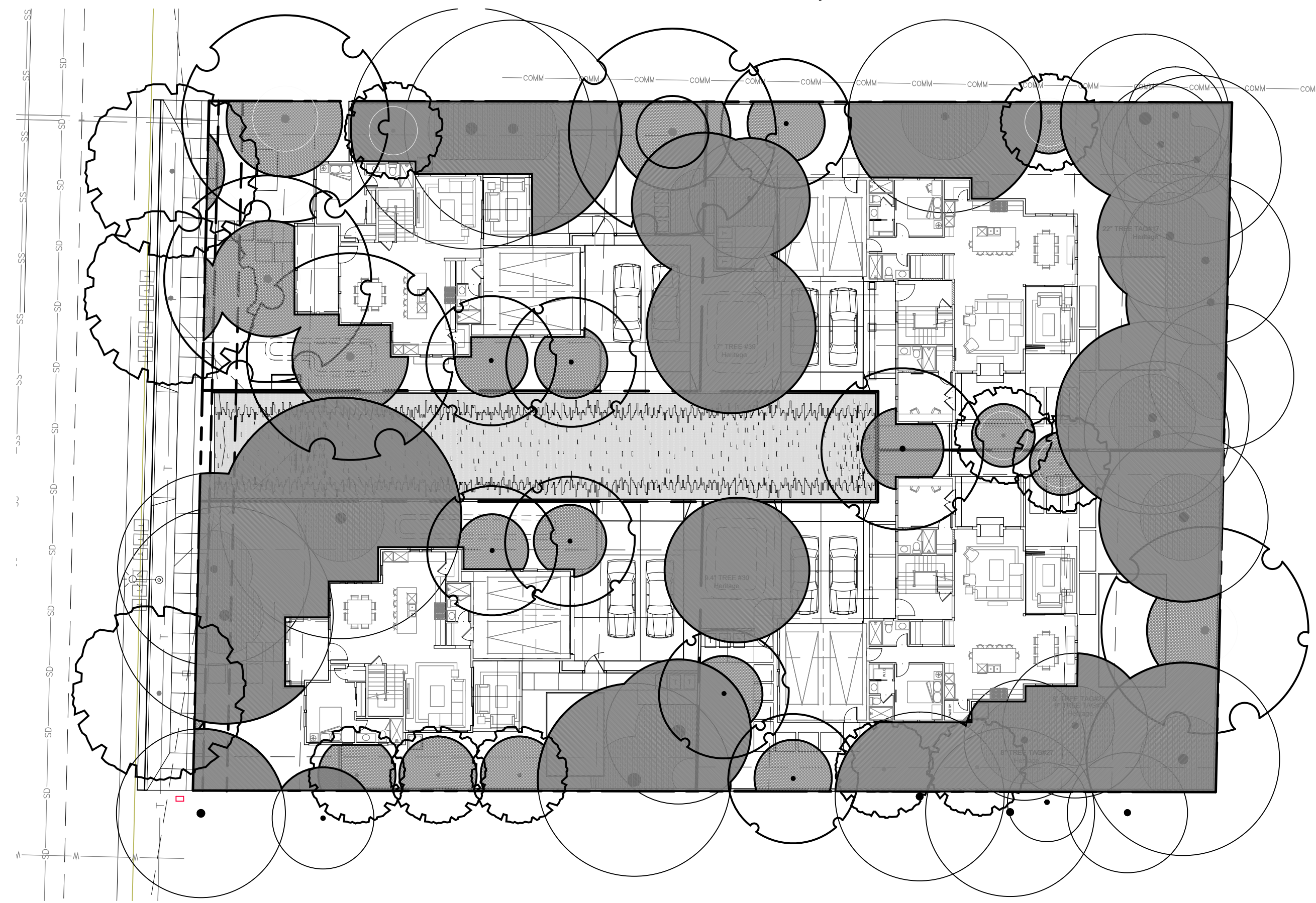
3 TREE CANOPY AT 5 YEARS: 11,885 sq. ft.
Scale: 1' = 20'-0"
(includes Tree #30 & #39 transplanted on site)

Proposed	1,407 sq. ft.
Total	13,292 sq. ft.



2 TREE CANOPY AT PLANTING: Existing 11,885 sq. ft.
Scale: 1' = 20'-0"
(includes Tree #30 & #39 transplanted on site)

Proposed	112 sq. ft.
Total	11,997 sq. ft.



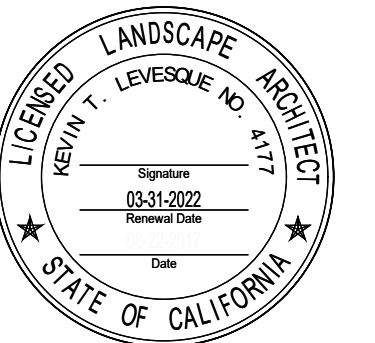
4 TREE CANOPY AT 10 YEARS: 11,885 sq. ft.
Scale: 1' = 20'-0"
(includes Tree #30 & #39 transplanted on site)

Proposed	3,896 sq. ft.
Total	15,781 sq. ft.

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LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

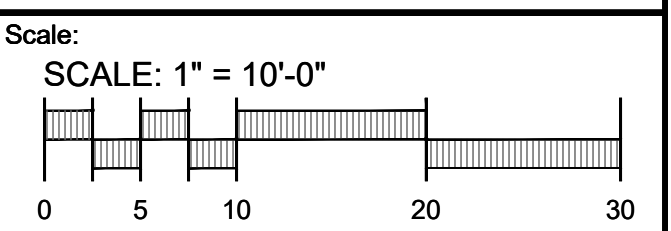
Prepared For:
DENARDI WANG HOMES
773 Cuesta LLC
C/O Denardi Wang Homes
4962 El Camino Real, Suite 223
Los Altos, CA 94022
info@denardihomes.com



773 Cuesta Drive
MOUNTAIN VIEW, CALIFORNIA

LANDSCAPE
PLANS

SHADE CANOPY
EXHIBIT



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North:		Sheet:	

L-8.1
of 15 Sheets



LEGEND

PROJECT BOUNDARY	---
ADJACENT LOT LINE	---
EASEMENT	---
ROAD CENTER LINE	---
TELECOMM LINE	T
STORM DRAIN LINE	SD
SANITARY SEWER LINE	SS
WATER LINE	W
GAS LINE	G
GAS LINE	COMM
FENCE	X
CURB, GUTTER & SIDEWALK	---
TREE TO REMAIN	○
REMOVE TREE	⊗
RELOCATE TREE	□
WATER METER	□WM
WATER VALVE	○WV
SANITARY SEWER MANHOLE	⊙
STORM DRAIN MANHOLE	⊙SD
UTILITY BOX	□
STORM DRAIN CATCH BASIN	□

ABBREVIATIONS

AC	ASPHALTIC CONCRETE
CB	CATCH BASIN
CONC	CONCRETE
FH	FIRE HYDRANT
FL	FLOW LINE
LG	LIP OF GUTTER
JP	JOINT POLE
MH	MANHOLE
SBDI	STORMDRAIN DRAINAGE INLET
SDMH	STORMDRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
WV	WATER VALVE

- NOTES**
- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - BENCHMARK CITY OF MOUNTAIN VIEW BENCHMARK V10: BRONZE DISK STAMPED "V-10" SET IN THE TOP OF OLD P.C.C. CURB AT THE CENTER OF THE NORTHEAST RETURN OF CUESTA DRIVE AT MIRAMONTE AVENUE.
ELEVATION = 141.032 FEET, BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - BASIS OF BEARINGS THE BEARING N 88°40'00"W OF THE CENTERLINE OF CUESTA DRIVE, FORMERLY SLADKY AVENUE, AS SAID BEARING IS SHOWN ON MAP OF TRACT NO. 974, ENTITLED "SALCO ACRES", FILED FOR RECORD ON JUNE 2, 1952 IN BOOK 38 OF MAPS AT PAGE 11, RECORDS OF SANTA CLARA COUNTY, CALIFORNIA; WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.
 - FOR EASEMENTS OF RECORD, BKF RELIED ON PRELIMINARY TITLE REPORT ORDER NO. 4316-6119469, DATED JANUARY 13, 2020 AND AMENDED ON FEBRUARY 10, 2020, ISSUED BY FIRST AMERICAN TITLE COMPANY.
 - BOUNDARY NOTE THE BOUNDARY SHOWN ON THIS EXHIBIT IS A PAPER BOUNDARY AND IS NOT THE RESULT OF A FIELD BOUNDARY SURVEY.
 - AERIAL SURVEY SHOWN ON SCREENED BACKGROUND.
 - ALL EXISTING STRUCTURES SHALL BE REMOVED PRIOR TO THE RECORDATION OF A FINAL MAP OR SIMILAR INSTRUMENT, TO THE SATISFACTION OF THE DIRECTORS OF THE COMMUNITY DEVELOPMENT AND PUBLIC WORKS DEPARTMENT, AND THE CITY ATTORNEY'S OFFICE.



EXISTING CONDITIONS & TREE REMOVAL PLAN

773 CUESTA DRIVE, MOUNTAIN VIEW

DENARDI HOMES



DATE 04/16/2021
JOB NO. 20201339

1730 N. 1ST STREET #600
SAN JOSE, CA 95112
(408) 467-9100

C1.0