

2300 West El Camino Real

2300 West El Camino Real
Mountain View, California



For:
BPR Properties

 <p>ARRIS STUDIO ARCHITECTS</p>	<p>Proposed Hotel</p> <hr/> <p>2300 West El Camino Real Mountain View, California</p>	<p>COVER</p> <hr/> <p>March 29, 2017 A0.0</p>
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PROJECT DIRECTORY

OWNER

BPR PROPERTIES
953 INDUSTRIAL AVE, SUITE 100
PALO ALTO, CA 94303
ATTN: PERRY PATEL

PHONE: (650) 424-1400
FAX: (650) 328-2924
EMAIL: PPATEL@BPRPROPERTIES.COM

ARCHITECT

ARRIS STUDIO ARCHITECTS
1306 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401
ATTN: THOM JESS

PHONE: (805) 547-2240
FAX: (805) 547-2241
EMAIL: TJESS@ARRISSTUDIOARCH.COM

ELECTRICAL

HCS ENGINEERING, INC.
4512 FEATHER RIVER DRIVE, SUITE F
STOCKTON, CA 95219
ATTN: BHUPENDRA PATEL

MAIN: (209) 478-8270
EMAIL: BHUPENDRA@HCS-ENG.COM

LANDSCAPE

FIRMA
187 TANK FARM ROAD SUITE 230
SAN LUIS OBISPO, CA 93401
ATTN: DAVID FOOTE

MAIN: (805) 781-9800
EMAIL: DAVID@FIRMACONSULTANTS.COM

CIVIL

ASHLEY & VANCE ENGINEERING
1413 MONTEREY STREET
SAN LUIS OBISPO, CA 93401
ATTN: TRUITT VANCE

MAIN: (805) 545-0010
EMAIL: TRUITT@ASHLEYVANCE.COM

CONSTRUCTION STAGING

- CONSTRUCTION STAGING AND TRAFFIC CONTROL

PLANS REQUIRED AS PART OF THE BUILDING PERMIT

SUBMITTAL.

- PARKING FOR CONSTRUCTION MUST BE PROVIDED ON

SITE.

ACCESSIBILITY REQUIREMENTS

PER CBC 11B-224.2 & 11B-224.4

GUEST ROOMS WITH MOBILITY FEATURES: 157 ROOMS

ROOMS WITHOUT ROLL-IN SHOWERS 6
ROOMS WITH ROLL-IN SHOWERS 2

GUEST ROOMS WITH COMMUNICATION FEATURES: 157 ROOMS

ROOMS WITH COMMUNICATION FEATURES 14

CBC 11B-224.1.3 RANGE OF ACCOMMODATIONS:
ACCESSIBLE GUEST ROOMS OR SUITES SHALL BE DISPERSED
AMONG THE VARIOUS CLASSES OR SLEEPING
ACCOMMODATIONS TO PROVIDE A RANGE OF OPTIONS
APPLICABLE TO ROOM SIZES, COSTS AND AMENITIES
PROVIDED.

AREA INFORMATION

	EXISTING	TOTAL PER FLOOR	PROPOSED	TOTAL PER FLOOR	NET INCREASE
BASEMENT				0	0
CIRCULATION			0		
FIRST FLOOR		16,211		13,234	-2,977
GUEST	9,344		5,283		
CIRCULATION	3,563		1,541		
HOTEL AMENITIES	3,107		4,677		
SERVICE	197		1,733		
SECOND FLOOR		12,762		21,162	8,400
GUEST	9,344		18,044		
CIRCULATION	3,418		2,594		
SERVICE			524		
THIRD FLOOR		2,099		20,714	18,615
GUEST	1,312		16,915		
CIRCULATION	787		3,281		
SERVICE			518		
FOURTH FLOOR		0		20,714	20,714
GUEST			16,915		
CIRCULATION			3,281		
SERVICE			518		
TOTAL PER BUILDING		31,072		75,824	44,752

SEPARATE PERMIT

SIGNAGE IS NOT PART OF THIS PERMIT AND WILL BE UNDER
SEPARATE PERMIT.

PROJECT INFORMATION

ADDRESS: 2300 WEST EL CAMINO REAL,
MOUNTAIN VIEW, CA
148-36-012

APN: 148-36-012

LOT AREA: 0.97 ACRES (42,138 SF)

ZONING: P(38) EL CAMINO REAL PRECISE PLAN

OCCUPANCY GROUP: R-1 HOTEL OVER S-2 GARAGE

TYPE CONSTRUCTION: TYPE V-A o/ TYPE 1A

SPRINKLER: YES

EXISTING USE: HOTEL
PROPOSED USE: HOTEL

EXISTING GUEST ROOMS: 71
PROPOSED GUEST ROOMS: 157

EXISTING FLOOR AREA: 31,072 S.F.
PROPOSED FLOOR AREA: 75,824 S.F.

EXISTING # OF STORIES: 3 + BASEMENT
PROPOSED # OF STORIES: 4 + BASEMENT

ALLOWED BUILDING HEIGHT (TIER-1): 55'-0"
EXISTING BUILDING HEIGHT: 32'-6"

PROPOSED BUILDING HEIGHT: 50'-0"

EXISTING BUILDING COVERAGE: 17,698 SF
PROPOSED BUILDING COVERAGE: 22,692 SF

ALLOWED FAR (TIER-1): 1.85
EXISTING FAR: 0.81
PROPOSED FAR: 1.80
TOTAL PARKING AREA: 8,661 SF
PARKING COVERED: 6,845 SF
PARKING UNCOVERED: 1,816 SF

ALLOWED MIN. ECR SETBACK: 10 FT
ALLOWED MAX. ECR SETBACK: 15 FT
PROPOSED ECR SETBACK: 10 FT

ALLOWED SIDE YARD SETBACK: 15 FT
PROPOSED SIDE YARD SETBACK: 15 FT

ALLOWED REAR YARD SETBACK: 25 FT
PROPOSED REAR YARD SETBACK: 25 FT

ENCROACHMENTS AND EXCEPTIONS:
PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS & EXCEPTIONS SECTION
8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS
OTHER THAN EL CAMINO REAL & SIDE STREET SETBACKS.

PARKING INFORMATION

PARKING EXISTING:

BASEMENT LEVEL : 22 STALLS
GROUND LEVEL : 41 STALLS
63 STALLS

NUMBER OF GUEST ROOMS 71 ROOMS

PARKING REQUIRED:
157 GUESTS @ 1 PER 157 STALLS
28 EMPLOYEES @ 0.5 PER 14 STALLS
171 STALLS

PARKING PROPOSED:
BASEMENT: 110 STALLS
GROUND LEVEL: 19 STALLS
129 STALLS *

ACCESSIBLE PARKING:
REQUIRED: 171 REQUIRED STALLS =6 SPACES (INCLUDING 1 VAN)
PROVIDED: =6 SPACES (INCLUDING 1 VAN)

BICYCLE PARKING:
REQUIRED: 171X 2%= 4 BIKE SPACES
PROPOSED: 4 BIKE SPACES

* SEE TRANSPORTATION DEMAND MANAGEMENT PLAN FOR PARKING
REDUCTION JUSTIFICATION

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE DEMOLITION OF THE
EXISTING 71 GUEST ROOM HOTEL AND CONSTRUCTION OF
PROPOSED HOTEL. AS PART OF THIS WORK THE NUMBER OF
GUEST ROOMS WILL BE INCREASED TO 157.

THE EXISTING BELOW GRADE PARKING WILL BE EXPANDED
AND ADDITIONAL SURFACE PARKING WILL BE ADDED. THE
ADDITIONAL PARKING WILL INCREASE THIS NUMBER OF
SPACES UP TO 140, A RATIO OF 0.82 PARKING SPACES PER
GUEST ROOM. THERE IS (1) SPACE PER GUEST ROOM AND
(1) SPACE PER (2) EMPLOYEES PROVIDED.

VALET PARKING WILL BE UTILIZED IN ORDER TO MAKE FULL
USE OF THE PROPOSED TANDEM PARKING AS WELL AS THE
PARKING LIFTS FOR THE HOTEL. THIS EQUALS A 19%
REDUCTION IN THE REQUIRED PARKING SPACES. PLEASE SEE
THE SUPPLEMENTAL PARKING STUDY FOR REDUCTION
JUSTIFICATION.

IN ADDITION, THE EXISTING SWIMMING POOL WILL BE
REPLACED BY AN EXPANDED LOBBY AND COMMON AREA
SPACE.

THE CURRENT HOTEL HAS (2) DRIVEWAY ENTRANCES. THESE
WILL BE CONSOLIDATED TO A SINGLE DRIVEWAY IN
CONFORMANCE WITH THE EL CAMINO REAL PRECISE PLAN.

PUBLIC SERVICE EASEMENT

WE ARE IN THE PROCESS OF ABANDONMENT OF THE PUBLIC
SERVICE EASEMENT, WHICH INCLUDES THE LOT AREA OUTSIDE
THE EXISTING BUILDING FOOTPRINT.

THE PUBLIC SERVICE EASEMENT MUST BE VACATED PRIOR TO
CONSTRUCTION.

PUBLIC BENEFIT CALCULATION

ANALYSIS PROVIDED FOR THE AMOUNT TO BE PAID FOR THE
PUBLIC BENEFIT PER THE EL CAMINO REAL PRECISE PLAN-
PUBLIC BENEFIT SECTION, IN EXCESS OF 1.35 FAR (INCLUSIVE
OF COVERED PARKING BUT NOT UNDERGROUND PARKING.)

*SEE A0.6 FOR PUBLIC BENEFIT PROPOSAL AND CALCULATION

GUEST ROOM INFORMATION

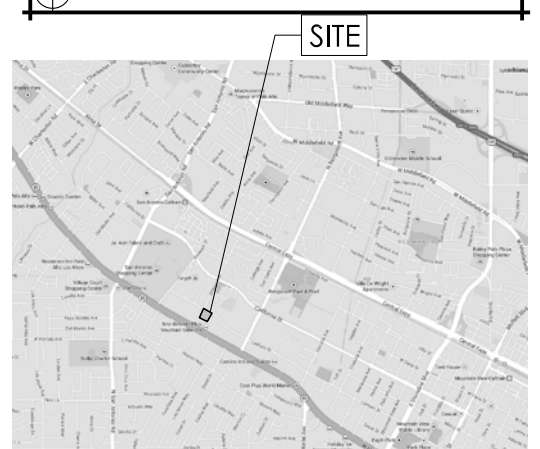
EXISTING GUEST ROOMS:
FIRST FLOOR: 31 ROOMS
SECOND FLOOR: 36 ROOMS
THIRD FLOOR: 4 ROOMS
FOURTH FLOOR: 0 ROOMS
71 ROOMS

PROPOSED GUEST ROOMS:
FIRST FLOOR: 15 ROOMS
SECOND FLOOR: 50 ROOMS
THIRD FLOOR: 46 ROOMS
FOURTH FLOOR: 46 ROOMS
157 ROOMS

DRAWING INDEX

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L 4 HERITAGE TREE MAP

VICINITY MAP



Proposed
Hotel

2300 West El Camino Real
Mountain View, California

PROJECT
DATA

March 29, 2017

A0.1

FIRE DEPARTMENT NOTES

FIRE SPRINKLER SYSTEM: PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM TO BE MONITORED BY A CENTRAL STATION MONITORING ALARM COMPANY. THIS MONITORING SHALL INCLUDE WATER FLOW INDICATORS AND TAMPER SWITCHES ON ALL CONTROL VALVES. THREE (3) SETS OF SHOP-QUALITY DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. ALL WORK SHALL CONFORM TO NFPA 13 (2013 EDITION), NFPA 72 (2013 EDITION), AND MOUNTAIN VIEW FIRE DEPARTMENT SPECIFICATIONS. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR A COPY OF SPECIFICATIONS AND SUBMITTAL REQUIREMENTS. (MOUNTAIN VIEW CITY CODE, SECTIONS 14.10.27, 14.10.28, AND CALIFORNIA FIRE CODE, SECTION 903.)

STANDPIPE SYSTEM: PROVIDE A CLASS III STANDPIPE SYSTEM. (MOUNTAIN VIEW CITY CODE, SECTIONS 14.10.29, 14.10.30, 14.10.31, AND 14.10.32 AND CALIFORNIA FIRE CODE, SECTION 905.)

FIRE PROTECTION DURING CONSTRUCTION: EVERY BUILDING FOUR (4) STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE (1) STANDPIPE FOR USE DURING CONSTRUCTION. SUCH STANDPIPE(S) SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40' IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. SUCH STANDPIPE(S) SHALL BE PROVIDED WITH FIRE DEPARTMENT HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO USABLE STAIRS, AND THE STANDPIPE OUTLETS SHALL BE LOCATED ADJACENT TO SUCH USABLE STAIRS. SUCH STANDPIPE SYSTEMS SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING. IN EACH FLOOR, THERE SHALL BE PROVIDED A 2.5" VALVE OUTLET FOR FIRE DEPARTMENT USE. (CALIFORNIA FIRE CODE, CHAPTER 33.)

ON-SITE WHARF HYDRANTS: PROVIDE GROUND-LEVEL WET STANDPIPES (WHARF HYDRANTS). ON-SITE WHARF HYDRANTS SHALL BE SO LOCATED AS TO REACH ANY PORTION OF COMBUSTIBLE CONSTRUCTION WITH 150' OF HOSE. INSTALLATION SHALL BE COMPLETE AND THE SYSTEM SHALL BE TESTED PRIOR TO COMBUSTIBLE CONSTRUCTION BEYOND 150' FROM THE PUBLIC RIGHT-OF-WAY. THE WHARF HYDRANT SHALL BE CAPABLE OF PROVIDING A COMBINATION FLOW OF 500 GPM WITH TWO 2.5" OUTLETS FLOWING. THREE (3) COMPLETE SETS OF SHOP-QUALITY DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. (NFPA 24 (2013 EDITION) AND MOUNTAIN VIEW FIRE DEPARTMENT REQUIREMENTS.)

FIRE EXTINGUISHERS: INSTALL ONE 2-A:10-B:C FIRE EXTINGUISHER FOR EVERY 50'/75' OF TRAVEL OR EVERY 3,000 SQUARE FEET. FIRE EXTINGUISHER LOCATIONS SHALL BE INDICATED ON THE ARCHITECTURAL FLOOR PLANS. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, CHAPTER 3 AND CALIFORNIA FIRE CODE, SECTION 906.)

FIRE EXTINGUISHERS: INSTALL CLASS K FIRE EXTINGUISHERS IN THE COMMERCIAL COOKING EQUIPMENT AREAS. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, CHAPTER 3, AND CALIFORNIA FIRE CODE, SECTION 904.11.5.)

FIRE EXTINGUISHING SYSTEMS: SUBMIT THREE (3) SETS OF SHOP-QUALITY DRAWINGS FOR THE COOKING APPLIANCE FIRE EXTINGUISHING SYSTEM(S). CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR A COPY OF SPECIFICATIONS AND SUBMITTAL REQUIREMENTS. (CALIFORNIA FIRE CODE, SECTION 904.2.1.)

AUTOMATIC/MANUAL FIRE ALARM SYSTEM: PROVIDE AN APPROVED AUTOMATIC/MANUAL FIRE ALARM SYSTEM IN ACCORDANCE WITH CALIFORNIA FIRE CODE AND MOUNTAIN VIEW FIRE DEPARTMENT SPECIFICATIONS. THREE (3) COMPLETE SETS OF FIRE ALARM SYSTEM SHOP-QUALITY DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. PRIOR TO OCCUPANCY, THE SYSTEM SHALL BE FIELD-TESTED, APPROVED, AND IN SERVICE. PROVISIONS SHALL BE MADE FOR MONTHLY TESTING, MAINTENANCE, AND SERVICE. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR A COPY OF SPECIFICATIONS AND SUBMITTAL REQUIREMENTS. (CALIFORNIA FIRE CODE, SECTION 907 AND MOUNTAIN VIEW CITY CODE, SECTION 14.10.33.)

SMOKE ALARMS: ALL RESIDENTIAL OCCUPANCIES SHALL BE PROVIDED WITH CALIFORNIA STATE FIRE MARSHALLISTED SMOKE ALARMS. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND THE APPROVED MANUFACTURER'S INSTRUCTIONS. (CALIFORNIA FIRE CODE, SECTION 907.)

LOCKBOX: INSTALL AN APPROVED KEY LOCKBOX PER THE FIRE PROTECTION ENGINEER'S DIRECTIONS. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR INSTRUCTIONS. (CALIFORNIA FIRE CODE, SECTION 506.)

KEYSWITCH: INSTALL AN APPROVED KEY SWITCH PER THE FIRE PROTECTION ENGINEER'S DIRECTIONS. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR INSTRUCTIONS. (CALIFORNIA FIRE CODE, SECTION 506.)
REQUIRED IF THERE IS A GATE FOR UNDERGROUND PARKING GARAGE.

STRETCHER REQUIREMENTS: IN ALL STRUCTURES FOUR (4) OR MORE STORIES IN HEIGHT, AT LEAST ONE ELEVATOR SHALL BE PROVIDED WITH A MINIMUM CLEAR DISTANCE BETWEEN WALLS OR BETWEEN WALLS AND DOOR, EXCLUDING RETURN PANELS, OF NOT LESS THAN 80"X54", AND A MINIMUM DISTANCE FROM WALL TO RETURN PANEL OF NOT LESS THAN 51" WITH A 42" SIDE SLIDE DOOR, UNLESS OTHERWISE DESIGNED TO ACCOMMODATE AN AMBULANCE-TYPE STRETCHER 84"X24" IN THE HORIZONTAL POSITION. (CALIFORNIA BUILDING CODE, SECTION 3002.)

EXIT ILLUMINATION: EXIT PATHS SHALL BE ILLUMINATED ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT HAVING AN INTENSITY OF NOT LESS THAN ONE FOOTCANDLE AT FLOOR LEVEL. POWER SHALL NORMALLY BE BY THE PREMISES WIRING WITH BATTERY BACKUP. EXIT ILLUMINATION SHALL BE INDICATED ON THE ELECTRICAL PLANS. (CALIFORNIA BUILDING CODE, SECTION 1006.)

EXIT SIGNS: EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AND PROVIDED WITH BATTERY BACKUP PER UNIFORM BUILDING CODE CHAPTER 10. EXIT SIGNS SHALL BE POSTED ABOVE EACH REQUIRED EXIT DOORWAY AND WHEREVER OTHERWISE REQUIRED TO CLEARLY INDICATE THE DIRECTION OF EGRESS. (CALIFORNIA BUILDING CODE, SECTION 1011.)

FLOOR-LEVEL EXIT SIGNS: FLOOR-LEVEL EXIT SIGNS SHALL BE PROVIDED IN ALL INTERIOR EXIT CORRIDORS OF GROUP A, E, I, AND GROUP R2.1 OCCUPANCIES AND IN ALL INTERIOR RATED EXIT CORRIDORS SERVING GUEST ROOMS OF HOTELS IN R1 OCCUPANCIES. (CALIFORNIA BUILDING CODE, SECTION 1011.)

EXIT DOORS IN GROUPS A, E, H, AND I OCCUPANCIES: EXIT DOORS SHALL BE PROVIDED WITH APPROVED PANIC HARDWARE. (CALIFORNIA BUILDING CODE, SECTION 1008.1.10.)

GROUP A OCCUPANCIES: BUILDINGS OR PORTIONS OF BUILDINGS USED FOR ASSEMBLY PURPOSES SHALL CONFORM TO ALL REQUIREMENTS OF TITLE 19 AND THE UNIFORM BUILDING CODE. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO: (1) TWO EXITS; (2) FIRE-RETARDANT DRAPES, HANGINGS, CHRISTMAS TREES, OR OTHER SIMILAR DECORATIVE MATERIAL; AND (3) POSTING OF A MAXIMUM OCCUPANT LOAD SIGN. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTIONS 3.08, 3.21, AND 3.30.)

GROUP A, E, I, AND R-1 OCCUPANCIES: DECORATIVE MATERIALS: ALL DRAPES, HANGINGS, CURTAINS, DROPS, AND ALL OTHER DECORATIVE MATERIAL, INCLUDING CHRISTMAS TREES, SHALL BE MADE FROM A NONCOMBUSTIBLE OR FIRERESISTIVE MATERIAL OR MAINTAINED IN A FLAME-RETARDANT CONDITION BY MEANS OF AN APPROVED FLAME-RETARDANT SOLUTION OR PROCESS APPROVED BY THE CALIFORNIA STATE FIRE MARSHAL. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTIONS 3.08 AND 3.21.)

INTERIOR WALL AND CEILING FINISH: INTERIOR FINISHES SHALL HAVE A FLAME-SPREAD RATING IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, CHAPTER 8, AND CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTION 3.21.

UPHOLSTERED SEATING FURNITURE: ALL UPHOLSTERED SEATING FURNITURE INTENDED FOR USE IN NURSING HOMES, BOARD AND CARE FACILITIES, CONVALESCENT HOMES, CHILD DAY-CARE CENTERS, PUBLIC AUDITORIUMS, AND STADIUMS AND PUBLIC ASSEMBLY AREAS IN HOTELS, MOTELS, AND LODGING HOUSES SHALL CONFORM TO STATE OF CALIFORNIA DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHINGS, TECHNICAL BULLETIN 133. (CALIFORNIA BUSINESS AND PROFESSIONS CODE.)

ON-SITE DRAWINGS: SUBMIT TWO (2) 8.5"X11" PLOT PLAN DRAWINGS ACCORDING TO FIRE DEPARTMENT SPECIFICATIONS PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.

EMERGENCY PROCEDURE MAPS: IN HOTELS, MOTELS, AND LODGING HOUSES, EVERY GUEST ROOM AVAILABLE FOR RENTAL SHALL HAVE CLEARLY VISIBLE EMERGENCY PROCEDURES INFORMATION PRINTED ON A FLOOR PLAN REPRESENTATIVE OF THE FLOOR LEVEL AND POSTED ON THE INTERIOR OF EACH ENTRANCE DOOR OR IMMEDIATELY ADJACENT TO SUCH DOOR. THE BOTTOM OF THE INFORMATION SHALL NOT BE LOCATED MORE THAN 4' ABOVE THE FLOOR LEVEL. EMERGENCY PROCEDURES INFORMATION SHALL BE PRINTED WITH A MINIMUM OF 3/16" HIGH NONDECORATIVE LETTERING PROVIDING A SHARP CONTRAST TO THE BACKGROUND. EMERGENCY PROCEDURES INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: (1) LOCATION OF EXITS AND FIRE ALARM INITIATING STATIONS, IF REQUIRED; (2) WHAT THE FIRE ALARM, IF REQUIRED, SOUNDS AND LOOKS LIKE (AUDIBLE AND VISUAL WARNING DEVICES); (3) FIRE DEPARTMENT EMERGENCY TELEPHONE NUMBER, 911; AND (4) THE PROHIBITION OF ELEVATOR USE DURING EMERGENCIES, IF ANY. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTION 3.09.)

STAIRWAY IDENTIFICATION SIGNS: IN BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT, APPROVED STAIRWAY IDENTIFICATION SIGNS SHALL BE LOCATED AT EACH FLOOR LEVEL IN ALL ENCLOSED STAIRWAYS. THE SIGN SHALL IDENTIFY THE STAIRWAY AND INDICATE WHETHER THERE IS ROOF ACCESS, THE FLOOR LEVEL, AND THE UPPER AND LOWER TERMINUS OF THE STAIRWAY. THE SIGN SHALL BE LOCATED 5' ABOVE THE FLOOR LANDING IN A POSITION WHICH IS READILY VISIBLE WHEN THE DOOR IS IN THE OPEN OR CLOSED POSITION. (CALIFORNIA BUILDING CODE, SECTION 1022.9.)

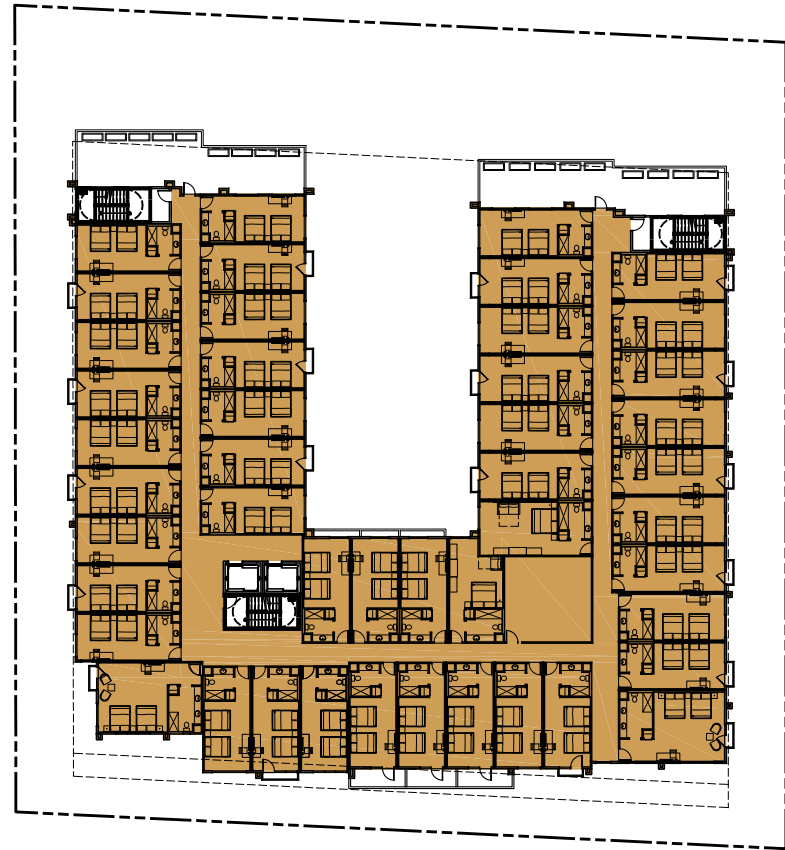
PREMISES IDENTIFICATION: APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS SIGNS SHALL BE A MINIMUM OF 6" IN HEIGHT. (MOUNTAIN VIEW CITY CODE, SECTION 14.10.20.)

EMERGENCY ESCAPE OPENING ACCESS: PROVIDE CLEAR SPACE AND LADDER PADS AT GROUND LEVEL FOR EMERGENCY ESCAPE OPENING ACCESS IN R AND I-1 OCCUPANCIES. LADDER PADS SHALL BE ACCESSIBLE BY FIRE CREWS WITH A THREE-SECTION, 12' LONG LADDER. AWNINGS AND WINDOW SHADES SHALL BE DESIGNED TO NOT INTERFERE WITH LADDER ACCESS. (CALIFORNIA BUILDING CODE, SECTION 1029.)

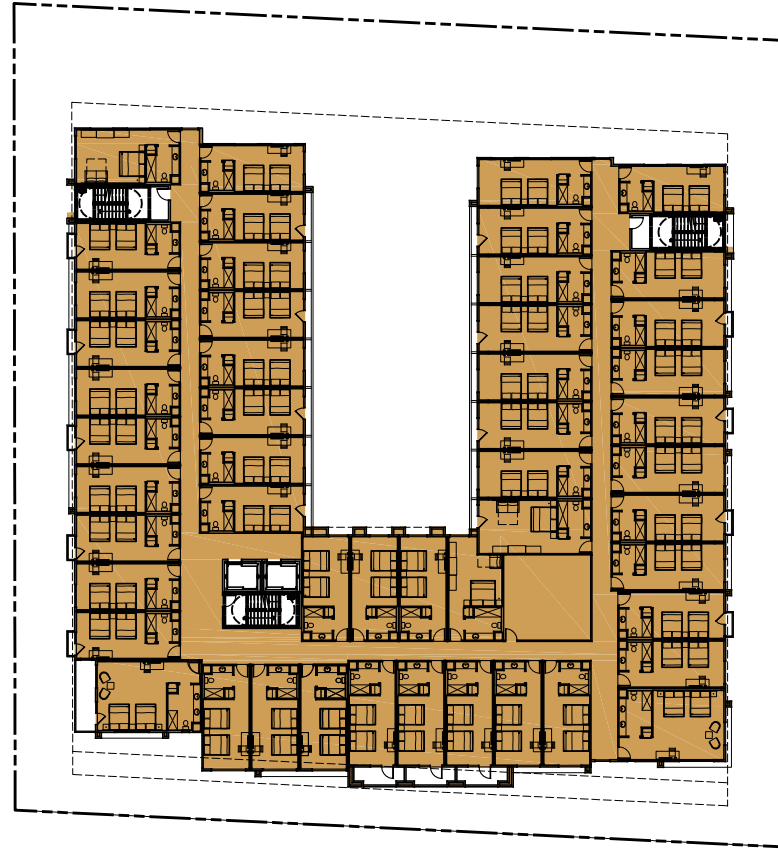
EMERGENCY RESPONDER RADIO COVERAGE: ALL BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING. (CALIFORNIA FIRE CODE, SECTION 510.)

	P r o p o s e d H o t e l	PROJECT DATA
		March 29, 2017 A0.2
2300 West El Camino Real Mountain View, California		

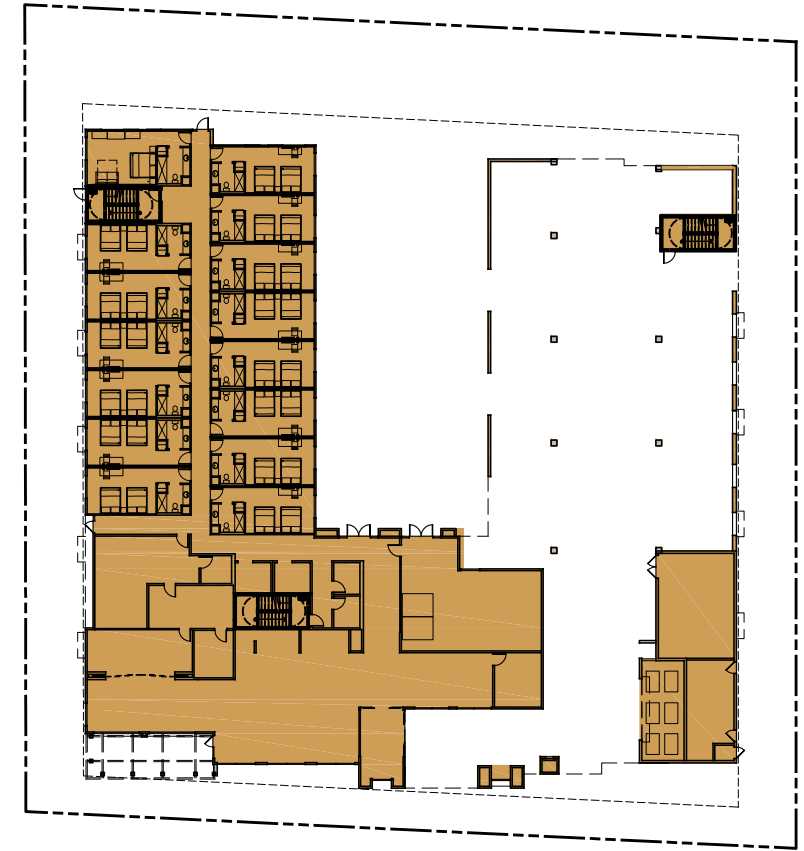
AREA DIAGRAM



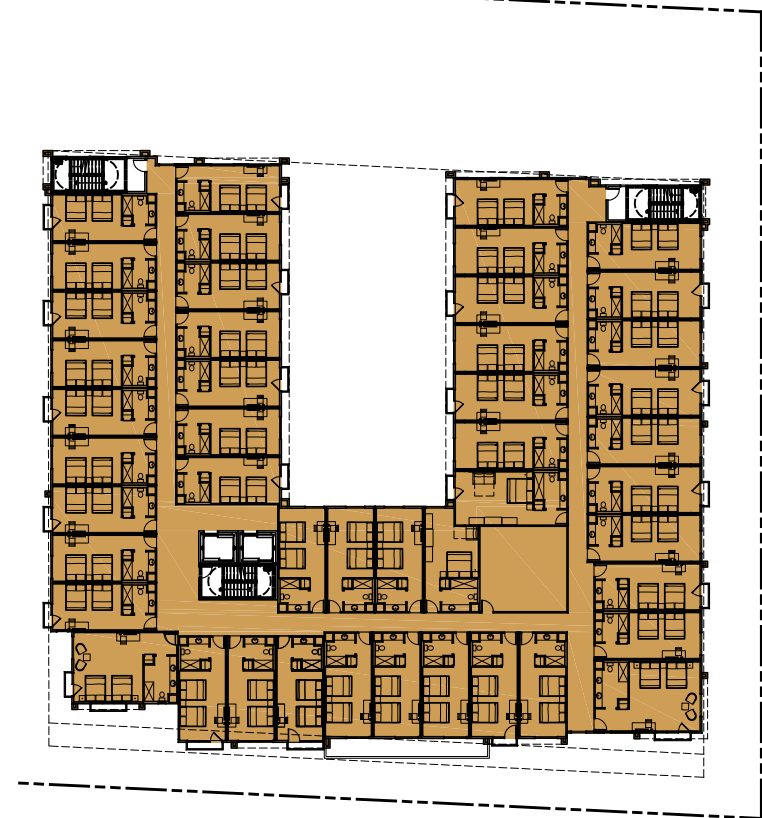
THIRD FLOOR AREA DIAGRAM



SECOND FLOOR AREA DIAGRAM



FIRST FLOOR AREA DIAGRAM



FOURTH FLOOR AREA DIAGRAM

BUILDING AREA	
FIRST FLOOR	13,234
SECOND FLOOR	21,162
THIRD FLOOR	20,714
FOURTH FLOOR	20,714
TOTAL BUILDING AREA	75,824
TOTAL LOT AREA	42,138
PROPOSED FAR	1.80

AREA INFORMATION

AREA COLOR LEGEND

 BUILDING AREA
STAIRS & ELEVATORS INCLUDED ON FIRST FLOOR

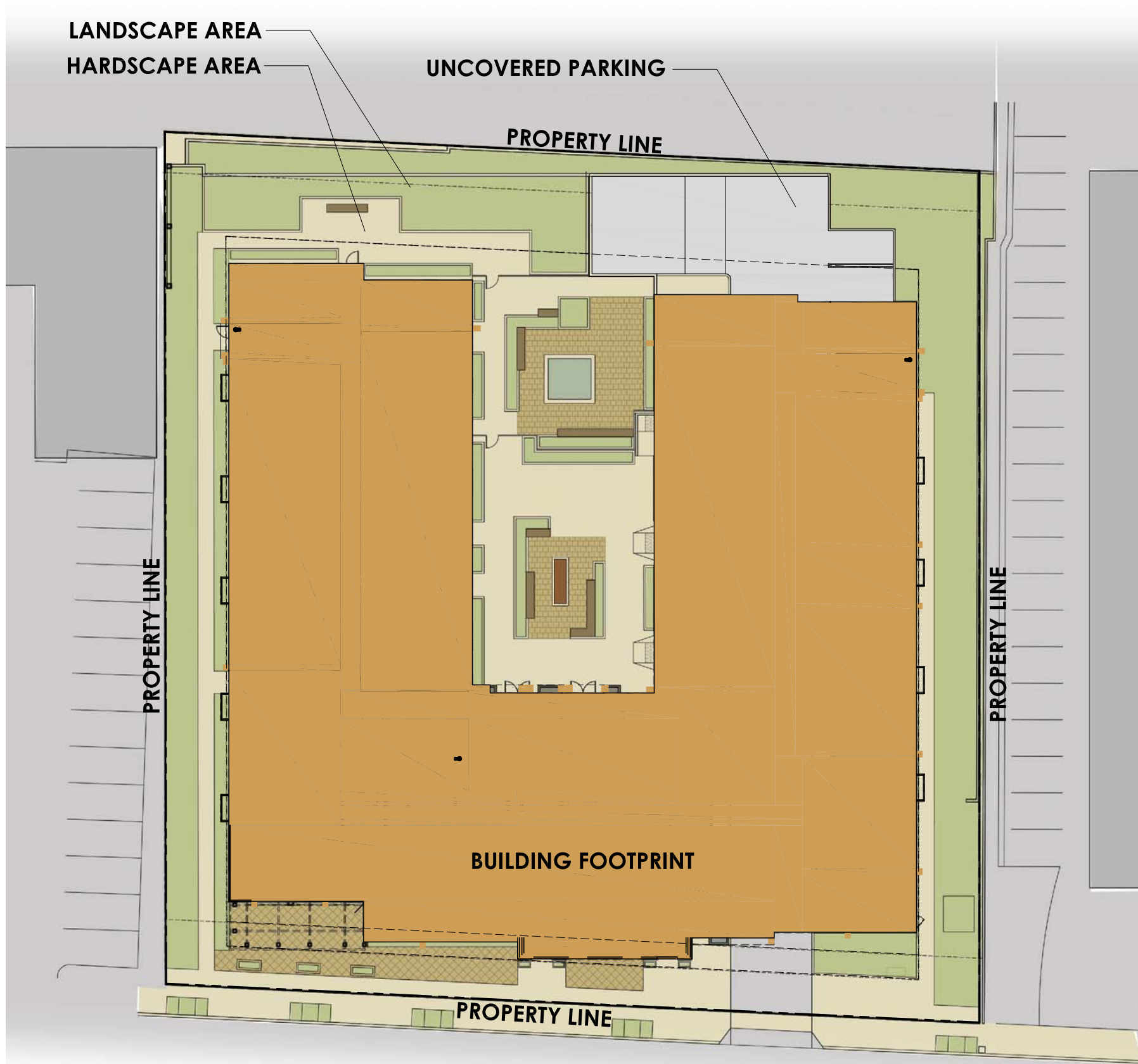


Proposed
Hotel
2300 West El Camino Real
Mountain View, California

PROJECT DATA

March 29, 2017

A0.3



TOTAL SITE AREA:	42,138 SF
BUILDING FOOTPRINT:	22,692 SF
22,692 SF / 42,138 SF:	54%
UNCOVERED LOT AREA:	19,446 SF
42,138 SF - 22,692 SF:	
LANDSCAPE AREA:	6,537 SF
6,537 SF / 19,446 SF:	34%
HARDSCAPE AREA:	12,909 SF
12,909 SF / 19,446 SF:	66%
TOTAL PARKING AREA:	8,661 SF
PARKING COVERED:	6,781 SF
PARKING UNCOVERED:	1,880 SF

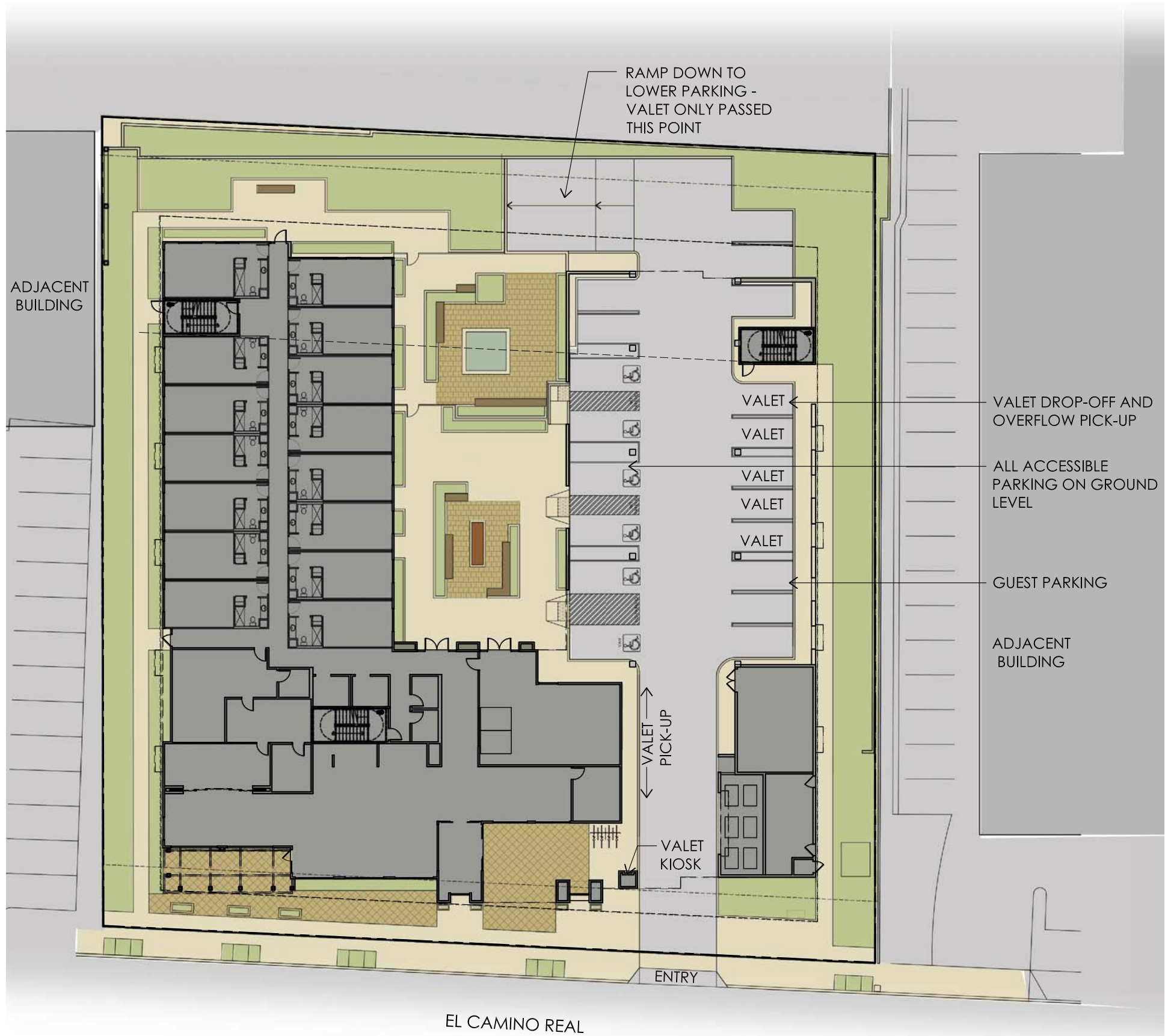
PAVING AREA INFORMATION

SITE PAVING AREA DIAGRAM



Proposed
Hotel
2300 West El Camino Real
Mountain View, California

PROJECT DATA
March 29, 2017
A0.4



SITE VALET DIAGRAM

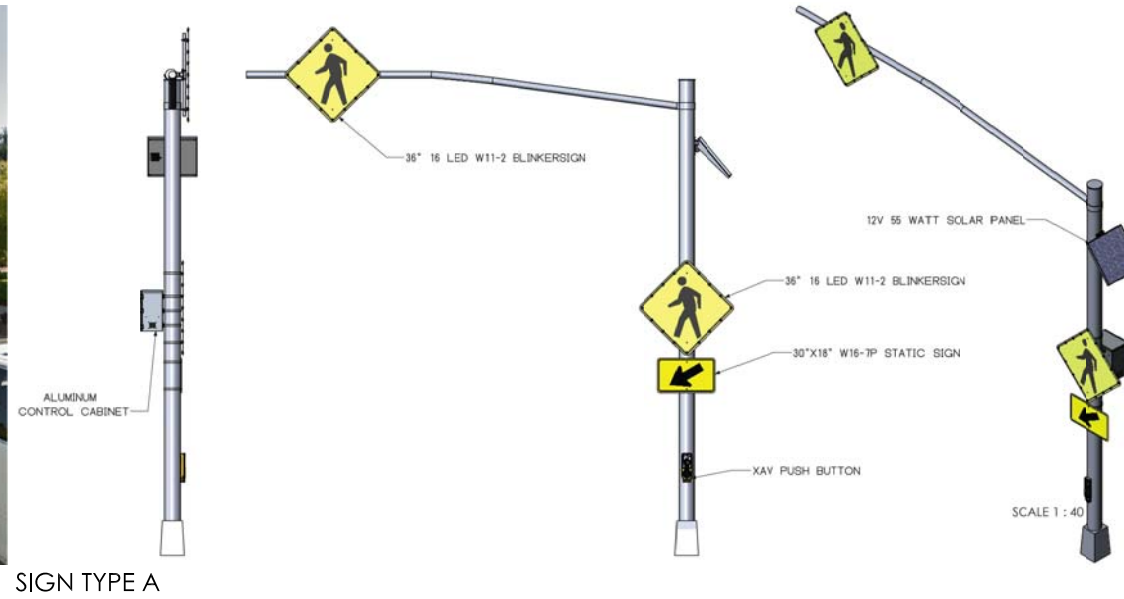


Proposed
 Hotel
 2300 West El Camino Real
 Mountain View, California

**SITE VALET
 DIAGRAM**
 March 29, 2017
A0.5



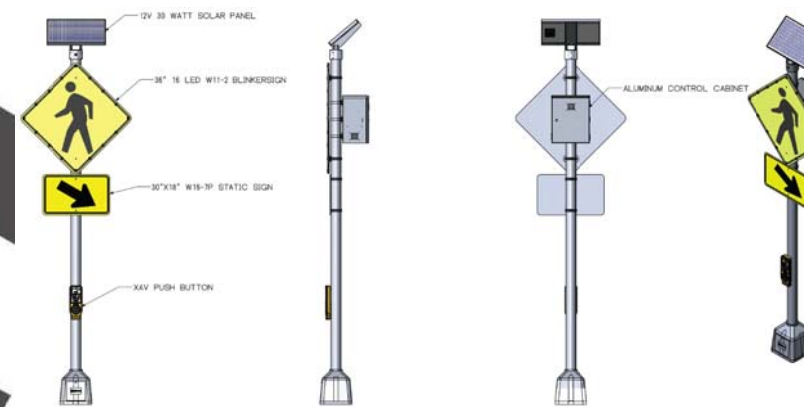
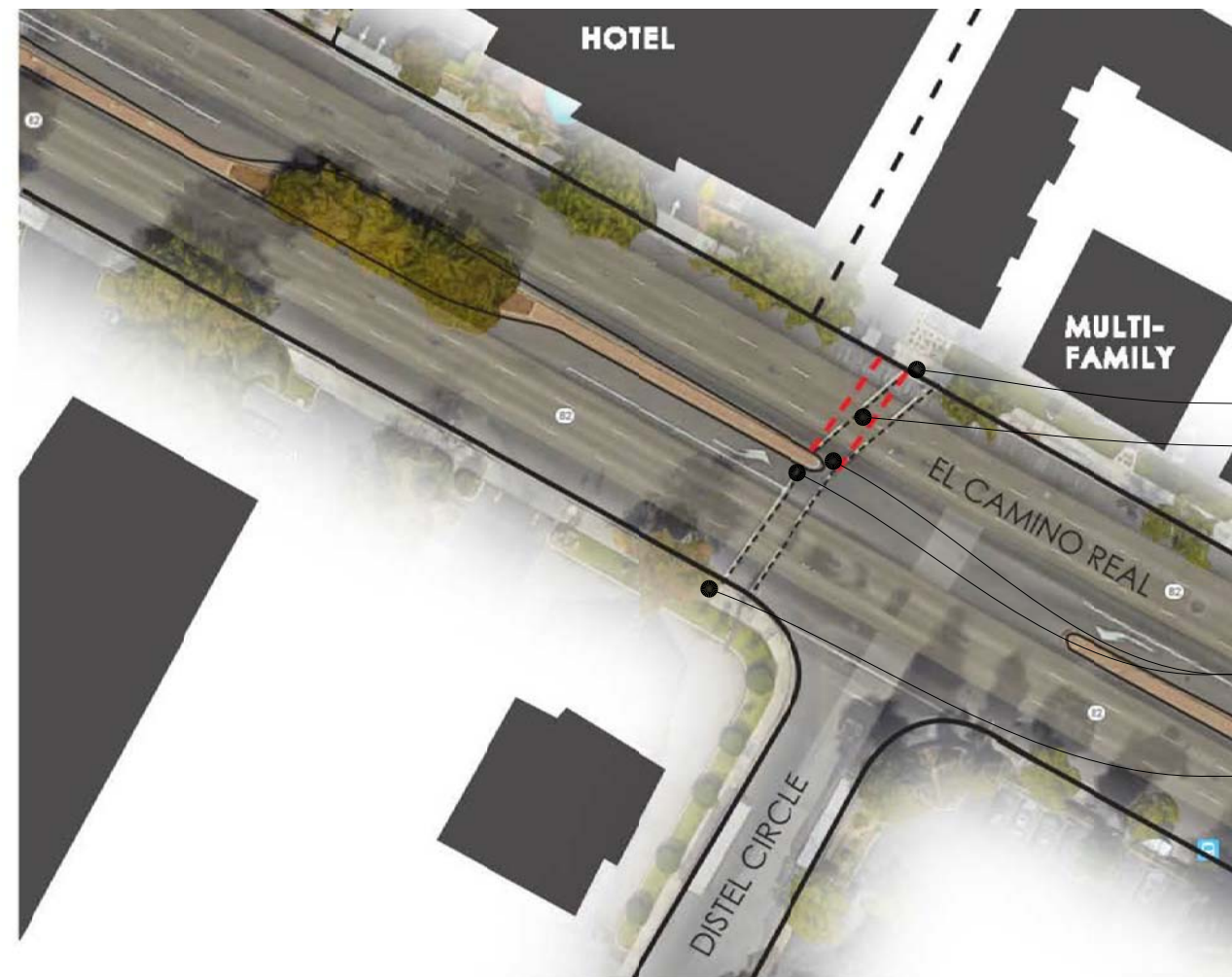
NORTH SHORELINE BLVD EXAMPLE



SIGN TYPE A

PUBLIC BENEFIT CALCULATION		
	PROPOSED	TOTAL PER FLOOR
FIRST FLOOR		
GROUND FLOOR NON-COMMERCIAL	13,234	
COVERED PARKING	8,037	21,271
SECOND FLOOR		21,162
THIRD FLOOR		20,714
FOURTH FLOOR		20,714
TOTAL PER BUILDING		83,861

PUBLIC BENEFIT FAR BREAKDOWN	
FIRST FLOOR (INCL. COVERED PARKING)	21,271
SECOND FLOOR	21,162
THIRD FLOOR	20,714
FOURTH FLOOR	20,714
TOTAL BUILDING AREA	83,861
1.35 FAR	56,886
AREA ABOVE 1.35 FAR	26,975



SIGN TYPE B

SIGN TYPE A
DEDICATED PERPENDICULAR CROSSWALK CONNECTING DISTEL CIRCLE ACROSS EL CAMINO REAL

SIGN TYPE B

SIGN TYPE A

- EXISTING CROSSWALK
- - - - - PROPOSED CROSSWALK
- - - - - EXISTING PROPERTY BOUNDARY

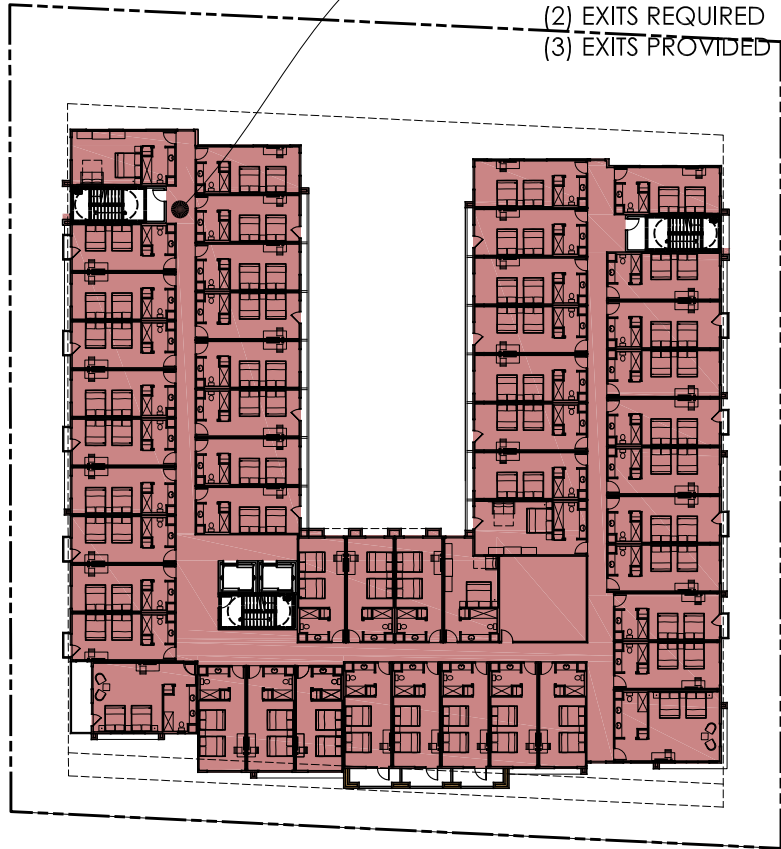
26,975 SF (AREA ABOVE 1.35 FAR) X \$21.09/ FT = \$568,903
 CONSTRUCTION COST = \$328,500
 REQUIRED PUBLIC BENEFIT PAYMENT: \$568,903 - \$328,500 = \$240,403
 THE REQUIRED PUBLIC BENEFIT PAYMENT SHALL BE GIVEN TO THE AFFORDABLE HOUSING FUND.

THE PROJECT PROPOSES TO INSTALL A SOLAR-POWERED, PEDESTRIAN-ACTIVATED CROSSWALK SYSTEM ON EL CAMINO REAL AT DISTEL CIRCLE. THE SYSTEM WILL INCLUDE PEDESTRIAN PUSH BUTTONS THAT WILL WIRELESSLY ACTIVATE LED-ENHANCED PEDESTRIAN SIGNAGE. THE SIGNS WILL FLASH WHEN A PEDESTRIAN PUSHES THE BUTTON AND WILL CONTINUE TO FLASH FOR THE EL CAMINO REAL AMOUNT OF TIME IT TAKES THE PEDESTRIAN TO CROSS THE ENTIRE STREET. THERE WILL BE PUSH BUTTONS IN THE MEDIAN TO ACTIVATE THE SYSTEM FOR THOSE PEDESTRIANS NEEDING ADDITIONAL TIME TO CROSS. EACH DIRECTION OF TRAVEL ALONG EL CAMINO REAL WILL HAVE A FLASHING SIGN ON THE RIGHT AND LEFT HAND SIDES OF THE ROAD IN ADDITION TO A FLASHING SIGN ON A MAST ARM POLE ABOVE THEM. A REFUGE ISLAND WILL BE INSTALLED PER CALTRANS STANDARDS. THE MEDIAN WILL BE WIDENED IN THE IMMEDIATE VICINITY TO PROVIDE FOR A 6' WIDE REFUGE AREA. RESTIPING OF LANES ON EL CAMINO REAL WHERE APPROPRIATE.

NOTE:
SEE SEPARATE PUBLIC BENEFIT MEMO FOR ADDITIONAL INFORMATION

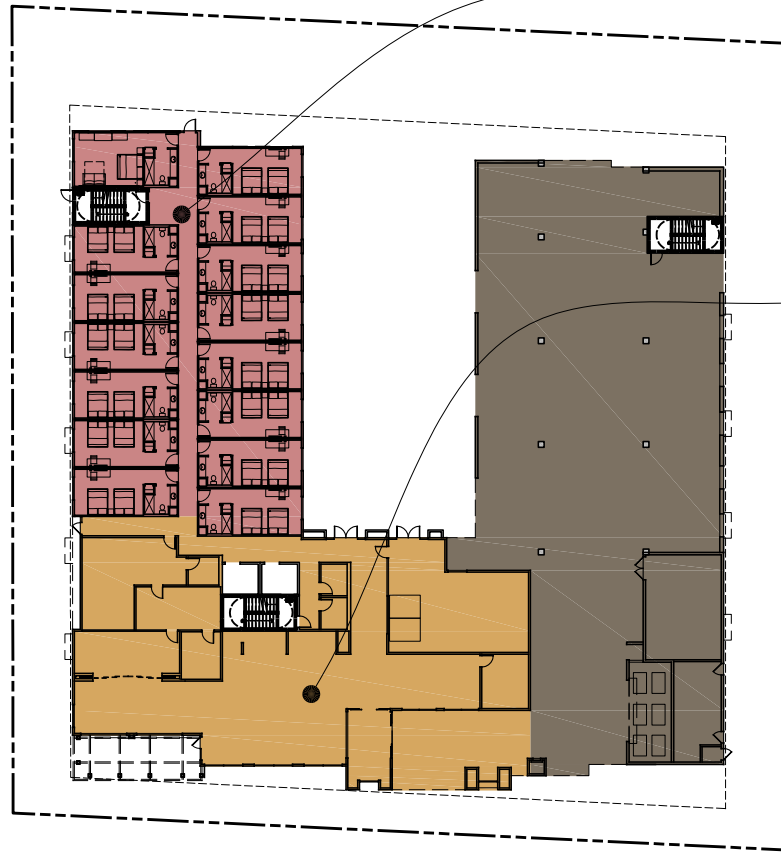
	Proposed Hotel	PUBLIC BENEFIT PROPOSAL March 29, 2017 A0.6
	2300 West El Camino Real Mountain View, California	

OCCUPANCY CALCULATION
 (RESIDENTIAL 1/200 GROSS)
 $22,381 / 200 = 112$ OCCUPANTS
 (2) EXITS REQUIRED
 (3) EXITS PROVIDED



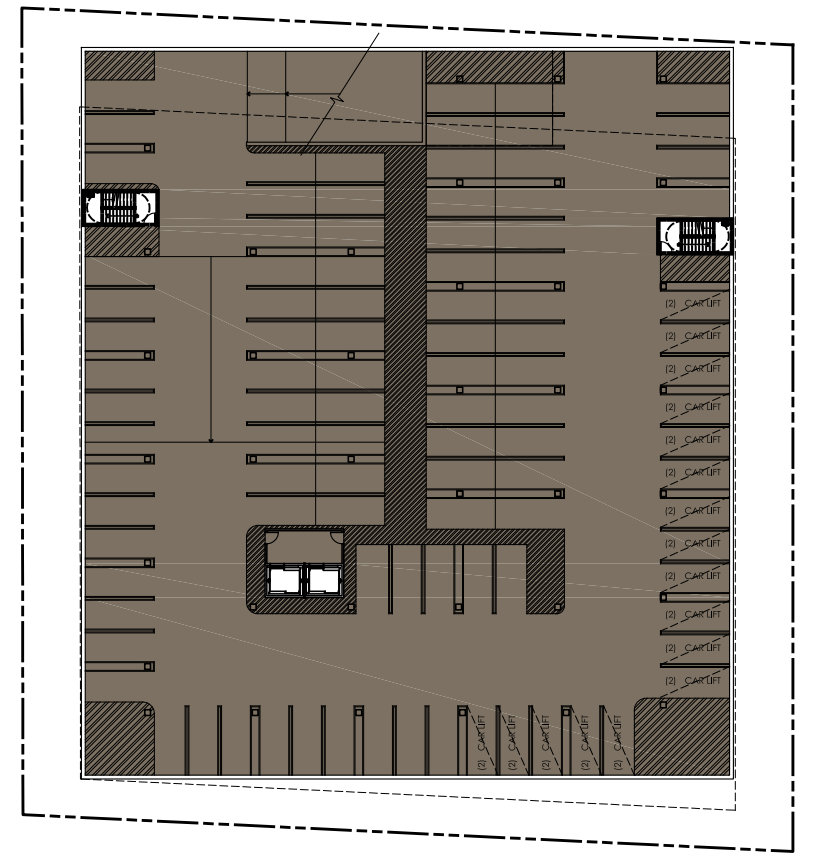
SECOND FLOOR OCCUPANCY DIAGRAM (TYPE VA)

OCCUPANCY CALCULATION
 (RESIDENTIAL 1/200 GROSS)
 $5,866 / 200 = 30$ OCCUPANTS
 (2) EXITS REQUIRED
 (3) EXITS PROVIDED



FIRST FLOOR OCCUPANCY DIAGRAM (TYPE 1A)

OCCUPANCY CALCULATION
 (LOUNGE/LOBBY 1/15 GROSS)
 $6,671 / 15 = 445$ OCCUPANTS
 (2) EXITS REQUIRED
 (3) EXITS PROVIDED



BASEMENT OCCUPANCY DIAGRAM (TYPE 1A)

OCCUPANCY CALCULATION
 (RESIDENTIAL 1/200 GROSS)
 $20,714 / 200 = 104$ OCCUPANTS
 (2) EXITS REQUIRED
 (3) EXITS PROVIDED



FOURTH FLOOR OCCUPANCY DIAGRAM (TYPE VA)

OCCUPANCY CALCULATION
 (RESIDENTIAL 1/200 GROSS)
 $20,714 / 200 = 104$ OCCUPANTS
 (2) EXITS REQUIRED
 (3) EXITS PROVIDED



THIRD FLOOR OCCUPANCY DIAGRAM (TYPE VA)

COLOR LEGEND

- A-2 OCCUPANCY
- R-1 OCCUPANCY
- S-2 OCCUPANCY



Proposed
Hotel

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Mountain View, California


**OCCUPANCY
DIAGRAMS**

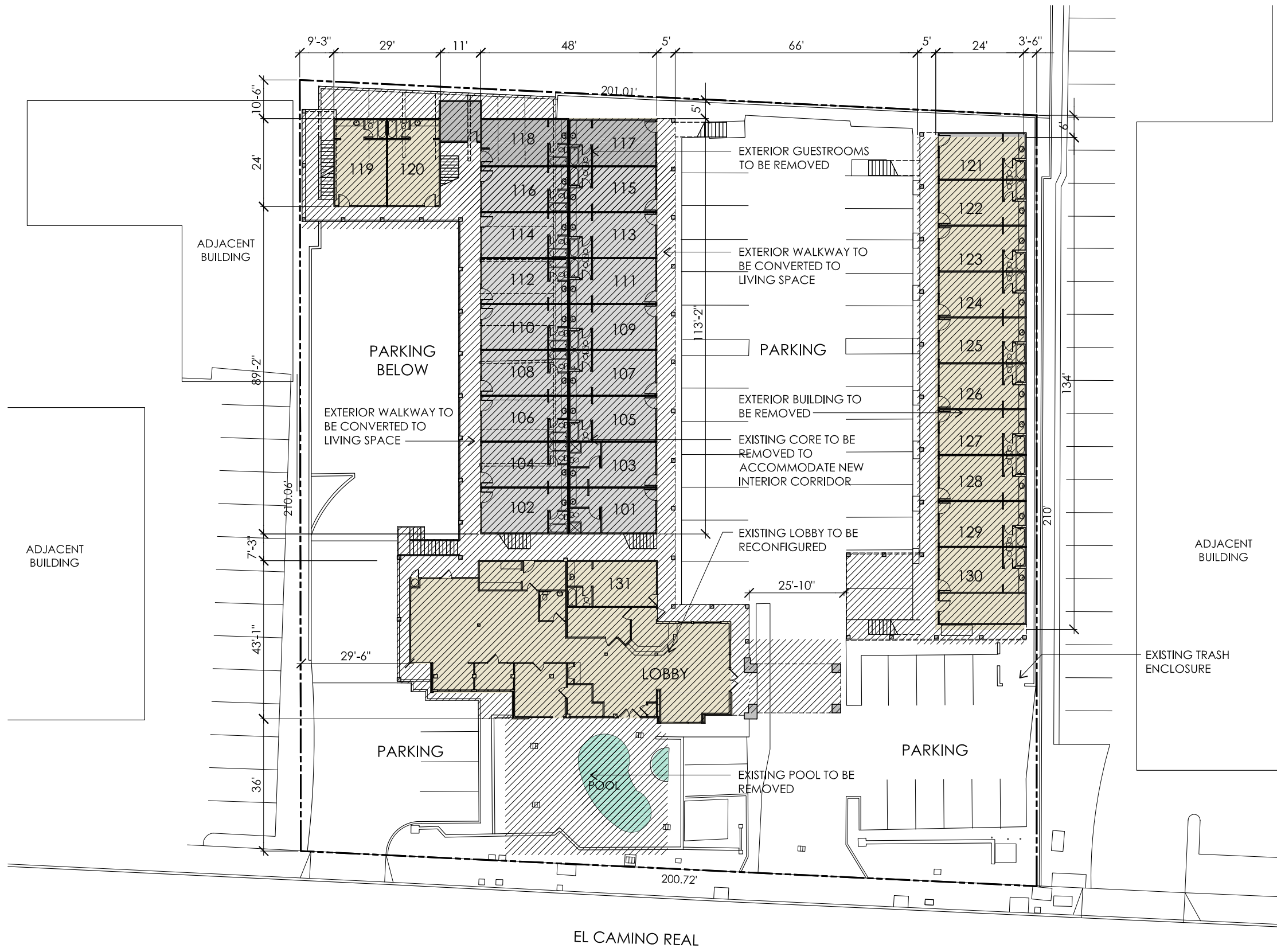
March 29, 2017
A0.7

BUILDING CODE ANALYSIS

OCCUPANCY GROUPS:	
TYPE 1A CONSTRUCTION:	A-2, S-2 & R-1
TYPE VA CONSTRUCTION:	R-1
SEPARATED OCCUPANCIES: NO	
TYPE OF CONSTRUCTION:	TYPE V-A O/ TYPE 1A
FIRE SPRINKLERS:	YES (NFPA-13)
BUILDING HEIGHT ALLOWED:	50 FEET
BUILDING HEIGHT PROPOSED:	50 FEET
NUMBER OF STORIES ALLOWED (TYPE 1A):	UNLIMITED
NUMBER OF STORIES PROPOSED (TYPE 1A):	1 + BASEMENT
NUMBER OF STORIES ALLOWED (TYPE VA):	3
NUMBER OF STORIES PROPOSED (TYPE VA):	3
BUILDING AREA BY STORY:	
BASEMENT (TYPE 1A):	
S-2 OCCUPANCY:	31,000 S.F.
FIRST STORY (TYPE 1A):	
A-2 OCCUPANCY:	6,671 S.F.
S-2 OCCUPANCY:	9,310 S.F.
R-1 OCCUPANCY:	5,866 S.F.
SECOND FLOOR TOTAL:	21,847 S.F.
SECOND STORY (TYPE VA):	
R-1 OCCUPANCY:	22,381 S.F.
THIRD STORY (TYPE VA):	
R-1 OCCUPANCY:	20,714 S.F.
FOURTH STORY (TYPE VA):	
R-1 OCCUPANCY:	20,714 S.F.
TOTAL BUILDING AREA:	116,656 S.F.
BUILDING AREA BY OCCUPANCY & CONSTRUCTION TYPE:	
TYPE 1A CONSTRUCTION	
A-2 OCCUPANCY:	6,671 S.F.
S-2 OCCUPANCY:	40,310 S.F.
R-1 OCCUPANCY:	5,866 S.F.
TOTAL:	52,847 S.F.
TYPE VA CONSTRUCTION	
R-1 OCCUPANCY:	63,809 S.F.
ALLOWABLE BUILDING AREA CALCULATION	
$A_a = A_t + [NS \times If]$	
A _a = ALLOWABLE BUILDING AREA PER STORY	
BASEMENT (TYPE 1A)	
A-2 OCCUPANCY	
TOTAL ALLOWABLE AREA:	UNLIMITED
ACTUAL BUILDING AREA:	6,671 S.F.
S-2 OCCUPANCY	
TOTAL ALLOWABLE AREA:	UNLIMITED
ACTUAL BUILDING AREA:	40,310 S.F.
R-1 OCCUPANCY	
TOTAL ALLOWABLE AREA:	UNLIMITED
ACTUAL BUILDING AREA:	5,866 S.F.

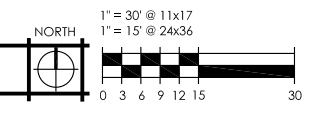
ALLOWABLE AREA - BY STORY (TYPE VA)	
R-1 OCCUPANCY	
A _t = 36,000 S.F.	
If = 0	
A _a = A _t + (NS x If)	
A _a = 36,000 S.F. + (12,000 x 0)	
A _a = 36,000 S.F.	
TOTAL ALLOWABLE BUILDING AREA PER STORY:	36,000 S.F.
SECOND STORY	
TOTAL ALLOWABLE AREA:	36,000 S.F.
ACTUAL BUILDING AREA:	22,381 S.F.
THIRD STORY	
TOTAL ALLOWABLE AREA:	36,000 S.F.
ACTUAL BUILDING AREA:	20,714 S.F.
FOURTH STORY	
TOTAL ALLOWABLE AREA:	36,000 S.F.
ACTUAL BUILDING AREA:	20,714 S.F.
ALLOWABLE AREA - OVERALL BUILDING (TYPE VA)	
R-1 OCCUPANCY	
A _t = 36,000 S.F.	
If = 0	
A _a = A _t + (NS x If) x 2	
A _a = 36,000 S.F. + (12,000 x 0) x 2	
A _a = 72,000 S.F.	
TOTAL ALLOWABLE BUILDING AREA:	72,000 S.F.
ACTUAL BUILDING AREA:	63,809 S.F.

	<p>Proposed Hotel</p> <hr/> <p>2300 West El Camino Real Mountain View, California</p>	<p>BUILDING CODE ANALYSIS</p> <p>March 29, 2017</p> <p>A0.8</p>
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LEGEND	
	AREA OF EXISTING BUILDING TO BE REMOVED - REMOVE ALL EXISTING STRUCTURES

DEMOLITION SITE PLAN / FIRST FLOOR PLAN



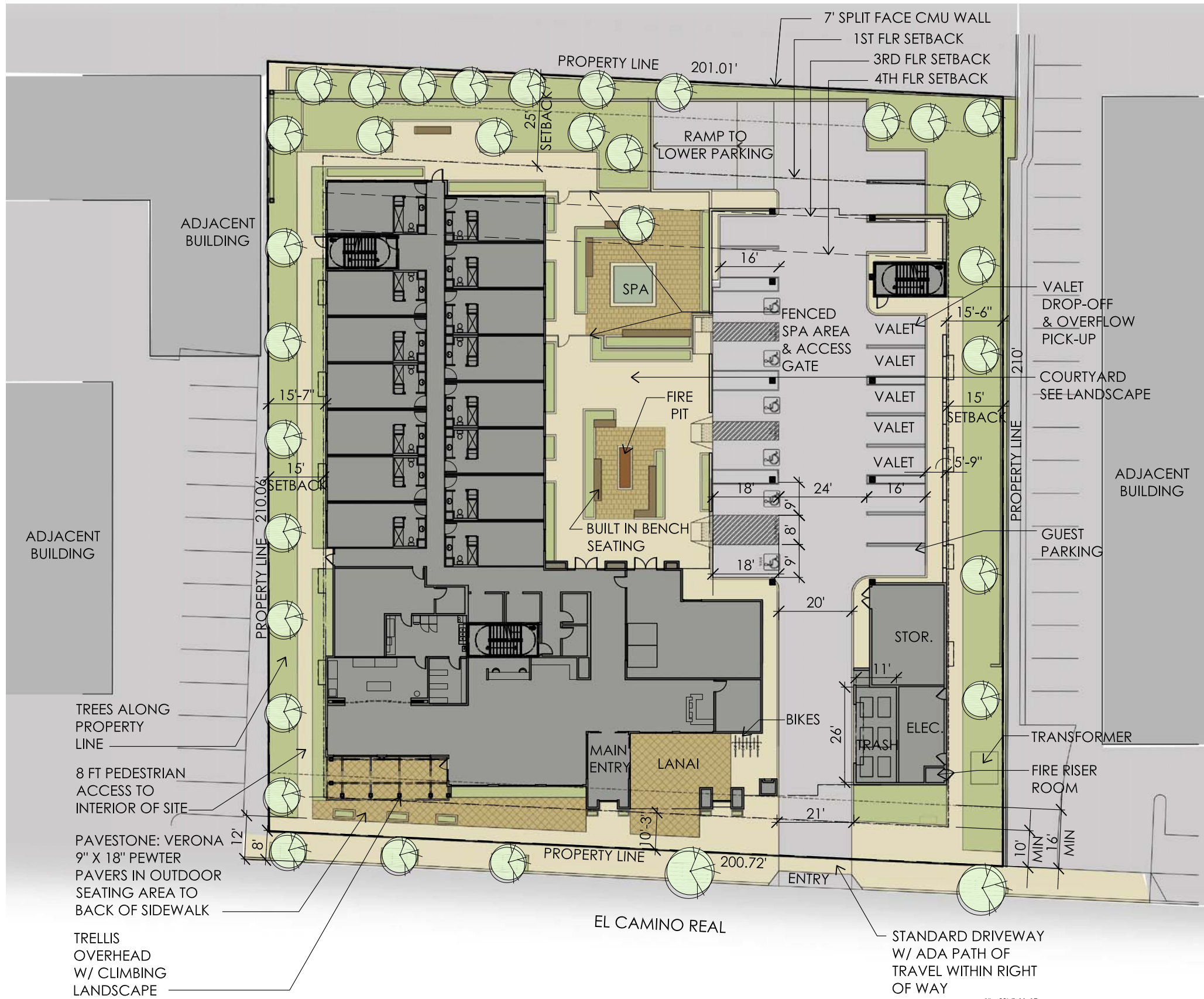
Proposed
Hotel

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Mountain View, California

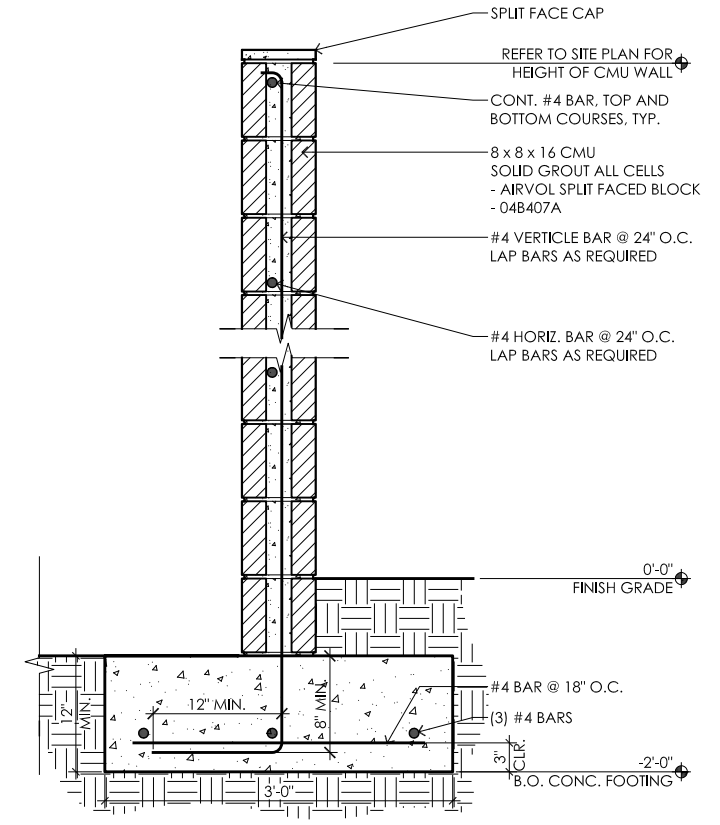
EXISTING PLANS

March 29, 2017

A1.0



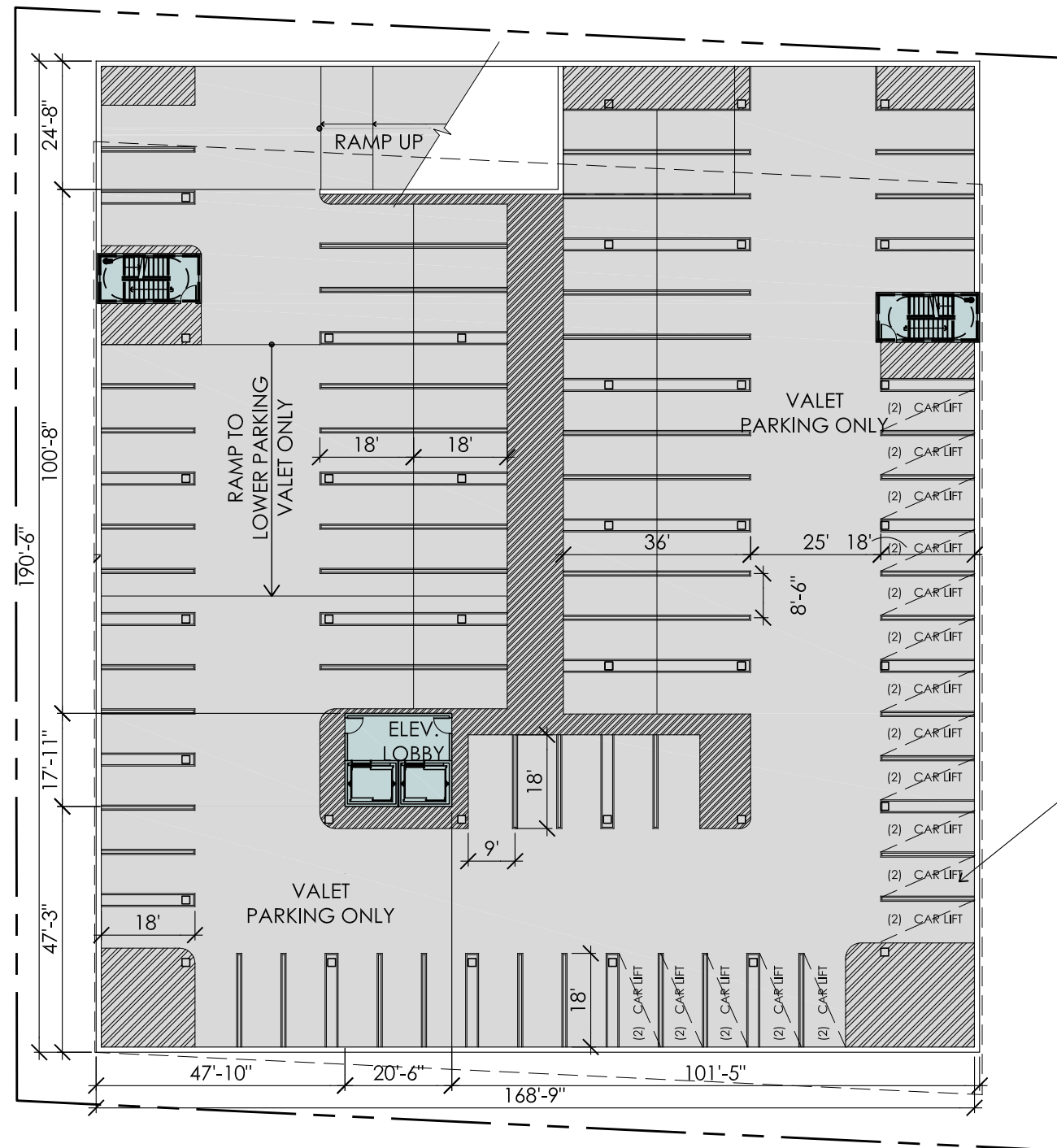
PROPOSED BIKE RACKS



CMU WALL SECTION SCALE: N.T.S.

PROPOSED SITE PLAN

	<p>Proposed Hotel</p>	<p>SITE PLAN</p>
	<p>2300 West El Camino Real Mountain View, California</p>	
	<p>March 29, 2017 A3.0</p>	



PARKING LIFT

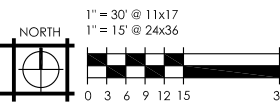
THE PARKING LIFTS WILL NOT BE USED BY GUESTS. THE OVERFLOW PARKING WILL ONLY BE USED BY THE VALET PARKING STAFF. PLEASE SEE SEPARATE VALET PARKING MEMO FOR THE VALET OPERATION, TANDEM PARKING AND THE USE OF THE PARKING LIFTS.

COLOR LEGEND

LOBBY/LOUNGE * COMMERCIAL	SERVICE
BACK OF HOUSE	GUEST ROOMS
REC/AMENITY GYM, SPA DECK * COMMERCIAL	DINING/BAR * COMMERCIAL
CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR	LANDSCAPE
RESTROOMS	HARDSCAPE

* HOTEL USES IN REQUIRED GROUND FLOOR COMMERCIAL AREAS MAY INCLUDE LOBBIES, LOUNGES, FITNESS ROOMS OR OTHER USES COMPATIBLE WITH THE PURPOSES AND INTENT OF THESE AREAS. - OTHER LAND USE REQUIREMENTS - #4 HOTEL ACCESSORY STRUCTURES & USES.

PROPOSED BASEMENT FLOOR PLAN



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FLOOR PLANS
March 29, 2017
A4.0

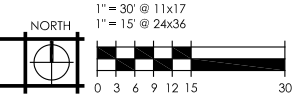


CORTEN STEEL PLANTERS

COLOR LEGEND

	LOBBY/LOUNGE		SERVICE
	BACK OF HOUSE		GUEST ROOMS
	REC/AMENITY GYM, SPA DECK		DINING/BAR
	CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR		LANDSCAPE
	RESTROOMS		HARDSCAPE

PROPOSED FIRST FLOOR PLAN



Proposed
Hotel

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Mountain View, California

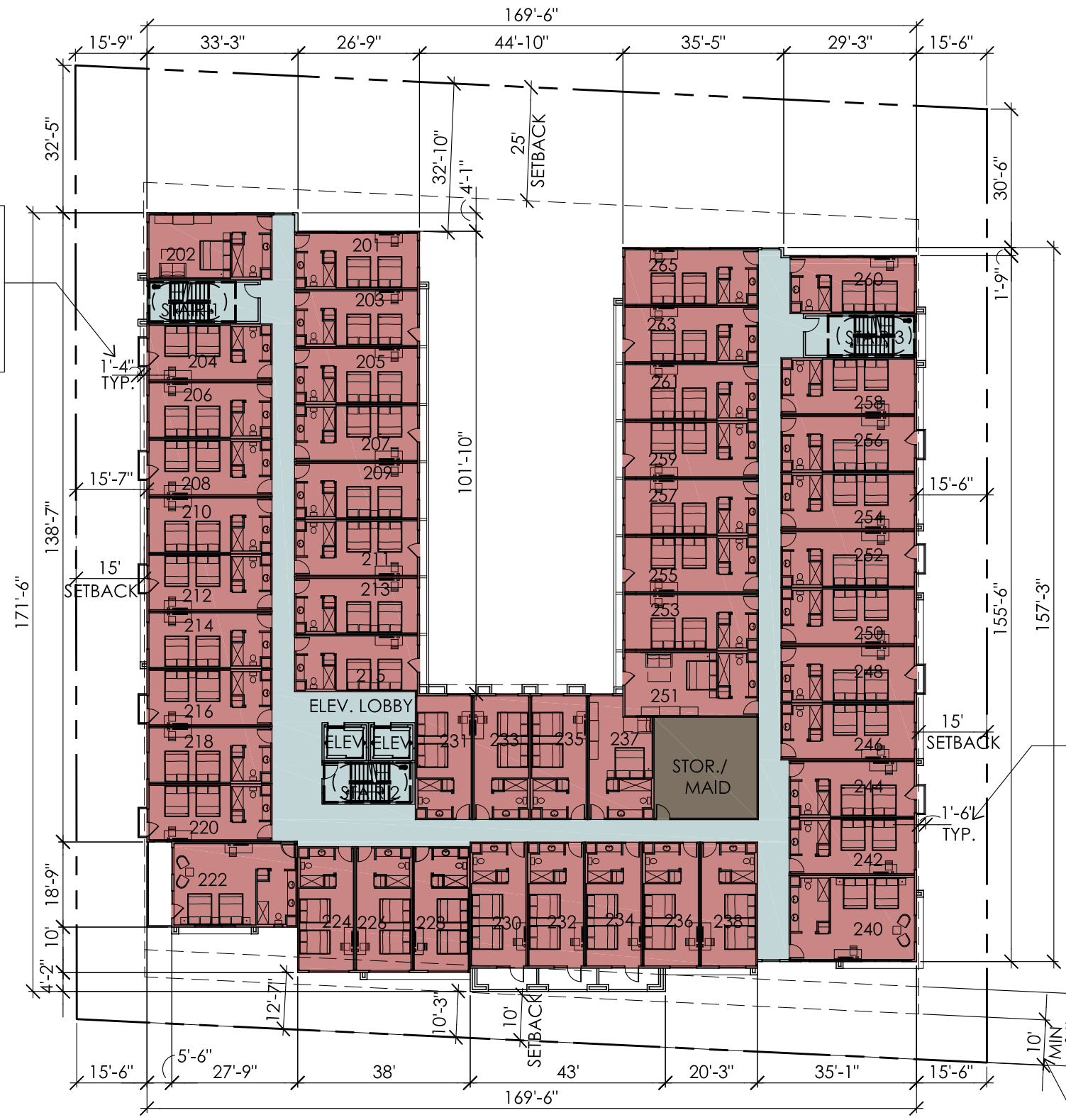
FLOOR PLANS

March 29, 2017
A4.1

NON-COMMERCIAL
SETBACK - PER
TABLE 10 OF ECR
PRECISE PLAN

COMMERCIAL
SETBACK - PER
TABLE 10 OF ECR
PRECISE PLAN

PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS

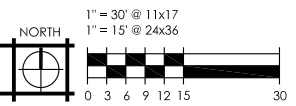


PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS

COLOR LEGEND

	LOBBY/LOUNGE		SERVICE
	BACK OF HOUSE		GUEST ROOMS
	REC/AMENITY GYM, SPA DECK		DINING/BAR
	CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR		LANDSCAPE
	RESTROOMS		HARDSCAPE

PROPOSED SECOND FLOOR PLAN



Proposed
Hotel
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FLOOR PLANS
March 29, 2017
A4.2

PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS



CORTEN PLANTERS



PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS

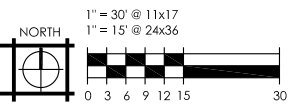
COLOR LEGEND

	LOBBY/LOUNGE		SERVICE
	BACK OF HOUSE		GUEST ROOMS
	REC/AMENITY GYM, SPA DECK		DINING/BAR
	CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR		LANDSCAPE
	RESTROOMS		HARDSCAPE

NON-COMMERCIAL SETBACK - PER TABLE 10 OF ECR PRECISE PLAN

COMMERCIAL SETBACK - PER TABLE 10 OF ECR PRECISE PLAN

PROPOSED THIRD FLOOR PLAN



Proposed
Hotel

2300 West El Camino Real
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FLOOR PLANS

March 29, 2017

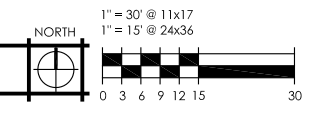
A4.3



COLOR LEGEND

LOBBY/LOUNGE	SERVICE
BACK OF HOUSE	GUEST ROOMS
REC/AMENITY GYM, SPA DECK	DINING/BAR
CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR	LANDSCAPE
RESTROOMS	HARDSCAPE

PROPOSED FOURTH FLOOR PLAN



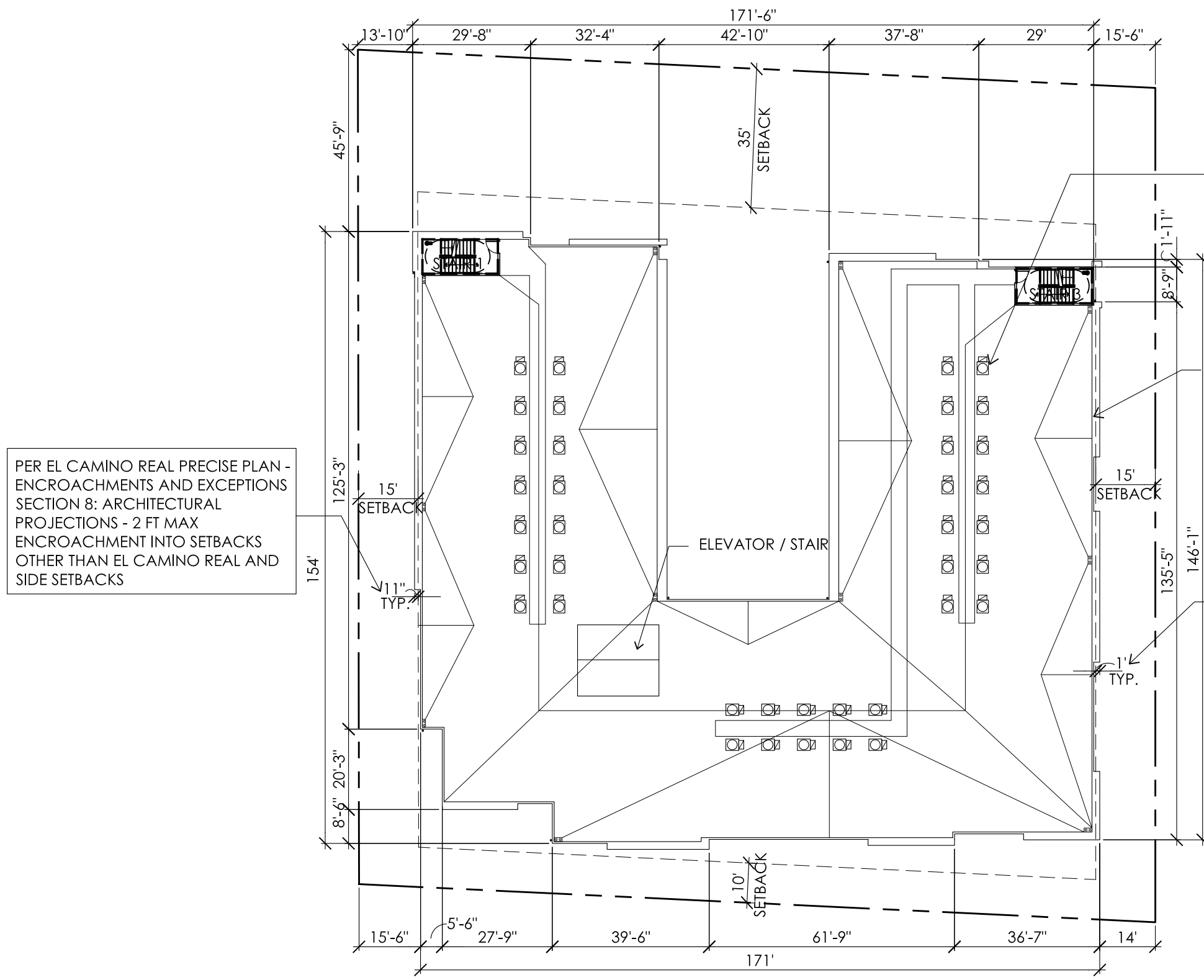
Proposed
Hotel

2300 West El Camino Real
Mountain View, California

FLOOR PLANS

March 29, 2017

A4.4



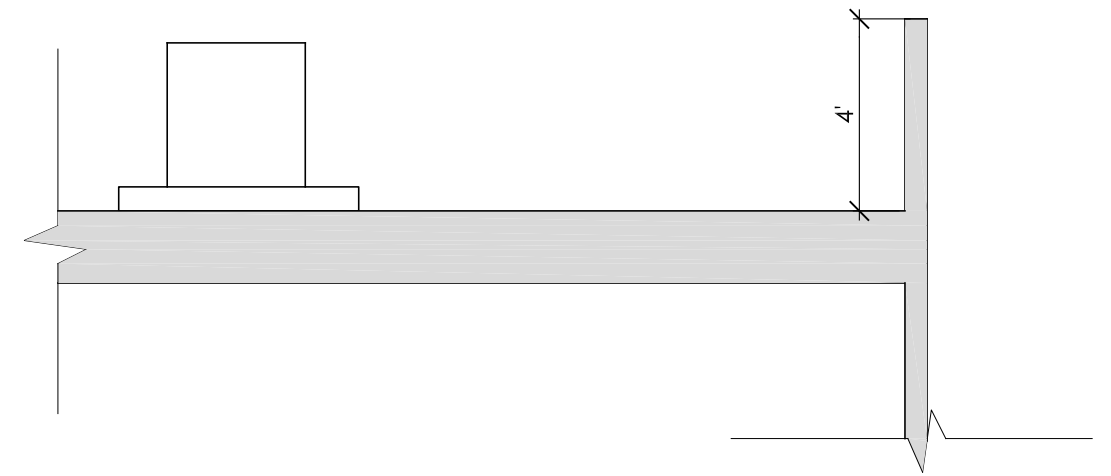
ROOFTOP MECHANICAL UNITS ARE SCREENED BY 4 FT PARAPET

SEE A7.3 FOR LINE OF SIGHT STUDY - VIEW FROM THE CORNER OF EL CAMINO REAL AND DISTEL DR.

NEW APPROXIMATELY 4' TALL PARAPET TO SCREEN EQUIPMENT

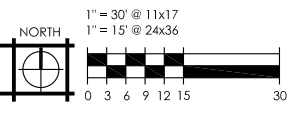
PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS

PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS



MECHANICAL SCREEN

PROPOSED ROOF PLAN



Proposed
Hotel

2300 West El Camino Real
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FLOOR PLANS

March 29, 2017

A4.5



MAIN HOTEL ENTRY

STOREFRONT

TRESPA PANELS

TRESPA PANELS

SMOOTH PLASTER

BLADE SIGN

OUTDOOR SEATING
TO ENGAGE STREET
EDGE

WALL ART TO BE
BACK LIT AT NIGHT

PERSPECTIVE AT EL CAMINO REAL



Proposed
Hotel
2300 West El Camino Real
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PERSPECTIVE
March 29, 2017
A5.0



PERSPECTIVE AT EL CAMINO REAL

	<p>Proposed Hotel</p>	<p>PERSPECTIVE</p>
	<p>2300 West El Camino Real Mountain View, California</p>	<p>March 29, 2017</p>
	<p>A5.1</p>	



PERSPECTIVE AT EL CAMINO REAL - EYE LEVEL

	Proposed Hotel		PERSPECTIVE <small>March 29, 2017</small> A5.2
	2300 West El Camino Real Mountain View, California		



EXTERIOR DECK WITH
ROOFTOP LANDSCAPE

SMOOTH PLASTER FRAME
SMOOTH PLASTER

INTERACTIVE LANDSCAPED
COURTYARD WITH FIRE PIT
AND BUILT-IN BENCH
SEATING

TRESPA PANELS

SPA ENCLOSURE W/
BUILT-IN BENCH SEATING
AND LOUNGE AREA

PERSPECTIVE AT COURTYARD

<p>ARRIS STUDIO ARCHITECTS</p>	<p>Proposed Hotel</p> <p>2300 West El Camino Real Mountain View, California</p>	<p>PERSPECTIVE</p> <p>March 29, 2017</p> <p>A5.3</p>
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HOTEL SIGNAGE

STOREFRONT



OUTDOOR LOUNGE SEATING
AND ENTRY TO THE HOTEL LOBBY

PERSPECTIVE AT LANAI AND HOTEL ENTRY



Proposed
Hotel
2300 West El Camino Real
Mountain View, California

PERSPECTIVE

March 29, 2017

A5.4



WALL ART TO BE
BACK LIT AT NIGHT

PERSPECTIVE AT WALL ART AT NIGHT

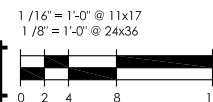
 <p>ARRIS STUDIO ARCHITECTS</p>	<p>Proposed Hotel</p> <hr/> <p>2300 West El Camino Real Mountain View, California</p>	<p>PERSPECTIVE</p> <hr/> <p>March 29, 2017</p> <p>A5.5</p>
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OUTDOOR SEATING



FRONT ELEVATION AT EL CAMINO REAL



Proposed
Hotel

2300 West El Camino Real
Mountain View, California

ELEVATIONS
&
MATERIALS

March 29, 2017

A6.0



WOOD PLANK
TRESPA PANELS

OPENINGS INTO VALET
ALTERNATING
BALCONIES

SMOOTH PLASTER FRAME
SMOOTH PLASTER
TRESPA PANELS

ROOFTOP
LANDSCAPE

PL

PL

50'-0"

46'-4"

36'-0"

25'-8"

15'-4"

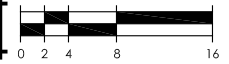
14'-0"

FLOOR TO
CEILING

0'-0"

EAST ELEVATION

1/16" = 1'-0" @ 11x17
1/8" = 1'-0" @ 24x36

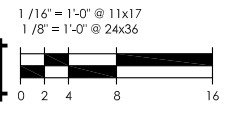


Proposed
Hotel
2300 West El Camino Real
Mountain View, California

ELEVATIONS
March 29, 2017
A6.1



NORTH ELEVATION

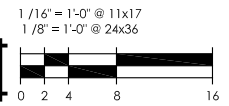


Proposed
Hotel
2300 West El Camino Real
Mountain View, California

ELEVATIONS
March 29, 2017
A6.2



WEST ELEVATION



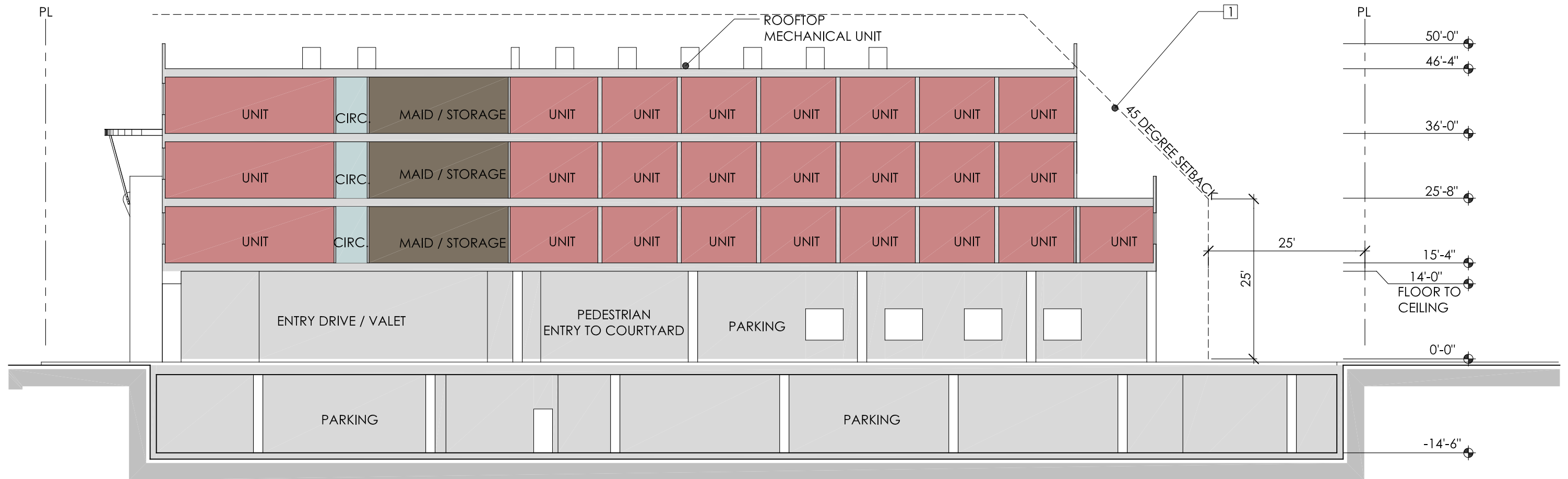
Proposed
Hotel

2300 West El Camino Real
Mountain View, California

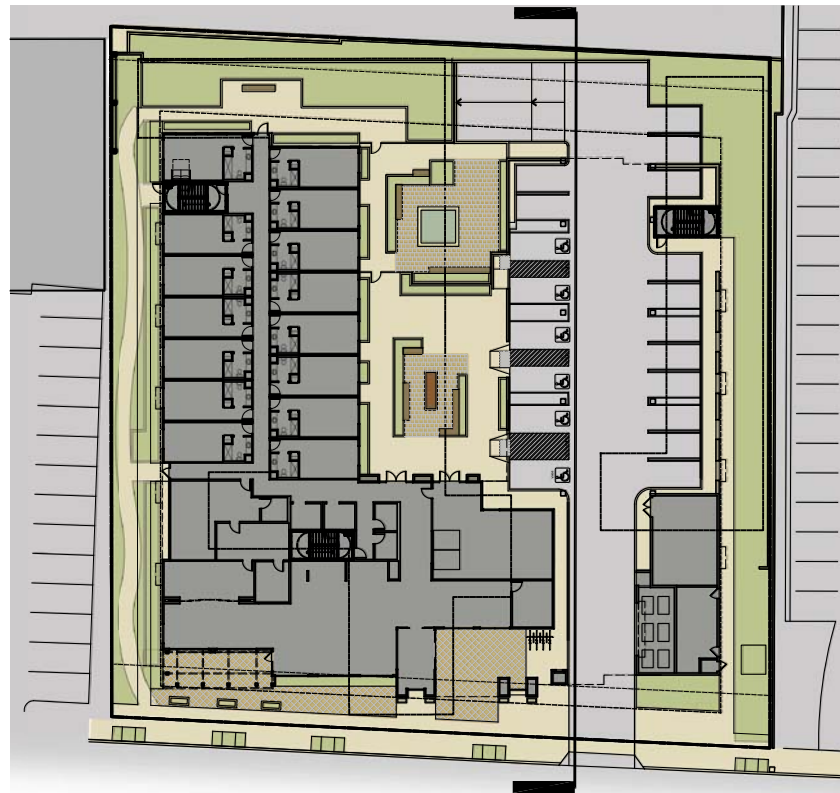
ELEVATIONS

March 29, 2017











A6.3



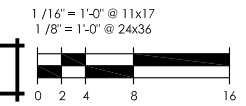
1 PER THE EL CAMINO REAL PRECISE PLAN (PG.30 / FIGURE 14.)
 - MAXIMUM HEIGHT ADJACENT TO RESIDENTIAL



COLOR LEGEND

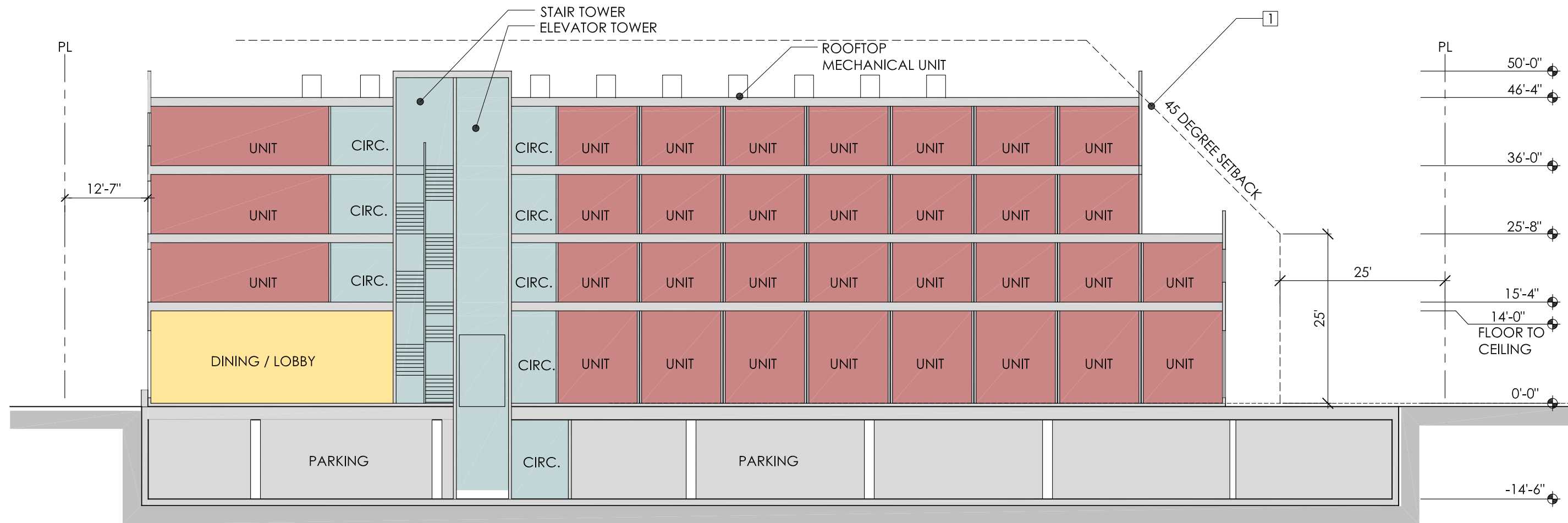
 LOBBY/LOUNGE	 SERVICE
 BACK OF HOUSE	 GUEST ROOMS
 REC/AMENITY GYM, SPA DECK	 DINING/BAR
 CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR	 LANDSCAPE
 RESTROOMS	 HARDSCAPE

SECTIONS



Proposed
 Hotel
 2300 West El Camino Real
 Mountain View, California

SECTIONS
 March 29, 2017
A7.0



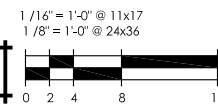
1 PER THE EL CAMINO REAL PRECISE PLAN (PG.30 / FIGURE 14.)
- MAXIMUM HEIGHT ADJACENT TO RESIDENTIAL



COLOR LEGEND

LOBBY/LOUNGE	SERVICE
BACK OF HOUSE	GUEST ROOMS
REC/AMENITY GYM, SPA DECK	DINING/BAR
CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR	LANDSCAPE
RESTROOMS	HARDSCAPE

SECTIONS



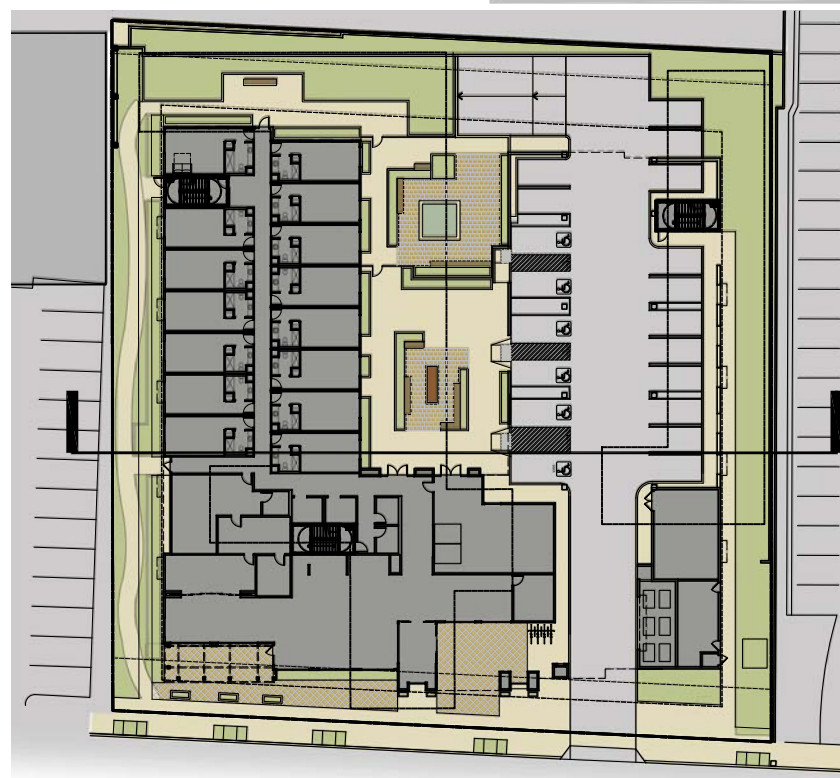
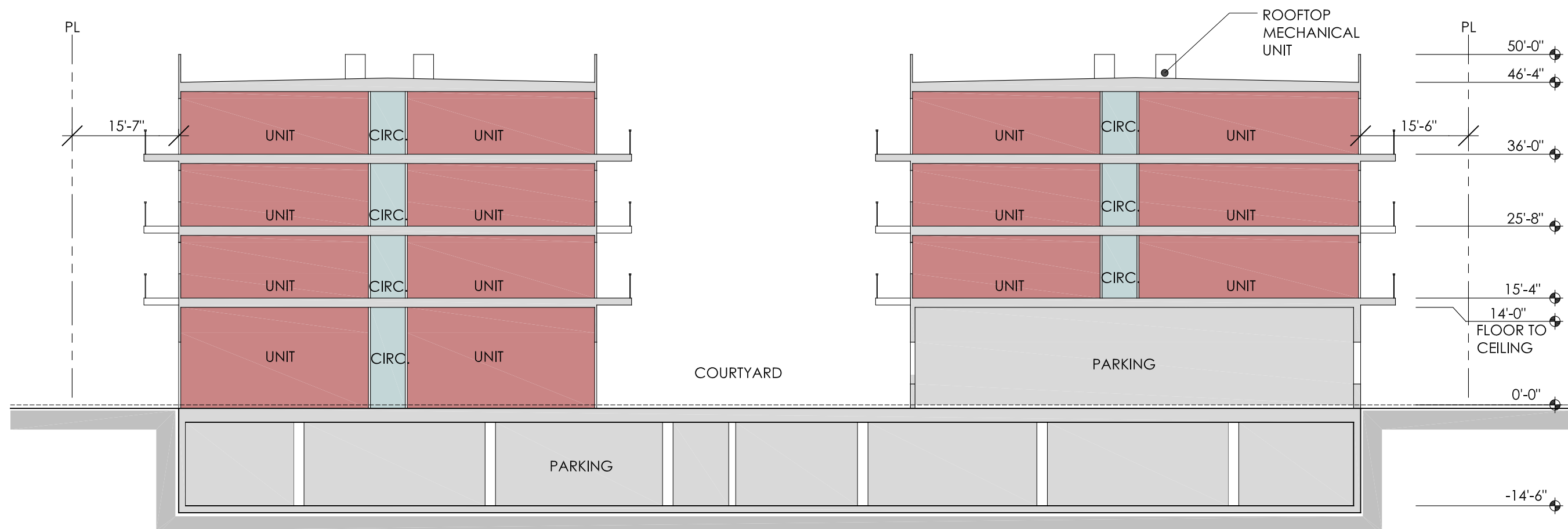
ARRIS
STUDIO ARCHITECTS

Proposed
Hotel
2300 West El Camino Real
Mountain View, California

SECTIONS

March 29, 2017

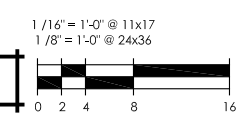
A7.1



COLOR LEGEND

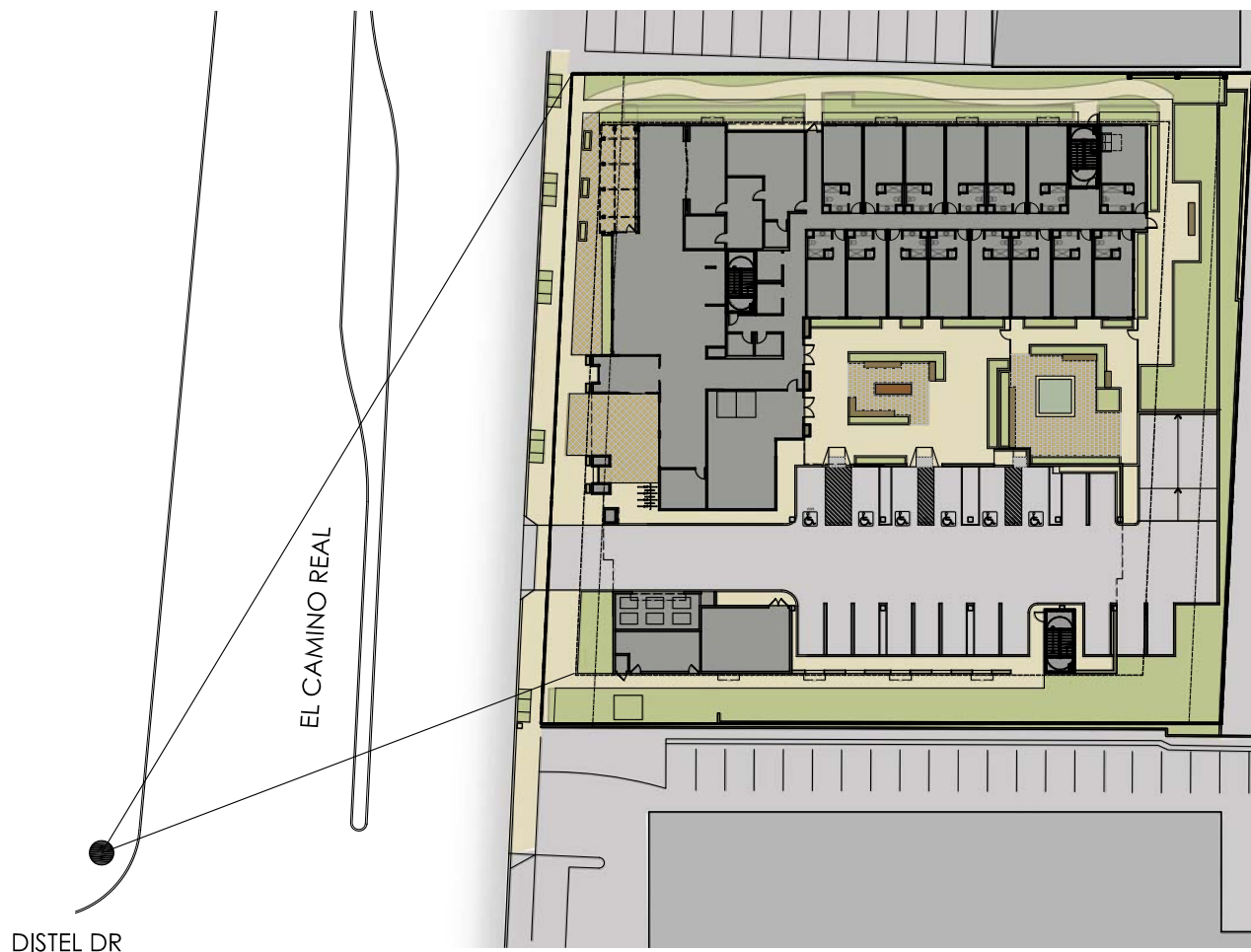
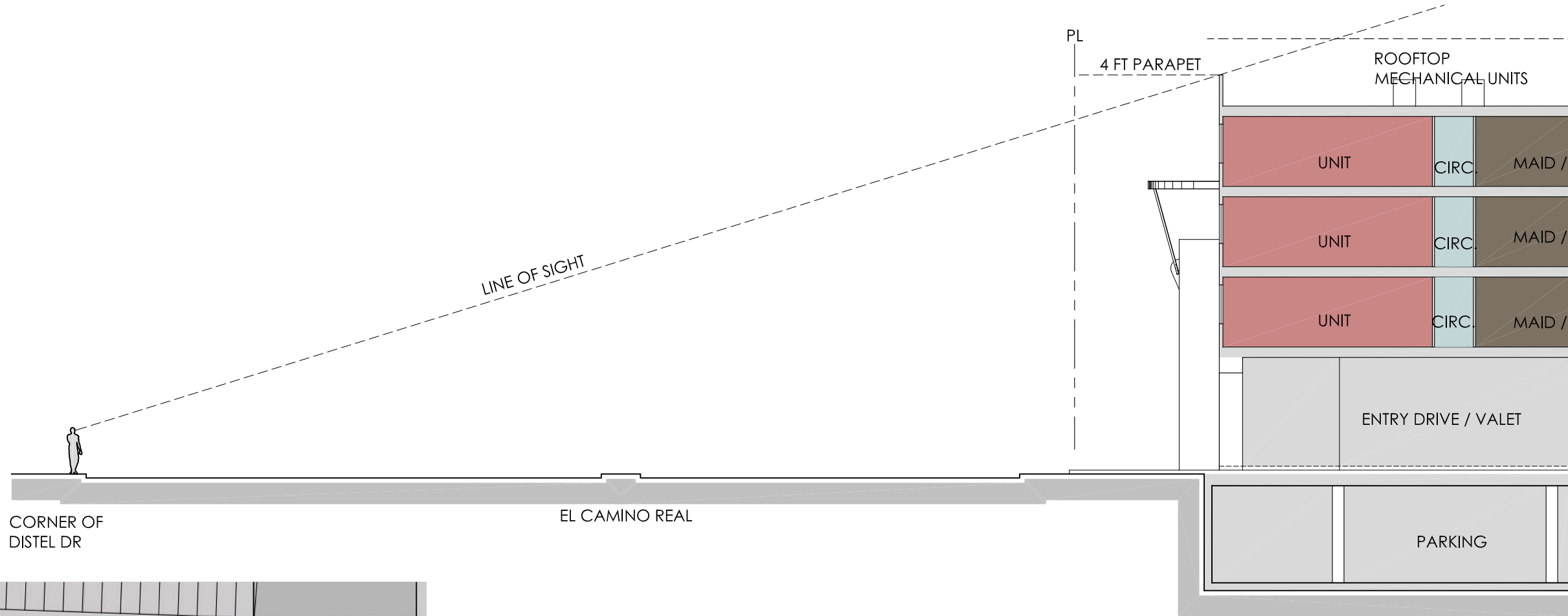
	LOBBY/LOUNGE		SERVICE
	BACK OF HOUSE		GUEST ROOMS
	REC/AMENITY GYM, SPA DECK		DINING/BAR
	CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR		LANDSCAPE
	RESTROOMS		HARDSCAPE

SECTIONS













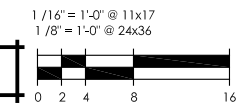
Proposed
Hotel
2300 West El Camino Real
Mountain View, California

SECTIONS
March 29, 2017
A7.2



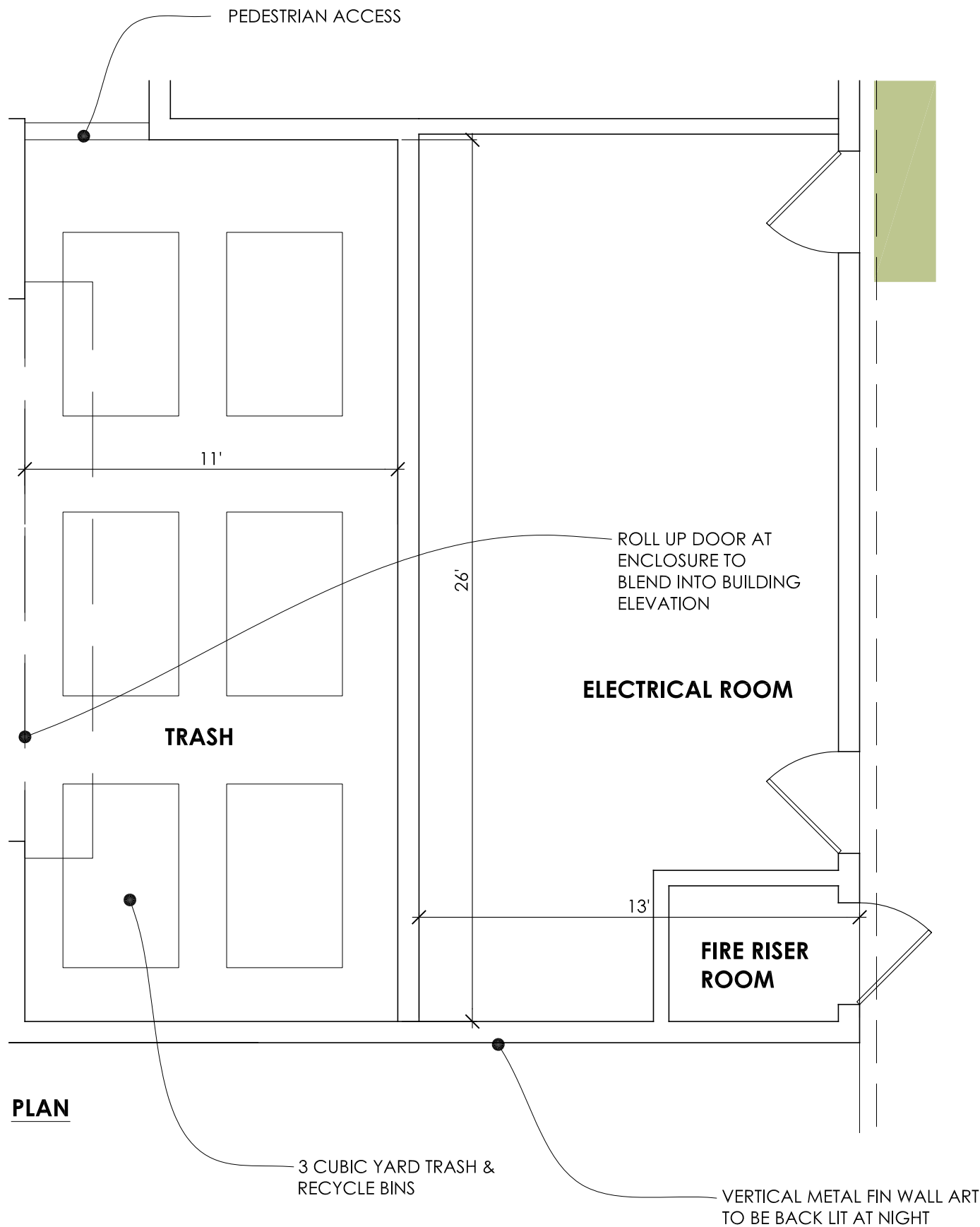
COLOR LEGEND

 LOBBY/LOUNGE	 SERVICE
 BACK OF HOUSE	 GUEST ROOMS
 REC/AMENITY GYM, SPA DECK	 DINING/BAR
 CIRCULATION ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR	 LANDSCAPE
 RESTROOMS	 HARDSCAPE

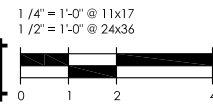


LINE OF SIGHT STUDY - VIEW FROM THE CORNER OF EL CAMINO REAL & DISTEL DR

	<p>Proposed Hotel</p>	<p>LINE OF SIGHT STUDY</p> <p>March 29, 2017 A7.3</p>	
	<p>2300 West El Camino Real Mountain View, California</p>		



PROPOSED TRASH ENCLOSURE



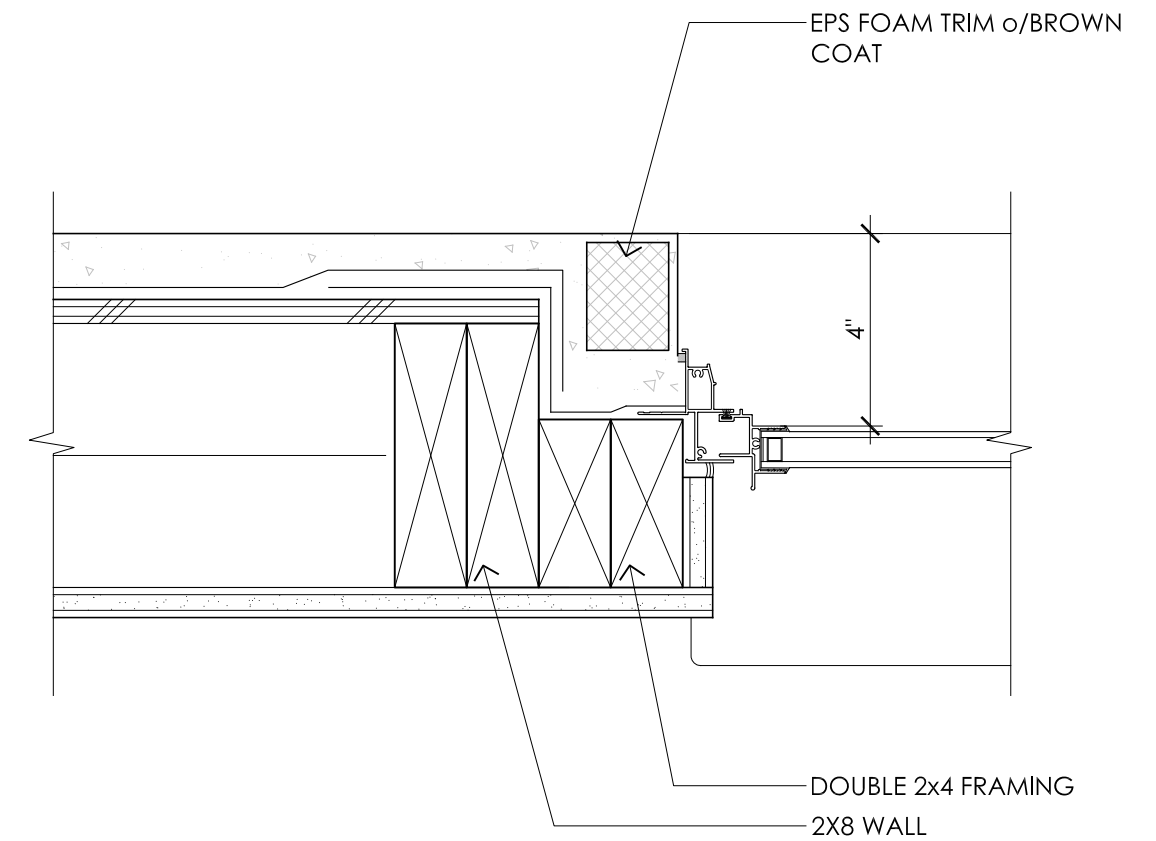
	<p>Proposed Hotel</p>	<p>TRASH ENCLOSURE</p>
	<p>2300 West El Camino Real Mountain View, California</p>	<p>March 29, 2017 A8.0</p>

SMOOTH FINISH
STUCCO
METAL AWNINGS



TRESPA PANEL
RECESSED WINDOWS AND
DOORS
SOLID METAL RAILING W/
HORIZONTAL MEMBERS
WOOD PLANK TRESPA
PANELS
GLASS DOORS

FACADE DETAILS



1

WINDOW JAMB

3" = 1'-0"

Window-02

ARCHITECTURAL DETAILS



Proposed
Hotel
2300 West El Camino Real
Mountain View, California

**ARCHITECTURAL
DETAILS**
March 29, 2017
A8.1

LIGHT FIXTURE SCHEDULE - COMMON AREAS							
SKETCH	TYPE	LAMPS	DESCRIPTION	MANUFACTURER'S NO.	BALLAST	VOLTAGE	WATTAGE
	A1	20 LEDs 1000mA 4000K	LED PARKING GARAGE LUMINAIRE W/ (2) LIGHT ENGINES. WHITE FINISH. SURFACE MOUNT.	LITHONIA #DSXPG LED-20C-1000-40K-T5E-MVOLT	LED DRIVER	120	74
	A2	10 LEDs 1000mA 4000K	LED PARKING GARAGE LUMINAIRE W/ (1) LIGHT ENGINE. WHITE FINISH. SURFACE MOUNT.	LITHONIA #DSXPG LED-10C-1000-40K-T5W-MVOLT	LED DRIVER	120	37
	A3	10 LEDs 1000mA 4000K	LED PARKING GARAGE LUMINAIRE W/ (1) LIGHT ENGINE. WHITE FINISH. SURFACE MOUNT.	LITHONIA #DSXPG LED-10C-1000-40K-T5R-MVOLT	LED DRIVER	120	37
	B	10 LEDs (1)ENGINE 2010LM 4000K	WALL MOUNT LED FIXT. W/ACRYLIC LENS. BLACK FINISH. WET LABEL. FULL CUT OFF.	LUMINAIRE #DWL1010-25W-3500K-CP	LED DRIVER	120	27
	B1	10 LEDs (1)ENGINE 2010LM 4000K	SAME AS FIXTURE "B" EXCEPT WITH INTEGRAL EMERGENCY BATTERY BACKUP.	LUMINAIRE #DWL1010-25W-3500K-CP -EMB310	LED DRIVER	120	27
	C	LED 1941LM 4000K	13" DIA. LED FIXTURE W/OPAL PRISMATIC POLYCARBONATE LENS. BLACK FINISH. WET LABEL. SURFACE.	LUMINAIRE #APX13-25W-4000K-120/277- FL-BLK	LED DRIVER	120	27
	C1	LED 1941LM 4000K	SAME AS FIXTURE "C" EXCEPT WITH 550 LUMENS INTEGRAL EMERGENCY BATTERY BACKUP.	LUMINAIRE #APX13-25W-4000K-120/277- FL-BLK-EMB310	LED DRIVER	120	27



ADDRESS
1306 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401
CONTACT
805 547 2240
ARRIS-STUDIO.COM
THOMAS E. JESS ARCHITECT #C27408
STEPHEN A. REGOR ARCHITECT #C13872
ARCHITECT OF RECORD/CONSULTANT



CLIENT
BPR PROPERTIES
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PALO ALTO, CA 94303
P: (650) 424-1400

PROJECT **Best Western Plus Hotel**
Proposed Remodel
& Expansion
2300 West El Camino Real
Mountain View, California
**FIRST FLOOR EXTERIOR
PHOTOMETRIC PLAN**

#	REVISION	DATE
1	PLAN CHECK REVISIONS	08/04/2016

PROJECT **A13012**
DATE
January 26, 2016
SHEET

E1.1

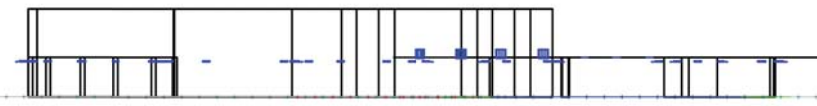


HCS ENGINEERING, INC.
CONSULTING ELECTRICAL ENGINEERS
4512 FEATHER RIVER DRIVE, SUITE F
STOCKTON, CA 95219 (209)478-8270
E-MAIL ADDRESS - bhupendra@hcs-eng.com
PROJ. 2015.124 DES. K.LO ENG. B. PADEL

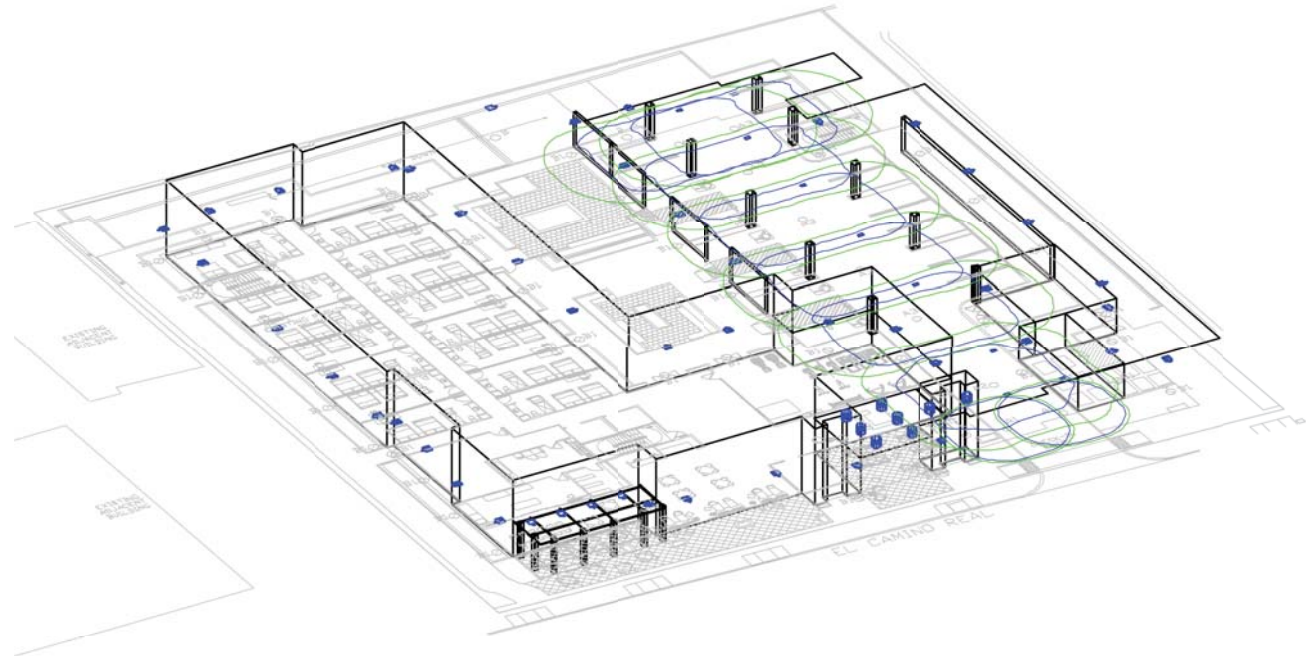
K:\Ar\arris studio architects\best western plus hotel mountain view\site photometrics 2015.124\E1.1.dwg, Layout1, Aug 04, 2016 3:47pm, ker



H8 FIRST FLOOR EXTERIOR PHOTOMETRIC PLAN
SCALE: 1/16" = 1'-0"

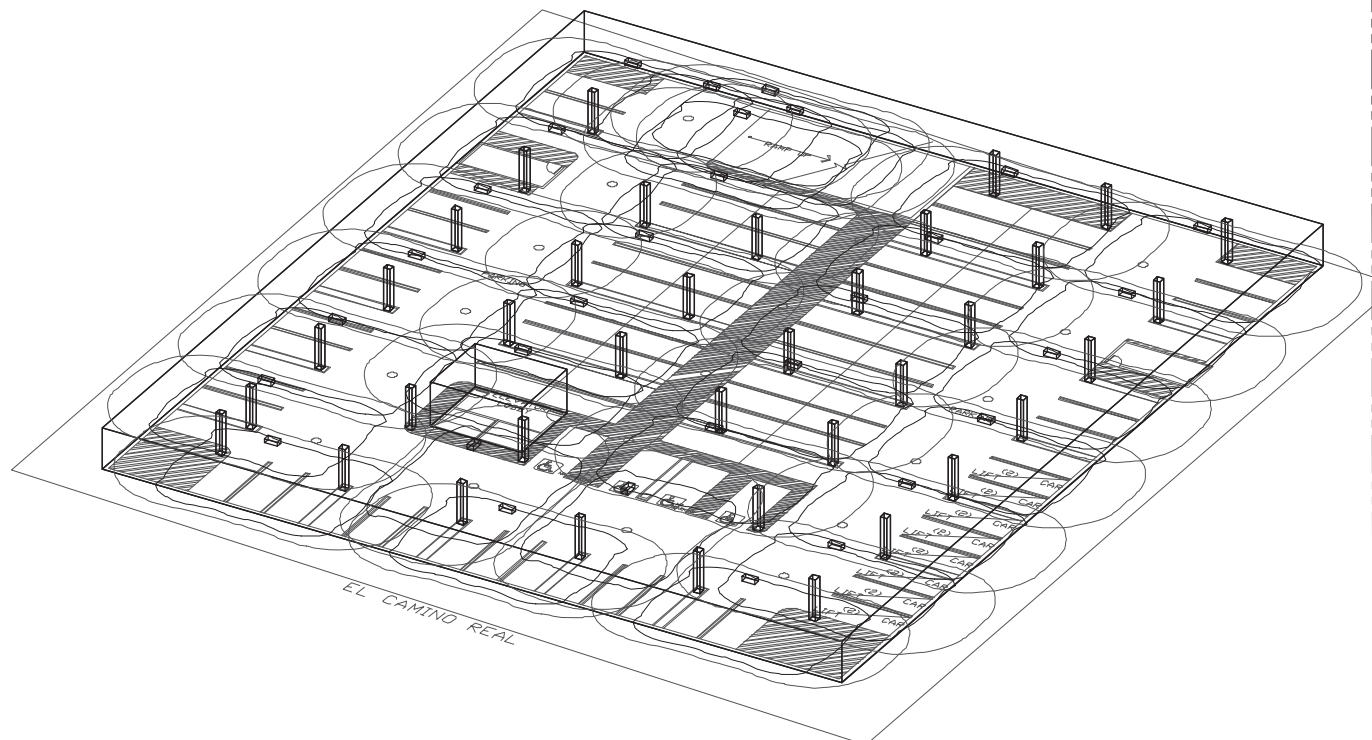


South Elevation
Scale 1" = 20"

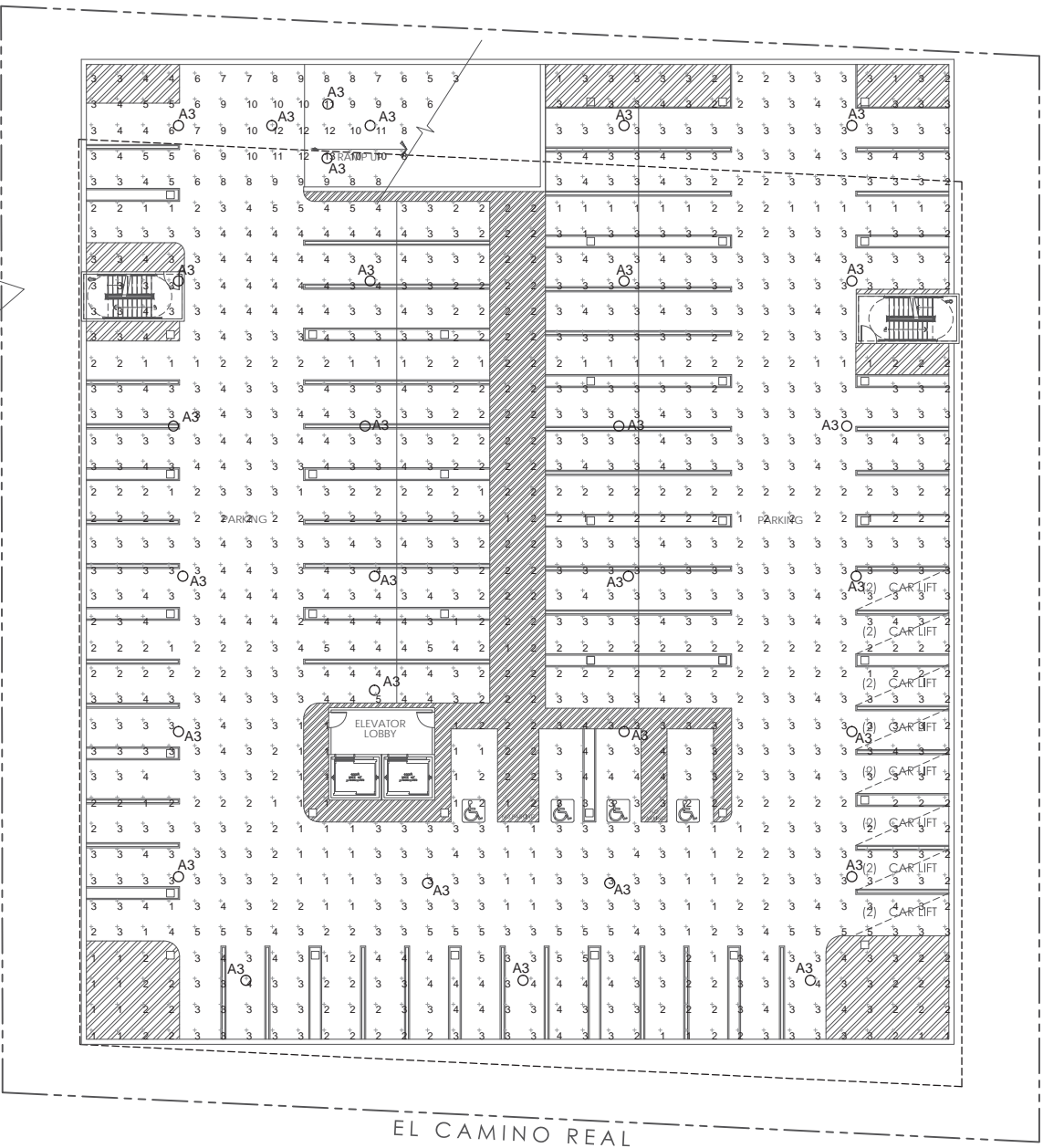


Southwest View
Not to Scale

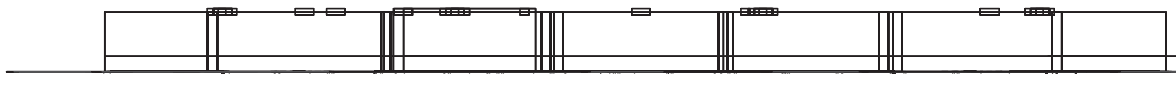
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South East View



F8 BASEMENT FLOOR PHOTOMETRIC PLAN
SCALE: 1/16" = 1'-0"



South View
Scale - 1" = 14'



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PROJECT
Best Western Plus Hotel
Proposed Remodel
& Expansion
2300 West El Camino Real
Mountain View, California
**BASEMENT FLOOR
PHOTOMETRIC PLAN**

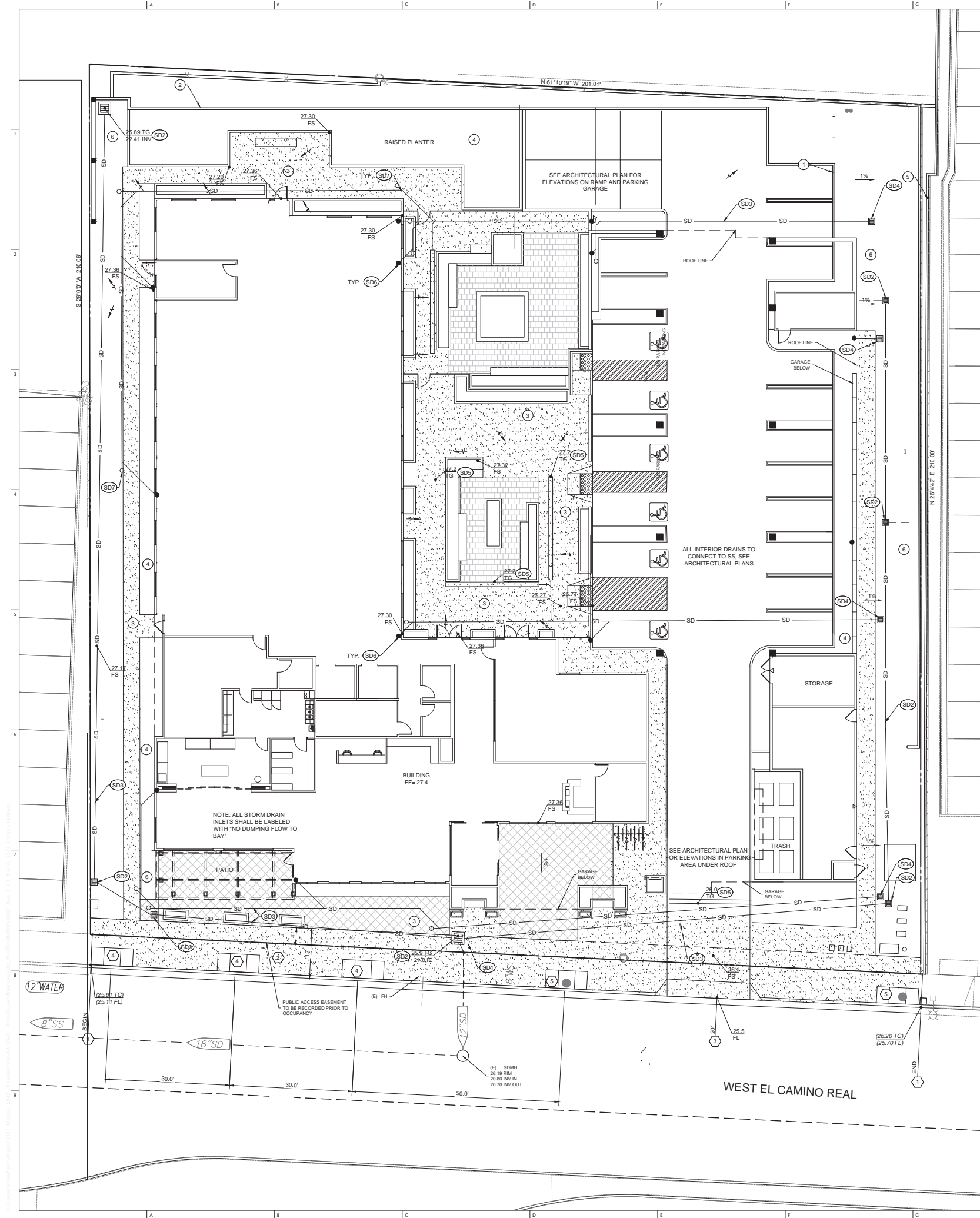
#	REVISION	DATE
1	PLAN CHECK REVISIONS	08/04/2016

PROJECT
A13012
DATE
January 26, 2016
SHEET

E1.2



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STOCKTON, CA 95219 (209)478-8270
E-MAIL ADDRESS - bhupendra@hcs-eng.com
PROJ. 2015.124 DES. K. LO ENG. B. PATEL



STORM DRAIN CONSTRUCTION NOTES:

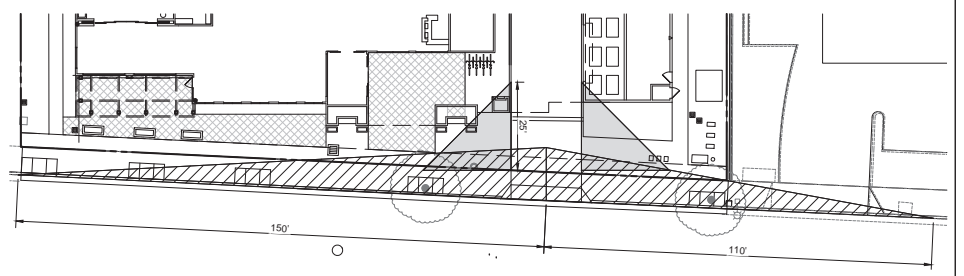
- SD1 REMOVE EXISTING CATCH BASIN
- SD2 PROPOSED CATCH BASIN
- SD3 PROPOSED STORM DRAIN
- SD4 BUBBLE UP FROM ROOF DRAINS
- SD5 TRENCH DRAIN
- SD6 DOWNSPOUT CONNECTION TO STORMDRAIN, SEE DETAIL 6 ON SHEET C4.1
- SD7 STORMDRAIN CLEAN OUT PER DETAIL 7 ON SHEET C4.1

SITE CONSTRUCTION NOTES:

- 1 PROPOSED CONCRETE CURB PER DETAIL 1 SHEET C4.1
- 2 LANDSCAPE WALL, SEE LANDSCAPE ARCHITECTS PLAN
- 3 PROPOSED CONCRETE FLATWORK PER DETAIL 3, SHEET C4.1
- 4 RAISED PLANTER, SEE LANDSCAPE ARCHITECTS PLAN
- 5 PROPOSED RETAINING WALL
- 6 FLOW THROUGH PLANTER, SEE DETAIL 5 ON SHEET C4.1

RIGHT OF WAY CONSTRUCTION NOTES:

- 1 REMOVE AND REPLACE CURB AND GUTTER
- 2 PROPOSED SIDEWALK
- 3 PROPOSED DRIVEWAY WIDTH PER PLAN
- 4 PROPOSED TREE AND TREE WELL, SEE LANDSCAPE PLAN
- 5 PROPOSED UPGRADED TREE WELL TO EXISTING TREE, SEE LANDSCAPE PLAN



TRIANGLE OF SAFETY SCALE: 1" = 20'

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ENGINEERING & INC.

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Santa Barbara, CA 93101
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MOUNTAIN VIEW BEST WESTERN
2300 WEST EL CAMINO REAL
MOUNTAIN VIEW, CA.

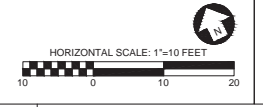
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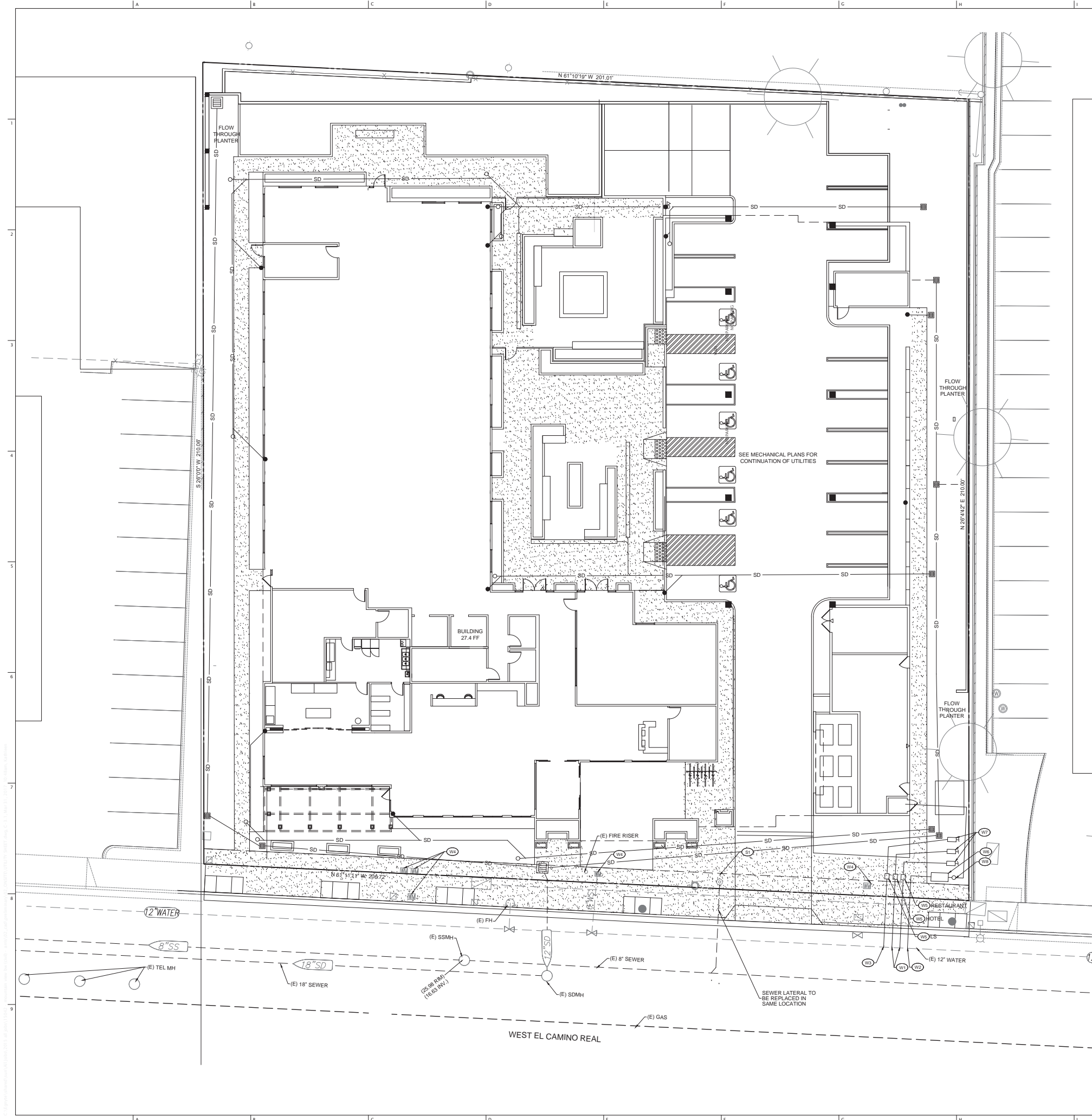
Revisions:

Proj. Engr.: xsa Phone Ext.: 165
Proj. Mgr.: xsb Phone Ext.: 119
Date: 03.30.2017 Scale: PER PLAN
A&V Job No.: 15042

GRADING AND DRAINAGE PLAN

C- 2.1





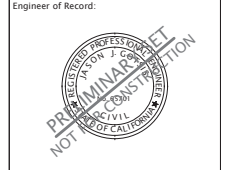
- UTILITY NOTES**
- (S) PROPOSED SEWER SERVICE.
 - (W) PROPOSED DOMESTIC WATER SERVICE PER CITY STANDARDS.
 - (F) PROPOSED FIRE LINE.
 - (WA) PROPOSED LANDSCAPE SERVICE. SEE LANDSCAPE PLANS FOR DETAILS AND CONTINUATION OF WATER LINE.
 - (WB) ABANDON EXISTING WATER METER PER CITY STANDARDS.
 - (WM) PROPOSED WATER METER.
 - (WT) PROPOSED DOUBLE CHECK DETECTOR ASSEMBLY.
 - (WT) PROPOSED DUAL BACK FLOW PREVENTER PER CITY STANDARDS
 - (WB) FIRE DEPARTMENT CONNECTION PER CITY STANDARDS

NOTE: ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST KNOWLEDGE AVAILABLE. CONTRACTOR TO POTHOLE ALL POINTS OF CONNECTION AND VERIFY ALL CLEARANCES. MATERIAL DEPTH AND LOCATION SHALL BE IDENTIFIED BY CONTRACTOR. IF THERE ARE ANY DIFFERENCES FROM PLAN WITH ANY OF THESE ITEMS, ENGINEER OF WORK SHALL BE NOTIFIED IMMEDIATELY.

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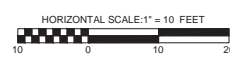
Engineer of Record:

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MOUNTAIN VIEW, CA,

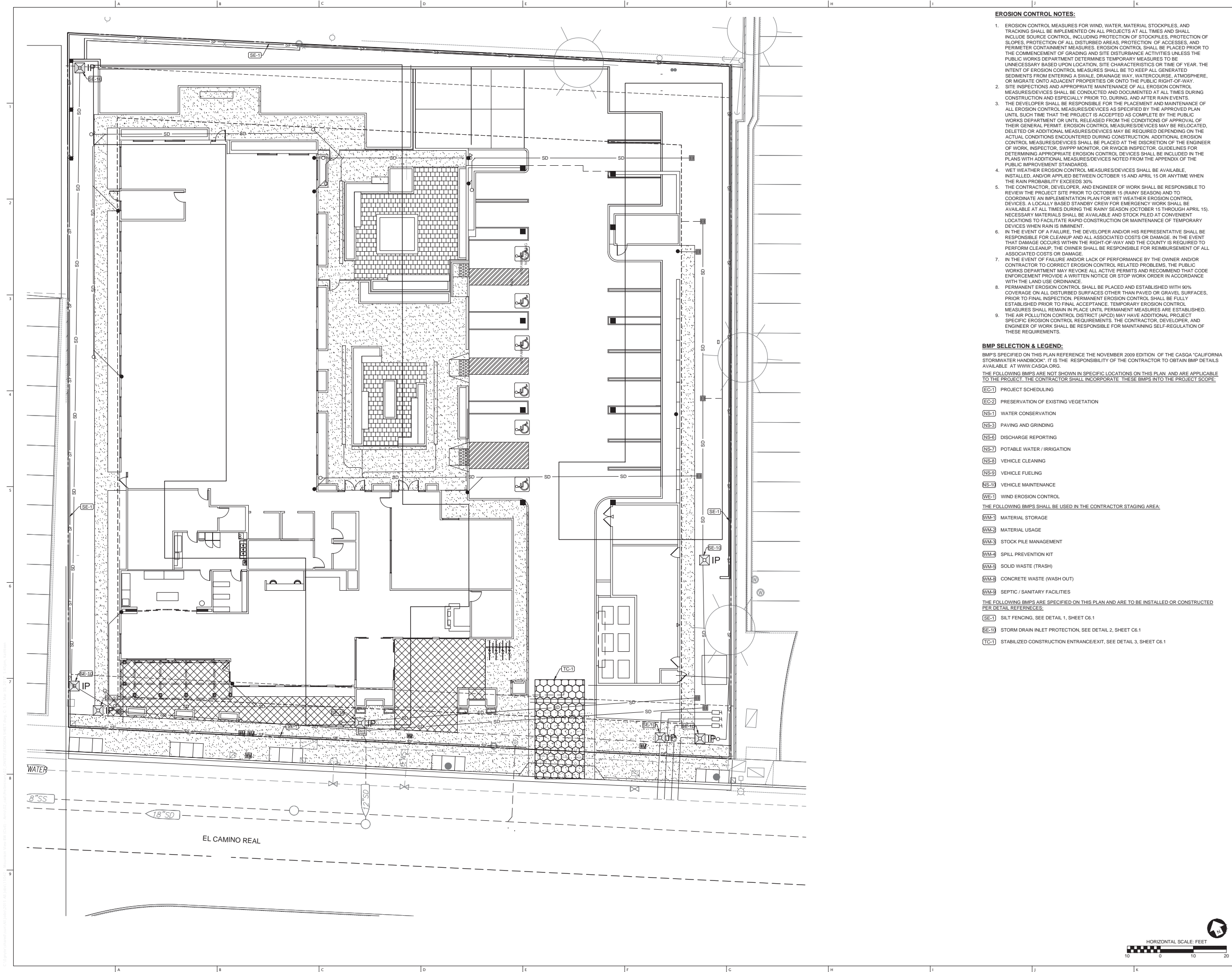
Project:

Revisions:	

Proj. Engr.: KSA Phone Ext.: 165
Proj. Mgr.: KSB Phone Ext.: 119
Date: 03.30.2017 Scale: PRR PLAN
A&V Job No.: 15042



UTILITY PLAN
C- 3.1



EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES FOR WIND, WATER, MATERIAL STOCKPILES, AND TRACKING SHALL BE IMPLEMENTED ON ALL PROJECTS AT ALL TIMES AND SHALL INCLUDE SOURCE CONTROL, INCLUDING PROTECTION OF STOCKPILES, PROTECTION OF SLOPES, PROTECTION OF ALL DISTURBED AREAS, PROTECTION OF ACCESSES, AND PERIMETER CONTAINMENT MEASURES. EROSION CONTROL SHALL BE PLACED PRIOR TO THE COMMENCEMENT OF GRADING AND SITE DISTURBANCE ACTIVITIES UNLESS THE PUBLIC WORKS DEPARTMENT DETERMINES TEMPORARY MEASURES TO BE UNNECESSARY BASED UPON LOCATION, SITE CHARACTERISTICS OR TIME OF YEAR. THE INTENT OF EROSION CONTROL MEASURES SHALL BE TO KEEP ALL GENERATED SEDIMENTS FROM ENTERING A SWALE, DRAINAGE WAY, WATERCOURSE, ATMOSPHERE, OR MIGRATE ONTO ADJACENT PROPERTIES OR ONTO THE PUBLIC RIGHT-OF-WAY.
2. SITE INSPECTIONS AND APPROPRIATE MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES SHALL BE CONDUCTED AND DOCUMENTED AT ALL TIMES DURING CONSTRUCTION AND ESPECIALLY PRIOR TO, DURING, AND AFTER RAIN EVENTS.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PLACEMENT AND MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES AS SPECIFIED BY THE APPROVED PLAN UNTIL SUCH TIME THAT THE PROJECT IS ACCEPTED AS COMPLETE BY THE PUBLIC WORKS DEPARTMENT OR UNTIL RELEASED FROM THE CONDITIONS OF APPROVAL OF THEIR GENERAL PERMIT. EROSION CONTROL MEASURES/DEVICES MAY BE RELOCATED, DELETED OR ADDITIONAL MEASURES/DEVICES MAY BE REQUIRED DEPENDING ON THE ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES/DEVICES SHALL BE PLACED AT THE DISCRETION OF THE ENGINEER OF WORK, INSPECTOR, SWPPP MONITOR, OR RWOCB INSPECTOR. GUIDELINES FOR DETERMINING APPROPRIATE EROSION CONTROL DEVICES SHALL BE INCLUDED IN THE PLANS WITH ADDITIONAL MEASURES/DEVICES NOTED FROM THE APPENDIX OF THE PUBLIC IMPROVEMENT STANDARDS.
4. WET WEATHER EROSION CONTROL MEASURES/DEVICES SHALL BE AVAILABLE, INSTALLED, AND/OR APPLIED BETWEEN OCTOBER 15 AND APRIL 15 OR ANYTIME WHEN THE RAIN PROBABILITY EXCEEDS 30%.
5. THE CONTRACTOR, DEVELOPER, AND ENGINEER OF WORK SHALL BE RESPONSIBLE TO REVIEW THE PROJECT SITE PRIOR TO OCTOBER 15 (RAINY SEASON) AND TO COORDINATE AN IMPLEMENTATION PLAN FOR WET WEATHER EROSION CONTROL DEVICES. A LOCALLY BASED STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE AND STOCK PILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OR MAINTENANCE OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
6. IN THE EVENT OF A FAILURE, THE DEVELOPER AND/OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGE. IN THE EVENT THAT DAMAGE OCCURS WITHIN THE RIGHT-OF-WAY AND THE COUNTY IS REQUIRED TO PERFORM CLEANUP, THE OWNER SHALL BE RESPONSIBLE FOR REIMBURSEMENT OF ALL ASSOCIATED COSTS OR DAMAGE.
7. IN THE EVENT OF FAILURE AND/OR LACK OF PERFORMANCE BY THE OWNER AND/OR CONTRACTOR TO CORRECT EROSION CONTROL RELATED PROBLEMS, THE PUBLIC WORKS DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH THE LAND USE ORDINANCE.
8. PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES. PRIOR TO FINAL INSPECTION, PERMANENT EROSION CONTROL SHALL BE FULLY ESTABLISHED PRIOR TO FINAL ACCEPTANCE. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT MEASURES ARE ESTABLISHED.
9. THE AIR POLLUTION CONTROL DISTRICT (APCD) MAY HAVE ADDITIONAL PROJECT SPECIFIC EROSION CONTROL REQUIREMENTS. THE CONTRACTOR, DEVELOPER, AND ENGINEER OF WORK SHALL BE RESPONSIBLE FOR MAINTAINING SELF-REGULATION OF THESE REQUIREMENTS.

BMP SELECTION & LEGEND:

- BMP'S SPECIFIED ON THIS PLAN REFERENCE THE NOVEMBER 2009 EDITION OF THE CASQA "CALIFORNIA STORMWATER HANDBOOK". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CASQA.ORG.
- THE FOLLOWING BMP'S ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE:
- EC-1 PROJECT SCHEDULING
 - EC-2 PRESERVATION OF EXISTING VEGETATION
 - NS-1 WATER CONSERVATION
 - NS-3 PAVING AND GRINDING
 - NS-6 DISCHARGE REPORTING
 - NS-7 POTABLE WATER / IRRIGATION
 - NS-8 VEHICLE CLEANING
 - NS-9 VEHICLE FUELING
 - NS-10 VEHICLE MAINTENANCE
 - WE-1 WIND EROSION CONTROL
- THE FOLLOWING BMP'S SHALL BE USED IN THE CONTRACTOR STAGING AREA:
- WM-1 MATERIAL STORAGE
 - WM-2 MATERIAL USAGE
 - WM-3 STOCK PILE MANAGEMENT
 - WM-4 SPILL PREVENTION KIT
 - WM-5 SOLID WASTE (TRASH)
 - WM-8 CONCRETE WASTE (WASH OUT)
 - WM-9 SEPTIC / SANITARY FACILITIES
- THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN AND ARE TO BE INSTALLED OR CONSTRUCTED PER DETAIL REFERENCE:
- SE-1 SILT FENCING, SEE DETAIL 1, SHEET C6.1
 - SE-10 STORM DRAIN INLET PROTECTION, SEE DETAIL 2, SHEET C6.1
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT, SEE DETAIL 3, SHEET C6.1

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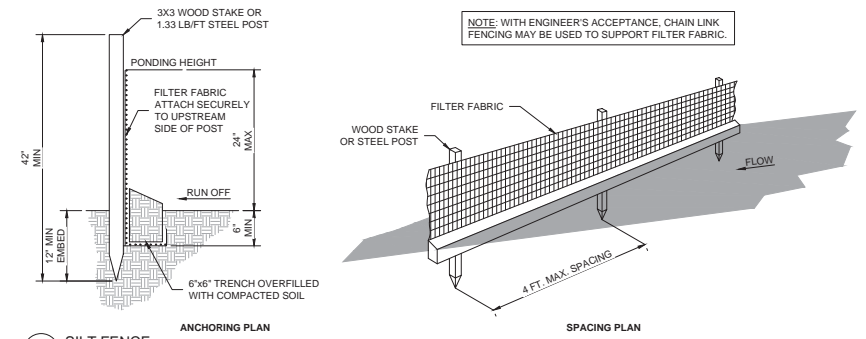
MOUNTAIN VIEW BEST WESTERN
 2300 WEST EL CAMINO REAL
 MOUNTAIN VIEW, CA.

Project:

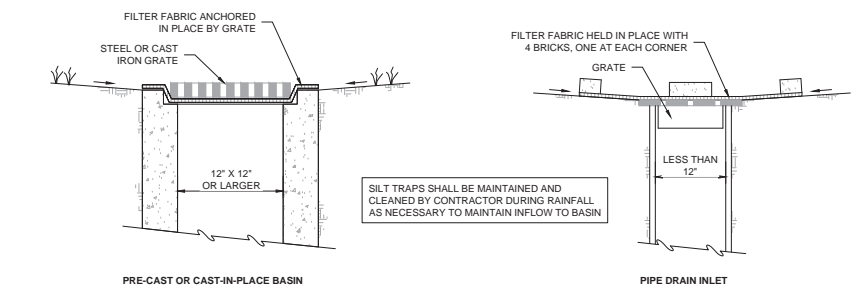
Revisions:	
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 Date: 03.30.2017 Scale: PRR PLAN
 A&V Job No.: 15042

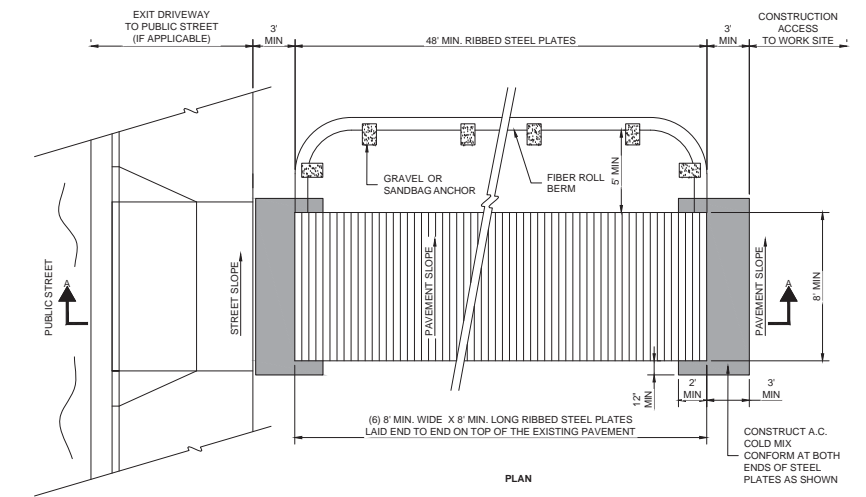
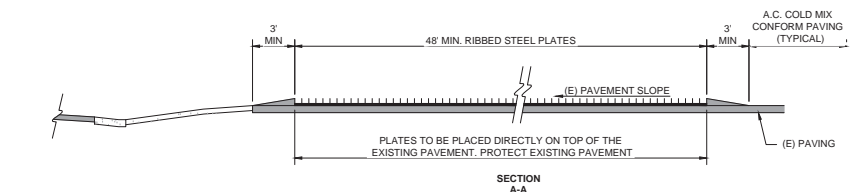
EROSION CONTROL PLAN
C- 5.1



1 SILT FENCE



2 STORM DRAIN INLET PROTECTION

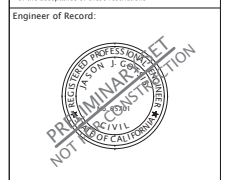


3 STABILIZED CONSTRUCTION ENTRANCE

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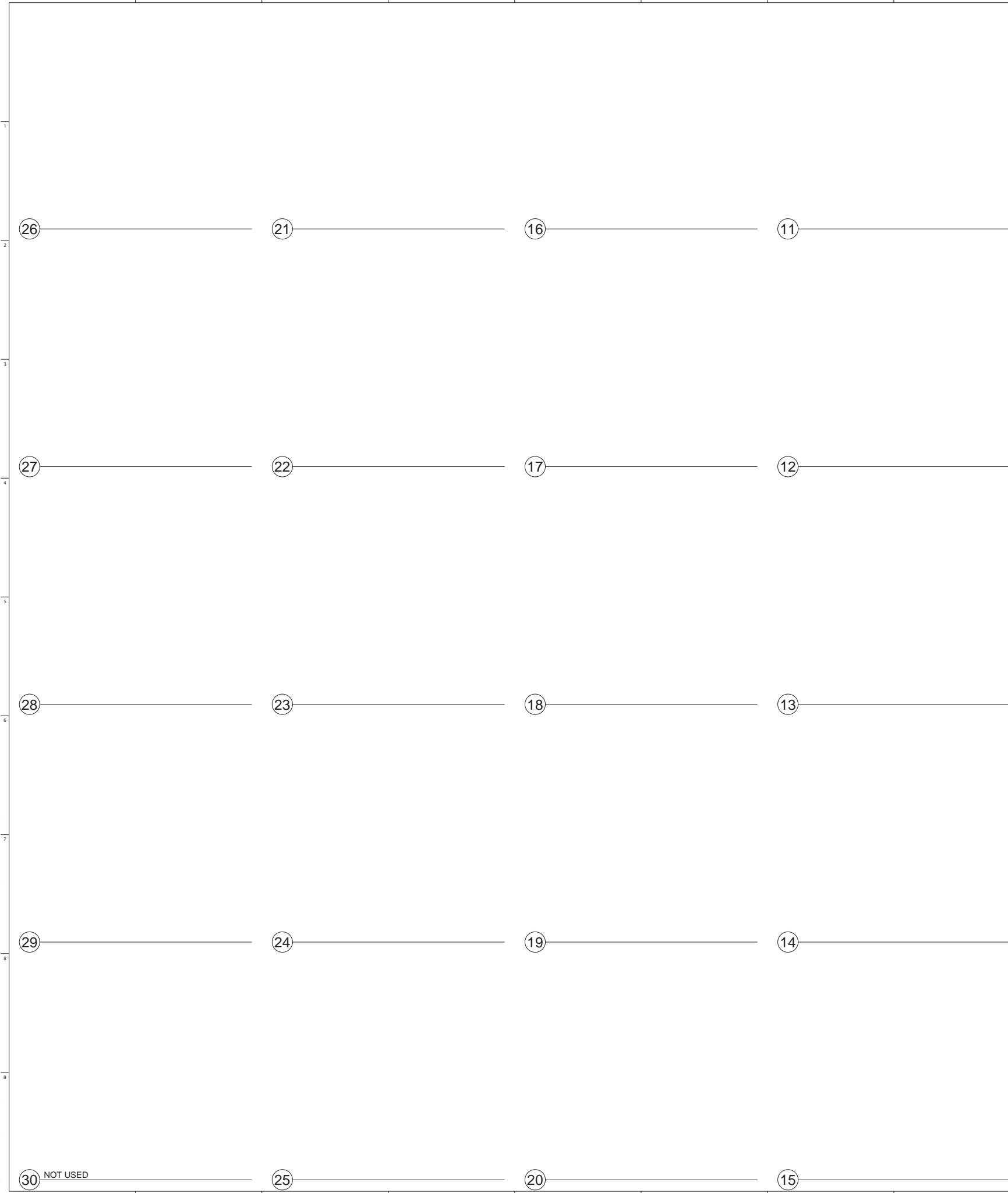
MOUNTAIN VIEW BEST WESTERN
2300 WEST EL CAMINO REAL
MOUNTAIN VIEW, CA.

Project:

Revisions:	
△	
△	
△	
△	

Proj. Engr.: xSA Phone Ext.: 165
Proj. Mngfr.: xSB Phone Ext.: 119
Date: 03.30.2017 Scale: PER PLAN
A&V Job No.: 15042

EROSION CONTROL DETAILS
C- 6.1



Outdoor Water Use Calculation (WELO)

Table 1: annual

To Calculate MAWA- Maximum Applied Water Allowance	
Eto (annual)	43.0
LA	6,537
SLA	0
MAWA (gallons/year)	121,993
MAWA (inches per sq. ft)	29.94
MAWA (inches per DAY)	0.08
Eto is not adjusted for seasonal rainfall MAWA = (Eto)(0.62)((0.7xLA)+(0.3xSLA))	

Table 2a: annual

To Calculate ETWU- Estimated Total Water Use	
Eto (annual)	43.0
PFxHA (see table 2b)	2,146
HA (see table 2b)	6,537
IE (see Table 3)	0.81
SLA	0
ETWU (gallons/season)	70,639
ETWU (inches per sq. ft.)	17.33
ETWU (per DAY)	0.05
Eto is not adjusted for seasonal rainfall ETWU = (Eto)(0.62)((PFxHA)/IE)+SLA	

Table 2b

To Determine Plant Factor with Multiple Hydro Zones				
H.Z	Water Use Type	P.F.**	H.A (s.f.)	Weighted P.F.
1	LOW	0.3	4,886	1,406
2	MED	0.4	1,851	740
Totals			6,537	2,146

**Plant Factor from WUCOLS, August 2000

ETWU IS 58% MAWA

ETWU-MAWA	0.58
-----------	------

Table 3: hydrozone (H.Z.) information

To Determine Average System "IE" exceeds .71					
H.Z	Water Use Type	Sprinkler	HA	"IE"	Weighted Area
1	LOW	EMITTER	6,537	0.81	5,295
Totals			6,537		5,295
				IE is	0.81

Table 2b Special Landscape Area (SLA)

To Determine Plant Factor with Multiple Hydro Zones				
H.Z	Water Use Type	P.F.**	H.A (s.f.)	P.F.
1	SLA	1	0	0
SLA Totals			0	0

**Plant Factor from WUCOLS, August 2000

City of Mountain View Standards for Landscape Plan-Water Conservation in the Landscape

GENERAL NOTES:

- Ground cover, shrubs and trees are drought tolerant native and Mediterranean plants with irrigation plant factor of "low" to "medium". No high water use plants (e.g. turf) have been selected.
- Water Budget is provided on WELO Table 2 (this page). The estimated total water use (ETWU, Table 2) does NOT exceed 65% of the Eto times the landscape area.
MAWA = 121,993 gallons/year
ETWU = 70,639 gallons/year
ETWU is 58% of MAWA
- Irrigation hydrozones shall be separated with control valves and controller stations into appropriate and compatible zones. For the purposes of Cal Green there is two hydrozones: "Low Ground Covers, Shrubs And Trees" and "Moderate Ground Covers, Shrubs And Trees" (no lawn).
- Spray irrigation is not used on the proposed project, therefore overspray, low head drainage and irrigation runoff will be avoided.
- Drip Irrigation system average irrigation efficiency shall exceed irrigation efficiency of 70%.
- A weather sensor (or rain shut-off device) will prevent irrigation after significant precipitation. Irrigation system shall include programmable irrigation controller per note 3 above.

Preliminary Plant Materials List



Shrubs (5 Gallon) / Groundcovers (1 Gallon)

Shrubs

Abelia grandiflora 'Edward Gaucher' / Dwarf Glossy Abelia
Aspidistra elatior / Castiron plant
Callistemon 'Little John' / Dwarf Bottlebrush
Clivia minata / Kafir Lili
Cotoneaster lacteus / Red clusterberry
Phormium tenax 'Maori Queen' / Dwarf New Zealand Flax
Photinia Fraseri/Fraser's Photinia
Pennisetum orientale / Oriental Fountain Grass
Pennisetum setaceum 'Rubrum' / Purple Fountain Grass
Westringia fruticosa / Coast Rosemary

Spreading Ground Cover

Archostaphylos 'Pacific Mist' / Manzanita
Ceanothus 'Yankee Point' / California Lilac
Coprosma kirkii / No Common Name
Rosa spp. / Carpet Rose
Trachelospermum jasminoides / Star Jasmine

Succulent Perennials

Crassula sarmentosa / carassula
Echeveria / hens and chicks
Sedum / stonecrop
Sempervivum / Houseleek

Trees (24" Box min.)

Proposed Broad Leaf Evergreen, Canopy Trees:



Tristania conferta / Brisbane box
Ulmus Parvifolia / Chinese Evergreen Elm

Proposed Deciduous Trees:



Koeleruteria paniculata / Goldenrain Tree
Lagerstromia indica / Crepe myrtle
Platanus acerifolia / London Plane Tree
Quercus coccinea / Scarlet Oak

Container Plants on Rooftop or Street Facing Open Areas

Refer to Sheet A4.3 for 3rd floor roof top area.

Photinia Fraseri/Fraser's Photinia Standard
Raphiolepis Indica/ India Hawthorn Standard
Nerium Oleander/ Oleander Standard
Solanum Rantonetii / Potatoe Bush Standard

Existing "Heritage" Trees to Retain/ Relocate:

See L-4 for tree schedule
Refer to Arborist Report Dated May 13, 2015 for complete tree inventory.

- (2) Quercus palustris / Pin Oak
- (2) Washingtonia robusta / Fan Palm

Mulch

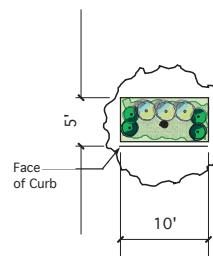
Mulch all ground cover and planter areas with 3" minimum layer 'walk-on' bark. Areas adjacent to building entries may receive decorative gravel mulch for accent.

Note:

All plant materials proposed are selected appropriately according to suitability to the climatic, geologic and topographical conditions of the site. Plant selection emphasizes the use of drought tolerant and water conserving plants

LOW WATER USE LANDSCAPE
total sf 4,686

MED WATER USE LANDSCAPE
total sf 1,851



Parkway Planter with Trees & Shrubs

As required by Public Works Division and El Camino Precise Plan, tree wells are a minimum 10'x5'. Planter landscaping shall be drought tolerant and hardy species. Planting shall be no more than 3 feet high, including but not limited to species such as carpet rose, coprosma and rosemary. Proposed Street Tree is Scarlet Oak, consistent with the El Camino Precise Plan. New trees shall be placed at 30ft spacing to create a continuous canopy. Refer to civil plan for curb, gutter and sidewalk improvements.



Shrub Planting to provide screening of adjacent property, typical.

Relocate (2) mature Fan Palms to this location.
See L-4 for existing location.

Plants shall screen the backflow device and transformer
See civil plans for location

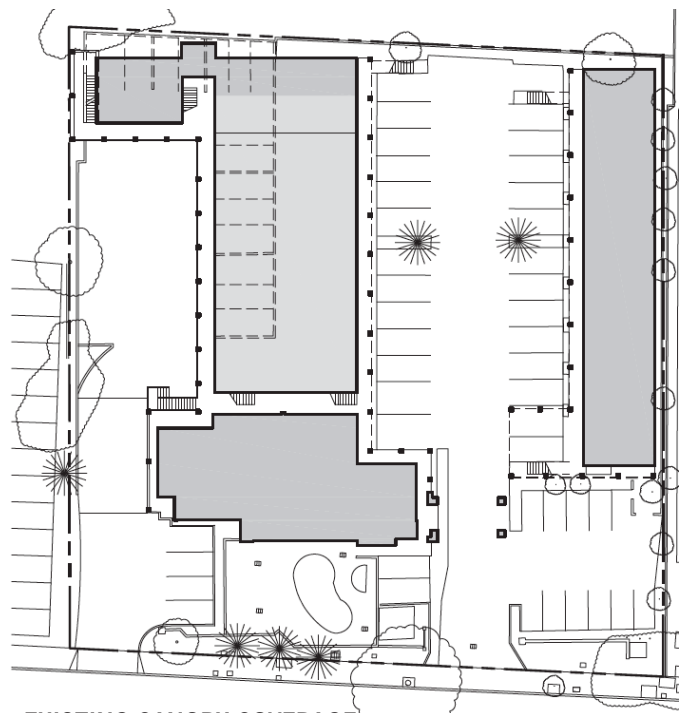
(2) Existing Pin Oaks ("Heritage" Trees) on El Camino Real to be retained



North

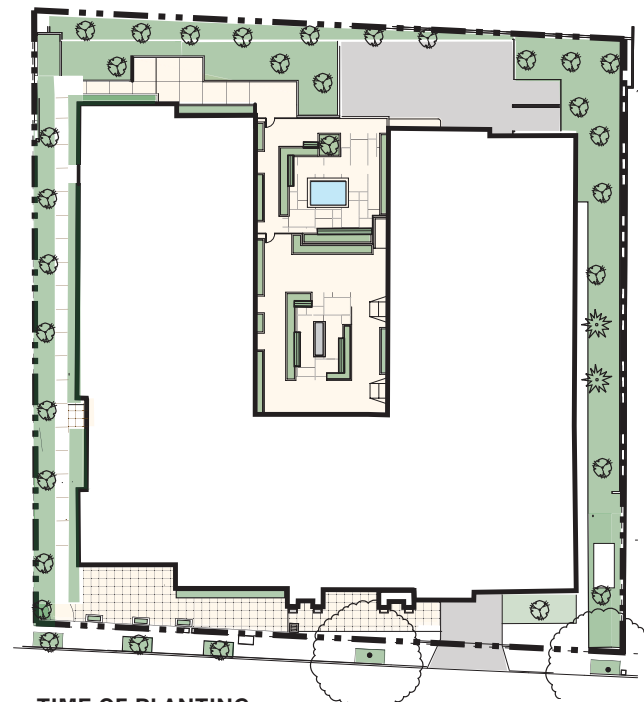
Scale: 1" = 20'-0"





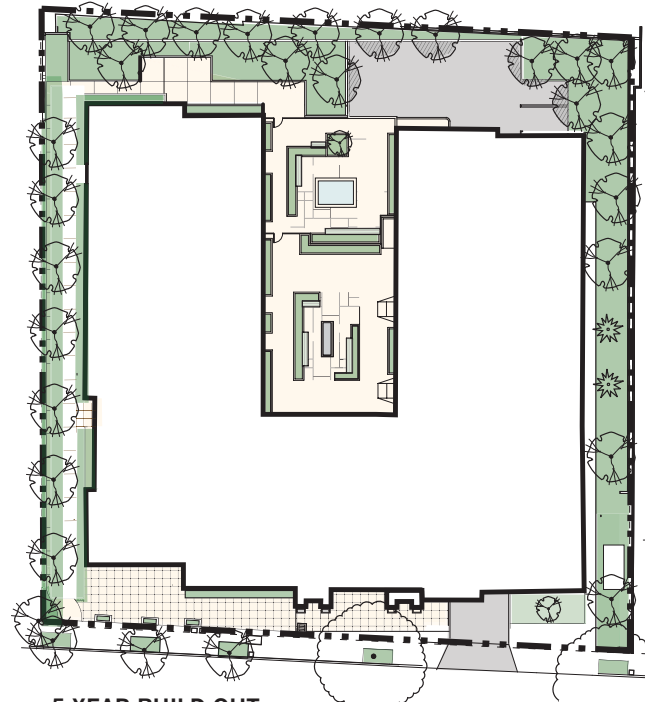
EXISTING CANOPY COVERAGE

GRAPHIC SCALE: @24x36 SHEET SIZE 1" = 30'-0"
 30' 15' 0 30' 60' 90'



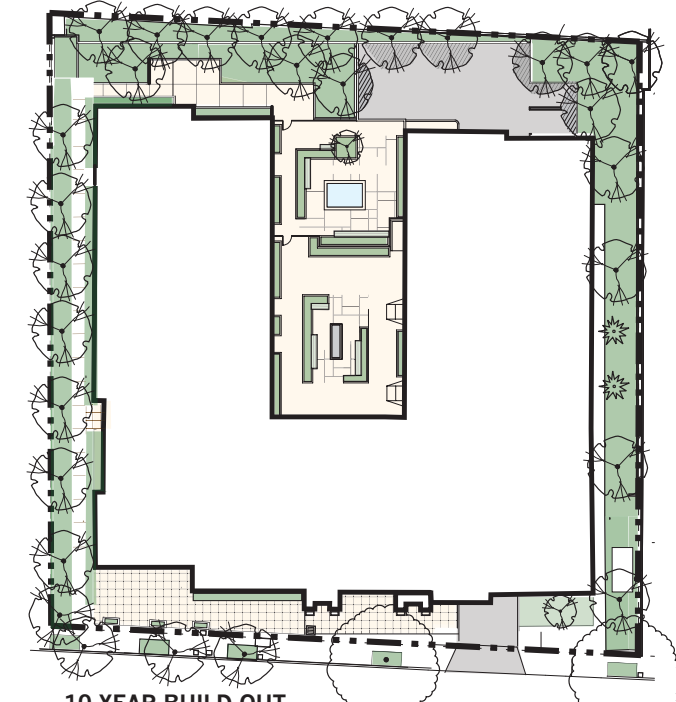
TIME OF PLANTING

1" = 30'-0" SCALE @



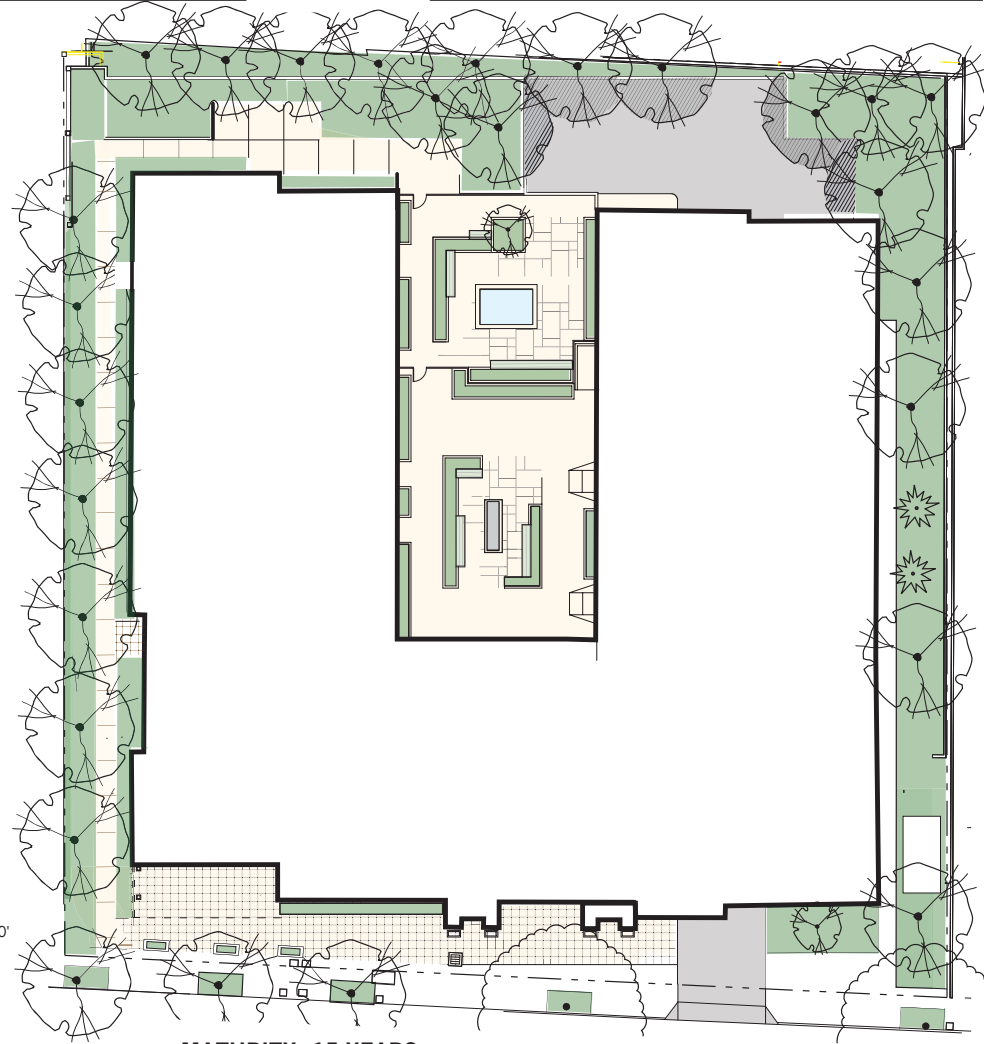
5 YEAR BUILD OUT

1" = 30'-0" SCALE @



10 YEAR BUILD OUT

1" = 30'-0" SCALE @







MATURITY- 15 YEARS

1" = 20'-0" SCALE @24x36

Scale: @24x36 SHEET SIZE 1" = 20'-0"
 10' 5' 0 20' 30' 40'

CANOPY COVERAGE STUDY LEGEND

-  EXISTING CANOPY TO REMAIN
-  PROPOSED CANOPY
-  PARKING LOT AREA CANOPY COVERAGE
-  PARKING LOT AREA - 1,880 SF

The proposed canopy will cover 36% of the uncovered parking lot at maturity.

PARKING LOT CANOPY PERCENTAGE TABLE

	Existing *	Time of Planting	5 Year	10 Year	Maturity
TOTAL SF OF PARKING COVERED BY TREE CANOPY	212	15	300	490	680
TOTAL %	1%	1%	15%	26%	36%

* Existing parking lot configuration is approx. 17,500 s.f.



Kafir Lili



Purple Fountain Grass



Stonecrop



'Pacific Mist' Manzanita



Crepe Myrtle



Glossy Abelia



Carpet Rose

Ceanothus



Hens and Chicks



Fraser's Photinia



Oriental Fountain Grass



Red Clusterberry Cotoneaster



Castiron Plant



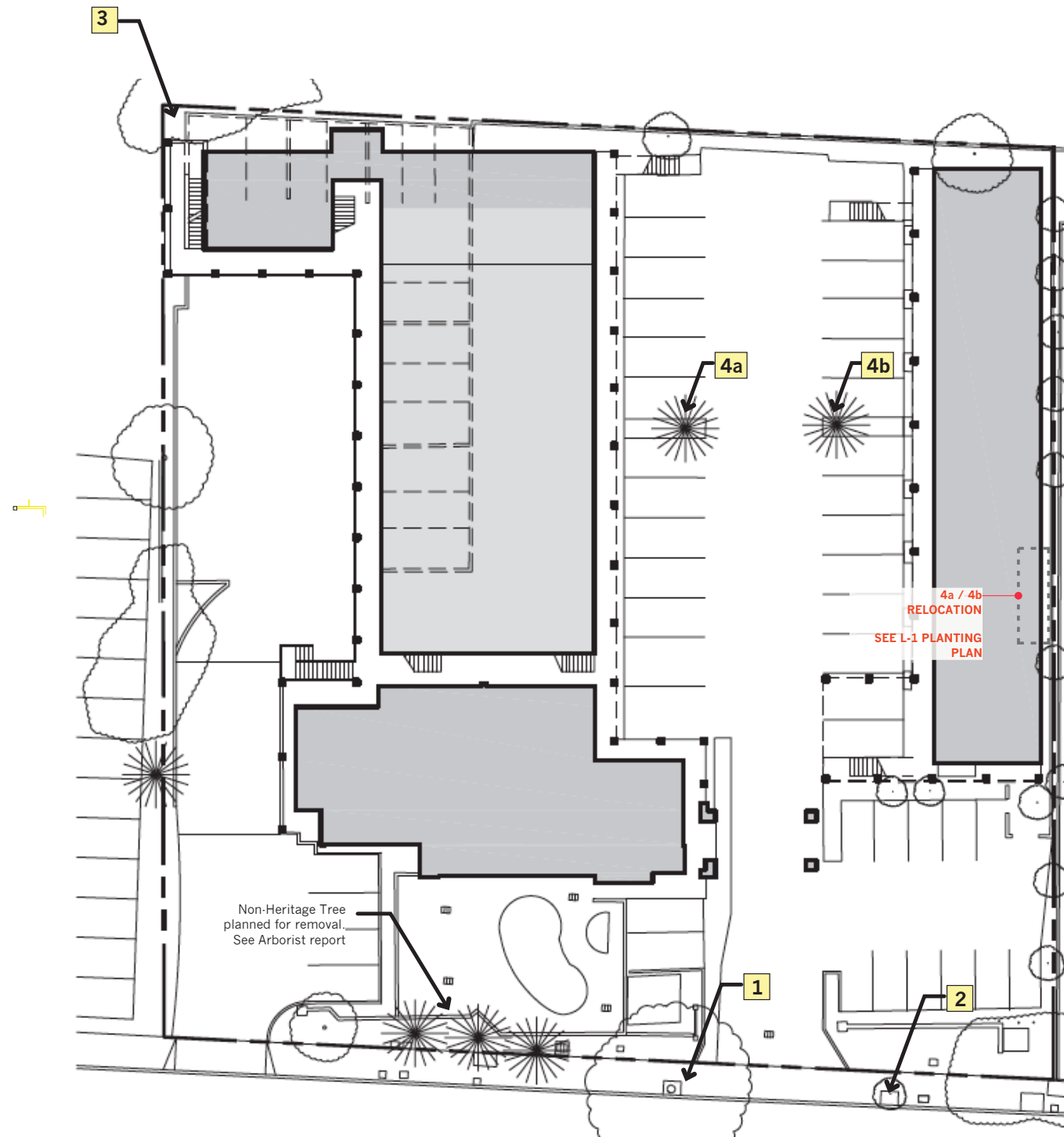
Goldenrain Tree



Chinese Evergreen Elm



London Plane Tree



SITE PLAN- EXISTING CONFIGURATION

HERITAGE TREE LEGEND

Botanical / Common Name	Retain, Remove or Relocate
1 Quercus Palustris/ Pin Oak	Retain
2 Quercus Palustris/ Pin Oak	Retain
3 Ulmus Parvifolia / Chinese Elm	Remove
4a Washington Robusta/ Fan Palm	Relocate
4b Washington Robusta/ Fan Palm	Relocate

EXISTING # TREES ON SITE: 26
 EXISTING # HERITAGE TREES: 5
 NON-HERITAGE TREES: 21

TREES PROPOSED FOR REMOVAL: 22
 HERITAGE TREES PLANNED FOR REMOVAL: 1 (safety concern)

Refer to Arborist Report Dated May 13, 2015 for complete tree inventory, descriptions, tree protection guidelines and restrictions.

Per arborist report (pg.3), all other trees on the property not labeled 1 through 4 are planned for removal as they are not of a size protected under City ordinance. Approximately 23 new trees are proposed as part of schematic landscape plan.

See L-1 for new location of Fan Palms near East side of hotel.