

EGRESS ANALYSIS

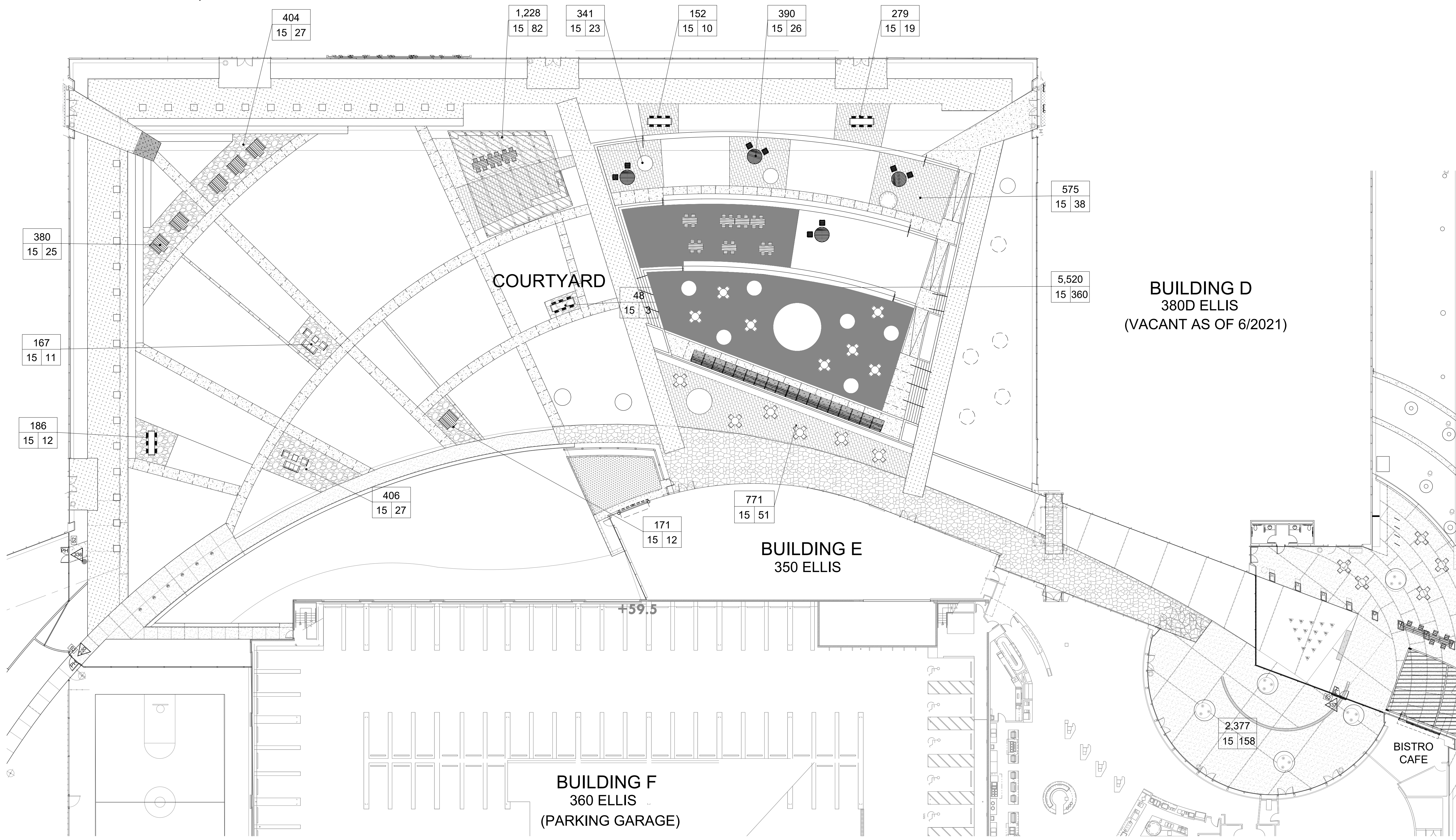
COURTYARD OCCUPANCY
TOTAL AREA (NET)
TOTAL OCCUPANTS

13,395 SF
893

EXIT DOOR WIDTH
893 OCC X 0.2 = 178.6" REQUIRED
(1 EXIT DOORS 44") + (3 EXIT DOOR 68") = 180" PROVIDED
180" PROVIDED > 178.6" REQUIRED = OK

OCCUPANCY CALCULATIONS

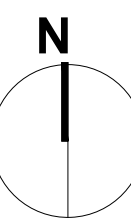
AREA TYPE	AREA (SF)	LOAD FACTOR (SF/PERSON)	# OF OCCUPANTS
COURTYARD (NET)	13,395	15	893
TOTAL	13,395		893



LEGEND

- 1,000' ROOM AREA
- 100' 10" # OF OCCUPANTS
- OCCUPANT LOAD FACTOR
- INDICATES POINT OF EGRESS
- # OF OCCUPANTS
- SIGNAGE TYPE, SEE DET. 11/G3.1
- INDICATED PANIC HARDWARE

1 COURTYARD EGRESS PLAN
1" = 20'-0"



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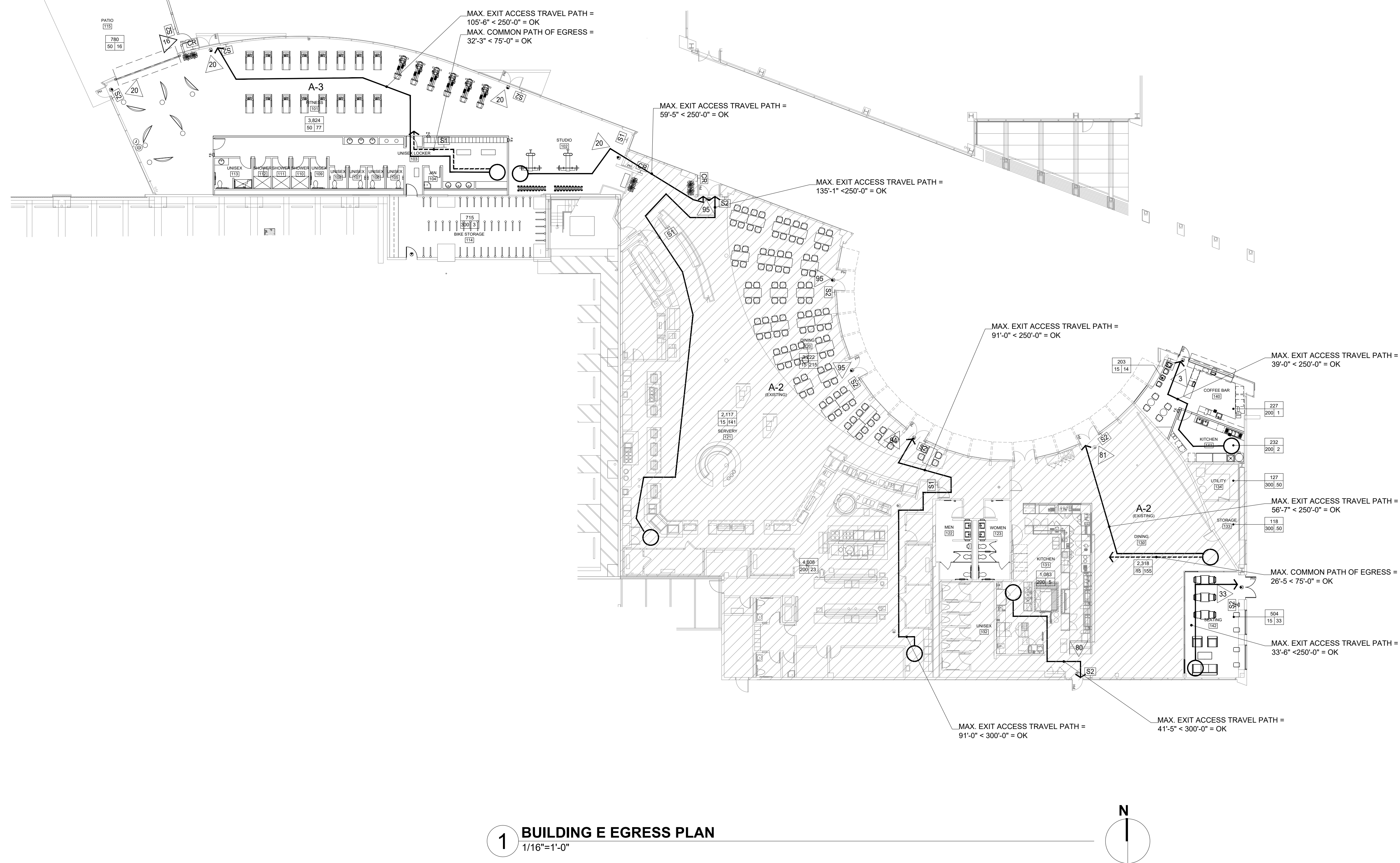
City

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Sheet Title
COURTYARD EGRESS PLAN

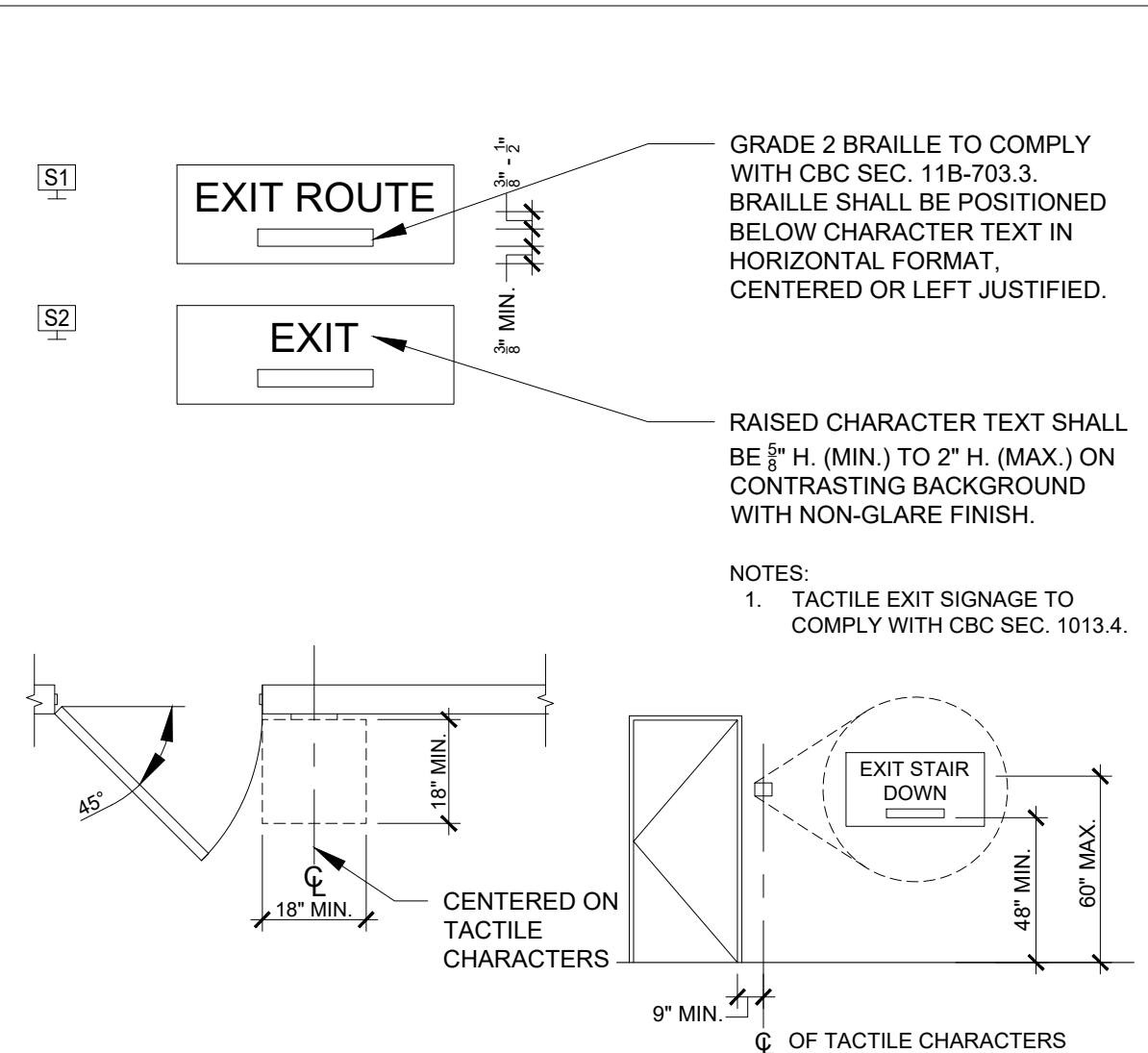
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LEGEND

- 1,000 ROOM AREA
- 1000 10 # OF OCCUPANTS
- OCCUPANT LOAD FACTOR
- INDICATES POINT OF EGRESS
- # OF OCCUPANTS
- INDICATES CARD READER
- SIGNAGE TYPE, SEE DET. 1/G2.1
- INDICATED PANIC HARDWARE
- SURFACE MOUNTED FIRE EXTINGUISHER
- SEMI-RECESSED FIRE EXTINGUISHER AND CABINET, SEE DET. 3/G3.1
- EXIT ACCESS TRAVEL PATH
- COMMON PATH OF EGRESS TRAVEL
- HATCHING INDICATES FIRE-RATED PARTITION
- EXISTING FIRE-RATED PARTITION
- NOT IN SCOPE

BUILDING E SQUARE FOOTAGE BY USE

USE	AREA (SF)
FITNESS	5,947
CAFETERIA	10,431
UNION 82	4,175
CAFE BISTRO	1,164
TOTAL	21,717

EGRESS ANALYSIS

FIRST FLOOR OCCUPANCY
TOTAL AREA 22,980 SF
TOTAL OCCUPANTS 670

EXIT DOOR WIDTH
670 OCC X 0.2 = 134" REQUIRED
(8 EXIT DOORS 560") + (3 EXIT DOOR 102") = 662" PROVIDED
662" PROVIDED > 134" REQUIRED = OK

BUILDING ANALYSIS

BUILDING ANALYSIS (MIXED OCCUPANCY, ONE-STORY BUILDING A-2 / B):
NOTE: ENTIRE PARKING GARAGE IS CONSIDERED SEPARATE BUILDING (OCCUPANCY S-2) WITH 4HR SEPARATION
BUILDING CONSTRUCTED AND PREVIOUSLY PERMITTED AS A-2 OCCUPANCY FOR THE BUILDING.
CONSTRUCTION TYPE: V-A
OF STORIES: 1
SPRINKLERED: YES

OCCUPANCY CALCULATIONS

ROOM TYPE	AREA (SF)	LOAD FACTOR (SF/PERSON)	# OF OCCUPANTS
FITNESS	3,824	50	77
CAFETERIA PREP KITCHEN	4,608	200	23
CAFETERIA SERVERY	2,117	15	141
CAFETERIA - DINING	3,222	15	215
UNION 82 PREP KITCHEN	1,083	200	5
UNION 82 DINING	2,318	15	155
RESTROOMS	2,421	150	0
CAFE BISTRO - PREP KITCHEN	459	200	3
CAFE BISTRO DINING	705	15	47
STORAGE	960	300	4
TOTAL	21,717		670
PATIO	780	50	16

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Sheet Title
**BUILDING E
EGRESS PLAN**

Sheet #



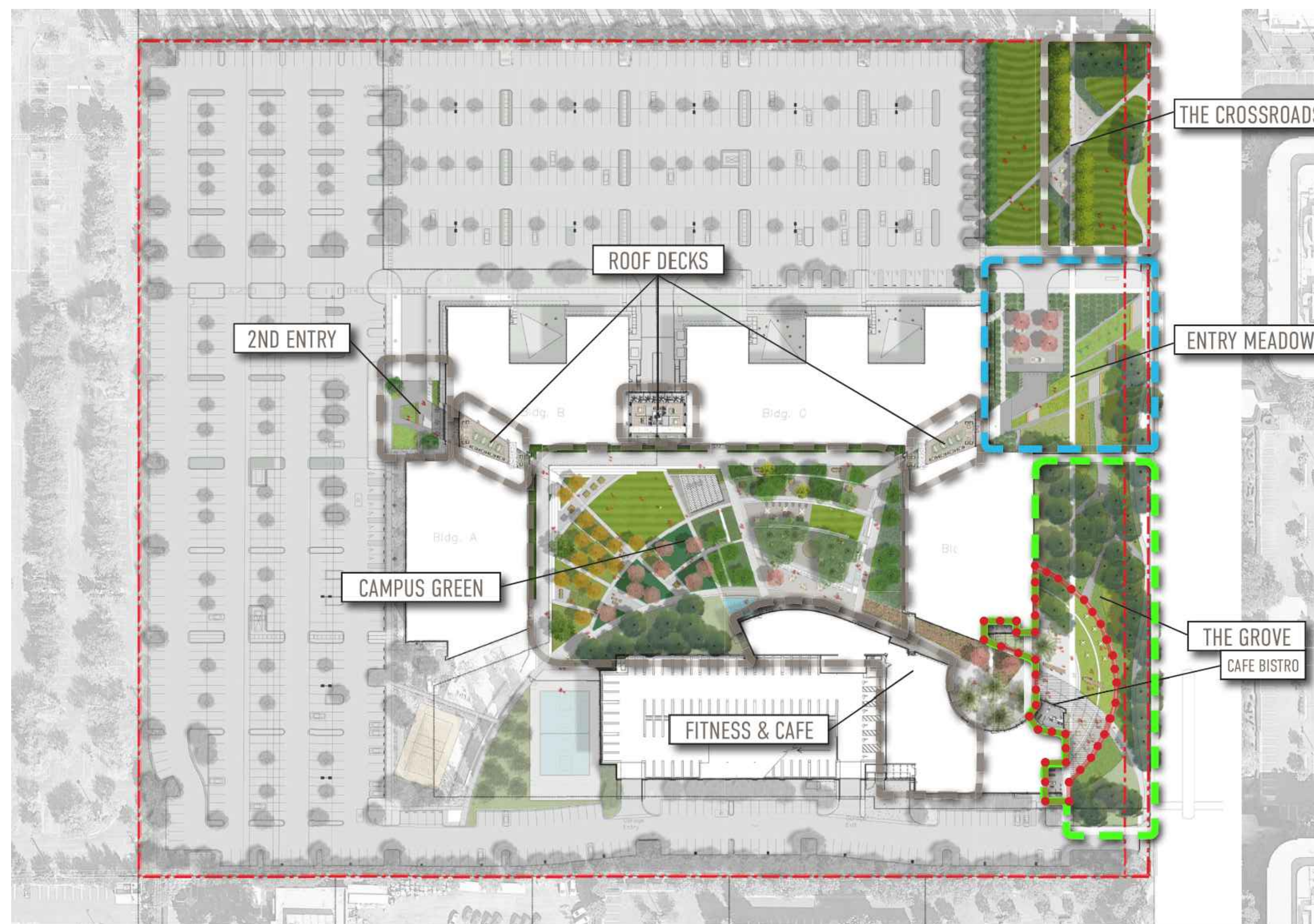
1 EXISTING NEIGHBORHOOD CONTEXT

N.T.S.

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2 PROPOSED PROJECT OVERVIEW
 1/16"=1'-0"

N.T.S.

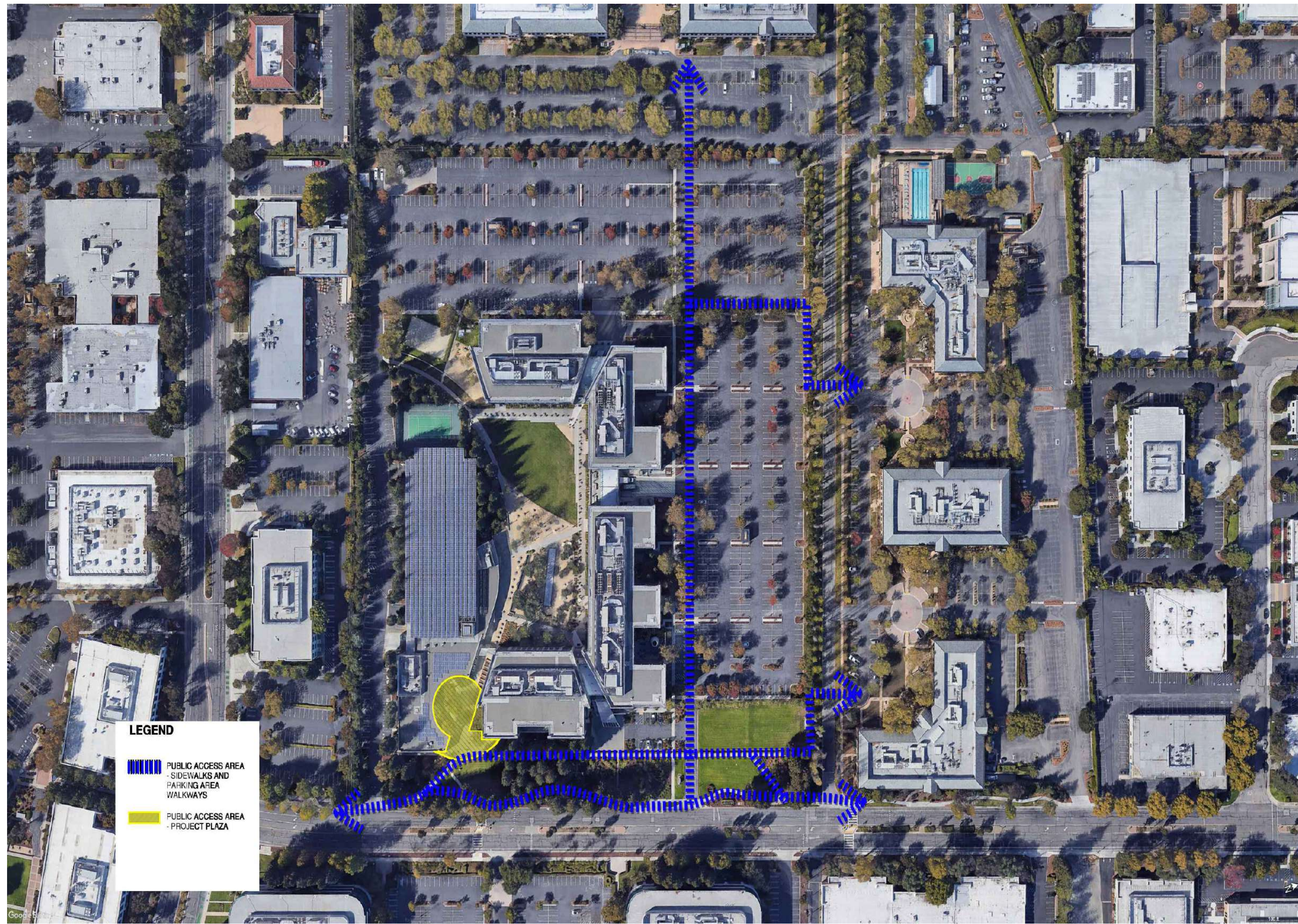
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 EXISTING NEIGHBORHOOD
 CONTEXT AND PROPOSED
 PROJECT OVERVIEW

Sheet #

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1 EXISTING ENTITLEMENT

N.T.S.



2 PROPOSED ENTITLEMENT

N.T.S.

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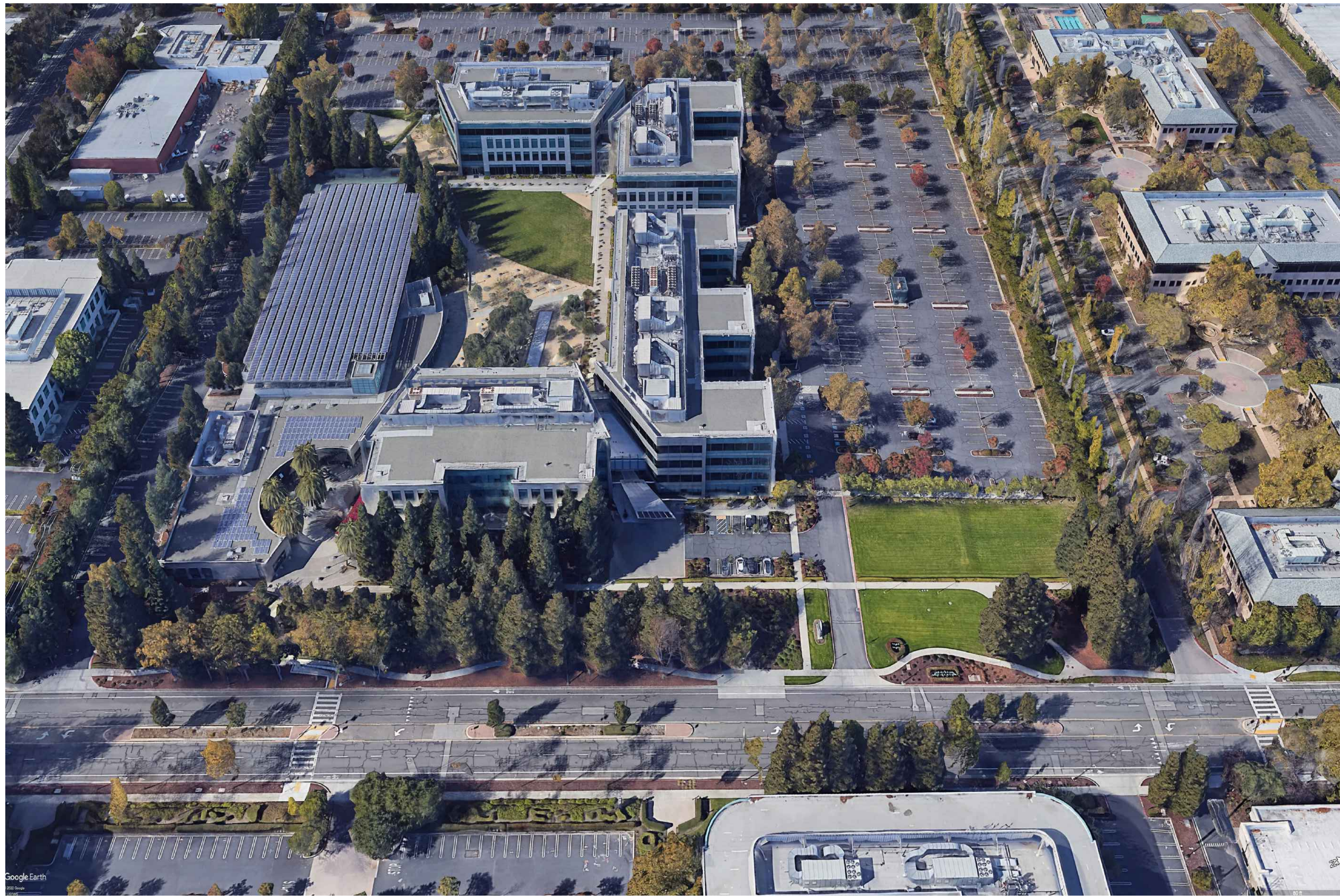
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Sheet Title
EXISTING AND PROPOSED
ENTITLEMENT

Sheet #



1 EXISTING AERIAL OF CAMPUS IMPROVEMENTS

N.T.S.



2 PROPOSED AERIAL OF CAMPUS IMPROVEMENTS

N.T.S.

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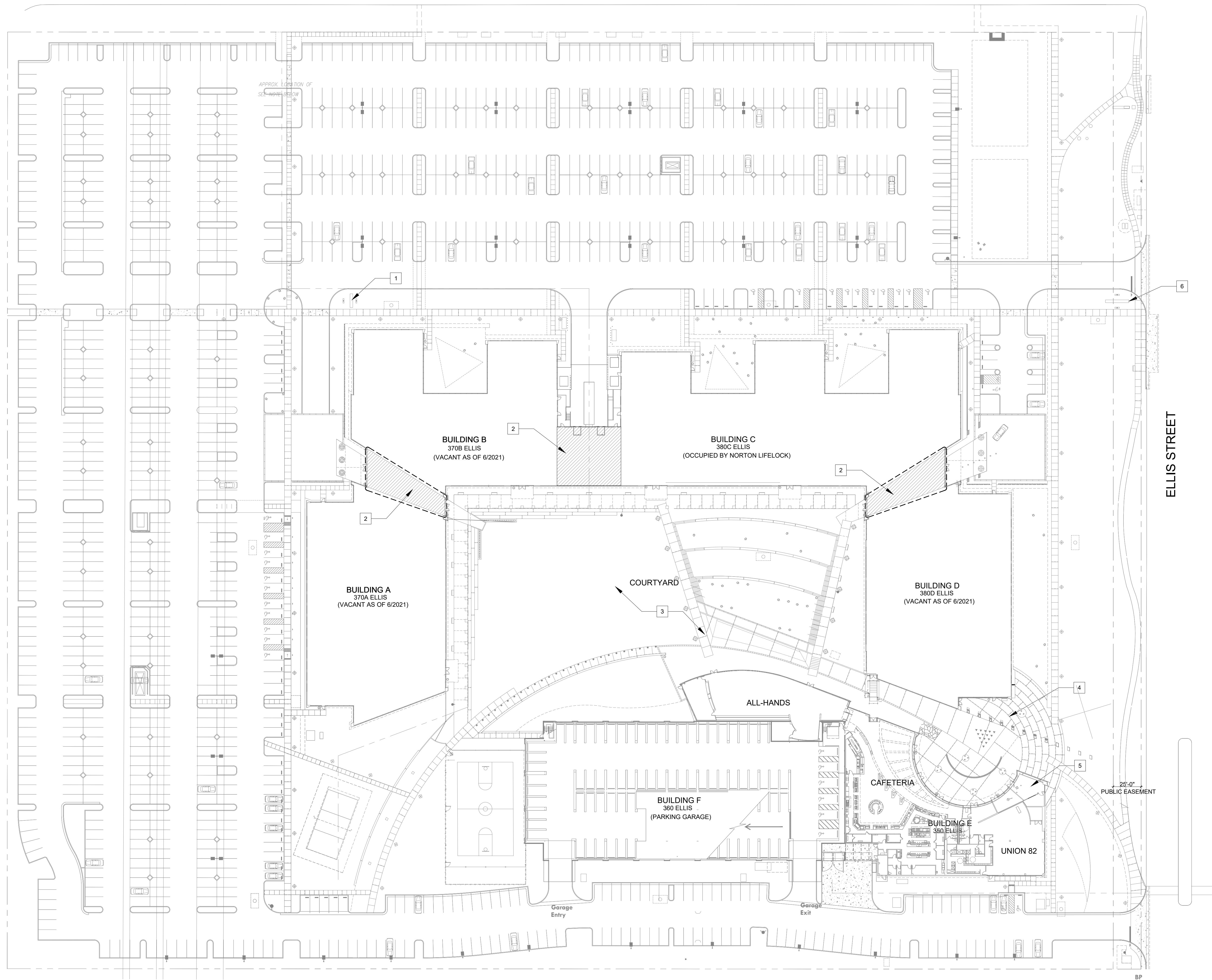
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Sheet Title
EXISTING AND PROPOSED
AERIAL VIEW

Sheet #

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- KEY NOTES**
- 1 EXISTING MONUMENT SIGN LOCATION.
 - 2 EXISTING ROOF DECK.
 - 3 EXISTING QUAD.
 - 4 EXISTING PLAZA.
 - 5 EXISTING TECH STOP OFFICE SPACE.

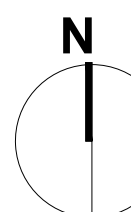
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1 EXISTING SITE PLAN
 1" = 40'-0"

FOR REFERENCE ONLY



LEGEND
 - - - - - PROPERTY LINE

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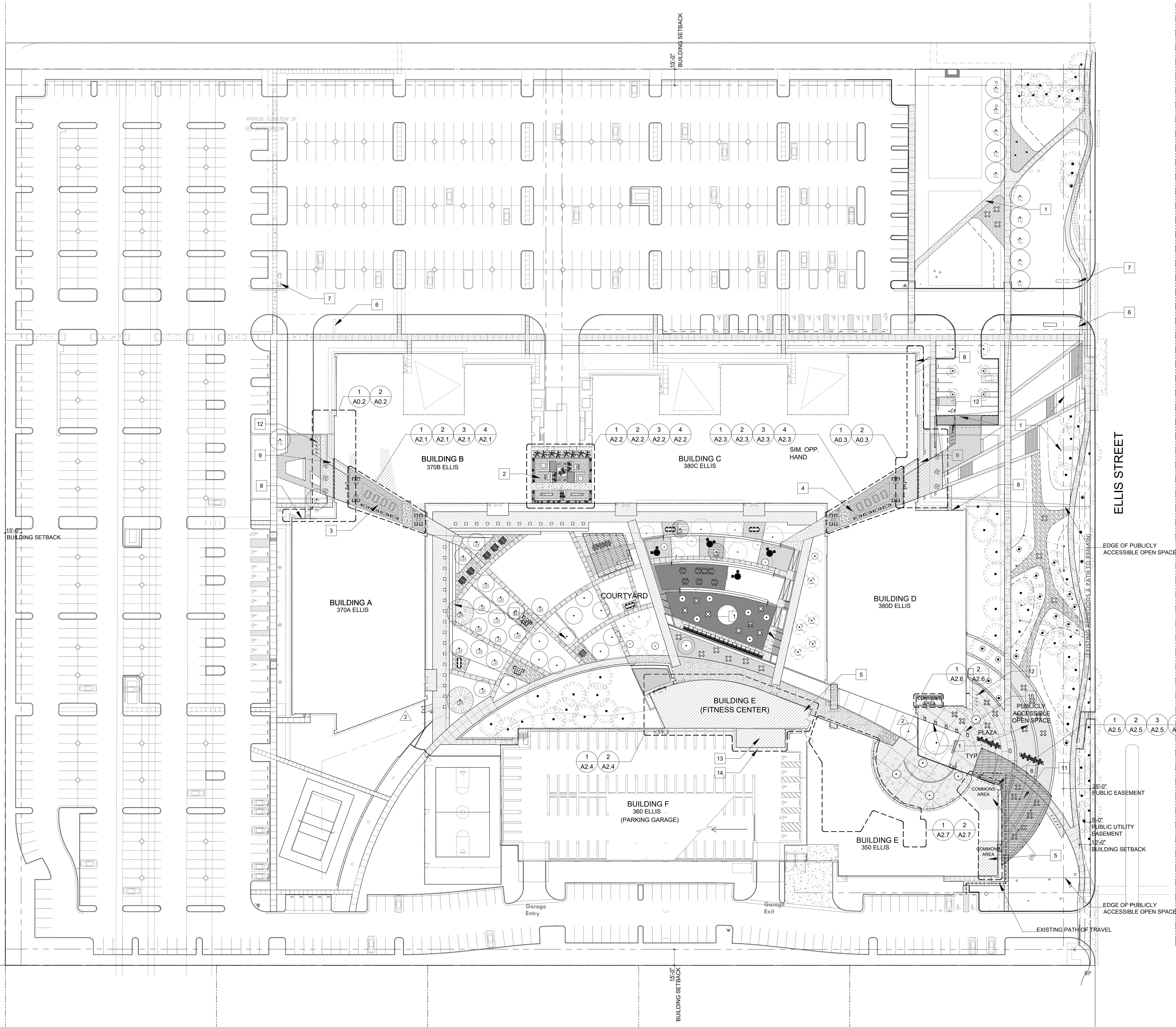
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Sheet Title
EXISTING SITE PLAN

Sheet #

A0.1A

PRELIMINARY -
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SHEET NOTES

- REFER TO SHEET G0.0 FOR GENERAL NOTES.
- CONTRACTOR SHALL IDENTIFY ANY UNDERGROUND UTILITIES WHICH MAY BE EFFECTED BY THE NEW WORK. CONTACT USA (UNDERGROUND SERVICE ALERT) PRIOR TO ANY DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO, PAVING, LANDSCAPING AND IRRIGATION, DAMAGED AS A RESULT OF THE NEW WORK.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR EXTENT OF SITE WORK.

KEY NOTES

- LANDSCAPE IMPROVEMENTS. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- HATCHED AREA INDICATES AREA OF WORK ON THE SECOND FLOOR ROOFTOP CONNECTOR.
- HATCHED AREA INDICATES AREA OF WORK ON THE THIRD FLOOR ROOFTOP CONNECTOR.
- HATCHED AREA INDICATES AREA OF WORK ON THE THIRD FLOOR ROOFTOP CONNECTOR.
- HATCHED AREA INDICATES AREA OF WORK ON THE FIRST FLOOR.
- NEW MONUMENT SIGN LOCATION ON GRADE. FINAL DESIGN AND LOCATION TO BE A SEPARATE PERMIT PACKAGE.
- ALTERNATE MONUMENT SIGN LOCATION ON GRADE. FINAL DESIGN AND LOCATION TO BE A SEPARATE PERMIT PACKAGE.
- NEW BUILDING MOUNTED SIGNAGE. FINAL DESIGN AND LOCATION TO BE A SEPARATE PERMIT PACKAGE.
- NEW BUILDING ENTRY SIGNAGE ON GRADE. FINAL DESIGN AND LOCATION TO BE A SEPARATE PERMIT PACKAGE.
- NEW WOOD SLAT FENCE. WD2 FINISH. SEE LANDSCAPE ARCHITECT DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW TRELLIS. SEE LANDSCAPE ARCHITECT DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW BIKE RACKS, TOTAL OF 34 SPACED. SEE LANDSCAPE ARCHITECT DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW BIKE RACKS IN ENCLOSED ROOM TOTAL OF 45 SPACES. SEE ENLARGED FITNESS CENTER PLANS SHEET A2.4 FOR ADDITIONAL INFORMATION.
- EXISTING BIKE RACKS, TOTAL OF 8 SPACES.

SQUARE FOOTAGE CALCULATIONS

BUILDING:	EXISTING	TO BE MODIFIED
BUILDING A	92,830	350
BUILDING B	82,348	800
BUILDING C	131,508	800
BUILDING D	88,950	350
BUILDING E	22,908	18,595
TOTAL	418,542	20,895
BUILDING F (GARAGE)*	100,006	0
TOTAL INTERIOR SF BEING MODIFIED	-	20,895
TOTAL EXTERIOR SF BEING MODIFIED	-	91,926

F.A.R. CALCULATIONS

- EXISTING F.A.R. IS 0.50; THERE IS NO CHANGE TO THE EXISTING F.A.R.
- * GARAGE GSF IS NOT INCLUDED IN F.A.R.

PARKING CALCULATIONS

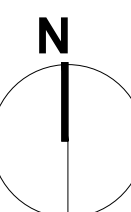
PARKING TYPE	EXISTING	PROPOSED
STANDARD STALL	1,253	1,253
COMPACT STALL	25	25
ACCESSIBLE STALL	26	26
VAN ACCESSIBLE STALL	4	4
EV STANDARD STALL	42	42
EV ACCESSIBLE STALL	2	2
UNION 82 STALLS	4	-
CAFE BISTRO	-	4
AUTOMOBILE TOTALS	1,356	1,356
BICYCLE PARKING	8	87

- THERE IS NO CHANGE TO THE USE OR NUMBER OF PARKING STALLS PROVIDED ON SITE.

LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL

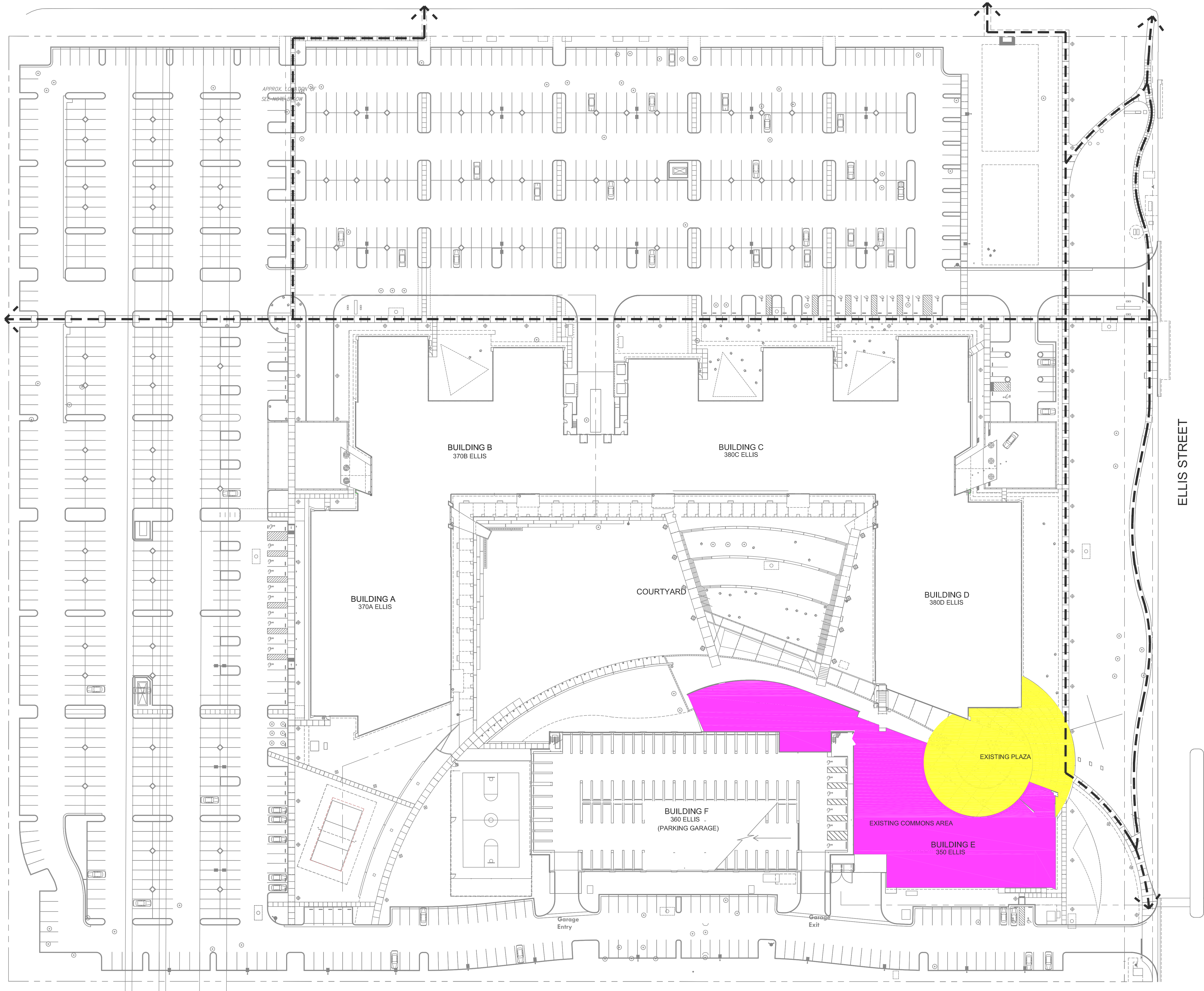
1 PROPOSED SITE PLAN
1" = 40'-0"



PROPOSED
SITE PLAN

Sheet #

A0.1B



ELLIS STREET

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LEGEND

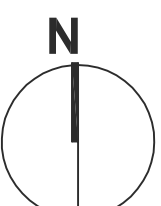
- PROPERTY LINE
- PREVIOUS PLAZA - EXTERIOR
- △ PREVIOUS COMMONS AREA - INTERIOR
- - - PEDESTRIAN WALKWAYS - EXTERIOR

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Sheet Title
 EXISTING SITE PLAN
 OVERLAY

Sheet #

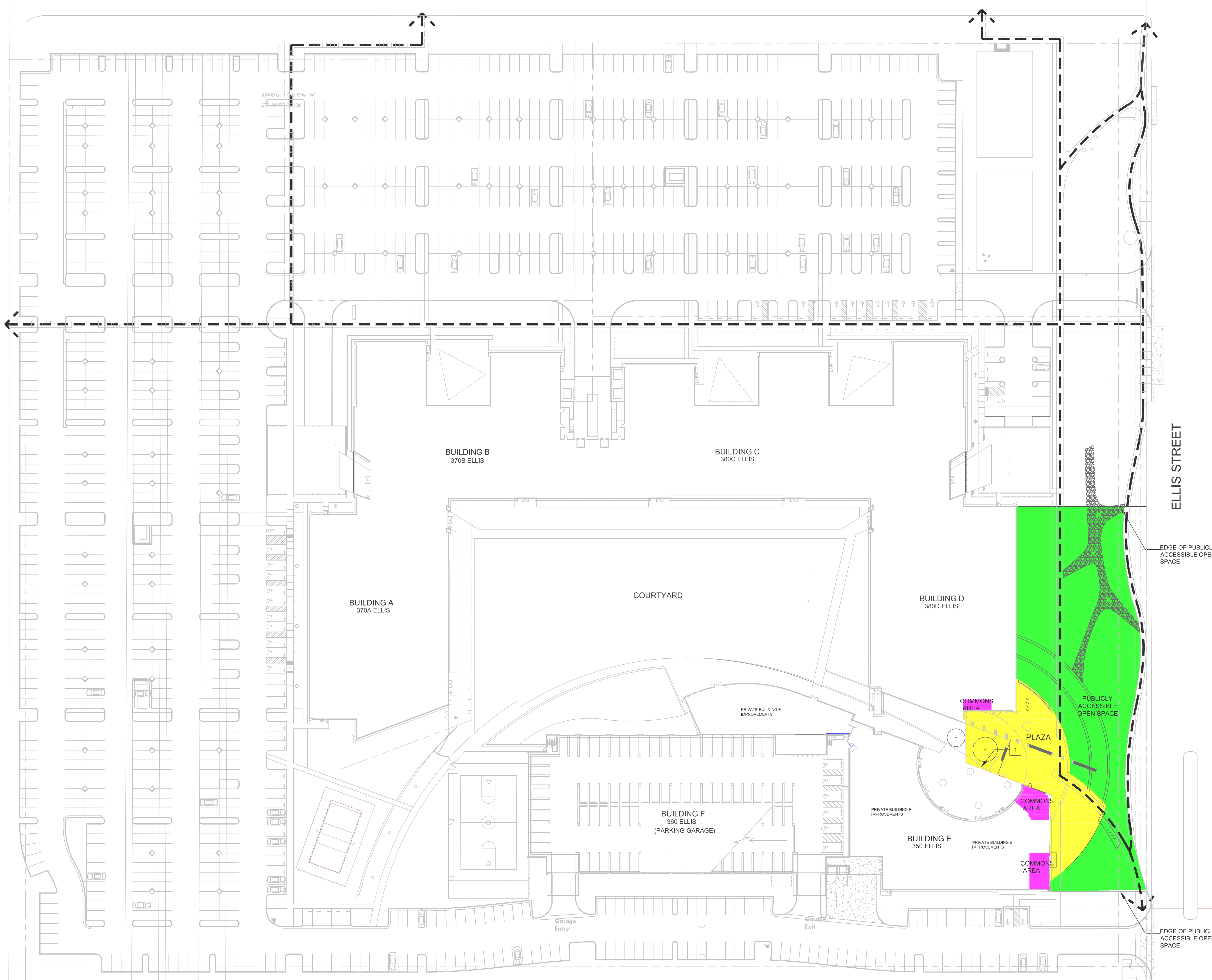
1 EXISTING SITE PLAN
 1" = 40'-0"



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KEY NOTES

- 1 NEW SECURITY FENCE

PUBLICLY ACCESSIBLE AREAS - SQUARE FOOTAGE TOTALS

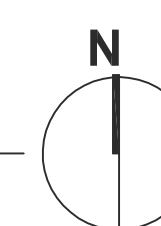
		PREVIOUS COMMONS AREA AND PLAZA*	PROPOSED COMMONS AREA, PLAZA & PUBLICLY ACCESSIBLE OPEN SPACE**
COMMONS AREA	INTERIOR	22,908	1,471
PLAZA	EXTERIOR	10,942	8,933
PUBLICLY ACCESSIBLE OPEN SPACE	EXTERIOR		26,091
TOTALS		33,850	36,495

* (CONDITION OF APPROVAL(COA) 8 FROM DECEMBER 30, 1999 CITY OF MOUNTAIN VIEW FINDINGS REPORT / ZONING PERMIT)
** CONDITION OF APPROVAL 14 & 15 FROM 2022 CITY OF MOUNTAIN VIEW ZONING PERMIT (PL-2022-147)

LEGEND

- PROPERTY LINE
- PROPOSED PLAZA - EXTERIOR
- PROPOSED COMMONS AREA - INTERIOR
- PUBLICLY ACCESSIBLE OPEN SPACE - EXTERIOR
- PEDESTRIAN WALKWAYS & PEDESTRIAN CONNECTIONS - EXTERIOR (UNCHANGED)

1 PROPOSED SITE PLAN - OVERLAY
1" = 40'-0"



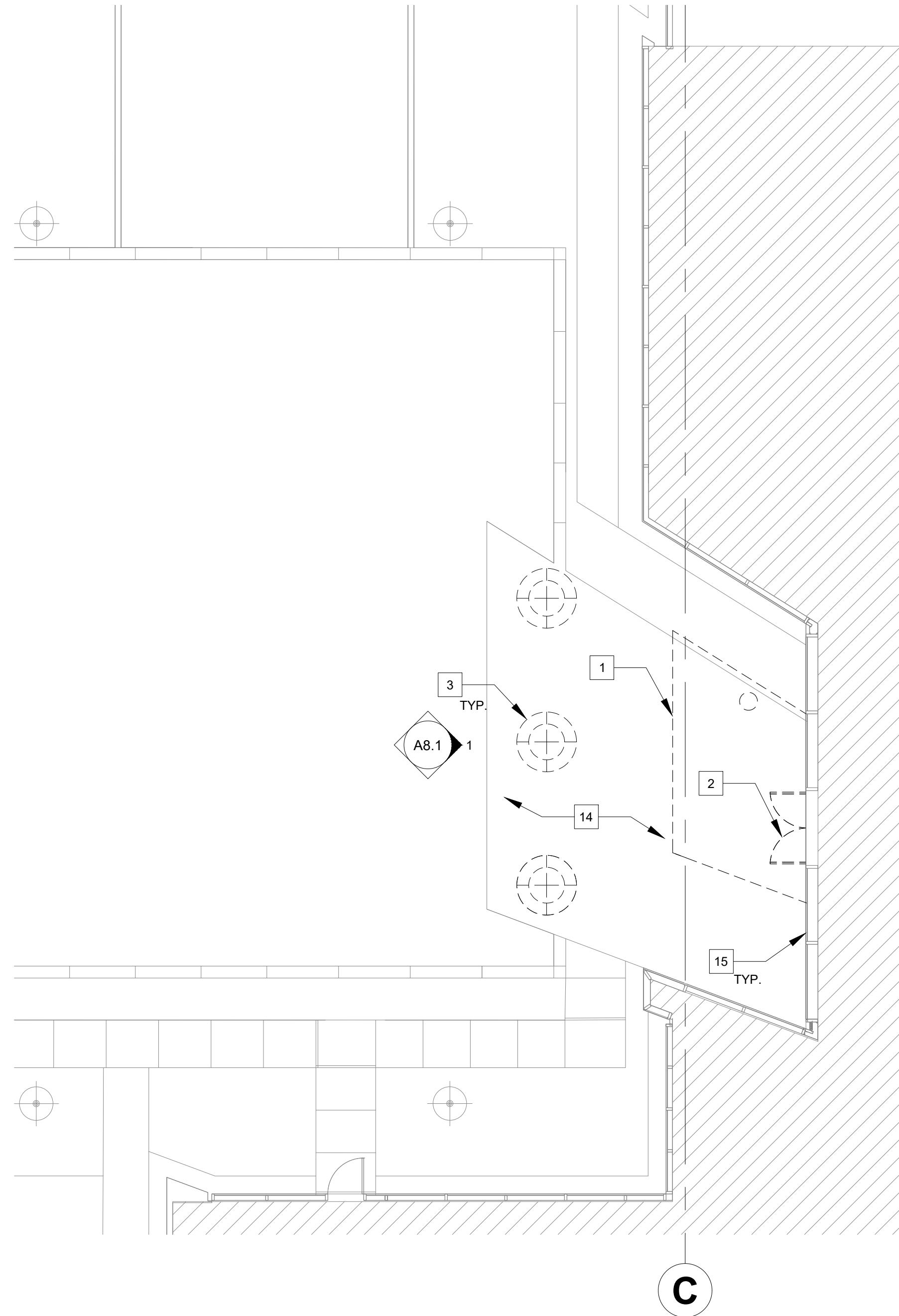
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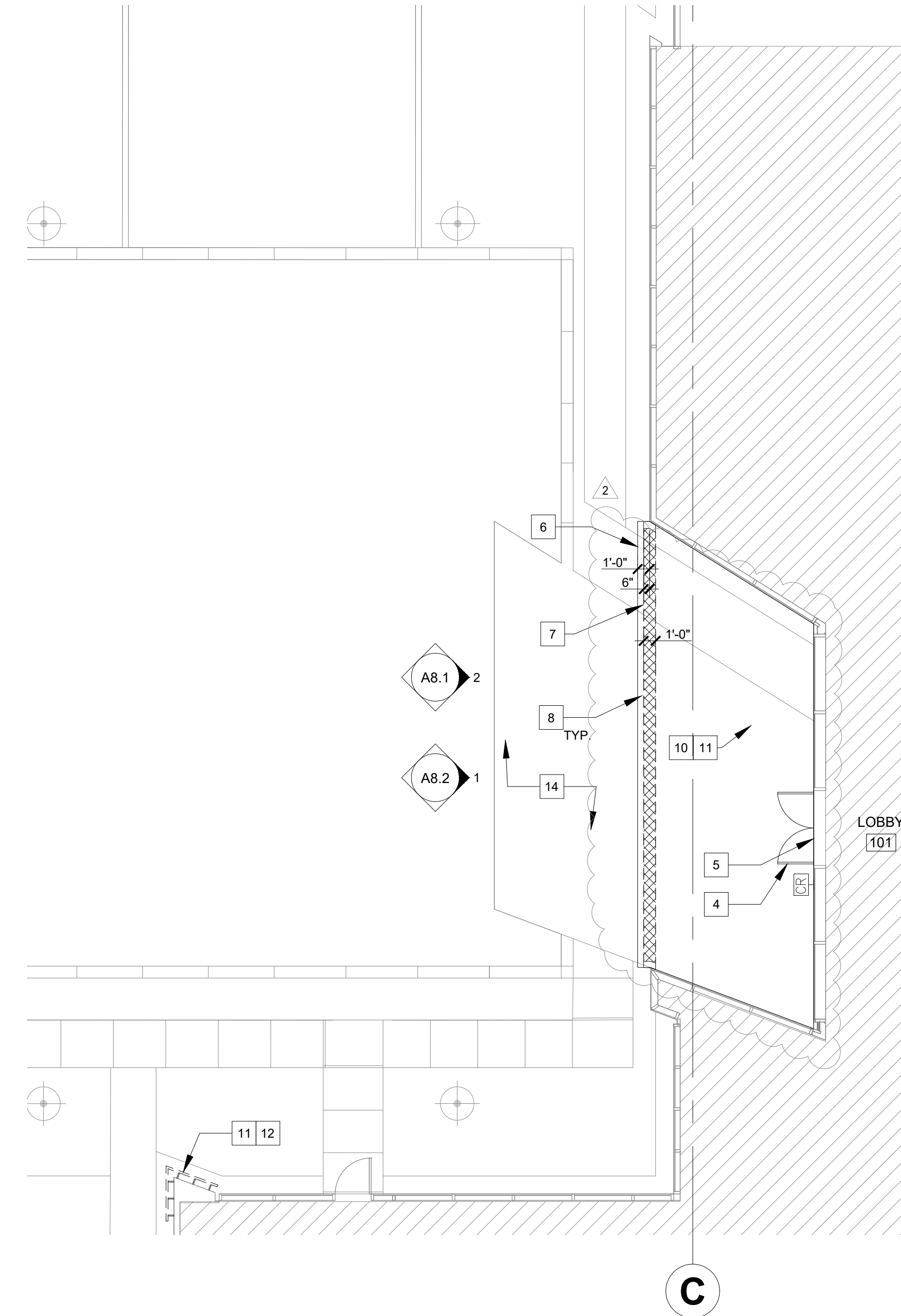
Sheet Title
PROPOSED SITE PLAN OVERLAY

Sheet #

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1 DEMOLITION ENLARGED SITE PLAN @ BUILDING A/B EXTERIOR
1/8"=1'-0"



2 PROPOSED ENLARGED SITE PLAN @ BUILDING A/B EXTERIOR
1/8"=1'-0"

SHEET NOTES

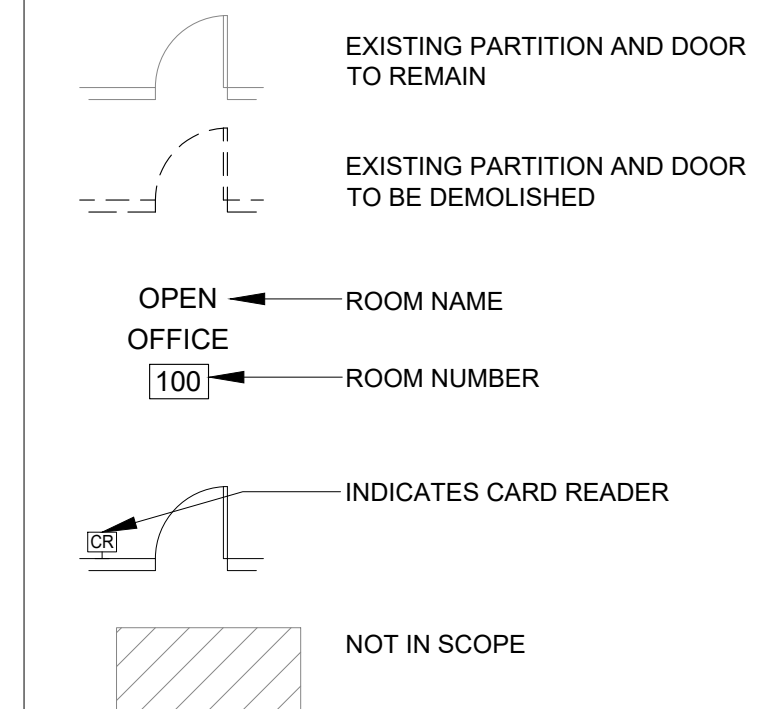
- REFER TO SHEET G0.0 FOR GENERAL NOTES.
- PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION WORK.
- ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL IDENTIFY ANY UNDERGROUND UTILITIES WHICH MAY BE AFFECTED BY THE NEW WORK. CONTACT USA (UNDERGROUND SERVICE ALERT) PRIOR TO ANY DIGGINGS.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO, PAVING, LANDSCAPING AND IRRIGATION, DAMAGED AS A RESULT OF THE NEW WORK.

KEY NOTES

- REMOVE EXISTING MONUMENT SIGN, CANOPY AND STRUCTURE.
- REMOVE EXISTING STOREFRONT GLAZING ENTRY DOOR SYSTEM, THRESHOLD AND TRANSOM PANEL ABOVE. PREPARE OPENING FOR NEW FULL HEIGHT DOOR SYSTEM.
- REMOVE EXISTING CONCRETE PLANTERS.
- NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH. PROVIDE PANIC HARDWARE AND CARD READER ACCESS.
- NEW ALUMINUM THRESHOLD AT DOOR.
- NEW EYEBROW SOFFIT (SHOWN DASHED); STEEL FRAMING CLAD WITH METAL PANEL (AEP SPAN PRESTIGE SERIES FLAT PANEL OR SIM). OVERALL BOXED SOFFIT TO BE 37'-4" W. X 60" H. X 12" D.
- NEW VISTAFOLIA ARTIFICIAL GREEN WALL SYSTEM (SHOWN CROSS-HATCHED). OVERALL 36'-0" W. AND 60" H. X 10" D. BY HABITAT HORTICULTURE. ARTIFICIAL GREEN WALL SYSTEM TO BE INSET INTO EYEBROW SOFFIT.
- PROVIDE CONCEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION. NOT USED.
- NEW 37'-4" W. X 10" H. X 14'-2" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT ENTRY (SHOWN DASHED); ROOF PANEL- ALUMINUM PANEL/DECKING TO ENCLOSE THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES. CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR T.B.D. CONTACT HANNA AT VISIBLE INNOVATIONS (408)350-7000.
- PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.
- FUTURE WALL FIN SIGN UNDER SEPARATE MASTER SIGNAGE PACKAGE.
- NOT USED.
- SEE LANDSCAPING PLANS FOR HARDSCAPE SCOPE OF WORK.
- EXISTING STOREFRONT TO REMAIN.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)



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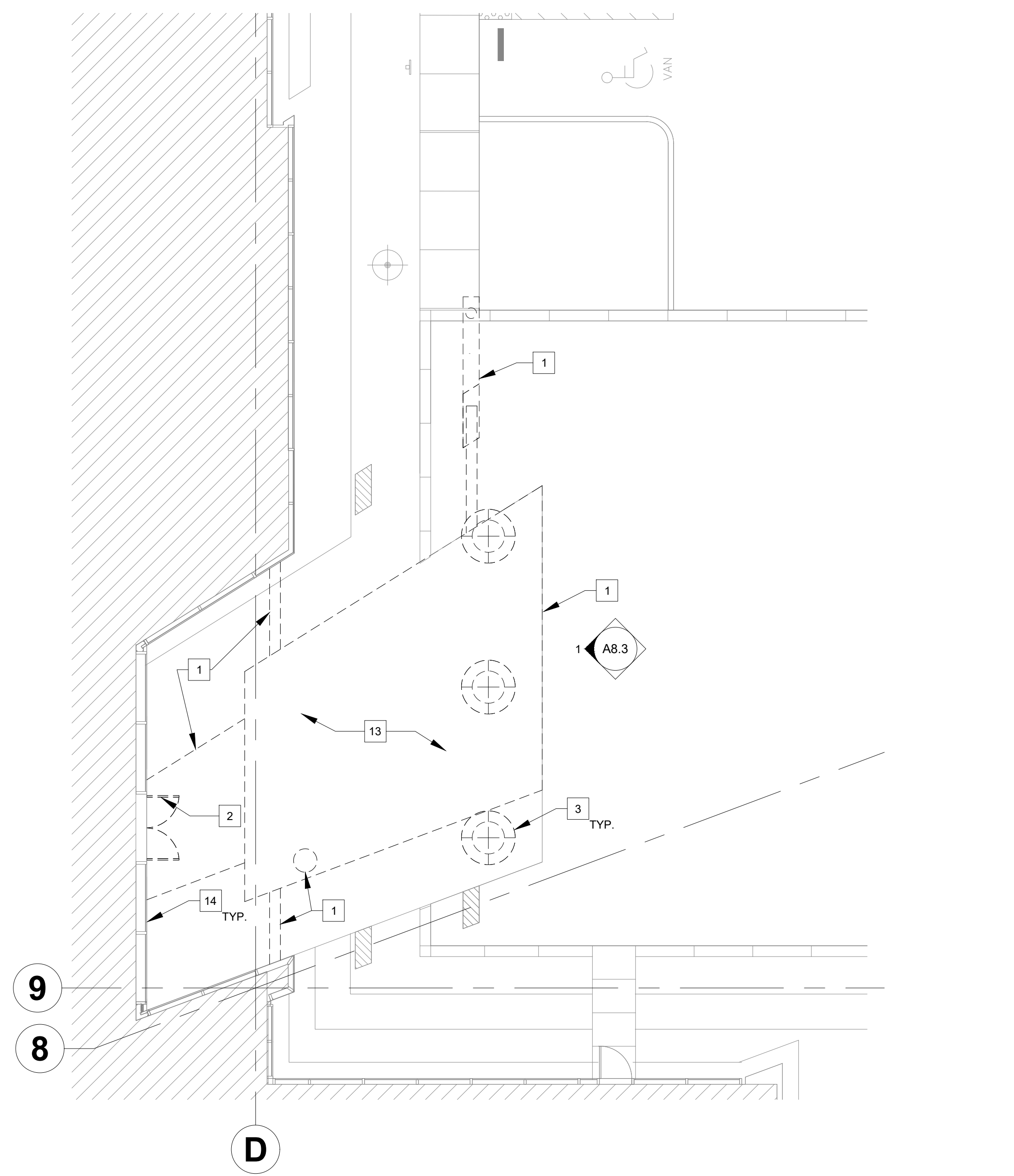
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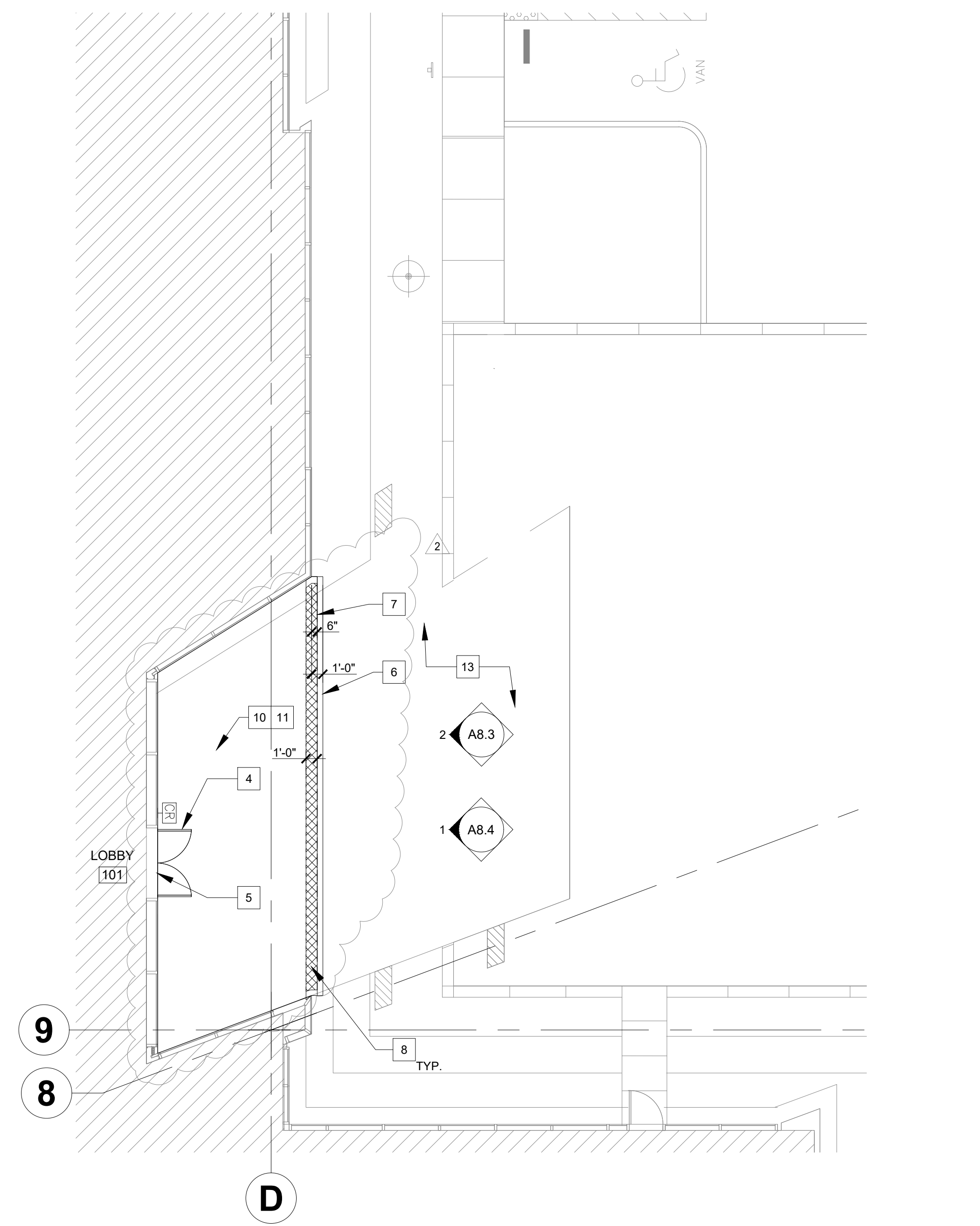
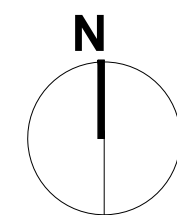
Sheet Title
**BUILDINGS A/B MAIN LOBBY-
DEMOLITION AND PROPOSED
ENLARGED SITE PLANS**

Sheet #

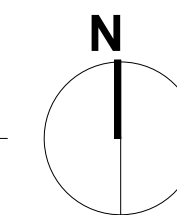
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1 DEMOLITION ENLARGED SITE PLAN @ BUILDING C/D EXTERIOR
1/8"=1'-0"



2 PROPOSED ENLARGED SITE PLAN @ BUILDING C/D EXTERIOR
1/8"=1'-0"



SHEET NOTES

- REFER TO SHEET G0.0 FOR GENERAL NOTES.
- PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION WORK.
- ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL IDENTIFY ANY UNDERGROUND UTILITIES WHICH MAY BE AFFECTED BY THE NEW WORK. CONTACT USA (UNDERGROUND SERVICE ALERT) PRIOR TO ANY DIGGINGS.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO, PAVING, LANDSCAPING AND IRRIGATION, DAMAGED AS A RESULT OF THE NEW WORK.

KEY NOTES

- REMOVE EXISTING MONUMENT SIGN, POST, BEAMS, CANOPY AND STRUCTURE.
- REMOVE EXISTING STOREFRONT GLAZING ENTRY DOOR SYSTEM, THRESHOLD AND TRANSOM PANEL ABOVE. PREPARE OPENING FOR NEW FULL HEIGHT DOOR SYSTEM.
- REMOVE EXISTING CONCRETE PLANTERS.
- NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH. PROVIDE PANIC HARDWARE AND CARD READER ACCESS.
- NEW ALUMINUM THRESHOLD AT DOOR.
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- PROVIDE CONCEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION.
- NOT USED.
- NEW 37'-4" W. X 10" H. X 14'-2" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT ENTRY (SHOWN DASHED); ROOF PANEL: ALUMINUM PANEL/DECKING TO ENCLOSE THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES. CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR T.B.D. CONTACT HANNA AT VISIBLE INNOVATIONS (408)350-7000.
- PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.
- NOT USED.
- SEE LANDSCAPING PLANS FOR HARDSCAPE SCOPE OF WORK.
- EXISTING STOREFRONT TO REMAIN.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- EXISTING PARTITION AND DOOR TO REMAIN
- EXISTING PARTITION AND DOOR TO BE DEMOLISHED
- OPEN → ROOM NAME
- OFFICE → ROOM NUMBER
- INDICATES CARD READER
- NOT IN SCOPE

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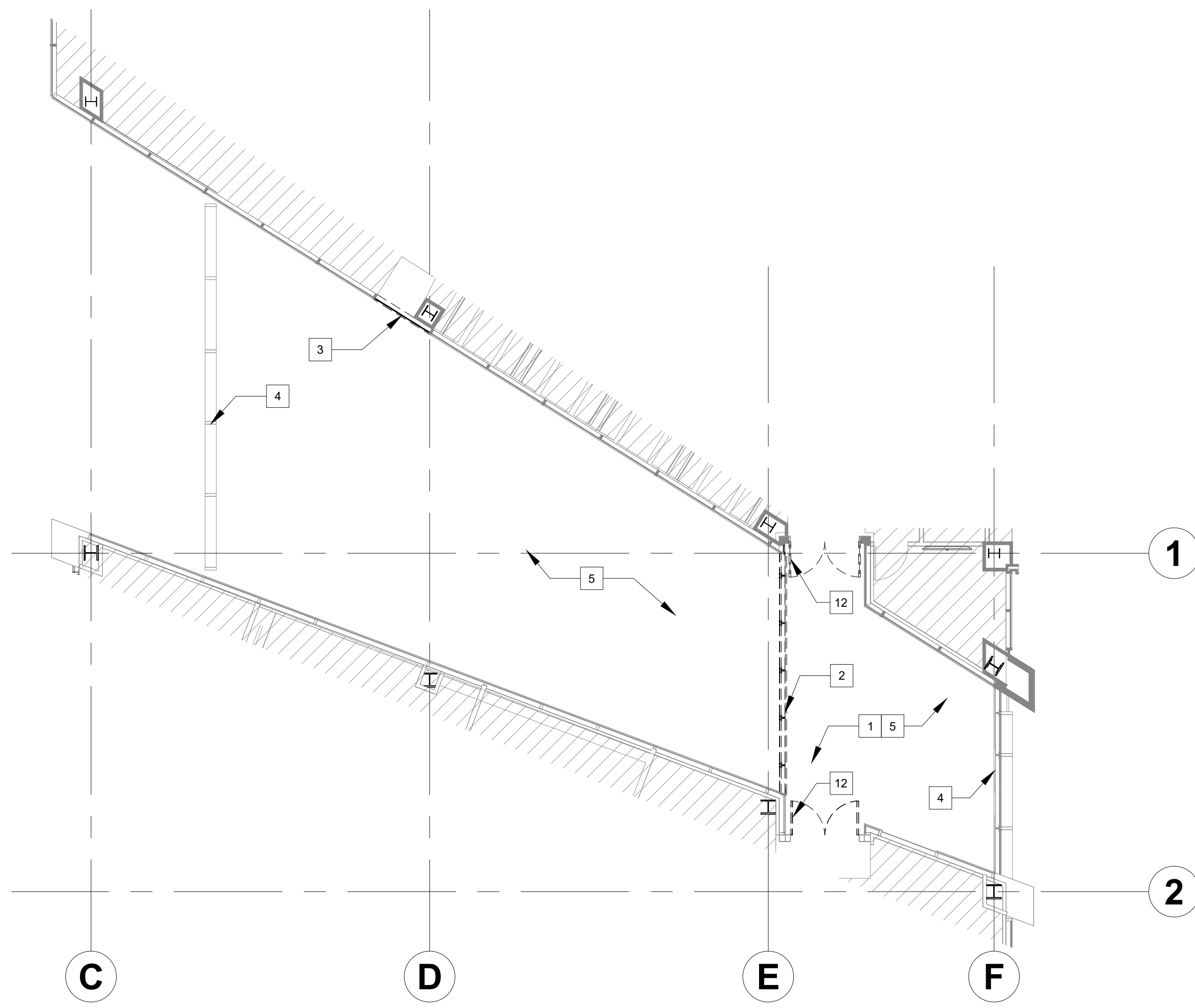
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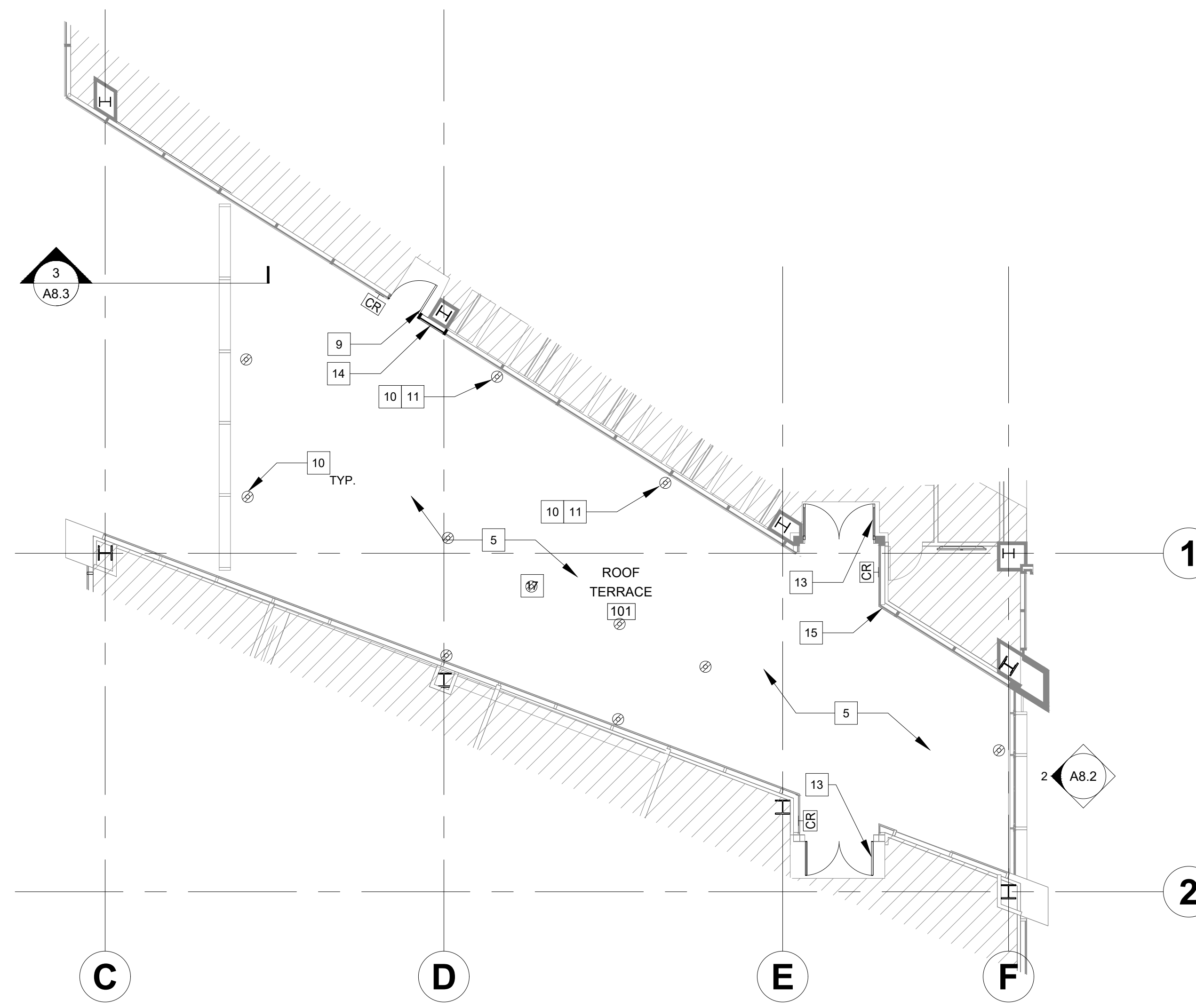
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ENLARGED SITE PLANS**

Sheet #

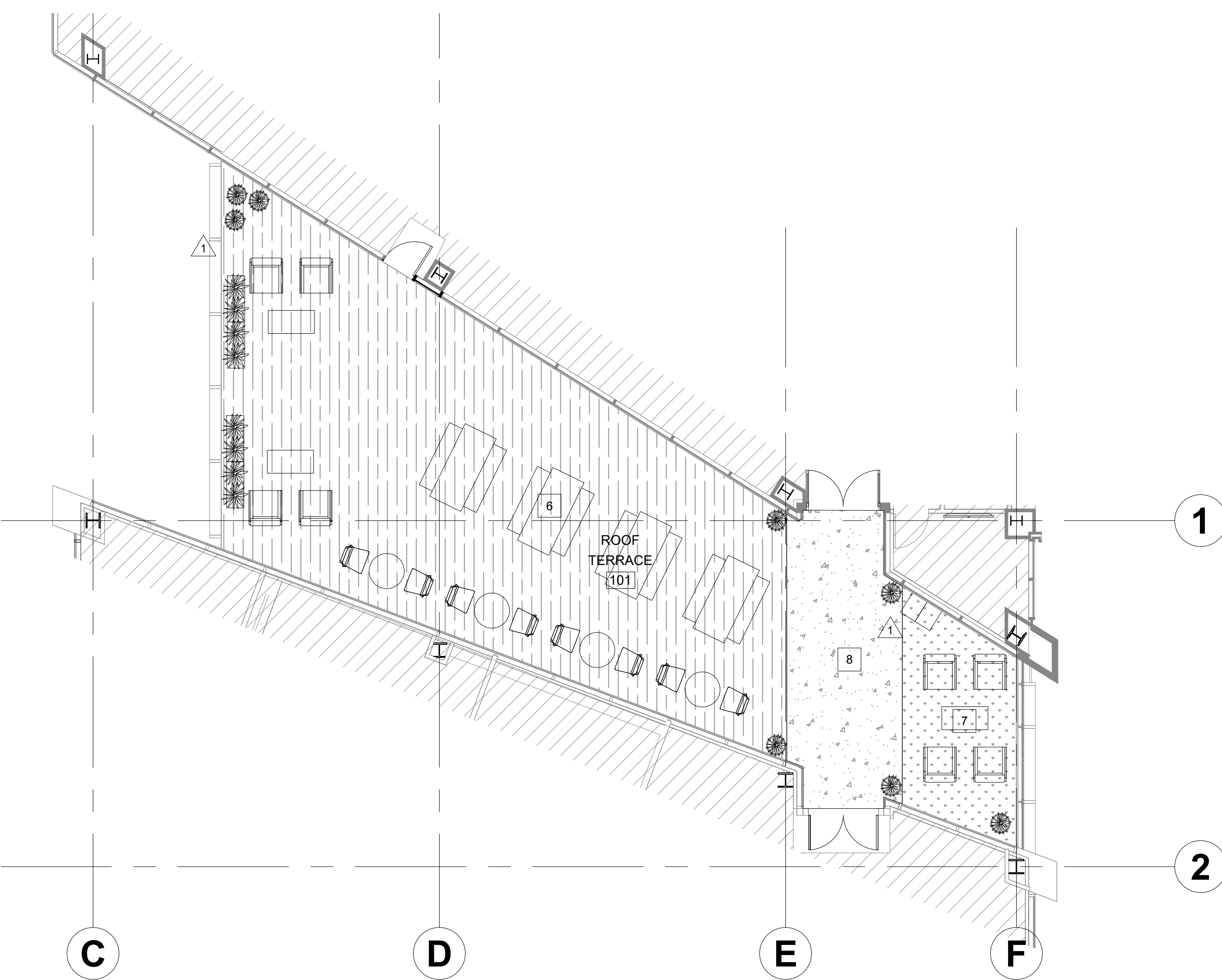
A0.3



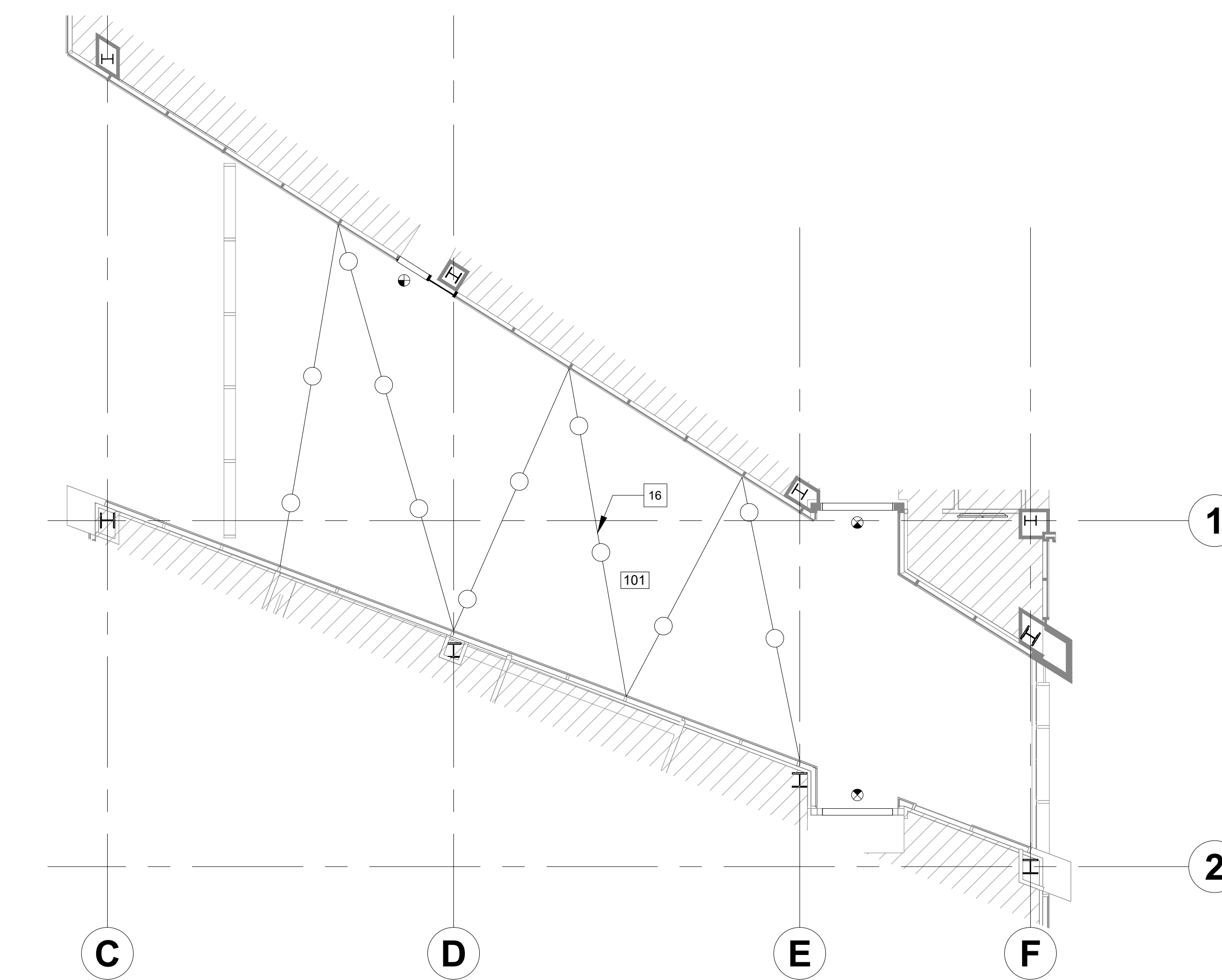
1 THIRD FLOOR DEMOLITION PLAN @ A/B ROOF TERRACE
1/8"=1'-0"



2 THIRD FLOOR FLOOR PLAN @ A/B ROOF TERRACE
1/8"=1'-0"



3 THIRD FLOOR FINISH PLAN @ A/B ROOF TERRACE
1/8"=1'-0"



4 THIRD FLOOR REFLECTED CEILING PLAN @ A/B ROOF TERRACE
1/8"=1'-0"

SHEET NOTES

- REFER TO SHEET C0.0 FOR GENERAL NOTES.
- REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
- REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK. U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
- REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.
- ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL ELECTRICAL DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS.
- PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.
- ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.
- THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/2" MAX.
- TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION. U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION. U.O.N.
- PAINT SHEENS:
- EGGSHELL @ ALL WALLS
- FLAT @ ALL CEILINGS
- SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)
- SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS
- PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
- DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN READABLE.
- PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.
- ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).
- ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE. U.O.N.
- CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
- ALL SWITCHES SHALL BE IN GANG BOXES.
- ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR PERMIT.
- ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE.
- PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT THE SPACE AS REQUIRED BY CODE.
- SEE LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION.

KEY NOTES

- REMOVE EXISTING DECK TILES AND RAISED FLOOR ASSEMBLY.
- REMOVE EXISTING GUARDRAIL.
- REMOVE PORTION OF EXISTING STOREFRONT WINDOW SYSTEM AND PREPARE FOR STOREFRONT DOOR.
- EXISTING GUARDRAIL TO SYSTEM TO REMAIN.
- MAINTAIN EXISTING ROOF DRAINAGE AT EXISTING BUILT UP ROOF SYSTEM.
- NEW WOOD DECK PEDESTAL TILES (DT1).
- NEW ARTIFICIAL TURF DECK TILES (DT3).
- NEW CONCRETE DECK TILES (DT2).
- NEW STOREFRONT DOOR WITH PANIC HARDWARE, CARD READER AND FAILSAFE OVERRIDE.
- PROVIDE POWER PEDESTAL FOR ANCILLARY USE.
- PROVIDE POWER FOR WALL MOUNTED WALL MONITOR.
- REMOVE EXISTING DOOR, TO BE RE-USED IF POSSIBLE.
- RELOCATED DOORS WITH PANIC HARDWARE, MAINTAIN CARD READER CONNECTION TO SECURITY SYSTEM.
- NEW FIXED GLAZING IN STOREFRONT TO MATCH ADJACENT GLAZING. PROVIDE SOLAR FILM AT INTERIOR FACE TO MATCH EXISTING CONDITION. MODIFY INTERIOR WINDOW SHADE TO MATCH EXISTING AS REQUIRED BY NEW CONSTRUCTION.
- NEW MAX. OCCUPANCY SIGNAGE.
- NEW LED STRING LIGHTS ATTACHED TO BUILDING.
- PROVIDE DATA CONDUITS WITH PULL STRING FOR FUTURE TENANT CONNECTION.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- EXISTING PARTITION AND DOOR TO BE DEMOLISHED
- OPEN ROOM NAME
- OFFICE
- ROOM NUMBER
- INDICATES CARD READER
- FINISH TYPE, SEE FINISH SPECIFICATIONS
- WOOD DECKING
- CONCRETE PAVER
- SYNTHETIC TURF
- NEW ILLUMINATED EXIT SIGN
- EXTERIOR, WET LOCATION POWER PEDESTAL
- NOT IN SCOPE
- LED STRING LIGHTS
MFG: TBD
STYLE: TBD
MODEL: TBD
NOTE: 200 LINEAR FEET

Stamp

PRELIMINARY -
NOT FOR
CONSTRUCTION

City

NO.	DESCRIPTION	DATE
	Issued for Planning Review	04.01.22
	Plan Check Response	06.30.22
	Plan Check Response	08.31.22
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Scale	As Shown

Sheet Title
**BUILDINGS A/B ROOF TERRACE -
THIRD FLOOR DEMOLITION,
FLOOR, FINISH AND
REFLECTED CEILING PLANS**

Sheet #

SHEET NOTES

- REFER TO SHEET G0.0 FOR GENERAL NOTES.
- REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
- REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK. U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
- REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.
- ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL ELECTRICAL DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS.
- PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.
- ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.
- THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/2" MAX. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION. U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION. U.O.N.
- PAINT SHEENS:
- EGGSHELL @ ALL WALLS
- FLAT @ ALL CEILINGS
- SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)
- SEMI-GLOSS @ WALLS/CEILING IN TOILET/SHOWER ROOMS
- PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
- DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN READABLE.
- PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILING TO MATCH EXISTING AS REQUIRED BY NEW WORK.
- ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).
- ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE. U.O.N. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD. PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
- ALL SWITCHES SHALL BE IN GANS BOXES.
- ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24 ELECTRICAL DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR PERMIT.
- ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE.
- PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT THE SPACE AS REQUIRED BY CODE.
- SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

KEY NOTES

- REMOVE EXISTING DECK TILES AND RAISED FLOOR ASSEMBLY.
- REMOVE EXISTING GUARDRAIL.
- NOT USED.
- EXISTING GUARDRAIL TO SYSTEM TO REMAIN.
- MAINTAIN EXISTING ROOF DRAINAGE AT EXISTING BUILT UP ROOF SYSTEM.
- NEW WOOD DECK PEDESTAL TILES (DT1).
- NEW ARTIFICIAL TURF DECK TILES (DT3).
- NEW CONCRETE DECK TILES (DT2).
- NOT USED.
- NEW 42" HIGH 1" x 6" STAINED WOOD PLANK HORIZONTAL GUARDRAIL WITH TOP CAP.
- BUILT-IN WOOD BENCH, L-SHAPE, 18 LINEAR FEET OF BENCH, 19" D. X 18" H.
- BUILT-IN WOOD BENCH, L-SHAPE, 26 LINEAR FEET OF BENCH, 19" D. X 18" H.
- BUILT-IN 48" X 48" WOOD TABLE.
- BUILT-IN PLANTER 52"0" W. X 28" D. X 34" H.
- BUILT-IN WOOD PLANTER/BENCH COMBO. PLANTER-120" W. X 30" D. X 30" H. BENCH: 120" W. X 19" D. X 18" H.
- BUILT-IN WOOD PLANTER 120" W. X 120" D. X 36" H.
- BUILT-IN WOOD PLANTER 48" W. X 116" D. X 36" H.
- RIVER ROCK OR SAND GARDEN, SEE LANDSCAPE DRAWINGS.
- NEW PLANTERS, SEE LANDSCAPE DRAWINGS.
- REMOVE EXISTING DOORS, TO BE RE-USED IF POSSIBLE.
- RELOCATED DOORS WITH PANIC HARDWARE, MAINTAIN CARD READER CONNECTION TO SECURITY SYSTEM.
- OUTDOOR GAME TABLE, T.B.D. \$2500 ALLOWANCE EA. TABLE, TOTAL OF 2 LOCATIONS.
- PROVIDE POWER PEDESTAL FOR ANCILLARY USE.
- NEW MAX. OCCUPANCY SIGNAGE.
- BUILT-IN WOOD BENCH, L-SHAPE, 26 LINEAR FEET OF BENCH, 19" D. X 15" H.
- NEW LED STRING LIGHTS ATTACHED TO BUILDING.
- PROVIDE DATA CONDUITS WITH PULL STRING FOR FUTURE TENANT CONNECTION.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

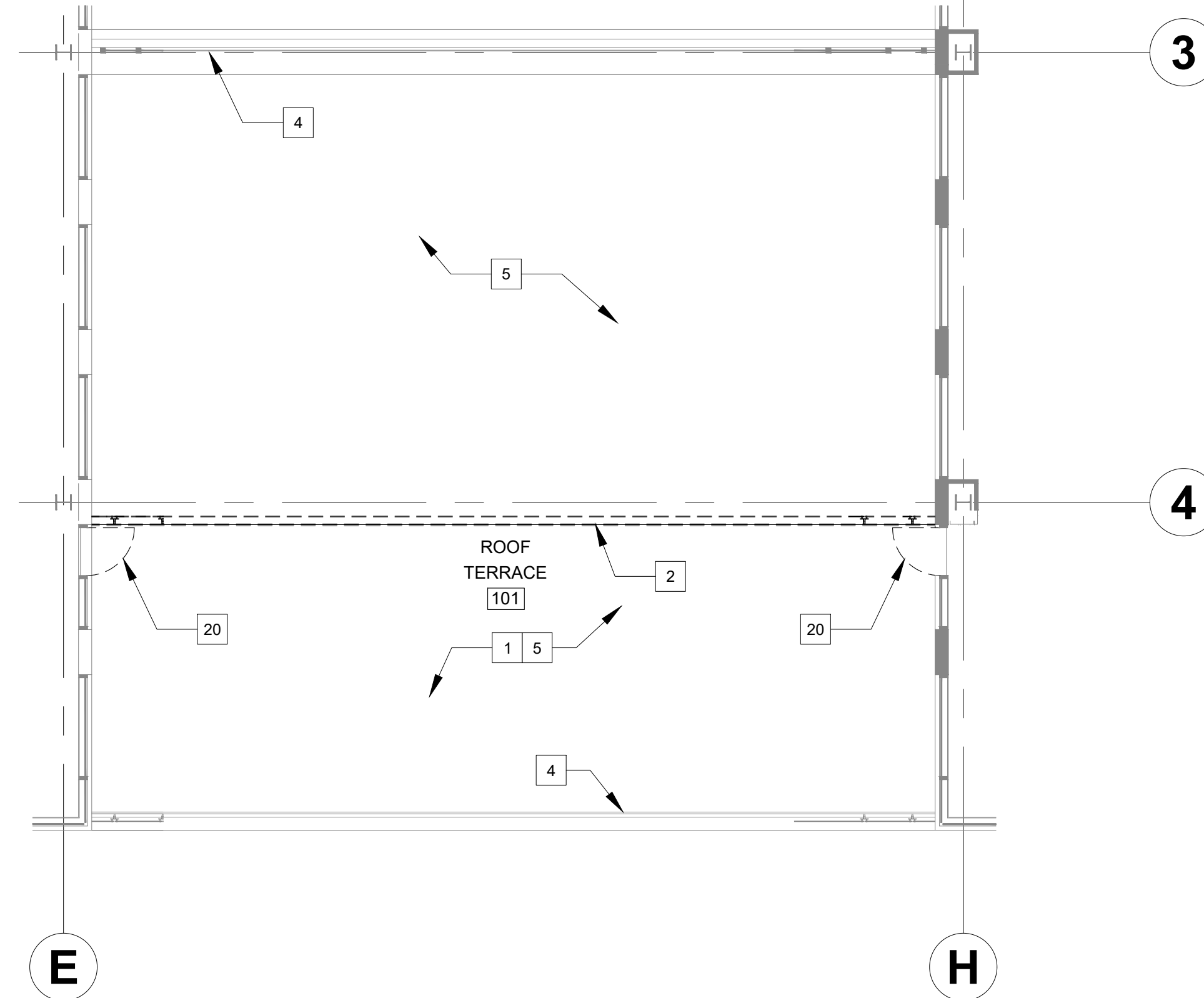
- EXISTING PARTITION AND DOOR TO BE DEMOLISHED
- ROOM NAME
- ROOM NUMBER
- INDICATES CARD READER
- FINISH TYPE, SEE FINISH SPECIFICATIONS
- WOOD DECKING
- CONCRETE PAVER
- SYNTHETIC TURF
- SAND
- RIVER ROCK
- NEW ILLUMINATED EXIT SIGN
- EXTERIOR, WET LOCATION POWER PEDESTAL
- LED STRING LIGHTS
MFG: TBD
STYLE: TBD
MODEL: TBD
NOTE: 220 LINEAR FEET

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	Plan Check Response	08.31.22
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	Final Planning Set	12.16.22

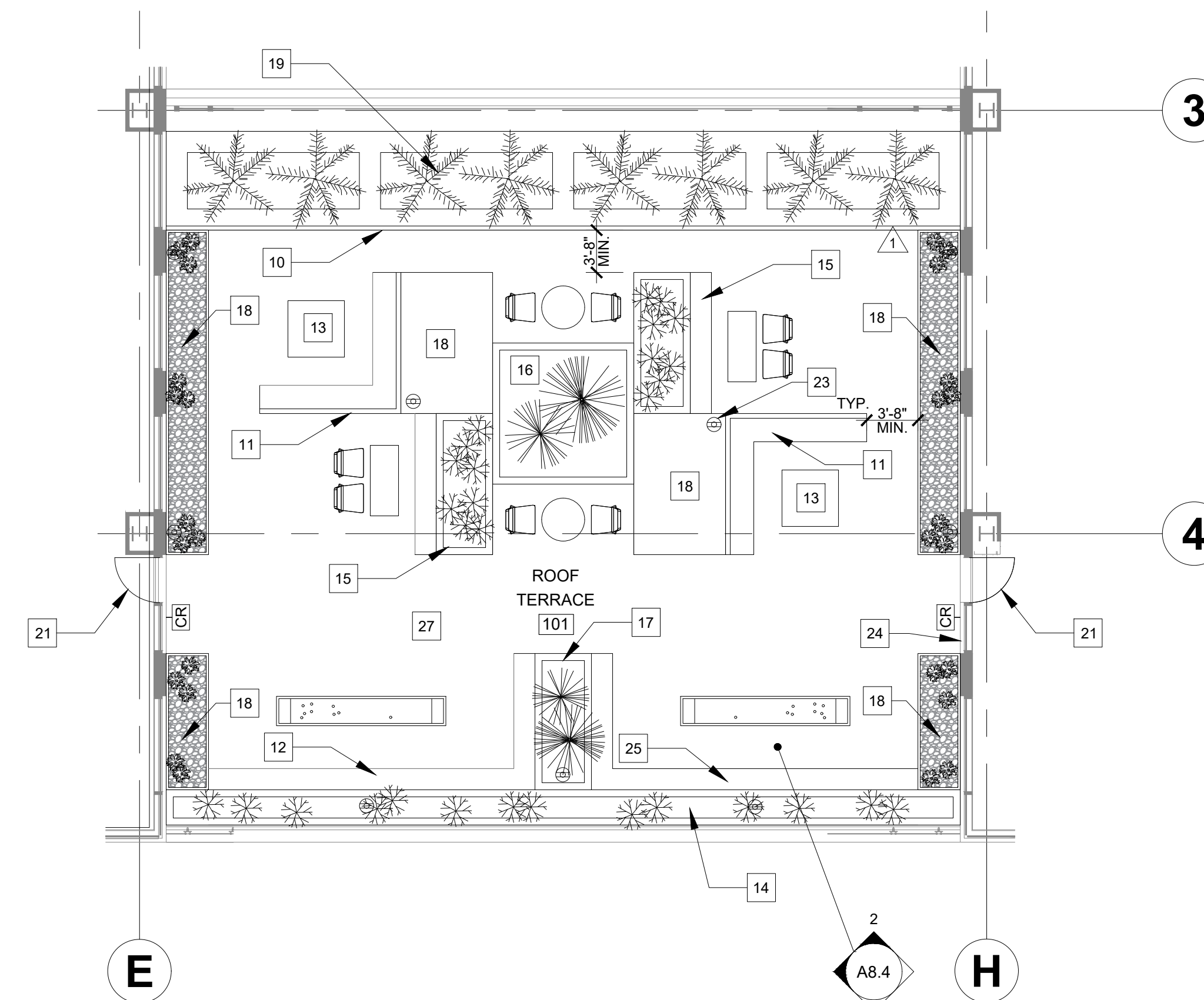
Job #	21068
Date	04.01.22
Scale	As Shown

Sheet Title
**BUILDINGS B/C ROOF TERRACE-
SECOND FLOOR DEMOLITION,
FLOOR, FINISH AND
REFLECTED CEILING PLANS**

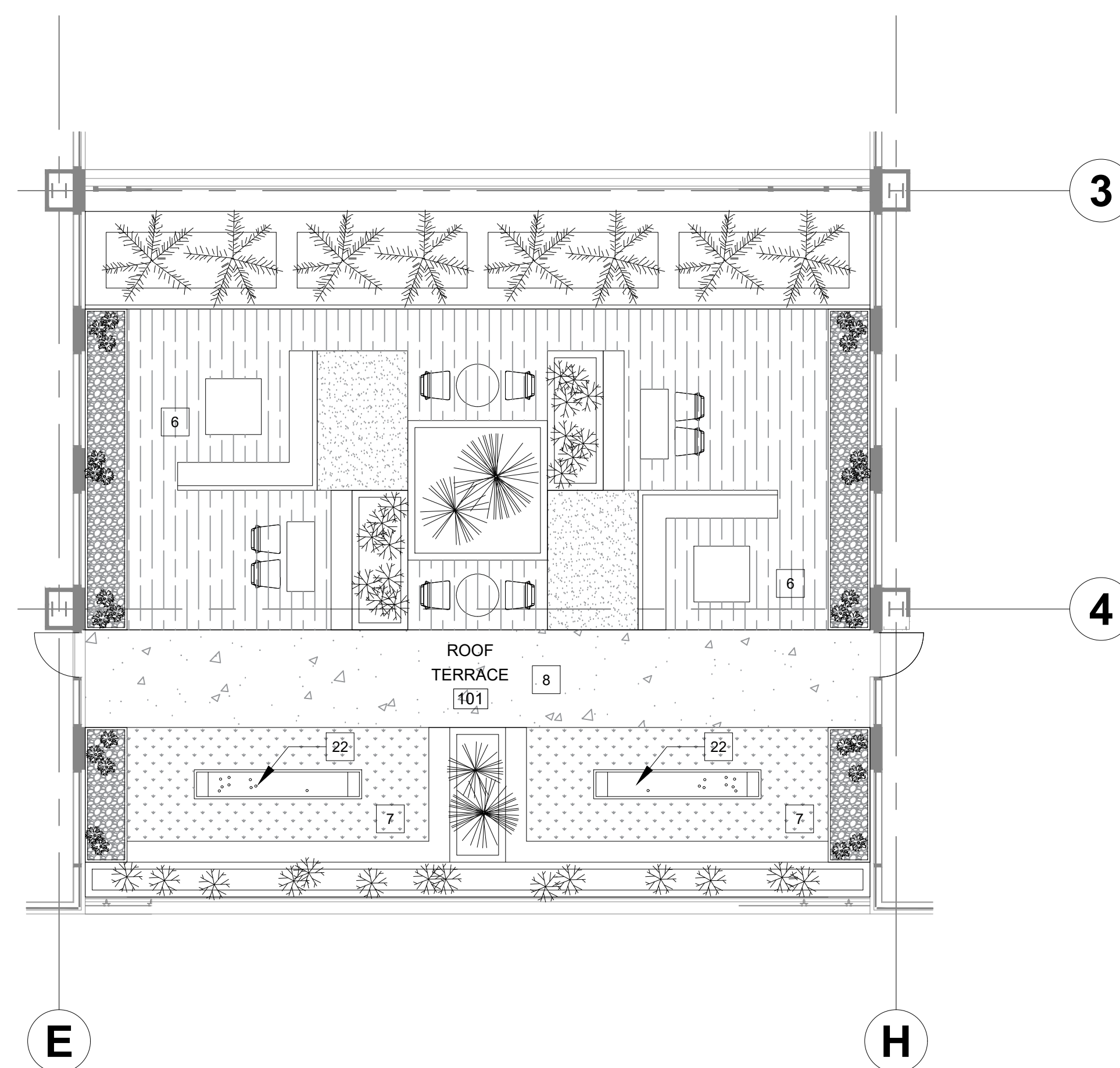
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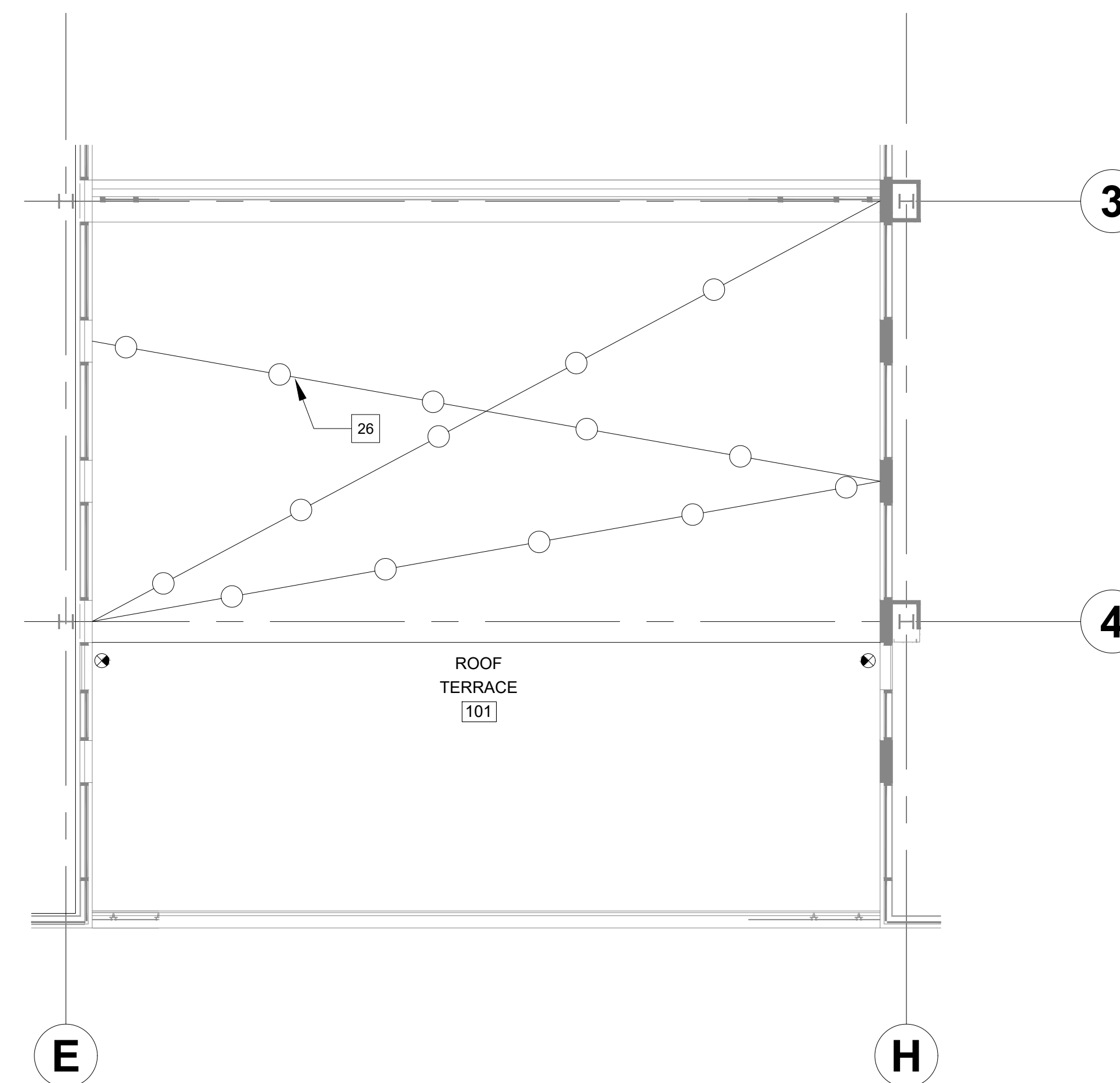
1 SECOND FLOOR DEMOLITION PLAN @ B/C ROOF TERRACE
1/8"=1'-0"



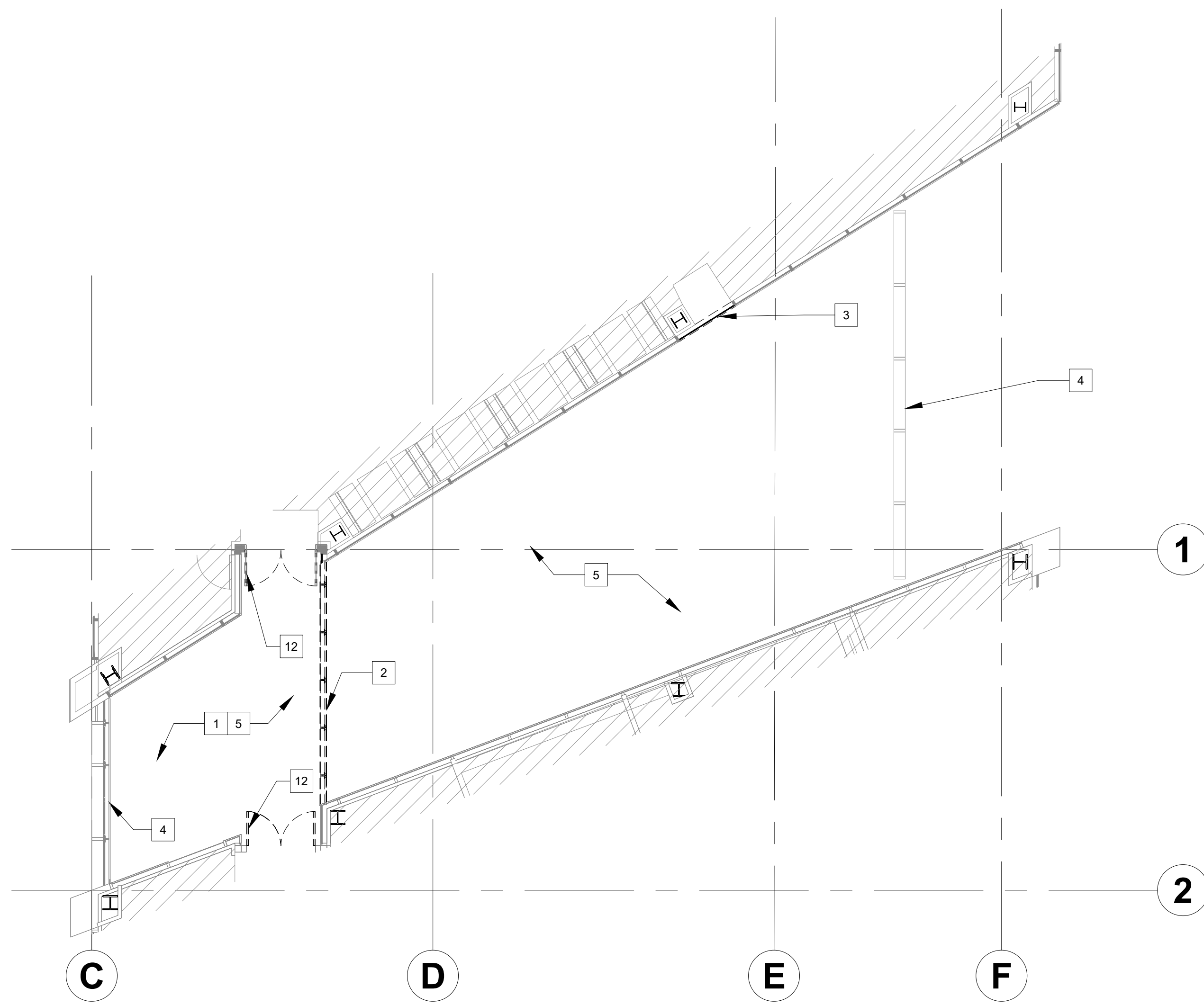
2 SECOND FLOOR FLOOR PLAN @ B/C ROOF TERRACE
1/8"=1'-0"



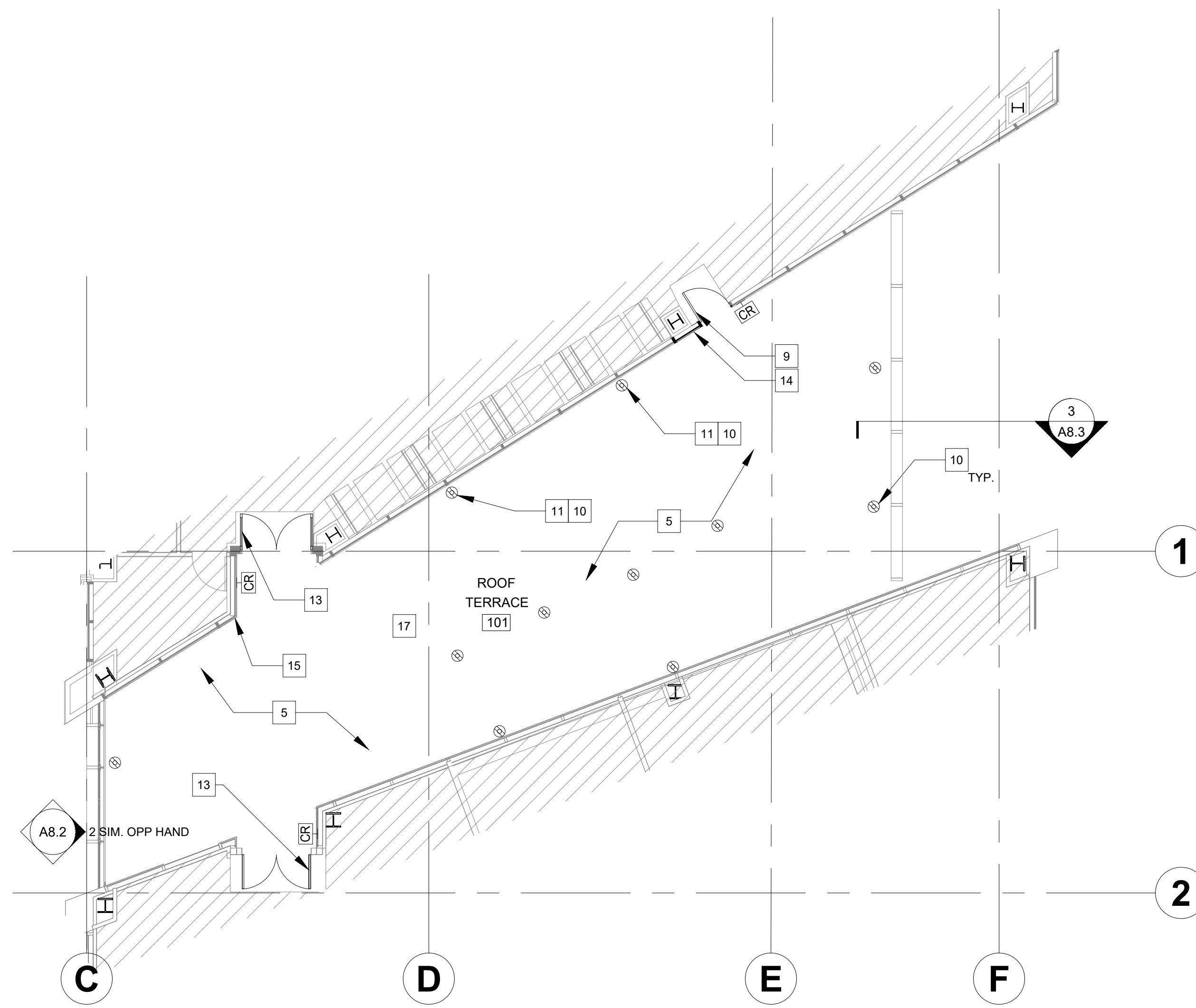
3 SECOND FLOOR FINISH PLAN @ B/C ROOF TERRACE
1/8"=1'-0"



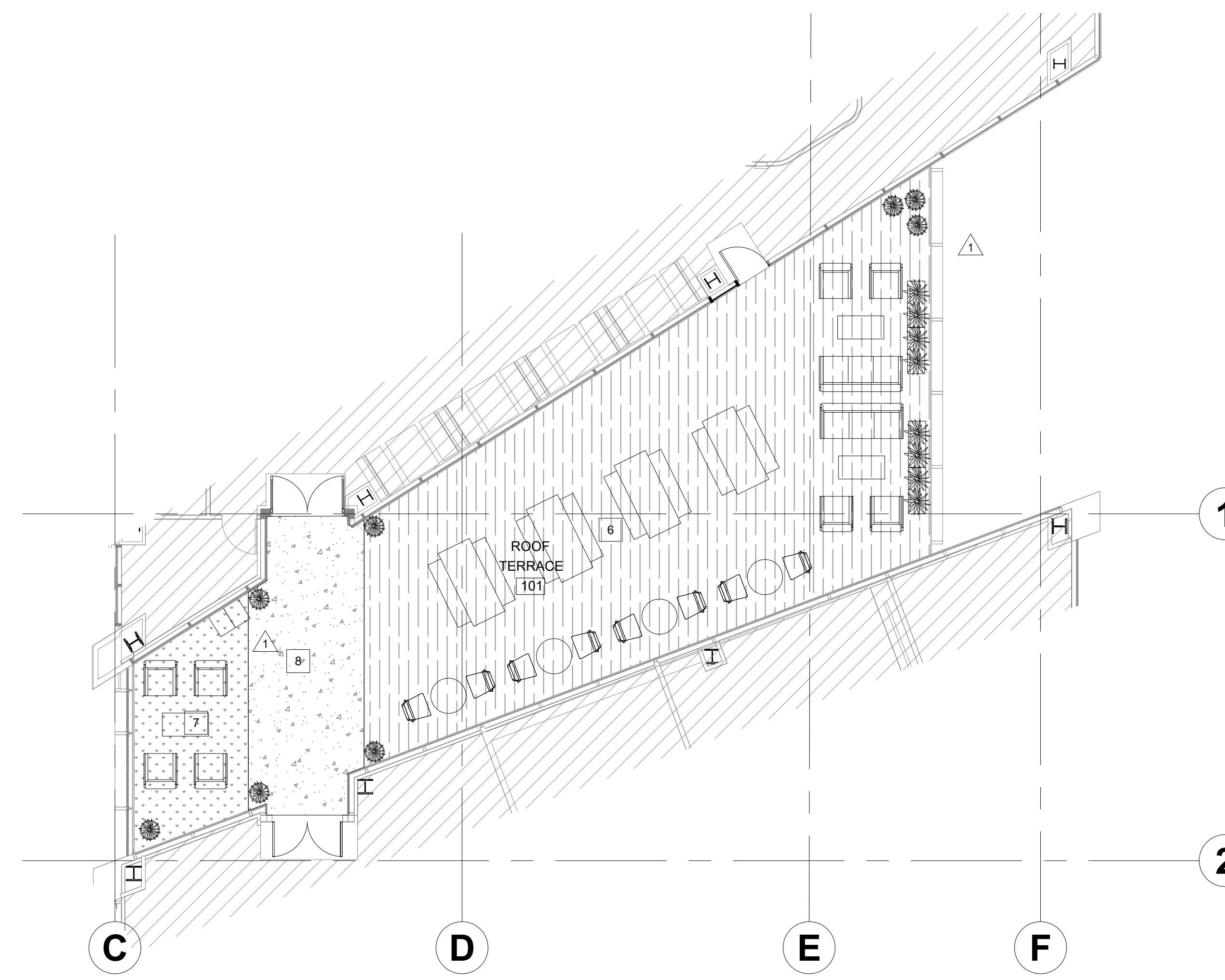
4 SECOND FLOOR REFLECTED CEILING PLAN @ B/C ROOF TERRACE
1/8"=1'-0"



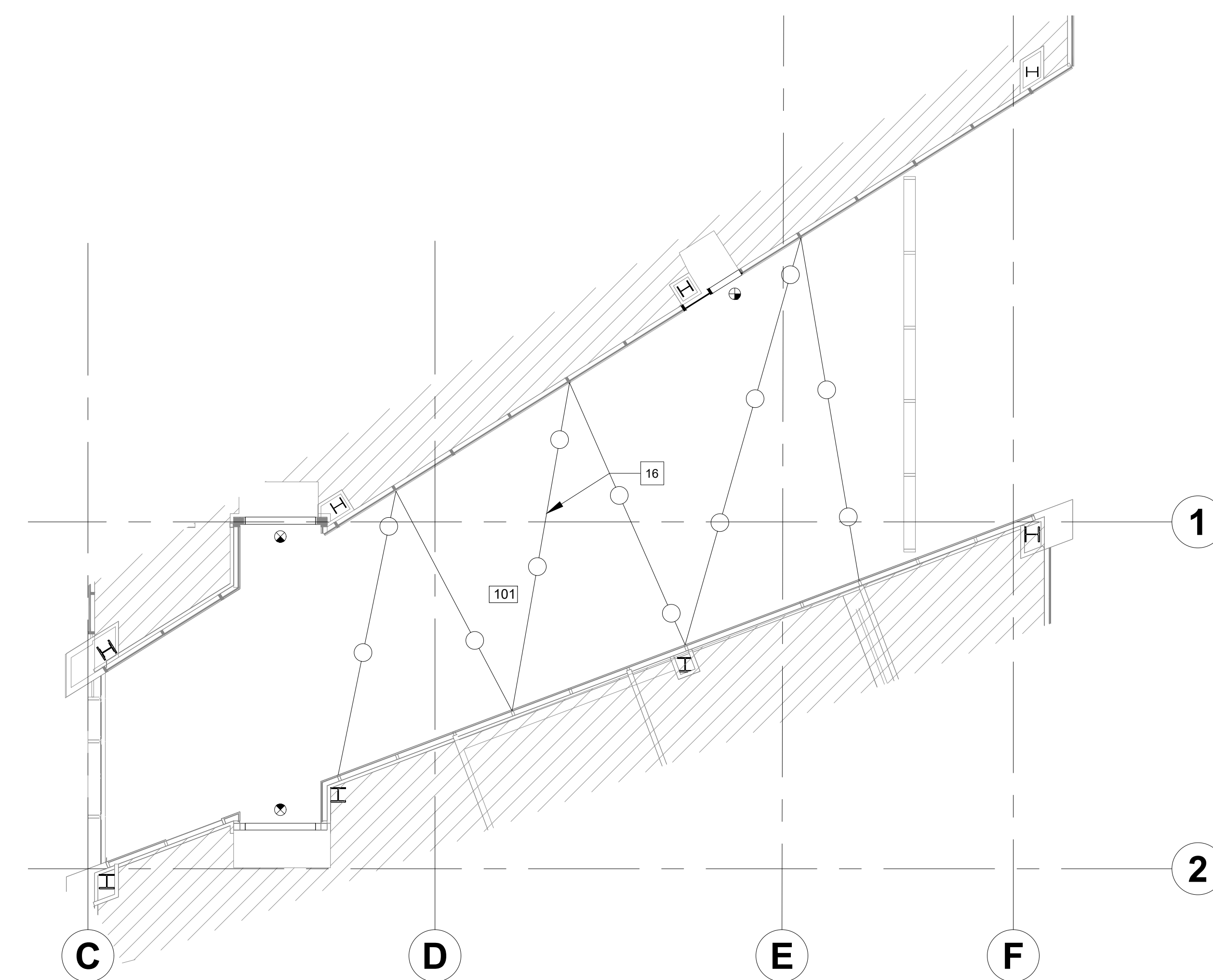
1 THIRD FLOOR DEMOLITION PLAN @ C/D ROOF TERRACE
1/8"=1'-0"



2 THIRD FLOOR FLOOR PLAN @ C/D ROOF TERRACE
1/8"=1'-0"



3 THIRD FLOOR FINISH PLAN @ C/D ROOF TERRACE
1/8"=1'-0"



4 THIRD FLOOR REFLECTED CEILING PLAN @ C/D ROOF TERRACE
1/8"=1'-0"

SHEET NOTES

- REFER TO SHEET C0.0 FOR GENERAL NOTES.
- REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
- REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK. U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
- REMOVE EXISTING ELECTRICAL DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.
- ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL ELECTRICAL DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS.
- PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.
- ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.
- THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/2" MAX.
- TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION. U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION. U.O.N.
- PAINT SHEENS:
 - EGGSHELL @ ALL WALLS
 - FLAT @ ALL CEILINGS
 - SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)
 - SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS
- PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
- DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN READABLE.
- PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.
- ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).
- ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE. U.O.N.
- CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD. PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
- ALL SWITCHES SHALL BE IN GANG BOXES.
- ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR PERMIT.
- ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE.
- PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT THE SPACE AS REQUIRED BY CODE.
- SEE LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION.

KEY NOTES

- REMOVE EXISTING DECK TILES AND RAISED FLOOR ASSEMBLY.
- REMOVE EXISTING GUARDRAIL.
- REMOVE PORTION OF EXISTING STOREFRONT WINDOW SYSTEM AND PREPARE FOR STOREFRONT DOOR.
- EXISTING GUARDRAIL TO SYSTEM TO REMAIN.
- MAINTAIN EXISTING ROOF DRAINAGE AT EXISTING BUILT UP ROOF SYSTEM.
- NEW WOOD DECK PEDESTAL TILES (DT1).
- NEW ARTIFICIAL TURF DECK TILES (DT3).
- NEW CONCRETE DECK TILES (DT2).
- NEW STOREFRONT DOOR WITH PANIC HARDWARE, CARD READER AND FAILSAFE OVERRIDE.
- PROVIDE POWER PEDESTAL FOR ANCILLARY USE.
- PROVIDE POWER FOR WALL MOUNTED WALL MONITOR.
- REMOVE EXISTING DOOR, TO BE RE-USED IF POSSIBLE.
- RELOCATED DOORS WITH PANIC HARDWARE, MAINTAIN CARD READER CONNECTION TO SECURITY SYSTEM.
- NEW FIXED GLAZING IN STOREFRONT TO MATCH ADJACENT GLAZING. PROVIDE SOLAR FILM AT INTERIOR FACE TO MATCH EXISTING CONDITION. MODIFY INTERIOR WINDOW SHADE TO MATCH EXISTING AS REQUIRED BY NEW CONSTRUCTION.
- NEW MAX. OCCUPANCY SIGNAGE.
- NEW LED STRING LIGHTS ATTACHED TO BUILDING.
- PROVIDE DATA CONDUITS WITH PULL STRING FOR FUTURE TENANT CONNECTION.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- EXISTING PARTITION AND DOOR TO BE DEMOLISHED
- OPEN ROOM NAME
- OFFICE
- ROOM NUMBER
- INDICATES CARD READER
- P1 FINISH TYPE, SEE FINISH SPECIFICATIONS
- WOOD DECKING
- CONCRETE PAVER
- SYNTHETIC TURF
- NEW ILLUMINATED EXIT SIGN
- EXTERIOR, WET LOCATION POWER PEDESTAL
- NOT IN SCOPE
- LED STRING LIGHTS
MFG: TBD
STYLE: TBD
MODEL: TBD
NOTE: 200 LINEAR FEET

Stamp

PRELIMINARY -
NOT FOR
CONSTRUCTION

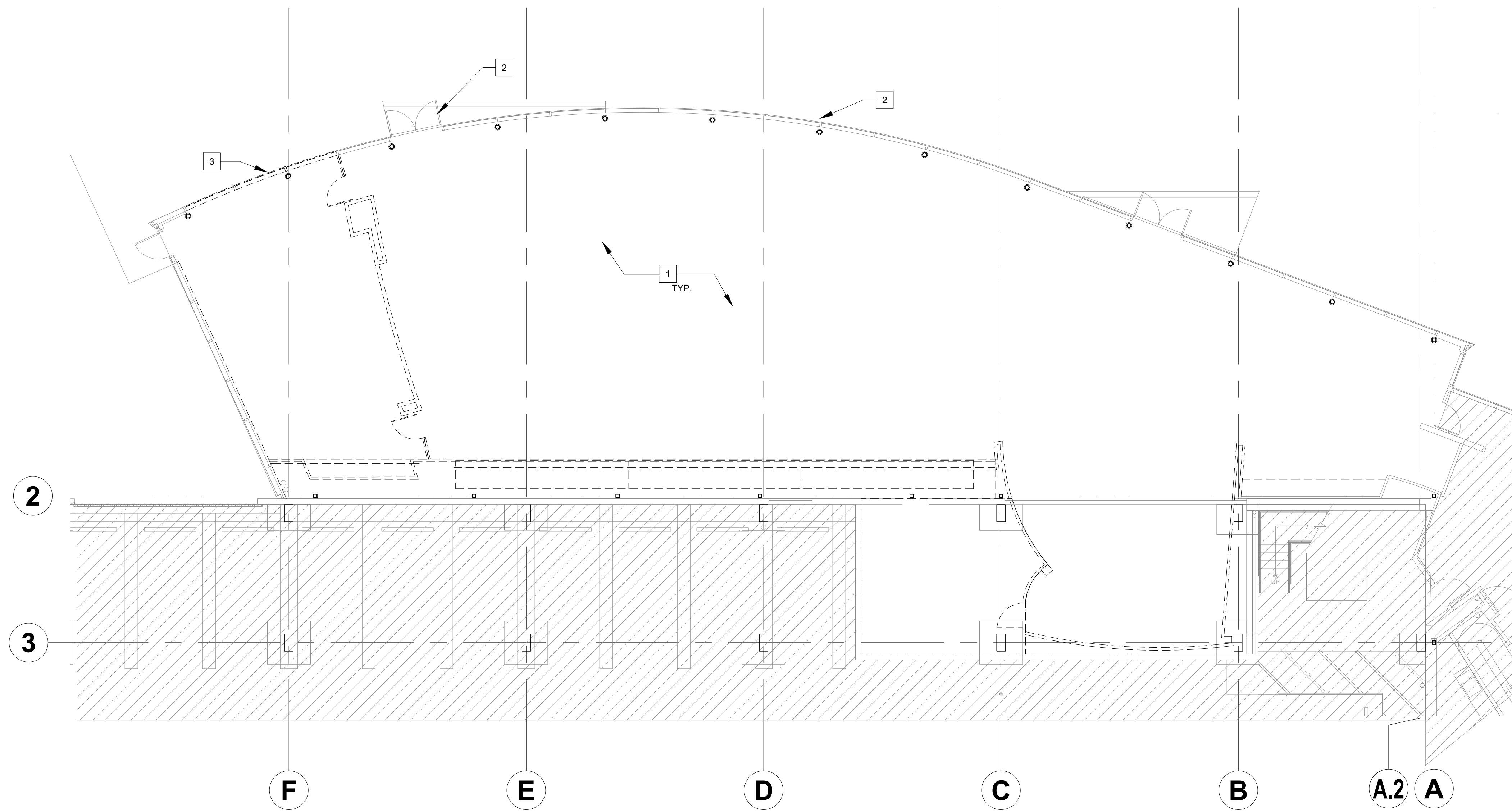
City

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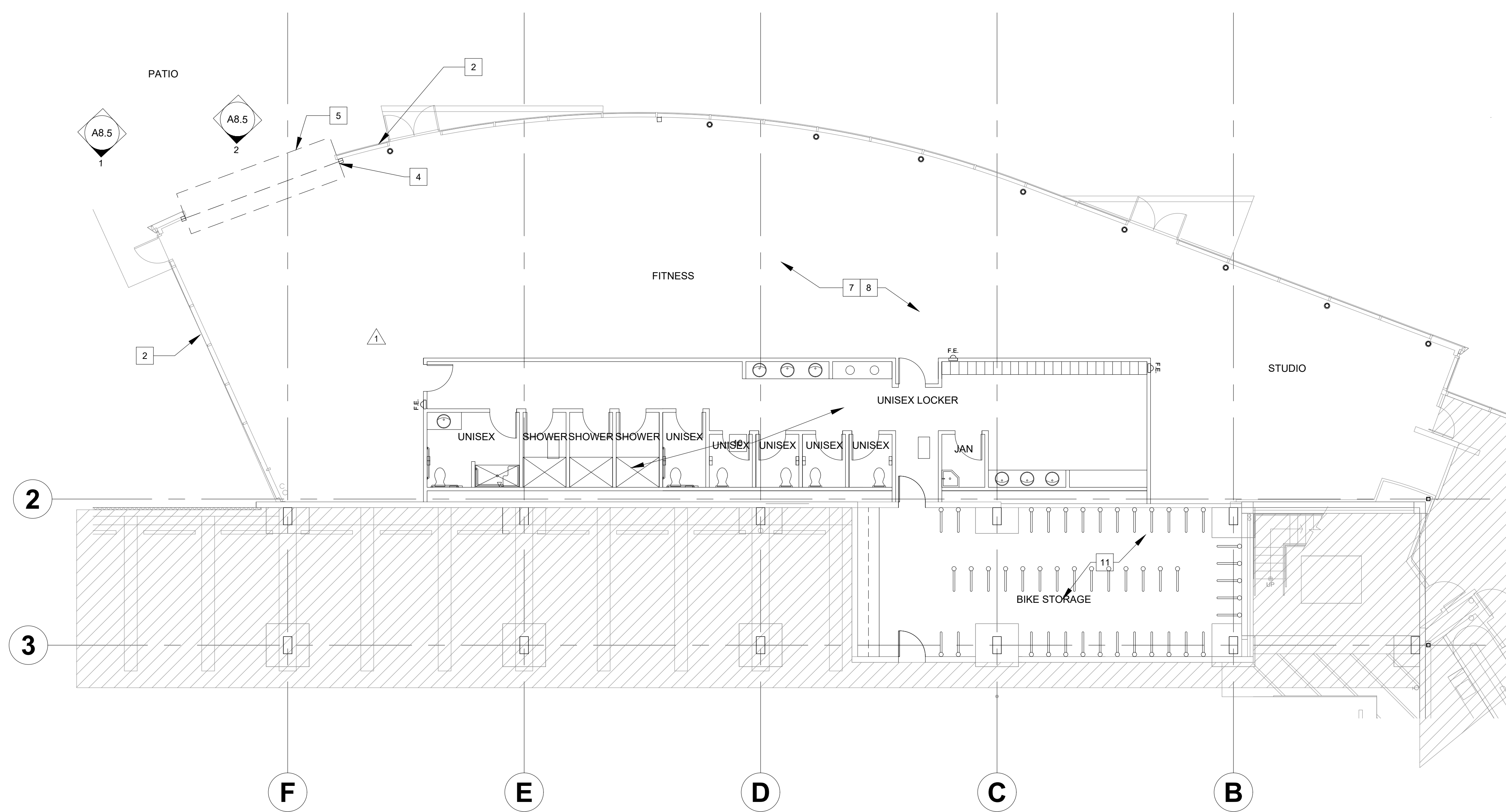
Job #	21068
Date	04.01.22
Scale	As Shown

Sheet Title
**BUILDINGS C/D ROOF TERRACE -
THIRD FLOOR DEMOLITION,
FLOOR, FINISH AND REFLECTED
CEILING PLANS**

Sheet #



1 FIRST FLOOR DEMOLITION PLAN @ BUILDING E FITNESS CENTER
1/8"=1'-0"



2 FIRST FLOOR PLAN @ BUILDING E FITNESS CENTER
1/8"=1'-0"

SHEET NOTES

1. REFER TO SHEET C0.0 FOR GENERAL NOTES.
2. REFER TO FINISH PLAN FOR FINISH LOCATIONS.
3. REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK. U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
4. REMOVE EXISTING SUSPENDED CEILING TILES, GRID AND LIGHTING THROUGHOUT AREA OF WORK. U.O.N. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.
5. PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION WORK.
6. CONTRACTOR SHALL CLEAN, PATCH AND REPAIR EXISTING WINDOW MULLIONS WHERE PREVIOUS WALLS WERE ATTACHED AND REMOVED.
7. REMOVE EXISTING WALLCOVERINGS AND PREPARE WALL SURFACE FOR NEW FINISHES.
8. CONTRACTOR SHALL RELOCATE ANY ELECTRICAL PANELS LOCATED IN WALLS INDICATED FOR DEMOLITION.
9. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
10. REMOVE ALL EXISTING CABINETS AND SINKS THROUGHOUT AREA OF WORK. U.O.N. CAP PLUMBING AS REQUIRED.
11. ALL NEW PARTITIONS SHALL RECEIVE ACOUSTIC BATT INSULATION. U.O.N. PROVIDE ACOUSTICAL SEALANT FOR AIRTIGHT SEAL AT ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO CONDUITS, SPRINKLER LINES, PIPING, DUCTS, ETC. AND AT ANY GYPSUM BOARD WALL OPENINGS AND PERIMETERS.
12. ALL GYPSUM BOARD SURFACES SHALL FINISHED WITH NO VISIBLE JOINTS OR SEAMS AND SMOOTHED (OR TEXTURED) IN PREPARATION FOR PAINT.
13. PROVIDE LEVEL 4 SMOOTH WALL TEXTURE THROUGHOUT AREA OF WORK.
14. ALL GYPSUM BOARD EXPOSED EDGES SHALL BE PROTECTED WITH A CONCEALED METAL EDGE TRIM.
15. INSTALL NEW DOORS TO OPEN FLAT AGAINST ADJACENT WALLS. TYPICAL JAMB DIMENSION IS 4" FROM ADJACENT PARTITION. U.O.N. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED BY NEW WORK.
16. PROVIDE MIN. LEVEL 5 FINISH AT ALL PARTITIONS TO RECEIVE NEW WALLCOVERING.
17. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS.
18. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVEING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.

KEY NOTES

1. REMOVE FLOORING, FINISHES, AND LIGHTING THROUGHOUT. U.O.N.
2. EXISTING STOREFRONT TO REMAIN.
3. REMOVE PORTION OF (E) STOREFRONT SYSTEM AS REQUIRED FOR NEW OVERHEAD GARAGE DOOR.
4. NEW STEEL COLUMN AND HEADER FOR GARAGE DOOR.
5. NEW OVERHEAD BI-FOLD HYDRAULIC OPERATED GARAGE DOOR BY CROWN SST-II HYDRAULIC OR SIMILAR, ±18'-0" WIDE X 10'-0" HIGH IN POWDERCOAT ALUMINUM FRAME TO MATCH EXISTING STOREFRONT FRAMES. GLAZING TO BE TEMPERED.
6. NOT USED.
7. NEW FINISHES, LIGHTING THROUGHOUT.
8. NEW FITNESS CENTER EQUIPMENT BY OTHERS.
9. NOT USED.
10. NEW RESTROOM, LOCKER ROOM AND SHOWERS.
11. NEW ENCLOSED, SECURE BIKE STORAGE.

LEGEND

- EXISTING PARTITION AND DOOR TO REMAIN
- EXISTING PARTITION AND DOOR TO BE DEMOLISHED
- OPEN OFFICE
- ROOM NAME
- ROOM NUMBER
- NEW DOOR
- EXISTING PARTITION
- NEW PARTITION
- NOT IN SCOPE

Stamp

PRELIMINARY -
NOT FOR
CONSTRUCTION

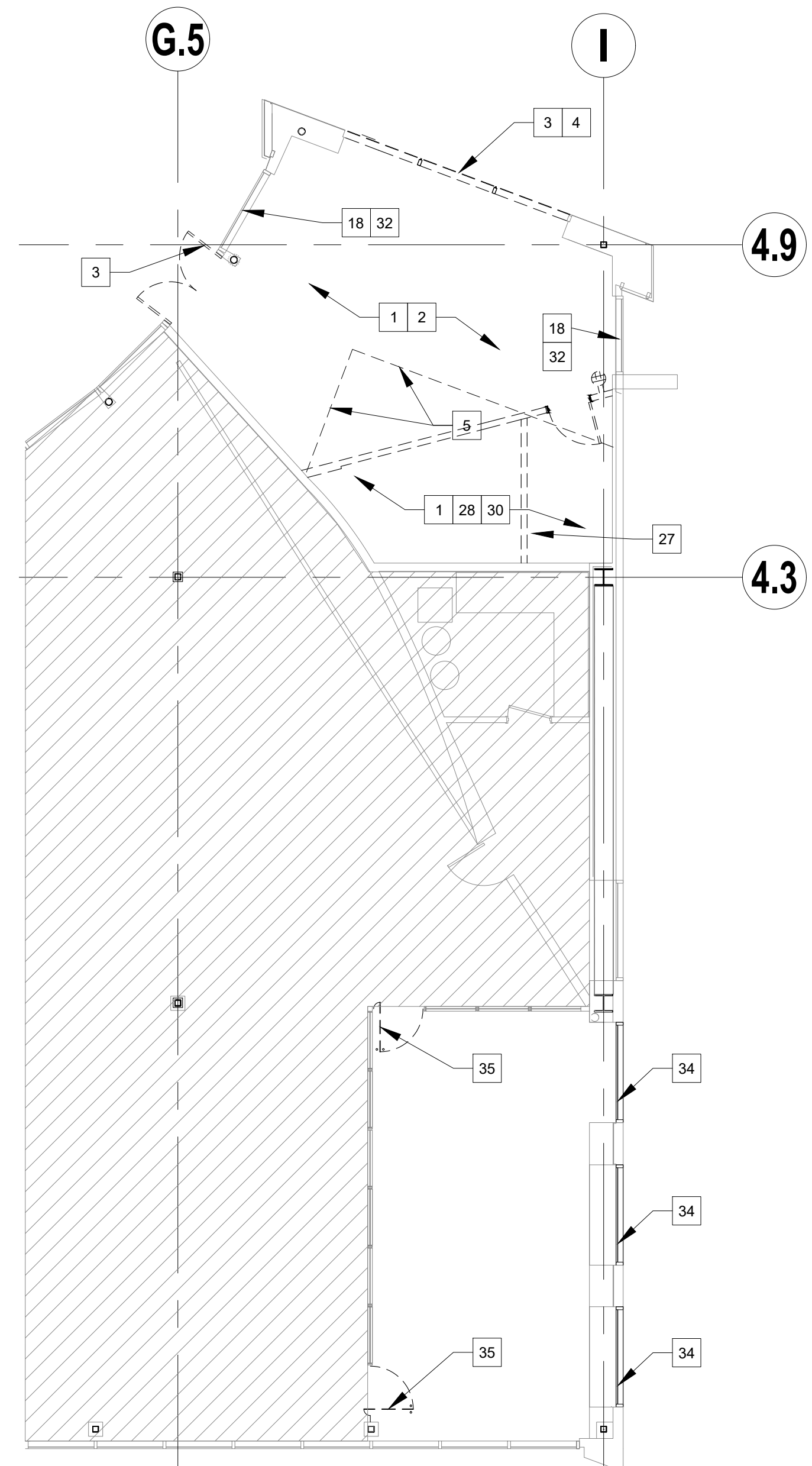
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NO.	DESCRIPTION	DATE
1	Issued for Planning Review	04.01.22
2	Plan Check Response	06.30.22
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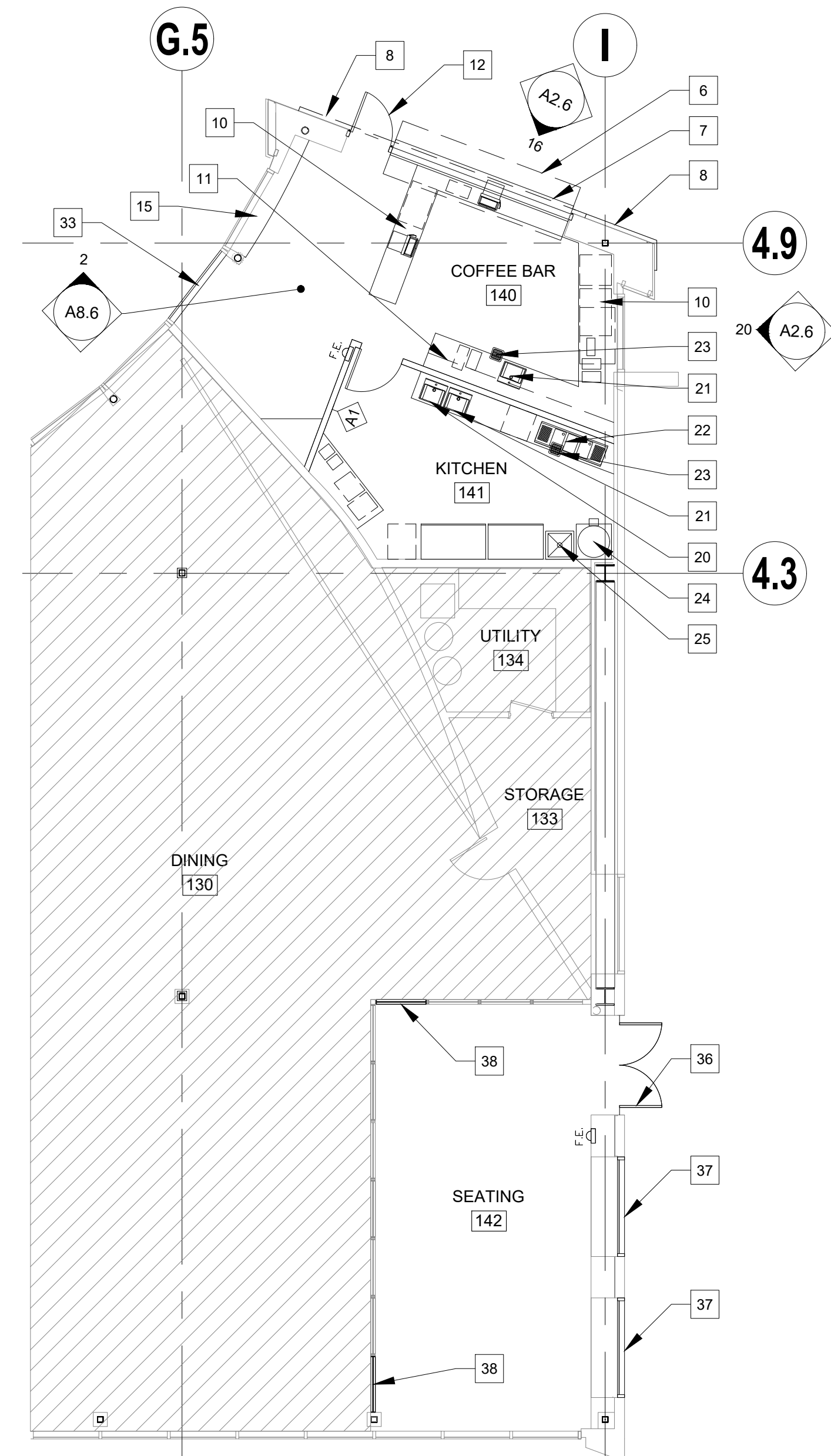
Job #	21068
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Sheet Title
**BUILDING E FITNESS CENTER-
FIRST FLOOR DEMOLITION
AND FLOOR PLANS**

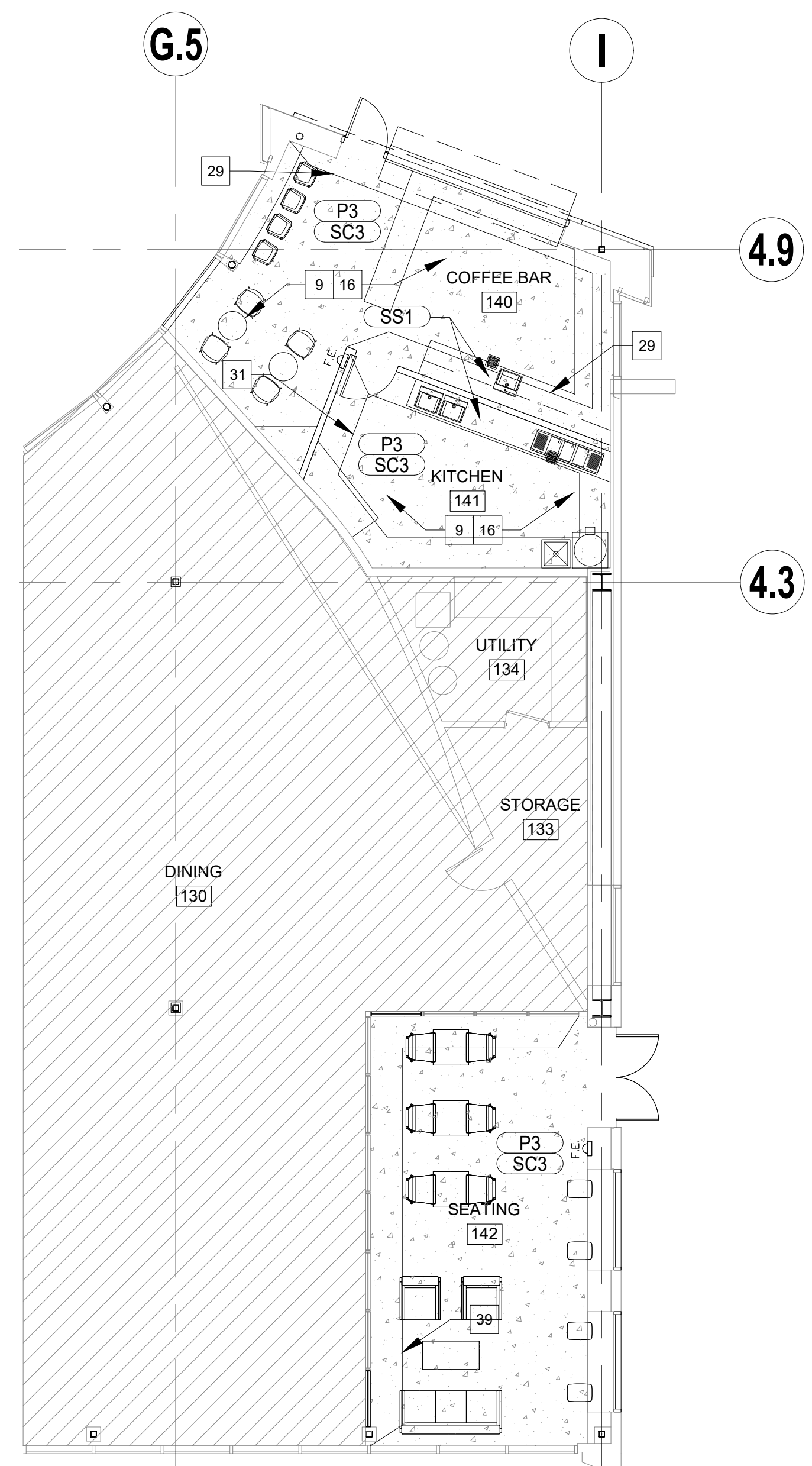
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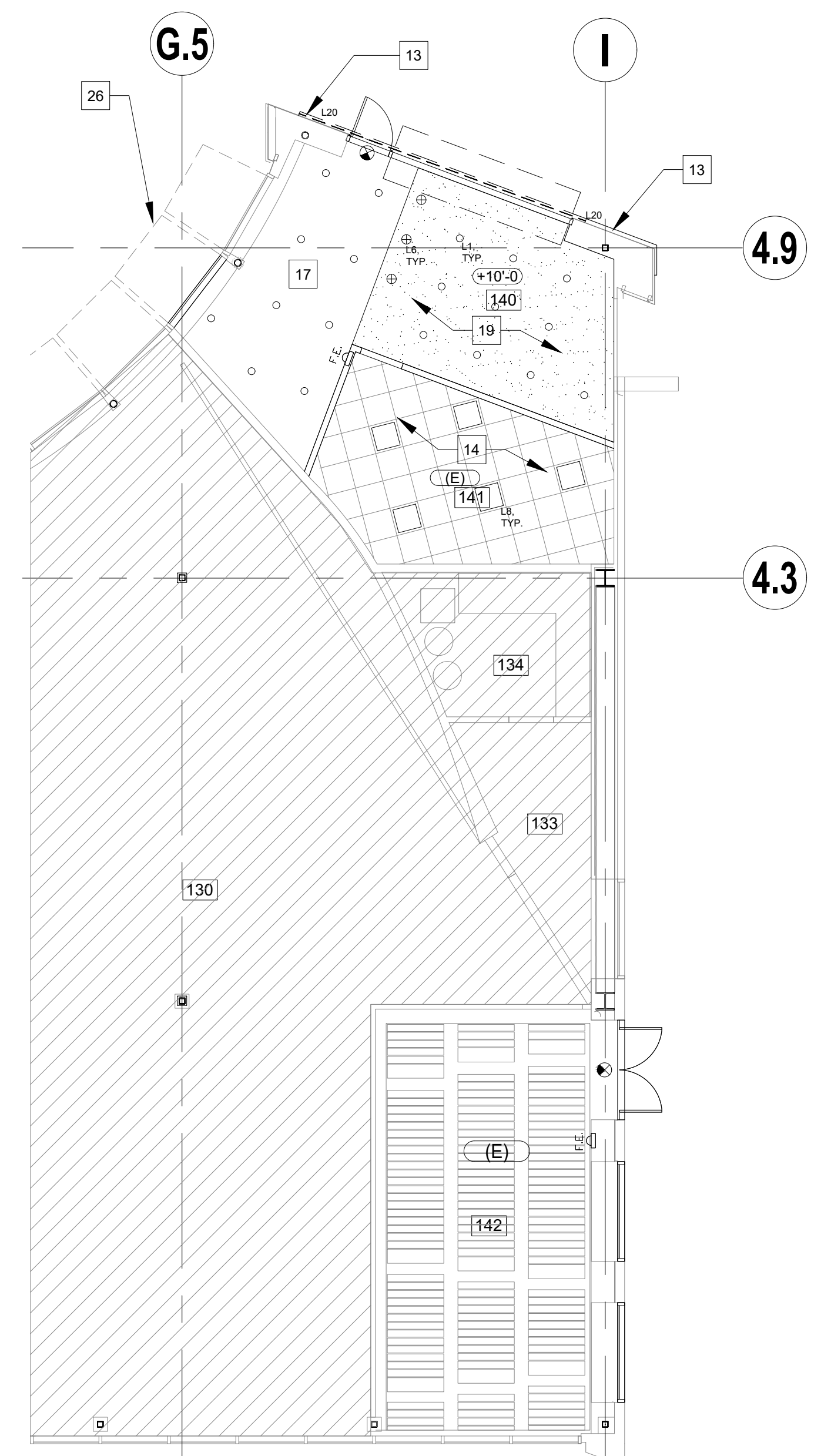
1 FIRST FLOOR DEMOLITION PLAN @ CAFE BISTRO
1/8"=1'-0"



2 FIRST FLOOR PLAN @ CAFE BISTRO
1/8"=1'-0"



3 FIRST FLOOR FINISH PLAN @ CAFE BISTRO
1/8"=1'-0"



4 FIRST FLOOR REFLECTED CEILING PLAN @ CAFE BISTRO
1/8"=1'-0"

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- EXISTING PARTITION AND DOOR TO REMAIN
- EXISTING PARTITION AND DOOR TO BE DEMOLISHED
- OPEN OFFICE
- ROOM NAME
- ROOM NUMBER
- EXISTING PARTITION
- PARTITION TYPE, SEE SCHEDULE
- NEW PARTITION
- FINISH TYPE, SEE FINISH SPECIFICATIONS
- CONCRETE FLOORING
- CEILING HEIGHT (MEASURED FROM FLOOR SLAB)
- NEW ILLUMINATED EXIT SIGN
- EXISTING SUSPENDED "T-BAR" CEILING - 2 X 2
- NEW GYP. BD. CEILING OR SOFFIT
- NOT IN SCOPE

PARTITION TYPES

TYPE A1 CEILING HEIGHT PARTITION (NON-RATED)

LIGHT FIXTURE TYPES

(LIGHT FIXTURES NOT TAGGED ARE EXISTING TO REMAIN. SEE ELECTRICAL DRAWINGS.)

- L1 RECESSED DOWNLIGHT, LED WITH FULL SHATTER RESISTANT LENS
MFR: TBD
MODEL: TBD
SIZE: TBD
- L6 ROUND PENDANT LIGHT FIXTURE, LED WITH SHATTER RESISTANT LENS
MFR: TBD
MODEL: TBD
SIZE: TBD
NOTE: FIXTURE ALLOWANCE \$350/EA.
- L20 LINEAR TAPE LIGHT, LED
MFR: TBD
MODEL: TBD
SIZE: TBD
NOTE: RATED FOR EXTERIOR USE
- L8 NEW 2 X 2 LAY IN FIXTURE - LED WITH FULL SHATTER RESISTANT LENS

SHEET NOTES

1. REFER TO SHEET G0.0 FOR GENERAL NOTES.
2. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
3. EXISTING FLOORING AND WALL BASE TO REMAIN, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
4. EXISTING SUSPENDED CEILING TILES, GRID AND LIGHTING TO REMAIN, U.O.N.
5. REMOVE EXISTING ELECTRICAL DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.
6. PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION WORK.
7. CONTRACTOR SHALL CLEAN, PATCH AND REPAIR EXISTING WINDOW MULLIONS WHERE PREVIOUS WALLS WERE ATTACHED AND REMOVED.
8. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
9. ALL NEW PARTITIONS SHALL RECEIVE ACOUSTIC BATT INSULATION, U.O.N. PROVIDE ACOUSTICAL SEALANT FOR AIRTIGHT SEAL AT ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO CONDUITS, SPRINKLER LINES, PIPING, DUCTS, ETC. AND AT ANY GYPSUM BOARD WALL OPENINGS AND PERIMETERS.
10. ALL GYPSUM BOARD SURFACES SHALL FINISHED WITH NO VISIBLE JOINTS OR SEAMS AND SMOOTHED (OR TEXTURED) IN PREPARATION FOR PAINT.
11. PROVIDE WALL TEXTURE TO MATCH EXISTING THROUGHOUT AREA OF WORK.
12. ALL GYPSUM BOARD EXPOSED EDGES SHALL BE PROTECTED WITH A CONCEALED METAL EDGE TRIM.
13. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED BY NEW WORK.
14. ALL ELECTRICAL DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR VENDORS ON ALL ELECTRICAL REQUIREMENTS.
15. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO: WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.
16. ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
17. PROVIDE PAINT (P1) AND SCOT BASE THROUGHOUT AREA OF WORK, U.O.N. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.
18. THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/2" MAX.
19. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION, U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION, U.O.N.
20. PAINT SHEENS:
- EGGSHELL @ ALL WALLS
- FLAT @ ALL CEILINGS
- SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)
- SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS
21. PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
22. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO: FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN READABLE.
23. ALL CABINET INTERIORS SHALL BE WHITE MELAMINE.
24. PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.
25. ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).
26. ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE, U.O.N.
27. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION.
28. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
29. ALL SWITCHES SHALL BE IN GANG BOXES.
30. INSTALL FIRE/SMOKE ACTIVATED WALL DAMPERS (U.L. APPROVED) AT ALL DUCT PENETRATIONS IN FIRE RATED PARTITIONS.
31. ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24, ELECTRICAL DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR PERMIT.
32. ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE.
33. PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT THE SPACE AS REQUIRED BY CODE.
34. REWORK ANY LIGHTING, HVAC, SPRINKLERS, LIGHT SWITCHES AND THERMOSTATS AS REQUIRED FOR NEW PARTITION AND CEILING LAYOUT.

KEY NOTES

1. REMOVE EXISTING FLOORING AND BASE THROUGHOUT.
2. REMOVE EXISTING CEILING TILE, GRID AND LIGHTING.
3. REMOVE EXISTING STOREFRONT AND/OR PORTION OF WALL AS REQUIRED BY NEW STOREFRONT AND/OR INFILL.
4. REMOVE EXISTING ROLLER SHADES AT STOREFRONT WINDOW REMOVAL. ALL OTHER EXISTING ROLLER SHADES TO REMAIN.
5. REMOVE EXISTING CEILING TILE. EXISTING CEILING GRID TO REMAIN.
6. NEW OVERHEAD DOOR BI-FOLD COUNTER WINDOW BY CROWN OR SIMILAR IN MATTE BLACK FRAME, CLEAR TEMPERED GLAZING, QUANTITY (1), SIZE 13'-6" WIDE X 7'-2" HIGH EA. PROVIDE MOTORIZED OPERATION. PROVIDE ELECTRICAL AS REQUIRED.
7. NEW 13'-6" WIDE X 2" H. X 28" DEEP COUNTER WITH 10" HIGH APRON ATTACHED TO FACE OF BUILDING WITH WD1 FINISH.
8. NEW METAL RIBBED PANEL SYSTEM MT2 OR SIMILAR. COLOR TO BE P5.
9. WRAP SC3 EPOXY FINISH 6" UP WALL, TYP.
10. NEW LOWER CABINETS 42"-0" LINEAR FEET X 2'-10" H. WITH SS1 COUNTERTOP AND 72" WIDE GLASS DISPLAY CASE INSERT.
11. NEW OPEN SHELVING UPPER 7'-6" LINEAR FEET (3) TIERS, 1" DIA. TUBE STEEL PIPE @ 48" O.C. RAILING SUPPORTS PAINTED MATTE BLACK. SHELVING TO BE PL1.
12. NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, 3'-0"W X 10'-0"H WITH STAINLESS STEEL BAR PULL HARDWARE AND CYLINDRICAL KEY LOCK.
13. NEW LED TAPE LIGHT AT INSIDE EDGE OF NEW METAL PANEL, APPROX. 33'-0" L.F.
14. NEW AC2 IN EXISTING CEILING GRID THROUGHOUT, TYP.
15. NEW 16" DEEP PL1 COUNTER WITH 4" SQUARE TUBE STEEL LEGS PAINTED BLACK. PAINT P1 THROUGHOUT, U.O.N.
16. NEW R30 ROOF INSULATION WITH WHITE CAP SHEET AT OPEN CEILING.
17. EXISTING ROLLER SHADES TO REMAIN, PROTECT DURING CONSTRUCTION.
18. NEW GYP. BD. CEILING, PAINTED P1.
19. NEW HAND SINK.
20. NEW SERVICE SINK.
21. NEW THREE COMPARTMENT SINK, TIE INTO FLOOR SINK, INDIRECT CONNECTION.
22. NEW FLOOR SINK.
23. NEW 30 GALLON ELECTRIC WATER HEATER.
24. NEW MOP SINK, 24" X 24" BY FLOORSTONE WITH FAUCET AND MOP HANGER.
25. EXISTING CANOPY TO REMAIN.
26. REMOVE EXISTING WALL MOUNTED DATA RACK AND CEILING CONDUITS, CABLES, ETC. BACK TO SOURCE.
27. REMOVE WALL MOUNTED RACEWAY AND POWER BACK TO SOURCE.
28. PROVIDE WALL TILE CT2 TO 10'-0" AT WALLS INDICATED.
29. INFILL EXISTING RECESSED WALL NICHES TO MATCH ADJACENT WALL FINISH.
30. PROVIDE WALL PANEL FRP1 TO 48" AT WALL INDICATED. PAINT P1 ABOVE FRP.
31. EXISTING WINDOW TO REMAIN.
32. INFILL EXISTING STOREFRONT AT DOOR REMOVAL TO MATCH ADJACENT GLAZING.
33. REMOVE EXISTING WINDOW AND/OR PORTION OF WALL AS REQUIRED BY NEW STOREFRONT AND/OR INFILL.
34. REMOVE EXISTING DOOR AS REQUIRED BY NEW GLASS INFILL.
35. NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, PR. 3'-0"W X 10'-0"H WITH STAINLESS STEEL BAR PULL HARDWARE AND CYLINDRICAL KEY LOCK.
36. NEW TEMPERED GLASS STOREFRONT WINDOW IN BLACK ALUMINUM FRAME, 7'-0" W X 9'-0"H WITH SOLAR BAN 70 FILM TO MATCH EXISTING WINDOW TINT.
37. NEW GLASS INFILL AT EXISTING STOREFRONT.
38. PROVIDE DECORATIVE PRIVACY FILM AT GLAZING.

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Sheet Title
**BUILDING E CAFE BISTRO -
DEMOLITION, FLOOR, FINISH
AND REFLECTED CEILING FINISH**

Sheet #

SHEET NOTES

- REFER TO SHEET G0.0 FOR GENERAL NOTES.
- REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.

KEY NOTES

- NEW OVERHEAD DOOR BI-FOLD COUNTER WINDOW BY CROWN OR SIMILAR IN MATTE BLACK FRAME, CLEAR TEMPERED GLAZING, QUANTITY (1), SIZE 13'-6" WIDE X 7'-2" HIGH EA. PROVIDE MOTORIZED OPERATION. PROVIDE ELECTRICAL AS REQUIRED.
- NEW 13'-6" WIDE X 2" H, X 28" DEEP COUNTER WITH 10" HIGH APRON ATTACHED TO FACE OF BUILDING WITH WD1 FINISH.
- NEW METAL RIBBED PANEL SYSTEM MT2 OR SIMILAR. COLOR TO BE P5.
- NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, 3'-0"W X 10'-0"H WITH STAINLESS STEEL BAR PULL, HARDWARE AND CYLINDRICAL KEY LOCK.
- NEW LED TAPE LIGHT AT INSIDE EDGE OF NEW METAL PANEL, APPROX. 33'-0" L.F.
- HAND PAINTED SIGN ON WD1 PANEL, APPROX. 8'-0" W, X 24" H, OVERALL LETTERS, \$3,500 ALLOWANCE.
- PROVIDE NEW TALL SQUARE PLANTER, TOURNESOL SITEWORKS, URT-1800, 18" TOP X 13.5" BASE X 30" H.
- NEW METAL RIBBED PANEL SYSTEM MT2 OR SIMILAR. COLOR TO BE P5.
- EXISTING METAL PANEL FACADE TO REMAIN.
- NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, PR. 3'-0"W X 10'-0"H WITH STAINLESS STEEL BAR PULL, HARDWARE AND CYLINDRICAL KEY LOCK.
- NEW TEMPERED GLASS STOREFRONT WINDOW IN BLACK ALUMINUM FRAME, 7'-0" W X 9'-0"H WITH SOLAR BAN 70 FILM TO MATCH EXISTING WINDOW TINT.
- NEW TRELLIS, STRUCTURE TO BE PAINTED P8 AND SLATS TO BE PAINTED P6. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW WOOD SLAT SYSTEM WD2 FINISH, SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW STOREFRONT DOOR AND HARDWARE ASSEMBLY WITH CLERESTORY TO MATCH EXISTING EXTERIOR DOOR CONDITION.
- REMOVE EXISTING STOREFRONT AND /OR PORTION OF WALL AS REQUIRED BY NEW STOREFRONT AND/OR INFILL.
- NEW STOREFRONT DOOR AND GLAZING TO MATCH BUILDING STANDARD, 3'-0"W X 10'-0"H.
- PROVIDE NEW FINISHES, PLUMBING FIXTURES, LIGHT FIXTURES AND ACCESSORIES.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- EXISTING PARTITION AND DOOR TO REMAIN
- EXISTING PARTITION AND DOOR TO BE DEMOLISHED
- OPEN OFFICE
- ROOM NAME
- ROOM NUMBER
- EXISTING PARTITION
- PARTITION TYPE, SEE SCHEDULE
- NEW PARTITION
- NOT IN SCOPE

Stamp

PRELIMINARY -
NOT FOR
CONSTRUCTION

City

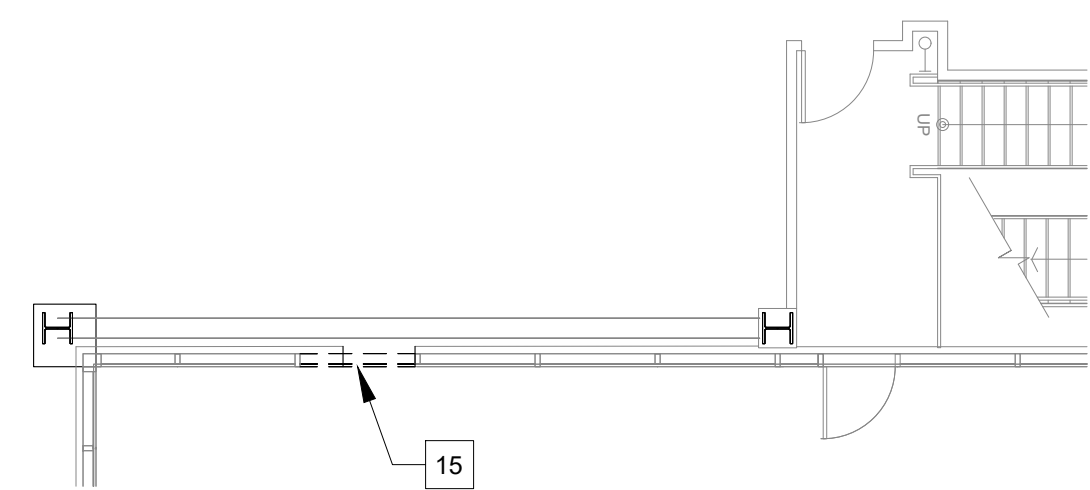
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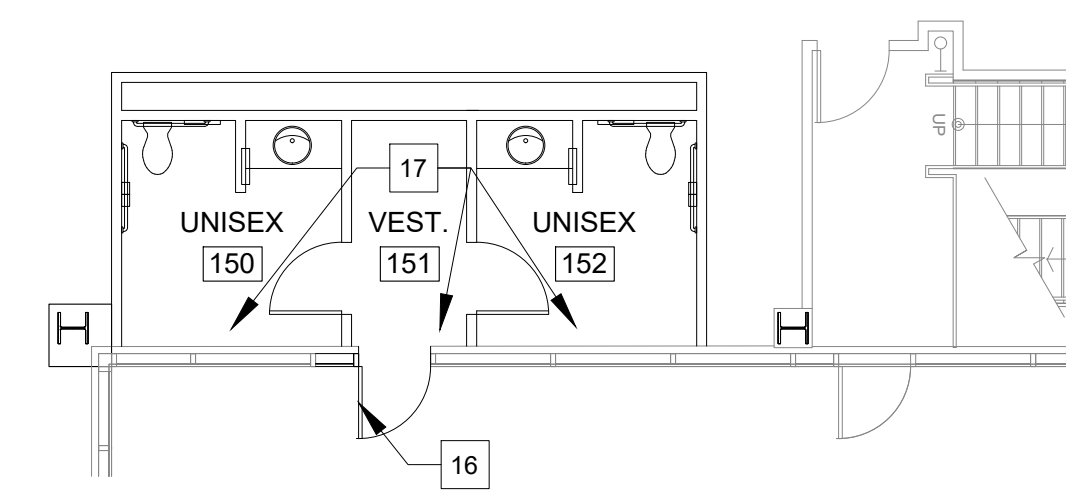
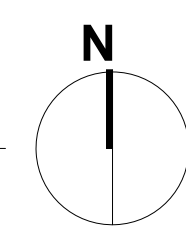
Sheet Title
**BUILDING E CAFE BISTRO -
EXTERIOR ELEVATIONS
AND BUILDING D RESTROOM -
ENLARGED PLANS**

Sheet #

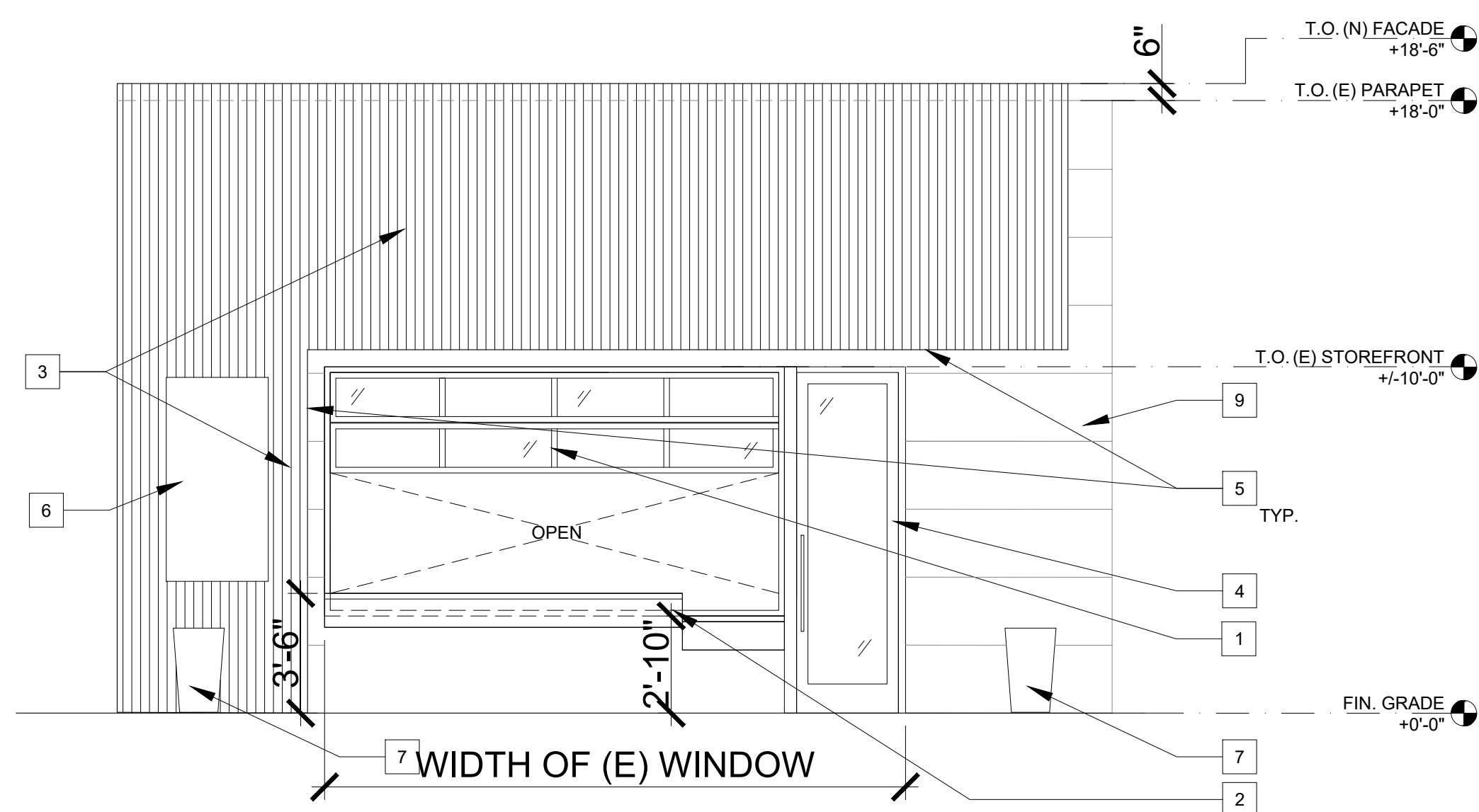
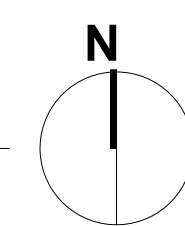
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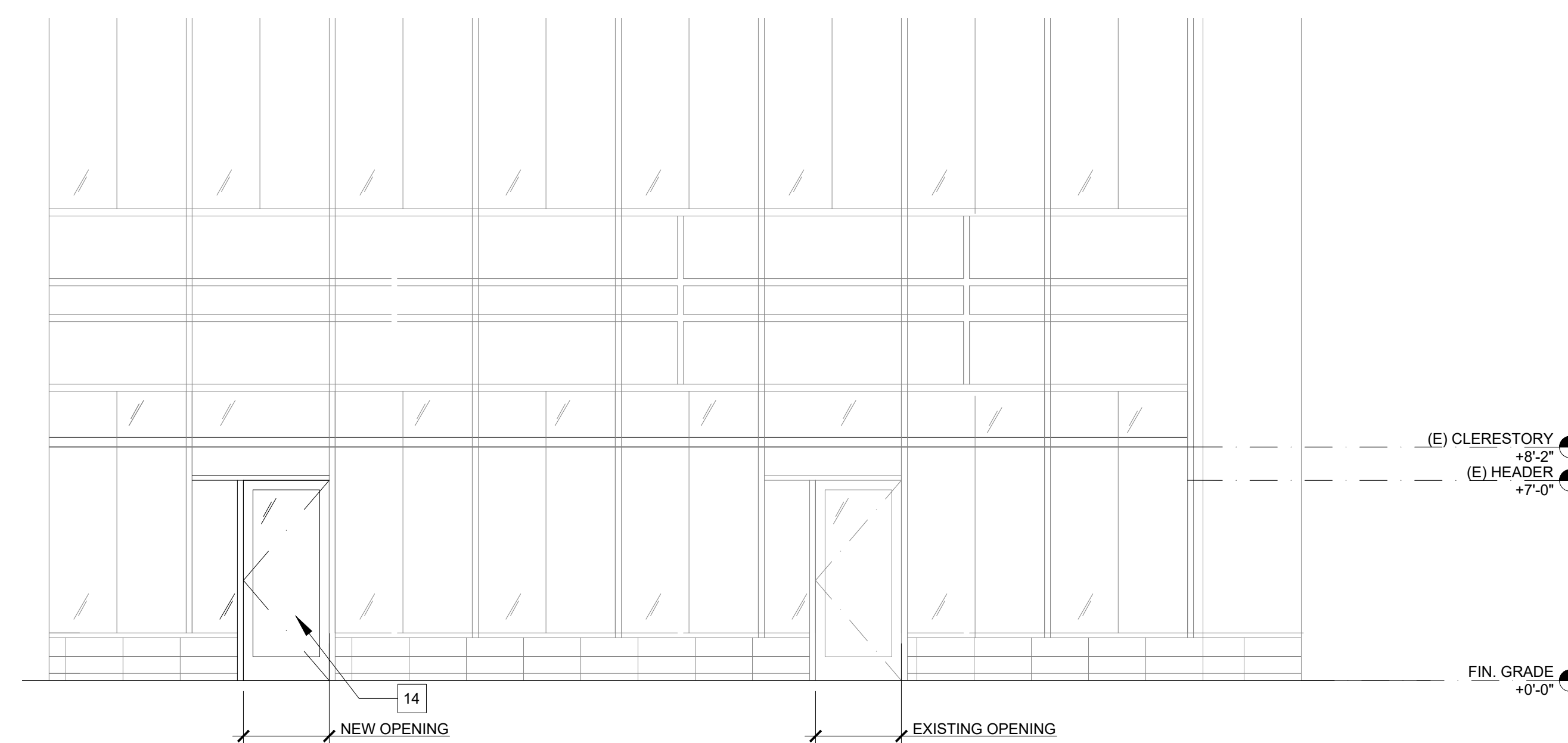
1 FIRST FLOOR DEMOLITION PLAN @ BLDG D RESTROOMS
1/8"=1'-0"



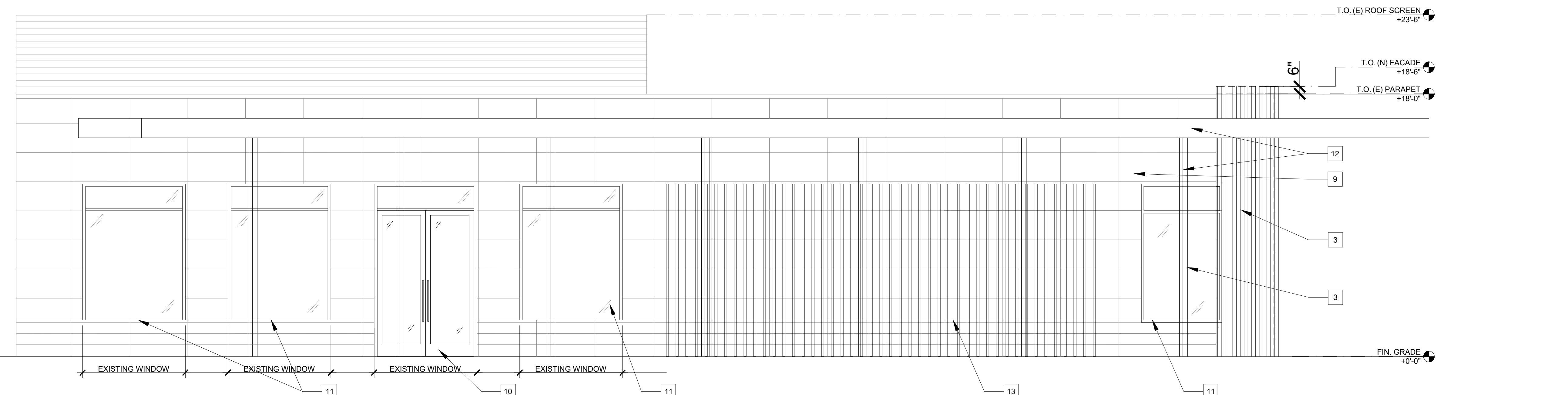
2 FIRST FLOOR FLOOR PLAN @ BUILDING D RESTROOMS
1/8"=1'-0"



16 ELEVATION FACING SOUTH
1/4"=1'-0"



6 ELEVATION FACING NORTH
1/4"=1'-0"



20 ELEVATION FACING EAST
1/4"=1'-0"

SHEET NOTES



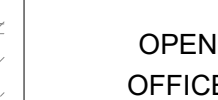

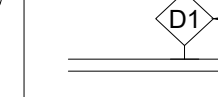




1. REFER TO SHEET G0.0 FOR GENERAL NOTES.
2. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
3. EXISTING FLOORING AND WALL BASE TO REMAIN, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
4. EXISTING SUSPENDED CEILING TILES, GRID AND LIGHTING TO REMAIN, U.O.N.
5. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.
6. PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION WORK.
7. CONTRACTOR SHALL CLEAN, PATCH AND REPAIR EXISTING WINDOW MULLIONS WHERE PREVIOUS WALLS WERE ATTACHED AND REMOVED.
8. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
9. ALL NEW PARTITIONS SHALL RECEIVE ACOUSTIC BATT INSULATION, U.O.N. PROVIDE ACOUSTICAL SEALANT FOR AIRTIGHT SEAL AT ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO CONDUITS, SPRINKLER LINES, PIPING, DUCTS, ETC. AND AT ANY GYPSUM BOARD WALL OPENINGS AND PERIMETERS.
10. ALL GYPSUM BOARD SURFACES SHALL FINISHED WITH NO VISIBLE JOINTS OR SEAMS AND SMOOTHED (OR TEXTURED) IN PREPARATION FOR PAINT.
11. PROVIDE WALL TEXTURE TO MATCH EXISTING THROUGHOUT AREA OF WORK.
12. ALL GYPSUM BOARD EXPOSED EDGES SHALL BE PROTECTED WITH A CONCEALED METAL EDGE TRIM.
13. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED BY NEW WORK.
14. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR VENDORS ON ALL ELECTRICAL REQUIREMENTS.
15. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.
16. ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
17. PROVIDE PAINT (P1) AND SCS BASE THROUGHOUT AREA OF WORK, U.O.N. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.
18. THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/2" MAX.
19. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION, U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION, U.O.N.
20. PAINT SHEENS:
- EGGSHELL @ ALL WALLS
- FLAT @ ALL CEILINGS
- SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)
- SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS
21. PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
22. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN READABLE.
23. ALL CABINET INTERIORS SHALL BE WHITE MELAMINE.
24. PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.
25. ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).
26. ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE, U.O.N.
27. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION.
28. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
29. ALL SWITCHES SHALL BE IN GANG BOXES.
30. INSTALL FIRE/SMOKE ACTIVATED WALL DAMPERS (U.L. APPROVED) AT ALL DUCT PENETRATIONS IN FIRE RATED PARTITIONS.
31. ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR PERMIT.
32. ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE.
33. PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT THE SPACE AS REQUIRED BY CODE.
34. REWORK ANY LIGHTING, HVAC, SPRINKLERS, LIGHT SWITCHES AND THERMOSTATS AS REQUIRED FOR NEW PARTITION AND CEILING LAYOUT.

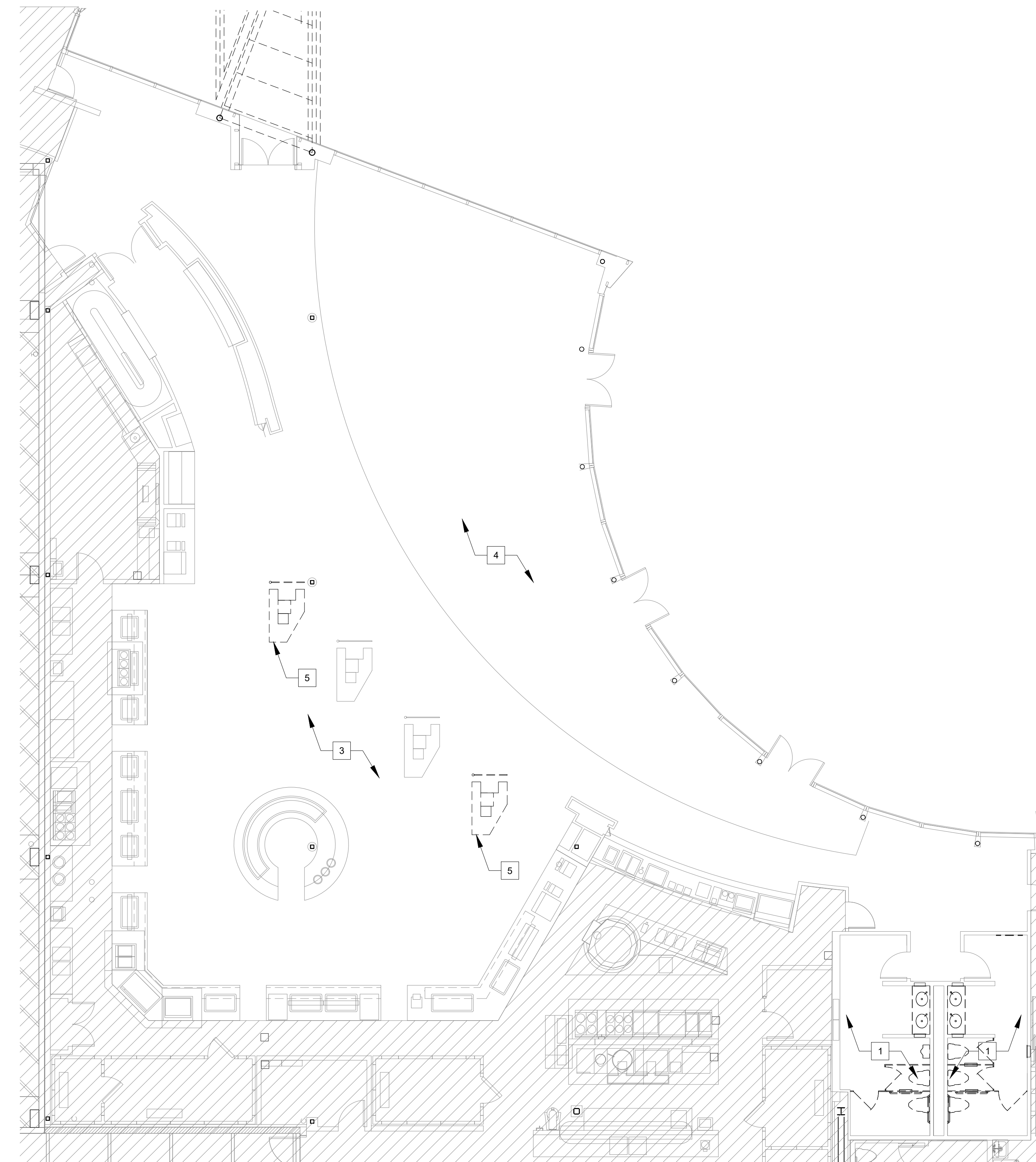
KEY NOTES

1. REMOVE EXISTING FINISHES, TOILET PARTITIONS, PLUMBING FIXTURES, LIGHT FIXTURES AND ACCESSORIES. PREPARE FOR NEW PER FLOOR PLAN. EXISTING GYP. BD. CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED BY NEW LIGHT FIXTURE INSTALLATION.
2. PROVIDE NEW FINISHES, TOILET PARTITIONS, PLUMBING FIXTURES, LIGHT FIXTURES AND ACCESSORIES.
3. REMOVE EXISTING SERVERY CASEWORK FRONTS, LIGHT FIXTURES AND CEILING TILES.
4. REMOVE EXISTING CARPET AND PREPARE FOR NEW FLOORING.
5. REMOVE EXISTING POINT OF SALE STATION, PATCH AND REPAIR FLOORING AS REQUIRED.
6. PROVIDE NEW PAINT, SERVERY CASEWORK FRONTS, LIGHT FIXTURES AND CEILING TILES. REPAIR AND RESEAL EXISTING CONCRETE FLOORING.
7. PROVIDE NEW PAINT AND LVT FLOORING.

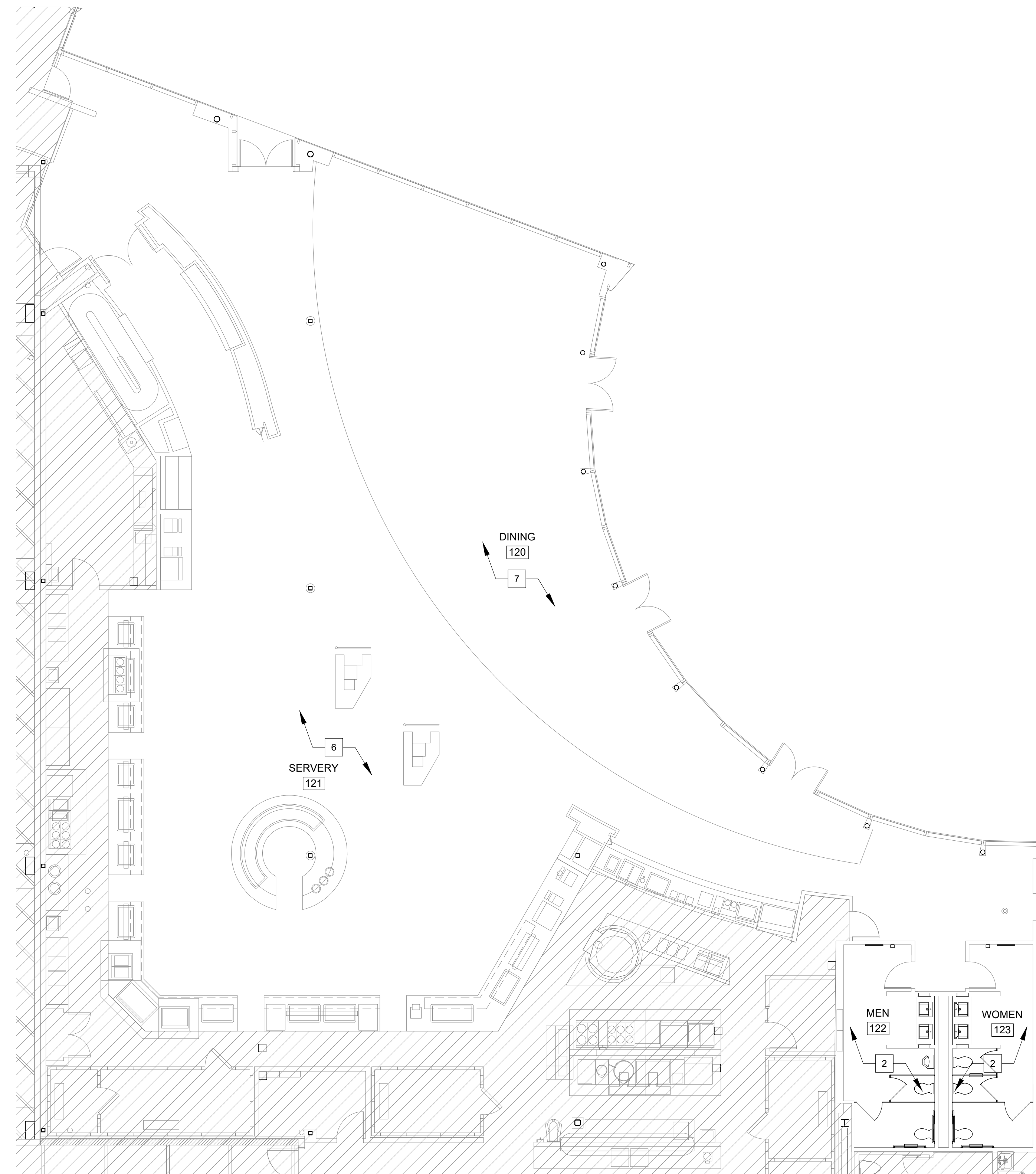
LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

-  EXISTING PARTITION AND DOOR TO REMAIN
-  EXISTING PARTITION AND DOOR TO BE DEMOLISHED
-  OPEN OFFICE
-  ROOM NAME
-  ROOM NUMBER
-  EXISTING PARTITION
-  PARTITION TYPE, SEE SCHEDULE
-  NEW PARTITION
-  NOT IN SCOPE



1 FIRST FLOOR DEMOLITION PLAN @ BLDG E CAFE AND RESTROOMS
1/8"=1'-0"



2 FIRST FLOOR PLAN @ BLDG E CAFE AND RESTROOMS
1/8"=1'-0"

Stamp

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CONSTRUCTION

City

NO.	DESCRIPTION	DATE
1	Issued for Planning Review	04.01.22
2	Plan Check Response	06.30.22
3	Plan Check Response	08.31.22
4	Planning Revisions	11.08.22
5	Final Planning Set	12.16.22

Job #	21068
Date	04.01.22
Scale	As Shown

Sheet Title
**BUILDING E CAFE AND RESTROOMS -
DEMOLITION AND FLOOR PLANS**

Sheet #



1 EXISTING PHOTO @ ARIAL VIEW AT ELLIS CAMPUS
1/16"=1'-0"

N.T.S.



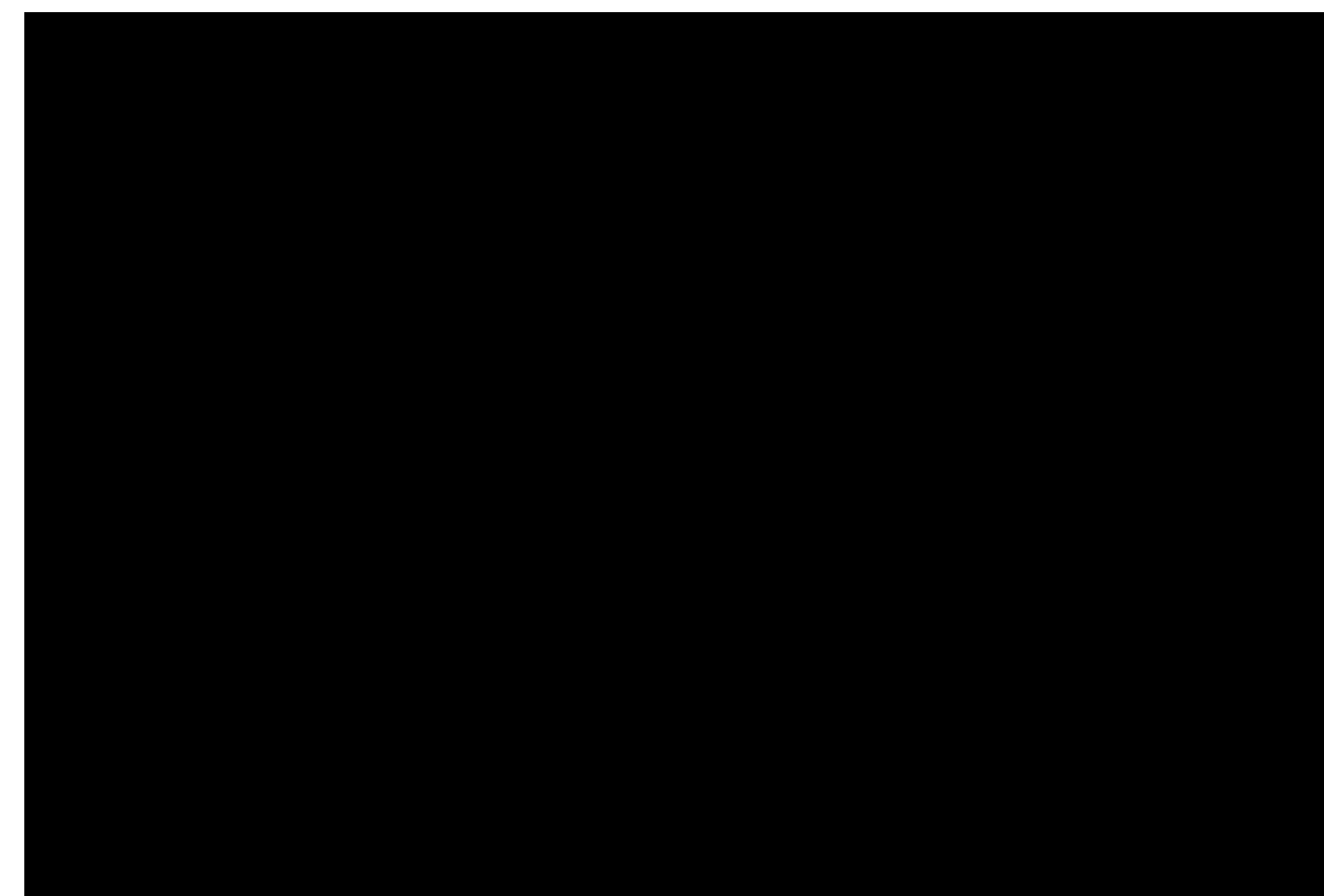
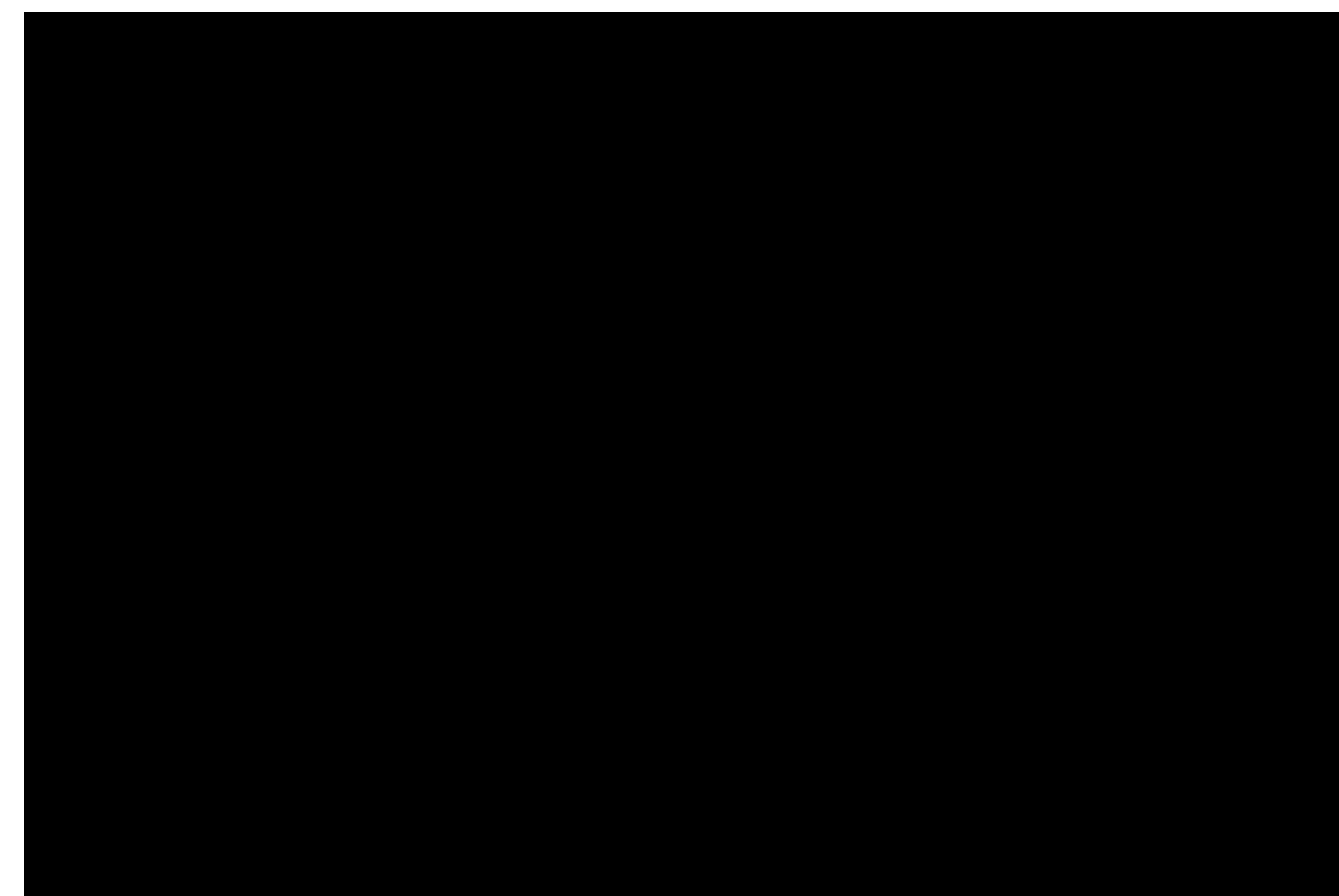
2 EXISTING PHOTO @ 490 MIDDLEFIELD (ADJACENT PROPERTY SOUTH)

N.T.S.



3 EXISTING PHOTO @ 350-380 ELLIS

N.T.S.



4 EXISTING PHOTO @ 380 ELLIS SIDEWALK FACING SOUTH

N.T.S.



5 EXISTING PHOTO @ 464 ELLIS (ADJACENT PROPERTY NORTH)

N.T.S.

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Sheet Title
ELLIS STREET
EXISTING PHOTOS

Sheet #

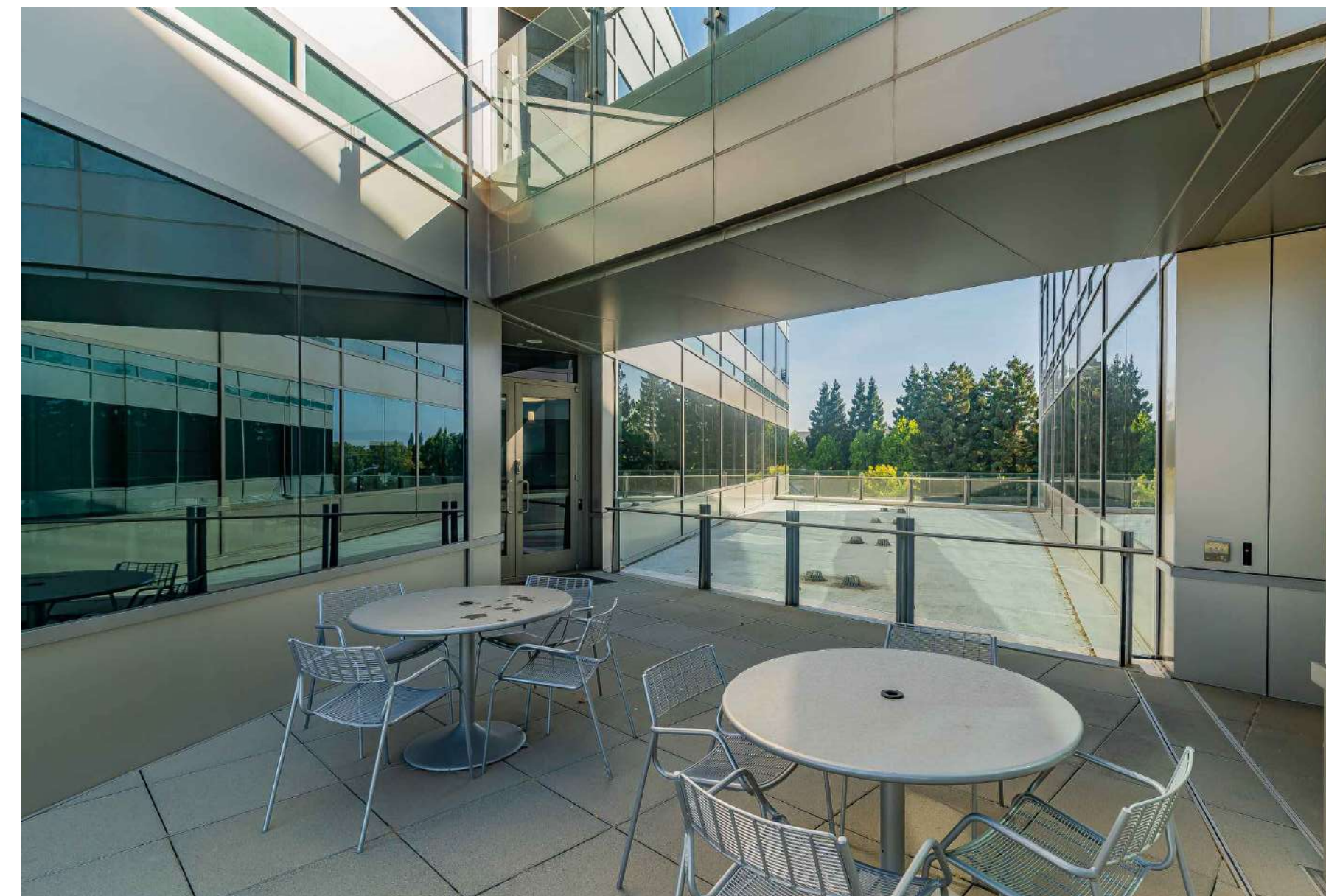
Project
 ELLIS STREET OWNER, LLC
 BUILDINGS A/B/C/D/E
 IMPROVEMENTS
 350-380 ELLIS STREET
 MOUNTAIN VIEW, CA 94043

TMG
 PARTNERS
 Consultant



2 EXISTING PHOTO @ BUILDING A/B COURTYARD LOBBY

N.T.S.



6 EXISTING PHOTO @ BUILDING A/B THIRD FLOOR ROOF TERRACE
 1/16"=1'-0"

N.T.S.

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Job # 21068
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Sheet Title
 BUILDINGS A/B
 EXISTING PHOTOS

Sheet #

A7.01

Project
 ELLIS STREET OWNER, LLC
 BUILDINGS A/B/C/D/E
 IMPROVEMENTS
 350-380 ELLIS STREET
 MOUNTAIN VIEW, CA 94043

TMG
 PARTNERS
 Consultant



1 EXISTING PHOTO @ BUILDING C/D MAIN LOBBY

N.T.S.



3 EXISTING PHOTO @ BUILDING C/D THIRD FLOOR ROOF TERRACE

N.T.S.

Stamp

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 CONSTRUCTION

City

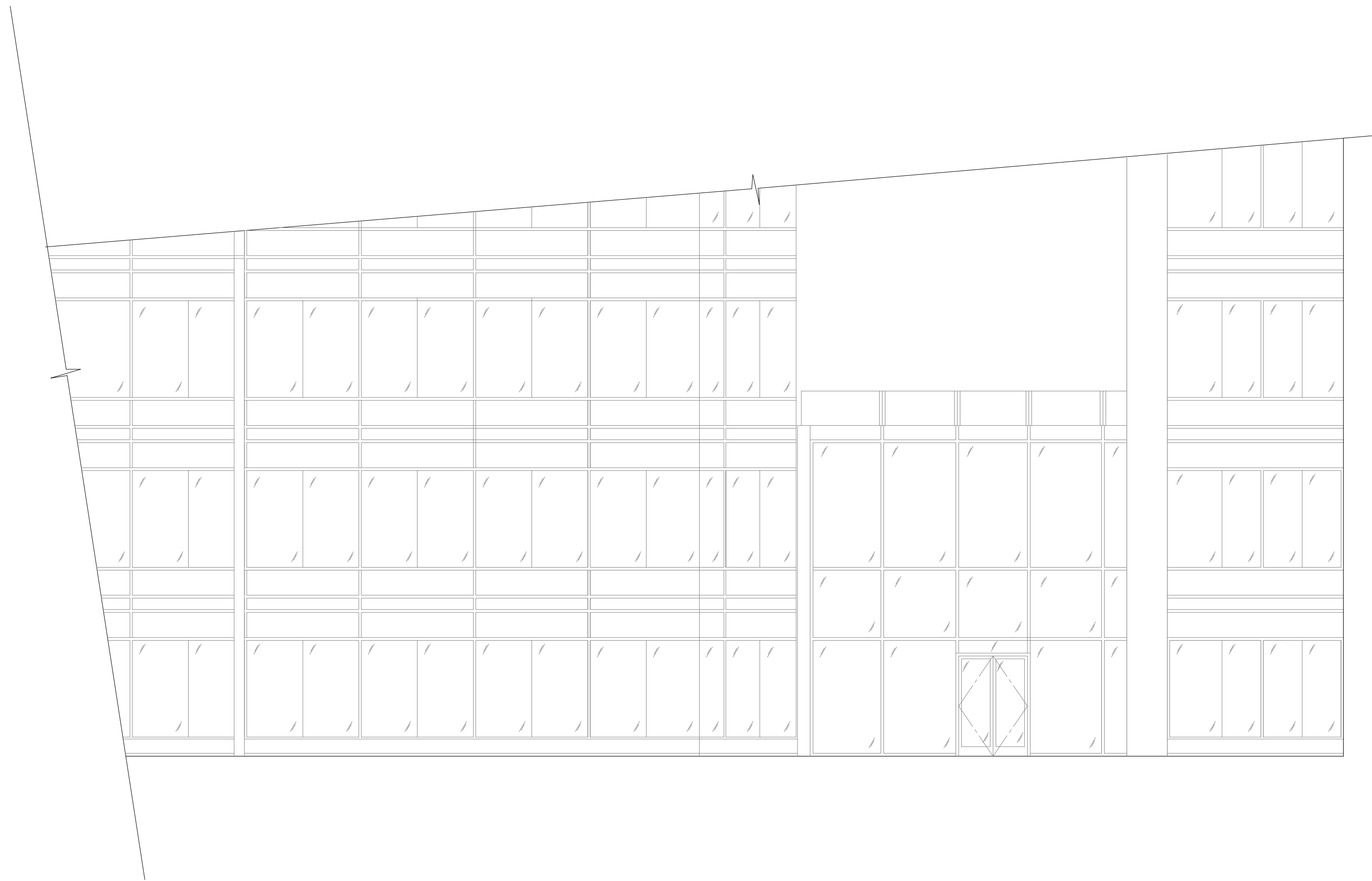
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Job # 21068
 Date 04.01.22
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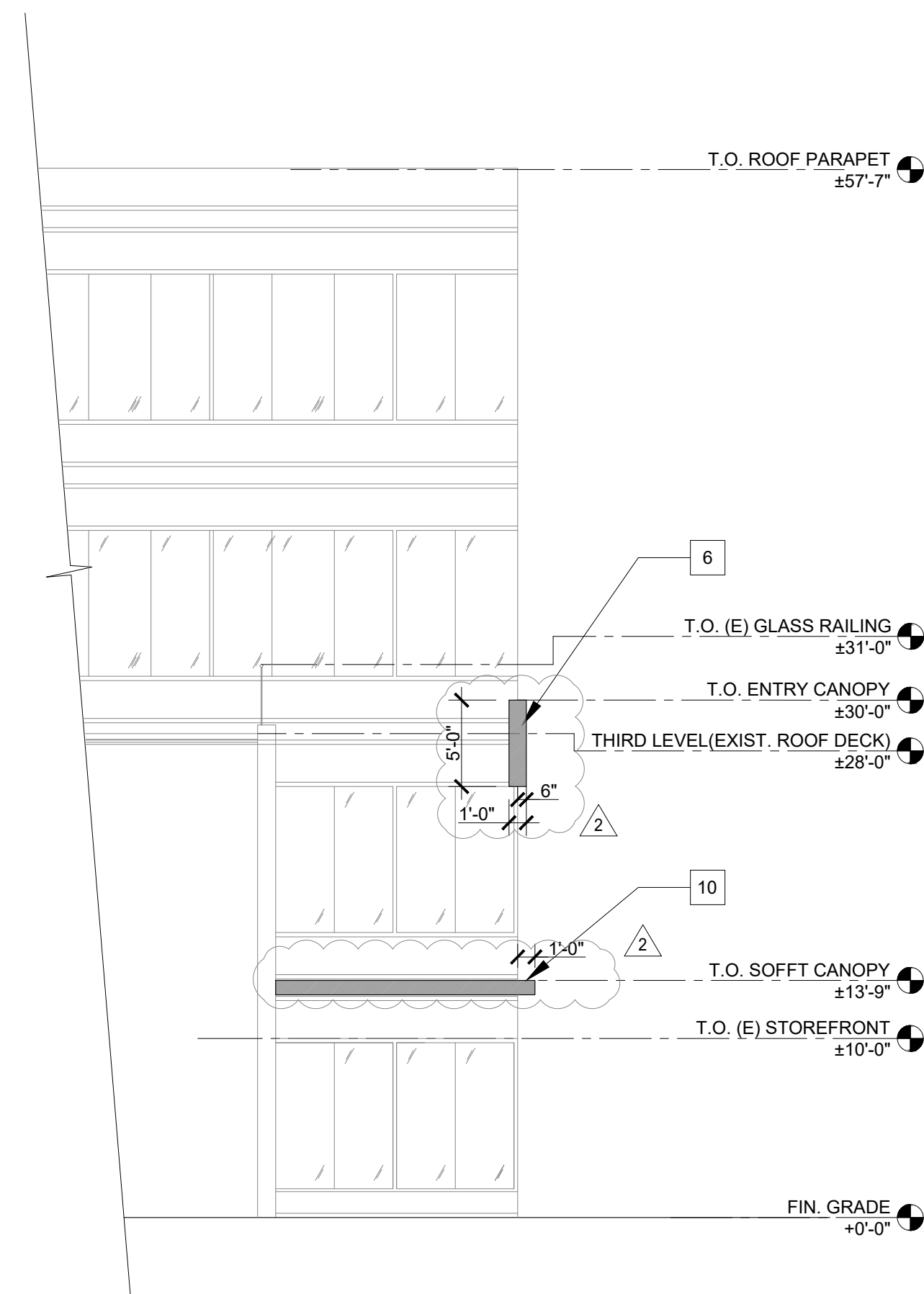
Sheet Title
 BUILDINGS C/D
 EXISTING PHOTOS

Sheet #

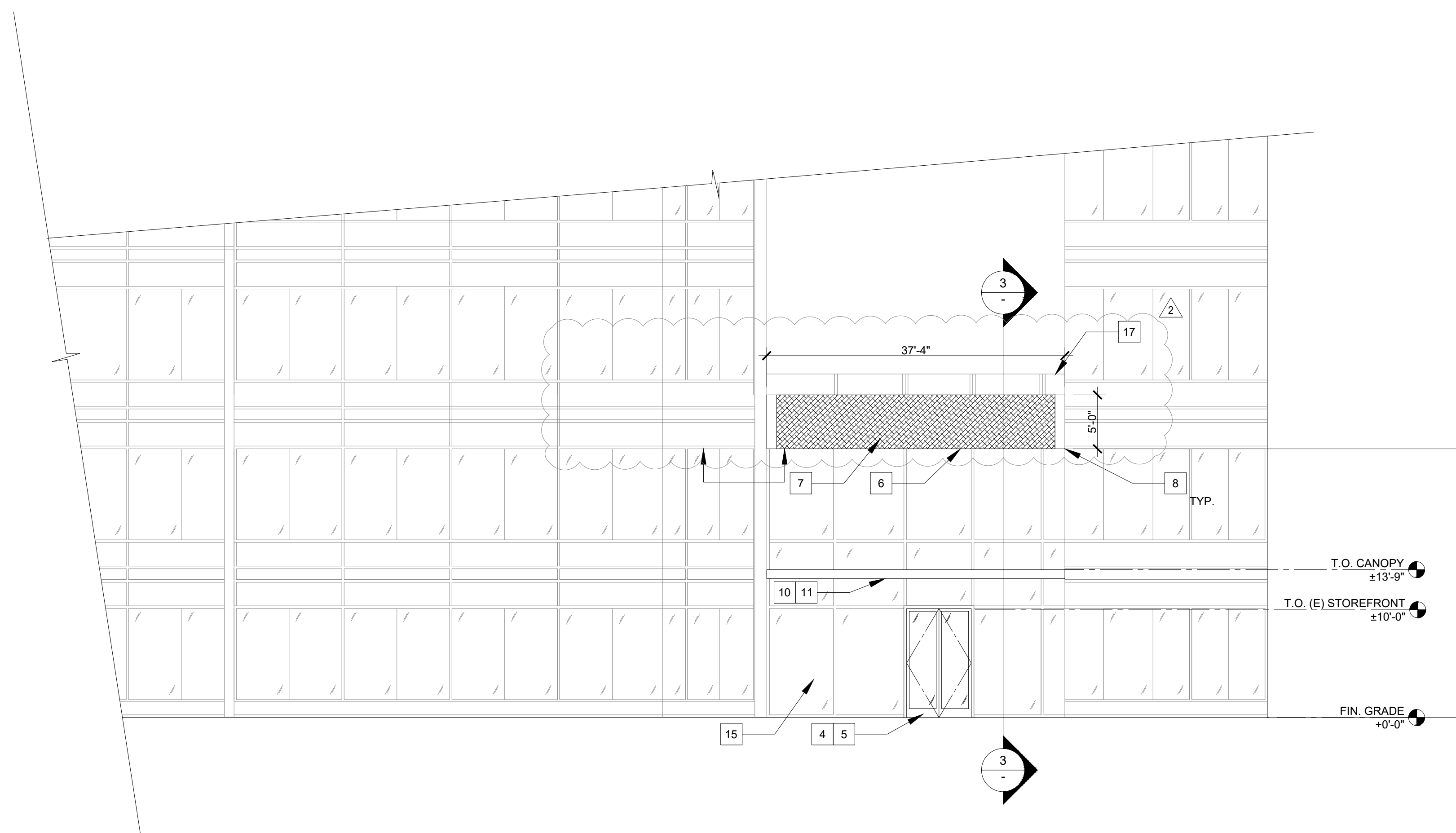
A7.02



1 EXISTING EXTERIOR ELEVATION - EAST VIEW
1/8"=1'-0"



3 SECTION
1/8"=1'-0"



2 PROPOSED EXTERIOR ELEVATION - EAST VIEW
1/8"=1'-0"

SHEET NOTES

1. REFER TO SHEET G0.1 FOR PROJECT SPECIFICATIONS.
2. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.

KEY NOTES

1. NOT USED.
2. NOT USED.
3. NOT USED.
4. NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH. PROVIDE PANIC HARDWARE AND CARD READER ACCESS.
5. NEW ALUMINUM THRESHOLD AT DOOR.
6. NEW EYEBROW SOFFIT (SHOWN DASHED); STEEL FRAMING GLAD WITH METAL PANEL MTL1. OVERALL BOXED SOFFIT TO BE 44'-2" W. X 60" H. X 18" D.
7. NEW VISTAFOLIA ARTIFICIAL GREEN WALL SYSTEM (SHOWN CROSS-HATCHED). OVERALL 36'-6" WIDE AND 48'-0" TALL X 10" DEEP BY HABITAT HORTICULTURE. ARTIFICIAL GREEN WALL SYSTEM TO BE INSET INTO EYEBROW SOFFIT AT FRONT FACE, TOP FACE OF CANOPY AND REAR FACE.
8. PROVIDE CONGEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION.
9. NOT USED.
10. NEW 36'-0" W. X 10" H. X 60" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT ENTRY (SHOWN DASHED). ROOF PANEL- ALUMINUM PANEL/DECKING TO ENCLOSE THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES. CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR TO MATCH P5. CONTACT HANNA AT VISIBLE INNOVATIONS (408)350-7000.
11. PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.
12. NOT USED.
13. NOT USED.
14. NOT USED.
15. EXISTING STOREFRONT TO REMAIN.
16. NOT USED.
17. EXISTING GUARDRAIL AT ROOFTOP TERRACE TO REMAIN.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- P1 FINISH TYPE. SEE FINISH SPECIFICATIONS

Stamp

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Scale	As Shown

Sheet Title
BUILDINGS A/B
EXTERIOR ELEVATIONS

Sheet #

A8.1



1 PROPOSED EXTERIOR RENDER @ BUILDING A/B MIAN LOBBY

N.T.S.

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City



2 PROPOSED EXTERIOR RENDER @ BUILDING A/B ROOF TERRACE (BUILDING C/D ROOF TERRACE SIM. OPP. HAND)

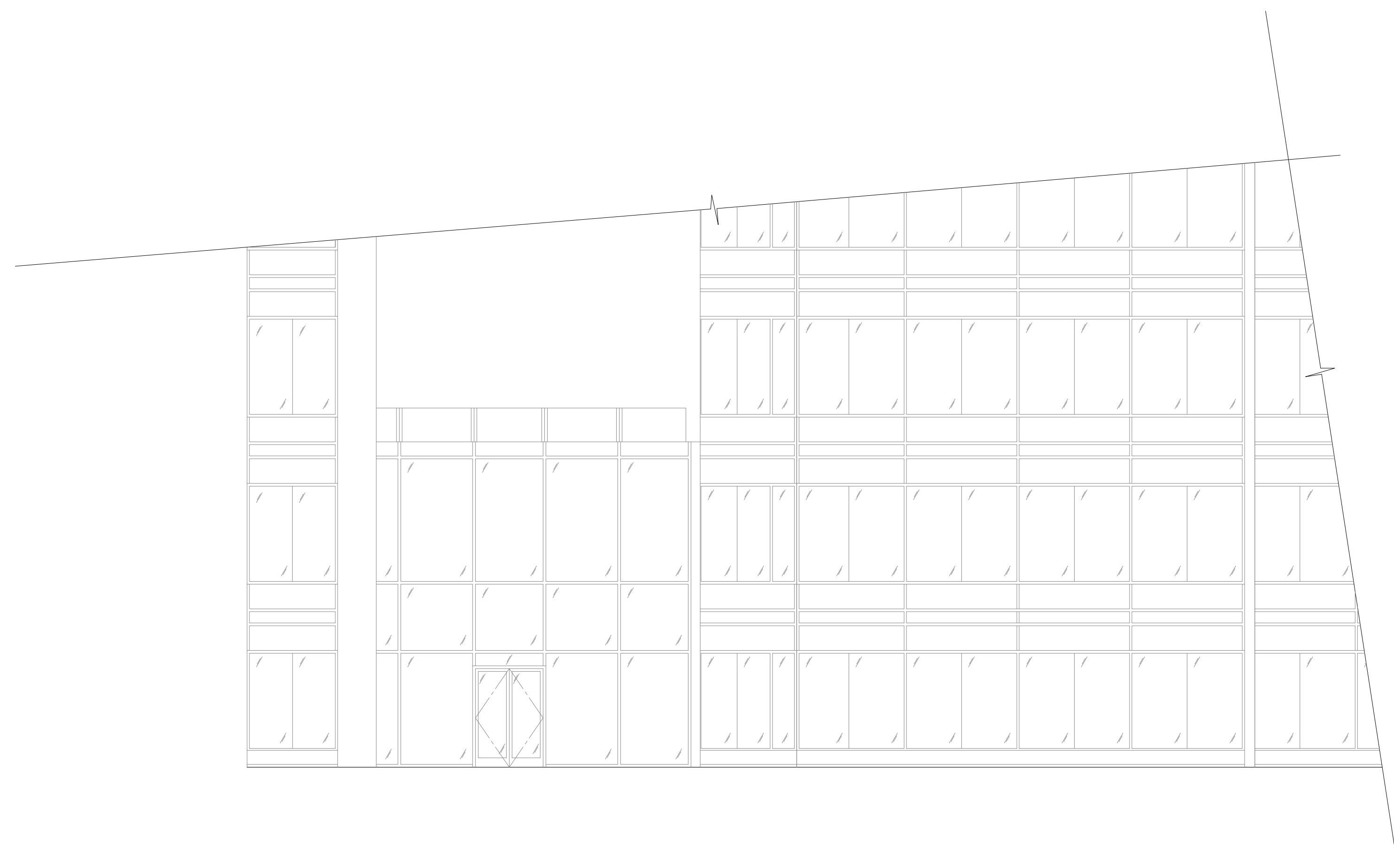
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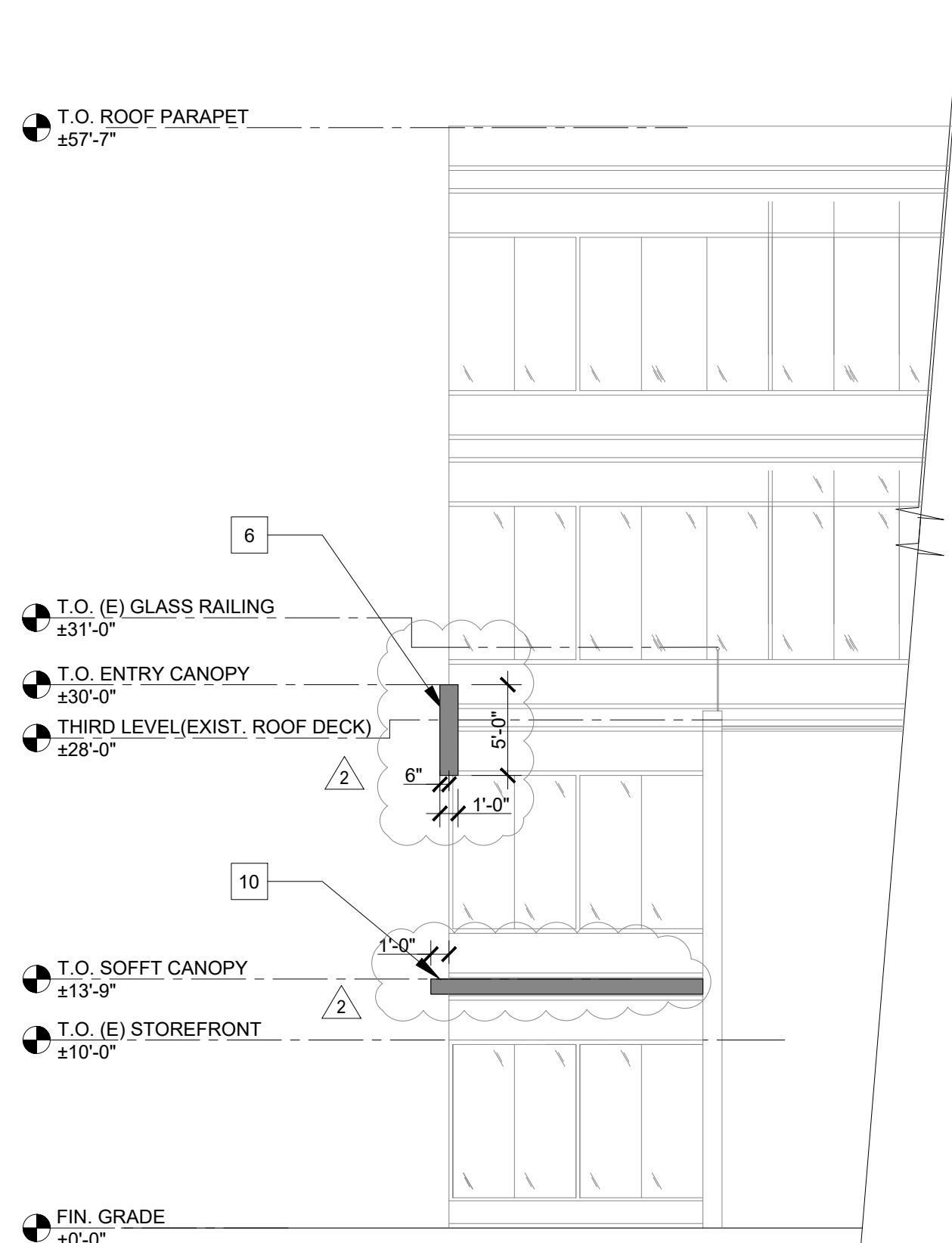
Job # 21068
 Date 04.01.22
 Scale As Shown

Sheet Title
 BUILDINGS A/B
 EXTERIOR RENDERINGS

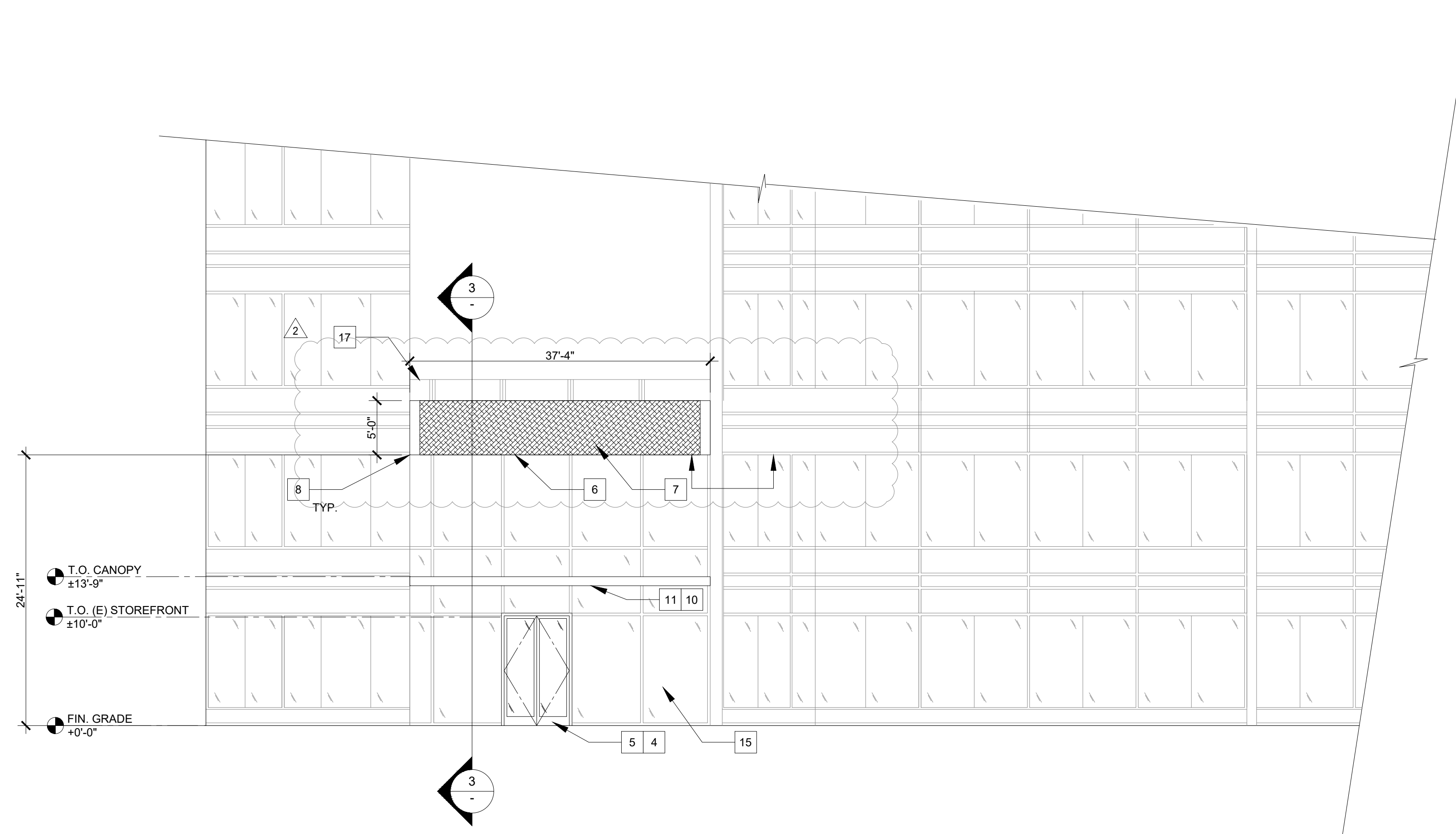
Sheet #



1 EXISTING EXTERIOR ELEVATION - WEST VIEW
1/8"=1'-0"



3 SECTION
1/8"=1'-0"



2 PROPOSED EXTERIOR ELEVATION - WEST VIEW
1/8"=1'-0"

SHEET NOTES

1. REFER TO SHEET G0.1 FOR PROJECT SPECIFICATIONS.
2. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.

KEY NOTES

1. NOT USED.
2. NOT USED.
3. NOT USED.
4. NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH. PROVIDE PANIC HARDWARE AND CARD READER ACCESS.
5. NEW ALUMINUM THRESHOLD AT DOOR.
6. NEW EYEBROW SOFFIT (SHOWN DASHED); STEEL FRAMING CLAD WITH METAL PANEL MT1. OVERALL BOXED SOFFIT TO BE 44'-2" W. X 60" H. X 18" D.
7. NEW VISTAFOLIA ARTIFICIAL GREEN WALL SYSTEM (SHOWN CROSS-HATCHED). OVERALL 36'-6" WIDE AND 48'-0" TALL X 10" DEEP BY HABITAT HORTICULTURE. ARTIFICIAL GREEN WALL SYSTEM TO BE INSET INTO EYEBROW SOFFIT AT FRONT FACE, TOP FACE OF CANOPY AND REAR FACE.
8. PROVIDE CONCEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION.
9. NOT USED.
10. NEW 36'-0" W. X 10" H. X 60" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT ENTRY (SHOWN DASHED). ROOF PANEL: ALUMINUM PANEL/DECKING TO ENCLOSE THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES. CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR TO MATCH P5. CONTACT HANNA AT VISIBLE INNOVATIONS (408)350-7000.
11. PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.
12. NOT USED.
13. NOT USED.
14. EXISTING STOREFRONT TO REMAIN.
15. NOT USED.
16. EXISTING GUARDRAIL AT ROOFTOP TERRACE TO REMAIN.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- P1 FINISH TYPE. SEE FINISH SPECIFICATIONS

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Job #	21068
Date	04.01.22
Scale	As Shown

Sheet Title
BUILDINGS C/D
EXTERIOR ELEVATIONS

Sheet #

A8.3



1 PROPOSED EXTERIOR RENDER @BUILDING C/D MAIN LOBBY

N.T.S.

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 CONSTRUCTION

City



2 PROPOSED EXTERIOR RENDER @ BUILDING B/C ROOF TERRACE

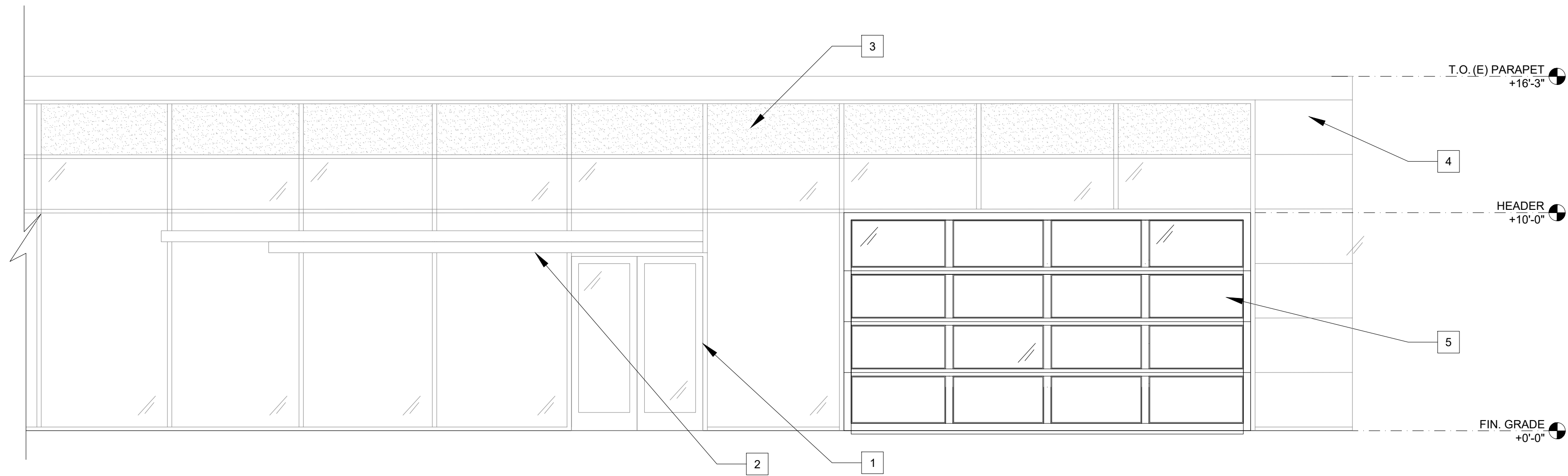
N.T.S.

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 Date 04.01.22
 Scale As Shown

Sheet Title
 BUILDINGS B/C & C/D
 EXTERIOR RENDERINGS

Sheet #



2 PROPOSED EXTERIOR RENDER @ FITNESS CENTER

N.T.S.

SHEET NOTES

1. REFER TO SHEET G0.1 FOR PROJECT SPECIFICATIONS.
2. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.

KEY NOTES

1. EXISTING STOREFRONT TO REMAIN.
2. EXISTING METAL AWNING TO REMAIN.
3. EXISTING SPANDREL GLASS TO REMAIN.
4. EXISTING METAL PANEL TO REMAIN.
5. NEW GLASS DOOR IN ALUMINUM FRAME. CROWN SST-II HYDRAULIC BI FOLD OR SIMILAR IN POWDER COATED FINISH TO MATCH EXISTING ALUMINUM STOREFRONT FINISH (CLEAR ANODIZED). GLAZING TO BE TEMPERED.

LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

- P1 FINISH TYPE. SEE FINISH SPECIFICATIONS



1 PROPOSED EXTERIOR RENDER @ FITNESS CENTER

N.T.S.

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Job #	21068
Date	04.01.22
Scale	As Shown

Sheet Title
 BUILDING E FITNESS CENTER-
 EXTERIOR ELEVATION
 AND RENDERING

Sheet #

A8.5



1 PROPOSED EXTERIOR RENDER @ COFFEE BAR

N.T.S.

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City



2 PROPOSED INTERIOR RENDER @ COFFEE BAR

N.T.S.

NO.	DESCRIPTION	DATE
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	Final Planning Set	12.16.22

Job # 21068
 Date 04.01.22
 Scale As Shown

Sheet Title
 BUILDING E COFFEE BAR-
 EXTERIOR AND INTERIOR
 RENDERINGS

Sheet #

A8.6

EXTERIOR FINISHES

(DT1)	DESC MFG STYLE SIZE	ROOF DECK WOOD TILES TILE TECH OR SIMILAR IPE DECK TILES 20' X 20'	
(DT2)	DESC MFG STYLE COLOR SIZE	ROOF DECK CONCRETE TILES TILE TECH OR SIMILAR STAMP TECH FLAT DESIGN T.B.D. 20' X 20'	
(DT3)	DESC MFG STYLE COLOR	ROOF DECK ARTIFICIAL TURF TILE TECH OR SIMILAR TURF-TRAY ROOFTOP ARTIFICIAL GRASS T.B.D.	
(MT1)	DESC MFG STYLE COLOR NOTE	METAL PANEL AT ENTRY CANOPY ALUCOBOND AXCENT SMOOTH PANEL PAINT TO MATCH P7	⚠
(MT2)	DESC MFG STYLE COLOR NOTE	METAL PANEL AT COFFEE BAR PAC-CLAD BOX RIB WALL PANEL PAINT TO MATCH PS RUN FLUTES VERTICAL	
(P5)	DESC MFG COLOR NUMBER	ACCENT PAINT SHERWIN WILLIAMS IRON ORE SW 7069	
(P6)	DESC MFG COLOR	TRELLIS SLATS TNEMEC PAINT TO MATCH RAL 8024	
(P7)	DESC MFG COLOR NUMBER	ACCENT PAINT SHERWIN WILLIAMS LINK GRAY SW 6200	⚠
(P8)	DESC MFG COLOR	TRELLIS STRUCTURE TNEMEC PAINT TO MATCH RAL 8019	
(WD1)	DESC STYLE NOTES	WOOD COUNTER/APRON AT COFFEE BAR WHITE OAK MATCH ARCHITECT'S SAMPLE	
(WD2)	DESC STYLE NOTES	WOOD SLAT FENCE AND WALL SCREEN CLEAR ALL HEART REDWOOD MATCH ARCHITECT'S SAMPLE	⚠

Project
ELLIS STREET OWNER, LLC
BUILDINGS A/B/C/D/E
IMPROVEMENTS
350-380 ELLIS STREET
MOUNTAIN VIEW, CA 94043

TMG
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 Date 04.01.22
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Sheet Title
**FINISH
 SPECIFICATIONS**

Sheet #
A10.1



1 VIEW AT CROSSROADS



2 VIEW UNDER REDWOODS



3 VIEW AT ENTRY MEADOW



4 VIEW AT CAFE TRELLIS



5 VIEW AT OLIVE SUNKEN PLAZA



6 VIEW AT OLIVE SUNKEN PLAZA



7 VIEW OF QUAD VINE TRELLIS



8 VIEW AT LAWN



9 VIEW AT GINGKO GROVE



10 VIEW OF ENTRY FENCE



11 VIEW OF ENTRY CAFE



KEY MAP

NO.	DESCRIPTION	DATE
	ISSUED FOR PLANNING REVIEW	08.31.2022
	FINAL PLANNING SET	12.16.2022

Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title
PROPOSED SITE VIEWS

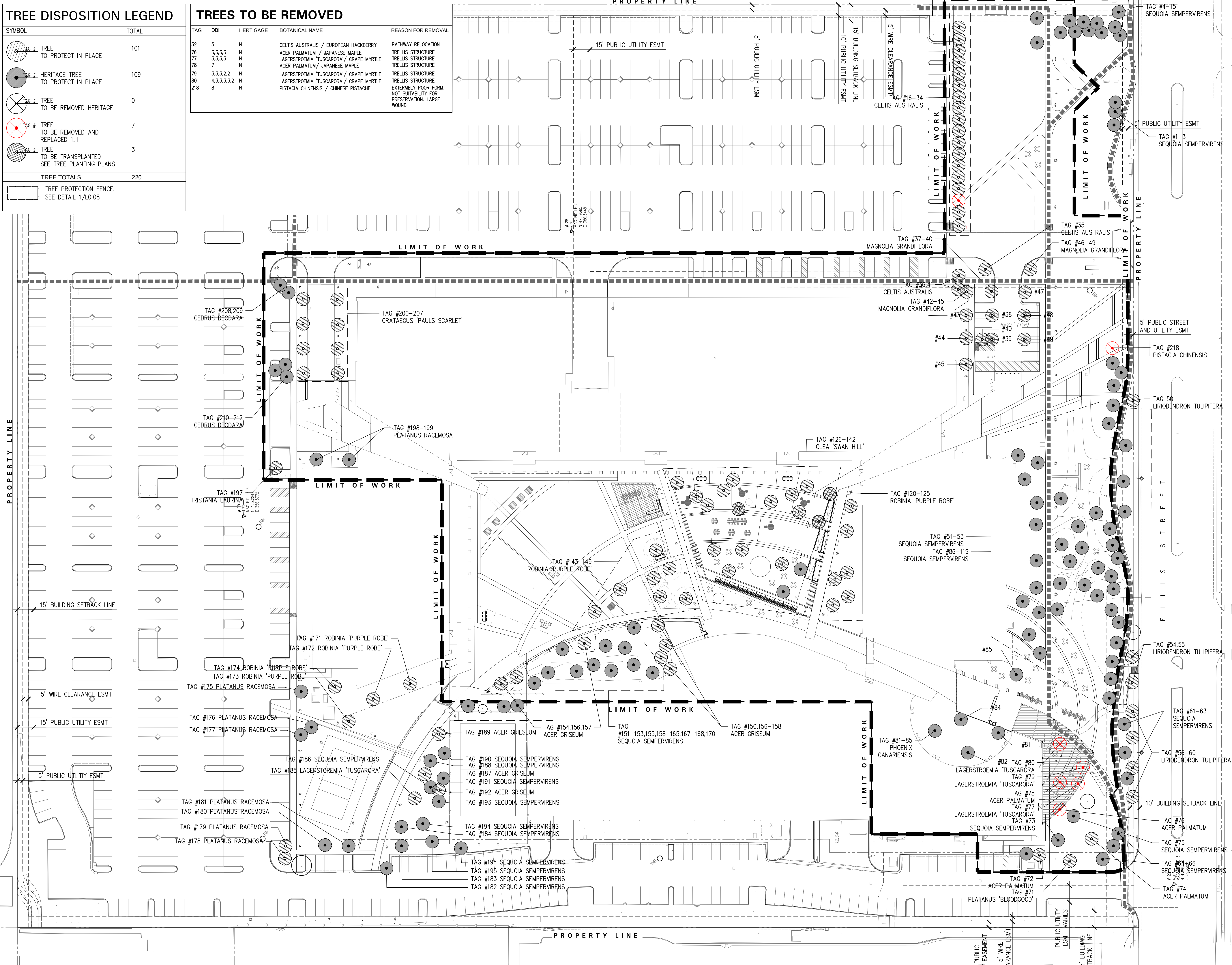
Sheet #

L0.03

NO.	DESCRIPTION	DATE
	ISSUED FOR PLANNING	08.31.2022
	REVIEW	
	FINAL PLANNING SET	12.16.2022

Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title
EXISTING TREE PLAN



TREE DISPOSITION LEGEND

SYMBOL	TOTAL
(Circle with dot) TAG #	101
(Circle with dot) TAG #	109
(Circle with dot) TAG #	0
(Circle with dot) TAG #	7
(Circle with dot) TAG #	3
(Circle with dot) TAG #	220

TREE TOTALS 220

TREE PROTECTION FENCE. SEE DETAIL 1/L0.08

TREES TO BE REMOVED

TAG	DBH	HERITAGE	BOTANICAL NAME	REASON FOR REMOVAL
32	5	N	CELTIS AUSTRALIS / EUROPEAN HACKBERRY	PATHWAY RELOCATION
76	3,3,3,3	N	ACER PALMATUM / JAPANESE MAPLE	TRELLIS STRUCTURE
77	3,3,3,3	N	LAGERSTROEMIA 'TUSCARORA' / CRAPE MYRTLE	TRELLIS STRUCTURE
78	7	N	ACER PALMATUM / JAPANESE MAPLE	TRELLIS STRUCTURE
79	3,3,3,2,2	N	LAGERSTROEMIA 'TUSCARORA' / CRAPE MYRTLE	TRELLIS STRUCTURE
80	4,3,3,3,3,2	N	LAGERSTROEMIA 'TUSCARORA' / CRAPE MYRTLE	TRELLIS STRUCTURE
218	8	N	PISTACIA CHINENSIS / CHINESE PISTACHE	EXTREMELY POOR FORM, NOT SUITABILITY FOR PRESERVATION. LARGE WOUND

P:\ESOT101 350 Ellis Concept\4 Drawings\Graphics\AutoCAD\Sheets\GENERAL\L0.06 EXISTING TREE PLAN.dwg | BWALKER | PREVIOUS PAPER SIZE (30.00 X 42.00 INCHES) | 9/12/2022

NO.	DESCRIPTION	DATE
	ISSUED FOR PLANNING	08.31.2022
	REVIEW	
	FINAL PLANNING SET	12.16.2022

Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title
TREE PROTECTION PLAN

Sheet #

L0.07

EXISTING TREE LEGEND

SYMBOL	DESCRIPTION
	NON-HERITAGE TREE
	HERITAGE TREE
	NON-HERITAGE TO BE TRANSPLANTED
	TREE PROTECTION FENCE. SEE DETAIL 1/L0.08

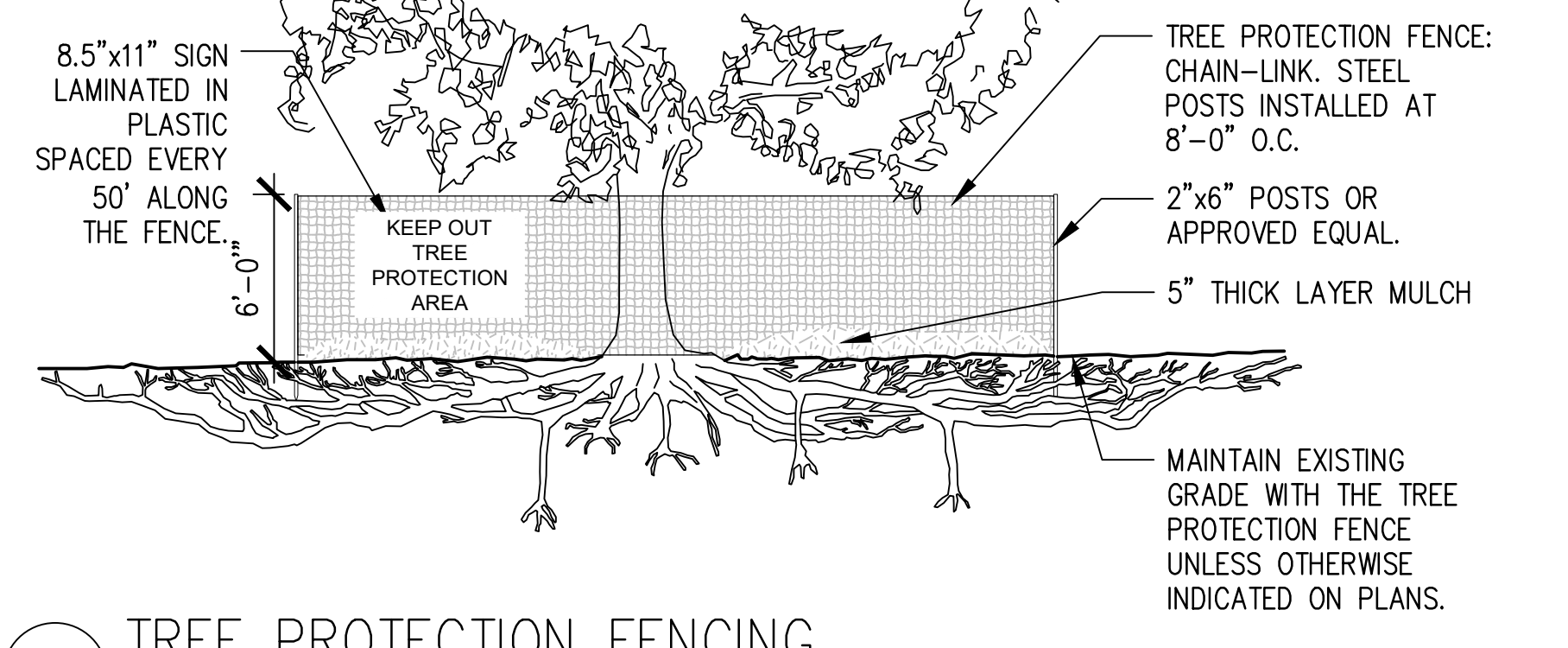
TREE DISPOSITION LEGEND

SYMBOL	TOTAL
	101

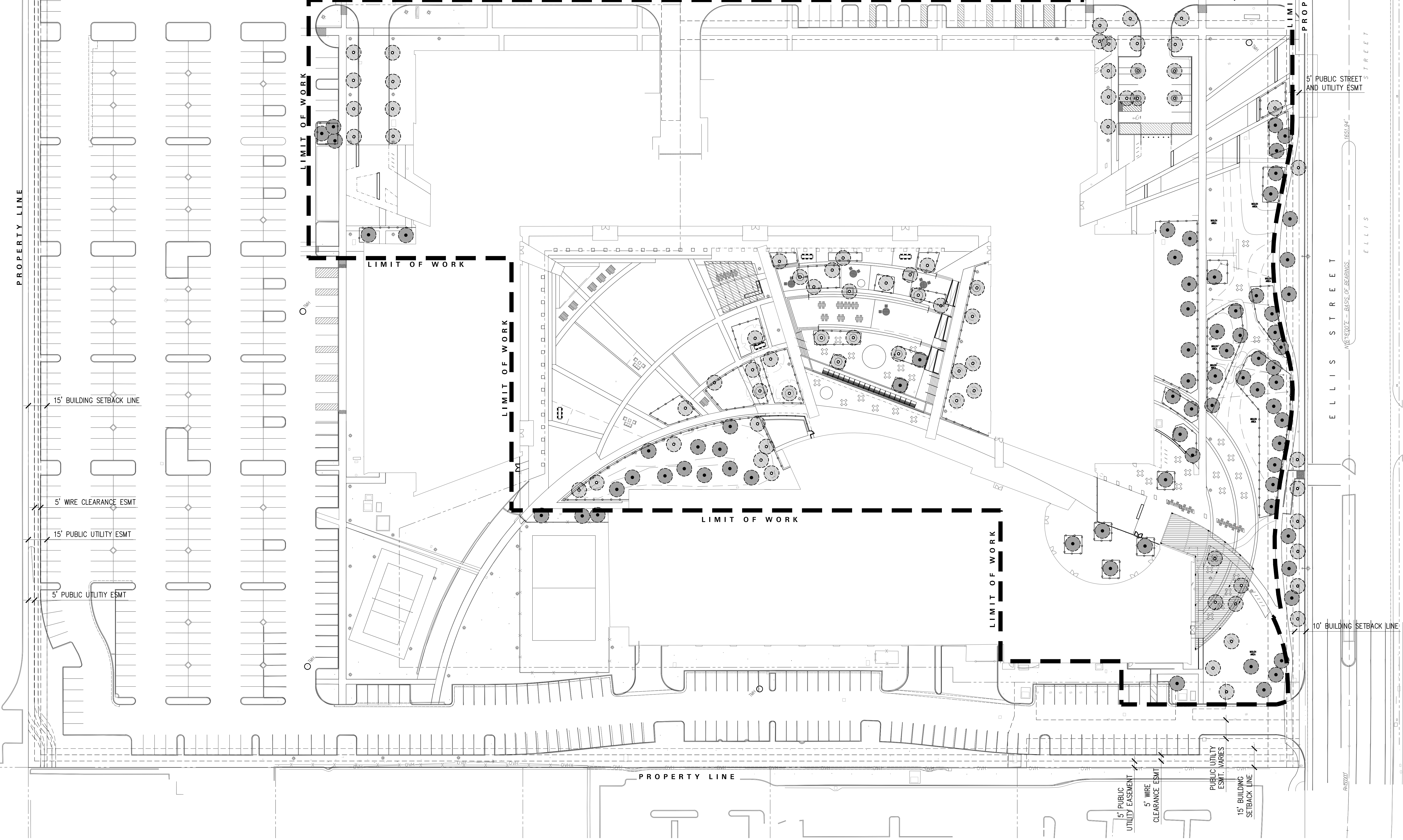
TREES TO BE REMO

TAG	DBH	HERITAGE	BOTANICAL NAA
32	5"	N	CELTIS AUSTRALIS
76	3.0,3.3	N	ACER PALMATUM

NOTES:
1-SEE NOTES ON SHEET L0.03 FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
2-IF THERE IS NO EXISTING IRRIGATION, SEE IRRIGATION NOTES FOR WATERING REQUIREMENTS.
3-NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
4-NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.



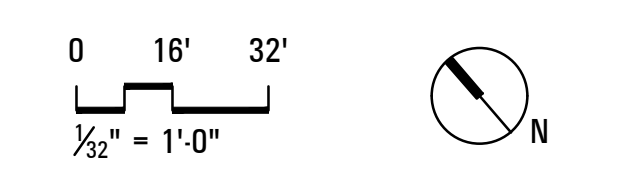
01 TREE PROTECTION FENCING
1/4" = 1'-0"



NO.	DESCRIPTION	DATE
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	FINAL PLANNING SET	12.16.2022

Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title
TREE CANOPY PLAN - EXISTING



Sheet #

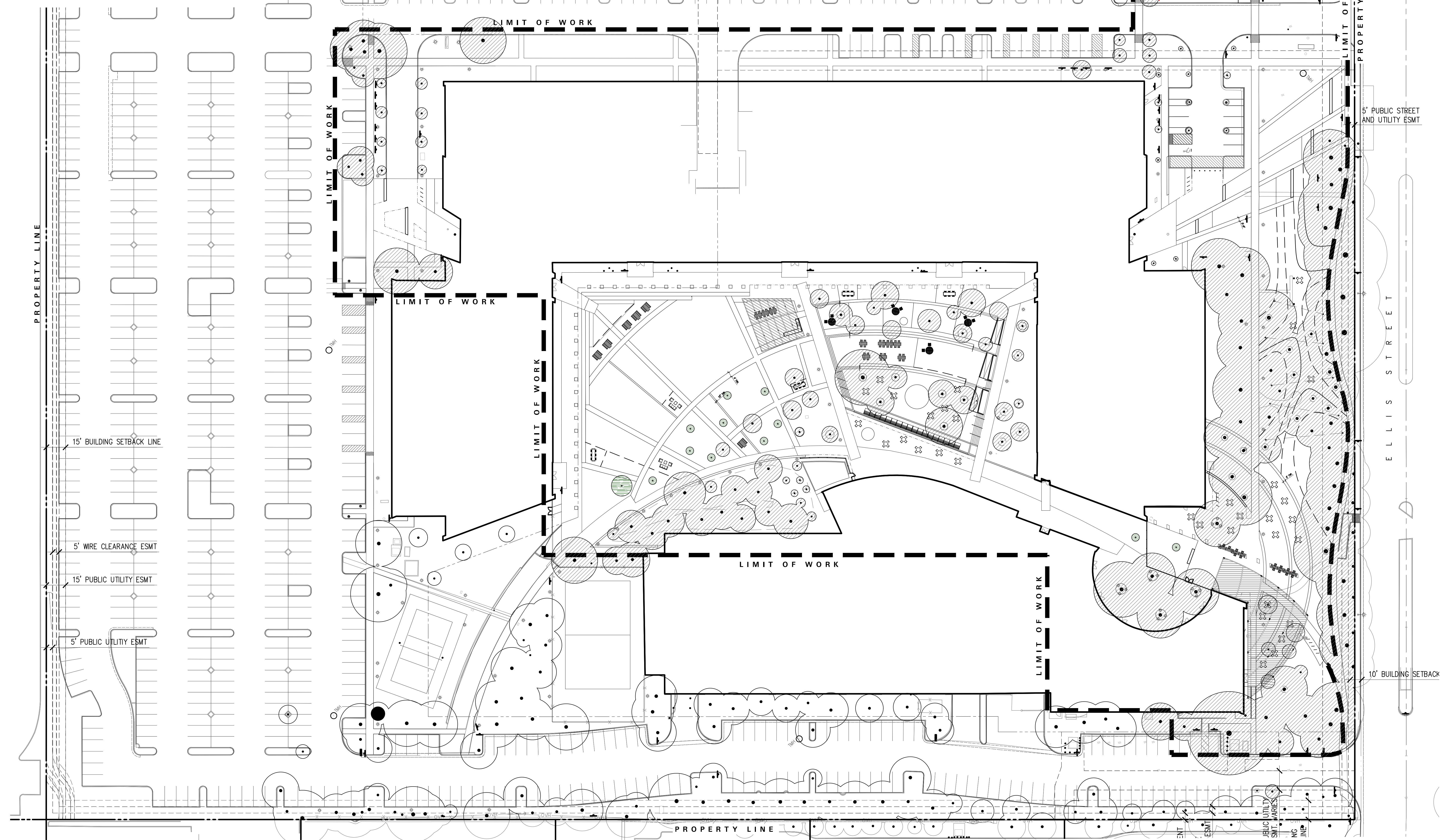
LEGEND

EXISTING TREE CANOPY

DAY 1 TREE CANOPY	21% COVERAGE
EXISTING TREE CANOPY	73,327 SF
CANOPY TOTAL	73,327 SF

SITE SCOPE AREA* 347,250 SF

*SITE SCOPE AREA IS SITework AREA INCLUDING BUILDINGS (181,930 SF)

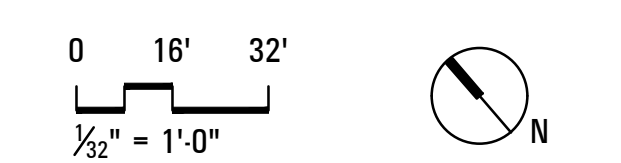


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NO.	DESCRIPTION	DATE
	ISSUED FOR PLANNING REVIEW	08.31.2022
	FINAL PLANNING SET	12.16.2022

Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title
TREE CANOPY PLAN - 10 YEARS



Sheet #

LEGEND

- EXISTING TREE CANOPY TO REMAIN
- PROPOSED TREE CANOPY TO REMAIN
- PROPOSED TREE CANOPY TO BE REMOVED

DAY 1 TREE CANOPY	24% COVERAGE
EXISTING TREE CANOPY TO REMAIN	72,547 SF
EXISTING TREE CANOPY TO BE REMOVED	780 SF
YEAR 10 TREE CANOPY AREA PROPOSED TREES	10,980 SF
CANOPY TOTAL	83,527 SF
SITE SCOPE AREA*	347,250 SF

*SITE SCOPE AREA IS SITWORK AREA INCLUDING



P:\ESOTESOT101 350 Ellis Concept\4 Drawings\Graphics\AutoCAD\Sheets\GENERAL\LO.10 TREE CANOPY PLAN - 5 TO 10 YEARS.dwg | MWANG | PREVIOUS PAPER SIZE (30.00 X 42.00 INCHES) | 9/12/2022

NO.	DESCRIPTION	DATE
	ISSUED FOR PLANNING	08.31.2022
	REVIEW	
	FINAL PLANNING SET	12.16.2022

Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title
TREE CANOPY PLAN - MATURE GROWTH

0 16' 32'

1/2" = 1'-0"

N

Sheet #

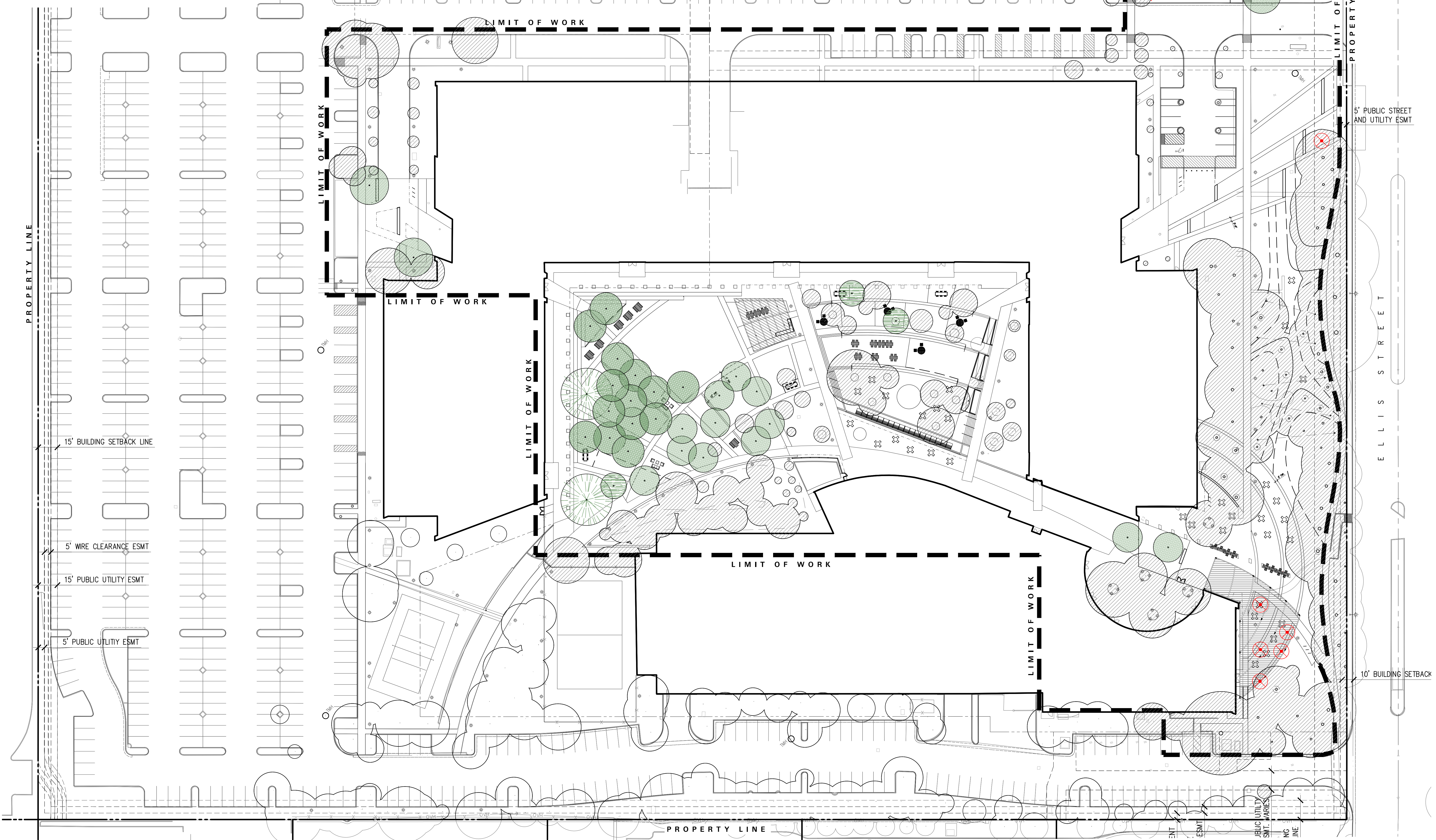
L0.11

LEGEND

- EXISTING TREE CANOPY
- PROPOSED TREE CANOPY
- PROPOSED TREE CANOPY TO BE REMOVED

DAY 1 TREE CANOPY	27% COVERAGE
EXISTING TREE CANOPY	72,547 SF
FULL GROWTH CANOPY AREA	21,491 SF
PROPOSED TREES	
CANOPY TOTAL	94,038 SF
SITE SCOPE AREA*	347,250 SF

*SITE SCOPE AREA IS SITEWORK AREA INCLUDING BUILDINGS (181,930 SF)



P:\ESOTESOT101 350 Ellis Concept\4 Drawings\Graphics\AutoCAD\Sheets\GENERAL\0.11 TREE CANOPY PLAN - FULL GROWTH.dwg | MWANG | PREVIOUS PAPER SIZE (30.00 X 42.00 INCHES) | 9/12/2022

Project

TMG PARTNERS
CAMPUS IMPROVEMENTS
350 ELLIS STREET
MOUNTAIN VIEW, CA

Consultant

Stamp

City



P3 CAST-IN-PLACE CONCRETE PAVING
DAVIS COLOR: GRAPHITE 8084, TOPCAST #03



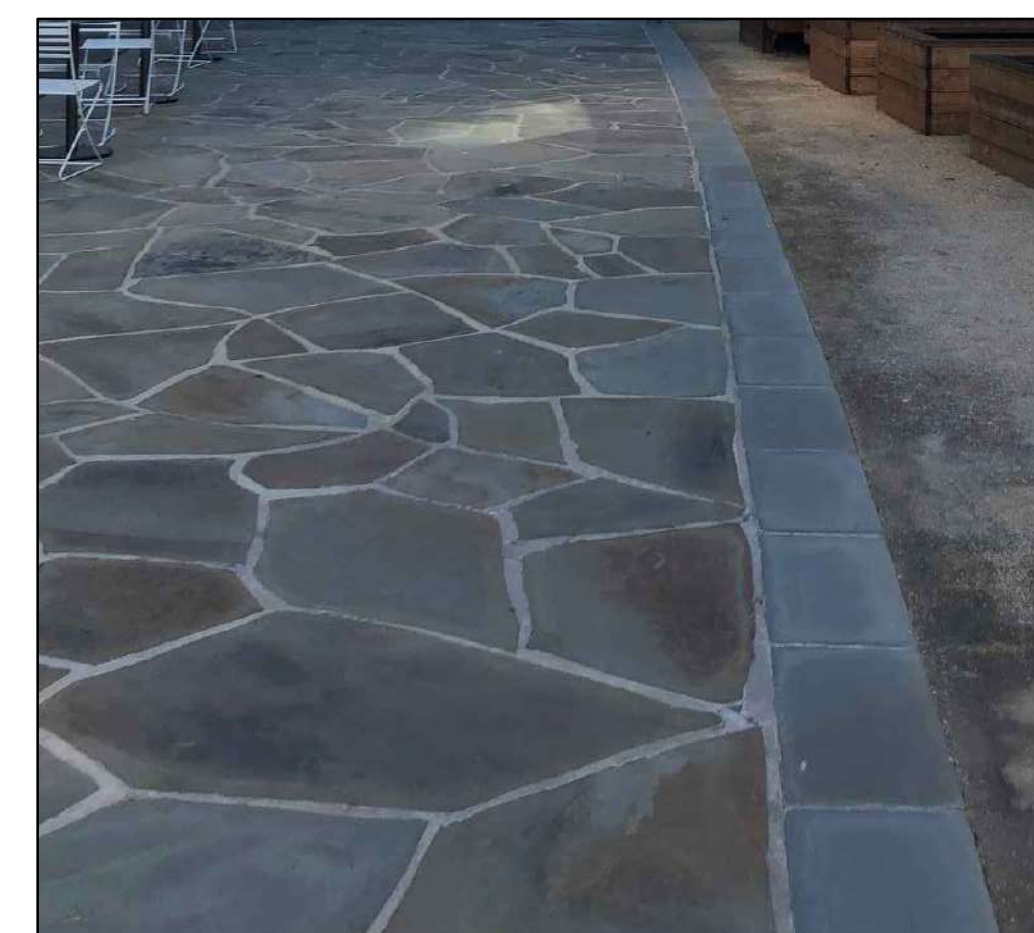
P2 EXISTING CONCRETE TO BE SANDBLASTED
HEAVY SANDBLAST



P13 **P5** PRECAST CONCRETE PERMEABLE PAVER, NON PERMEABLE
BASALITE 3" X 9", COLOR-PESCADERO, RUNNING BOND



P4 GRAVEL PAVING
LYNGSO: BLUE FINES, 3/8" GAP GRADED



P1 EXISTING PAVING TO REMAIN

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	ISSUED FOR PLANNING REVIEW	08.31.2022
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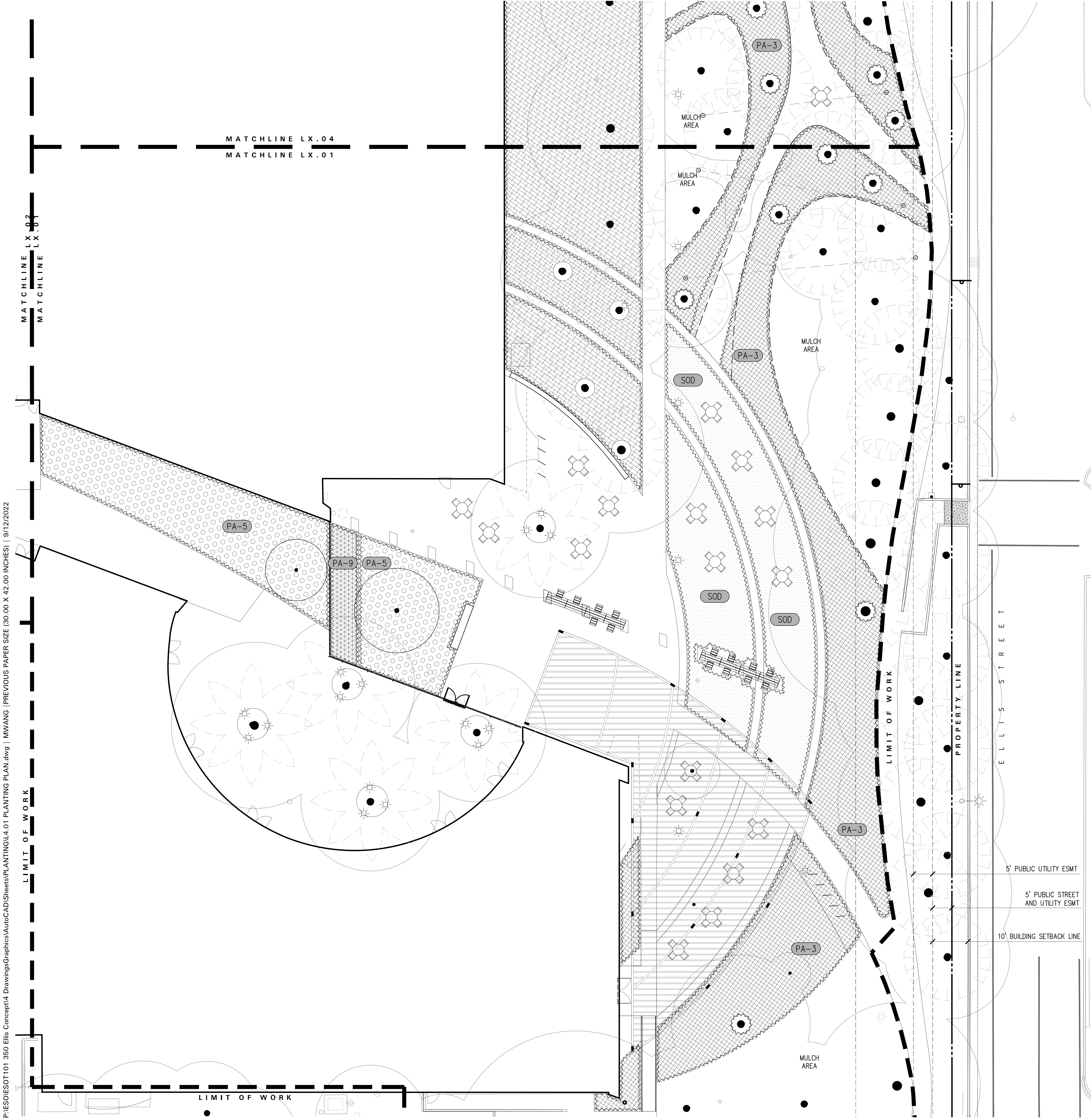
Job # ESOT101
Date 08.31.2022
Scale As Shown

Sheet Title

Sheet #

L0.12

PLANTING SCHEDULE			
SHRUBS & GROUND COVER MIXES			
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
	PA-1	ARCTOSTAPHYLOS 'HOWARD MOYNN' LOMANDRA LONGIFOLIA 'BREEZE' MAHONIA 'SOFT CARESS' RHAMNUS 'EVE CASE'	HOWARD MOYNN MANZANITA DWARF MAT RUSH CARESS HOLLY GRAPE COFFEEBERRY
	PA-2	FESTUCA MAIREI HELICTOTRICHON SEMPERVIRENS PHLOMIS FRUTICOSA SANTOLINA CHAMAECYPARISSUS	ATLAS FESCUE BLUE OAT GRASS JERUSALEM SAGE LAVENDER COTTON
	PA-3	BERBERIS AQUIFOLIUM VAR. REPENS IRIS DOUGLASSIANA RIBES SANGUINEUM SISYRINCHUM BELLUM WOODWARDIA FIMBRIATA	CREeping MAHONIA DOUGLAS IRIS RED FLOWERING CURRANT BLUE-EYED GRASS GIANT CHAIN FERN
	PA-4	ACHILLEA MILX 'MOONSHINE' FESTUCA MAIREI PENNISTEUM SETACEUM VERBENA BONARIENSIS 'LOLLIPOP' NATIVE MEADOW MIX	ACHILLEA MOONSHINE ATLAS FESCUE FOUNTAIN GRASS DWARF PURPLE TOP TO BE SELECTED
	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY
	PA-6	AGAVE 'BLUE FLAME' HELICTOTRICHON SEMPERVIRENS PITTIOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTIOSPORUM BLUE CHALK STICKS
	PA-7	CEANOTHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATINUM BEAUTY'	YANKEE POINT CEANOTHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH
	PA-8	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY
	PA-9	PRUNUS LAUROCERASUS	CHERRY LAUREL
	SOD	BOLERO PLUS	
	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS VINE BEAUTY'



P:\ESOT101_350 Ellis Concept\4 Drawings\Graphics\AutoCAD\Sheets\PLANTING\L4.01 PLANTING PLAN.dwg | MWANG | PREVIOUS PAPER SIZE (30.00 X 42.00 INCHES) | 9/12/2022

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	REVIEW	
	FINAL PLANNING SET	12.16.2022

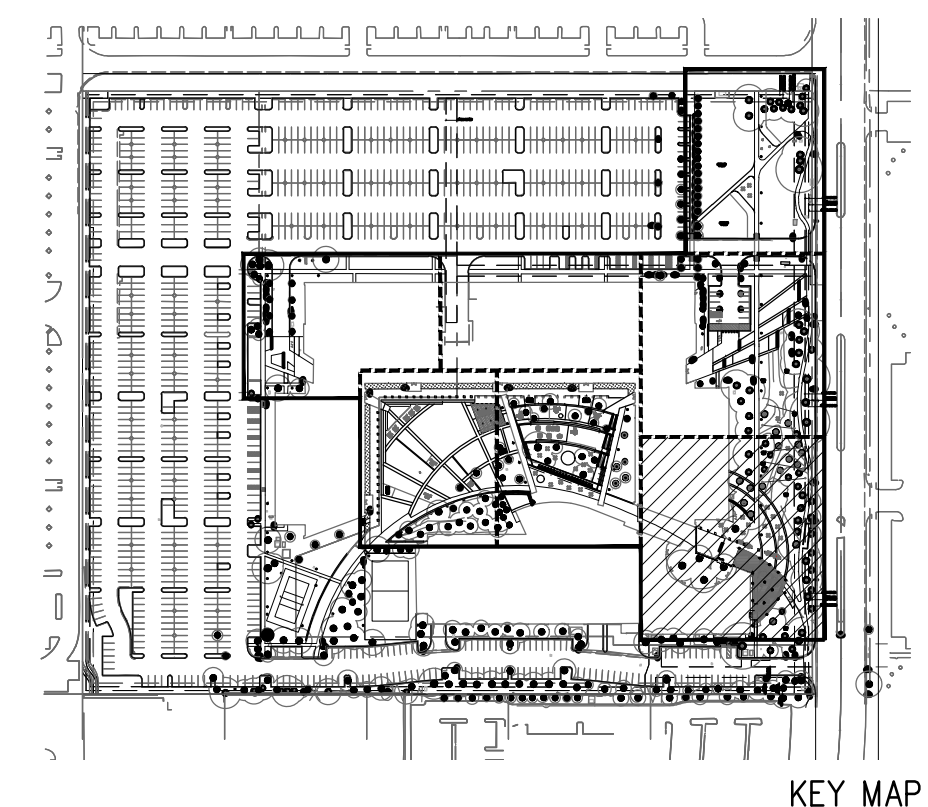
Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title
PLANTING PLAN

0 5' 10'
1" = 10'

Sheet #
L4.01

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Project

**TMG PARTNERS
CAMPUS IMPROVEMENTS
350 ELLIS STREET
MOUNTAIN VIEW, CA**

Consultant

Stamp

City

NO.	DESCRIPTION	DATE
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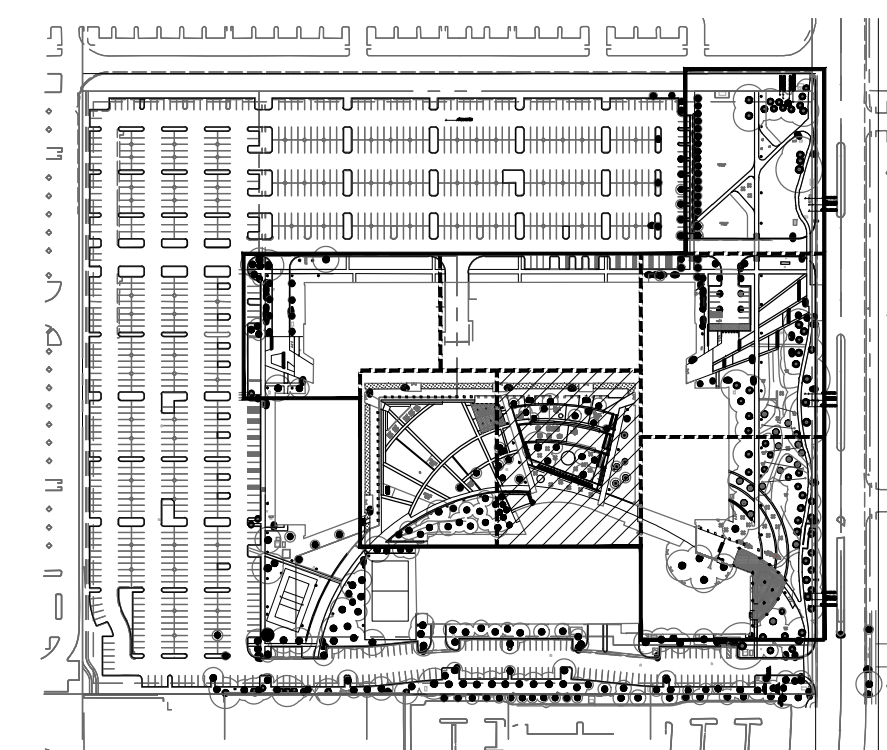
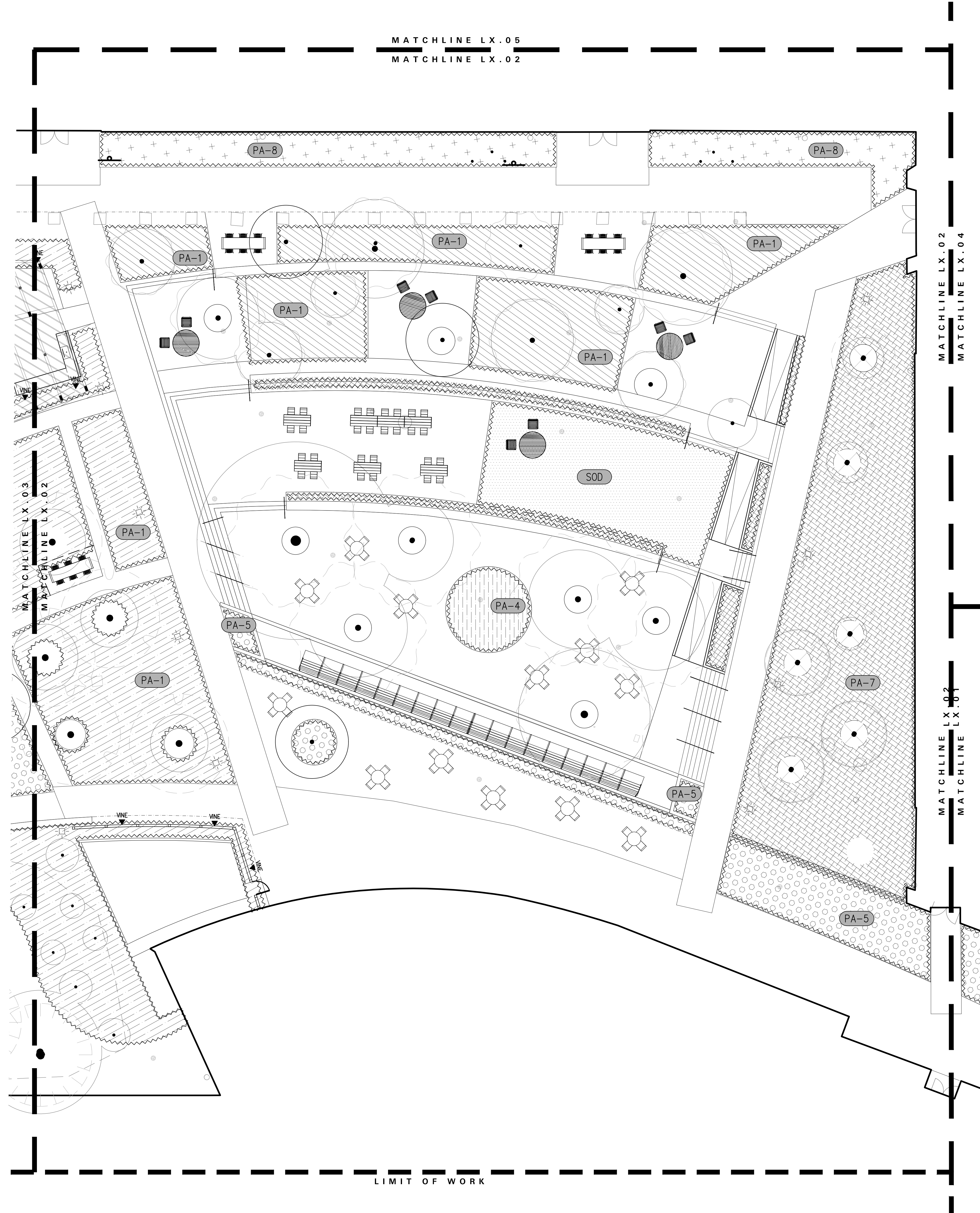
Job # ESOT101
Date 08.31.2022
Scale As Shown

Sheet Title
PLANTING PLAN
0 5' 10'
1" = 10'

Sheet #

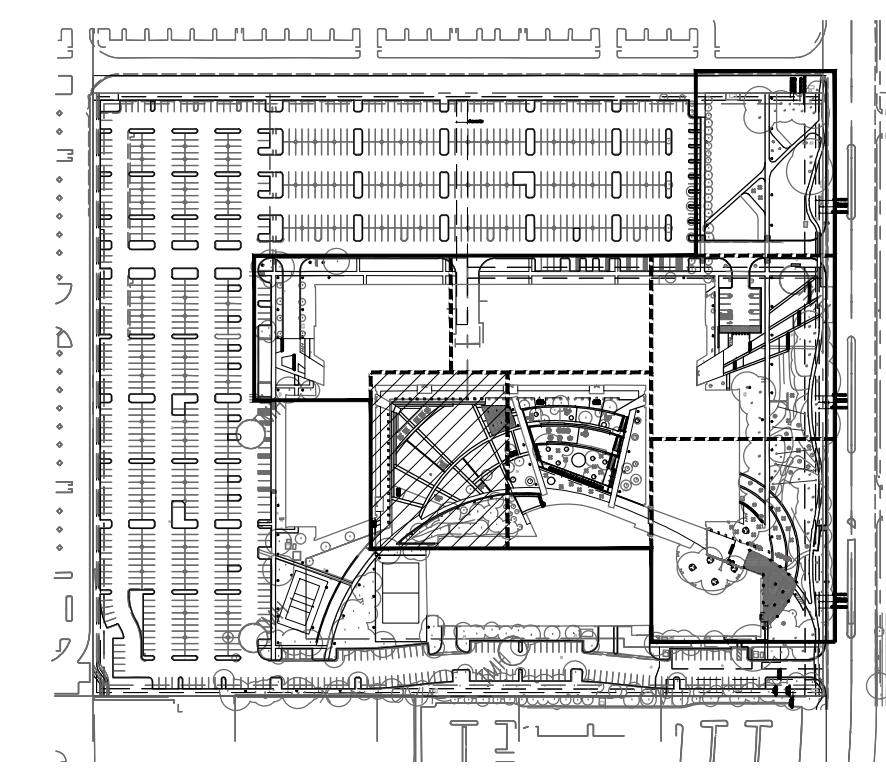
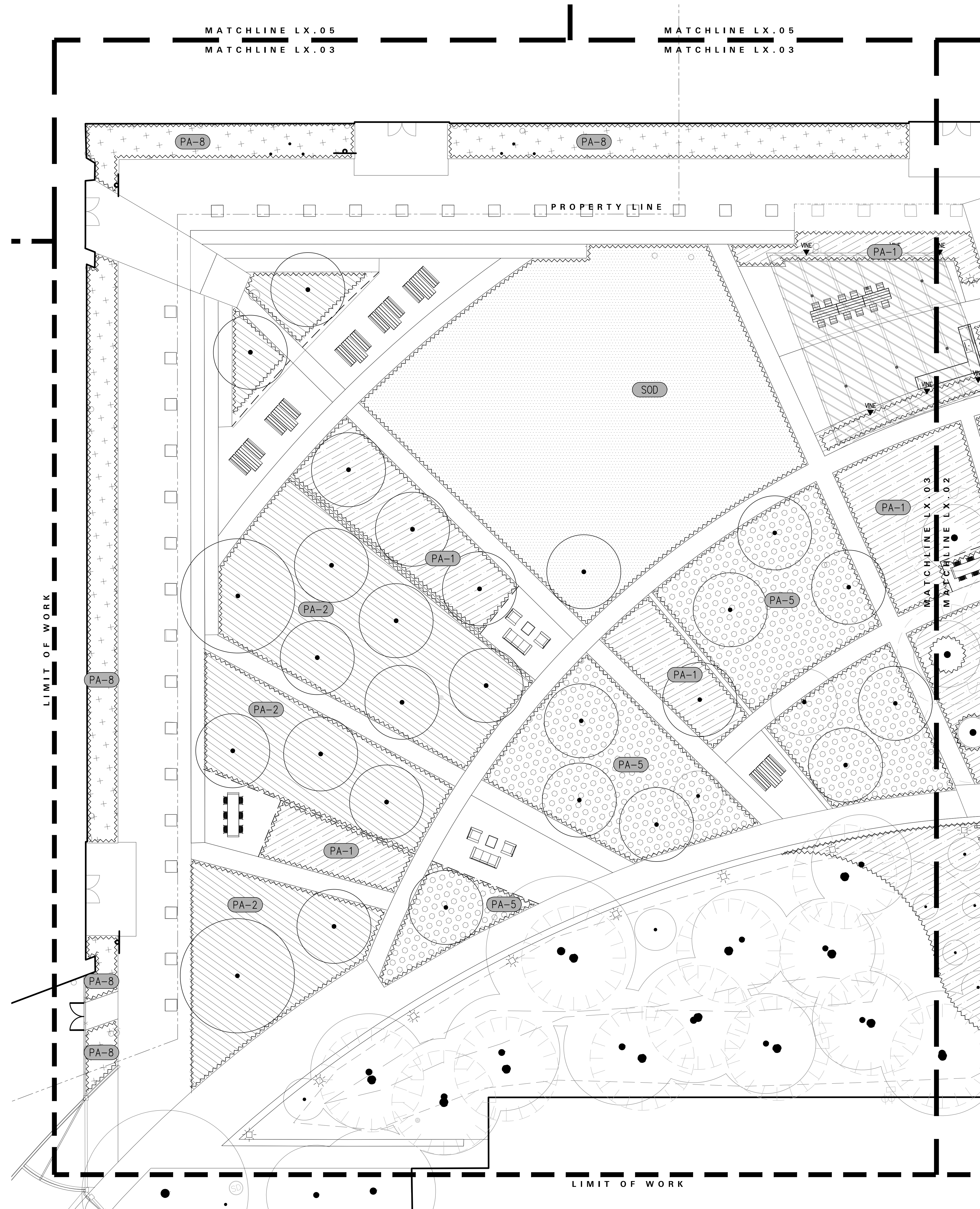
L4.02

PLANTING SCHEDULE			
SHRUBS & GROUND COVER MIXES			
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
	PA-1	ARCTOSTAPHYLOS 'HOWARD MOYNN' LOMANDRA LONGIFOLIA 'BREEZE' MAHONIA 'SOFT CARESS' RHAMNUS 'EVE CASE'	HOWARD MOYNN MANZANITA DWARF MAT RUSH CARESS HOLLY GRAPE COFFEEBERRY
	PA-2	FESTUCA MAIREI HELICTOTRICHON SEMPERVIRENS PHLOMIS FRUTICOSA SANTOLINA CHAMAECYPARISSUS	ATLAS FESCUE BLUE OAT GRASS JERUSALEM SAGE LAVENDER COTTON
	PA-3	BERBERIS AQUIFOLIUM VAR. REPENS IRIS DOUGLASSIANA RIBES SANGUINEUM SISYRINCHUM BELLUM WOODWARDIA FIMBRIATA	CREeping MAHONIA DOUGLAS IRIS RED FLOWERING CURRANT BLUE-EYED GRASS GIANT CHAIN FERN
	PA-4	ACHILLEA MILX 'MOONSHINE' FESTUCA MAIREI PENNISTEUM SETACEUM VERBENA BONARIENSIS 'LOLLIPOP' NATIVE MEADOW MIX	ACHILLEA MOONSHINE ATLAS FESCUE FOUNTAIN GRASS DWARF PURPLE TOP TO BE SELECTED
	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY
	PA-6	AGAVE 'BLUE FLAME' HELICTOTRICHON SEMPERVIRENS PITTIOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTIOSPORUM BLUE CHALK STICKS
	PA-7	CEANOTHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATINIUM BEAUTY'	YANKEE POINT CEANOTHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH
	PA-8	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY
	PA-9	PRUNUS LAUROCERASUS	CHERRY LAUREL
	SOD	BOLERO PLUS	
	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS VINE BEAUTY'



KEY MAP

PLANTING SCHEDULE			
SHRUBS & GROUND COVER MIXES			
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
	PA-1	ARCTOSTAPHYLOS 'HOWARD MCMINN' LOMANDRA LONGIFOLIA 'BREEZE' MAHONIA 'SOFT CARESS' RHAMNUS 'EVE CASE'	HOWARD MCMINN MANZANITA DWARF MAT RUSH CARESS HOLLY GRAPE COFFEEBERRY
	PA-2	FESTUCA MAIREI HELICTOTRICHON SEMPERVIRENS PHLOMIS FRUTICOSA SANTOLINA CHAMAECYPARISSUS	ATLAS FESCUE BLUE OAT GRASS JERUSALEM SAGE LAVENDER COTTON
	PA-3	BERBERIS AQUIFOLIUM VAR. REPENS IRIS DOUGLASIANA RIBES SANGUINEUM SISYRINCHUM BELLUM WOODWARDIA FIMBRIATA	CREeping MAHONIA DOUGLAS IRIS RED FLOWERING CURRANT BLUE-EYED GRASS GIANT CHAIN FERN
	PA-4	ACHILLEA MILX 'MOONSHINE' FESTUCA MAIREI FENNICHEUM SETACEUM VERBENA BONARIENSIS 'LOLLIPOP' NATIVE MEADOW MIX	ACHILLEA MOONSHINE ATLAS FESCUE FOUNTAIN GRASS DWARF PURPLE TOP TO BE SELECTED
	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY
	PA-6	AGAVE 'BLUE FLAME' HELICTOTRICHON SEMPERVIRENS PITTOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTOSPORUM BLUE CHALK STICKS
	PA-7	CEANOETHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATINUM BEAUTY'	YANKEE POINT CEANOETHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH
	PA-8	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY
	PA-9	PRUNUS LAUROCERASUS	CHERRY LAUREL
	SOD	BOLERO PLUS	
	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS VINE

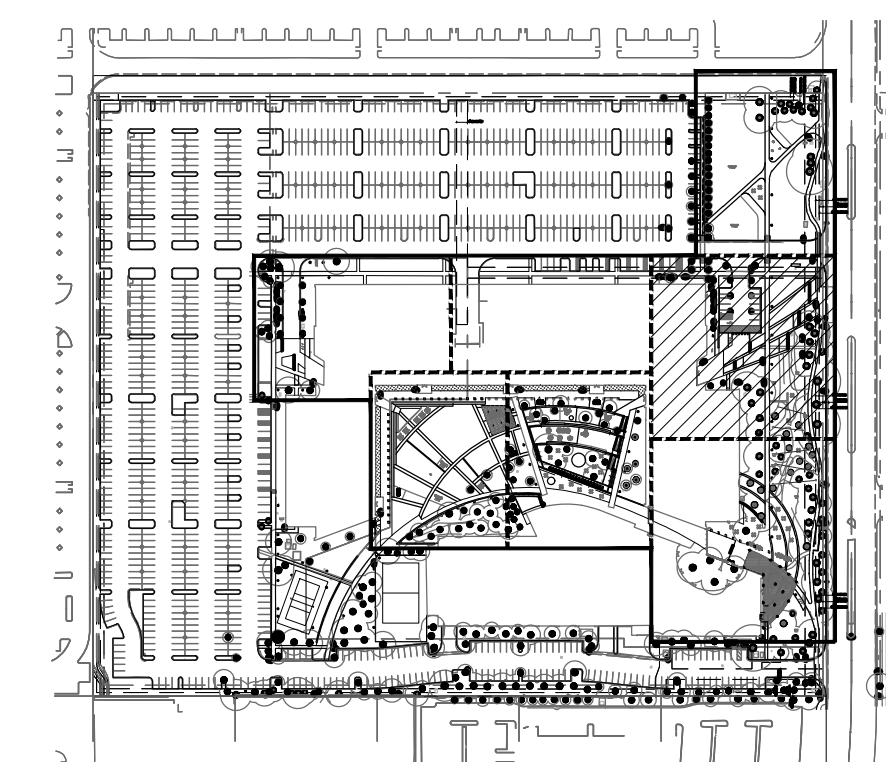


NO.	DESCRIPTION	DATE
	ISSUED FOR PLANNING	08.31.2022
	REVIEW	
	FINAL PLANNING SET	12.16.2022

Job #	ESOT101
Date	08.31.2022
Scale	As Shown

Sheet Title	PLANTING PLAN
Scale	0 5' 10' 1" = 10'
Sheet #	

PLANTING SCHEDULE			
SHRUBS & GROUND COVER MIXES			
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
	PA-1	ARCTOSTAPHYLOS 'HOWARD MCMINN' LOMANDRA LONGIFOLIA 'BREEZE' MAHONIA 'SOFT CARESS' RHAMNUS 'EVE CASE'	HOWARD MCMINN MANZANITA DWARF MAT RUSH CARESS HOLLY GRAPE COFFEEBERRY
	PA-2	FESTUCA MAIREI HELICTOTRICHON SEMPERVIRENS PHLOMIS FRUTICOSA SANTOLINA CHAMAECYPARISSUS	ATLAS FESCUE BLUE OAT GRASS JERUSALEM SAGE LAVENDER COTTON
	PA-3	BERBERIS AQUIFOLIUM VAR. REPENS IRIS DOUGLASIANA RIBES SANGUINEUM SISYRINCHUM BELLUM WOODWARDIA FIMBRIATA	CREeping MAHONIA DOUGLAS IRIS RED FLOWERING CURRANT BLUE-EYED GRASS GIANT CHAIN FERN
	PA-4	ACHILLEA MILX 'MOONSHINE' FESTUCA MAIREI PENNISTELUM SETACEUM VERBENA BONARIENSIS 'LOLLIPOP' NATIVE MEADOW MIX	ACHILLEA MOONSHINE ATLAS FESCUE FOUNTAIN GRASS DWARF PURPLE TOP TO BE SELECTED
	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY
	PA-6	AGAVE 'BLUE FLAME' HELICTOTRICHON SEMPERVIRENS PITTOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTOSPORUM BLUE CHALK STICKS
	PA-7	CEANOETHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATINUM BEAUTY'	YANKEE POINT CEANOETHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH
	PA-8	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY
	PA-9	PRUNUS LAUROCERASUS	CHERRY LAUREL
	SOD	BOLERO PLUS	
	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS VINE



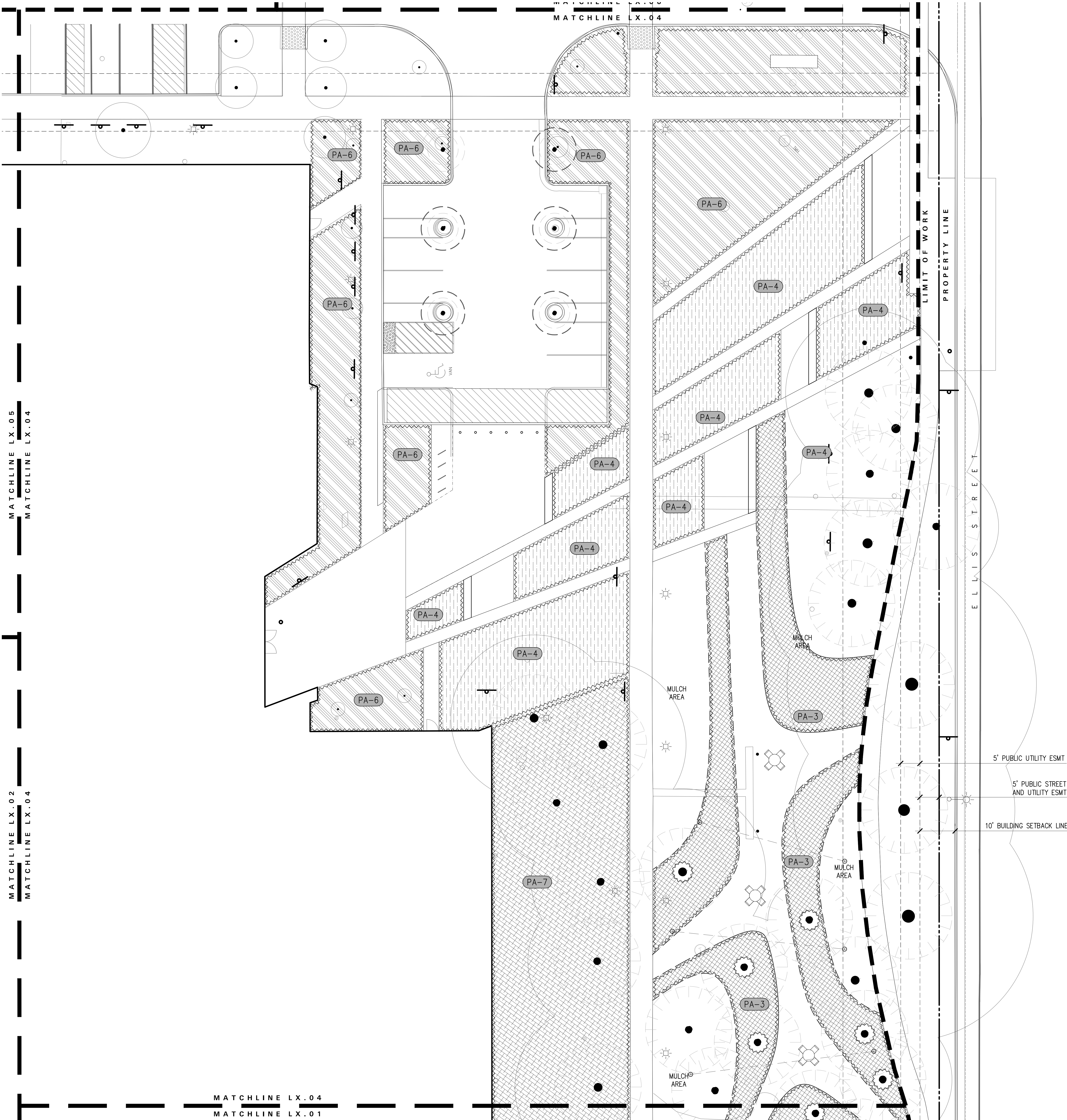
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	REVIEW	
	FINAL PLANNING SET	12.16.2022

Job # ESOT101
Date 08.31.2022
Scale As Shown

Sheet Title
PLANTING PLAN
0 5' 10'
1" = 10'

Sheet #

L4.04



MATCHLINE LX.05
MATCHLINE LX.04

MATCHLINE LX.02
MATCHLINE LX.04

MATCHLINE LX.04
MATCHLINE LX.01

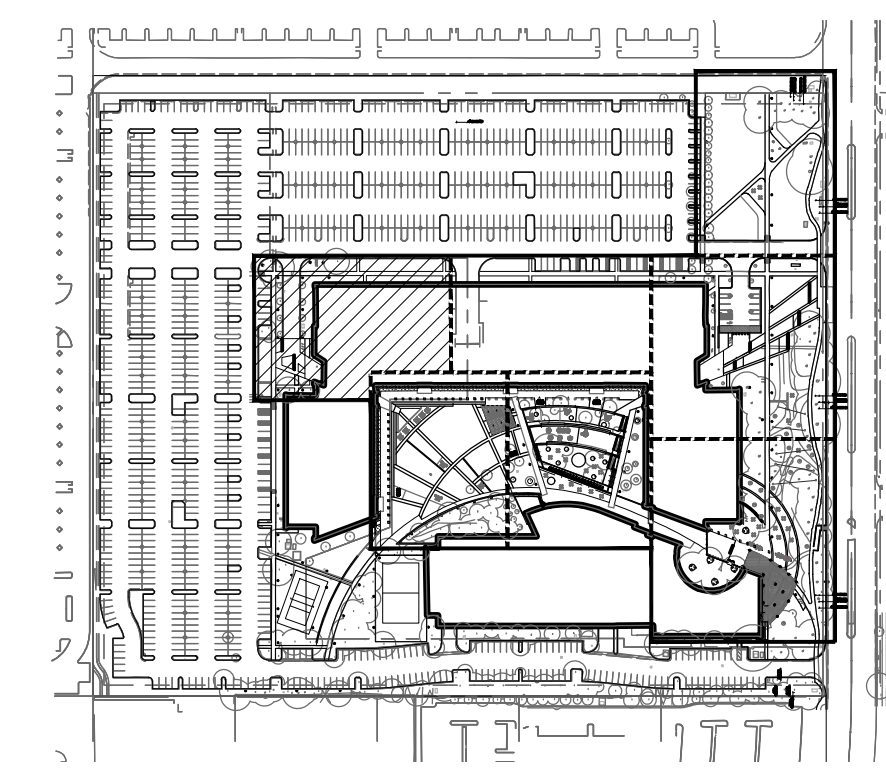
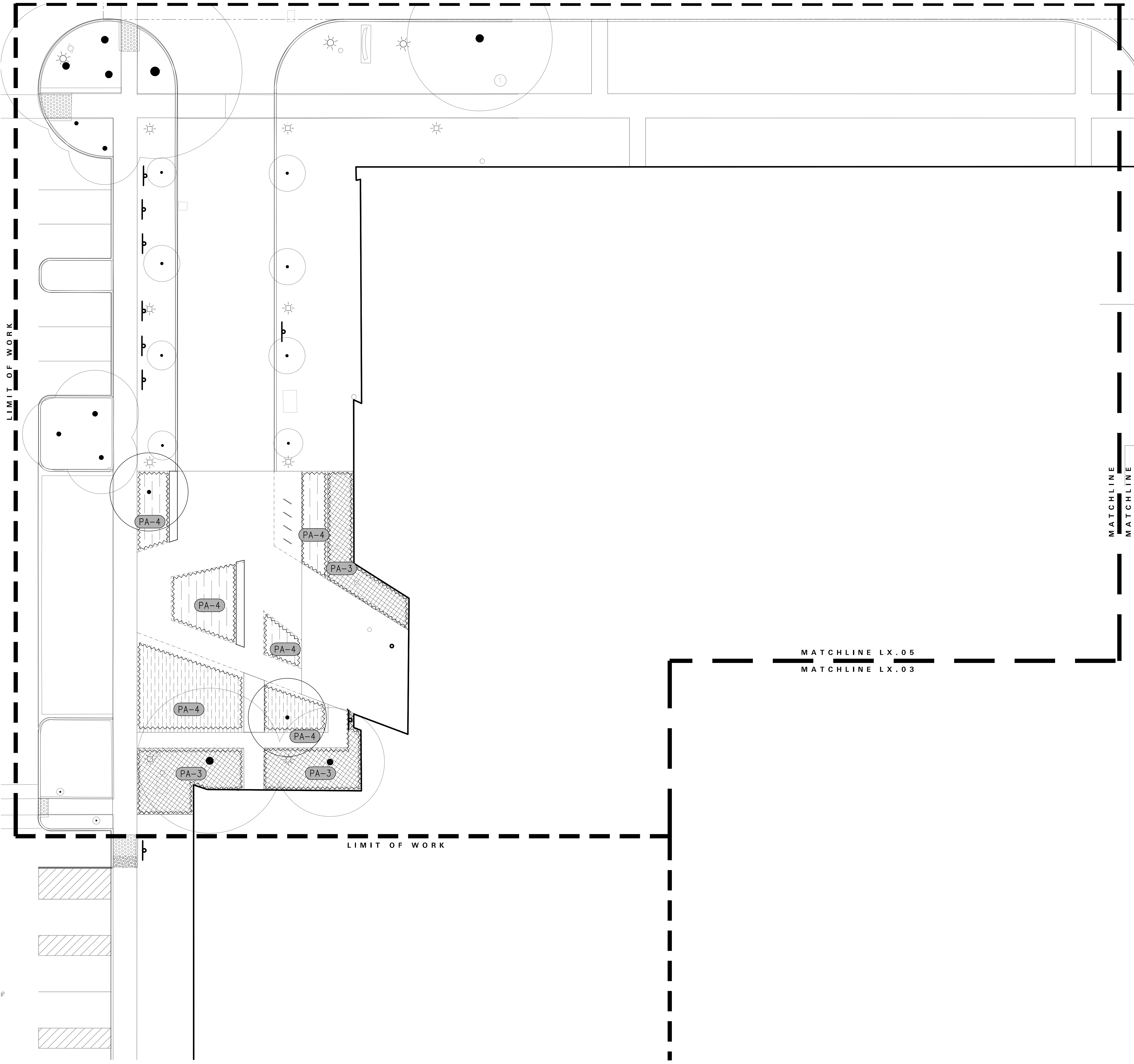
Consultant

Stamp

City

PLANTING SCHEDULE			
SHRUBS & GROUND COVER MIXES			
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
	PA-1	ARCTOSTAPHYLOS 'HOWARD MCMINN' LOMANDRA LONGIFOLIA 'BREEZE' MAHONIA 'SOFT CARESS' RHAMNUS 'EVE CASE'	HOWARD MCMINN MANZANITA DWARF MAT RUSH CARESS HOLLY GRAPE COFFEEBERRY
	PA-2	FESTUCA MAIREI HELICTOTRICHON SEMPERVIRENS PHLOMIS FRUTICOSA SANTOLINA CHAMAECYPARISSUS	ATLAS FESCUE BLUE OAT GRASS JERUSALEM SAGE LAVENDER COTTON
	PA-3	BERBERIS AQUIFOLIUM VAR. REPENS IRIS DOUGLASIANA RIBES SANGUINEUM SISYRINCHUM BELLUM WOODWARDIA FIMBRIATA	CREeping MAHONIA DOUGLAS IRIS RED FLOWERING CURRANT RED-EYED GRASS GIANT CHAIN FERN
	PA-4	ACHILLEA MILX 'MOONSHINE' FESTUCA MAIREI FENISTELUM SETACEUM VERBENA BONARIENSIS 'LOLLIPOP' NATIVE MEADOW MIX	ACHILLEA MOONSHINE ATLAS FESCUE FOUNTAIN GRASS DWARF PURPLE TOP TO BE SELECTED
	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY
	PA-6	AGAVE 'BLUE FLAME' HELICTOTRICHON SEMPERVIRENS PITTOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTOSPORUM BLUE CHALK STICKS
	PA-7	CEANOETHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATINIUM BEAUTY'	YANKEE POINT CEANOETHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH
	PA-8	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY
	PA-9	PRUNUS LAUROCERASUS	CHERRY LAUREL
	SOD	BOLERO PLUS	
	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS VINE

P:\ESQESOT101_350_Ellis_Concept\4_Drawings\Graphics\AutoCAD\Sheets\PLANTING\L4.05 PLANTING PLAN.dwg | MWANG | PREVIOUS PAPER SIZE (30.00 X 42.00 INCHES) | 9/12/2022



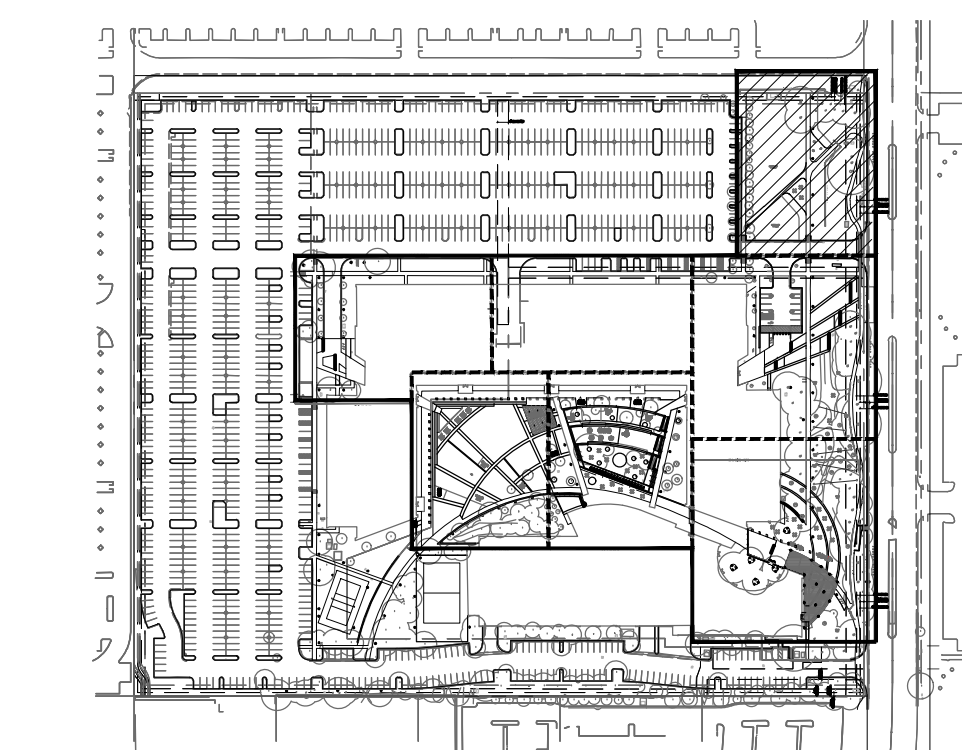
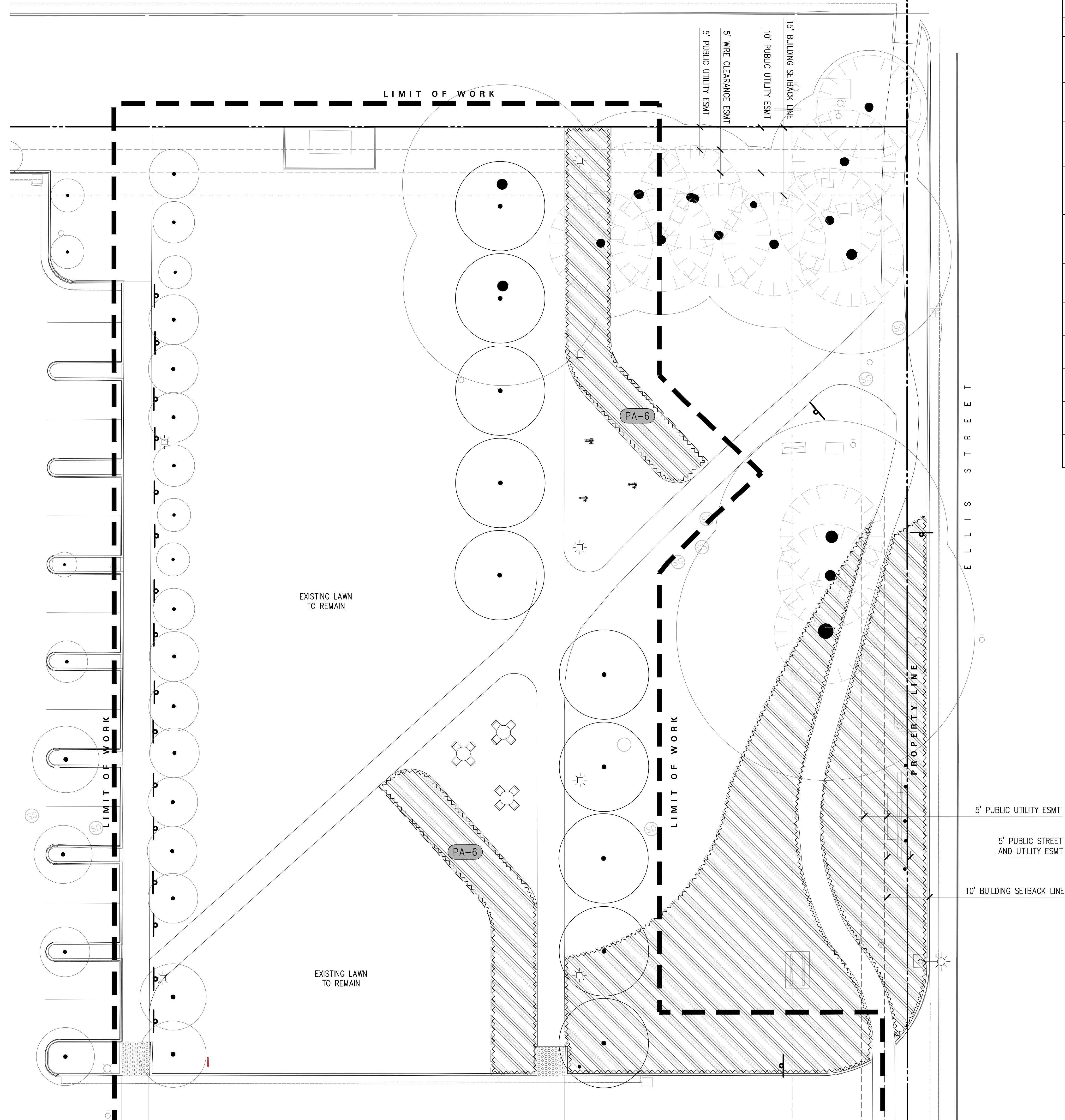
NO.	DESCRIPTION	DATE
	ISSUED FOR PLANNING	08.31.2022
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	FINAL PLANNING SET	12.16.2022

Job # ESOT101
Date 08.31.2022
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Sheet Title
PLANTING PLAN
0 5' 10'
1" = 10'

Sheet #
L4.05
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PLANTING SCHEDULE			
SHRUBS & GROUND COVER MIXES			
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
	PA-1	ARCTOSTAPHYLOS 'HOWARD MCMINN' LOMANDRA LONGIFOLIA 'BREEZE' MAHONIA 'SOFT CARESS' RHAMNUS 'EVE CASE'	HOWARD MCMINN MANZANITA DWARF MAT RUSH CARESS HOLLY GRAPE COFFEEBERRY
	PA-2	FESTUCA MAIREI HELIOTRICHON SEMPERVIRENS PHLOMIS FRUTICOSA SANTOLINA CHAMAECYPARISSUS	ATLAS FESCUE BLUE OAT GRASS JERUSALEM SAGE LAVENDER COTTON
	PA-3	BERBERIS AQUIFOLIUM VAR. REPENS IRIS DOUGLASSIANA RIBES SANGUINEUM SISYRINCHUM BELLUM WOODWARDIA FIMBRIATA	CREeping MAHONIA DOUGLAS IRIS RED FLOWERING CURRANT BLUE-EYED GRASS GIANT CHAIN FERN
	PA-4	ACHILLEA MILX 'MOONSHINE' FESTUCA MAIREI PENNISTEUM SETACEUM VERBENA BONARIENSIS 'LOLLIPOP' NATIVE MEADOW MIX	ACHILLEA MOONSHINE ATLAS FESCUE FOUNTAIN GRASS DWARF PURPLE TOP TO BE SELECTED
	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY
	PA-6	AGAVE 'BLUE FLAME' HELIOTRICHON SEMPERVIRENS PITTOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTOSPORUM BLUE CHALK STICKS
	PA-7	CEANOTHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATINUM BEAUTY'	YANKEE POINT CEANOTHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH
	PA-8	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY
	PA-9	PRUNUS LAUROCERASUS	CHERRY LAUREL
	SOD	BOLERO PLUS	
	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS VINE BEAUTY'



NO.	DESCRIPTION	DATE
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Date 08.31.2022
Scale As Shown

Sheet Title
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1" = 10'

Sheet #

L4.06

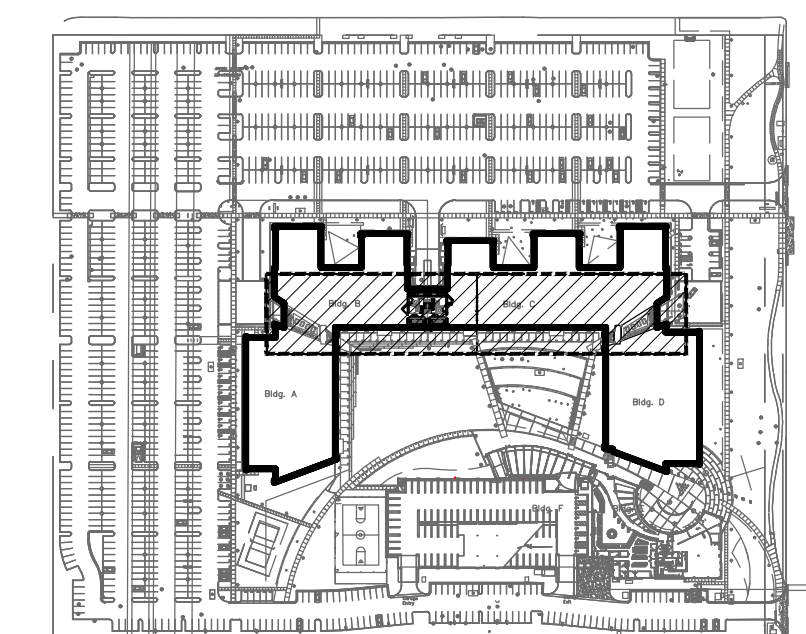
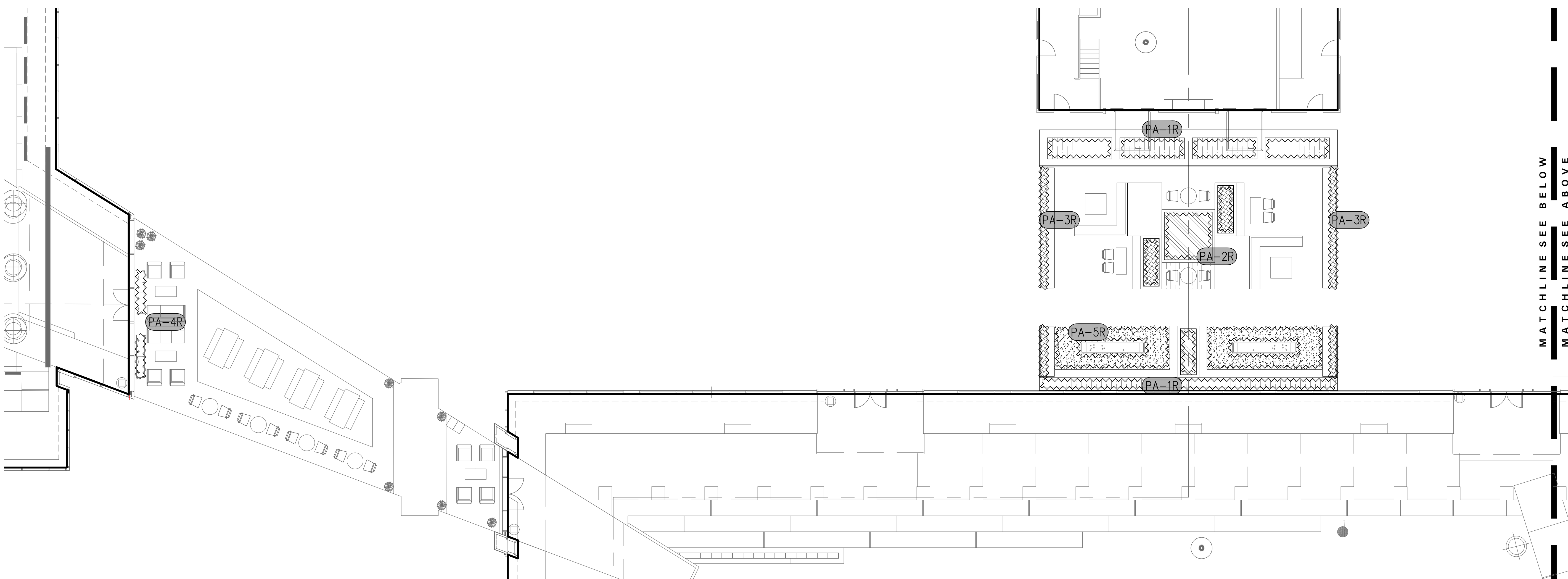
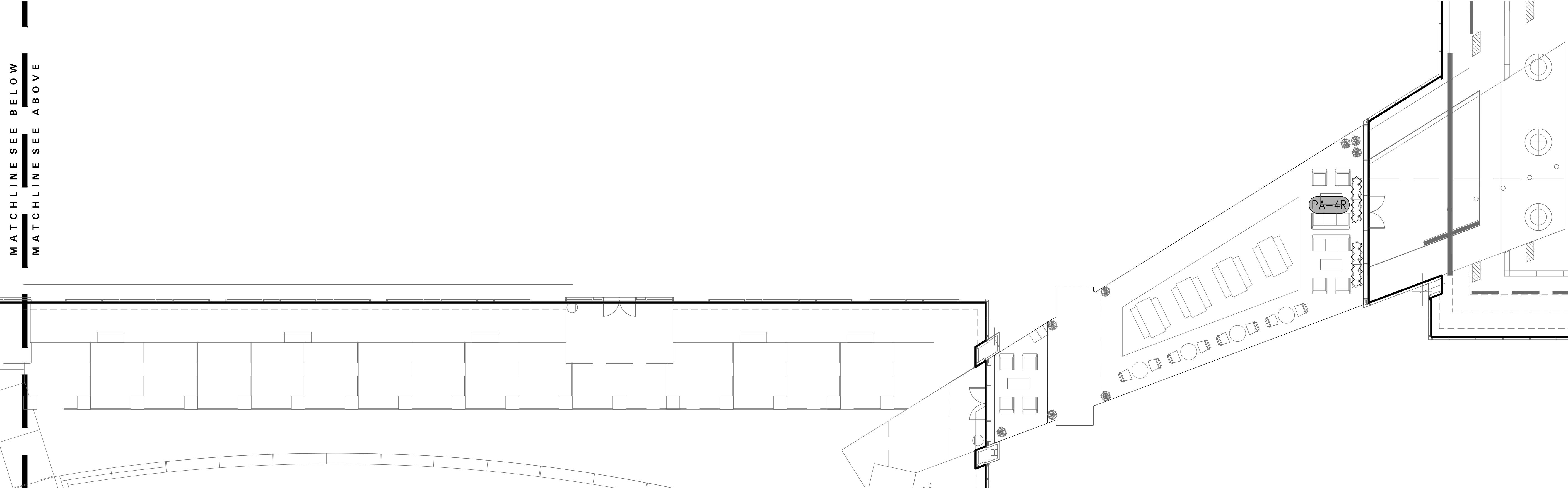
PLANTING SCHEDULE - ROOF

SHRUBS & GROUND COVER MIXES							
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	DETAIL	WUCOLS
	PA-1R	LOMANDRA 'PLATINUM BEAUTY' LEUCADENDRON 'PISA'	VARIEGATED SWEET FLAG SILVER TREE	5 GAL 5 GAL	36" O.C.	275 SF	L L
	PA-2R	ASTELIA 'SILVER SHADOW' ACER 'SANGO-KAKU'	SILVER ASTELIA CORAL BARK JAPANESE MAPLE	5 GAL 15 GAL	36" O.C.	106 SF 3 TOTAL	M M
	PA-3R	ACACIA 'COUSINN ITT' PHILODENDRON 'XANADU' SEDUM ANGELINA	LITTLE RIVER WATTLE WINTERBORN PHLODENDRON ANGELINA STONECROP	5 GAL 5 GAL 4" POT	36" O.C.	140 SF	L UNKNOWN L
	PA-4R	INTERIOR POTS PER ARCHITECT	-	-	-	50 SF	-

Consultant

Stamp

City



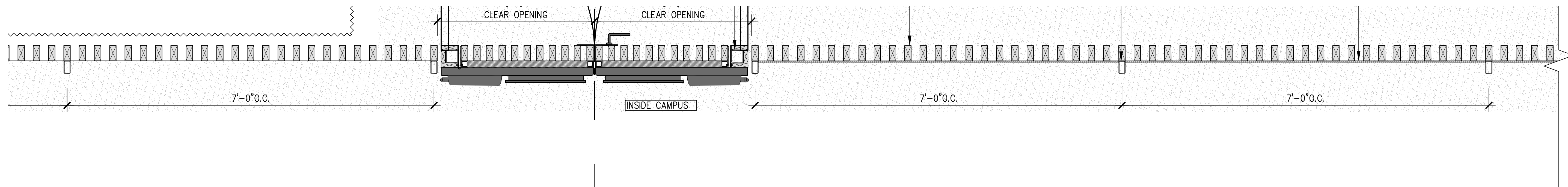
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	ISSUED FOR PLANNING REVIEW	08.31.2022
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Job # ESOT101
Date 08.31.2022
Scale As Shown

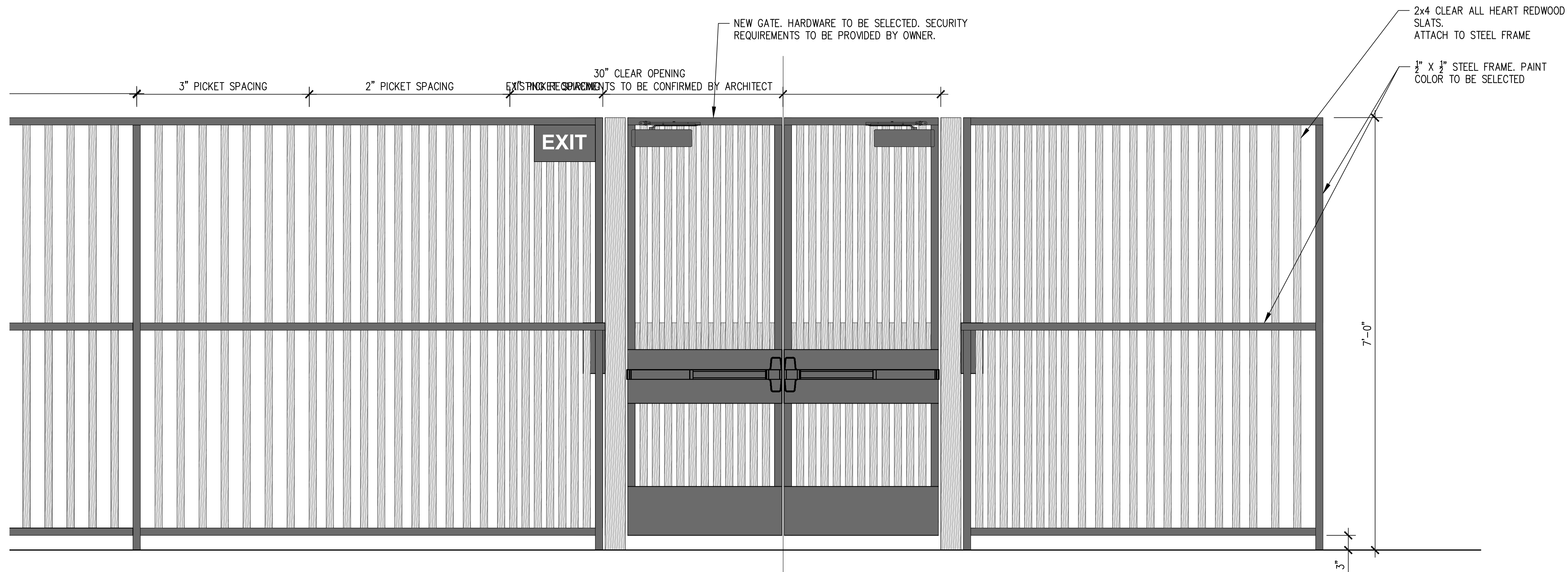
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PLANTING PLAN - ROOF
0 5' 10'
1" = 10'

Sheet #

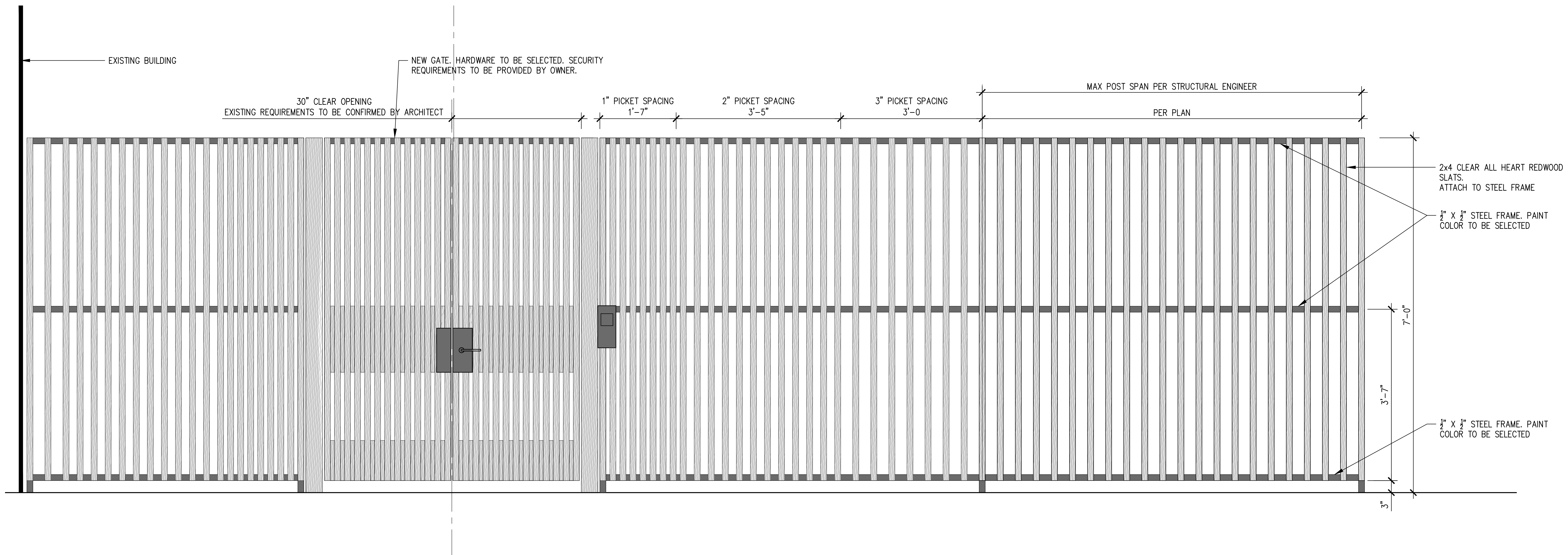
L4.07



03 GATE PLAN VIEW
1" = 1'-0"



02 SECURITY GATE_BACK ELEVATION
1" = 1'-0"



01 SECURITY GATE_FRONT ELEVATION
1" = 1'-0"

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Sheet #

L6.04

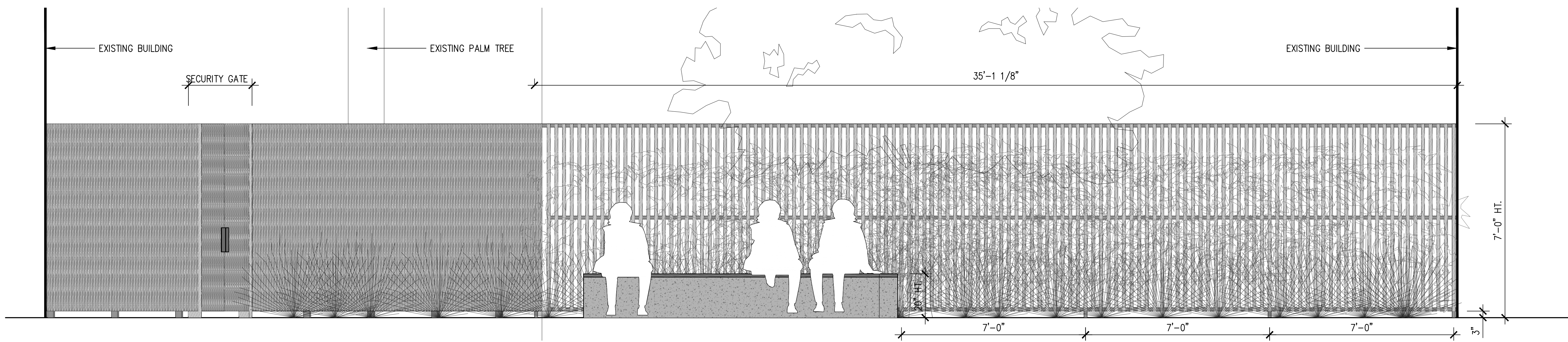
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Job #	ESOT101
Date	08.31.2022
Scale	As Shown

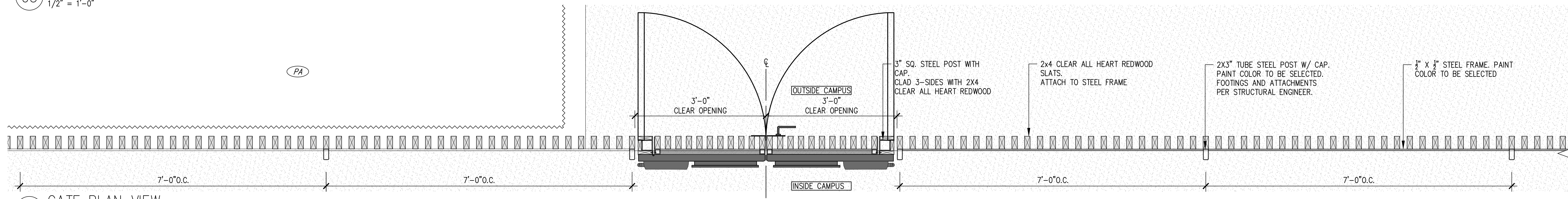
Sheet Title

Sheet #

L6.05



03 FENCE & GATE ELEVATION
1/2" = 1'-0"



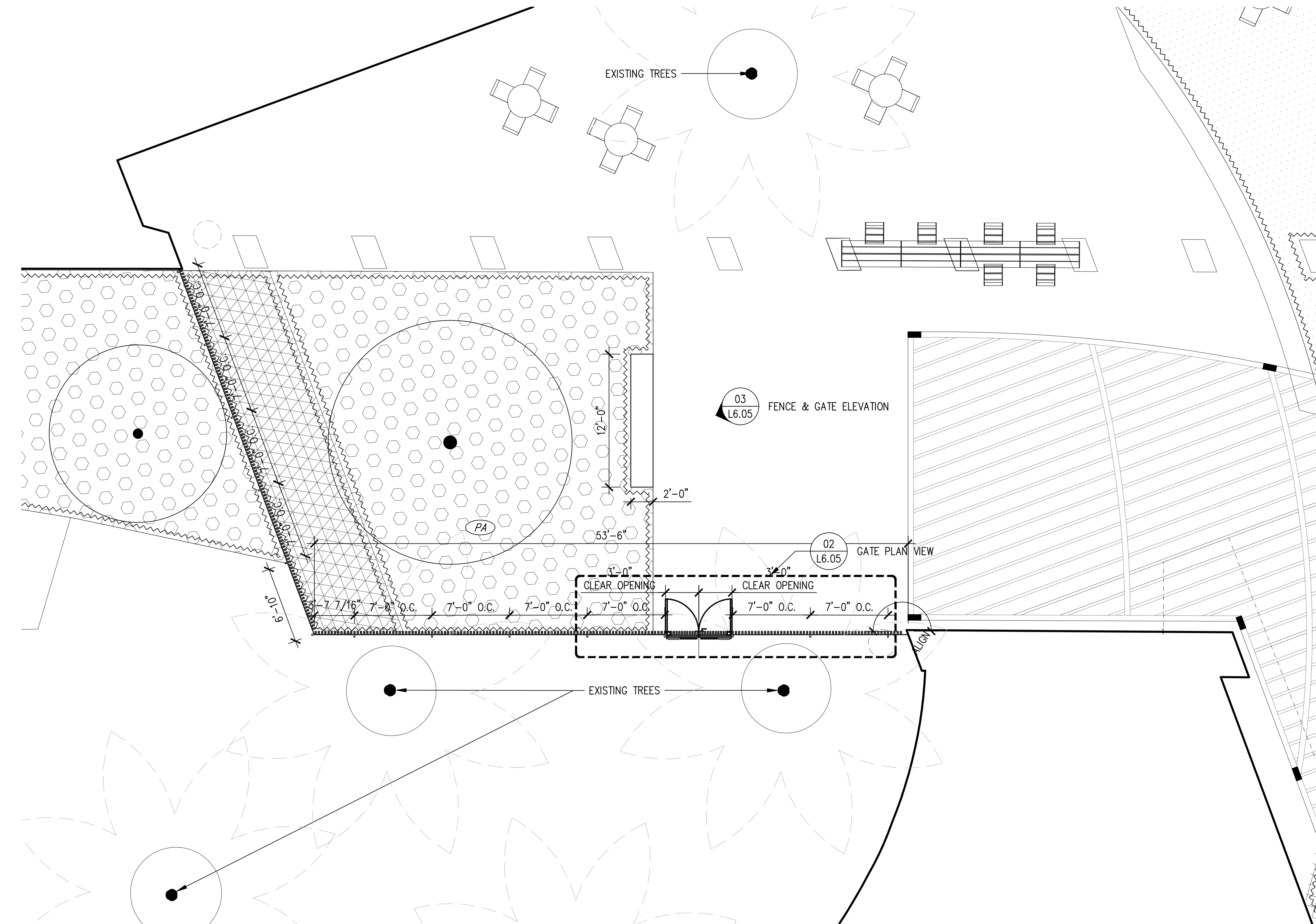
02 GATE PLAN VIEW
1" = 1'-0"



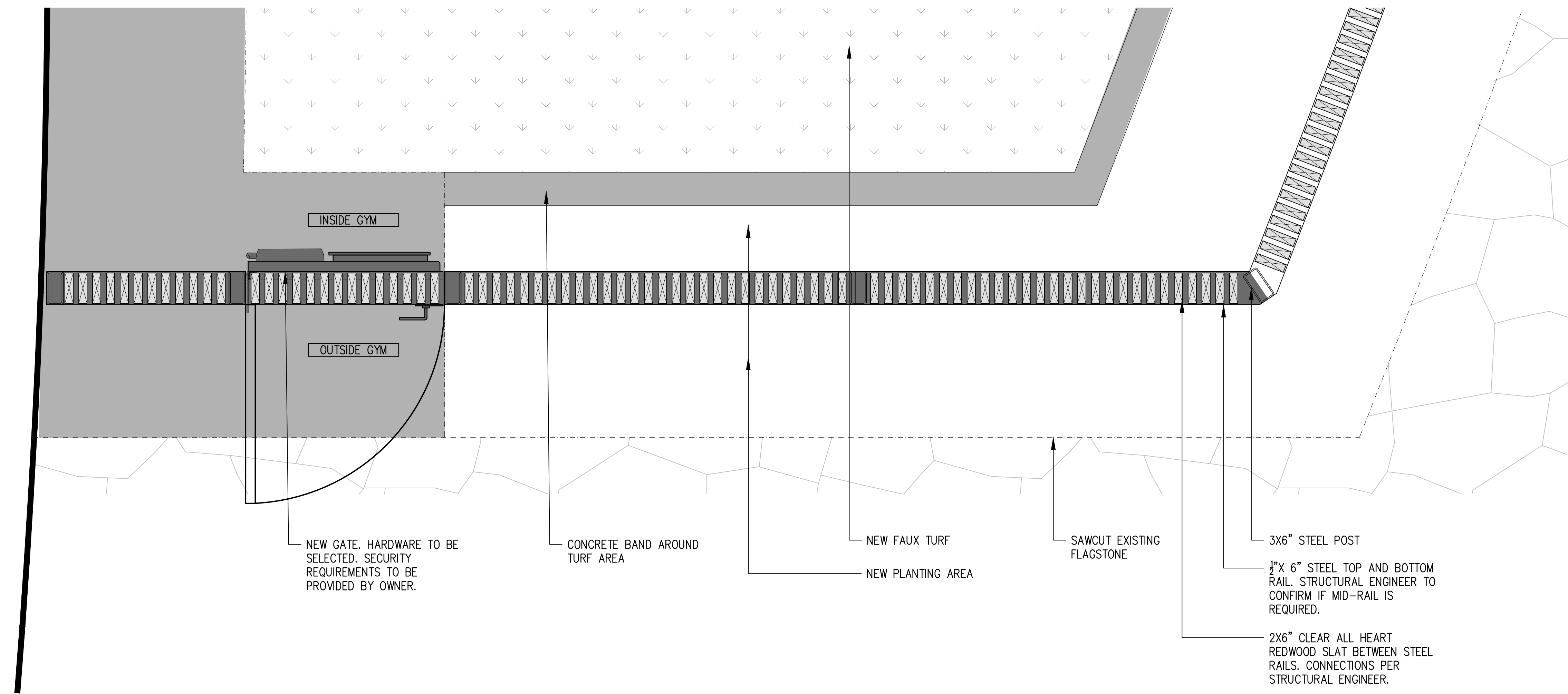
05 VIEW OF FRONT ENTRY



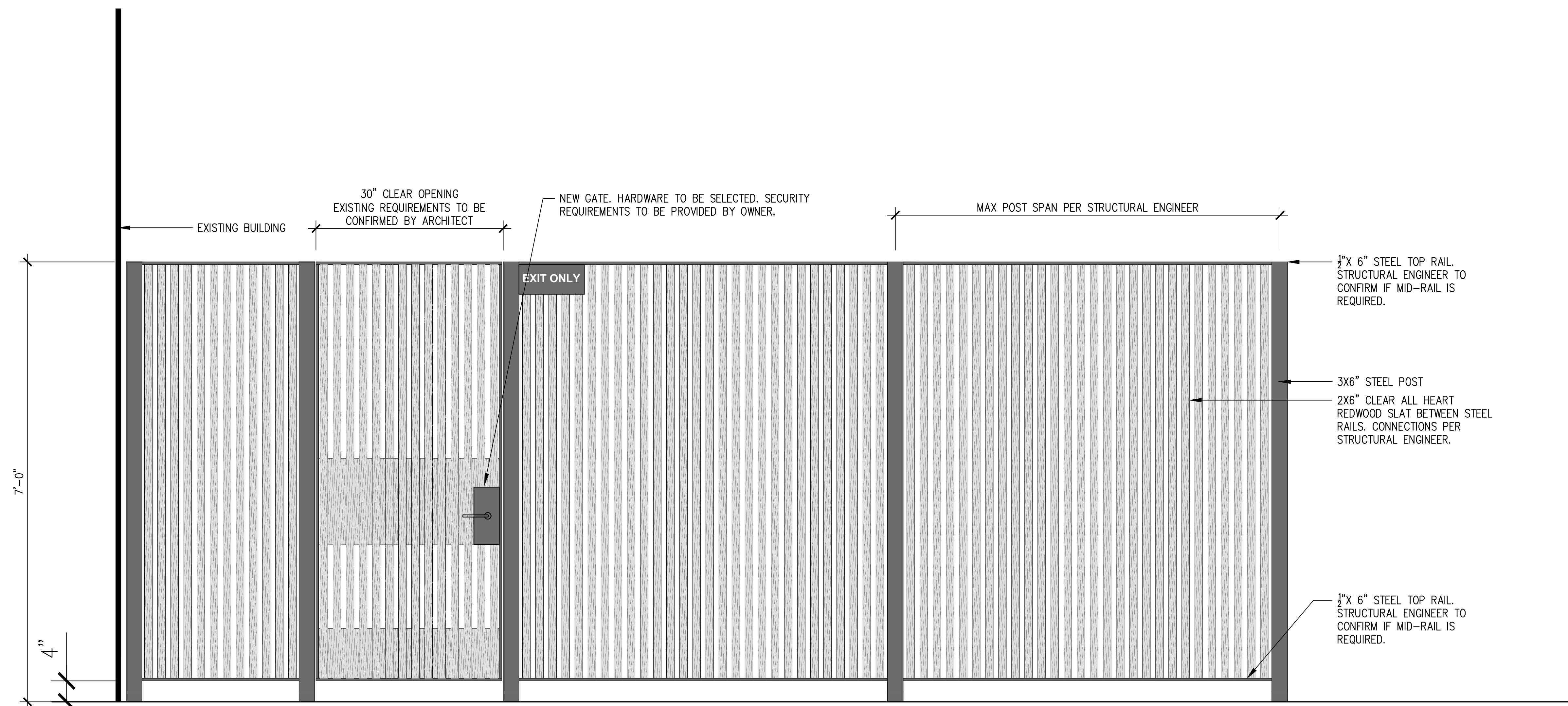
04 VIEW OF CAFE AREA



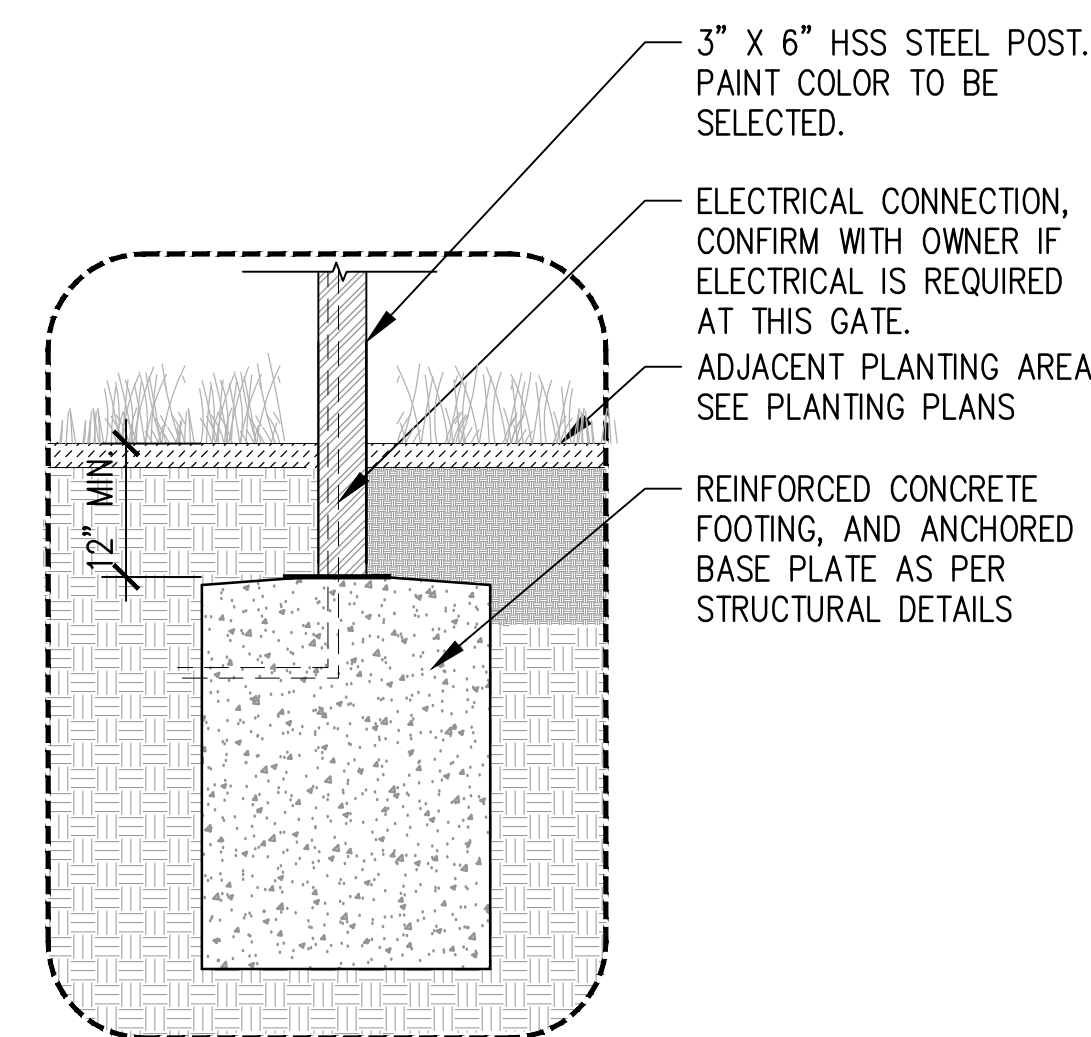
01 FENCE & GATE PLAN
3/16" = 1'-0"



02 GYM FENCE PLAN
1" = 1'-0"



01 GYM FENCE ELEVATION
1" = 1'-0"



03 GYM FENCE POST AT PLANTING
1/2" = 1'-0"

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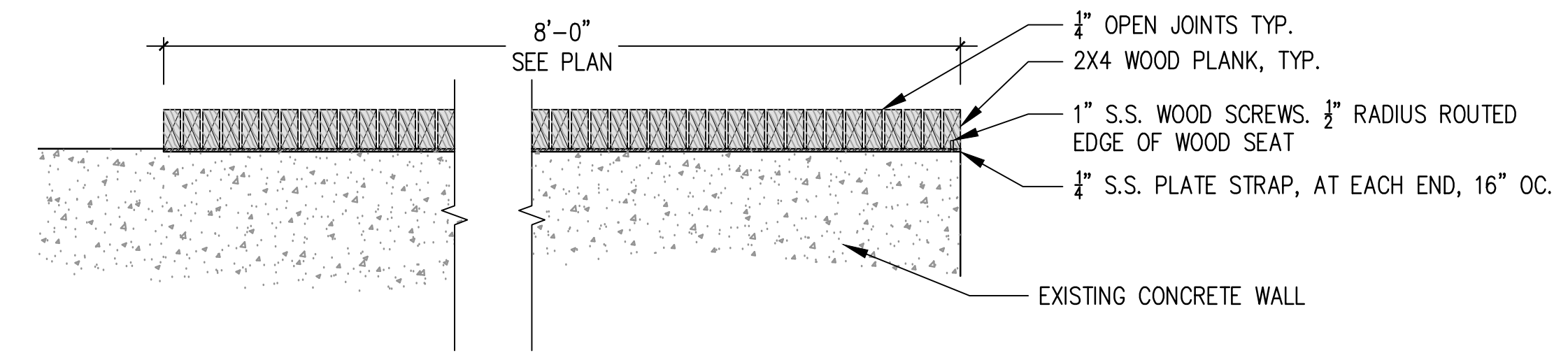
Project

TMG PARTNERS
CAMPUS IMPROVEMENTS
350 ELLIS STREET
MOUNTAIN VIEW, CA

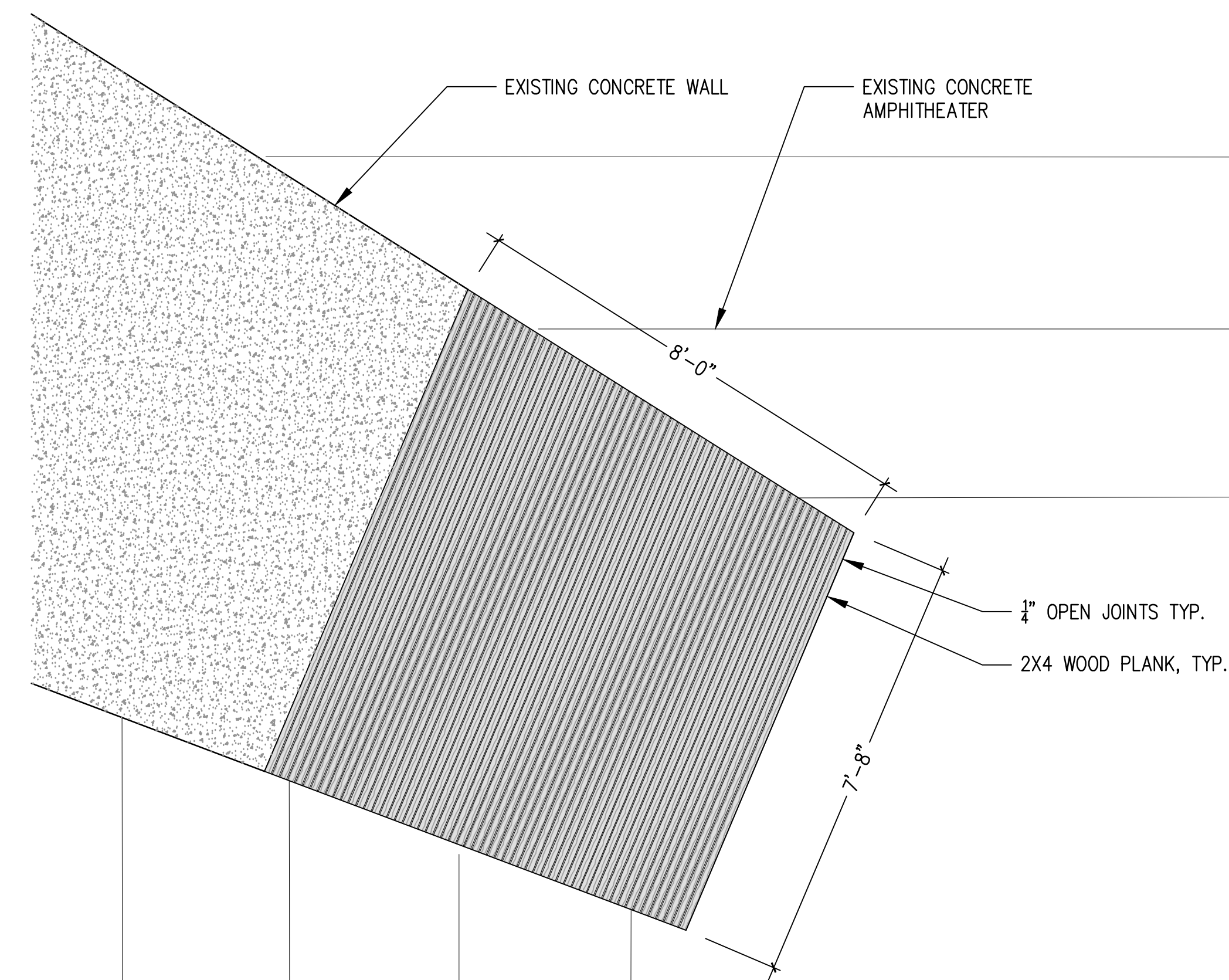
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02 WOOD TOPPER STAGE - SECTION
1" = 1'-0"



01 WOOD TOPPER STAGE - PLAN
1/2" = 1'-0"

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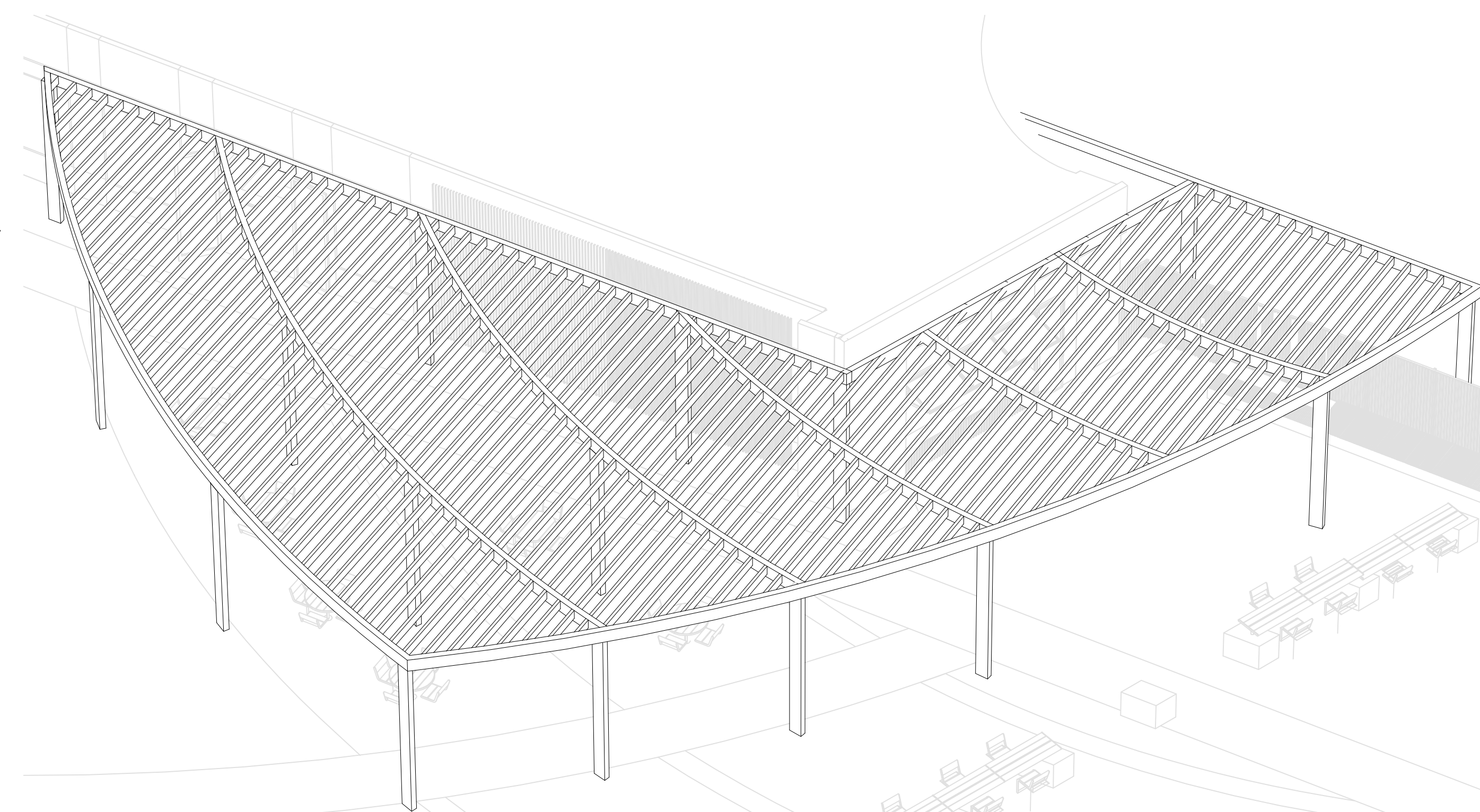
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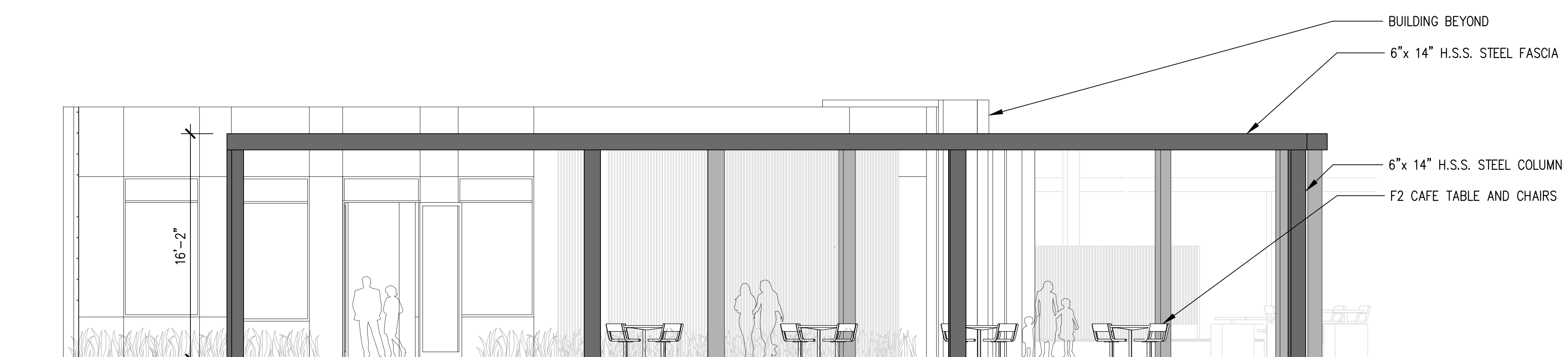
L6.07



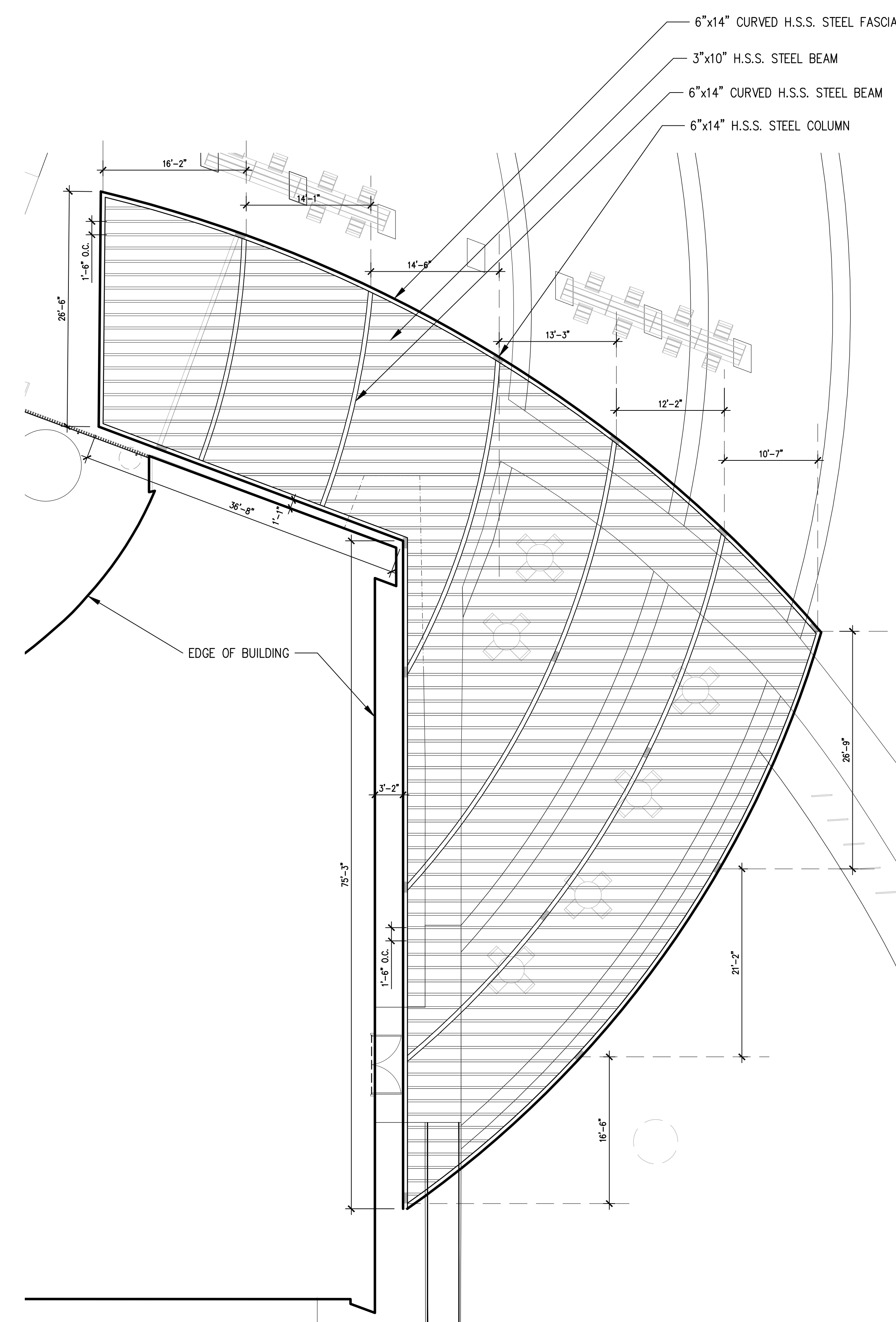
07 CAFE SHADE STRUCTURE NORTH FACING ELEVATION
3/16" = 1'-0"



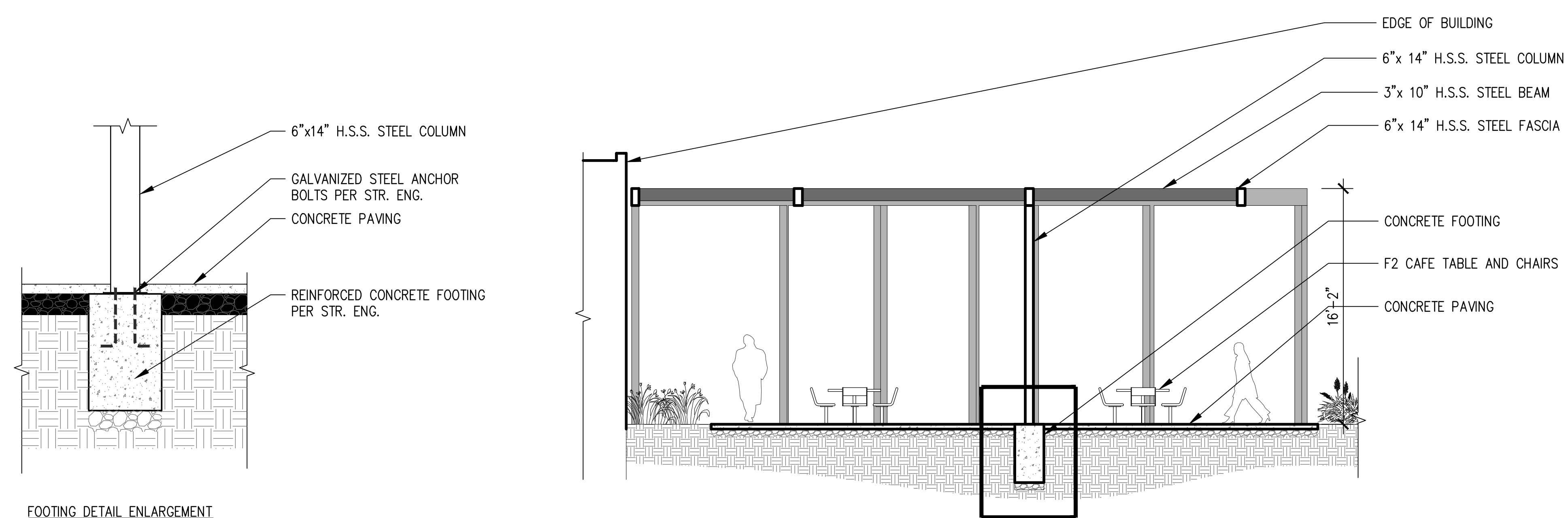
02 CAFE SHADE STRUCTURE AXON
15/128" = 1'-0"



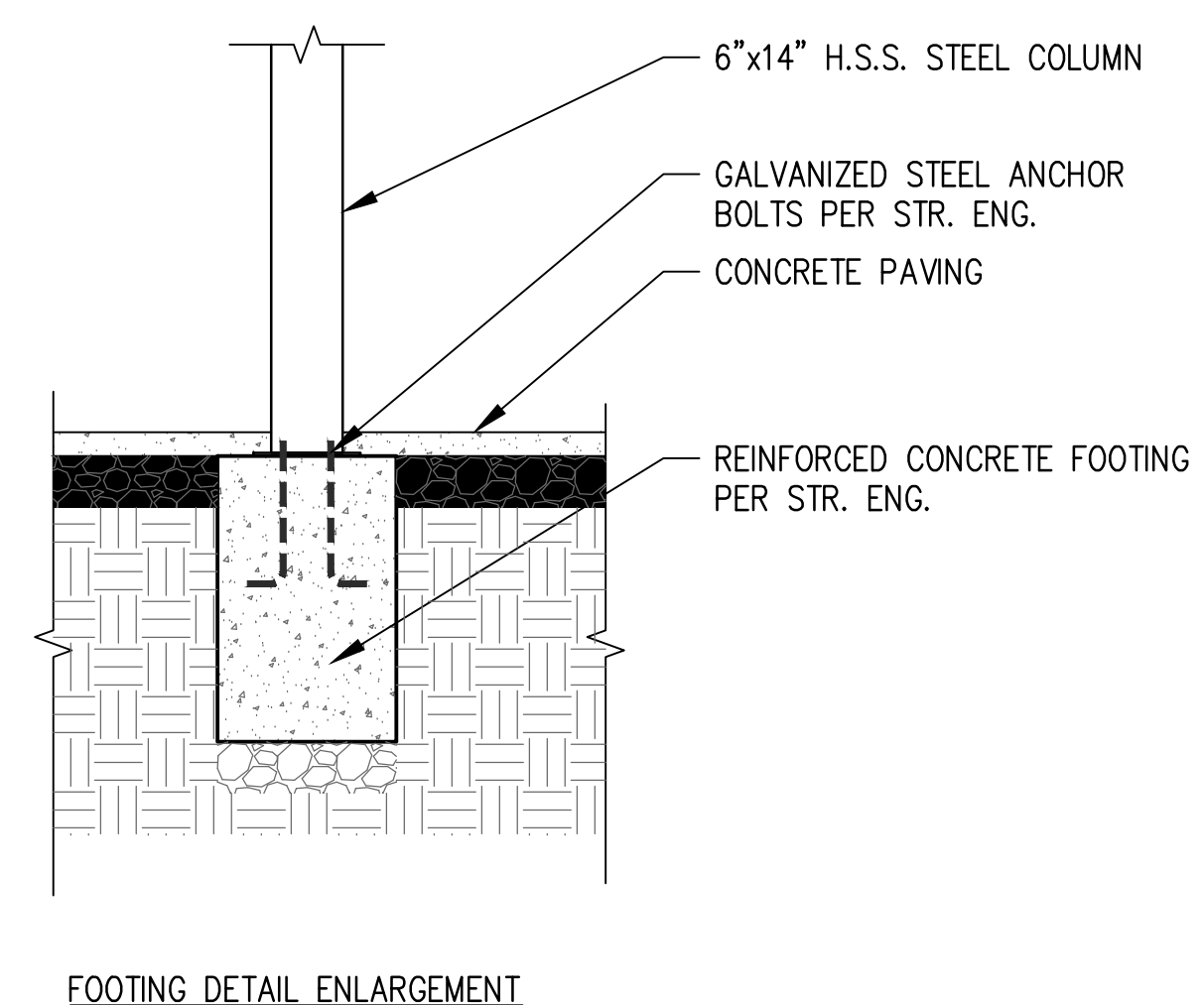
06 CAFE SHADE STRUCTURE SOUTH FACING ELEVATION
3/16" = 1'-0"



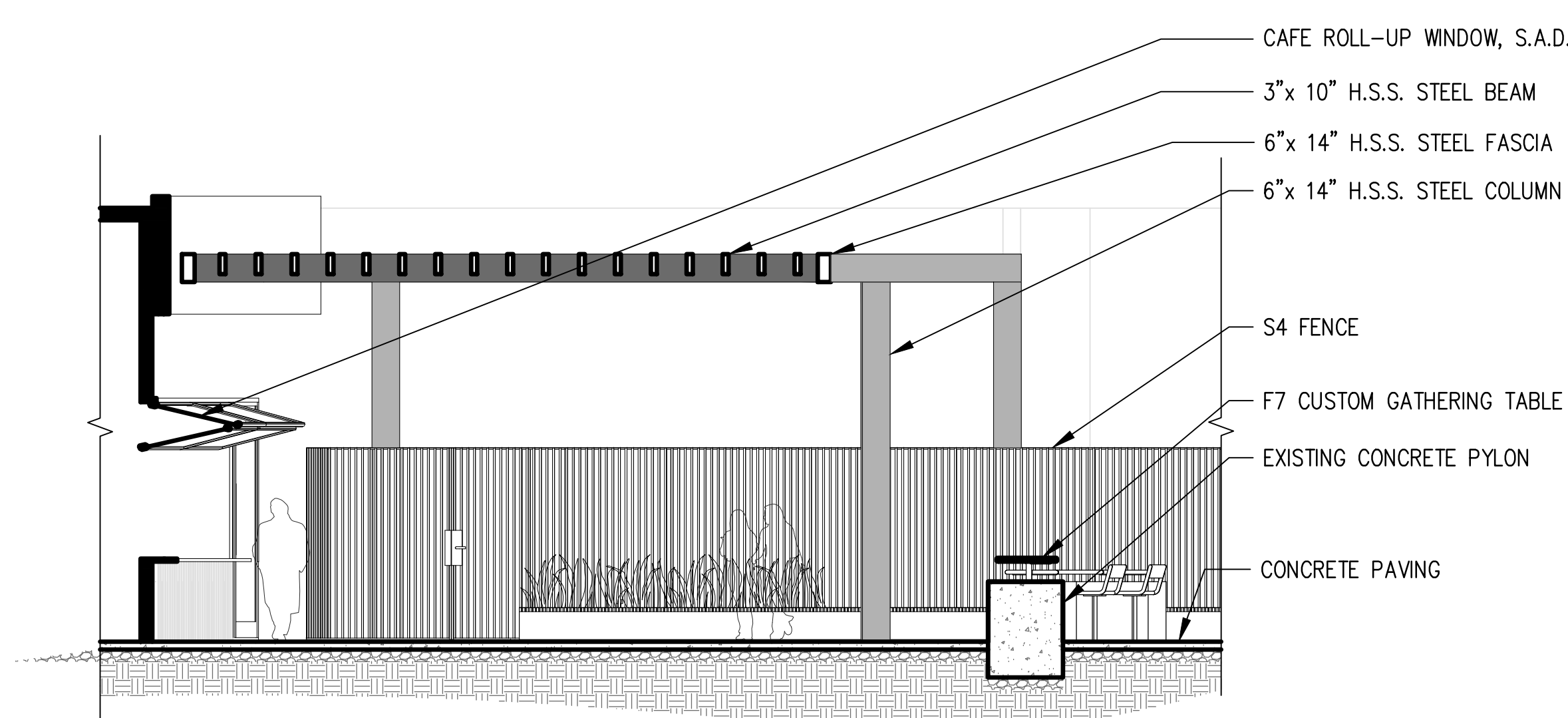
01 CAFE STEEL STRUCTURE PLAN
1/8" = 1'-0"



04 CAFE SHADE STRUCTURE NORTH SOUTH SECTION
3/16" = 1'-0"



05 CAFE STRUCTURE FOOTING ENLARGEMENT
3/16" = 1'-0"



03 CAFE SHADE STRUCTURE EAST WEST SECTION
3/16" = 1'-0"

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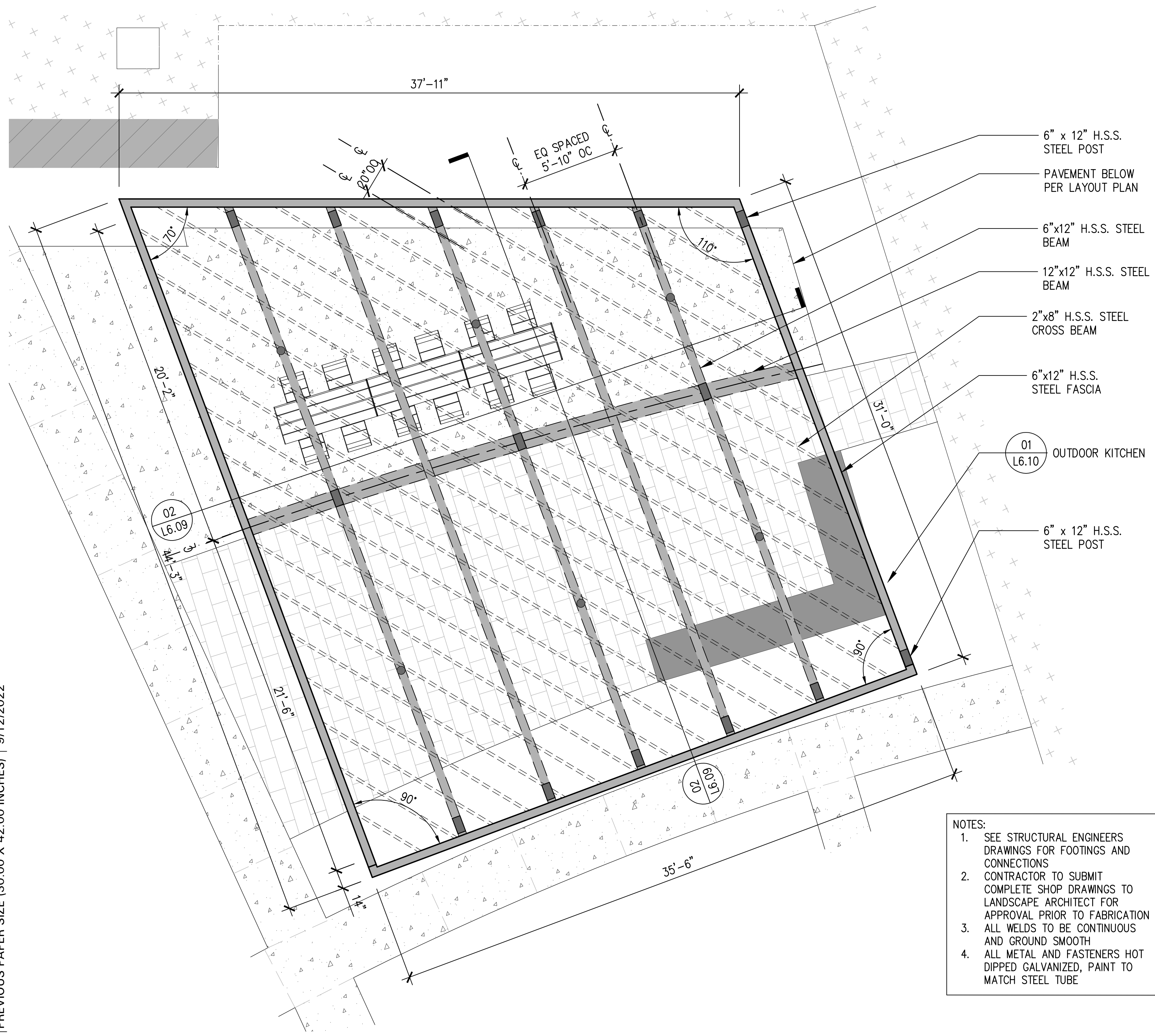
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Scale	As Shown

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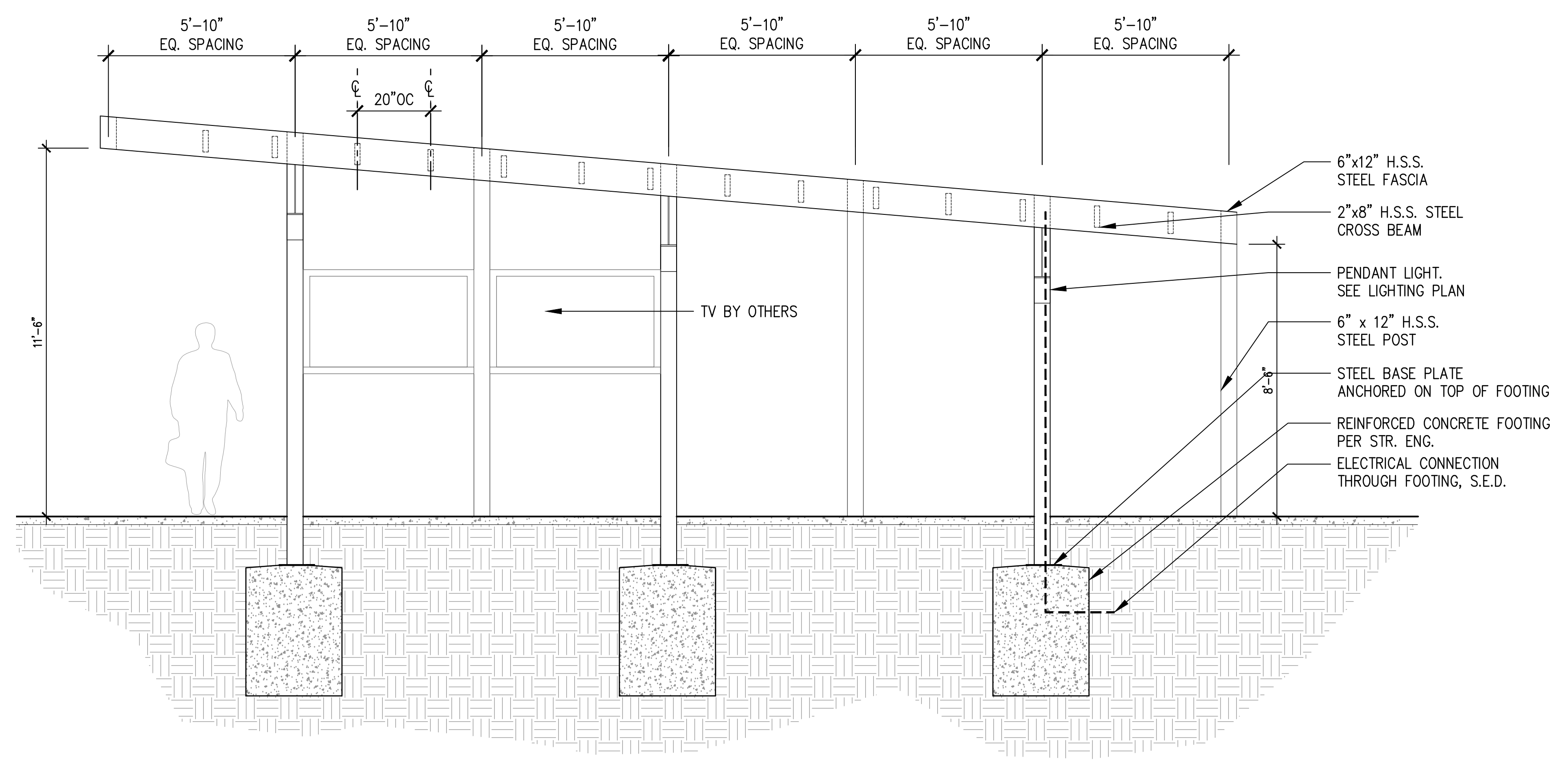
DETAILS

Sheet #

L6.08

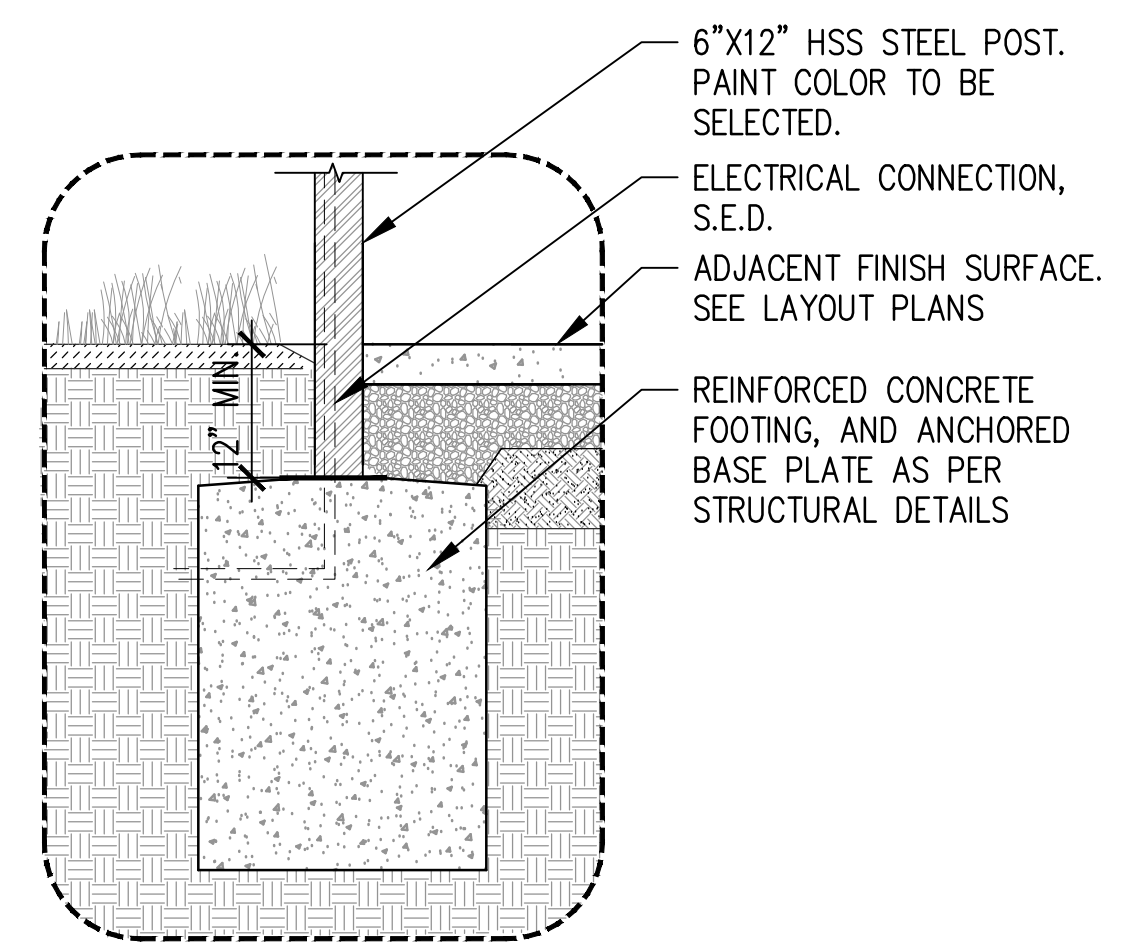


- NOTES:
1. SEE STRUCTURAL ENGINEERS DRAWINGS FOR FOOTINGS AND CONNECTIONS
 2. CONTRACTOR TO SUBMIT COMPLETE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
 3. ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH
 4. ALL METAL AND FASTENERS HOT DIPPED GALVANIZED, PAINT TO MATCH STEEL TUBE

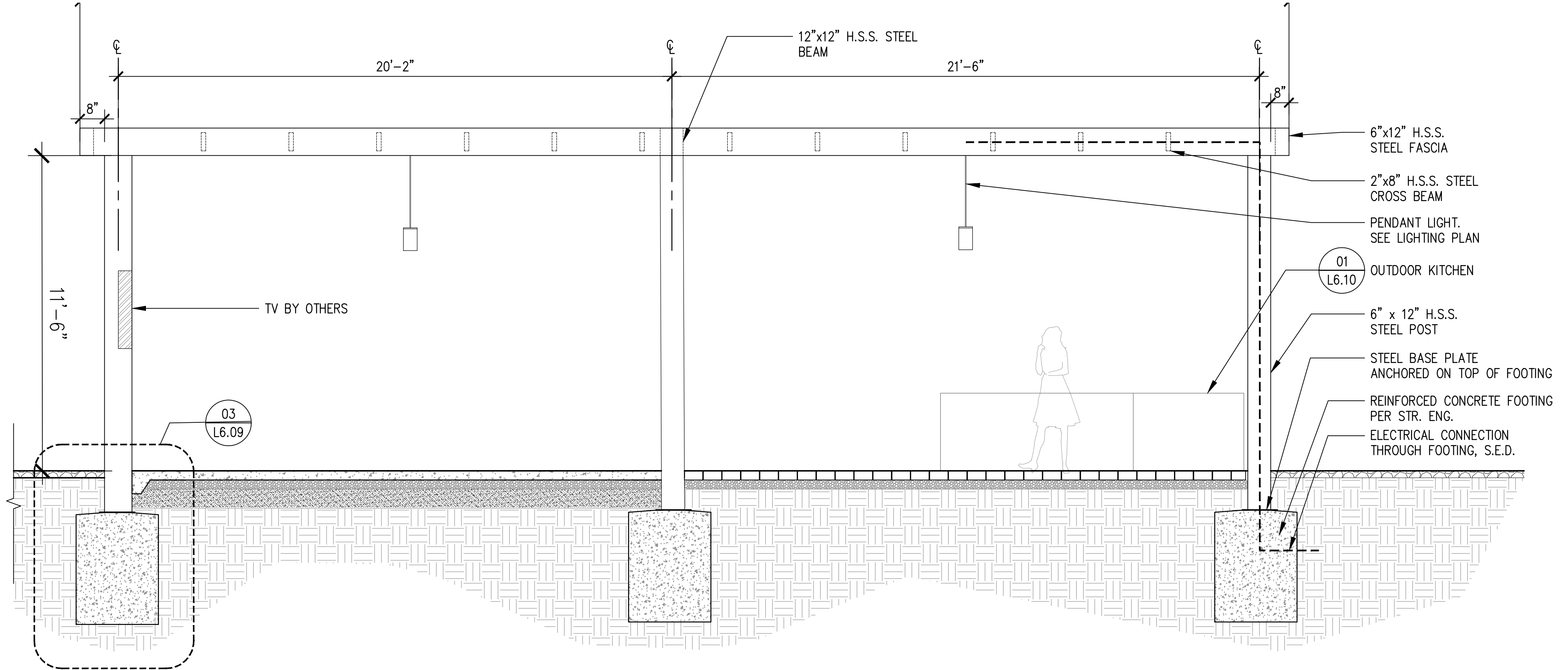


05 QUAD SHADE STRUCTURE
1/4" = 1'-0"

02 QUAD SHADE STRUCTURE SECTION
3/8" = 1'-0"



03 STEEL POST FOOTING
1/2" = 1'-0"



01 QUAD SHADE STRUCTURE SECTION
3/8" = 1'-0"

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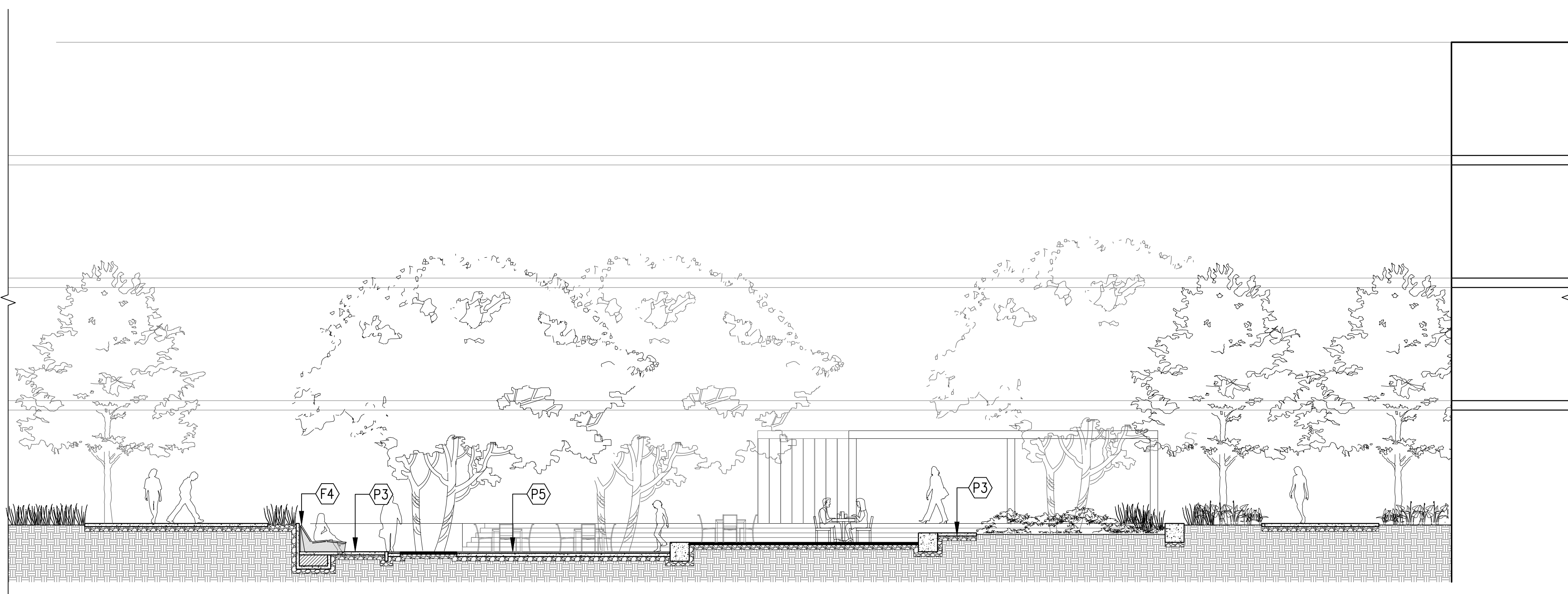
Sheet Title
STRUCTURE DETAILS

AS INDICATED

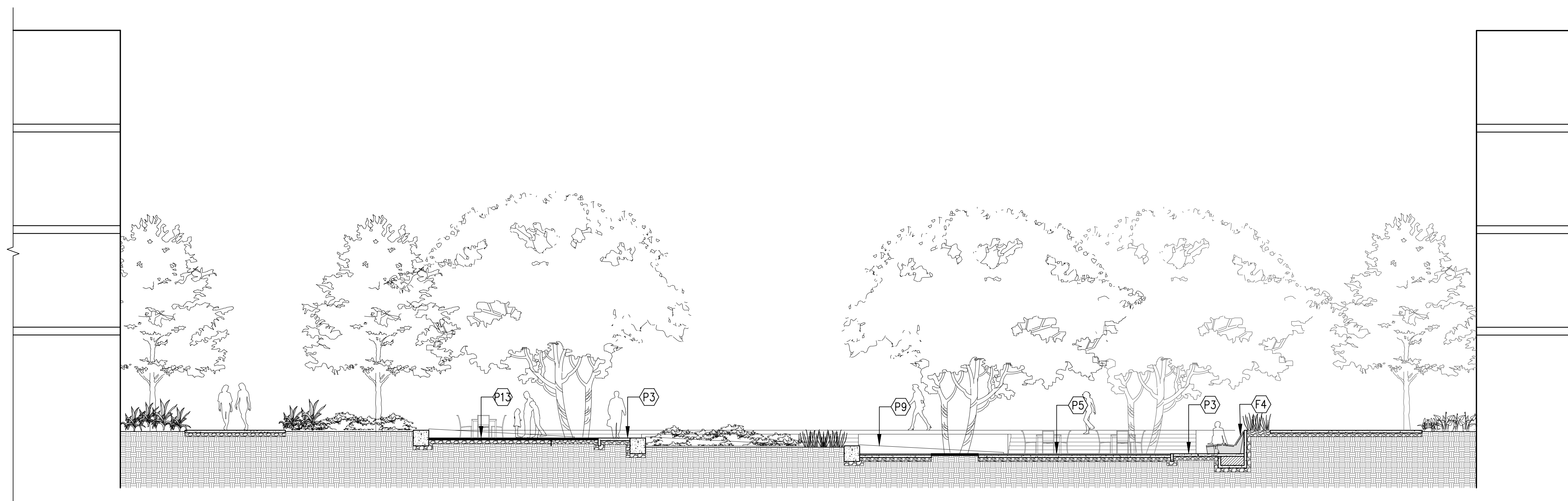
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03 SITE SECTION-3
1/8" = 1'-0"



02 SITE SECTION-2
1/8" = 1'-0"



01 SITE SECTION-1
1/8" = 1'-0"

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Sheet Title
CONCEPTUAL SECTIONS

AS INDICATED

Sheet #

L6.13