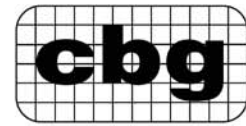




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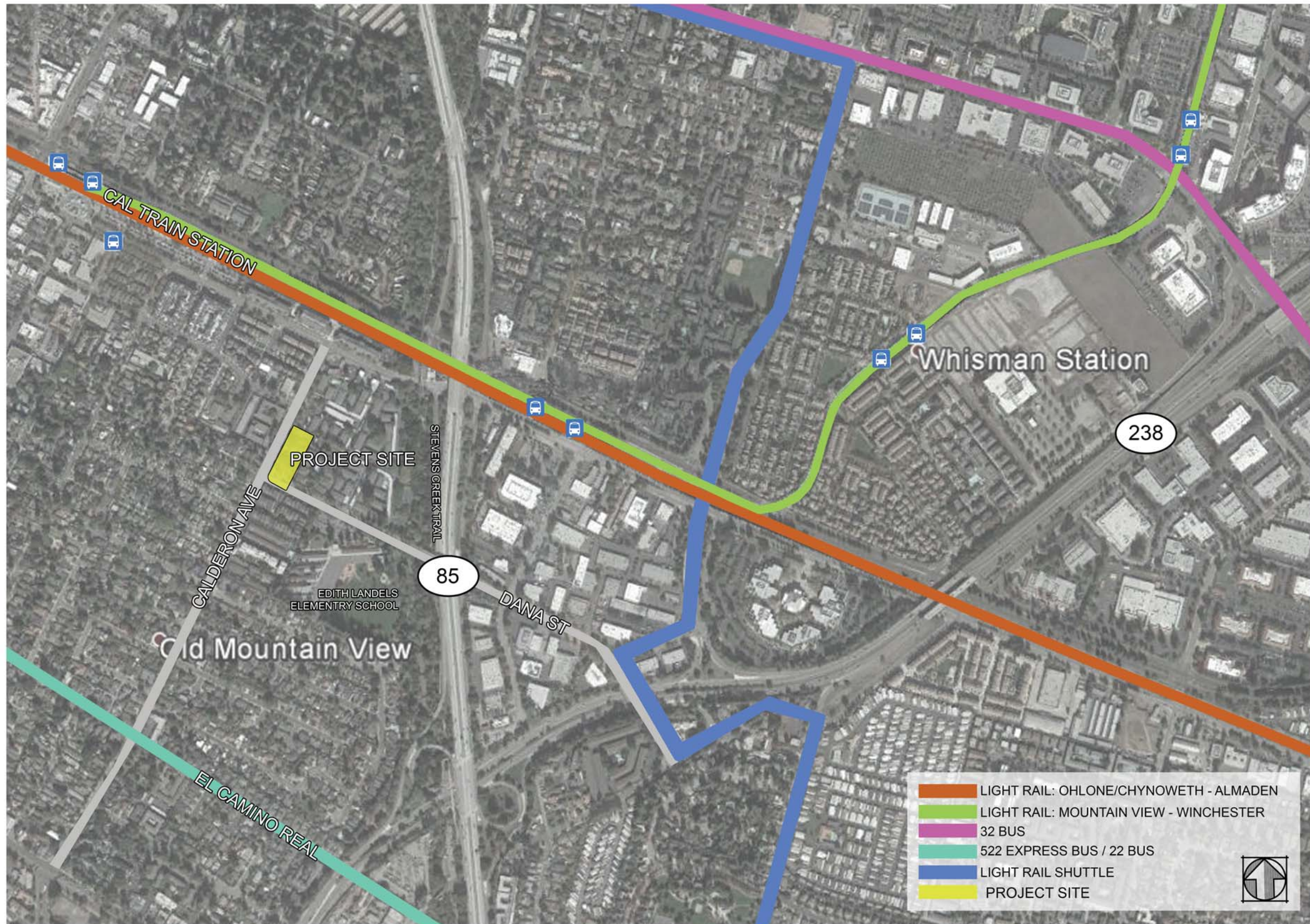
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COVER SHEET
A0



SHEET INDEX

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- A1 SHEET INDEX & SITE CONTEXT
- A2 SITE AERIAL
- A3 EXISTING SITE & SURROUNDING CONTEXT
- A4 PROJECT DATA
- A5A ARCHITECTURAL SITE PLAN FIRST FLOOR
- A5B ARCHITECTURAL SITE PLAN SECOND FLOOR
- A5C ARCHITECTURAL SITE PLAN THIRD FLOOR
- A6 GRAPHIC CALCULATIONS
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- A8 UNIT 3 FLOOR PLANS
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- C.1 BOUNDARY AND EXISTING CONDITIONS
- C.2 PRELIMINARY SITE PLAN & UTILITY PLAN
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- JT1 JOINT TRENCH COMPOSITE TITLE SHEET
- JT2 JOINT TRENCH GENERAL NOTES AND DETAILS
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- SL1 STREET LIGHTING GENERAL NOTES AND DETAILS
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- PE1 PHOTOMETRIC EXHIBIT SHEET
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- PE3 PHOTOMETRIC EXHIBIT SHEET

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SITE AERIAL
A2

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EXISTING SITE & SURROUNDING CONTEXT
A3

SITE INFORMATION

ZONING R3-2
 APN 158-34-001 (279 CALDERON AVE)/ 158-33-004 (275 CALDERON AVE)
 GROSS AREA: 1.37 +/- AC (59,677 SF)
 DEDICATED PUBLIC RIGHT OF WAY: .47 +/- AC (20,473 SF)
 NET SITE AREA: .90 +/- AC (39,412 SF)
 APN 158-34-001: .27 +/- AC (11,993 SF)
 APN 158-33-004: .63 +/- AC (27,419 SF)
 TOTAL SITE AREA: .90 +/- AC (39,412 SF)
 NUMBER OF UNITS: 16
 UNIT TYPE: ROWHOUSE
 DENSITY: 17.7 DU/AC (13 TO 25 DU/AC PER R3 STANDARDS)

SETBACKS

FRONT: 15' MIN. TO PRIMARY STRUCTURE PER ROWHOUSE STANDARD GUIDELINES
 SIDE: 10' MIN. FOR FIRST TWO STORIES, 15' MIN FOR THIRD STORY PER ROWHOUSE STANDARD GUIDELINES
 BACK: 10' MIN. FOR FIRST TWO STORIES, 15' MIN FOR THIRD STORY PER ROWHOUSE STANDARD GUIDELINES
 BUILDING SIDE SEPARATION: 5' FOR 1-STORY BUILDINGS, 10' FOR 2-STORY BUILDINGS, AND 15' FOR 3-STORY BUILDINGS PER ROWHOUSE STANDARD GUIDELINES

SITE COVERAGE

BUILDING AREA: 35% MAX. (13,798 SF) - PER ROWHOUSE STANDARD GUIDELINES
 BUILDING AREA PROVIDED: 34.62% (13,644 SF)
 LANDSCAPE OPEN AREA: 35% MIN. (13,798 SF) - PER ROWHOUSE STANDARD GUIDELINES
 LANDSCAPE OPEN AREA PROVIDED: 36% (14,138 SF)
 COMMON OPEN SPACE: 100 SF /UNIT (1,600 SF) WITH 20' MIN. DIMENSION - PER ROWHOUSE STANDARD GUIDELINES
 COMMON OPEN SPACE PROVIDED: 4,640 SF (290 SF/UNIT)
 PRIVATE OPEN AREA: 100 SF /UNIT (1,600 SF) - PER ROWHOUSE STANDARD GUIDELINES AND CITY OF MOUNTAIN VIEW

 PRIVATE OPEN AREA PROVIDED: UNIT 1: 128 SF UNIT 8: 149 SF UNIT 15: 142 SF
 (DECKS & PORCHES 5' DEEP OR GREATER INLCUDED) UNIT 2: 142 SF UNIT 9: 179 SF UNIT 16: 252 SF
 UNIT 3: 144 SF UNIT 10: 179 SF TOTAL: 2,662 SF > 1,600 REQUIRED
 UNIT 4: 147 SF UNIT 11: 148 SF
 UNIT 5: 252 SF UNIT 12: 183 SF
 UNIT 6: 142 SF UNIT 13: 149 SF
 UNIT 7: 163 SF UNIT 14: 163 SF

PARKING

RESIDENTIAL STALLS REQUIRED: 32 STALLS, 2 COVERED STALLS PER UNIT PER ROWHOUSE STANDARD GUIDELINES
 GUEST STALLS REQUIRED: 5 STALLS, 0.3 GUEST STALLS PER UNIT PER ROWHOUSE STANDARD GUIDELINES
 ADD'L REQ. FOR TANDEM 1 STALL (REQUIRED TEMPORARY STALL FOR TANDEM)
 TOTAL STALLS REQUIRED: 38 STALLS
 STALLS PROVIDED: 39 STALLS

CITY STANDARDS AND ROWHOUSE STANDARD GUIDELINES

PARKING DIMENSIONS: PERPENDICULAR - 8.5' x 18'; PARALLEL - 8' x 24'
 BACKUP DISTANCE: 24' MIN.
 FIRE ACCESS ROAD: 21' MIN; 26' MIN. WHEN PORTION OF BUILDING HAS HUMAN OCCUPANCY LOCATED MORE THAN 30' ABOVE THE ACCESS ROAD

 RETURN RADIUS: 21' MIN.
 HOSE PULL: 150' FROM FIRE ACCESS ROAD
 TRASH ACCESS: 150' MAX. BACKUP DISTANCE

FLOOR AREA RATIO

MAX FAR: 0.90 (35,480 SF), OR 1.05 FOR ROWHOUSE DEVELOPMENTS WITH DENSITIES OF 20 DU/AC/OR GREATER - PER ROWHOUSE STANDARD GUIDELINES
 FAR PROVIDED: 35,417 (.90 RATIO)

BUILDING HEIGHT AND STORAGE

45' MAX, 36' MAX WALL HEIGHT - PER ROWHOUSE STANDARD GUIDELINES
 PROPOSED BUILDING HEIGHT: +/- 37 - +/- 40 FT TO ROOF RIDGE LINE
 STORAGE REQUIRED: 80 SF ENCLOSED OR 164 CU. FT. / UNIT
 STORAGE PROPOSED: 164 CU. FT. / UNIT

BUILDING CODE SUMMARY

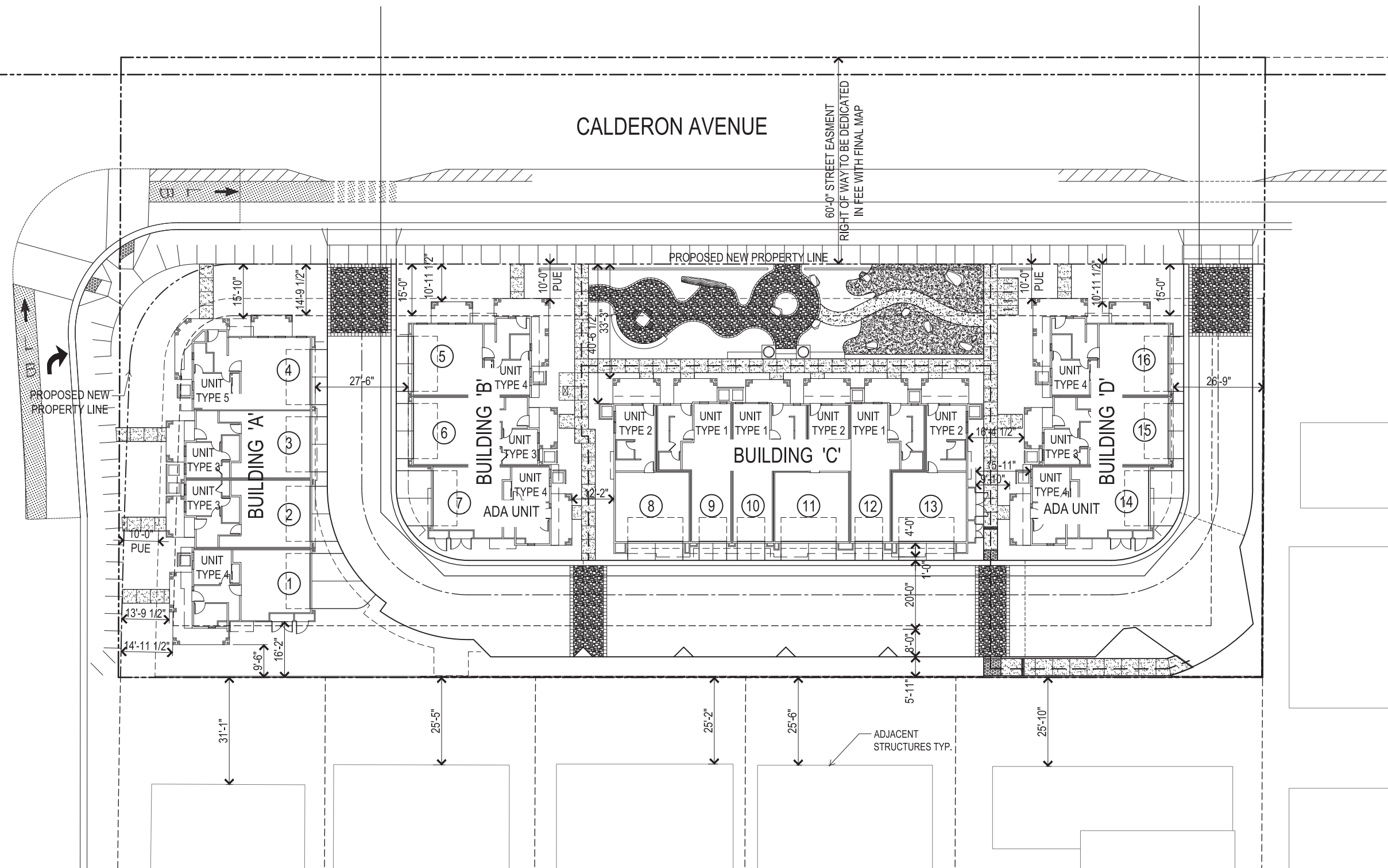
REFERENCE: 2016 CALIFORNIA BUILDING CODE / CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 2
 OCCUPANCY: R-2; U, COMMON 1-HOUR RATED WALL SEPARATION
 FIRE SPRINKLER SYSTEM: NFPA 13
 TYPE OF CONSTRUCTION: VB NON-RATED
 ALLOWABLE HEIGHT: 3 STORIES, 40 FEET
 ALLOWABLE AREA: R-2 = 7,000 SF U = 16,500 SF
 ACCESSIBILITY: PER 2016 CBC, CHAPTER 11A

UNIT SUMMARY

UNIT NAME	DESCRIPTION	GARAGE SF (1,000 SF MAX)	GARAGE TYPE	QUANTITY	%	UNIT NET SF*	UNIT GROSS SF**	TOTAL NET SF*	TOTAL UNIT GROSS SF**
UNIT 1	3 BEDROOM + 3 1/2 BATH	500	2-CAR TANDEM	3	18.8%	1,567	2,067	4,701	6,201
UNIT 2	3 BEDROOM + 3 1/2 BATH	458	STD 2 CAR	3	18.8%	1,727	2,185	5,181	6,555
UNIT 3	3 BEDROOM + 3 1/2 BATH	452	STD 2 CAR	4	25.0%	1,748	2,200	6,992	8,800
UNIT 4	4 BEDROOM + 3 1/2 BATH	417	STD 2 CAR	5	31.3%	1,887	2,304	9,435	11,520
UNIT 5	3 BEDROOM + 3 1/2 BATH	445	STD 2 CAR	1	6.3%	1,896	2,341	1,896	2,341
SUBTOTAL				16	100.0%			28,205	35,417
AVG. UNIT SQUARE FOOTAGE								1,763	2,214
OVERALL DENSITY				17.7 DU/AC					

*NET SF: MEASURED TO OUTSIDE FACE OF STUD, EXCLUDES GARAGE AREA, DECKS AND PORCHES. INCLUDES AIR GAP PER UNIT

**GROSS SF: MEASURED TO OUTSIDE FACE OF STUD, INCLUDES GARAGE AREA. INCLUDES AIR GAP PER UNIT

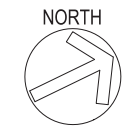


CONCEPTUAL SITE PLAN FIRST FLOOR

--- ACCESSIBLE PATH OF TRAVEL

NOTE:

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A4 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information



DANA STREET

CALDERON AVENUE

60'-0" STREET EASEMENT
RIGHT OF WAY TO BE DEDICATED
IN FEE WITH FINAL MAP

PROPOSED NEW PROPERTY LINE

PROPOSED NEW
PROPERTY LINE

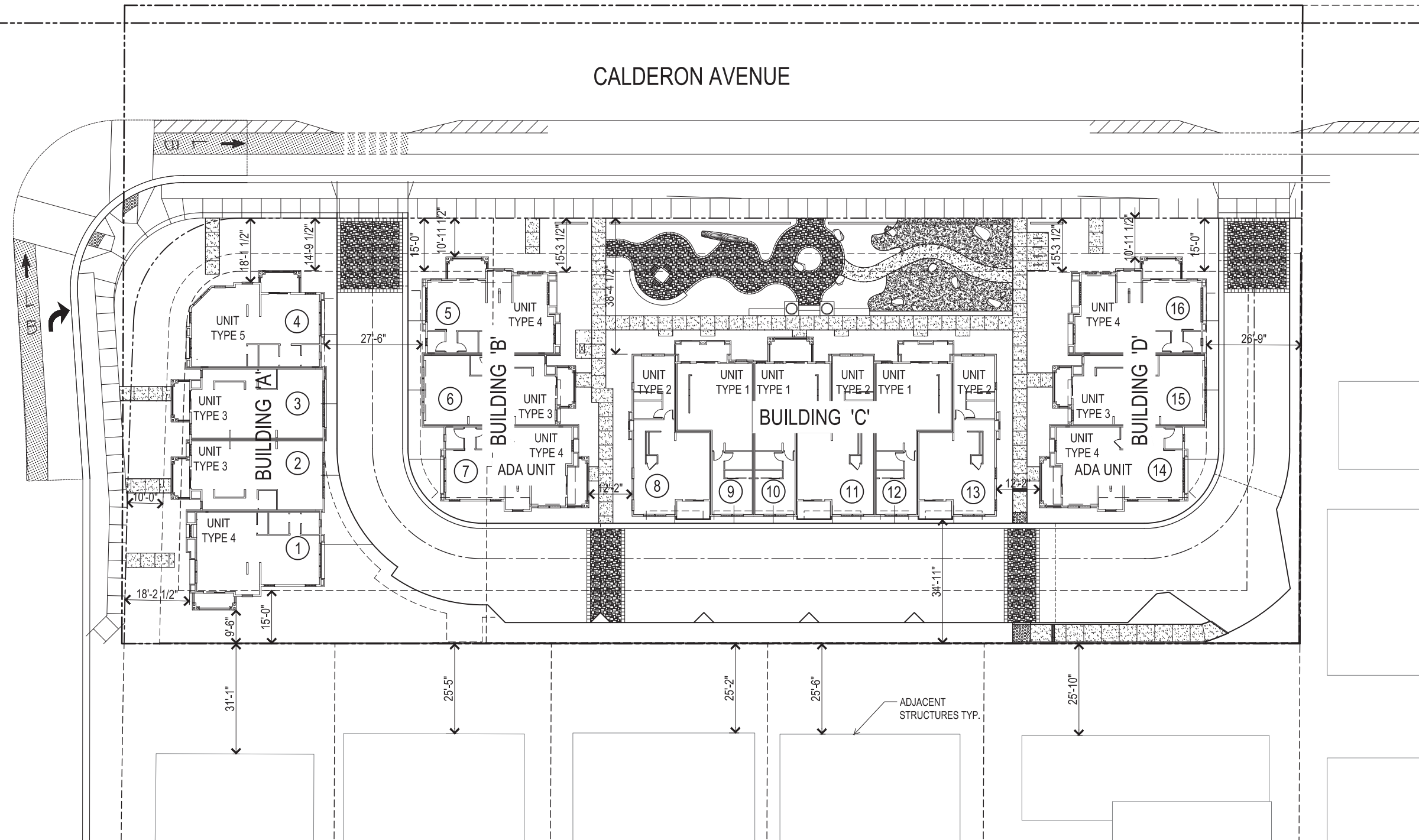
BUILDING 'C'

BUILDING 'A'

BUILDING 'B'

BUILDING 'D'

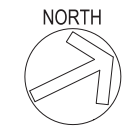
ADJACENT
STRUCTURES TYP.

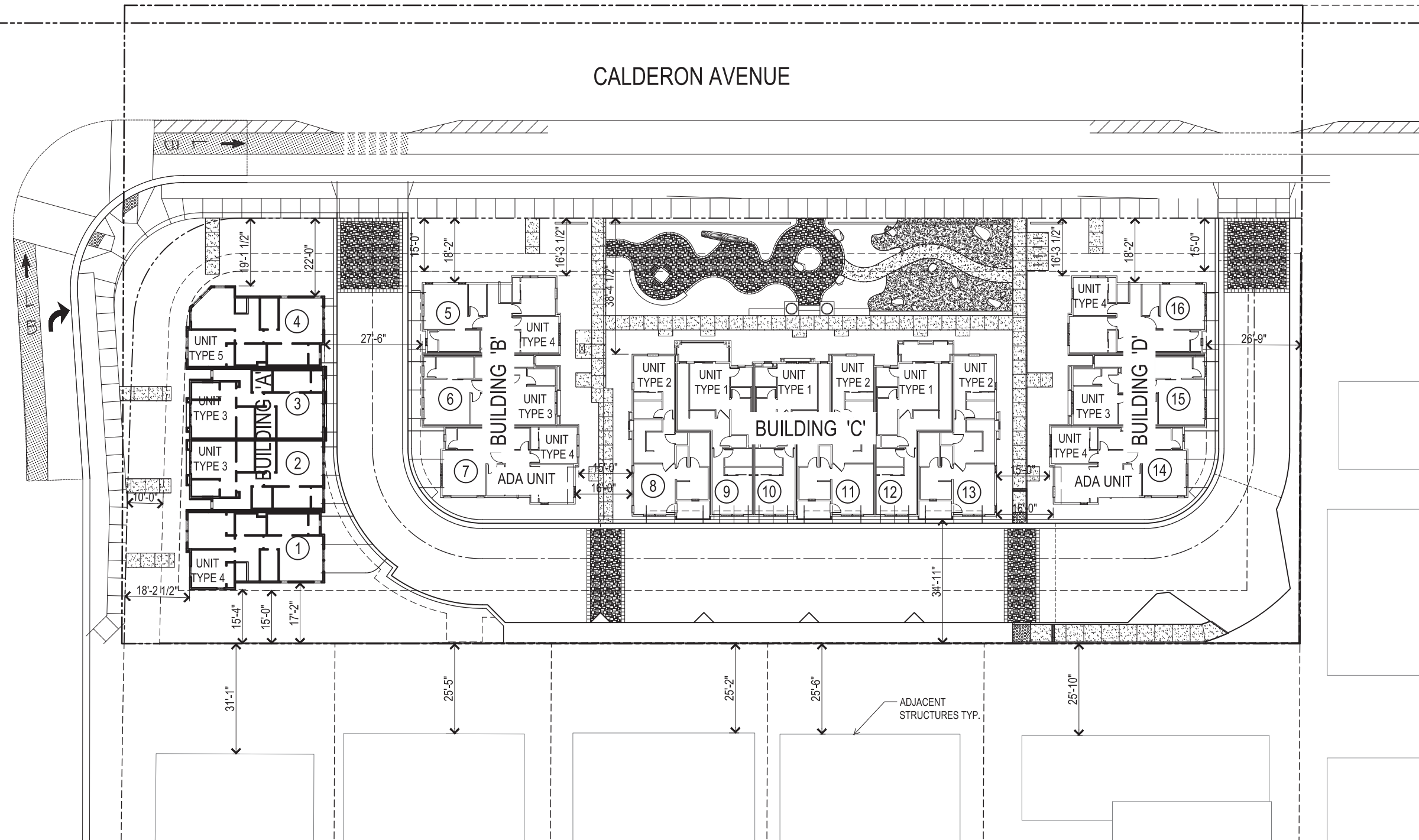


CONCEPTUAL SITE PLAN SECOND FLOOR

NOTE:

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A4 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information

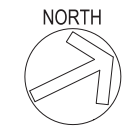




CONCEPTUAL SITE PLAN THIRD FLOOR

NOTE:

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A4 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information



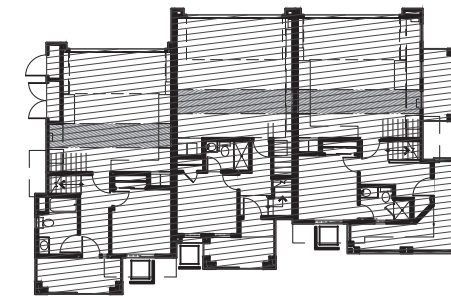
BUILDING COVERAGE (35% ALLOWED)
 = 13,644 SQ. FT.
 = 34.62% SITE COVERAGE (13,644 SF. / 39,412 SF. SITE)

LANDSCAPE OPEN SPACE

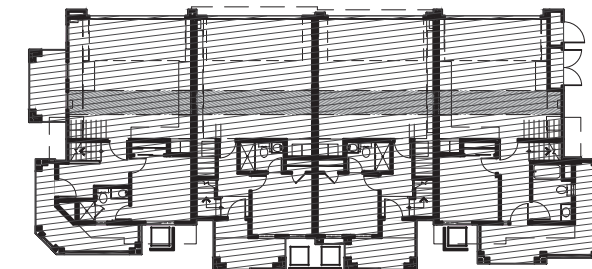
COMMON LANDSCAPE OPEN SPACE
 (MIN. 20' DIMENSION; 100 SF/UNIT REQUIRED)
 = 4,640 SF. = 290 SF. / UNIT

OTHER LANDSCAPE SPACE
 (<20' MIN. DIMENSION)
 = 9,498 SQ. FT.

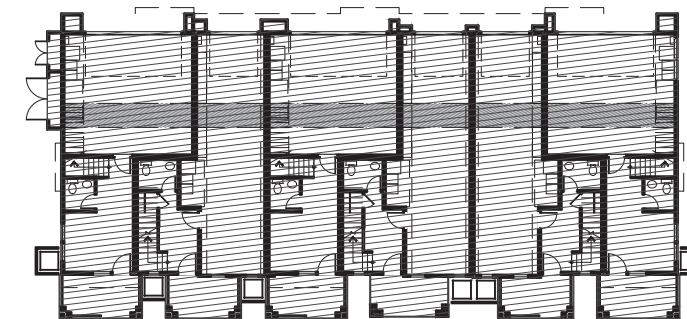
TOTAL LANDSCAPE OPEN SPACE
 = 14,138 SF.
 = 14,138 / 39,412 = 36% OF SITE AREA



3 UNIT BUILDING
 (2 BUILDINGS ON SITE)

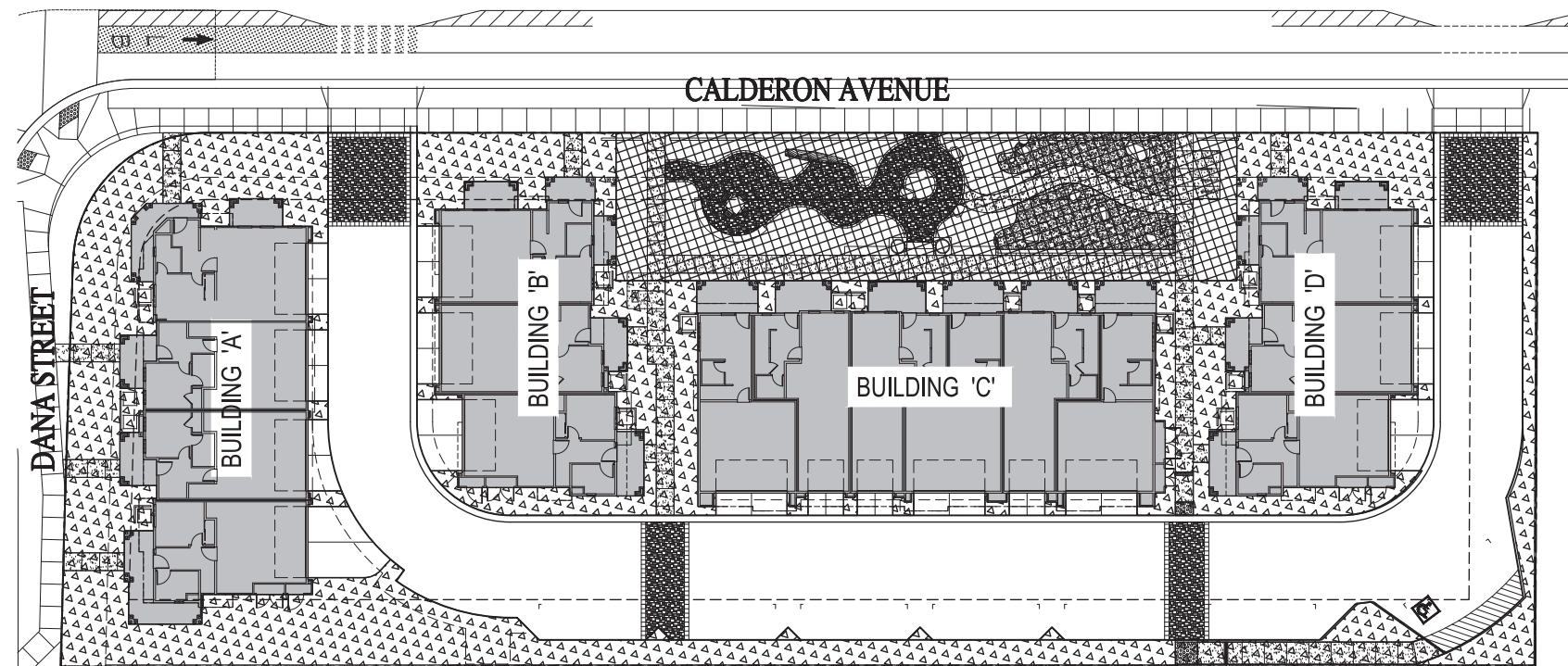


4 UNIT BUILDING
 (1 BUILDING ON SITE)

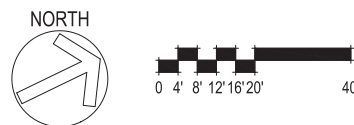


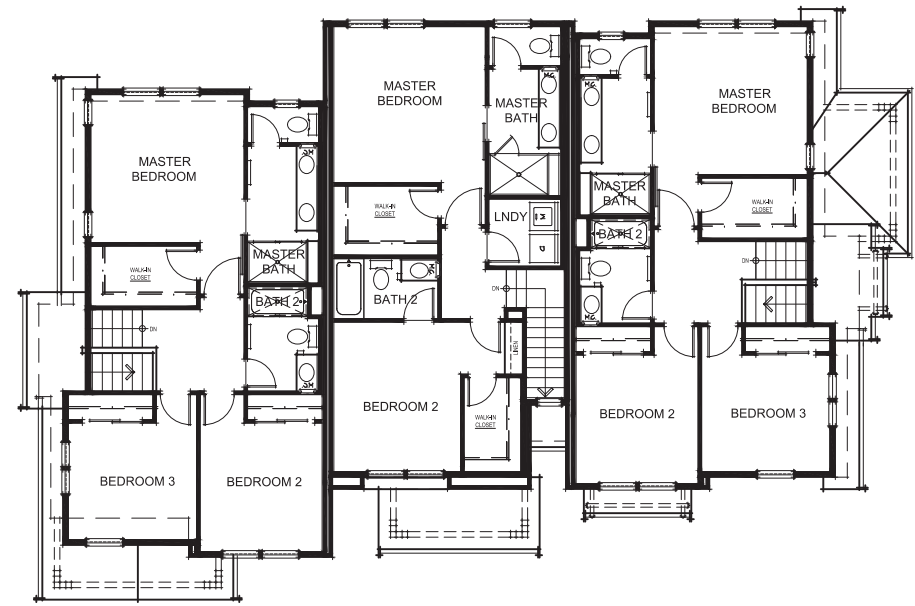
6 UNIT BUILDING
 (1 BUILDING ON SITE)

SQUARE FOOTAGES		TOTALS
3 UNIT	2654 SQ. FT.	x2 = 5308 SQ. FT.
4 UNIT	3506 SQ. FT.	x1 = 3506 SQ. FT.
6 UNIT	4830 SQ. FT.	x1 = 4830 SQ. FT.
		TOTAL BUILDING COVERAGE = 13,644 = 34.62%



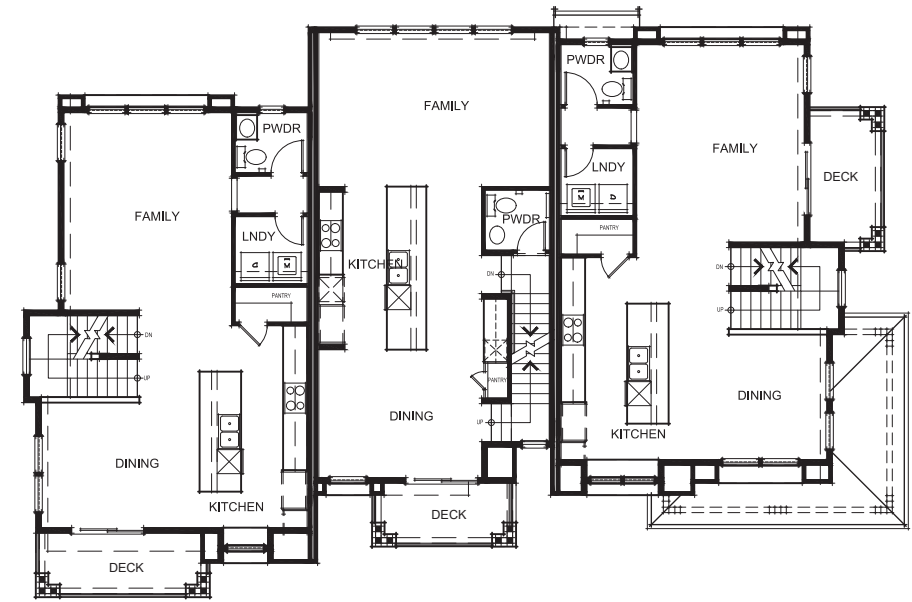
PRELIMINARY SITE PLAN





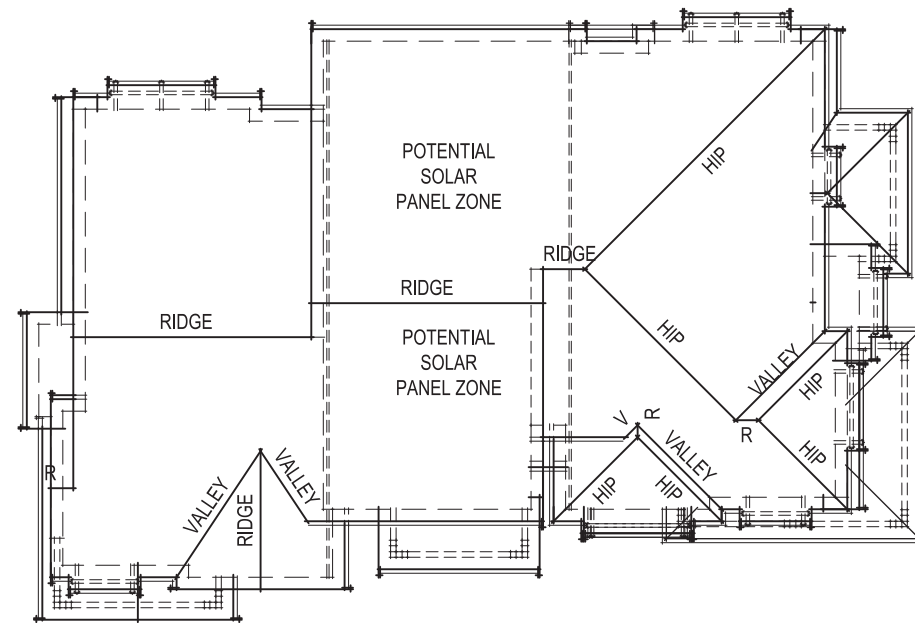
UNIT 4R UNIT 3 UNIT 4

THIRD FLOOR PLAN



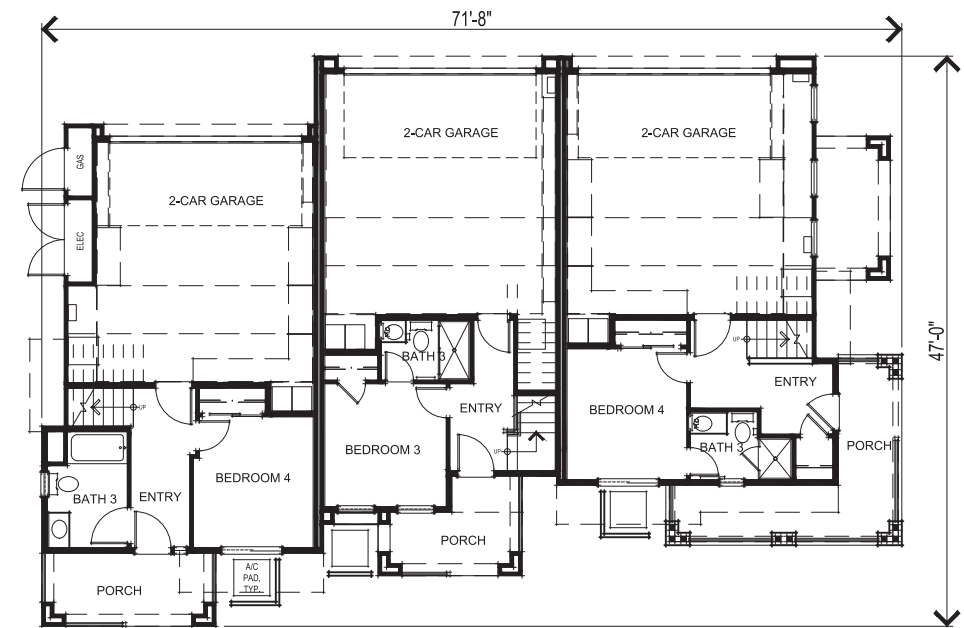
UNIT 4R UNIT 3 UNIT 4

SECOND FLOOR PLAN



ALL ROOF PITCHES 4:12 UNIT 4R UNIT 3 UNIT 4

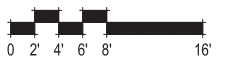
ROOF PLAN



UNIT 4R UNIT 3 UNIT 4

FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS

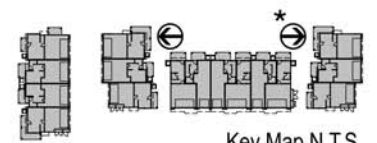




FRONT PERSPECTIVE



FRONT ELEVATION



Key Map N.T.S.
*Reversed



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3 UNIT BUILDING FRONT ELEVATION
A11

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TYPICAL EXTERIOR MATERIALS
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 EXTERIOR PLASTER WITH LIGHT SAND FINISH
 VINYL WINDOWS WITH BUILT-UP WOOD OR HIGH DENSITY FOAM TRIM
 WOOD PLANK RAILING
 HORIZONTAL SIDING RAILING
 WOOD CORBELS & KICKERS
 WOOD POSTS & COLUMNS
 ARCHITECTURAL SECTIONAL GARAGE DOOR WITH GLASS
 Note: Refer to sheet A20 for typical exterior materials and details



UNIT 4
RIGHT ELEVATION



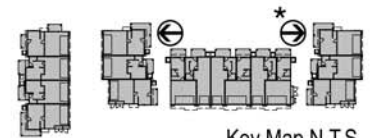
UNIT 4 UNIT 3 UNIT 4
REAR ELEVATION



UNIT 4
LEFT ELEVATION



UNIT 4 UNIT 3 UNIT 4
FRONT ELEVATION



Key Map N.T.S.
*Reversed



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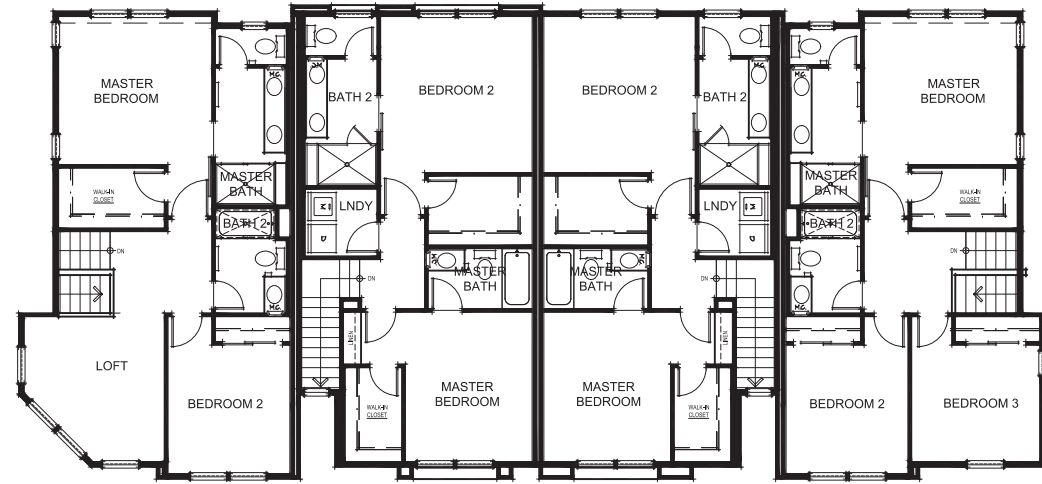
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3 UNIT BUILDING EXTERIOR ELEVATIONS
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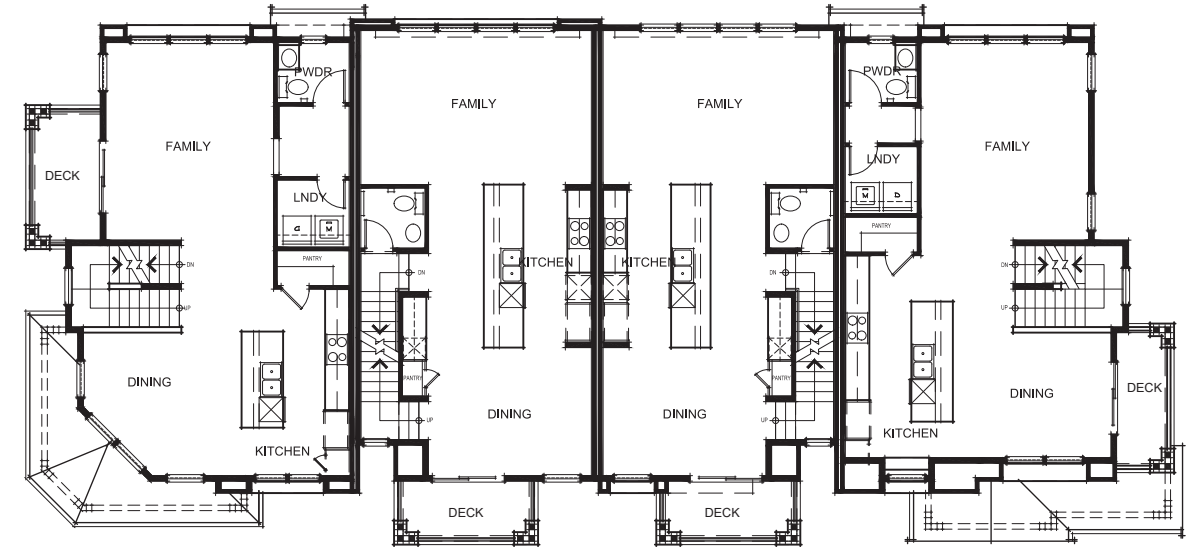


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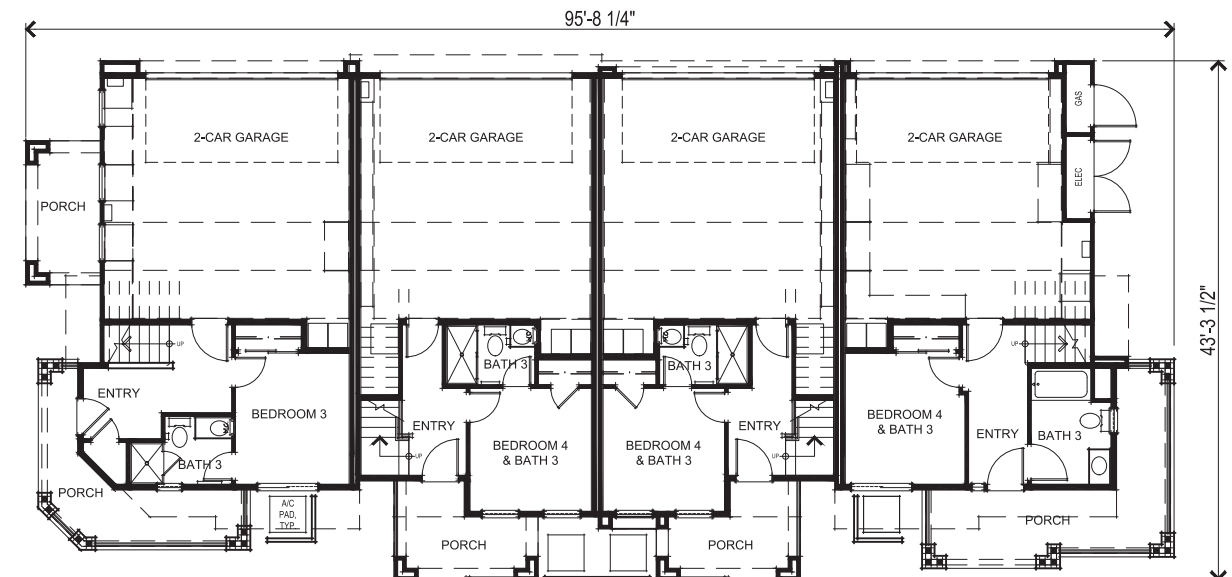
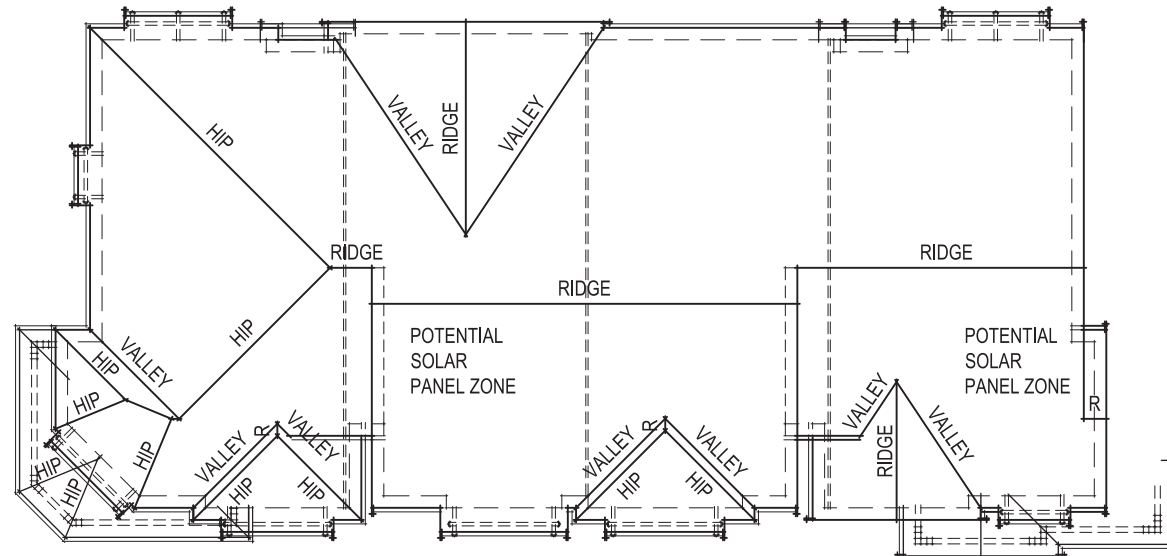
UNIT 5 UNIT 3R UNIT 3 UNIT 4

THIRD FLOOR PLAN



UNIT 5 UNIT 3R UNIT 3 UNIT 4

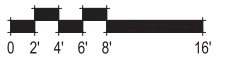
SECOND FLOOR PLAN



UNIT 5 UNIT 3R UNIT 3 UNIT 4

FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS FOR ADDITIONAL DIMENSIONS



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FRONT PERSPECTIVE



FRONT ELEVATION



Key Map N.T.S.



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4 UNIT BUILDING FRONT ELEVATION
A14

TYPICAL EXTERIOR MATERIALS
 HORIZONTAL SIDING
 EXTERIOR PLASTER WITH LIGHT SAND FINISH
 VINYL WINDOWS WITH BUILT-UP WOOD OR HIGH DENSITY FOAM TRIM
 WOOD PLANK RAILING
 HORIZONTAL SIDING RAILING
 WOOD CORBELS & KICKERS
 WOOD POSTS & COLUMNS
 ARCHITECTURAL SECTIONAL GARAGE DOOR WITH GLASS
 Note: Refer to sheet A20 for typical exterior materials and details



UNIT 4
RIGHT ELEVATION



UNIT 4 UNIT 3 UNIT 3 UNIT 5
REAR ELEVATION



UNIT 5
LEFT ELEVATION



UNIT 5 UNIT 3 UNIT 3 UNIT 4
FRONT ELEVATION



Key Map N.T.S.



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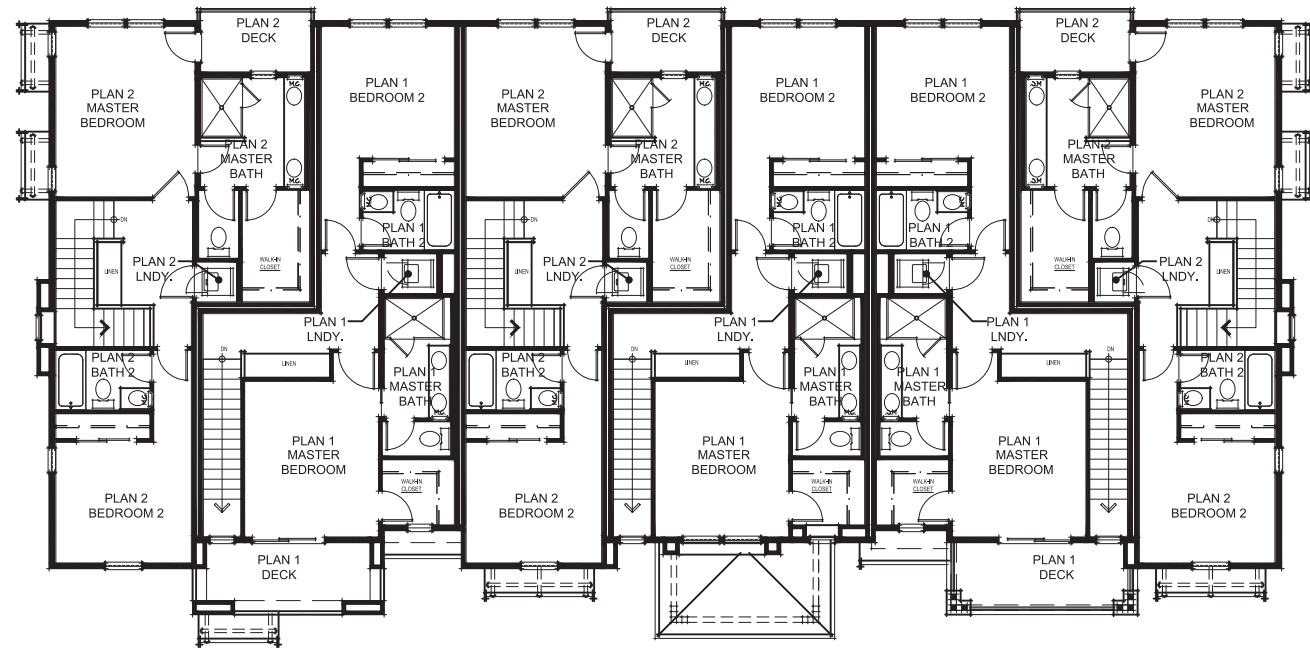
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4 UNIT BUILDING EXTERIOR ELEVATIONS
 A15

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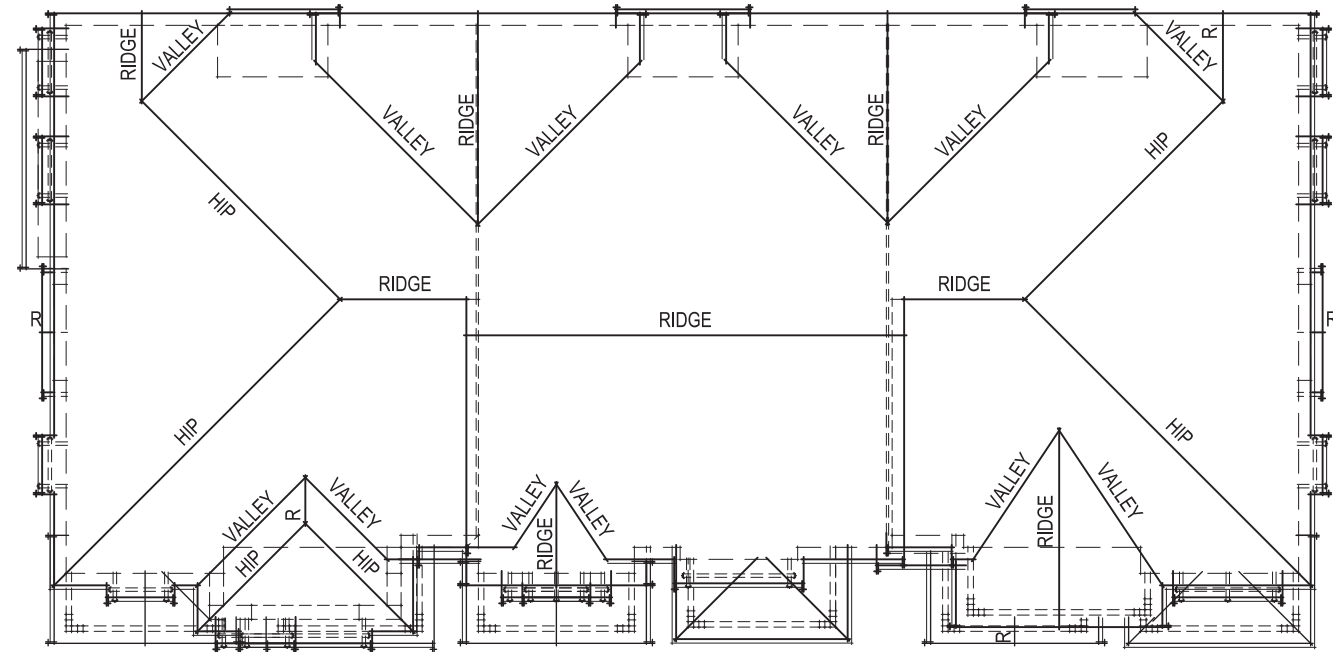
PLAN 2 PLAN 1 PLAN 2 PLAN 1 PLAN 1R PLAN 2R

THIRD FLOOR PLAN



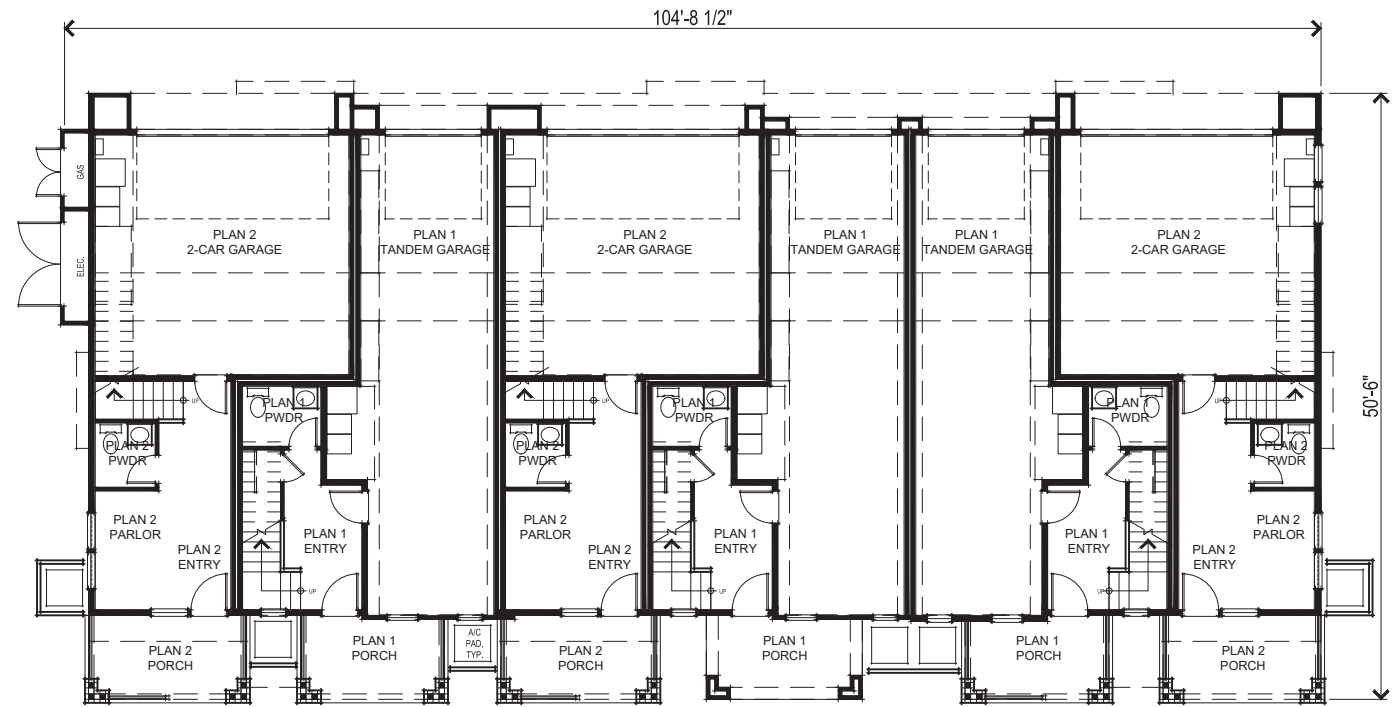
PLAN 2 PLAN 1 PLAN 2 PLAN 1 PLAN 1R PLAN 2R

SECOND FLOOR PLAN



ALL ROOF
PITCHES 4:12

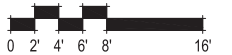
ROOF PLAN



PLAN 2 PLAN 1 PLAN 2 PLAN 1 PLAN 1R PLAN 2R

FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



Calderon Avenue
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April 6, 2018

6 UNIT BUILDING FIRST, SECOND, THIRD FLOOR, & ROOF PLANS

A16



FRONT PERSPECTIVE



FRONT ELEVATION



Key Map N.T.S.



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6 UNIT BUILDING FRONT ELEVATION
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 HORIZONTAL SIDING RAILING
 WOOD CORBELS & KICKERS
 WOOD POSTS & COLUMNS
 ARCHITECTURAL SECTIONAL GARAGE DOOR WITH GLASS
 Note: Refer to sheet A20 for typical exterior materials and details



UNIT 1
RIGHT ELEVATION



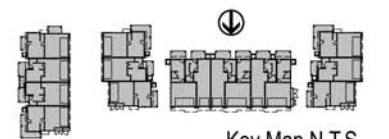
UNIT 2 UNIT 1 UNIT 1 UNIT 2 UNIT 1 UNIT 2
REAR ELEVATION



UNIT 2
LEFT ELEVATION



UNIT 2 UNIT 1 UNIT 2 UNIT 1 UNIT 2 UNIT 1
FRONT ELEVATION



Key Map N.T.S.



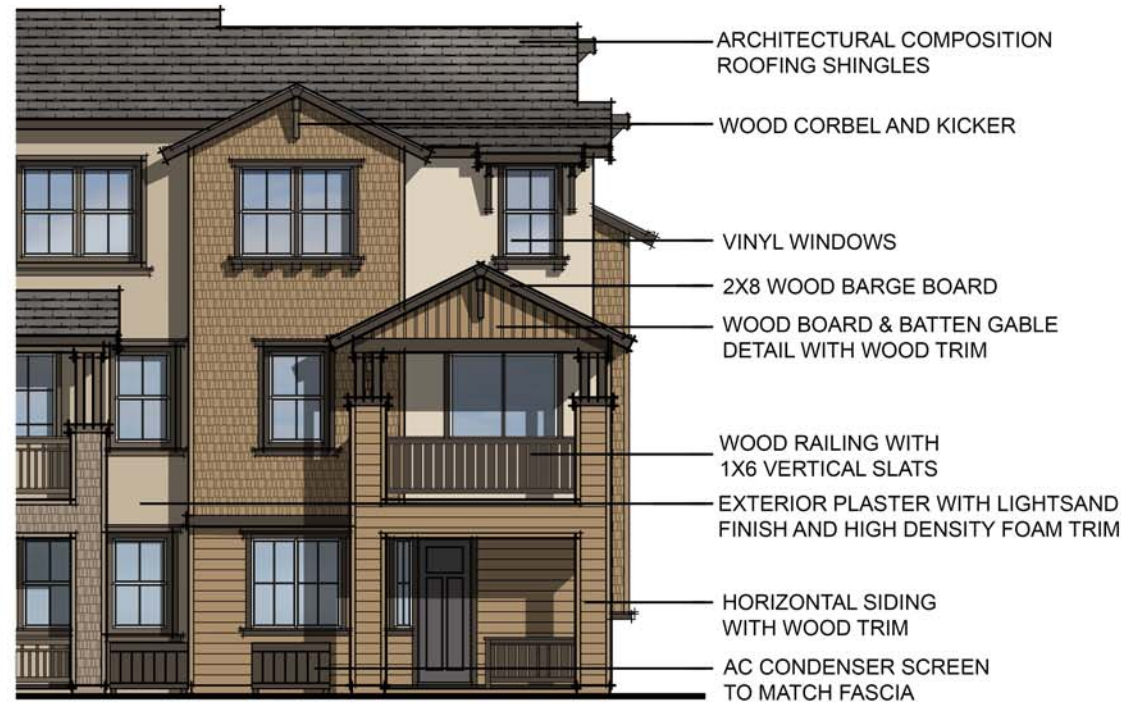
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April 6, 2018

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 650.842.2371

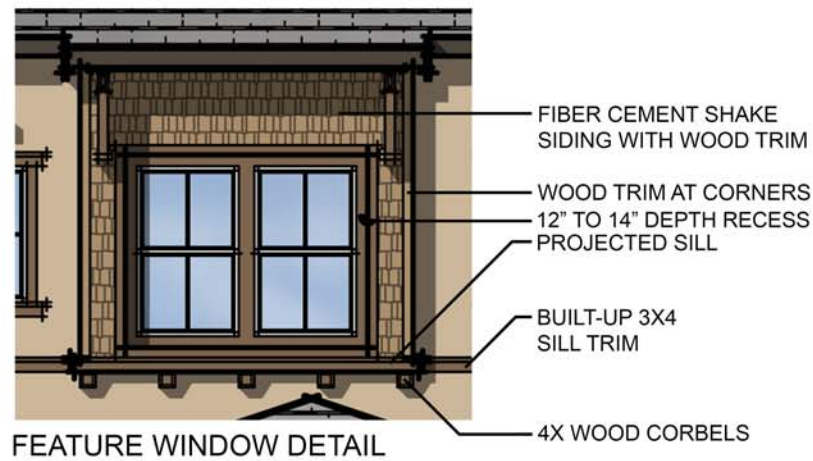
6 UNIT BUILDING EXTERIOR ELEVATIONS
A18

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com

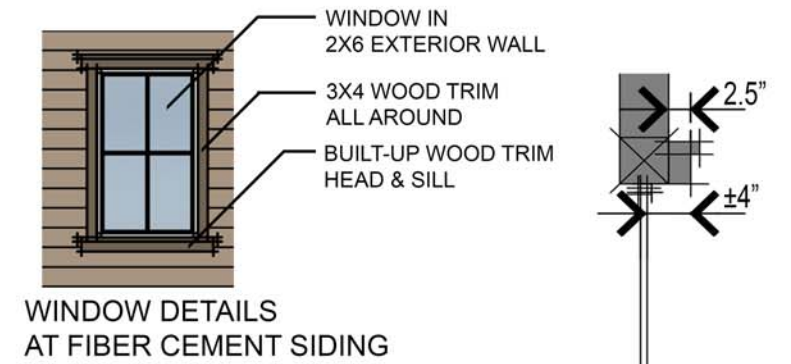




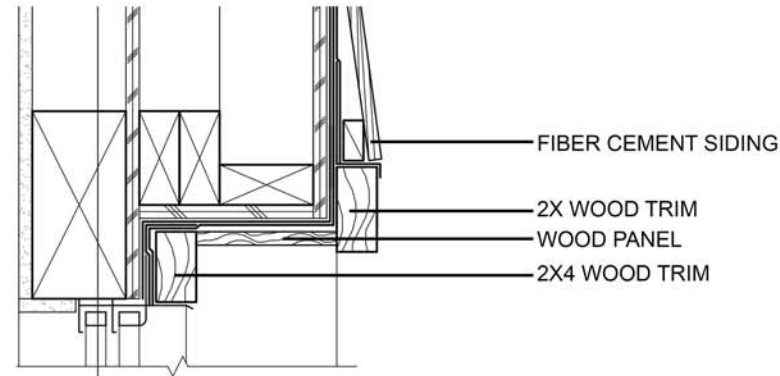
TYPICAL FRONT EXTERIOR MATERIALS



FEATURE WINDOW DETAIL



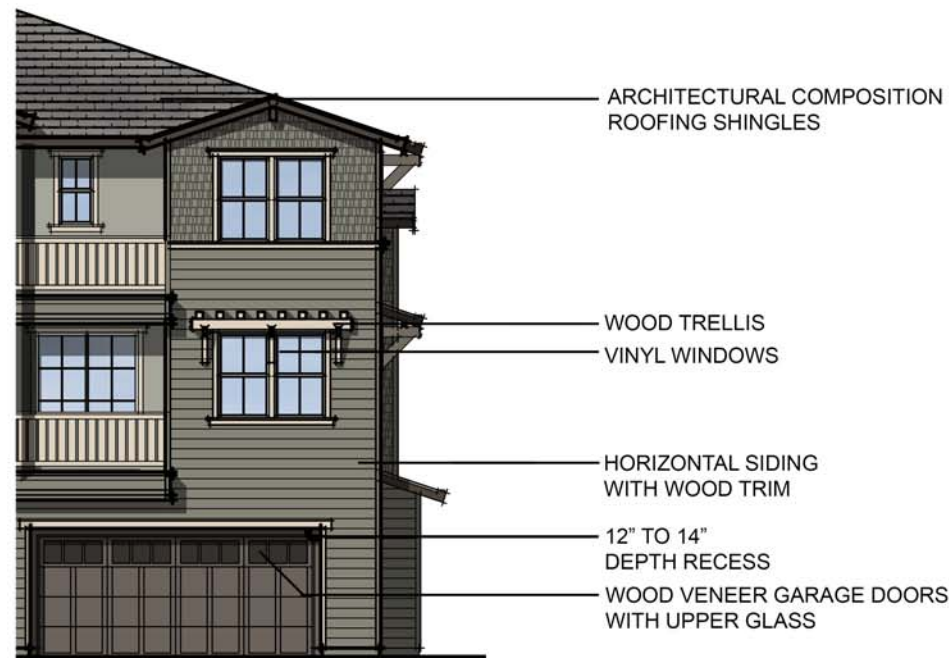
WINDOW DETAILS AT FIBER CEMENT SIDING



RECESSED WINDOW DETAIL



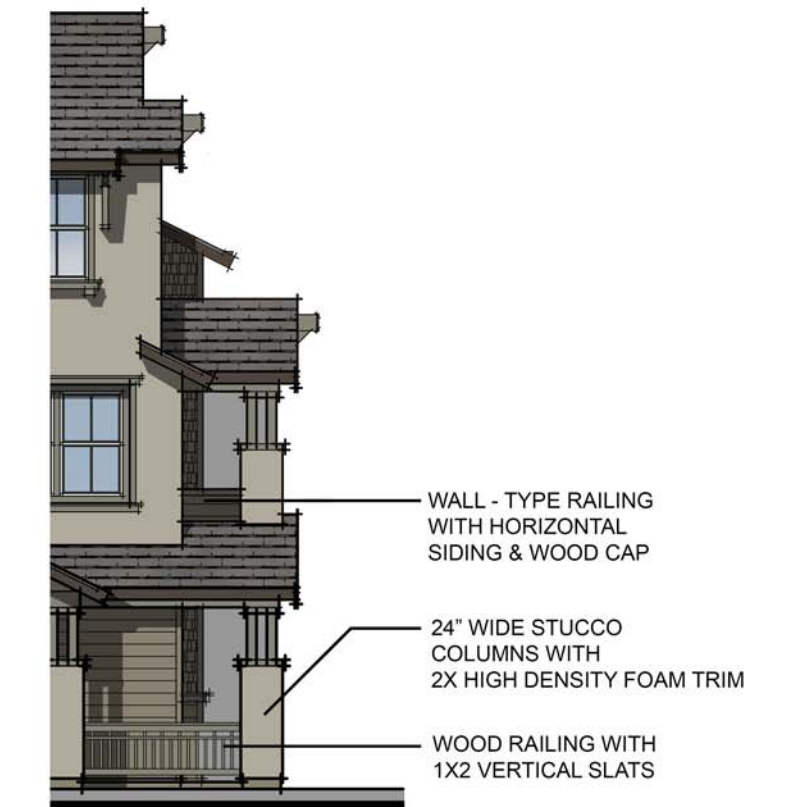
WINDOW DETAILS AT STUCCO



TYPICAL REAR EXTERIOR MATERIALS



PORCH DETAILS



TYPICAL PORCH DETAILS



GARAGE DOORS & LIGHT





Calderon Avenue
Mountain View
April 6, 2018

SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
650.842.2371

STREET SCENE
A21

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SDG Architects, Inc.



Calderon Avenue
 Mountain View
 April 6, 2018

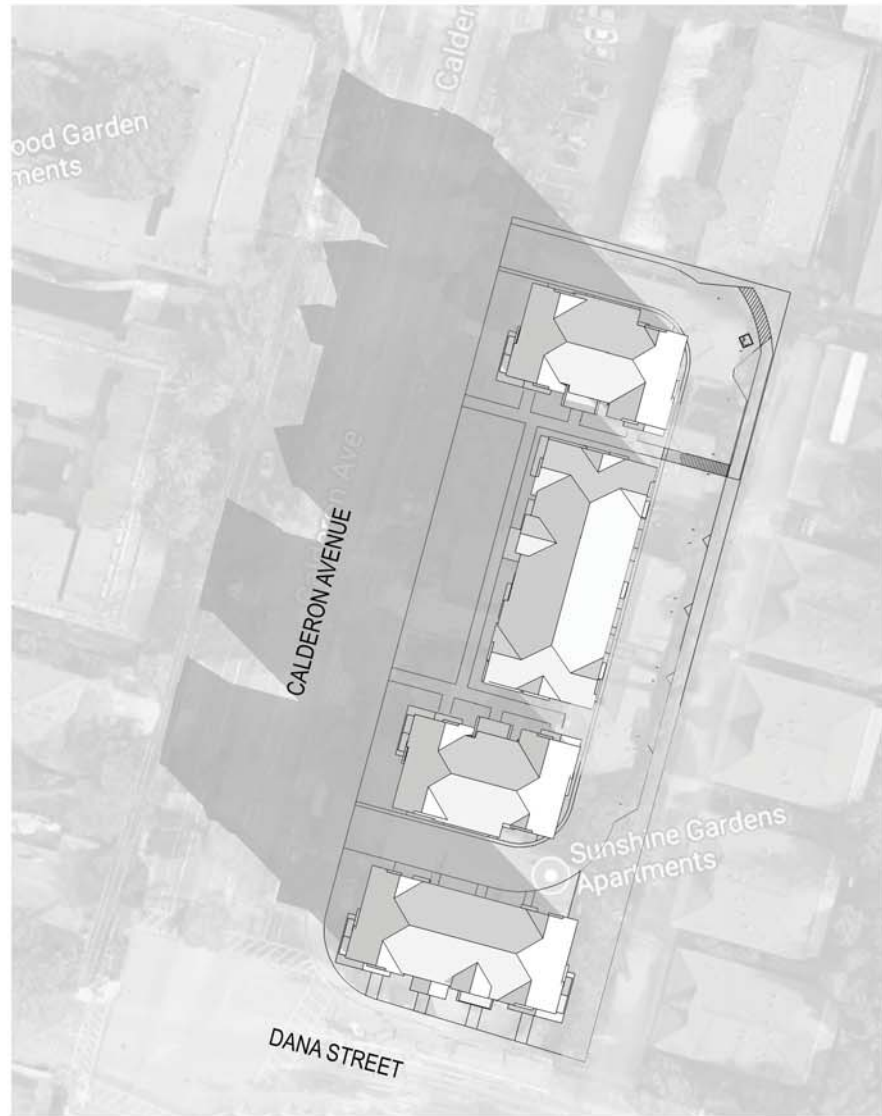
SUMMERHILL HOMES
 COMMUNITIES OF DISTINCTION
 3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
 650.842.2371

SITE ELEVATIONS
 A22

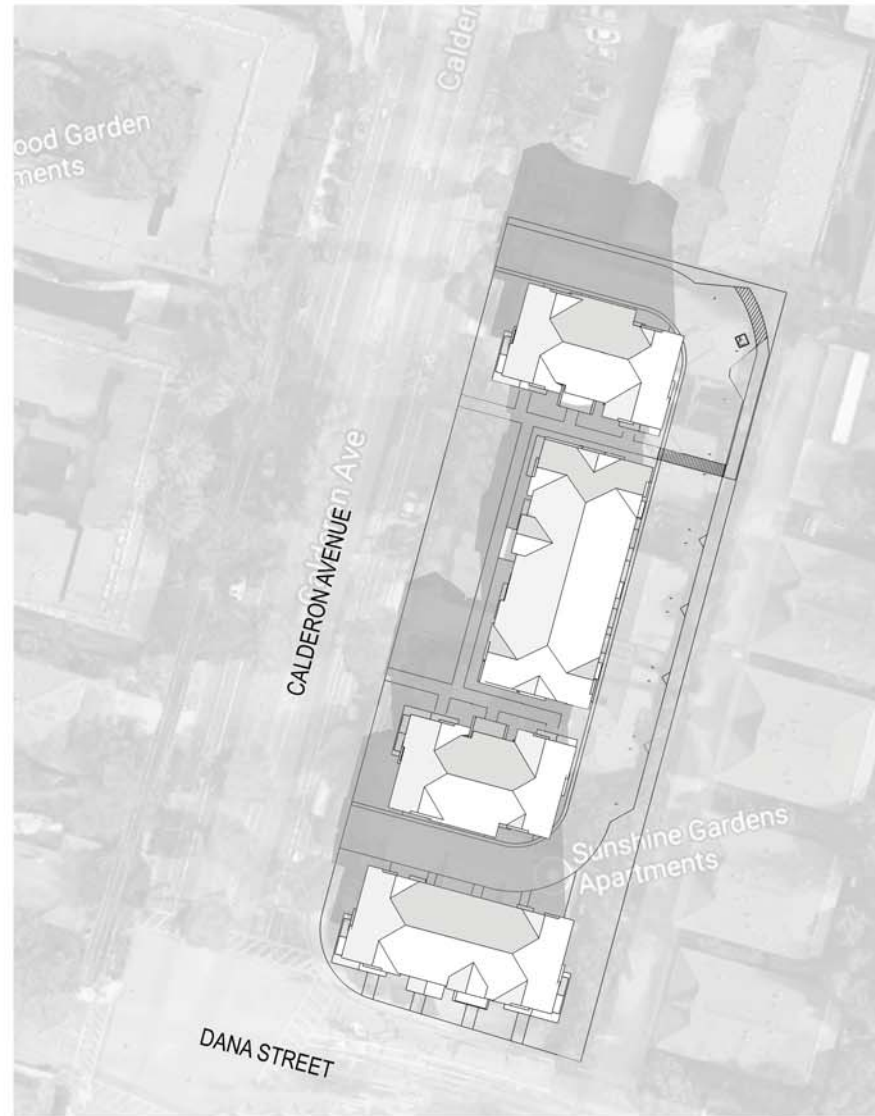
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
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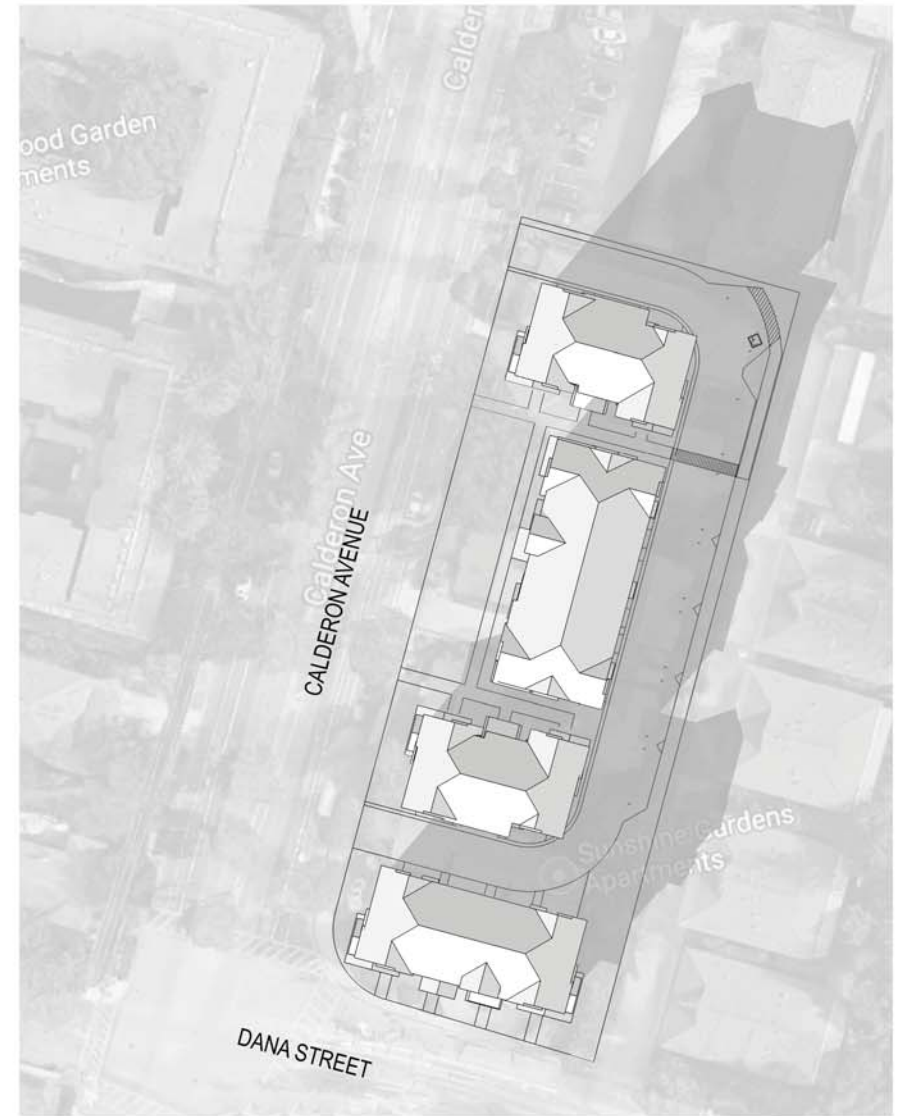
SDG Architects, Inc.



WINTER SOLSTICE
 DECEMBER 21ST
 9:00 AM



WINTER SOLSTICE
 DECEMBER 21ST
 12:00 PM

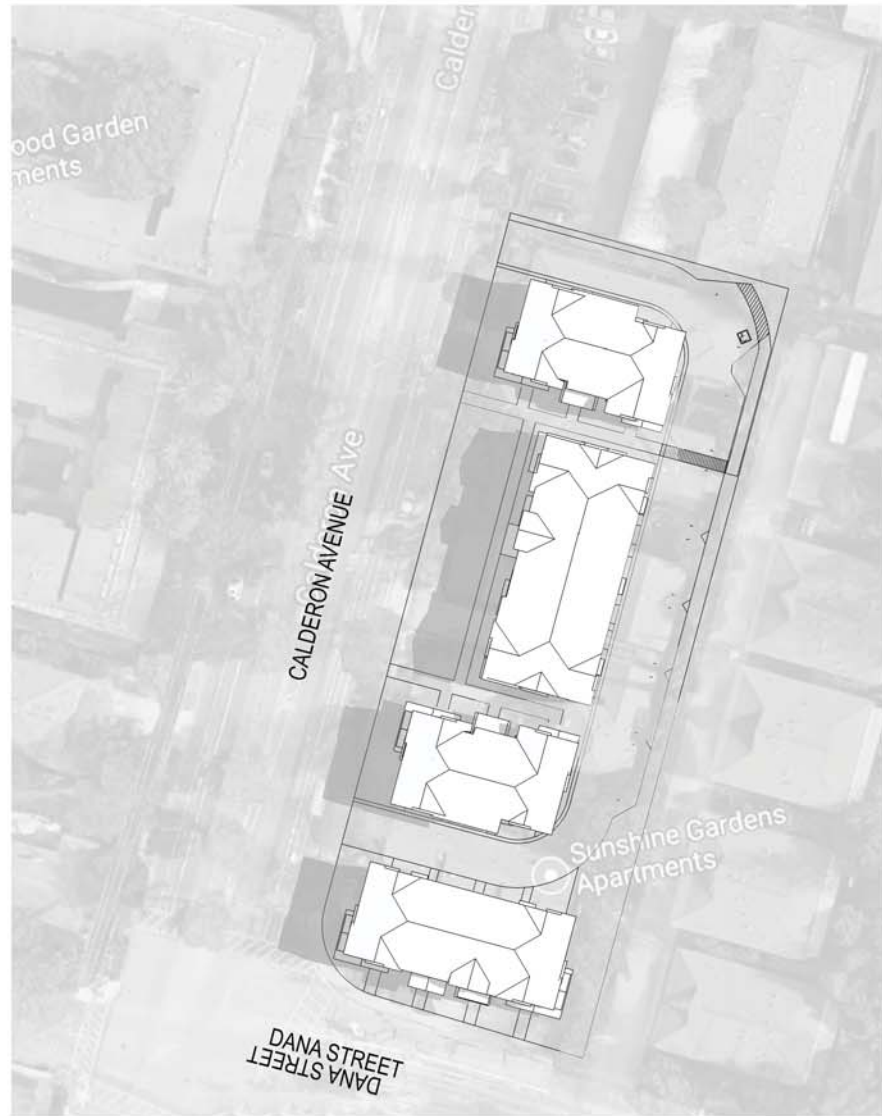


WINTER SOLSTICE
 DECEMBER 21ST
 3:00 PM

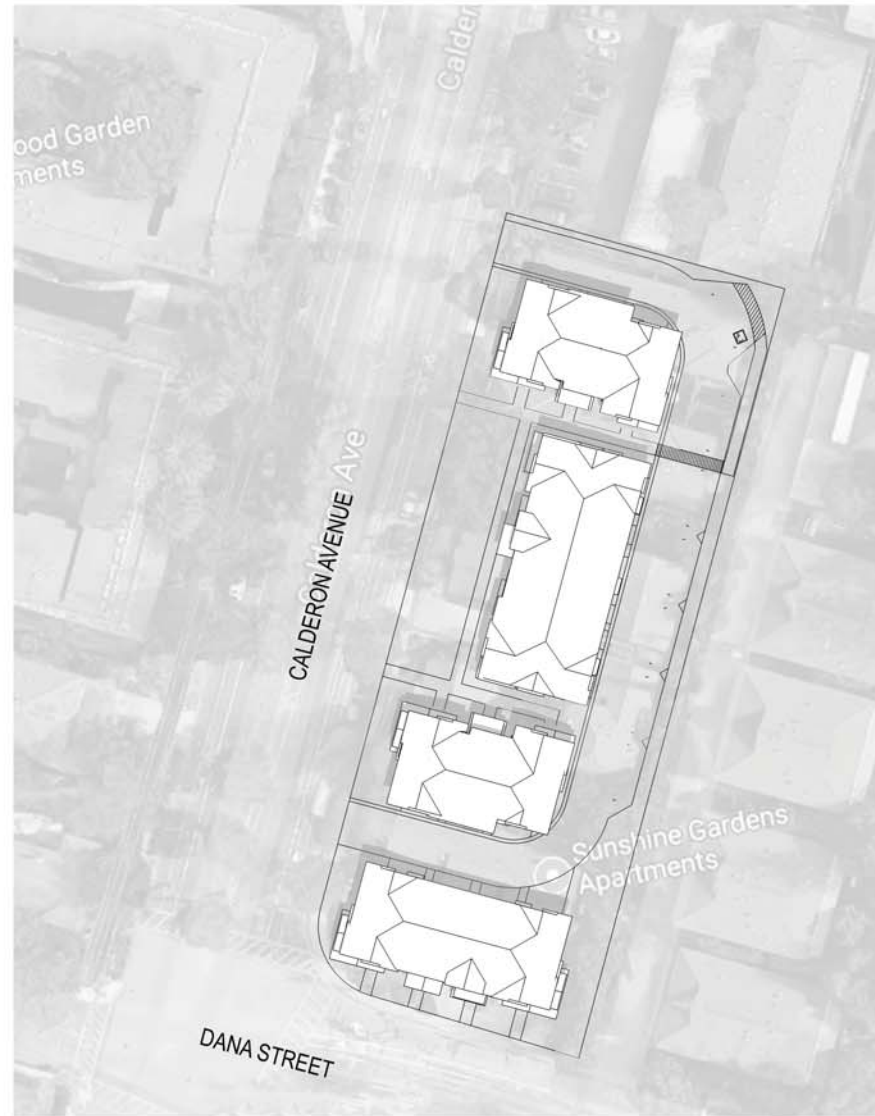


Calderon Avenue
 Mountain View
 April 6, 2018

SUN STUDY
 A23



SUMMER SOLSTICE
 JUNE 21ST
 9:00 AM



SUMMER SOLSTICE
 JUNE 21ST
 12:00 PM



SUMMER SOLSTICE
 JUNE 21ST
 3:00 PM



Calderon Avenue
 Mountain View
 April 6, 2018

SUN STUDY
 A24

DESIGN GUIDELINES

8.2.2 Massing

- Massing should typically emphasize individual units.
- The massing of rowhouses should break the main façade into three or four distinct elements: entry; main facade; a single or two story element and the roof.
- Front building facades should have step-backs, particularly above the second floor.



The massing of rowhouses should break the main façade into three or four distinct elements: entry; main facade; a single story element and the roof.



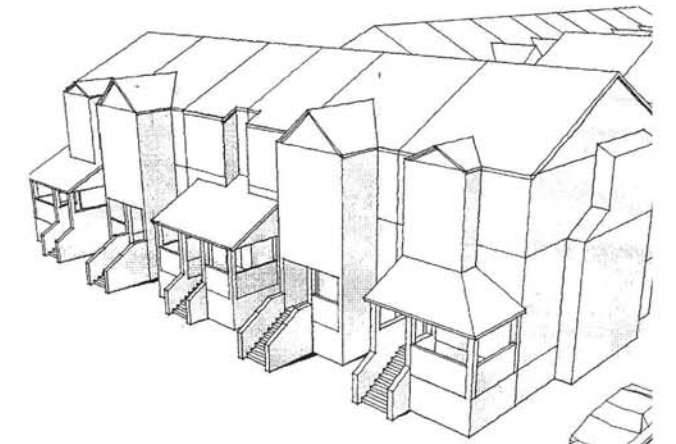
REPRESENTATIONAL PROJECT ELEVATION

Massing of the building respects each unit plan with variation in the roof form and unique entry way features/porches. The massing of the building focuses on the interface at the pedestrian level with a 2/3 'base' to 1/3 'top'. Stepbacks on the third level at the ends of the buildings refine the mass at the corners.

DESIGN GUIDELINES

8.2.4 Rooflines

- Rooflines should emphasize the individual quality of the units.
- Rooflines should correspond to variations in building massing and articulation with bays, gables, dormers and strong eave elements.
- Roof elements should be varied to minimize the appearance of mass and bulk.
- Gable roofs are encouraged to emphasize vertical proportion and create modulation.



Rooflines should correspond to variations in building massing and articulation with bays, gables, dormers and strong eave elements.



REPRESENTATIONAL PROJECT ELEVATION

Each unit has its own roof form to help emphasize the individual quality of each home and minimize the overall bulk of the building

COLOR SCHEME 1

GAF Roofing
Timberline Weathered Wood



COLOR SCHEME 2

GAF Roofing
Timberline Weathered Wood



COLOR SCHEME 3

GAF Roofing
Timberline Weathered Wood



COLOR SCHEME 4

GAF Roofing
Timberline Weathered Wood



COLOR SCHEME 5

GAF Roofing
Timberline Weathered Wood



Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.

Calderon Avenue
Mountain View
April 6, 2018

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COLOR SCHEMES
A26

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SDG Architects, Inc.

Tiered landscaping concept to screen Double Check Detector Assembly and FDC - refer to Planting Plan sheet L-4. Refer to civil engineer's plans for exact location.

Flowering accent groundcover at corner - refer to Planting Plan sheet L-4

Traffic safety visibility area per City Standard Detail A-23

Concrete unit pavers (vehicular) - refer to image sheet L-3

Concrete walk - refer to image sheet L-3

Mailbox station and directory sign - refer to image sheet L-3

Lomandra 'Evergreen Beauty' ornamental grass in parkway

Existing Coast Live Oak to remain

Proposed street tree to be Brisbane Box - refer to Planting Plan sheet L-4

Concrete unit pavers (pedestrian) - refer to image sheet L-3

Timber seatwall - refer to image sheet L-3

Mulch with specimen stones under Coast Live Oak

3'-0" high wood fence to match architectural railing - refer to Elevation sheet L-2

Specimen stone - refer to image sheet L-3

4' wide stabilized decomposed granite path - refer to image sheet L-3

Bike racks (4 in this location) - refer to image sheet L-3

Evergreen tree - refer to Planting Plan sheet L-4

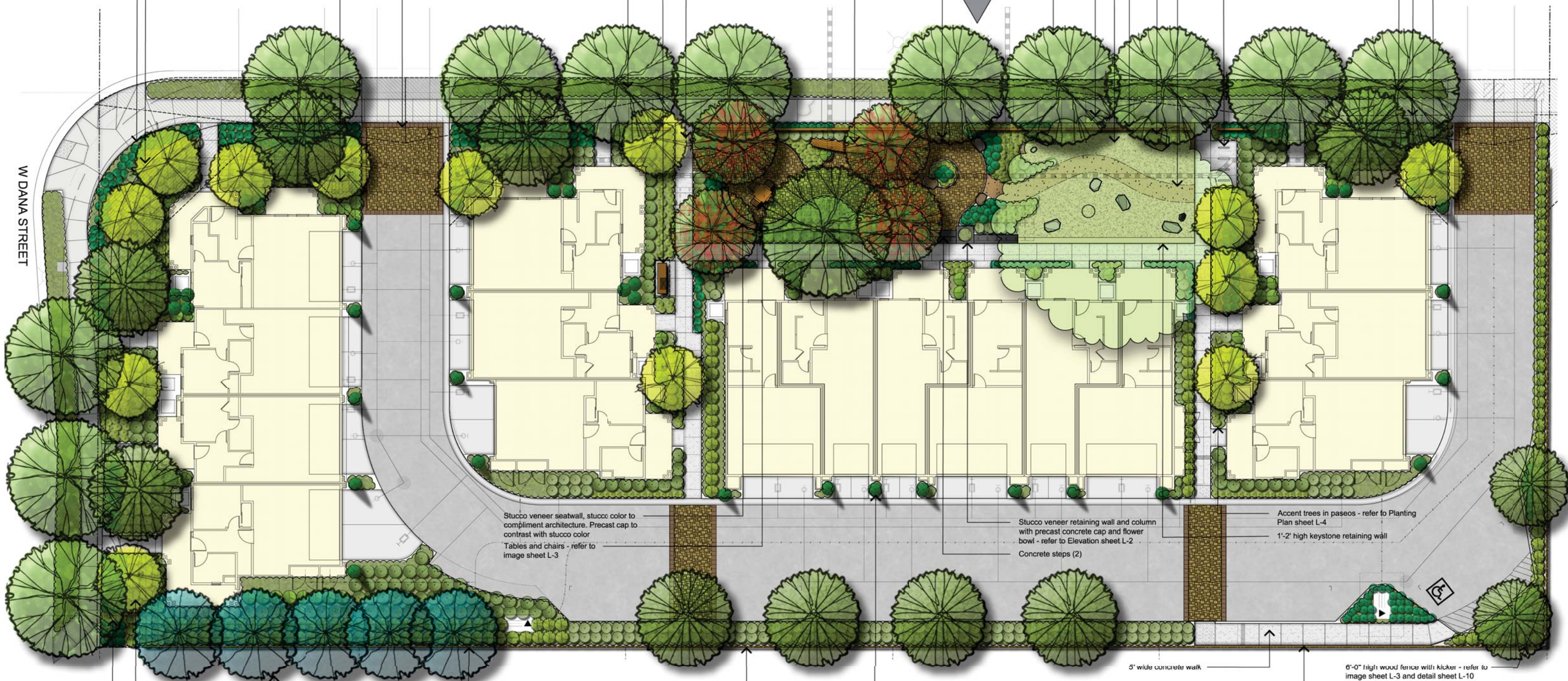
Driveway triangle of safety per City Standard Detail A-22

Accent tree - refer to Planting Plan sheet L-4

CALDERON AVENUE

View A (Sheet L-2)

W DANA STREET



Stucco veneer seatwall, stucco color to compliment architecture. Precast cap to contrast with stucco color
Tables and chairs - refer to image sheet L-3

Stucco veneer retaining wall and column with precast concrete cap and flower bowl - refer to Elevation sheet L-2
Concrete steps (2)

Accent trees in paseos - refer to Planting Plan sheet L-4
1'-2' high keystone retaining wall

Evergreen screen tree - refer to Planting Plan sheet L-4

6'-0" high wood fence with lattice - refer to image sheet L-3 and detail sheet L-10

6'-0" high wood fence with kicker - refer to image sheet L-3 and detail sheet L-10

Narrow evergreen upright tree and groundcover between driveways - refer to Planting Plan sheet L-4

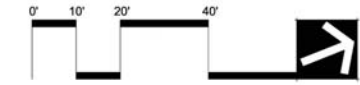
5' wide concrete walk
2' retaining curb with 6'-0" high wood fence with lattice on backside of walk - refer to image sheet L-3 and detail sheet L-10

6'-0" high wood fence with kicker - refer to image sheet L-3 and detail sheet L-10

Tiered landscaping concept to screen backflow preventer - refer to Planting Plan sheet L-4. Refer to civil engineer's plans for exact location.

PLAN VIEW

Scale: 1"=10'-0"



Illustrative Site Plan

CALDERON AVENUE

Mountain View, California

L-1

APRIL 2018





4'-0" wide concrete entry walk

Existing Coast Live Oak to remain

Enlargement - see below

Accent tree - refer to Planting Plan sheet L-4

Evergreen tree - refer to Planting Plan sheet L-4

3'-0" high wood fence to match architectural railing

Flowering foreground shrubs and small evergreen grass - refer to Planting Plan sheet L-4

Elevation - View A
Scale: 1/4"=1'-0"



Accent tree - refer to Planting Plan sheet L-4

Circular planting area in central courtyard - refer to Planting Plan sheet L-4

Concrete steps (2)

Flower bowl with perennials and succulents - refer to image sheet L-3
Specimen stone - refer to image sheet L-3

3'-6" high stucco column with precast concrete cap and flower bowl

3'-0" high wood fence to match architectural railing

Flowering foreground shrubs and small evergreen grass - refer to Planting Plan sheet L-4

Elevation Enlargement
Scale: 1/2"=1'-0"



Scored Concrete Paving

Natural grey with light broom finish



Stabilized Decomposed Granite



Concrete Unit Pavers (Pedestrian)

6" x 9" and 6" x 6" stone with a QS 2 design, a rustic yellowstone blend with a 6" concrete band, from Calstone



Concrete Unit Pavers (Vehicular)

6" x 9" and 6" x 6" stone with a QS 2 design, a rustic yellowstone blend with a 6" x 12" paver band, from Calstone



Keystone Retaining Wall

'Country Manor'



Concept

Flower Bowl

On top of stucco column; color to be earth toned



Concept

Timber Seatwall



Concept

Specimen stones



Illuminated Bollard

Finish to be bronze, from Landscape Forms



Street Light

Finish to be bronze, from Landscape Forms



Tables and Chairs

Composite wood with bronze metal finish



Bike Racks

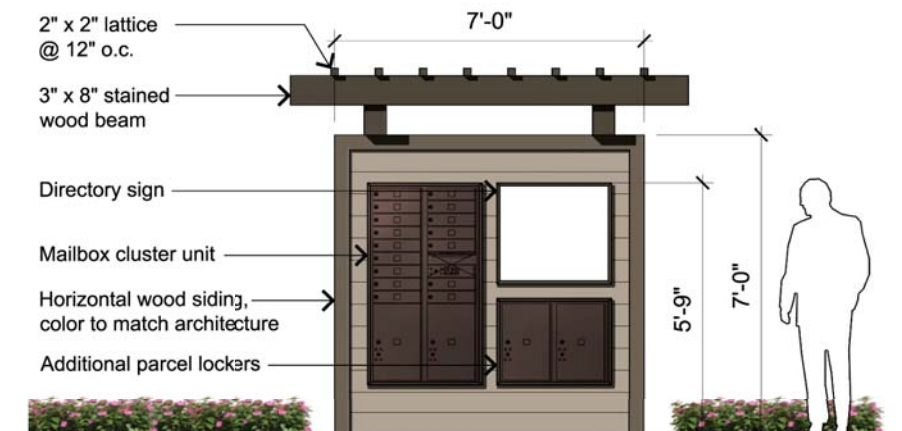
Composite wood with bronze metal finish



6'-0" High Wood Fence

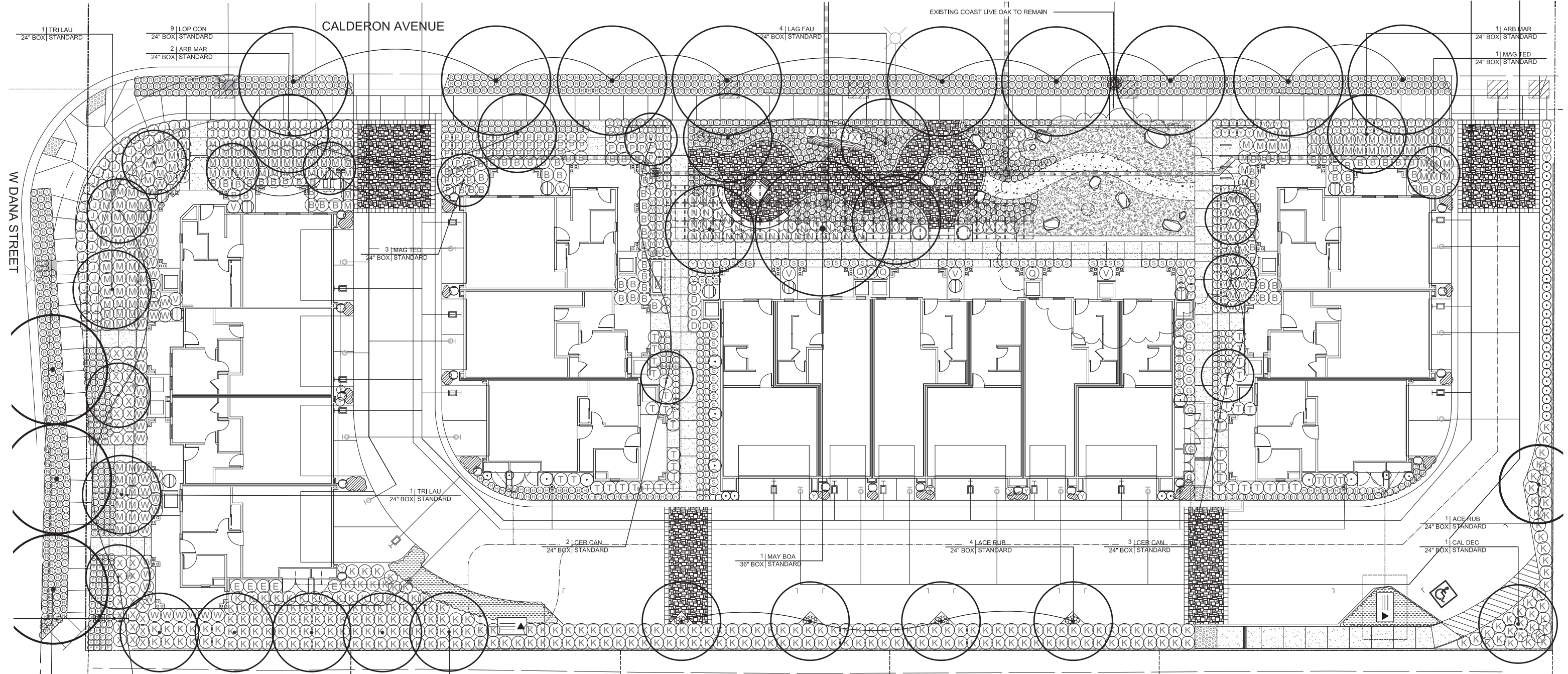


6'-0" High Wood Fence with Kicker



Mailbox Station

Concept



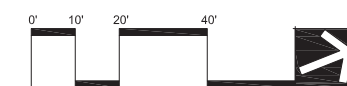
PASEO PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	COMMENTS	QUANTITY	WUCOLS	SIZE
TREES:							
ACE RUB	ACER RUBRUM 'KARPICK'	MAPLE	24" BOX	STANDARD	5	M	50'H x 20'W
ARB MAR	ARBUTUS 'MARINA'	STRAWBERRY TREE	24" BOX	STANDARD	3	L	40'H x 30'W
CAL DEC	CALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX	STANDARD	6	M	75'H x 15'W
CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	STANDARD	5	M	30'H x 30'W
LAG FAU	LAGERSTROEMIA FAUREI	CRAPE MYRTLE	24" BOX	STANDARD	4	L	30'H x 20'W
LAG MUS	LAGERSTROEMIA FAUREI 'MUSKOGEE'	CRAPE MYRTLE	24" BOX	STANDARD	4	L	25'H x 12'W
LOP CON	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	STANDARD	12	M	40'H x 25'W
MAG TED	MAGNOLIA 'TEDDY BEAR'	SOUTHERN MAGNOLIA	24" BOX	STANDARD	4	M	25'H x 15'W
MAY BOA	MAYTENUS BOARIA	MAYTEN TREE	36" BOX	STANDARD	1	M	40'H x 20'W
TRI LAU	TRISTINIA LAURINA 'ELEGANT'	WATER GUM	24" BOX	STANDARD	2	M	45'H x 30'W
SMALL TREES:							
⊙	BUXUS 'GREEN TOWER'	BOXWOOD	15 GALLON	STANDARD	39	M	9'H x 2'W
⊕	JUNIPERUS 'SKY ROCKET'	JUNIPER	24" BOX	STANDARD	10	M	15'H x 3'W
⊙	PODOCARPUS 'MAKI'	SHRUBBY YEW	15 GALLON	STANDARD	9	M	15'H x 4'W
⊙	TAXUS 'BEANPOLE'	YEW	15 GALLON	STANDARD	19	L	10'H x 2'W

SHRUBS:

⊙	ANIGOZANTHOS 'BUSH SUNSET'	KANGAROO PAW	1 GALLON	23	L	3'H x 2'W	
⊕	BERBERIS 'GOLDEN RING'	JAPANESE BARBERRY	5 GALLON	87	M	3'H x 3'W	
⊙	BULBINE FRUTESCANS	STALKED BULBINE	1 GALLON	22	L	1'H x 2'W	
⊙	CISTUS 'LITTLE MISS SUNSHINE'	ROCKROSE	1 GALLON	156	L	2'H x 18'W	
⊕	CORREA 'RAYS TANGERINE'	AUSTRALIAN FUCHSIA	5 GALLON	46	L	2'H x 3'W	
⊕	DIETES VEGATA	FORTNIGHT LILY	5 GALLON	5	L	3'H x 3'W	
⊕	EUONYMUS FORTUNEI 'AUROVARIEGATUS'	WINTERCREEPER	5 GALLON	5	M	3'H x 3'W	
⊕	EUONYMUS 'SILVER PRINCESS'	WINTERCREEPER	5 GALLON	74	L	2'H x 2'W	
⊕	FESTUCA 'BEYOND BLUE'	FESCUE	1 GALLON	79	L	18'H x 18'W	
⊕	FESTUCA MAIREI	ATLAS FESCUE	1 GALLON	188	L	3'H x 3'W	
⊕	HEMEROCALLIS 'RED VELVET' AND 'YELLOW'	DAY LILY	1 GALLON	50/50 MIX	236	M	2'H x 18'W
⊕	HEMEROCALLIS 'DOUBLE YELLOW'	DAY LILY	1 GALLON	164	M	2'H x 3'W	
⊕	LIRIOPE 'SILVERY SUNPROOF'	LIRIOPE	1 GALLON	107	M	18'H x 18'W	
⊕	LIRIOPE 'GIGANTEA'	LIRIOPE	5 GALLON	11	M	3'H x 3'W	
⊕	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA	1 GALLON	31	L	3'H x 4'W	
⊕	LOMANDRA 'EVERGREEN BABY'	LOMANDRA	1 GALLON	991	L	2'H x 2'W	
⊕	LOMANDRA 'PLATINUM BEAUTY'	LOMANDRA	5 GALLON	64	L	3'H x 2'W	
⊕	MUHLENBERGIA 'PINK FLAMINGO'	MUHL'Y GRASS	1 GALLON	269	L	2'H x 3'W	
⊕	PHORMIUM 'PANCHOS PRIDE'	FLAX	5 GALLON	6	M	4'H x 3'W	
⊕	POTENTILLA 'ABBOTTS WOOD'	POTENTILLA	5 GALLON	48	M	3'H x 3'W	
⊕	ROSA 'APRICOT DRIFT'	ROSE	2 GALLON	80	M	2'H x 3'W	
⊕	ROSA 'RUBY MEIDLAND'	ROSE	2 GALLON	50	M	2'H x 3'W	
⊕	ROSA 'SEVILLANA'	ROSE	5 GALLON	4	M	2'H x 3'W	
GROUNDCOVERS:							
⊕	GERANIUM INCANUM	GERANIUM	1 GALLON @ 18" O.C.		M		
⊕	ROSA 'PINK DRIFT'	ROSE	2 GALLON @ 36" O.C.		M		
⊕	ZAUSCHNERIA 'SELECT MATTOLE'	CALIFORNIA FUCHSIA	1 GALLON @ 18" O.C.		L		

PLAN VIEW
Scale: 1"=10'-0"



L-4



Proposed Planting Plan

CALDERON AVENUE

Mountain View, California

APRIL 2018

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVING: COLOR TO BE NATURAL GRAY WITH LIGHT BROOM FINISH
	CONCRETE UNIT PAVERS: REFER TO IMAGE SHEET L-3
	STABILIZED DECOMPOSED GRANITE: REFER TO IMAGE SHEET L-3
	ILLUMINATED BOLLARD: REFER TO IMAGE SHEET L-3 (LOCATIONS TO BE DETERMINED BASED ON FUTURE PHOTOMETRIC STUDY)
	PLASTIC HEADER
	6' HIGH WOOD FENCE WITH LATTICE: REFER TO IMAGE SHEET L-3
	3' HIGH WOOD FENCE: REFER TO IMAGE SHEET L-3
	GRANITE SEATWALL: REFER TO IMAGE SHEET L-3
	TIMBER SEATWALL: REFER TO IMAGE SHEET L-3
	BIKE RACK: REFER TO IMAGE SHEET L-3
	TABLES AND CHAIRS: REFER TO IMAGE SHEET L-3
	SPECIMEN STONE: REFER TO IMAGE SHEET L-3
	MAILBOX STATION AND DIRECTORY SIGN: REFER TO IMAGE SHEET L-3

PROPOSED PLANT PALETTE - OVERALL SITE

SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	EXPOSURE	COMMENTS	WUCOLS
LARGE CANOPY TREE:						
	MAYTENUS BOARIA	MAYTEN TREE	36" BOX	SUN	STANDARD	L
	LOPHSTEMON CONFERTUS	BRISBANE BOX	24" BOX	SUN/SHADE	STANDARD	M
EVERGREEN SCREEN TREE						
	ARBUTUS 'MARINA'	STRAWBERRY TREE	24" BOX	N/A	STANDARD	M
	CALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX	SUN	STANDARD	M
ACCENT TREE:						
	ACER RUBRUM 'KARPICK'	RED MAPLE	24" BOX	N/A	STANDARD	M
	CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	SUN/SHADE	STANDARD	L
	LAGERSTROEMIA FAUREI	CRAPE MYRTLE	24" BOX	SUN/SHADE	STANDARD	L
	LAGERSTROEMIA FAUREI 'MUSKOGEE'	CRAPE MYRTLE	24" BOX	SUN/SHADE	STANDARD	L
	MAGNOLIA 'TEDDY BEAR'	MAGNOLIA	24" BOX	SUN/SHADE	STANDARD	M
	TRISTANIA LAURINA 'ELEGANT'	WATER GUM	24" BOX	SUN/SHADE	STANDARD	M
NARROW EVERGREEN TREE						
	BUXUS 'GRFEN TOWER'	BOXWOOD	15 GALLON	SUN/SHADE	STANDARD	M
	JUNIPERUS 'SKY ROCKET'	JUNIPER	24" BOX	SUN/SHADE	STANDARD	M
	PODOCARPUS 'MAKI'	SHRUBBY YEWE	15 GALLON	SUN/SHADE	STANDARD	M
	TAXUS 'BEANPOLE'	YEW	15 GALLON	SUN/SHADE	STANDARD	L
SHRUBS & GROUNDCOVERS:						
	ANIGOZANTHUS 'BUSH SUNSET'	KANGAROO PAW	1 GALLON			L
	BERBERIS 'GOLDEN RING'	JAPANESE BARBERRY	5 GALLON			M
	BULBINE FRUTESCANS	BULBINE	1 GALLON			L
	CISTUS 'LITTLE MISS SUNSHINE'	ROCKROSE	5 GALLON			L
	CORREA 'RAYS TANGERINE'	AUSTRALIAN FUCHSIA	5 GALLON			L
	DIETES VEGETA	FORTNIGHT LILY	5 GALLON			L
	EUONYMUS FORTUNEI 'AUREOVARIEGATUS'	WINTERCREEPER	5 GALLON			M
	EUONYMUS 'SILVER PRINCESS'	WINTERCREEPER	5 GALLON			L
	FESTUCA MAIREI	ATLAS FESCUE	1 GALLON			L
	FESTUCA 'BEYOND BLUE'	FESCUE	1 GALLON			L
	HEMEROCALLIS 'RED VELVET & YELLOW'	DAY LILY	5 GALLON	MIX 50/50		M
	HEMEROCALLIS 'DOUBLE YELLOW'	DAY LILY	5 GALLON			M
	LIRIOPE 'SILVERY SUNPROOF'	LIRIOPE	1 GALLON			M
	LIRIOPE 'GIGANTEA'	LIRIOPE	5 GALLON			M
	LOMANDRA LONGIFOLIA 'BREEZE'	LOMANDRA	1 GALLON			L
	LOMANDRA 'EVERGREEN BABY'	LOMANDRA	1 GALLON			L
	LOMANDRA 'PLATINUM BEAUTY'	LOMANDRA	5 GALLON			L
	MUHLENBERGIA 'PINK FLAMINGO'	MUHLY GRASS	1 GALLON			L
	PHORMIUM 'PANCHO'S PRIDE'	FLAX	5 GALLON			M
	POTENTILLA 'ABBOTS WOOD'	POTENTILLA	5 GALLON			M
	ROSA 'APRICOT DRIFT'	SHRUB ROSE	2 GALLON			M
	ROSA 'RUBY MEIDLAND'	SHRUB ROSE	2 GALLON			M
	ROSA 'SEVILLANA'	SHRUB ROSE	5 GALLON			M

SYMBOL	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
GROUNDCOVERS:				
	GERANIUM INCANUM	GERANIUM	1 GALLON @ 18" O.C.	M
	ROSA 'PINK DRIFT'	GROUNDCOVER ROSE	2 GALLON @ 36" O.C.	M
	ZALSCHNERIA 'SELECT MATTOLE'	CALIFORNIA FUCHSIA	1 GALLON @ 18" O.C.	L

NOTE: PLANT PALETTE IS FOR REFERENCE ONLY. NOT ALL TREES, SHRUBS, GRASSES, AND GROUNDCOVER LISTED WILL BE UTILIZED IN THE PREPARATION OF CONSTRUCTION DOCUMENTS. PLANT MATERIAL SHALL BE SELECTED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT

MINIMUM TREE CLEARANCE NOTE:

- SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
- MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
- LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
- 5' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.

WATER CONSERVATION STATEMENT

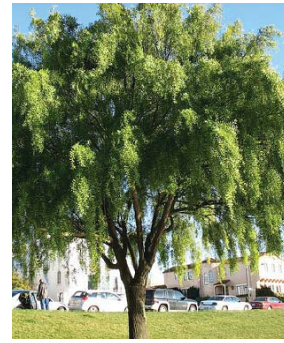
PLANT MATERIAL HAS BEEN CHOSEN FOR WATER CONSERVING AND REDUCED MAINTENANCE CHARACTERISTICS. A MAXIMUM OF 25% OF NON-TURF PLANTS WILL HAVE A MODERATE IRRIGATION WATER REQUIREMENT AND A MINIMUM OF 50% OF NON-TURF PLANTS WILL HAVE A LOW TO VERY LOW IRRIGATION WATER REQUIREMENT.



CALOCEDRUS DECURRENS
INCENSE CEDAR



MAGNOLIA 'TEDDY BEAR'
SOUTHERN MAGNOLIA



MAYTENUS BOARIA
MAYTEN TREE



TRISTANIA LAURINA 'ELEGANT'
WATER GUM



LOPHOSTEMON CONFERTUS
BRISBANE BOX



ACER RUBRUM 'KARPICK'
MAPLE

PLANT MATERIAL - TREES



ANIGOZANTHOS 'BUSH SUNSET'
KANGAROO PAW



BULBINE FRUTESCANS
STALKED BULBINE



DIETES VEGATA
FORTNIGHT LILY



LIRIOPE 'SILVERY SUNPROOF'
LILY TURF



LOMANDRA 'PLATINUM BEAUTY'
LOMANDRA



MUHLENBERGIA 'PINK FLAMINGO'
MUHLY GRASS



PHORMIUM 'PANCHO'S PRIDE'
FLAX



POTENTILLA 'ABBOTTS WOOD'
POTENTILLA

PLANT MATERIAL - SHRUBS



GERANIUM INCANUM
GERANIUM

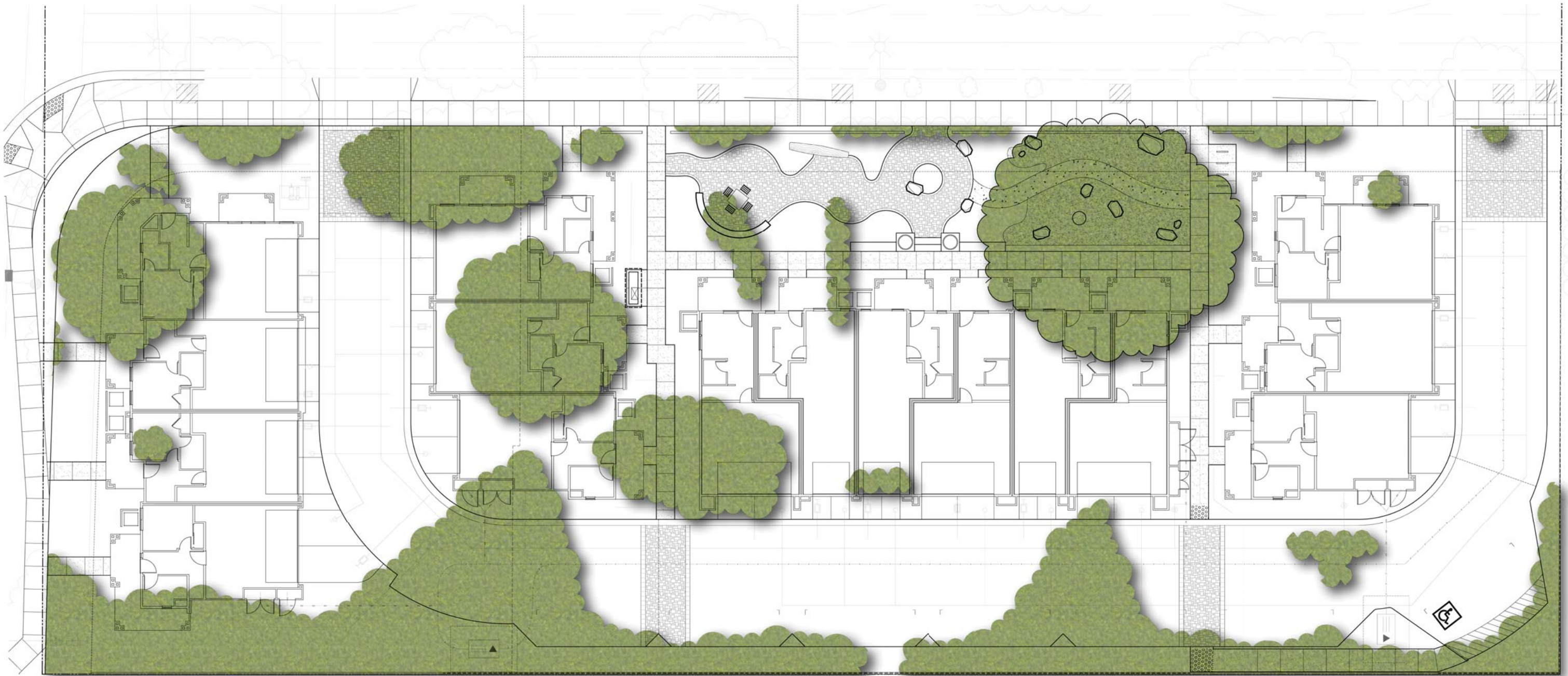


ROSA 'PINK DRIFT'
ROSE



ZAUSCHNERIA 'SELECT MATTOLE'
CALIFORNIA FUCHSIA

PLANT MATERIAL - GROUNDCOVER



EXISTING CANOPY COVERAGE: 10,491.5 SQ/FT

PROJECT AREA: 39,442 SQ/FT

PERCENT CANOPY COVERAGE: 26.6%

PLAN VIEW
Scale: 1"=10'-0"





TREE GROWTH PROJECTIONS

BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	GROWTH RATE	CANOPY COVER AT PLANTING HxW	CANOPY COVER AT 5 YEARS AFTER INSTALLATION HxW	**CANOPY COVER AT 10 YEARS AFTER INSTALLATION HxW
TREES:						
A ACER RUBRUM 'KARPICK'	RED MAPLE	24" BOX	FAST	9'-10" x 3'-4"	18' x 10'	50' x 20'
B ARBUTUS 'MARINA'	STRAWBERRY TREE	24" BOX	SLOW/MODERATE	9'-11" x 3'-4"	16' x 12'	20'-40' x 20'-30'
C CALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX	SLOW/MODERATE	9'-11" x 3'-4"	16' x 7'	75'-90' x 15'
D CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	MODERATE	9'-11" x 4'-5"	15' x 8'	30' x 30'
E JUNIPERUS 'SKY ROCKET'	JUNIPER	24" BOX	FAST	8' x 2'	10' x 3'	15'-20' x 3'
F LAGERSTROEMIA FAUREI	LAVENDER CRAPE MYRTLE	24" BOX	FAST	9'-10" x 3'-4"	14' x 8'	20'-30' x 20'
G LAGERSTROEMIA FAUREI 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	FAST	9'-10" x 3'-4"	15' x 8'	25' x 12'
H LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	FAST	9'-10" x 3'-4"	16' x 12'	30'-45' x 25'
I MAGNOLIA 'TEDDY BEAR'	MAGNOLIA	24" BOX	SLOW	9'-10" x 3'-4"	12' x 8'	20'-25' x 15'
J MAYTENUIS BOARIA 'GREEN SHOWERS'	MAYTEN TREE	24" BOX	MODERATE	9'-10" x 3'-4"	16' x 10'	40' x 20'
K PODOCARPUS 'MAKI'	COLUMN FERN PINE	15 GALLON	MODERATE	7'-8" x 2'-3"	9' x 3'	15' x 4'
L TRISTANIA LAURINA	NCN	24" BOX	MODERATE	9'-11" x 4'-5"	20' x 15'	45' x 30'
M TAXUS 'BEANPOLE'	YEW	15 GALLON	MODERATE	6' x 1'	8' x 2'	10' x 2'

PERCENTAGE OF SITE CANOPY COVER

EXISTING CANOPY COVERAGE: 26.6%

7.75%

19.00%

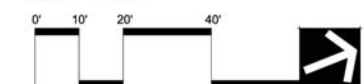
32.50%

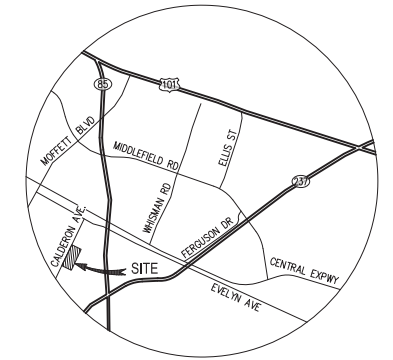
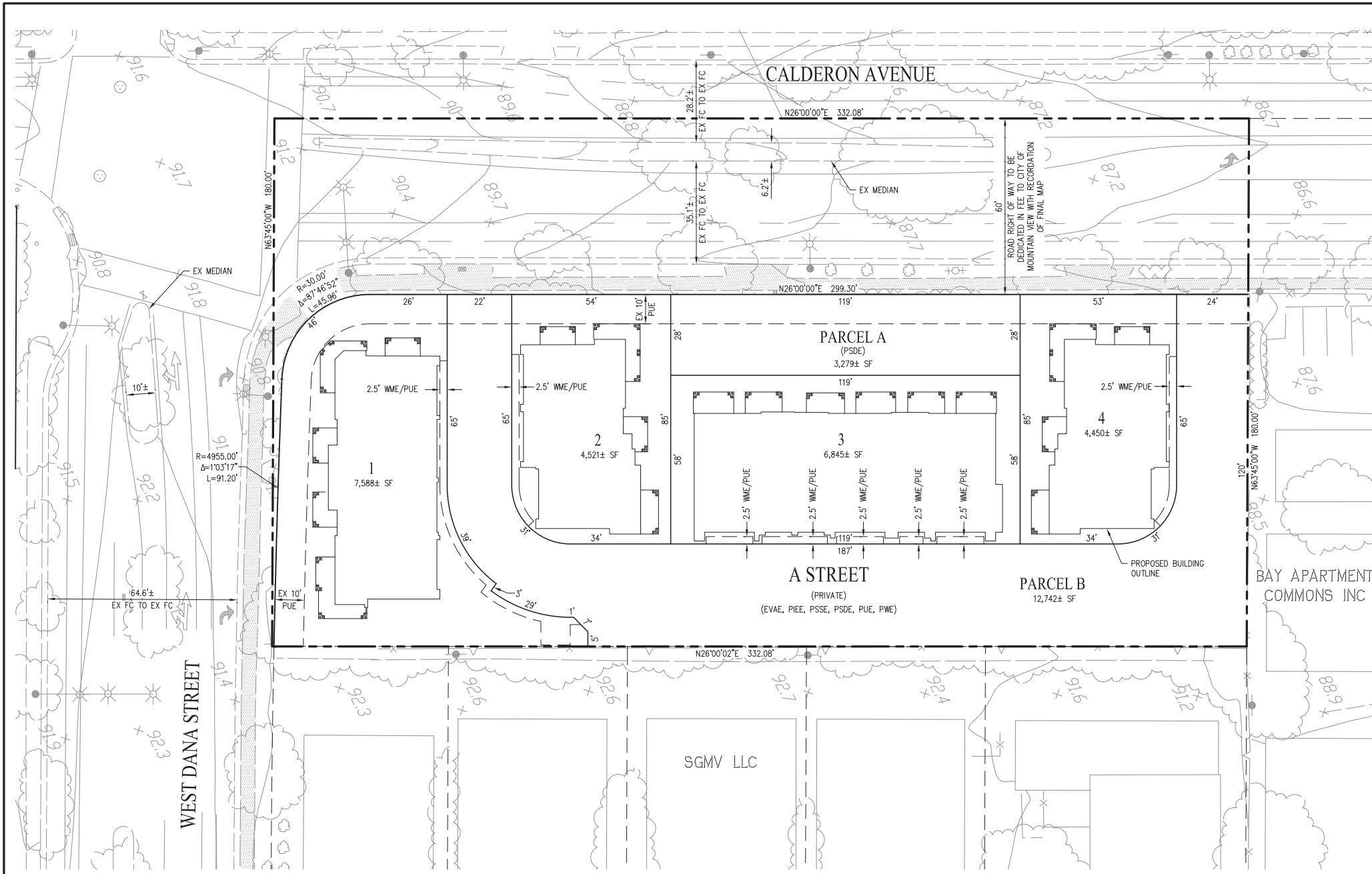
* SOURCE: VALLEY CREST TREE COMPANY WHOLESALE CATALOG SPECIFICATIONS

** SOURCE: SUNSET WESTERN GARDEN BOOK OF PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES (EBMUD)

PLAN VIEW

Scale: 1"=10'-0"





VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- APPLICANT: SUMMERHILL HOMES LLC
777 SOUTH CALIFORNIA AVENUE
PALO ALTO, CA 94304
(650) 842-2360
JOHN HICKEY
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
RYAN HANSEN, P.E.
- GEOTECHNICAL ENGINEER: ENGO INCORPORATED
2010 CROW CANYON PLACE, SUITE 250
SAN RAMON, CA 94583
(925) 866-900
THEODORE P. BAYHAM, G.E.
- ARCHITECT: SDG ARCHITECTS, INC.
3361 WALNUT BLVD, SUITE 120
BRENTWOOD, CA 94513
(925) 634-7000
RALPH STRAUSS
- OWNERS:
THEODORE E. FARAVELLI, TRUSTEE, OR
SUCCESSOR TRUSTEE, UNDER THAT CERTAIN
DECLARATION OF TRUST ENTITLED THE
THEODORE E. FARAVELLI REVOCABLE LIVING
TRUST, DATED JANUARY 7, 1991, AS TO
TRACT I;
THEODORE E. FARAVELLI, A MARRIED MAN AS
HIS SOLE AND SEPARATE PROPERTY, AS TO
TRACT II;
RALPH J. FARVELLI AND CARMEN H. FARAVELLI,
AS C-TRUSTEES OF THE RALPH AND CARMEN
FARAVELLI 1983 TRUST AGREEMENT, AS TO
TRACT III;
RALPH J. FARVELLI AND CARMEN H. FARAVELLI,
AS C-TRUSTEES OF THE RALPH AND CARMEN
FARAVELLI 1983 TRUST DATED
AUGUST 23, 1983 AS TO TRACT IV.
- APN: 158-34-001 (TRACT I),
158-34-002 (TRACT II),
158-34-003 (TRACT III),
158-33-004 (TRACT IV)
- CONTOUR INTERVAL: 1 FOOT (EXISTING)
- EXISTING ZONING: R3-2
- PROPOSED ZONING: R3-2
- SITE AREA: 0.90± AC
- EXISTING LOTS: 2
- PROPOSED LOTS: 4
- NUMBER OF UNITS: 16
- GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
(12 TO 25 DU/AC)
- DENSITY: 17.7± DU/AC
- LOT SIZE
MINIMUM: 4,450± SF
MAXIMUM: 7,761± SF
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- UTILITIES
WATER: CITY OF MOUNTAIN VIEW
SEWER: CITY OF MOUNTAIN VIEW
STORM DRAIN: CITY OF MOUNTAIN VIEW
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE & CABLE TV: TBD
- FLOOD ZONE DESIGNATION: ZONE X - AREA WITH REDUCED FLOOD RISK
DUE TO LEVEE
- TRASH: INDIVIDUAL UNIT TRASH CAN PICKUP TO BE
PROVIDED BY CITY OF MOUNTAIN VIEW
- STREETS: ALL PROPOSED STREETS AND ALLEYS ARE
PRIVATE
- GRADING: PROPOSED GRADING AS SHOWN IS
PRELIMINARY. FINISHED GRADING IS SUBJECT
TO FINAL DESIGN
- ACCESSIBILITY: ALL REQUIRED ADA ACCESSIBLE UNITS WILL BE
DESIGNED PER CALIFORNIA BUILDING CODE
REQUIREMENTS WITH RESPECT TO SITE
ACCESSIBILITY. SEE SHEETS C.2 & C.3 FOR
PRELIMINARY ADA UNIT LOCATIONS
- DIMENSIONS: ALL PARCEL AND LOT DIMENSIONS SHOWN
ARE APPROXIMATE AND MAY CHANGE DURING
FINAL DESIGN
- EROSION CONTROL: EROSION CONTROL WILL BE PREPARED PER
CITY STANDARDS AND ABAG RECOMMENDATIONS
- COMMON AREAS: COMMON AREAS ARE TO BE MAINTAINED BY
HOMEOWNERS ASSOCIATION
- LIGHTING: ALL ONSITE LIGHTING WILL BE PRIVATE AND
HOA MAINTAINED.
- TREES: EXISTING TREES ON SITE TO BE REMOVED
AS SHOWN ON SHEET C.1.
- BENCHMARK: CITY OF MOUNTAIN VIEW BENCHMARK
NO. IV-16 BRONZE DISK STAMPED "IV-16"
SET IN THE TOP OF CURB AT THE CENTER
OF THE SOUTHWEST CURB RETURN OF VILLA
STREET AT CALDERON AVE
ELEVATION: 85.809 FEET
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS
THE CENTERLINE OF CALDERON AVENUE, THE
BEARING BEING N26°00'00" PER 457 M 30
- CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR
LOTS 1 THROUGH 4 AND THE SUBDIVISION IS A
CONDOMINIUM PROJECT AS DEFINED IN
SECTIONS 4125 AND 4285 ET. SEQ. OF THE
CIVIL CODE OF THE STATE OF CALIFORNIA AND
FILED PURSUANT TO THE SUBDIVISION MAP ACT.
THE TOTAL NUMBER OF CONDOMINIUM DWELLING
UNITS SHALL BE NO MORE THAN 16
RESIDENTIAL CONDOMINIUM UNITS FOR LOTS 1
THROUGH 4.

ABBREVIATIONS

AC	ACRES
CB	CATCH BASIN
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FC	FACE OF CURB
FF	FINISHED FLOOR ELEVATION
FI	FIELD INLET
FL	FLOWLINE
FS	FIRE SERVICE
GR	GRATE
HP	HIGH POINT
JT	JOINT TRENCH
LL	LOT LINE
LP	LOW POINT
MH	MANHOLE
P	PAD ELEVATION
PIEE	PRIVATE INGRESS AND EGRESS EASEMENT
PSDE	PUBLIC STORM DRAIN EASEMENT
PSSE	PUBLIC SANITARY SEWER EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PWE	PUBLIC WATER EASEMENT
R/W	RIGHT OF WAY
SD	STORM DRAIN
SF	SQUARE FEET
SL	STREET LIGHT
SS	SANITARY SEWER
S/W	SIDEWALK
TC	TOP OF CURB
TYP	TYPICAL
WME	WATER METER EASEMENT

SHEET INDEX

TM.1	VESTING TENTATIVE MAP
C.1	BOUNDARY AND EXISTING CONDITIONS
C.2	PRELIMINARY SITE PLAN & UTILITY PLAN
C.3	PRELIMINARY GRADING & DRAINAGE
C.4	PRELIMINARY STORMWATER MANAGEMENT PLAN
C.5	PRELIMINARY FIRE SERVICE PLAN
C.6	PRELIMINARY GARBAGE SERVICE PLAN

- NOTES:
- PRIVATE STORM DRAIN EASEMENT EXTENTS AND LOCATION SUBJECT TO FINAL DESIGN.

VESTING TENTATIVE MAP
FOR CONDOMINIUM PURPOSES
257 & 279 CALDERON AVENUE

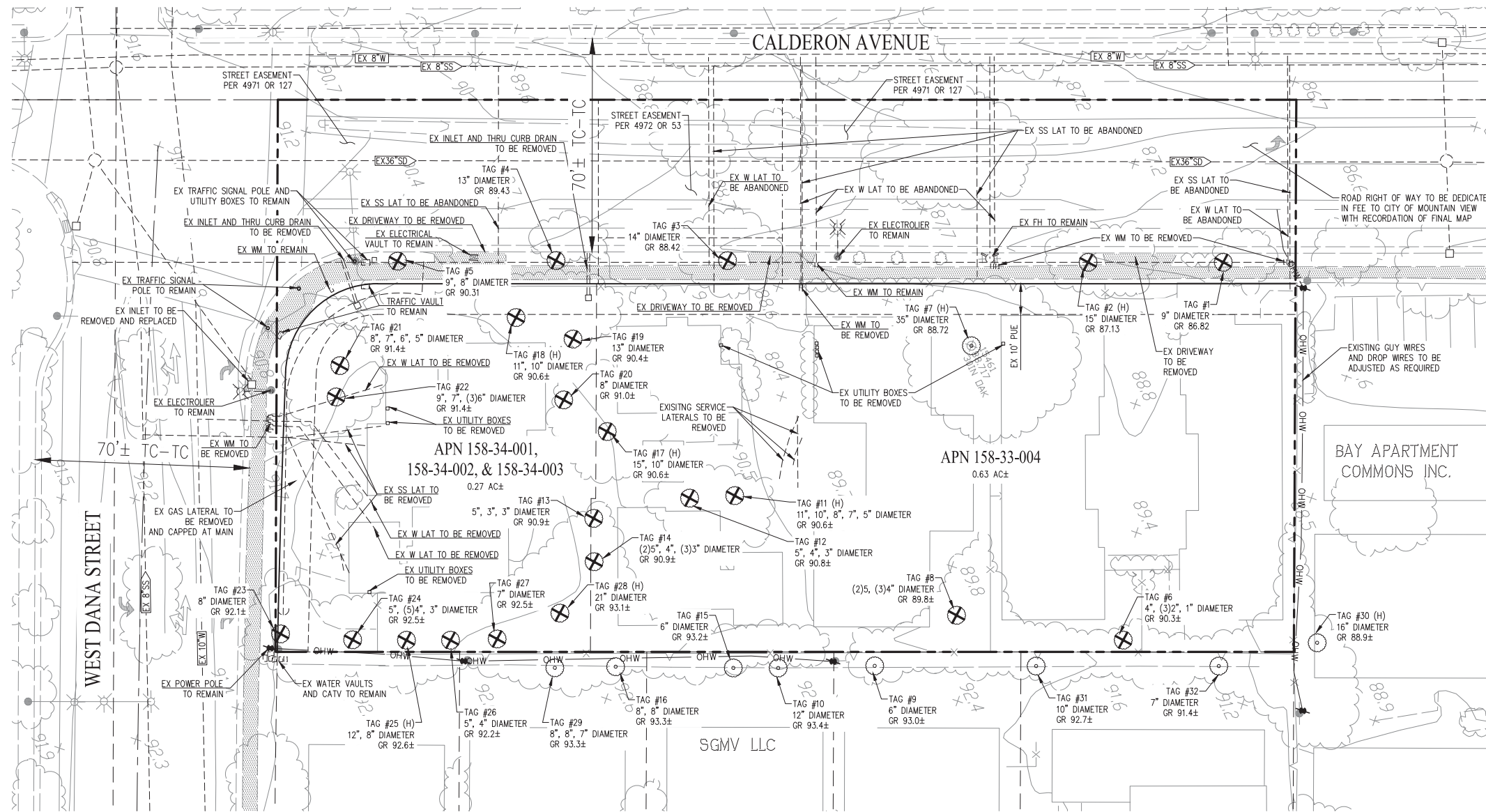
CITY OF MOUNTAIN VIEW SANTA CLARA COUNTY CALIFORNIA

SCALE: 1" = 20'

DATE: APRIL 5, 2018
JOB NO.: 2742-000

SAN RAMON, CALIFORNIA (925) 866 - 0322
SACRAMENTO, CALIFORNIA (916) 375 - 1877

SHEET NO.
TM.1
OF 7 SHEETS



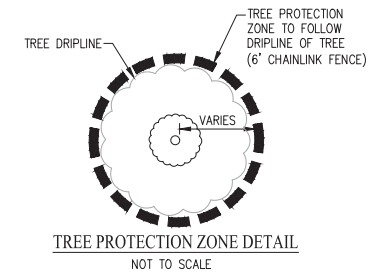
LEGEND

- EXISTING BOUNDARY
- EXISTING CENTERLINE
- EXISTING EASEMENT LINE
- EXISTING LOT LINE
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER MAIN
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING FIRE HYDRANT
- EXISTING UTILITY BOX/VAULT
- EXISTING SIDEWALK
- EXISTING GROUND ELEVATION AT TREE
- HERITAGE TREE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

ABBREVIATIONS

- CB CATCH BASIN
- DW DRIVEWAY
- EX EXISTING
- FH FIRE HYDRANT
- LAT LATERAL
- OHW OVERHEAD WIRES
- PL PROPERTY LINE
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- W WATER
- WM WATER METER

NOTE: ALL EXISTING BUILDINGS, DRIVEWAYS, AND SIDEWALKS ON SITE TO BE REMOVED.



EXISTING TREE SUMMARY				
TREE #	SPECIES	HERITAGE (Y/N)	ON-SITE (Y/N)	PROPOSED ACTION
1	BRISBANE BOX	NO	N	REMOVE
2	SOUTHERN MAGNOLIA	YES	N	REMOVE
3	SOUTHERN MAGNOLIA	NO	N	REMOVE
4	SOUTHERN MAGNOLIA	NO	N	REMOVE
5	SOUTHERN MAGNOLIA	NO	N	REMOVE
6	PHOTINIA	NO	Y	REMOVE
7	COAST LIVE OAK	YES	Y	PRESERVE
8	PURPLELEAF PLUM	NO	Y	REMOVE
9	PURPLELEAF PLUM	NO	N	PRESERVE
10	ITALIAN CYPRESS	NO	N	PRESERVE
11	GRISELINIA	YES	Y	REMOVE
12	PURPLELEAF PLUM	NO	Y	REMOVE
13	GLOSSY PRIVET	NO	Y	REMOVE
14	PURPLELEAF PLUM	NO	Y	REMOVE
15	GRAPEFRUIT	NO	N	PRESERVE
16	GLOSSY PRIVET	NO	N	PRESERVE
17	VICTORIAN BOX	YES	Y	REMOVE
18	SWEETGUM	YES	Y	REMOVE
19	SWEETGUM	NO	Y	REMOVE
20	EUROPEAN WHITE BIRCH	NO	Y	REMOVE
21	EUROPEAN WHITE BIRCH	NO	Y	REMOVE
22	EUROPEAN WHITE BIRCH	NO	Y	REMOVE
23	EVERGREEN ASH	NO	Y	REMOVE
24	TOBIRA	NO	Y	REMOVE
25	VICTORIAN BOX	YES	Y	REMOVE

EXISTING TREE SUMMARY				
TREE #	SPECIES	HERITAGE (Y/N)	ON-SITE (Y/N)	PROPOSED ACTION
26	TARATA PITTIOSPORUM	NO	Y	REMOVE
27	TARATA PITTIOSPORUM	NO	Y	REMOVE
28	BRAZILIAN PEPPER	YES	Y	REMOVE
29	VICTORIAN BOX	NO	N	PRESERVE
30	SWEETGUM	YES	N	PRESERVE
31	ITALIAN CYPRESS	NO	N	PRESERVE
32	ITALIAN CYPRESS	NO	N	PRESERVE

TOTAL ON-SITE HERITAGE TREES: 6
TO BE PRESERVED: 1
TO BE REMOVED: 5

TOTAL OFF-SITE HERITAGE TREES: 2
TO BE PRESERVED: 1
TO BE REMOVED: 1

BOUNDARY AND EXISTING CONDITIONS

VESTING TENTATIVE MAP

FOR CONDOMINIUM PURPOSES

257 & 279 CALDERON AVENUE

CITY OF MOUNTAIN VIEW SANTA CLARA COUNTY CALIFORNIA

SCALE: 1" = 20'

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Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
WWW.CBANDG.COM

SAN RAMON, CALIFORNIA (925) 886 - 0322
SACRAMENTO, CALIFORNIA (916) 375 - 1877

SHEET NO.

C.1

OF 7 SHEETS