#### **EXTERIOR IMPROVEMENTS FOR:**

# ELLIS STREET OWNER LLC BUILDINGS A/B/C/D/E AND SITE IMPROVEMENTS

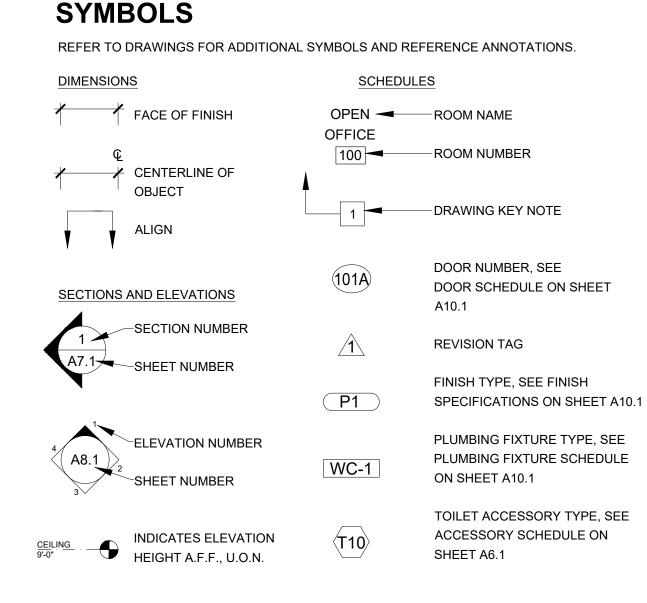
**350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043** 

#### **ABBREVIATIONS** LOW POINT or PLASTIC LAMINATE CENTERLINE DIAMETER or ROUND EXISTING FUTURE MACHINE BOL MONOLITHIC FLOORING ON CENTER BUILDING BLOCK BLANKETS PLAS. PLWD. P.T. PLYWOOD POINT PAPER TOWEL DISPENSER RESILIENT BASE CEILING ROOF DRAIN CONFERENCE CONCRETE REQUIRED RESILIENT FLOORING CONTINUOUS CARPET PAD COUNTERSUNK RESILIENT TILE CARPET TILE R.W.L. RAIN WATER LEADER DIMENSION STORM DRAIN SEE ELECTRICAL DRAWINGS EACH EMERGE. EYEWASH & SHOWER STONE FLOORING SPECIAL GLASS **EMERGENCY** LECTRIC PANEL BOARD OLID SURFACING MATERIAL LECTRICAL WATER COOLER EF MECHANICAL DRAWINGS SANITARY NAPKIN DISPENSEF SANITARY NAPKIN RECEPTACLI SEE PLUMBING DRAWINGS FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET SEE STRUCTURAL DRAWINGS FIRE HOSE CABINET STRUCT. STRUCTURAL FACE OF CONCRETE TEMP. CONTROL VALVE TOP OF SLAB **FACE OF MASONRY** FACE OF STUD FIBERGLASS REINFORCED PLASTIC TOILET PAPER FIRE SPRINKLER TOILET SEAT COVER **FOOTINGS** FIRE VALVE CABINET UNDERGROUND FABRIC WALL COVERING UNLESS OTHERWISE NOTED FABRIC WRAPPED PANELS VINYL COMPOSITION TILE GAL VANIZED VINYL WALL COVERING GYPSUM BOARD DRY WALL GALVANIZED IRON GRADE WATER HEATER WATERPROOF WATER RESISTANT HANDICAPPE WASTE RECEPTACLE WINDOW TREATMENT HOLLOW MET HIGH POINT WOOD VENEER WELDED WIRE FABRIC INCLUDING INSIDE INSULATION

DETAILS

DETAIL NUMBER

A9.1 SHEET NUMBER



# **GENERAL NOTES**

- THE CONTRACT DOCUMENTS INCLUDE THE DRAWINGS, SPECIFICATIONS, ADDENDA

- THE ARCHITECT HAS NO RESPONSIBILITY FOR THE DISCOVERY, REMOVAL, HANDLING, WASTES IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, MOLD AND OTHER TOXIC SUBSTANCES. ANY QUESTIONS THAT ARISE RELATED TO ASBESTOS SHALL BE REFERRED TO THE CLIENT FOR RESOLUTION. THE ARCHITECT SHALL NOT BE REQUIRED TO DO ANY WORK OR RENDER ANY OPINIONS RELATED TO ASBESTOS.
- PRIOR TO SUBMITTING A COST PROPOSAL, THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE THEIR BID ON THE EXISTING CONDITIONS AND AS-BUILT DRAWINGS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT INDICATED ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL REQUEST CLARIFICATION OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS PRIOR TO SUBMITTING A COST PROPOSAL AND COMMENCING THE WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE CLIENT FOR APPROVAL, A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING OF THE WORK, ACTIVITIES THAT MAY AFFECT THE PROGRESS, AND MECHANICAL OR ELECTRICAL DISRUPTIONS TO BUILDING
- THE CONTRACTOR, OR SUBCONTRACTORS, SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL REQUEST ALL INSPECTIONS REQUIRED BY LOCAL
- GOVERNMENTAL AGENCIES AND COORDINATE THE WORK ACCORDINGLY. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES, MANUFACTURER'S RECOMMENDATIONS, AND ALL TRADE AND REFERENCE STANDARDS. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY
- 9. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE CITY FOR NOISE RESTRICTIONS AND WORKING HOURS. 10. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING FINISHED AREAS IN OR OUTSIDE OF THE JOB THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE WITHOUT
- PERMISSION FROM THE BUILDING OWNER. 11. FREE AND UNOBSTRUCTED EGRESS SHALL BE MAINTAINED IN THE MEANS OF EGRESS PATHS FOR THE OCCUPANTS DURING BOTH THE DEMOLITION AND THE CONSTRUCTION PHASES OF THE PROJECT, IN ACCORDANCE WITH CFC SECTION 1003.6.
- 12. FIRE DEPARTMENT ACCESS TO THE SITE, BUILDING AND ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AT ALL TIMES, IN ACCORDANCE WITH CFC CHAPTER 5. 13. THE CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE PROTECTION OF ANY EXISTING FINISHES AND FIXTURES IN THE ELEVATORS, LOBBIES AND CORRIDORS OF THE BUILDING THAT MAY BE AFFECTED BY THE WORK. ANY DAMAGE CAUSED BY THE
- REPAIRED TO MATCH EXISTING 14. COORDINATE ALL WORK WITH BUILDING OWNER SO AS NOT TO DISTURB OR CAUSE ANY DAMAGE TO TENANT(S) IN THE BUILDING. AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS BY COMPLYING WITH THE BUILDING'S REGULATIONS REGARDING SCHEDULING AND USE OF ELEVATORS AND LOADING DOCKS FOR DELIVERIES,

CONTRACTOR'S ACCESS TO AND USE OF THESE PREMISES SHALL BE PATCHED AND

- HANDLING OF MATERIALS, EQUIPMENT AND DEBRIS. 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ACCESS INTO ADJACENT TENANT SPACES WITH THE BUILDING OWNER AS REQUIRED FOR PRICING AND/OR
- 16. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AND HAS CONTROL OVER CONSTRUCTION MEANS, METHODS, SEQUENCES AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.O.N. 18. THE CONTRACTOR IS RESPONSIBLE TO REVIEW ALL SUBMITTALS AND SHOP DRAWINGS FOR APPROPRIATENESS AND COMPLIANCE WITH THE CONTRACT DOCUMENTS PRIOR TO

SENDING SHOP DRAWINGS TO THE ARCHITECT (OR ENGINEER) FOR REVIEW. THIS

ACKNOWLEDGEMENT BY THE CONTRACTOR SHALL BE AFFIXED TO THE FIRST PAGE OF

- EACH SUBMITTAL IN THE FORM OF A STAMP OR STATEMENT WITH DATE REVIEWED. 19. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED UPON MANUFACTURER INFORMATION SUBMITTED BY THE CONTRACTOR AND IDENTIFIED AS A "REQUEST FOR SUBSTITUTION". CONTRACTOR SHALL INCLUDE ANY CREDIT OWED TO THE CLIENT (WHERE APPLICABLE) FOR USE OF THE PROPOSED
- 20. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION WITHOUT THE WRITTEN AUTHORIZATION FROM THE CLIENT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
- ANY WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL NOT BE DEEMED ACCEPTABLE DUE TO THE ARCHITECT'S FAILURE TO DISCOVER THE DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- 22. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH COMPLETION. THE ARCHITECT SHALL ATTEND THE PUNCH LIST WALK THROUGH CONDUCTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PREPARE AND DISTRIBUTE A LIST OF INCOMPLETE ITEMS PRIOR TO THE PUNCH LIST WALK THROUGH. THE CONTRACTOR SHALL TAKE NOTES AND PREPARE A LIST OF FINAL PUNCH ITEMS TO BE COMPLETED OR CORRECTED AS A RESULT OF THIS WALK THROUGH. THE CONTRACTOR SHALL DISTRIBUTE THIS FINAL PUNCH LIST IN A TIMELY MANNER TO THE ARCHITECT AND
- 23. THROUGHOUT THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN AS-BUILT DRAWINGS THAT INDICATE THE ACTUAL LOCATIONS OF ALL ITEMS NOTED ON THE CONTRACT DOCUMENTS, INCLUDING LOCATIONS OF ALL RUNS OF MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER WORK, SITE UTILITIES AND CONCEALED DEVIATIONS FROM THE DRAWINGS. ALL DRAWING MODIFICATIONS SHALL BE DRAWN TO SCALE AND NOTED IN CONTRASTING INK. THE DRAWINGS SHALL BE CONSPICUOUSLY MARKED "AS-BUILTS" AND DELIVERED TO THE CLIENT AND ARCHITECT AT PROJECT CLOSE-OUT.

# **GENERAL NOTES (CONTINUED)**

- "TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, U.O.N. "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- "VERIFY" OR "VER." MEANS TO ASCERTAIN AND CONFIRM APPLICATION WITH ARCHITECT DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. HORIZONTAL DIMENSIONS ARETO/FROM FINISHED FACE OF CONSTRUCTION, EXCEPT AS NOTED. VERTICAL FINISHED FLOOR" OR "A.F.F.
- WITH CHALK LINES OR TAPE AS APPROPRIATE. THE WALL LAYOUT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO FRAMING OF THE WALLS. THE ARCHITECT SHALL BE
- 3,000 SQ. FT. OF COVERAGE AND A MAX. TRAVEL DISTANCE OF 75'-0", UNLESS OTHERWISE REQUIRED BY STRICTER REGULATIONS SUCH AS LOCAL ORDINANCES. PROVIDE EXIT ILLUMINATION & SIGNS PER CBC SEC. 1008 & 1013.
- ALL GLASS AND GLAZING USED IN THE PROJECT SHALL CONFORM TO REQUIREMENTS OF CBC 2019 CHAPTER 24 AND ALL FEDERAL REQUIREMENTS. PATCH AND REPAIR ALL FIREPROOFING DAMAGE INCURRED DURING DEMOLITION AND/OR
- CONSTRUCTION. FIREPROOF ALL NEW PENETRATIONS AND ANY EXISTING PENETRATIONS IN EXPOSED PLENUM AREAS, AS DESCRIBED IN THE CONTRACT DOCUMENTS AND AS REQUIRED BY CODE. ALL THROUGH PENETRATIONS OF FIRE RESISTANCE RATED ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRE-STOP SYSTEM INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E814 AND CBC 714.3.1.2. THE MAXIMUM FLAMESPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS SHALL NOT EXCEED THE LIMITS SET FORTH IN CBC SEC. 803.1 &
- TABLE 803.11. IN ADDITION, CARPETING OR SIMILAR MATERIAL HAVING A NAPPED, TUFTED, LOOPED OR SIMILAR SURFACE USED AS WALL OR CEILING FINISH MUST HAVE A CLASS 'A' FLAMESPREAD CLASSIFICATION. MECHANICAL, ELECTRICAL AND PLUMBING LOCATIONS SHOWN ON PLANS ARE FOR DESIGN INTENT ONLY, ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE
- DESIGN-BUILD, U.O.N. DESIGN-BUILD SUBCONTRACTORS SHALL PREPARE AND SUBMIT REQUIRED ENGINEERED DRAWINGS AND CALCULATIONS TO THE CITY FOR PERMIT. THE CONTRACTOR SHALL COORDINATE ALL WORK ASSOCIATED WITH MECHANICAL ELECTRICAL, PLUMBING, FIRE ALARM AND FIRE PROTECTION AND NOTIFY THE ARCHITECT AND CLIENT OF ANY DISCREPANCIES AND/OR CORRECTIONS. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION. PRIOR TO COMMENCING THE WORK, THE CONTRACTOR SHALL FIELD VERIFY THAT NO CONFLICTS EXIST WHICH WOULD PROHIBIT THE LOCATION OF NEW EQUIPMENT, SUCH AS EXISTING MECHANICAL, DATA/PHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER. THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED CLEARANCES FOR INSTALLATION

AND MAINTENANCE OF THE EQUIPMENT IS PROVIDED.

- THE CONTRACTOR SHALL REVIEW THE MECHANICAL SYSTEM TO DETERMINE IF RETURN AIR PLENUMS EXIST. WHERE APPLICABLE, MATERIALS EXPOSED IN RETURN AIR PLENUMS, INCLUDING TELEPHONE AND DATA CABLES, SHALL MEET THE REQUIREMENTS OF THE ELECTRICAL AND MECHANICAL CODES.
- ANY MODIFICATIONS TO THE FIRE ALARM AND FIRE SPRINKLER SYSTEMS AS REQUIRED BY THE NEW WORK SHALL BE DESIGN-BUILD AND SUBMITTED TO THE CITY AS A DEFERRED SUBMITTAL. SHOP DRAWINGS AND CALCULATIONS SHALL BE REVIEWED BY THE ARCHITECT FOR CONFORMANCE WITH THE DESIGN INTENT PRIOR TO CITY SUBMITTAL. NO WORK SHALL COMMENCE UNTIL THE DEFERRED SUBMITTALS ARE APPROVED BY THE CITY.

PROJECT WILL BE REQUIRED TO COMPLY WITH THE ACCESSIBILITY REQUIREMENTS IN THE

- CBC CHAPTER 11B. PROJECT WILL BE REQUIRED TO COMPLY WITH THE ACCESSIBLE PARKING REQUIREMENTS IN THE CBC CHAPTER 11B. 39. PROJECT REQUIRED APPROVAL OF THE SANTA CLARA COUNTY ENVIRONMENTAL HEALTH DEPARTMENT (SCCHD) PRIOR TO BUILDING PERMIT SUBMITTAL TO THE BUILDING
- 40. THE TENANT IMPROVEMENTS FOR THE COMMERCIAL SPACE(S) WILL BE REQUIRED TO OBTAIN A SEPARATE BUILDING PERMIT(S).
- 41. SITE MUST MEET ACCESSIBLE MEANS OF EGRESS PER THE CBC, SECTION 1009. 42. PUBLIC SIDEWALKS ARE REQUIRED TO REMAIN OPEN DURING THE COURSE OF CONSTRUCTION. PROVIDE SUFFICIENT INFORMATION AT THE TIME OF BUILDING PLAN SUBMITTAL OF HOW PEDESTRIANS WILL BE PROTECTED FROM CONSTRUCTION ACTIVITY PER THE CBC SECTION 3306.

# PROJECT DIRECTORY

**ELLIS STREET OWNER LLC** 100 BUSH STREET, 26TH FLOOR SAN FRANCISCO, CA 94104 CONTACT: PATRICK MCCARTHY

P: 415-225-3101 P: 650.482.6321 PMCCARTHY@TMGPARTNERS.COM EMAIL: LPAW@BKF.COM HTK STUDIO, INC. 530 BUSH STREET, 6TH FLOOR

268 E. HAMILTON AVE., SUITE B CAMPBELL, CA 95008 CONTACT: SHELLEY HAZLITT P: 408-981-6266

**LOCATION MAP** 

CONTACT: DANIEL AFFLECK P: 415-710-1706 EMAIL: SHAZLITT@HTKSTUDIO.COM EMAIL: DAFFLECK@SWAGROUP.COM

# **CALGREEN NOTES**

1. 65% (MIN.) OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGED. THE CONTRACTOR SHALL SUBMIT A WASTE MANAGEMENT PLAN FOR APPROVAL BY THE BUILDING AND SAFETY DEPARTMENT PRIOR TO DEMOLITION PERMIT ISSUANCE AND PROVIDING DOCUMENTATION TO DEMONSTRATE COMPLIANCE WITH THE WASTE MANAGEMENT PLAN AFTER COMPLETION OF DEMOLITION AND/OR PRIOR TO FINAL INSPECTION.

CIVIL ENGINEER

**BKF ENGINEERS** 

SAN FRANCISCO, CA 9411

LANDSCAPE ARCHITECT

SAN FRANCISCO, CA 94108

CONTACT: LISA PAW

150 CALIFORNIA STREET, SUITE 600

2. ALL FINISH MATERIALS INCLUDING FLOORING, COMPOSITE WOOD PRODUCTS, ADHESIVES SEALANTS, CAULKS, COATINGS SHALL COMPLY WITH CGC 5.504

3. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY, WHICH SHOW SUBSTANTIAL CONFORMANCE

# **SCOPE OF WORK**

THIS PROJECT CONSISTS OF INTERIOR AND EXTERIOR TENANT IMPROVEMENTS T RESTROOM AT BUILDING D (COMMONS AREA). A NEW SECURITY FENCE BETWEEN BUILDINGS D & E, ALONG WITH A PUBLICLY ACCESSIBLE PLAZA WITH TRELLIS (PLAZA) AND LANDSCAPING ALONG ELLIS STREET (PUBLICLY ACCESSIBLE OPEN SPACE)

#### PROJECT DATA

PROJECT DATA	
APN:	160-53-015 & 160-56-016
GENERAL PLAN:	EAST WHISMAN MIXED USE
ZONING:	P-41 EAST WHISMAN PRECISE PLAN
LOT SIZE:	19.61 ACRES
CONSTRUCTION TYPE:	854,211.6 SF
BUILDINGS A,B,C,D	I-A
BUILDING E	V-A
OCCUPANCY GROUP:	B/A-2
NUMBER OF STORIES:	
BUILDINGS A, B, C, D	4
BUILDING E	1
SPRINKLERED:	YES
APPLICABLE CODES:	2019 CALIFORNIA BUILDING CODE
	2019 CALIFORNIA ELECTRICAL CODE
	2019 CALIFORNIA ENERGY CODE
	2019 CALIFORNIA FIRE CODE
	2019 CALIFORNIA GREEN BUILDING
	STANDARDS CODE

2019 CALIFORNIA MECHANICAL CODE

MOUNTAIN VIEW GREEN BUILDING CODE

CITY OF MOUNTAIN VIEW MUNICIPAL CODES

2019 CALIFORNIA PLUMBING CODE

SQUARE FOOTAGE CALCULATIONS					
BUILDING:	EXISTING	TO BE MODIFIED			
BUILDING A	92,830	350			
BUILDING B	82,348	800			
BUILDING C	131,508	800			
BUILDING D	88,950	350			
BUILDING E	22,908	18,595			
TOTAL	418,542	20,895			
BUILDING F (GARAGE)*	100,606	0			
TOTAL INTERIOR SF BEING MODIFIED	-	20,895			
TOTAL EXTERIOR SF BEING MODIFIED	-	91,926			

# F.A.R. CALCULATIONS

(PL-2022-147)

-350-380 ELLIS STREET

EXISTING F.A.R. IS 0.50; THERE IS NO CHANGE TO THE EXISTING F.A.R. \* GARAGE GSF IS NOT INCLUDED IN F.A.R.

# PUBLICLY ACCESSIBLE AREAS - SQUARE FOOTAGE TOTALS

					1
			PREVIOUS COMMONS AREA AND PLAZA*	PROPOSED COMMONS AREA, PLAZA & PUBLICLY ACCESSIBLE OPEN SPACE**	
	COMMONS AREA	INTERIOR	22,908	1,471	$\stackrel{\wedge}{3}$
>	PLAZA	EXTERIOR	10,942	8,933	73
	PUBLICLY ACCESSIBLE OPEN SPACE	EXTERIOR		26,091	
	TOTALS		33,850	36,495	

(CONDITION OF APPROVAL(COA) 8 FROM DECEMBER 30, 1999 CITY OF MOUNTAIN VIEW FINDINGS REPORT / ZONING PERMIT) \*\* CONDITION OF APPROVAL 14 & 15 FROM 2022 CITY OF MOUNTAIN VIEW ZONING PERMIT

NOT FOR CONSTRUCTION

ELLIS STREET OWNER, LLC

MOUNTAIN VIEW, CA 94043

**BUILDINGS A/B/C/D/E** 

350-380 ELLIS STREET

**IMPROVEMENTS** 

**TMG** 

Consultant

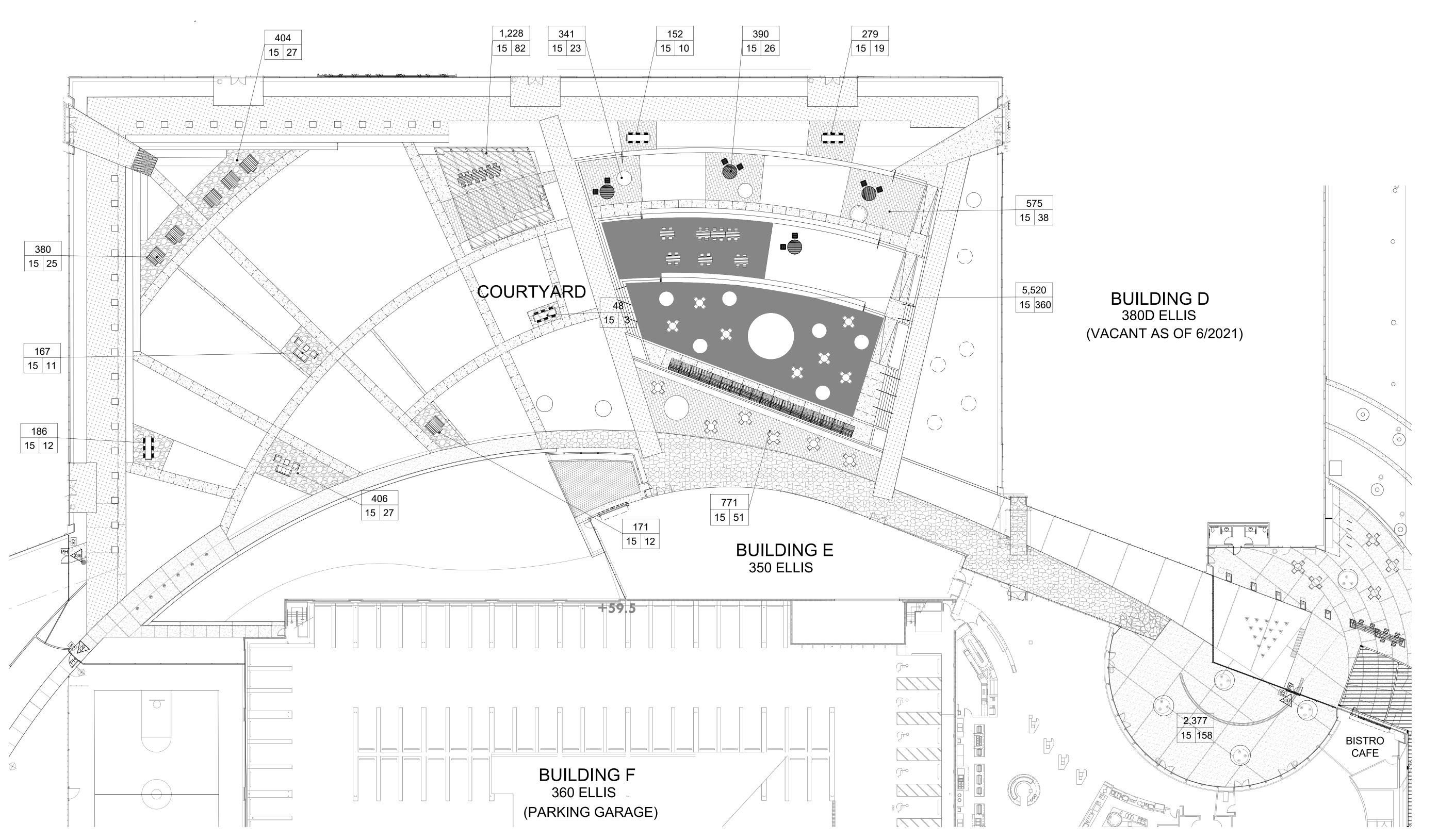
NO.	DESCRIPTION	DATE
NO.	DESCRIPTION	DATE
	Issued for Planning Review	04.01.2
1	Plan Check Response	06.30.2
	Plan Check Response	08.31.2
3	Planning Revisions	11.08.2
	Final Planning Set	12.16.2

·		
	Job#	21068
	Date	04.01.22

Scale As Shown Sheet Title

> **COVER SHEET AND NOTES**

Sheet #



1 COURTYARD EGRESS PLAN
1" = 20'-0"

#### **EGRESS ANALYSIS**

COURTYARD OCCUPANCY TOTAL AREA (NET)
TOTAL OCCUPANTS

13,395 SF 893

EXIT DOOR WIDTH 893 OCC X 0.2 = 178.6" REQUIRED (1 EXIT DOORS 44") + (3 EXIT DOOR 68") = 180" PROVIDED 180" PROVIDED > 178.6" REQUIRED = OK

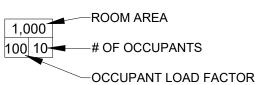
AREA TYPE	AREA (SF)	LOAD FACTOR (SF/PERSON)	# OF OCCUPANTS
COURTYARD (NET)	13,395	15	893
TOTAL	13,395		893

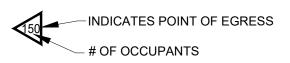
ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043

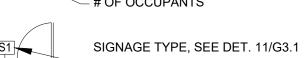


PRELIMINARY -NOT FOR CONSTRUCTION

**LEGEND** 







PH INDICATED PANIC HARDWARE

NO.	DESCRIPTION	DATE
	Issued for Planning Review	04.01.22
1	Plan Check Response	06.30.22
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21068 Job# 04.01.22 As Shown

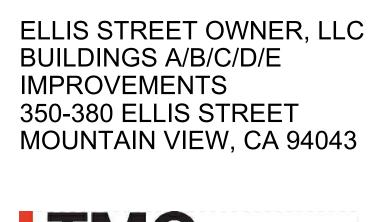
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COURTYARD EGRESS PLAN

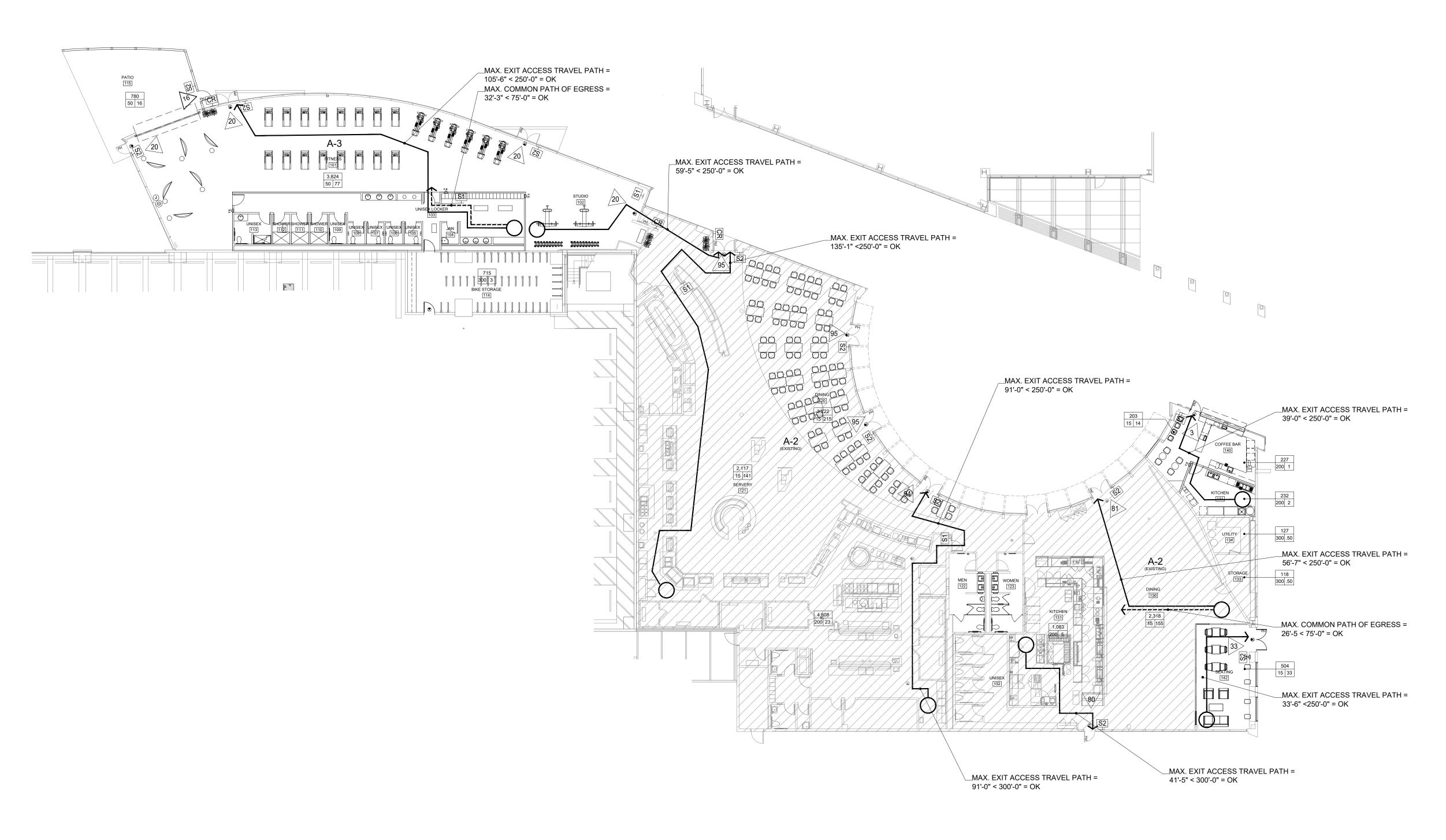
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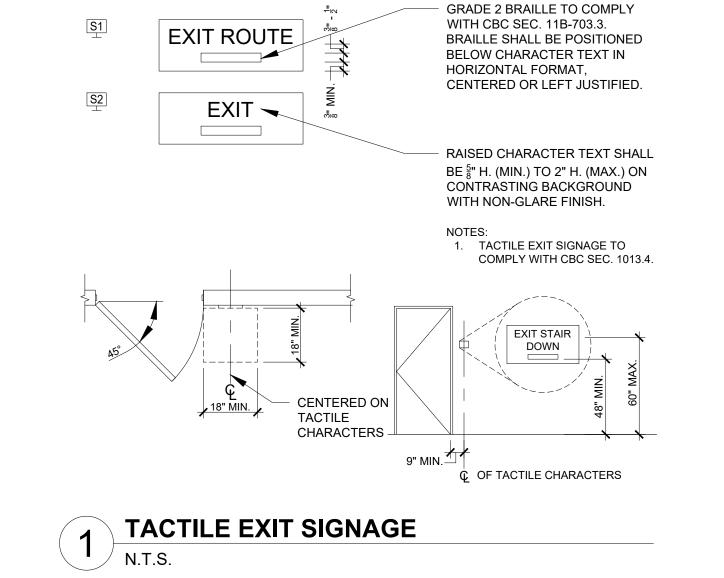
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ROOM TYPE	AREA (SF)	LOAD FACTOR (SF/PERSON)	# OF OCCUPANTS
FITNESS	3,824	50	77
CAFETERIA PREP KITCHEN	4,608	200	23
CAFETERIA SERVERY	2,117	15	141
CAFETERIA - DINING	3,222	15	215
UNION 82 PREP KITCHEN	1,083	200	5
UNION 82 DINING	2,318	15	155
RESTROOMS	2,421	150	0
CAFE BISTRO - PREP KITCHEN	459	200	3
CAFE BISTRO DINING	705	15	47
STORAGE	960	300	4
TOTAL	21,717		670
PATIO	780	50	16

CALCU	JLATIONS				NO.	DESCRIPTION	DATE
						Issued for Planning Review	04.01.2
	AREA (SF)	LOAD FACTOR (SF/PERSON)	# OF OCCUPANTS		1	Plan Check Response	06.30.2
		(OF // ETGOTT)				Plan Check Response	08.31.2
	3,824	50	77			Planning Revisions	11.08.2
	4,608	200	23			Final Planning Set	12.16.2
	2,117	15	141				
	3,222	15	215				
	1,083	200	5				
	2,318	15	155				
	2,421	150	0				0.4000
	459	200	3		Jol	b #	21068
					Da	te 04	4.01.22
	705	15	47	$\wedge$	Sc	ale As	Shown
	960	300	4				
					Sh	eet Title	
	+		+				

Title	
	BUILDING E EGRESS PLAN
	EGRESS PLAN

Sheet #

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LEGEND	
1,000	ROOM AREA
100 10	# OF OCCUPANTS
	OCCUPANT LOAD FACTOR
150	INDICATES POINT OF EGRESS
	# OF OCCUPANTS
[OD] St	INDICATES CARD READER
CR S1	SIGNAGE TYPE, SEE DET. 1/G2.1
	INDICATED PANIC HARDWARE
F.E.C. F.E.	SURFACE MOUNTED FIRE EXTINGUISHER
	SEMI-RECESSED FIRE EXTINGUISHER AND CABINET, SEE DET. 3/G3.1
$\bigcirc\!$	EXIT ACCESS TRAVEL PATH
Ŏ <del>)</del>	COMMON PATH OF EGRESS TRAVEL
	HATCHING INDICATES FIRE-RATED PARTITION
	EXISTING FIRE-RATED PARTITION
	NOT IN SCOPE

BUILDING E SQUARE FOOTAGE BY USE			
USE	AREA (SF)		
FITNESS	5,947		
CAFETERIA	10,431		
UNION 82	4,175		
CAFE BISTRO	1,164		
TOTAL	21,717		

	AREA (SF)	FIRST FLOOR OCCUPANCY	
	AREA (OI )	TOTAL AREA TOTAL OCCUPANTS	22,980 SF 670
SS	5,947	EXIT DOOR WIDTH	
ERIA	10,431	670 OCC X 0.2 = 134" REQUIRED	
82	4,175	(8 EXIT DOORS 560") + (3 EXIT DOOR 102") = 662" PROVIDED 662" PROVIDED > 134" REQUIRED = OK	
BISTRO	1,164		
	21,717		

**EGRESS ANALYSIS** 

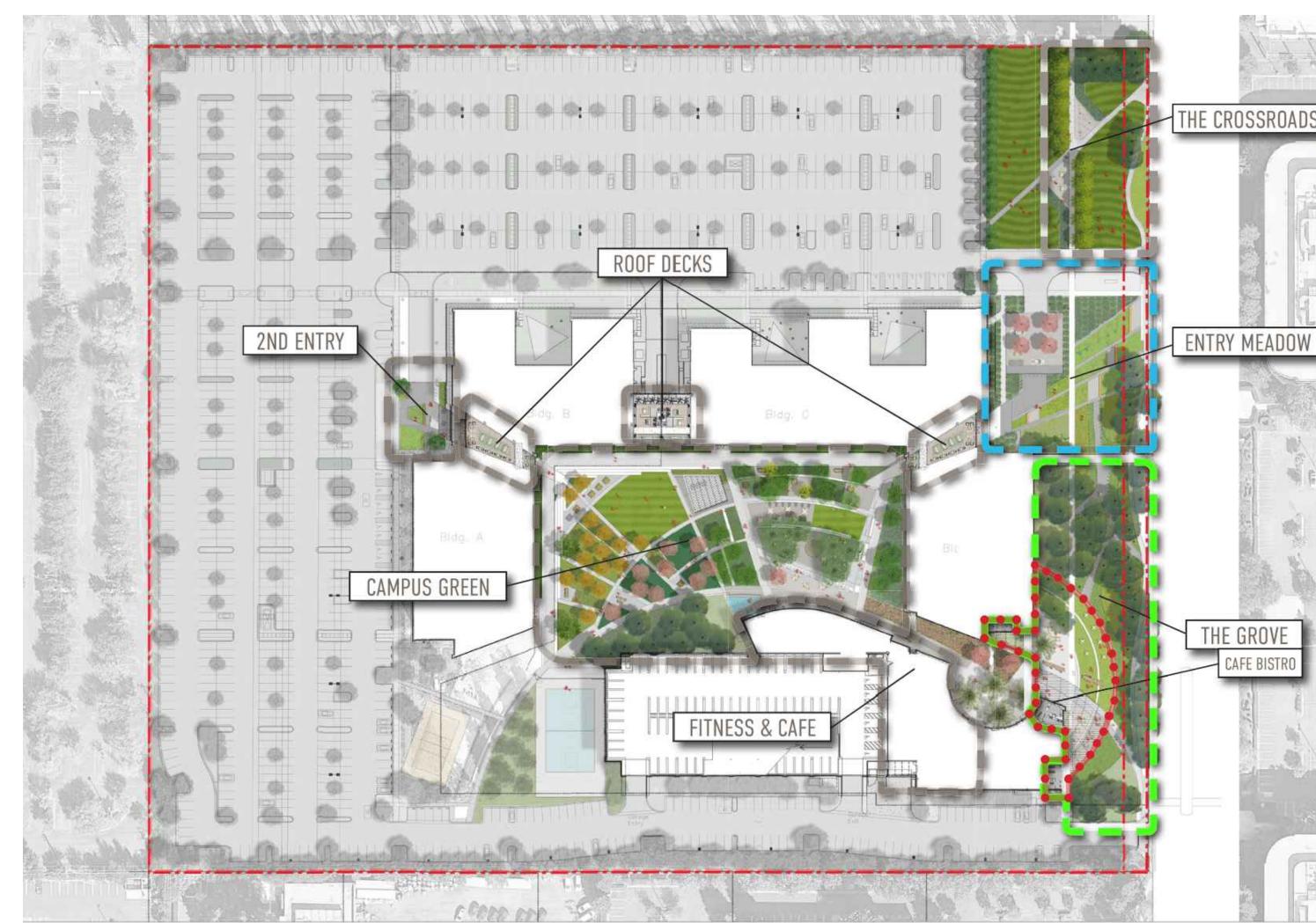
# **BUILDING ANALYSIS** BUILDING ANALYSIS (MIXED OCCUPANCY, ONE-STORY BUILDING A-2 / B): NOTE: ENTIRE PARKING GARAGE IS CONSIDERED SEPARATE BUILDING (OCCUPANCY S-2) WITH BUILDING CONSTRUCTED AND PREVIOUSLY PERMITTED AS A-2 OCCUPANCY FOR THE

BUILDING. CONSTRUCTION TYPE: V-A # OF STORIES: 1 SPRINKLERED: YES



1 EXISTING NEIGHBORHOOD CONTEXT

N.T.S.



PROPOSED PROJECT OVERVIEW

1/16"=1'-0"

N.T.S.



ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



PRELIMINARY -NOT FOR CONSTRUCTION

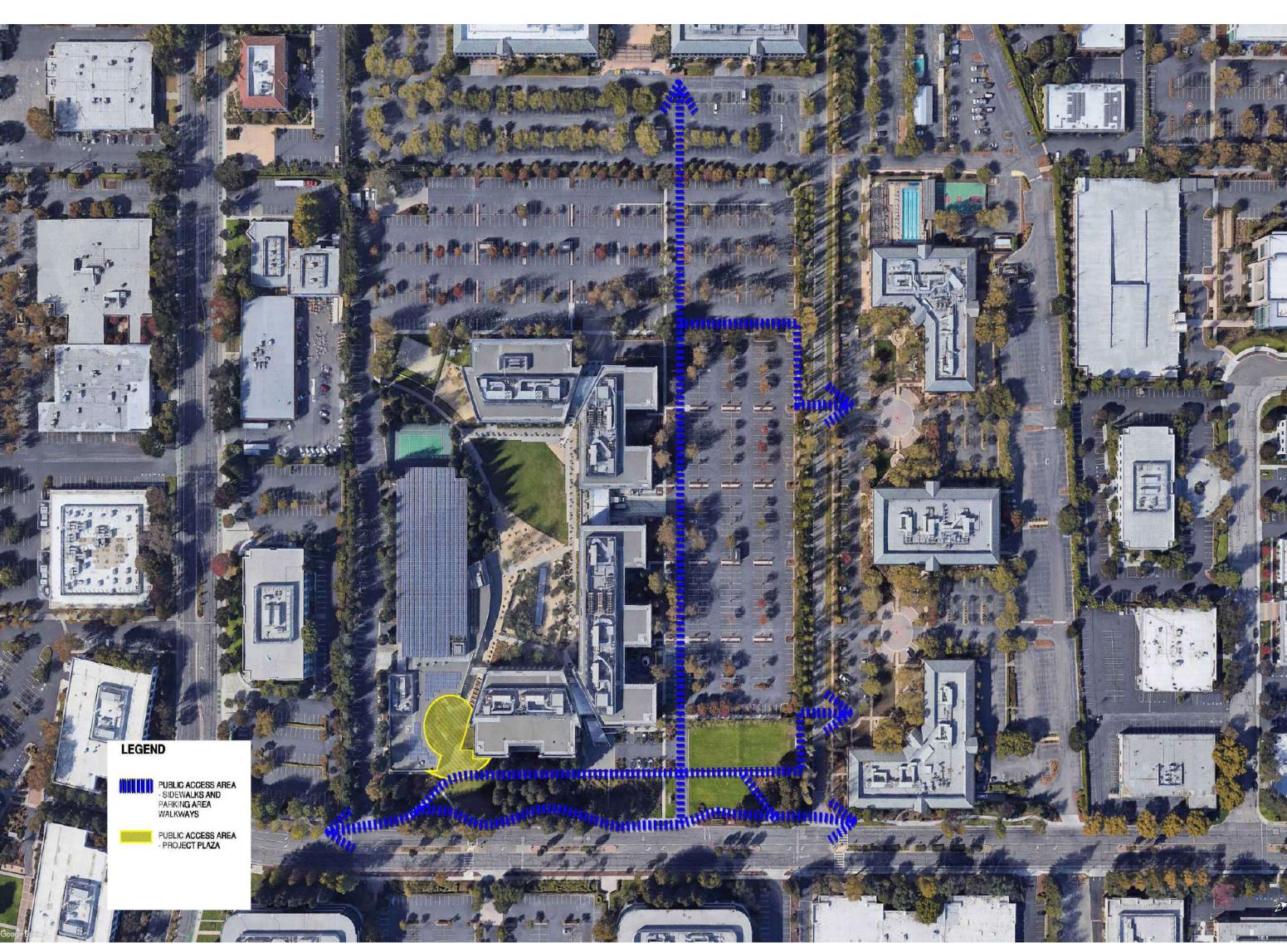
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Sheet Title EXISTING NIEGHBORHOOD CONTEXT AND PROPOSED PROJECT OVERVIEW

Sheet #

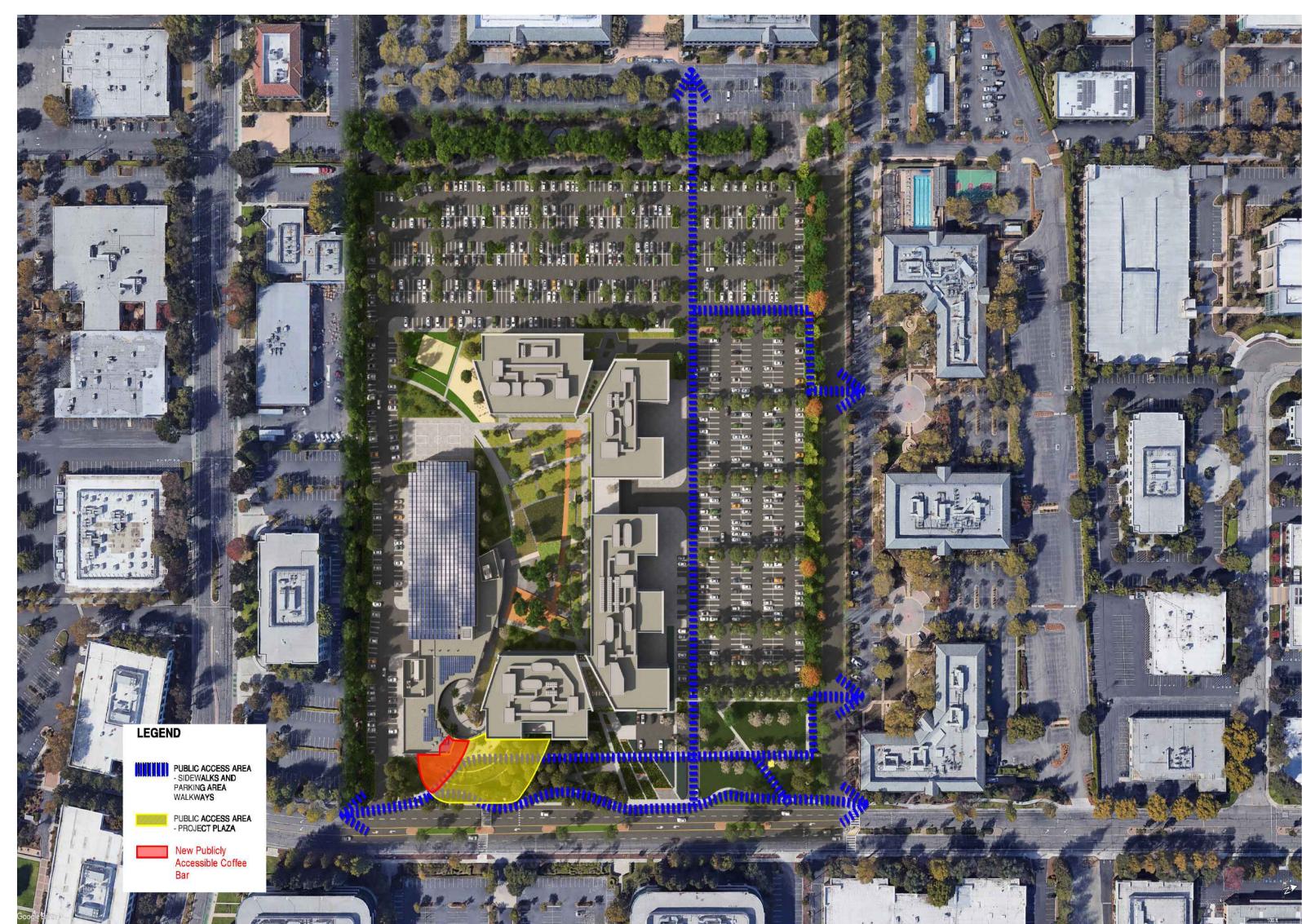
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1 EXISTING ENTITLEMENT

N.T.S.

N.T.S.



PROPOSED ENTITLEMENT

Studio
268 E. Hamilton Ave
Suite E
Campbell, CA 95008

Project

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



Stamp

PRELIMINARY -NOT FOR CONSTRUCTION

City

NO.	DESCRIPTION	DATE
	Issued for Planning Review	04.01.22
	Plan Check Response	06.30.22
	Plan Check Response	08.31.22
	Planning Revisions	11.08.22
	Final Planning Set	12.16.22

Job#	21068
Date	04.01.22
Scale	As Shown

Shoot Title

EXISTING AND PROPOSED ENTITLEMENT

Sheet #

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ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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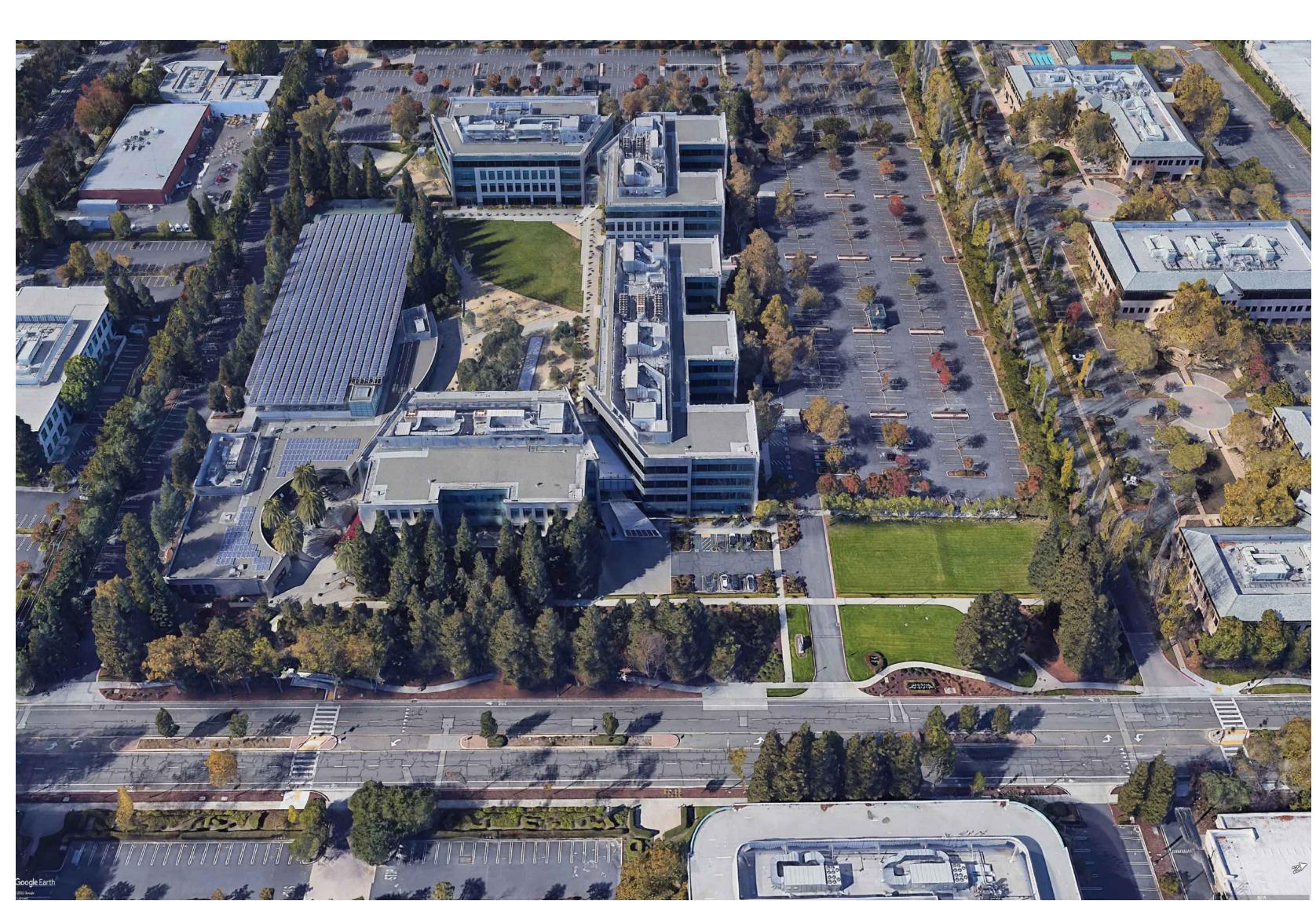
NO. DESCRIPTION Issued for Planning Review 04.01.22 Plan Check Response Plan Check Response Planning Revisions Final Planning Set 12.16.22

Job# 21068 04.01.22 As Shown

Sheet Title

EXISTING AND PROPOSED AERIAL VIEW

Sheet #

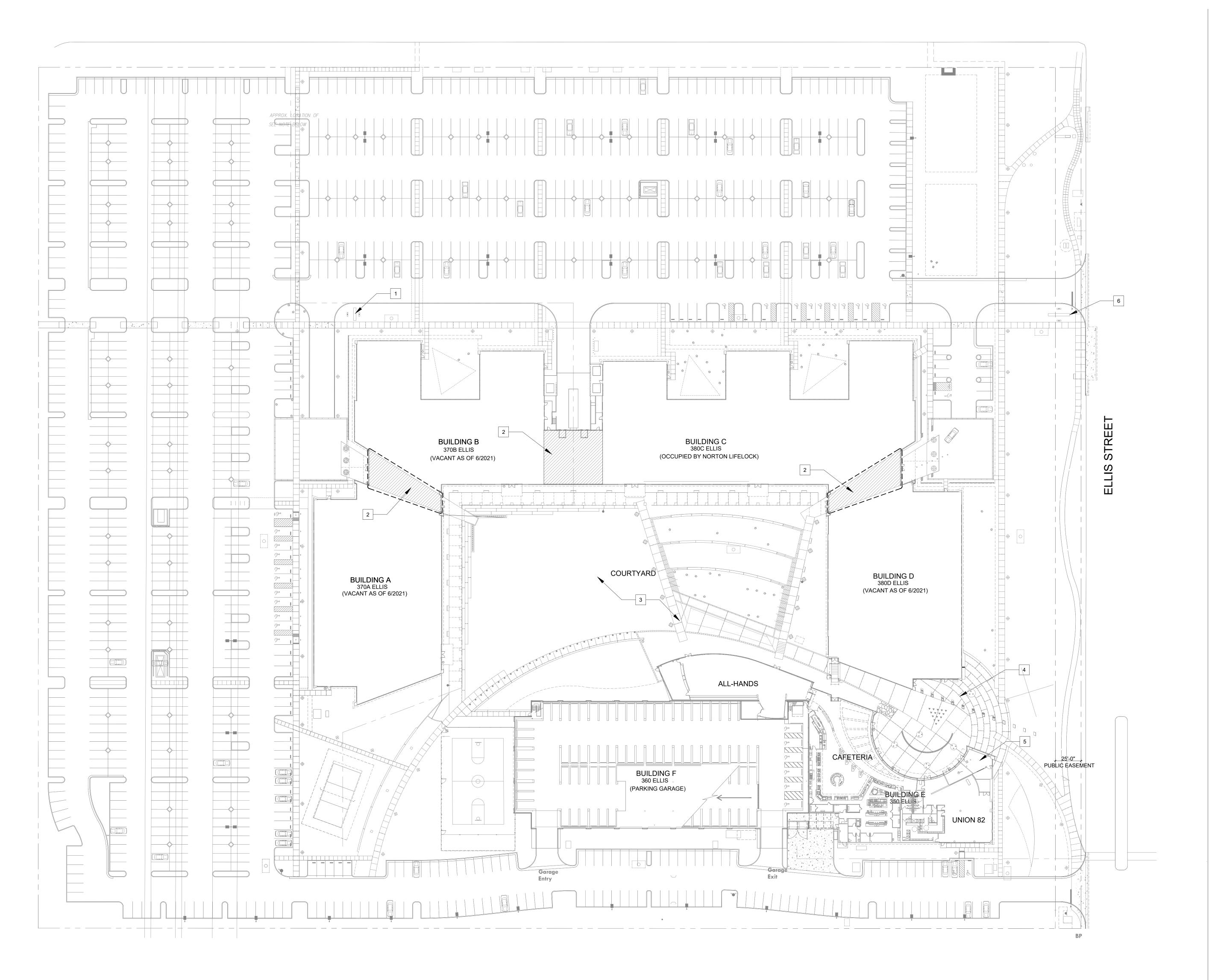


1 EXISTING AERIAL OF CAMPUS IMPROVEMENTS

N.T.S.



PROPOSED AERIAL OF CAMPUS IMPROVEMENTS



1 EXISTING SITE PLAN
1" = 40'-0"

**KEY NOTES** 

**LEGEND** 

—— — — PROPERTY LINE

- EXISTING MONUMENT SIGN LOCATION.
- EXISTING ROOF DECK.
- EXISTING QUAD.
- EXISTING PLAZA.

EXISTING TECH STOP OFFICE SPACE.



Projec

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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Job # 21068 Date 04.01.22

Sheet Title

EXISTING SITE PLAN

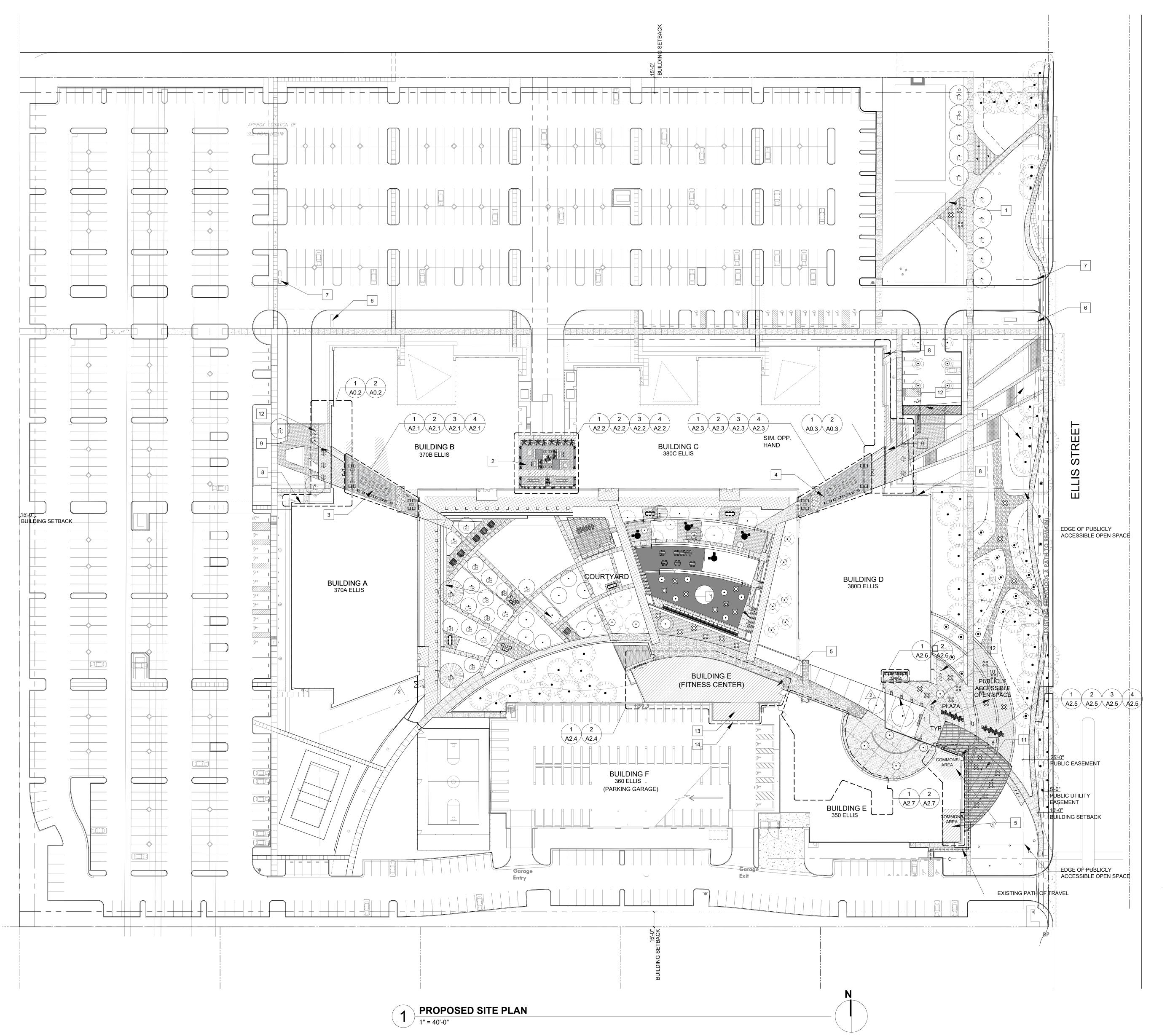
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Sheet #

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FOR REFERENCE ONLY



#### SHEET NOTES

- REFER TO SHEET G0.0 FOR GENERAL NOTES.
   CONTRACTOR SHALL IDENTIFY ANY UNDERGROUND UTILITIES WHICH MAY BE
- EFFECTED BY THE NEW WORK. CONTACT USA (UNDERGROUND SERVICE ALERT) PRIOR TO ANY DIGGING.
- PRIOR TO ANY DIGGING.

  3. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO, PAVING, LANDSCAPING AND IRRIGATION,
- DAMAGED AS A RESULT OF THE NEW WORK.

  4 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR EXTENT OF SITE WORK.

#### **KEY NOTES**

CONNECTOR.

- 1 LANDSCAPE IMPROVEMENTS, SEE LANDSCAPE DRAWINGS FOR ADDITIONAL
- INFORMATION.

  2 HATCHED AREA INDICATES AREA OF WORK ON THE SECOND FLOOR ROOFTOP
- HATCHED AREA INDICATES AREA OF WORK ON THE THIRD FLOOR ROOFTOP
- HATCHED AREA INDICATES AREA OF WORK ON THE THIRD FLOOR ROOFTOP
- CONNECTOR.

  HATCHED AREA INDICATES AREA OF WORK ON THE FIRST FLOOR.
- 6 NEW MONUMENT SIGN LOCATION ON GRADE. FINAL DESIGN AND LOCATION TO BE A SEPARATE PERMIT PACKAGE.
- ALTERNATE MONUMENT SIGN LOCATION ON GRADE. FINAL DESIGN AND LOCATION TO BE A SEPARATE PERMIT PACKAGE.

NEW BUILDING ENTRY SIGNAGE ON GRADE. FINAL DESIGN AND LOCATION TO BE A

- NEW BUILDING MOUNTED SIGNAGE. FINAL DESIGN AND LOCATION TO BE A SEPARATE PERMIT PACKAGE.
- SEPARATE PERMIT PACKAGE.
- 10 NEW WOOD SLAT FENCE, WD2 FINISH. SEE LANDCAPE ARCHITECT DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 NEW TRELLIS, SEE LANDSCAPE ARCHITECT DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 NEW BIKE RACKS, TOTAL OF 34 SPACED. SEE LANDSCAPE ARCHITECT DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW BIKE RACKS IN ENCLOSED ROOM TOTAL OF 45 SPACES, SEE ENLARGED FITNESS CENTER PLANS SHEET A2.4 FOR ADDITIONAL INFORMATION.
- 14 EXISTING BIKE RACKS, TOTAL OF 8 SPACES.

# SQUARE FOOTAGE CALCULATIONS

BUILDING:	EXISTING	TO BE MODIFIED
BUILDING A	92,830	350
BUILDING B	82,348	800
BUILDING C	131,508	800
BUILDING D	88,950	350
BUILDING E	22,908	18,595
TOTAL	418,542	20,895
BUILDING F (GARAGE)*	100,606	0
TOTAL INTERIOR SF BEING MODIFIED	-	20,895
TOTAL EXTERIOR SF BEING MODIFIED	-	91,926

# F.A.R. CALCULATIONS

PARKING CALCULATIONS

EXISTING F.A.R. IS 0.50; THERE IS NO CHANGE TO THE EXISTING F.A.R.
 \* GARAGE GSF IS NOT INCLUDED IN F.A.R.

PARKING TYPE	EXISTING	PROPOSED
STANDARD STALL	1,253	1,253
COMPACT STALL	25	25
ACCESSIBLE STALL	26	26
VAN ACCESSIBLE STALL	4	4
EV STANDARD STALL	42	42
EV ACCESSIBLE STALL	2	2
UNION 82 STALLS	4	-
CAFE BISTRO	-	4

THERE IS NO CHANGE TO THE USE OR NUMBER OF PARKING STALLS PROVIDED ON SITE.

# **LEGEND**

AUTOMOBILE TOTALS

BICYCLE PARKING

PROPERTY LINE

----- ACCESSIBLE PATH OF TRAVEL

ND

1,356

1,356



Proje

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



PRELIMINARY -NOT FOR CONSTRUCTION

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Sheet Title

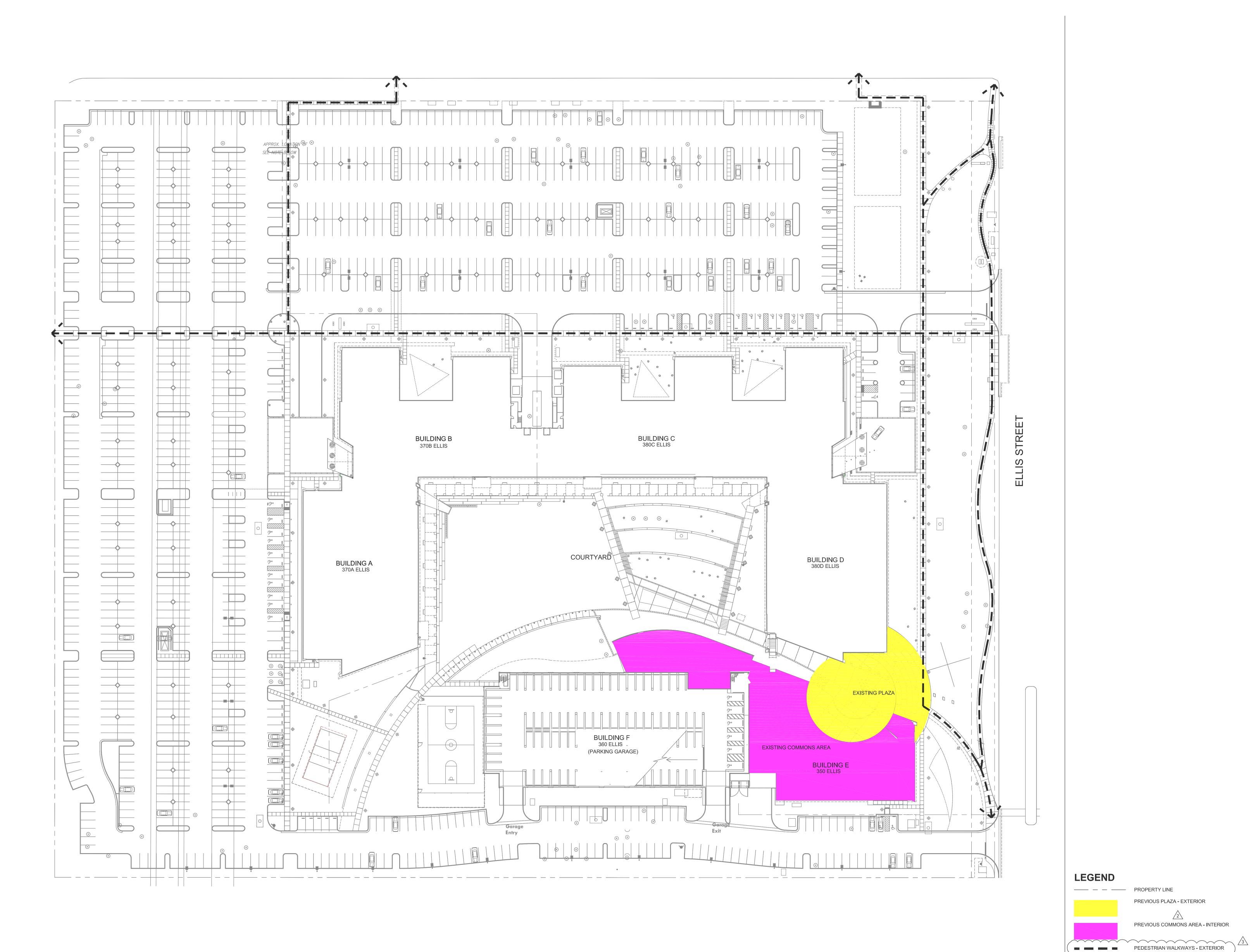
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PROPOSED SITE PLAN

As Shown

Sheet #

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ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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21068 Job# 04.01.22 Date

Sheet Title

PREVIOUS PLAZA - EXTERIOR

PREVIOUS COMMONS AREA - INTERIOR

EXISTING SITE PLAN OVERLAY

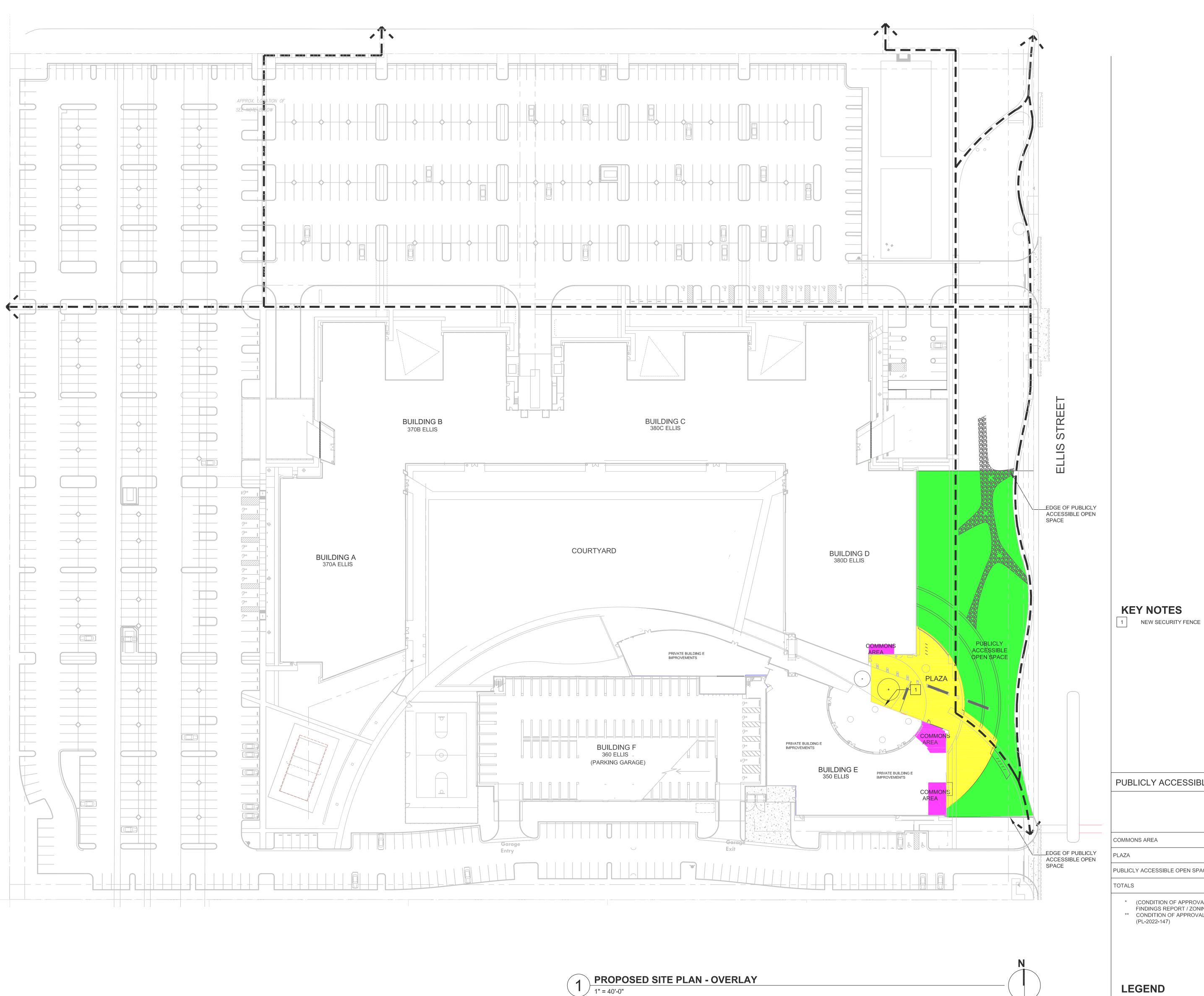
Sheet #

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As Shown

1 EXISTING SITE PLAN
1" = 40'-0"





ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



PRELIMINARY -NOT FOR CONSTRUCTION

**KEY NOTES** 

PUBLICLY ACCESSIBLE AREAS - SQUARE FOOTAGE TOTALS				
		PREVIOUS COMMONS AREA AND PLAZA*	PROPOSED COMMONS AREA, PLAZA & PUBLICLY ACCESSIBLE OPEN SPACE**	
COMMONS AREA	INTERIOR	22,908	1,471	
PLAZA	EXTERIOR	10,942	8,933	
PUBLICLY ACCESSIBLE OPEN SPACE	EXTERIOR		26,091	
TOTALS		33,850	36,495	

\* (CONDITION OF APPROVAL(COA) 8 FROM DECEMBER 30, 1999 CITY OF MOUNTAIN VIEW FINDINGS REPORT / ZONING PERMIT)
 \*\* CONDITION OF APPROVAL 14 & 15 FROM 2022 CITY OF MOUNTAIN VIEW ZONING PERMIT

PEDESTRIAN WALKWAYS & PEDESTRIAN CONNECTIONS - EXTERIOR (UNCHANGED)

Job# 21068 04.01.22 Date

NO. DESCRIPTION

Plan Check Response

Plan Check Response

Planning Revisions

Final Planning Set

Issued for Planning Review 04.01.22

08.31.22 11.08.22

12.16.22

Sheet Title PROPOSED SITE PLAN

**OVERLAY** 

Sheet #

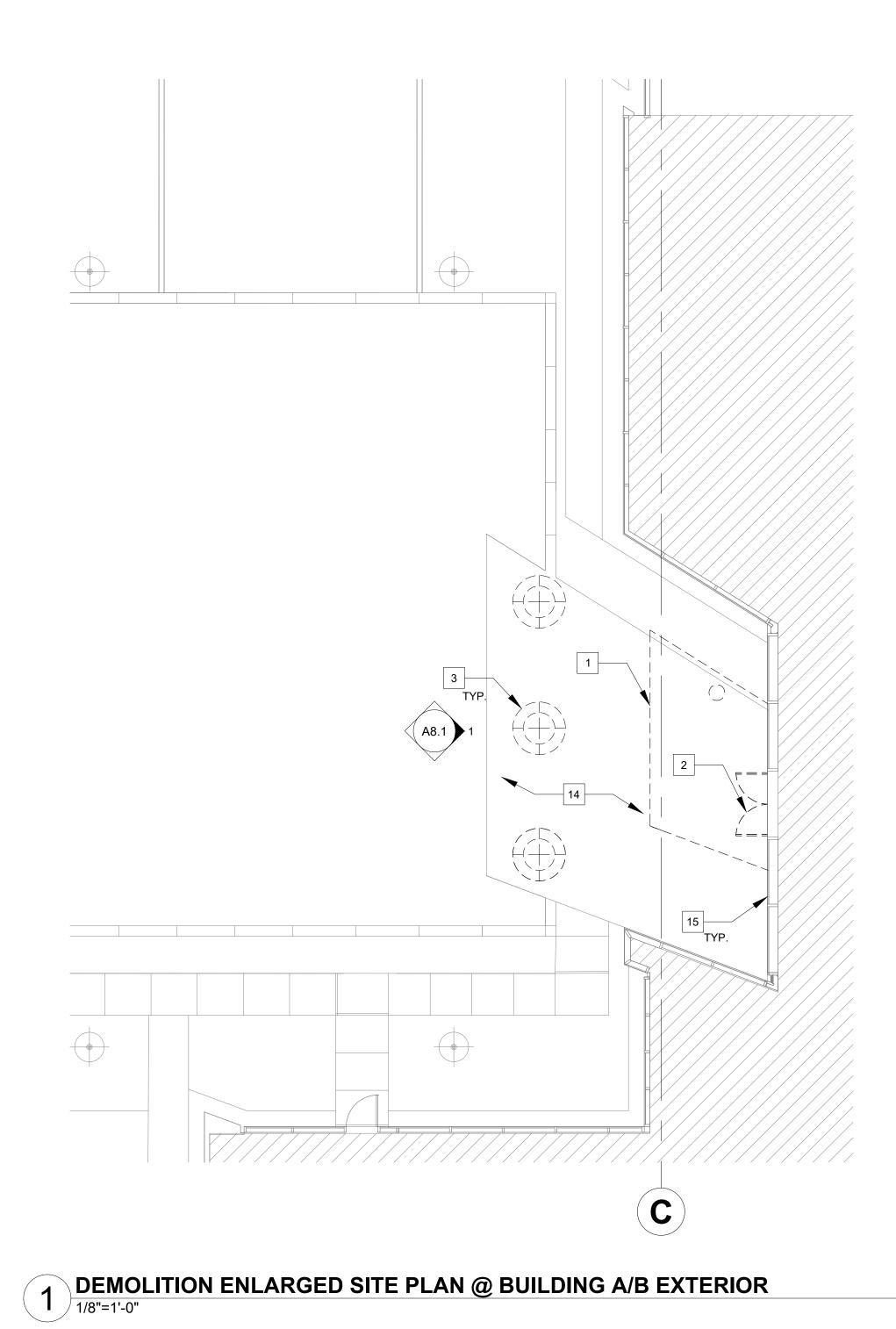
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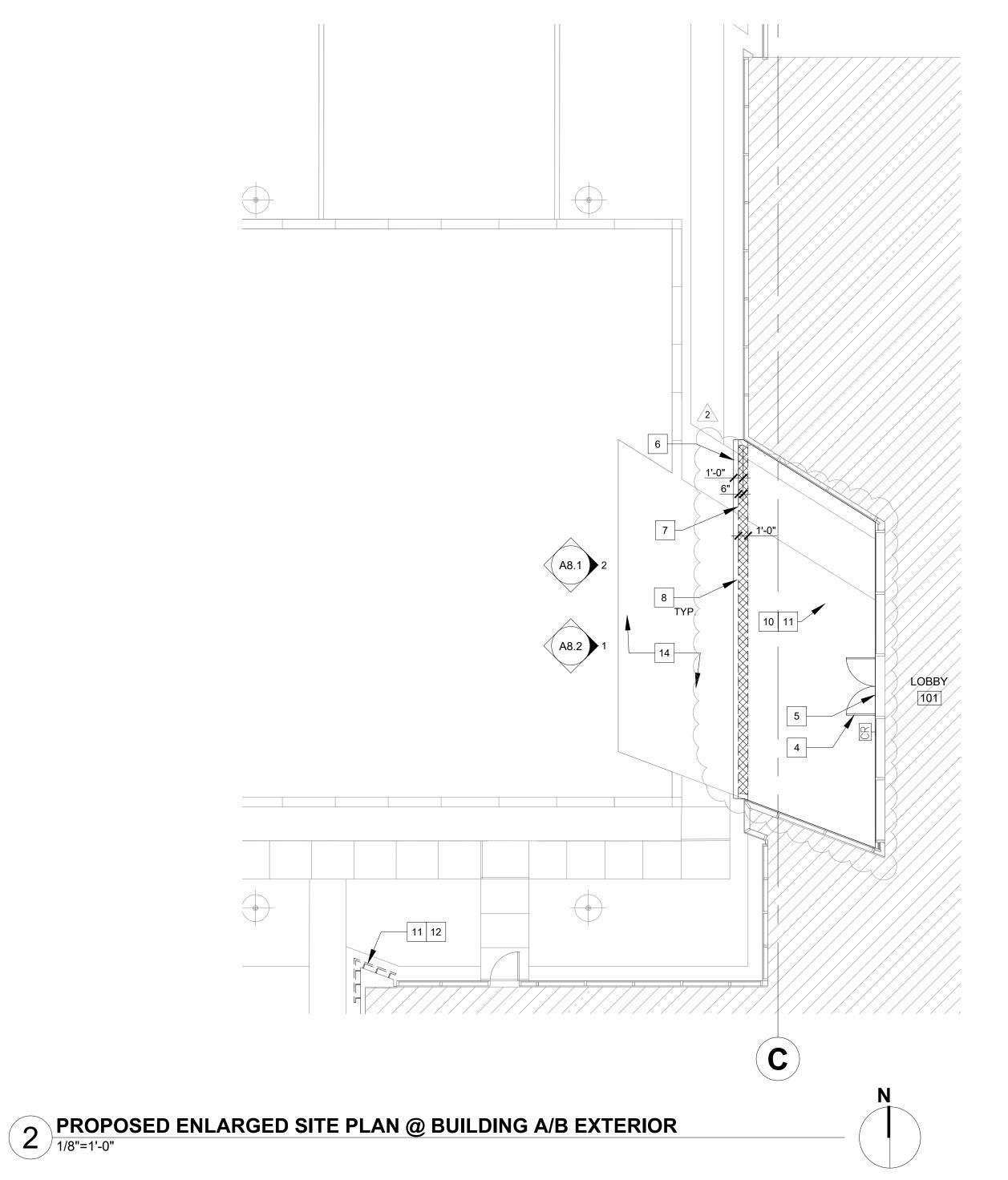
Scale

As Shown

—— — — PROPERTY LINE PROPOSED PLAZA - EXTERIOR PROPOSED COMMONS AREA - INTERIOR PUBLICLY ACCESSIBLE OPEN SPACE - EXTERIOR







SHEET NOTES

REFER TO SHEET G0.0 FOR GENERAL NOTES.

PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY

DEMOLITION WORK. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.

CONTRACTOR SHALL IDENTIFY ANY UNDERGROUND UTILITIES WHICH MAY BE EFFECTED BY THE NEW WORK. CONTACT USA (UNDERGROUND SERVICE ALERT) PRIOR TO ANY DIGGING.

CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO, PAVING, LANDSCAPING AND IRRIGATION, DAMAGED AS A RESULT OF THE NEW WORK.

**KEY NOTES** 

REMOVE EXISTING MONUMENT SIGN, CANOPY AND STRUCTURE.

REMOVE EXISTING STOREFRONT GLAZING ENTRY DOOR SYSTEM, THRESHOLD AND TRANSOM PANEL ABOVE. PREPARE OPENING FOR NEW FULL HEIGHT DOOR SYSTEM.

REMOVE EXISTING CONCRETE PLANTERS.

NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH. PROVIDE PANIC HARDWARE AND CARD READER ACCESS.

NEW ALUMINUM THRESHOLD AT DOOR.

NEW EYEBROW SOFFIT (SHOWN DASHED): STEEL FRAMING CLAD WITH METAL PANEL (AEP SPAN PRESTIGE SERIES FLAT PANEL OR SIM.). OVERALL BOXED 2 SOFF(T TO BE 37'-4" W. X 60" H. X 12" D.

NEW VISTAFOLIA ARTIFICIAL GREEN WALL SYSTEM (SHOWN CROSS-HATCHED), 2 OVERALL 36'-0" W. AND 60" H. X 10" D. BY HABITAT HORTICULTURE.

ARTIFICIAL GREEN WALL SYSTEM TO BE INSET INTO EYEBROW SOFFIT. PROVIDE CONCEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION.

NEW 37'-4" W. X 10" H. X 14'-2" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT

2 ENTRY (SHOWN DASHED). ROOF PANEL: ALUMINUM PANEL/DECKING TO ENCLOSE THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES. CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR T.B.D. CONTACT HANNA AT VISIBLE INNOVATIONS (408)350-7000.

11 PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.

12 FUTURE WALL FIN SIGN UNDER SEPARATE MASTER SIGNAGE PACKAGE. NOT USED.

14 SEE LANDSCAPING PLANS FOR HARDSCAPE SCOPE OF WORK.

15 EXISTING STOREFRONT TO REMAIN.

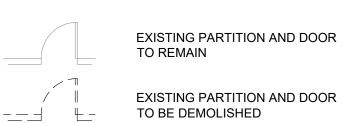
ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



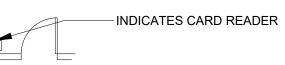
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**LEGEND** 

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)



OPEN <del>→</del> ROOM NAME 100 **■** ROOM NUMBER



NOT IN SCOPE

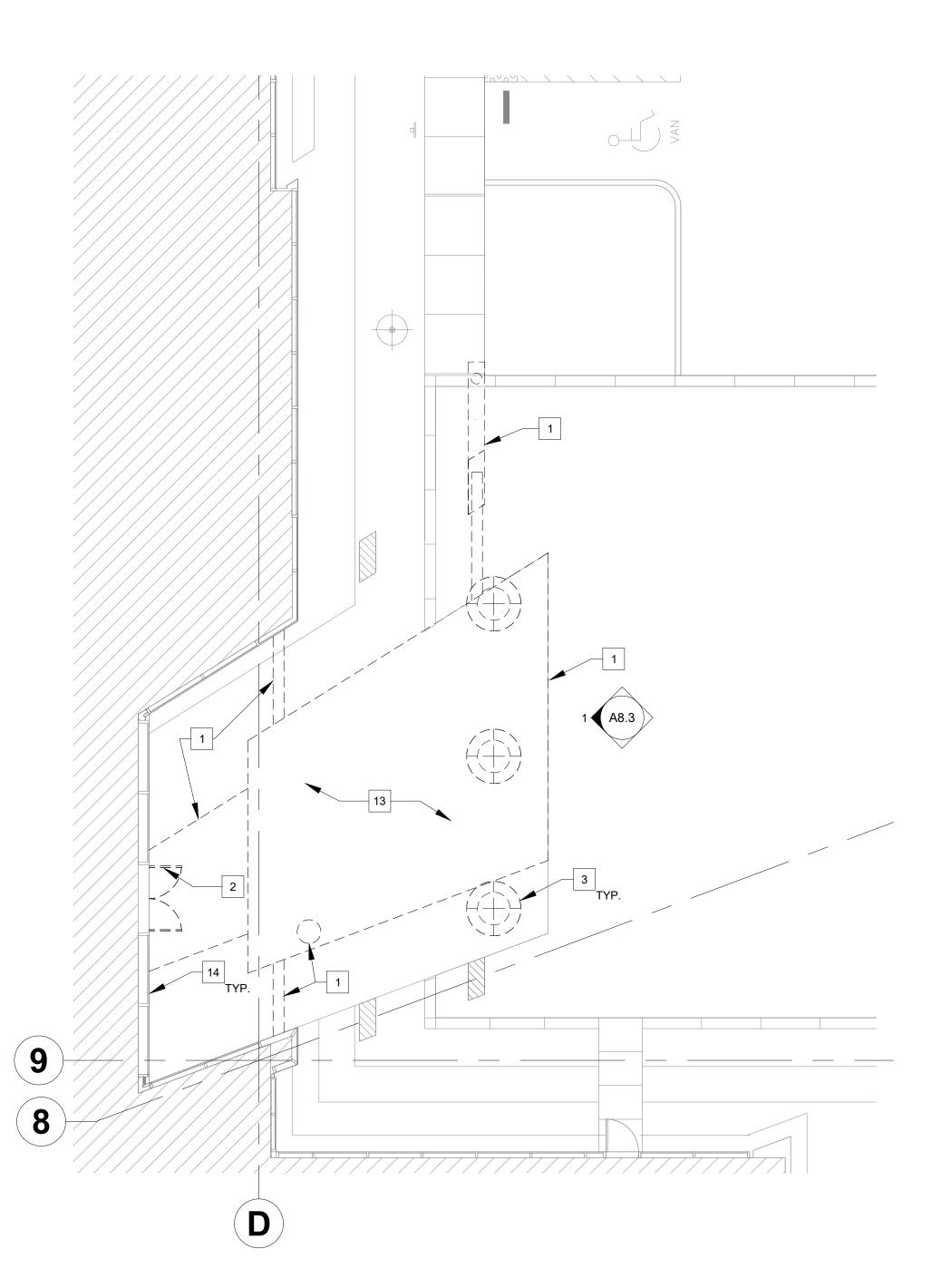
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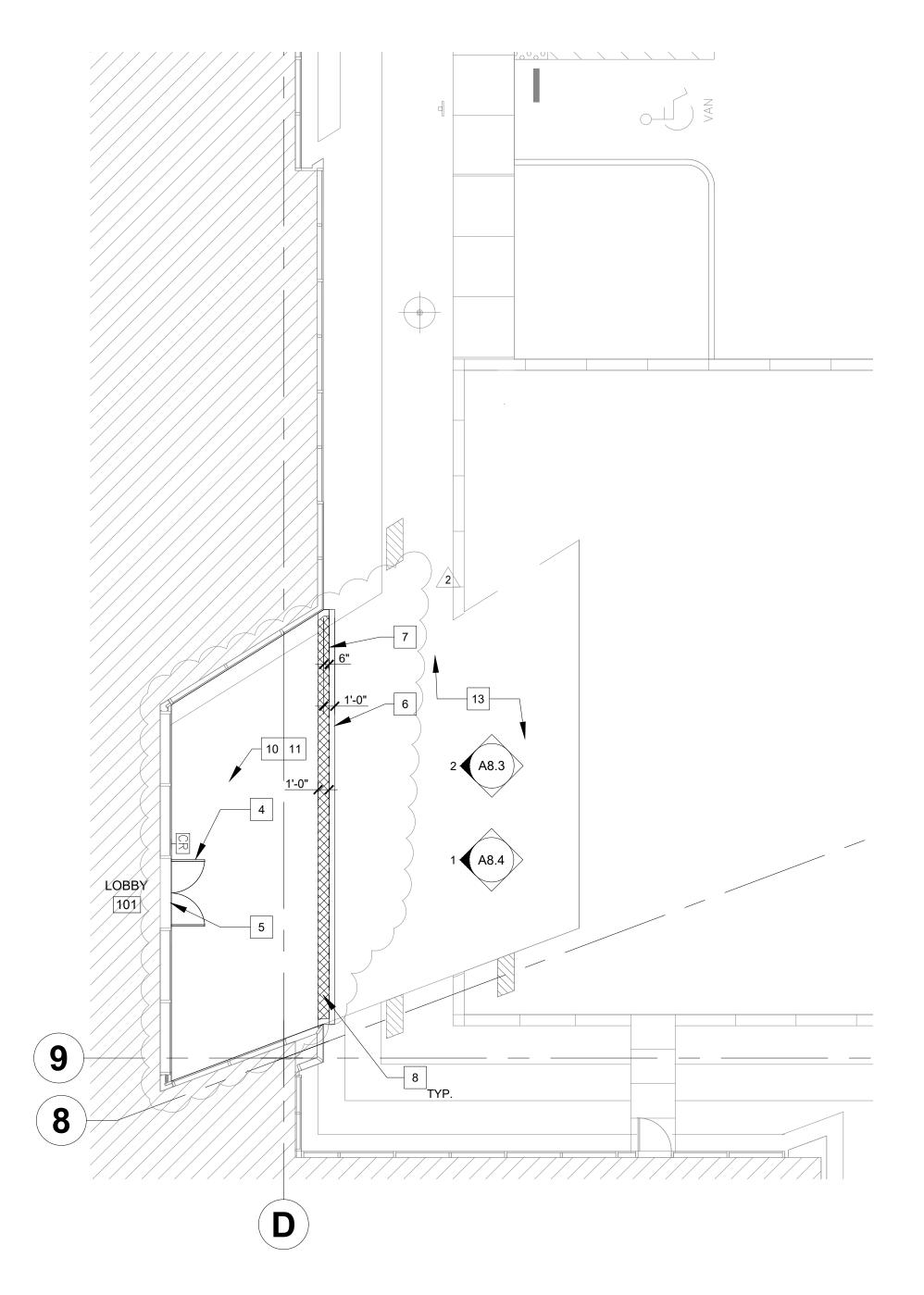
Sheet Title

BUILDINGS A/B MAIN LOBBY-DEMOLITION AND PROPOSED ENLARGED SITE PLANS

Sheet #

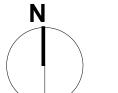






PROPOSED ENLARGED SITE PLAN @ BUILDING C/D EXTERIOR

1/8"=1'-0"



#### **SHEET NOTES**

- REFER TO SHEET G0.0 FOR GENERAL NOTES.
- PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION WORK.
- ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL IDENTIFY ANY UNDERGROUND UTILITIES WHICH MAY BE EFFECTED BY THE NEW WORK. CONTACT USA (UNDERGROUND SERVICE ALERT) PRIOR TO ANY DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO, PAVING, LANDSCAPING AND IRRIGATION, DAMAGED AS A RESULT OF THE NEW WORK.

### **KEY NOTES**

- REMOVE EXISTING MONUMENT SIGN, POST, BEAMS, CANOPY AND STRUCTURE.
- REMOVE EXISTING STOREFRONT GLAZING ENTRY DOOR SYSTEM, THRESHOLD AND TRANSOM PANEL ABOVE. PREPARE OPENING FOR NEW FULL HEIGHT DOOR SYSTEM.
- REMOVE EXISTING CONCRETE PLANTERS.
- NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH. PROVIDE PANIC HARDWARE AND CARD READER ACCESS.
- NEW ALUMINUM THRESHOLD AT DOOR.
- NEW EYEBROW SOFFIT (SHOWN DASHED): STEEL FRAMING CLAD WITH METAL PANEL (AEP SPAN PRESTIGE SERIES FLAT PANEL OR SIM.). OVERALL BOXED 2 SOFFIT TO BE 37'-4" W. X 60" H. X 12" D.
- NEW VISTAFOLIA ARTIFICIAL GREEN-WALL SYSTEM (SHOWN CROSS-HATCHED), 2 OVERALL 36'-0" W. AND 60" H. X 10" D. BY HABITAT HORTICULTURE.
- ARTIFICIAL GREEN WALL SYSTEM TO BE INSET INTO EYEBROW SOFFIT.
- 8 PROVIDE CONCEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION.
- NEW 37'-4" W. x 10" H. X 14'-2" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT 2 ENTRY (SHOWN DASHED). ROOF PANEL: ALUMINUM PANEL/DECKING TO ENCLOSE THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES. CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR T.B.D. CONTACT HANNA
- AT VISIBLE INNOVATIONS (408)350-7000. 11 PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.
- 12 NOT USED.
- 13 SEE LANDSCAPING PLANS FOR HARDSCAPE SCOPE OF WORK.
- 14 EXISTING STOREFRONT TO REMAIN.



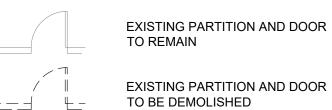
ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



PRELIMINARY -NOT FOR CONSTRUCTION

**LEGEND** 

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)



EXISTING PARTITION AND DOOR

100 **■** ROOM NUMBER

NOT IN SCOPE

OPEN <del>→</del> ROOM NAME



— INDICATES CARD READER

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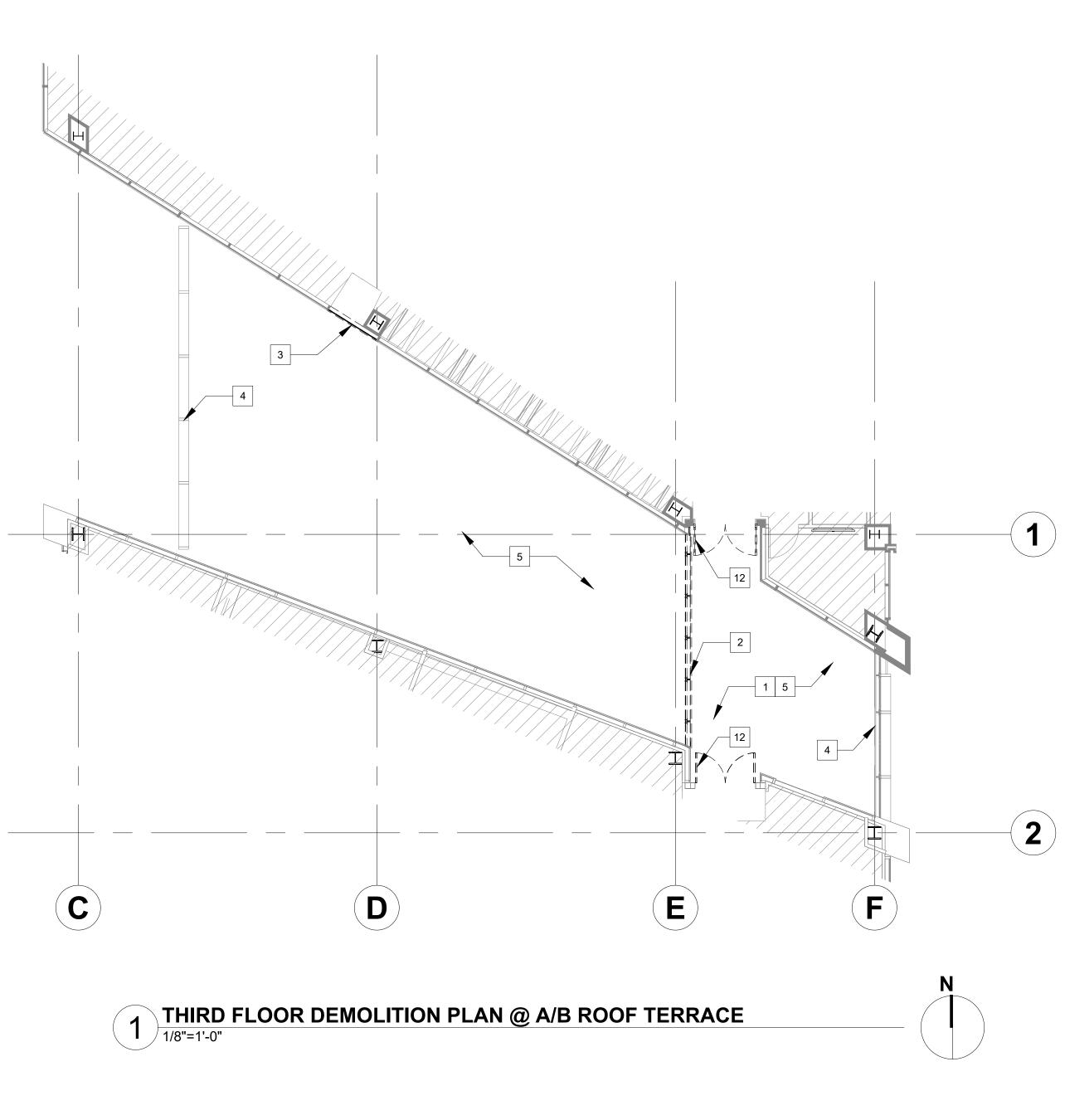
21068 Job# 04.01.22

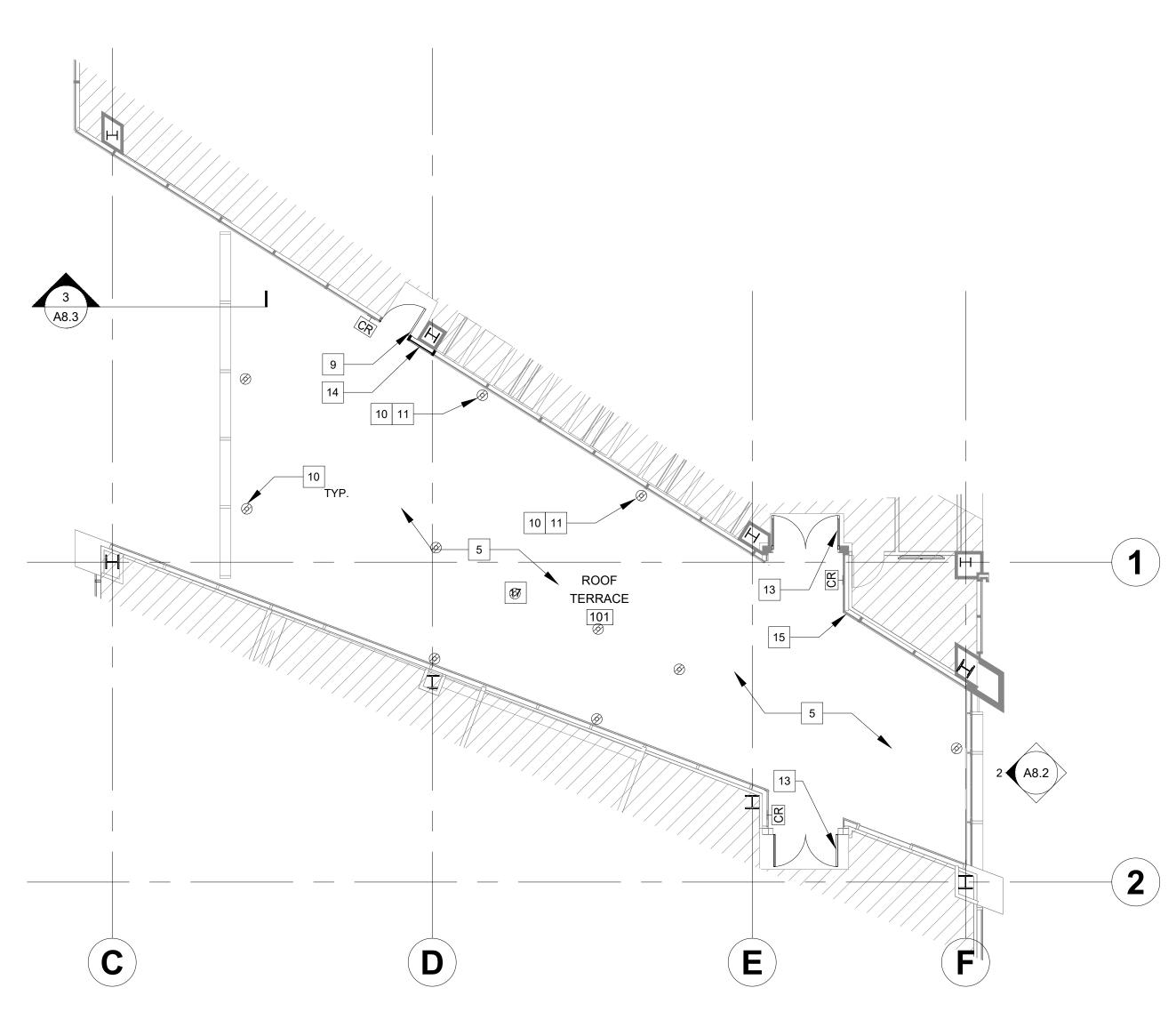
Sheet Title

BUILDINGS C/D MAIN LOBBY-DEMOLITION AND PROPOSED ENLARGED SITE PLANS

Sheet #

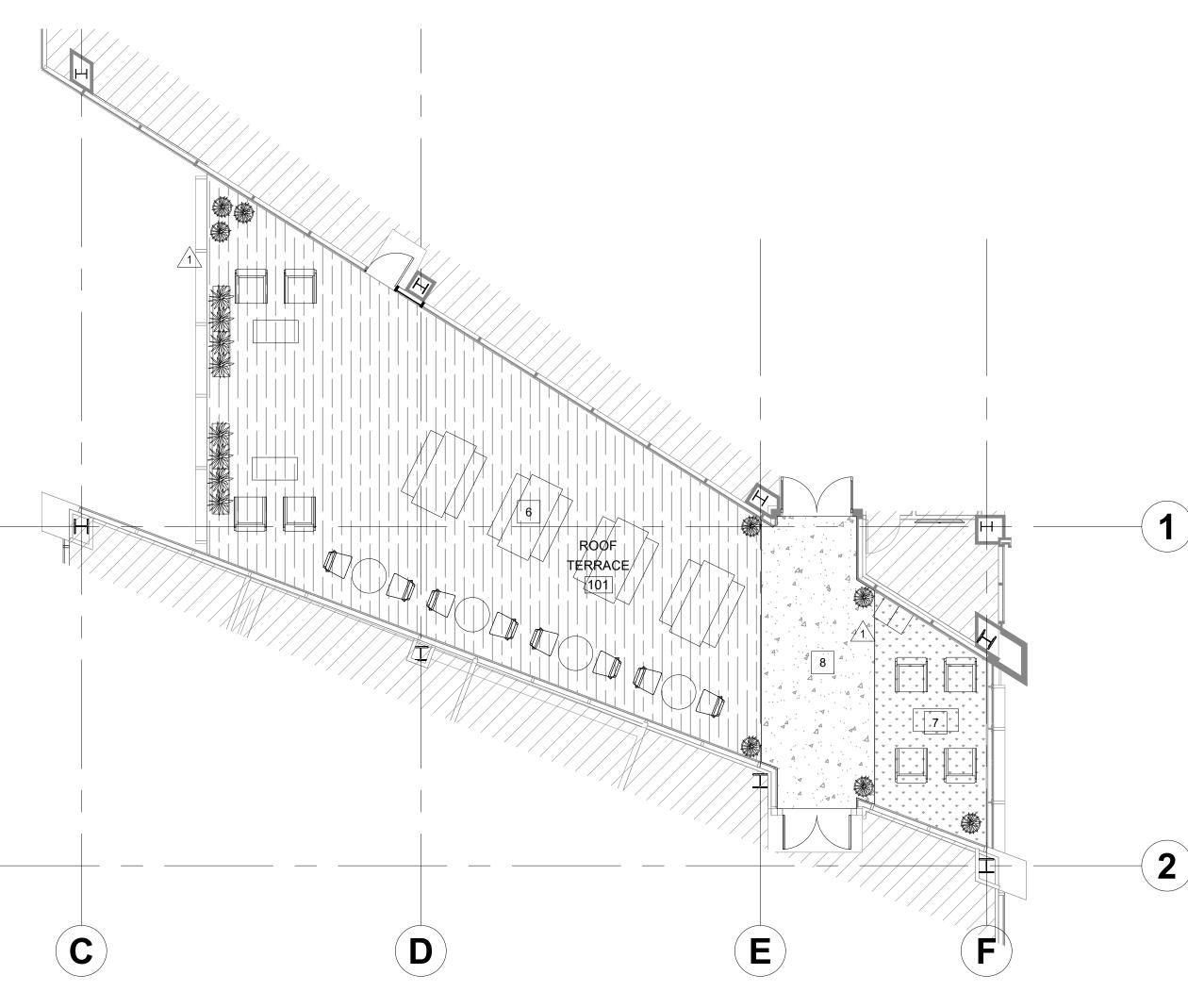
As Shown





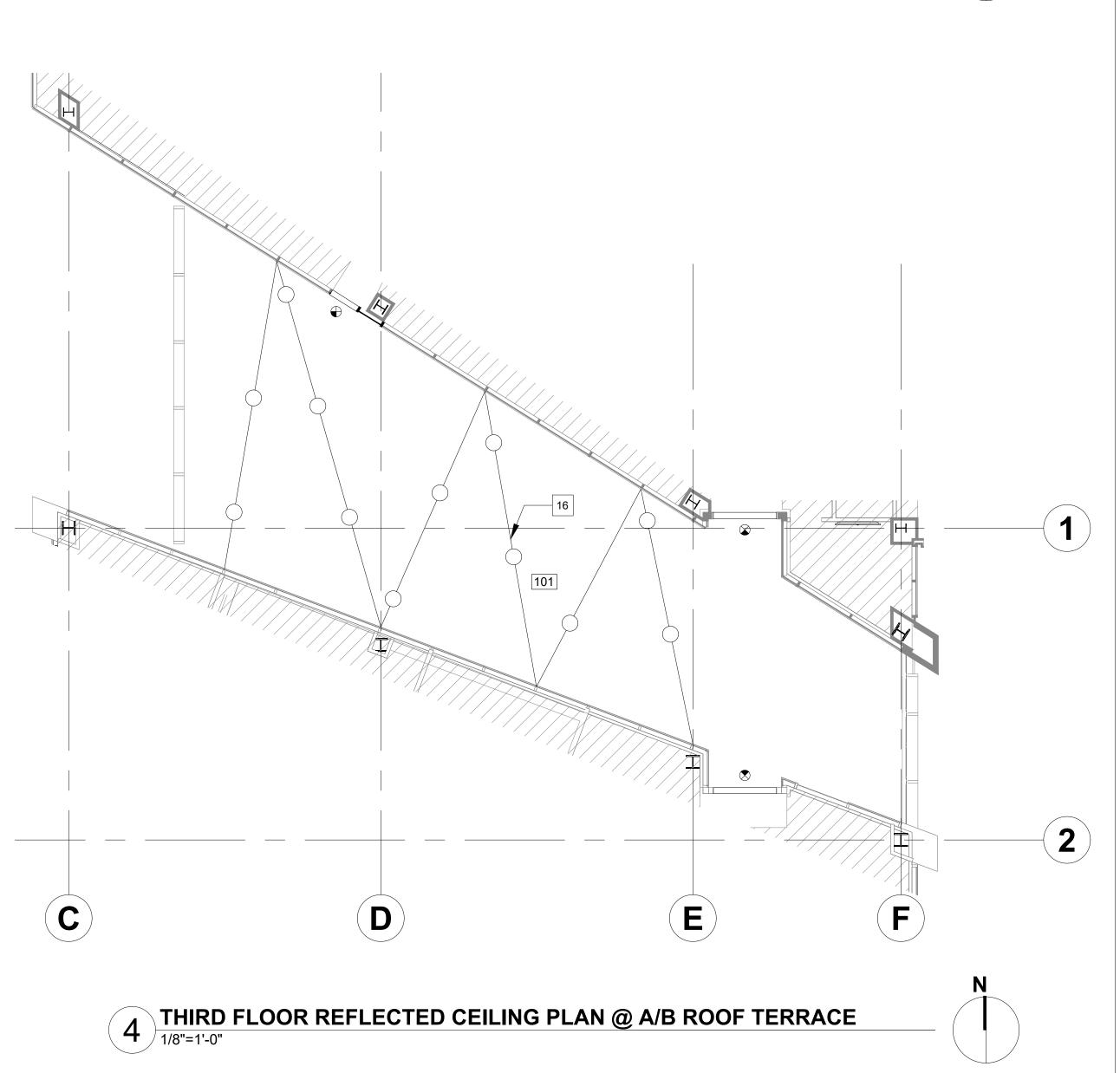
THIRD FLOOR FLOOR PLAN @ A/B ROOF TERRACE

1/8"=1'-0"



THIRD FLOOR FINISH PLAN @ A/B ROOF TERRACE

1/8"=1'-0"



#### **SHEET NOTES**

- 1. REFER TO SHEET G0.0 FOR GENERAL NOTES.
- REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS. REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S
- INSTRUCTIONS. 4. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN
- WALLS INDICATED FOR DEMOLITION. 5. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION,
- NOTIFY THE ARCHITECT IMMEDIATELY. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR
- FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.
- 8. ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 9. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.
- 10. THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/4" MAX. 11. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION, U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH
- FACE OF PARTITION, U.O.N. 12. PAINT SHEENS: - EGGSHELL @ ALL WALLS
  - FLAT @ ALL CEILINGS
  - SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT) - SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS
- 13. PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
- 14. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN
- 15. PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.
- 16. ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR). 17. ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE
- ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE, U.O.N. 18. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES
- WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION. 19. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
- 20. ALL SWITCHES SHALL BE IN GANG BOXES. 21. ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR
- 22. ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE
- LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE. 23. PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT
- THE SPACE AS REQUIRED BY CODE. 24. SEE LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION.

# **KEY NOTES**

- REMOVE EXISTING DECK TILES AND RAISED FLOOR ASSSEMBLY.
- REMOVE EXISTING GUARDRAIL.
- REMOVE PORTION OF EXISTING STOREFRONT WINDOW SYSTEM AND PREPARE FOR STOREFRONT DOOR.
- 4 EXISTING GUARDRAIL TO SYSTEM TO REMAIN.
- MAINTAIN EXISTING ROOF DRAINAGE AT EXISTING BUILT UP ROOF SYSTEM.
- NEW WOOD DECK PEDESTAL TILES (DT1).
- NEW ARTIFICIAL TURF DECK TILES (DT3). NEW CONCRETE DECK TILES (DT2).
- NEW STOREFRONT DOOR WITH PANIC HARDWARE, CARD READER AND FAILSAFE
- 10 PROVIDE POWER PEDESTAL FOR ANCILLARY USE.
- 11 PROVIDE POWER FOR WALL MOUNTED WALL MONITOR. 12 REMOVE EXISTING DOOR, TO BE RE-USED IF POSSIBLE.
- 13 RELOCATED DOORS WITH PANIC HARDWARE, MAINTAIN CARD READER
- CONNECTION TO SECURITY SYSTEM. 14 NEW FIXED GLAZING IN STOREFRONT TO MATCH ADJACENT GLAZING. PROVIDE
- SOLAR FILM AT INTERIOR FACE TO MATCH EXISTING CONDITION. MODIFY INTERIOR WINDOW SHADE TO MATCH EXISTING AS REQUIRED BY NEW CONSTRUCTION.
- 15 NEW MAX. OCCUPANCY SIGNAGE.
- 16 NEW LED STRING LIGHTS ATTACHED TO BUILDING.
- 17 PROVIDE DATA CONDUITS WITH PULL STRING FOR FUTURE TENANT

# **LEGEND**

CONNECTION.

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

EXISTING PARTITION AND DOOR TO BE DEMOLISHED \_\_\_\_ OPEN ROOM NAME

100 ──ROOM NUMBER - INDICATES CARD READER

FINISH TYPE, SEE FINISH SPECIFICATIONS

WOOD DECKING CONCRETE PAVER

SYNTHETIC TURF

NEW ILLUMINATED EXIT SIGN

EXTERIOR, WET LOCATION POWER PEDESTAL

NOT IN SCOPE

LED STRING LIGHTS MFG: STYLE: TBD MODEL: TBD NOTE: 200 LINEAR FEET



ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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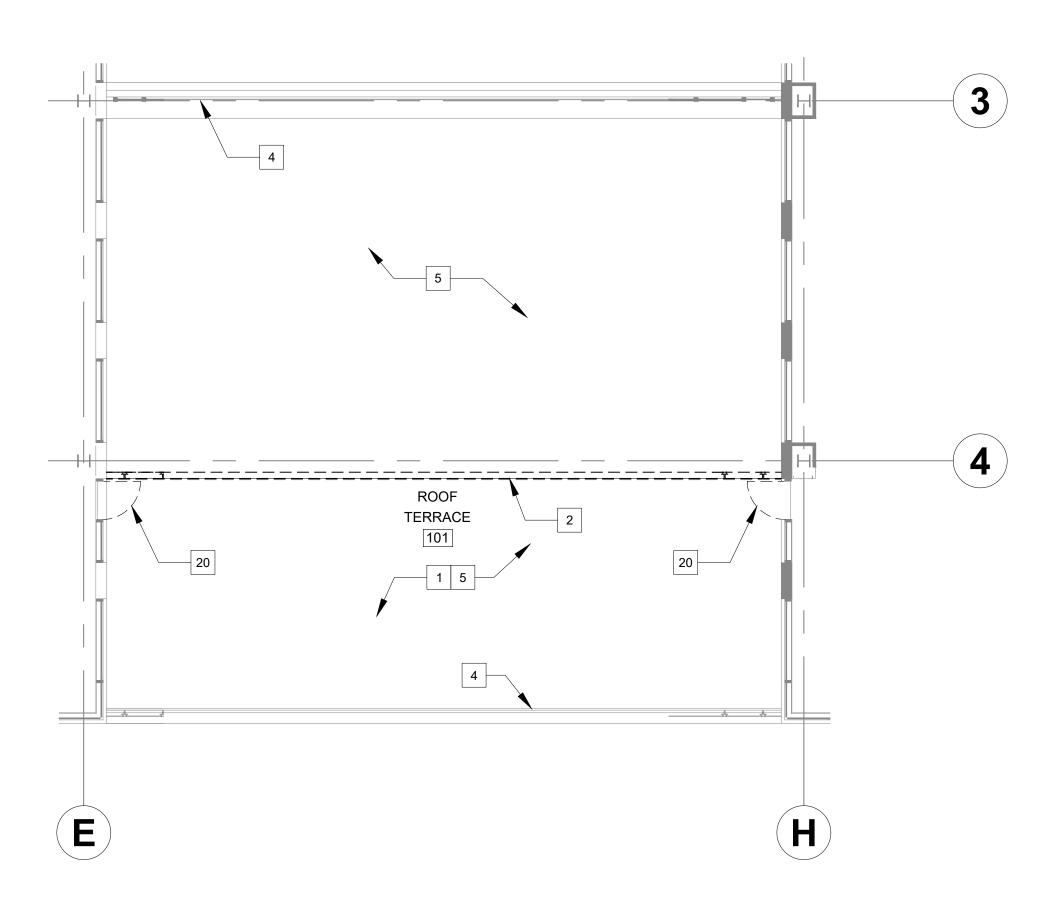
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	Final Planning Set	12.16.22

21068 Job# 04.01.22 Date Scale As Shown

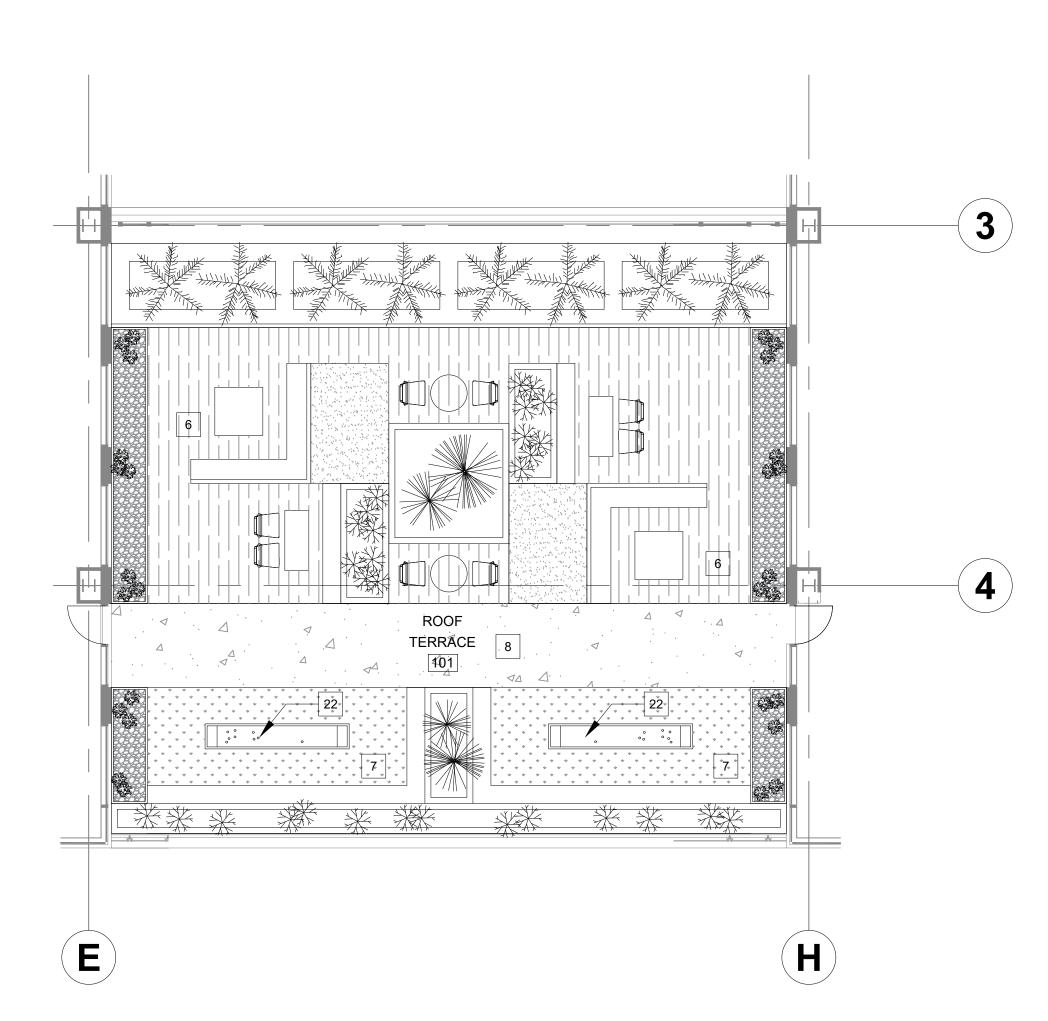
Sheet Title

BUILDINGS A/B ROOF TERRACE -THIRD FLOOR DEMOLITION, FLOOR, FINISH AND REFLECTED CEILING PLANS

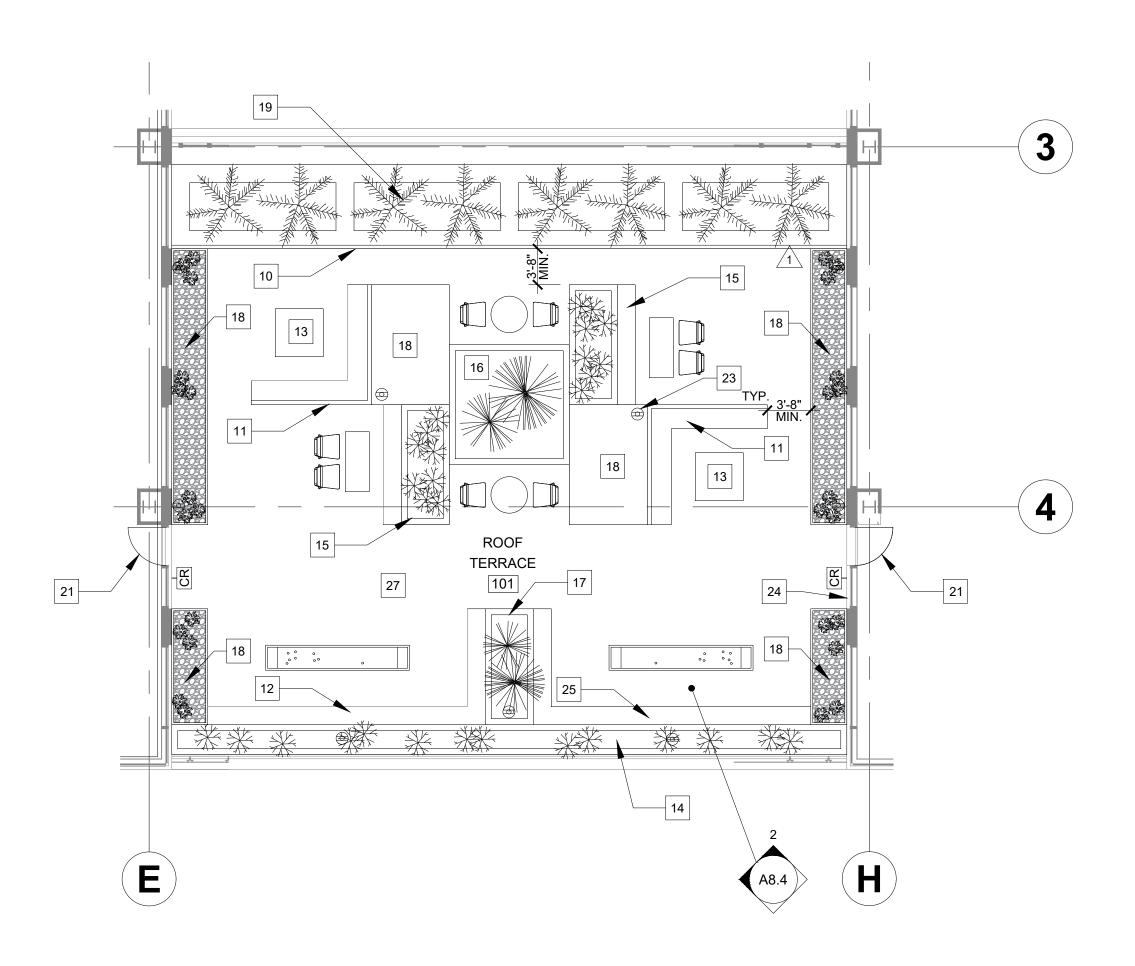
Sheet #





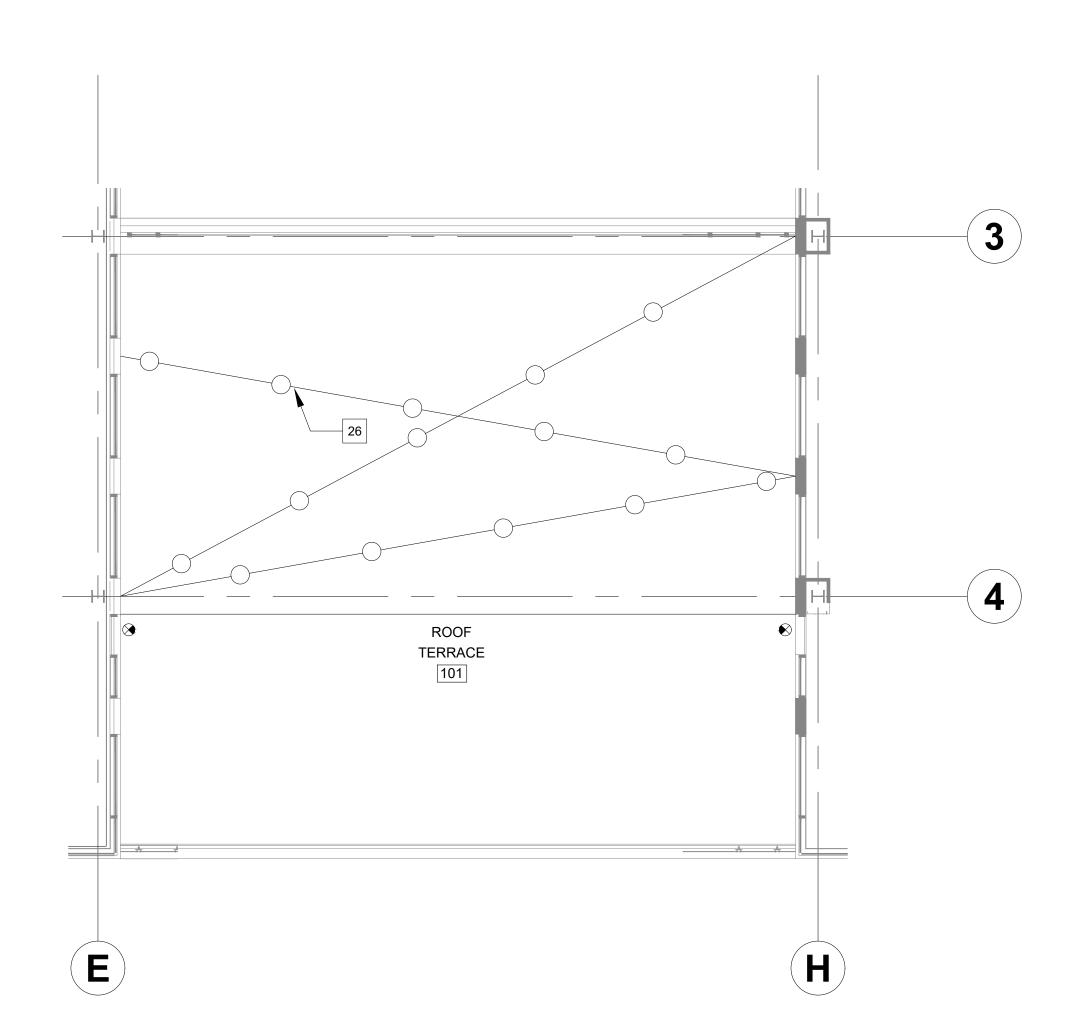


3 SECOND FLOOR FINISH PLAN @ B/C ROOF TERRACE



2 SECOND FLOOR FLOOR PLAN @ B/C ROOF TERRACE

1/8"=1'-0"



SECOND FLOOR REFLECTED CEILING PLAN @ B/C ROOF TERRACE

1/8"=1'-0"



1. REFER TO SHEET G0.0 FOR GENERAL NOTES.

REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS. REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.

4. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.

5. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION. NOTIFY THE ARCHITECT IMMEDIATELY. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT

REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT

SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM

ACCESSORIES. 8. ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH

MANUFACTURER'S RECOMMENDATIONS. 9. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.

10. THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/4" MAX. 11. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION, U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION, U.O.N.

12. PAINT SHEENS: - EGGSHELL @ ALL WALLS - FLAT @ ALL CEILINGS

- SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)

- SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS 13. PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE

EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE. 14. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN

15. PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.

16. ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).

17. ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE, U.O.N. 18. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES

WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION. 19. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.

20. ALL SWITCHES SHALL BE IN GANG BOXES. 21. ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR

22. ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE.

23. PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT THE SPACE AS REQUIRED BY CODE.

24. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

## **KEY NOTES**

REMOVE EXISTING DECK TILES AND RAISED FLOOR ASSEMBLY.

REMOVE EXISTING GUARDRAIL.

NOT USED. 4 EXISTING GUARDRAIL TO SYSTEM TO REMAIN.

MAINTAIN EXISTING ROOF DRAINAGE AT EXISTING BUILT UP ROOF SYSTEM.

NEW WOOD DECK PEDESTAL TILES (DT1).

NEW ARTIFICIAL TURF DECK TILES (DT3). NEW CONCRETE DECK TILES (DT2).

9 NOT USED.

10 NEW 42" HIGH 1"x 6" STAINED WOOD PLANK HORIZONTAL GUARDRAIL WITH TOP CAP.

11 BUILT-IN WOOD BENCH, L-SHAPE. 18 LINEAR FEET OF BENCH, 19" D. X 18" H. 12 BUILT-IN WOOD BENCH, L-SHAPE. 26 LINEAR FEET OF BENCH, 19" D. X 18" H.

13 BUILT-IN 48" X 48" WOOD TABLE.

14 BUILT-IN PLANTER 52'-0" W. X 28" D. X 34" H.

15 BUILT-IN WOOD PLANTER/BENCH COMBO. PLANTER:120" W. X 30" D. X 30" H. BENCH: 120" W. X 19"D. X 18" H.

16 BUILT-IN WOOD PLANTER 120" W. X 120" D. X 36" H. 17 BUILT-IN WOOD PLANTER 48"W X 116"D X 36"H.

18 RIVER ROCK OR SAND GARDEN, SEE LANDSCAPE DRAWINGS.

19 NEW PLANTERS, SEE LANDSCAPE DRAWINGS. 20 REMOVE EXISTING DOORS, TO BE RE-USED IF POSSIBLE.

21 RELOCATED DOORS WITH PANIC HARDWARE, MAINTAIN CARD READER CONNECTION TO SECURITY SYSTEM.

22 OUTDOOR GAME TABLE, T.B.D. \$2500 ALLOWANCE EA. TABLE, TOTAL OF 2

23 PROVIDE POWER PEDESTAL FOR ANCILLARY USE.

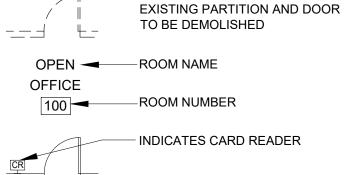
24 NEW MAX. OCCUPANCY SIGNAGE.

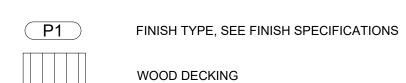
25 BUILT-IN WOOD BENCH, L-SHAPE. 26 LINEAR FEET OF BENCH, 19" D. X 15" H.

26 NEW LED STRING LIGHTS ATTACHED TO BUILDING. 27 PROVIDE DATA CONDUITS WITH PULL STRING FOR FUTURE TENANT CONNECTION.

# LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

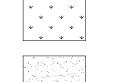




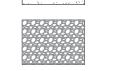


CONCRETE PAVER

SYNTHETIC TURF



SAND



NEW ILLUMINATED EXIT SIGN

RIVER ROCK



LED STRING LIGHTS STYLE: TBD MODEL: TBD NOTE: 220 LINEAR FEET



ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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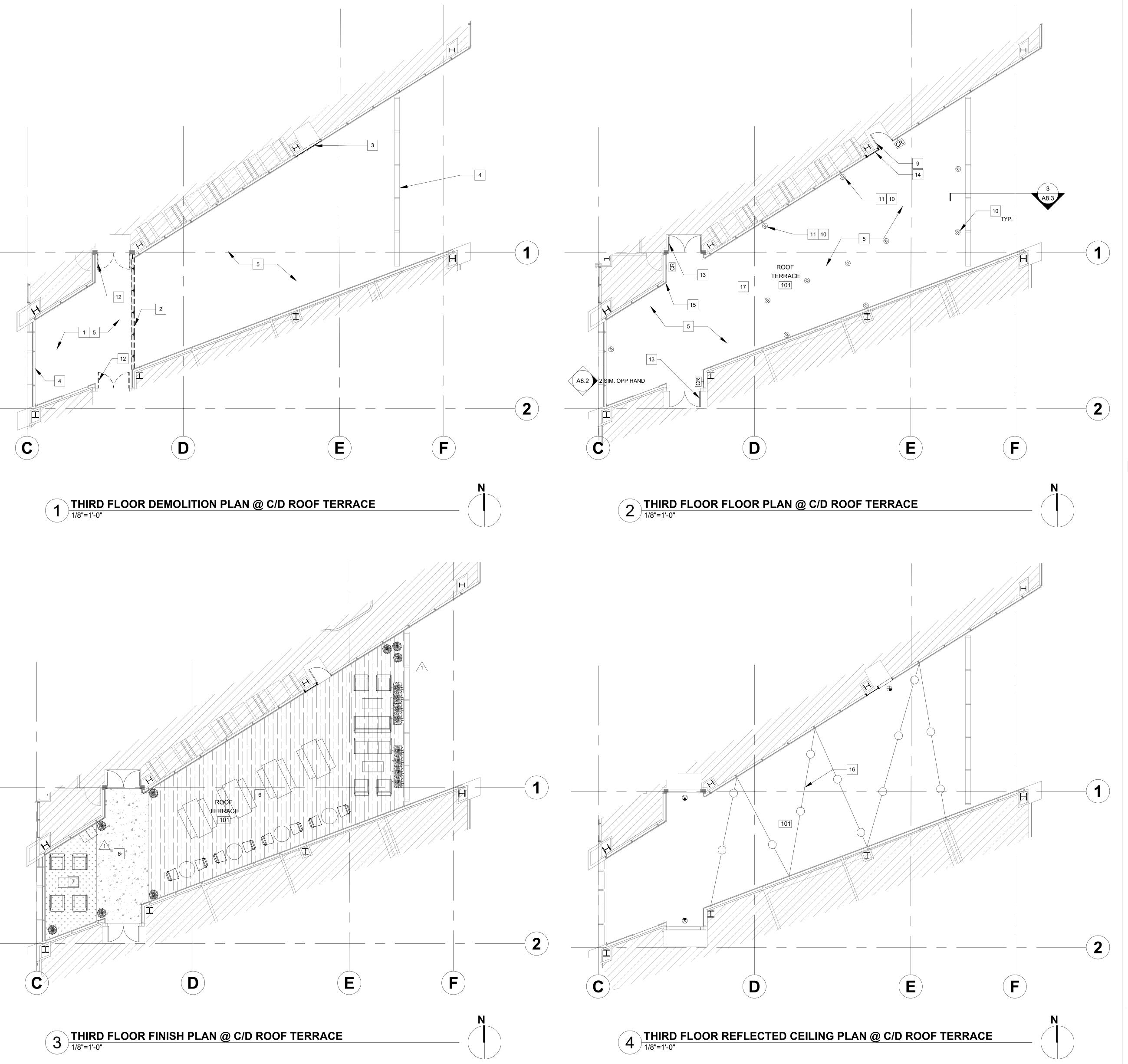
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21068 Job# 04.01.22 Date Scale As Shown

Sheet Title

**BUILDINGS B/C ROOF TERRACE-**SECOND FLOOR DEMOLITION, FLOOR, FINISH AND REFLECTED CEILING PLANS

Sheet #



#### SHEET NOTES

- REFER TO SHEET G0.0 FOR GENERAL NOTES. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
- REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S
- INSTRUCTIONS. 4. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN
- WALLS INDICATED FOR DEMOLITION. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION,
- NOTIFY THE ARCHITECT IMMEDIATELY. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR
- FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.
- 8. ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH
- MANUFACTURER'S RECOMMENDATIONS. 9. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF
- NEW FLOORING. 10. THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/4" MAX. 11. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE
- LOCATED AT CENTER OF DOOR IN CLOSED POSITION, U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION, U.O.N.
- 12. PAINT SHEENS: - EGGSHELL @ ALL WALLS
  - FLAT @ ALL CEILINGS - SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)
  - SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS
- 13. PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
- 14. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN
- 15. PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.
- 16. ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR). 17. ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE
- ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE, U.O.N. 18. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION.
- 19. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
- 20. ALL SWITCHES SHALL BE IN GANG BOXES. 21. ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL
- DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR 22. ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE
- LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE. 23. PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT
- THE SPACE AS REQUIRED BY CODE. 24. SEE LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION.

# **KEY NOTES**

- REMOVE EXISTING DECK TILES AND RAISED FLOOR ASSSEMBLY.
- REMOVE EXISTING GUARDRAIL.
- REMOVE PORTION OF EXISTING STOREFRONT WINDOW SYSTEM AND PREPARE FOR STOREFRONT DOOR.
- 4 EXISTING GUARDRAIL TO SYSTEM TO REMAIN.
- MAINTAIN EXISTING ROOF DRAINAGE AT EXISTING BUILT UP ROOF SYSTEM.
- NEW WOOD DECK PEDESTAL TILES (DT1).
- NEW ARTIFICIAL TURF DECK TILES (DT3). NEW CONCRETE DECK TILES (DT2).
- NEW STOREFRONT DOOR WITH PANIC HARDWARE, CARD READER AND FAILSAFE
- 10 PROVIDE POWER PEDESTAL FOR ANCILLARY USE.
- PROVIDE POWER FOR WALL MOUNTED WALL MONITOR. REMOVE EXISTING DOOR, TO BE RE-USED IF POSSIBLE.
- RELOCATED DOORS WITH PANIC HARDWARE, MAINTAIN CARD READER
- CONNECTION TO SECURITY SYSTEM. 14 NEW FIXED GLAZING IN STOREFRONT TO MATCH ADJACENT GLAZING. PROVIDE SOLAR FILM AT INTERIOR FACE TO MATCH EXISTING CONDITION. MODIFY
- INTERIOR WINDOW SHADE TO MATCH EXISTING AS REQUIRED BY NEW CONSTRUCTION.
- 15 NEW MAX. OCCUPANCY SIGNAGE.
- 16 NEW LED STRING LIGHTS ATTACHED TO BUILDING.
- 17 PROVIDE DATA CONDUITS WITH PULL STRING FOR FUTURE TENANT CONNECTION.

# **LEGEND**

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

EXISTING PARTITION AND DOOR TO BE DEMOLISHED \_\_\_\_ OPEN ROOM NAME

100 ──ROOM NUMBER



FINISH TYPE, SEE FINISH SPECIFICATIONS

WOOD DECKING

CONCRETE PAVER SYNTHETIC TURF

NEW ILLUMINATED EXIT SIGN EXTERIOR, WET LOCATION POWER PEDESTAL

NOT IN SCOPE

TBD

LED STRING LIGHTS MFG: STYLE: MODEL: TBD NOTE: 200 LINEAR FEET NO. DESCRIPTION Issued for Planning Review 04.01.22 Plan Check Response 06.30.22 08.31.22 Plan Check Response 11.08.22 Planning Revisions 12.16.22 Final Planning Set

ELLIS STREET OWNER, LLC

MOUNTAIN VIEW, CA 94043

TMG PARTNERS

PRELIMINARY -

NOT FOR

CONSTRUCTION

BUILDINGS A/B/C/D/E

350-380 ELLIS STREET

**IMPROVEMENTS** 

Consultant

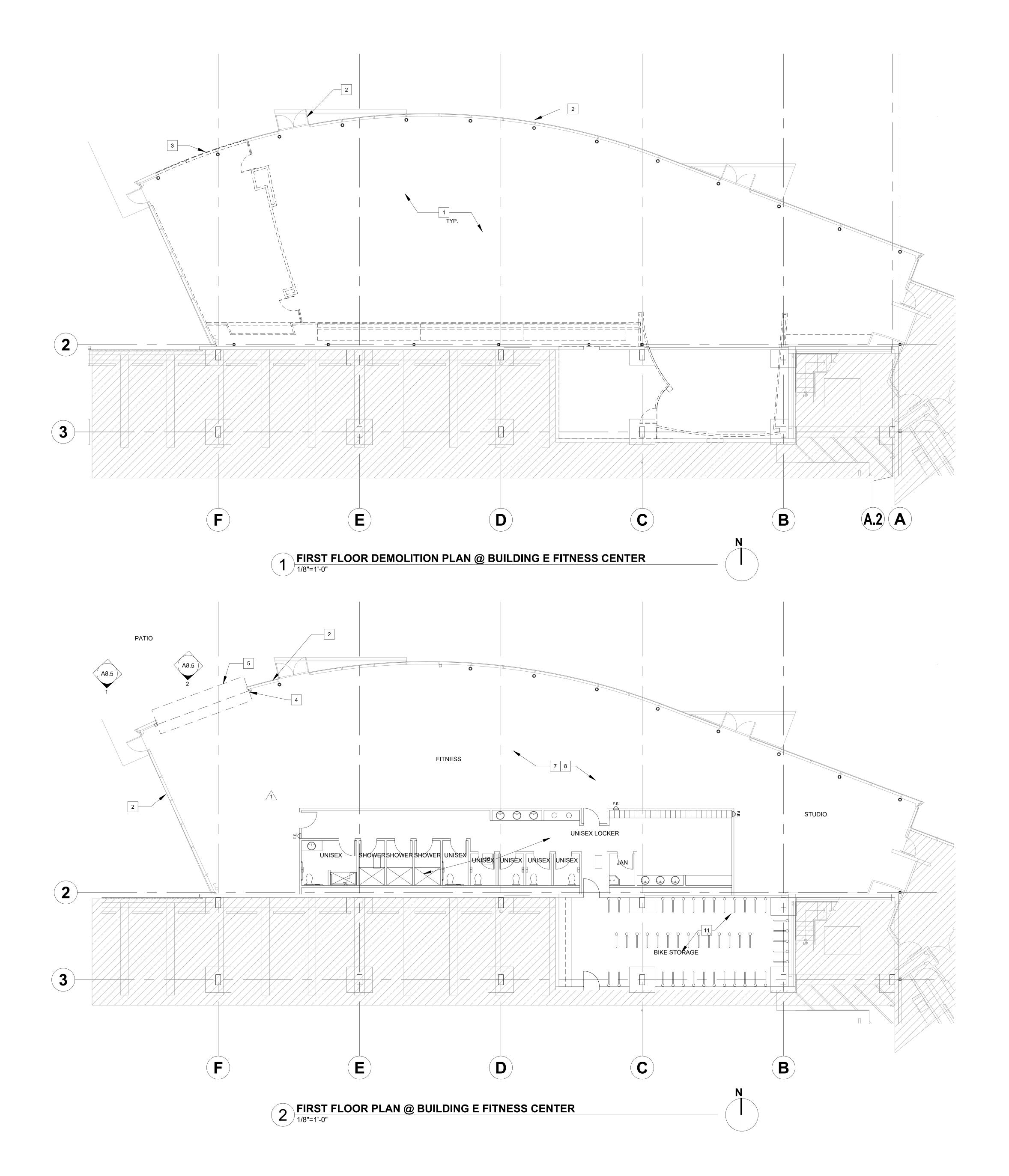
21068 Job# 04.01.22 Date As Shown Scale

Sheet Title

BUILDINGS C/D ROOF TERRACE -THIRD FLOOR DEMOLITION, FLOOR, FINISH AND REFLECTED **CEILING PLANS** 

Sheet #

A2.3



#### **SHEET NOTES**

- 1. REFER TO SHEET G0.0 FOR GENERAL NOTES.
- REFER TO FINISH PLAN FOR FINISH LOCATIONS.
- REMOVE EXISTING FLOORING AND WALL BASE THROUGHOUT AREA OF WORK, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
- 3. REMOVE EXISTING SUSPENDED CEILING TILES, GRID AND LIGHTING THROUGHOUT AREA OF WORK, U.O.N.
- 4. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN WALLS INDICATED FOR DEMOLITION.
- 5. PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION
- 6. CONTRACTOR SHALL CLEAN, PATCH AND REPAIR EXISTING WINDOW MULLIONS WHERE PREVIOUS WALLS WERE ATTACHED AND REMOVED.
- REMOVE EXISTING WALLCOVERINGS AND PREPARE WALL SURFACE FOR NEW
- 8. CONTRACTOR SHALL RELOCATE ANY ELECTRICAL PANELS LOCATED IN WALLS INDICATED FOR DEMOLITION.
- 9. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION, NOTIFY THE ARCHITECT IMMEDIATELY.
- 10. REMOVE ALL EXISTING CABINETRY AND SINKS THROUGHOUT AREA OF WORK, U.O.N. CAP PLUMBING AS REQUIRED.
- 11. ALL NEW PARTITIONS SHALL RECEIVE ACOUSTIC BATT INSULATION, U.O.N. PROVIDE ACOUSTICAL SEALANT FOR AIRTIGHT SEAL AT ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO CONDUITS, SPRINKLER LINES, PIPING, DUCTS, ETC. AND AT ANY
- GYPSUM BOARD WALL OPENINGS AND PERIMETERS. 12. ALL GYPSUM BOARD SURFACES SHALL FINISHED WITH NO VISIBLE JOINTS OR
- SEAMS AND SMOOTHED (OR TEXTURED) IN PREPARATION FOR PAINT. 13. PROVIDE LEVEL 4 SMOOTH WALL TEXTURE THROUGHOUT AREA OF WORK. 14. ALL GYPSUM BOARD EXPOSED EDGES SHALL BE PROTECTED WITH A CONCEALED
- METAL EDGE TRIM. 15. INSTALL NEW DOORS TO OPEN FLAT AGAINST ADJACENT WALLS. TYPICAL JAMB
- DIMENSION IS 4" FROM ADJACENT PARTITION, U.O.N. 16. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED BY NEW WORK.
- 17. PROVIDE MIN. LEVEL 5 FINISH AT ALL PARTITIONS TO RECEIVE NEW
- 18. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR
- FURNITURE DEALER ON ALL ELECTRICAL REQUIREMENTS. 19. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.

### **KEY NOTES**

- REMOVE FLOORING, FINISHES, AND LIGHTING THROUGHOUT, U.O.N.
- EXISTING STOREFRONT TO REMAIN.
- REMOVE PORTION OF (E) STOREFRONT SYSTEM AS REQUIRED FOR NEW
- OVERHEAD GARAGE DOOR.
- NEW STEEL COLUMN AND HEADER FOR GARAGE DOOR. NEW OVERHEAD BI-FOLD HYDRAULIC OPERATED GARAGE DOOR BY CROWN SST-II HYDRAULIC OR SIMILAR. ±18'-0" WIDE X 10'-0" HIGH IN POWDERCOAT ALUMINUM

FRAME TO MATCH EXISTING STOREFRONT FRAMES. GLAZING TO BE TEMPERED.

- 6 NOT USED.
- NEW FINISHES, LIGHTING THROUGHOUT.
- NEW FITNESS CENTER. EQUIPMENT BY OTHERS.
- NOT USED.
- 10 NEW RESTROOM, LOCKER ROOM AND SHOWERS 11 NEW ENCLOSED, SECURE BIKE STORAGE.

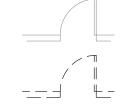


ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



PRELIMINARY -NOT FOR CONSTRUCTION

# **LEGEND**



OFFICE

EXISTING PARTITION AND DOOR

EXISTING PARTITION AND DOOR TO BE DEMOLISHED OPEN <del>─</del>ROOM NAME

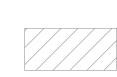


100 **─**ROOM NUMBER



\_\_\_\_\_ NEW PARTION





NOT IN SCOPE

NO. DESCRIPTION Issued for Planning Review 04.01.22 Plan Check Response 08.31.22 Plan Check Response Planning Revisions 11.08.22 12.16.22 Final Planning Set

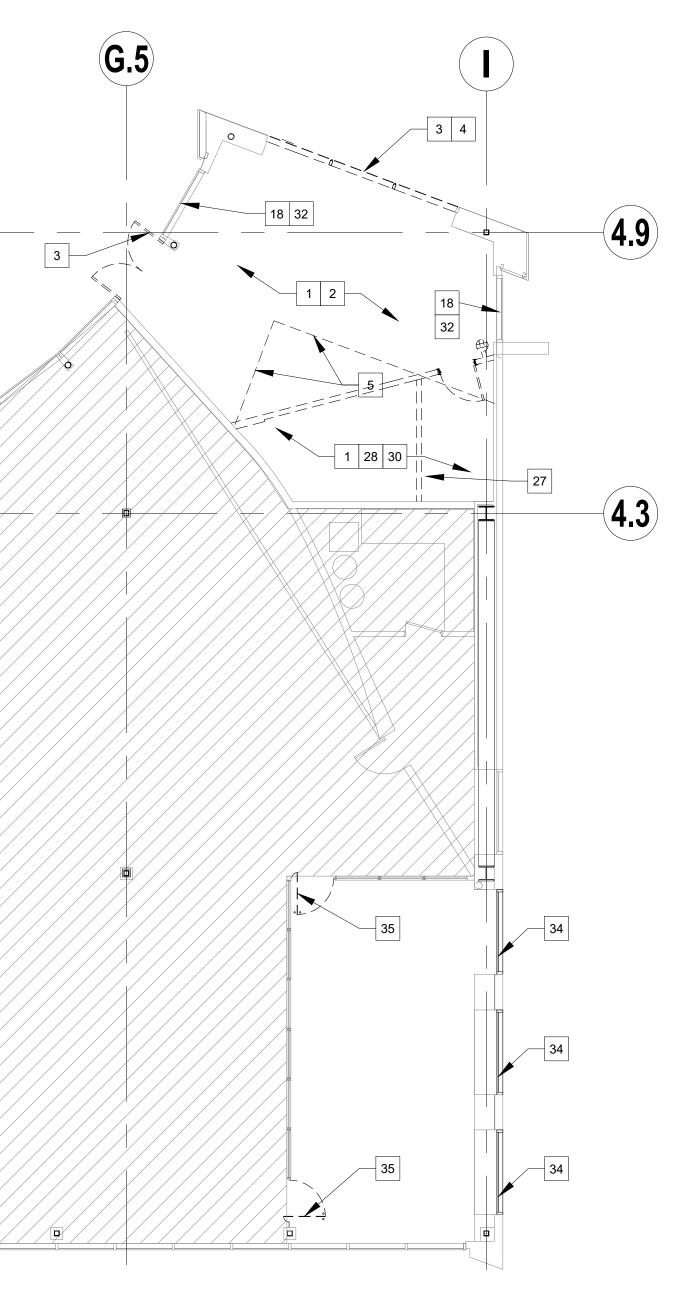
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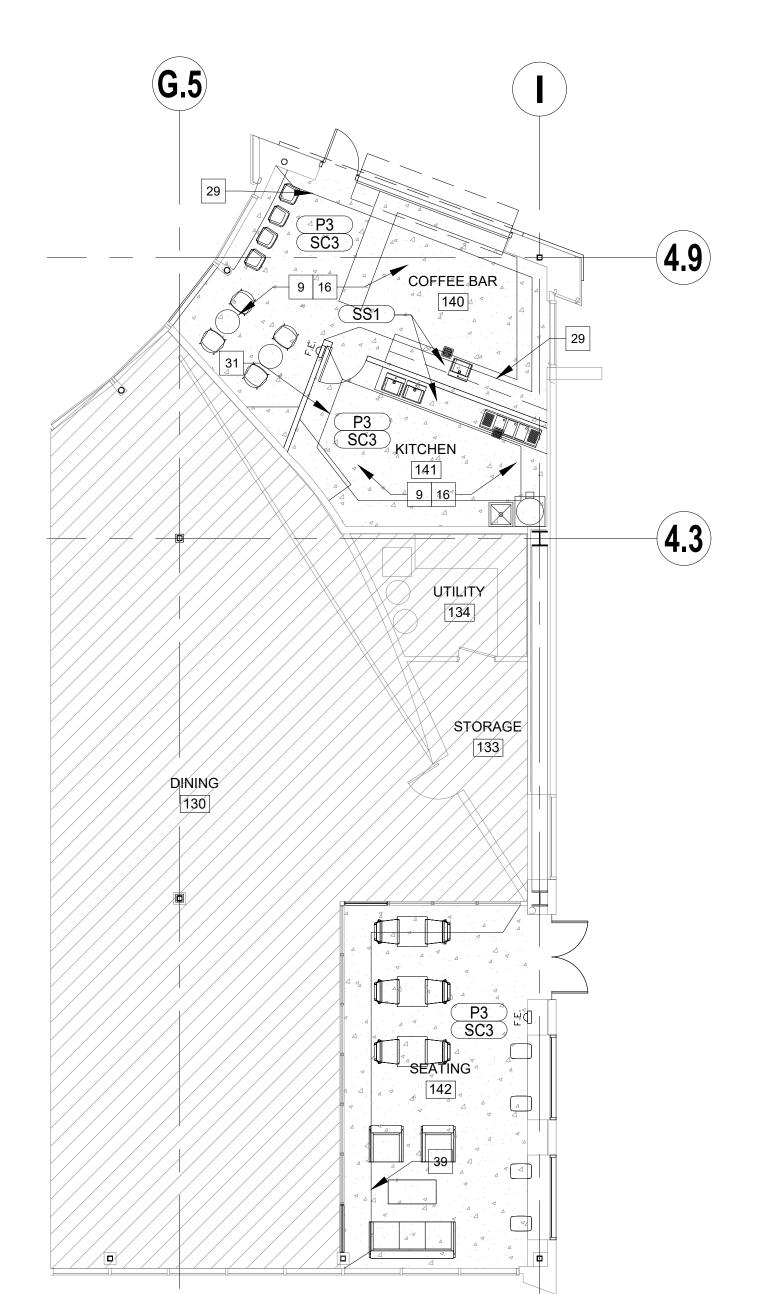
**BUILDING E FITNESS CENTER-**FIRST FLOOR DEMOLITION AND FLOOR PLANS

Sheet #

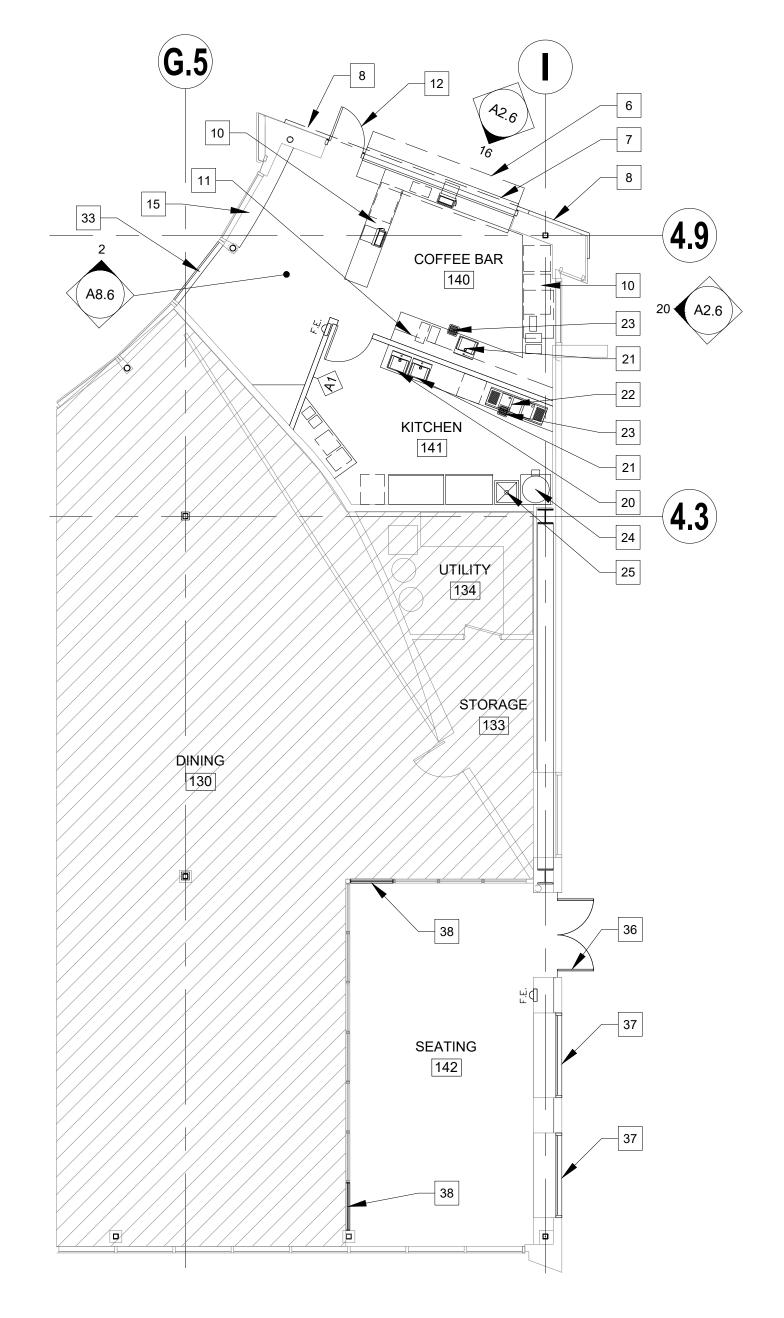
A2.4



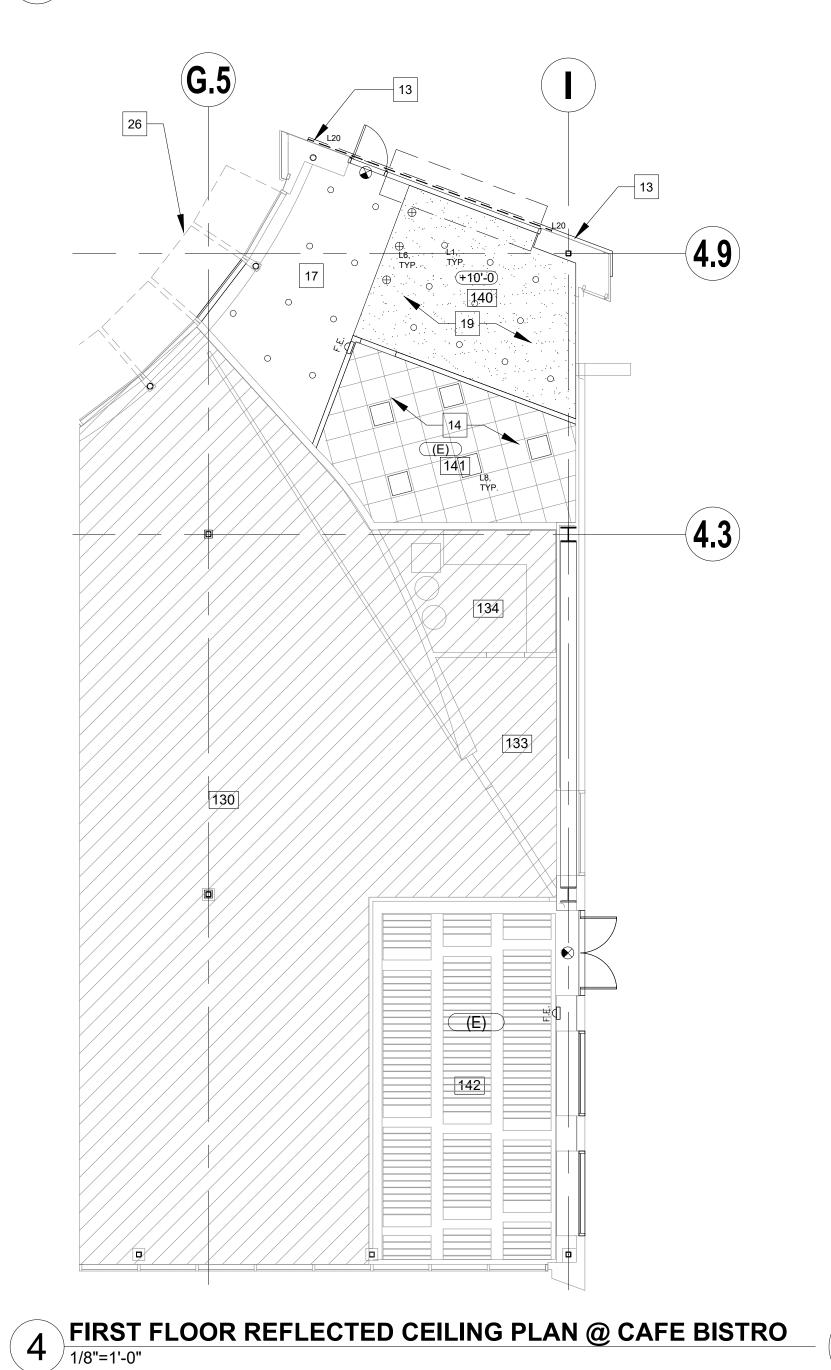
FIRST FLOOR DEMOLITION PLAN @ CAFE BISTRO 1/8"=1'-0"



3 FIRST FLOOR FINISH PLAN @ CAFE BISTRO



FIRST FLOOR PLAN @ CAFE BISTRO



**LEGEND** (SEE SHEET A10.1 FOR FINISH SPECIFICATIONS) EXISTING PARTITION AND DOOR TO REMAIN EXISTING PARTITION AND DOOR TO BE DEMOLISHED OPEN <del>─</del> ROOM NAME OFFICE 100 **─**ROOM NUMBER **EXISTING PARTITION** D1 PARTITION TYPE, SEE SCHEDULE **NEW PARTION** FINISH TYPE, SEE FINISH SPECIFICATIONS CONCRETE FLOORING CEILING HEIGHT (MEASURED FROM FLOOR SLAB) NEW ILLUMINATED EXIT SIGN EXISTING SUSPENDED "T-BAR" CEILING - 2 X 2 NEW GYP. BD. CEILING OR SOFFIT

## **PARTITION TYPES**

L1

TYPE A1 CEILING HEIGHT PARTITION (NON-RATED)

NOT IN SCOPE

LIGHT FIXTURE TYPES

(LIGHT FIXTURES NOT TAGGED ARE EXISTING TO REMAIN. SEE ELECTRICAL DRAWINGS.)

> RECESSED DOWNLIGHT, LED WITH FULL SHATTER RESISTANT LENS MODEL: TBD SIZE: TBD

ROUND PENDANT LIGHT FIXTURE, LED WITH SHATTER RESISTANT LENS MFR: TBD MODEL: TBD

SIZE: TBD NOTE: FIXTURE ALLOWANCE \$350/EA.

**— — —** L20 LINEAR TAPE LIGHT, LED MFR: TBD

MODEL: TBD SIZE: TBD

NOTE: RATED FOR EXTERIOR USE

NEW 2 X 2 LAY IN FIXTURE - LED WITH FULL SHATTER RESISTANT LENS

#### **SHEET NOTES**

- REFER TO SHEET G0.0 FOR GENERAL NOTES. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
- EXISTING FLOORING AND WALL BASE TO REMAIN, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
- EXISTING SUSPENDED CEILING TILES, GRID AND LIGHTING TO REMAIN, U.O.N. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN
- WALLS INDICATED FOR DEMOLITION. 6. PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION
- 7. CONTRACTOR SHALL CLEAN, PATCH AND REPAIR EXISTING WINDOW MULLIONS WHERE PREVIOUS WALLS WERE ATTACHED AND REMOVED.
- ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION,
- NOTIFY THE ARCHITECT IMMEDIATELY. ALL NEW PARTITIONS SHALL RECEIVE ACOUSTIC BATT INSULATION, U.O.N. PROVIDE ACOUSTICAL SEALANT FOR AIRTIGHT SEAL AT ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO CONDUITS, SPRINKLER LINES, PIPING, DUCTS, ETC. AND AT ANY
- GYPSUM BOARD WALL OPENINGS AND PERIMETERS. 10. ALL GYPSUM BOARD SURFACES SHALL FINISHED WITH NO VISIBLE JOINTS OR
- SEAMS AND SMOOTHED (OR TEXTURED) IN PREPARATION FOR PAINT. 11. PROVIDE WALL TEXTURE TO MATCH EXISTING THROUGHOUT AREA OF WORK.
- 12. ALL GYPSUM BOARD EXPOSED EDGES SHALL BE PROTECTED WITH A CONCEALED METAL EDGE TRIM. 13. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED BY NEW WORK. 14. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT

REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD

- SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR VENDORS ON ALL ELECTRICAL REQUIREMENTS 15. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM
- ACCESSORIES. 18. ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH
- MANUFACTURER'S RECOMMENDATIONS. 19. PROVIDE PAINT (P1) AND SC1 BASE THROUGHOUT AREA OF WORK, U.O.N. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF NEW FLOORING.
- 20. THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/2" MAX. 21. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION, U.O.N. TRANSITION OF FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION, U.O.N.
- 22. PAINT SHEENS: - EGGSHELL @ ALL WALLS
  - FLAT @ ALL CEILINGS - SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT)
- SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS 23. PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE
- EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE. 24. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN READABLE.
- 25. ALL CABINET INTERIORS SHALL BE WHITE MELAMINE. 26. PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH
- EXISTING AS REQUIRED BY NEW WORK.
- 30. ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).
- 31. ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE, U.O.N.
- 32. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION.
- 33. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
- 34. ALL SWITCHES SHALL BE IN GANG BOXES. 35. INSTALL FIRE/SMOKE ACTIVATED WALL DAMPERS (U.L. APPROVED) AT ALL DUCT
- PENETRATIONS IN FIRE RATED PARTITIONS. 36. ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL
- DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR
- 37. ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE. 38. PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT
- THE SPACE AS REQUIRED BY CODE. 39. REWORK ANY LIGHTING, HVAC, SPRINKLERS, LIGHT SWITCHES AND THERMOSTATS AS

# **KEY NOTES**

REMOVE EXISTING FLOORING AND BASE THROUGHOUT.

REQUIRED FOR NEW PARTITION AND CEILING LAYOUT.

- REMOVE EXISTING CEILING TILE, GRID AND LIGHTING.
- REMOVE EXISTING STOREFRONT AND /OR PORTION OF WALL AS REQUIRED BY NEW STOREFRONT AND/OR INFILL.
- REMOVE EXISTING ROLLER SHADES AT STOREFRONT WINDOW REMOVAL. ALL
- OTHER EXISITNG ROLLER SHADES TO REMAIN.
- REMOVE EXISTING CEILING TILE. EXISTING CEILING GRID TO REMAIN. NEW OVERHEAD DOOR BI-FOLD COUNTER WINDOW BY CROWN OR SIMILAR IN
- MATTE BLACK FRAME, CLEAR TEMPERED GLAZING. QUANTITY (1), SIZE 13'-6" WIDE X 7'-2" HIGH EA. PROVIDE MOTORIZED OPERATION. PROVIDE ELECTRICAL AS
- NEW 13'-6" WIDE X 2" H. X 28" DEEP COUNTER WITH 10" HIGH APRON ATTACHED TO FACE OF BUILDING WITH WD1 FINISH.
- NEW METAL RIBBED PANEL SYSTEM MT2 OR SIMILAR. COLOR TO BE P5.
- WRAP SC3 EPOXY FINISH 6" UP WALL, TYP. 10 NEW LOWER CABINETS 42'-0" LINEAR FEET X 2'-10" H. WITH SS1 COUNTERTOP AND
- 72" WIDE GLASS DISPLAY CASE INSERT. 11 NEW OPEN SHELVING UPPER 7'-6" LINEAR FEET (3) TIERS, 1" DIA. TUBE STEEL
- PIPE @ 48" O.C. RAILING SUPPORTS PAINTED MATTE BLACK. SHELVING TO BE PL1. 12 NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, 3'-0"W X 10'-0"H WITH
- STAINLESS STEEL BAR PULL HARDWARE AND CYLINDRICAL KEY LOCK.
- 13 NEW LED TAPE LIGHT AT INSIDE EDGE OF NEW METAL PANEL. APPROX. 33'-0" L.F. 14 NEW AC2 IN EXISTING CEILING GRID THROUGHOUT, TYP.
- 15 NEW 16" DEEP PL1 COUNTER WITH 4" SQUARE TUBE STEEL LEGS PAINTED BLACK.
- 16 PAINT P1 THROUGHOUT, U.O.N. NEW R30 ROOF INSULATION WITH WHITE CAP SHEET AT OPEN CEILING.
- 18 EXISTING ROLLER SHADES TO REMAIN, PROTECT DURING CONSTRUCTION. 19 NEW GYP. BD. CEILING, PAINTED P1.
- 20 NEW HAND SINK.
- 21 NEW SERVICE SINK.
- NEW THREE COMPARTMENT SINK, TIE INTO FLOOR SINK, INDIRECT CONNECTION. 23 NEW FLOOR SINK.
- 24 NEW 30 GALLON ELECTRIC WATER HEATER.
- NEW MOP SINK, 24" X 24" BY FLOORSTONE WITH FAUCET AND MOP HANGER. 26 EXISTING CANOPY TO REMAIN.
- 27 REMOVE EXISTING WALL MOUNTED DATA RACK AND CEILING CONDUITS, CABLES,
- 28 REMOVE WALL MOUNTED RACEWAY AND POWER BACK TO SOURCE.
- 29 PROVIDE WALL TILE CT2 TO 10'-0" AT WALLS INDICATED. 30 INFILL EXISTING RECESSED WALL NICHES TO MATCH ADJACENT WALL FINISH.
- 31 PROVIDE WALL PANEL FRP1 TO 48" AT WALL INDICATED. PAINT P1 ABOVE FRP. 32 EXISTING WINDOW TO REMAIN.
- 33 INFILL EXISTING STOREFRONT AT DOOR REMOVAL TO MATCH ADJACENT GLAZING
- 34 REMOVE EXISTING WINDOW AND /OR PORTION OF WALL AS REQUIRED BY NEW STOREFRONT AND/OR INFILL.
- 35 REMOVE EXISTING DOOR AS REQUIRED BY NEW GLASS INFILL
- NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, PR. 3'-0"W X 10'-0"H WITH STAINLESS STEEL BAR PULL HARDWARE AND CYLINDRICAL KEY LOCK. 37 NEW TEMPERED GLASS STOREFRONT WINDOW IN BLACK ALUMINUM FRAME, 7'-0"
- W X 9'-0"H WITH SOLAR BAN 70 FILM TO MATCH EXISTING WINDOW TINT.
- 38 NEW GLASS INFILL AT EXISTING STOREFRONT
- 39 PROVIDE DECORATIVE PRIVACY FILM AT GLAZING



ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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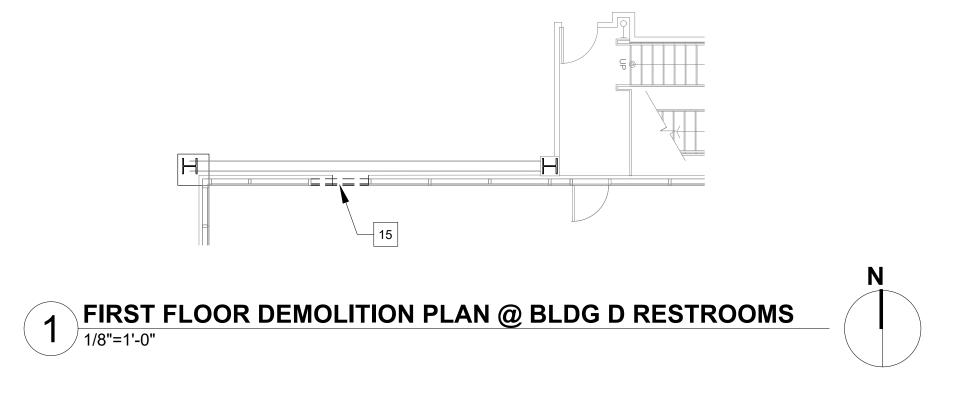
NO. DESCRIPTION Issued for Planning Review 04.01.22 Plan Check Response 06.30.22 Plan Check Response 08.31.22 11.08.22 Planning Revisions 12.16.22 Final Planning Set

21068 Job# Date 04.01.22 As Shown

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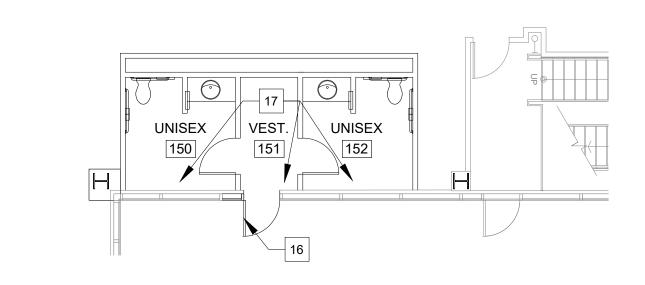
**BUILDING E CAFE BISTRO -**DEMOLITION, FLOOR, FINISH AND REFLECTED CEILING PLANS

Sheet #



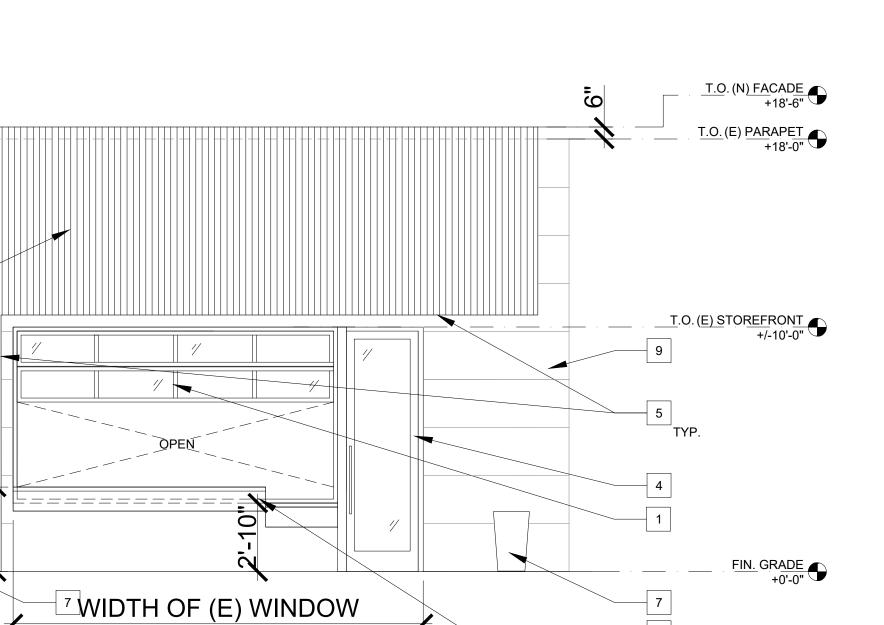
6

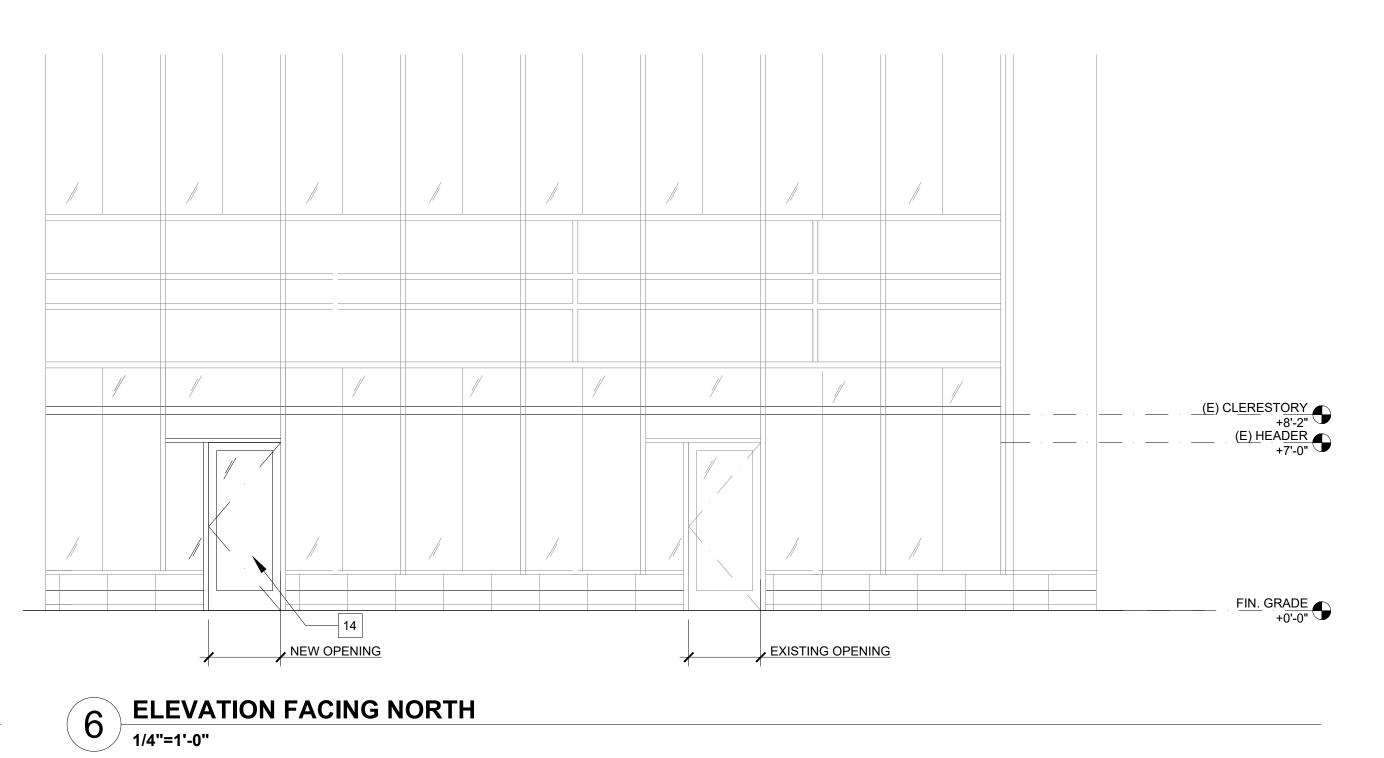
16 ELEVATION FACING SOUTH
1/4"=1'-0"

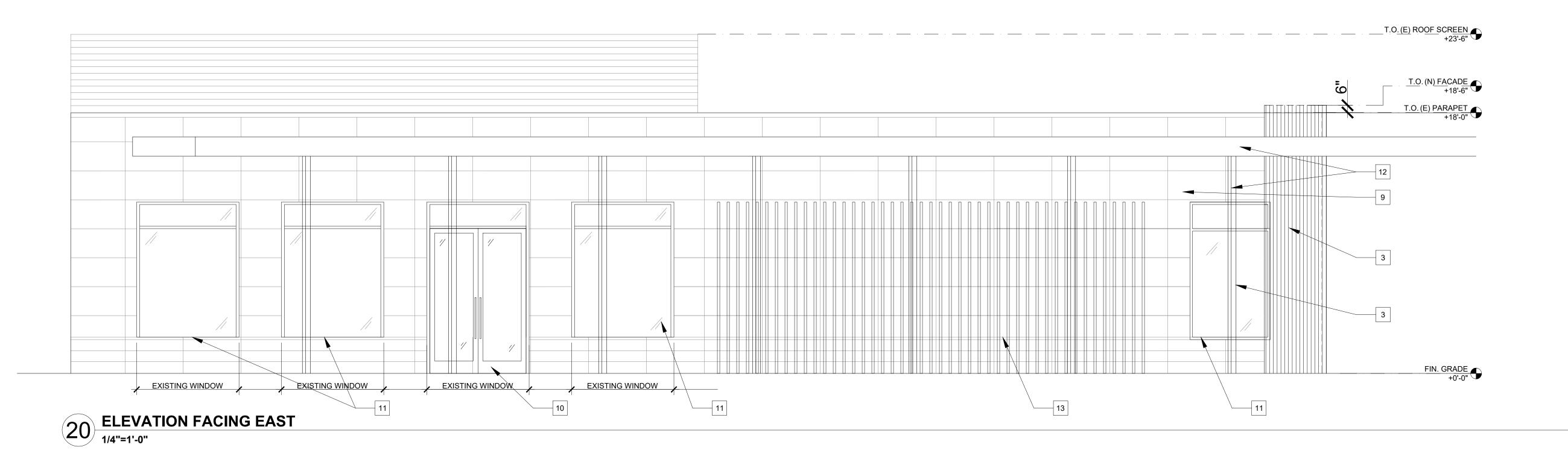


FIRST FLOOR FLOOR PLAN @ BUILDING D RESTROOMS

1/8"=1'-0"







#### SHEET NOTES

1. REFER TO SHEET G0.0 FOR GENERAL NOTES. 2. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.

#### **KEY NOTES**

- NEW OVERHEAD DOOR BI-FOLD COUNTER WINDOW BY CROWN OR SIMILAR IN MATTE BLACK FRAME, CLEAR TEMPERED GLAZING. QUANTITY (1), SIZE 13'-6" WIDE X 7'-2" HIGH EA. PROVIDE MOTORIZED OPERATION. PROVIDE ELECTRICAL AS REQUIRED.
- NEW 13'-6" WIDE X 2" H. X 28" DEEP COUNTER WITH 10" HIGH APRON ATTACHED TO FACE OF BUILDING WITH WD1 FINISH.
- NEW METAL RIBBED PANEL SYSTEM MT2 OR SIMILAR. COLOR TO BE P5.
- NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, 3'-0"W X 10'-0"H WITH STAINLESS STEEL BAR PULL HARDWARE AND CYLINDRICAL KEY LOCK.
- HAND PAINTED SIGN ON WD1 PANEL, APPROX. 8'-0" W. X 24" H. OVERALL LETTERS, \$3,500 ALLOWANCE.
- PROVIDE NEW TALL SQUARE PLANTER, TOURNESOL SITEWORKS, URT-1800, 18" TOP X 13.5" BASE X 30" H.

NEW LED TAPE LIGHT AT INSIDE EDGE OF NEW METAL PANEL. APPROX. 33'-0" L.F.

- NEW METAL RIBBED PANEL SYSTEM MT2 OR SIMILAR. COLOR TO BE P5. EXISTING METAL PANEL FACADE TO REMAIN.
- NEW STOREFRONT DOOR IN BLACK ALUMINUM FRAME, PR. 3'-0"W X 10'-0"H WITH
- STAINLESS STEEL BAR PULL HARDWARE AND CYLINDRICAL KEY LOCK. NEW TEMPERED GLASS STOREFRONT WINDOW IN BLACK ALUMINUM FRAME, 7'-0"

W X 9'-0"H WITH SOLAR BAN 70 FILM TO MATCH EXISTING WINDOW TINT.

- 12 NEW TRELLIS, STRUCTURE TO BE PAINTED P8 AND SLATS TO BE PAINTED P6. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 NEW WOOD SLAT SYSTEM WD2 FINISH, SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 NEW STOREFRONT DOOR AND HARDWARE ASSEMBLY WITH CLERESTORY TO MATCH EXISTING EXTERIOR DOOR CONDITION.
- 15 REMOVE EXISTING STOREFRONT AND /OR PORTION OF WALL AS REQUIRED BY NEW STOREFRONT AND/OR INFILL.
- 16 NEW STOREFRONT DOOR AND GLAZING TO MATCH BUILDING STANDARD, 3'-0"W X
- 17 PROVIDE NEW FINISHES, PLUMBING FIXTURES, LIGHT FIXTURES AND ACCESSORIES.

#### **LEGEND**

EXISTING PARTITION AND DOOR EXISTING PARTITION AND DOOR TO BE DEMOLISHED

OPEN ROOM NAME

100 **→** ROOM NUMBER **EXISTING PARTITION** 

D1 PARTITION TYPE, SEE SCHEDULE **NEW PARTION** 

NOT IN SCOPE

Project

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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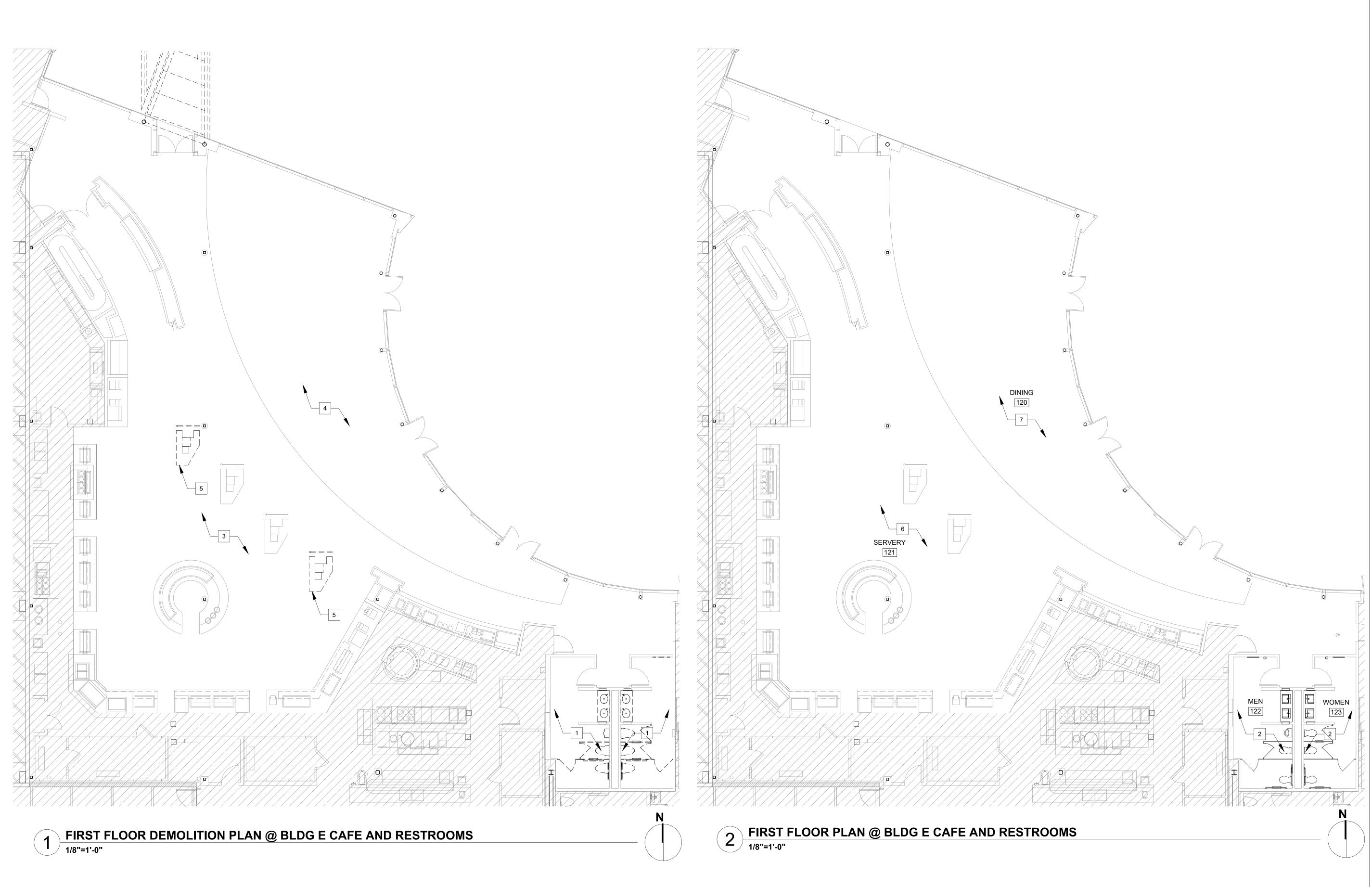
BUILDING E CAFE BISTRO -**EXTERIOR ELEVATIONS** AND BUILDING D RESTROOM-ENLARGED PLANS

Sheet #

A2.6

04.01.22

As Shown



#### SHEET NOTES

- 1. REFER TO SHEET G0.0 FOR GENERAL NOTES.
- REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.
- EXISTING FLOORING AND WALL BASE TO REMAIN, U.O.N. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING PER MANUFACTURER'S INSTRUCTIONS.
- 4. EXISTING SUSPENDED CEILING TILES, GRID AND LIGHTING TO REMAIN, U.O.N. 5. REMOVE EXISTING ELECTRICAL/DATA OUTLETS, THERMOSTATS AND SWITCHES IN
- WALLS INDICATED FOR DEMOLITION. 6. PATCH AND REPAIR EXISTING WALLS TO REMAIN WHEN AFFECTED BY DEMOLITION
- 7. CONTRACTOR SHALL CLEAN, PATCH AND REPAIR EXISTING WINDOW MULLIONS WHERE PREVIOUS WALLS WERE ATTACHED AND REMOVED.
- 8. ALL ITEMS INDICATED FOR DEMOLITION ARE BELIEVED TO BE NON-STRUCTURAL. IF CONTRACTOR DISCOVERS EXISTING STRUCTURAL ELEMENTS DURING DEMOLITION,
- NOTIFY THE ARCHITECT IMMEDIATELY. 9. ALL NEW PARTITIONS SHALL RECEIVE ACOUSTIC BATT INSULATION, U.O.N. PROVIDE ACOUSTICAL SEALANT FOR AIRTIGHT SEAL AT ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO CONDUITS, SPRINKLER LINES, PIPING, DUCTS, ETC. AND AT ANY
- GYPSUM BOARD WALL OPENINGS AND PERIMETERS. 10. ALL GYPSUM BOARD SURFACES SHALL FINISHED WITH NO VISIBLE JOINTS OR SEAMS AND SMOOTHED (OR TEXTURED) IN PREPARATION FOR PAINT.
- 11. PROVIDE WALL TEXTURE TO MATCH EXISTING THROUGHOUT AREA OF WORK. 12. ALL GYPSUM BOARD EXPOSED EDGES SHALL BE PROTECTED WITH A CONCEALED METAL EDGE TRIM.
- 13. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED BY NEW WORK. 14. ALL ELECTRICAL/DATA SHOWN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FULL EXTENT OF ELECTRICAL WORK. THE DESIGN-BUILD
- VENDORS ON ALL ELECTRICAL REQUIREMENTS. 15. PROVIDE WALL BLOCKING AS REQUIRED FOR NEW WALL ELEMENTS, INCLUDING BUT NOT LIMITED TO, WALL MOUNTED EQUIPMENT, THERMOSTATS, LIGHT SWITCHES, SHELVING, UPPER CABINETS, SIGNAGE, GRAB BARS AND TOILET ROOM ACCESSORIES.

SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CLIENT AND THEIR

- 18. ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH
- MANUFACTURER'S RECOMMENDATIONS. 19. PROVIDE PAINT (P1) AND SC1 BASE THROUGHOUT AREA OF WORK, U.O.N. SUBFLOORS SHALL BE PREPARED, LEVEL AND SMOOTH PRIOR TO INSTALLATION OF
- NEW FLOORING. 20. THE HEIGHT DIFFERENCE BETWEEN FLOORING SURFACES SHALL BE 1/2" MAX. 21. TRANSITION OF FLOORING MATERIALS THAT OCCUR IN DOOR OPENINGS SHALL BE LOCATED AT CENTER OF DOOR IN CLOSED POSITION, U.O.N. TRANSITION OF
- FLOORING MATERIALS THAT OCCUR WITHOUT DOOR OPENINGS SHALL ALIGN WITH FACE OF PARTITION, U.O.N. 22. PAINT SHEENS:
  - EGGSHELL @ ALL WALLS - FLAT @ ALL CEILINGS
- SEMI-GLOSS @ DOORS/FRAMES (INDICATED FOR PAINT) - SEMI-GLOSS @ WALLS/CEILINGS IN TOILET/SHOWER ROOMS
- 23. PAINT SEMI-GLOSS SHEEN AT ANY ACCESS PANELS, PANEL BOXES AND FIRE EXTINGUISHERS TO MATCH ADJACENT WALL SURFACE.
- 24. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, INCLUDING BUT NOT LIMITED TO, FIRE RESISTANCE RATING LABEL, U.L. EQUIPMENT IDENTIFICATION, TESTING AGENCY AND/OR MANUFACTURER PLATES, ETC. THESE LABELS SHALL REMAIN
- READABLE. 25. ALL CABINET INTERIORS SHALL BE WHITE MELAMINE.
- 26. PATCH AND REPAIR ALL EXISTING FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED BY NEW WORK.
- 30. ALL CEILING (OR FIXTURE) HEIGHTS ARE MEASURED A.F.F. (ABOVE FINISH FLOOR).
- 31. ANY CEILING MOUNTED LIGHT FIXTURES, SPRINKLER HEADS, EXIT SIGNS, FIRE
- ALARM DEVICES AND EQUIPMENT SHALL BE CENTERED WITHIN CEILING TILE, U.O.N. 32. CONTRACTOR TO REVIEW MOUNTING HEIGHTS OF ANY SUSPENDED LIGHT FIXTURES WITH ARCHITECT IN FIELD, PRIOR TO INSTALLATION.
- 33. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHT FIXTURE LOCATIONS AND OVERHEAD OBSTRUCTIONS SUCH AS DUCTS, HVAC EQUIPMENT, FIRE SPRINKLER LINES, PIPING, ETC. PRIOR TO LIGHTING INSTALLATION.
- 34. ALL SWITCHES SHALL BE IN GANG BOXES. 35. INSTALL FIRE/SMOKE ACTIVATED WALL DAMPERS (U.L. APPROVED) AT ALL DUCT
- PENETRATIONS IN FIRE RATED PARTITIONS. 36. ALL NEW LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24. ELECTRICAL
- DESIGN-BUILD CONTRACTOR TO PROVIDE TITLE 24 CALCULATIONS AS REQUIRED FOR
- 37. ALL NEW ILLUMINATION LEVELS SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE LIGHTING HANDBOOK BY IES FOR THE PROPOSED USE OF THE SPACE.
- 38. PROVIDE EMERGENCY (NIGHT LIGHT) FIXTURES WITH BATTERY BACK-UP THROUGHOUT THE SPACE AS REQUIRED BY CODE.
- 39. REWORK ANY LIGHTING, HVAC, SPRINKLERS, LIGHT SWITCHES AND THERMOSTATS AS REQUIRED FOR NEW PARTITION AND CEILING LAYOUT.

# **KEY NOTES**

- REMOVE EXISTING FINISHES, TOILET PARTITIONS, PLUMBING FIXTURES, LIGHT FIXTURES AND ACCESSORIES. PREPARE FOR NEW PER FLOOR PLAN. EXISTING GYP. BD. CEILING TO REMAIN, PATCH AND REPAIR AS REQUIRED BY NEW LIGHT FIXTURE INSTALLATION.
- PROVIDE NEW FINISHES, TOILET PARTITIONS, PLUMBING FIXTURES, LIGHT
- FIXTURES AND ACCESSORIES. REMOVE EXISTING SERVERY CASEWORK FRONTS, LIGHT FIXTURES AND CEILING
- REMOVE EXISTING CARPET AND PREPARE FOR NEW FLOORING. REMOVE EXISTING POINT OF SALE STATION, PATCH AND REPAIR FLOORING AS
- PROVIDE NEW PAINT, SERVERY CASEWORK FRONTS, LIGHT FIXTURES AND
- CEILING TILES. REPAIR AND RESEAL EXISTING CONCRETE FLOORING PROVIDE NEW PAINT AND LVT FLOORING.

# **LEGEND**

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

EXISTING PARTITION AND DOOR

EXISTING PARTITION AND DOOR

OPEN **─**ROOM NAME

100 **─**ROOM NUMBER

TO BE DEMOLISHED

- PARTITION TYPE, SEE SCHEDULE **NEW PARTION** 

EXISTING PARTITION



NOT IN SCOPE



ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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Sheet Title

BUILDING E CAFE AND RESTROOMS -DEMOLITION AND FLOOR PLANS

Sheet#



4 EXISTING PHOTO @ 380 ELLIS SIDEWALK FACING SOUTH





3 EXISTING PHOTO @ 350-380 ELLIS

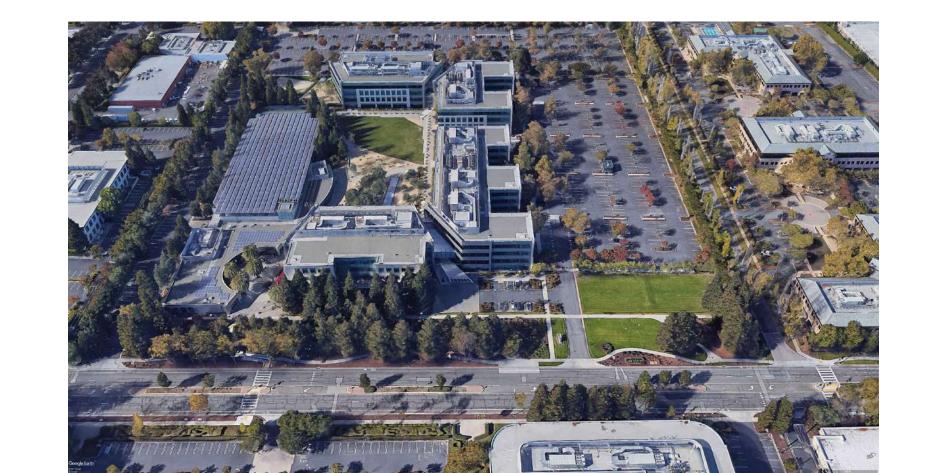
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2 EXISTING PHOTO @ 490 MIDDLEFIELD (ADJACENT PROPERTY SOUTH) N.T.S.









ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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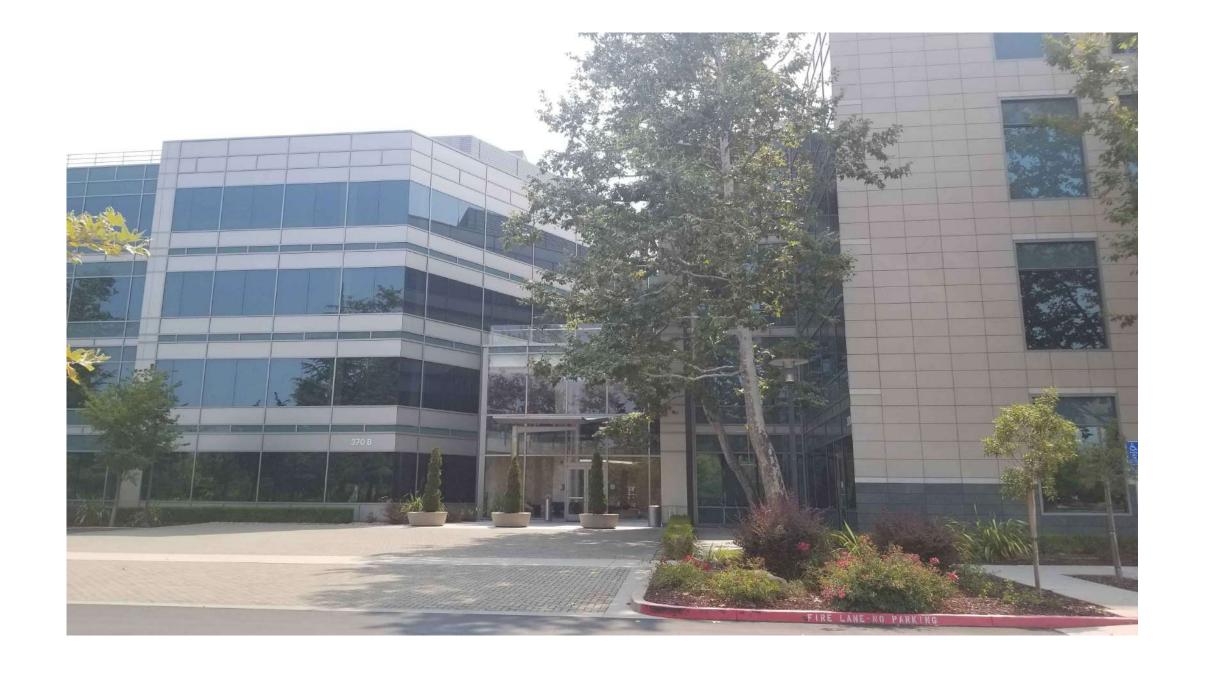
ELLIS STREET EXISTING PHOTOS

04.01.22

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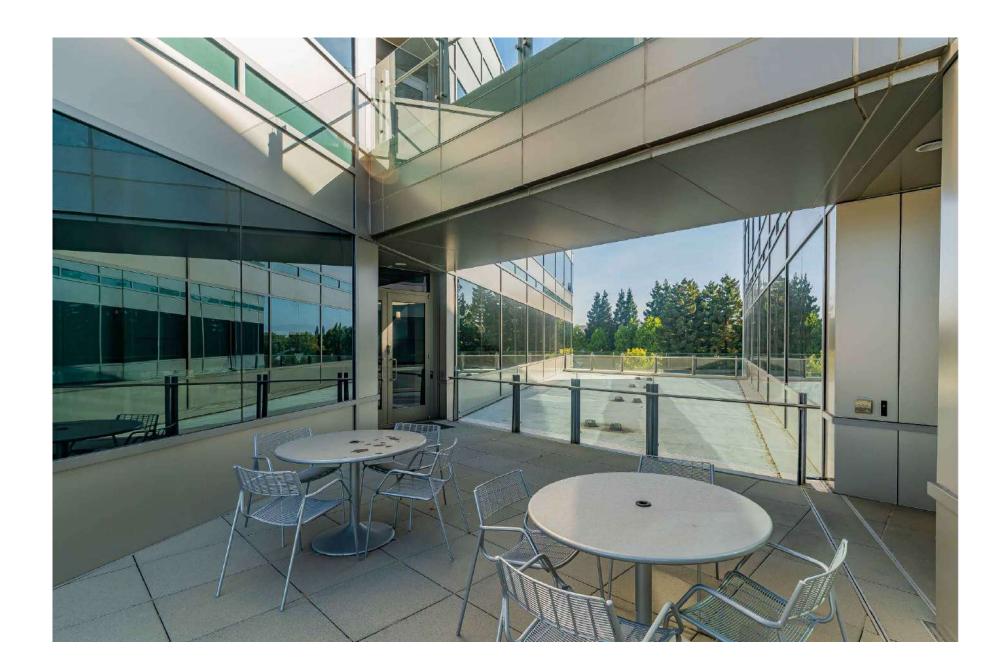
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# 2 EXISTING PHOTO @ BUILDING A/B COURTYARD LOBBY

N.T.S.

N.T.S.



6 EXISTING PHOTO @ BUILDING A/B THIRD FLOOR ROOF TERRACE
1/16"=1'-0"



Droject

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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21068
04.01.22

Sheet Title

BUILDINGS A/B EXISTING PHOTOS

Sheet #

A7.0

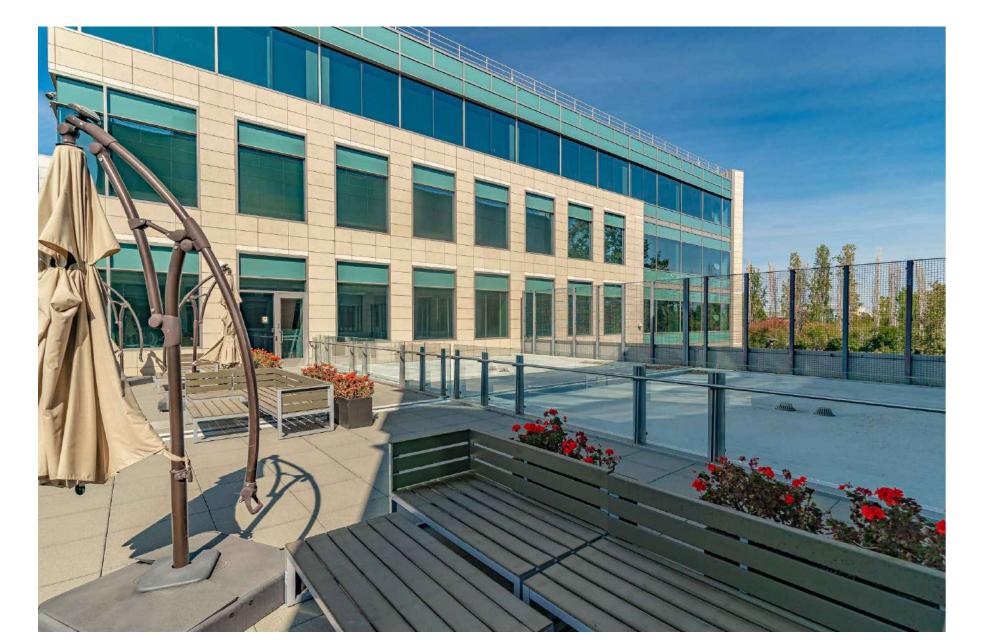
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N.T.S.

N.T.S.





3 EXISTING PHOTO @ BUILDING C/D THIRD FLOOR ROOF TERRACE

Studio 268 E. Hamilton Av Suite Campbell, CA 9500

Project

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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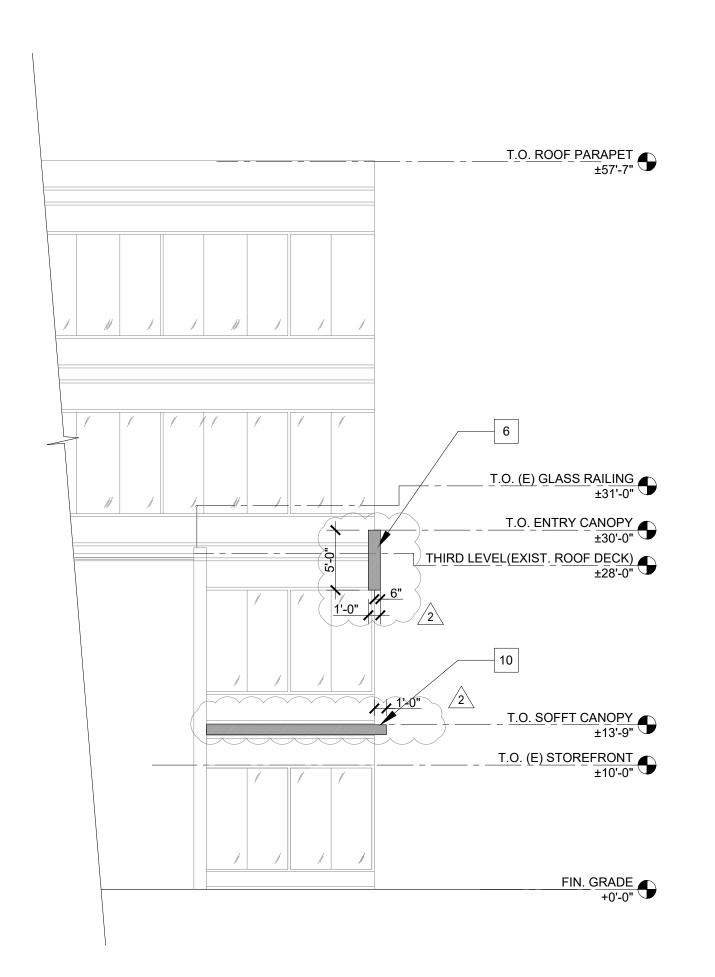
Sheet Title

BUILDINGS C/D EXISTING PHOTOS

Sheet #

A7.02

As Shown





PROPOSED EXTERIOR ELEVATION - EAST VIEW

1/8"=1'-0"

**EXISTING EXTERIOR ELEVATION - EAST VIEW** 

# SHEET NOTES

REFER TO SHEET G0.1 FOR PROJECT SPECIFICATIONS.
 REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.



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ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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**KEY NOTES** 

1 NOT USED.
2 NOT USED.

2 NOT USED.3 NOT USED.

NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH.

PROVIDE PANIC HARDWARE AND CARD READER ACCESS.

5 NEW ALUMINUM THRESHOLD AT DOOR.

6 NEW EYEBROW SOFFIT (SHOWN DASHED): STEEL FRAMING CLAD WITH METAL PANEL MTL1. OVERALL BOXED SOFFIT TO BE 44'-2" W. X 60" H. X 18" D.

7 NEW VISTAFOLIA ARTIFICIAL GREEN WALL SYSTEM (SHOWN CROSS-HATCHED),
OVERALL 36'-6" WIDE AND 48'-0" TALL X 10" DEEP BY HABITAT HORTICULTURE.
ARTIFICIAL GREEN WALL SYSTEM TO BE INSET INTO EYEBROW SOFFIT AT FRONT
FACE, TOP FACE OF CANOPY AND REAR FACE.

PROVIDE CONCEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION.

NOT USED.

NEW 36'-0" W. X 10" H. X 60" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT ENTRY (SHOWN DASHED). ROOF PANEL: ALUMINUM PANEL/DECKING TO ENCLOSE THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES.

CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR TO MATCH P5.

CONTACT HANNA AT VISIBLE INNOVATIONS (408)350-7000.

11 PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.

12 NOT USED.

13 NOT USED.

14 NOT USED.

15 EXISTING STOREFRONT TO REMAIN.
16 NOT USED.

17 EXISTING GUARDRAIL AT ROOFTOP TERRACE TO REMAIN.

LEGEND

T.O. CANOPY ±13'-9"

FIN. GRADE +0'-0" (SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

P1 FINISH TYPE, SEE FINISH SPECIFICATIONS

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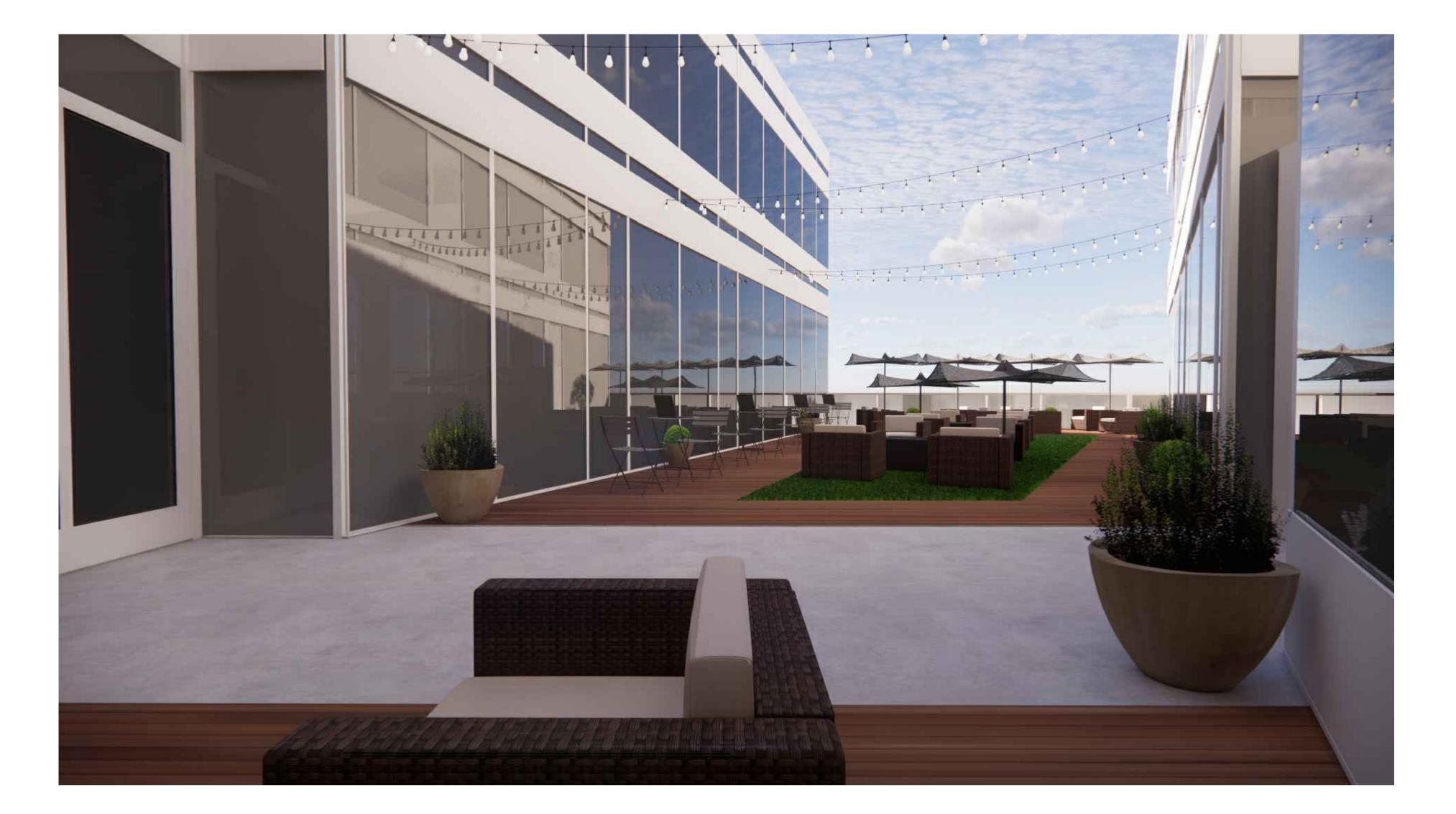
BUILDINGS A/B EXTERIOR ELEVATIONS

Sheet #

A8.1

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PROPOSED EXTERIOR RENDER @ BUILDING A/B ROOF TERRACE (BUILDING C/D ROOF TERRACE SIM. OPP. HAND)

N.T.S.



Droject

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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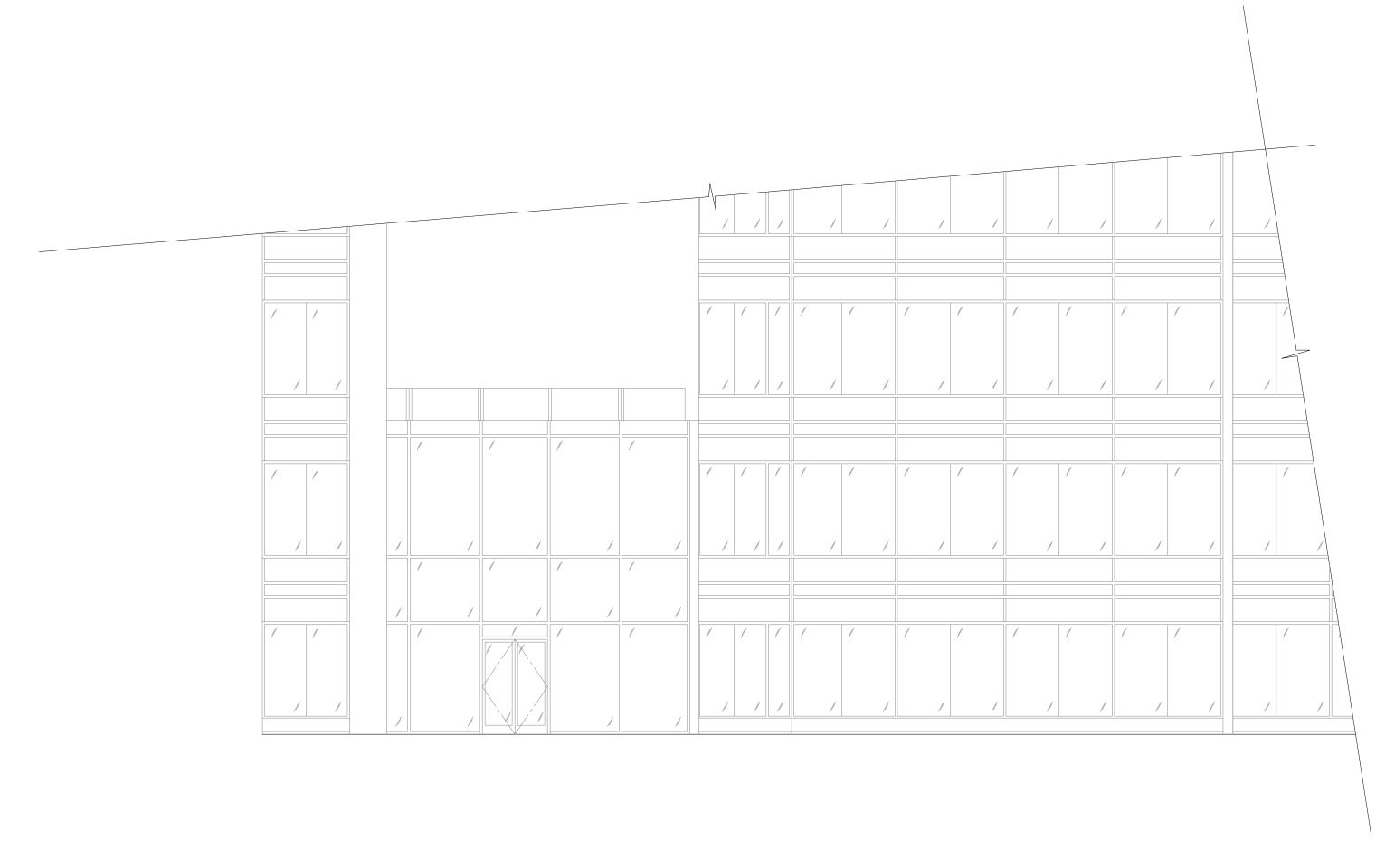
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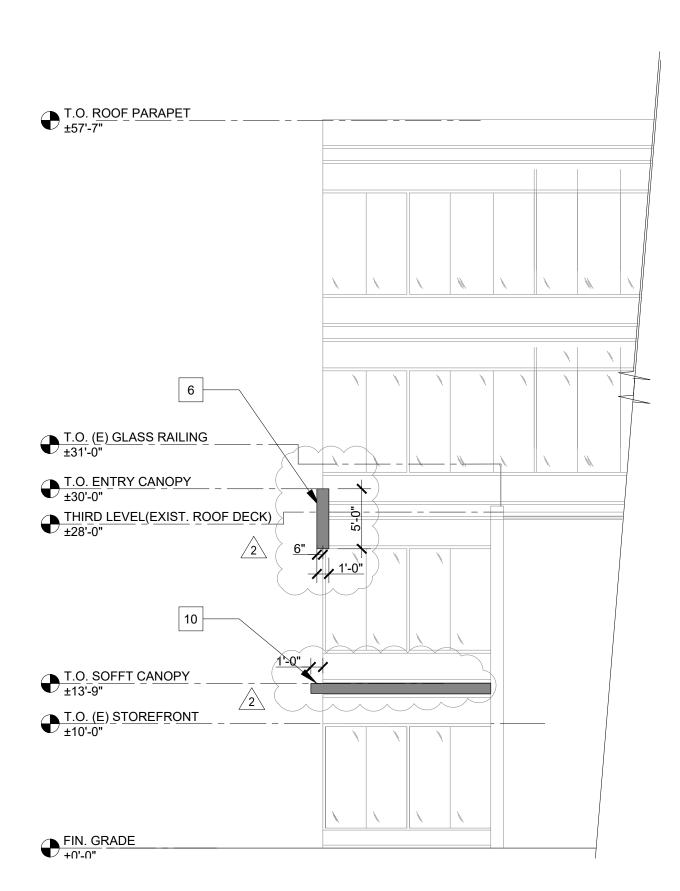
BUILDINGS A/B EXTERIOR RENDERINGS

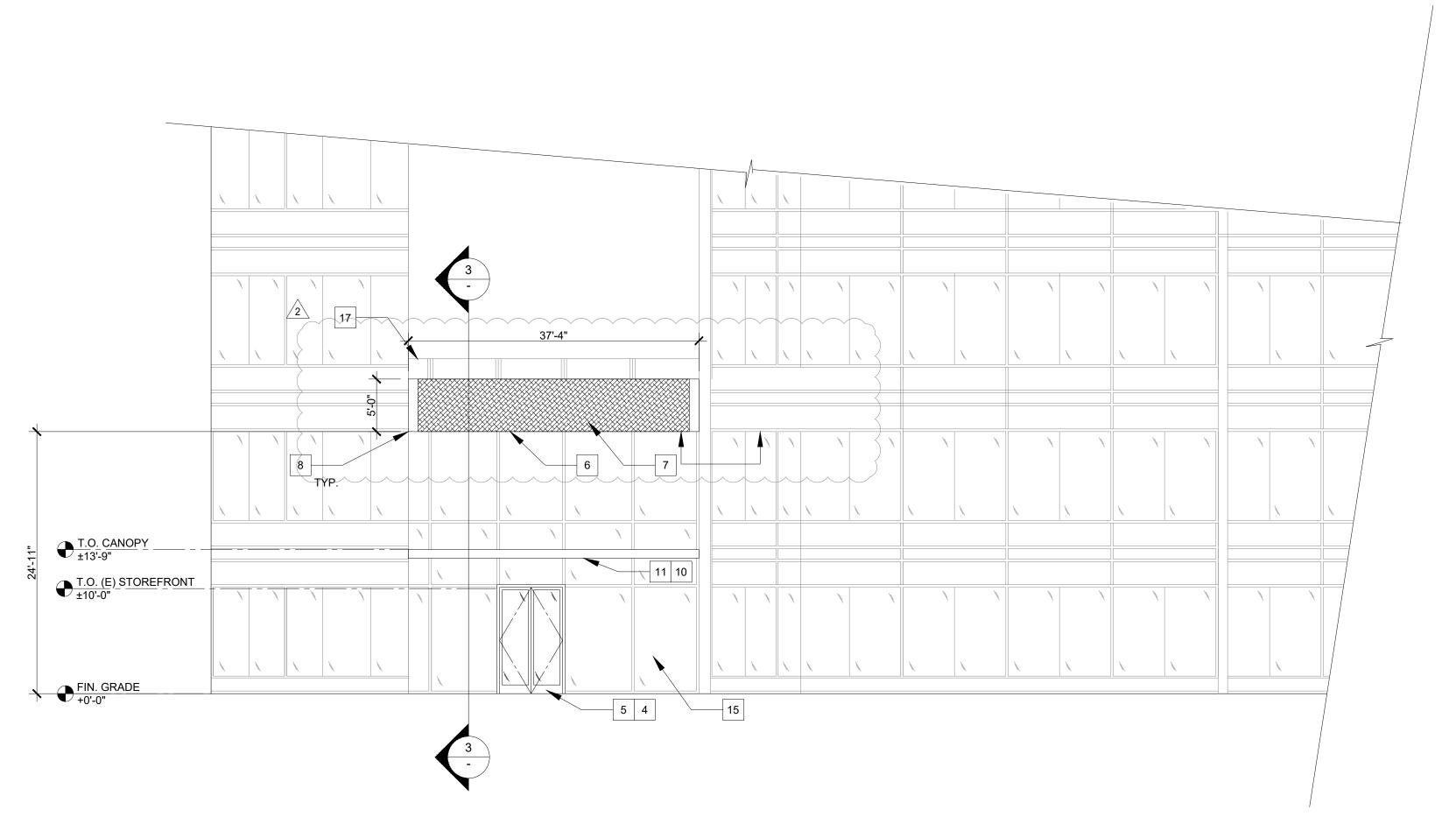
Sheet #

A8.



1 EXISTING EXTERIOR ELEVATION - WEST VIEW





3 SECTION 1/8"=1'-0"

PROPOSED EXTERIOR ELEVATION - WEST VIEW

# SHEET NOTES

REFER TO SHEET G0.1 FOR PROJECT SPECIFICATIONS.
 REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.



Proje

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



### **KEY NOTES**

- 1 NOT USED.
  2 NOT USED.
- NOT USED.NOT USED.
- NEW FULL HEIGHT STOREFRONT DOOR ENTRY TO MATCH EXISTING FINISH.
- PROVIDE PANIC HARDWARE AND CARD READER ACCESS.
- NEW ALUMINUM THRESHOLD AT DOOR.
   NEW EYEBROW SOFFIT (SHOWN DASHED): STEEL FRAMING CLAD WITH METAL
- PANEL MT1. OVERALL BOXED SOFFIT TO BE 44'-2" W. X 60" H. X 18" D.

  7 NEW VISTAFOLIA ARTIFICIAL GREEN WALL SYSTEM (SHOWN CROSS-HATCHED),

  OVERALL 36'-6" WIDE AND 48'-0" TALL X 10" DEEP BY HABITAT HORTICULTURE.

  ARTIFICIAL GREEN WALL SYSTEM TO BE INSET INTO EYEBROW SOFFIT AT FRONT

  FACE, TOP FACE OF CANOPY AND REAR FACE.
- 8 PROVIDE CONCEALED STRUCTURAL SUPPORT AND ATTACHMENT FOR EYEBROW SOFFIT TO EXISTING BUILDING STRUCTURE WITH WATERPROOFING PROTECTION.
  9 NOT USED.
- 10 NEW 36'-0" W. X 10" H. X 60" D. ALUMINUM TUBE FRAMED CANOPY AT FRONT ENTRY (SHOWN DASHED). ROOF PANEL: ALUMINUM PANEL/DECKING TO ENCLOS THE TOP OF THE CANOPY WITH 3" NOSING RETURN DOWN THE FACE/SIDES.

  CANOPY TO BE PAINTED PPG ULTRA DURABLE RAL COLOR TO MATCH P5.

  CONTACT HANNA AT VISIBLE INNOVATIONS (408)350-7000.
- 11 PROVIDE STRUCTURAL SUPPORT AND ATTACHMENT TO WALL PER MANUFACTURER'S RECOMMENDATIONS.
- 12 NOT USED.
- 13 NOT USED.
- 14 EXISTING STOREFRONT TO REMAIN.
- 15 NOT USED
- 16 EXISTING GUARDRAIL AT ROOFTOP TERRACE TO REMAIN.

# LEGEND

(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

P1 FINISH TYPE, SEE FINISH SPECIFICATIONS

Stam

PRELIMINARY -NOT FOR CONSTRUCTION

City

NO. DESCRIPTION

Issued for Planning Review 04.01.22

Plan Check Response 06.30.22

Plan Check Response 08.31.22

Planning Revisions 11.08.22

Final Planning Set 12.16.22

Job # 21068
Date 04.01.22
Scale As Shown

Sheet Title

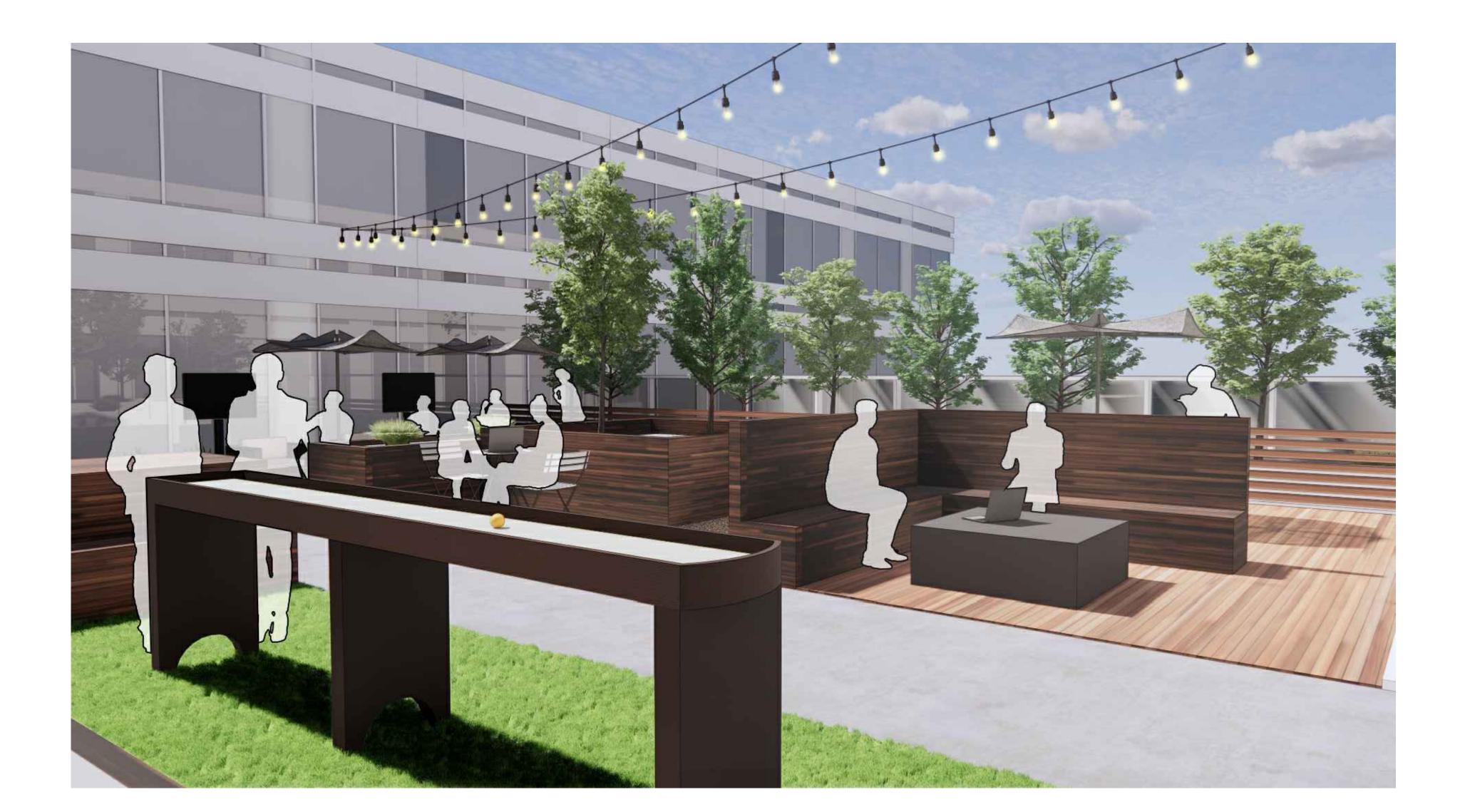
BUILDINGS C/D EXTERIOR ELEVATIONS

Sheet #

A8.3



N.T.S.



PROPOSED EXTERIOR RENDER @ BUILDING B/C ROOF TERRACE

N.T.S.



ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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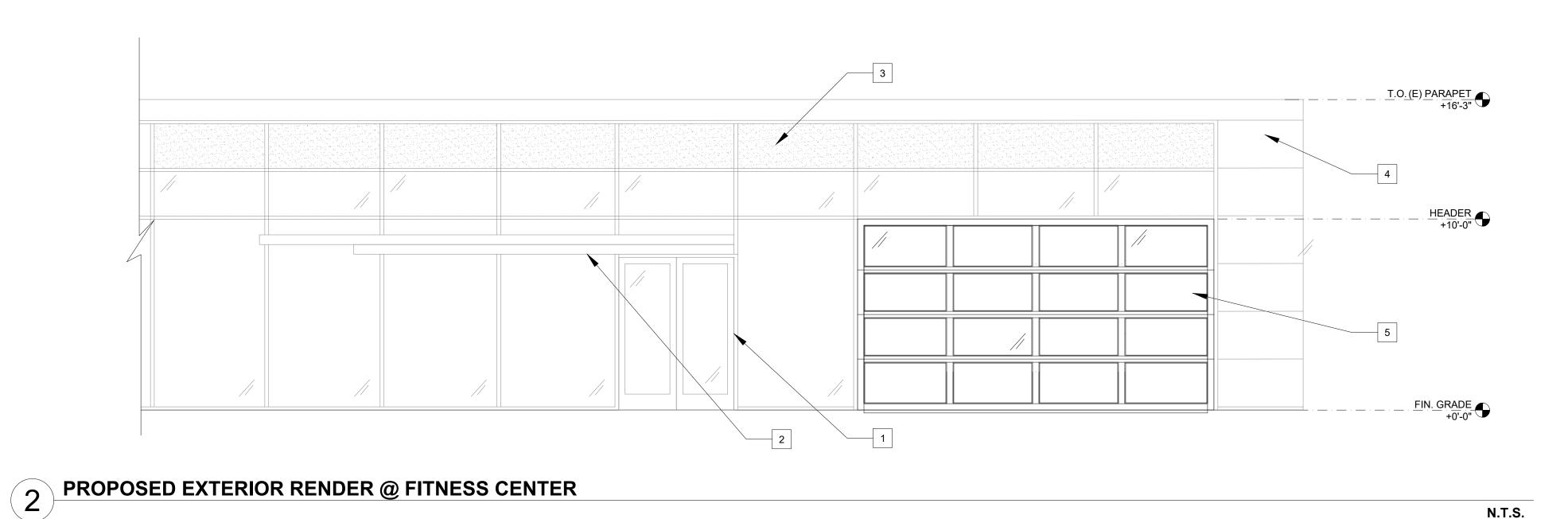
NO.	DESCRIPTION	DATE
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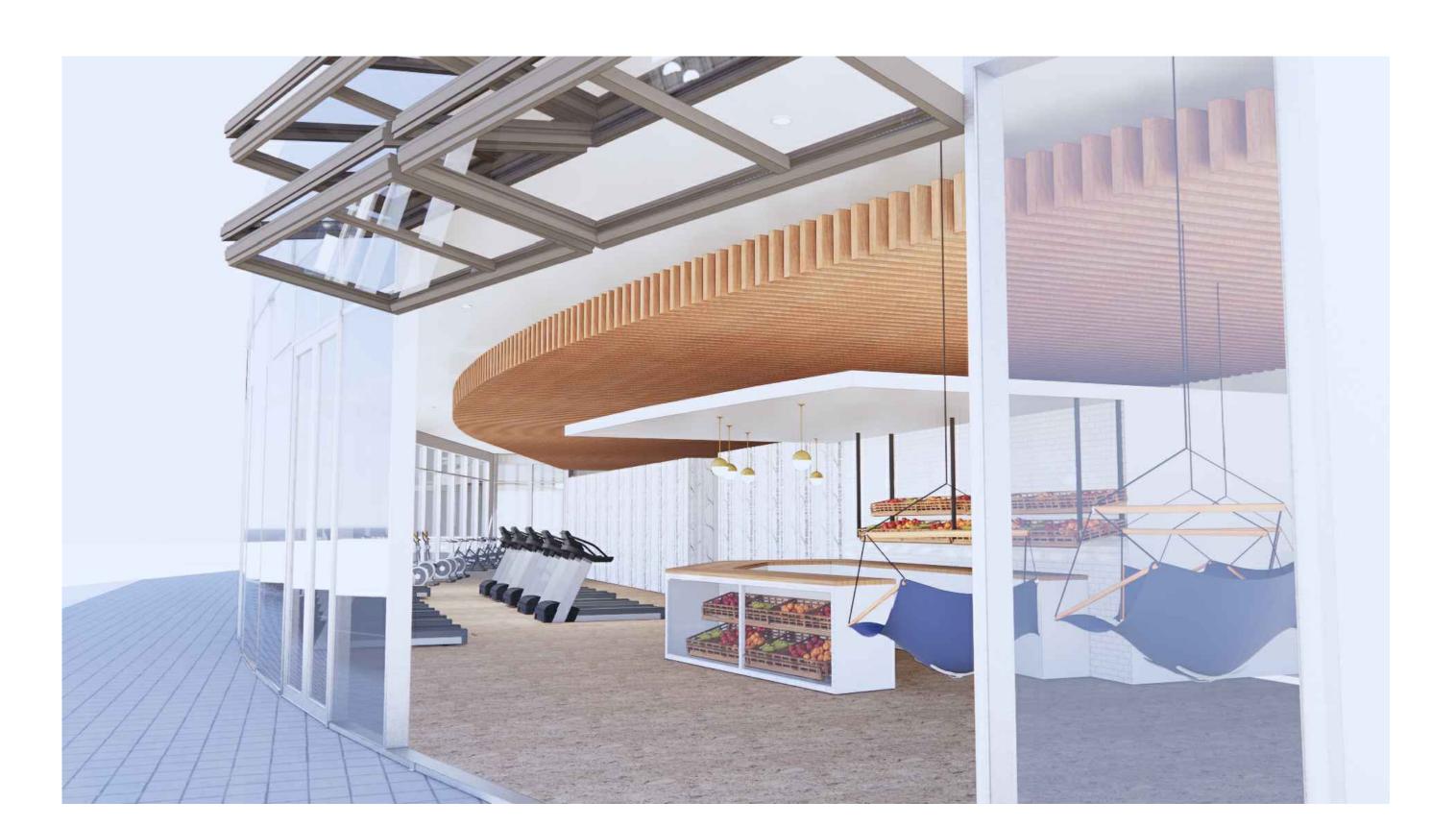
Job# 21068 04.01.22 As Shown

Sheet Title

BUILDINGS B/C & C/D EXTERIOR RENDERINGS

Sheet #





1 PROPOSED EXTERIOR RENDER @ FITNESS CENTER

N.T.S.

N.T.S.

SHEET NOTES

1. REFER TO SHEET G0.1 FOR PROJECT SPECIFICATIONS.
2. REFER TO SHEET A10.1 FOR FINISH SPECIFICATIONS.



ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



### **KEY NOTES**

- EXISTING STOREFRONT TO REMAIN.
- EXISTING METAL AWNING TO REMAIN. EXISTING SPANDREL GLASS TO REMAIN.
- EXISTING METAL PANEL TO REMAIN.
- NEW GLASS DOOR IN ALUMINUM FRAME. CROWN SST-II HYDRAULIC BI FOLD OR SIMILAR IN POWDER COATED FINISH TO MATCH EXISTING ALUMINUM STOREFRONT FINISH (CLEAR ANODIZED). GLAZING TO BE TEMPERED.

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LEGEND
(SEE SHEET A10.1 FOR FINISH SPECIFICATIONS)

P1 FINISH TYPE, SEE FINISH SPECIFICATIONS

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Sheet Title

BUILDING E FITNESS CENTER-EXTERIOR ELEVATION AND RENDERING

Sheet #

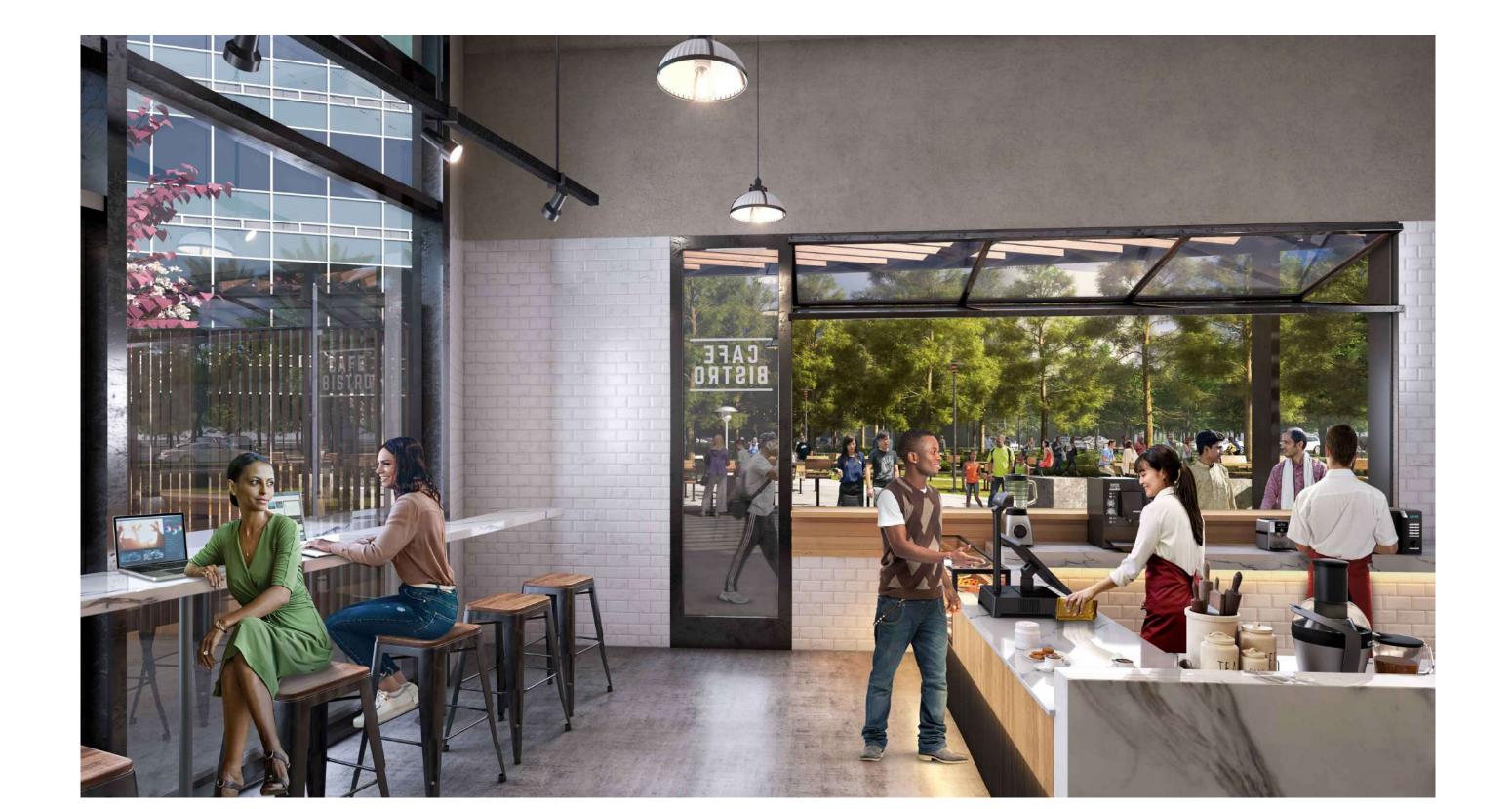
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1 PROPOSED EXTERIOR RENDER @ COFFEE BAR

N.T.S.



PROPOSED INTERIOR RENDER @ COFFEE BAR

N.T.S.



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ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E IMPROVEMENTS 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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Final Planning Set	12.16.22
	Issued for Planning Review Plan Check Response Plan Check Response Planning Revisions

Job#	21068
Date	04.01.22
Scale	As Shown

Sheet Title

BUILDING E COFFEE BAR-EXTERIOR AND INTERIOR RENDERINGS

Sheet #

A8.6

#### **EXTERIOR FINISHES**

- DT1

  DESC
  MFG
  STYLE
  SIZE

  ROOF DECK WOOD TILES
  TILE TECH OR SIMILAR
  IPE DECK TILES
  20" X 20"
- DT2

  DESC
  MFG
  TILE TECH OR SIMILAR
  STYLE
  STAMP-TECH FLAT DESIGN
  COLOR
  T.B.D.
  - SIZE 20" X 20"
- DT3

  DESC

  MFG

  TILE TECH OR SIMILAR

  STYLE

  TURF-TRAY ROOFTOP ARTIFICIAL GRASS COLOR T.B.D.
- MT1
  DESC METAL PANEL AT ENTRY CANOPY
  MFG ALUCOBOND AXCENT
  STYLE SMOOTH PANEL COLOR PAINT TO MATCH P7 NOTE
- MT2

  DESC

  MFG

  PAC-CLAD

  STYLE

  BOX RIB WALL PANEL COLOR PAINT TO MATCH P5
- NOTE RUN FLUTES VERTICAL P5 DESC ACCENT PAINT
  MFG SHERWIN WILLIAMS
  COLOR IRON ORE
- NUMBER SW 7069 P6 DESC TRELLIS SLATS
  MFG TNEMEC
  COLOR PAINT TO MATCH RAL 8024
- P7 DESC ACCENT PAINT SHERWIN WILLIAMS

COLOR LINK GRAY NUMBER SW 6200

- P8 DESC TRELLIS STRUCTURE TNEMEC COLOR PAINT TO MATCH RAL 8019
- WD1 DESC WOOD COUNTER/APRON AT COFFEE BAR WHITE OAK NOTES MATCH ARCHITECT'S SAMPLE
- WD2

  DESC WOOD SLAT FENCE AND WALL SCREEN
  STYLE CLEAR ALL HEART REDWOOD
  NOTES MATCH ARCHITECT'S SAMPLE





Project

ELLIS STREET OWNER, LLC BUILDINGS A/B/C/D/E **IMPROVEMENTS** 350-380 ELLIS STREET MOUNTAIN VIEW, CA 94043



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loh#		21068

Sheet Title

FINISH SPECIFICATIONS

04.01.22

As Shown

Sheet #



VIEW AT CROSSROADS



VIEW AT CAFE TRELLIS



VIEW OF QUAD VINE TRELLIS



(10) VIEW OF ENTRY FENCE



VIEW UNDER REDWOODS



5 VIEW AT OLIVE SUNKEN PLAZA



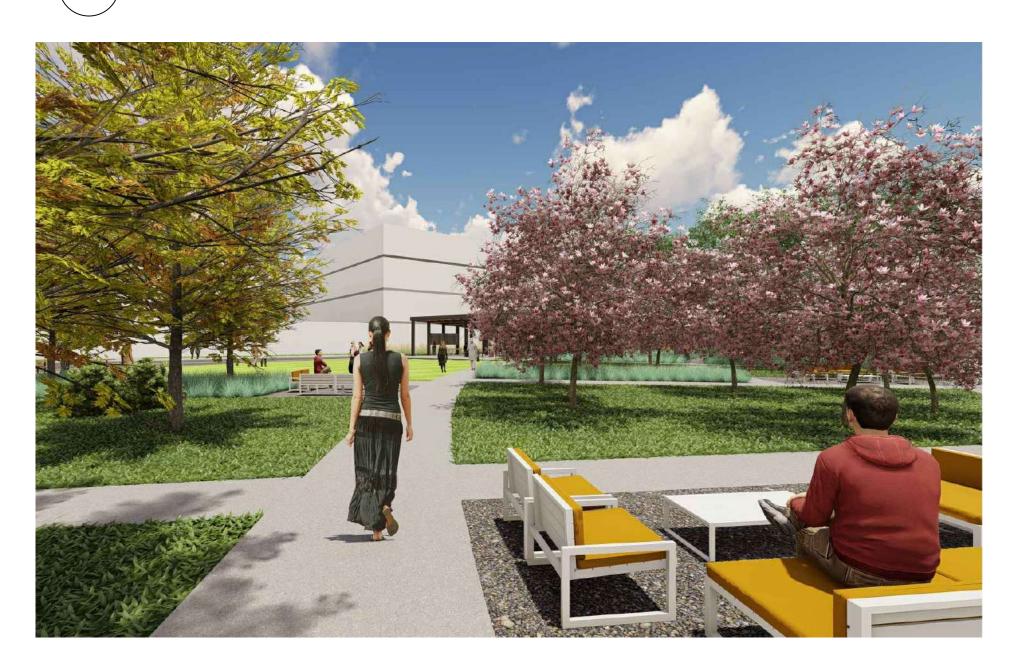




VIEW AT ENTRY MEADOW



VIEW AT OLIVE SUNKEN PLAZA



VIEW AT GINGKO GROVE



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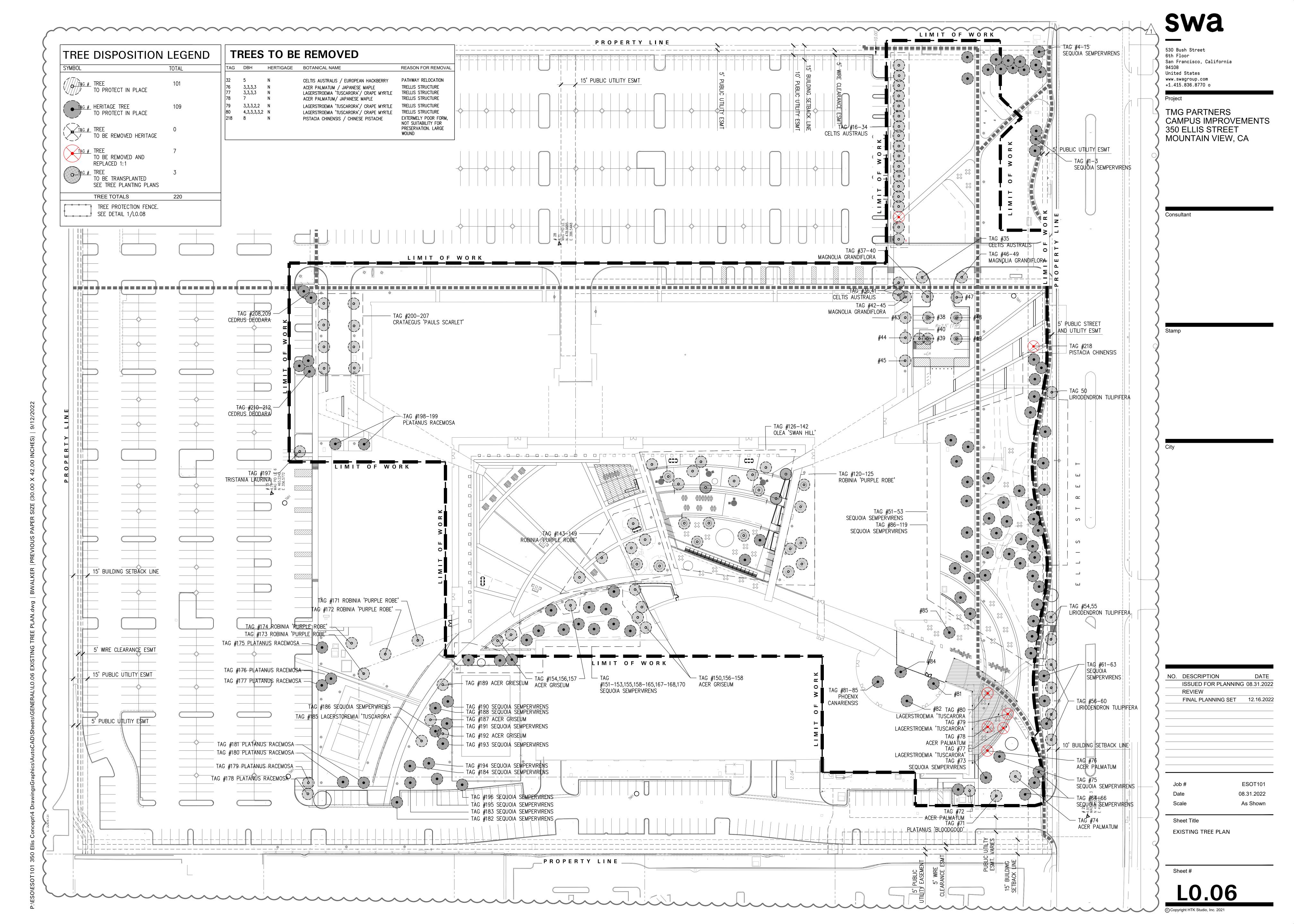
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CAMPUS IMPROVEMENTS 350 ELLIS STREET MOUNTAIN VIEW, CA

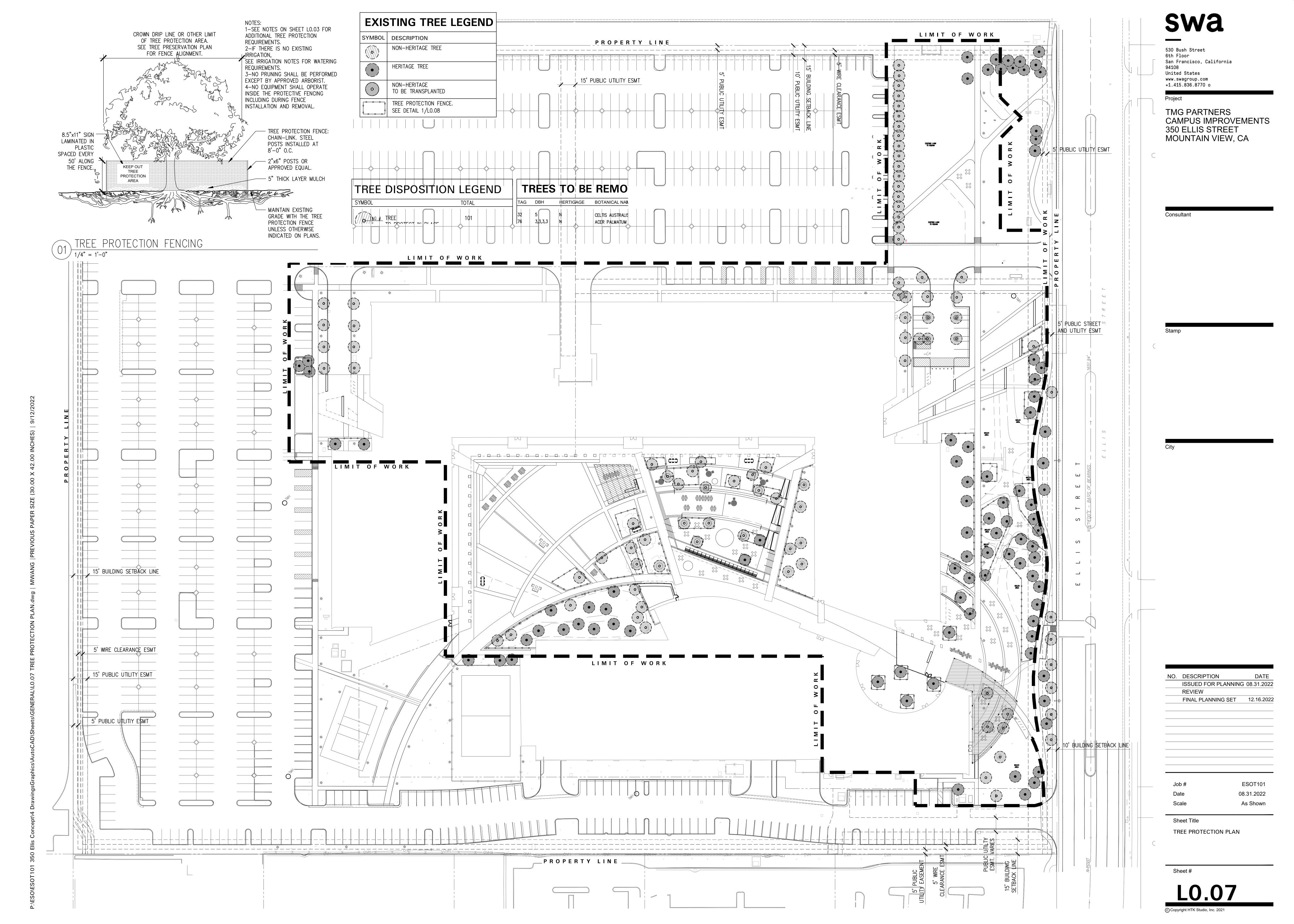
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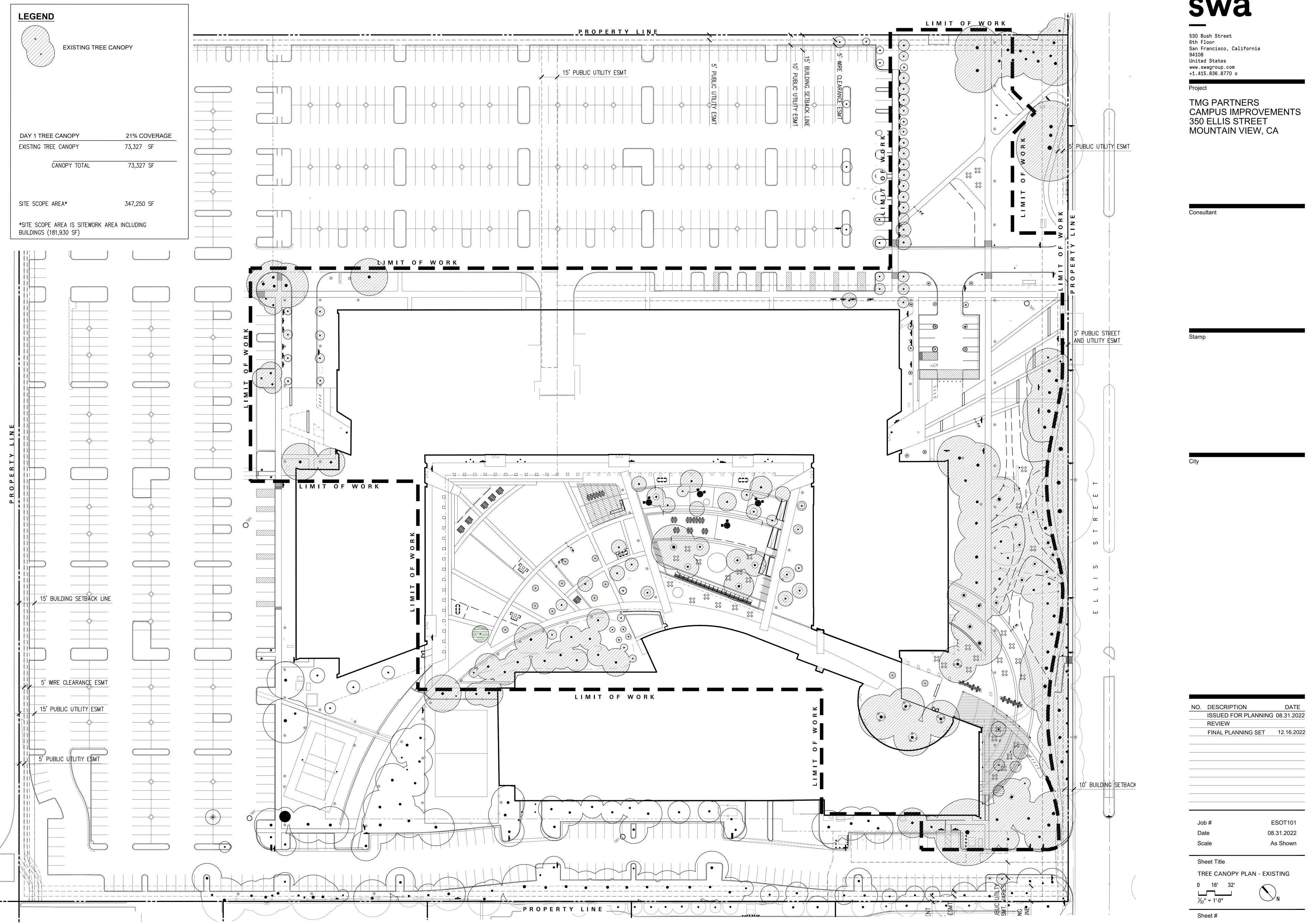
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Sheet Title PROPOSED SITE VIEWS

L0.03





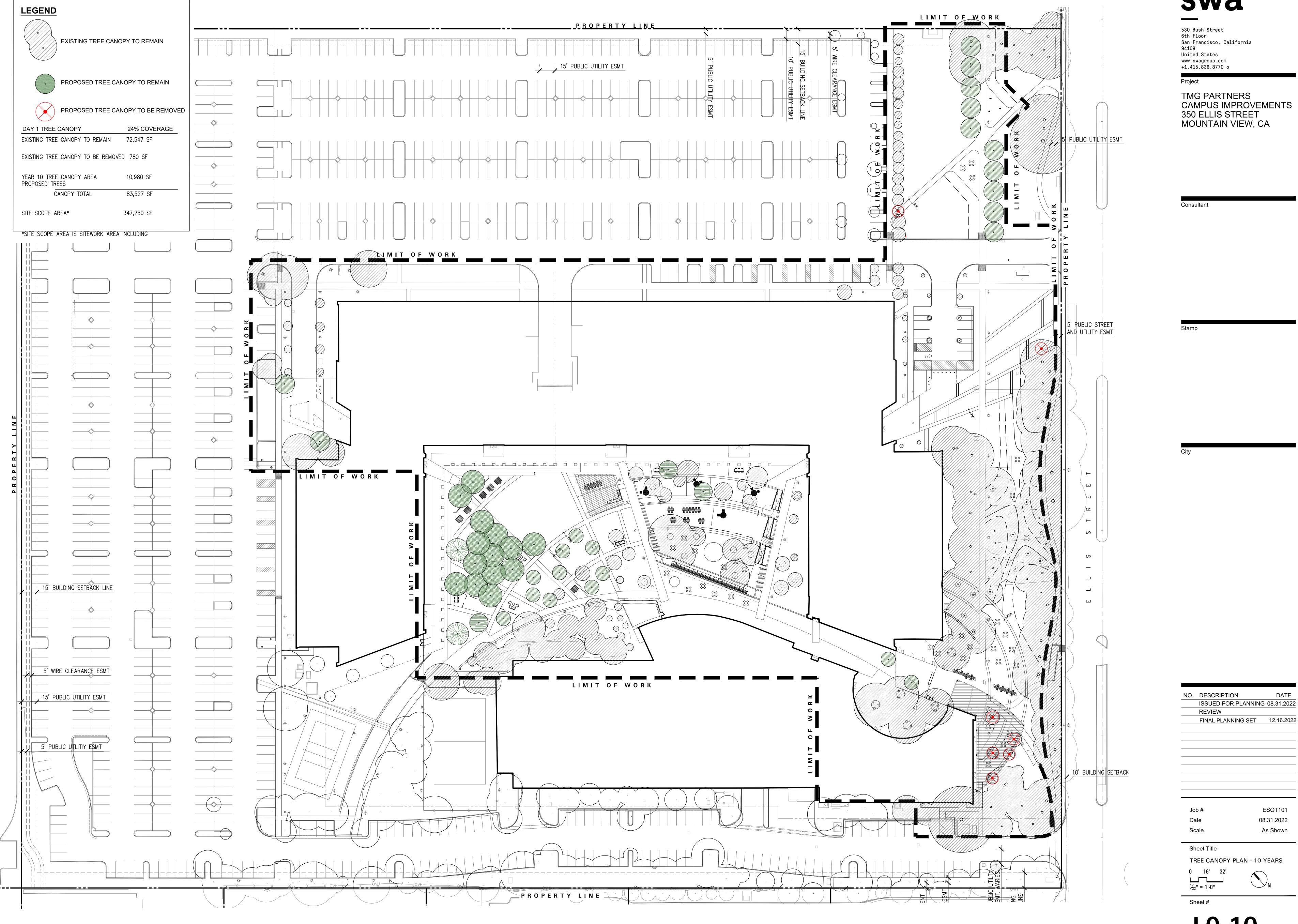


TMG PARTNERS CAMPUS IMPROVEMENTS 350 ELLIS STREET

ISSUED FOR PLANNING 08.31.2022

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TREE CANOPY PLAN - EXISTING



CAMPUS IMPROVEMENTS 350 ELLIS STREET

ISSUED FOR PLANNING 08.31.2022

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TREE CANOPY PLAN - 10 YEARS

L0.10



San Francisco, California

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TREE CANOPY PLAN - MATURE

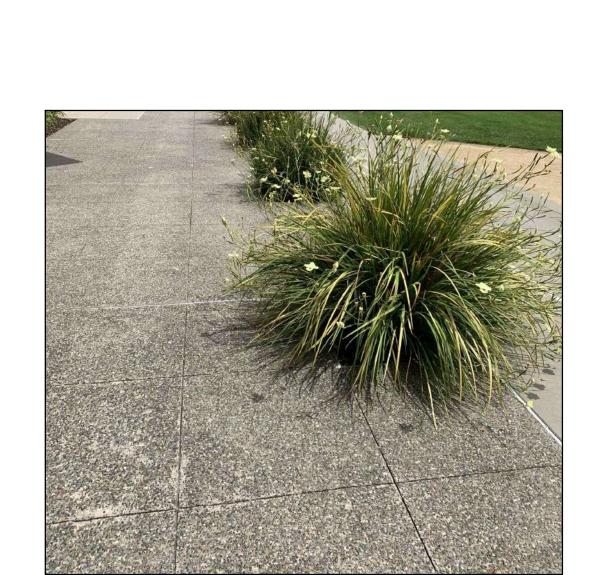
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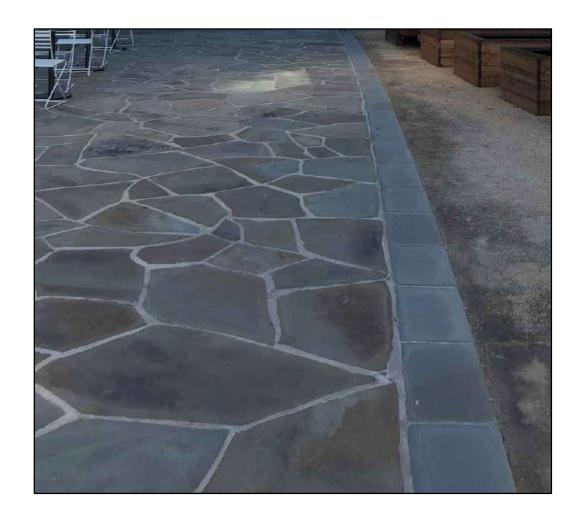
TMG PARTNERS CAMPUS IMPROVEMENTS 350 ELLIS STREET MOUNTAIN VIEW, CA

Consultant



CAST-IN-PLACE CONCRETE PAVING





(P1) EXISTING PAVING TO REMAIN



PRECAST CONCRETE PERMEABLE PAVER, NON PERMEABLE

BASALITE 3" X 9", COLOR: PESCADERO, RUNNING BOND



GRAVEL PAVING

LYNGSO: BLUE FINES, 3/8" GAP GRADED

Sheet # L0.12

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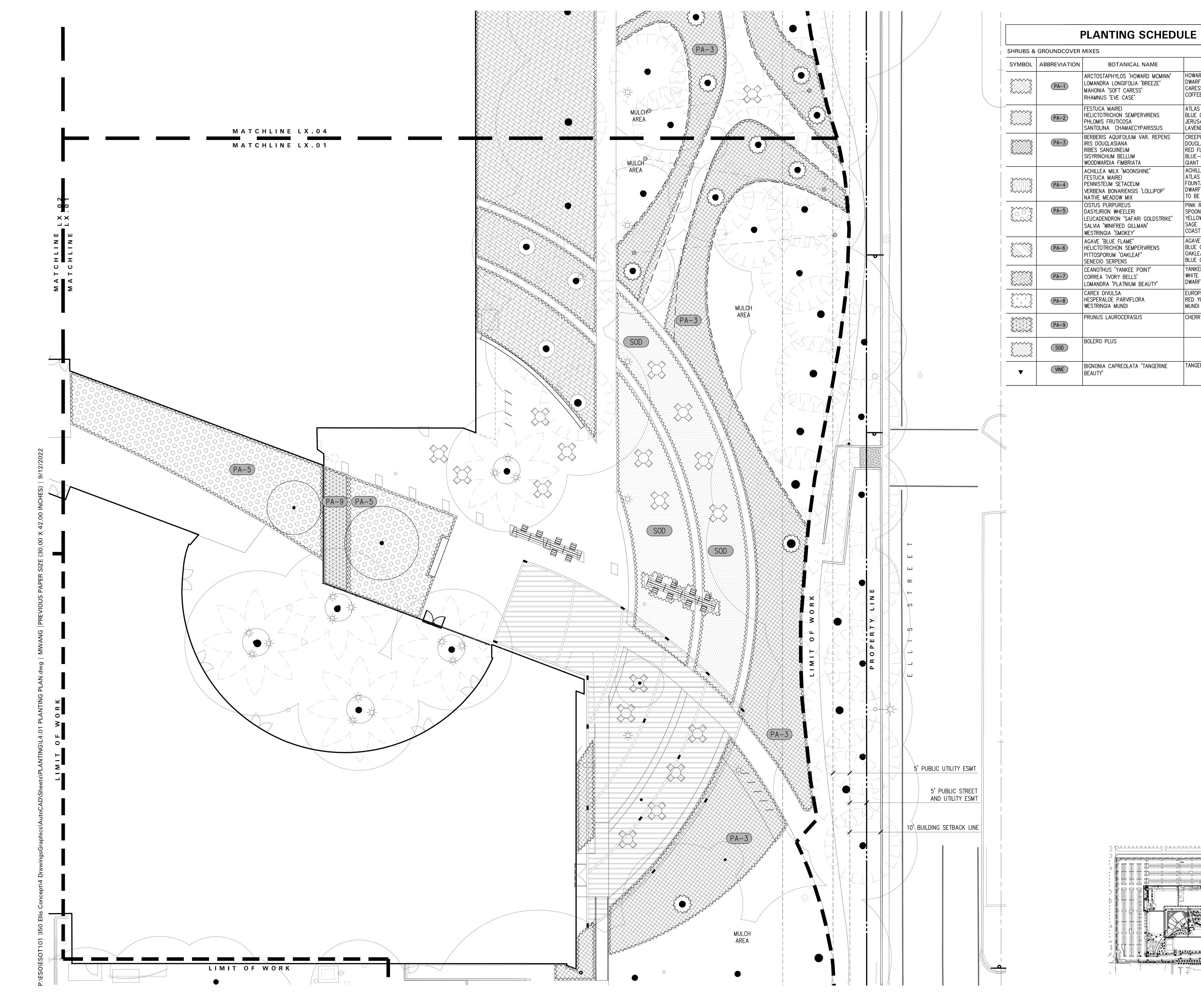
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Project

**COMMON NAME** 

HOWARD MCMINN MANZANITA

DWARF MAT RUSH

COFFEEBERRY

ATLAS FESCUE

BLUE OAT GRASS

JERUSALEM SAGE

LAVENDER COTTON

CREEPING MAHONIA

BLUE-EYED GRASS

ACHILLEA MOONSHINE

GIANT CHAIN FERN

FOUNTAIN GRASS

TO BE SELECTED

PINK ROCKROSE

SPOON YUCCA

YELLOW CONEBUSH

COAST ROSEMARY

BLUE OAT GRASS

DWARF MAT RUSH

RED YUCCA

CHERRY LAUREL

OAKLEAF PITTOSPORUM

YANKEE POINT CEANOTHUS

WHITE AUSTRALIAN FUSCHIA

EUROPEAN GRAY SEDGE

MUNDI COAST ROSEMARY

TANGERINE BEAUTY CROSS VINE

BLUE CHALK STICKS

DWARF PURPLE TOP

RED FLOWERING CURRANT

DOUGLAS IRIS

ATLAS FESCUE

CARESS HOLLY GRAPE

**BOTANICAL NAME** 

TMG PARTNERS CAMPUS IMPROVEMENTS 350 ELLIS STREET MOUNTAIN VIEW, CA

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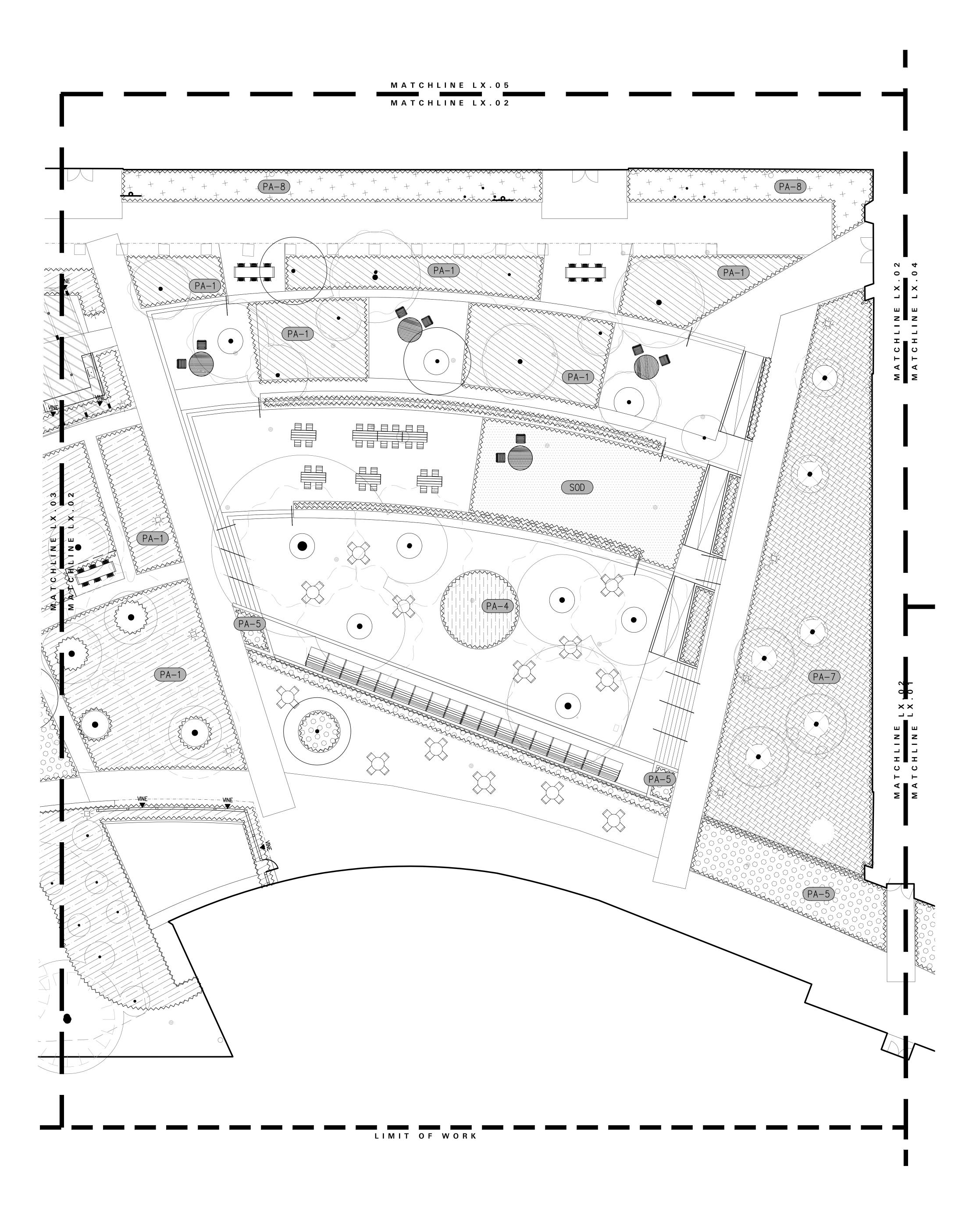
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Sheet Title PLANTING PLAN

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KEY MAP

Sheet #



SHRUBS &	SHRUBS & GROUNDCOVER MIXES				
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME		
	PA-1	ARCTOSTAPHYLOS 'HOWARD MCMINN' LOMANDRA LONGIFOLIA 'BREEZE' MAHONIA 'SOFT CARESS' RHAMNUS 'EVE CASE'	HOWARD MCMINN MANZANITA DWARF MAT RUSH CARESS HOLLY GRAPE COFFEEBERRY		
	PA-2	FESTUCA MAIREI HELICTOTRICHON SEMPERVIRENS PHLOMIS FRUTICOSA SANTOLINA CHAMAECYPARISSUS	ATLAS FESCUE BLUE OAT GRASS JERUSALEM SAGE LAVENDER COTTON		
	PA-3	BERBERIS AQUIFOLIUM VAR. REPENS IRIS DOUGLASIANA RIBES SANGUINEUM SISYRINCHUM BELLUM WOODWARDIA FIMBRIATA	CREEPING MAHONIA DOUGLAS IRIS RED FLOWERING CURRANT BLUE-EYED GRASS GIANT CHAIN FERN		
	PA-4	ACHILLEA MILX 'MOONSHINE' FESTUCA MAIREI PENNISTEUM SETACEUM VERBENA BONARIENSIS 'LOLLIPOP' NATIVE MEADOW MIX	ACHILLEA MOONSHINE ATLAS FESCUE FOUNTAIN GRASS DWARF PURPLE TOP TO BE SELECTED		
	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY		
	(PA-6)	AGAVE 'BLUE FLAME' HELICTOTRICHON SEMPERVIRENS PITTOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTOSPORUM BLUE CHALK STICKS		
	PA-7	CEANOTHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATNIUM BEAUTY'	YANKEE POINT CEANOTHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH		
+ + +	(PA-8)	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY		
	(PA-9)	PRUNUS LAUROCERASUS	CHERRY LAUREL		
	SOD	BOLERO PLUS			
<b>T</b>	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS \		

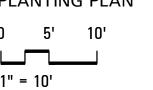
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SS	Project TMG PARTNERS	
GE Fon	CAMPUS IMPROVEMENTS	
DNIA	350 ELLIS STREET	
CURRANT ASS ERN	MOUNTAIN VIEW, CA	
ISHINE		
SS TOP D		
JSH		
RY	Consultant	
SS SPORUM TICKS		
CEANOTHUS IAN FUSCHIA SH		
Y SEDGE		
ROSEMARY		
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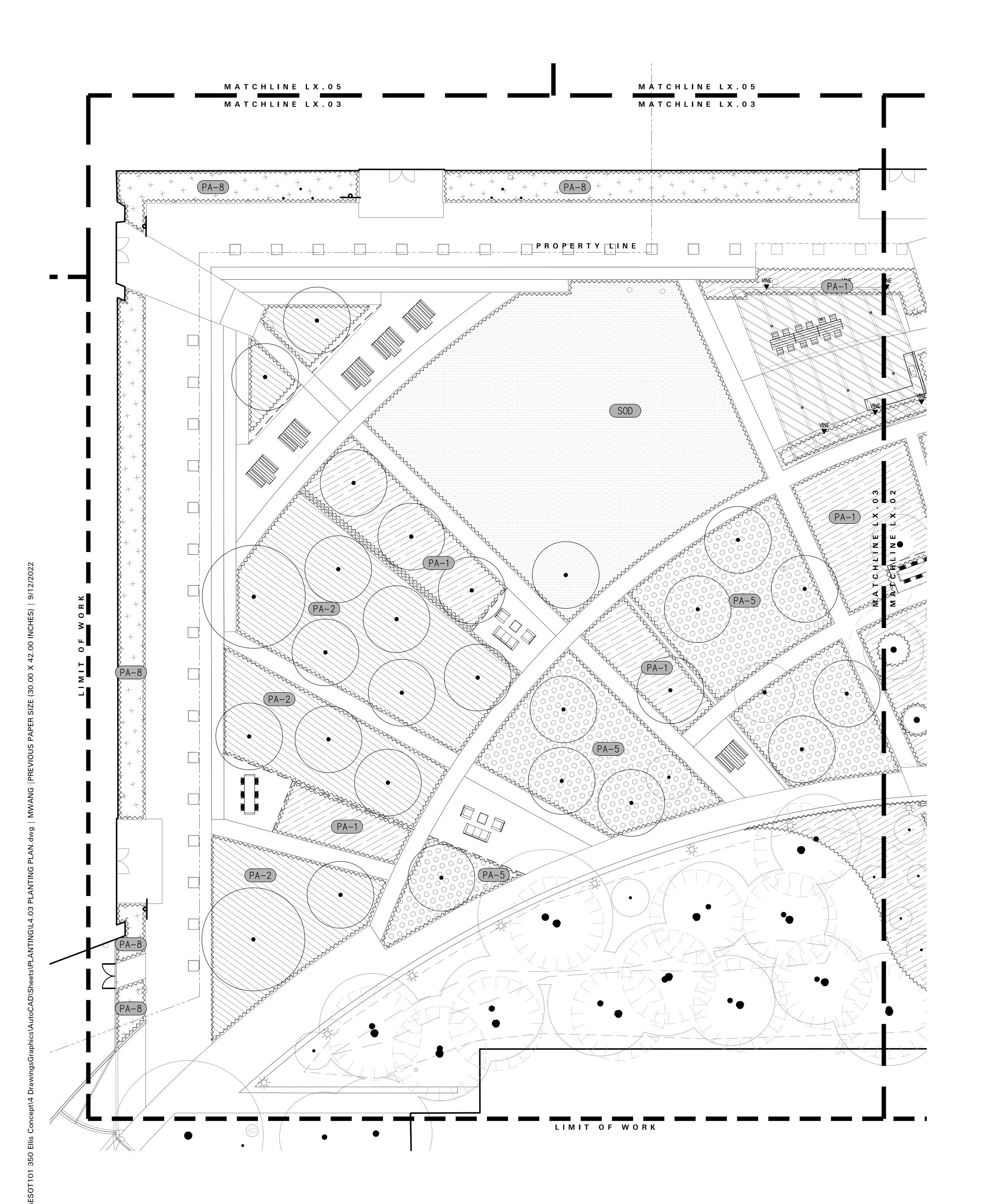
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HRUBS &	GROUNDCOVER	MIXES	
YMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
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	PA-5	CISTUS PURPUREUS DASYLIRION WHEELERI LEUCADENDRON 'SAFARI GOLDSTRIKE' SALVIA 'WINIFRED GILLMAN' WESTRINGIA 'SMOKEY'	PINK ROCKROSE SPOON YUCCA YELLOW CONEBUSH SAGE COAST ROSEMARY
	(PA-6)	AGAVE 'BLUE FLAME' HELICTOTRICHON SEMPERVIRENS PITTOSPORUM 'OAKLEAF' SENECIO SERPENS	AGAVE BLUE OAT GRASS OAKLEAF PITTOSPORUM BLUE CHALK STICKS
	PA-7	CEANOTHUS 'YANKEE POINT' CORREA 'IVORY BELLS' LOMANDRA 'PLATNIUM BEAUTY'	YANKEE POINT CEANOTHUS WHITE AUSTRALIAN FUSCHIA DWARF MAT RUSH
+ + +	(PA-8)	CAREX DIVULSA HESPERALOE PARVIFLORA WESTRINGIA MUNDI	EUROPEAN GRAY SEDGE RED YUCCA MUNDI COAST ROSEMARY
	PA-9	PRUNUS LAUROCERASUS	CHERRY LAUREL
	SOD	BOLERO PLUS	
•	VINE	BIGNONIA CAPREOLATA 'TANGERINE BEAUTY'	TANGERINE BEAUTY CROSS VINE

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CAMPUS IMPROVEMENTS
350 ELLIS STREET
MOUNTAIN VIEW, CA

Consultant

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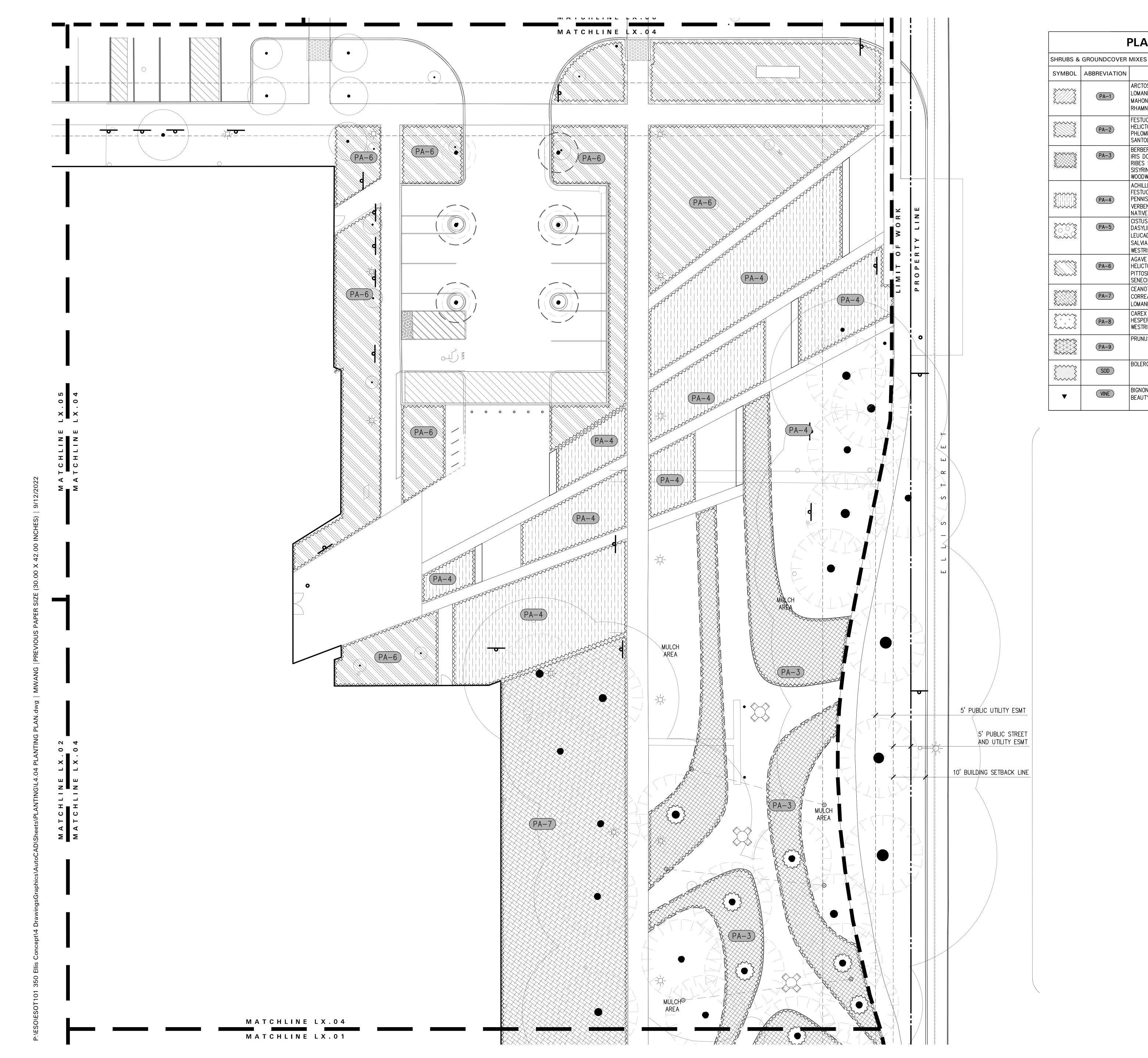
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PLANTING SCHEDULE

**BOTANICAL NAME** 

ARCTOSTAPHYLOS 'HOWARD MCMINN'

LOMANDRA LONGIFOLIA 'BREEZE'

HELICTOTRICHON SEMPERVIRENS

SANTOLINA CHAMAECYPARISSUS

BERBERIS AQUIFOLIUM VAR. REPENS

MAHONIA 'SOFT CARESS'

RHAMNUS 'EVE CASE'

PHLOMIS FRUTICOSA

FESTUCA MAIREI

IRIS DOUGLASIANA

FESTUCA MAIREI

RIBES SANGUINEUM

SISYRINCHUM BELLUM

WOODWARDIA FIMBRIATA

PENNISTEUM SETACEUM

NATIVE MEADOW MIX CISTUS PURPUREUS

DASYLIRION WHEELERI

WESTRINGIA 'SMOKEY'

AGAVE 'BLUE FLAME'

SENECIO SERPENS

CAREX DIVULSA

WESTRINGIA MUNDI

BOLERO PLUS

SALVIA 'WINIFRED GILLMAN'

PITTOSPORUM 'OAKLEAF'

CORREA 'IVORY BELLS'

HESPERALOE PARVIFLORA

PRUNUS LAUROCERASUS

CEANOTHUS 'YANKEE POINT'

LOMANDRA 'PLATNIUM BEAUTY'

BIGNONIA CAPREOLATA 'TANGERINE

HELICTOTRICHON SEMPERVIRENS

ACHILLEA MILX 'MOONSHINE'

VERBENA BONARIENSIS 'LOLLIPOP'

LEUCADENDRON 'SAFARI GOLDSTRIKE'

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Project

**COMMON NAME** 

HOWARD MCMINN MANZANITA

DWARF MAT RUSH

COFFEEBERRY

ATLAS FESCUE

DOUGLAS IRIS

ATLAS FESCUE

FOUNTAIN GRASS

TO BE SELECTED

PINK ROCKROSE

YELLOW CONEBUSH

COAST ROSEMARY

BLUE OAT GRASS

BLUE CHALK STICKS

DWARF MAT RUSH

RED YUCCA

CHERRY LAUREL

OAKLEAF PITTOSPORUM

YANKEE POINT CEANOTHUS

WHITE AUSTRALIAN FUSCHIA

EUROPEAN GRAY SEDGE

MUNDI COAST ROSEMARY

TANGERINE BEAUTY CROSS VINE

SPOON YUCCA

AGAVE

DWARF PURPLE TOP

BLUE OAT GRASS

JERUSALEM SAGE

LAVENDER COTTON

CREEPING MAHONIA

BLUE-EYED GRASS GIANT CHAIN FERN

ACHILLEA MOONSHINE

RED FLOWERING CURRANT

CARESS HOLLY GRAPE

TMG PARTNERS CAMPUS IMPROVEMENTS 350 ELLIS STREET MOUNTAIN VIEW, CA

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Stamp

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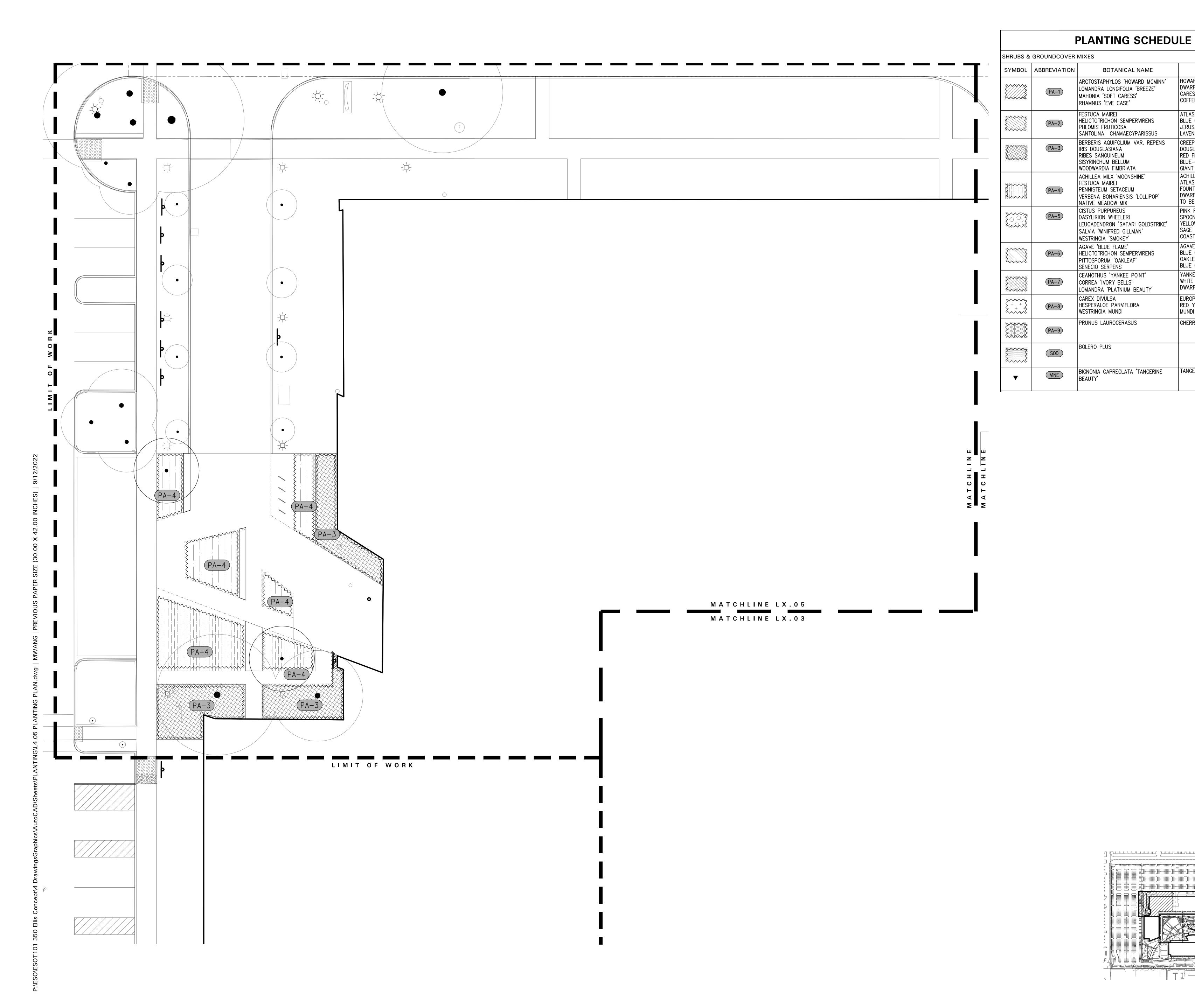
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PLANTING PLAN

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**COMMON NAME** 

HOWARD MCMINN MANZANITA

DWARF MAT RUSH

COFFEEBERRY

ATLAS FESCUE

BLUE OAT GRASS

JERUSALEM SAGE

DOUGLAS IRIS

LAVENDER COTTON

CREEPING MAHONIA

BLUE-EYED GRASS

ACHILLEA MOONSHINE

GIANT CHAIN FERN

ATLAS FESCUE

FOUNTAIN GRASS

TO BE SELECTED

PINK ROCKROSE

SPOON YUCCA

YELLOW CONEBUSH

COAST ROSEMARY

BLUE OAT GRASS

OAKLEAF PITTOSPORUM

YANKEE POINT CEANOTHUS

WHITE AUSTRALIAN FUSCHIA

EUROPEAN GRAY SEDGE

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RED FLOWERING CURRANT

CARESS HOLLY GRAPE

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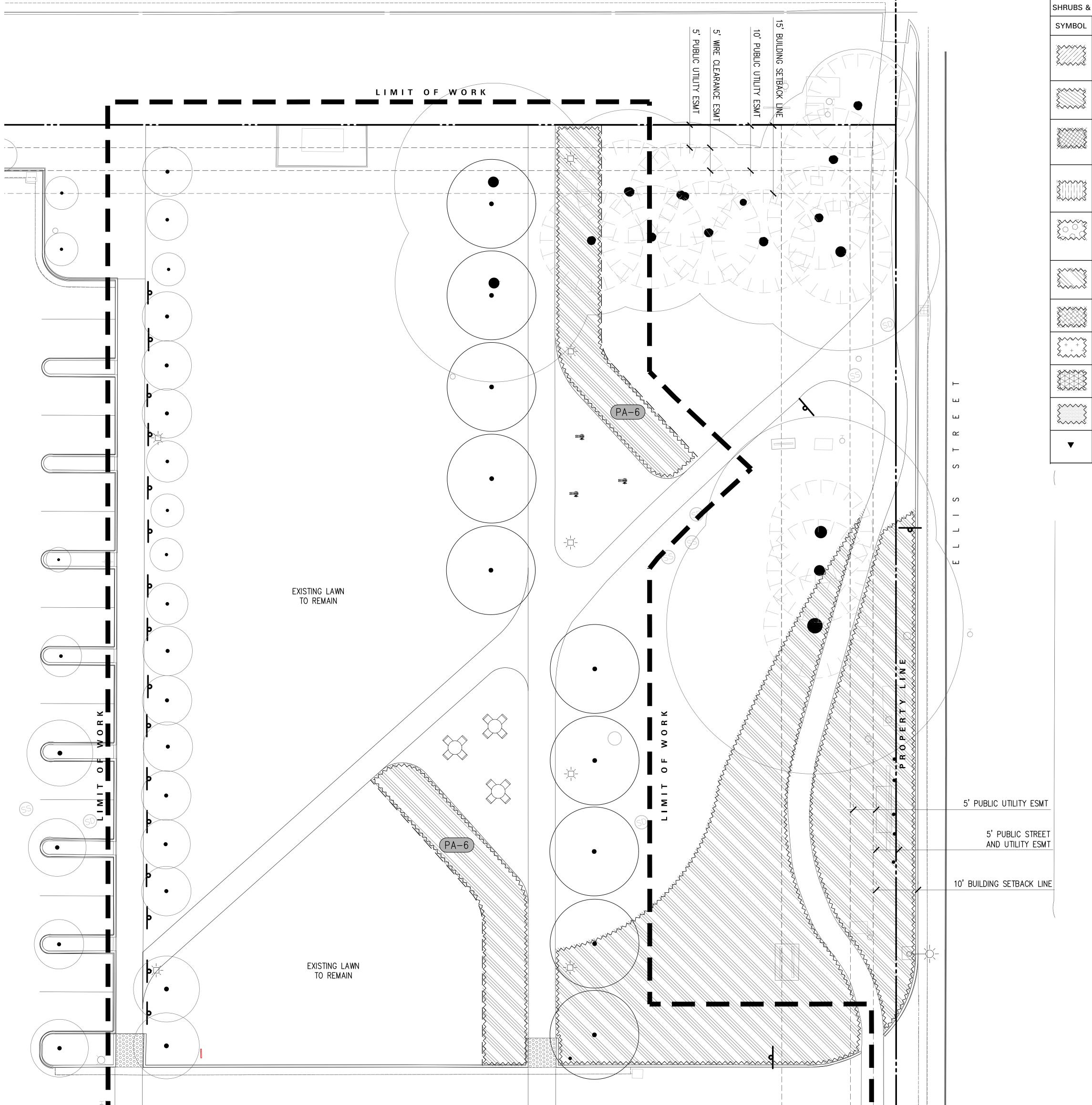
ESOT101 Job#

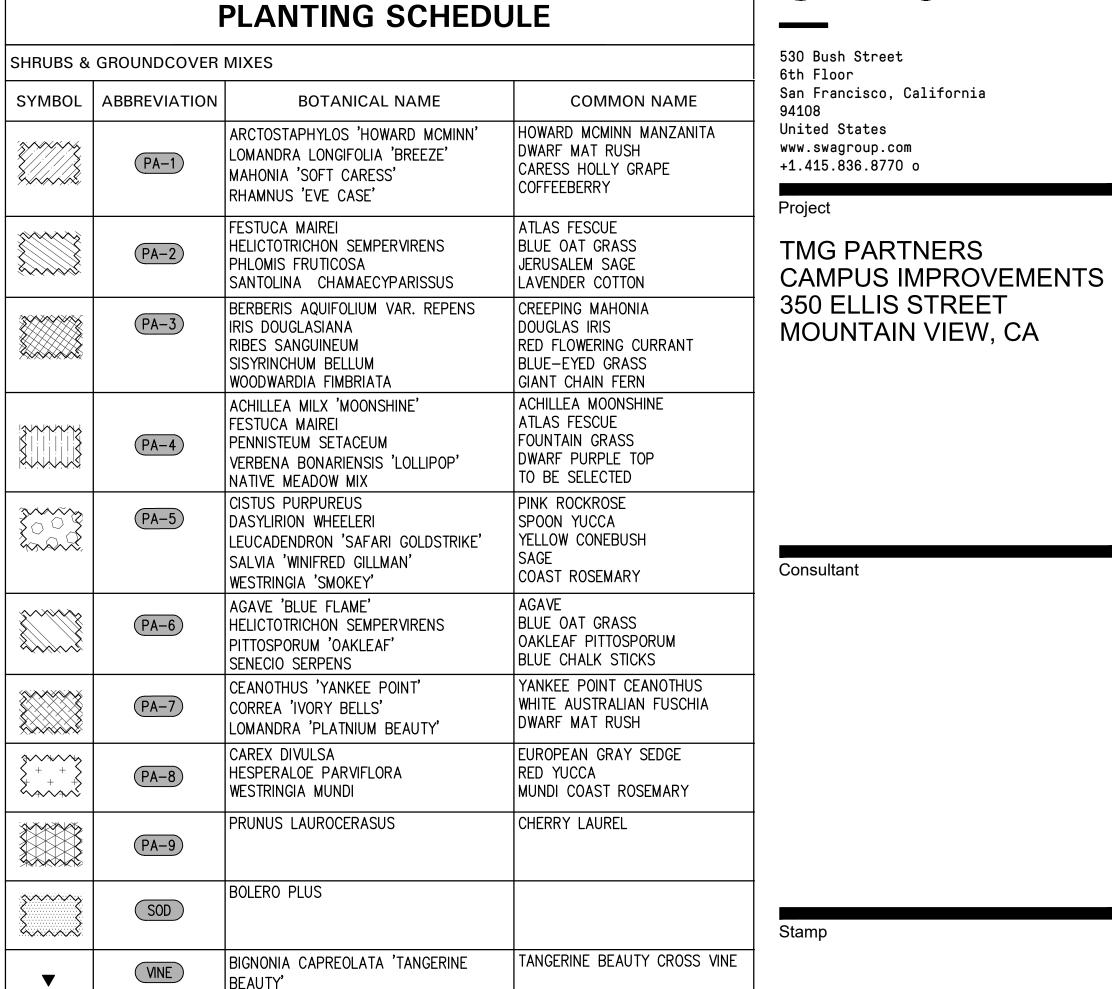
08.31.2022 As Shown Scale

Sheet Title PLANTING PLAN

Sheet #

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Sheet Title
PLANTING PLAN
0 5' 10'

5' 10' " = 10'

heet #

L4.06

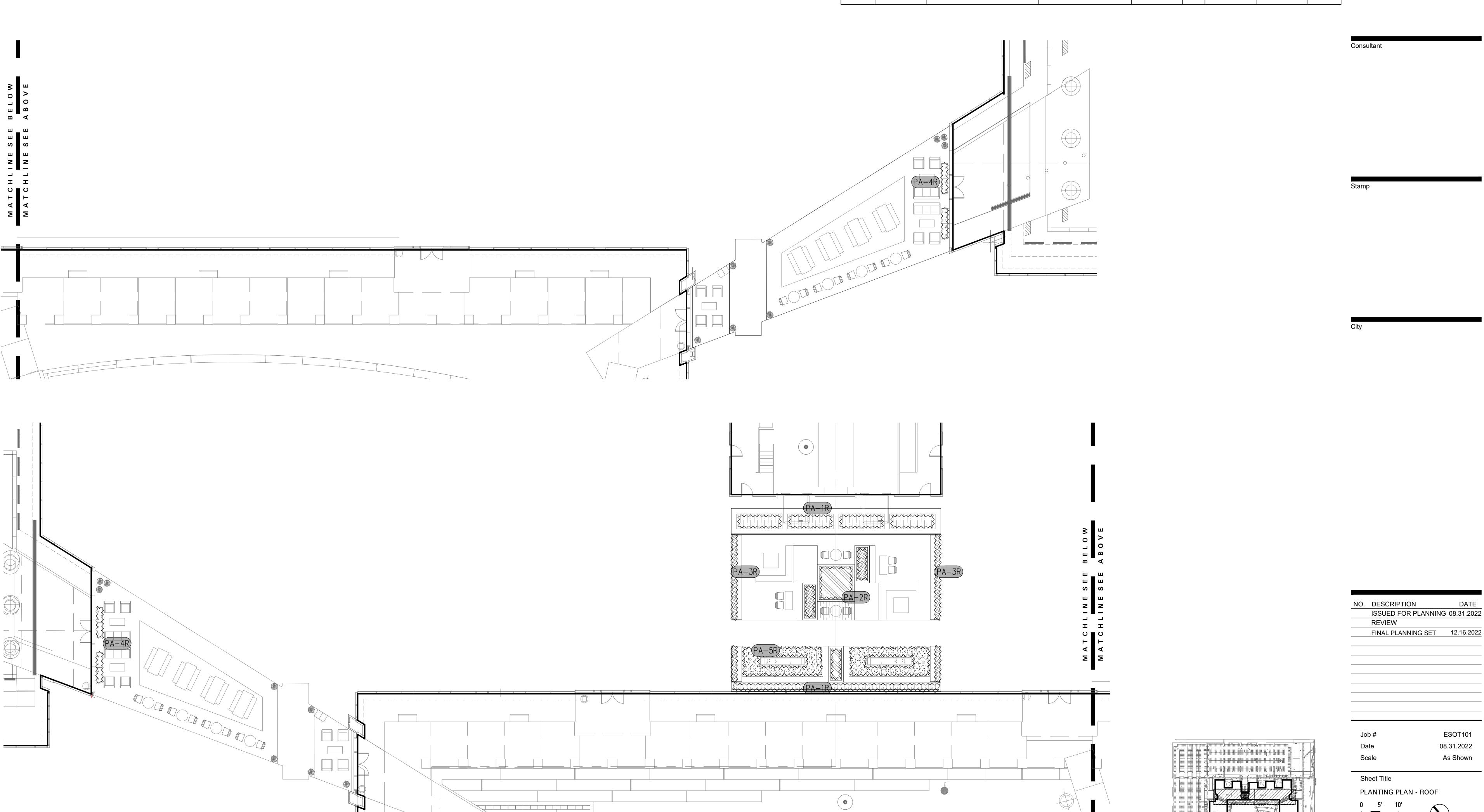
		<u> </u>		1	L		
PLANTING SCHEDULE - ROOF SHRUBS & GROUNDCOVER MIXES							
	(PA-1R)	LOMANDRA 'PLATNIUM BEAUTY' LEUCADENDRON 'PISA'	VARIEGATED SWEET FLAG SILVER TREE	5 GAL 5 GAL	36" O.C.	275 SF	L L
	PA-2R	ASTELIA 'SILVER SHADOW' ACER 'SANGO-KAKU'	SILVER ASTELIA CORAL BARK JAPANESE MAPLE	5 GAL 15 GAL	36" O.C.	106 SF 3 TOTAL	M M
	(PA-3R)	ACACIA 'COUSINN ITT' PHILODENDRON 'XANADU' SEDUM ANGELINA	LITTLE RIVER WATTLE WINTERBORN PHILODENDRON ANGELINA STONECROP	5 GAL 5 GAL 4" POT	36" O.C.	140 SF	L UNKNOWN L
+ + + + + + + + + + + + + + + + + + + +	PA-4R	INTERIOR POTS PER ARCHITECT	-	-	-	50 SF	-



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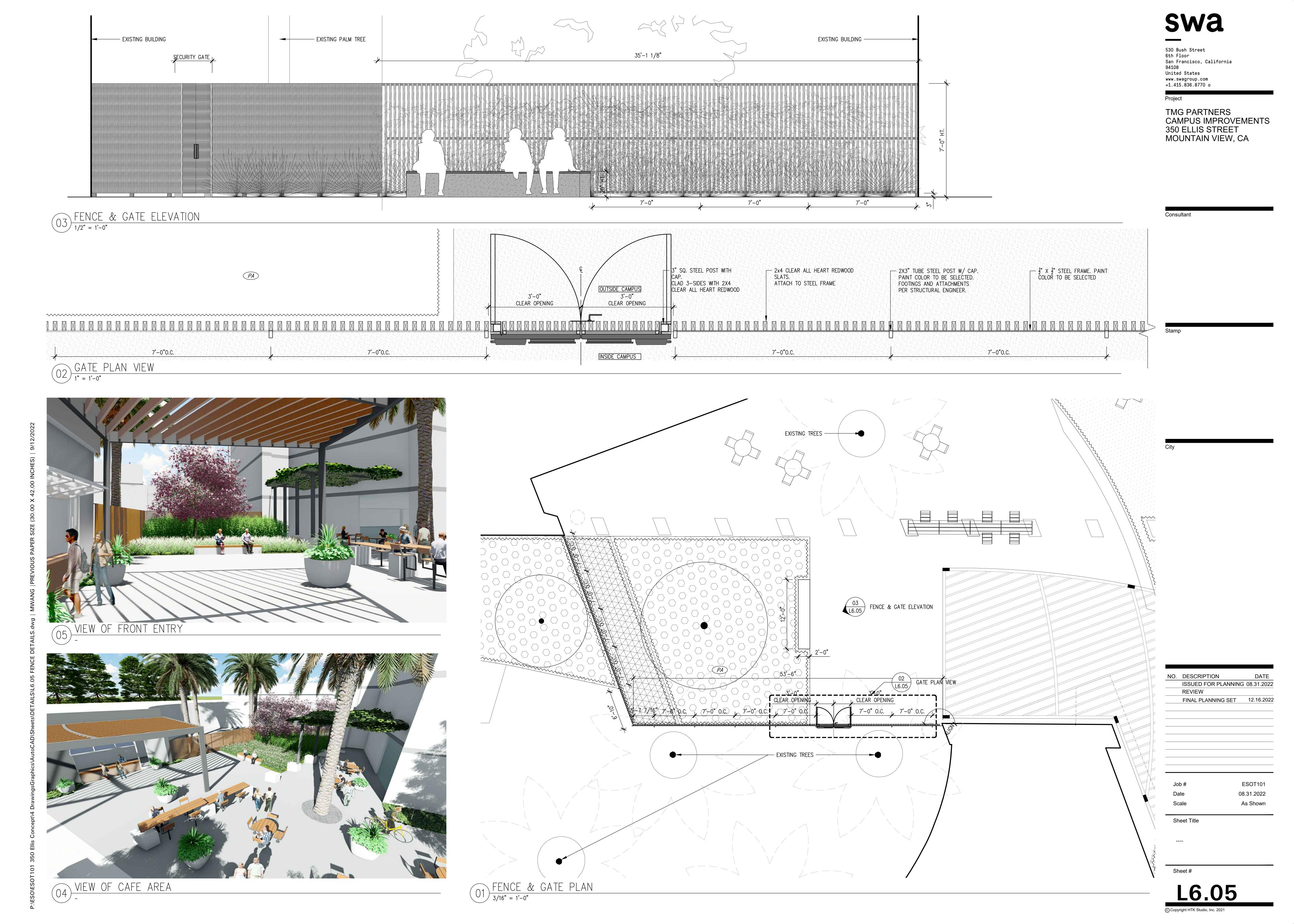
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Sheet #

L6.04
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 $O2 \frac{\text{GYM FENCE PLAN}}{1" = 1'-0"}$ 

30" CLEAR OPENING MEW GATE. HARDWARE TO BE SELECTED. SECURITY EXISTING REQUIREMENTS TO BE MAX POST SPAN PER STRUCTURAL ENGINEER REQUIREMENTS TO BE PROVIDED BY OWNER. CONFIRMED BY ARCHITECT — EXISTING BUILDING  $-\frac{1}{2}$ "X 6" STEEL TOP RAIL. STRUCTURAL ENGINEER TO EXIT ONLY CONFIRM IF MID-RAIL IS REQUIRED. — 3X6" STEEL POST - 2X6" CLEAR ALL HEART REDWOOD SLAT BETWEEN STEEL RAILS. CONNECTIONS PER STRUCTURAL ENGINEER. — 1"X 6" STEEL TOP RAIL. STRUCTURAL ENGINEER TO CONFIRM IF MID-RAIL IS REQUIRED.

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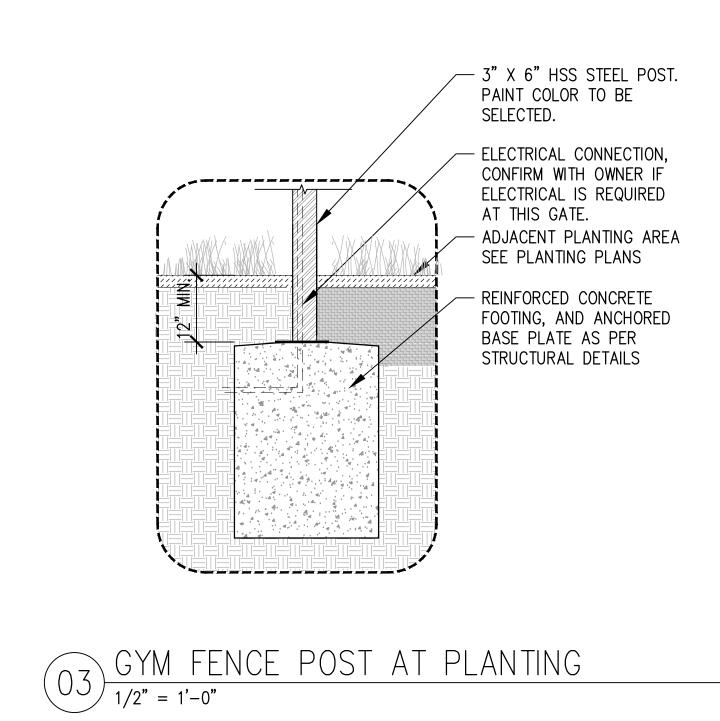
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O1 GYM FENCE ELEVATION

1" = 1'-0"

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Stam

8'-0"
SEE PLAN

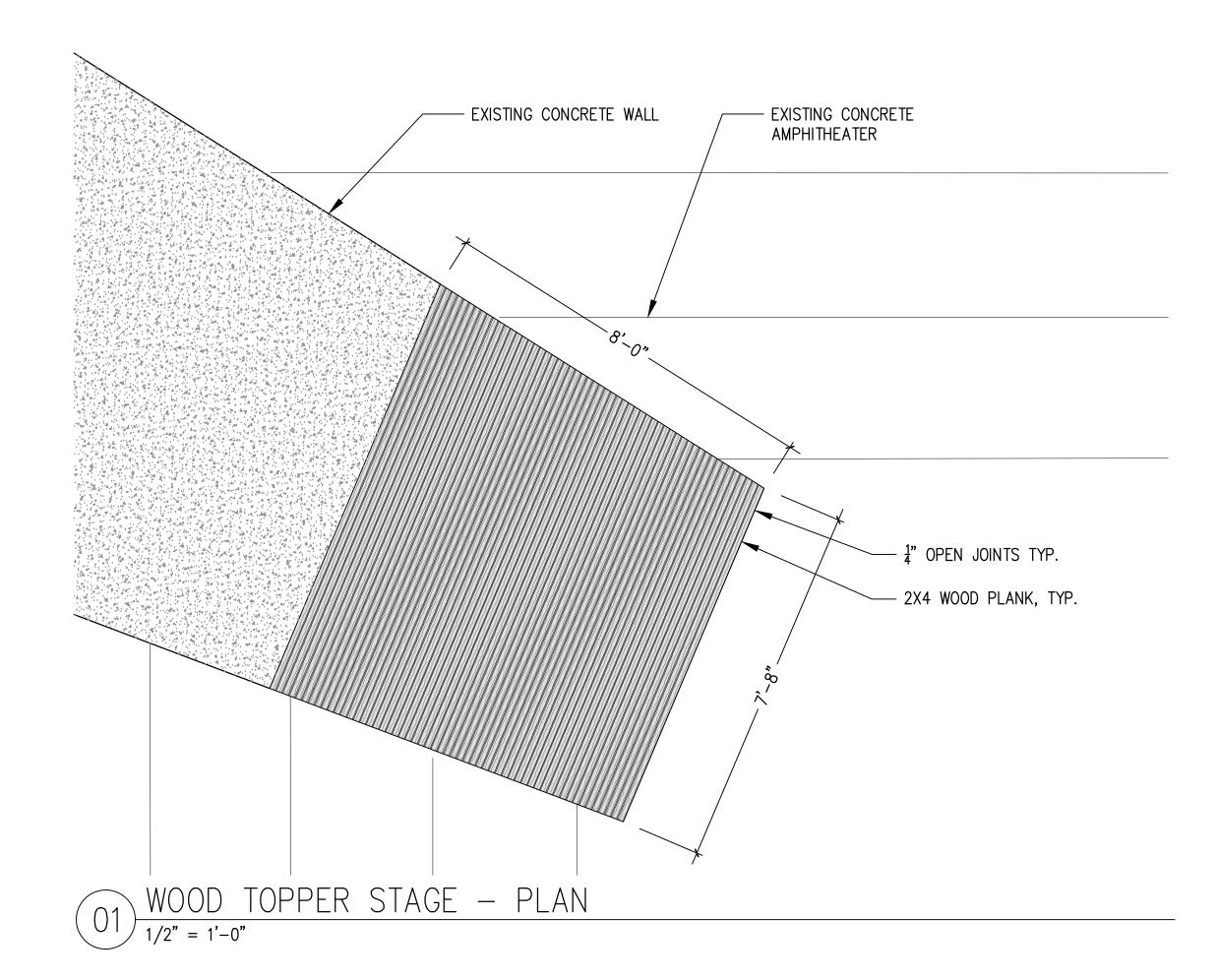
1" S.S. WOOD SCREWS. ½" RADIUS ROUTED EDGE OF WOOD SEAT

½" S.S. PLATE STRAP, AT EACH END, 16" OC.

EXISTING CONCRETE WALL

WOOD TOPPER STAGE — SECTION

1" = 1'-0"



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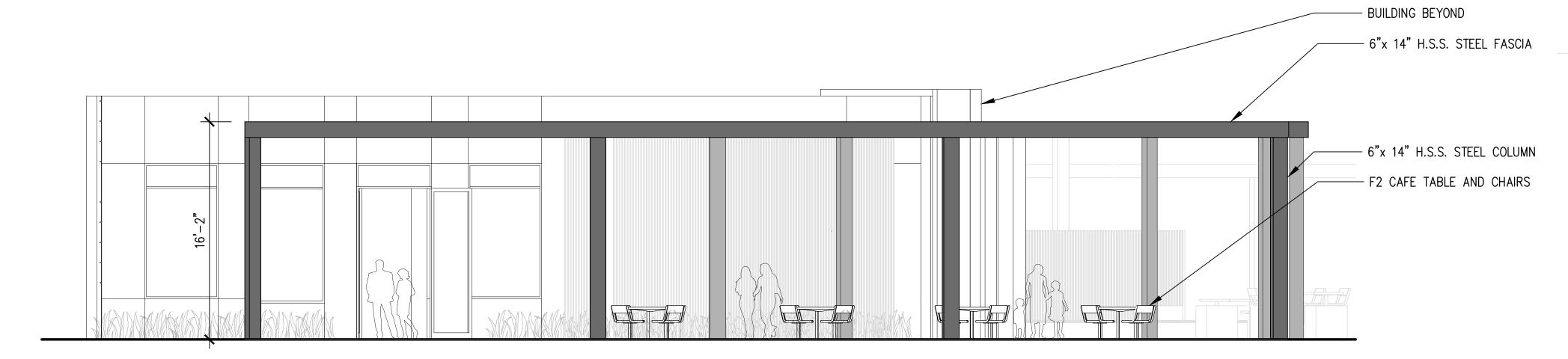
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Sheet #

L6.07

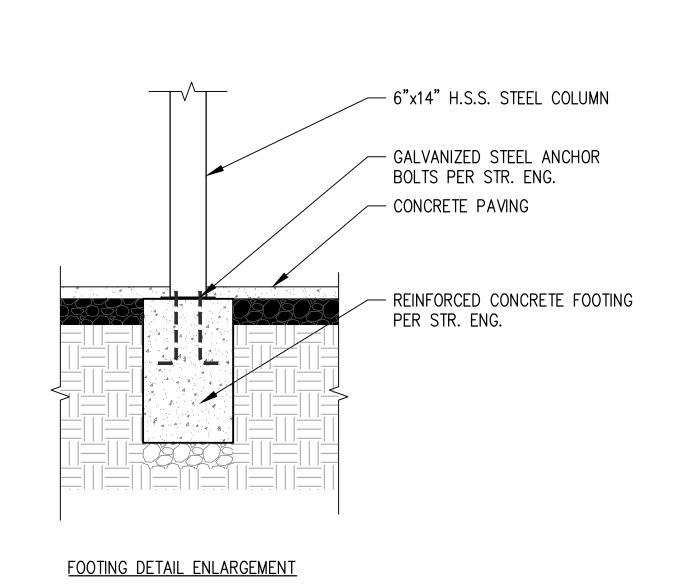
CAFE SHADE STRUCTURE NORTH FACING ELEVATION

3/16" = 1'-0"

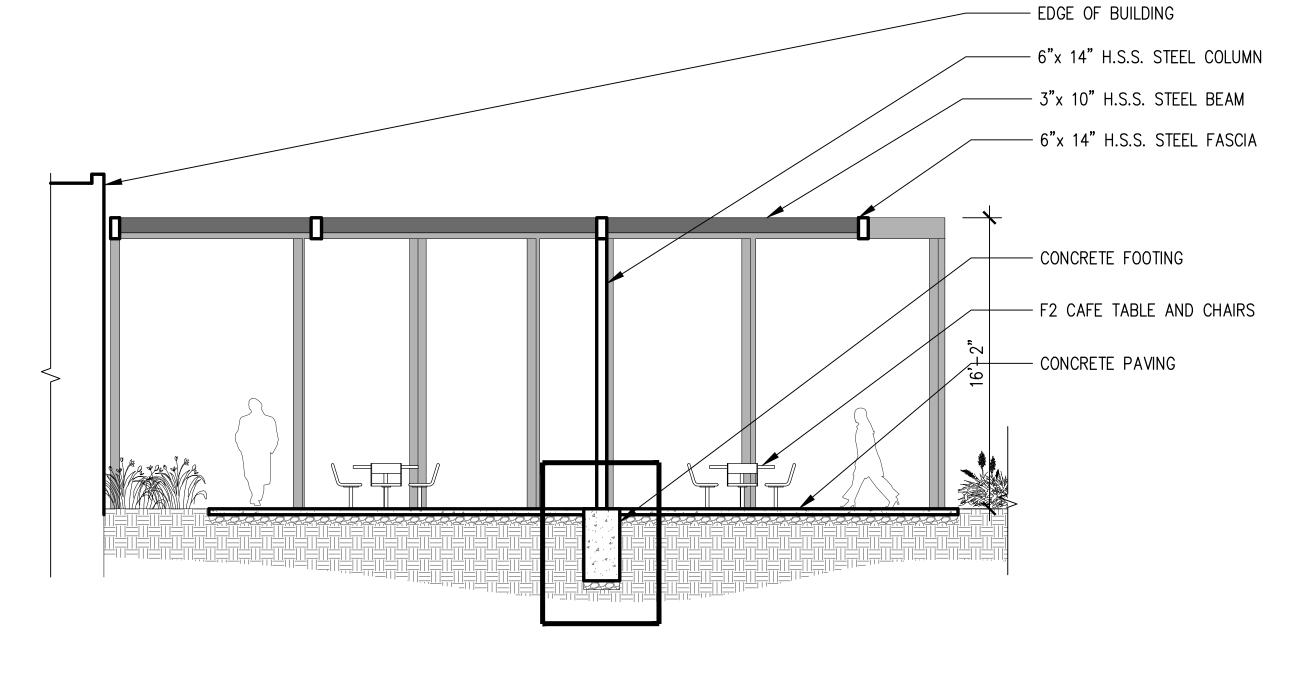


CAFE SHADE STRUCTURE SOUTH FACING ELEVATION

3/16" = 1'-0"

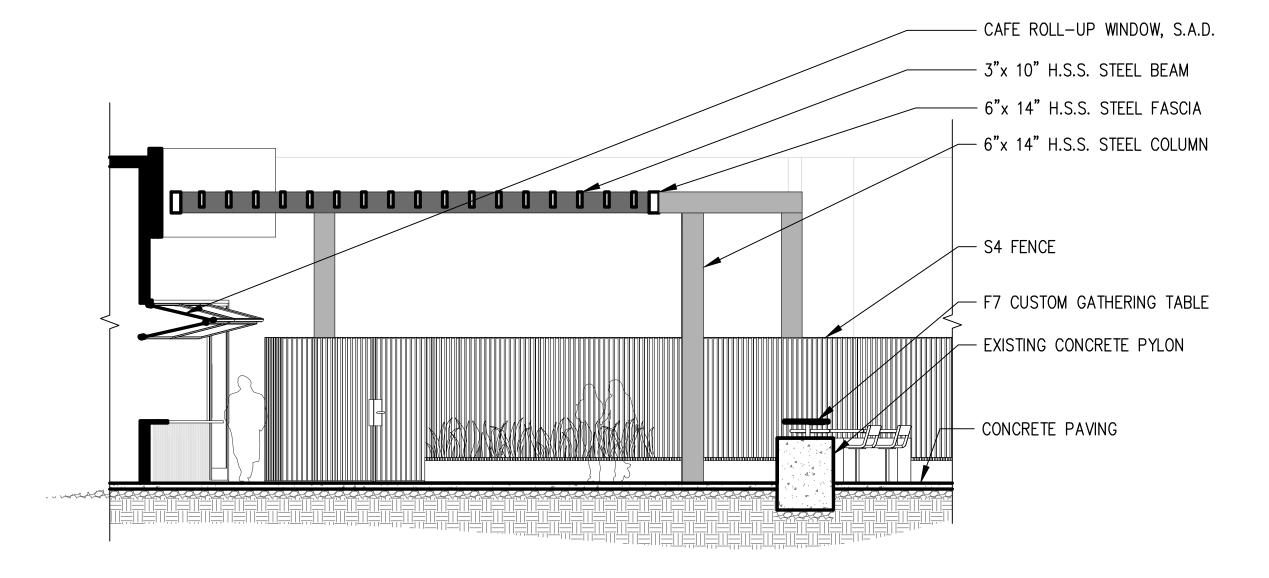


O5 CAFE STRUCTURE FOOTING ENLARGEMENT
3/16" = 1'-0"



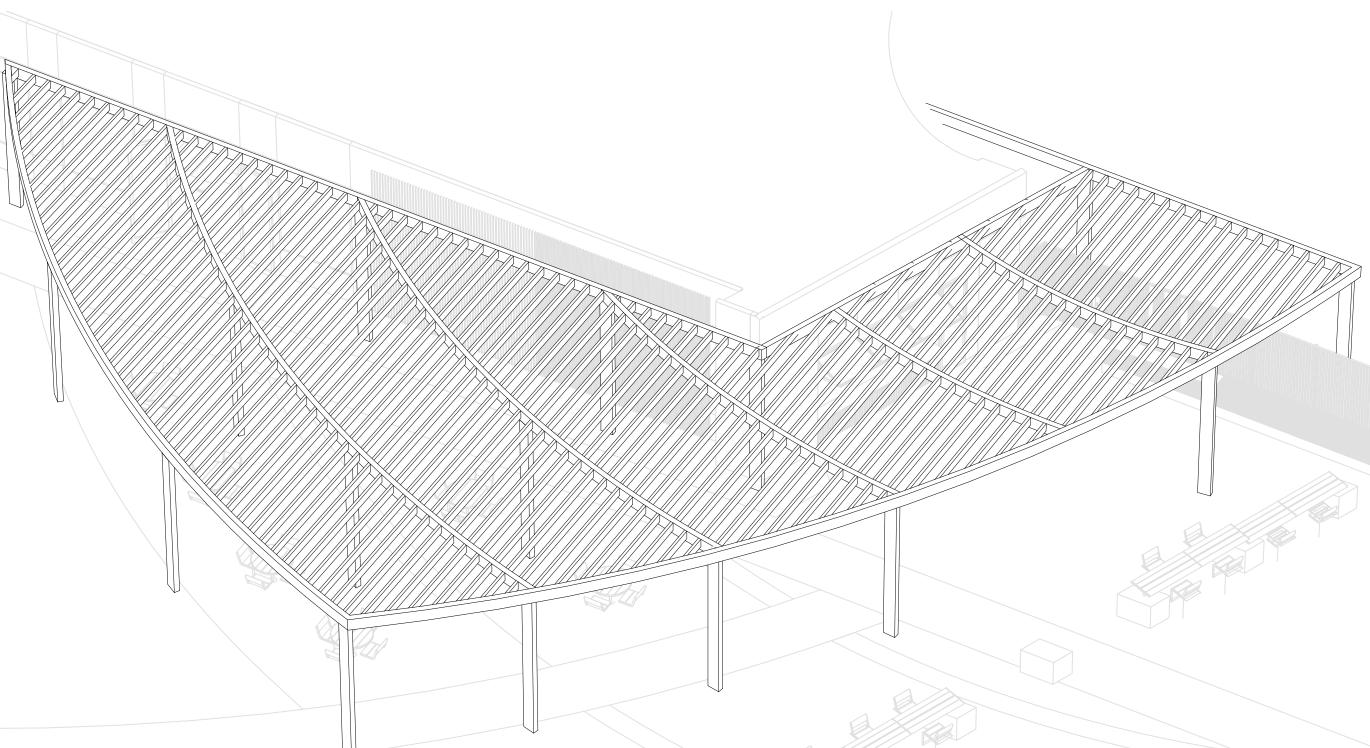
CAFE SHADE STRUCTURE NORTH SOUTH SECTION

3/16" = 1'-0"



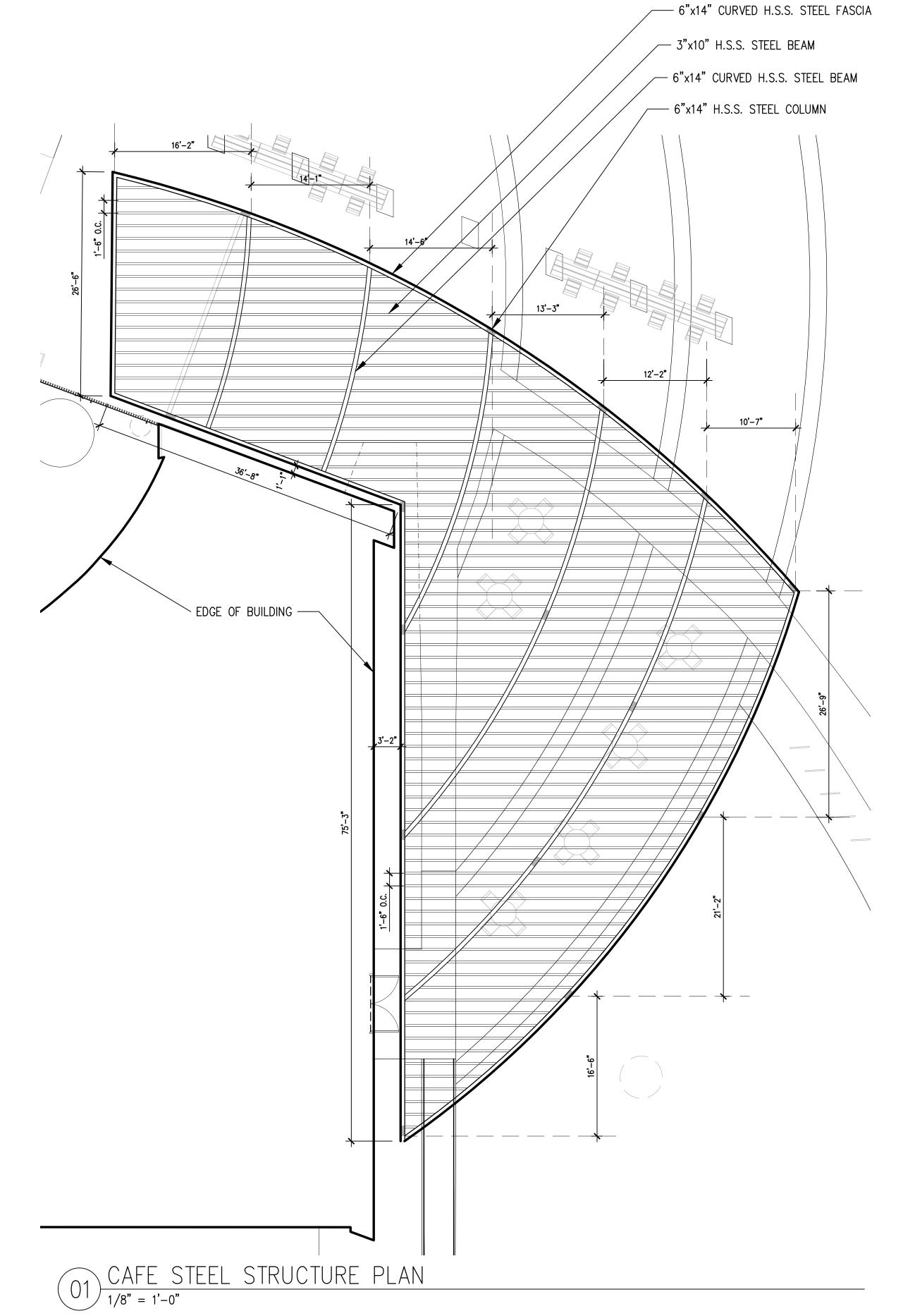
CAFE SHADE STRUCTURE EAST WEST SECTION

3/16" = 1'-0"



O2 CAFE SHADE STRUCTURE AXON

15/128" = 1'-0"



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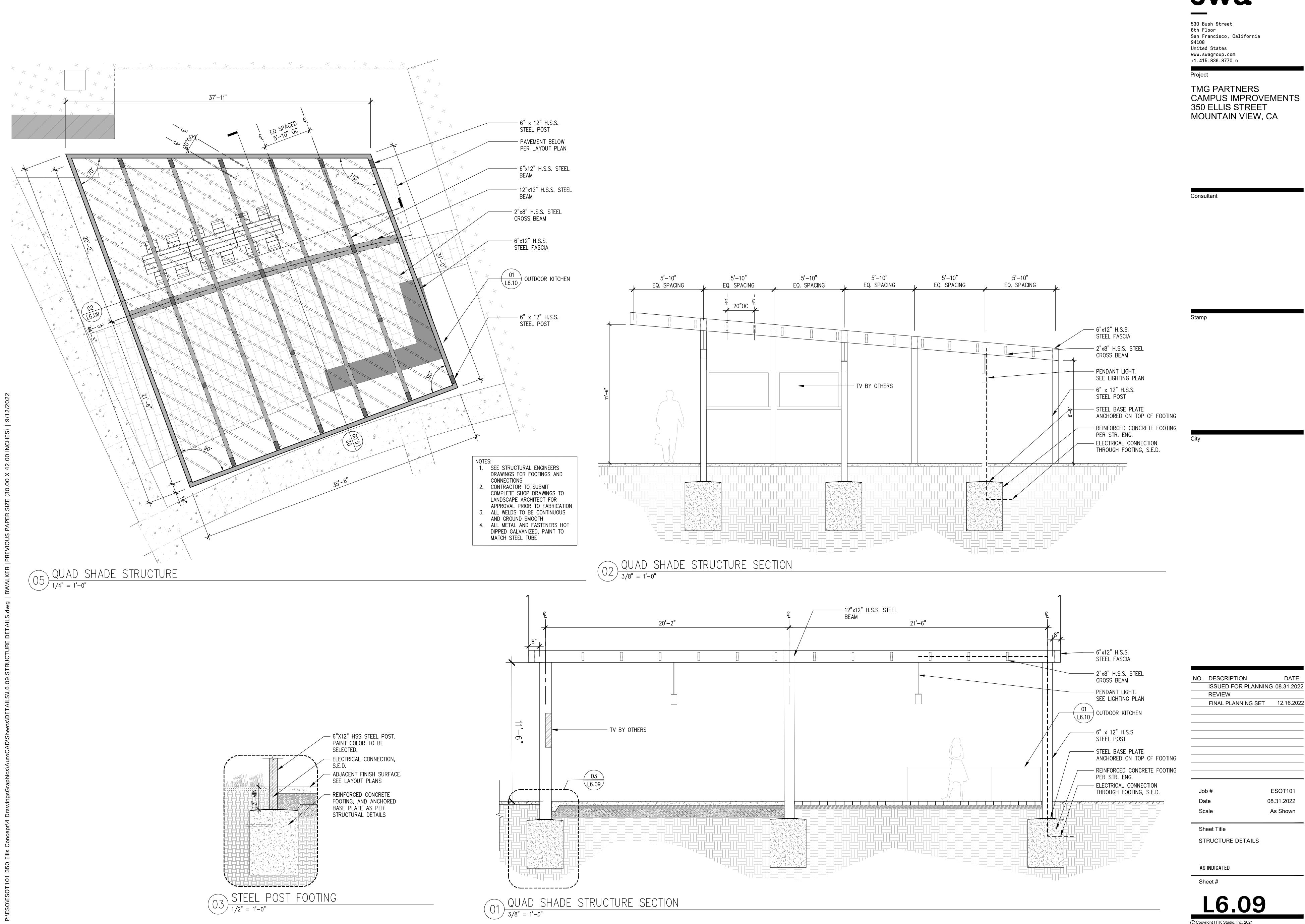
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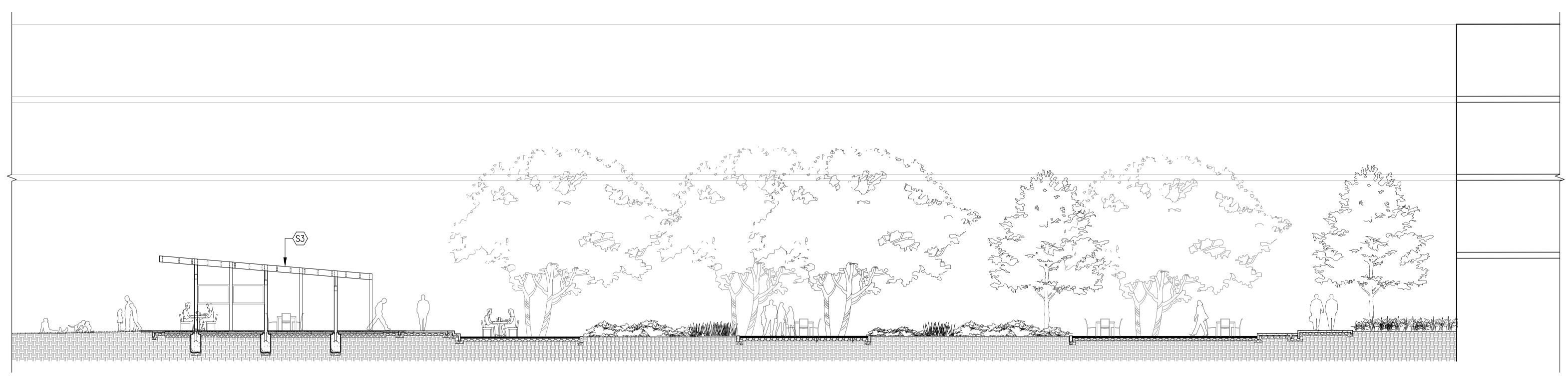
DETAILS

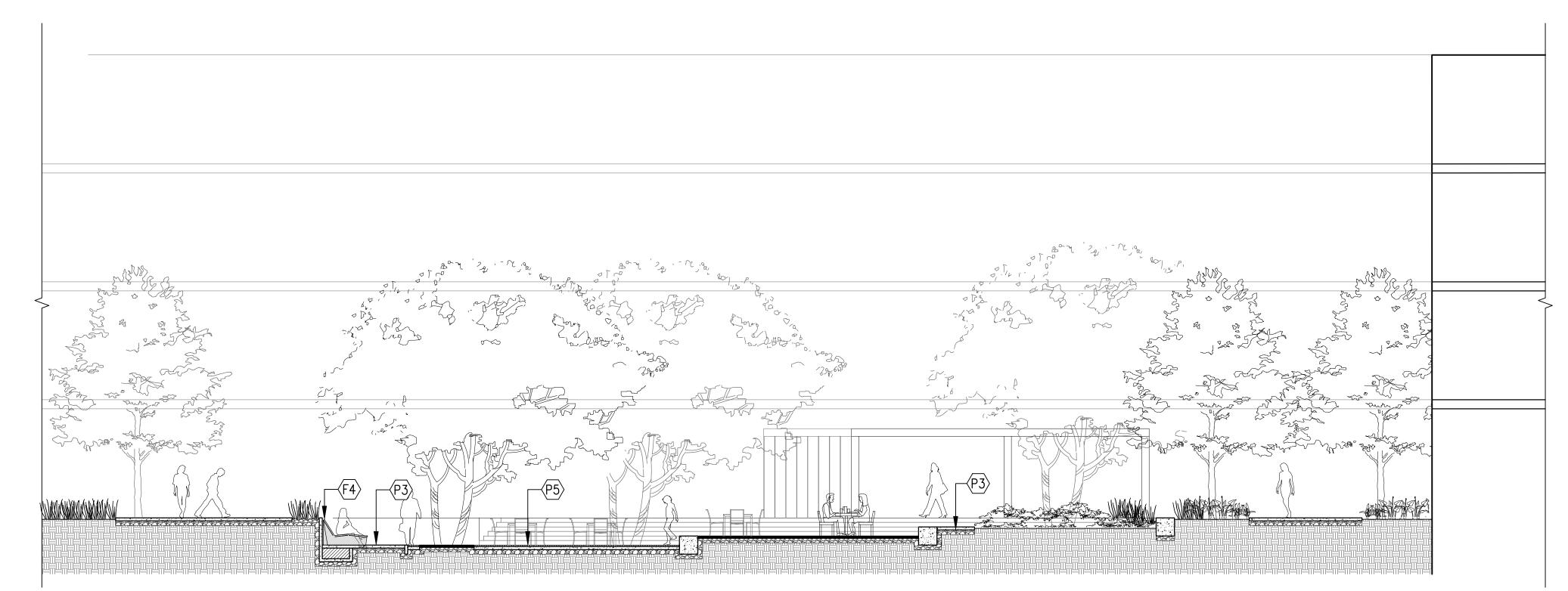
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L6.08

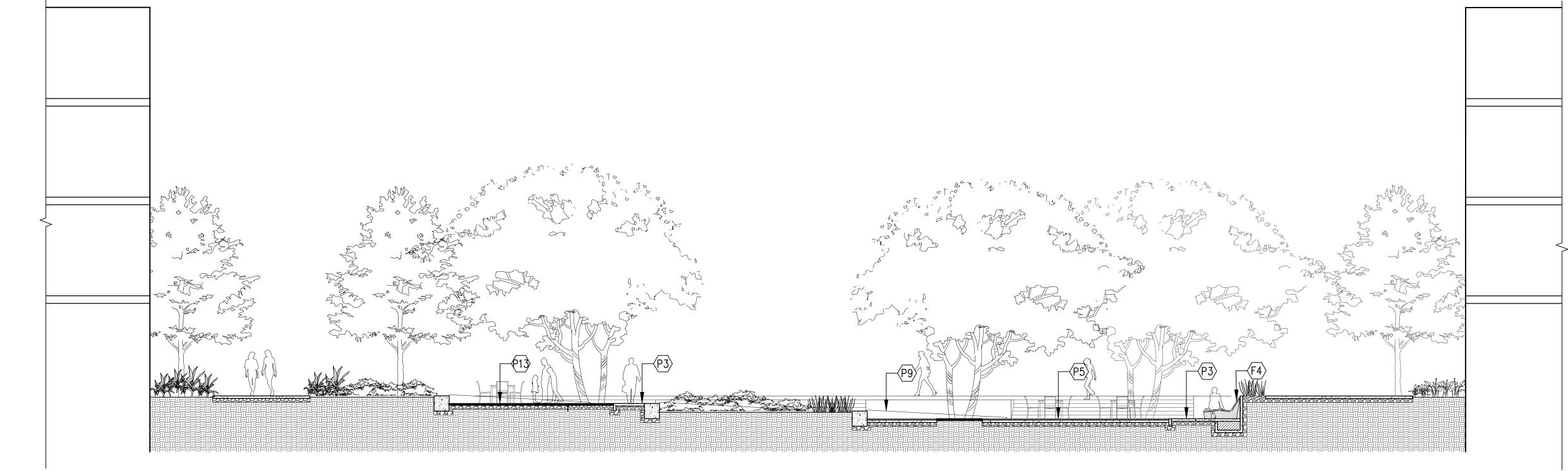


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 $02 \frac{\text{SITE SECTION} - 2}{1/8" = 1'-0"}$ 



 $01 \frac{\text{SITE SECTION} - 1}{1/8" = 1' - 0"}$ 

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Sheet Title CONCEPTUAL SECTIONS

AS INDICATED

Sheet #

L6.13