

FORMAL PLANNING APPLICATION

317 MOORPARK WAY

MOUNTAIN VIEW, CA



NOTE: LANDSCAPE SHOWN FOR GRAPHICAL REPRESENTATION ONLY. SEE LANDSCAPE DRAWINGS FOR MORE INFO

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS, LLC

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

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JOB NO. 297-090
DATE 11/14/2024

FORMAL PLANNING APPLICATION 317 MOORPARK WAY

MOUNTAIN VIEW, CA

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Minimum Site Specifications	Requirement	Proposal	Waiver Required?
Lot Area	6000 sq. ft.	2,840 min. [Lot 10]	Yes
Lot Width (corner)	70'	45'-9" [Lot 17]	Yes
Lot Width (interior)	60'	43'	Yes
Lot Depth	N/A		No
Minimum Setbacks			
Front	20' min.	5'	Yes
Front - 2nd Story	5' (wall over an attached garage)	0'	Yes
Side	5' min. (10' total on both sides)	4'	Yes
Side - 2nd Story	5' min. (12' total on both sides)	4' min.; 8' total both sides	Yes
Side - street (corner lots)	15' min.	11'	Yes
Rear	20% of lot depth or 15' (whichever is greater) 40' max.	5'	Yes
Rear - 2nd Story	25% of lot depth or 20' (whichever is greater) 40' max.	5'	Yes
Projections into Front or Side setbacks	3' max. projection, 10' max. length, 50 SF max.	Varies; waiver requested from this requirement as the project is requesting waivers from the minimum front, side, and rear setbacks	Yes
Projections into rear setbacks	24' height limit, no more than 15' at top of wall plate, no closer than 10' to the rear lot line		Yes
Maximum Height			
Building Height (2 story)	28'	28'0" max. [Lot 22]	No
Top of Wall Plate Height (1 story)	15'	10'1"	No
Top of Wall Plate Height (2 story)	22'	20'-5"	No
Maximum Floor Area			
FAR	0.45	1.04 max. [Lot 10]	Yes
Other Requirements			
Front Setback Landscaping	50% shall be landscaped	36% min. [Lot 9]	Yes
2nd Story Decks	allowed on front & rear of house	No decks proposed on the second floor	No
Parking	N/A	N/A	No

Table 2: Density Bonus Calculation		
Project Data	Notes	
Site acreage	2.51	Lot area based on survey
Zoning	R-1	
Max. allowable density (du/ac)	6	Based on General Plan
Max. allowable units	15.06	Density Bonus Law allows rounding up of units
Inclusionary Housing requirement	2.4	(15% of the units)
Very Low Income units provided	2	12.0%
Moderate Income units provided	0	No units provided. Applicant proposes in lieu fee to fulfill the requirement for the remaining 0.4 unit
Density bonus % allowed based on 12% very low units	38.75%	
Number of Density Bonus units based on 38.75% density bonus	6.20	7 (Density Bonus Law allows rounding up of units)
Maximum units allowed	23 (base + density bonus units)	
Proposed Units	22	

BUILDING DATA:
BUILDING TYPE: SINGLE FAMILY
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: NFPA13D



LOCATION MAP
NOT TO SCALE

PROJECT DATA:

APNs: 161-05-003, 161-05-004, 161-05-005, 161-05-006, 161-05-007
GROSS SITE AREA: +/- 2.51 AC
NET SITE AREA: +/- 2.45 AC
GENERAL PLAN: LOW DENSITY RESIDENTIAL
ZONING: RESIDENTIAL (R-1)
BASE DENSITY: 6 DU/ACRE MAX. (PER GENERAL PLAN)
BASE UNITS: 16 UNITS (2.51 X 6 = 15.06 = 16 UNITS)
PROPOSED UNITS: 22 UNITS
PROPOSED DENSITY: 8.9 DU/ACRE
(INCLUDES DENSITY BONUS UNITS, COMPLIANT WITH THE GENERAL PLAN DENSITY USING DENSITY BONUS RATIOS).
REQUIRED PARKING: N/A
PROPOSED PARKING: 44 SPACES (@ 2 COVERED SPACES/UNIT)

PROJECT TEAM INFO:

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TITLE SHEET

317 MOORPARK WAY- MOUNTAIN VIEW, CA
 MOORPARK SYLVAN INVESTORS, LLC



MILLER STARR
REGALIA



JOB NO. 297-090
 DATE 02/04/2025



VICINITY MAP

317 MOORPARK WAY- MOUNTAIN VIEW, CA
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PROJECT DESCRIPTION:

The project site is bounded by Moorpark Way on the west and north and Sylvan Avenue to the east, existing single-family homes along the south and is approximately +/- 2.51 ac. The site consists of 5 parcels (161-05-003, 161-05-004, 161-05-005, 161-05-006, 161-05-007). The current zoning of the site is R-1 and the General Plan designation is Low Density Residential.

Based on the underlying General Plan density allowance and utilizing the density bonus allowances the Project is proposing 22 Single family homes. Out of the 22 homes 2 units will designated as very low-income for sale units. A detailed calculation of the density bonus units (Table 2: Density Bonus Calculation) is included in the package. The proposed project is requesting concessions and waivers as allowed by the State Density Bonus Law. The preliminary request is listed in this application document and the applicant reserves the right to request for additional concession and waivers as the design is developed further and based on the feedback from the City to the submittal.

The existing site has some structures which will be demolished and replaced with the project. The proposed project is carefully laid out keeping in mind the local context and the edge conditions. To avoid conflicts with the traffic on Moorpark Way the project circulation is internal and accessed from Sylvan Avenue. This removes the need for driveway cuts along Moorpark Way. The homes are front loaded homes each with a two-car garage and a full driveway that can accommodate two more cars. Each home will have a private backyard and homes along the south property edge back on to the existing homes, providing a buffer from the existing homes.

The homes are two stories and roughly 2400 of livable square footage and around 3000 sf of Gross Floor Area as defined by the Mountain View Municipal Code. The proposed architectural character takes cues from the surrounding neighborhood with a mix of traditional style homes that blend with the surrounding community, in addition to a contemporary style reflective of current market conditions.

In summary the proposed project is in line with the goals of the city in creating context sensitive infill housing in underutilized sites. The proposed project is infill, context sensitive, mixed-income and a wonderful addition to the neighborhood – respecting the existing urban fabric while still providing a slightly more compact housing typology keeping with the current market and demographic trends and affordability trends.

TABLE OF LOT AND UNIT SIZES¹

LOT #	Lot Size (SF)	Lot Coverage (%)	Lot Dimensions		Total Floor Area (SF)	Garage Size (SF)	1st Floor (SF)	2nd Floor (SF)	Porch Size (SF)	Bedroom #	FAR	Landscaped Area (SF) in 20'	Total Front Setback	Landscape Coverage in 20'
			Min. Width	Min. Depth										
1	6,462	43%	22'-7"	75'-0"	4,925	465	2,641	2,284	119	4	0.76	577	1043	55%
2	3,265	52%	43'-6"	75'-0"	2,979	434	1,601	1,378	112	4	0.91	370	871	43%
3	3,225	51%	43'-0"	75'-0"	2,944	433	1,574	1,370	77	5	0.91	343	860	40%
4	3,225	52%	43'-0"	75'-0"	2,964	437	1,586	1,378	105	4	0.92	360	860	42%
5	3,226	51%	43'-0"	75'-0"	2,948	433	1,574	1,374	77	5	0.91	343	860	40%
6	3,226	52%	43'-0"	75'-0"	2,964	437	1,586	1,378	105	4	0.92	360	860	42%
7	3,305	50%	44'-0"	75'-0"	2,944	433	1,574	1,370	77	5	0.89	364	880	41%
8	2,956	58%	44'-0"	65'-0"	2,979	434	1,601	1,378	112	4	1.01	498	919	54%
9	2,972	56%	43'-0"	66'-0"	2,948	433	1,574	1,374	77	5	0.99	316	843	37%
10	2,840	60%	43'-0"	66'-0"	2,965	433	1,587	1,378	114	4	1.04	278	861	32%
11	3,381	51%	40'-0"	66'-0"	2,979	434	1,601	1,378	112	4	0.88	308	881	35%
12	3,557	48%	37'-0"	63'-10"	2,964	437	1,586	1,378	105	4	0.83	336	860	39%
13	2,993	57%	43'-0"	69'-3"	2,965	433	1,587	1,378	114	4	0.99	278	860	32%
14	2,994	55%	43'-0"	69'-7"	2,948	433	1,574	1,374	77	5	0.98	269	860	31%
15	2,995	55%	43'-0"	69'-7"	2,948	433	1,574	1,374	77	5	0.98	285	860	33%
16	3,438	49%	43'-0"	69'-7"	2,965	433	1,587	1,378	114	4	0.86	256	1000	26%
17	4,866	42%	45'-9"	97'-2"	3,571	483	2,001	1,570	62	3	0.73	639	1016	63%
18	4,689	42%	99'-2"	39'-2"	3,610	445	1,892	1,718	76	5	0.77	1,133	2220	51%
19	3,096	53%	43'-0"	72'-0"	2,944	433	1,574	1,370	77	5	0.95	324	860	38%
20	3,096	55%	43'-0"	72'-0"	2,979	434	1,601	1,378	112	4	0.96	333	860	39%
21	3,052	54%	43'-0"	71'-0"	2,948	433	1,574	1,374	77	5	0.97	322	860	37%
22	3,052	56%	44'-0"	67'-7"	2,965	433	1,587	1,378	114	4	0.97	334	860	39%

TABLE OF PROPOSED SETBACKS & PROJECTIONS²

LOT #	Plan Type	Proposed setbacks (ft)						%	
		Front	Rear	Rear 2nd Story	Side	Projection Dist. From Rear P.L.	Projection into Setback	Projection Coverage of Rear Yard	
1	3	12.9	10.0	10.0	4	9.5	5.5	8.0%	
2	2B	9.5	11.5	15.5	4	10.5	4.5	10.6%	
3	1C	9.0	12.0	14.0	4	10.2	4.8	6.8%	
4	2A	9.5	12.0	15.5	4	9.5	5.5	10.6%	
5	1B	9.0	12.0	14.0	4	10.1	4.9	6.8%	
6	2A	9.5	11.5	15.5	4	10.1	4.9	10.6%	
7	1C	9.0	12.0	14.0	4	10.1	4.9	6.8%	
8	2B	4.0	5.0	12.0	4	4.0	11	49.6%	
9	1A	5.2	9.2	11.1	4	8.2	6.8	20.1%	
10	2C	5.0	7.0	11.0	4	5.4	9.6	36.5%	
11	2B	6.2	6.1	10.1	4	5.0	10	30.7%	
12	2A	12.4	6.1	12.7	4	4.0	11	27.8%	
13	2C	5.0	10.5	14.6	4	8.9	6.1	15.4%	
14	1A	5.0	10.5	12.5	4	9.6	5.4	12.1%	
15	1B	5.0	10.5	12.5	4	8.6	6.4	12.1%	
16	2C	6.2	10.6	14.6	4	9.0	6	11.1%	
17	4	9.7	14.0	29.1	4	13.2	1.8	3.7%	
18	5	5.2	5.0	5.0	4	5.0	10	39.6%	
19	1C	9.0	10.0	14.0	4	8.3	6.7	14.9%	
20	2B	9.0	10.0	14.0	4	9.0	6	18.0%	
21	1A	8.0	9.0	11.0	4	8.1	6.9	19.4%	
22	2C	8.0	9.0	13.0	4	7.4	7.6	23.4%	

FRONT SETBACK LANDSCAPING AREA:

¹ SEE SHEET A.3B FOR DIAGRAM SHOWING CALCULATION OF FRONT SETBACK LANDSCAPED AREA.

ILLUSTRATION OF SETBACK & PROJECTIONS CALCULATION:

² SEE SHEET A.3B FOR DIAGRAM SHOWING FRONT, REAR, REAR 2ND STORY, & PROJECTION MEASUREMENTS

Total projection into setback determined by subtracting the maximum projection distance from the P.L. from the required setback distance.

PROJECT DESCRIPTION, LOT & UNIT SIZES

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS, LLC





REQUIRED SETBACKS

- 20' FRONT SETBACK
- 15' REAR SETBACK
- 20' REAR SECOND STORY SETBACK

LANDSCAPED AREA

- LOT LINE
- 20' FRONT SETBACK
- █ LANDSCAPED AREA

PROPOSED SETBACKS & PROJECTIONS

- X.X' FRONT SETBACK
- X.X' REAR SETBACK
- X.X' REAR SECOND STORY SETBACK
- X.X' DISTANCE FROM MAX. PROPOSED PROJECTION TO P.L.

(total landscaped area determined as a subtraction of the total area within 20' of the front setback minus portions)

(total projection into setback determined by subtracting the maximum projection distance from the P.L. from the required setback distance)

REQUIRED & PROPOSED SETBACKS & PROJECTIONS

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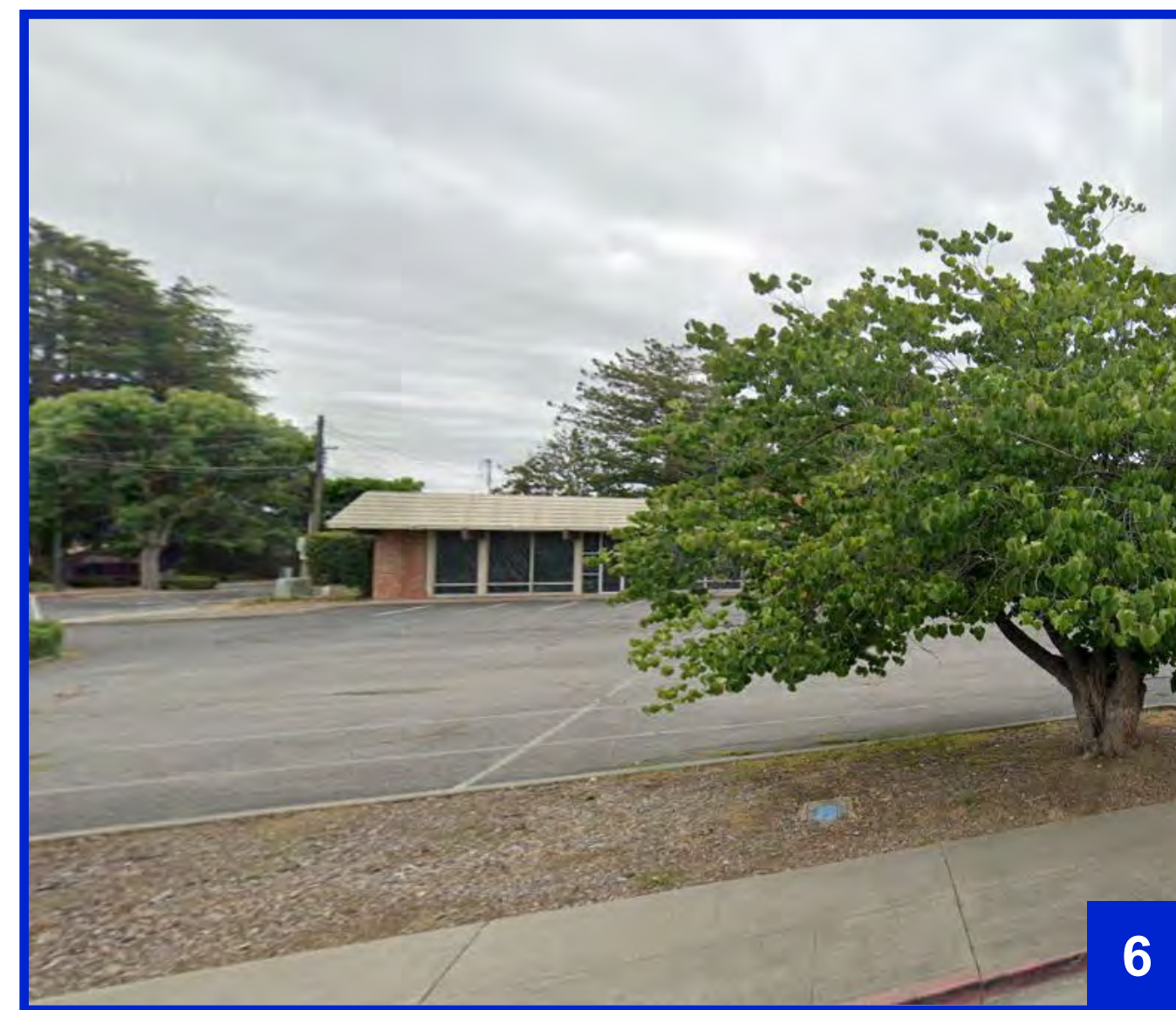
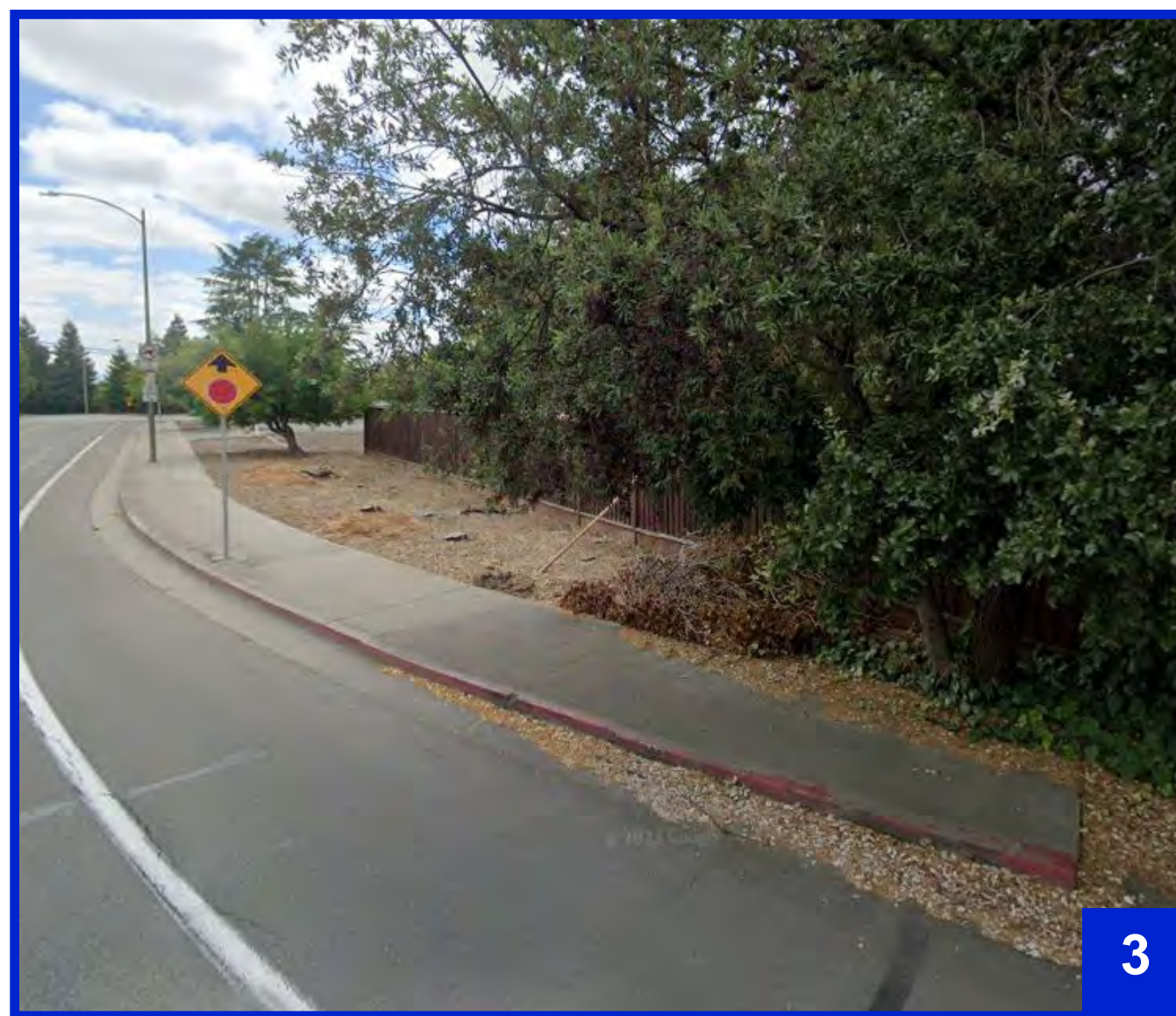
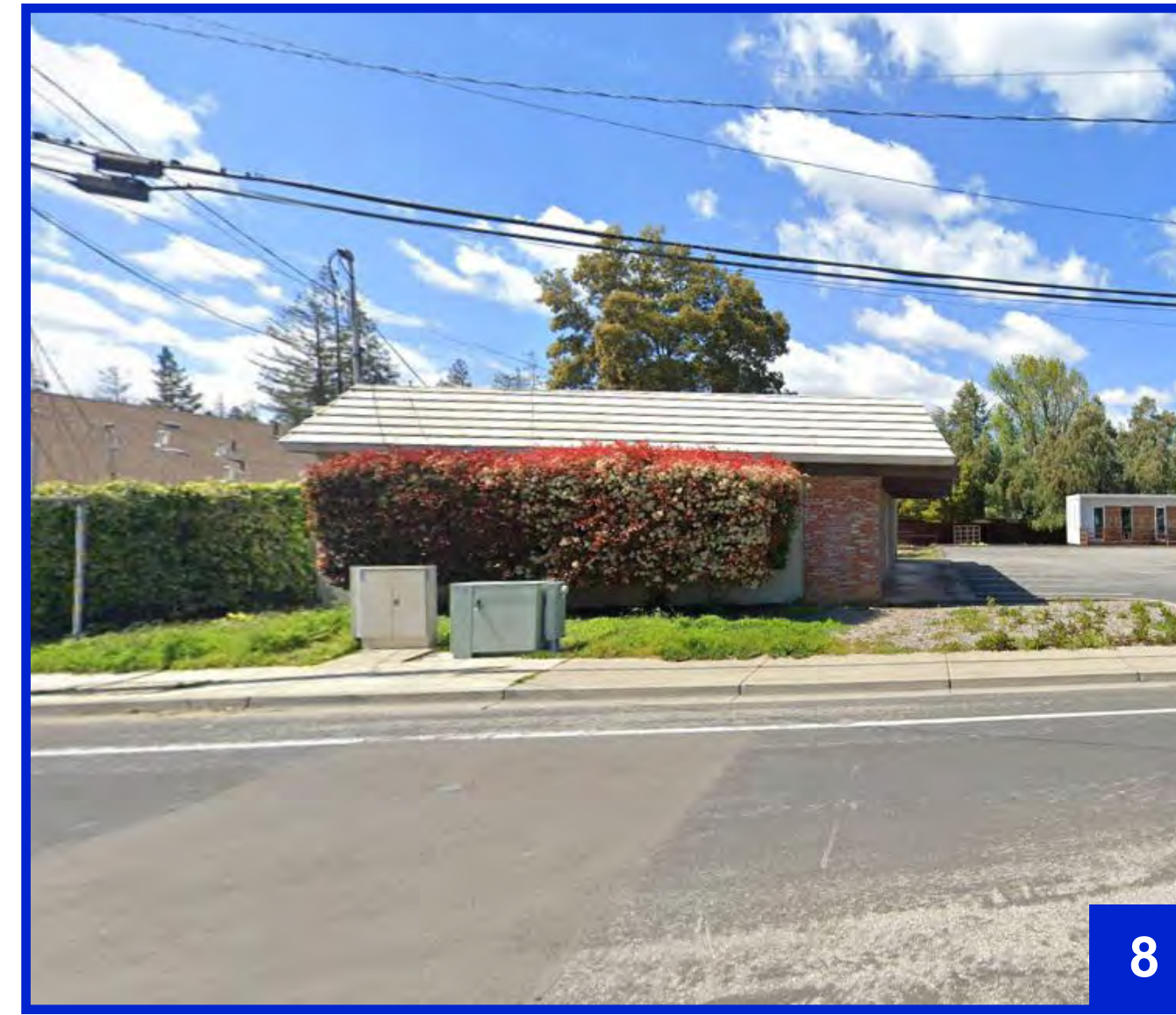
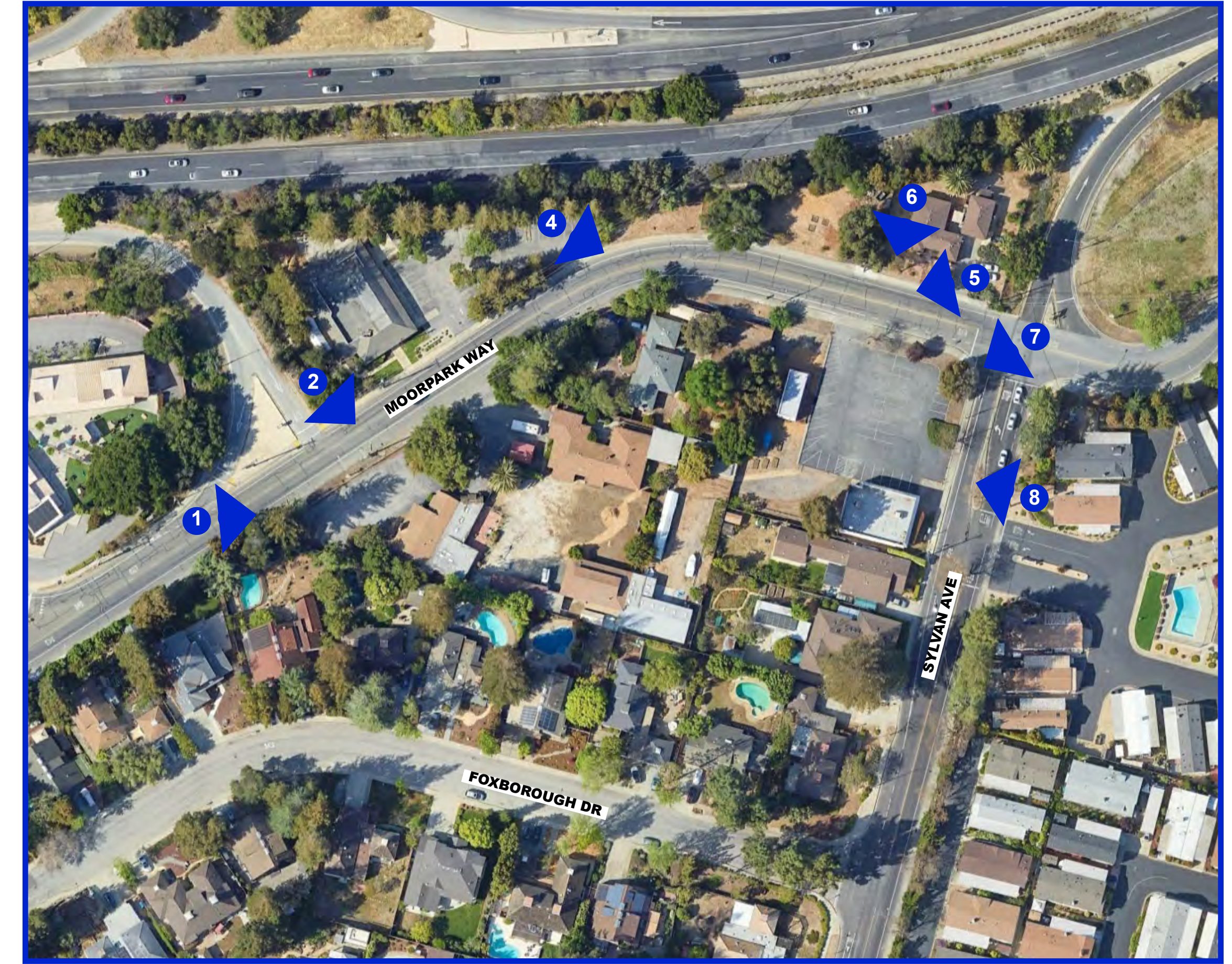
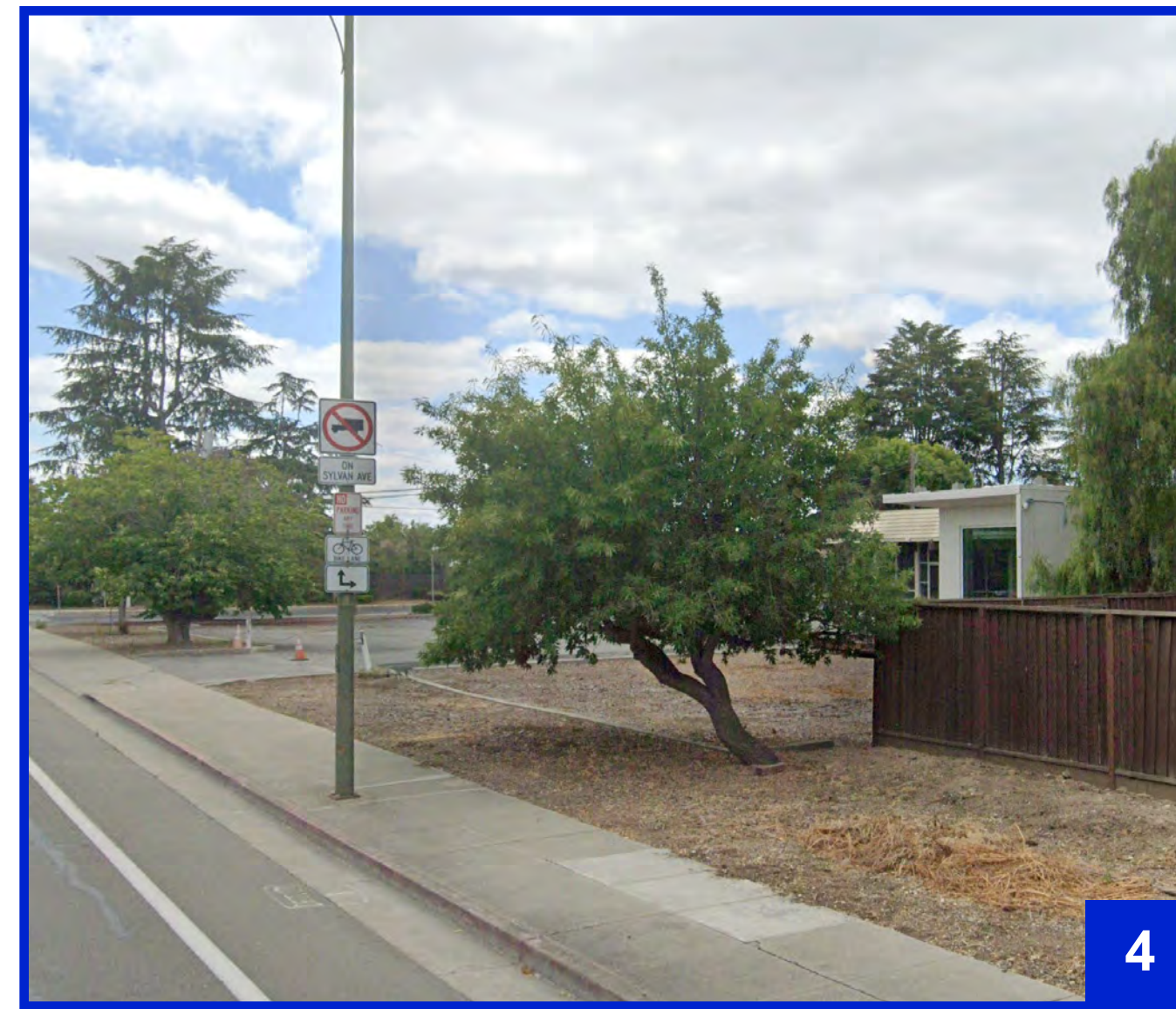
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A.3B



SITE CONTEXT

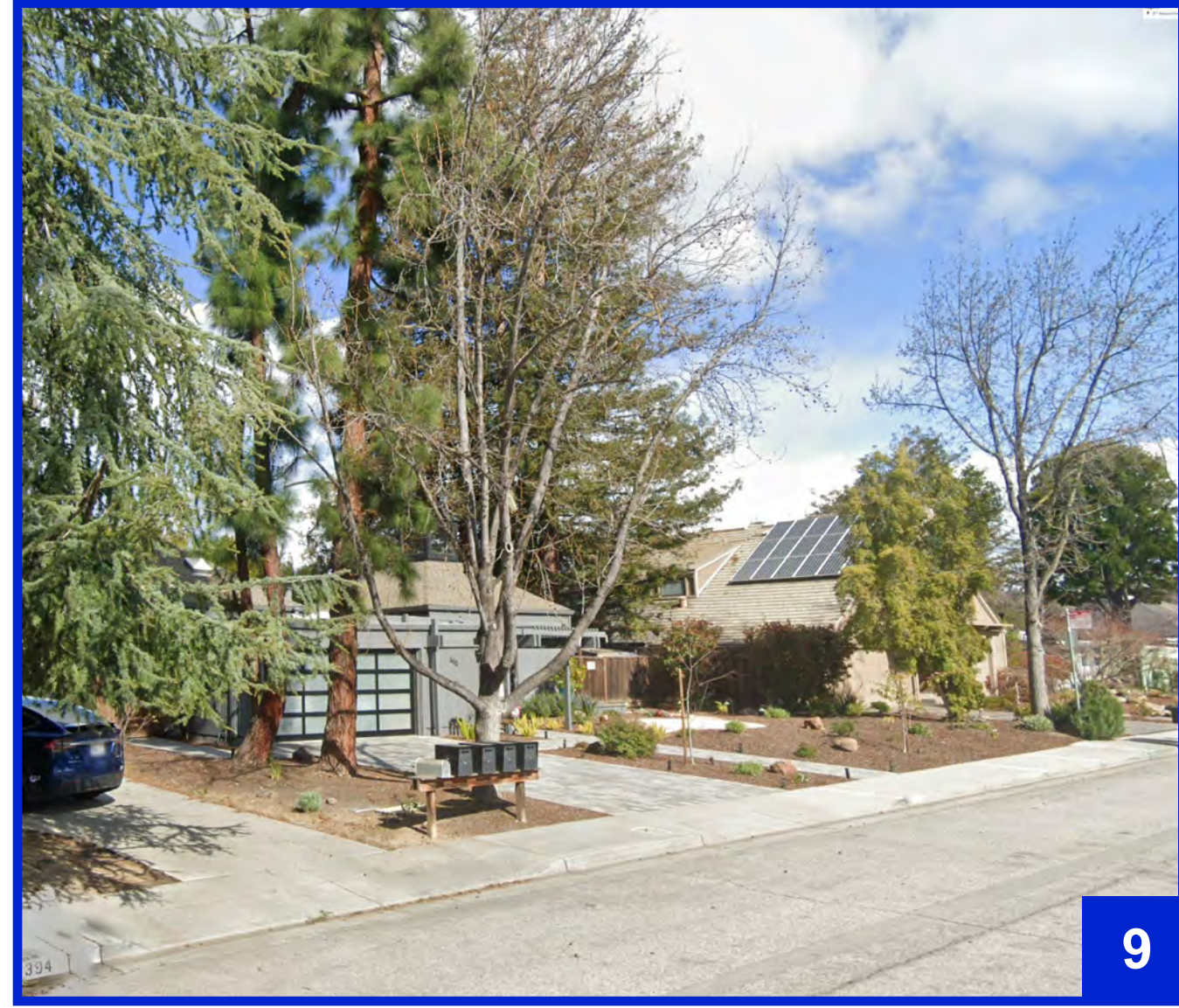
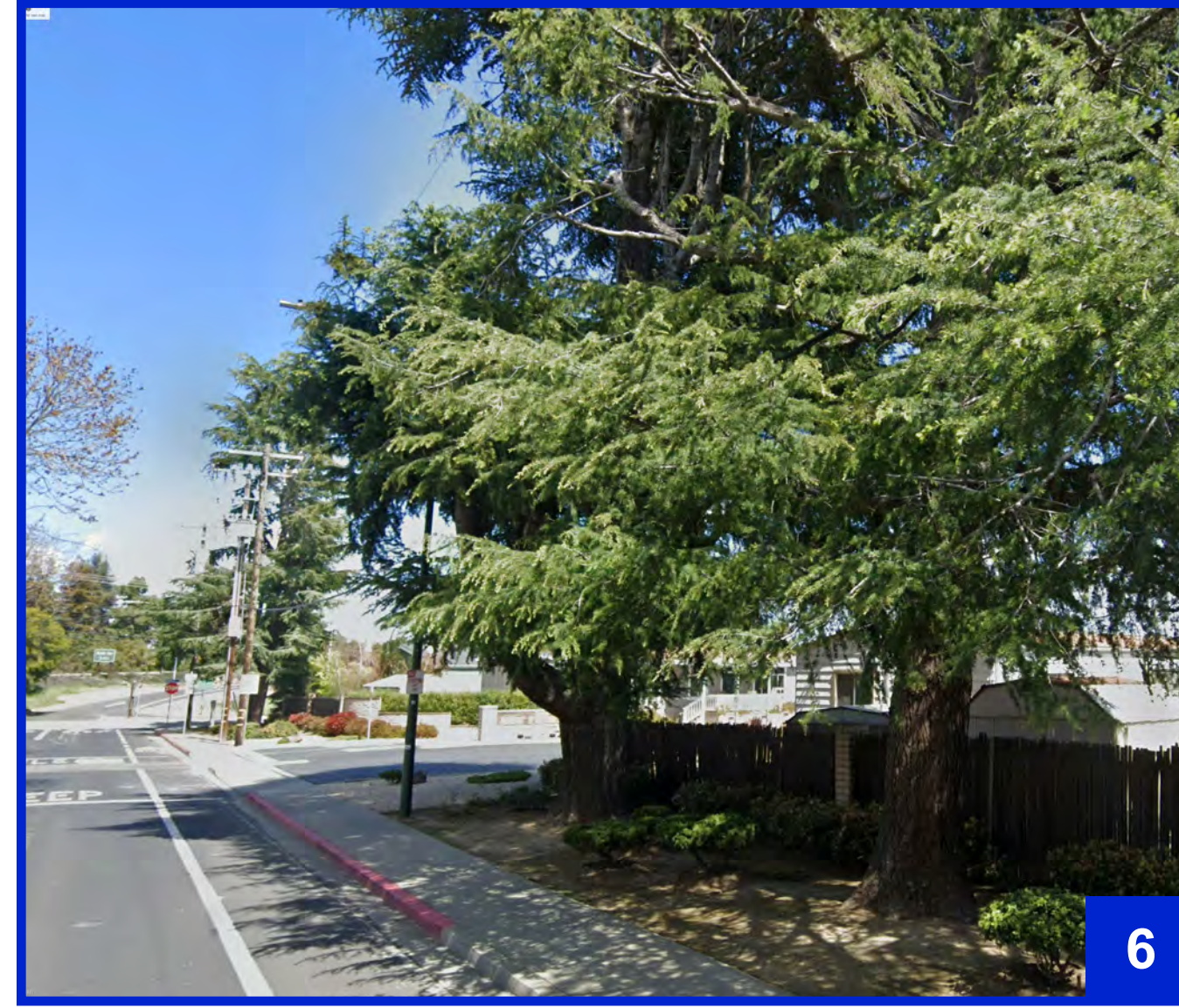
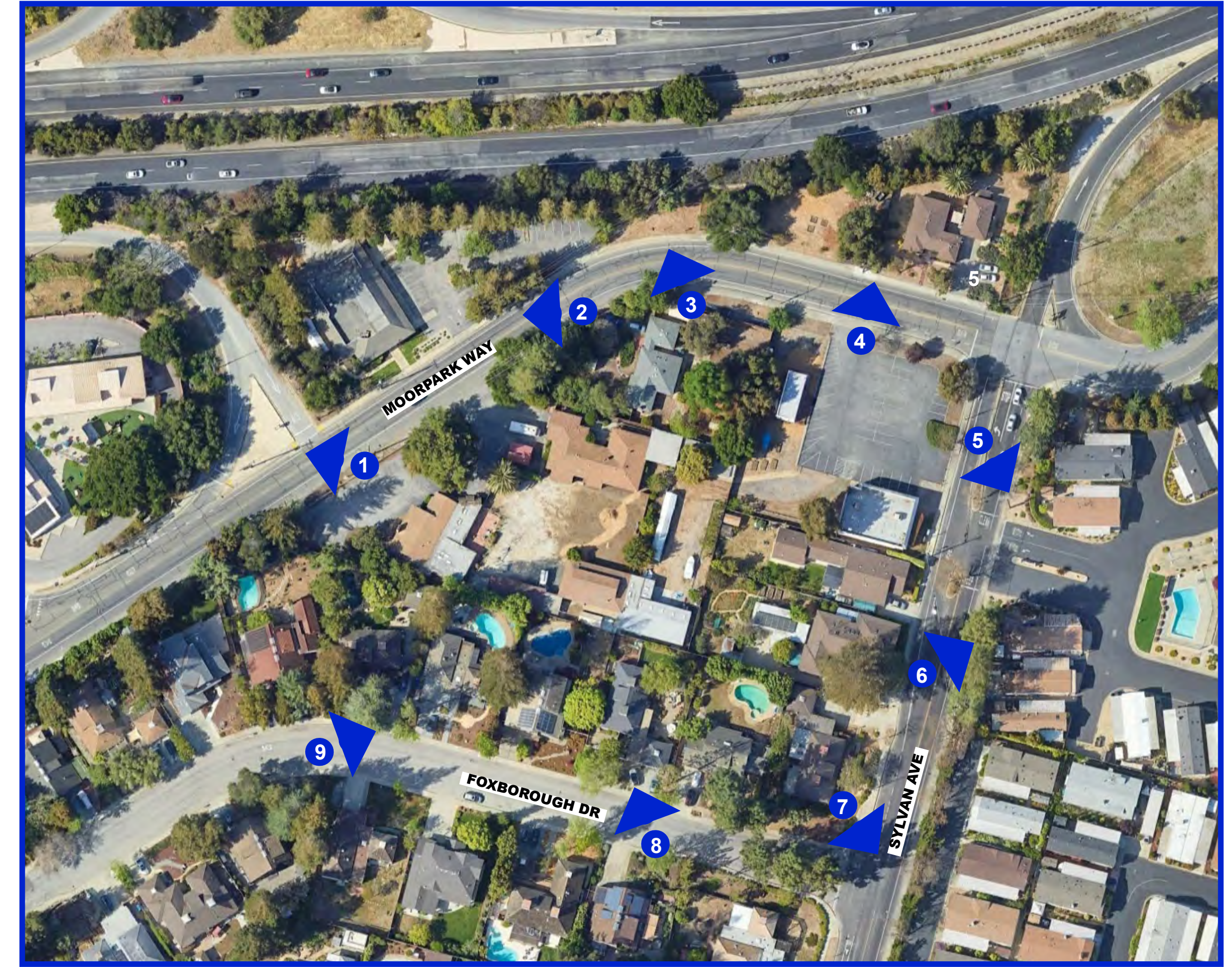
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SITE CONTEXT CONTINUED

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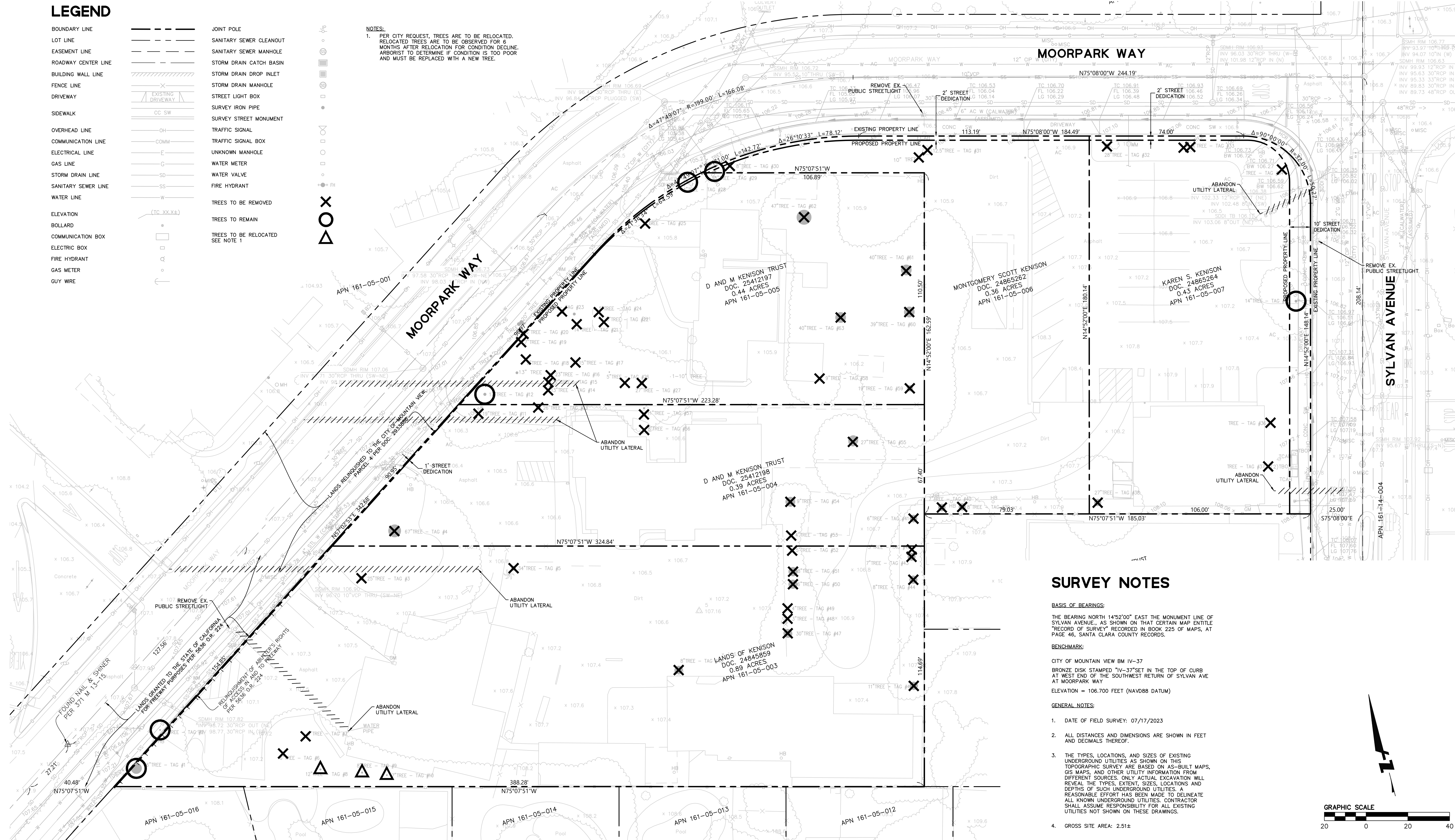
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A.5

LEGEND

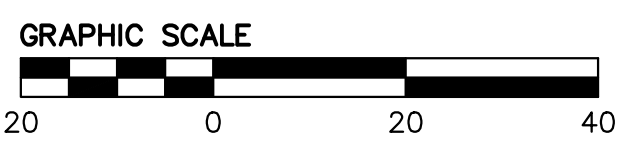
BOUNDARY LINE		JOINT POLE	
LOT LINE		SANITARY SEWER CLEANOUT	
EASEMENT LINE		SANITARY SEWER MANHOLE	
ROADWAY CENTER LINE		STORM DRAIN CATCH BASIN	
BUILDING WALL LINE		STORM DRAIN DROP INLET	
FENCE LINE		STORM DRAIN MANHOLE	
DRIVEWAY		STREET LIGHT BOX	
SIDEWALK		SURVEY IRON PIPE	
OVERHEAD LINE		SURVEY STREET MONUMENT	
COMMUNICATION LINE		TRAFFIC SIGNAL	
ELECTRICAL LINE		TRAFFIC SIGNAL BOX	
GAS LINE		UNKNOWN MANHOLE	
STORM DRAIN LINE		WATER METER	
SANITARY SEWER LINE		WATER VALVE	
WATER LINE		FIRE HYDRANT	
ELEVATION		TREES TO BE REMOVED	
BOLLARD		TREES TO REMAIN	
COMMUNICATION BOX		TREES TO BE RELOCATED	
ELECTRIC BOX		SEE NOTE 1	
FIRE HYDRANT			
GAS METER			
GUY WIRE			

NOTES:
 1. PER CITY REQUEST, TREES ARE TO BE RELOCATED. RELOCATED TREES ARE TO BE OBSERVED FOR 6 MONTHS AFTER RELOCATION FOR CONDITION DECLINE. ARBORIST TO DETERMINE IF CONDITION IS TOO POOR AND MUST BE REPLACED WITH A NEW TREE.



SURVEY NOTES

- BASIS OF BEARINGS:**
 THE BEARING NORTH 14°52'00" EAST THE MONUMENT LINE OF SYLVAN AVENUE, AS SHOWN ON THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY" RECORDED IN BOOK 225 OF MAPS, AT PAGE 46, SANTA CLARA COUNTY RECORDS.
- BENCHMARK:**
 CITY OF MOUNTAIN VIEW BM IV-37
 BRONZE DISK STAMPED "IV-37" SET IN THE TOP OF CURB AT WEST END OF THE SOUTHWEST RETURN OF SYLVAN AVE AT MOORPARK WAY
 ELEVATION = 106.700 FEET (NAVD88 DATUM)
- GENERAL NOTES:**
- DATE OF FIELD SURVEY: 07/17/2023
 - ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - THE TYPES, LOCATIONS, AND SIZES OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE BASED ON AS-BUILT MAPS, GIS MAPS, AND OTHER UTILITY INFORMATION FROM DIFFERENT SOURCES. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO DELINEATE ALL KNOWN UNDERGROUND UTILITIES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES NOT SHOWN ON THESE DRAWINGS.
 - GROSS SITE AREA: 2.51±



EXISTING CONDITIONS

317 MOORPARK WAY- MOUNTAIN VIEW, CA
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A.6

237 SOUTHBAY FWY

MOORPARK WAY

PROPERTY LINE - 2.51 AC GROSS AREA
- 2.45 AC NET AREA

EASEMENT

SYLVAN AVE.



PLAN TYPE & ELEVATION STYLES KEY:

- Plan 1A (Red square)
- Plan 1B (Orange square)
- Plan 1C (Yellow square)
- Plan 2A (Light Blue square)
- Plan 2B (Dark Blue square)
- Plan 2C (Pink square)
- Plan 3 (Light Blue square)
- Plan 4 (Light Pink square)
- Plan 5 (Purple square)

LANDSCAPED AREA & OVERALL SITE KEY:

- M Mailbox location
- * BMR Units
- ◀ Project Entry

THIS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY, TO CONVEY DESIGN CONCEPTS AND INTENT.
FOR DETAILED SITE PLAN INCLUDING DIMENSIONS, REFER TO SHEET C2.0. FOR PROPOSED SETBACK DISTANCES REFER TO A.3B
FOR DETAILED LANDSCAPE PLAN, REFER TO T1.0, T1.1, L1.0, L1.1, L2.0, L2.1, L2.2, L2.3, L2.4, L3.0, L3.1, L3.2

UNIT ALLOCATION & ARCHITECTURAL SITE PLAN

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MOORPARK SYLVAN INVESTORS, LLC

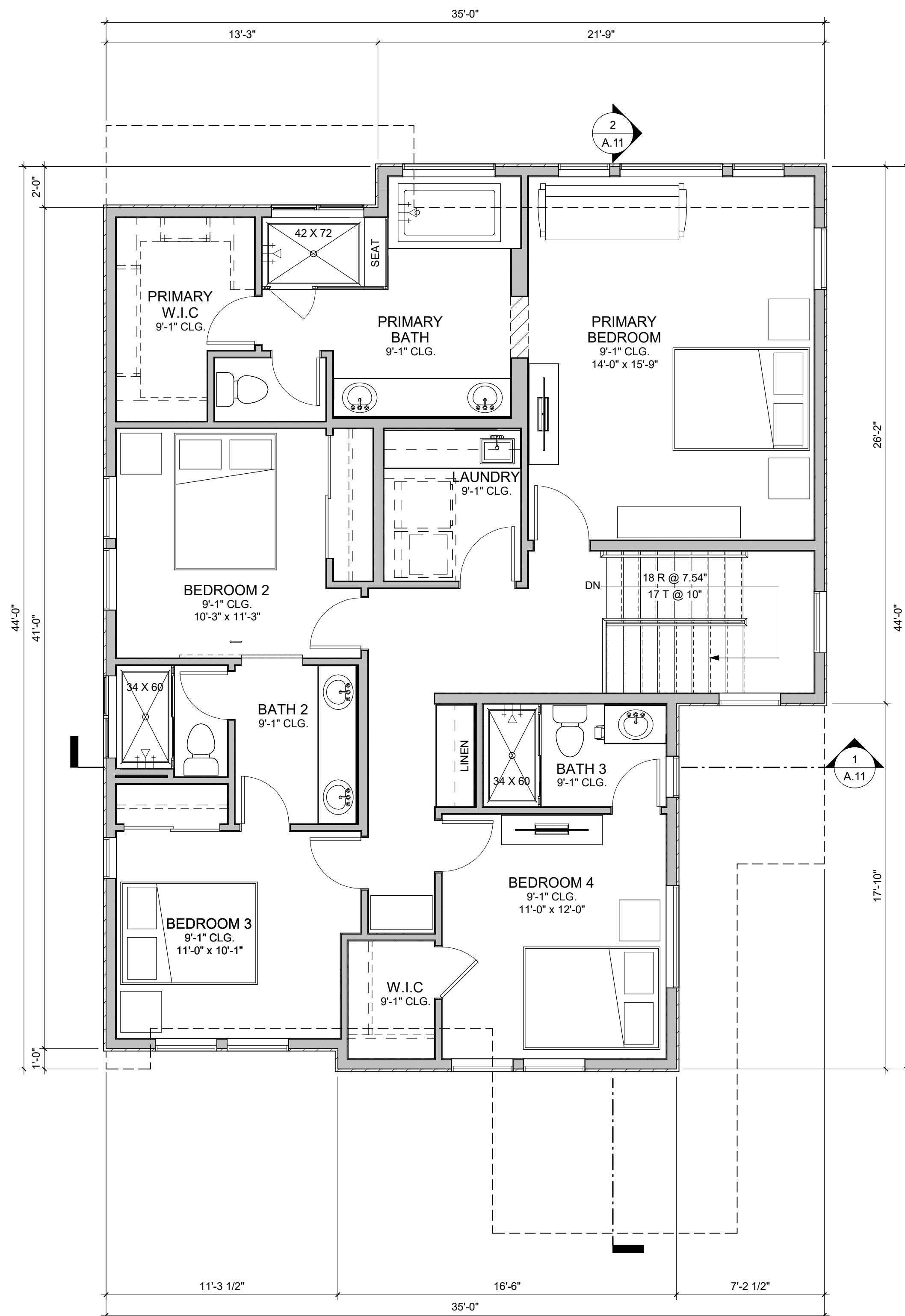
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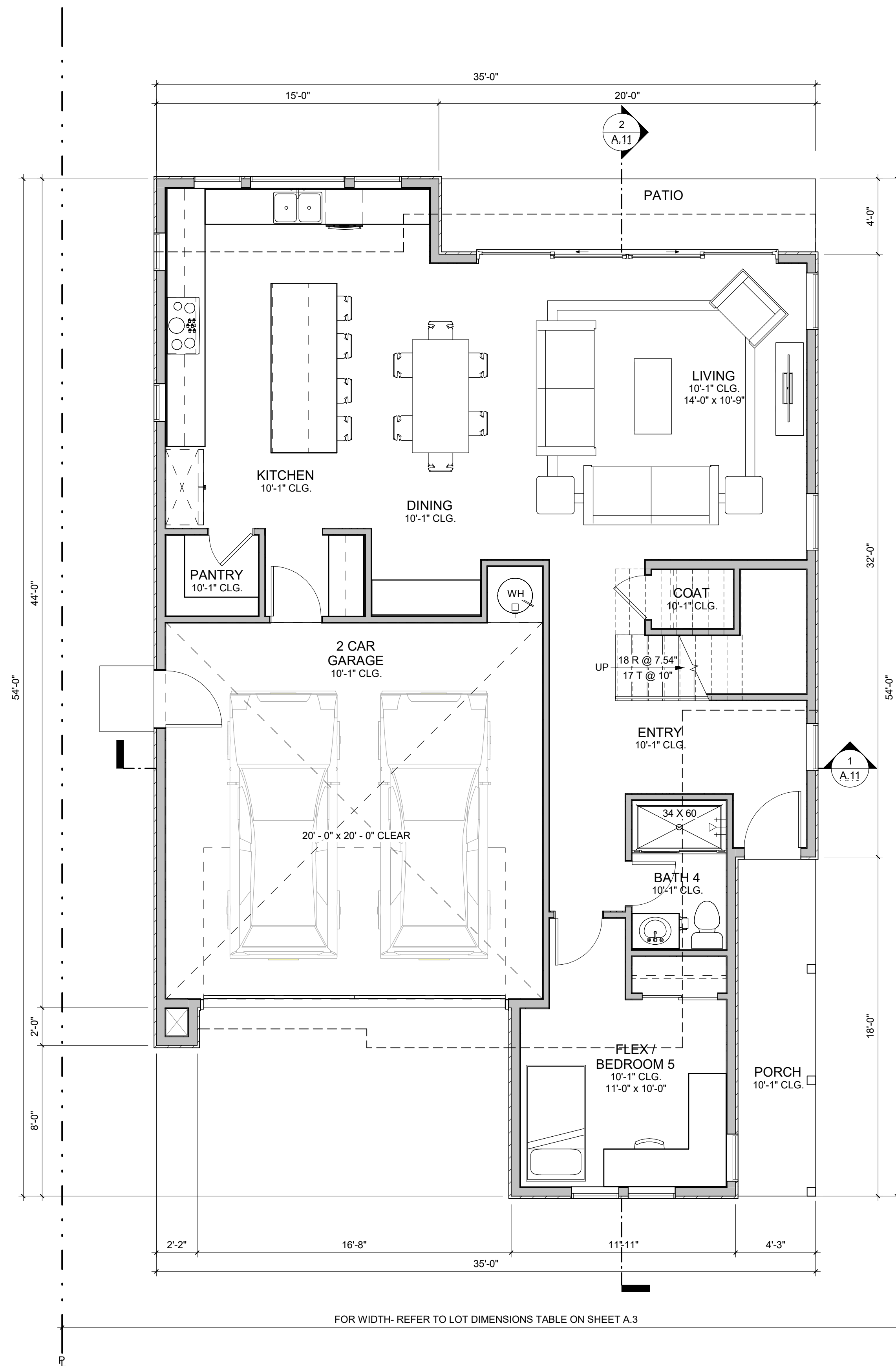


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A.7



2 PLAN 1A - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 1A - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 1A - 5 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1117
SECOND FLOOR	1296
TOTAL LIVING AREA	2413
2-CAR GARAGE	433
COVERED PORCH	77

*GROSS SQUARE FOOTAGE

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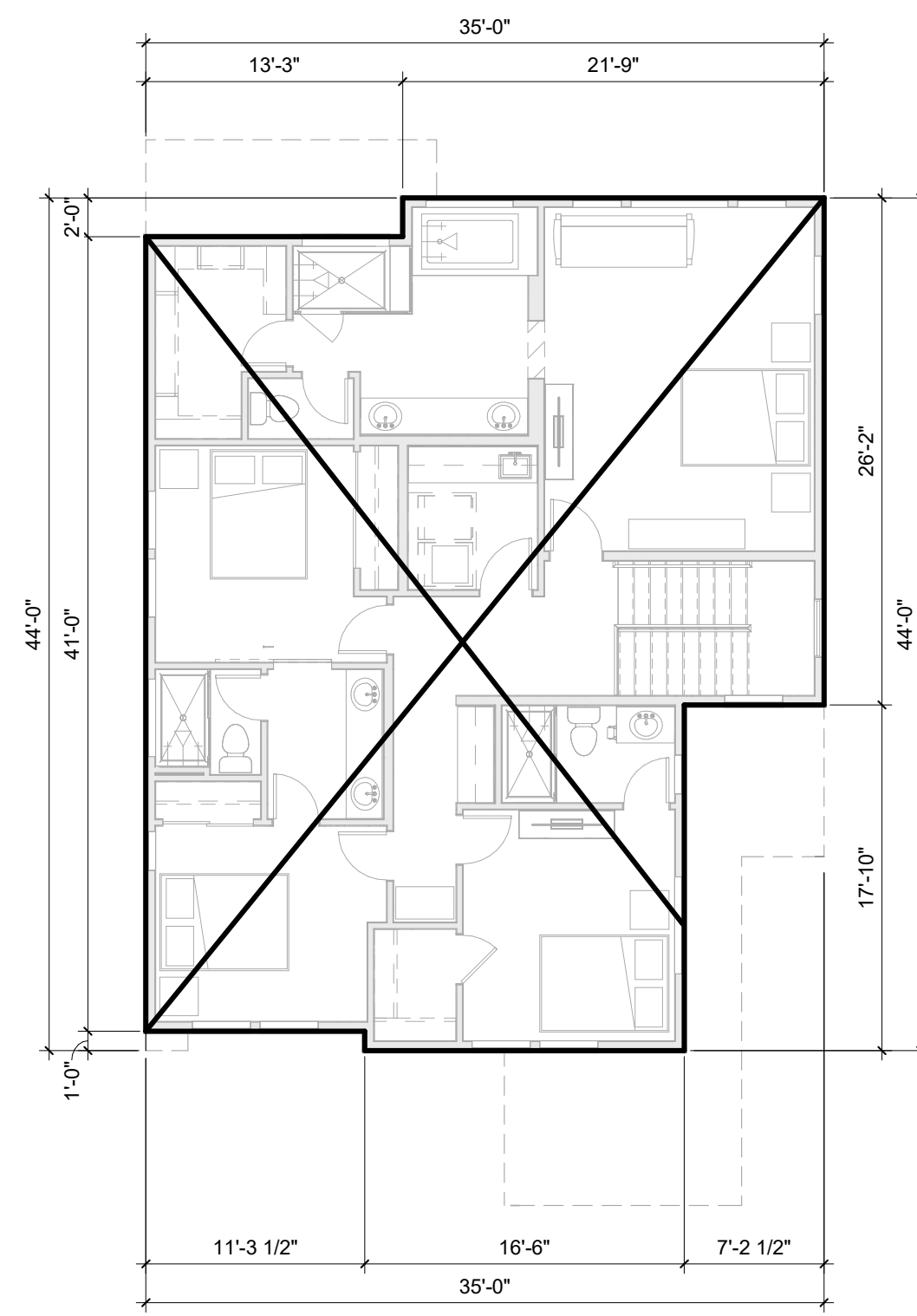
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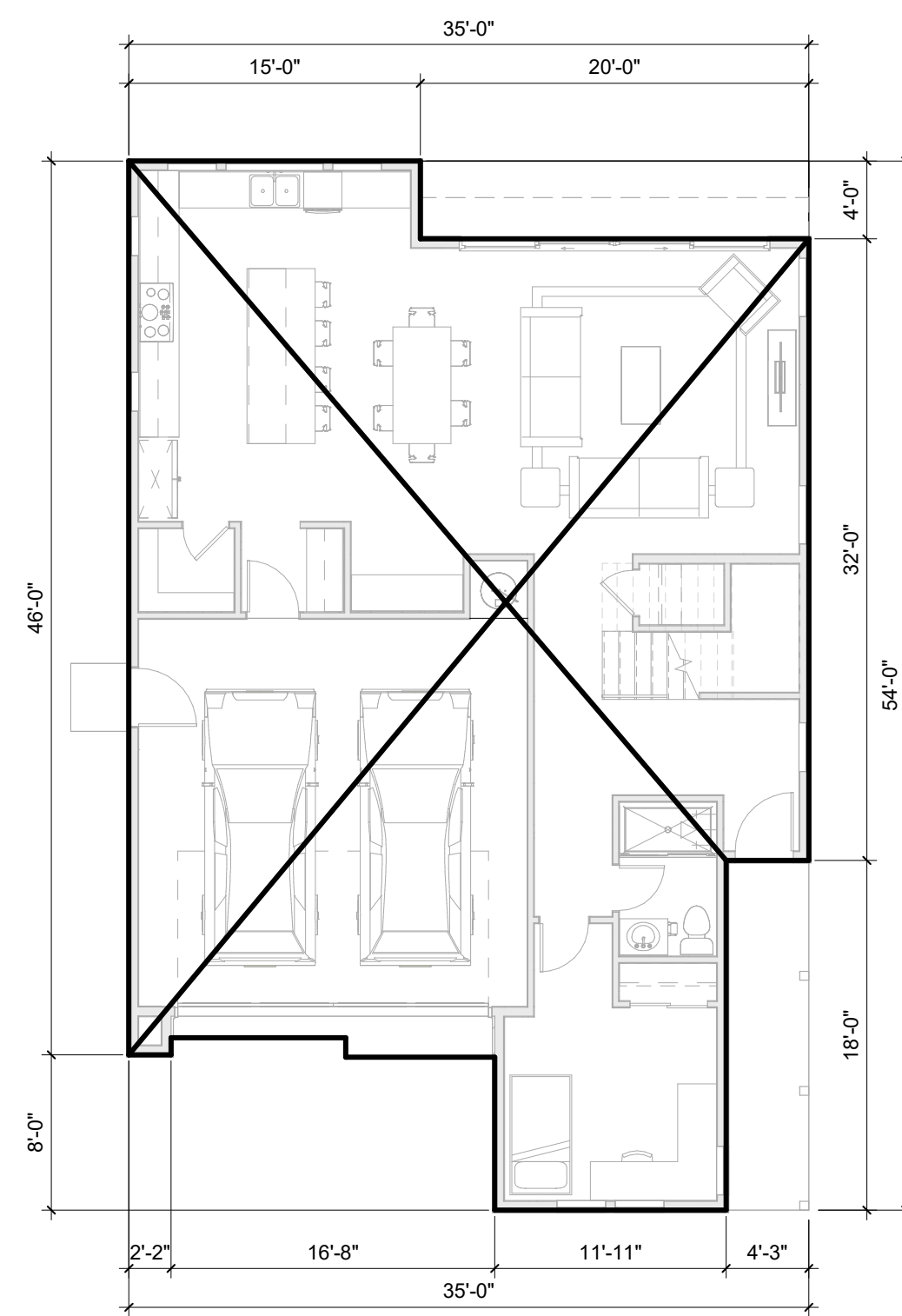
JOB NO. 297-090
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A.8

PLAN 1A TRADITIONAL - FLOOR PLANS

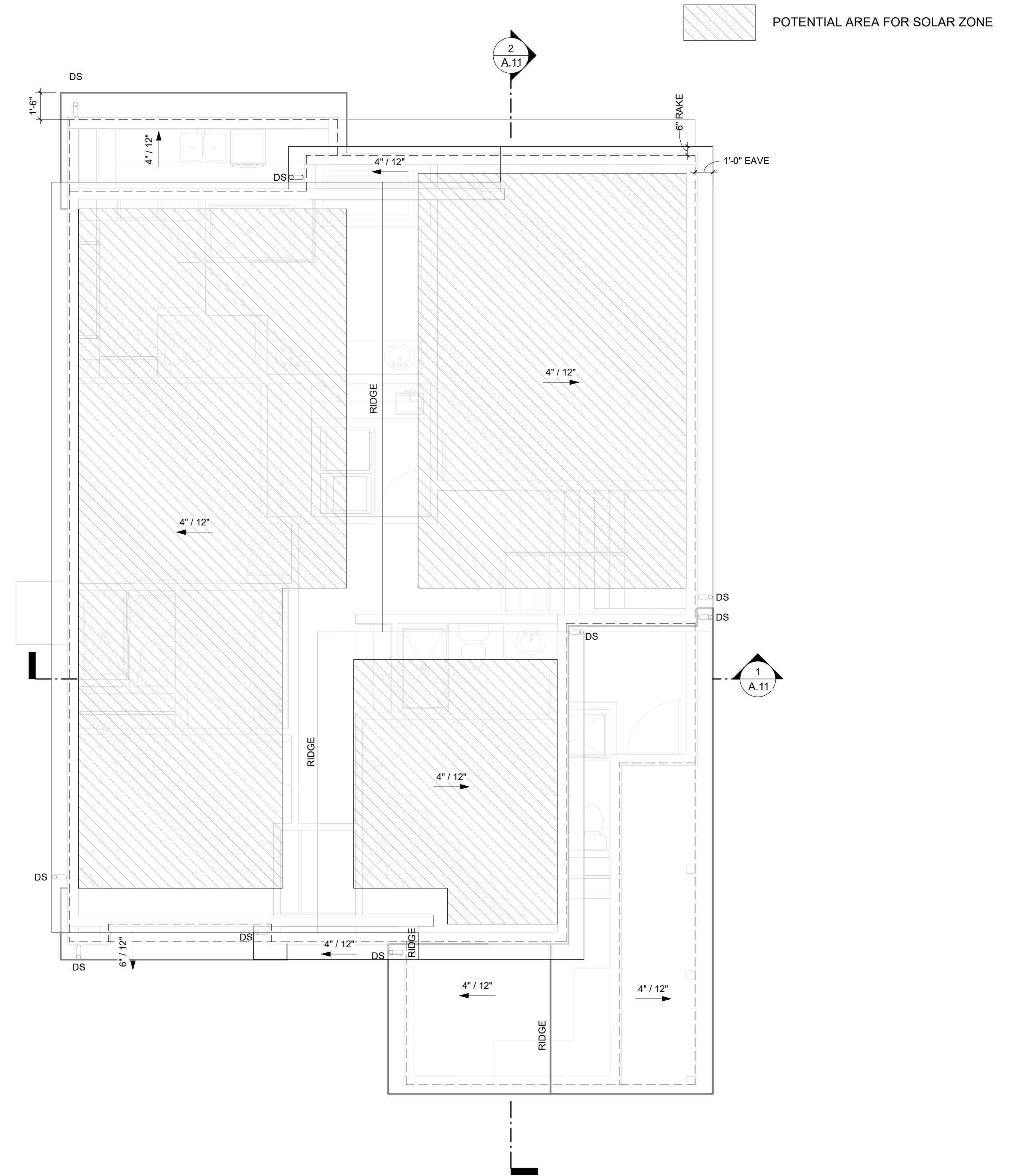


3 PLAN 1A - 2ND FLR. F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 1A - 1ST FLR. F.A.R. BOUNDARY
1/8" = 1'-0"

PLAN 1A FAR - 5 BR/ 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1,574
SECOND FLOOR	1,374
TOTAL FAR	2,948



1 PLAN 1A - ROOF PLAN
1/4" = 1'-0"

PLAN 1A TRADITIONAL - FLOOR PLANS

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A.9



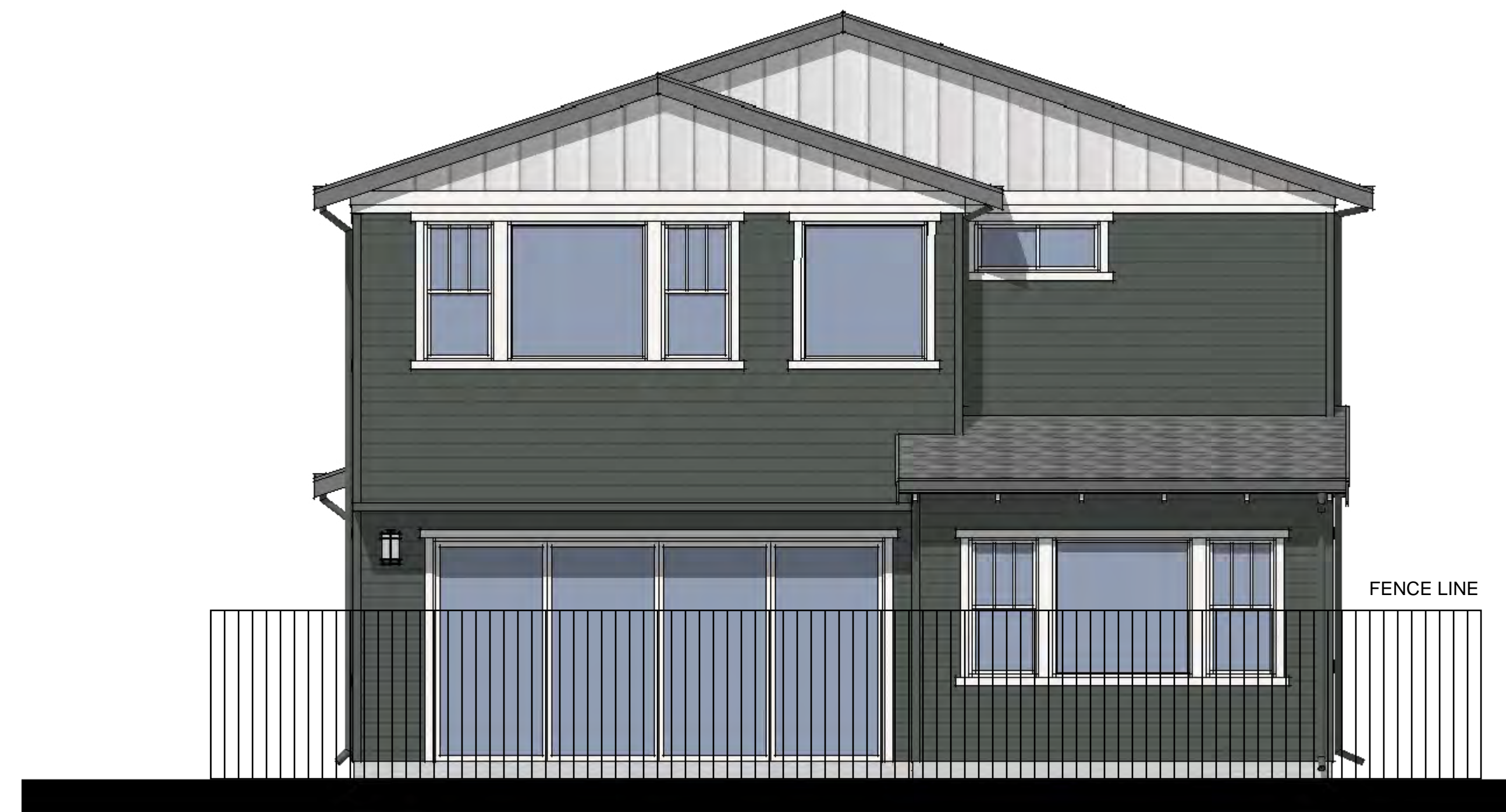
FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 1A	9	27'-7"
	14	27'-6"
	21	27'-6"

*BLDG. HT.= HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.52 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 1A TRADITIONAL - ELEVATIONS

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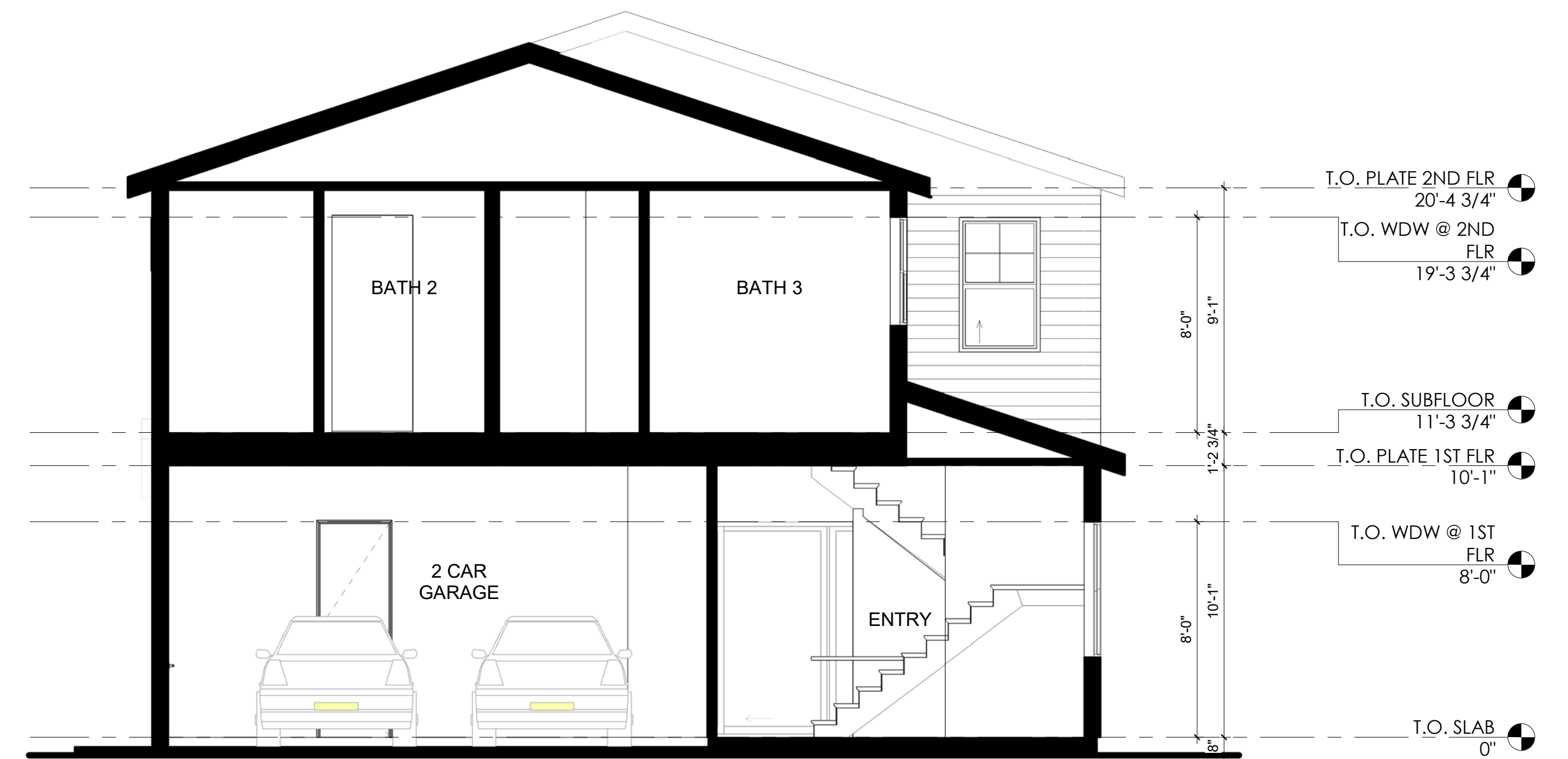
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A.10



2 PLAN 1A - TRADITIONAL - SECTION B
1/4" = 1'-0"

1 PLAN 1A - TRADITIONAL - SECTION A
1/4" = 1'-0"

PLAN 1A TRADITIONAL - SECTIONS

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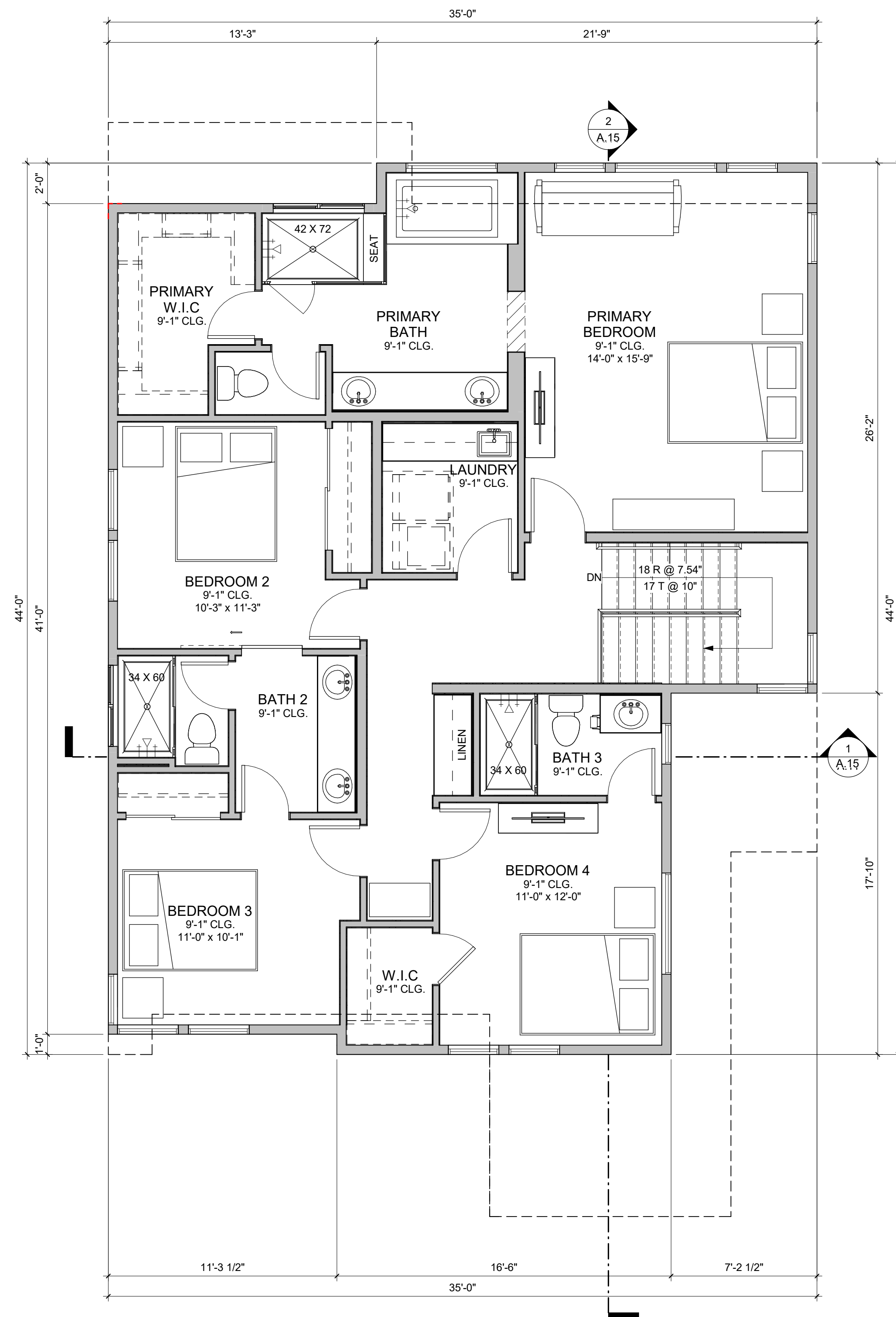
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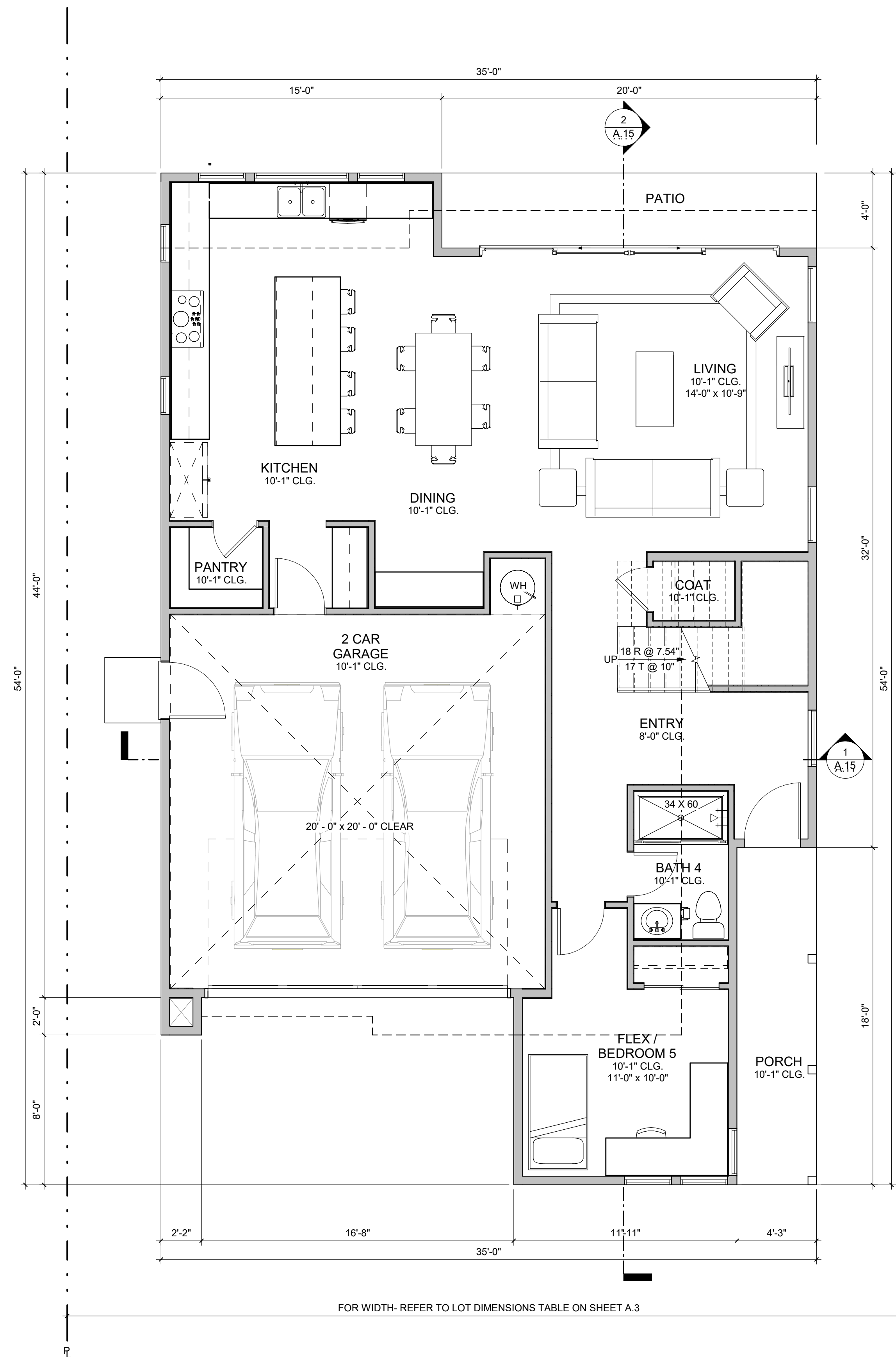


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A.11



2 PLAN 1B - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 1B - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 1B - 5 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1117
SECOND FLOOR	1296
TOTAL LIVING AREA	2413
2 CAR GARAGE	433
COVERED PORCH	77

*GROSS SQUARE FOOTAGE

PLAN 1B CONTEMPORARY - FLOOR PLANS

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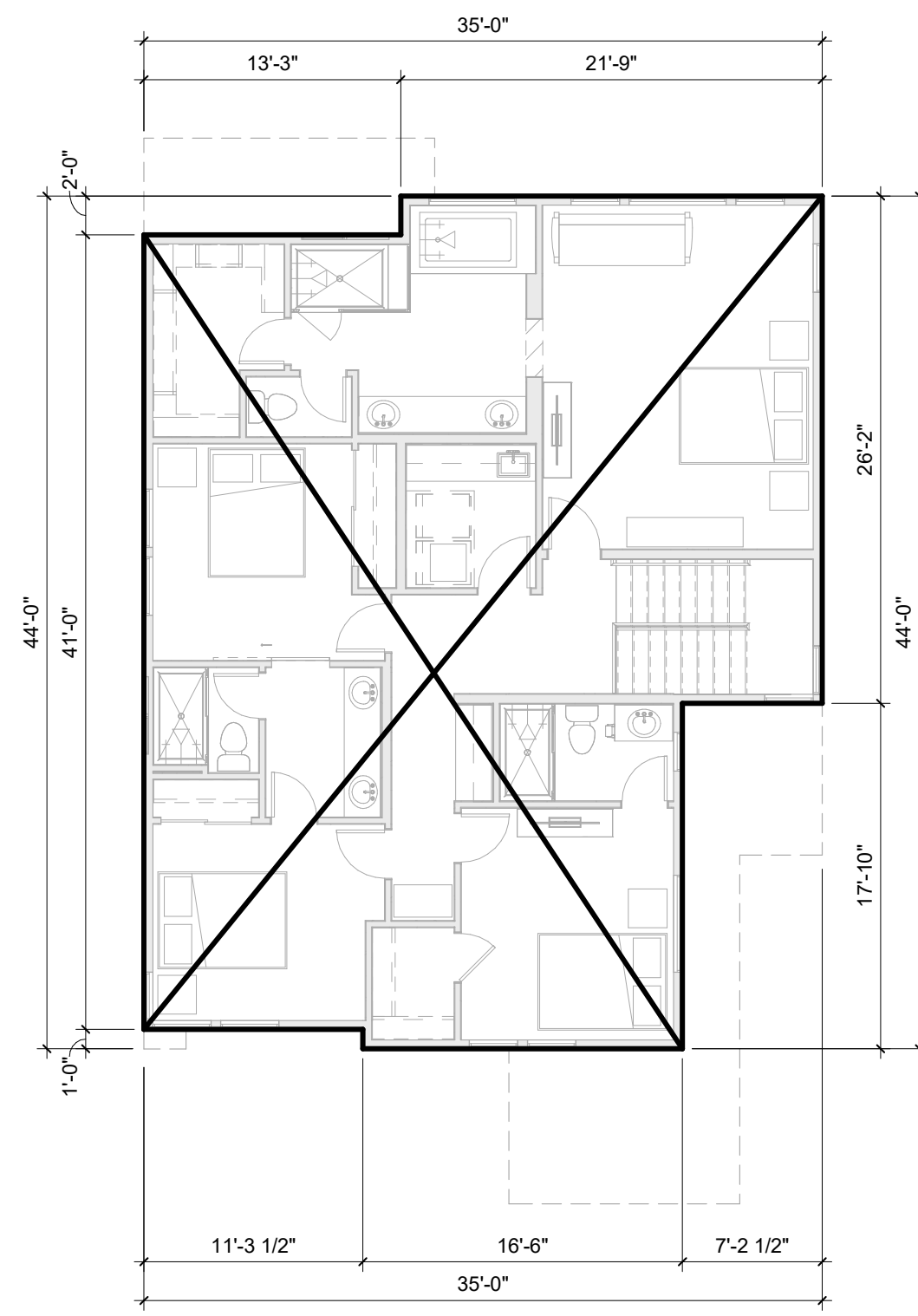
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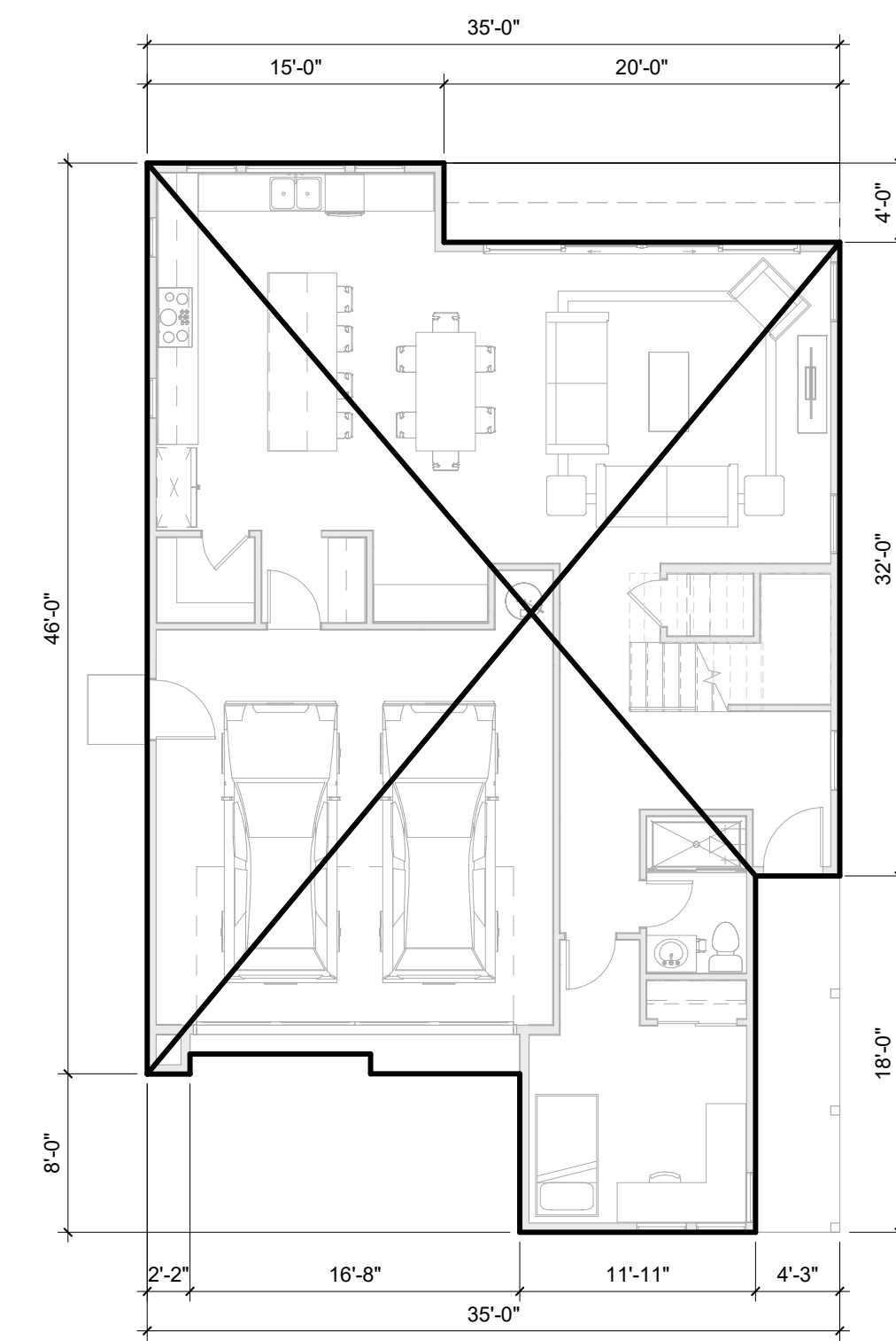


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A.12

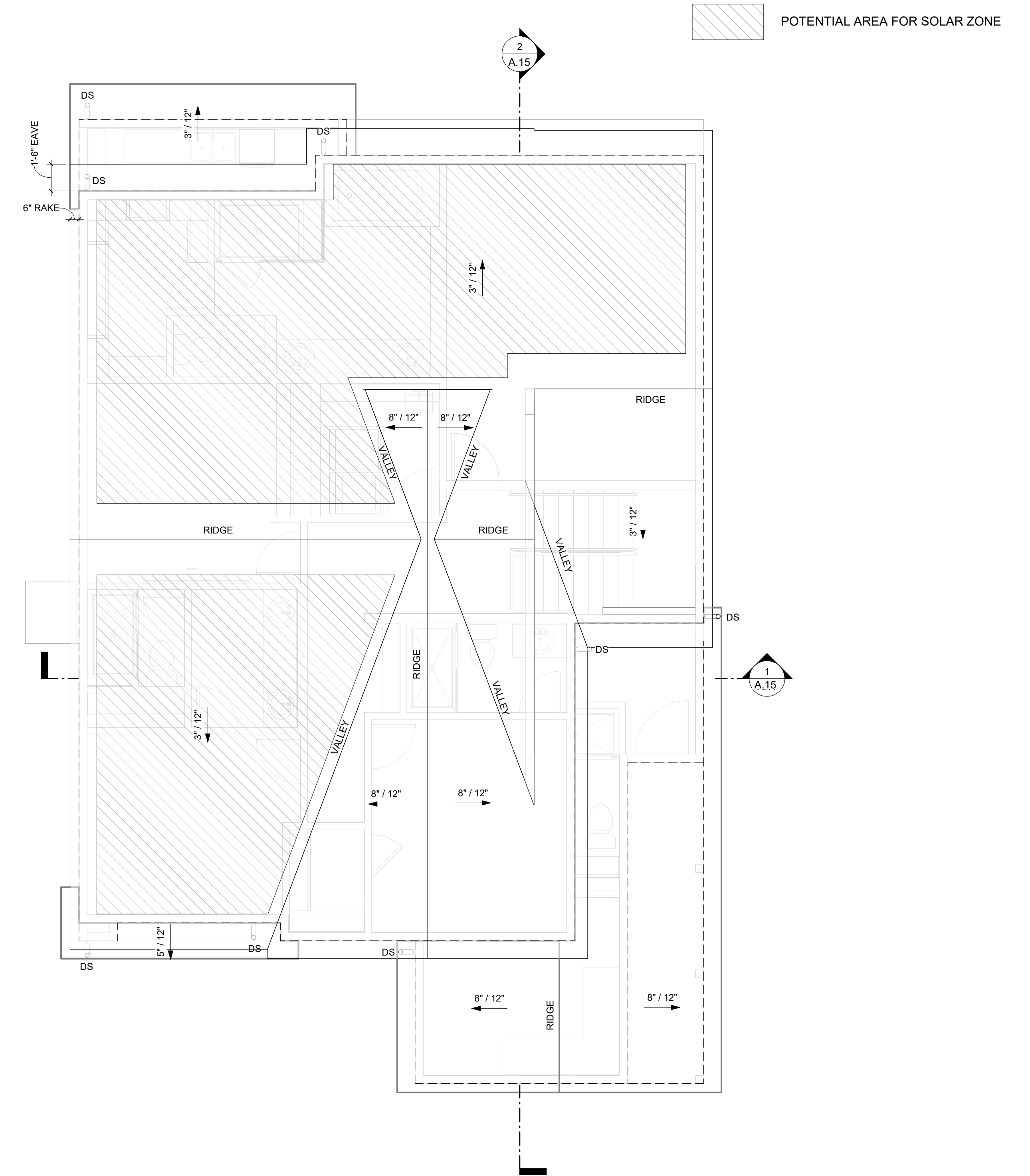


3 PLAN 1B - 2ND FLR. F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 1B - 1ST FLR. F.A.R. BOUNDARY
1/8" = 1'-0"

PLAN 1B FAR - 5 BR/ 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1,574
SECOND FLOOR	1,374
TOTAL FAR	2,948



1 PLAN 1B - ROOF PLAN
1/4" = 1'-0"

PLAN 1B CONTEMPORARY - FLOOR PLANS

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FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 1B	5	27'-6"
	15	27'-7"

*BLDG. HT.= HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.52 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 1B CONTEMPORARY - ELEVATIONS

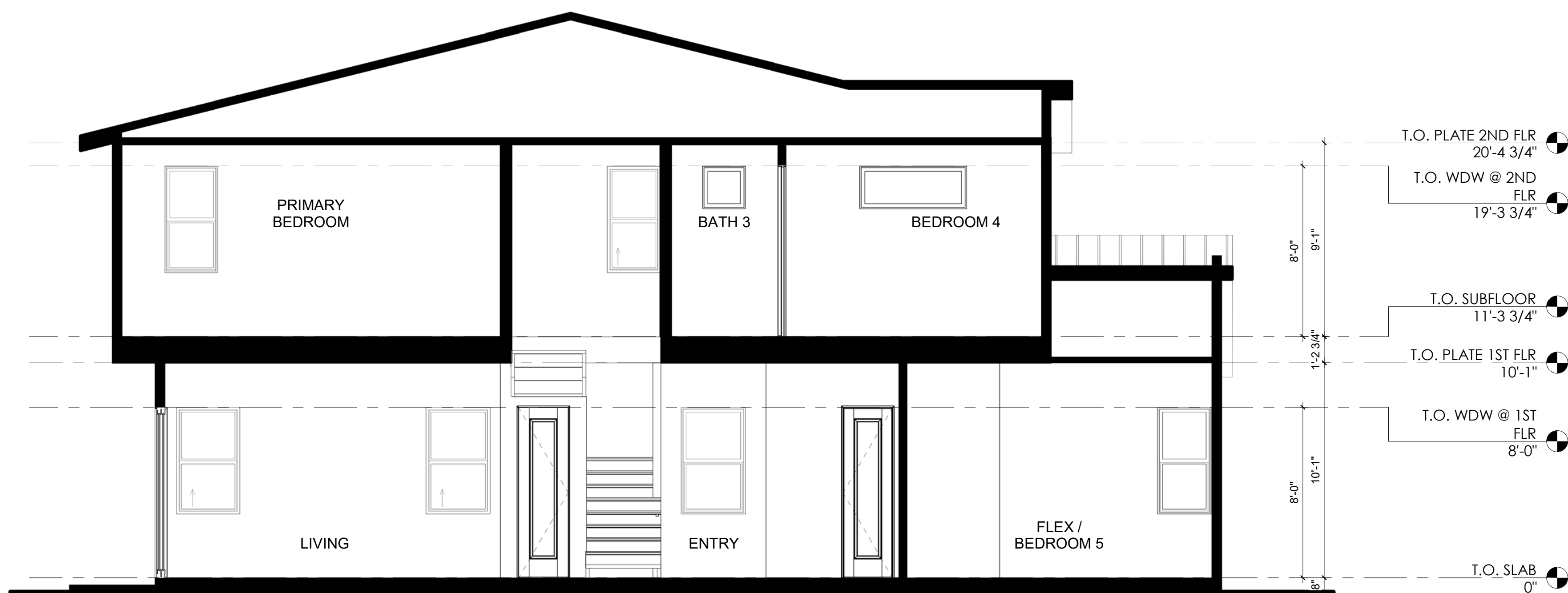
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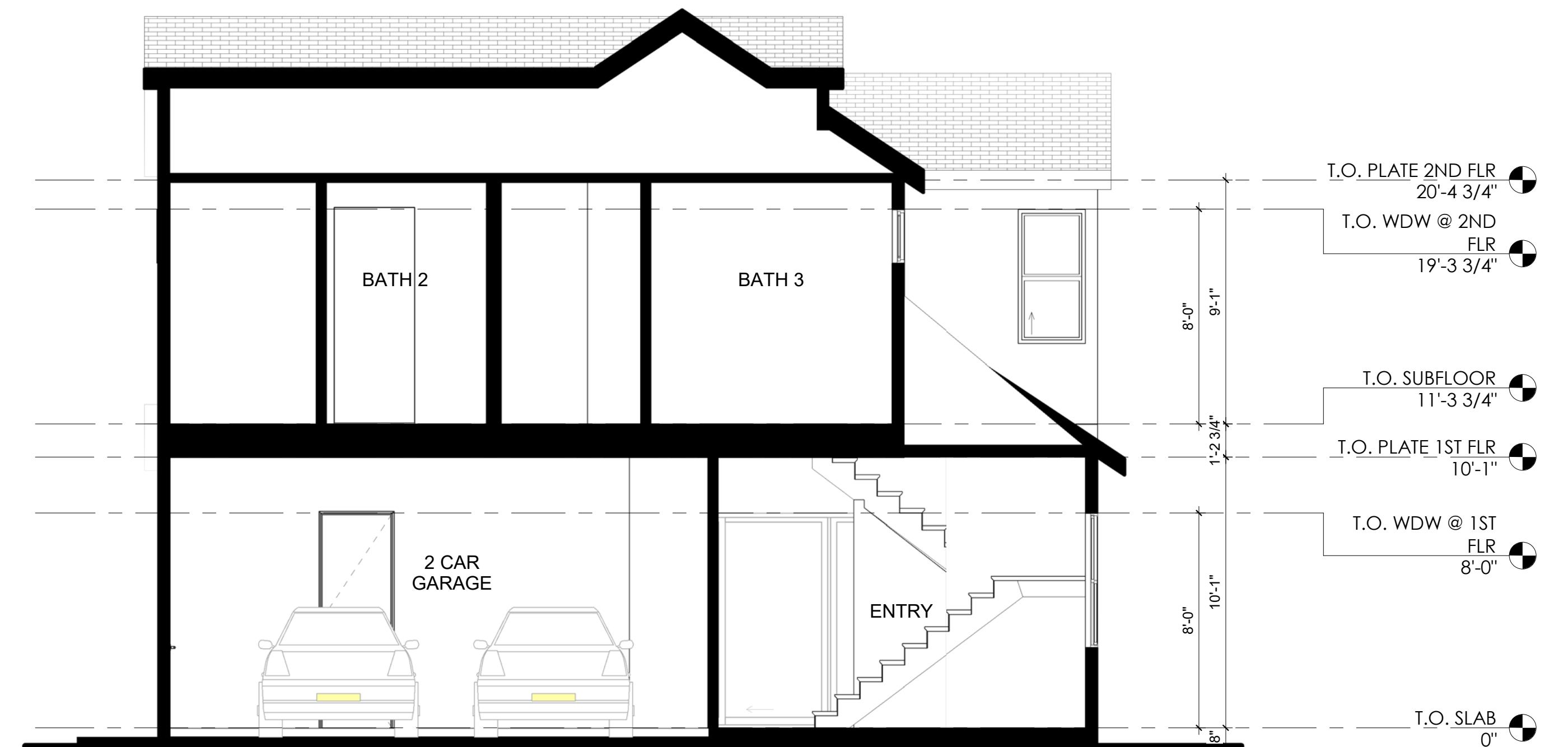
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2 PLAN 1B - CONTEMPORARY - SECTION B
1/4" = 1'-0"



1 PLAN 1B - CONTEMPORARY - SECTION A
1/4" = 1'-0"

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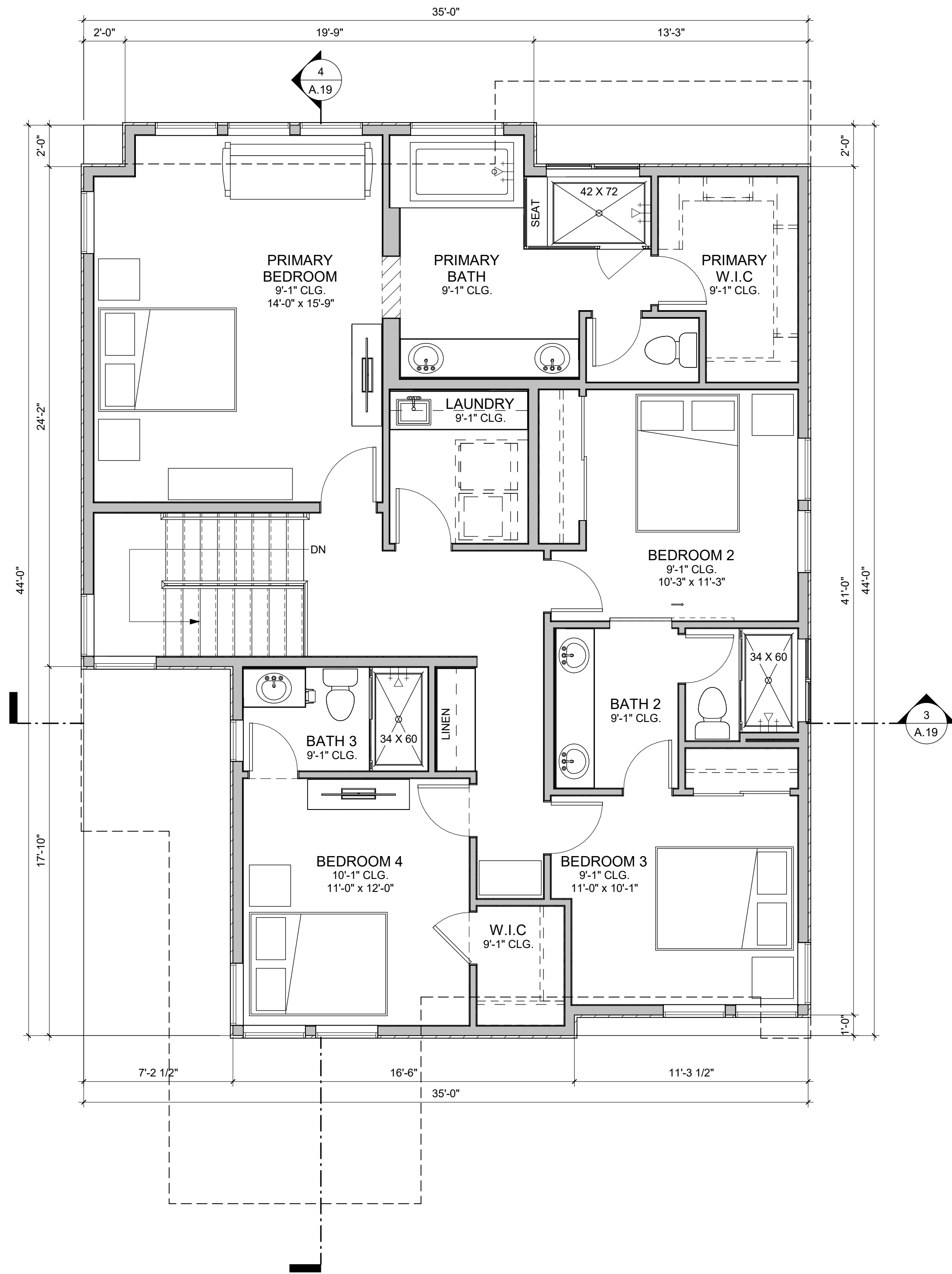
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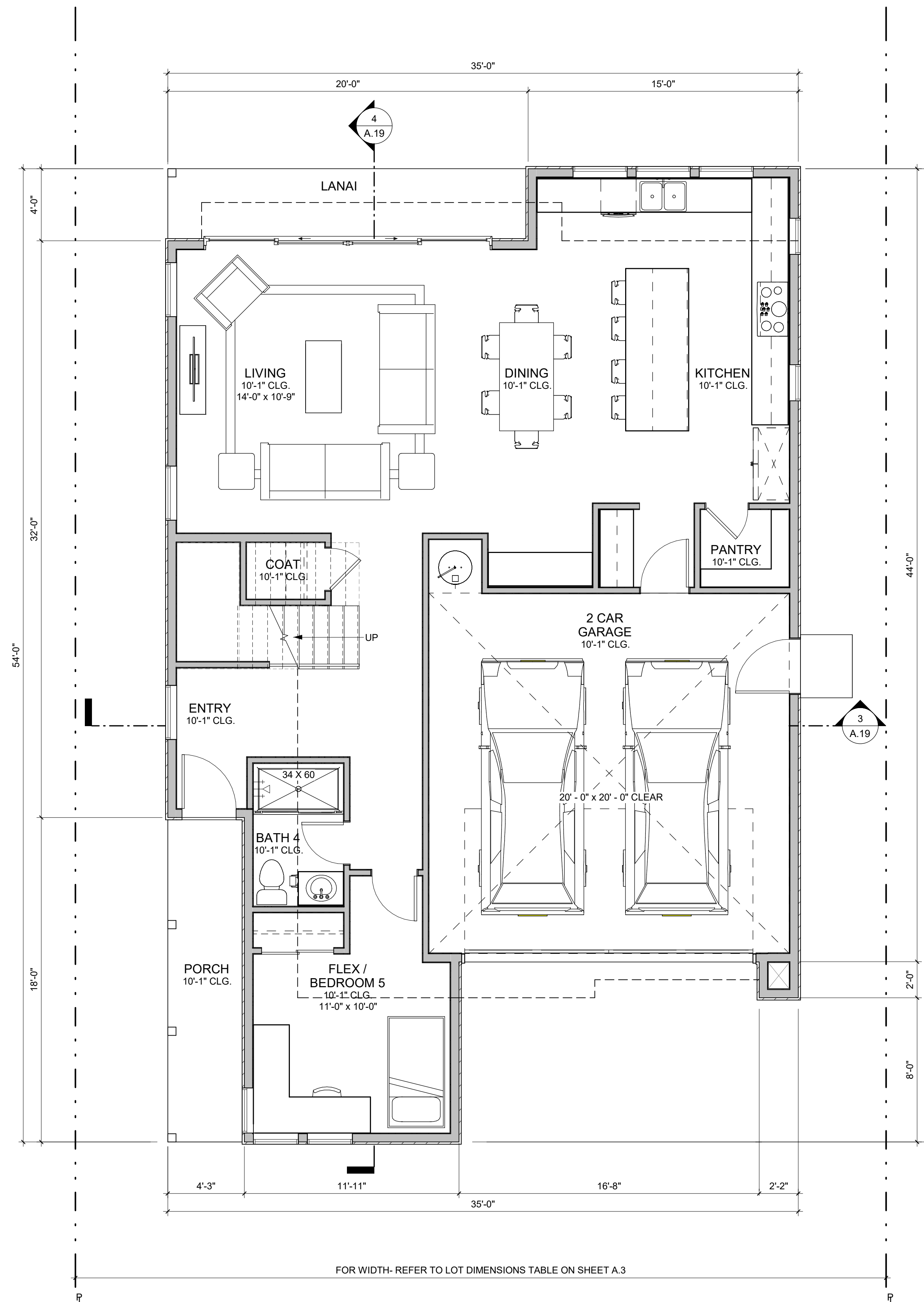
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A.15

PLAN 1B CONTEMPORARY - SECTIONS



2 PLAN 1C - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 1C - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 1C - 5 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1117
SECOND FLOOR	1292
TOTAL LIVING AREA	2409
2 CAR GARAGE	433
COVERED PORCH	77

*GROSS SQUARE FOOTAGE

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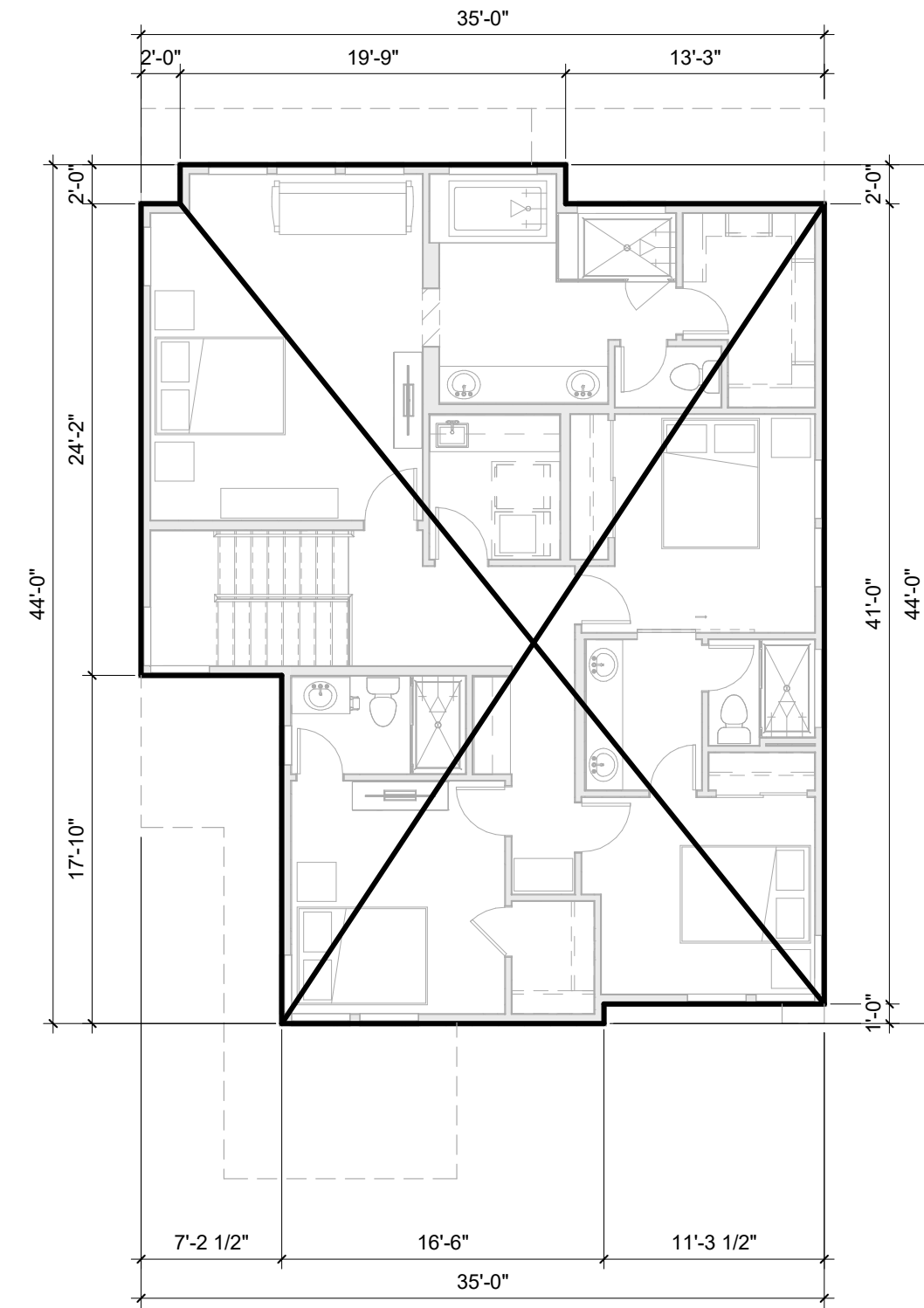
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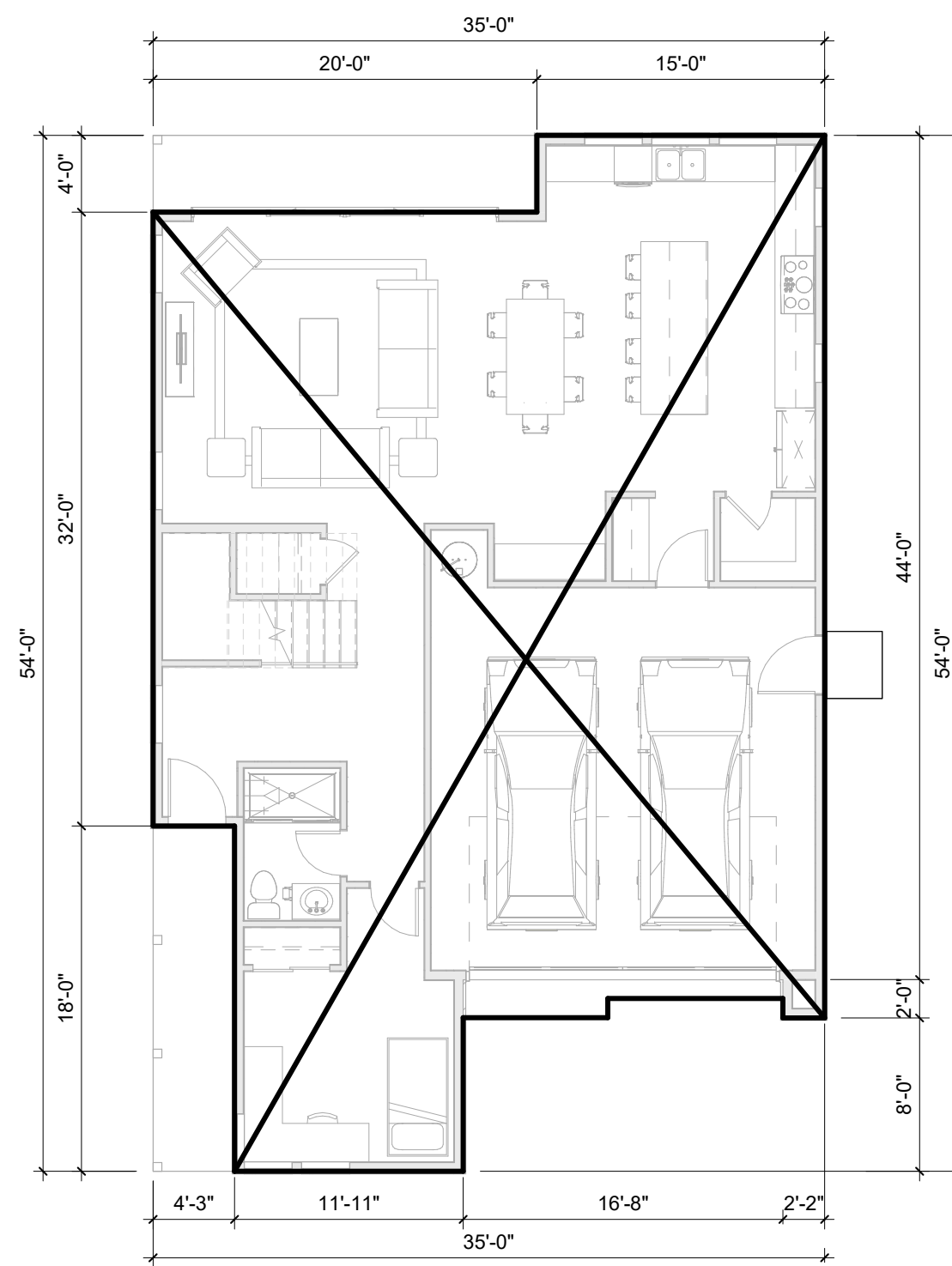
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A.16

PLAN 1C TRANSITIONAL - FLOOR PLANS

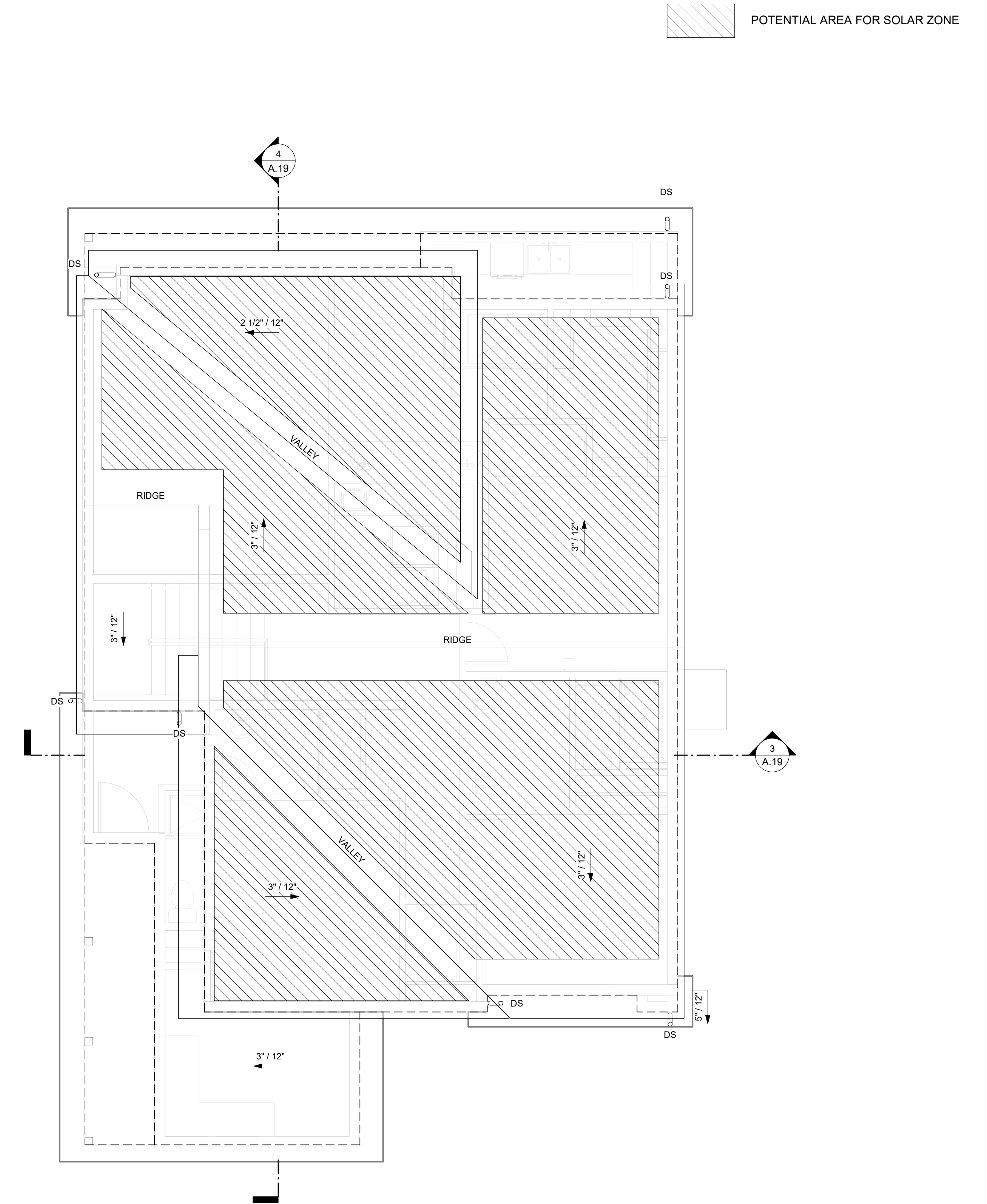


3 PLAN 1C - 2ND FLR. F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 1C - 1ST FLR. F.A.R. BOUNDARY
1/8" = 1'-0"

PLAN 1C FAR - 5 BR/ 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1,574
SECOND FLOOR	1,370
TOTAL FAR	2,944



1 PLAN 1C - ROOF PLAN
1/4" = 1'-0"

PLAN 1C TRANSITIONAL - FLOOR PLANS

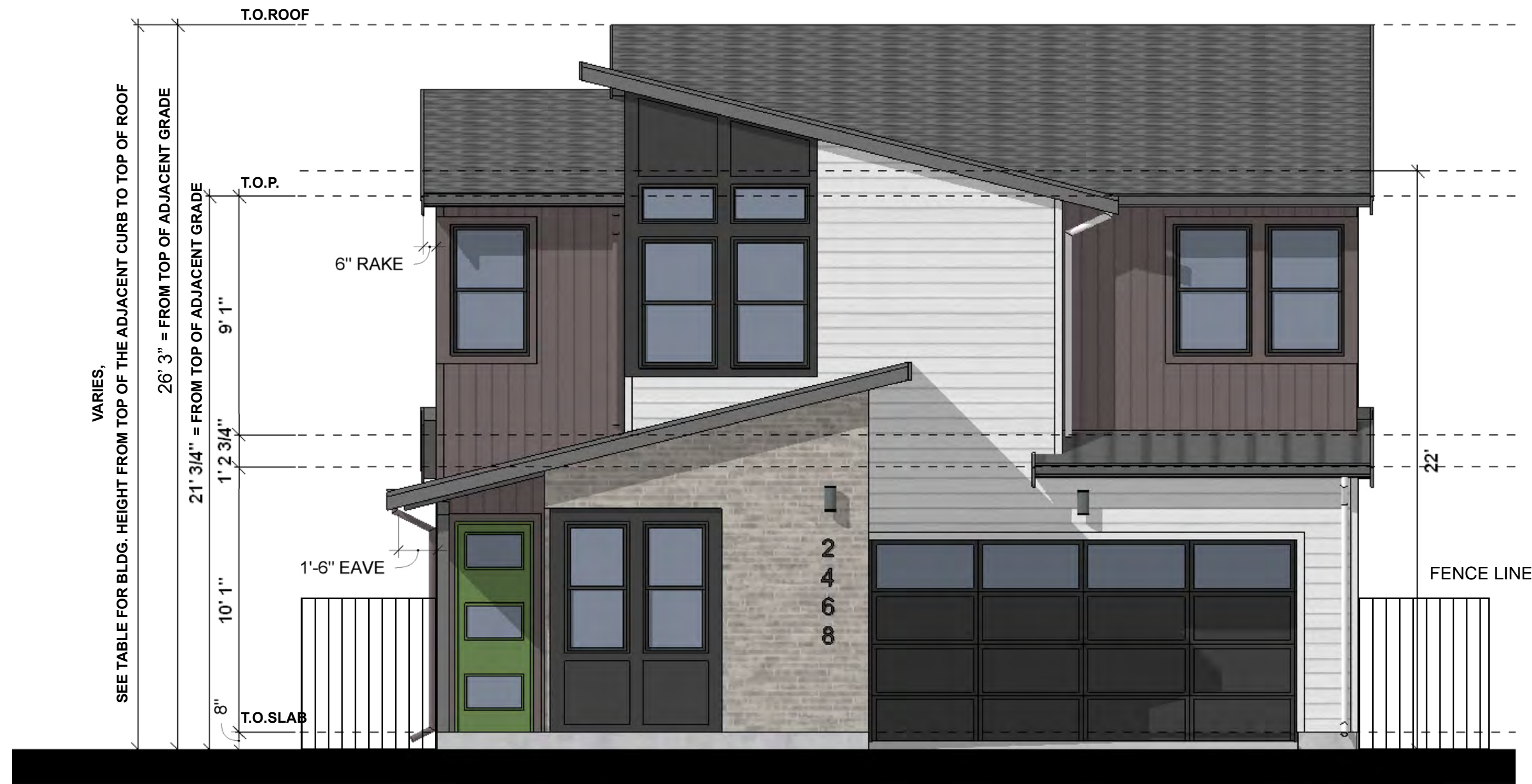
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FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 1C	3	27'-5"
	7	26'-6.5"
	19	27'-7"

*BLDG. HT. = HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.52 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 1C TRANSITIONAL - ELEVATIONS

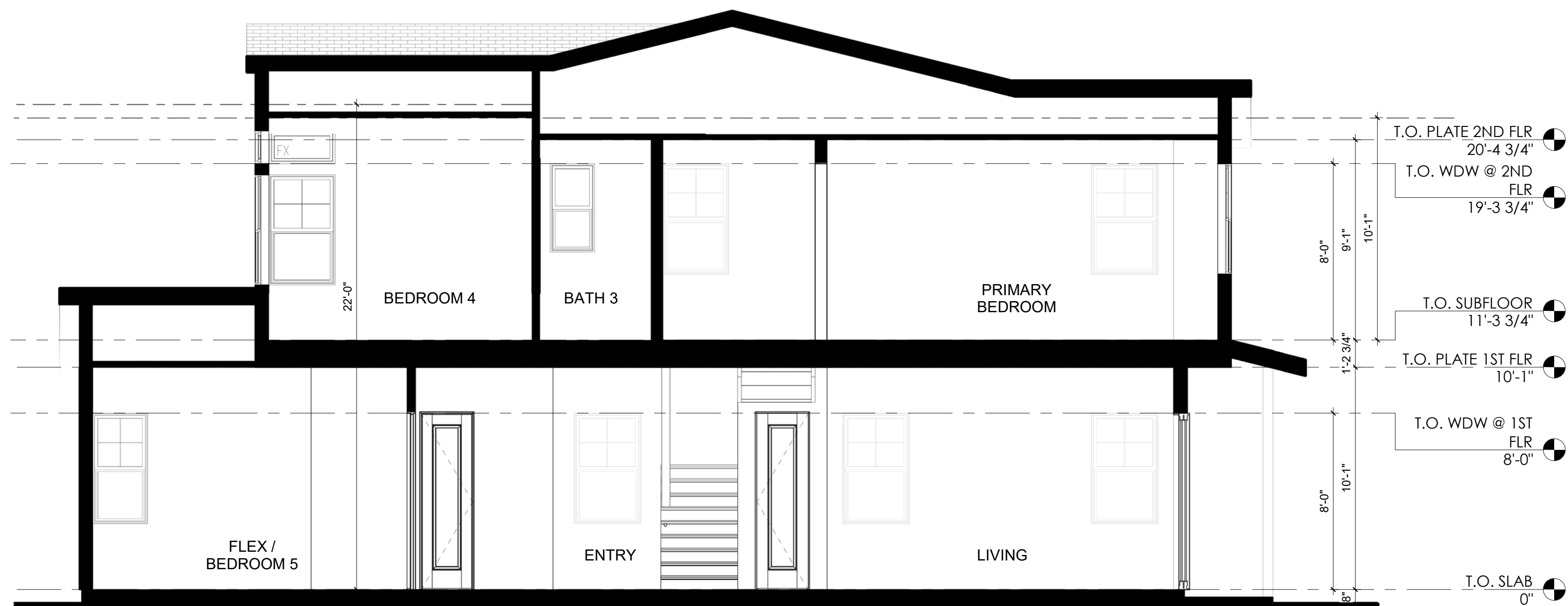
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2 PLAN 1C - TRANSITIONAL - SECTION B
1/4" = 1'-0"



1 PLAN 1C - TRANSITIONAL - SECTION A
1/4" = 1'-0"

PLAN 1C TRANSITIONAL - SECTIONS

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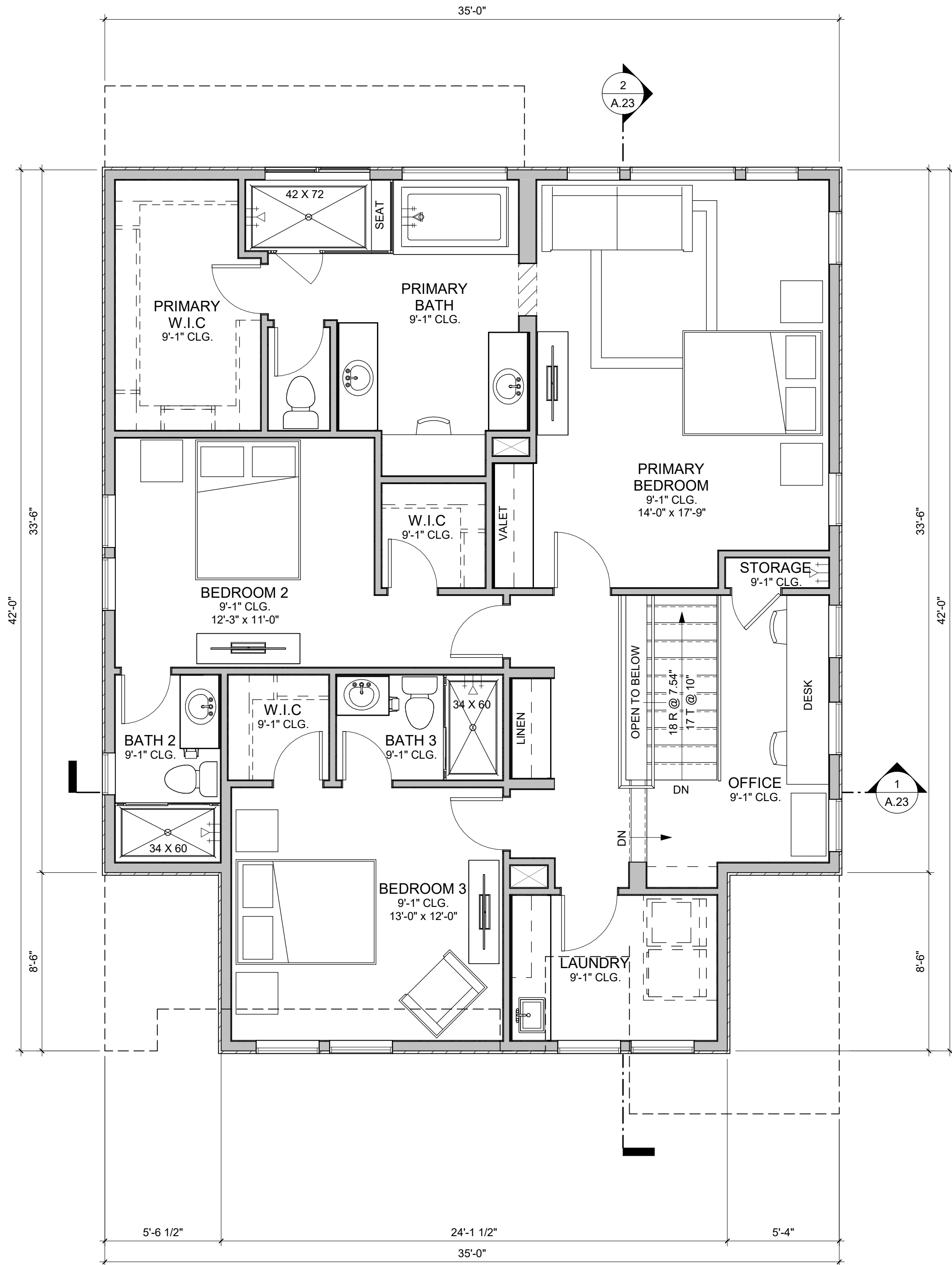
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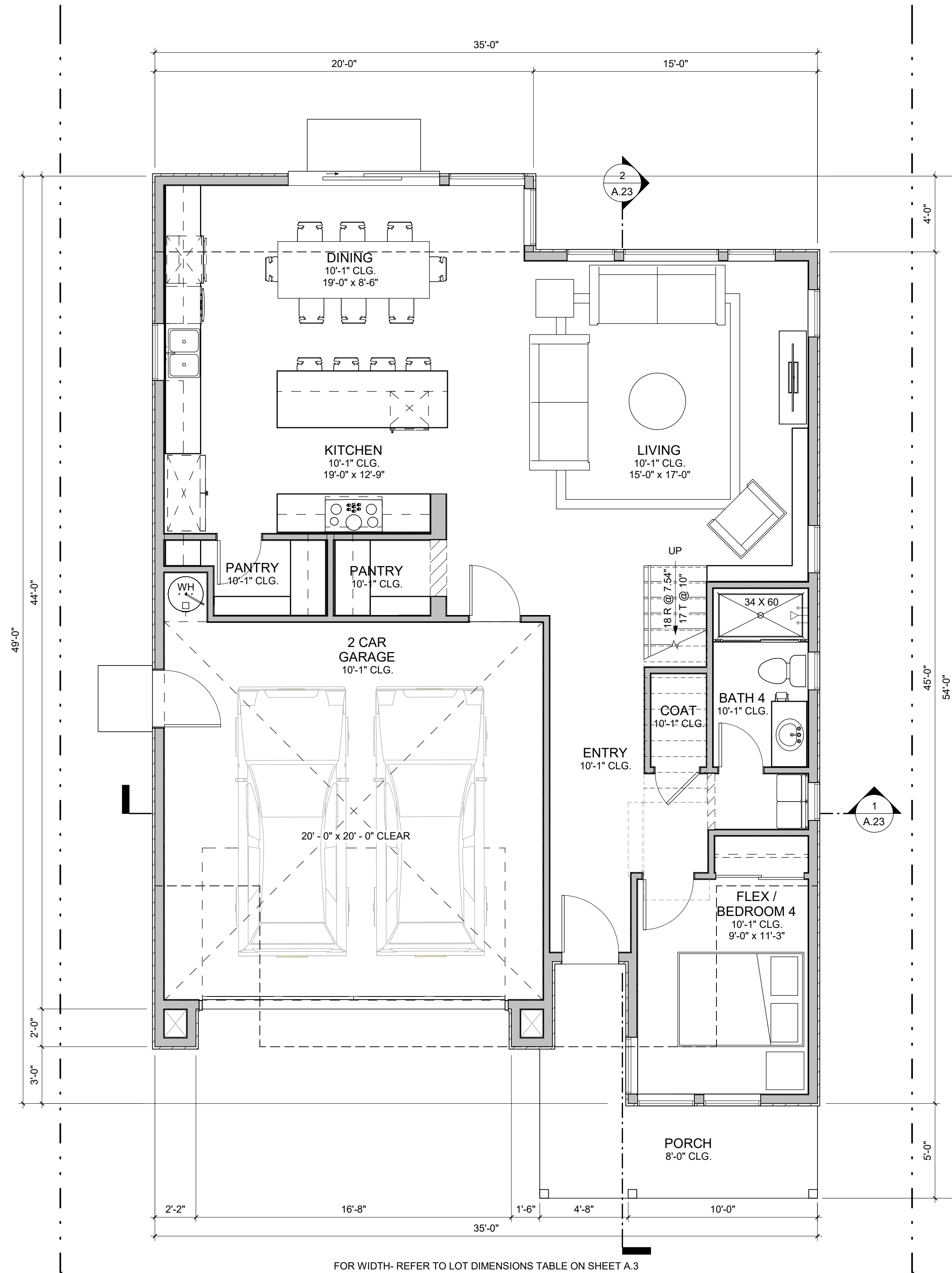


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A.19



2 PLAN 2A - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 2A - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 2A - 4 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1091
SECOND FLOOR	1323
TOTAL LIVING AREA	2414
2-CAR GARAGE	437
COVERED PORCH	105

*GROSS SQUARE FOOTAGE

PLAN 2A TRADITIONAL - FLOOR PLANS

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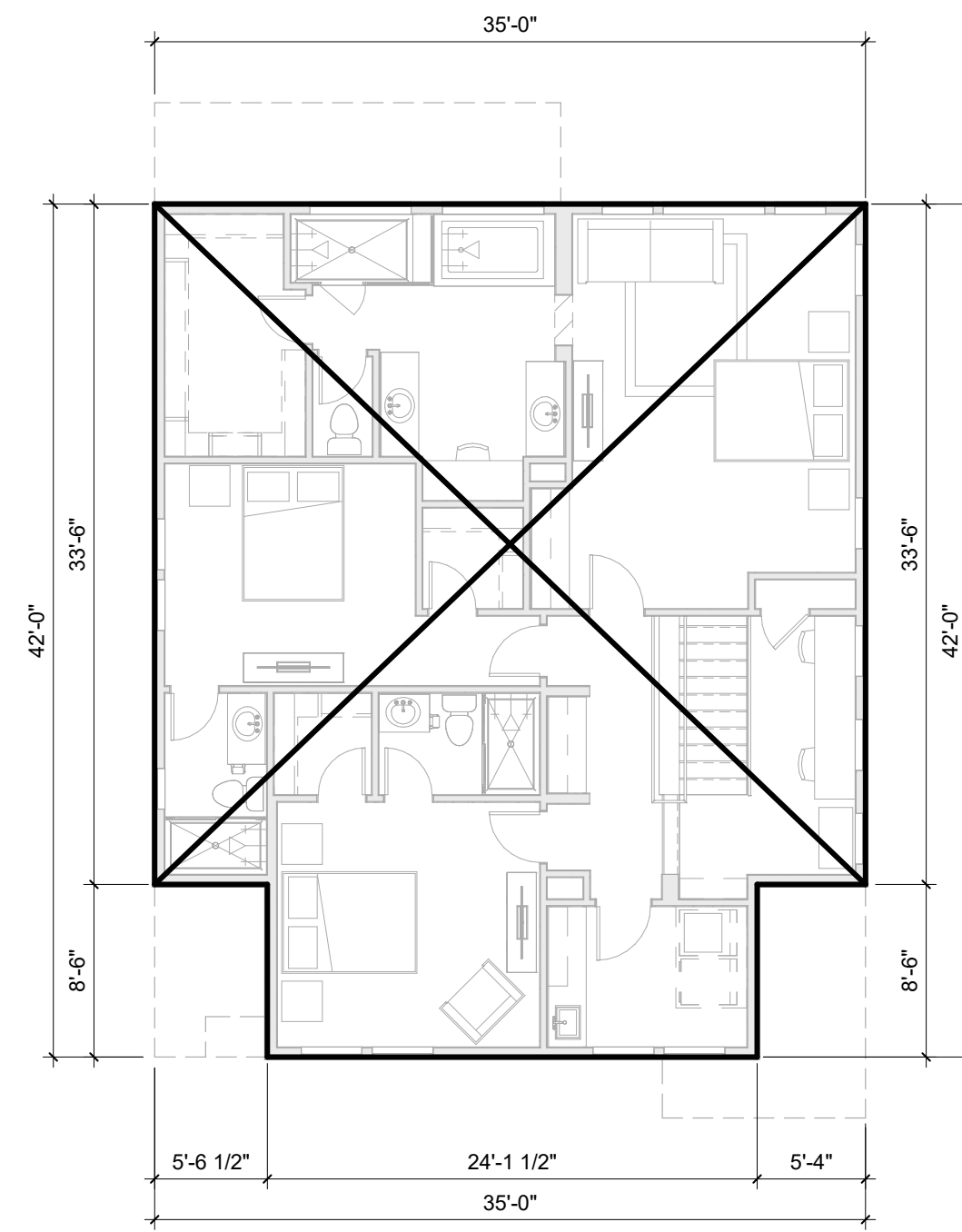
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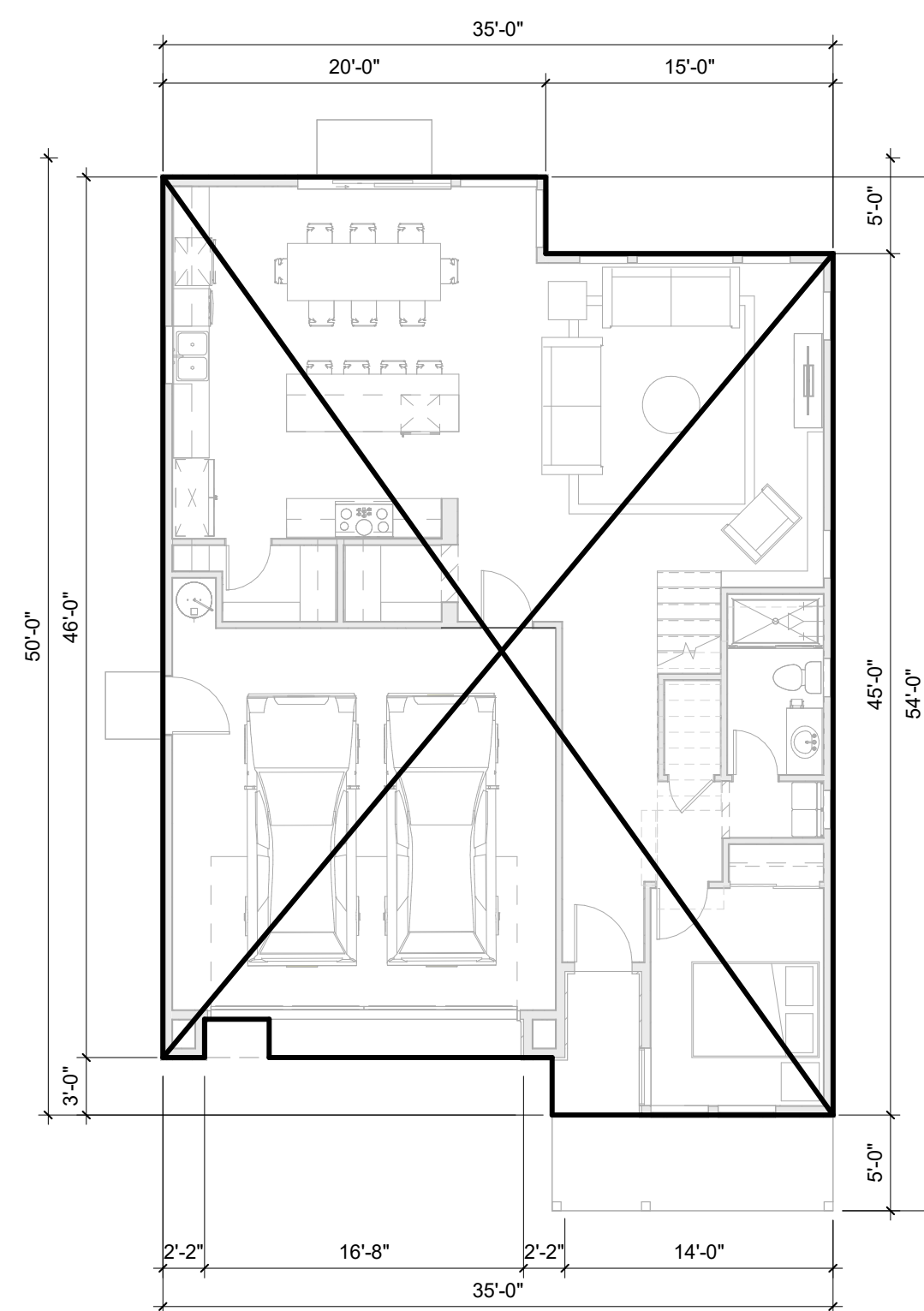


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A.20

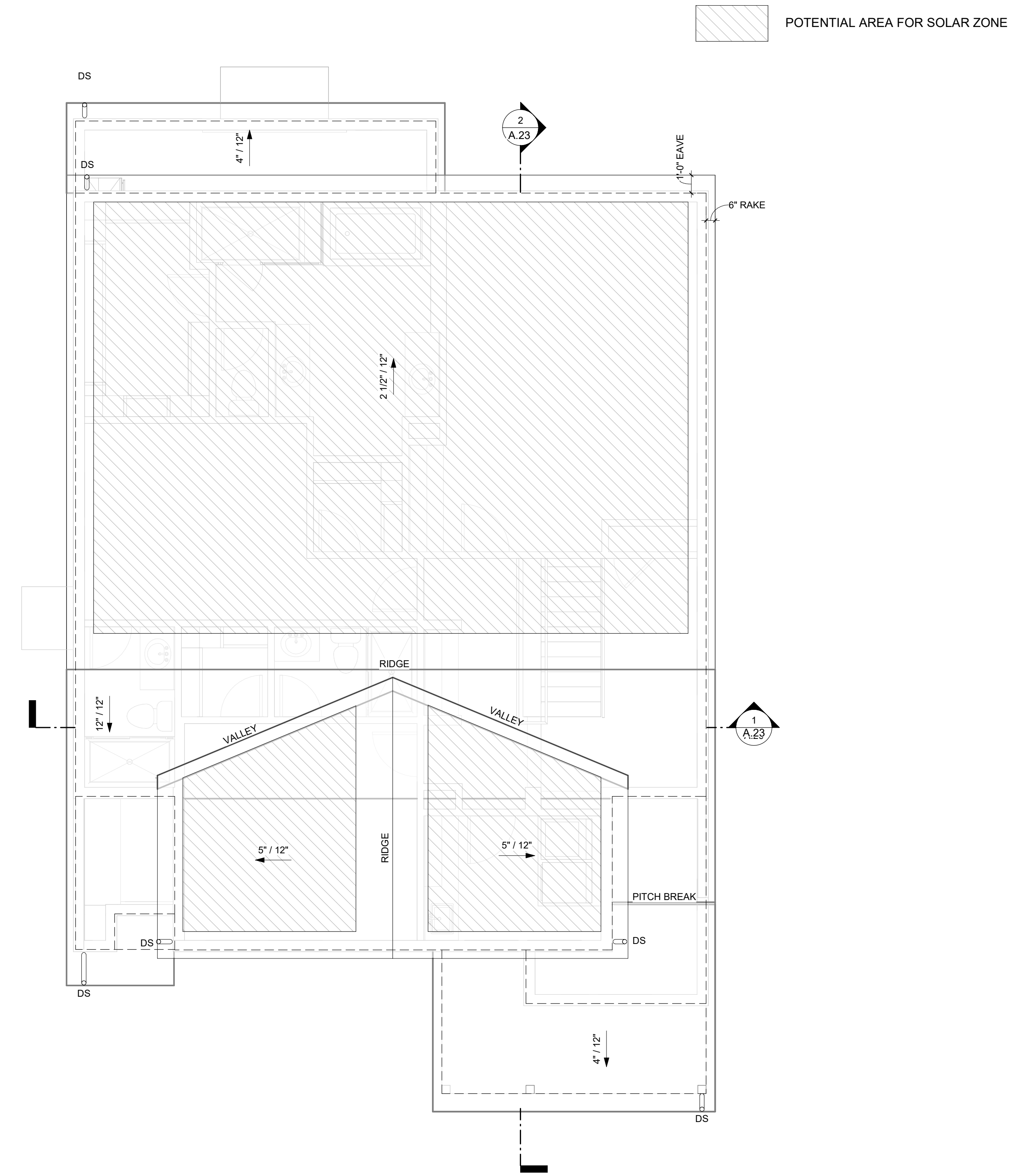


2 PLAN 2A - 2ND FLR. F.A.R. BOUNDARY
1/8" = 1'-0"



3 PLAN 2A - 1ST FLR. F.A.R. BOUNDARY
1/8" = 1'-0"

PLAN 2A FAR - 4 BR/ 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1,586
SECOND FLOOR	1,378
TOTAL FAR	2,964



1 PLAN 2A - ROOF PLAN
1/4" = 1'-0"

PLAN 2A TRADITIONAL - FLOOR PLANS

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FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 2A	4	27'-7.5"
	6	27'-1.5"
	12	27'-4.5"

*BLDG. HT. = HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.53 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 2A TRADITIONAL - ELEVATIONS

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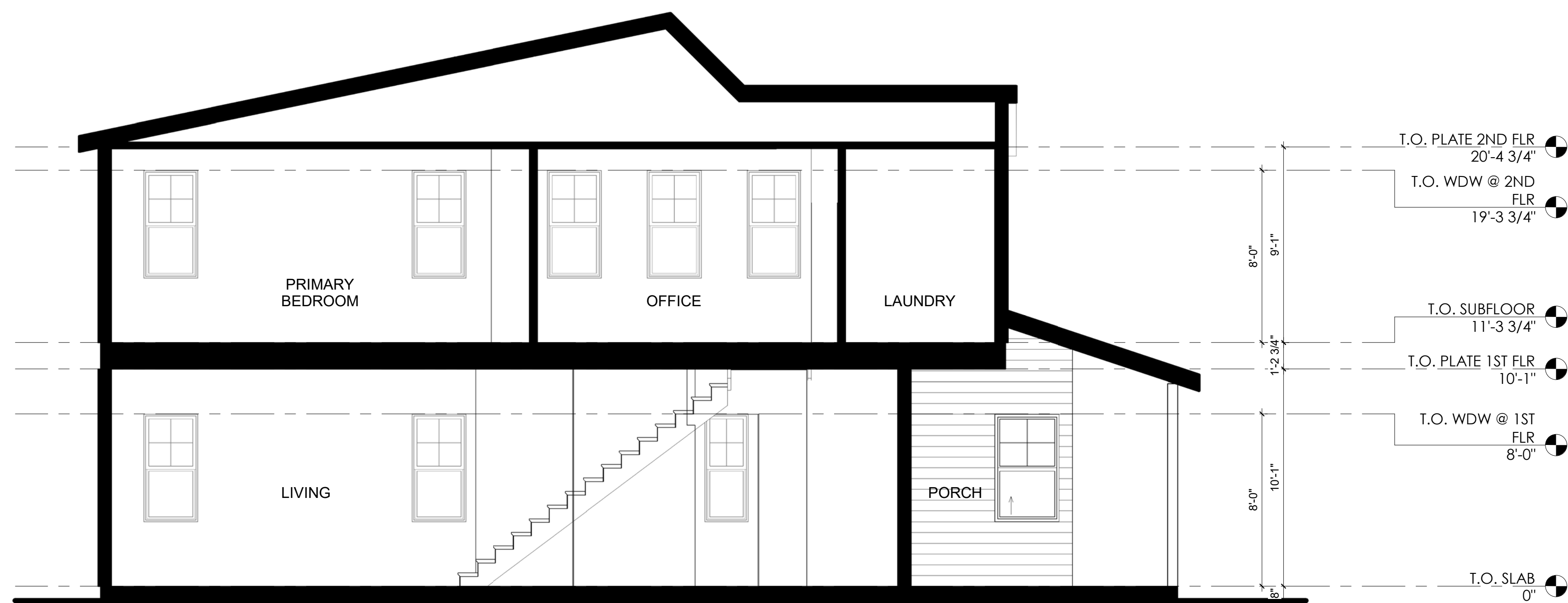
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A.22



2 PLAN 2A - TRADITIONAL - SECTION B
1/4" = 1'-0"

1 PLAN 2A - TRADITIONAL - SECTION A
1/4" = 1'-0"

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MOORPARK SYLVAN INVESTORS, LLC

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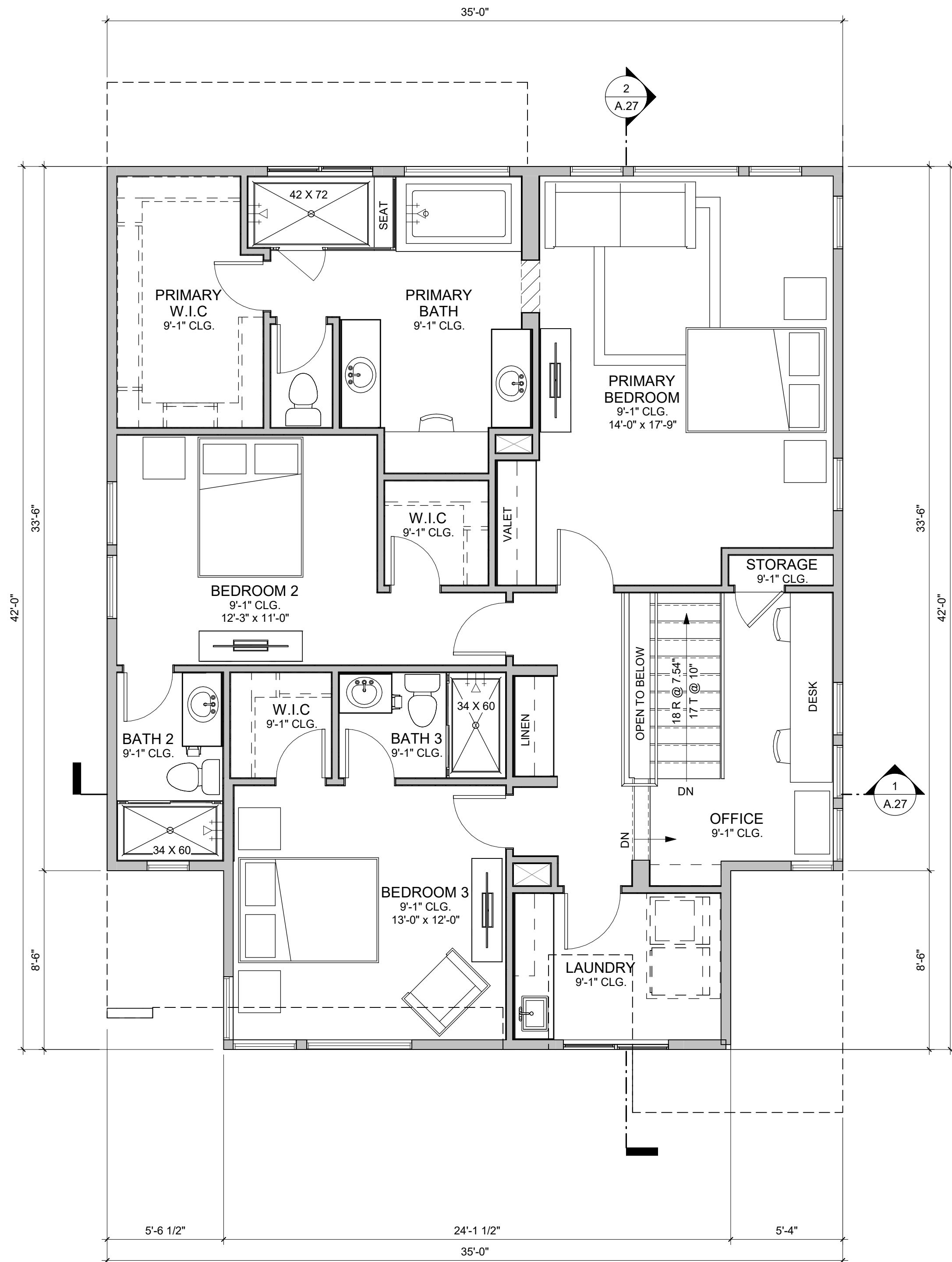
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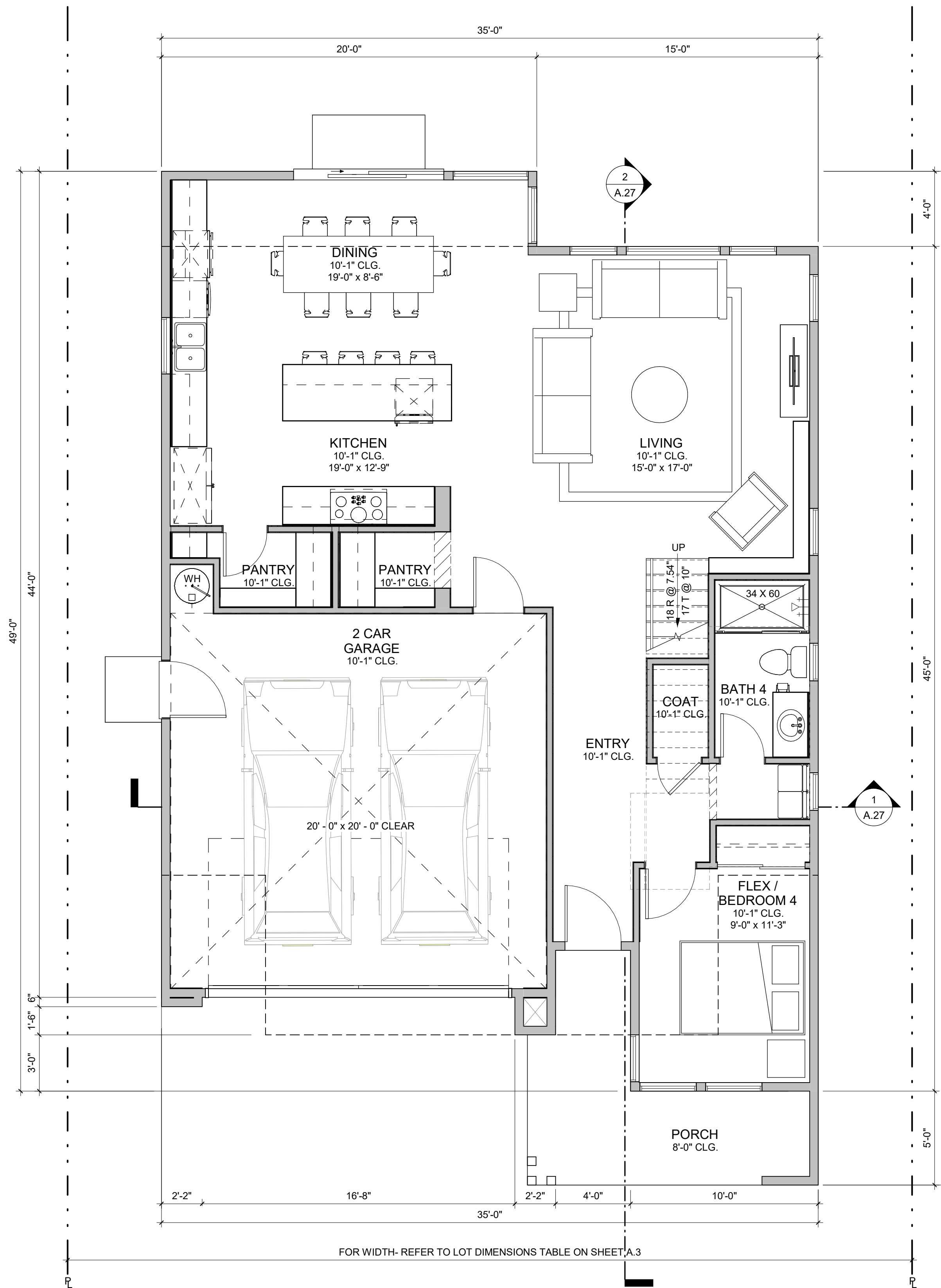
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A.23

PLAN 2A TRADITIONAL - SECTIONS



2 PLAN 2B - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 2B - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 2B - 4 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1091
SECOND FLOOR	1323
TOTAL LIVING AREA	2414
2-CAR GARAGE	434
COVERED PORCH	112

*GROSS SQUARE FOOTAGE

PLAN 2B CONTEMPORARY - FLOOR PLANS

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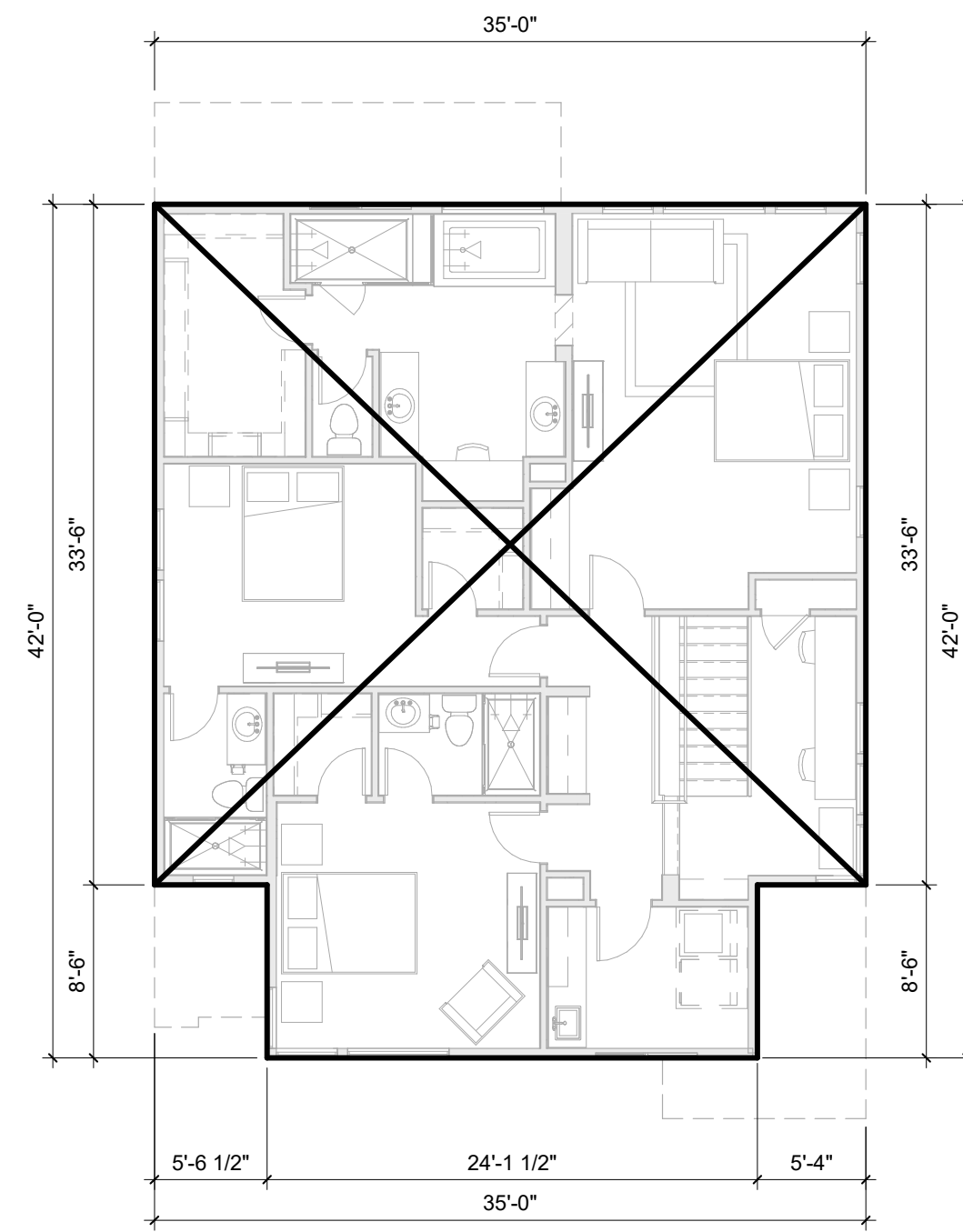
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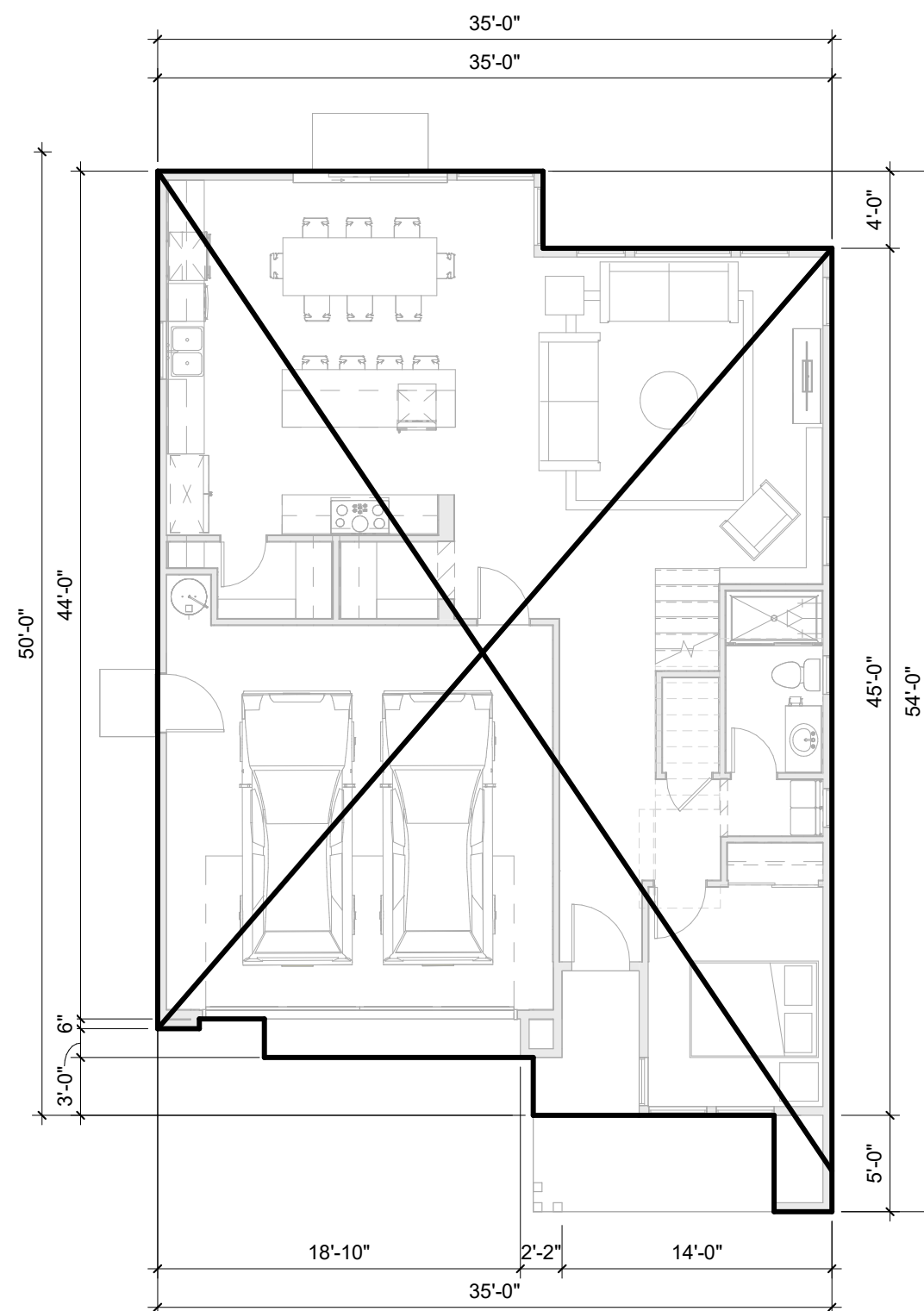


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A.24

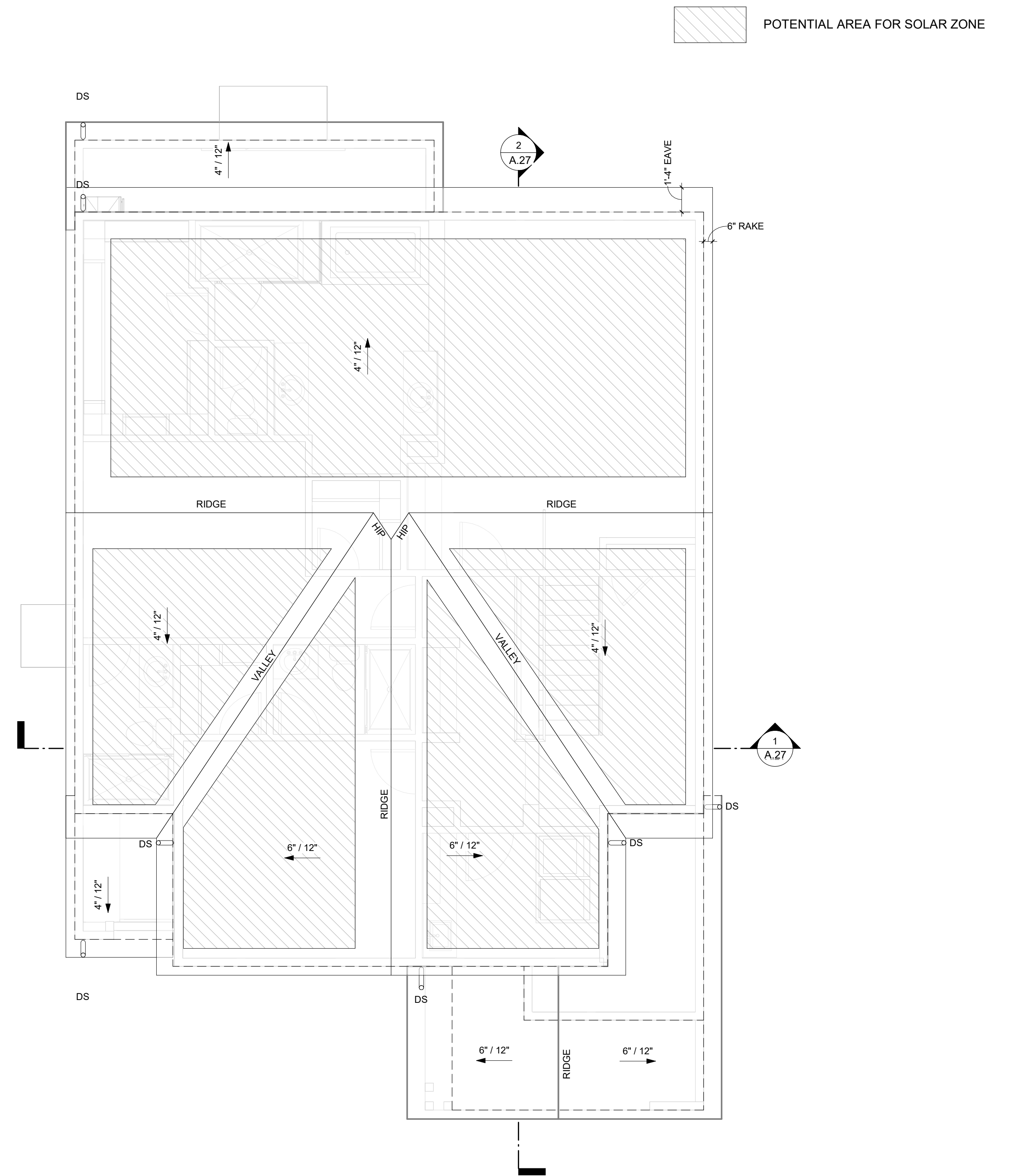


2 PLAN 2B - 2ND FLR. F.A.R. BOUNDARY
1/8" = 1'-0"



3 PLAN 2B - 1ST FLR. F.A.R. BOUNDARY
1/8" = 1'-0"

PLAN 2B FAR - 4 BR/ 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1,601
SECOND FLOOR	1,378
TOTAL FAR	2,979



1 PLAN 2B - ROOF PLAN
1/4" = 1'-0"

PLAN 2B CONTEMPORARY - FLOOR PLANS

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A.25



FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 2B	2	27'-7.25"
	8	27'-3.25"
	11	27'-4.25"
	20	27'-10.25"

*BLDG. HT. = HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.53 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 2B CONTEMPORARY - ELEVATIONS

317 MOORPARK WAY- MOUNTAIN VIEW, CA
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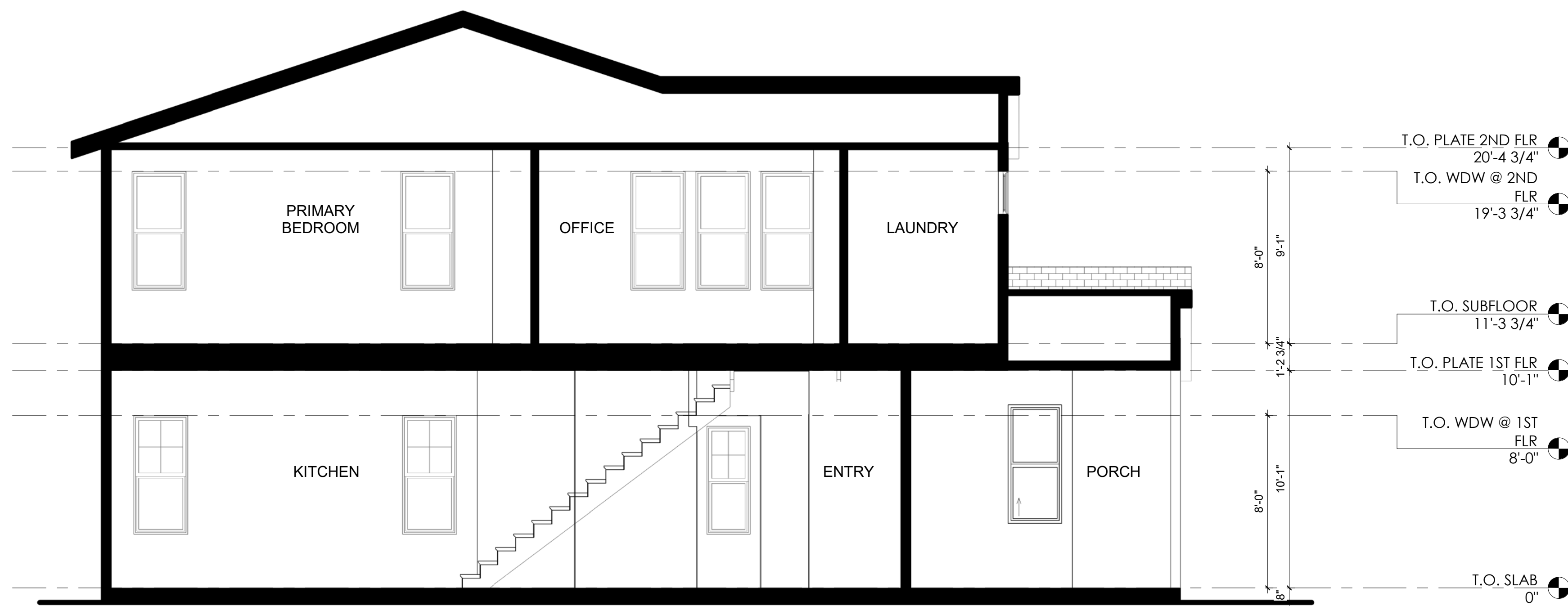
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A.26



2 PLAN 2B - CONTEMPORARY - SECTION B
1/4" = 1'-0"

1 PLAN 2B - CONTEMPORARY - SECTION A
1/4" = 1'-0"

PLAN 2B CONTEMPORARY - SECTIONS

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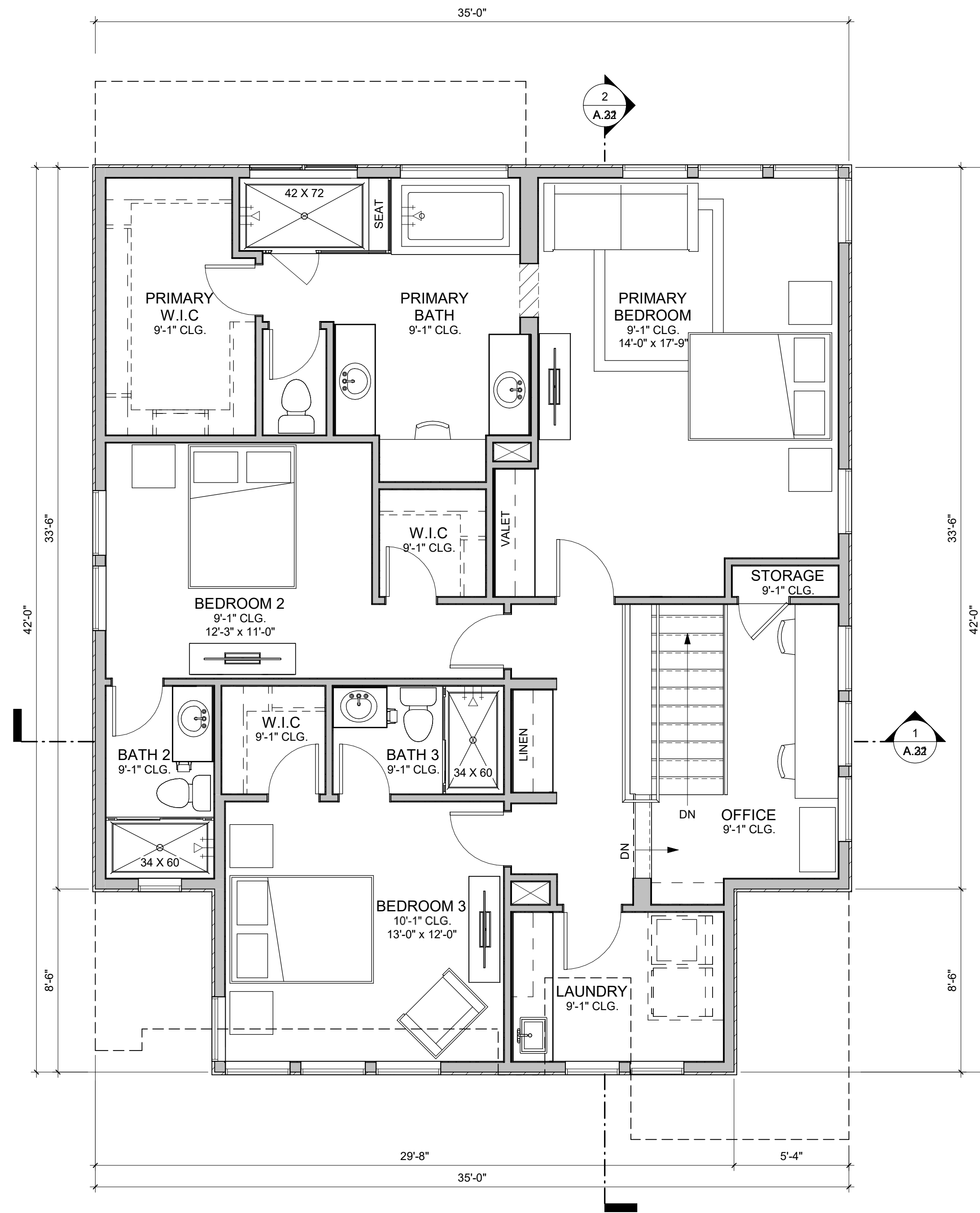
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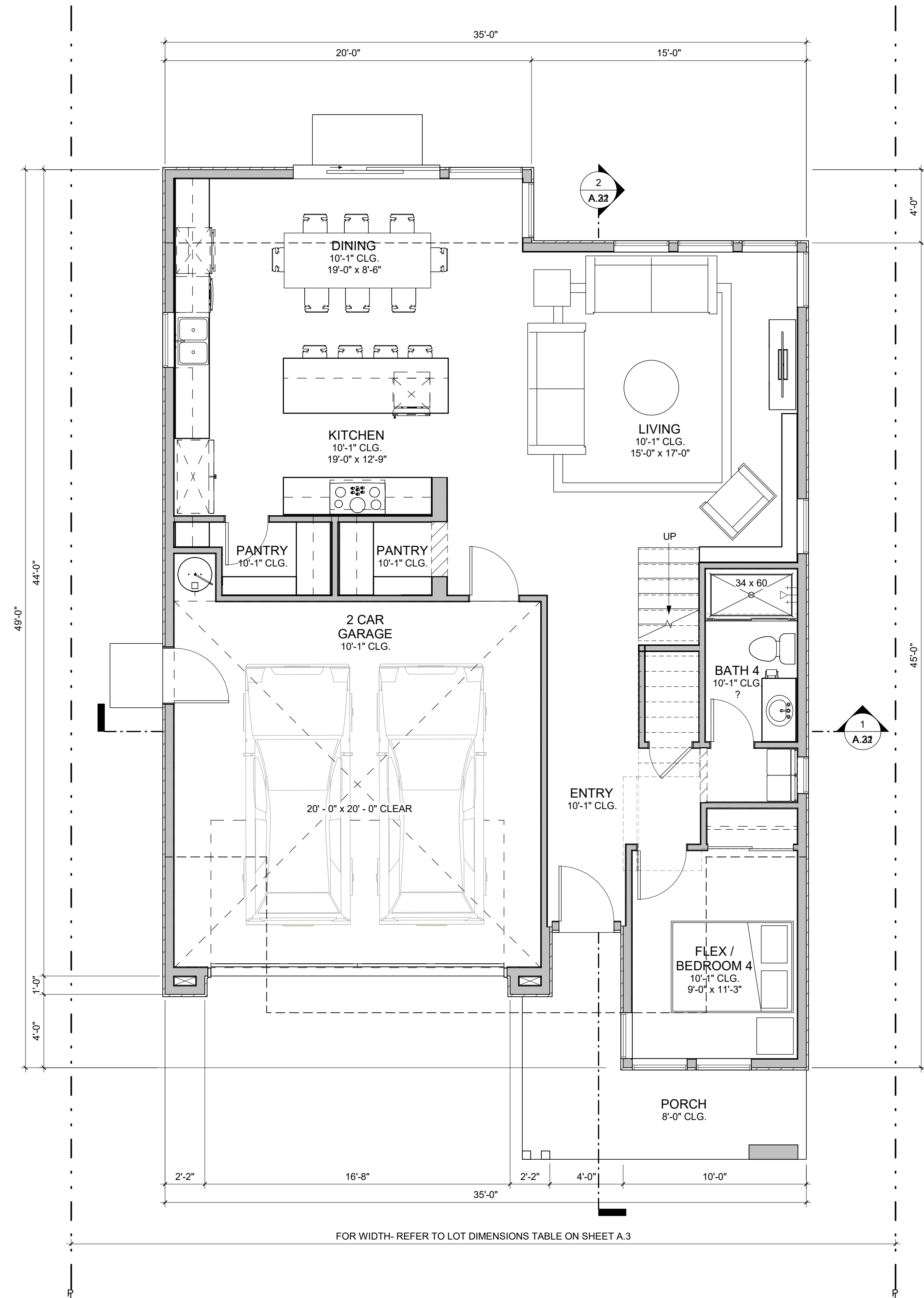


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A.27



2 PLAN 2C - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 2C - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 2C - 4 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1091
SECOND FLOOR	1323
TOTAL LIVING AREA	2414
2 CAR GARAGE	433
COVERED PORCH	114

*GROSS SQUARE FOOTAGE

PLAN 2C TRANSITIONAL - FLOOR PLANS

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS, LLC

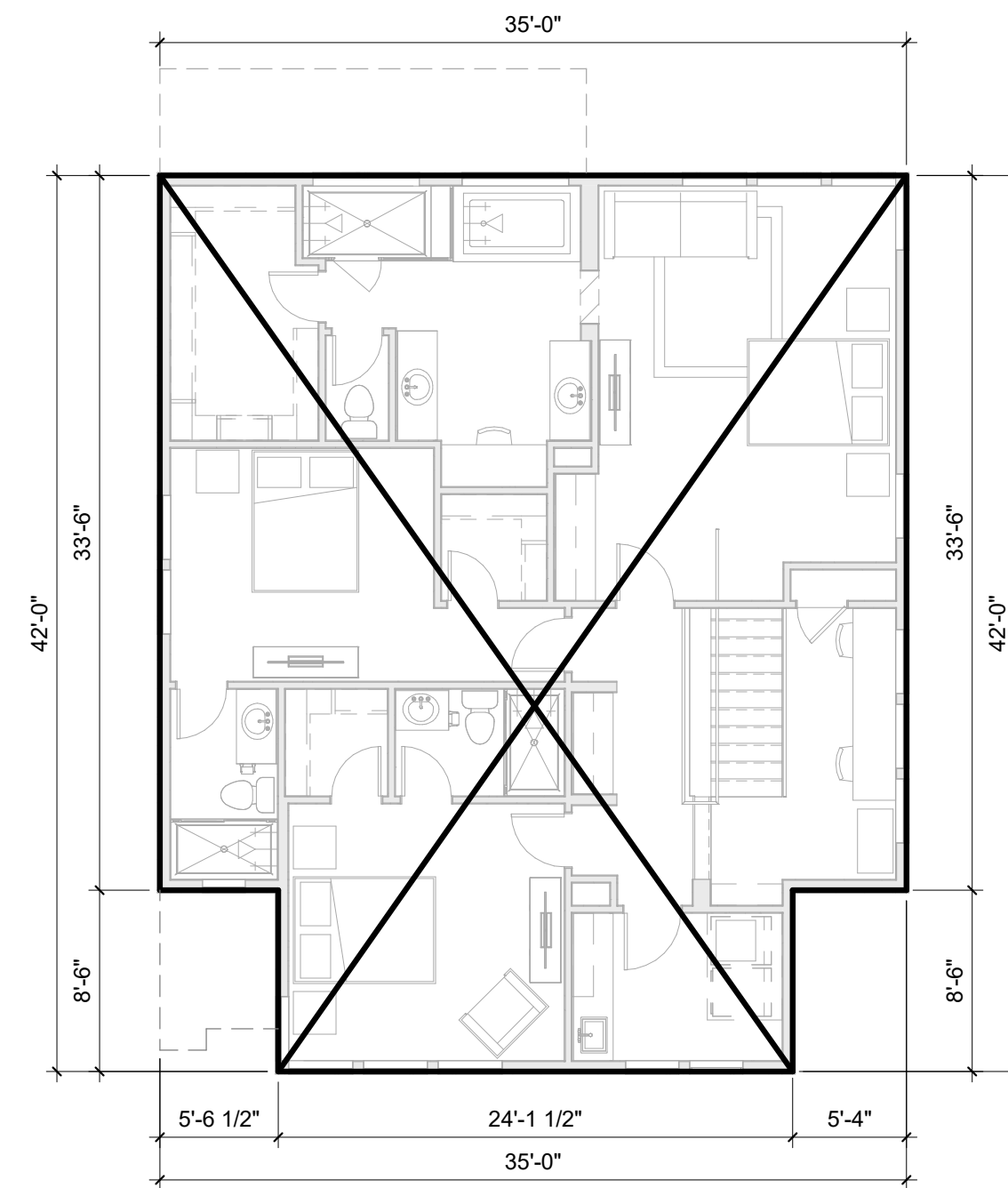
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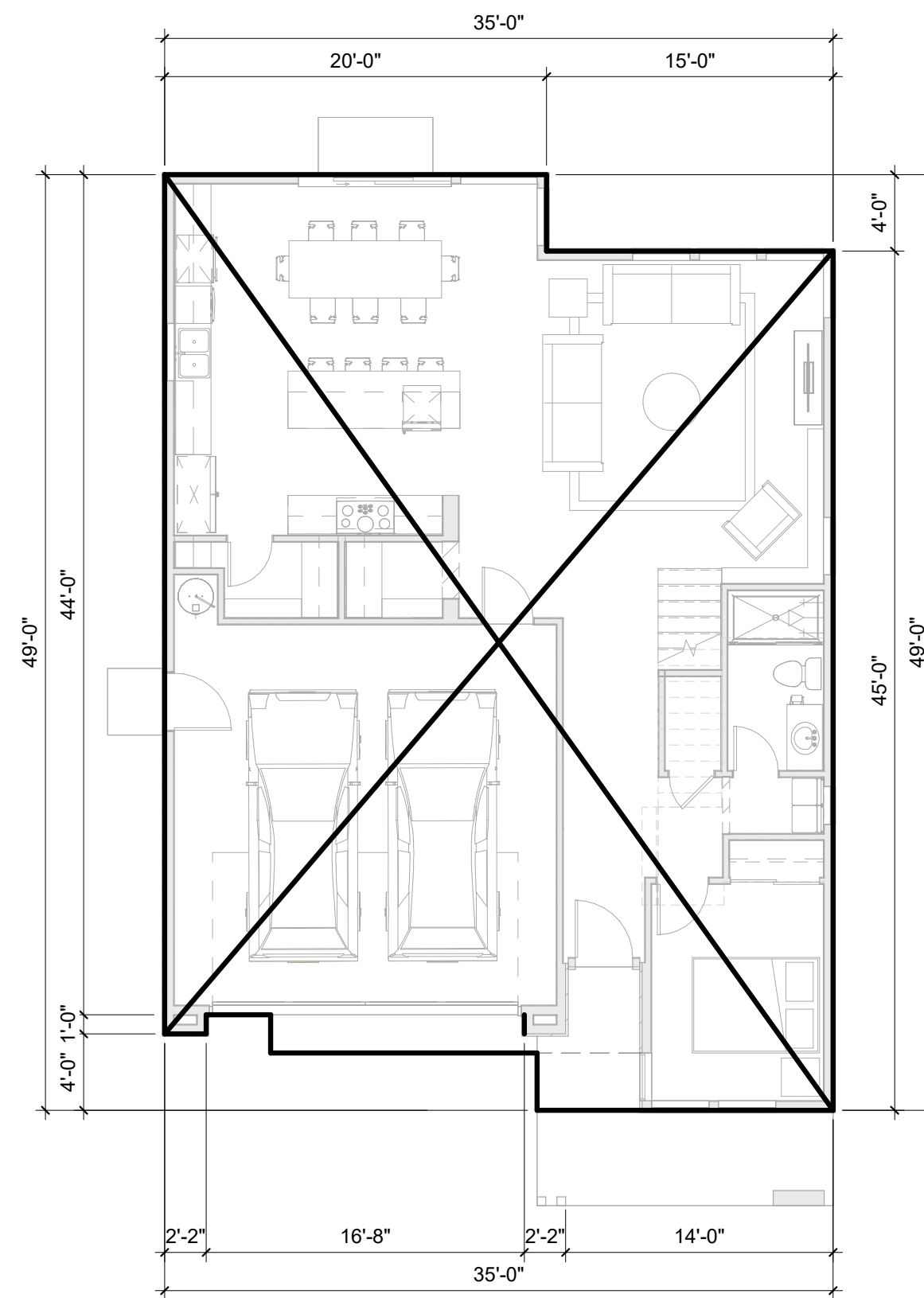


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A.28

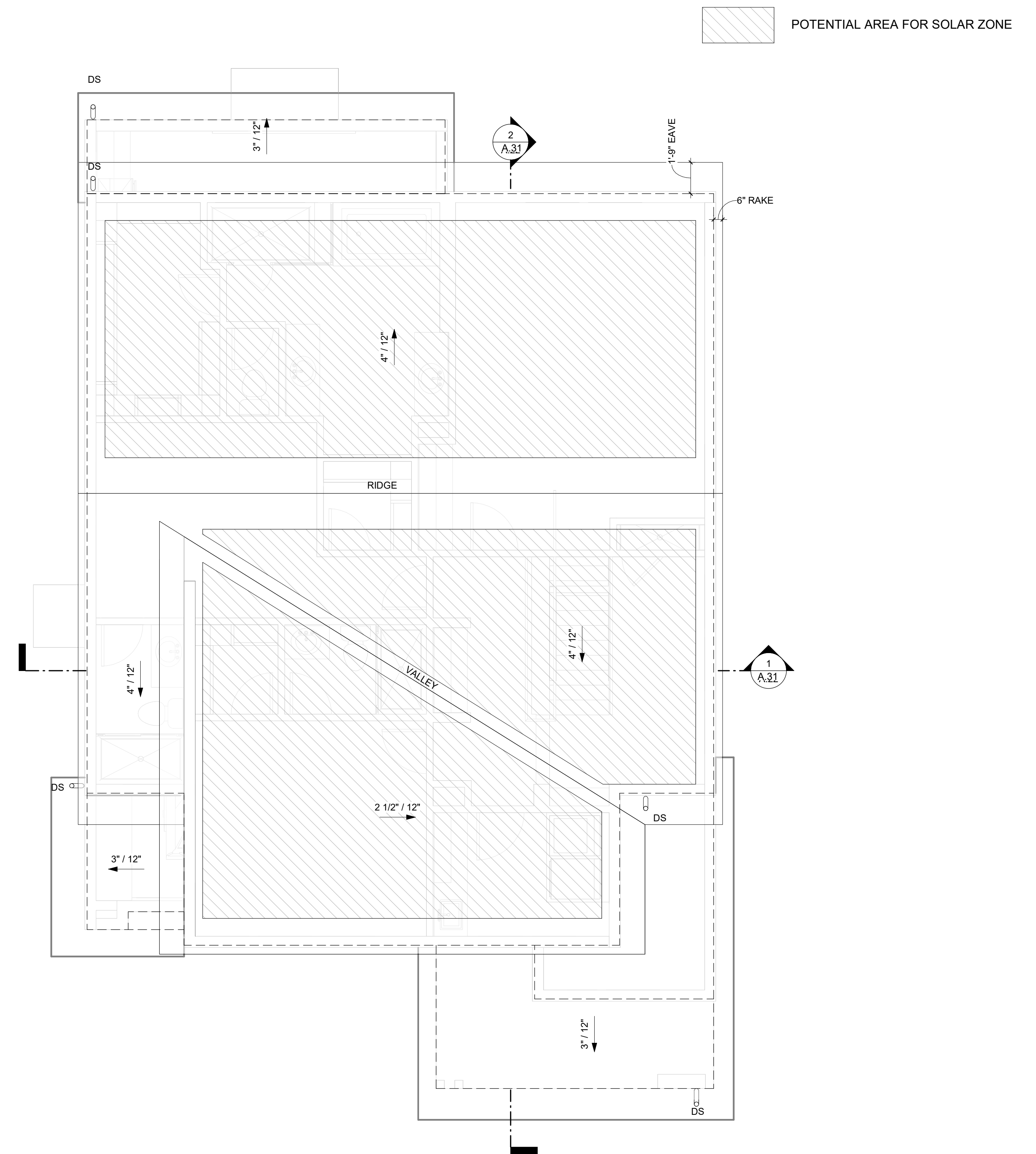


2 PLAN 2C - 2ND FLR. F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 2C - 1ST FLR. F.A.R. BOUNDARY
1/8" = 1'-0"

PLAN 2C FAR - 4 BR/ 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1,587
SECOND FLOOR	1,378
TOTAL FAR	2,965



3 PLAN 2C - ROOF PLAN
1/4" = 1'-0"

PLAN 2C TRANSITIONAL - FLOOR PLANS

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FRONT ELEVATION

*** MAXIMUM HEIGHT ON SITE:
28'- 0" AT LOT 22, PLAN 2C**

(TOTAL HEIGHT FROM T.O.SLAB
TO ROOF + HEIGHT OF CURB =
26'- 6" + 18" =
28'- 0")



LEFT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 2C	10	27'-4"
	13	27'-3"
	16	27'-5"
	22	28'-0"

*BLDG. HT.= HEIGHT FROM TOP OF
ADJACENT CURB TO TOP OF ROOF



REAR ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL
REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO.
REFER SHEET A.53 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 2C TRANSITIONAL - ELEVATIONS

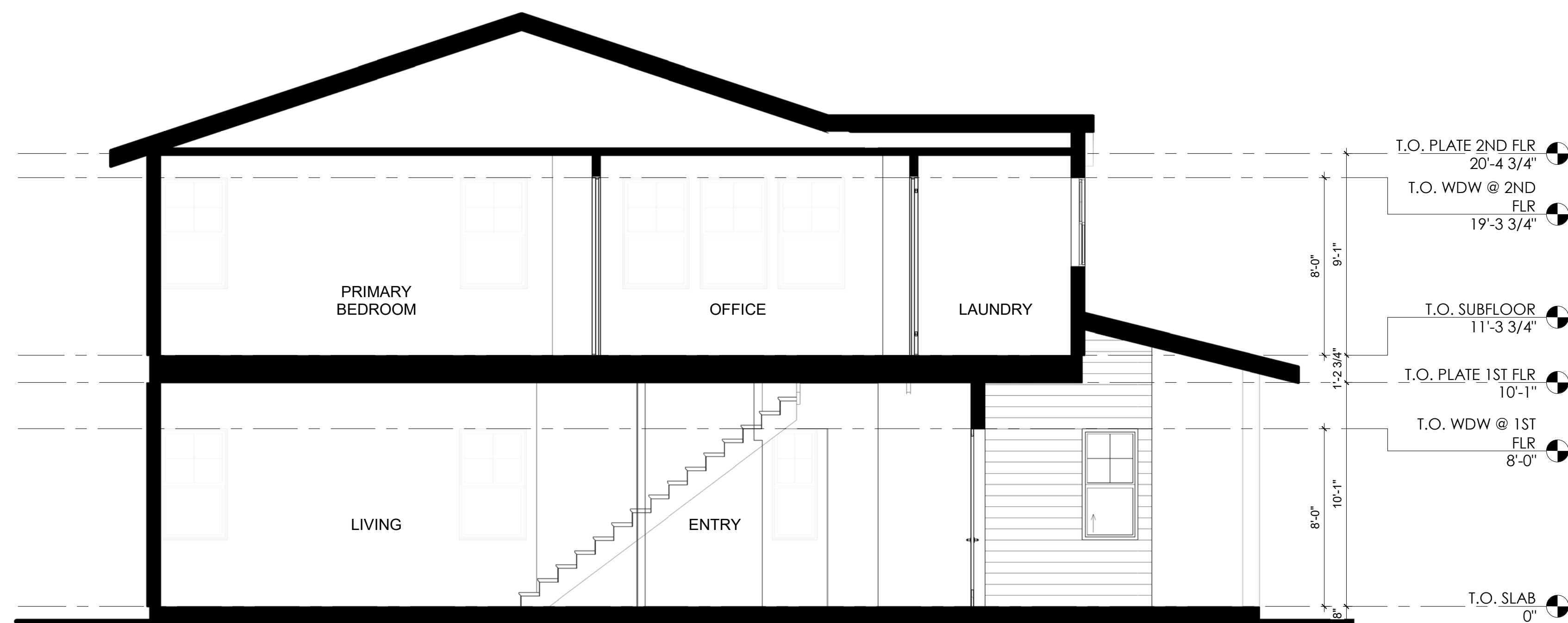
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2 PLAN 2C - TRANSITIONAL - SECTION B
1/4" = 1'-0"



1 PLAN 2C - TRANSITIONAL - SECTION A
1/4" = 1'-0"

PLAN 2C TRANSITIONAL - SECTIONS

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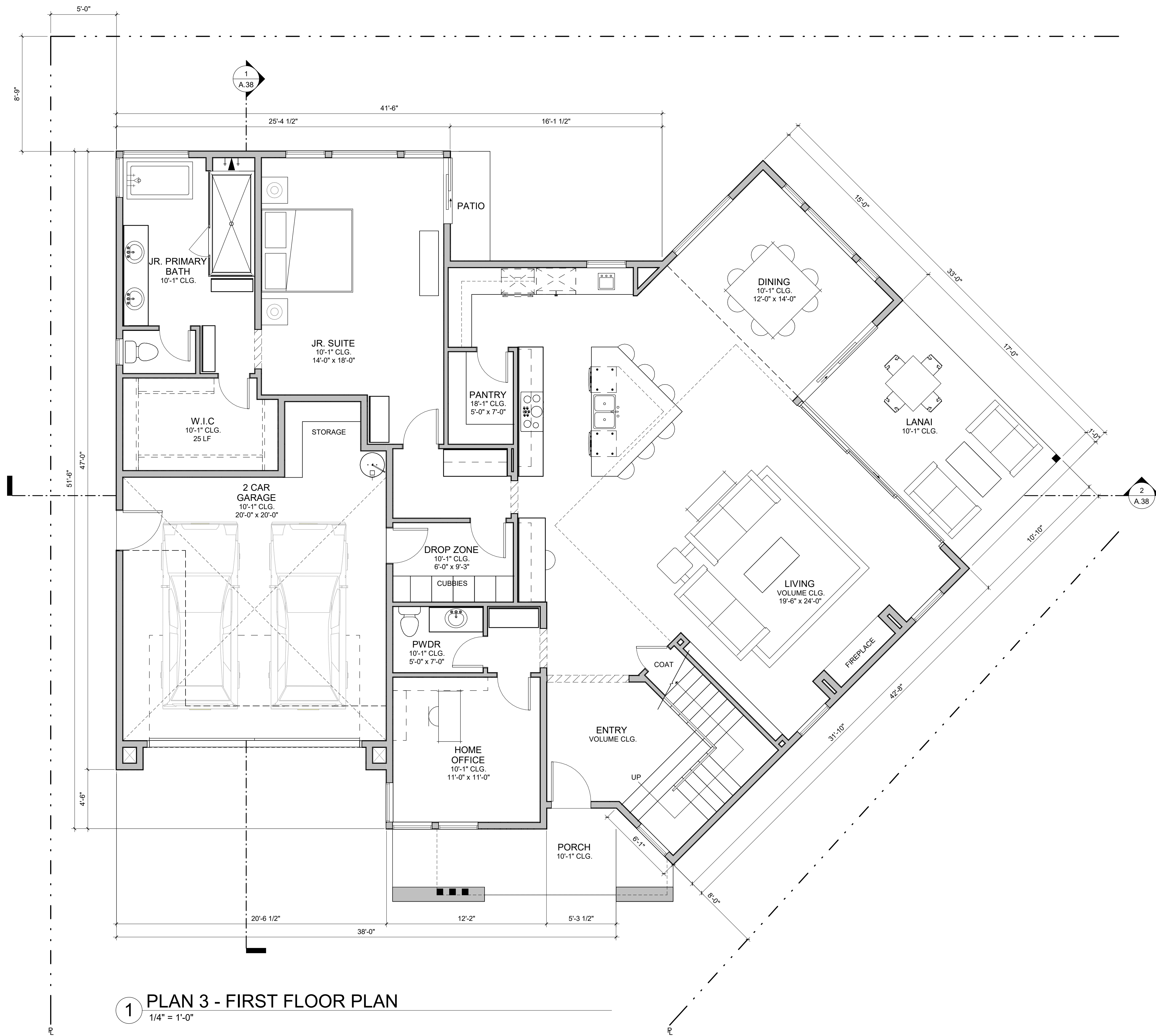
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A.31



1 PLAN 3 - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 3 - 4 BR / 4.5 BA

NAME	AREA (SF)
FIRST FLOOR	2115
SECOND FLOOR	1614
TOTAL LIVING AREA	3729

2-CAR GARAGE	465
COVERED PORCH	119
LANAI	184
OPTIONAL DECK	164

*GROSS SQUARE FOOTAGE

PLAN 3 TRANSITIONAL - FLOOR PLANS

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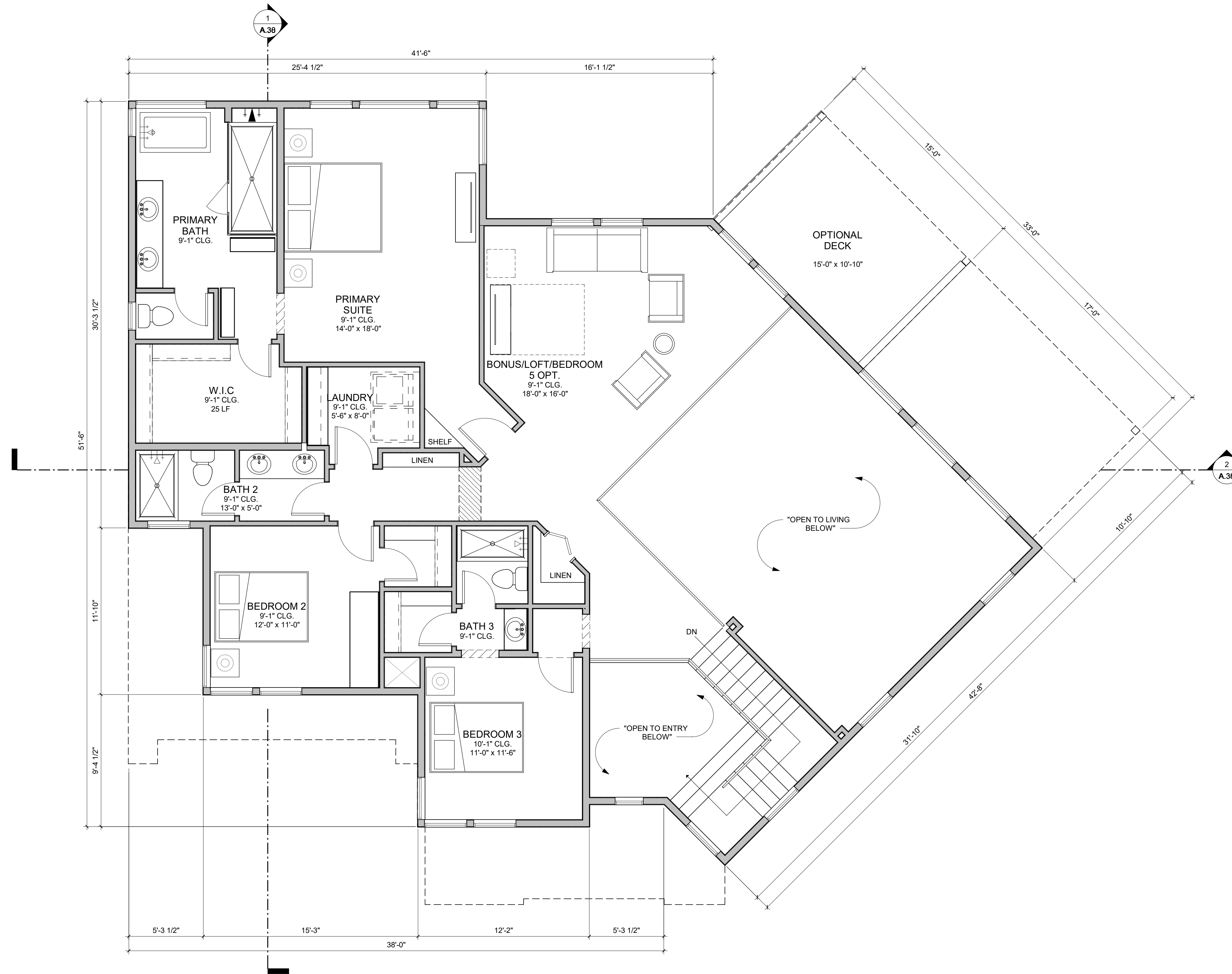
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A.32



1 PLAN 3 - SECOND FLOOR PLAN
1/4" = 1'-0"

PLAN 3 - 4 BR / 4.5 BA

NAME	AREA (SF)
FIRST FLOOR	2115
SECOND FLOOR	1614
TOTAL LIVING AREA	3729
2-CAR GARAGE	465
COVERED PORCH	119
LANAI	184
OPTIONAL DECK	164

*GROSS SQUARE FOOTAGE

PLAN 3 TRANSITIONAL - FLOOR PLANS

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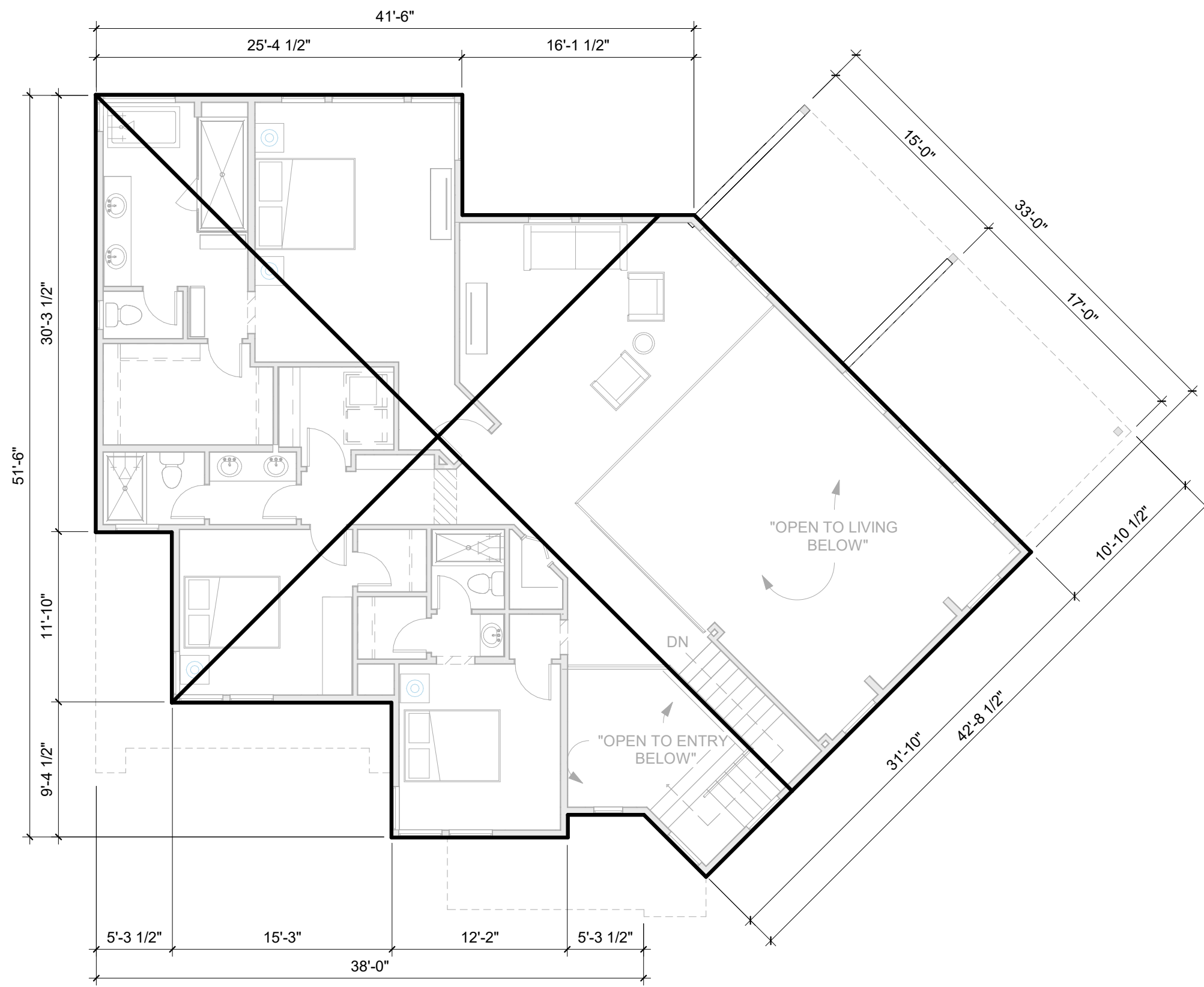
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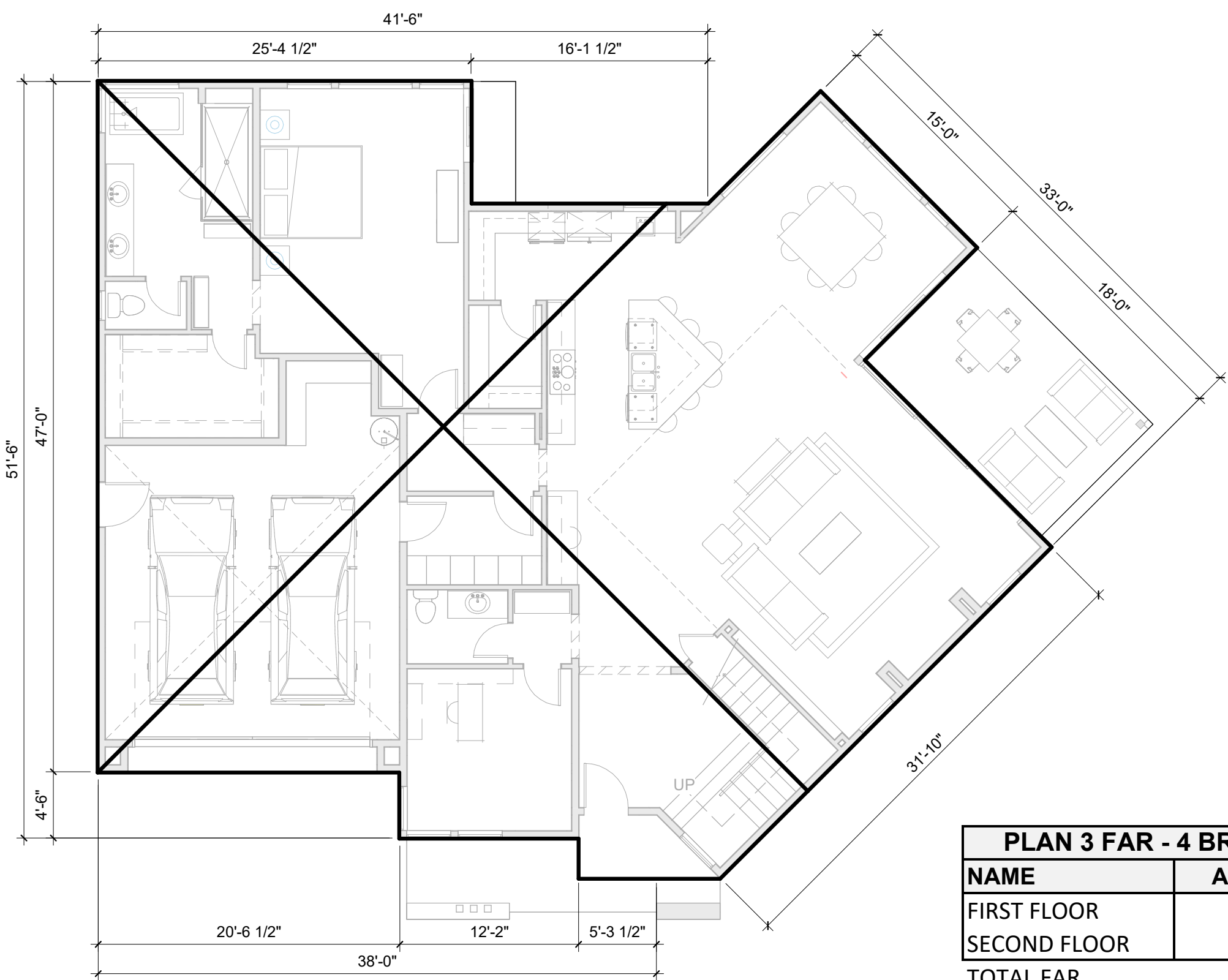


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A.33

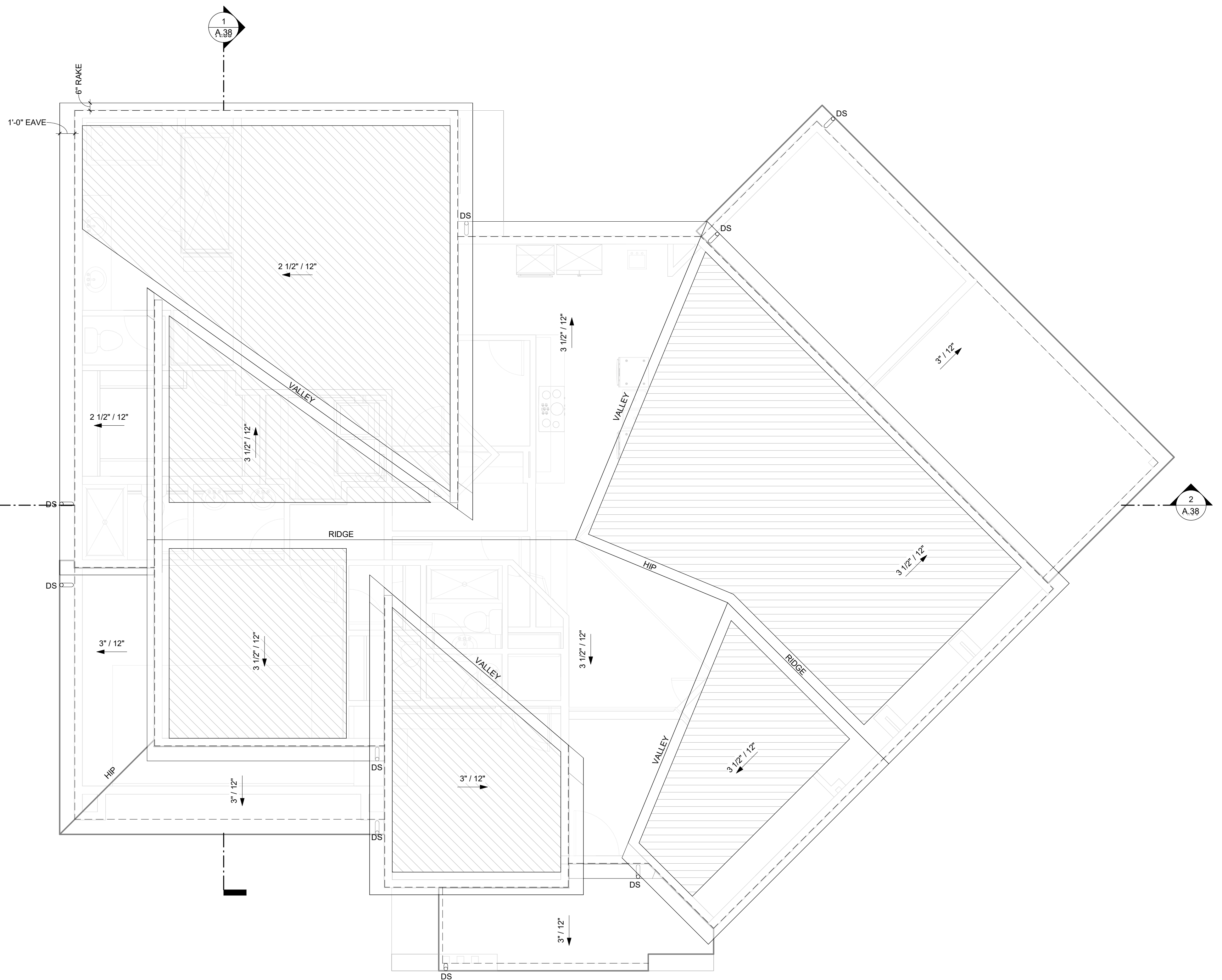


3 PLAN 3 - SECOND FLR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 3 - FIRST FLR F.A.R. BOUNDARY
1/8" = 1'-0"

PLAN 3 FAR - 4 BR/ 4.5 BA	
NAME	AREA (SF)
FIRST FLOOR	2,641
SECOND FLOOR	2,284
TOTAL FAR	4,925



1 PLAN 3 - ROOF PLAN
1/4" = 1'-0"

POTENTIAL AREA FOR SOLAR ZONE

PLAN 3 TRANSITIONAL - FLOOR PLANS

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FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 3	1	27'-5"

*BLDG. HT. = HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



REAR ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.54 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 3 TRANSITIONAL - ELEVATIONS

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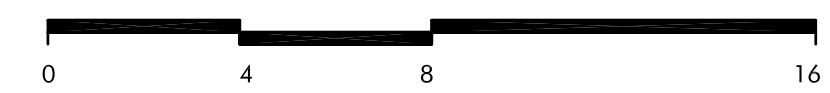
LEFT ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.54 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 3 TRANSITIONAL - ELEVATIONS



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2 PLAN 3 - SECTION B
1/4" = 1'-0"



1 PLAN 3 - SECTION A
1/4" = 1'-0"

PLAN 3 TRANSITIONAL - SECTIONS

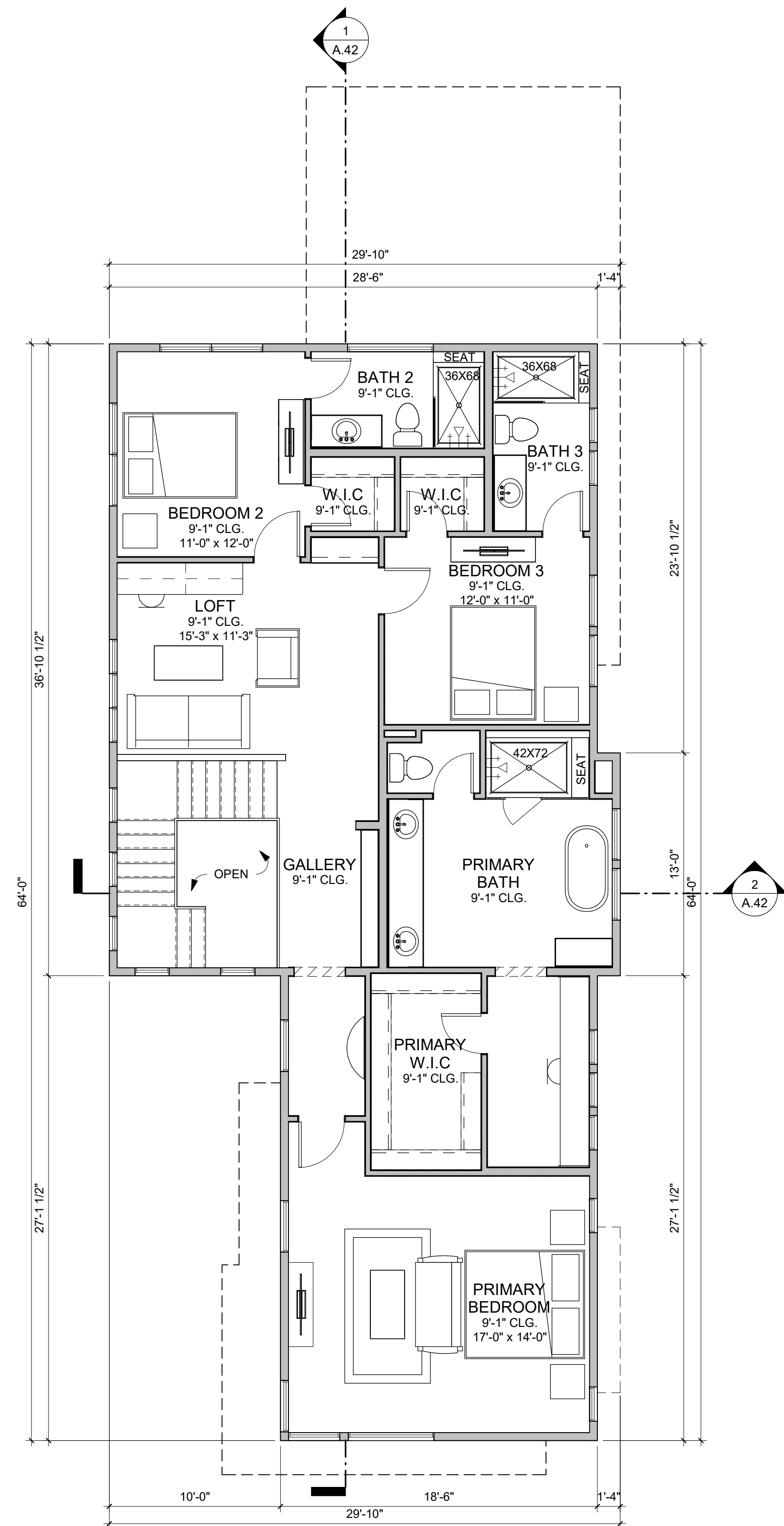
317 MOORPARK WAY- MOUNTAIN VIEW, CA
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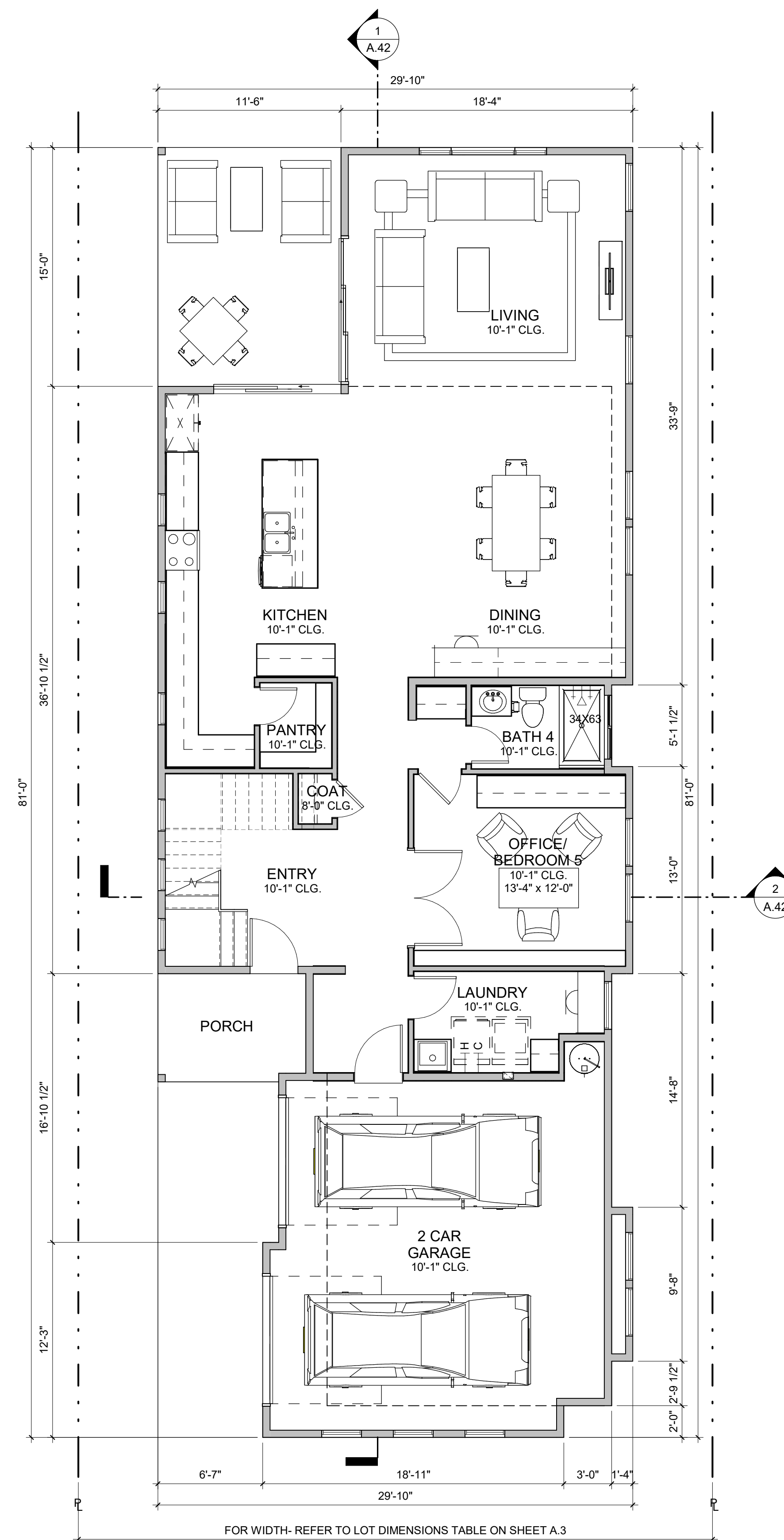
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2 PLAN 4 - SECOND FLOOR PLAN
3/16" = 1'-0"



1 PLAN 4 - FIRST FLOOR PLAN
3/16" = 1'-0"

PLAN 4 - 3 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1490
SECOND FLOOR	1447
TOTAL LIVING AREA	2937
2-CAR GARAGE	483
LANAI	173
PORCH	62

*GROSS SQUARE FOOTAGE

PLAN 4 CONTEMPORARY - FLOOR PLANS

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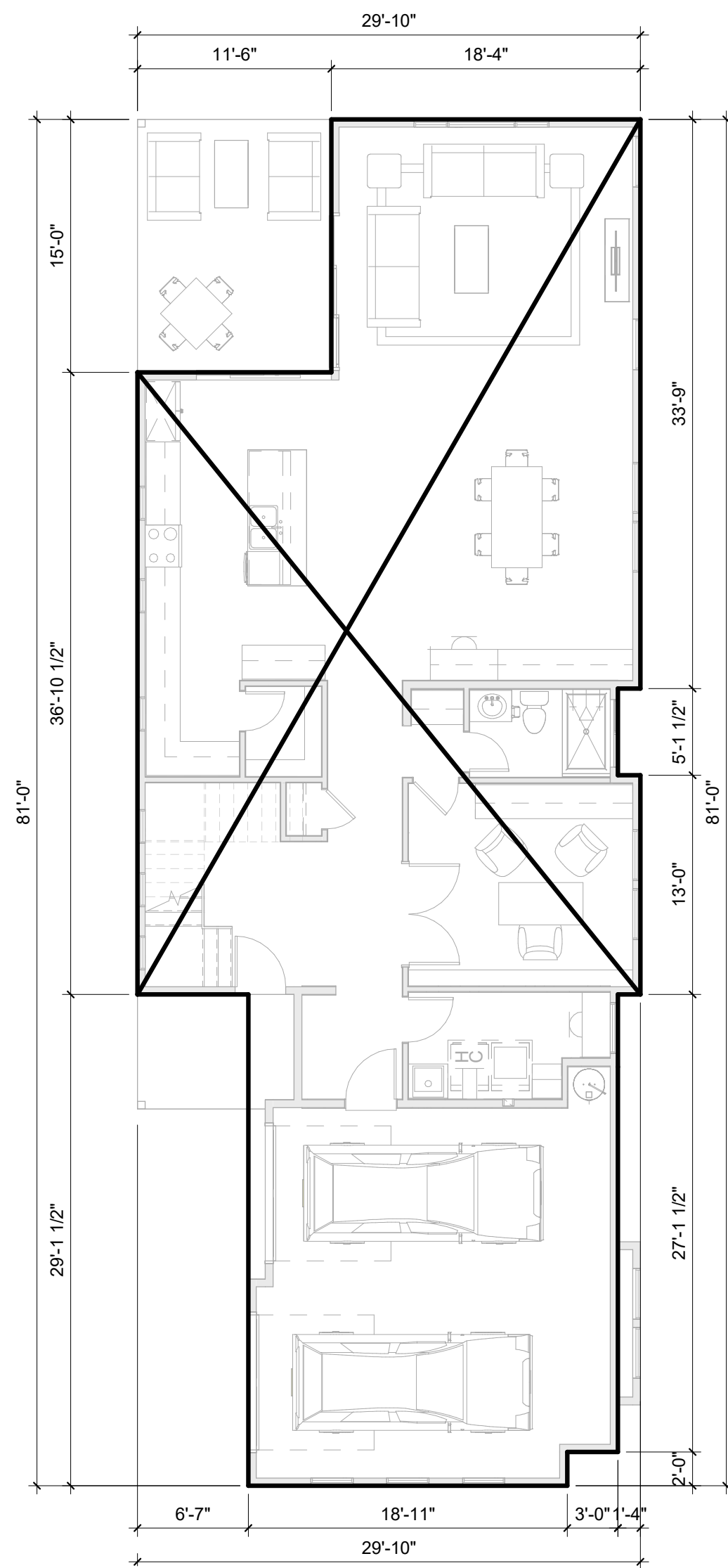
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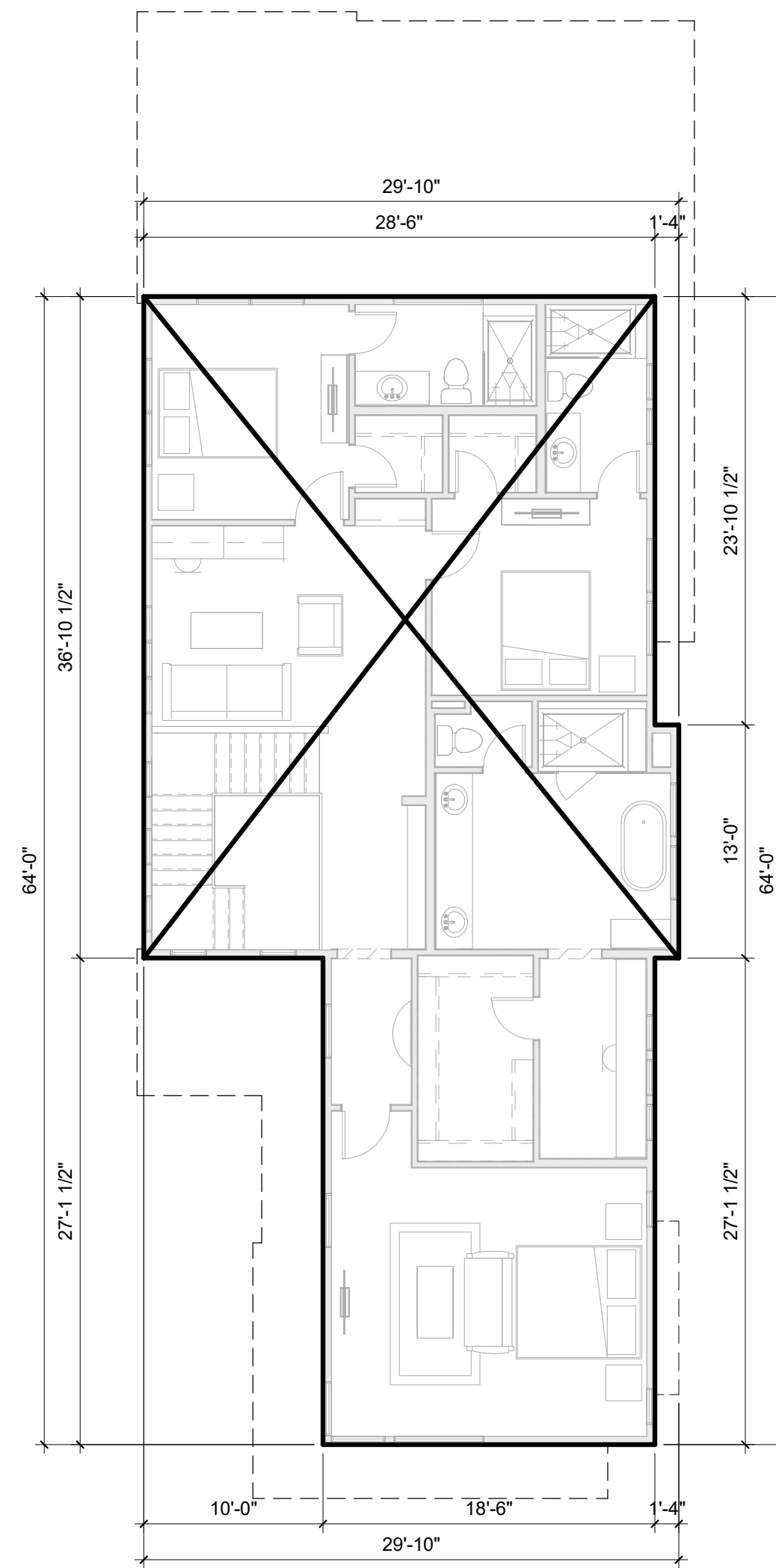


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DATE 11/14/2024

A.38

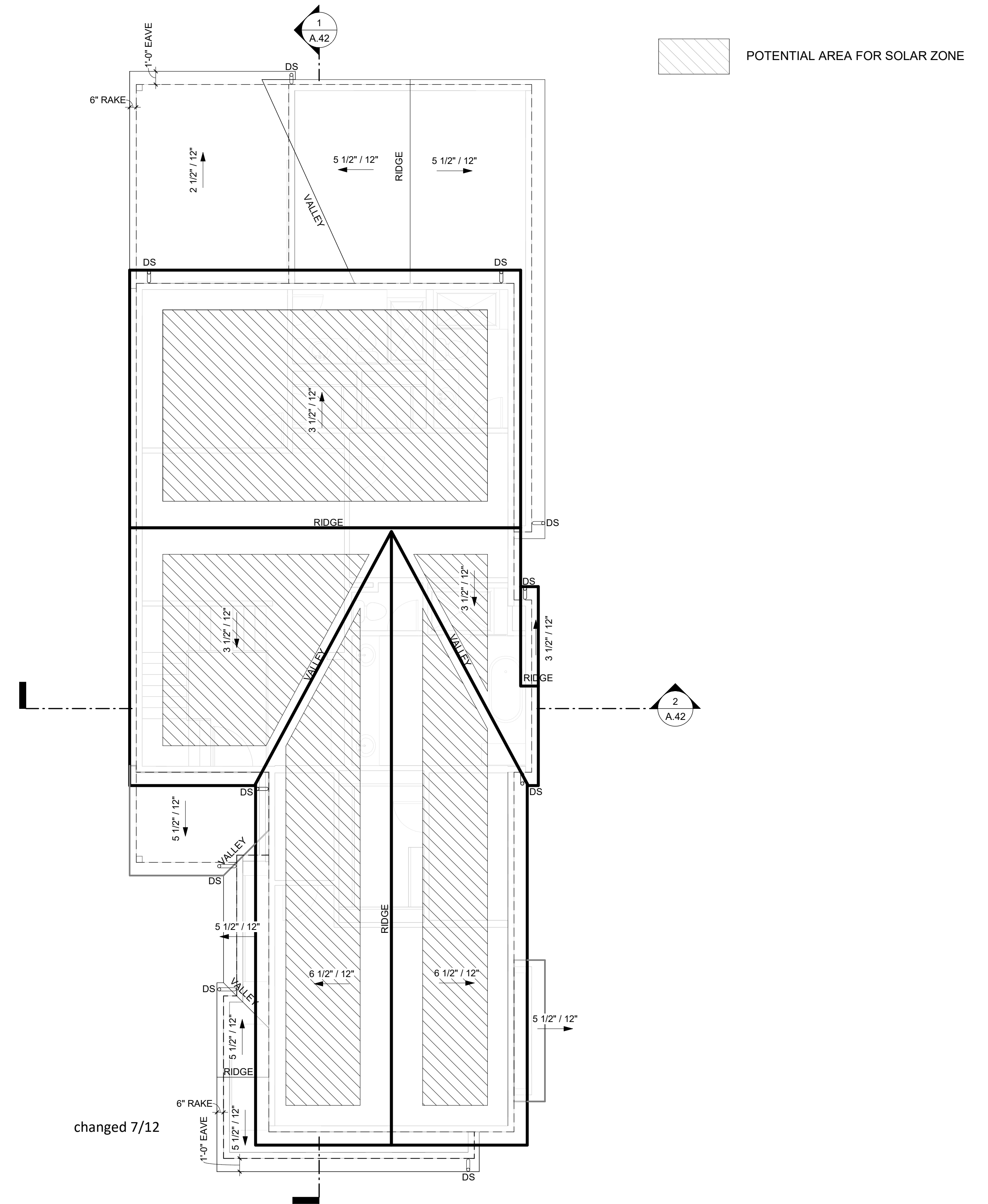


1 PLAN 4 - FIRST FLOOR PLAN
1/8" = 1'-0"



2 PLAN 4 - SECOND FLOOR PLAN
1/8" = 1'-0"

PLAN 4 FAR - 3 BR/ 4 BA	
NAME	AREA (SF)
FIRST FLOOR	2,001
SECOND FLOOR	1,570
TOTAL FAR	3,571



3 PLAN 4 - ROOF - CONTEMPORARY
3/16" = 1'-0"

PLAN 4 CONTEMPORARY - FLOOR PLANS

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FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 4	17	27'-0"

*BLDG. HT.= HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



REAR ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.55 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 4 CONTEMPORARY - ELEVATIONS

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A.40



LEFT ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.55 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 4 CONTEMPORARY - ELEVATIONS

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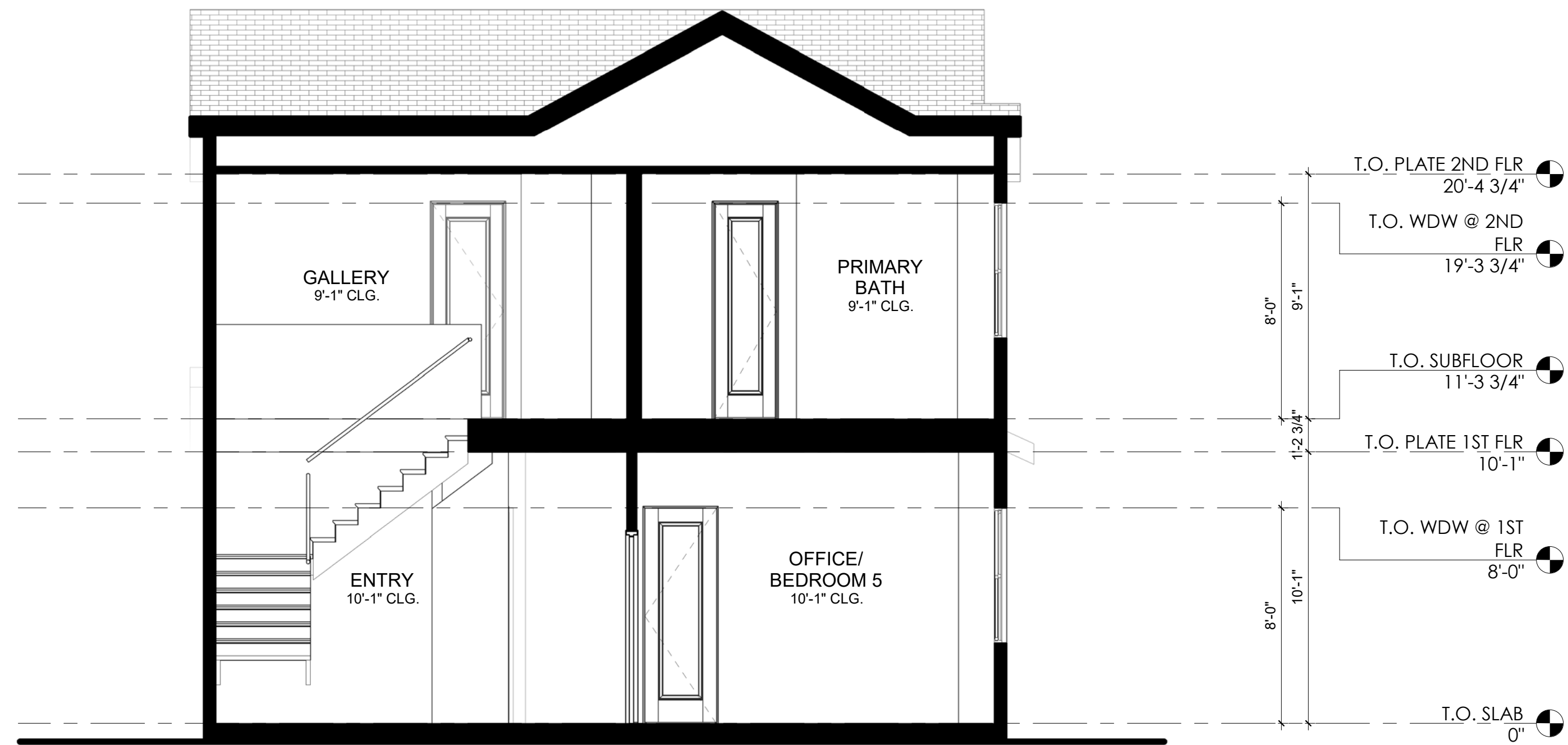
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A.41



2 PLAN 4 - SECTION B
1/4" = 1'-0"



1 PLAN 4 - SECTION A
1/4" = 1'-0"

PLAN 4 CONTEMPORARY - SECTIONS

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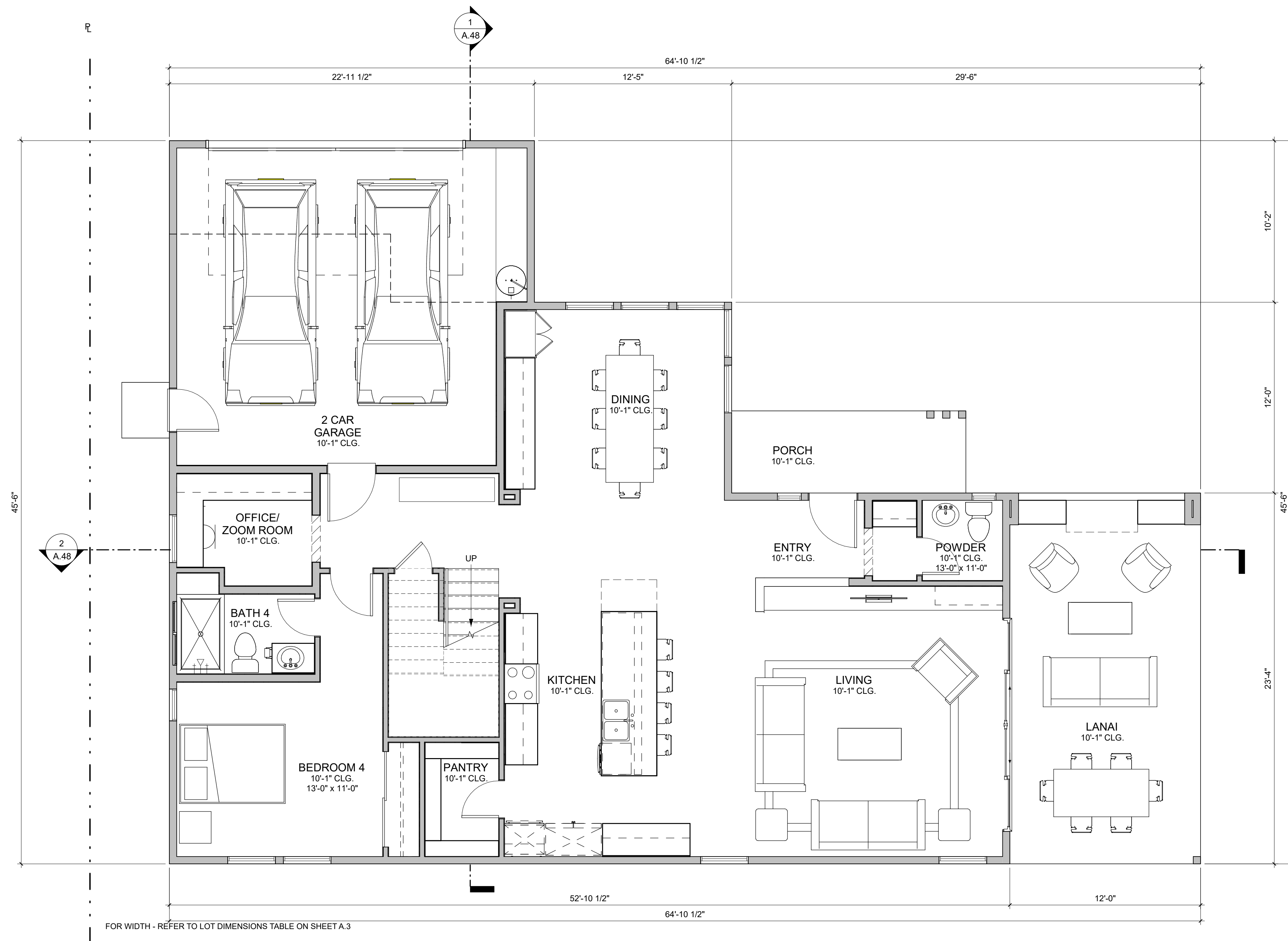
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DATE 11/14/2024

A.42



1 PLAN 5 - FIRST FLOOR PLAN
 1/4" = 1'-0"

PLAN 5 - 5 BR / 4.5 BA	
NAME	AREA (SF)
FIRST FLOOR	1447
SECOND FLOOR	1644
TOTAL LIVING	3091
PORCH	76
LANAI	279
2-CAR GARAGE	445

*GROSS SQUARE FOOTAGE

PLAN 5 CONTEMPORARY - FLOOR PLANS

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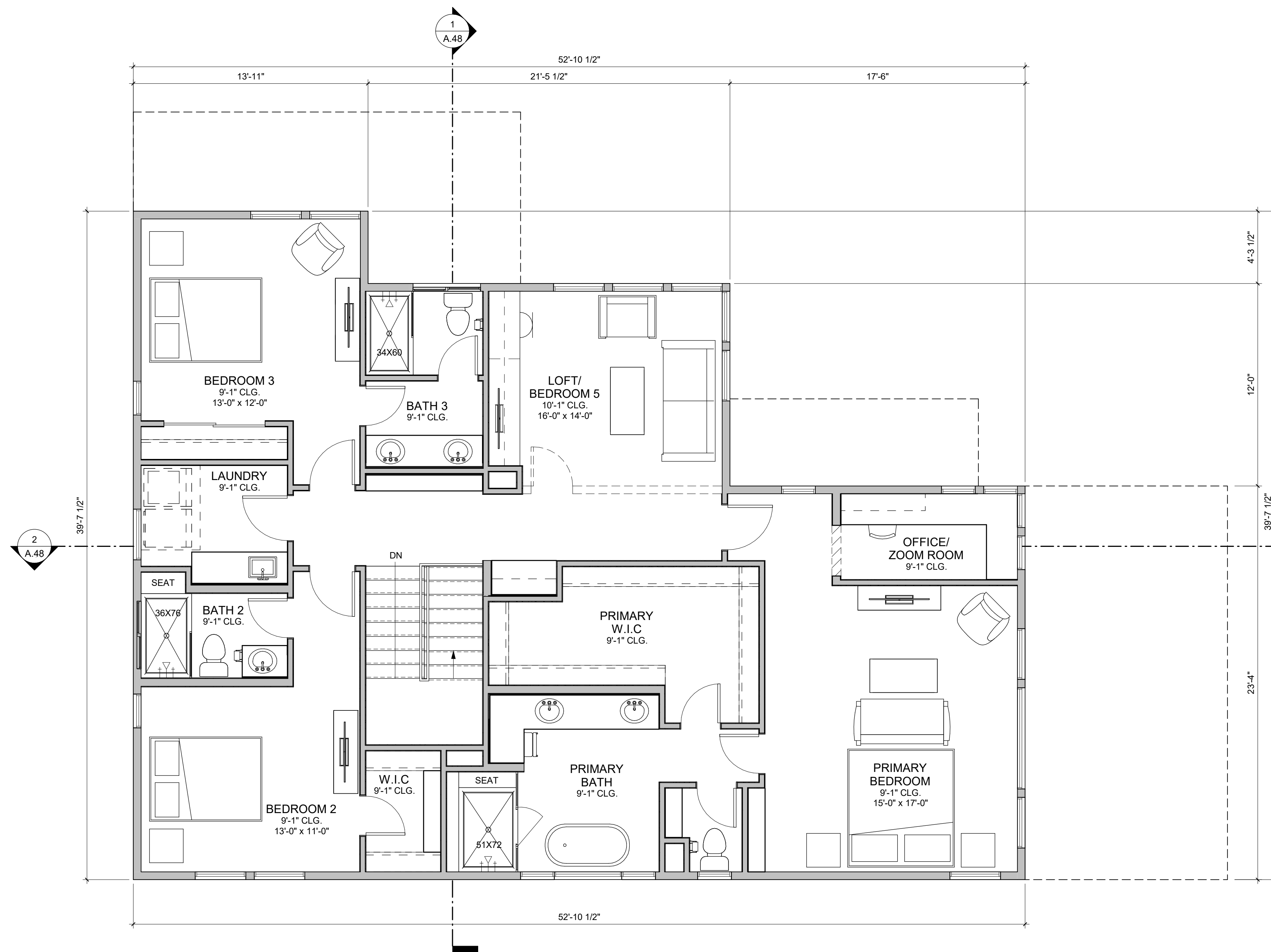
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 DATE 11/14/2024

A.43



1 PLAN 5 - SECOND FLOOR PLAN
1/4" = 1'-0"

PLAN 5 - 5 BR / 4.5 BA	
NAME	AREA (SF)
FIRST FLOOR	1447
SECOND FLOOR	1644
TOTAL LIVING	3091
PORCH	76
LANAI	279
2-CAR GARAGE	445
*GROSS SQUARE FOOTAGE	

PLAN 5 CONTEMPORARY - FLOOR PLANS

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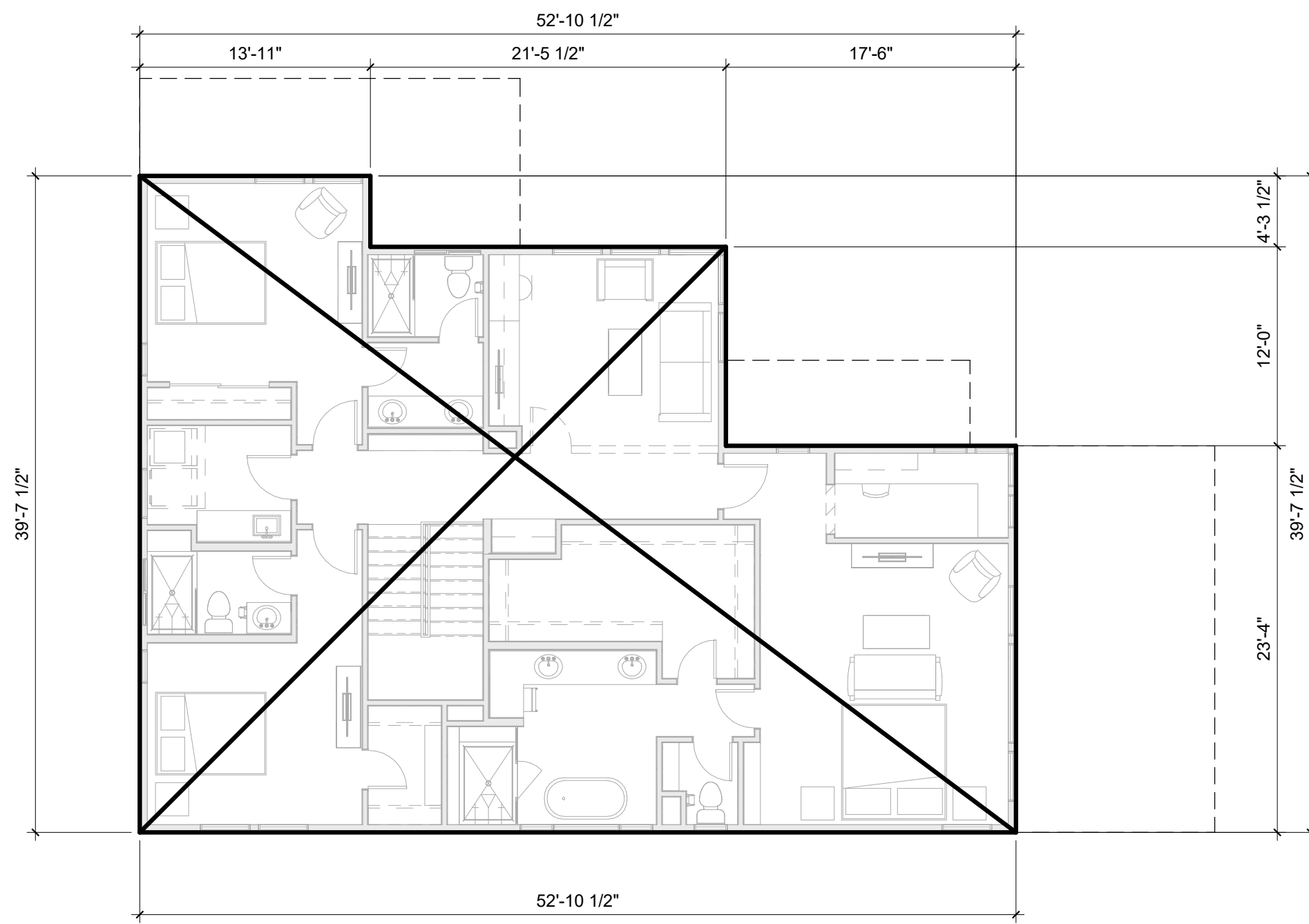
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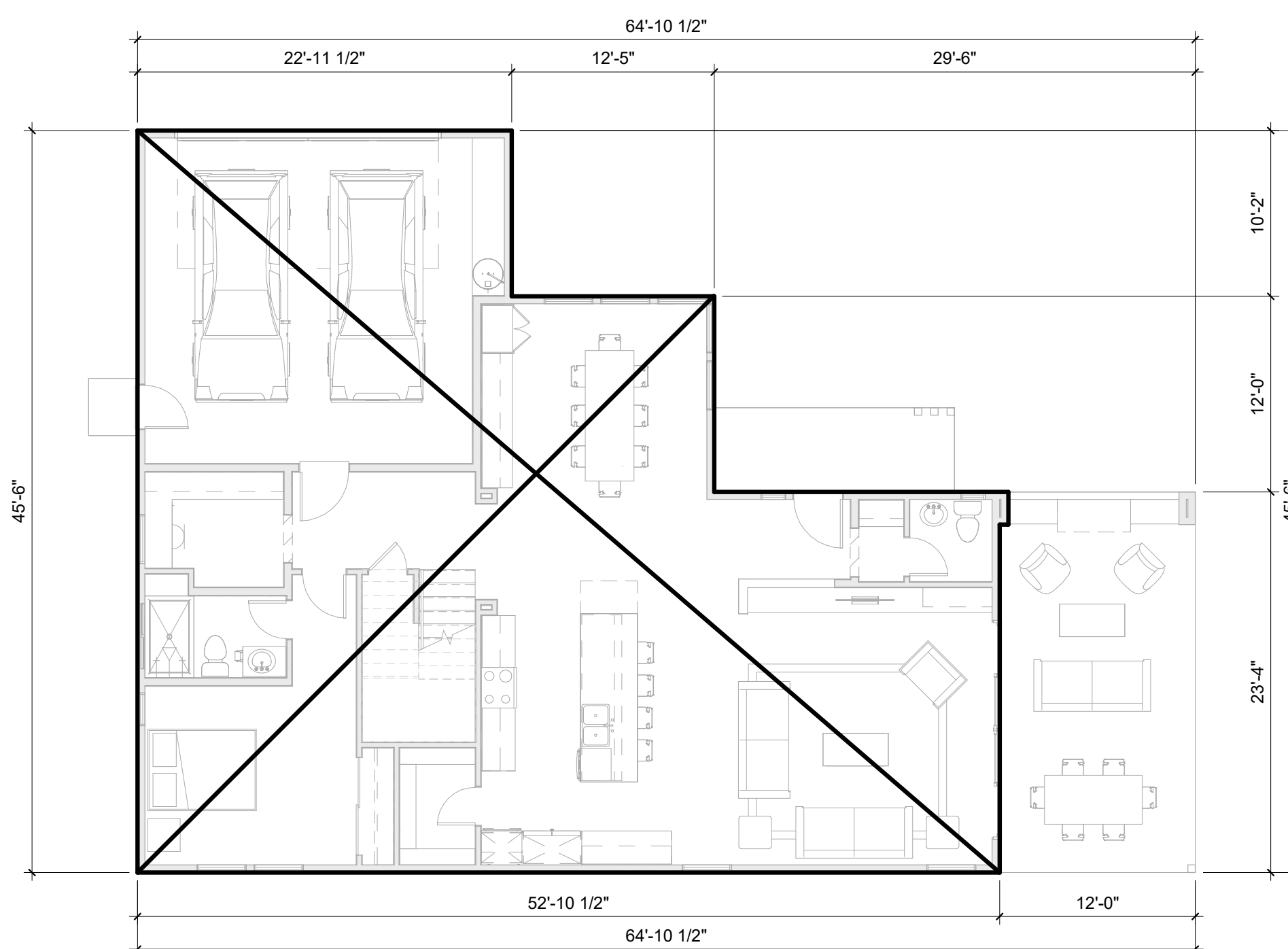
JOB NO. 297-090
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A.44

 POTENTIAL AREA FOR SOLAR ZONE

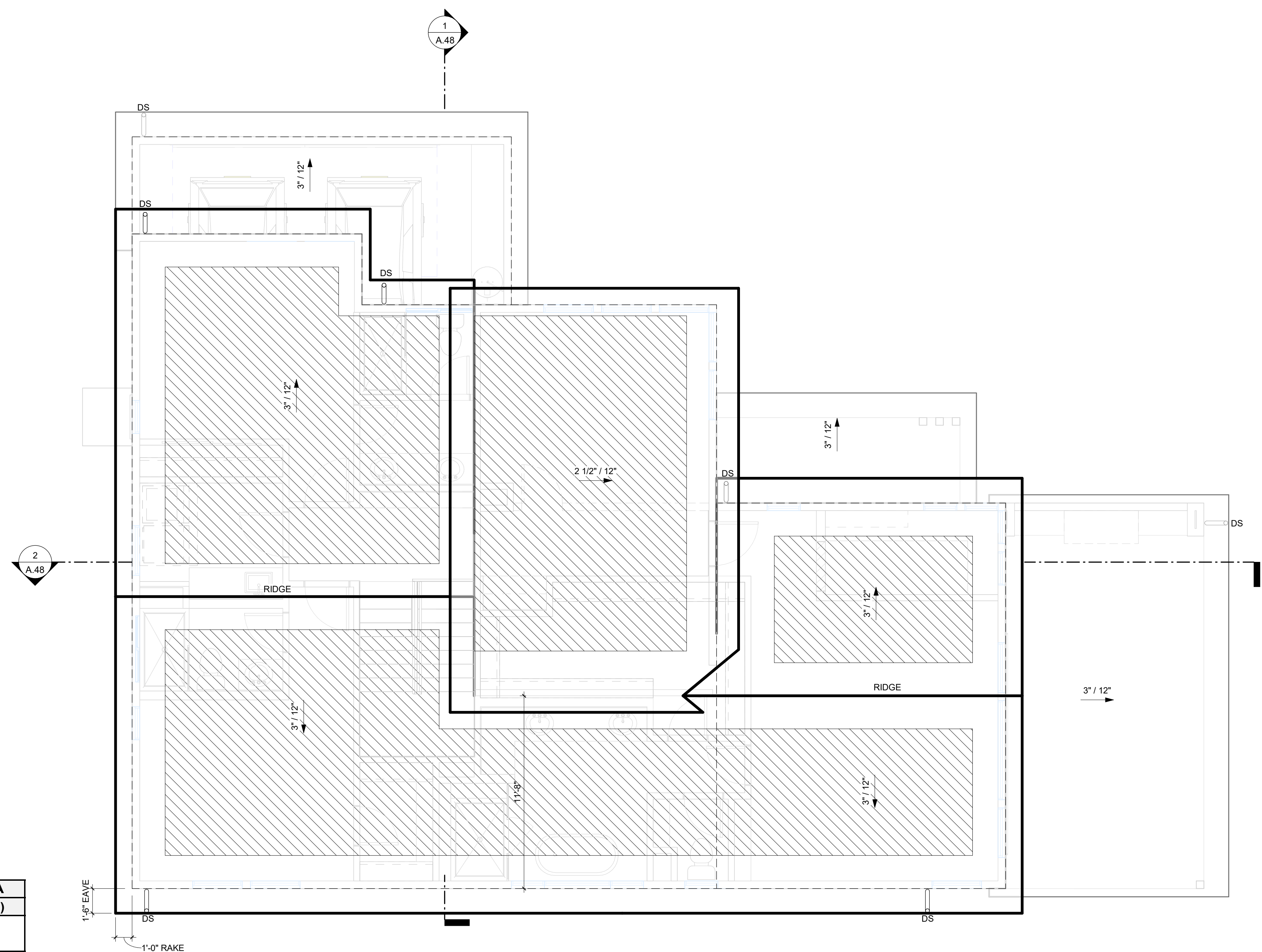


2 PLAN 5 - SECOND FLOOR PLAN
 1/8" = 1'-0"



1 PLAN 5 - FIRST FLOOR PLAN
 1/8" = 1'-0"

PLAN 5 FAR - 5 BR/ 4.5 BA	
NAME	AREA (SF)
FIRST FLOOR	1,892
SECOND FLOOR	1,718
TOTAL FAR	3,610



3 PLAN 5 - ROOF - CONTEMPORARY
 1/4" = 1'-0"

PLAN 5 CONTEMPORARY - FLOOR PLANS

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A.45



FRONT ELEVATION

PLAN	LOT NO.	BLDG. HT.*
PLAN 5	18	27'-10.25"

*BLDG. HT.= HEIGHT FROM TOP OF ADJACENT CURB TO TOP OF ROOF



REAR ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.56 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 5 CONTEMPORARY - ELEVATIONS

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LEFT ELEVATION



RIGHT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.56 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 5 CONTEMPORARY - ELEVATIONS

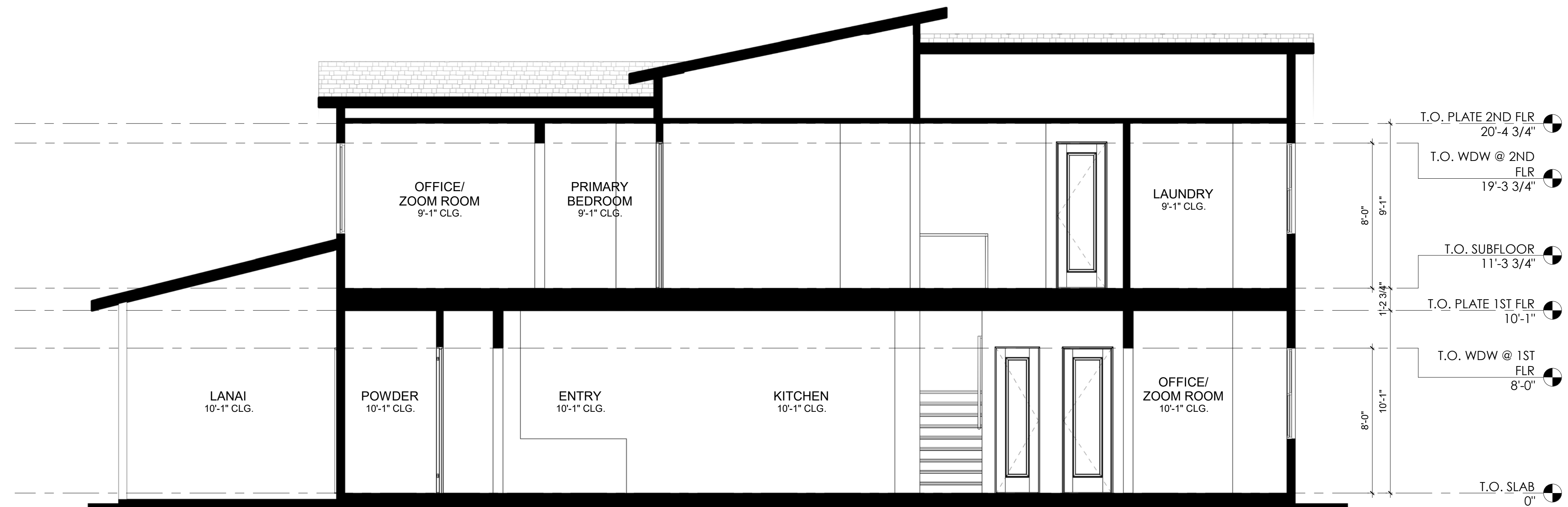
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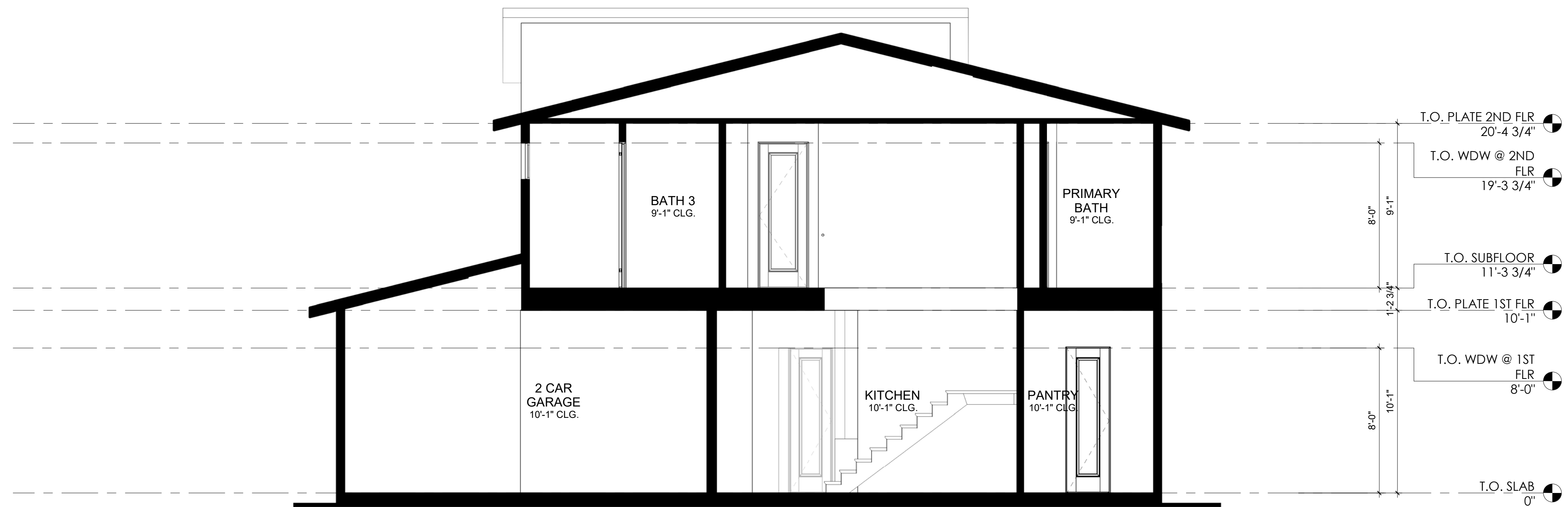
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2 PLAN 5 - SECTION B
1/4" = 1'-0"



1 PLAN 5 - SECTION A
1/4" = 1'-0"

PLAN 5 CONTEMPORARY - SECTIONS

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A.48

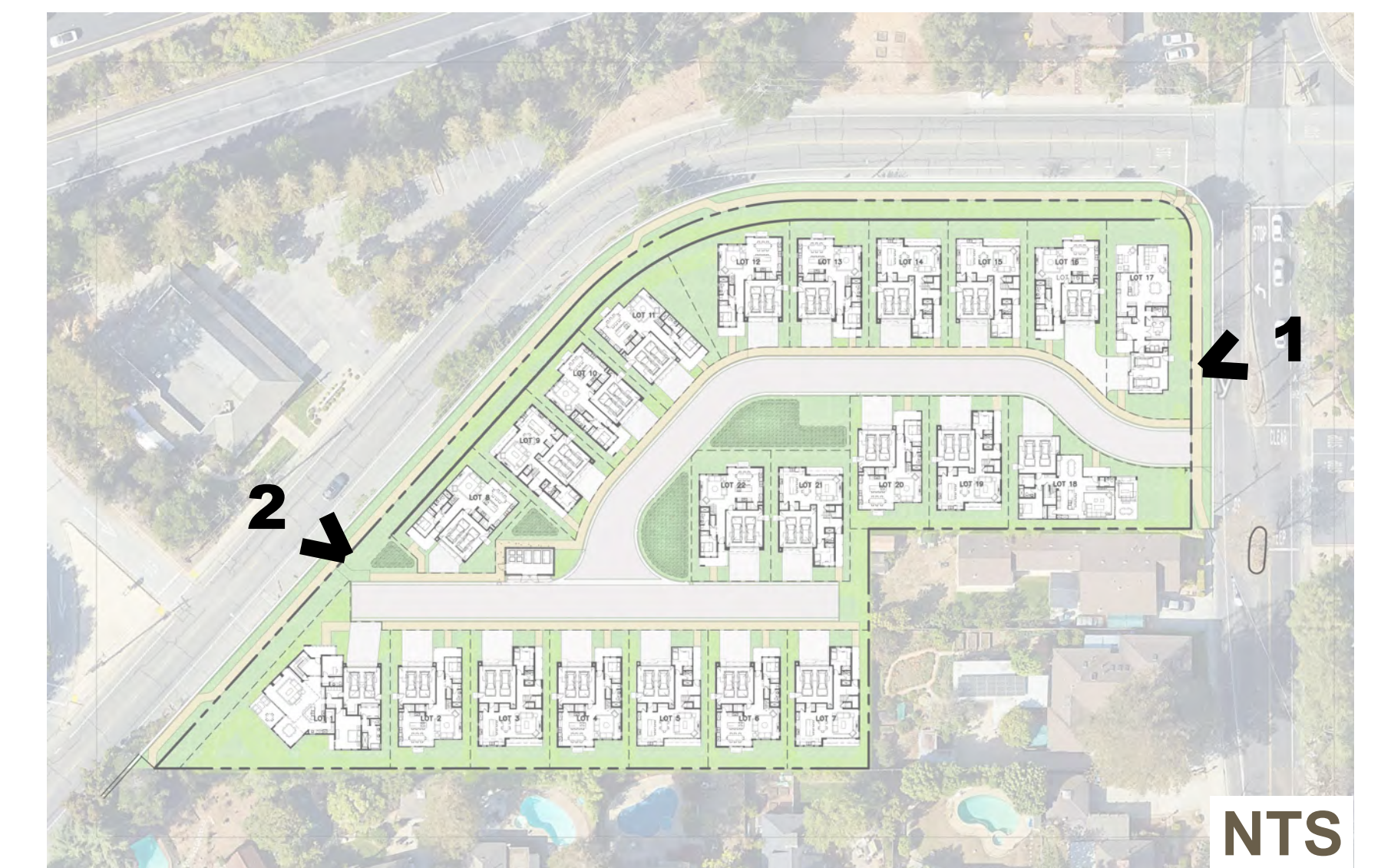


SITE PERSPECTIVE 1



SITE PERSPECTIVE 2

NOTE: LANDSCAPE SHOWN IN RENDERINGS IS FOR GRAPHICAL REPRESENTATION ONLY. SEE LANDSCAPE DRAWINGS FOR MORE INFO.



SITE PERSPECTIVES

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MILLER STARR
 REGALIA



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NOTE: LANDSCAPE SHOWN FOR GRAPHICAL REPRESENTATION ONLY. SEE LANDSCAPE DRAWINGS FOR MORE INFO



NTS

AERIAL VIEW

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MILLER STARR
 REGALIA



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A.50



NOTE: LANDSCAPE SHOWN FOR GRAPHICAL REPRESENTATION ONLY. SEE LANDSCAPE DRAWINGS FOR MORE INFO **NTS**



STREETSCAPE AT SYLVAN AVE.

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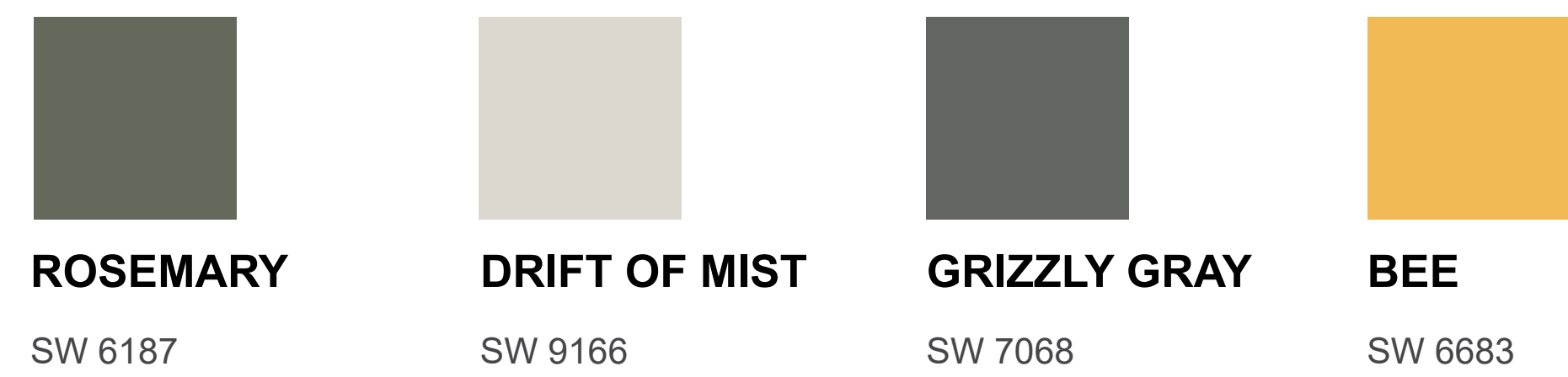
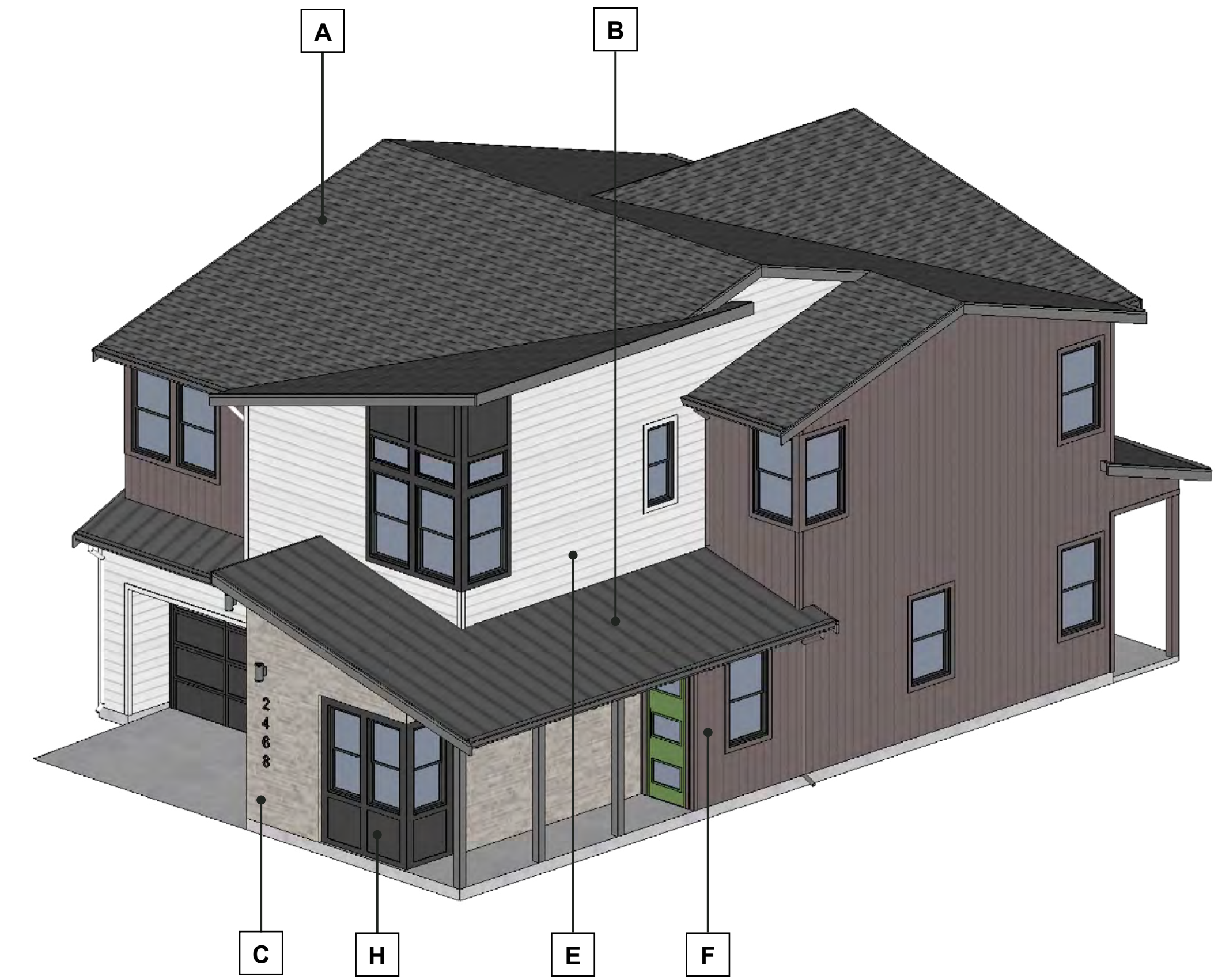
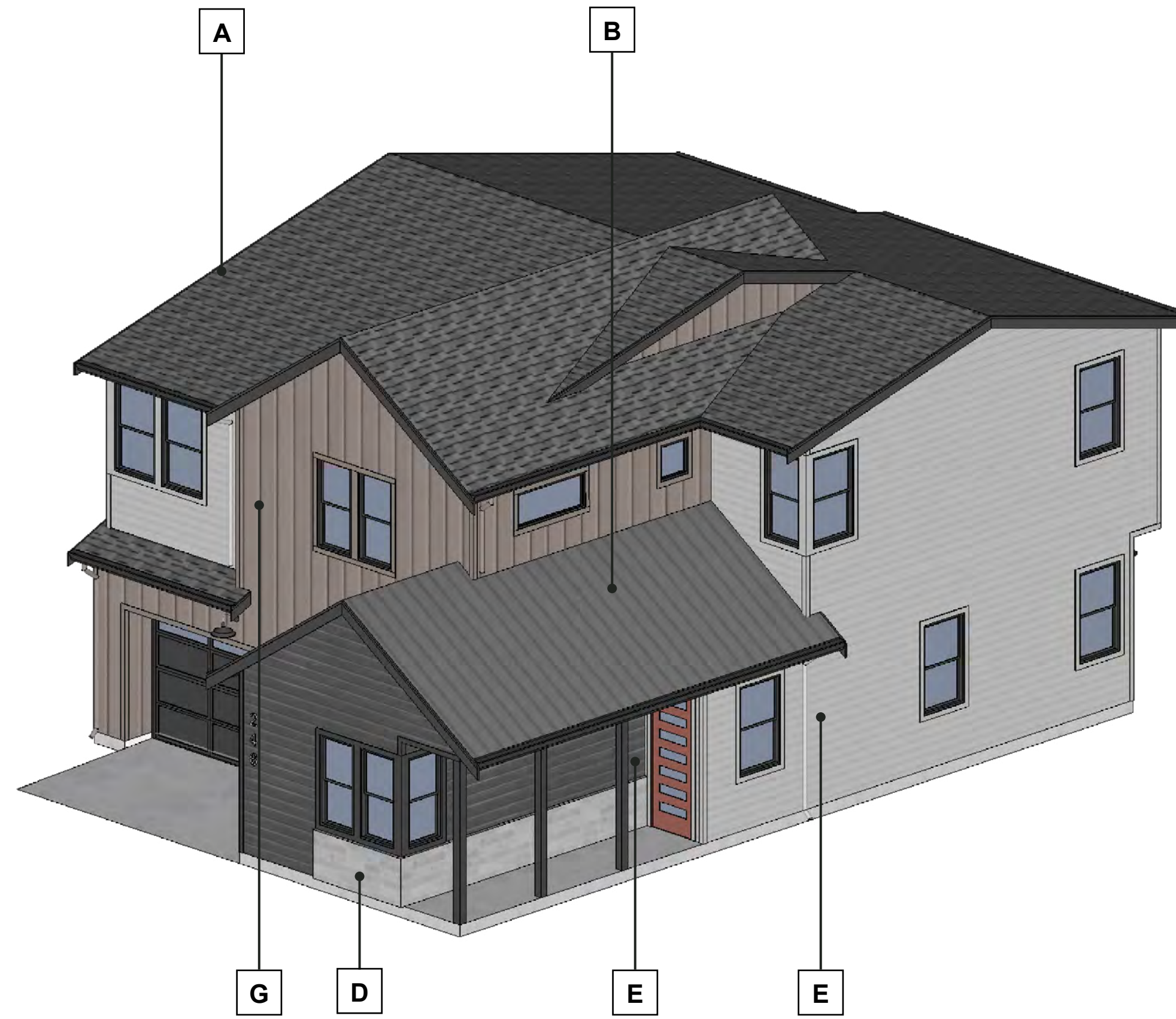
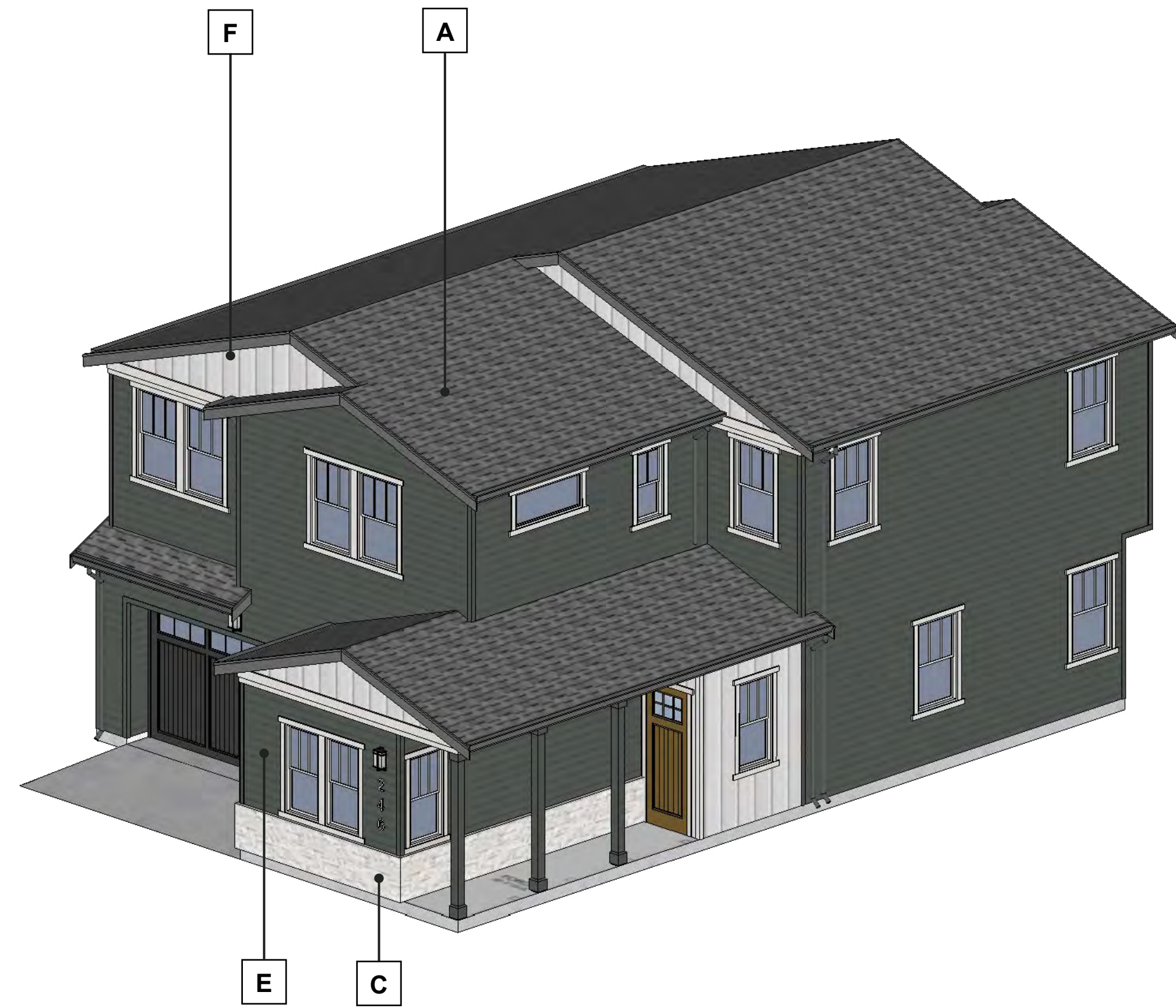
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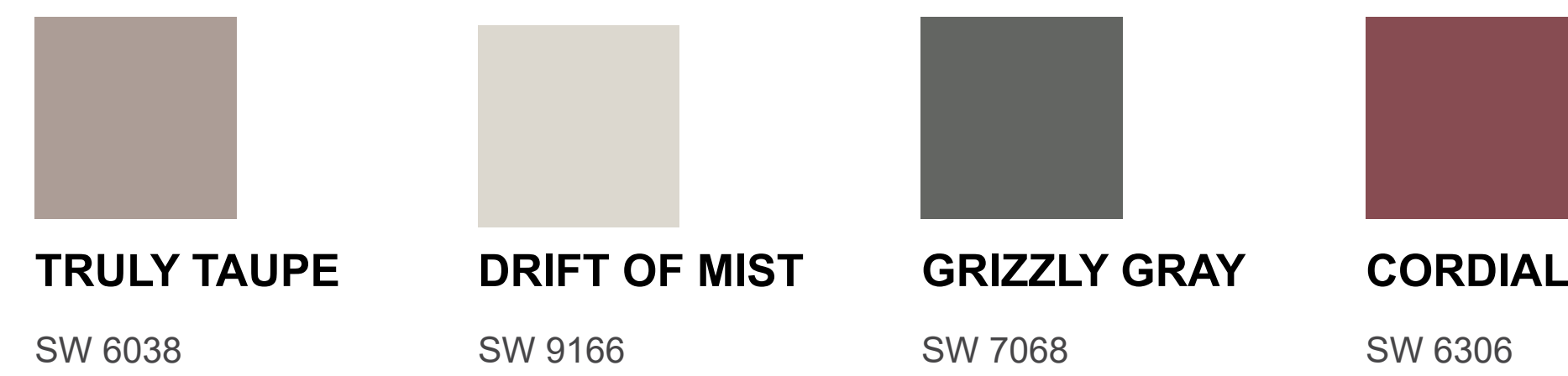
JOB NO. 297-090
 DATE 11/14/2024

A.51

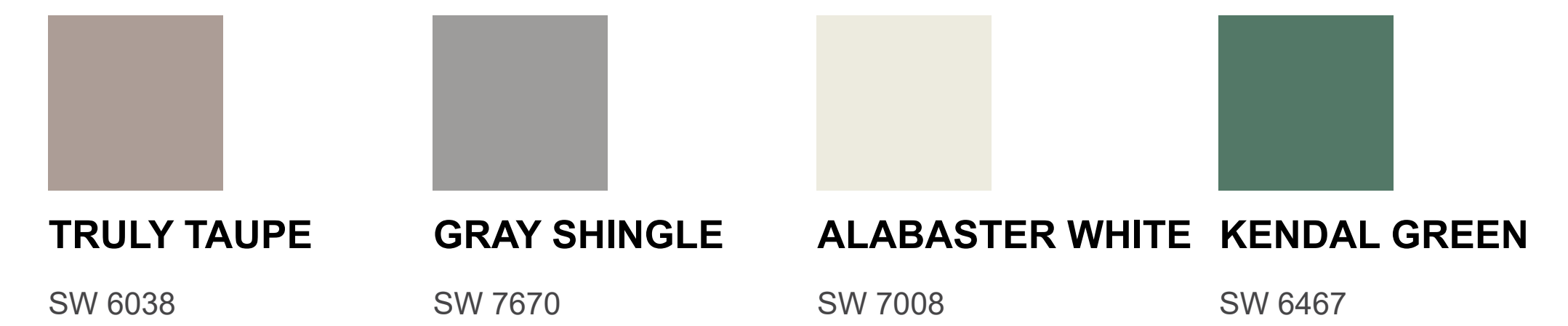
COLORS



PLAN 1 TRADITIONAL



PLAN 1 CONTEMPORARY



PLAN 1 TRANSITIONAL

MATERIALS

A ROOF MATERIAL 1 COMPOSITION SHINGLE GRAY	B ROOF MATERIAL 2 STANDING SEAM GRAY	C ADHERED MASONRY VENEER ELDORADO - CUT COARSE STONE CANNONADE	D CEMENTITIOUS PANEL SIDING FAUX CEDAR FINISH	E HORIZONTAL LAP SIDING 7.25" SIDING W/ 6" EXP.	F VERTICAL SIDING 6" SIDING	G BOARD & BATT SIDING 1x3 BATTENS SPACED @ 16" C/C	H CEMENTITIOUS PANEL SIDING SMOOTH FINISH

NOTE:
 PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN MAY NOT ACCURATELY REPRESENT COLORS AND TEXTURES. REFER TO ACTUAL MATERIALS FOR COLORS.
DOWNSPOUTS: PAINT ALL EXPOSED SIDES WITH ADJACENT COLOR.
GUTTERS: 5" O'GEE GUTTERS, PAINTED.
WINDOWS: ALL VINYL WINDOWS W/ DARK COLORED FRAMES. WINDOW TRIMS- 2X TRIMS- PAINT AS PER COLORBOARD.
GARAGE DOORS: WOOD-VENEERED WITH FROSTED GLASS.
FRONT DOORS: FIBERGLASS DOORS

PLAN 1 - COLOR AND MATERIAL BOARD

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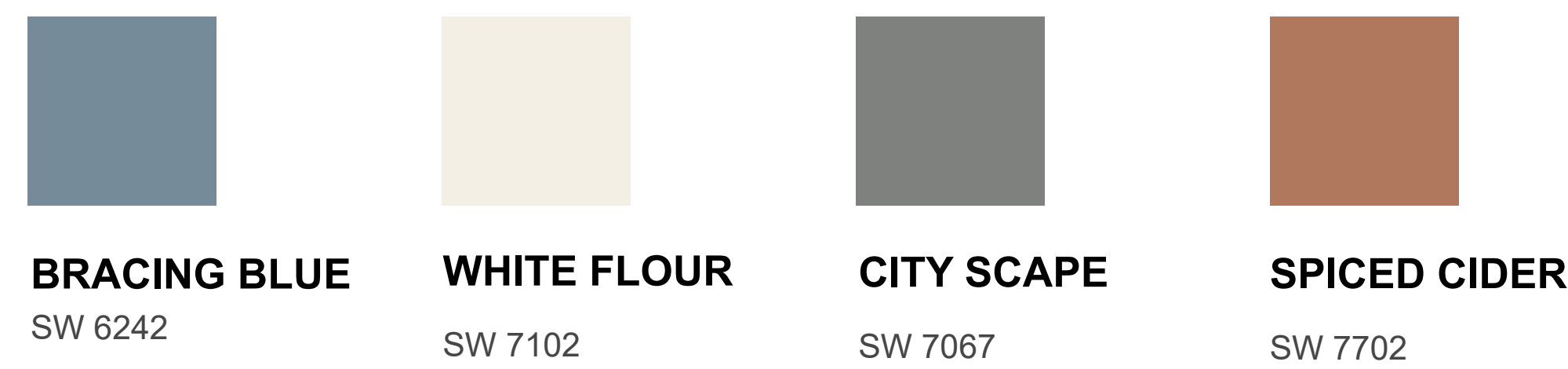
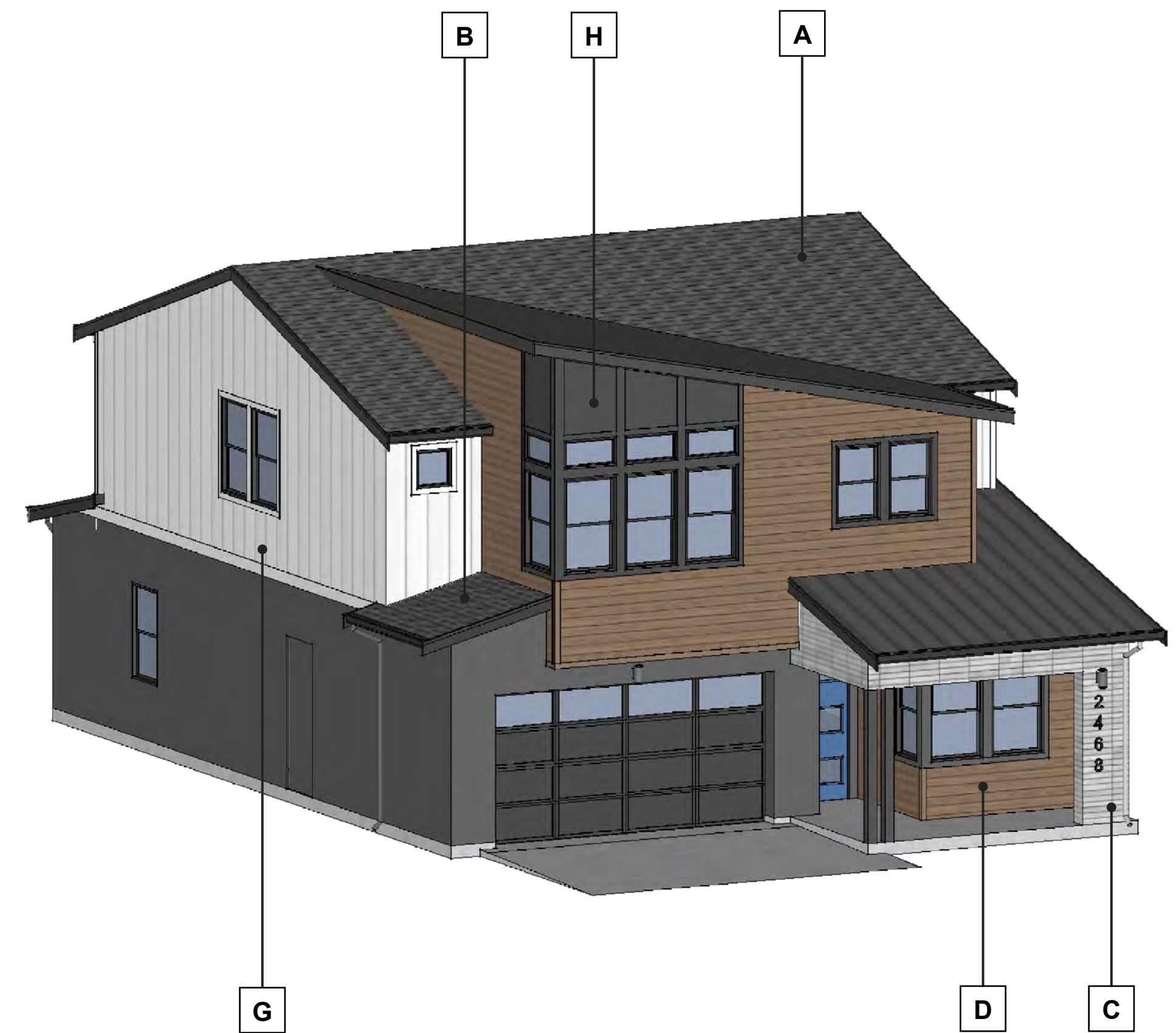
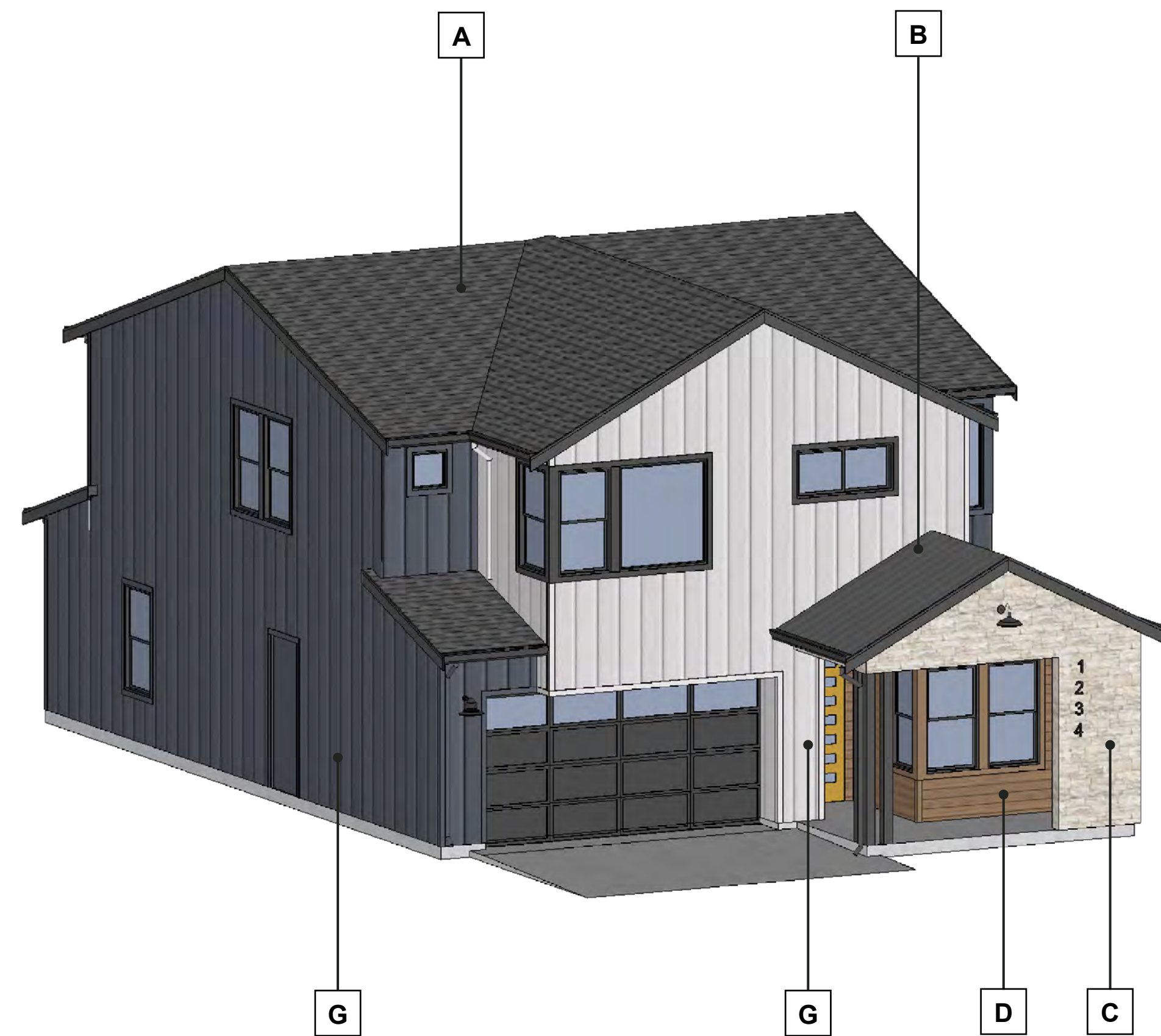
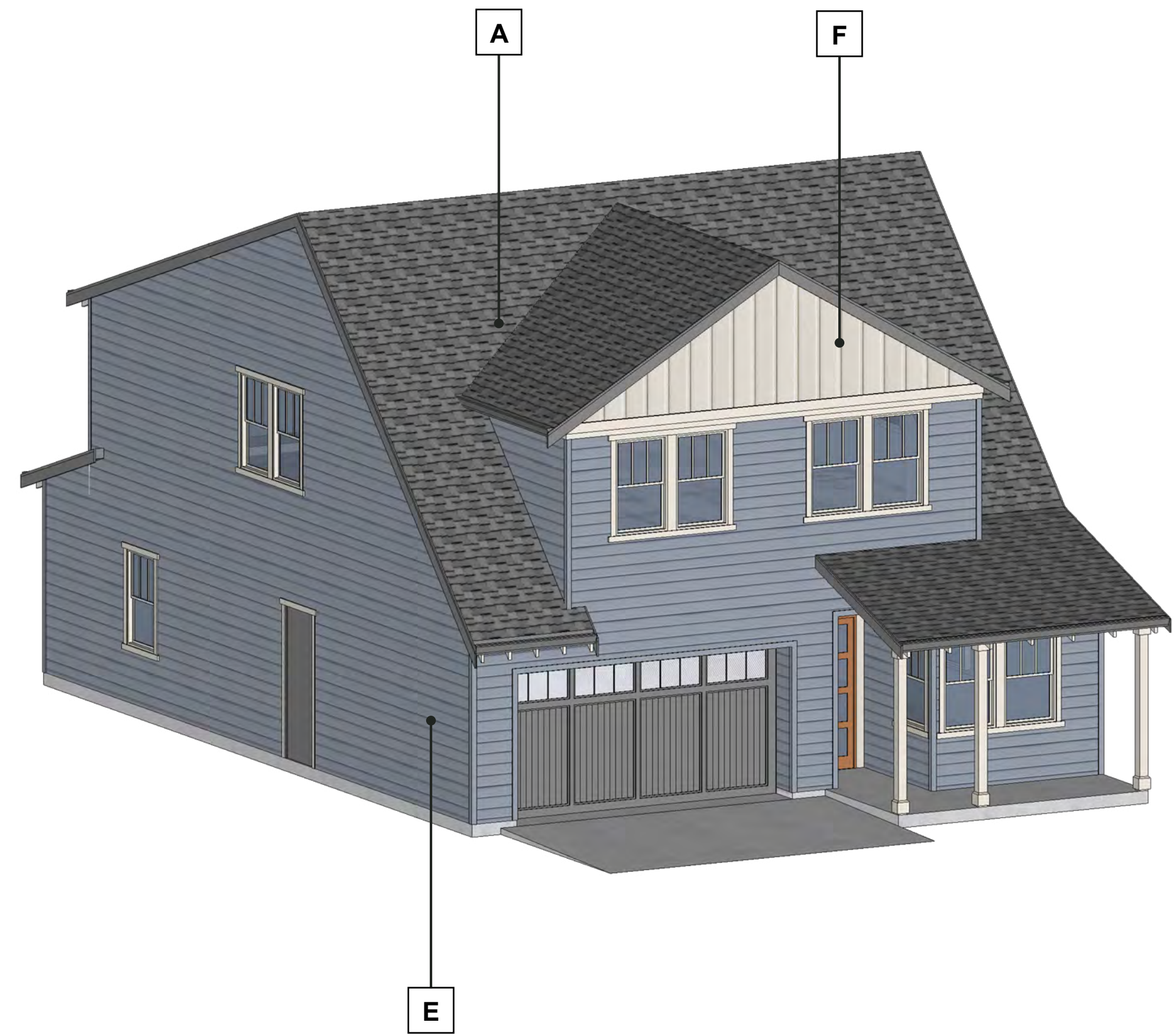
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 DATE 11/14/2024

COLORS











PLAN 2 TRADITIONAL

PLAN 2 CONTEMPORARY

PLAN 2 TRANSITIONAL

MATERIALS

A ROOF MATERIAL 1 COMPOSITION SHINGLE GRAY	B ROOF MATERIAL 2 STANDING SEAM GRAY	C ADHERED MASONRY VENEER ELDORADO - CUT COARSE STONE CANNONADE	D CEMENTITIOUS PANEL SIDING FAUX CEDAR FINISH	E HORIZONTAL LAP SIDING 7.25" SIDING W/ 6" EXP.	F VERTICAL SIDING 6" SIDING	G BOARD & BATT SIDING 1x3 BATTENS SPACED @ 16" C/C	H CEMENTITIOUS PANEL SIDING SMOOTH FINISH
							

NOTE:
 PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN MAY NOT ACCURATELY REPRESENT COLORS AND TEXTURES. REFER TO ACTUAL MATERIALS FOR COLORS.
DOWNSPOUTS: PAINT ALL EXPOSED SIDES WITH ADJACENT COLOR.
GUTTERS: 5" O'GEE GUTTERS, PAINTED.
WINDOWS: ALL VINYL WINDOWS W/ DARK COLORED FRAMES. WINDOW TRIMS- 2X TRIMS- PAINT AS PER COLORBOARD.
GARAGE DOORS: WOOD-VENEERED WITH FROSTED GLASS.
FRONT DOORS: FIBERGLASS DOORS

PLAN 2 - COLOR AND MATERIAL BOARD

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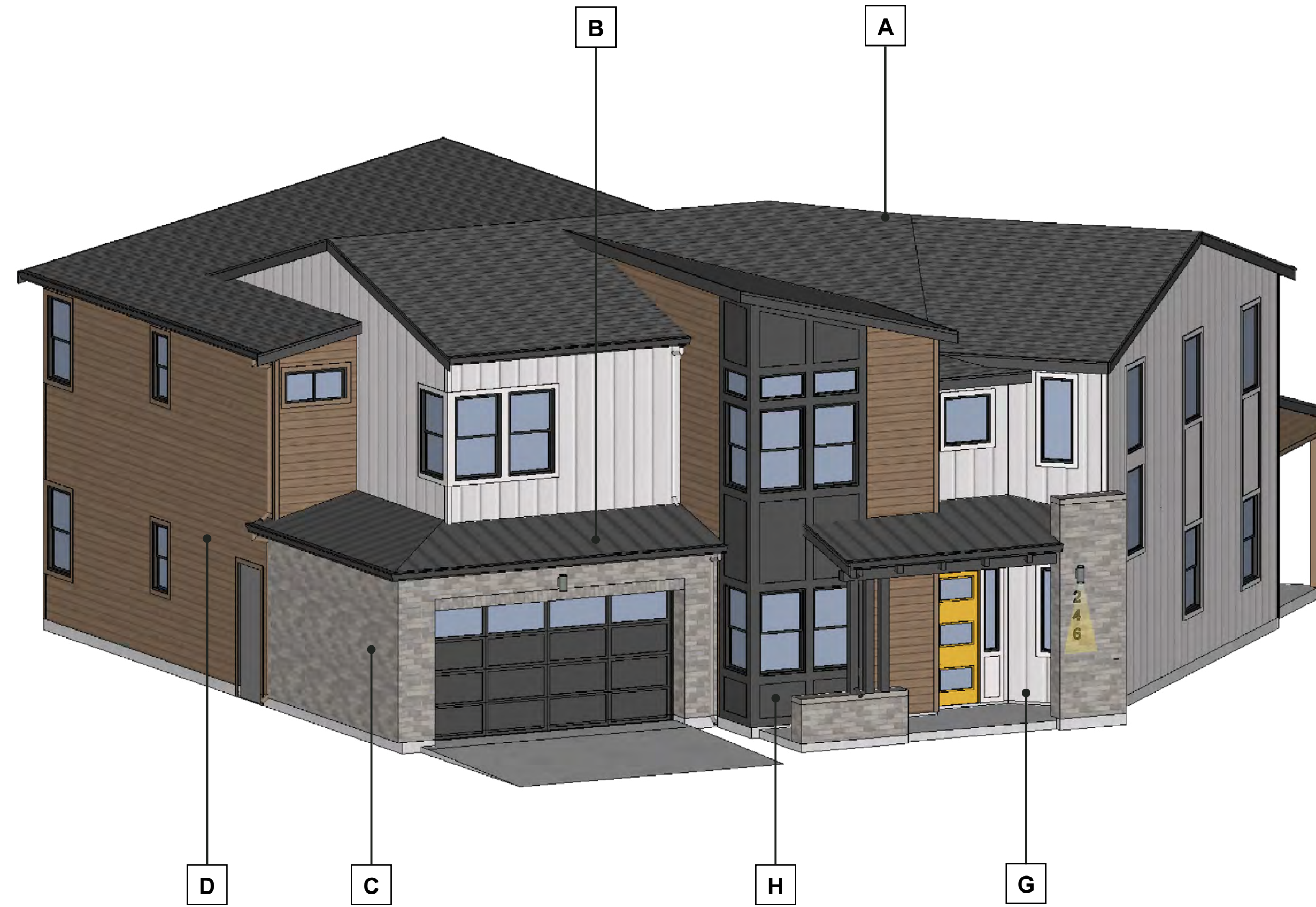
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JOB NO. 297-090
 DATE 11/14/2024

COLORS



PLAN 3 TRANSITIONAL

MATERIALS

A ROOF MATERIAL 1 COMPOSITION SHINGLE GRAY	B ROOF MATERIAL 2 STANDING SEAM GRAY	C ADHERED MASONRY VENEER ELDORADO - CUT COARSE STONE CANNONADE	D CEMENTITIOUS PANEL SIDING FAUX CEDAR FINISH	E HORIZONTAL LAP SIDING 7.25" SIDING W/ 6" EXP.	F VERTICAL SIDING 6" SIDING	G BOARD & BATT SIDING 1x3 BATTENS SPACED @ 16" C/C	H CEMENTITIOUS PANEL SIDING SMOOTH FINISH
							

NOTE:
PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN MAY NOT ACCURATELY REPRESENT COLORS AND TEXTURES. REFER TO ACTUAL MATERIALS FOR COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED SIDES WITH ADJACENT COLOR.

GUTTERS: 5" O'GEE GUTTERS, PAINTED.

WINDOWS: ALL VINYL WINDOWS W/ DARK COLORED FRAMES. WINDOW TRIMS- 2X TRIMS- PAINT AS PER COLORBOARD.

GARAGE DOORS: WOOD-VENEERED WITH FROSTED GLASS.

FRONT DOORS: FIBERGLASS DOORS

PLAN 3 - COLOR AND MATERIAL BOARD

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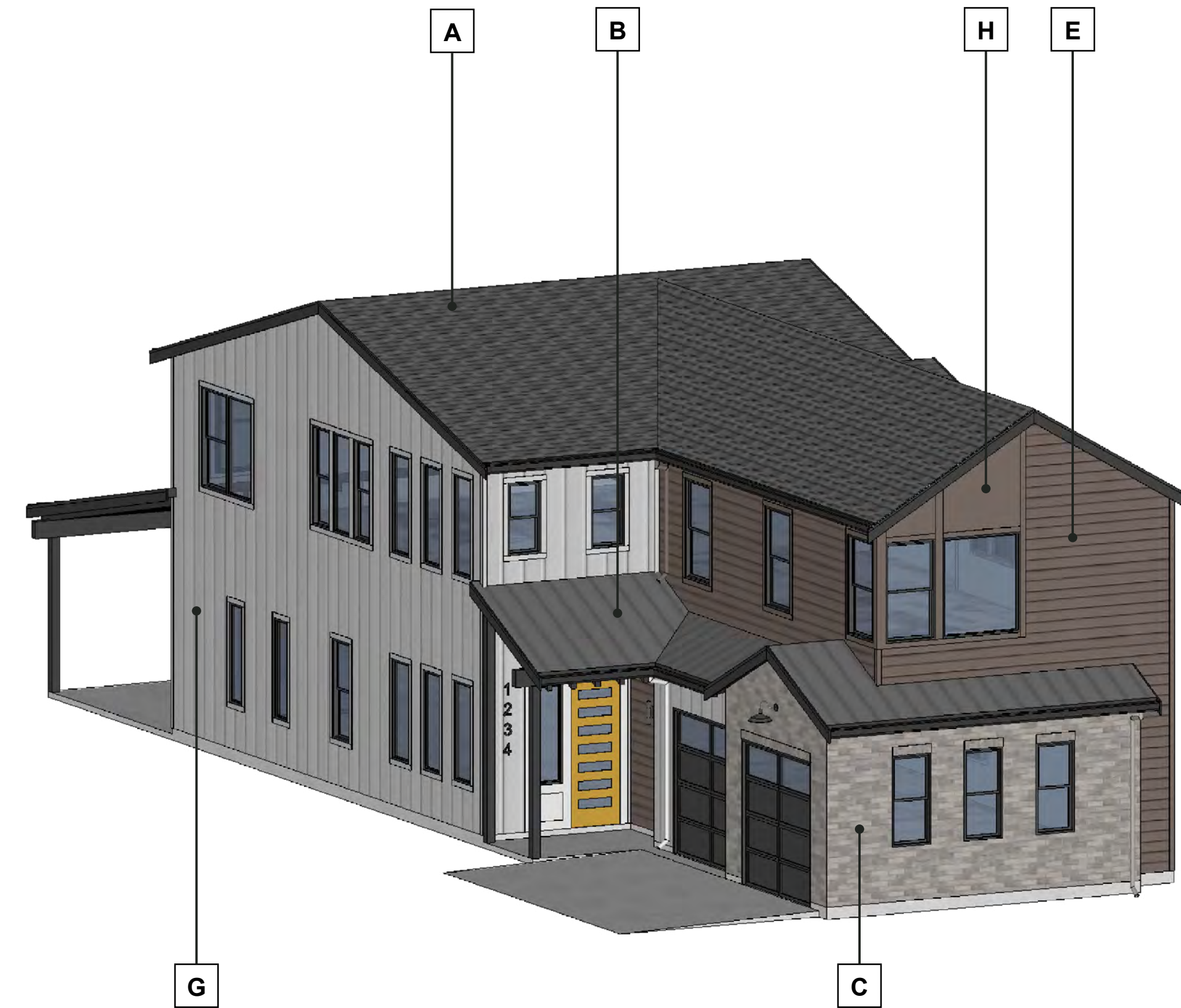
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DATE 11/14/2024

COLORS



DOMINO
SW 6989



GRAYISH
SW 6001



BEE
SW 6683



PLANTATION SHUTTERS
SW 7520

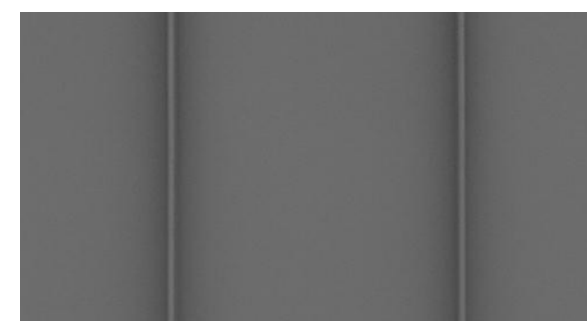
PLAN 4 CONTEMPORARY

MATERIALS

A ROOF MATERIAL 1
COMPOSITION SHINGLE
GRAY



B ROOF MATERIAL 2
STANDING SEAM
GRAY



C ADHERED MASONRY VENEER
ELDORADO - CUT COARSE
STONE CANNONADE



D CEMENTITIOUS PANEL SIDING
FAUX CEDAR FINISH



E HORIZONTAL LAP SIDING
7.25" SIDING W/ 6" EXP.



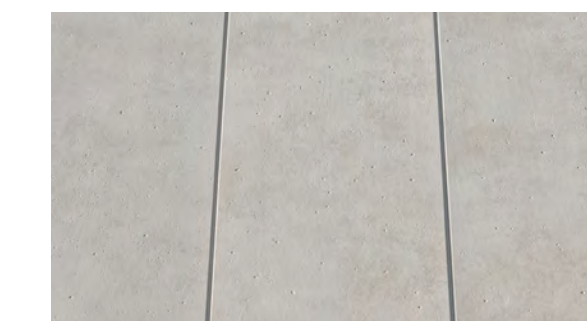
F VERTICAL SIDING
6" SIDING



G BOARD & BATT SIDING
1x3 BATTENS SPACED
@ 16" C/C



H CEMENTITIOUS PANEL SIDING
SMOOTH FINISH



NOTE:

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GUTTERS: 5" O'GEE GUTTERS, PAINTED.

WINDOWS: ALL VINYL WINDOWS W/ DARK COLORED FRAMES. WINDOW TRIMS- 2X TRIMS- PAINT AS PER COLORBOARD.

GARAGE DOORS: WOOD-VENEERED WITH FROSTED GLASS.

FRONT DOORS: FIBERGLASS DOORS

PLAN 4 - COLOR AND MATERIAL BOARD

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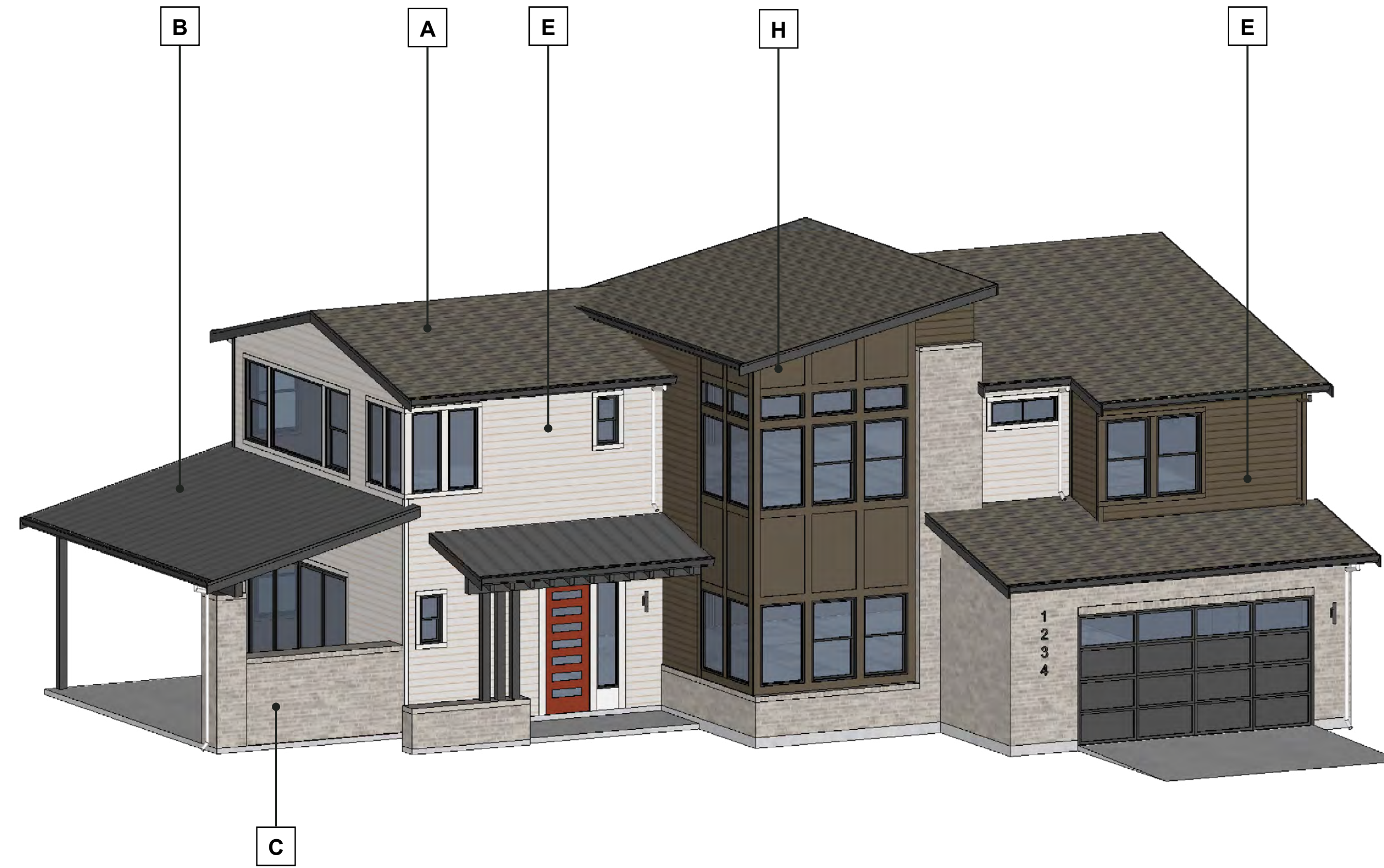
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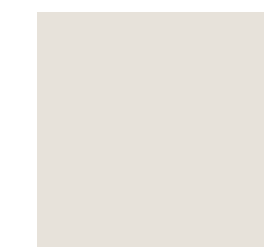
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DATE 11/14/2024

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COLORS



SABLE
SW 6083



TOQUE WHITE
SW 7003



GRIZZLY GRAY
SW 7068



ROCKWOOD RED
SW 2802

PLAN 5 CONTEMPORARY

MATERIALS

A ROOF MATERIAL 1
COMPOSITION SHINGLE
GRAY



B ROOF MATERIAL 2
STANDING SEAM
GRAY



**C ADHERED MASONRY
VENEER**
ELDORADO - CUT COARSE
STONE CANNONADE



**D CEMENTITIOUS
PANEL SIDING**
FAUX CEDAR FINISH



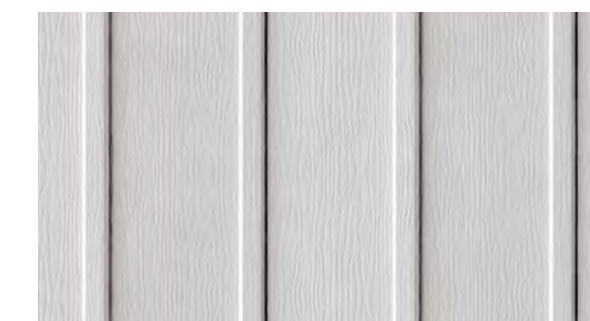
**E HORIZONTAL
LAP SIDING**
7.25" SIDING W/ 6" EXP.



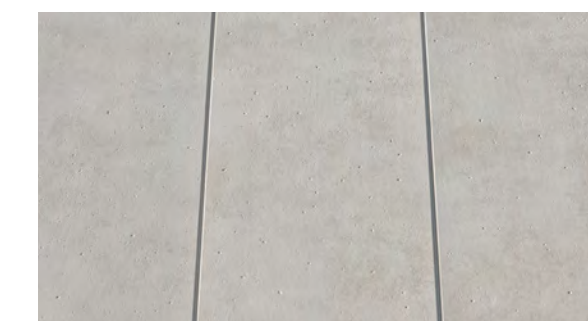
**F VERTICAL
SIDING**
6" SIDING



**G BOARD & BATT
SIDING**
1x3 BATTENS SPACED
@ 16" C/C



**H CEMENTITIOUS
PANEL SIDING**
SMOOTH FINISH



NOTE:

PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN MAY NOT ACCURATELY REPRESENT COLORS AND TEXTURES. REFER TO ACTUAL MATERIALS FOR COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED SIDES WITH ADJACENT COLOR.

GUTTERS: 5" O'GEE GUTTERS, PAINTED.

WINDOWS: ALL VINYL WINDOWS W/ DARK COLORED FRAMES. WINDOW TRIMS- 2X TRIMS- PAINT AS PER COLORBOARD.

GARAGE DOORS: WOOD-VENEERED WITH FROSTED GLASS.

FRONT DOORS: FIBERGLASS DOORS

PLAN 5 - COLOR AND MATERIAL BOARD

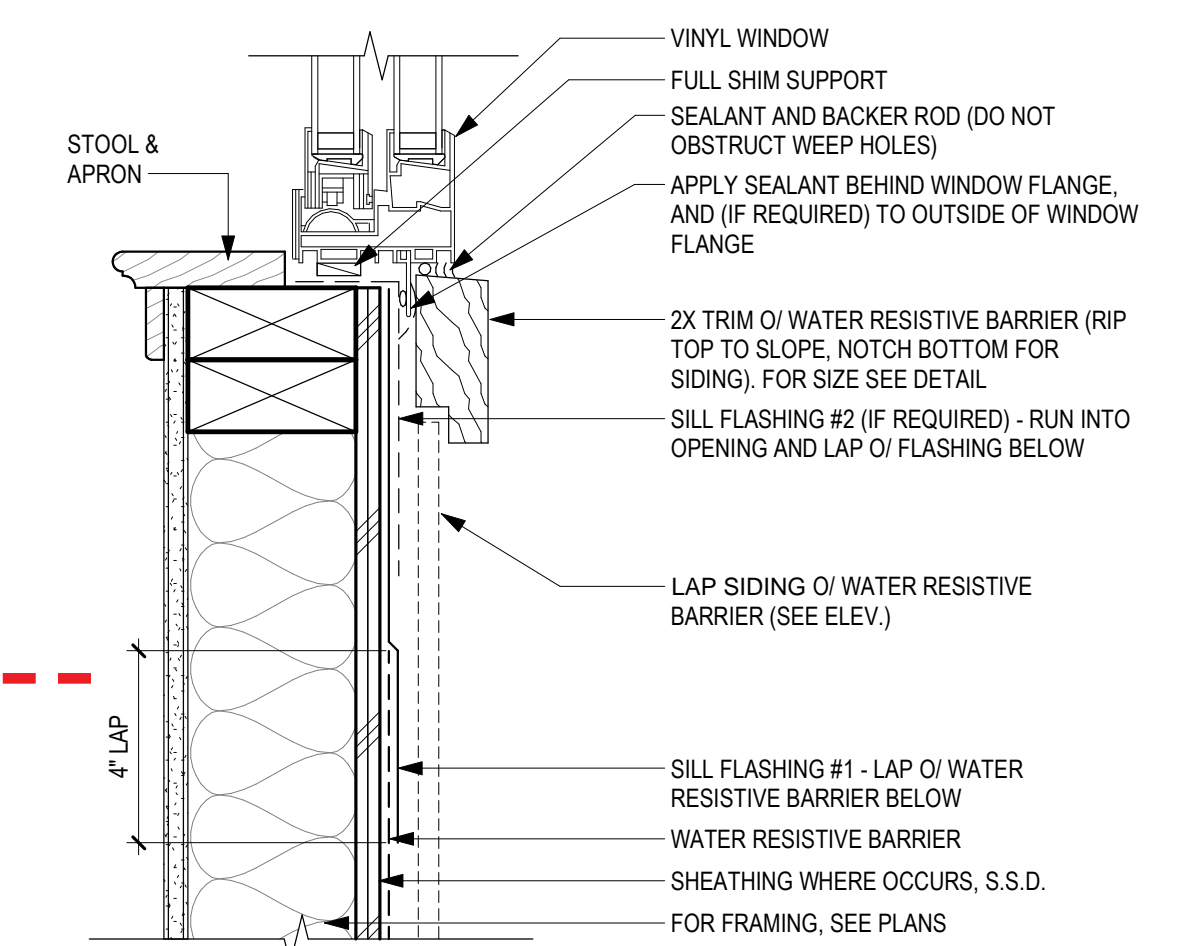
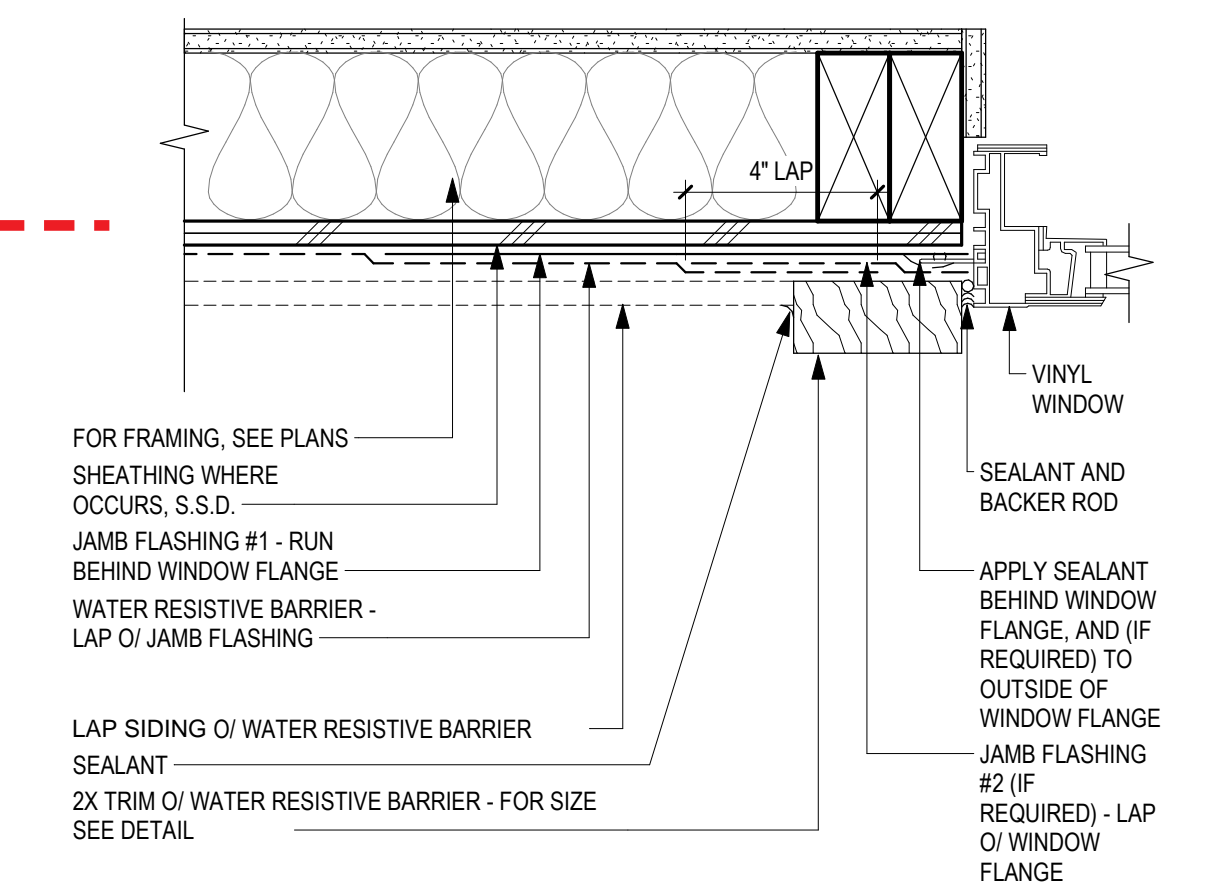
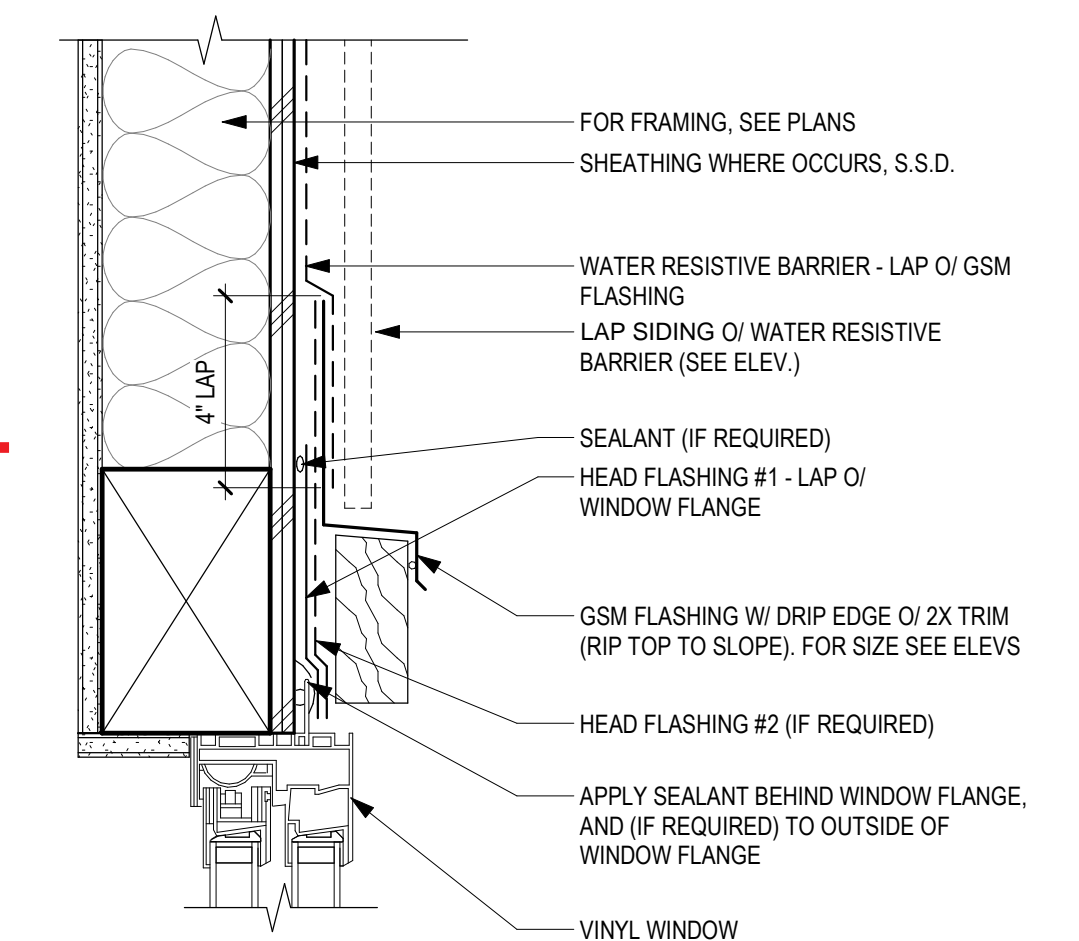
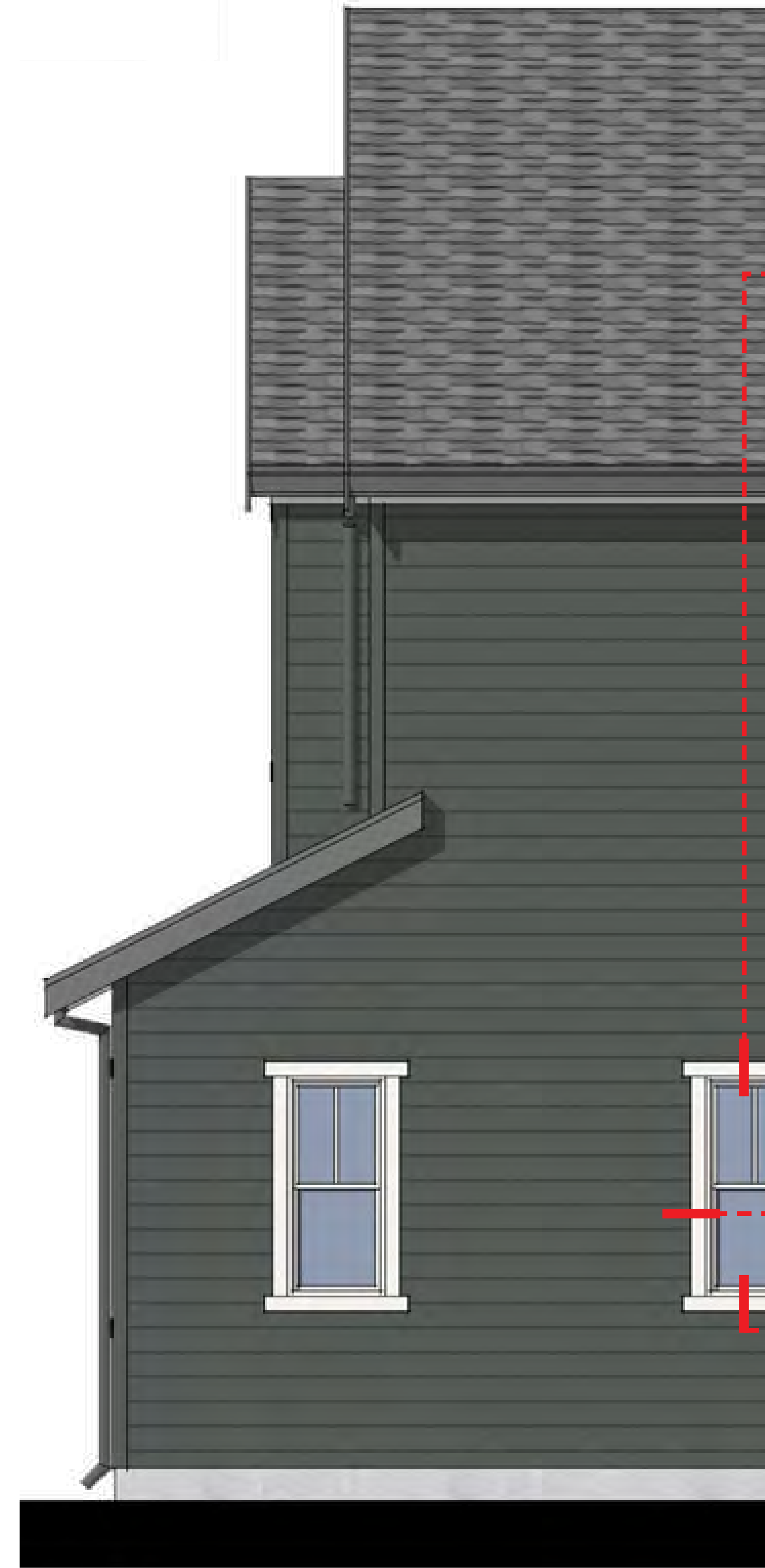
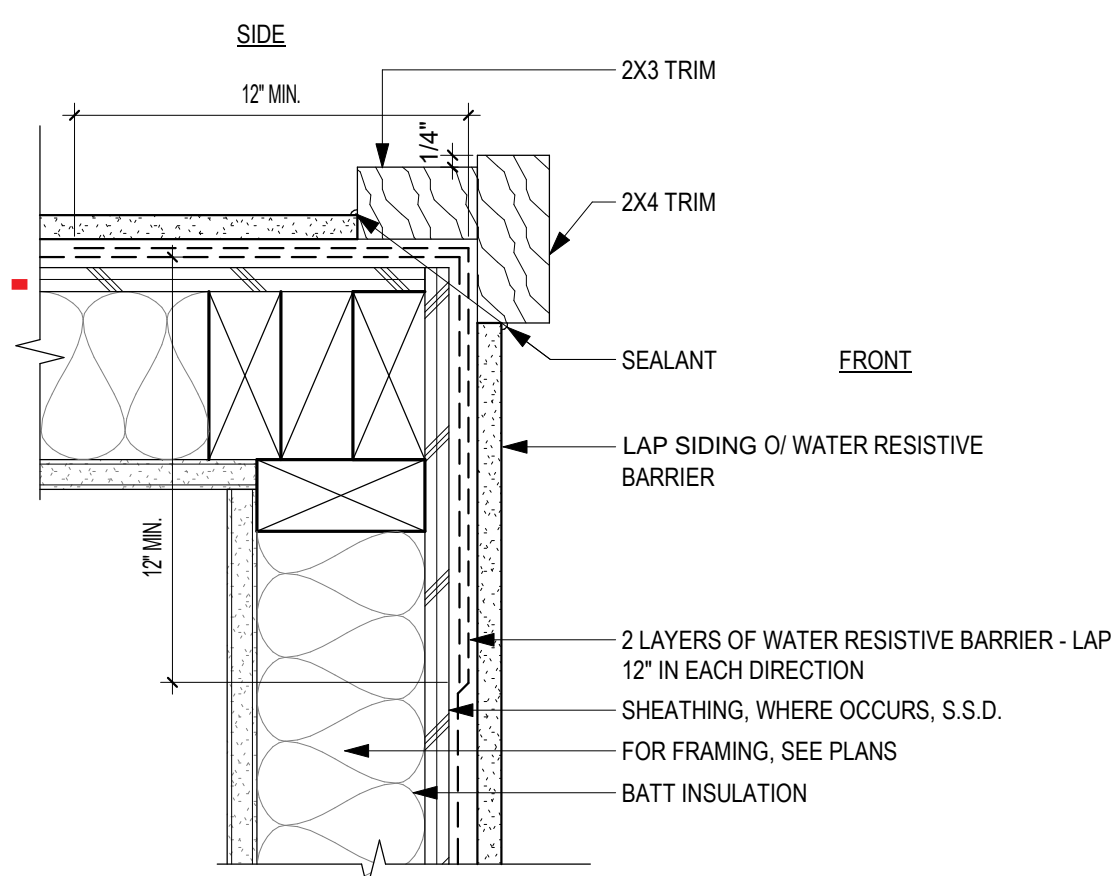
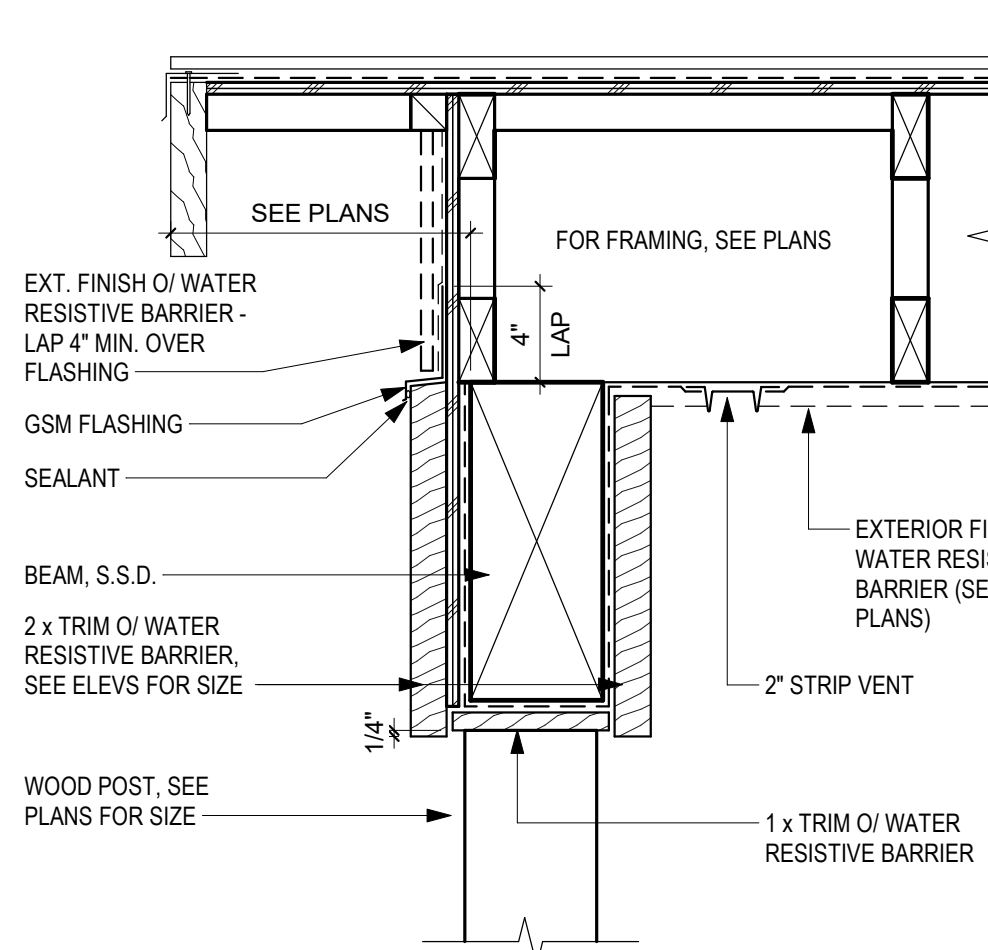
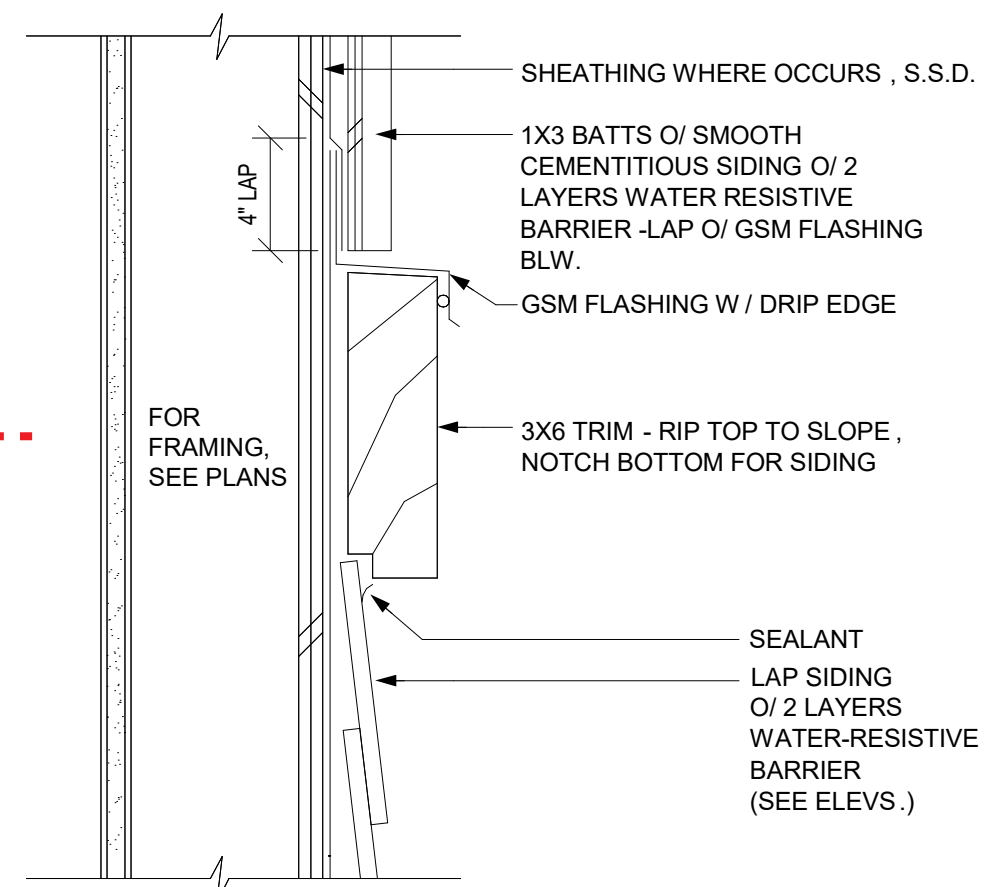
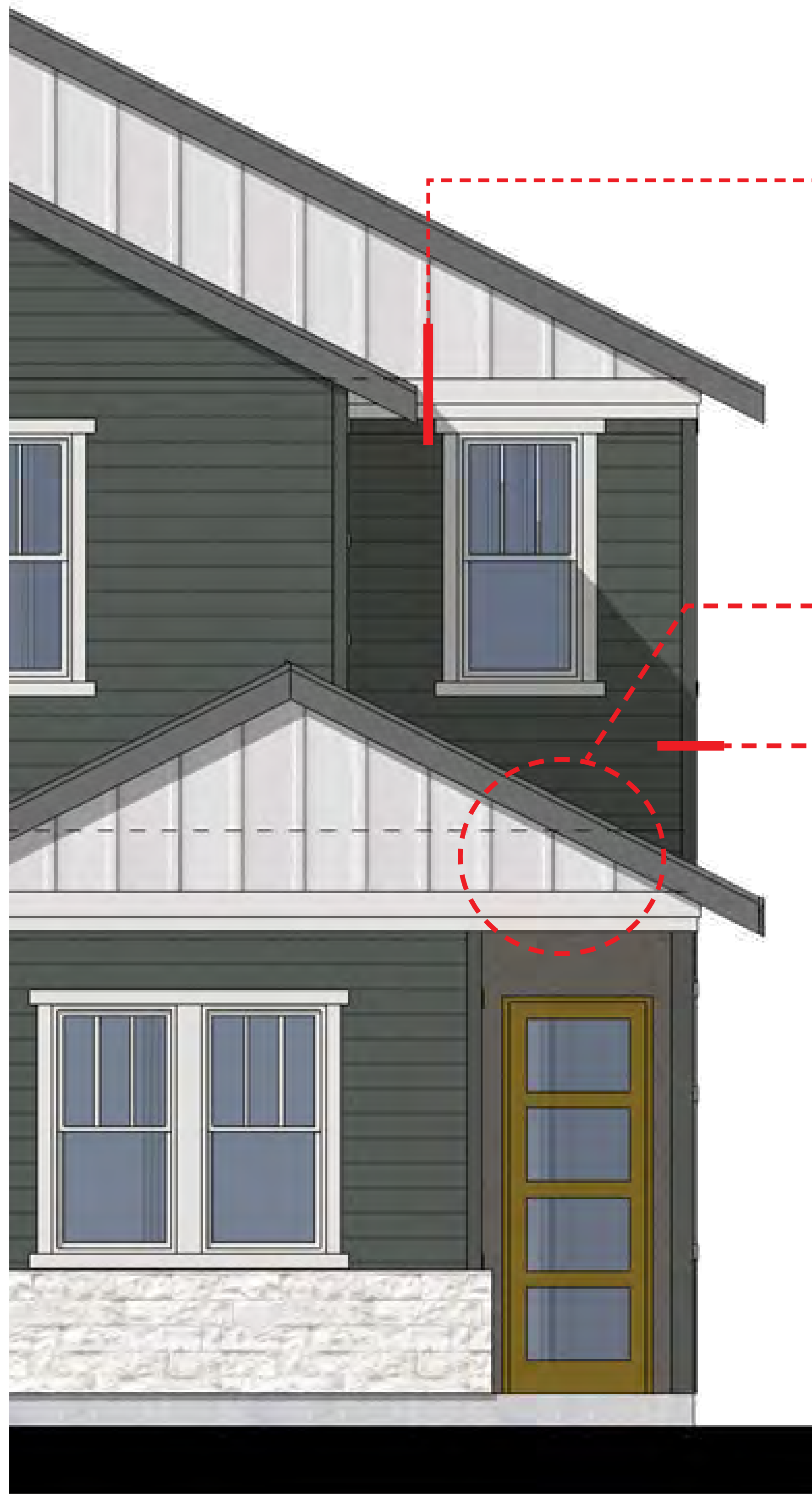
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BUILDING DETAILS

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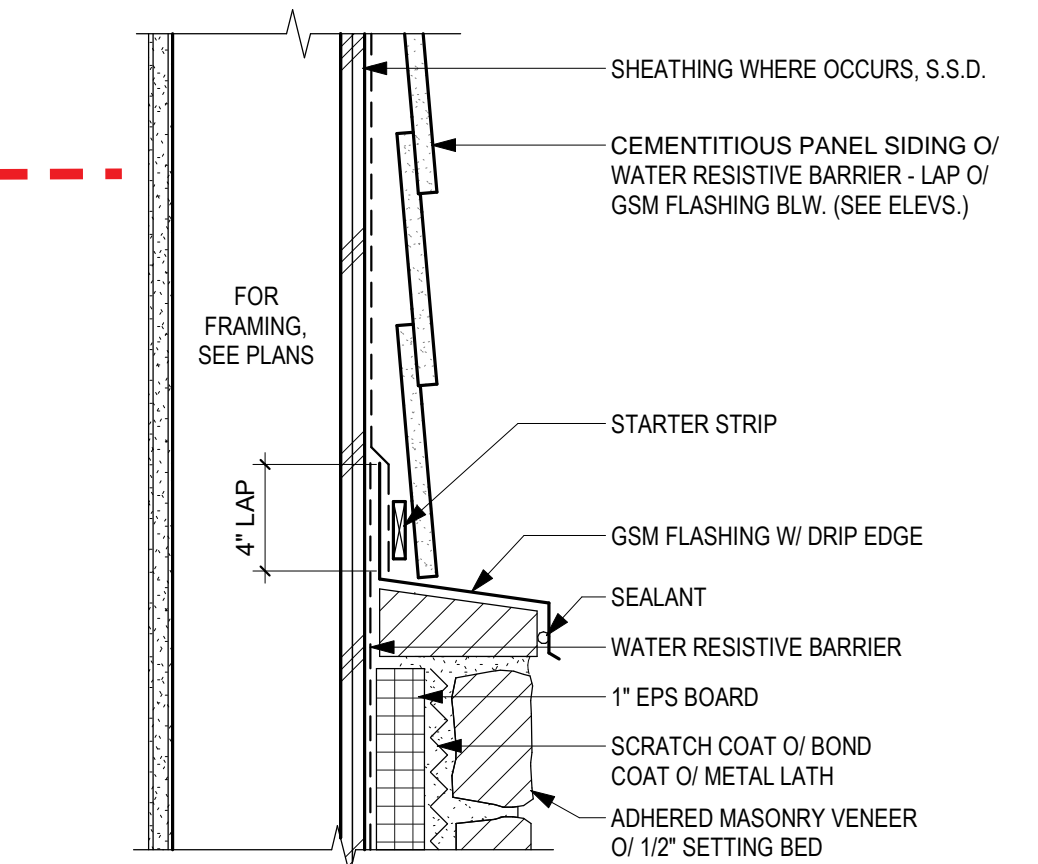
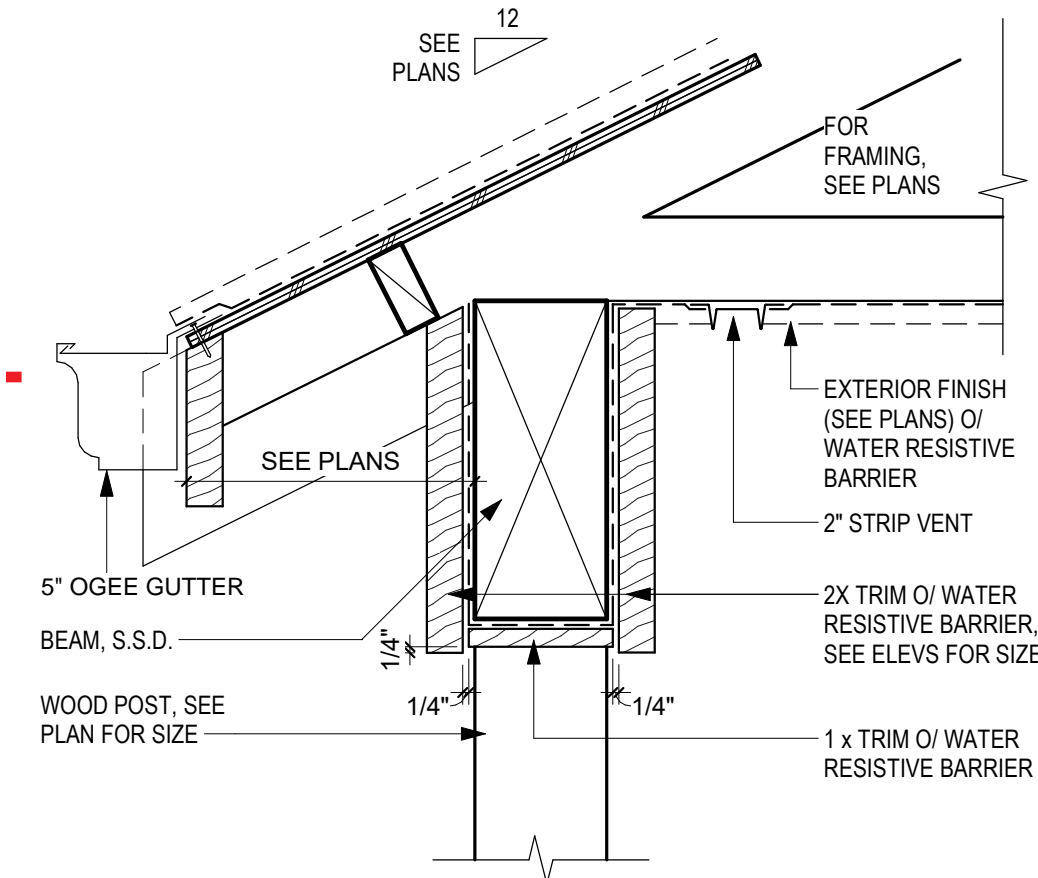
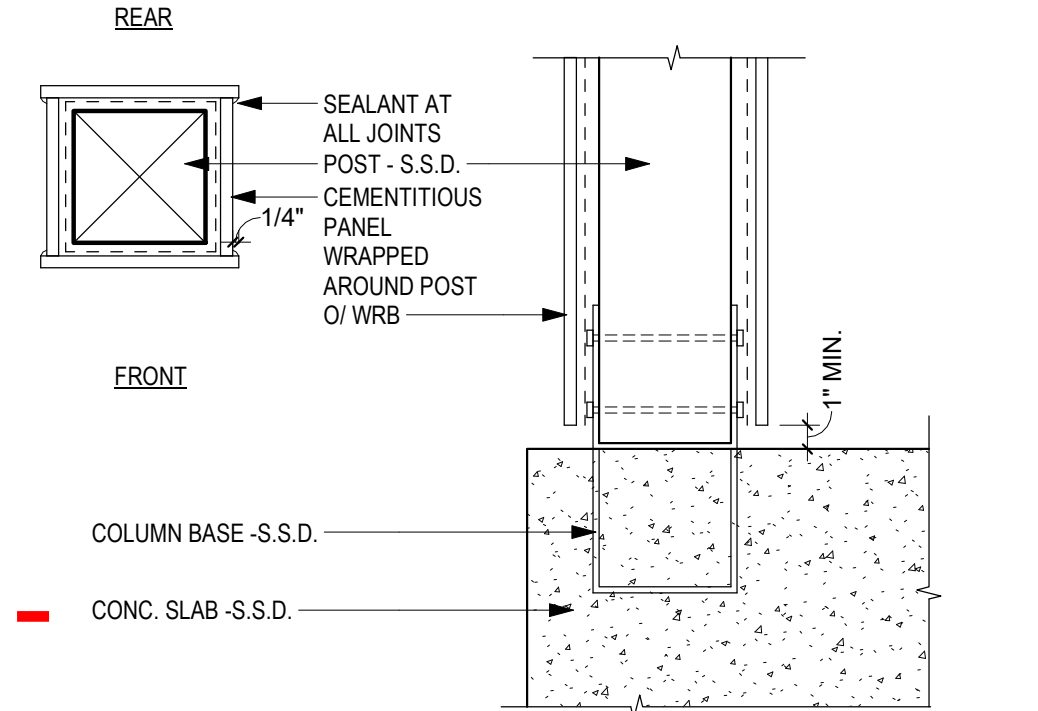
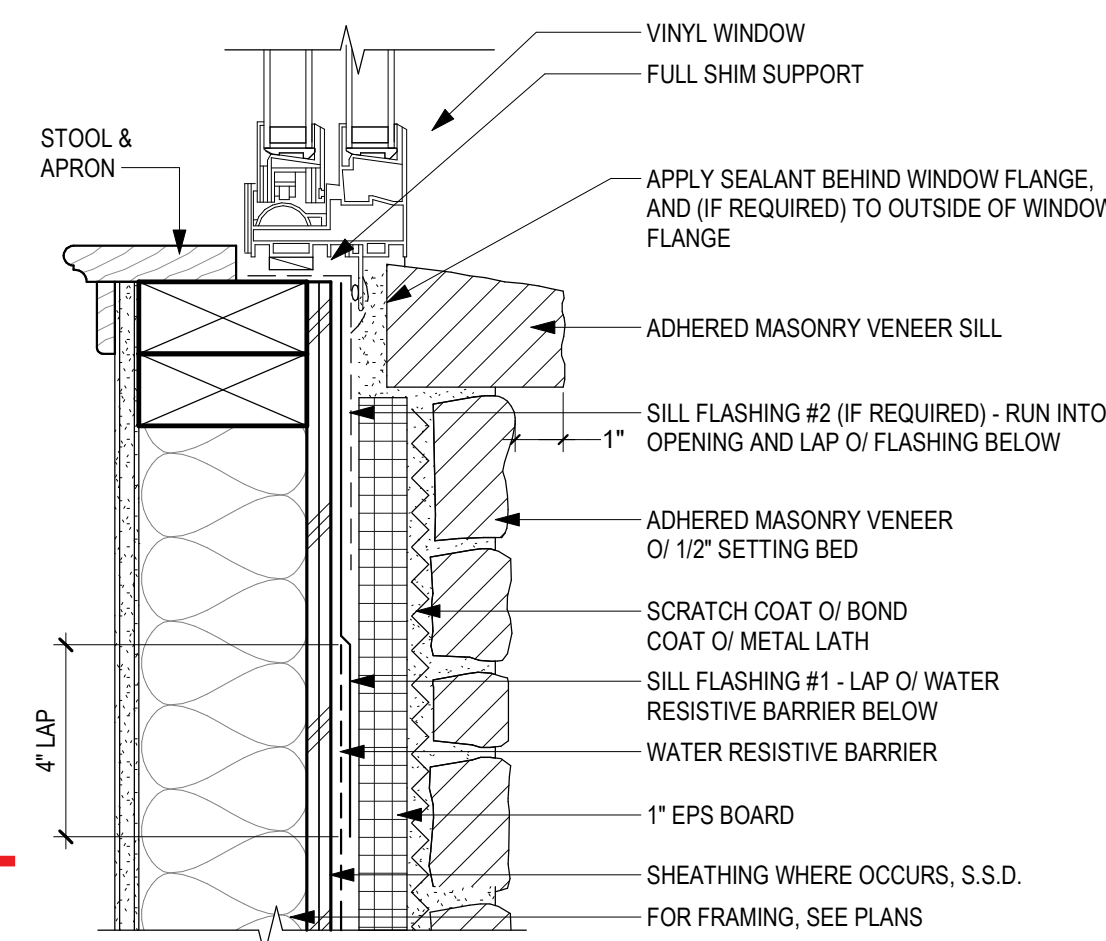
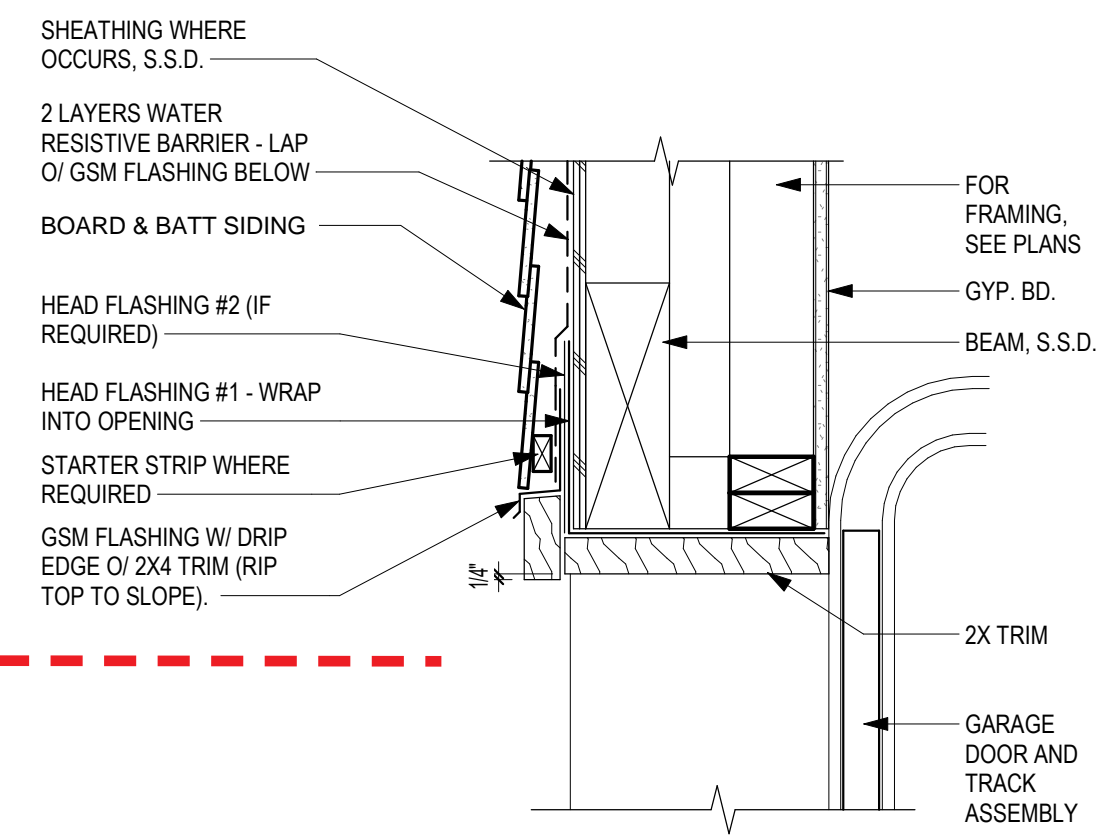
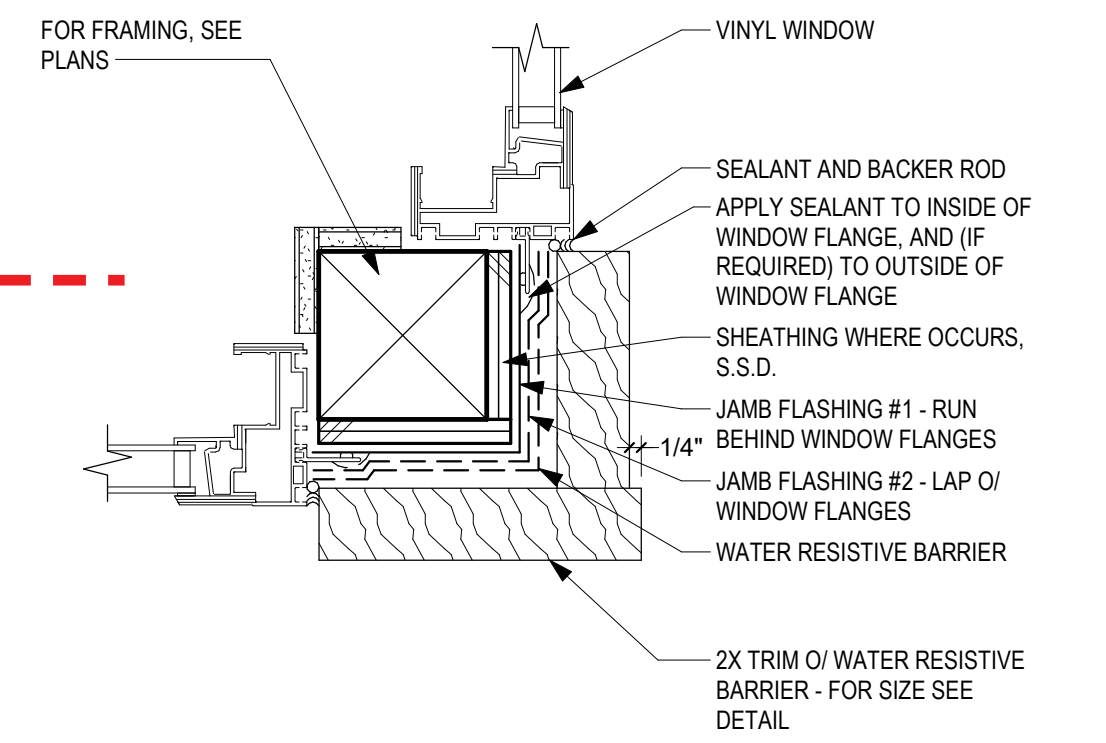
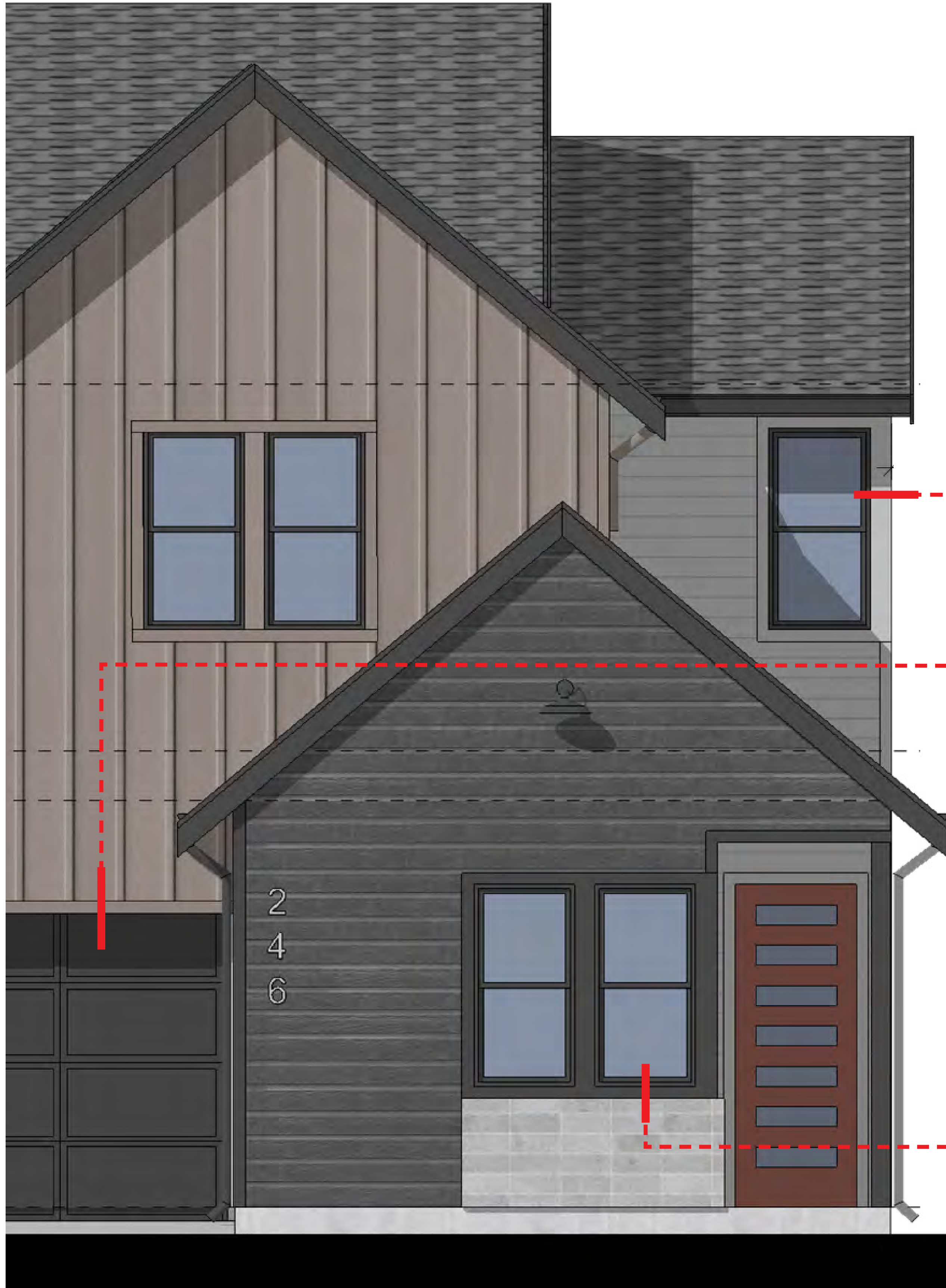
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BUILDING DETAILS

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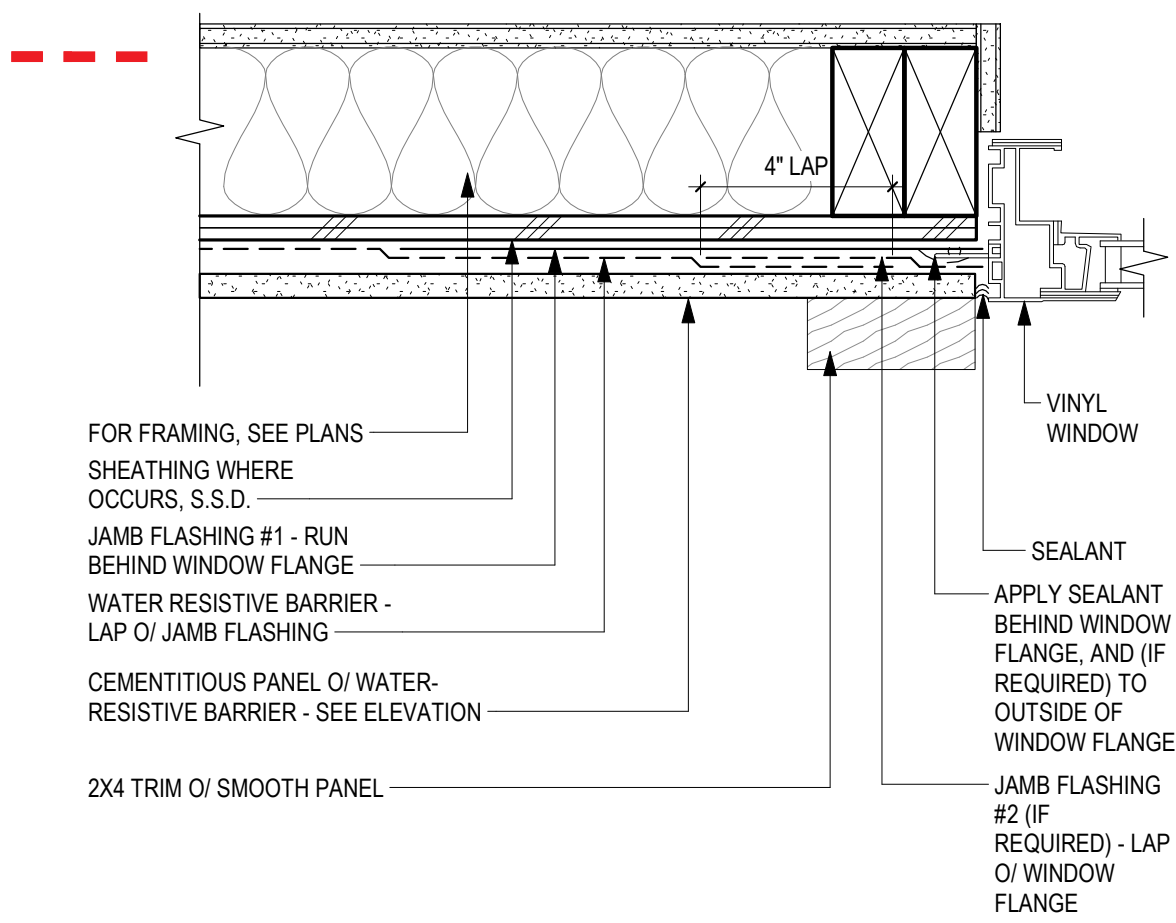
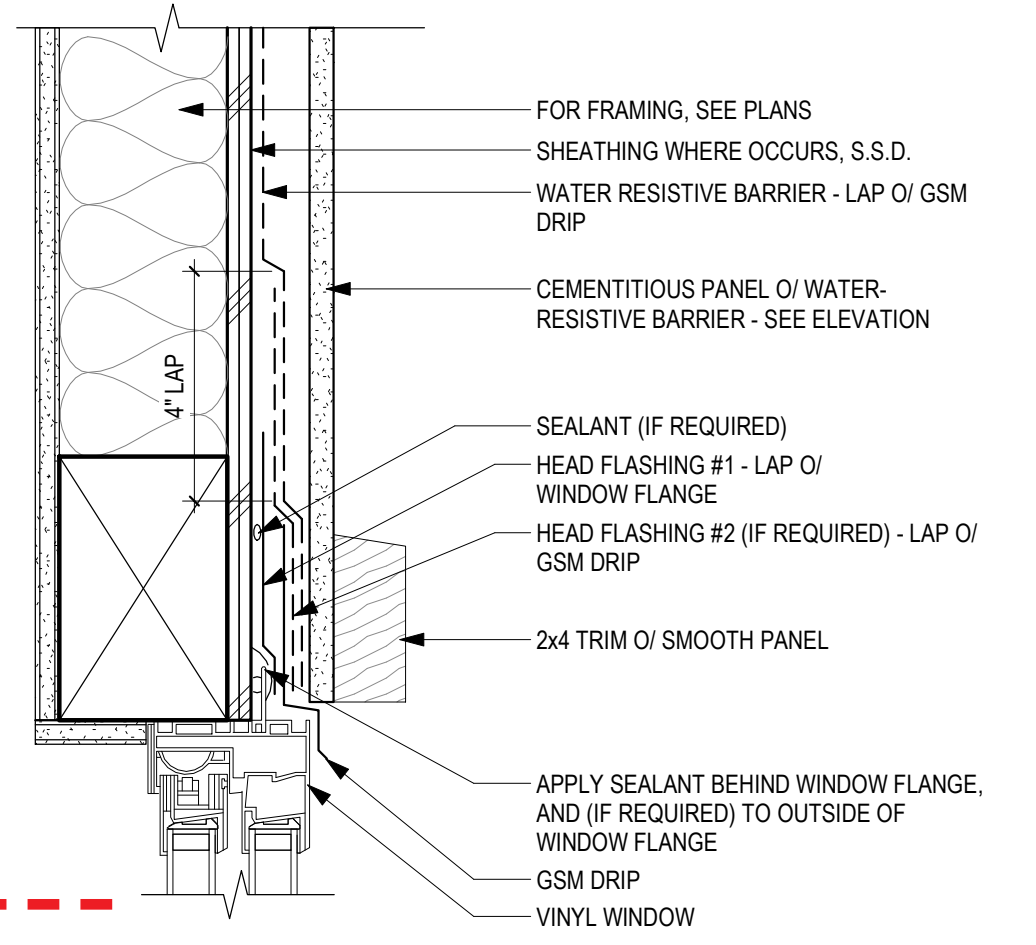
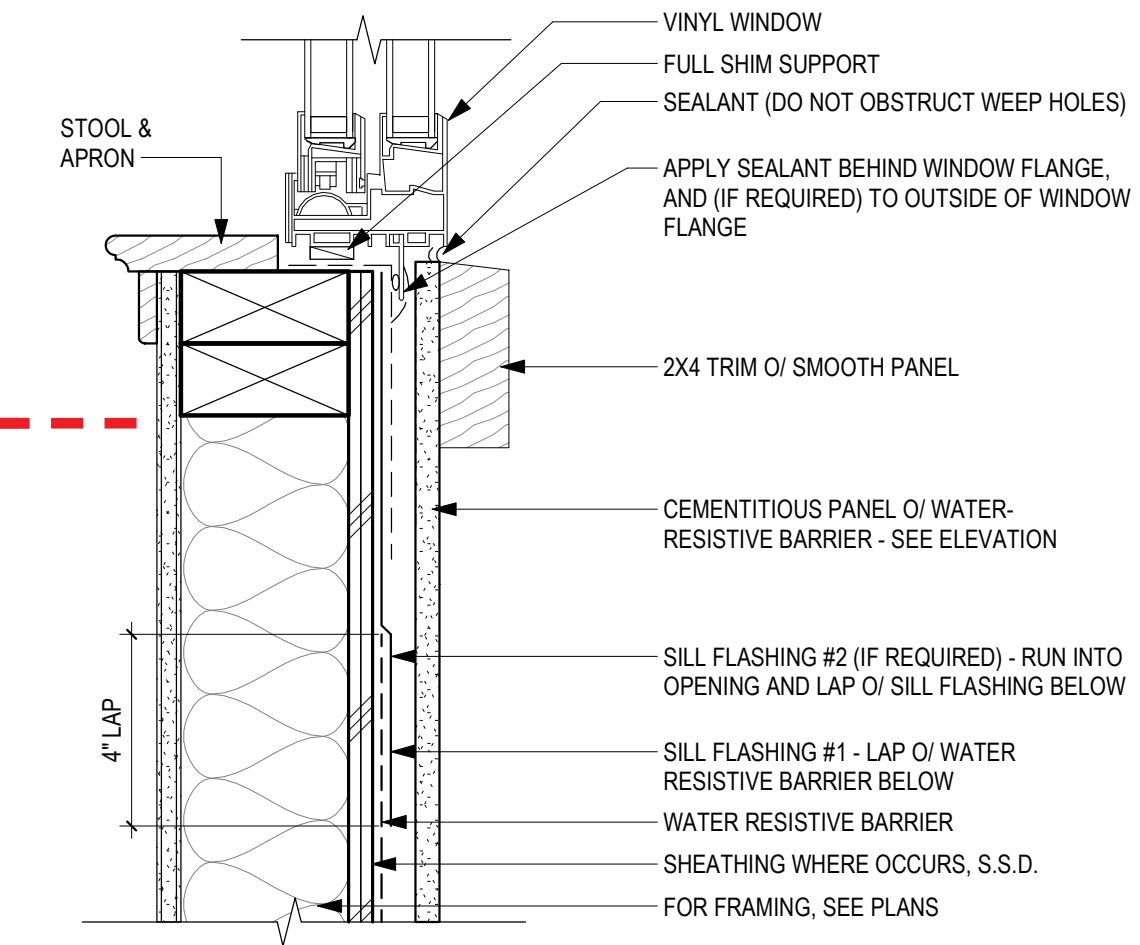
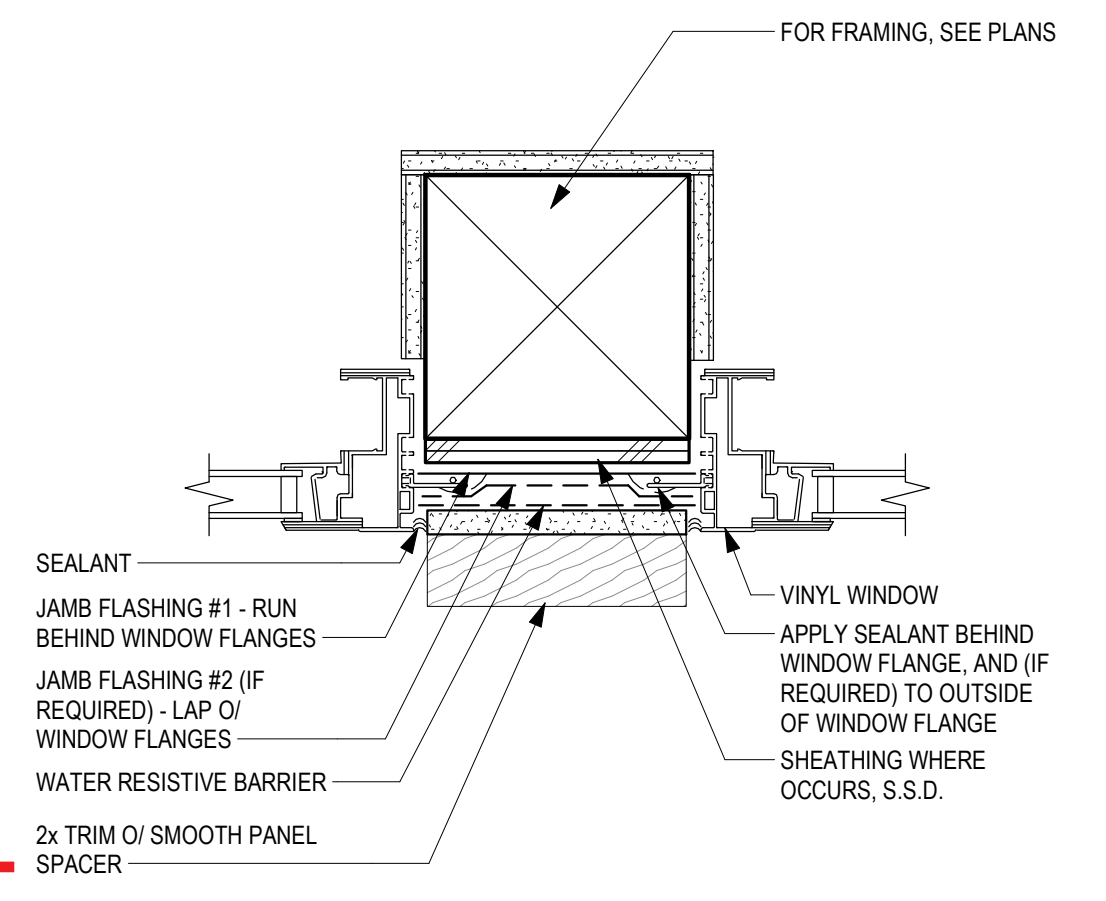
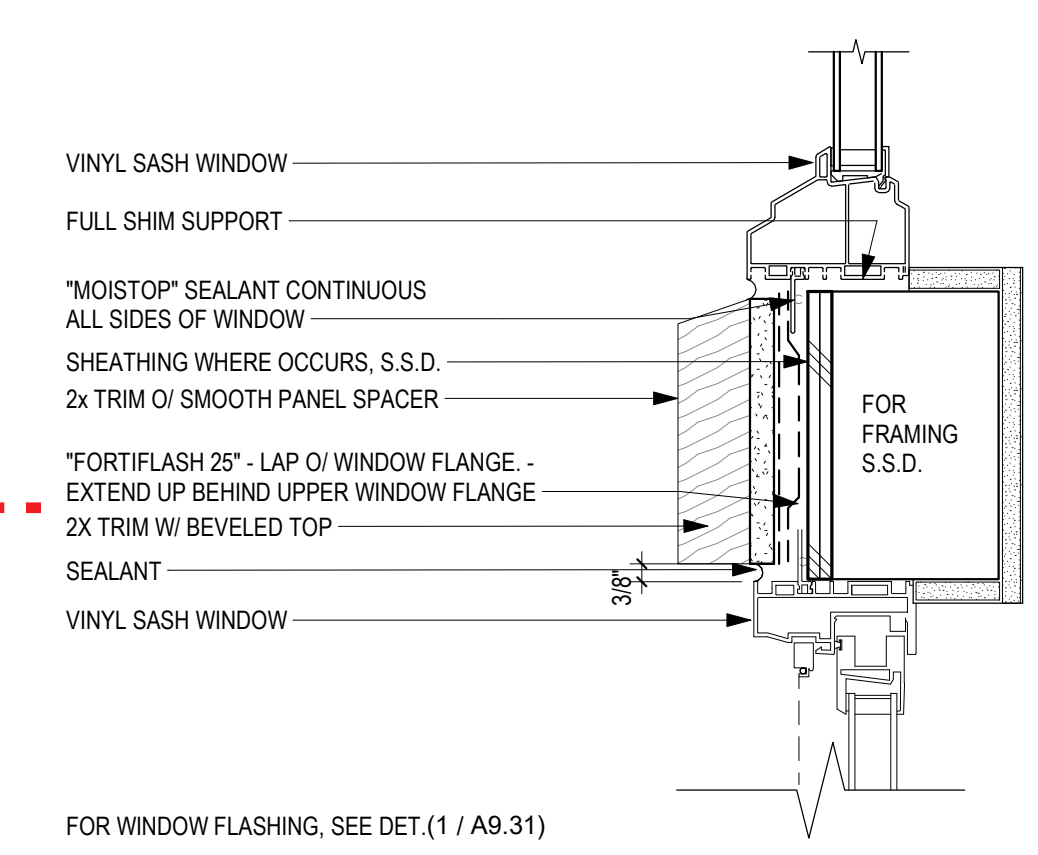
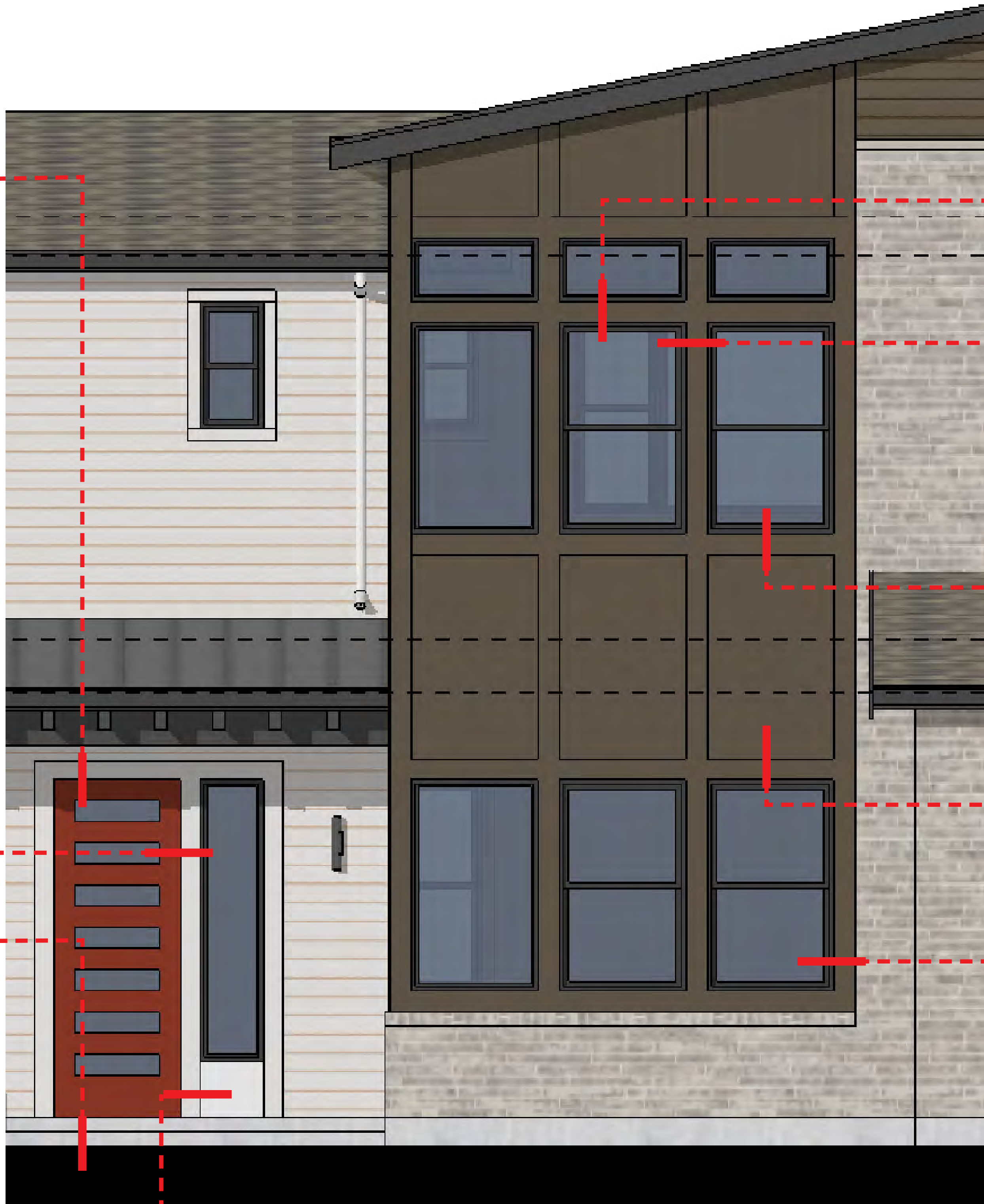
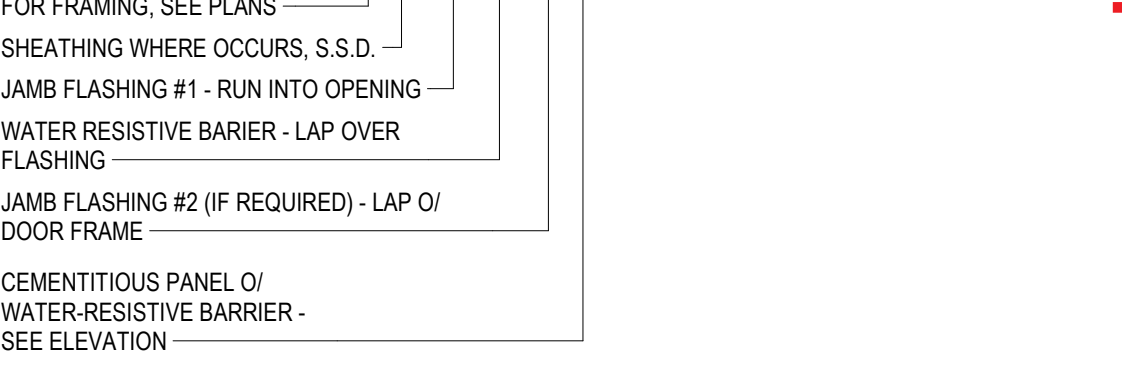
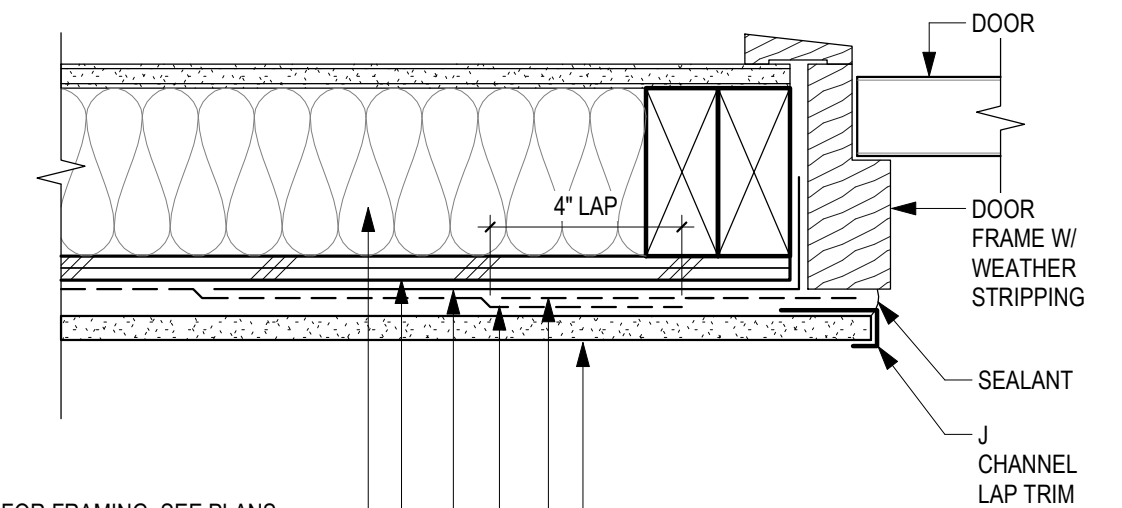
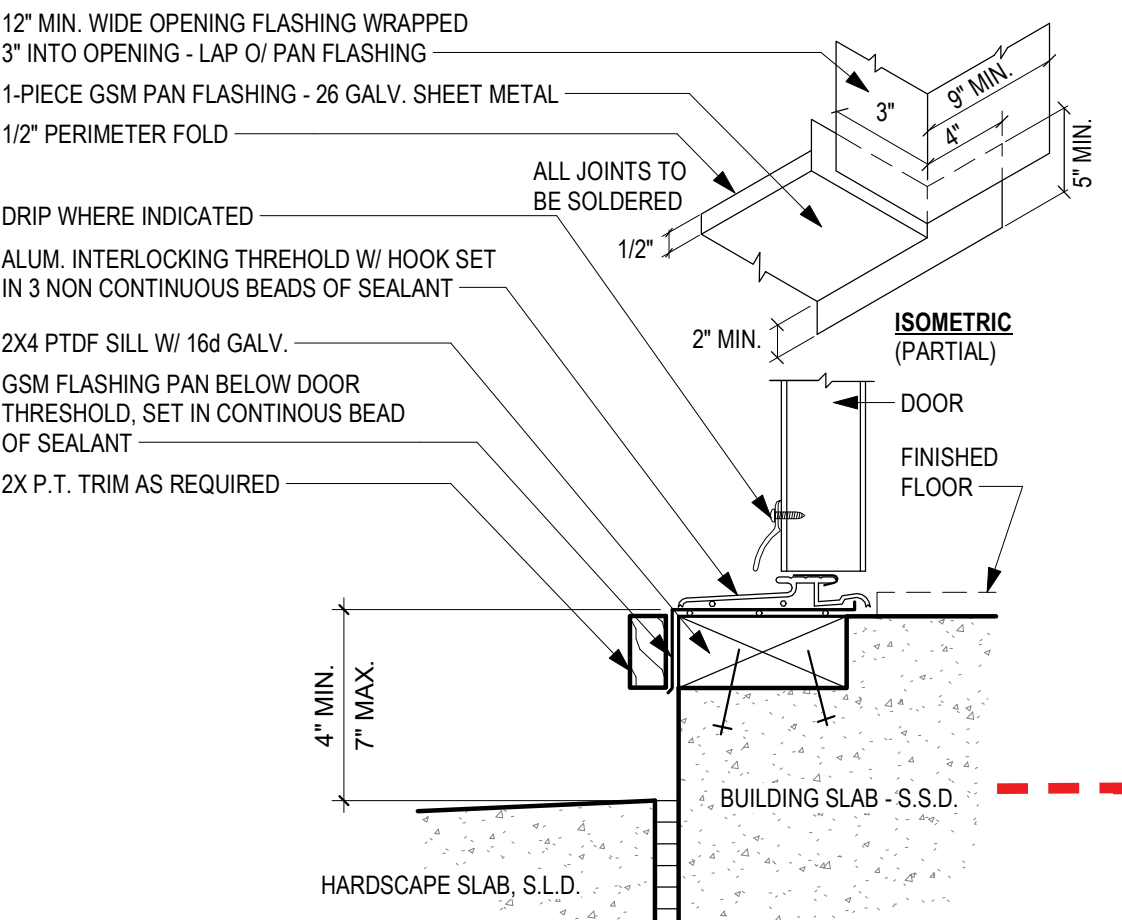
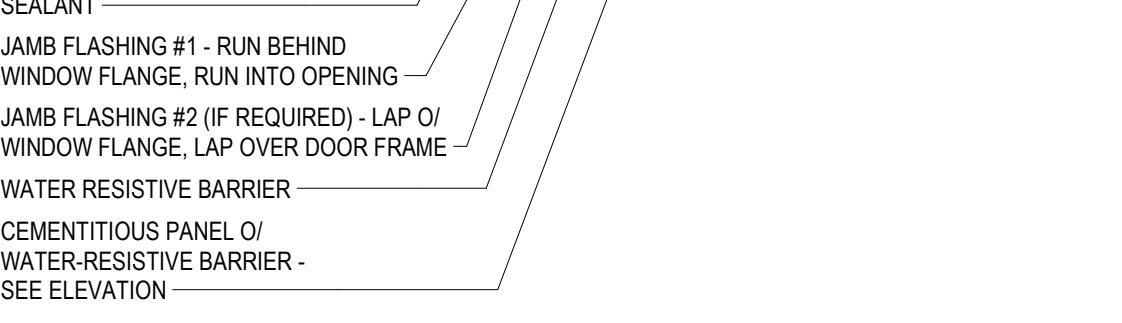
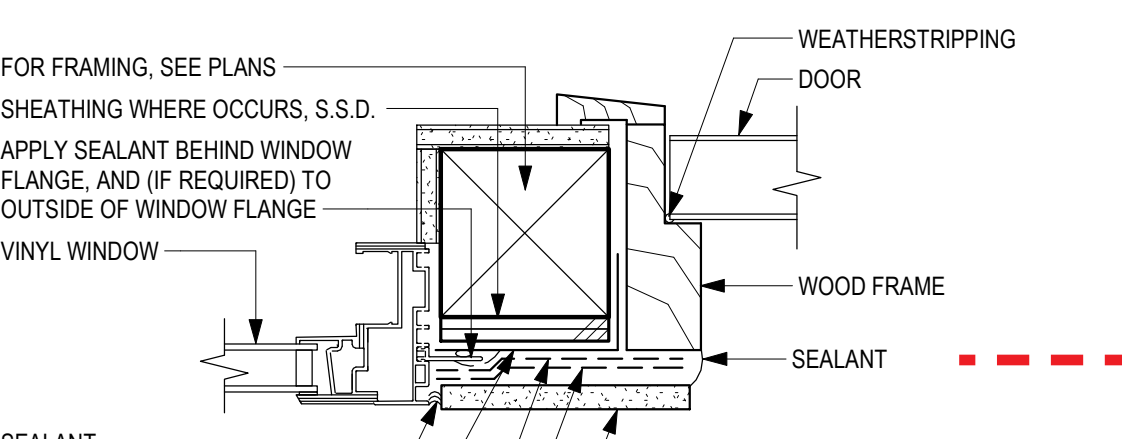
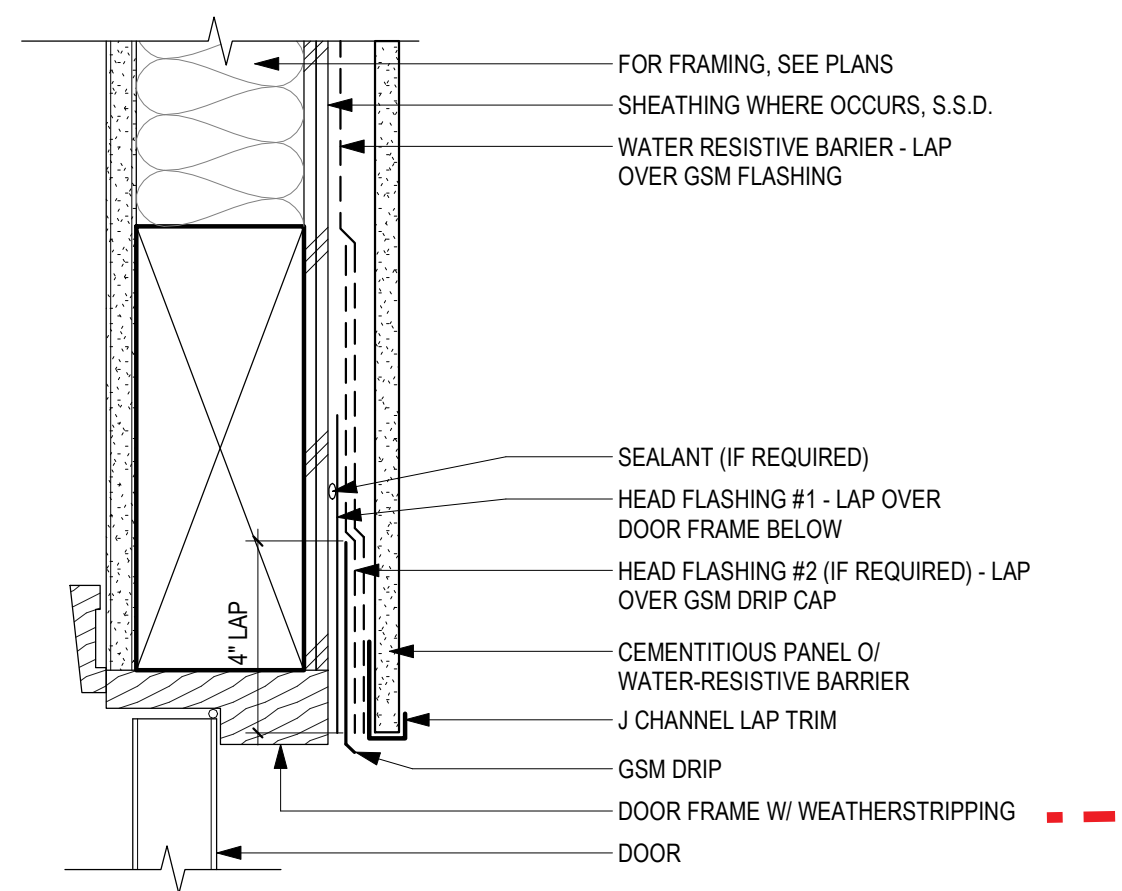
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BUILDING DETAILS

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6/21 SUMMER SOLSTICE - 9AM



6/21 SUMMER SOLSTICE - 12PM



6/21 SUMMER SOLSTICE - 3PM

SOLAR STUDY - SUMMER SOLSTICE

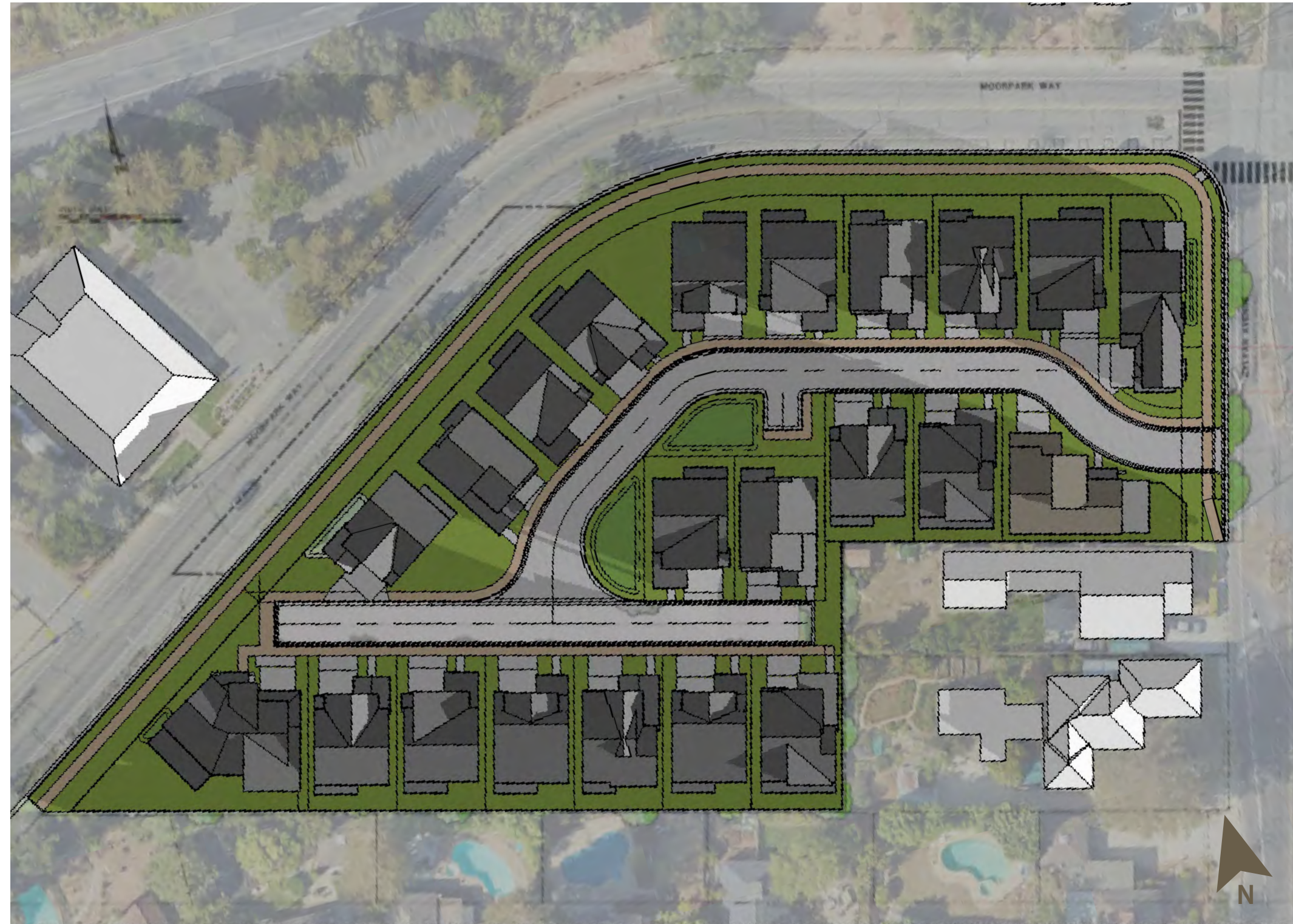
317 MOORPARK WAY- MOUNTAIN VIEW, CA
 MOORPARK SYLVAN INVESTORS, LLC

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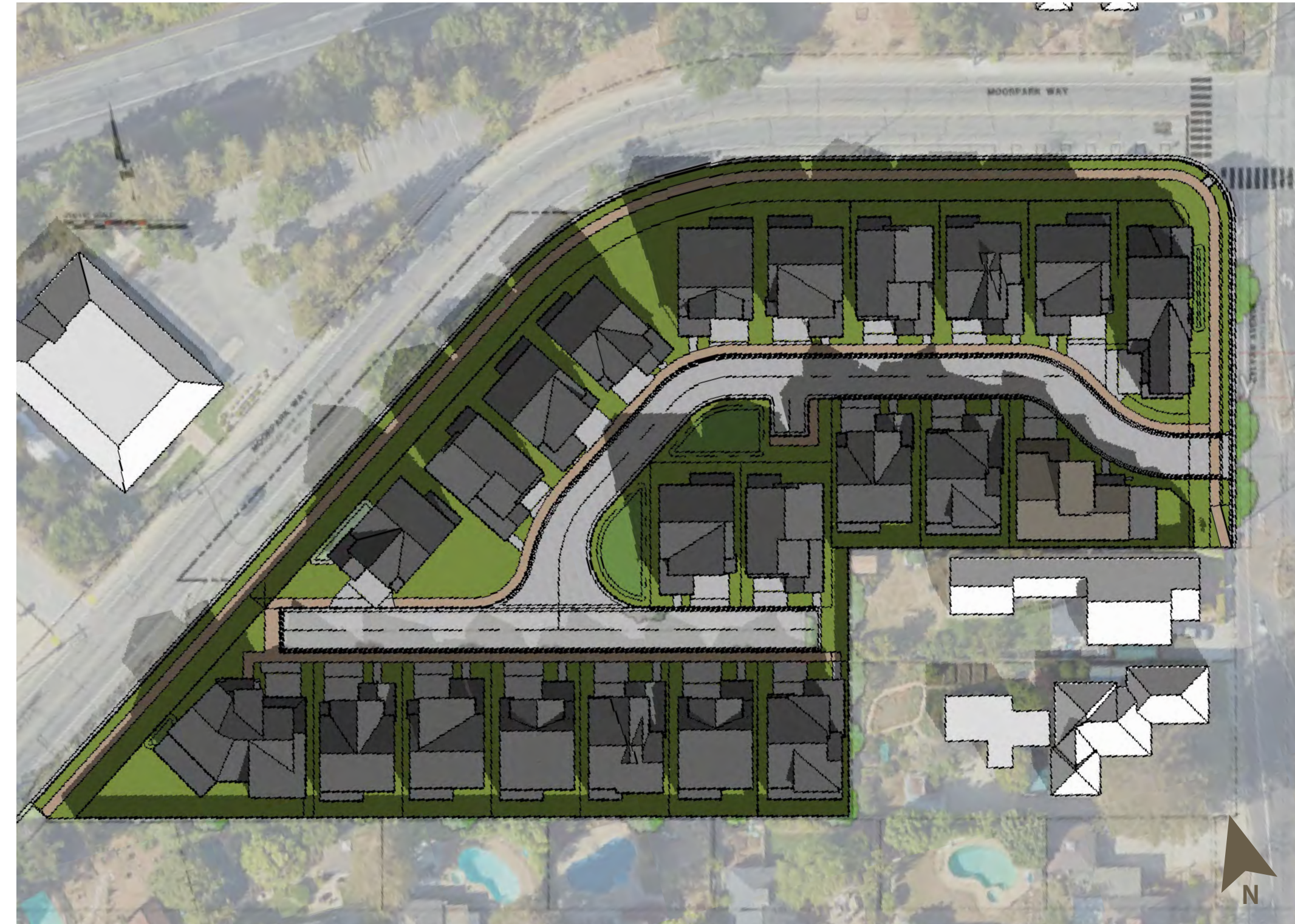
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JOB NO. 297-090
 DATE 11/14/2024



12/21 WINTER SOLSTICE - 9AM



12/21 WINTER SOLSTICE - 12PM



12/21 WINTER SOLSTICE - 3PM

SOLAR STUDY - WINTER SOLSTICE

317 MOORPARK WAY- MOUNTAIN VIEW, CA
 MOORPARK SYLVAN INVESTORS, LLC

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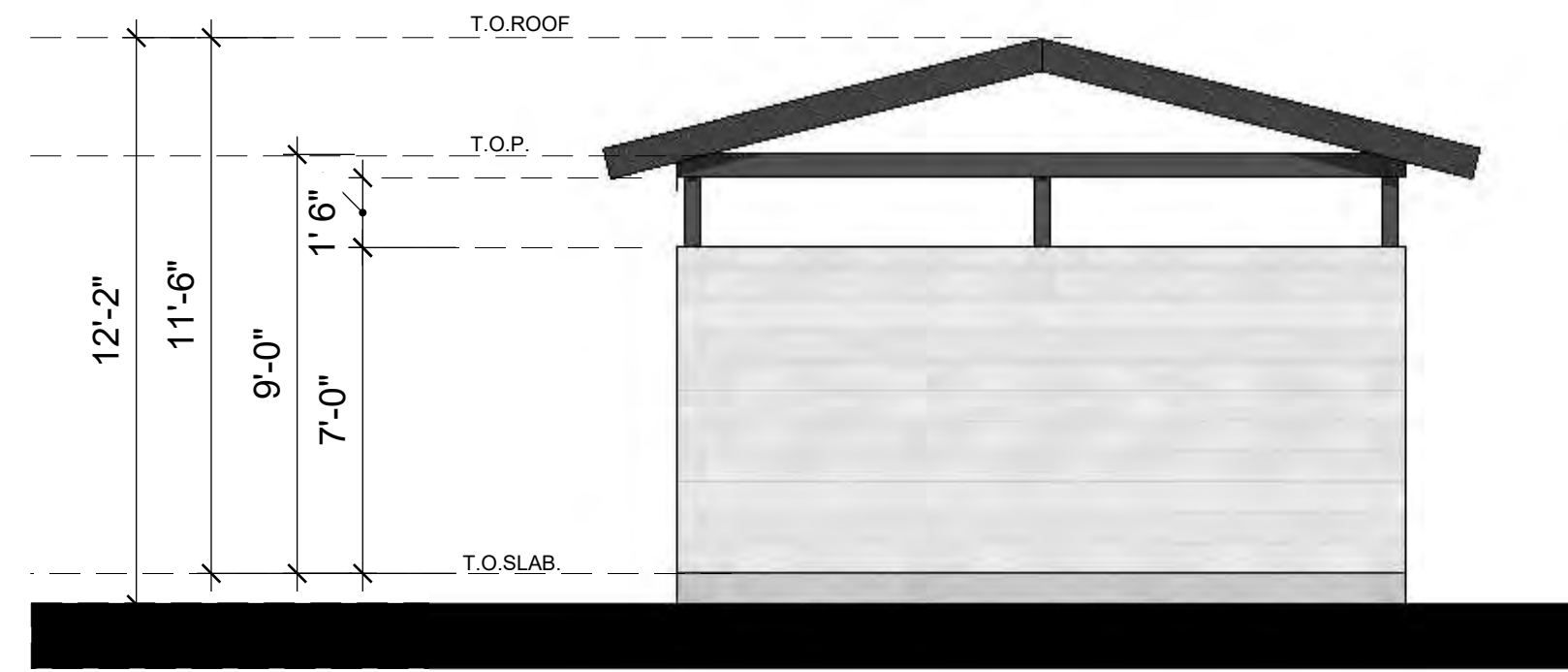
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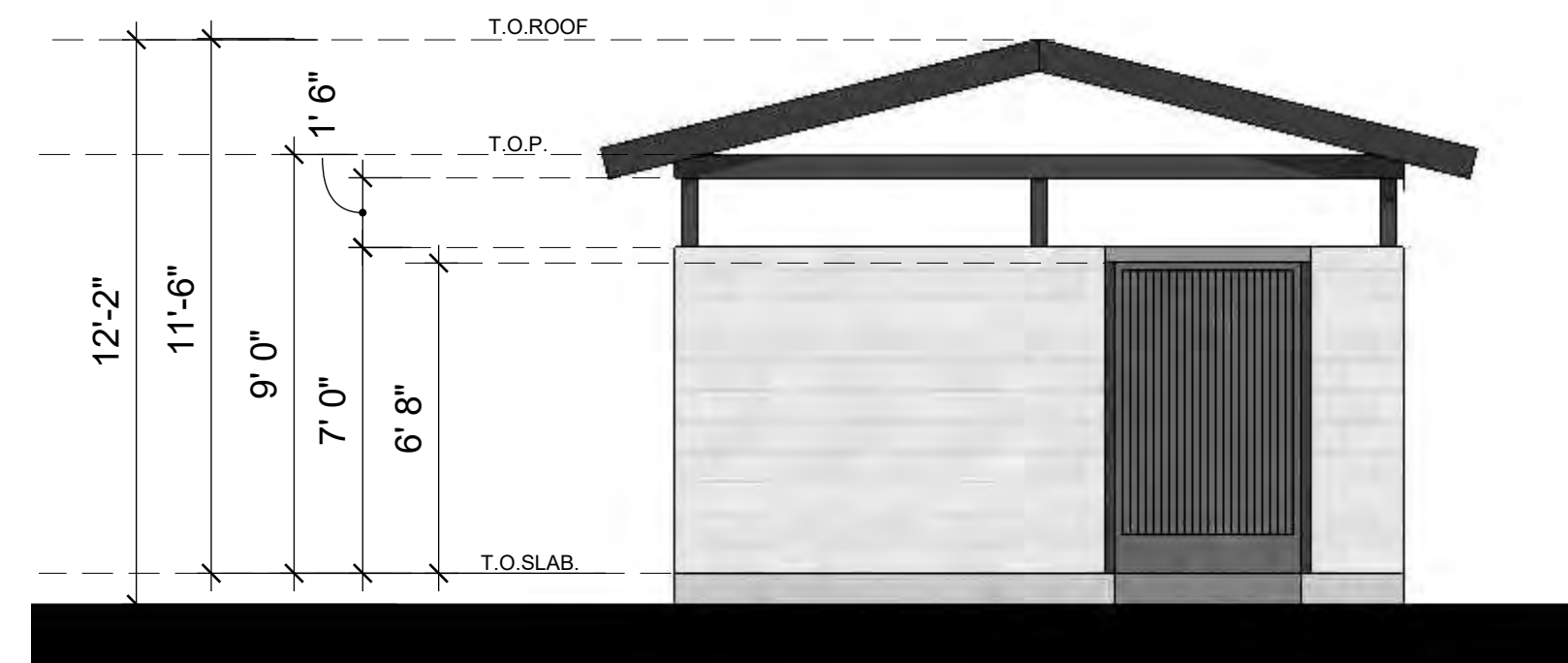
REAR ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION

NOTE:

PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN MAY NOT ACCURATELY REPRESENT COLORS AND TEXTURES. REFER TO ACTUAL MATERIALS FOR COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED SIDES WITH ADJACENT COLOR.

COLORS

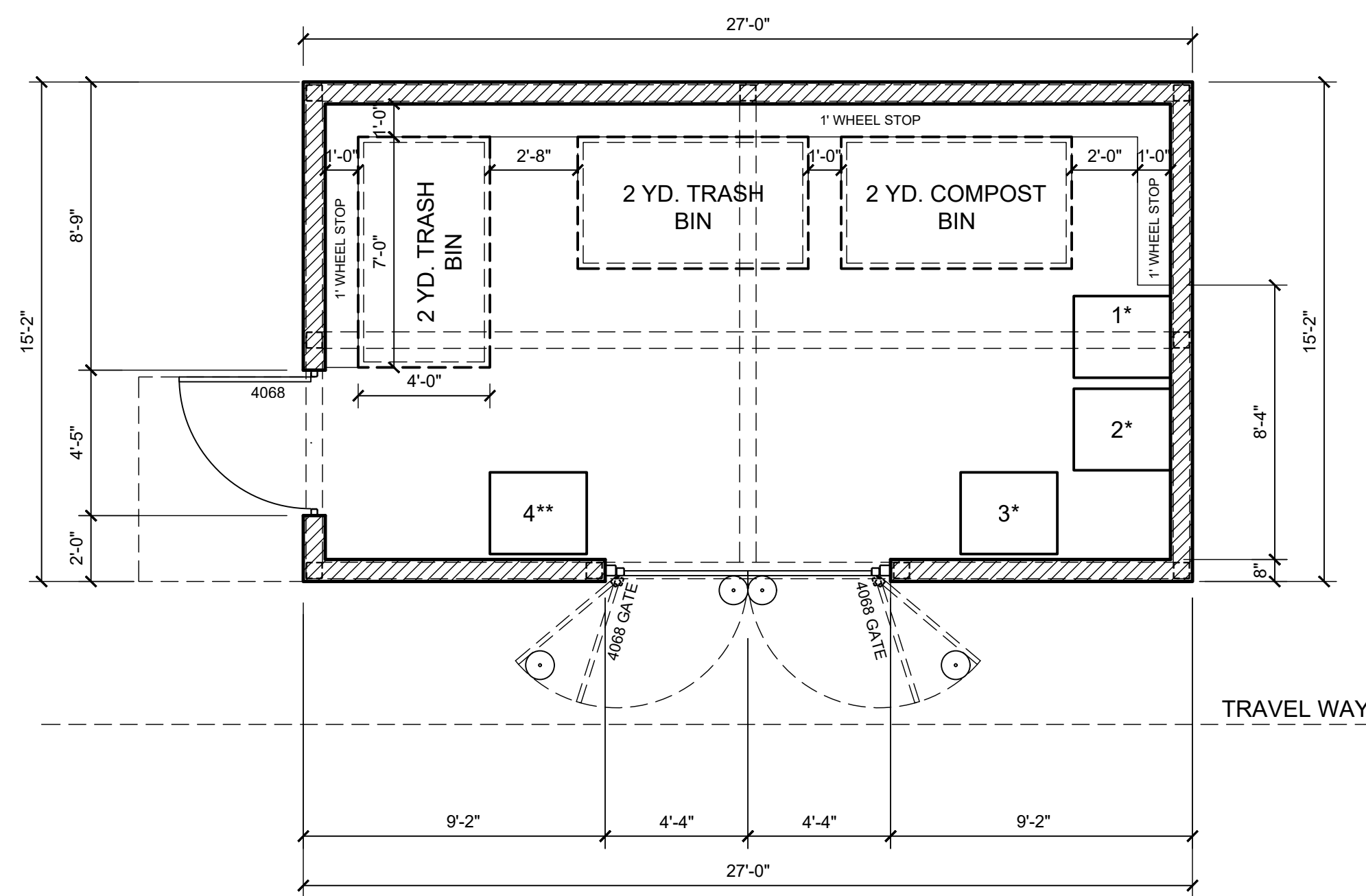
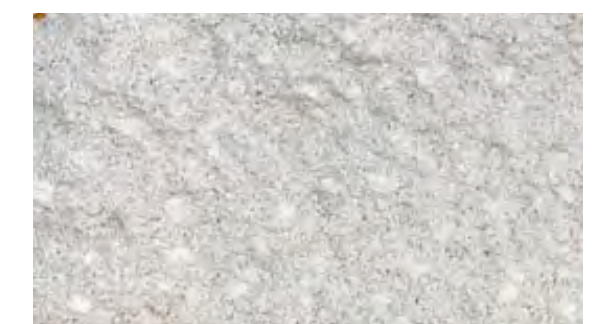
1 ACCENT COLOR

METAL FRAMES & STEEL GATE
BLACK OF NIGHT
SW6993
by Sherwin Williams or equal



2 BODY COLOR

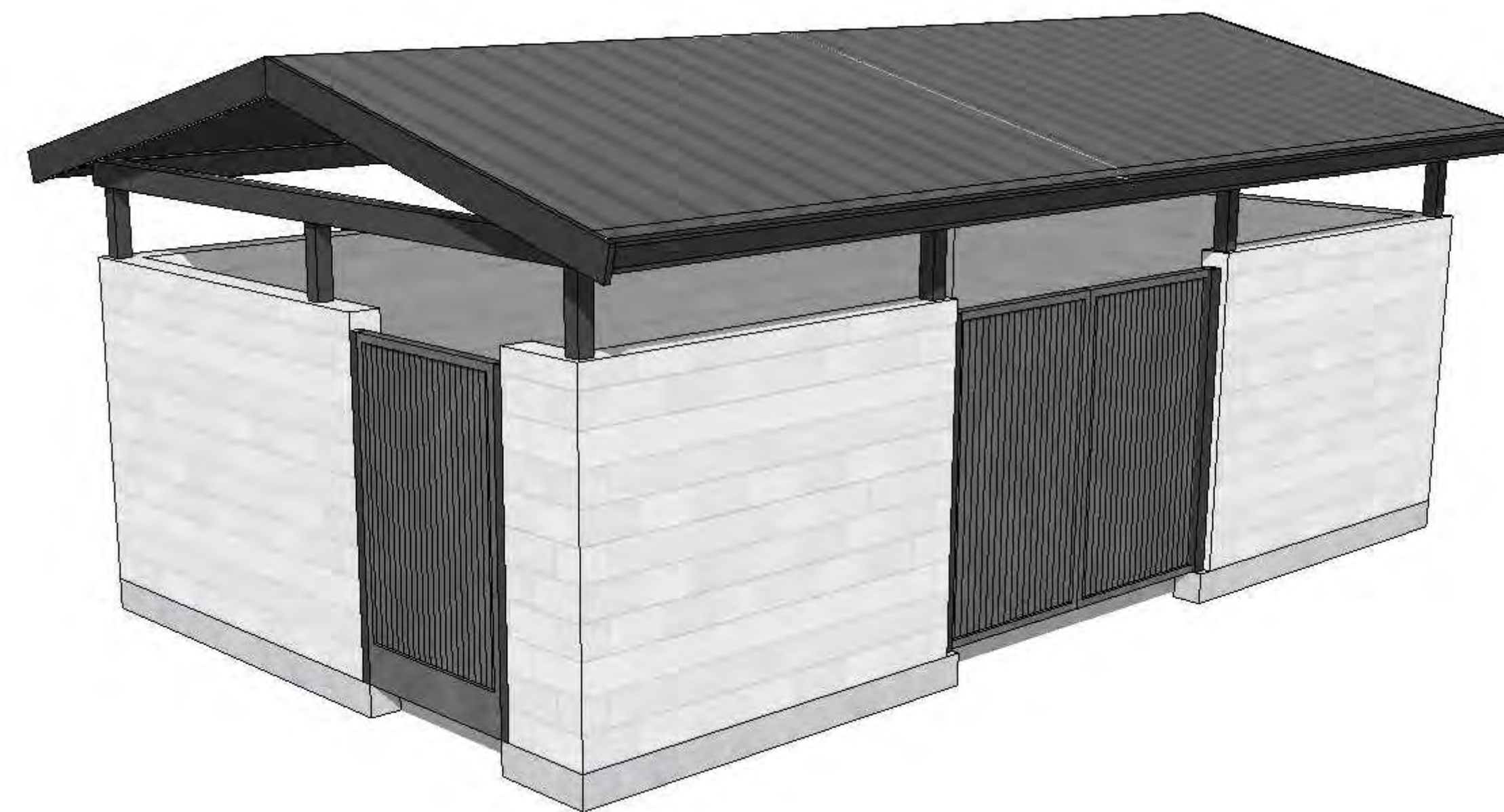
RCP BLOCK & BRICK OR
SIMILAR
WHITE



FLOOR PLAN
TRASH ENCLOSURE- 410 S.F.
1/4":1'-0"

*CART 1-3:
96 GAL. PAPER RECYCLING CART

**CART 4:
96 GAL. CONTAINER RECYCLING CART
(96 GAL. = 35.25" W x 29.75" L x 43.25" H)

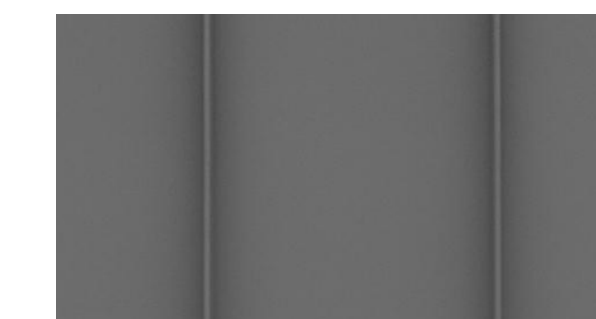


VIEW

MATERIALS

A ROOF MATERIAL

STANDING SEAM METAL
BY AEP SPAN OR SIMILAR
ZINC GRAY
CLASS A FIRE RATING



B CMU BLOCKS

RCP BLOCK & BRICK OR
SIMILAR



TRASH ENCLOSURE



JOB NO. 297-090
DATE 11/14/2024

PLANNING SUBMITTAL

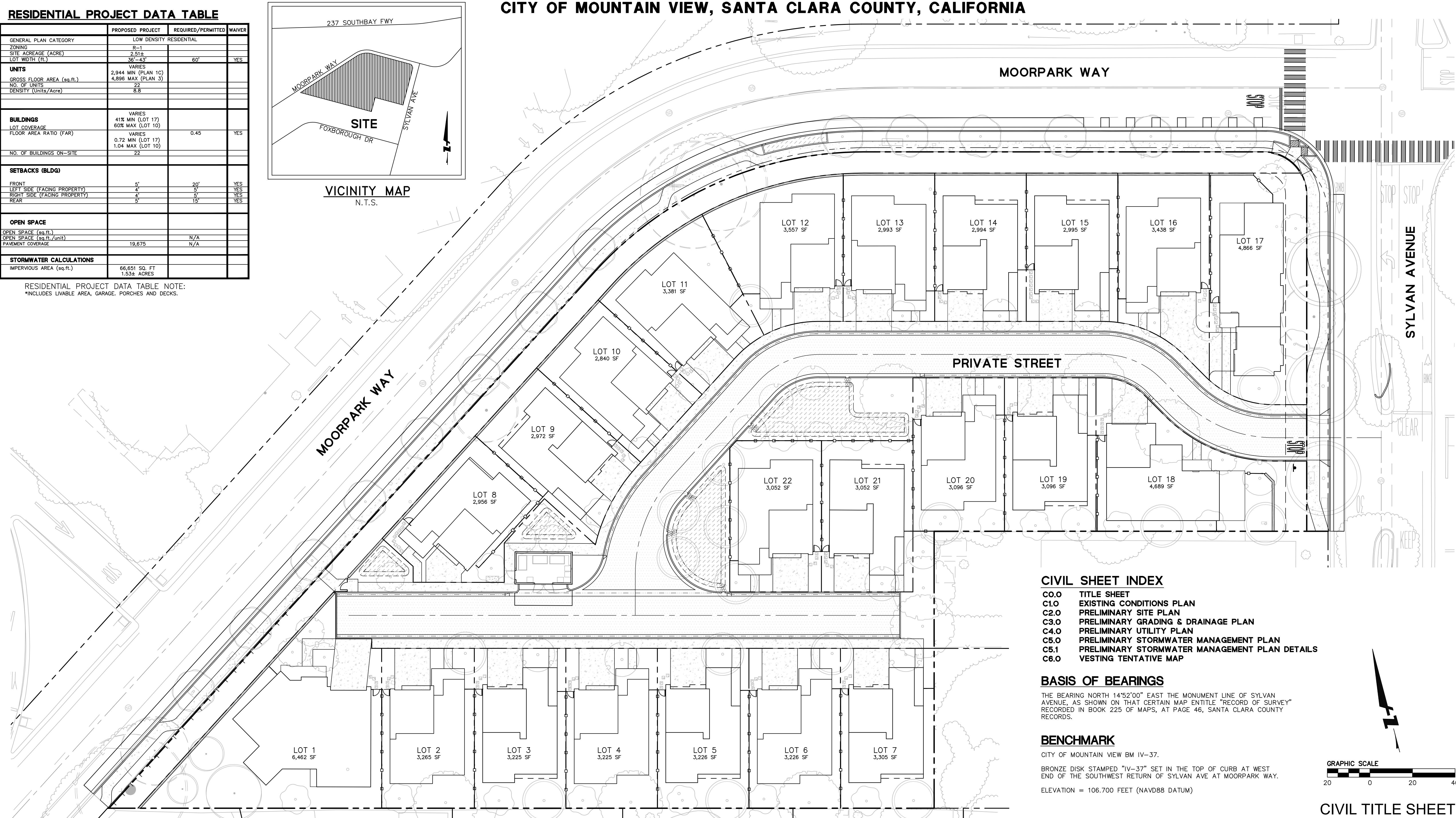
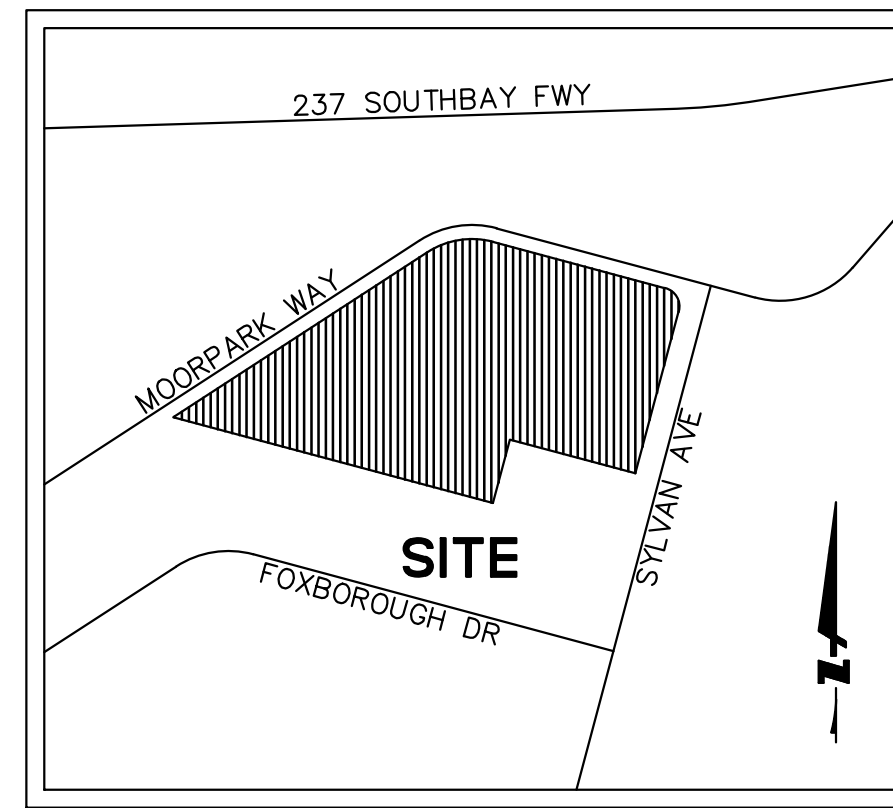
317 MOORPARK WAY

CITY OF MOUNTAIN VIEW, SANTA CLARA COUNTY, CALIFORNIA

RESIDENTIAL PROJECT DATA TABLE

GENERAL PLAN CATEGORY	PROPOSED PROJECT	REQUIRED/PERMITTED	WAIVER
GENERAL PLAN CATEGORY	LOW DENSITY RESIDENTIAL		
ZONING	R-1		
SITE ACREAGE (ACRE)	2.51±		
LOT WIDTH (FT.)	35'-43'	60'	YES
UNITS	VARIES		
GROSS FLOOR AREA (sq.ft.)	2,944 MIN (PLAN 1C) 4,896 MAX (PLAN 3)		
NO. OF UNITS	22		
DENSITY (Units/Acre)	8.8		
BUILDINGS	VARIES		
LOT COVERAGE	41% MIN (LOT 17) 60% MAX (LOT 10)	0.45	YES
FLOOR AREA RATIO (FAR)	VARIES		
	0.72 MIN (LOT 17) 1.04 MAX (LOT 10)		
NO. OF BUILDINGS ON-SITE	22		
SETBACKS (BLDG)			
FRONT	5'	20'	YES
LEFT SIDE (FACING PROPERTY)	4'	5'	YES
RIGHT SIDE (FACING PROPERTY)	4'	5'	YES
REAR	5'	15'	YES
OPEN SPACE			
OPEN SPACE (sq.ft.)		N/A	
OPEN SPACE (sq.ft./unit)		N/A	
PAVEMENT COVERAGE	19,675		
STORMWATER CALCULATIONS			
IMPERVIOUS AREA (sq.ft.)	66,651 SQ. FT 1.53± ACRES		

RESIDENTIAL PROJECT DATA TABLE NOTE:
*INCLUDES LIVABLE AREA, GARAGE, PORCHES AND DECKS.



CIVIL SHEET INDEX

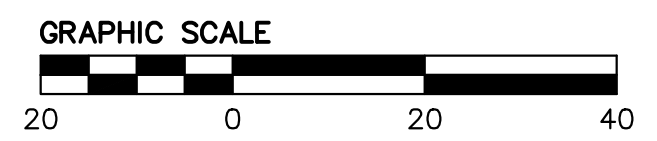
- C0.0 TITLE SHEET
- C1.0 EXISTING CONDITIONS PLAN
- C2.0 PRELIMINARY SITE PLAN
- C3.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C4.0 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN
- C5.1 PRELIMINARY STORMWATER MANAGEMENT PLAN DETAILS
- C6.0 VESTING TENTATIVE MAP

BASIS OF BEARINGS

THE BEARING NORTH 14°52'00" EAST THE MONUMENT LINE OF SYLVAN AVENUE, AS SHOWN ON THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY" RECORDED IN BOOK 225 OF MAPS, AT PAGE 46, SANTA CLARA COUNTY RECORDS.

BENCHMARK

CITY OF MOUNTAIN VIEW BM IV-37.
BRONZE DISK STAMPED "IV-37" SET IN THE TOP OF CURB AT WEST END OF THE SOUTHWEST RETURN OF SYLVAN AVE AT MOORPARK WAY.
ELEVATION = 106.700 FEET (NAVD88 DATUM)



CIVIL TITLE SHEET

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS LLC.



JOB NO. 297-090
DATE 11/08/2024

C0.0

LEGEND

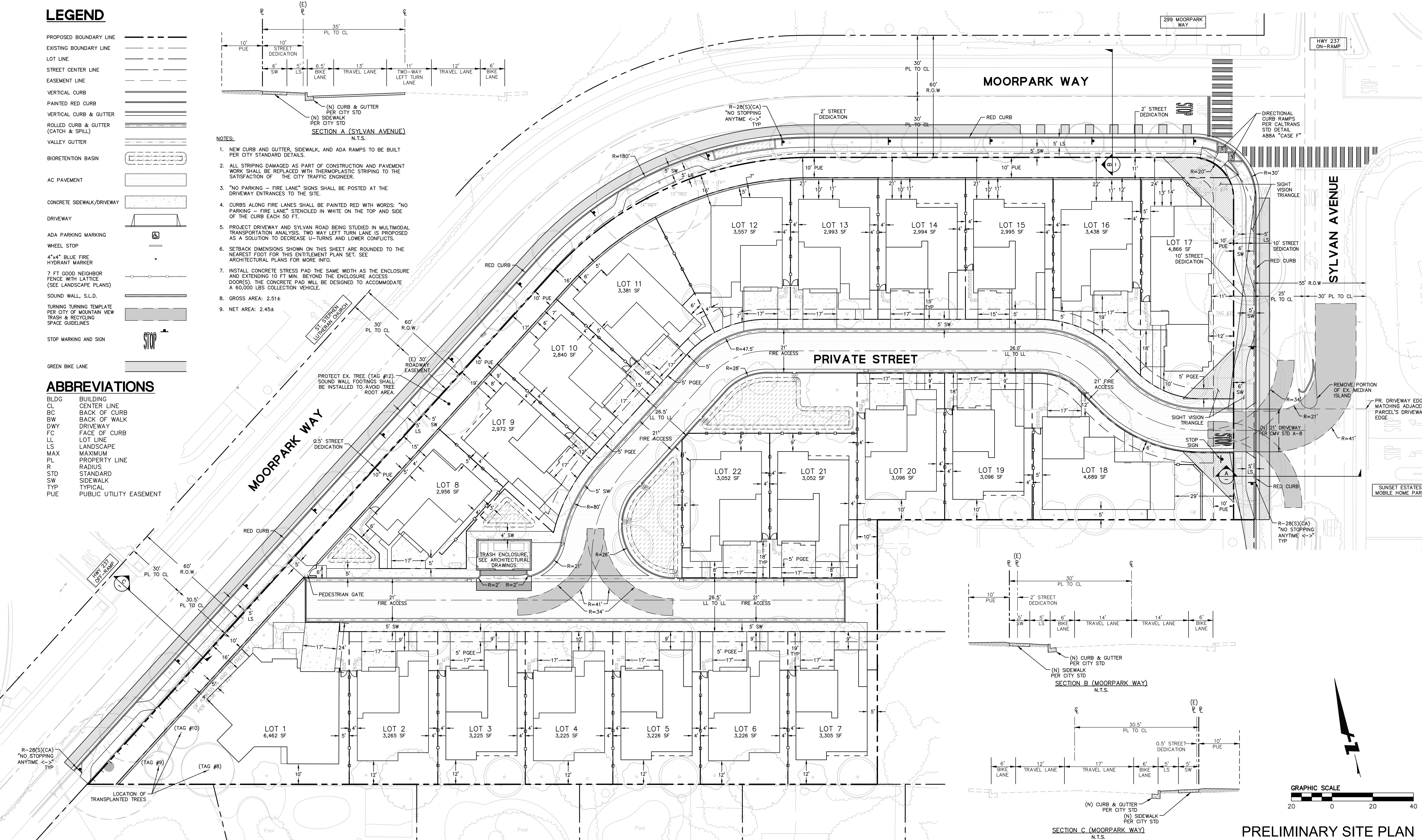
- PROPOSED BOUNDARY LINE
- EXISTING BOUNDARY LINE
- LOT LINE
- STREET CENTER LINE
- EASEMENT LINE
- VERTICAL CURB
- PAINTED RED CURB
- VERTICAL CURB & GUTTER
- ROLLED CURB & GUTTER (CATCH & SPILL)
- VALLEY GUTTER
- BIORETENTION BASIN
- AC PAVEMENT
- CONCRETE SIDEWALK/DRIVEWAY
- DRIVEWAY
- ADA PARKING MARKING
- WHEEL STOP
- 4"x4" BLUE FIRE HYDRANT MARKER
- 7 FT GOOD NEIGHBOR FENCE WITH LATTICE (SEE LANDSCAPE PLANS)
- SOUND WALL, S.L.D.
- TURNING TURNING TEMPLATE PER CITY OF MOUNTAIN VIEW TRASH & RECYCLING SPACE GUIDELINES
- STOP MARKING AND SIGN
- GREEN BIKE LANE

ABBREVIATIONS

- BLDG BUILDING
- CL CENTER LINE
- BC BACK OF CURB
- BW BACK OF WALK
- DWY DRIVEWAY
- FC FACE OF CURB
- LL LOT LINE
- LS LANDSCAPE
- MAX MAXIMUM
- PL PROPERTY LINE
- R RADIUS
- STD STANDARD
- SW SIDEWALK
- TYP TYPICAL
- PUE PUBLIC UTILITY EASEMENT

NOTES:

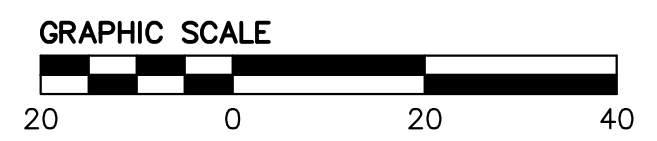
1. NEW CURB AND GUTTER, SIDEWALK, AND ADA RAMPS TO BE BUILT PER CITY STANDARD DETAILS.
2. ALL STRIPING DAMAGED AS PART OF CONSTRUCTION AND PAVEMENT WORK SHALL BE REPLACED WITH THERMOPLASTIC STRIPING TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
3. "NO PARKING - FIRE LANE" SIGNS SHALL BE POSTED AT THE DRIVEWAY ENTRANCES TO THE SITE.
4. CURBS ALONG FIRE LANES SHALL BE PAINTED RED WITH WORDS: "NO PARKING - FIRE LANE" STENCILED IN WHITE ON THE TOP AND SIDE OF THE CURB EACH 50 FT.
5. PROJECT DRIVEWAY AND SYLVAN ROAD BEING STUDIED IN MULTIMODAL TRANSPORTATION ANALYSIS. TWO WAY LEFT TURN LANE IS PROPOSED AS A SOLUTION TO DECREASE U-TURNS AND LOWER CONFLICTS.
6. SETBACK DIMENSIONS SHOWN ON THIS SHEET ARE ROUNDED TO THE NEAREST FOOT FOR THIS ENTITLEMENT PLAN SET. SEE ARCHITECTURAL PLANS FOR MORE INFO.
7. INSTALL CONCRETE STRESS PAD THE SAME WIDTH AS THE ENCLOSURE AND EXTENDING 10 FT MIN. BEYOND THE ENCLOSURE ACCESS DOOR(S). THE CONCRETE PAD WILL BE DESIGNED TO ACCOMMODATE A 60,000 LBS COLLECTION VEHICLE.
8. GROSS AREA: 2.51±
9. NET AREA: 2.45±



SECTION A (SYLVAN AVENUE)
N.T.S.

SECTION B (MOORPARK WAY)
N.T.S.

SECTION C (MOORPARK WAY)
N.T.S.



PRELIMINARY SITE PLAN

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS LLC.

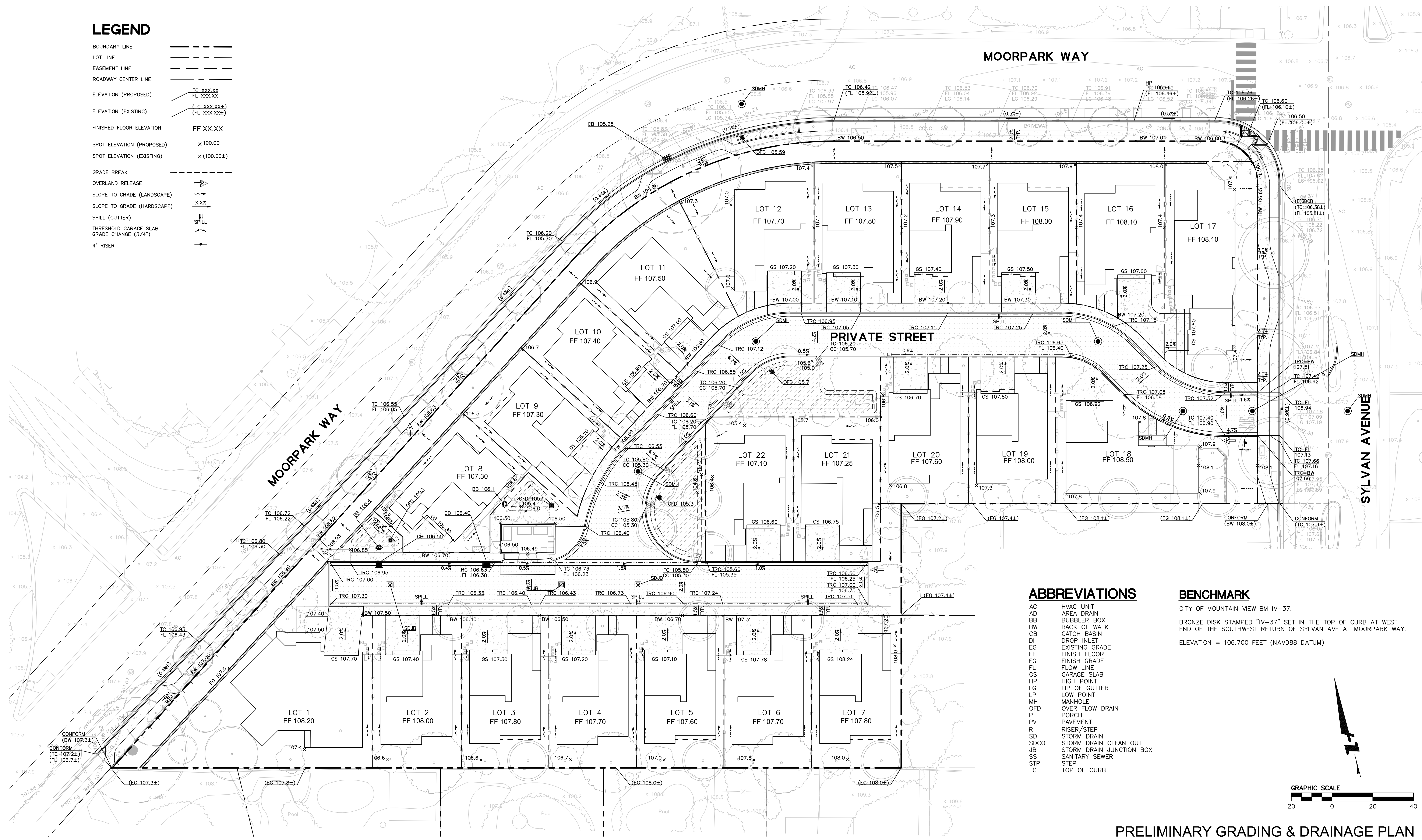


JOB NO. 297-090
DATE 11/08/2024

C2.0

LEGEND

- BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- ROADWAY CENTER LINE
- ELEVATION (PROPOSED)
- ELEVATION (EXISTING)
- FINISHED FLOOR ELEVATION **FF XX.XX**
- SPOT ELEVATION (PROPOSED) **x100.00**
- SPOT ELEVATION (EXISTING) **x(100.00±)**
- GRADE BREAK
- OVERLAND RELEASE
- SLOPE TO GRADE (LANDSCAPE)
- SLOPE TO GRADE (HARDSCAPE) **x.X%**
- SPILL (GUTTER)
- THRESHOLD GARAGE SLAB GRADE CHANGE (3/4")
- 4" RISER

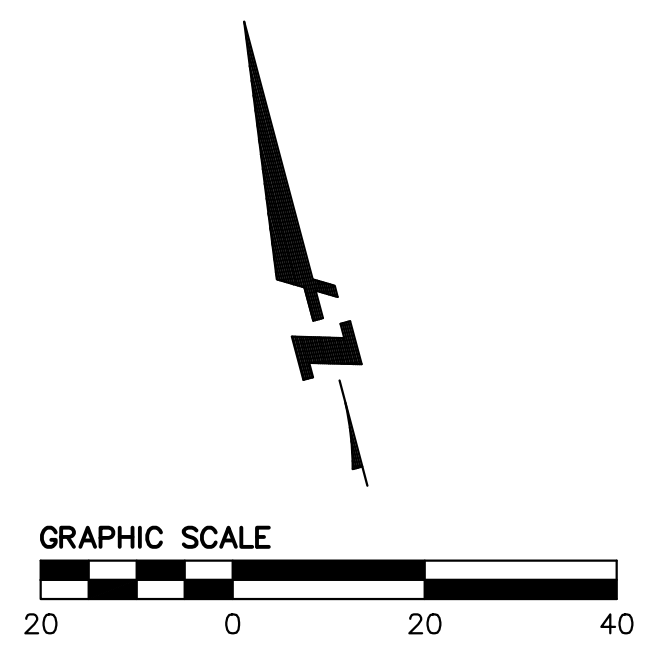


ABBREVIATIONS

- AC HVAC UNIT
- AD AREA DRAIN
- BB BUBBLER BOX
- BW BACK OF WALK
- CB CATCH BASIN
- DI DROP INLET
- EG EXISTING GRADE
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOW LINE
- GS GARAGE SLAB
- HP HIGH POINT
- LG LIP OF GUTTER
- LP LOW POINT
- MH MANHOLE
- OFD OVER FLOW DRAIN
- P PORCH
- PV PAVEMENT
- R RISER/STEP
- SD STORM DRAIN
- SDCO STORM DRAIN CLEAN OUT
- JB STORM DRAIN JUNCTION BOX
- SS SANITARY SEWER
- STP STEP
- TC TOP OF CURB

BENCHMARK

CITY OF MOUNTAIN VIEW BM IV-37.
 BRONZE DISK STAMPED "IV-37" SET IN THE TOP OF CURB AT WEST END OF THE SOUTHWEST RETURN OF SYLVAN AVE AT MOORPARK WAY.
 ELEVATION = 106.700 FEET (NAVD88 DATUM)



PRELIMINARY GRADING & DRAINAGE PLAN

317 MOORPARK WAY- MOUNTAIN VIEW, CA
 MOORPARK SYLVAN INVESTORS LLC.

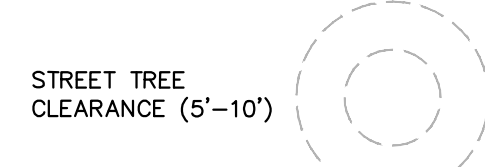


JOB NO. 297-090
 DATE 11/08/2024

C3.0

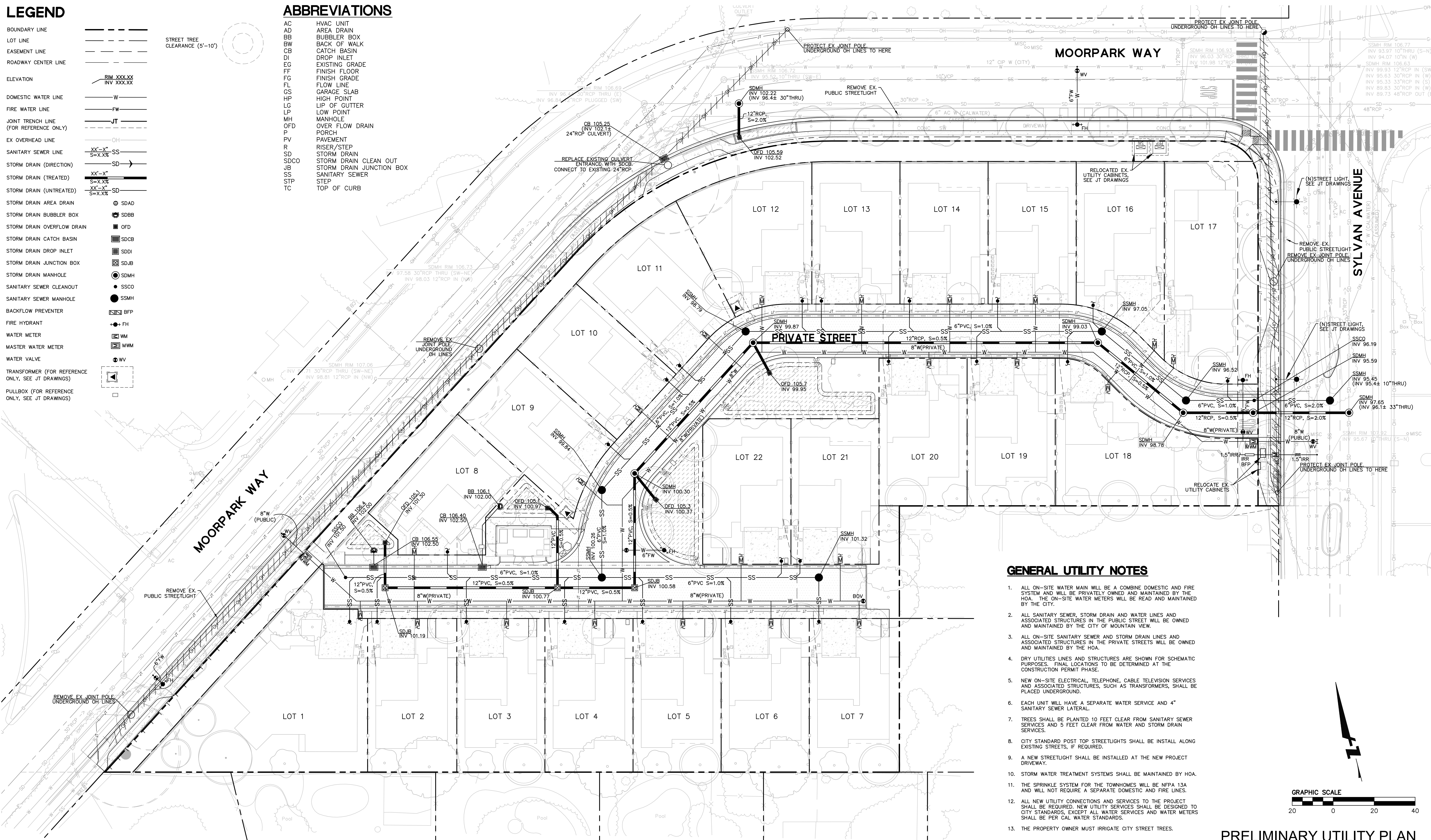
LEGEND

BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
ROADWAY CENTER LINE	---
ELEVATION	RIM XXX.XX INV XXX.XX
DOMESTIC WATER LINE	W
FIRE WATER LINE	FW
JOINT TRENCH LINE (FOR REFERENCE ONLY)	JT
EX OVERHEAD LINE	OH
SANITARY SEWER LINE	XX'-X" SS S=X.X%
STORM DRAIN (DIRECTION)	SD →
STORM DRAIN (TREATED)	XX'-X" S=X.X%
STORM DRAIN (UNTREATED)	XX'-X" SD S=X.X%
STORM DRAIN AREA DRAIN	SDAD
STORM DRAIN BUBBLER BOX	SDBB
STORM DRAIN OVERFLOW DRAIN	OFD
STORM DRAIN CATCH BASIN	SDCB
STORM DRAIN DROP INLET	SDDI
STORM DRAIN JUNCTION BOX	SDJB
STORM DRAIN MANHOLE	SDMH
SANITARY SEWER CLEANOUT	SSCO
SANITARY SEWER MANHOLE	SSMH
BACKFLOW PREVENTER	BFP
FIRE HYDRANT	FH
WATER METER	WM
MASTER WATER METER	MWM
WATER VALVE	WV
TRANSFORMER (FOR REFERENCE ONLY, SEE JT DRAWINGS)	TR
PULLBOX (FOR REFERENCE ONLY, SEE JT DRAWINGS)	PB



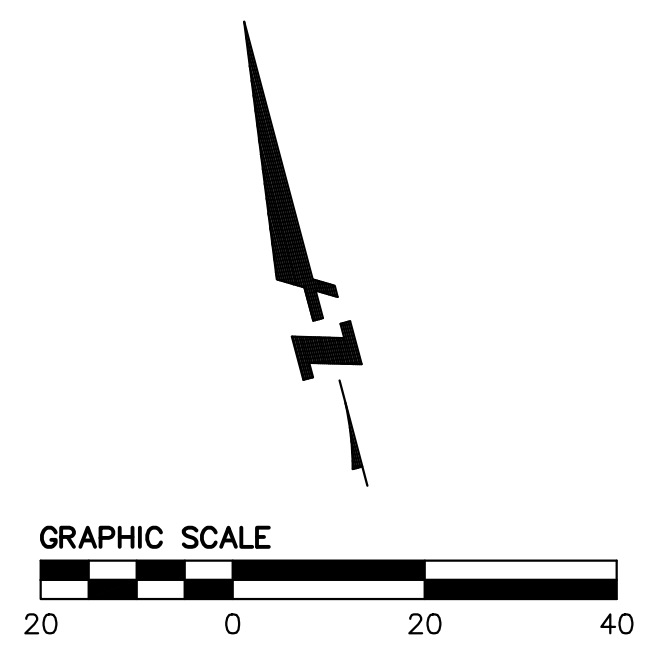
ABBREVIATIONS

AC	HVAC UNIT
AD	AREA DRAIN
BB	BUBBLER BOX
BW	BACK OF WALK
CB	CATCH BASIN
DI	DROP INLET
EG	EXISTING GRADE
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
GS	GARAGE SLAB
HP	HIGH POINT
LG	LIP OF GUTTER
LP	LOW POINT
MH	MANHOLE
OFD	OVER FLOW DRAIN
P	PORCH
PV	PAVEMENT
R	RISER/STEP
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
JB	STORM DRAIN JUNCTION BOX
SS	SANITARY SEWER
STP	STEP
TC	TOP OF CURB



GENERAL UTILITY NOTES

1. ALL ON-SITE WATER MAIN WILL BE A COMBINE DOMESTIC AND FIRE SYSTEM AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. THE ON-SITE WATER METERS WILL BE READ AND MAINTAINED BY THE CITY.
2. ALL SANITARY SEWER, STORM DRAIN AND WATER LINES AND ASSOCIATED STRUCTURES IN THE PUBLIC STREET WILL BE OWNED AND MAINTAINED BY THE CITY OF MOUNTAIN VIEW.
3. ALL ON-SITE SANITARY SEWER AND STORM DRAIN LINES AND ASSOCIATED STRUCTURES IN THE PRIVATE STREETS WILL BE OWNED AND MAINTAINED BY THE HOA.
4. DRY UTILITIES LINES AND STRUCTURES ARE SHOWN FOR SCHEMATIC PURPOSES. FINAL LOCATIONS TO BE DETERMINED AT THE CONSTRUCTION PERMIT PHASE.
5. NEW ON-SITE ELECTRICAL, TELEPHONE, CABLE TELEVISION SERVICES AND ASSOCIATED STRUCTURES, SUCH AS TRANSFORMERS, SHALL BE PLACED UNDERGROUND.
6. EACH UNIT WILL HAVE A SEPARATE WATER SERVICE AND 4" SANITARY SEWER LATERAL.
7. TREES SHALL BE PLANTED 10 FEET CLEAR FROM SANITARY SEWER SERVICES AND 5 FEET CLEAR FROM WATER AND STORM DRAIN SERVICES.
8. CITY STANDARD POST TOP STREETLIGHTS SHALL BE INSTALL ALONG EXISTING STREETS, IF REQUIRED.
9. A NEW STREETLIGHT SHALL BE INSTALLED AT THE NEW PROJECT DRIVEWAY.
10. STORM WATER TREATMENT SYSTEMS SHALL BE MAINTAINED BY HOA.
11. THE SPRINKLE SYSTEM FOR THE TOWNHOMES WILL BE NFPA 13A AND WILL NOT REQUIRE A SEPARATE DOMESTIC AND FIRE LINES.
12. ALL NEW UTILITY CONNECTIONS AND SERVICES TO THE PROJECT SHALL BE REQUIRED. NEW UTILITY SERVICES SHALL BE DESIGNED TO CITY STANDARDS, EXCEPT ALL WATER SERVICES AND WATER METERS SHALL BE PER CAL WATER STANDARDS.
13. THE PROPERTY OWNER MUST IRRIGATE CITY STREET TREES.



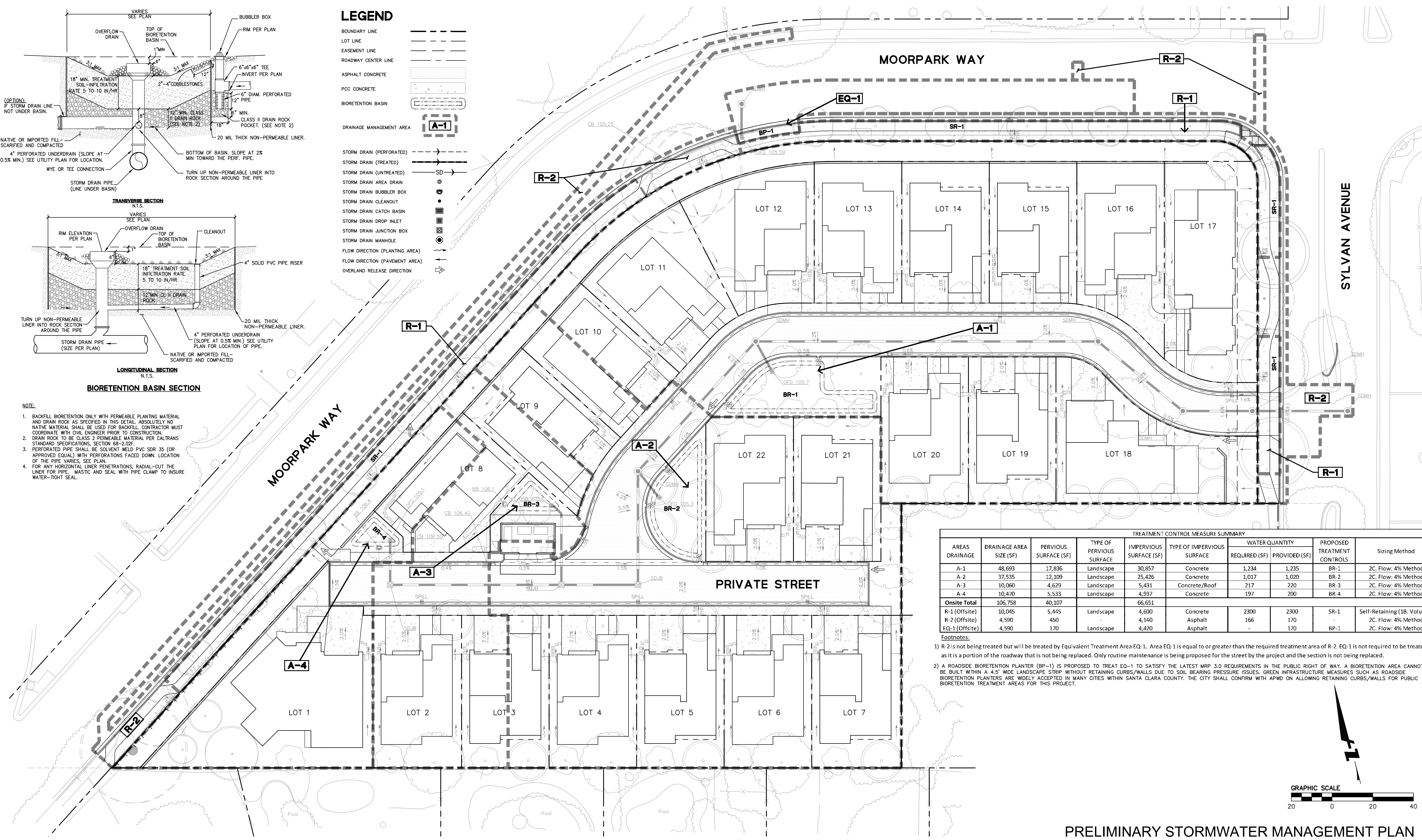
PRELIMINARY UTILITY PLAN

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS LLC.



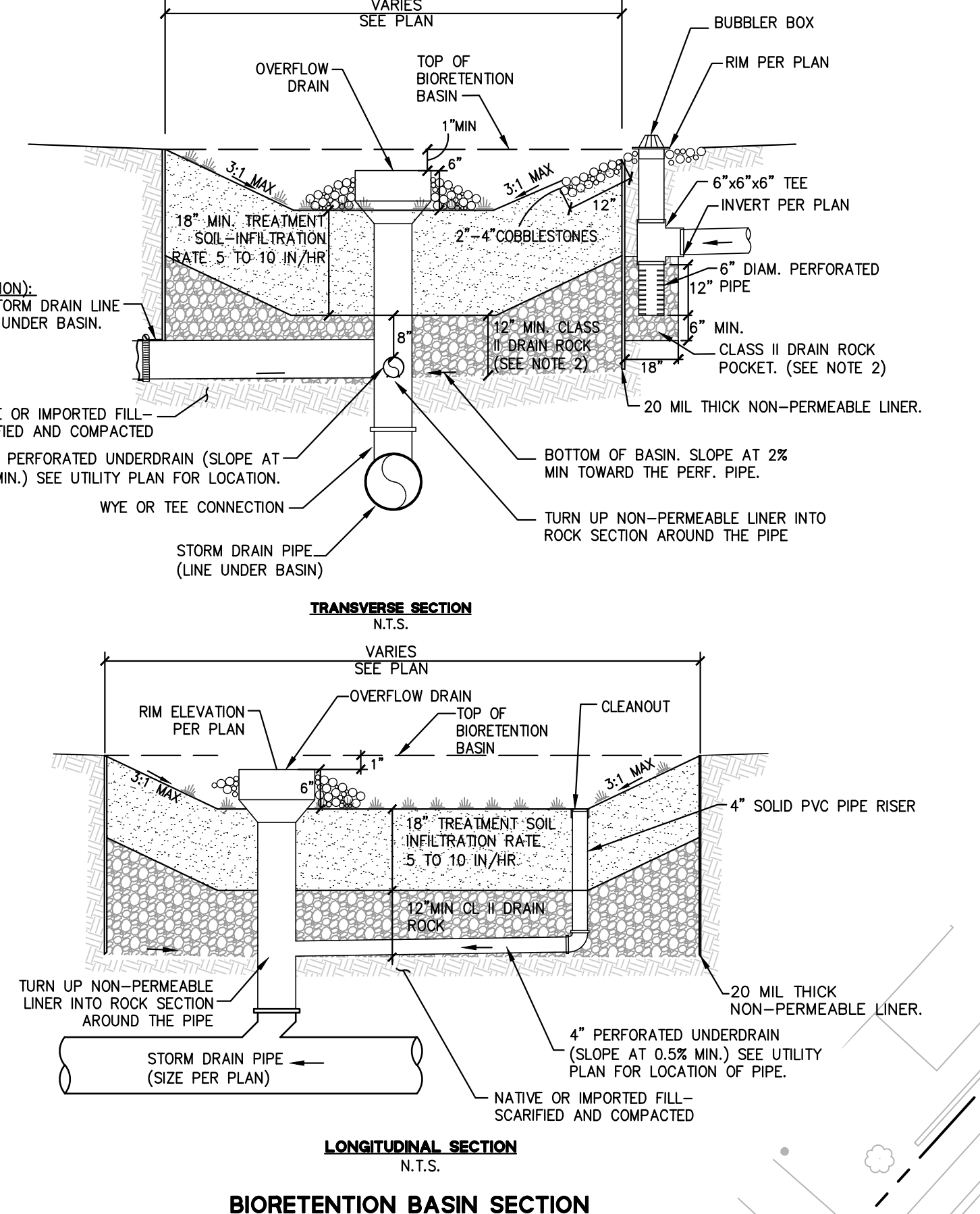
JOB NO. 297-090
DATE 11/08/2024

C4.0



LEGEND

BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
ROADWAY CENTER LINE	---
ASPHALT CONCRETE	[Pattern]
PCC CONCRETE	[Pattern]
BIORETENTION BASIN	[Symbol]
DRAINAGE MANAGEMENT AREA	[Symbol]
STORM DRAIN (PERFORATED)	→
STORM DRAIN (TREATED)	→
STORM DRAIN (UNTREATED)	→
STORM DRAIN AREA DRAIN	→
STORM DRAIN BUBBLER BOX	○
STORM DRAIN CLEANOUT	○
STORM DRAIN CATCH BASIN	○
STORM DRAIN DROP INLET	○
STORM DRAIN JUNCTION BOX	○
STORM DRAIN MANHOLE	○
FLOW DIRECTION (PLANTING AREA)	→
FLOW DIRECTION (PAVEMENT AREA)	→
OVERLAND RELEASE DIRECTION	→



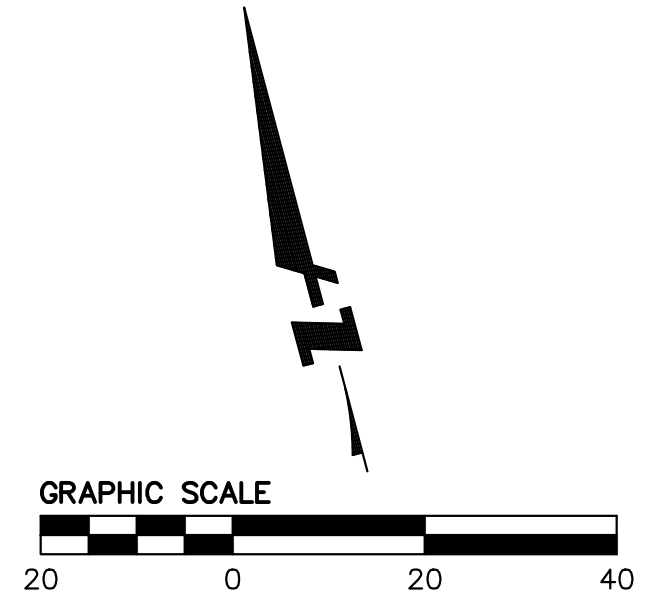
TREATMENT CONTROL MEASURE SUMMARY

AREAS DRAINAGE	DRAINAGE AREA SIZE (SF)	PERVIOUS SURFACE (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	TYPE OF IMPERVIOUS SURFACE	WATER QUANTITY		PROPOSED TREATMENT CONTROLS	Sizing Method
						REQUIRED (SF)	PROVIDED (SF)		
A-1	48,693	17,836	Landscape	30,857	Concrete	1,234	1,235	BR-1	2C. Flow: 4% Method
A-2	37,535	12,109	Landscape	25,426	Concrete	1,017	1,020	BR-2	2C. Flow: 4% Method
A-3	10,060	4,629	Landscape	5,431	Concrete/Roof	217	220	BR-3	2C. Flow: 4% Method
A-4	10,470	5,533	Landscape	4,937	Concrete	197	200	BR-4	2C. Flow: 4% Method
Onsite Total	106,758	40,107		66,651					
R-1 (Offsite)	10,045	5,445	Landscape	4,600	Concrete	2300	2300	SR-1	Self-Retaining (1B. Volume)
R-2 (Offsite)	4,590	450		4,140	Asphalt	166	170		2C. Flow: 4% Method
EQ-1 (Offsite)	4,590	170	Landscape	4,420	Asphalt	-	170	BP-1	2C. Flow: 4% Method

Footnotes:

1) R-2 is not being treated but will be treated by Equivalent Treatment Area EQ-1. Area EQ-1 is equal to or greater than the required treatment area of R-2. EQ-1 is not required to be treated as it is a portion of the roadway that is not being replaced. Only routine maintenance is being proposed for the street by the project and the section is not being replaced.

2) A ROADSIDE BIORETENTION PLANTER (BP-1) IS PROPOSED TO TREAT EQ-1 TO SATISFY THE LATEST MRP 3.0 REQUIREMENTS IN THE PUBLIC RIGHT OF WAY. A BIORETENTION AREA CANNOT BE BUILT WITHIN A 4.5' WIDE LANDSCAPE STRIP WITHOUT RETAINING CURBS/WALLS DUE TO SOIL BEARING PRESSURE ISSUES. GREEN INFRASTRUCTURE MEASURES SUCH AS ROADSIDE BIORETENTION PLANTERS ARE WIDELY ACCEPTED IN MANY CITIES WITHIN SANTA CLARA COUNTY. THE CITY SHALL CONFIRM WITH APWD ON ALLOWING RETAINING CURBS/WALLS FOR PUBLIC BIORETENTION TREATMENT AREAS FOR THIS PROJECT.



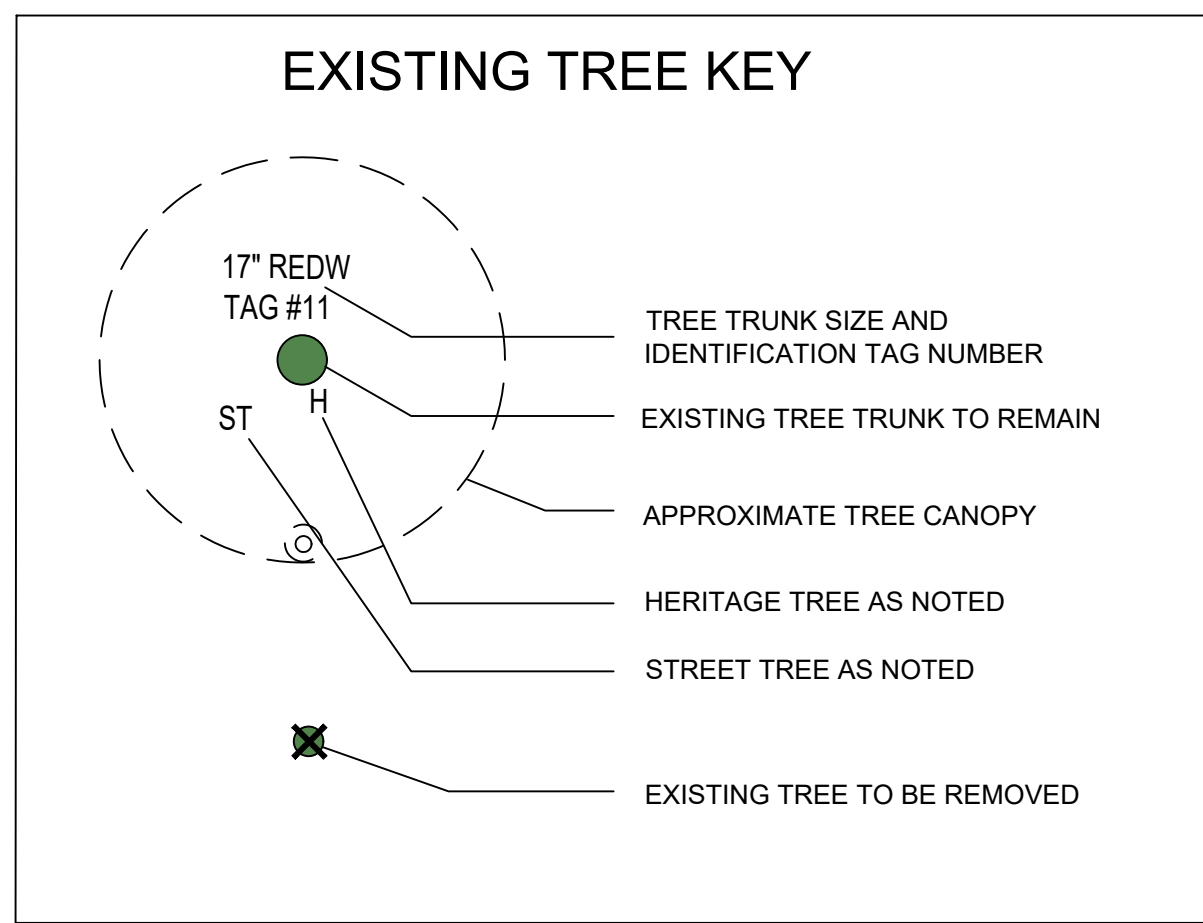
PRELIMINARY STORMWATER MANAGEMENT PLAN

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS LLC.



JOB NO. 297-090
 DATE 11/08/2024

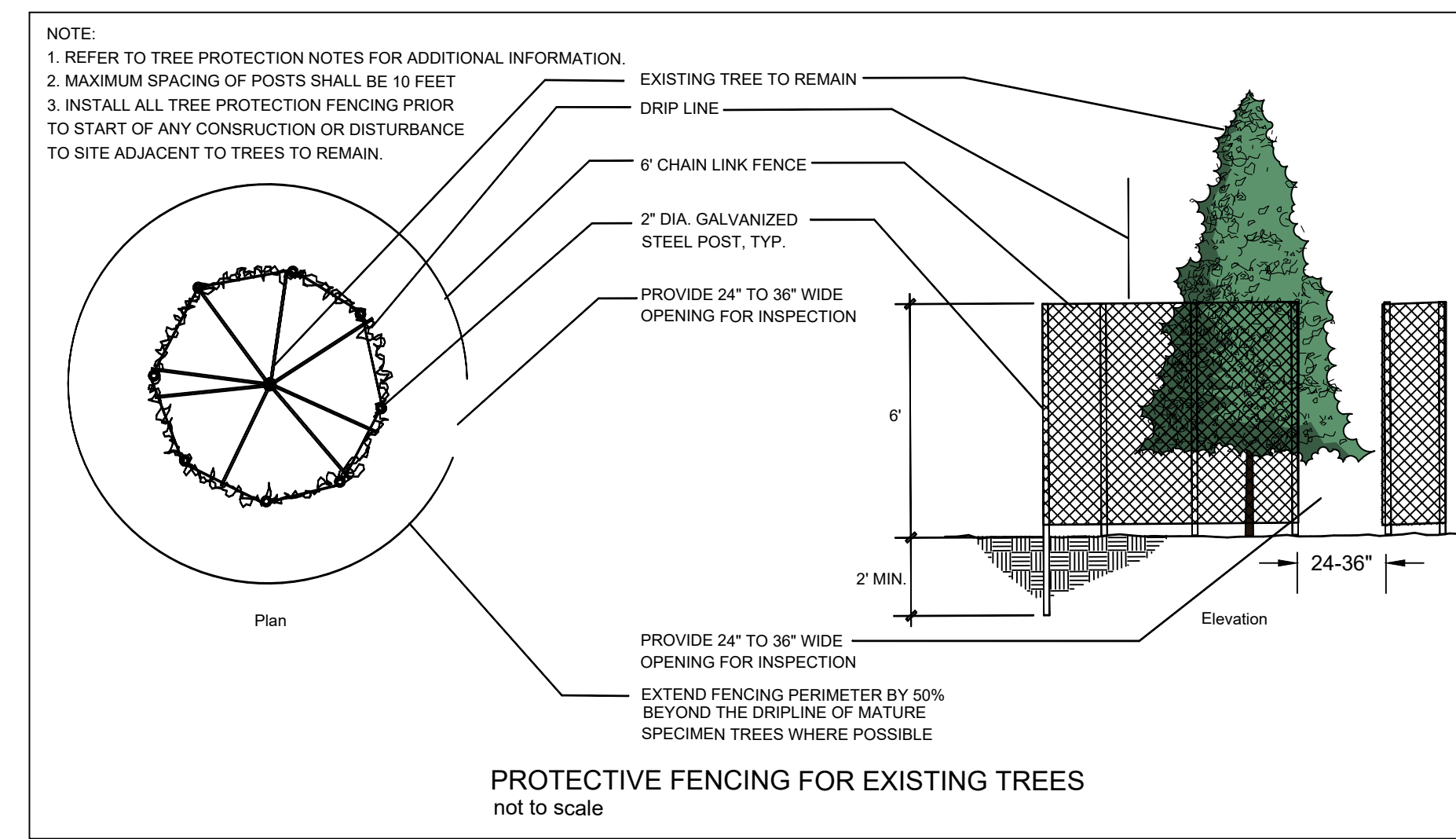
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NOTE:

- Information provided on this plan is based on the latest tree report by project arborist Ray Morneau, 650.964.7664 or ray@rmarborist.com
- Contractor shall contact project arborist for direction on setting up tree protective fencing around existing trees to be preserved and protected.
- Per tree report by project arborist, the trunks are measured at 54" above soil height or as noted.

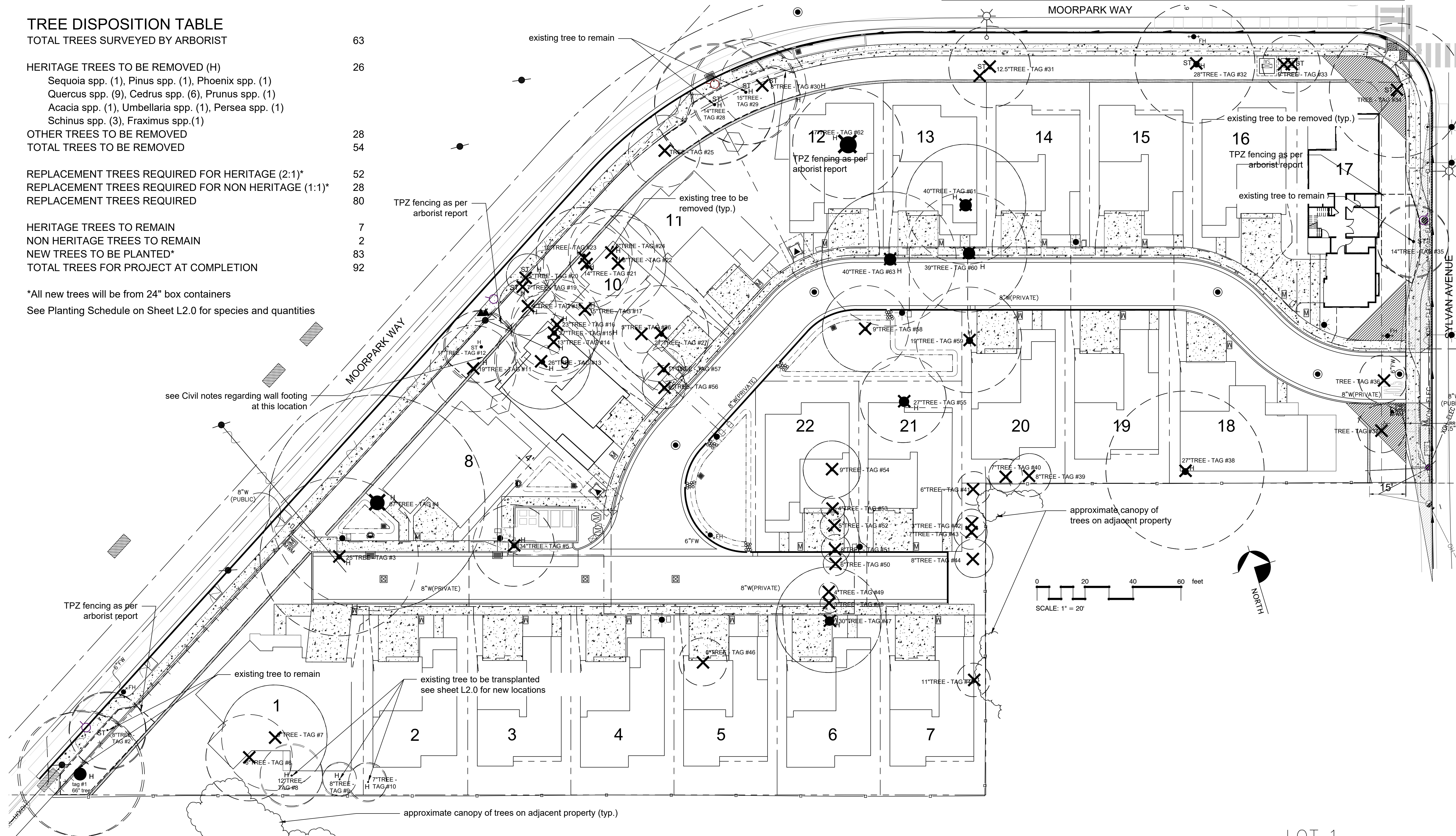
SEE SHEET T1.1 FOR ARBORIST TREE DATA
SEE SHEET T1.2 FOR TREE PROTECTION NOTES



TREE DISPOSITION TABLE

TOTAL TREES SURVEYED BY ARBORIST	63
HERITAGE TREES TO BE REMOVED (H)	26
Sequoia spp. (1), Pinus spp. (1), Phoenix spp. (1)	
Quercus spp. (9), Cedrus spp. (6), Prunus spp. (1)	
Acacia spp. (1), Umbellaria spp. (1), Persea spp. (1)	
Schinus spp. (3), Fraxinus spp. (1)	
OTHER TREES TO BE REMOVED	28
TOTAL TREES TO BE REMOVED	54
REPLACEMENT TREES REQUIRED FOR HERITAGE (2:1)*	52
REPLACEMENT TREES REQUIRED FOR NON HERITAGE (1:1)*	28
REPLACEMENT TREES REQUIRED	80
HERITAGE TREES TO REMAIN	7
NON HERITAGE TREES TO REMAIN	2
NEW TREES TO BE PLANTED*	83
TOTAL TREES FOR PROJECT AT COMPLETION	92

*All new trees will be from 24" box containers
 See Planting Schedule on Sheet L2.0 for species and quantities



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 THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.
 OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS

EXISTING TREE LOCATION MAP

JOB NO. 202310
 SCALE 1" = 20' - 0"
 DRAWN MA SHEET
 DATE 11.8.2024 T-1.0

MOORPARK SLYVAN INVESTORS, LLC
 MOORPARK WAY
 MOUNTAIN VIEW, CALIFORNIA

Ray Morneau, Arborist
3.2 Tree Data:

ISA Certif. #WC-0132 650.964.7664

Ray Morneau, Arborist (ISA Certified Arborist #WE-0132A) 650.964.7664																
TREELIST INVENTORY 317-Moorpark Way, Mountain View, California - a Dividend Homes project																
Data date: August 19, 2023 Updated: July 24, 2024 and October 21, 2024																
Heritage tree size	Muni Street	Neighborhood	HT No	Tree ID	Genus species Name, Common	Circumf. (inches)	DBH (inches)	Av. Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age Longevity	Keep?	Comments
HT				1	Sequoia sempervirens / Redwood, Coastal	206.7"	65.8"	26'	90'	60%	66%	63% Fair	Mod.	Mature	Keep	Three ~28" trunks from ground level, 15' to property corner... large basal butt and root flare suckergrowth in all directions (and into chain link fence).
	STr			2	Olea europaea / Olive	22.3", 25.1"	7.1", 8.0"	16'	30'	50%	35%	47% Poor	Good	Over-mature	Keep	Street tree, 36' to property corner; 2 trunks from ground level against chain link fence; joint pole at 7'; at edge of pavement; line clearance pruned.
HT				3	Sequoia sempervirens / Redwood, Coastal	41.2", 59.4", 61.3", 79.5"	13.1", 18.9", 19.5", 25.3"	33'	90'	45%	60%	57% Fair	Mod.	Mature	Remove	Multiple trunks on ~60" base with extensive basal suckergrowth; surface roots already disrupting parking lot asphalt.
HT				4	Pinus halepensis / Pine, Aleppo	211.4" @ 0"	67.3" @ 0"	45'	75'	40%	20%	30% Poor	Poor	Over-mature	Remove	On base of 30" x 43" trunks from ground level; extensive foliage branch endweights; major needle yellowing; much lifting of parking lot asphalt by surface roots.
HT				5	Phoenix canariensis / Palm, Date, Canary Island	107.8"	34.3"	17'	38'	66%	75%	71% Good	Good	Mature	Remove	18' CBT (clear brown trunk).
				6	Arbutus Marina / Strawberry Tree	17.9"	5.7"	18'	22'	60%	40%	50% Fair	Poor	Young	Remove	trunk leans 20".
				7	Arbutus Marina / Strawberry Tree	28"	8.9"	22'	25'	70%	55%	62% Fair	Poor	Young	Remove	14' to parking lot asphalt.
HT				8	Quercus agrifolia / Oak, Coast Live	38"	12.1"	13'	28'	70%	80%	75% Good	Mod.	Semi-mature	Move	8' to property line fence.
HT				9	Sequoia sempervirens / Redwood, Coastal	25.8"	8.2"	7'	15'	75%	90%	77% Good	Mod.	Young	Move	8' to property line fence.
HT				10	Sequoia sempervirens / Redwood, Coastal	21.7"	6.9"	8'	18'	75%	90%	77% Good	Mod.	Young	Move	8' to property line fence.
HT				11	Quercus agrifolia / Oak, Coast Live	58.1"	18.5"	18'	40'	66%	85%	75% Good	Mod.	Mature	Remove	12' to EP (Edge of Pavement) Moorpark; crowded into dense, overgrown thicket between 317 & 309 with ivy.

9/20/2023X revamped 4/29 & 7/24/2024 Certified Arborist's Tree Inventory Rpt: 317 Moorpark Way, MV. Page #8 of 16.

Ray Morneau, Arborist

ISA Certif. #WC-0132 650.964.7664

HT	SI	Tr	Tree ID	Genus species Name, Common	Circumf. (inches)	DBH (inches)	Av. Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age Longevity	Keep?	Comments
HT			12	Quercus agrifolia / Oak, Coast Live	53.4"	17.0"	15'	40'	65%	85%	75% Good	Mod.	Mature	Keep	2' to EP (Edge of Pavement) Moorpark; 4' to JP (joint pole); crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			13	Cedrus deodara / Cedar, Deodar	82"	26.1"	20'	65'	55%	15%	30% Poor	Poor	Over-mature	Remove	#13-#18 all crowded to share a common root plate of about 10' diameter with touching trunks. Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			14	Cedrus deodara / Cedar, Deodar	39.3"	12.8"	17'	68'	55%	15%	30% Poor	Poor	Over-mature	Remove	#13-#18 all crowded to share a common root plate of about 10' diameter with touching trunks. Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			15	Cedrus deodara / Cedar, Deodar	80.1"	27.4"	18'	75'	55%	15%	30% Poor	Poor	Over-mature	Remove	#13-#18 all crowded to share a common root plate of about 10' diameter with touching trunks. Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			16	Cedrus deodara / Cedar, Deodar	71.6"	22.8"	19'	65'	55%	15%	30% Poor	Poor	Over-mature	Remove	#13-#18 all crowded to share a common root plate of about 10' diameter with touching trunks. Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			17	Cedrus deodara / Cedar, Deodar	47.3"	15.1"	17'	53'	55%	15%	30% Poor	Poor	Over-mature	Remove	#13-#18 all crowded to share a common root plate of about 10' diameter with touching trunks. Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			18	Cedrus deodara / Cedar, Deodar	27.6"	8.8"	12'	50'	55%	15%	30% Poor	Poor	Over-mature	Remove	#13-#18 all crowded to share a common root plate of about 10' diameter with touching trunks. Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT	SI	Tr	19	Quercus agrifolia / Oak, Coast Live	20.7"	6.6"	7'	23'	40%	30%	35% Poor	Poor	Over-mature	Remove	~4' to EP, leans over Moorpark Way; only ~3' between #19 & #20; crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT	SI	Tr	20	Quercus agrifolia / Oak, Coast Live	15.7"	5.0"	9'	28'	40%	30%	35% Poor	Poor	Over-mature	Remove	~4' to EP, leans over Moorpark Way; only ~3' between #19 & #20; crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			21	Quercus agrifolia / Oak, Coast Live	43"	13.7"	18'	40'	55%	50%	57% Fair	Mod.	Mature	Remove	Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			22	Quercus agrifolia / Oak, Coast Live	23.6"	7.5"	20'	40'	55%	50%	52% Fair	Mod.	Mature	Remove	Crowded into dense, overgrown thicket between 317 & 309 with ivy.

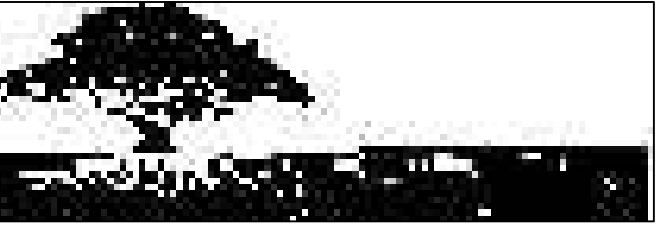
9/20/2023X revamped 4/29 & 7/24/2024 Certified Arborist's Tree Inventory Rpt: 317 Moorpark Way, MV. Page #9 of 16.

Ray Morneau, Arborist

ISA Certif. #WC-0132 650.964.7664

HT	SI	Tr	Tree ID	Genus species Name, Common	Circumf. (inches)	DBH (inches)	Av. Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age Longevity	Keep?	Comments
HT			23	Quercus agrifolia / Oak, Coast Live	38.3"	12.2"	20'	38'	60%	55%	57% Fair	Mod.	Mature	Remove	Crowded into dense, overgrown thicket between 317 & 309 with ivy.
HT			24	Quercus agrifolia / Oak, Coast Live	16.7"	5.3"	18'	33'	55%	50%	52% Fair	Mod.	Mature	Remove	Crowded into dense, overgrown thicket between 317 & 309 with ivy.
		NOT HT OR ST	25	Prunus communis / Plum	multi	multi	15'	18'	0%	0%	00% DEAD	N/A	N/A	Remove	Very DEAD, on 22" base; ~8 stems ~5" diameters. Crowded into dense, overgrown thicket in "front yard" of 309 with ivy.
		NOT HT OR ST	26	Ligustrum lucidum / Privet, Glossy	13.8"	4.4"	8'	17'	40%	10%	25% V.Pr.	Poor	Over-mature	Remove	At edge of "front yard" of 309; crowded, top-sided in heavy ivy.
		NOT HT OR ST	27	Ligustrum lucidum / Privet, Glossy	85.7" @ 0"	27.3" @ 0"	20'	38'	55%	5%	30% Poor	Poor	Over-mature	Remove	Three 10" trunks with substantial foliage branch endweights at edge of "front yard" of 309 with ivy.
HT	SI	Tr	28	Quercus agrifolia / Oak, Coast Live	44.9"	14.3"	25'	40'	66%	75%	70% Good	Mod.	Mature	Keep	Street tree under power lines; 4' to property line fence (309); 2' to EP; ~10; to existing culvert.
HT	SI	Tr	29	Quercus agrifolia / Oak, Coast Live	46.2"	14.7"	22'	35'	66%	75%	70% Good	Mod.	Mature	Keep	Street tree overhangs sidewalk; 3' to property line fence (309).
HT	SI	Tr	30	Quercus ilex / Oak, Holly	25.7"	8.1"	18'	30'	55%	55%	55% Fair	Mod.	Mature	Remove	Street tree 6" to sidewalk; root flare against #29; lanky; trunk=20" lean over sidewalk.
		SI	31	Prunus amygdalus / Almond	39.3" @ 2"	12.5" @ 2"	17'	18'	50%	30%	40% Poor	Poor	Over-mature	Remove	Street tree; 10' to property line fence; 15' to existing street light; 17' BOC; weak v-crotch at 3'.
HT	SI	Tr	32	Prunus armeniaca / Apricot	90.5" @ 1"	28.8" @ 1"	15'	20'	50%	20%	35% Poor	Mod.	Over-mature	Remove	Street tree 5' to sidewalk; 11' BOC.
		SI	33	Prunus cerasifera / Plum, Purpleleaf	28.3"	9.0"	12'	19'	60%	40%	50% Poor	Mod.	Over-mature	Remove	Street tree 5' to sidewalk; 11' BOC.
		SI	34	Photinia serrulata / Photinia, Chinese	multi	multi	28'	33'	45%	10%	27% Poor	Poor	Over-mature	Remove	Street tree ... typical wreck from history of severe pruning; 15' BOC. Multiple small-diameter stems on ~40" base.
		SI	35	Photinia chinensis / Pistache, Chinese	44.6"	14.2"	15'	28'	58%	60%	59% Fair	Mod.	Mature	Keep	Street tree ... 11' BOC in planter area with juniper shrubs.
		NOT HT OR ST	36	Photinia serrulata / Photinia, Chinese	multi	multi	10'	10'	60%	10%	35% Poor	Poor	Over-mature	Remove	maintained with hedge shears against end of old 7-11 building. Multiple small-diameter stems on ~36" base.

9/20/2023X revamped 4/29 & 7/24/2024 Certified Arborist's Tree Inventory Rpt: 317 Moorpark Way, MV. Page #10 of 16.



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MOORPARK SLYVAN INVESTORS, LLC
MOORPARK WAY
MOUNTAIN VIEW, CALIFORNIA

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REVISIONS

EXISTING TREE INVENTORY

JOB NO. 202310

SCALE not to scale

DRAWN MA

SHEET

DATE 11.8.2024

T-1.1

Ray Morneau, Arborist

ISA Certif. #WC-0132 650.964.7664

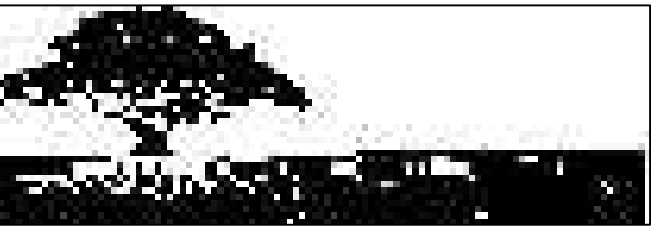
HT	SI	Tr	Tree ID	Genus species Name, Common	Circumf. (inches)	DBH (inches)	Av. Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age Longevity	Keep?	Comments
HT			37	Photinia serrulata / Photinia, Chinese	multi	multi	10'	10'	60%	10%	35% Poor	Poor	Over-mature	Remove	... maintained with hedge shears against end of old 7-11 building. Multiple small-diameter stems on ~36" base.
			38	Acacia melanoxylon / Acacia, Blackwood	84.2"	26.8"	33'	58'	65%	55%	60% Fair	Poor	Mature	Remove	...at back of old 7-11 building; 1' to property line fence; substantial v-crotches and foliage branch endweights.
		NOT HT OR ST	39	Prunus armeniaca / Apricot	25.4" @ 1"	8.1" @ 1"	9'	16'	50%	30%	40% Poor	Mod.	Over-mature	Remove	2' to property line fence; dieback / diseased.
		NOT HT OR ST	40	Prunus armeniaca / Apricot	22" @ 1"	7.0" @ 1"	7'	12'	50%	40%	45% Poor	Mod.	Over-mature	Remove	2' to property line fence; dieback / diseased.
		NOT HT OR ST	41	Prunus domestica 'French petit' / Plum, French	17.8" @ 1"	5.5" @ 1"	7'	12'	60%	25%	45% Poor	Mod.	Over-mature	Remove	4' to back fence of 317; branch breakage due to loading with ripe plums.
		NOT HT OR ST	42	Prunus domestica 'French petit' / Plum, French	10.7" @ 1"	3.4" @ 1"	6'	9'	50%	25%	40% Poor	Mod.	Over-mature	Remove	4' to back fence of 317; branch breakage due to loading with ripe plums.
		NOT HT OR ST	43	Prunus armeniaca / Apricot	22.9" @ 1"	7.3" @ 1"	7'	12'	60%	45%	52% Fair	Mod.	Mature	Remove	4' to back fence of 317; moderate disease dieback.
		NOT HT OR ST	44	Prunus armeniaca / Apricot	24.5" @ 1"	7.8" @ 1"	8'	12'	60%	55%	57% Fair	Mod.	Mature	Remove	4' to back fence of 317; minor disease dieback.
		NOT HT OR ST	45	Prunus persica nucipersica / Nectarine	33.6" @ 1"	10.7" @ 1"	7'	14'	5%	50%	57% Fair	Mod.	Mature	Remove	4' to back fence of 317; weak embedded bark crotch at 1'.
		NOT HT OR ST	46	Citrus sinensis / Orange	23.9" @ 1"	7.6" @ 1"	10'	16'	70%	80%	75% Good	Mod.	Mature	Remove	7' to old workshop wall; loaded with great oranges!
HT			47	Umbellularia californica / California Bay	90.5" @ 1"	28.8" @ 1"	22'	38'	85%	70%	77% Good	Poor	Mature	Remove	at 25' from old workshop wall; multiple v-crotches at 1'-2'.
		NOT HT OR ST	48	Citrus limon / Lemon	10" @ 1"	3.2" @ 1"	4'	7'	25%	30%	27% Poor	Mod.	Over-mature	Remove	... in a little citrus row; chlorotic leaves.
		NOT HT OR ST	49	Citrus limon / Lemon	10.1" @ 6"	3.5" @ 6"	4'	10'	30%	40%	35% Poor	Mod.	Over-mature	Remove	... in a little citrus row; very chlorotic leaves.
		NOT HT OR ST	50	Citrus sinensis / Orange	19.2" @ 6"	6.1" @ 6"	5'	11'	40%	50%	45% Poor	Mod.	Mature	Remove	... in a little citrus row; minor chlorosis.

9/20/2023X revamped 4/29 & 7/24/2024 Certified Arborist's Tree Inventory Rpt: 317 Moorpark Way, MV. Page #11 of 16.

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HT	SI	Tr	Tree ID	Genus species Name, Common	Circumf. (inches)	DBH (inches)	Av. Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age Longevity	Keep?	Comments
			51	Citrus sinensis / Orange	25.4" @ 0"	8.1" @ 0"	6'	12'	66%	55%	60% Fair	Mod.	Mature	Remove	... in a little citrus row; very green.
			52	Citrus reticulata / Orange, Mandarin	15.4" @ 6"	4.9" @ 6"	6'	8'	60%	55%	57% Fair	Mod.	Mature	Remove	... in a little citrus row.
			53	Citrus limon / Lemon	13.5" @ 6"	4.3" @ 6"	5'	5'	55%	55%	55% Fair	Mod.	Mature	Remove	... in a little citrus row.
			54	Prunus armeniaca / Apricot	27" @ 2"	8.6" @ 2"	12'	20'	55%	50%	52% Fair	Mod.	Mature	Remove	... in the citrus row.
HT			55	Persea americana / Avocado	27" @ 1"	8.6" @ 1"	18'	37'	70%	88%	74% Good	Mod.	Mature	Remove	Two trunks from groundlevel, 12" & 15"; between two existing out-buildings.
			56	Camellia japonica / Camellia shrub	23.9" @ 6"	7.6" @ 6"	9'	10'	60%	40%	50% Fair	Mod.	Over-mature	Remove	Crowded into corner of existing building; history of severe pruning-hedging.
			57	Ligustrum lucidum / Privet, Glossy	33.3" @ 1"	10.6" @ 1"	9'	20'	66%	25%	45% Poor	Poor	Over-mature	Remove	Existing fence at 1'; corner of existing building at 8'.
			58	Diospy											



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Project-specific Note: 317 Moorpark Way, MV
April 29 2024 & July 24, 2024 & October 21, 2024

A. The tree protection discussion and guidelines for this report are minimized – only needed for trees #1, #2, #8, #9, #10, #12, #28, #29, and #35.

B. In the event that changes are made to try to preserve more trees, then the six points below can be considered your absolute minimum required drills:

1. After Planning approves the plan set but before construction commences, a site meeting shall be arranged with the Owner/Dividend, the General Contractor, the Project Arborist, and the Tree Moving Contractor/Arborist to be certain all tree preservation protective measures to be needed are on-track to be implemented.
2. That initial site meeting shall be the first in the series of monthly city-required site inspections with a documentation by the Project Arborist as an "After Visit Summary (AVS) Report".
3. Install tree protective fencing (TPF) to enclose as much of these trees' root zones as possible ... rolled 6-foot chain link on 8-foot driven galvanized posts no closer than 10' away from the outer edge of the root flare bark.
4. Apply a root zone buffer of a minimum 4-6" layer of arborist chipper chips from the root flare out to the TPF.
5. Install additional root zone protection for any time traffic occurs over root zones – like another 6-inch-thick layer of arborist chipper chips, supplemented by plywood sheets or steel trench plates (depending on type of traffic).
6. Provide supplemental water to the redwood root zones and notify any other tree owners that it is advisable for them to provide ongoing supplemental water – a monthly deep soaking when there has been no significant rainfall during any prior 30-day period.
7. In case plans change (design and/or work methods) and enhanced tree protection is needed for adjacent trees (neighbors' pines and/or other municipal street trees).
8. The sound wall installation in the vicinity of tree #12 (a 17" diameter oak) raises crucial concerns as to impacts ... and our team's foresight to have already discussed this with the Wall Manufacturer is exceptionally commendable. The adjustments discussed as to column spacing shall be applied.
9. Impacts to trees' root zones is so critical that any/all work above and/or down in existing root zones of trees to be preserved requires caution involving no less than respectful caution considering extra root zone protections and/or hand digging.
10. Notify any new owners that their tree(s) would have better long-term health/vigor [including looking better and shedding fewer branches] if irrigated and properly pruned.

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4.0 Tree Preservation Guidelines: Pre-Construction Maintenance notes

- 4.1 Supplemental watering should be provided. A rule of thumb for construction site stressed trees is 10-20 gallons per trunk diameter inch per month, particularly critical during hot weather. This is modified by the Project Arborist on site with root zone inspections and monitoring as water demands will obviously be lower during cool, damp weather. Inspection should find soil between 3" and 18" below grade moist enough for roots to thrive.
- 4.2 No pruning is absolutely needed at this time, unless project design cannot avoid clearance issues. Nevertheless, deadwood removal and endweight reduction is commonly performed to improve existing site trees. And usually project trees benefit from "Crown Cleaning" for deadwood removal and "Crown Thinning" to lighten branch endweights) at some time before the close of the project. Then the owner has a benchmark against which to compare the future status of the trees. All work must conform to published ANSI A-300 Standards
- 4.3 Approaching project commencement, when the foundations, driveways, and other hardscape features (including trenches) have been staked/located, then some pruning may likely be needed. Raising/clearance can be minimized for space to work. Root pruning along the lines within 15-feet on either side of mature trees' trunks can sever roots cleanly, reducing shock to these trees' systems. Making grade for roadways, driveways, drive aisles, parking, utility trenches, piers, footings, building foundations – digging in a root zone by whatever name – can start out with a spotter and power equipment until 1-inch-diameter (about thumb-size) roots are encountered. At that point (1" diameter), the spotter must stop the equipment operator and proceed with hand tools (shovels, pick, mattock, etc.) to carefully expose roots 1- to 2-inch diameter and larger to be severed by hand (handsaw, Sawz-All®, or equivalent). Roots larger than 4-inch diameter must remain intact pending Project Arborist observation and consent. Roots to be severed shall be cut cleanly – no shatters, rips, tears, crushed or bruised root material. Misting, moist burlap curtains/covers, plywood overlay may be required to keep roots from drying out if backfill is delayed more than three hours after digging.
- 4.4 All project tree work performed before, during, or after construction is to be done by WCISA Certified Tree Workers under the supervision of an ISA Certified Arborist (or equivalents, if they possess sufficient skill for approval by Project Arborist). This includes all pruning, removals (including stump removals) within driplines of trees to be preserved, root pruning, and repair or remedial measures.

5.0 Tree Preservation Guidelines: Tree Protection Measures

- 5.1 Fencing and other root zone protection
 - Must be in place before demolition or any other project site work.
 - Though generally expected to extend to the dripline, here the TPF can be installed as close to that as possible.
 - One 24- to 36-inch opening or gate should be left for inspection access to each area.
 - Fence material is to be 6-foot-high chain link fence supported by 8-foot long, 2-inch diameter galvanized fence posts driven 2-feet into the soil.

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Where no plant material root zone buffer is growing (e.g. ivy, shrubs, turf), a wood chip mulch is to be spread evenly to a 4-inch depth from the dripline to 6-inches from the base of the trunk. Taper to existing ground level at the base of the trunk with a slope of about 2:1.

Additional root zone areas requiring protection can be buffered as Project Arborist requires, e.g., if project scope changes. Commonly acceptable buffer materials often include wood chips, crushed rock, plywood, steel trench plates, and/or a combination of such materials. Consult Project Arborist for depth specifications (which vary depending on use of area and/or specific traffic).

Root zone areas to be protected may be modified by the Municipal Arborist or Project Arborist as plans develop.

- 5.2 Prohibited Acts & Admonishments/Requirements
 - 5.2.1 No parking or vehicle traffic over any root zones, unless using buffers approved by Project Arborist.
 - 5.2.2 Monitor root zone moisture and maintain as per above.
 - 5.2.3 Have a certified arborist repair any damage promptly.
 - 5.2.4 No pouring or storage of fuel, oil, chemicals, or hazardous materials under these foliage canopies.
 - 5.2.5 No grade changes (cuts, fills, etc.) under these foliage crowns without prior Project Arborist approval. For instance, hand excavation and thinner base prep may be required in the redwood root zone areas.
 - 5.2.6 Any additional pruning required must be performed under arborist supervision – including root pruning – clean, smooth cuts with no breaking, scraping, shattering, or tearing of wood tissue and/or bark.
 - 5.2.7 No storage of construction materials under any foliage canopy without prior Project Arborist approval.
 - 5.2.8 No trenching within the critical root zone area. Consult Project Arborist before any trenching or root cutting beneath any tree's foliage canopy. It is best to route all trenching out from under trees' driplines. Often trenches in root zones must be hand excavated to leave roots intact.
 - 5.2.9 No cleaning out of trucks, tools, or other equipment over the critical root zone. Keep this debris outside of any existing or future root zone.
 - 5.2.10 No attachment of signs or other construction apparatus to these trees.
- 5.3 Construction-time Maintenance
 - 5.3.1 Monitor root zone moisture and maintain as per above (§4.1).
 - 5.3.2 Maintain/repair tree protection fences and/or root zone mulch/buffer material.
 - 5.3.3 Have a certified arborist promptly repair any damage to trees.

**GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR SHALL
REVIEW COMPLETE ARBORIST REPORT UPDATED 10/24/2024**

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REVISIONS

**ARBORIST'S
TREE PROTECTION
NOTES**

JOB NO. 202310

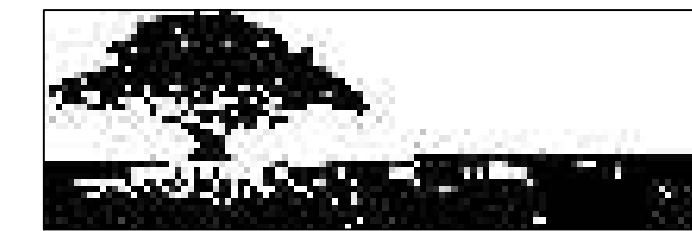
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DATE 11.8.2024

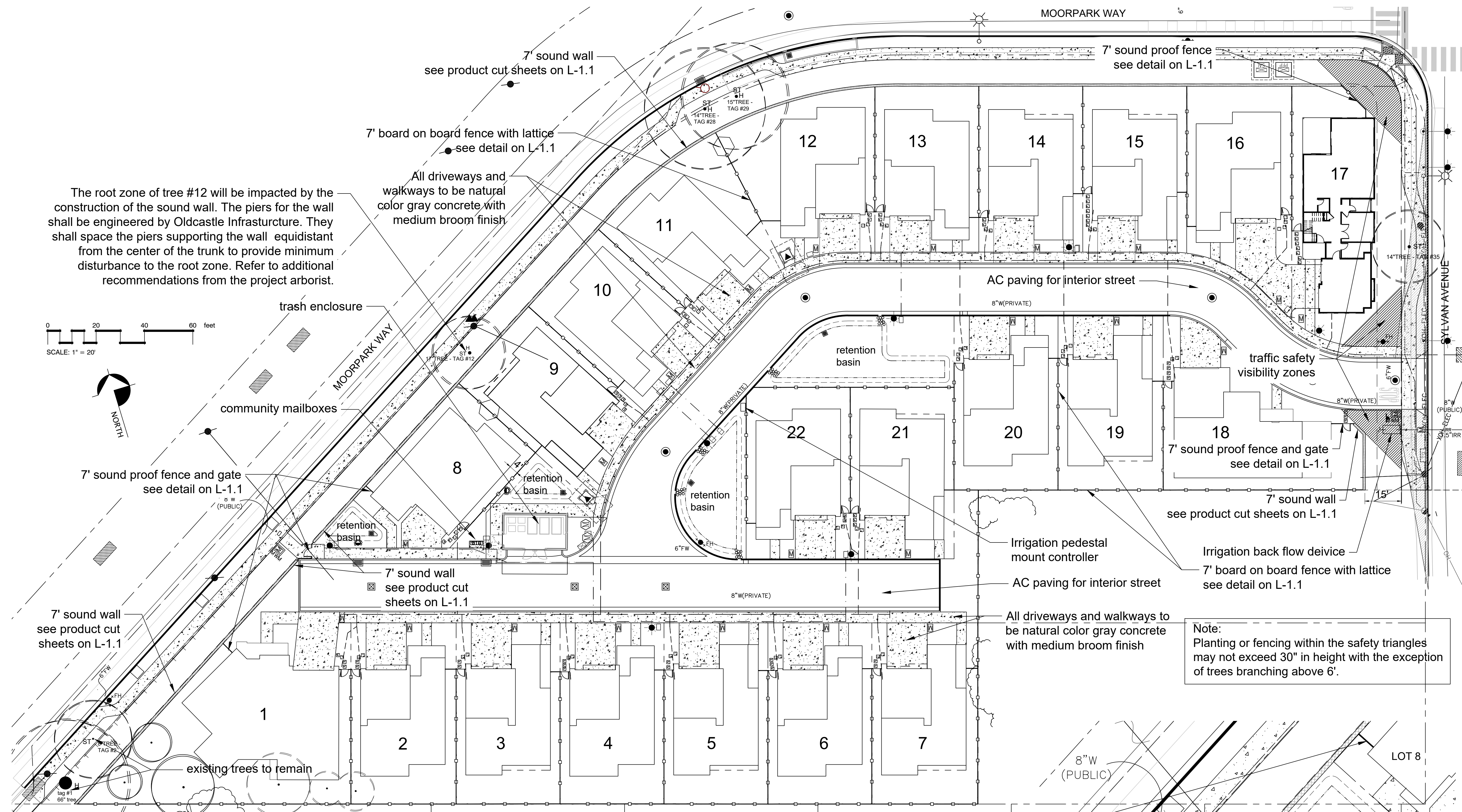
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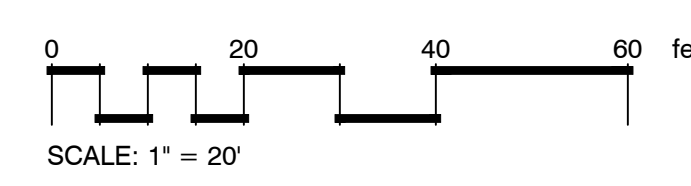
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MOORPARK WAY
MOUNTAIN VIEW, CALIFORNIA



The root zone of tree #12 will be impacted by the construction of the sound wall. The piers for the wall shall be engineered by Oldcastle Infrastructure. They shall space the piers supporting the wall equidistant from the center of the trunk to provide minimum disturbance to the root zone. Refer to additional recommendations from the project arborist.



Note:
Planting or fencing within the safety triangles may not exceed 30" in height with the exception of trees branching above 6'.

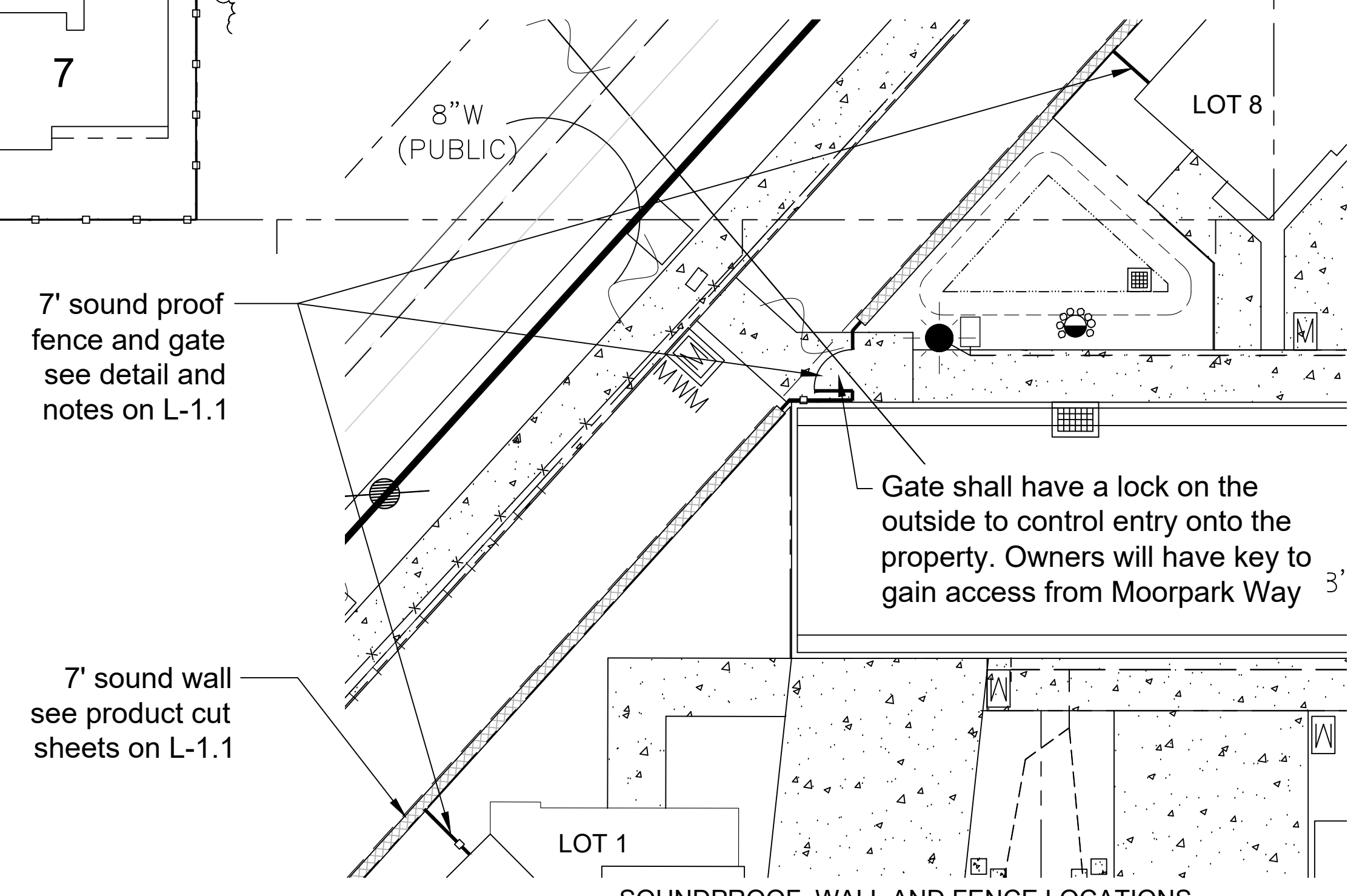
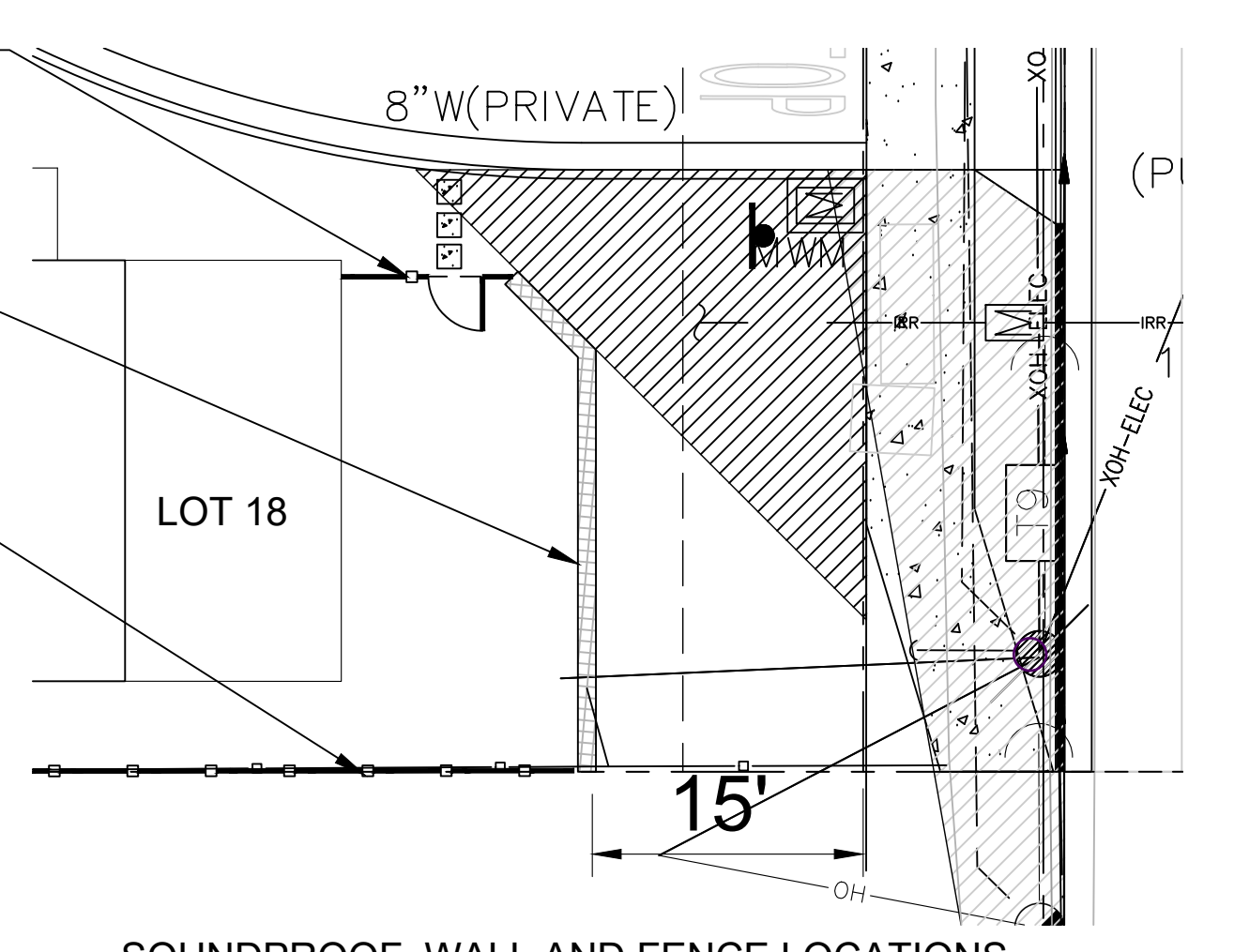
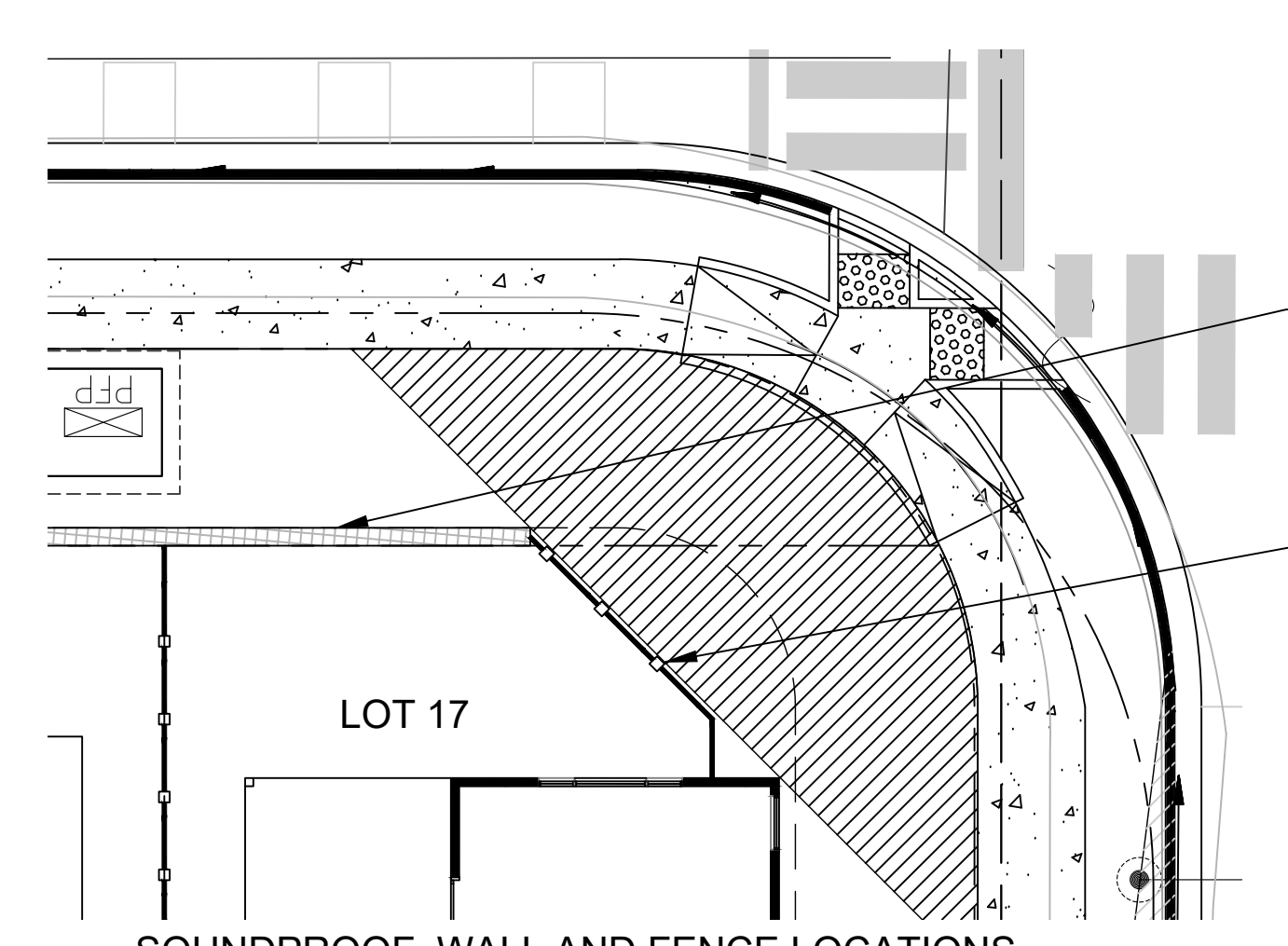
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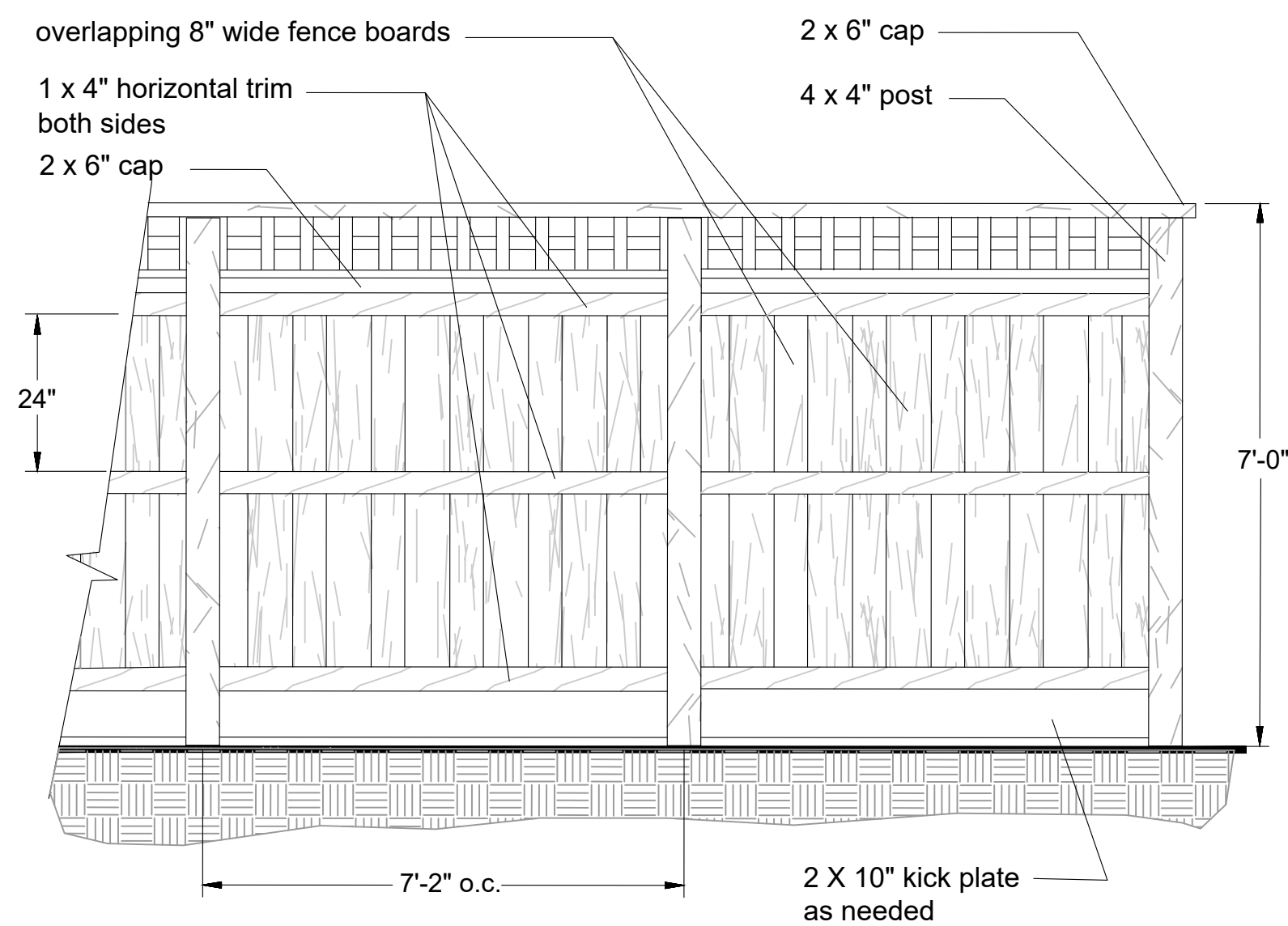
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REVISIONS	

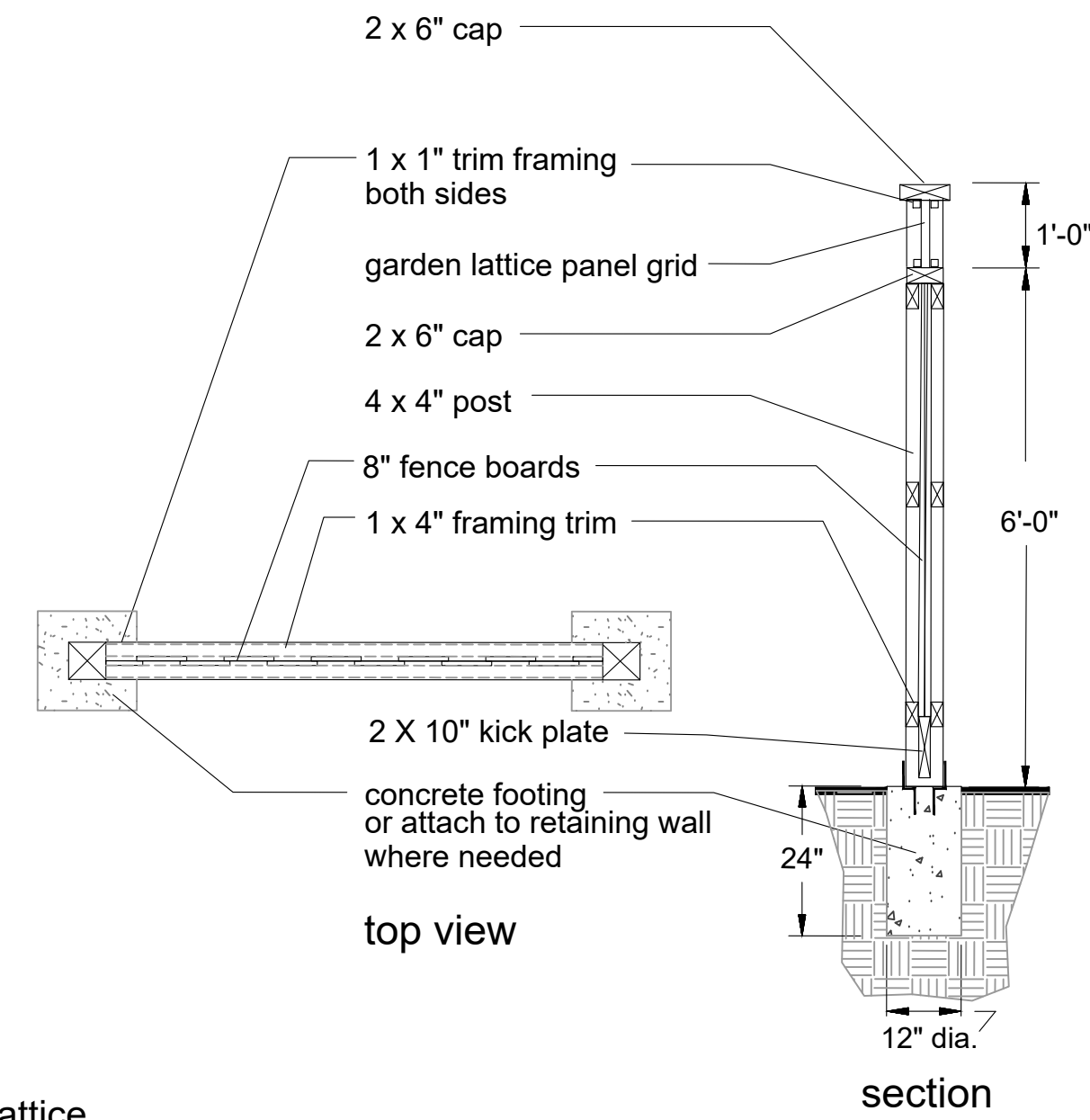
FENCING & SITE PLAN

JOB NO. 202310
SCALE as noted
DRAWN MA
DATE 11.8.2024
SHEET L-1.0





elevation



section

Board on Board Fence with Lattice
scale: 1/2 = 1' - 0"



7' Pre-Engineered Sound Wall

Sierra Profile Portola Style
Sherwin Williams wall color: Stone Lion SW 7507
Sherwin Williams cap color: Dover White SW 6385

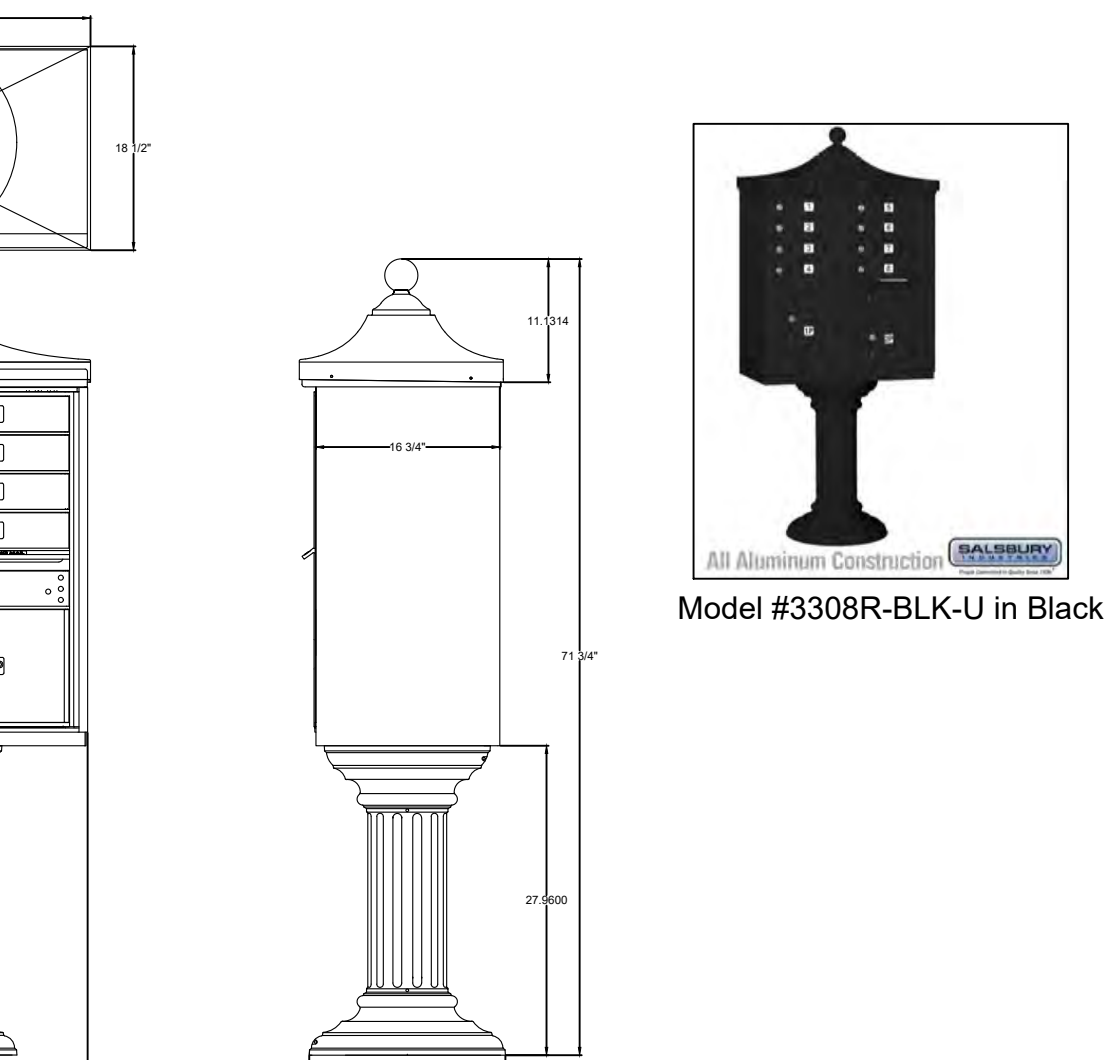
Dimensions: Sound Wall is 7' high by a minimum 4" wide
Sound Wall Cap has a 2" overhang
Columns are 12" x 16"

Type and finish: Sound Wall is a smooth concrete with a blown on textured finish

Colors: Sherwin Williams wall color: Stone Lion SW 7507
Sherwin Williams cap color: Dover White SW 6385



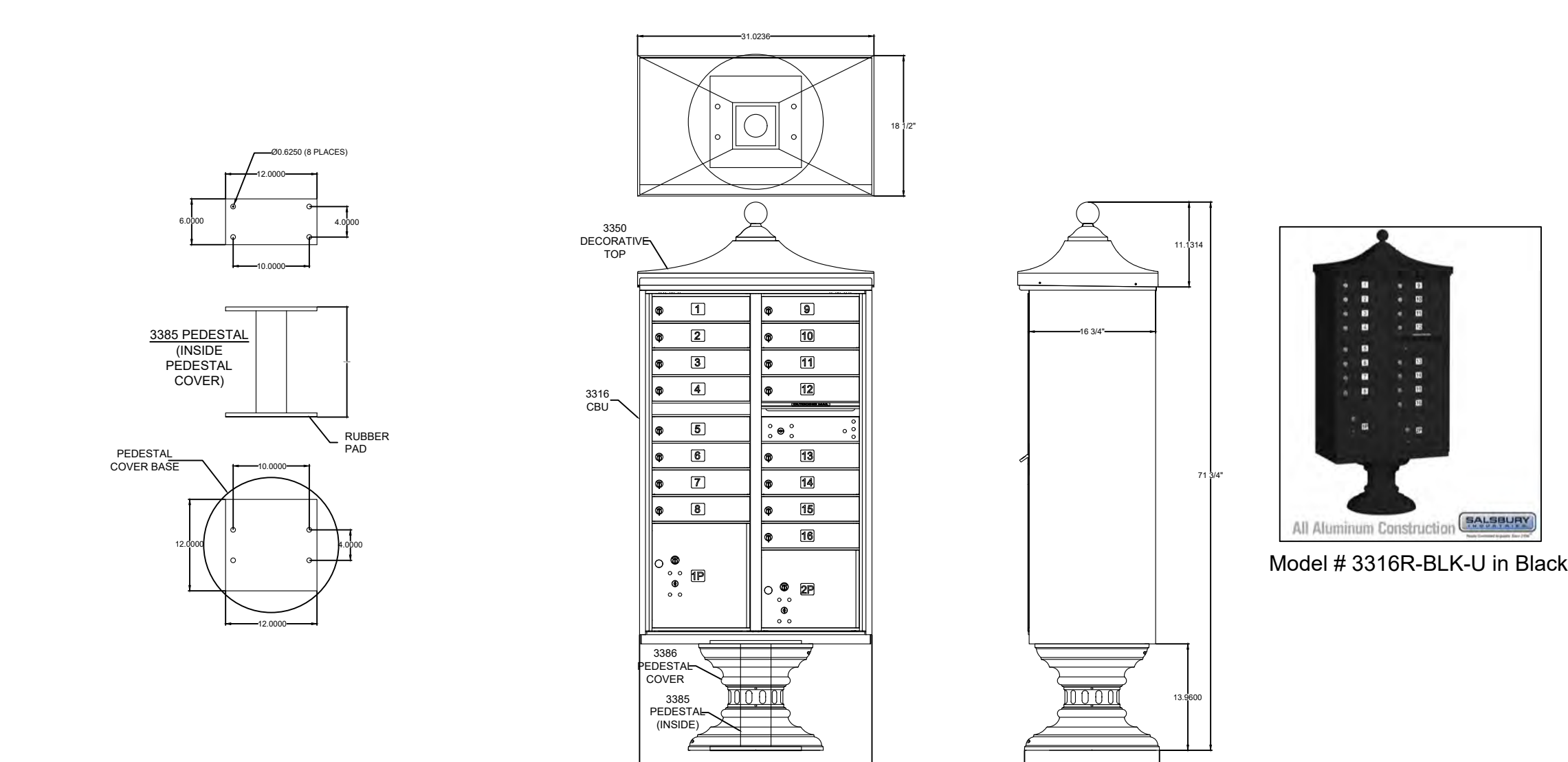
Manufactured by Oldcastle Infrastructure
www.oldcastleinfrastructure.com 888.965.3227
Nor Cal Rep Jim Felice 408.779.1000



Model #3308R-BLK-U in Black

	18300 Central Avenue Carson, CA 90746-4008 Phone: (800) 624-5299 Fax: (800) 624-5299	REGENCY CLUSTER BOX UNITS 3300R SERIES "F" CBUS AVAILABLE FOR USPS ACCESS OR PRIVATE ACCESS	(8) MAILBOXES (1) OUTGOING MAIL COMPARTMENT (2) PARCEL LOCKERS	3308R CAD_3308R
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8 Door Community Mailbox by Salsbury
not to scale

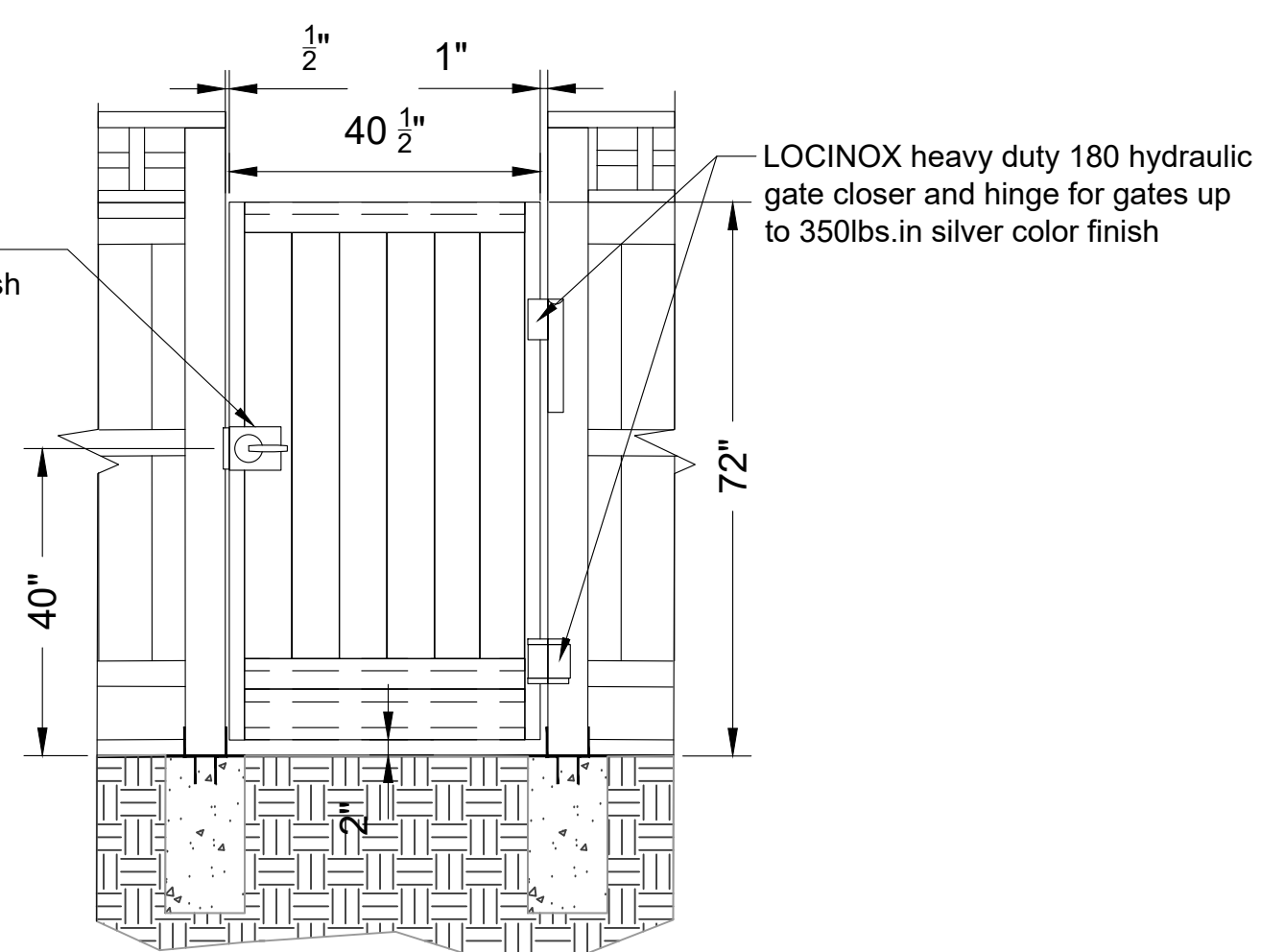


Model # 3316R-BLK-U in Black

	18300 Central Avenue Carson, CA 90746-4008 Phone: (800) 624-5299 Fax: (800) 624-5299	REGENCY CLUSTER BOX UNITS 3300R SERIES "F" CBUS AVAILABLE FOR USPS ACCESS OR PRIVATE ACCESS	(1) OUTGOING MAIL COMPARTMENT (2) PARCEL LOCKERS	3316R CAD_3316R
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16 Door Community Mailbox by Salsbury
not to scale

- NOTES FOR SOUND PROOF FENCING AND GATES**
As noted on plans, some sections of fencing are required to be sound proof. See fence plan on sheet L-1.0 for locations of sound proof fences and gates.
1. Wood fencing must have a minimum surface weight of 2.5 lbs. per sq. ft.
 2. Construction must be air-tight and the minimum surface weight is met.
 3. Use 1" fence boards with a 1.5" overlap.
 4. All connections with posts, toe kicks and building shells must be sealed air-tight.
 5. No openings are permitted between the barrier components and the ground.
 6. Astragals shall be installed over the hinge jamb gap and at the closure gap to prevent sound leakage.
 7. The gap under the gate shall be no higher than 1 inch.



Gate and Hardware Detail
scale: 1/2 = 1' - 0"

Lever designs and finishes

Athens (ATH) ² Mechanical Wire electrified Wireless electronic	Sparta (SPA) ^{1,2} Mechanical Wire electrified Wireless electronic
Rhodes (RHO) ¹ Mechanical Wire electrified Wireless electronic	Tubular (TLR) ^{1,2} Mechanical Wire electrified Wireless electronic
Omega (OME) ¹ Mechanical Wire electrified Wireless electronic	Latitude (LAT) Mechanical Wire electrified Wireless electronic
Broadway (BRW) Mechanical Wire electrified Wireless electronic	Longitude (LON) Mechanical Wire electrified Wireless electronic
Boardwalk (BWK) Mechanical Wire electrified Wireless electronic	

All levers comply with the Americans with Disabilities Act (ADA).
 1. Broadwalk, Longitude, Omega, Rhodes, Sparta and Tubular levers comply with California State code for return within 1/2" of door face.
 2. Athens, Rhodes, Sparta and Tubular levers support cylinders from other manufacturers, see cylinder section on page 58 for details.

Finish options	Bright brass	Satin brass	Satin bronze	Oil rubbed bronze	Satin nickel	Matte black	Bright chrome	Satin chrome	Antique brass	Antique copper	Antique iron	Antique lead	Antique nickel	Antique silver	Antique steel	Antique zinc
ANSI/BHMA number	605	606	612	613	619	622	625	626	627	628	629	630	631	632	633	634
US number	US3	US4	US10	US10B	US15	US19	US26	US26D	US11	US12	US13	US14	US15	US16	US17	US18
Mechanical	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
Wire electrified	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
Wireless electronic	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■

Product information and specifications contained in this catalog are subject to change without notice. Please consult the factory.

Schlage ANSI F82 ND50PD Entrance/office lock • Push-button locking. • Push-button locks outside lever until it is unlocked with key or by turning inside lever. • Inside lever always free for immediate egress.	Schlage ANSI F109 ND53PD Entrance lock • Turn/push-button locking. Pushing and turning the button locks the outside lever, requiring use of a key until the button is manually unlocked. • Inside lever always free for immediate egress.	Schlage ANSI F88 ND60PD Vestibule lock • Latch retracted by key from outside when outside lever is locked by key in inside lever. • Inside lever always free for immediate egress.	Schlage ANSI F91 ND66PD Store lock • Key in either lever locks or unlocks both levers.
Schlage ANSI F84 ND70PD Classroom lock • Outside lever locked and unlocked by key. • Inside lever always free for immediate egress.	Schlage ANSI F90 ND73PD Corridor lock • Locked or unlocked by key from outside. • Push-button locking from inside. • Turn inside lever or close door to release button. • When outside lever is locked by key it can only be unlocked by key. • Inside lever always free for immediate egress.	Schlage ANSI F85 ND75PD Classroom security lock • Key in either lever locks or unlocks outside lever. • Inside lever always free for immediate egress.	Schlage ANSI F86 ND80PD Storeroom lock • Outside lever is fixed. • Entrance by key only. • Inside lever always free for immediate egress.

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MOUNTAIN VIEW, CALIFORNIA

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REVISIONS

HARDSCAPE DETAILS
CUT SHEETS, &
ELEVATIONS

JOB NO. 202310
 SCALE as noted
 DRAWN MA SHEET
 DATE 11.8.2024 L-1.1

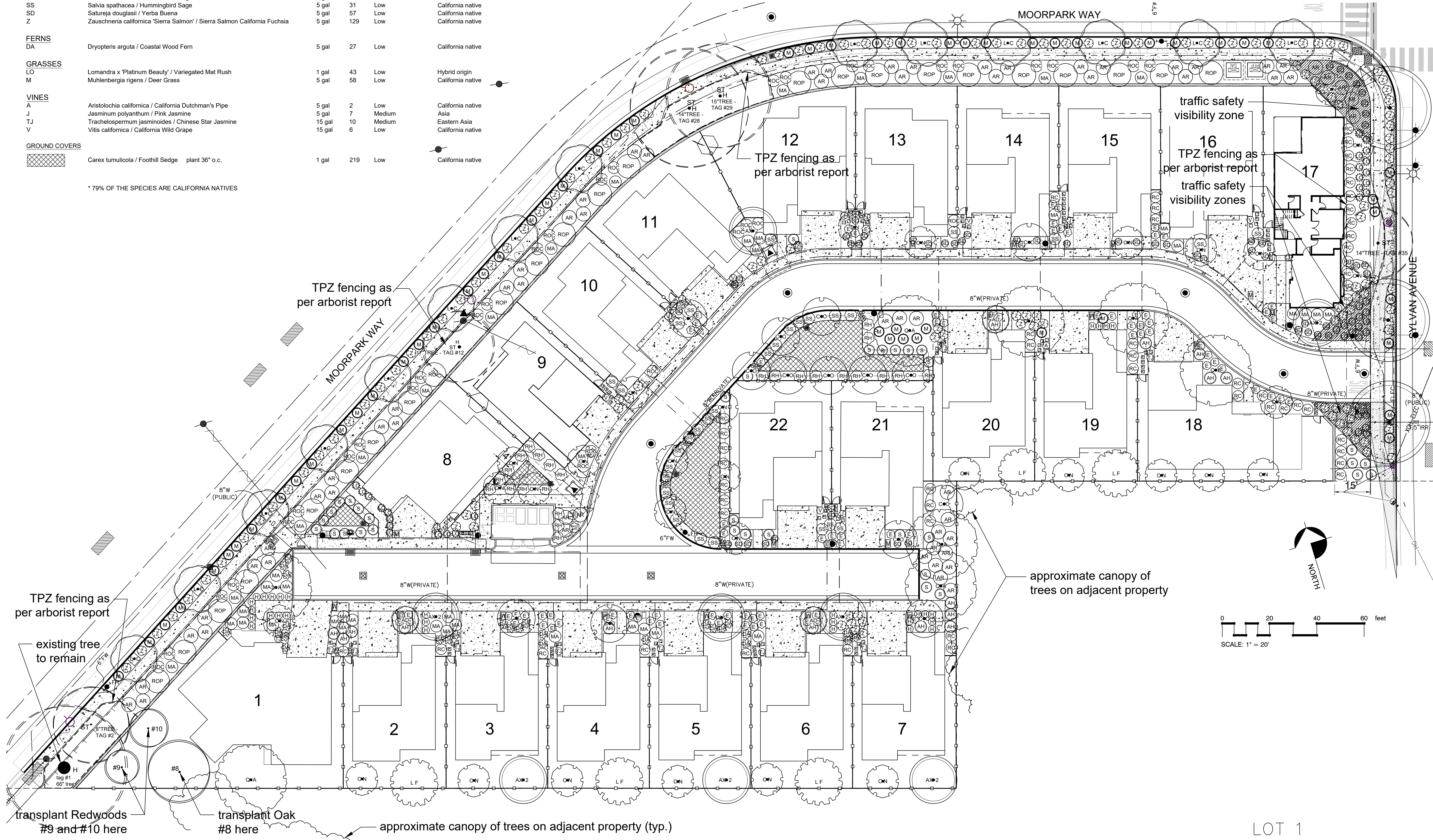
PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	PLANT ORIGIN*
TREES					
Note: All trees listed below are NEW.					
AX2	Arbutus x 'Marina' / Arbutus Standard	24" box	8	Low	Hybrid with Manzanita menziesii
CO	Cercis occidentalis / Western Redbud	24" box	14	Low	California native
CW	Cornus nuttallii / Pacific Dogwood	24" box	31	Medium	California native
LC (Street Tree)	Lophostemon confertus / Brisbane Box	24" box	14	Medium	Australia (City's suggested street tree for Moorpark Way)
LF	Lyonothamnus floribundus asplenifolius / Catalina Ironwood	24" box	5	Low	California native
PC (Street Tree)	Pistacia chinensis / Chinese Pistache	24" box	3	Low	Asia (City's suggested street tree for Sylvan Avenue)
QA	Quercus agrifolia / Coast Live Oak	24" box	8	Low	California native
SHRUBS					
AH	Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Vine Hill Manzanita	5 gal	15	Low	California native
AD	Arctostaphylos manzanita 'Dr. Hurd' / Dr. Hurd Common Manzanita (standard)	5 gal	3	Low	California native
AR	Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita	5 gal	64	Medium	California native
E	Eriogonum arborescens / Santa Cruz Island Buckwheat	5 gal	85	Low	California native
H	Heuchera sanguinea / Coral Bells	1 gal	29	Medium	California native
MA	Mimulus aurantiacus / Sticky Monkeyflower	5 gal	44	Low	California native
RH	Rhamnus californica / California Coffee Berry	5 gal	25	Low	California native
RC	Rhamnus californica 'Eve Case' / California Coffeeberry	5 gal	52	Low	California native
ROP	Romneya coulteri / Matilija Poppy	5 gal	24	Low	California native
ROC	Rosa californica / California Wild Rose	5 gal	33	Low	California native
S	Salvia leucantha / Mexican Bush Sage	5 gal	34	Low	California native
SS	Salvia spathacea / Hummingbird Sage	5 gal	31	Low	California native
SD	Satureja douglasii / Yerba Buena	5 gal	57	Low	California native
Z	Zauschneria californica 'Sierra Salmon' / Sierra Salmon California Fuchsia	5 gal	129	Low	California native
FERNS					
DA	Dryopteris arguta / Coastal Wood Fern	5 gal	27	Low	California native
GRASSES					
LO	Lomandra x 'Platinum Beauty' / Variegated Mat Rush	1 gal	43	Low	Hybrid origin
M	Muhlenbergia rigens / Deer Grass	5 gal	58	Low	California native
VINES					
A	Aristolochia californica / California Dutchman's Pipe	5 gal	2	Low	California native
J	Jasminum polyanthum / Pink Jasmine	5 gal	7	Medium	Asia
TJ	Trachelospermum jasminoides / Chinese Star Jasmine	15 gal	10	Medium	Eastern Asia
V	Vitis californica / California Wild Grape	15 gal	6	Low	California native
GROUND COVERS					
	Carex tumulicola / Foothill Sedge plant 36" o.c.	1 gal	219	Low	California native

* 79% OF THE SPECIES ARE CALIFORNIA NATIVES

Total Landscape Area is 24,135 S.F.

Note:
Planting or fencing within the safety triangles may not exceed 30" in height with the exception of trees branching above 6'.



MOORPARK SLYVAN INVESTORS, LLC
 MOORPARK WAY
 MOUNTAIN VIEW, CALIFORNIA

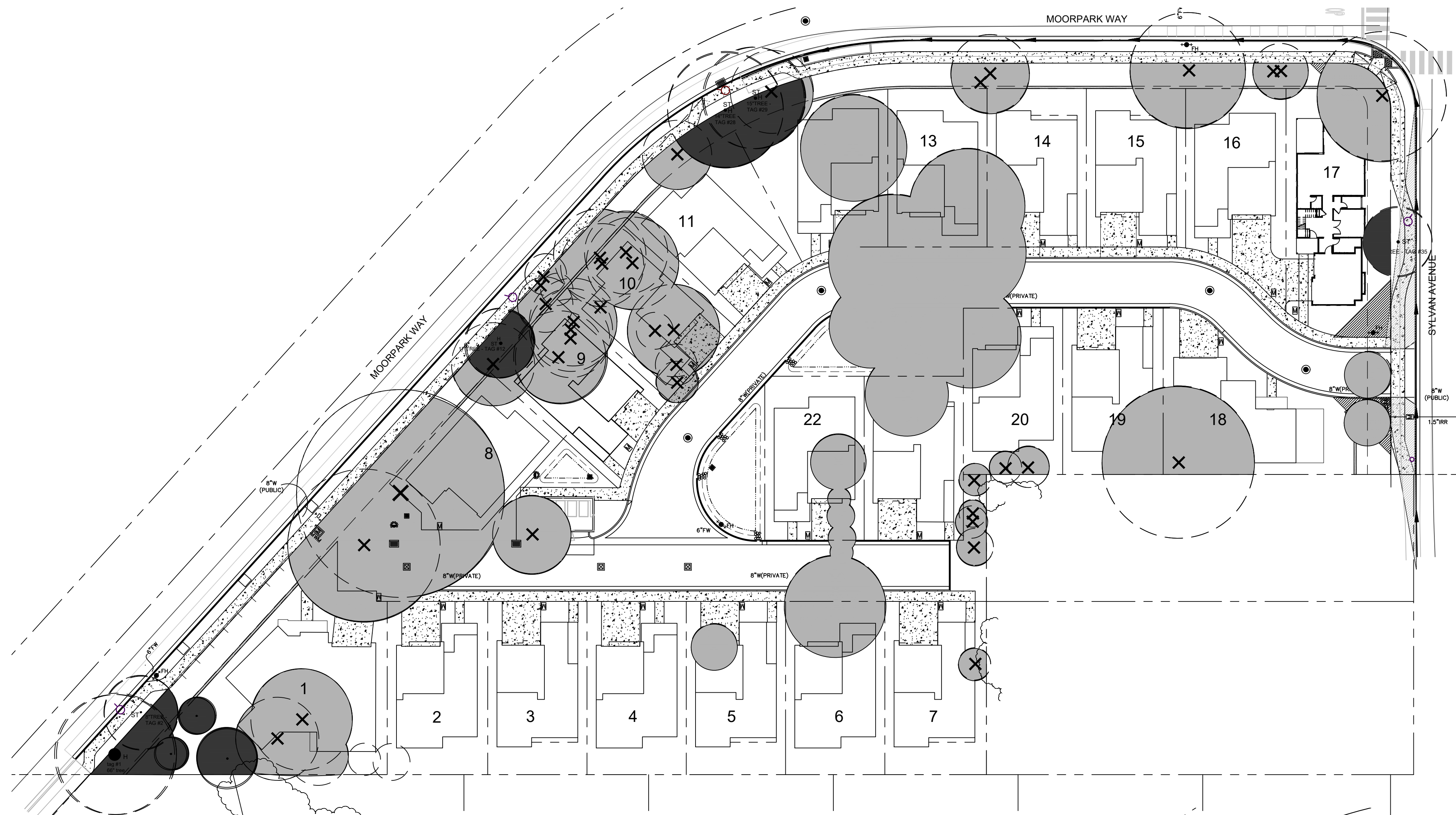
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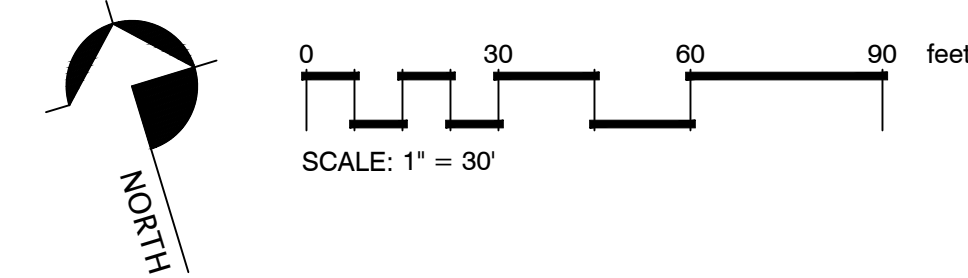
PLANTING PLAN

JOB NO. 202310
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 DRAWN MA SHEET
 DATE 11.8.2024 L-2.0

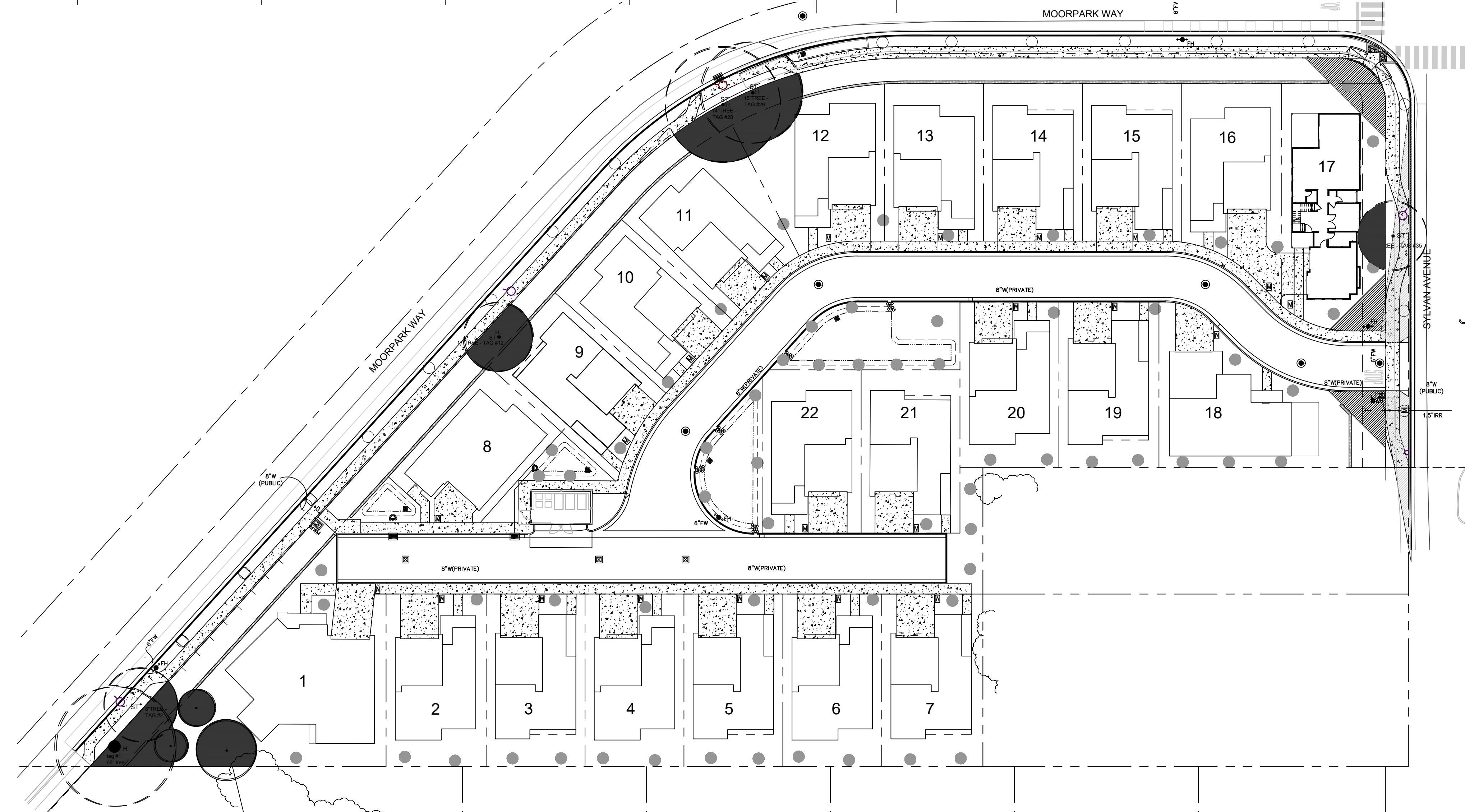
LOT 1



TREE CANOPY PRIOR TO CONSTRUCTION
 SEE SHEET L2.4 FOR CALCULATIONS
 SEE SHEET T-1.0 and T1.1 FOR EXISTING TREE DATA



TREE CANOPY DAY ONE
 SEE SHEET L2.4 FOR CALCULATIONS



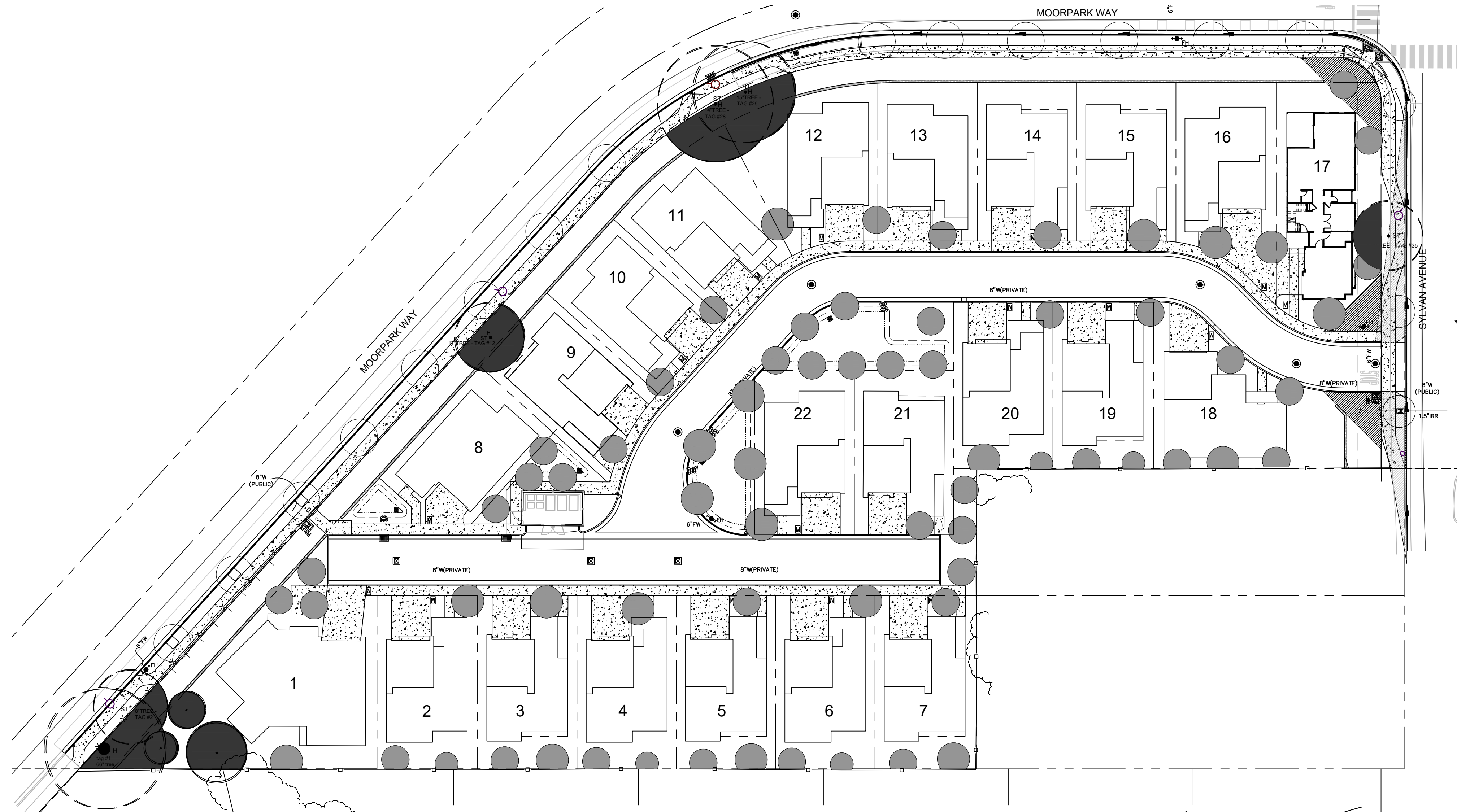
MOORPARK SYLVAN INVESTORS, LLC
MOORPARK WAY
MOUNTAIN VIEW, CALIFORNIA

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REVISIONS

TREE CANOPY GROWTH PROJECTIONS

JOB NO. 202310
SCALE 1" = 30' - 0"
DRAWN MA **SHEET**
DATE 11.8.2024 **L-2.2**



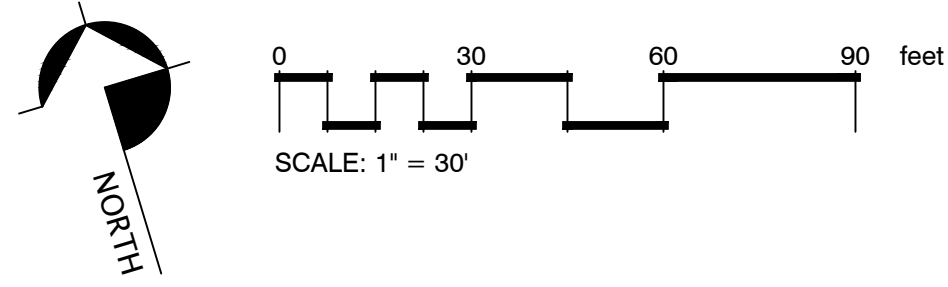
TREE CANOPY YEAR 5
SEE SHEET L2.4 FOR CALCULATIONS



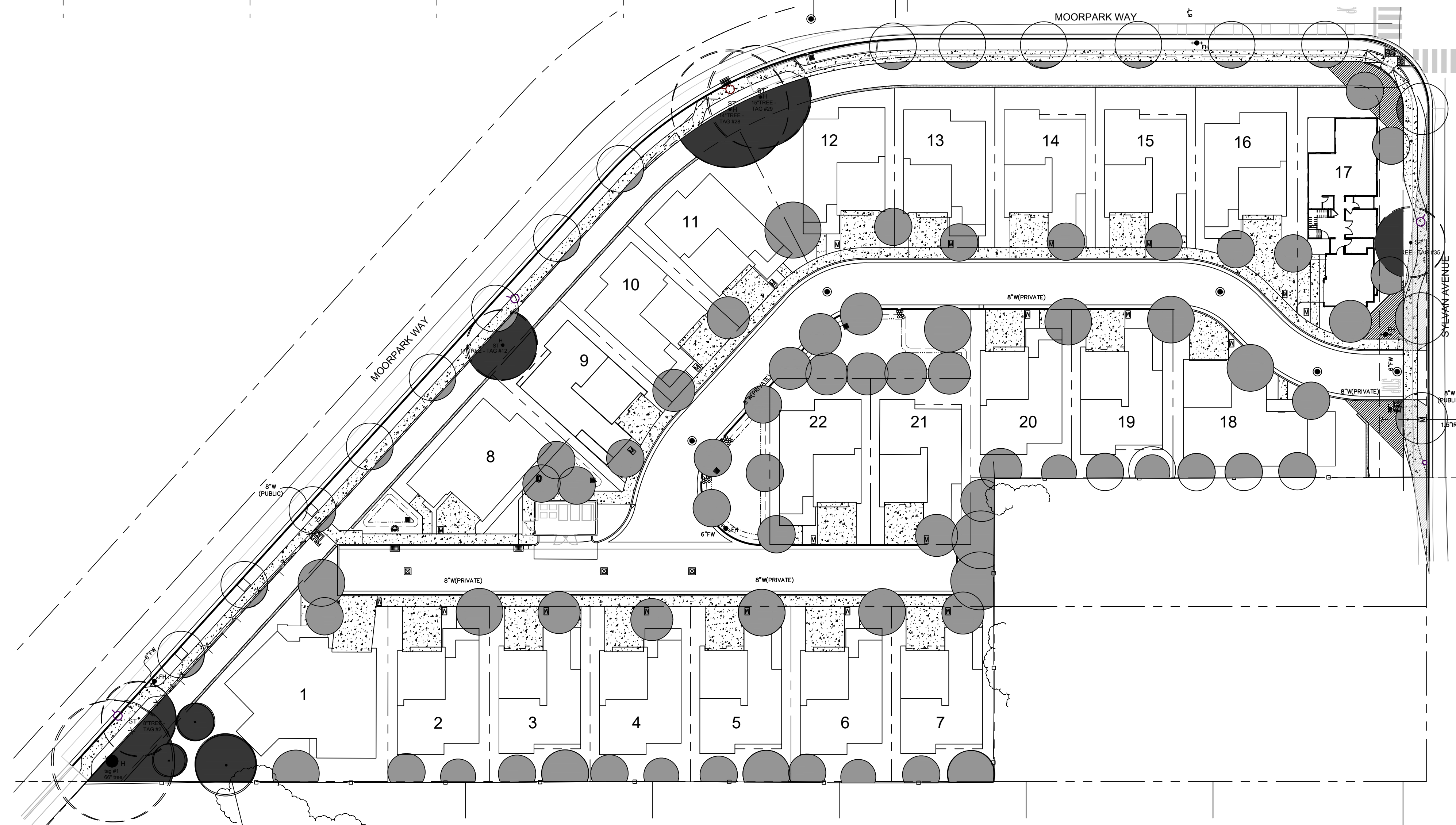
Michael Arnone + Associates
LANDSCAPE ARCHITECTURE

mike@arnonelandscape.com 831.462.4988

MOORPARK SLYVAN INVESTORS, LLC
MOORPARK WAY
MOUNTAIN VIEW, CALIFORNIA



TREE CANOPY YEAR 10
SEE SHEET L2.4 FOR CALCULATIONS



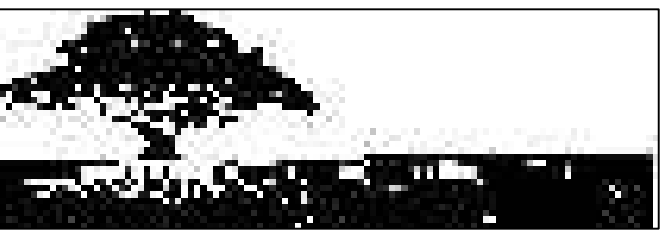
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REVISIONS

TREE CANOPY GROWTH PROJECTIONS

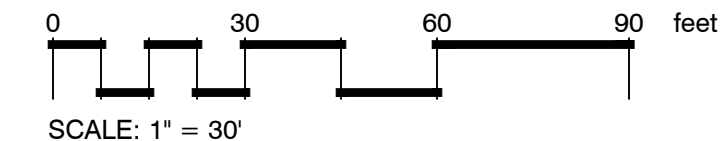
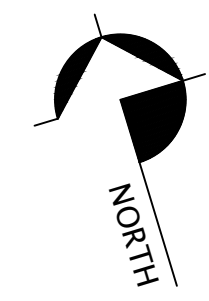
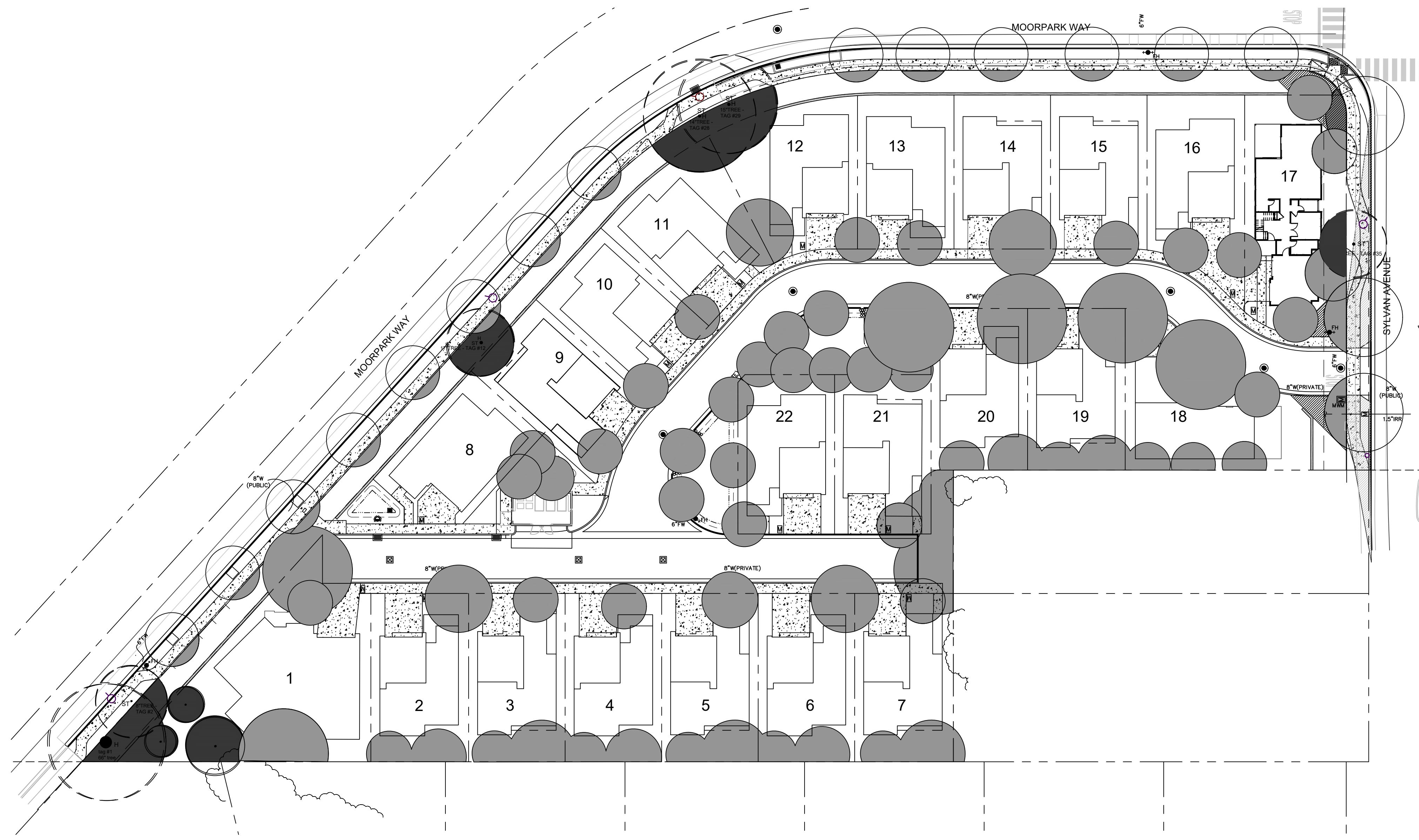
JOB NO. 202310
SCALE 1" = 30' - 0"
DRAWN MA **SHEET**
DATE 11.8.2024 **L-2.3**



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TREE CANOPY AT MATURITY



MOORPARK SLYVAN INVESTORS, LLC
MOORPARK WAY
MOUNTAIN VIEW, CALIFORNIA

MOORPARK WAY TREE CANOPY COVERAGE		
s. f. of existing tree canopy 32,308	total square footage of parcel 106,722 s.f. (2.45 acres)	% of existing tree canopy cover 30.3%
s. f. of tree canopy @ planting 4,436	106,722 s.f. (2.45 acres)	% of tree canopy cover at time of planting 4.2%
s. f. of tree canopy @ 5 years 11,250	106,722 s.f. (2.45 acres)	% of tree canopy cover at 5 year growth 10.5%
s. f. of tree canopy @ 10 years 20,679	106,722 s.f. (2.45 acres)	% of tree canopy cover at 10 year growth 19.4%
s. f. of tree canopy @ maturity 36,295	106,722 s.f. (2.45 acres)	% of tree canopy cover at maturity 34.0%

MOORPARK WAY TREE CANOPY PROJECTIONS

BOTANICAL NAME / COMMON NAME	CONT	GROWTH RATE INCHES/YEAR	INITIAL SIZE @ PLANTING H x W	SIZE @ 5 YEARS H x W	SIZE @ 10 YEARS H x W	SIZE AT MATURITY H x W
Arbutus 'Marina' / Marina Strawberry Tree	24" box	24"	9-10' x 4-5'	12' x 14'	16' x 24'	25 x 30'
Cercis occidentalis / Western Redbud	24" box	24"	9-10' x 4-5'	12' x 14'	14 x 18'	20 x 20'
Cornus nutalii / Pacific Dogwood	24" box	12 - 24"	8-9' x 4-5'	12' x 14'	16' x 16'	20' x 20'
Lophostemon confertus / Brisbane Box	24" box	24 - 36"	10-12' x 4-5'	16' x 18'	20' x 22'	20-30' x 20-25'
Lyonothamnus floribundus aspleniifolius / Catalina Ironwood	24" box	24"	8-9' x 4-5'	18' x 12'	28' x 20'	40' x 25'
Pistacia chinensis 'Red Push' / Red Push Chinese Pistache	24" box	12 - 24"	9-11' x 4-5'	18' x 14'	28' x 24'	30-40' x 30-40'
Quercus agrifolia / Coast Live Oak	24" box	12-24"	8-10' x 4-5'	14' x 13'	25' x 20'	60-80' x 40-50'

reference sources:
Urban Forest Ecosystems Institute www.selectree.org
Valley Crest Tree Company Wholesale Catalog specifications
'Sunset Western Garden Book' and 'Plants Landscapes for Summer-Dry Climates' (EBMUD)

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REVISIONS

TREE CANOPY GROWTH PROJECTIONS

JOB NO. 202310
SCALE 1" = 30' - 0"
DRAWN MA **SHEET**
DATE 11.8.2024 **L-2.4**

MAWA

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Messages and Warnings

Click on the blue cell on right to Pick City Name
ETo of City from Appendix A

San Jose	Name of City
45.30ETo (inches/year)	
1891Overhead Landscape Area (ft2)	
22244Drip Landscape Area (ft2)	
0SLA (ft2)	
Total Landscape Area	24,135.00
Results:	
(ETo) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]	372,873.68Gallons
49,846.13Cubic Feet	
498.46HCF	
1.14Acre-feet	
0.37Millions of Gallons	
MAWA calculation incorporating Effective Precipitation (Optional) Precipitation (Optional)	
ETo of City from Appendix A	45.30ETo (inches/year)
Total Landscape Area	24,135.00LA (ft2)
Special Landscape Area	0.00SLA (ft2)

Enter Effective Precipitation

Results:
MAWA = [(ETo - Eppt) x (0.62)] x [(0.55 x LA) + ((1.0 - 0.55) x SLA)]

Total annual precipitation (inches/year)	0.00Eppt (in/yr)(25% of total annual precipitation)
Gallons	
Cubic Feet	
HCF	
Acre-feet	
Millions of Gallons	

ETWU

Estimated Total Water Use

Equation: ETWU = ETo x 0.62 x (((PF x HA)/IE) + SLA); Considering precipitation ETWA = (ETo-Eppt) x 0.62 x (((PF x HA)/IE) + SLA)

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

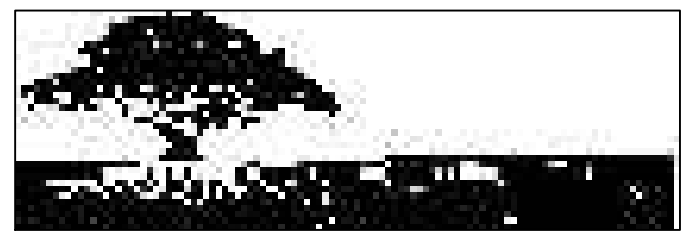
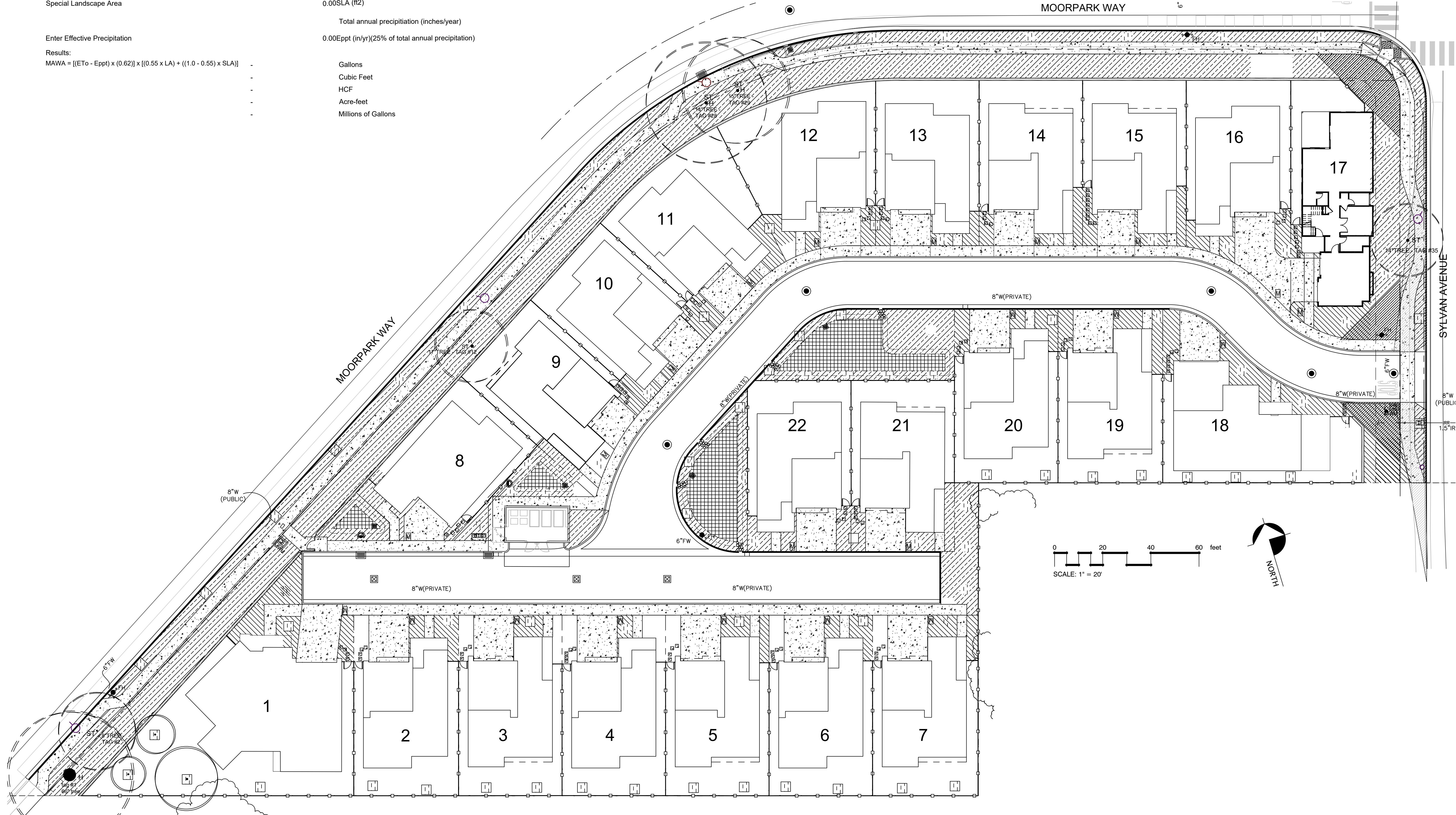
Plant Water Use Type	Plant Factor	Hydrozone Area (HA) (ft2) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft2))/IE	
Very Low	0 - 0.1				
Low	0.2 - 0.3				
Medium	0.4 - 0.6				
High	0.7 - 1.0				
SLA	1				
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.					
Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft2) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft2))/IE
Zone 1 Drip	Low	0.30	15,477	0.81	5,732
Zone 2 Drip	Medium	0.50	5,439	0.81	3,357
Zone 3 Overhead Spray	Low	0.30	5,891	0.75	756
Zone 4 Drip	Medium	0.50	1,328	0.81	820
SLA			0		10,666
Sum			24,135		0

Results

MAWA =	372,874	ETWU =	299,602Gallons 40,051Cubic Feet 401HCF 1Acre-feet 0Millions of Gallons	ETWU complies with MAWA
--------	---------	--------	--	-------------------------

HYDROZONE MAP LEGEND

SYMBOL	DESCRIPTION	QTY
	DRIP LOW LOW WATER USE	15,477 s.f.
	DRIP MODERATE MODERATE WATER USE	5,439 s.f.
	RETENTION BASINS SPRAY LOW WATER USE	1,891 s.f.
	TREE BUBBLER MIXED WATER USE	1,328 s.f.
	TOTAL LANDSCAPE AREA	24,135 s.f.



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MOORPARK SLYVAN INVESTORS, LLC
MOORPARK WAY
MOUNTAIN VIEW, CALIFORNIA

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REVISIONS

HYDROZONE MAP & WATER USE CALCULATIONS

JOB NO. 202310
SCALE 1" = 20' - 0"
DRAWN MA **SHEET**
DATE 11.8.2024 **L-3.0**

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter MP1000 PROS-06-PRS30-CV-F Turf Rotator, 6in. pop-up with check valve, foguard, pressure regulated to 30 psi, MP Rotator nozzle on PRS30 body, M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	3	30
	Hunter MP2000 PROS-06-PRS30-CV-F Turf Rotator, 6in. pop-up with factory installed check valve, foguard, pressure regulated to 30 psi, MP Rotator nozzle on PRS30 body, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	11	30
	Hunter MP800SR PROS-06-PRS30-CV-F Turf Rotator, 6in. pop-up with check valve, foguard, pressure regulated to 30 psi, MP Rotator nozzle on PRS30 body, AD=Orange and Gray (arc 90-210), 360=Line Green and Gray (arc 360)	2	30
	Hunter MP815 PROS-06-PRS30-CV-F Turf Rotator, 6in. pop-up with check valve, foguard, pressure regulated to 30 psi, MP Rotator nozzle on PRS30 body, M=Maroon and Gray adj arc 90 to 210, L=Light Blue and Gray 210 to 270 arc, O=Olive and Gray 360 arc.	6	30
	Hunter PROS-PRS30-04-CV-PCN Flood Bubbler, 4in. pop-up, factory installed drain check valve.	130	25

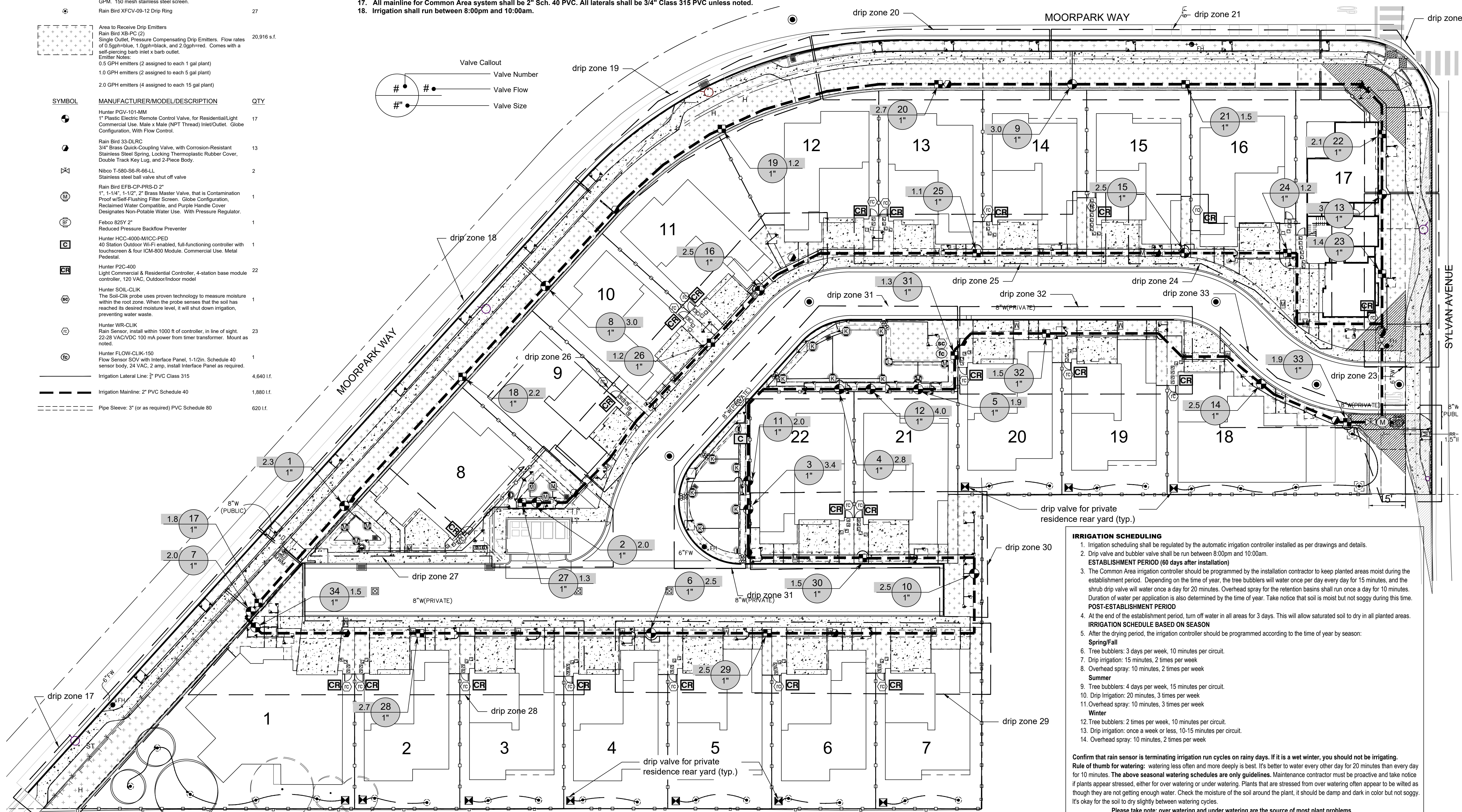
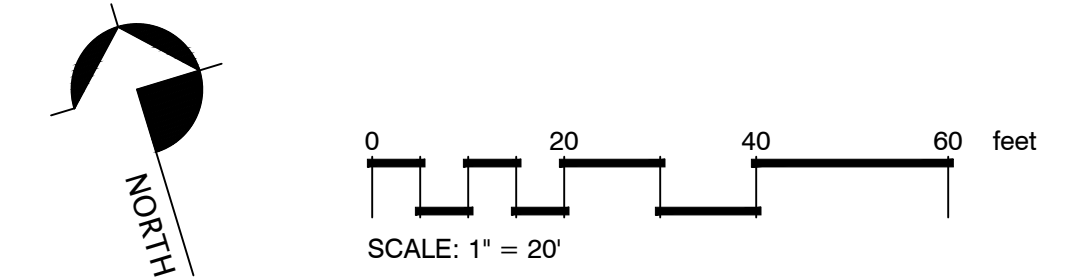
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter ACZ-075-25 Drip control kit featuring a 3/4in. PGV-ASV valve, with 3/4in. HY075 filter system, and 25psi pressure regulated. Flow range: 0.5 GPM to 15 GPM. With 150 mesh stainless steel screen.	10
	Hunter ICZ-101-25 Drip Control Zone Kit, 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	17
	Rain Bird XFCV-09-12 Drip Ring	27

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XB-PC (2) Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph-blue, 1.0gph-black, and 2.0gph-red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 3 gal plant) 2.0 GPH emitters (4 assigned to each 15 gal plant)	20,916 s.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter PGV-101-MM 1" Plastic Electric Remote Control Valve, for Residential/Light Commercial Use. Male x Male (NPT Thread) Inlet/Outlet. Globe Configuration, With Flow Control.	17
	Rain Bird 33-DLRC 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.	13
	Nibco T-580-S6-R-66-LL Stainless steel ball valve shut off valve	2
	Rain Bird EFB-CP-PRS-D 2" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof and Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use. With Pressure Regulator.	1
	Febco 825Y 2" Reduced Pressure Backflow Preventer	1
	Hunter HCC-4000-MHCC-PED 40 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen and four ICM-800 Module. Commercial Use. Metal Pedestal.	1
	Hunter P2C-400 Light Commercial & Residential Controller, 4-station base module controller, 120 VAC, Outdoor/Indoor model	22
	Hunter SOIL-CLIK The Soil-Clk probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.	1
	Hunter WR-CLIK Rain Sensor, install within 1000 ft of controller, in line of sight. 22-28 VAC/VDC 100 mA power from timer transformer. Mount as noted.	23
	Hunter FLOW-CLIK-150 Flow Sensor SOV with Interface Panel, 1-1/2in. Schedule 40 sensor body, 24 VAC, 2 amp, install Interface Panel as required.	1
	Irrigation Lateral Line: 2" PVC Class 315	4,640 l.f.
	Irrigation Mainline: 2" PVC Schedule 40	1,880 l.f.
	Pipe Sleeve: 3" (or as required) PVC Schedule 80	620 l.f.

IRRIGATION NOTES

- Contractor shall notify U.S.A. (Underground Service Alert) at 811, prior to start of any excavation or trenching.
- Contractor shall review all plans and documents pertaining to the project prior to the start of work to coordinate work with other trades. Contractor shall install irrigation system in accordance with all local codes and ordinances.
- Point of connection for the Common Area irrigation shall be taken from the new dedicated irrigation meter as shown. Verify location of new meter in field prior to start of work. Contractor shall connect to meter and install the back flow device, master valve, manual shutoff valves, mainline, lateral lines, remote control valves, drip valve assemblies, quick coupler valves, pop up spray heads, tree bubblers and drip tubing as shown.
- Contractor shall install manual shutoff valves at locations shown for maintenance and repair. Points of connection for the residential rear yard irrigation shall be taken from the service line to each home. Contractor shall tee off service line and run a 2" Class 300 PVC line to the back yard and install the Anti-siphon drip valve assembly for the homes that have trees planted in the rear yards.
- Bubbler valves have been designed to operate at a maximum of 10 gallons per minute at 25 p. s. i. Overhead spray valves for the bio-retention basins have been designed to operate at a maximum of 10 gallons per minute at 30 p. s. i. Drip valves have been designed to operate at a maximum of 5 gallons per minute at 20 p. s. i. Irrigation contractor shall verify a static pressure of at least 75 p.s.i. at the point of connection prior to the installation of the irrigation system. Contractor shall read static pressure at point of connection either system, contractor shall notify landscape architect and request review of design. In line pressure regulators or booster pumps may be required if static pressure is above or below the required dynamic pressure. Extra stations are available on all of the controllers if needed.
- All irrigation emission devices must meet the requirements set in the American National Standards Institute (ANSI) standard, American Society of Agricultural and Biological Engineers/International Code Council's (ASABE/ICC) 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard."
- Irrigation Contractor shall install a pedestal mount controller to be located near the fence at the approximate location shown or as determined by the contractor supplying the electrical power source. Each residential unit shall have a 4-Station controller installed inside the garage as shown on plans. Locate controller at power source and provide sleeving for wires through wall to (future) backyard valves.
- All electrical connections for the controller shall be installed by a licensed electrical contractor. All work shall comply with the most current standards and codes at the time of installation.
- The Wireless Solar Sync Rain Sensor shall be mounted as per manufacturer's instructions within 100' of the controller. A suggested location is a joist on the common area arbor. The Soil Sensor shall be installed as per manufacturer's instructions near the master valve as shown on plans.
- Irrigation design is diagrammatic. Mainline, valves, laterals and other irrigation equipment may be shown outside of planting beds for graphic clarity. All irrigation equipment shall be located in adjacent planting beds.
- Irrigation pipe depths: Mainlines under paving shall have 24" cover over pipes. Lateral lines under paving shall have 18" cover over pipes. Mainlines in planting beds shall have 12" of cover over pipes. Laterals in planting beds shall have 12" cover over pipes.
- Sleeves shall be located as per plan and as needed to reach all planting areas to be irrigated. Irrigation contractor shall coordinate placement of all irrigation sleeves with general contractor and concrete sub contractor to be sure all areas will be accessible for irrigation lines and drip tubing.
- Lateral lines (non pressure lines) sizing guidelines shall be as follows: 3/4" O.D. - 0 to 10 GPM; 1" O.D. - 11 to 15 GPM; 1 1/4" O.D. - 16 to 25 GPM; 1 1/2" O.D. 26 to 30 GPM; 2" O.D. 31 to 55 GPM. Refer to Irrigation Legend and plan sheets for further data.
- Control wires shall be 14 gauge UF direct burial wire. Use red for control wire and white for common wire. Contractor shall run one spare common and one spare control wire to each of the end valves. All low voltage wire connections shall be made only at remote control boxes. All connections shall be made with a 2' coil of wire for service. Connections shall be made with RainBird 'Snap-Tite' connectors or equal.
- Contractor shall determine the number and location of emitters based on the plant counts and actual plant locations in the field. Contractor shall adjust all drip distribution tubing to effectively irrigate all plant material.
- Contractor shall provide a minimum of one drip end cap assembly per drip zone for ease of flushing system.
- All mainline for Common Area system shall be 2" Sch. 40 PVC. All laterals shall be 3/4" Class 315 PVC unless noted.
- Irrigation shall run between 8:00pm and 10:00am.



© Michael Arnone Landscape Architect - 2024
 THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT, LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.
 OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS

NO.	DESCRIPTION

IRRIGATION SCHEDULING

- Irrigation scheduling shall be regulated by the automatic irrigation controller installed as per drawings and details.
- Drip valves and bubbler valves shall be run between 8:00pm and 10:00am.
- ESTABLISHMENT PERIOD (60 days after installation)**
 The Common Area irrigation controller should be programmed by the installation contractor to keep planted areas moist during the establishment period. Depending on the time of year, the tree bubblers will water once per day every day for 15 minutes, and the shrub drip valve will water once a day for 20 minutes. Overhead spray for the retention basins shall run once a day for 10 minutes. Duration of water per application is also determined by the time of year. Take notice that soil is moist but not soggy during this time.
- POST-ESTABLISHMENT PERIOD**
 At the end of the establishment period, turn off water in all areas for 3 days. This will allow saturated soil to dry in all planted areas.
- IRRIGATION SCHEDULE BASED ON SEASON**
- After the drying period, the irrigation controller should be programmed according to the time of year by season:
Spring/Fall
 6. Tree bubblers: 3 days per week, 10 minutes per circuit.
 7. Drip irrigation: 15 minutes, 2 times per week
 8. Overhead spray: 10 minutes, 2 times per week
Summer
 9. Tree bubblers: 4 days per week, 15 minutes per circuit.
 10. Drip irrigation: 20 minutes, 3 times per week
 11. Overhead spray: 10 minutes, 3 times per week
Winter
 12. Tree bubblers: 2 times per week, 10 minutes per circuit.
 13. Drip irrigation: once a week or less, 10-15 minutes per circuit.
 14. Overhead spray: 10 minutes, 2 times per week

Confirm that rain sensor is terminating irrigation run cycles on rainy days. If it is a wet winter, you should not be irrigating.
 Rule of thumb for watering: watering less often and more deeply is best. It's better to water every other day for 20 minutes than every day for 10 minutes. The above seasonal watering schedules are only guidelines. Maintenance contractor must be proactive and take notice if plants appear stressed, either for over watering or under watering. Plants that are stressed from over watering often appear to be wilted as though they are not getting enough water. Check the moisture of the soil around the plant, it should be damp and dark in color but not soggy. It's okay for the soil to dry slightly between watering cycles.
 Please take note: over watering and under watering are the source of most plant problems.

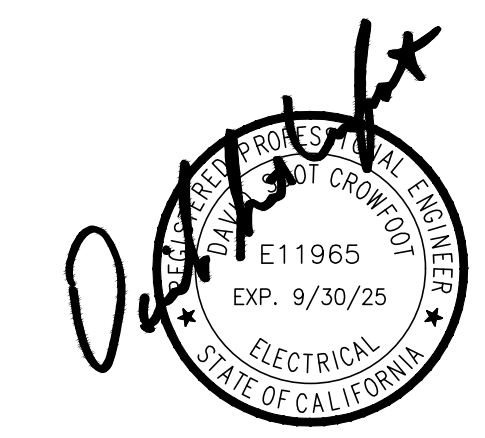
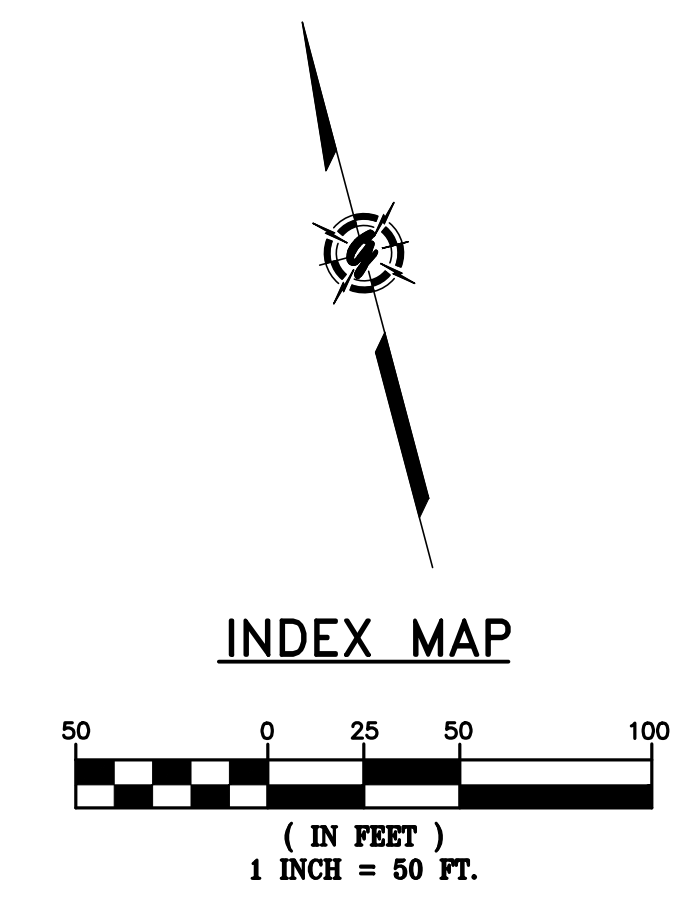
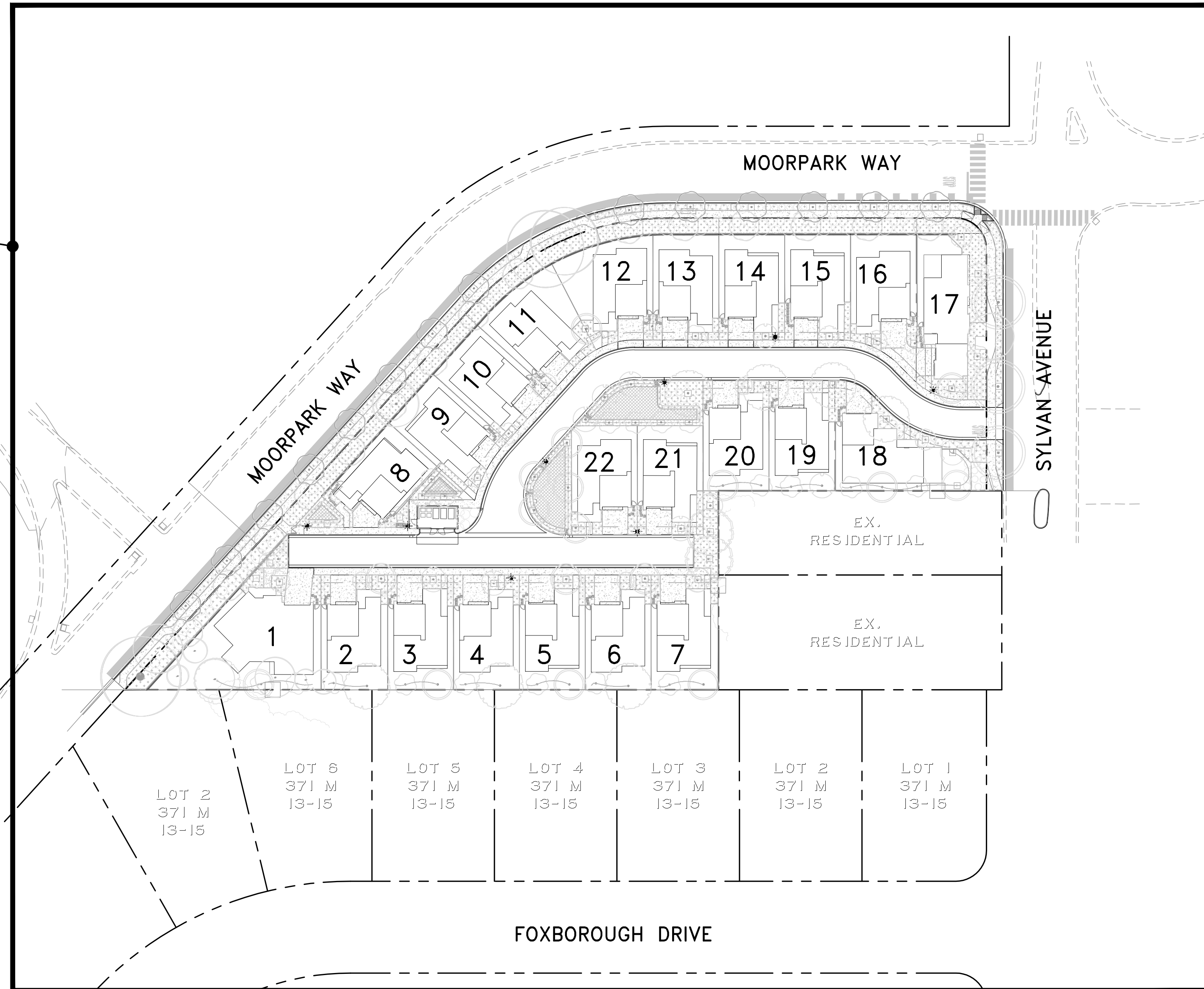
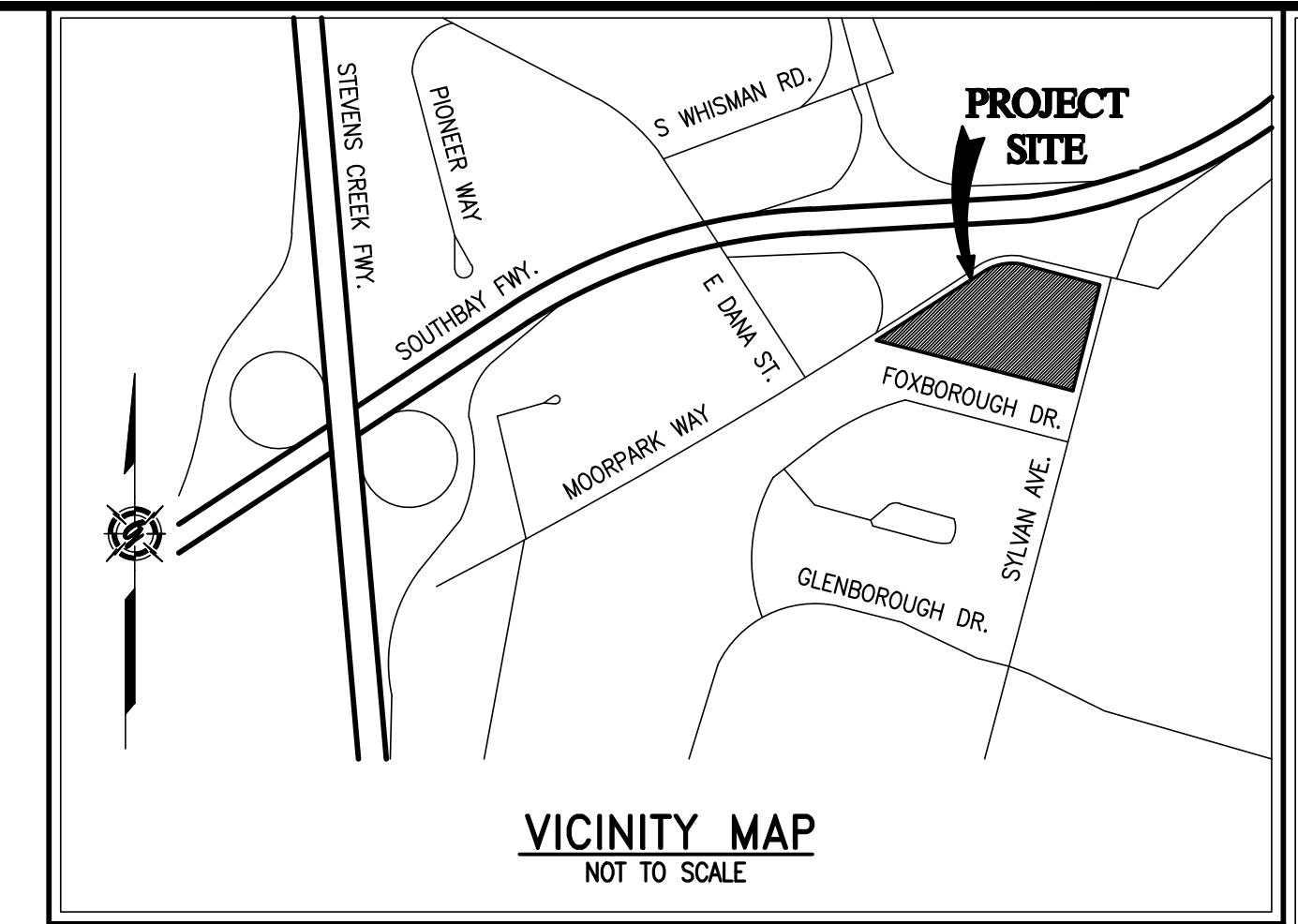
IRRIGATION PLAN & EQUIPMENT SCHEDULE

JOB NO. 202310
 SCALE 1" = 20' - 0"
 DRAWN MA SHEET
 DATE 11.8.2024 L-3.1

MOORPARK SLYVAN INVESTORS, LLC
 MOORPARK WAY
 MOUNTAIN VIEW, CALIFORNIA



DIVIDEND HOMES MOORPARK 317 MOORPARK WAY MOUNTAIN VIEW, CALIFORNIA



REVISIONS	DATE	DESCRIPTION

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE MALL RD., #545 L. PLEASANTON, CA 94688
925-467-1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT TITLE SHEET
 DIVIDEND HOMES
 MOORPARK
 317 MOORPARK WAY
 MOUNTAIN VIEW
 CALIFORNIA

PROJECT MANAGER:
 BRETT FULLINGTON
 DRAWN BY:
 MOHAMMED ALHUSSEINI
 CHECKED BY:
 DAVID CROWFOOT, P.E.
 SCALE:
 1"=50'
 JOB NUMBER:
 23-174
 DATE LAST MODIFIED:
 10-03-24
SHEET
INT1
 OF 2 SHEETS

PROJECT TEAM CONTACTS			
COMPANY:	CONTACT:	EMAIL:	PHONE:
DIVIDEND HOMES	JOSH VROTSOS	jvrotsos@dividendhomes.com	858-682-9062
BKF	PHONG KIET	pkiet@bkf.com	408-467-9173
GIACALONE DESIGN SERVICES, INC.	BRETT FULLINGTON	BrettF@DryUtilityDesign.com	925-467-1740

PG&E PM NO.
ELECTRIC:
RULE 15:
RULE 16:
RULE 20:
RELOC:
AFS:
GAS:
RULE 15:
RELOC:

LATEST FILES RECEIVED				
DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN	GDSI	-	-	
ELECTRIC DESIGN	GDSI	-	-	
TELEPHONE LAYOUT	-	-	-	
CATV LAYOUT	-	-	-	
STREET LIGHT PLANS - PUBLIC	-	-	-	
STREET LIGHT PLANS - PRIVATE	-	-	-	
IMPROVEMENT PLANS (ELECTRONIC FILE)	BKF	07-19-24	-	

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

PROJECT DESCRIPTION & SCOPE
<ul style="list-style-type: none"> NEW SERVICE TO (22) SFD (200A, 120/240V 1PH, 3W) APPLICANT DESIGN/APPLICANT INSTALL

SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2	JOINT TRENCH INTENT

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:

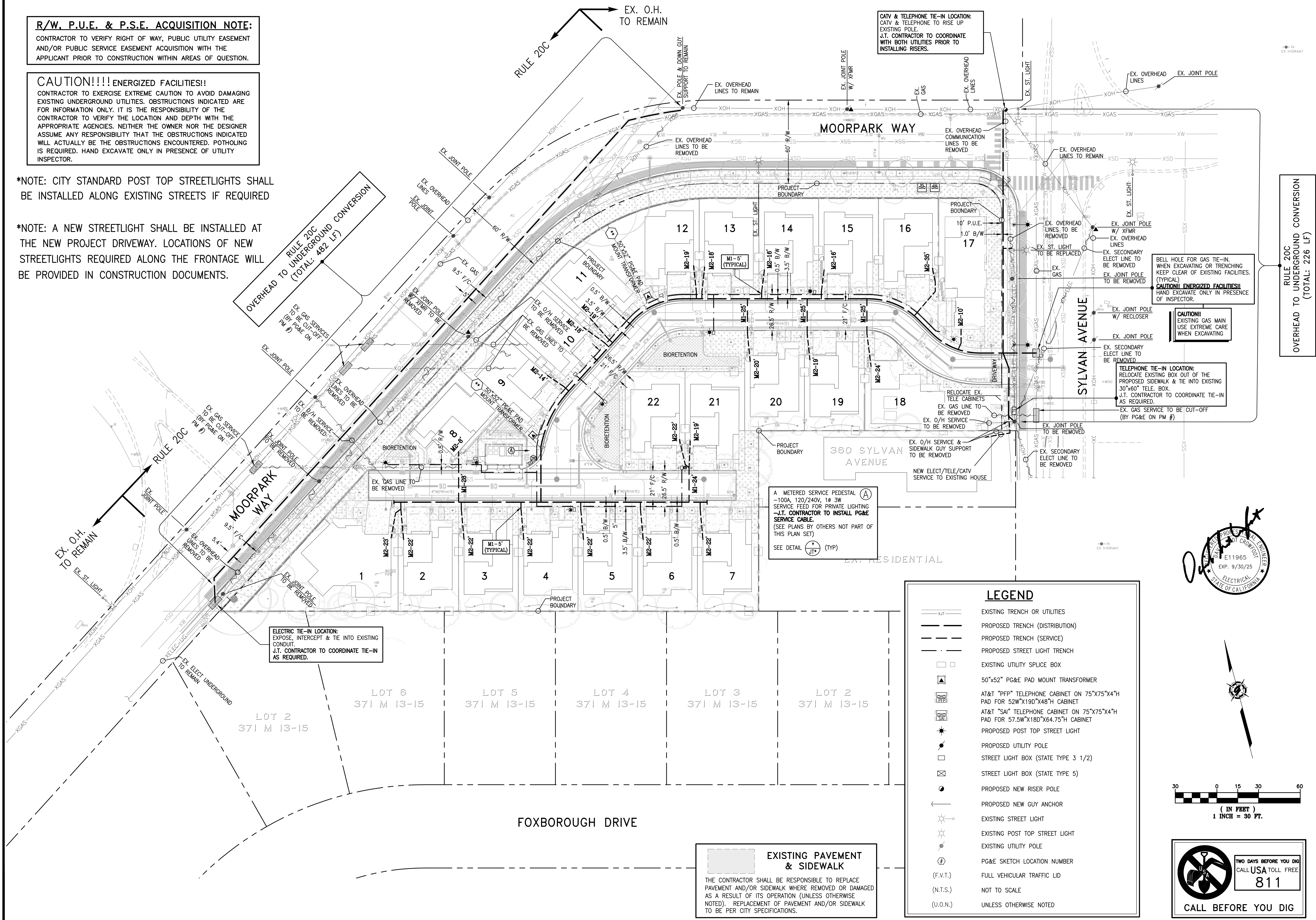
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

CAUTION!!! ENERGIZED FACILITIES!!

CONTRACTOR TO EXERCISE EXTREME CAUTION TO AVOID DAMAGING EXISTING UNDERGROUND UTILITIES. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE DESIGNER ASSUME ANY RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. POTHOLES IS REQUIRED. HAND EXCAVATE ONLY IN PRESENCE OF UTILITY INSPECTOR.

*NOTE: CITY STANDARD POST TOP STREETLIGHTS SHALL BE INSTALLED ALONG EXISTING STREETS IF REQUIRED

*NOTE: A NEW STREETLIGHT SHALL BE INSTALLED AT THE NEW PROJECT DRIVEWAY. LOCATIONS OF NEW STREETLIGHTS REQUIRED ALONG THE FRONTAGE WILL BE PROVIDED IN CONSTRUCTION DOCUMENTS.



OVERHEAD TO UNDERGROUND CONVERSION
RULE 20C
(TOTAL: 482 LF)

RULE 20C
OVERHEAD TO UNDERGROUND CONVERSION
(TOTAL: 226 LF)

ELECTRIC TIE-IN LOCATION:
 EXPOSE, INTERCEPT & TIE INTO EXISTING CONDUIT.
 J.T. CONTRACTOR TO COORDINATE TIE-INS AS REQUIRED.

CATV & TELEPHONE TIE-IN LOCATION:
 CATV & TELEPHONE TO RISE UP EXISTING POLE.
 J.T. CONTRACTOR TO COORDINATE WITH BOTH UTILITIES PRIOR TO INSTALLING RISERS.

BELL HOLE FOR GAS TIE-IN:
 WHEN EXCAVATING OR TRENCHING KEEP CLEAR OF EXISTING FACILITIES. (TYPICAL)
CAUTION! ENERGIZED FACILITIES!!
 HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

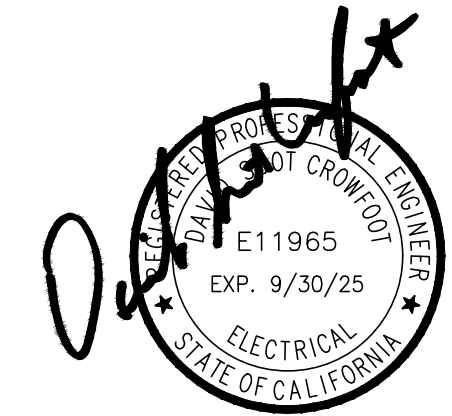
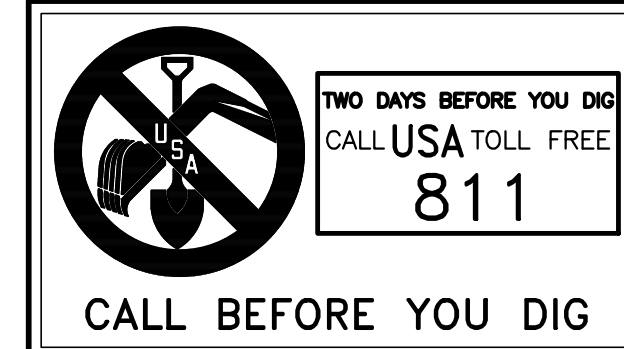
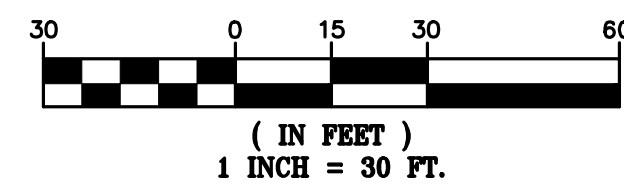
CAUTION!!
 EXISTING GAS MAIN USE EXTREME CARE WHEN EXCAVATING

TELEPHONE TIE-IN LOCATION:
 RELOCATE EXISTING BOX OUT OF THE PROPOSED SIDEWALK & TIE INTO EXISTING 30"x60" TELE. BOX.
 J.T. CONTRACTOR TO COORDINATE TIE-INS AS REQUIRED.
 EX. GAS SERVICE TO BE CUT-OFF (BY PG&E ON PM #)

A METERED SERVICE PEDESTAL
 -100A, 120/240V, 1Ø 3W SERVICE FEED FOR PRIVATE LIGHTING
 -J.T. CONTRACTOR TO INSTALL PG&E SERVICE CABLE.
 (SEE PLANS BY OTHERS NOT PART OF THIS PLAN SET)
 SEE DETAIL (TYP)

LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	50"x52" PG&E PAD MOUNT TRANSFORMER
	AT&T "PFP" TELEPHONE CABINET ON 75"x75"x4" PAD FOR 52W"x190"x48" CABINET
	AT&T "SA" TELEPHONE CABINET ON 75"x75"x4" PAD FOR 57.5W"x180"x64.75" CABINET
	PROPOSED POST TOP STREET LIGHT
	PROPOSED UTILITY POLE
	STREET LIGHT BOX (STATE TYPE 3 1/2)
	STREET LIGHT BOX (STATE TYPE 5)
	PROPOSED NEW RISER POLE
	PROPOSED NEW GUY ANCHOR
	EXISTING STREET LIGHT
	EXISTING POST TOP STREET LIGHT
	EXISTING UTILITY POLE
	PG&E SKETCH LOCATION NUMBER
(F.V.T.)	FULL VEHICULAR TRAFFIC LID
(N.T.S.)	NOT TO SCALE
(U.O.N.)	UNLESS OTHERWISE NOTED

EXISTING PAVEMENT & SIDEWALK
 THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.



APPROVED	REVISIONS
SYMBOL	DATE

GIACALONE
 DESIGN SERVICES, INC.
 5820 STONERIDGE MALL RD., #545 L. PLEASANTON, CA 94588
 925-467-1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT
 DIVIDEND HOMES
 MOORPARK WAY
 317 MOORPARK WAY
 MOUNTAIN VIEW
 CALIFORNIA

PROJECT MANAGER:
 BRETT FULLINGTON
 DRAWN BY:
 MOHAMMED ALHUSSEINI
 CHECKED BY:
 DAVID CROWFOOT, P.E.
 SCALE:
 1"=30'
 JOB NUMBER:
 23-174
 DATE LAST MODIFIED:
 10-03-24
 SHEET
INT2
 OF 2 SHEETS

LEGEND

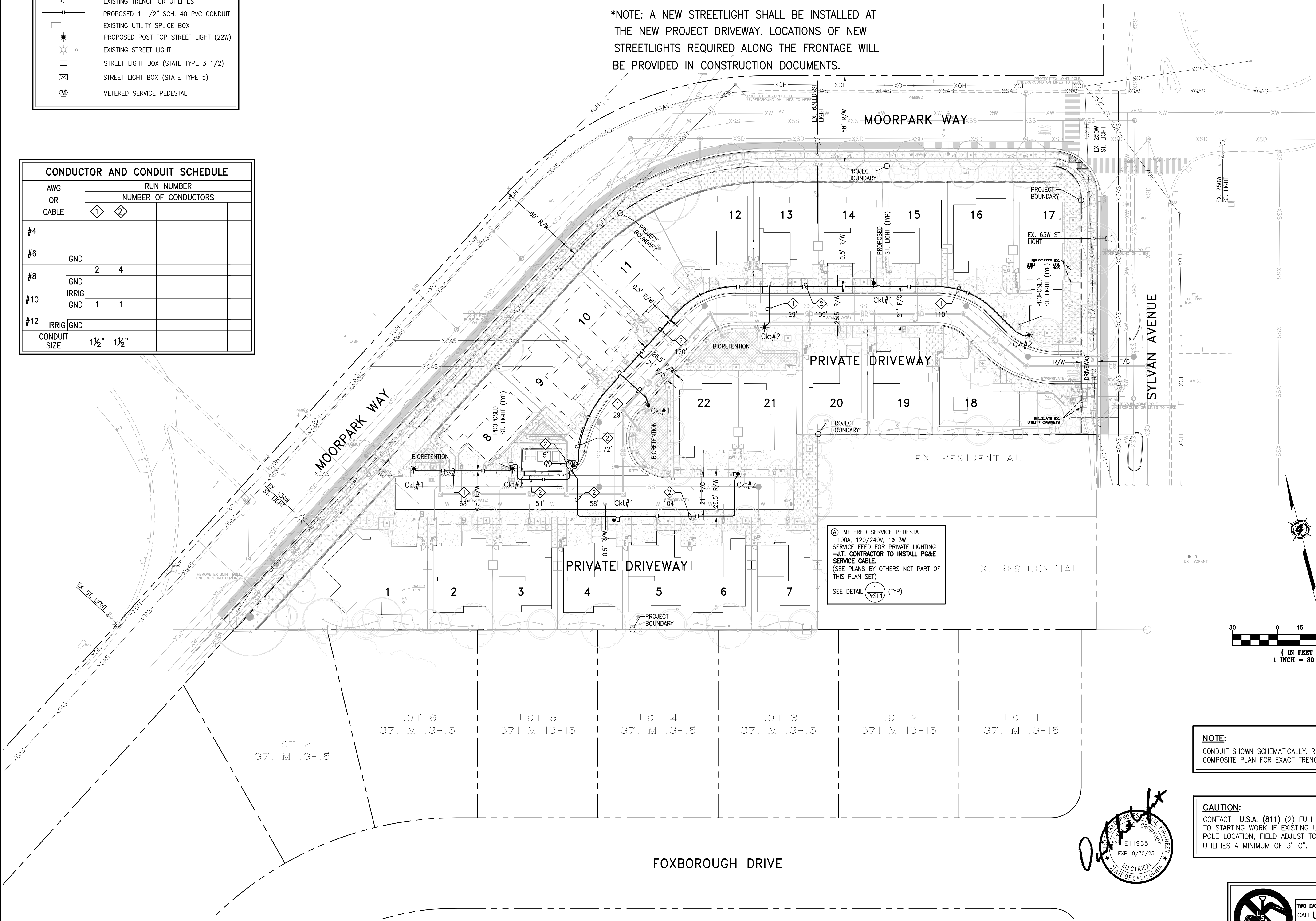
	EXISTING TRENCH OR UTILITIES
	PROPOSED 1 1/2" SCH. 40 PVC CONDUIT
	EXISTING UTILITY SPLICE BOX
	PROPOSED POST TOP STREET LIGHT (22W)
	EXISTING STREET LIGHT
	STREET LIGHT BOX (STATE TYPE 3 1/2)
	STREET LIGHT BOX (STATE TYPE 5)
	METERED SERVICE PEDESTAL

*NOTE: CITY STANDARD POST TOP STREETLIGHTS SHALL BE INSTALLED ALONG EXISTING STREETS IF REQUIRED

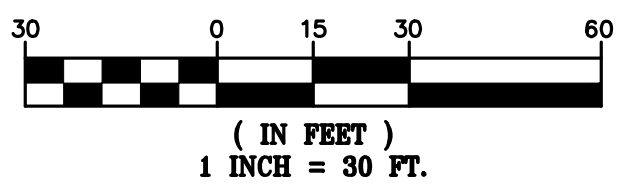
*NOTE: A NEW STREETLIGHT SHALL BE INSTALLED AT THE NEW PROJECT DRIVEWAY. LOCATIONS OF NEW STREETLIGHTS REQUIRED ALONG THE FRONTAGE WILL BE PROVIDED IN CONSTRUCTION DOCUMENTS.

CONDUCTOR AND CONDUIT SCHEDULE

AWG OR CABLE	RUN NUMBER	
	1	2
#4		
#6		
#8		
#10		
#12		
CONDUIT SIZE	1 1/2"	1 1/2"

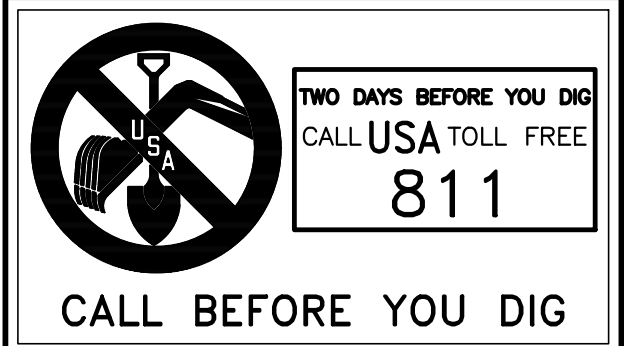
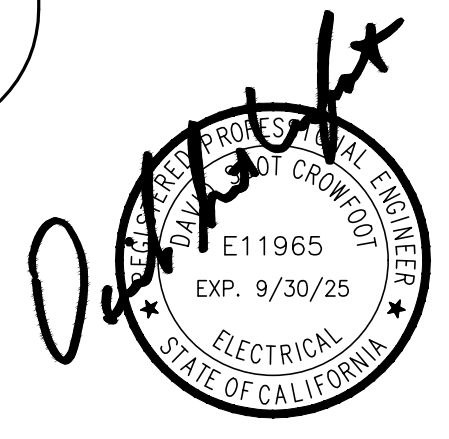


Ⓜ METERED SERVICE PEDESTAL
 -100A, 120/240V, 1ø 3W
 SERVICE FEED FOR PRIVATE LIGHTING
 -J.T. CONTRACTOR TO INSTALL PG&E SERVICE CABLE.
 (SEE PLANS BY OTHERS NOT PART OF THIS PLAN SET)
 SEE DETAIL 1 PRSL1 (TYP)



NOTE:
 CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH COMPOSITE PLAN FOR EXACT TRENCH AND BOX LOCATIONS.

CAUTION:
 CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".



REVISIONS

SYMBOL	DATE	DESCRIPTION

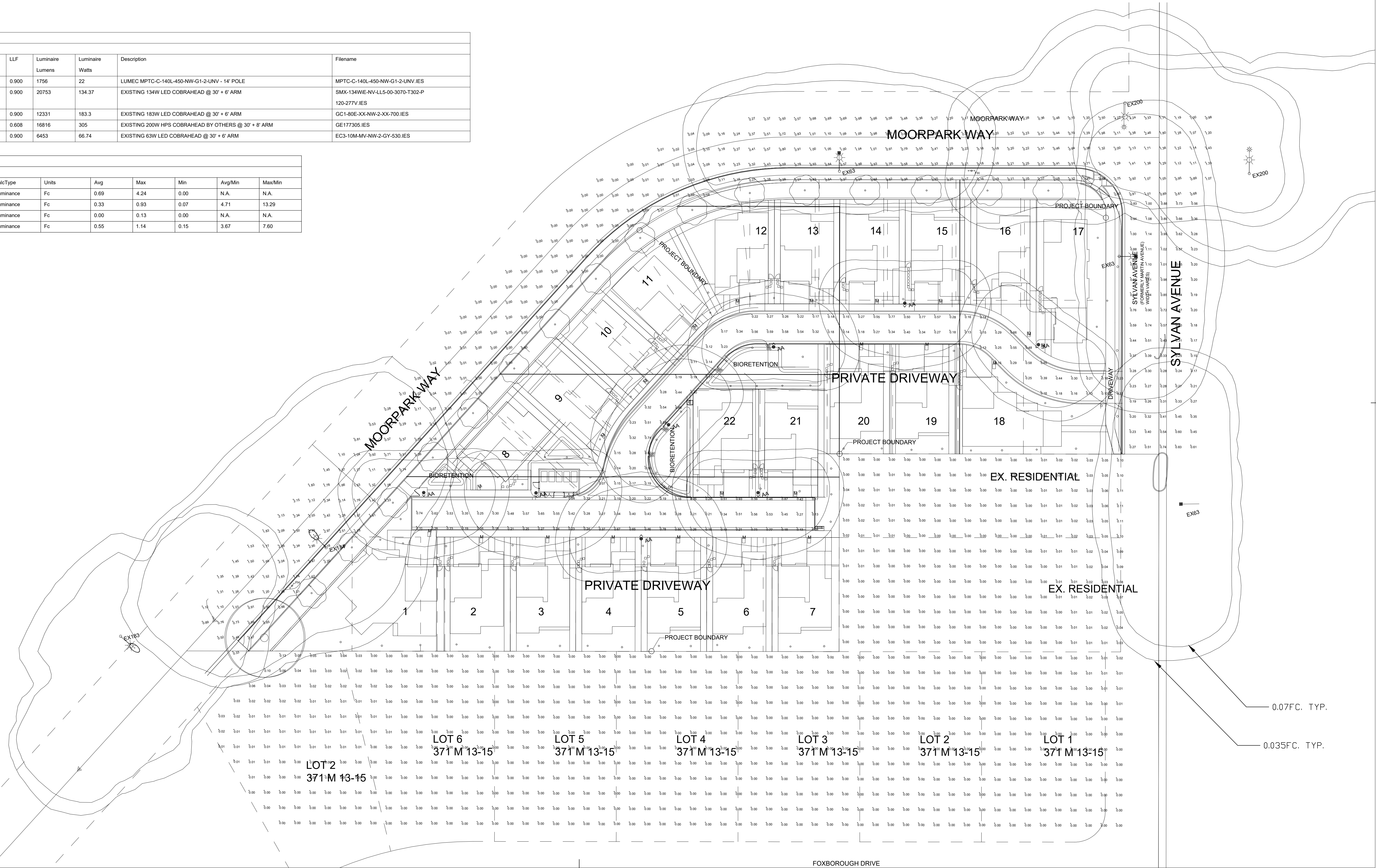
GIACALONE
 DESIGN SERVICES, INC.
 5200 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94588
 925-471-7140 | WWW.GIACALONEDSIGN.COM

PRIVATE STREET LIGHTING PLAN
 DIVIDEND HOMES
 MOORPARK CONSULTING / SD
 317 MOORPARK WAY
 MOUNTAIN VIEW
 CALIFORNIA

PROJECT MANAGER:
 BRETT FULLINGTON
 DRAWN BY:
 H. GALLARDO
 CHECKED BY:
 C. PENN
 SCALE:
 1"=30'
 JOB NUMBER:
 23-174
 DATE LAST MODIFIED:
 10-03-24
 SHEET
PrSL2
 OF 2 SHEETS

Luminaire Schedule - LED								
Project: 317 MOORPARK WAY - MOUNTAIN VIEW								
Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	8	AA	Single	0.900	1756	22	LUMEC MPTC-C-140L-450-NW-G1-2-UNV - 14' POLE	MPTC-C-140L-450-NW-G1-2-UNV.IES
	1	EX134	Single	0.900	20753	134.37	EXISTING 134W LED COBRAHEAD @ 30' + 6' ARM	SMX-134WE-NV-LL5-00-3070-T302-P-120-277V.IES
	1	EX183	Single	0.900	12331	183.3	EXISTING 183W LED COBRAHEAD @ 30' + 6' ARM	GC1-80E-XX-NW-2-XX-700.IES
	2	EX200	Single	0.608	16816	305	EXISTING 200W HPS COBRAHEAD BY OTHERS @ 30' + 8' ARM	GE177305.IES
	3	EX63	Single	0.900	6453	66.74	EXISTING 63W LED COBRAHEAD @ 30' + 6' ARM	EC3-10M-MV-NW-2-GY-530.IES

Calculation Summary							
Project: 317 MOORPARK WAY - MOUNTAIN VIEW							
Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
MOORPARK WAY	Illuminance	Fc	0.69	4.24	0.00	N.A.	N.A.
PRIVATE DRIVE	Illuminance	Fc	0.33	0.93	0.07	4.71	13.29
SPILL LIGHT	Illuminance	Fc	0.00	0.13	0.00	N.A.	N.A.
SYLVAN AVE	Illuminance	Fc	0.55	1.14	0.15	3.67	7.60



ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

ALR Associated Lighting Representatives, Inc.

ALR ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: GIACALONE DESIGN SERVICES
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA
SALES REPRESENTATIVE: ALR; KRISTIAN REYES



AGI32 VERSION 20.1
AGI (C) 2021 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION

317 MOORPARK WAY
CITY OF MOUNTAIN VIEW

P1.0

DRAWING NO. / INPUT FILE

22295REY-R2.DWG / 22295REY-R2.A32

SCALE
1" = 30'

SHEET
1 OF 1

DATE
04.10.2024

REV
2

Residential 2022 Mountain View Green Building Code (based on California Green Building Standards Code & City Code)

Residential: R occupancies (one -and two- family dwelling, townhouse with attached private garages, multifamily dwellings & hotel/motel)



Check Box	1	Residential Additions and/or Alterations that increase the conditioned space, volume or size [1]
	2	New Residential Construction

Project Number: _____
 Permit Address: _____

#	1	2	Residential Code Sections	Measures	Plan Requirements	Location on Plans	Verification [3]	
							Responsible Party	Post Construction
			Mountain View City Code (MVCC) Division III Sect. 8.20.8-10 & 8.20.13	MOUNTAIN VIEW CITY CODE 'GREEN BUILDING CODE' (Adopted):				
1			• MVCC 8.20.8 - 8.20.10 & Table 101.10	Residential new construction shall meet mandatory Calgreen and any Mountain View Amendments	Notes on plans		Field Insp	
2			• MVCC Section 8.20.10 & Table 101.10	Residential new construction shall demonstrate energy compliance to meet or exceed Title 24, Part 6	Notes on plans		Field Insp	
3			• MVCC 8.20.10 & Table 101.10	Hotel/Motel new construction shall meet the intent of LEED Gold Certified	LEED doc. on plans		LEED Proof	
4			• MVCC 8.20.13 & Table 101.10	All new mixed-use projects must comply with Mountain View's green building requirements and meet the requirements applicable to each primary occupancy component	LEED doc. and notes on plans		LEED Proof/ Field Insp	
			MVCC Division III Section 8.20.10	WILDLIFE PROTECTION AND CONSERVATION (MVCC 'Green Building Code' - Adopted):				
5			• MVCC 8.20.10 & Table 101.10	Bird-safe glass (Hotel/Motel new construction) shall be installed on the exterior of the structure where the structure is ≥ than 10,000 square feet or the applicable precise plan requires it	Details/notes on plans		Field Inspection	
			CGBSC Division 4.1 Section 4.106 & MVCC Division III Section 8.20	PLANNING AND DESIGN (Site Development):				
6			• MVCC 8.20.30	Storm water drainage and retention during construction for projects which disturb less than 1 acre	Details/notes on plans		Field Insp	
7			• MVCC 8.20.36	Stormwater sediment and erosion control plan for newly constructed projects of less than 1 acre	Details/notes on plans		Field Insp	
8			• MVCC 8.20.37	Stormwater pollution prevention for projects that disturb 1 or more acres of land [4]	Details/notes on plans		Env Safety	
9			• MVCC 8.20.38	Postconstruction stormwater control requirements [4]	Details/notes on plans		Env Safety	
10			• MVCC 8.20.39	Designated Parking For Clean-Air Vehicles new projects, or additions or alterations that add ≥ 10 vehicular parking spaces for low-emitting, fuel-efficient and carpool / van pool vehicles shall comply with Table 5.106.5.2	Details/notes on plans		Field Inspection	
11			• CGBSC 4.106.3	Grading and paving [4]	Details/notes on plans		Env Safety	
12			• MVCC 8.20.31 - 8.20.32 & Table 101.10	Electric Vehicle (EV) Charging new construction for Single-family and duplexes & Multi-family shall meet the parking requirements per Table 101.10	Details/notes on plans		Field Inspection	
13			• MVCC 8.20.31	Existing one- and two-family dwellings and townhomes with private garages. Parking additions or electrical panel upgrades must have reserved breaker spaces and electrical capacity [N]	Details/notes on plans		Field Inspection	
14			• MVCC 8.20.32	Parking addition in existing multi-family dwellings. When new parking facilities are added or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, 10 % of the total number of parking spaces added or altered shall be EVCS. Any existing EV-Capable spaces on the building property required by the locally adopted codes at the time of building permit shall be upgraded to a minimum of Level 1 EV Ready [N]	Details/notes on plans		Field Inspection	
15			• MVCC Table 101.10	Electric Vehicle (EV) Charging new construction for Hotel/motel shall meet the parking requirements per Table 101.10 and the requirements per Table A5.106.5.3.2	Details/notes on plans		Field Inspection	
16			• MVCC 8.20.43	Existing hotel and motel occupancy buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, 10% of the total number of parking spaces added or altered shall be EVCS with Level 2 EV Ready. Any existing EV Capable spaces on the building property required by the locally adopted codes at the time of building permit shall be upgraded to a minimum of Level 1 EV Ready [N]	Details/notes on plans		Field Inspection	
17			• MVCC 8.20.8 & Table 101.10 **	Installation of photovoltaic for Single-family and duplexes to accommodate an all-electric building to 100% of annual kilowatt hour [R]	Details/notes on plans		Field Inspection	
18			• MVCC 8.20.9 - 8.20.10 & Table 101.10	Installation of photovoltaic for Multi-family & Hotel/motel on roof area to accommodate an all-electric building to 100% of annual kilowatt hour [R]	Details/notes on plans		Field Inspection	
19			• MVCC 8.20.33	Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for EV charging purposes in accordance with the CEC	Details/notes on plans		Field Inspection	
			Senate Bill No.7 Chapter 623	WATER METERS MULTI-UNIT STRUCTURES:				
20			• SB-7 Housing: water meters	New multiunit structures are required to be individually metered in the state of California - submeters must be located in an accessible location - (exempt: low income housing, housing at a place of education, long-term health facilities, time-share property & residential care facilities for the elderly)	Details/notes on plans		Field Inspection	

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California Green Build. Standards Code (CGBSC) Divi. 4.3 Sect. 4.303			WATER EFFICIENCY AND CONSERVATION (Indoor Water Use):					
21	•	•	CGBSC Section 4.303.1.1	Water closets shall not exceed 1.28 gallons per flush	Notes on Plans		Field Insp	
22	•	•	CGBSC Section 4.303.1.2	Urinals shall not exceed 0.125 gallons per flush	Notes on Plans		Field Insp	
23	•	•	CGBSC Section 4.303.1.3.1	Single showerhead shall have a maximum flow of 1.8 gpm at 80 psi	Notes on Plans		Field Insp	
24	•	•	CGBSC Section 4.303.1.3.2	Multiple showerheads serving one shower shall have combined flow of 1.8 gpm at 80 psi or, the shower shall be designed to allow only one shower outlet to be in operation at a time	Notes on Plans		Field Insp	
25	•	•	CGBSC Section 4.303.1.4.1	Residential lavatory faucets shall have a maximum flow rate of 1.2 gpm at 60 psi & minimum of 0.8 gpm at 20 psi	Notes on Plans		Field Insp	
26	•	•	CGBSC Section 4.303.1.4.2	Lavatory faucets in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gpm at 60 psi	Notes on Plans		Field Inspection	
27	•	•	CGBSC Section 4.303.1.4.4	Kitchen faucets shall have a maximum flow rate of 1.8 gpm at 60 psi	Notes on Plans		Field Insp	
Water Conservation Regulations & CGBSC Division 4.3 Section 4.304			WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use):					
28	•	•	Water Conservation in Landscaping Regulations (Chapter 2) by Planning	Project shall comply with the water conservation in landscaping regulations where the affected landscape area (new or rehabilitated) is ≥ 500 square feet, [2,4]	Notes on Plans		Self-certified	
29	•	•	Water Efficient Design and Maintenance Checklist by Planning	Project shall comply with the water efficient and maintenance checklist [2,4]	Checklist form		Self-certified	
30	•	•	Water Conservation in Landscaping Regulations (Chapter 10) by Planning	Water budget. When a water budget is prepared for a landscaping areas ≥ 2,500 square feet, it must be completed by a certified or authorized professional [2,4]	Notes on Plans		Certification	
31	•	•	CGBSC Section 4.304.1	Outdoor potable water use in landscape areas for residential developments shall comply w/CGBSC section 4.304.1 [4]	Notes on Plans		Field Insp	
CGBSC Division 4.4 Section 4.406			MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Enhanced Durability and Reduced Maintenance):					
32	•	•	CGBSC Section 4.406.1	Rodent Proofing. Annular spaces around pipes, electric cables, etc. shall be protected against the passage of rodents	Details/notes on plans		Field Insp	
Construction and Demolition Waste & CGBSC Division 4.4 Section 4.408			MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling):					
33	•	•	Construction and demolition waste tracking & diversion requirements form	Construction Waste Diversion 65% reduction [4]	Mountain View waste tracking form		Public Works	
34	•	•	Construction and demolition waste tracking & diversion requirements form	Construction Waste Management Plan / Diversion is required for demolitions [4]	Mountain View waste tracking form		Public Works	
CGBSC Division 4.4 Section 4.410			MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Building Maintenance & Operation):					
35	•	•	CGBSC Section 4.410.1	Operation and maintenance manual shall be available at the time of final inspection	Details/notes on plans		Field Insp	
36		•	MVCC 8.20.34	Recycling by occupants. When 5 or more dwelling units are constructed on a building site, provide readily accessible areas that serves all buildings and residents	Details/notes on plans		Field Inspection	
MVCC Division III Section 8.20.8 - 8.20.10			ENVIRONMENTAL QUALITY (No gas allowed, all electric installation):					
37		•	Residential new construction (Single-family, duplexes & multi-family) MVCC Section 8.20.8 - 8.20.9 & Table 101.10	Natural gas shall not be allowed. The following list of items shall be electric installation: Space-conditioned equipment, clothes dryers, cooking appliances and fireplaces and/or fire pits	Details/notes on plans		Field Inspection	
				Water-heating systems and equipment shall be electric or solar	Details/notes on plans		Field Insp	
38		•	Residential new construction (Hotel/motel) MVCC Section 8.20.10 & Table 101.10	Natural gas shall not be allowed. The following list of items shall be electric installation: Space-conditioned equipment, clothes dryers and fireplaces and/or fire pits	Details/notes on plans		Field Inspection	
				Cooking appliances shall be electric, see exception	Details/notes on plans		Field Insp	
				Water-heating systems and equipment shall be electric or solar	Details/notes on plans		Field Insp	
MVCC Division III Section 8.20.12-8.20.13			ENVIRONMENTAL QUALITY (Fireplaces):					
39	•	•	MVCC 8.20.46 - 8.20.47	Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed wood stove or pellet stove, and refer to residential requirements in the CEnerC	Details/notes on plans		Field Insp	
40	•	•	MVCC 8.25, 8.25.2 & 8.25.7	All wood-burning appliances installed in new residential units or wood-burning appliances being added to or replacing in existing residential units shall comply	Details/notes on plans		Field Insp	
CGBSC Division 4.5 Section 4.504			ENVIRONMENTAL QUALITY (Pollutant Control):					
41	•	•	CGBSC Section 4.504.1	Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered and shall comply w/VOC limits (Table 4.504.1)	Notes on Plans		Field Inspection	
42	•	•	CGBSC Section 4.504.2.1	Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Table 4.504.2)	Notes on Plans		Field Insp	
43	•	•	CGBSC Section 4.504.2.2	Finish material pollutant control for paints and coatings shall comply with limits of VOC (Table 5.504.3)	Notes on Plans		Field Insp	
44	•	•	CGBSC Section 4.504.2.3	Finish material pollutant control for aerosol paints and coatings shall comply with MIR limits for ROC & VOC	Notes on Plans		Field Insp	
45	•	•	CGBSC Section 4.504.2.4	Verification of compliance and documentation shall be provided	Notes on Plans		Field Insp	
46	•	•	CGBSC Section 4.504.3	Finish material pollutant control for carpet systems shall meet product requirements (carpet cushion & carpet adhesive)	Notes on Plans		Field Inspection	
47	•	•	CGBSC Section 4.504.4	Finish material pollutant control for resilient flooring systems shall comply with VOC emission limits (80%)	Notes on Plans		Field Insp	

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GREEN BUILDING CODE

317 MOORPARK WAY- MOUNTAIN VIEW, CA
MOORPARK SYLVAN INVESTORS, LLC

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



JOB NO. 297-090
DATE 11/14/2024

CGBSC Division 4.5 Section 4.504			ENVIRONMENTAL QUALITY (Pollutant Control Continued):					
48	•	•	CGBSC Section 4.504.5	Finish material pollutant control for composite wood products shall comply with required formaldehyde limits per Table 5.504.5 & verification	Notes on Plans		Field Inspection	
CGBSC Division 4.5 Section 4.505			ENVIRONMENTAL QUALITY (Interior Moisture Control):					
49	•	•	CGBSC Section 4.505.2 - 4.505.2.1	Concret slab foundations are required to have a vapor retarder & capillary break	Details/notes on plans		Field Insp	
50	•	•	CGBSC Section 4.505.3	Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content	Details/notes on plans		Field Inspection	
CGBSC Division 4.5 Section 4.506			ENVIRONMENTAL QUALITY (Indoor Air Quality & Exhaust):					
51	•	•	CGBSC Section 4.506.1	Bathroom exhaust fans. Each bathroom shall be mechanically ventilated & have a humidity control per Section 4.506.1	Details/notes on plans		Field Insp	
CGBSC Division 4.5 Section 4.507			ENVIRONMENTAL QUALITY (Environmental Comfort):					
52	•	•	CGBSC Section 4.507.2	Heating and air-conditioning system design (ducts), shall be sized, designed and have their equipment selected by accepted design methods	Details/notes on plans		HERS Rater	
CGBSC Chapter 7 Section 701			INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS:					
53	•	•	CGBSC Section 702.1	Installer training. HVAC system installers shall be trained and certified	Notes on plans		Field Insp	

Foot Notes	[1]	Only within the area of alteration, including all non compliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures
	[2]	Except for R1 and R2 zoned properties
	[3]	See "SECTION TO BE COMPLETED AFTER CONSTRUCTION" below
	[4]	Regulated by Other than Mountain View City Code (MVCC)
	[N]	New (2022 California Green Building Standards Code -CGSC- & Mountain View City Code -MVCC- Green Code / Reach Codes - Adopted)
	[R]	Revised (2022 Mountain View City Code -MVCC- Green Code / Reach Codes - Adopted)
		Not required
	•	Mandatory requirements



OWNER ACKNOWLEDGEMENT	
This project is required to comply with the California Green Building Standards Code (T24, Part 11) and the Mountain View City Code (MVCC) Green Building Code Amendments. I, the property owner / legal representative, acknowledge and understand the requirements and penalties for noncompliance. I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements. I also understand that my project may be subject to an energy or water performance review to assess compliance with the program after construction and during operation.	
Signature (Owner)	Date
Print Full Name	Phone or Email
SECTION TO BE COMPLETED AFTER CONSTRUCTION	
<u>In order to schedule a final building inspection with the Building Department, follow the procedures below.</u>	
At the final building inspection prepare to be submitted the following items: (Initial for each applicable item) (Initial below)	
_____ Per the California Energy Code & energy reports, provide the completed forms (Certificate of Installation & Certificate of Verification).	
_____ Cutsheets or proof of installation of products and materials that meet the required VOC and formaldehyde limits	
_____ Provide Proof of Construction Waste Diversion, contact Public Works at (650) 903-6311 or public.works@mountainview.gov.	
I certify that:	
_____ There have been no alterations that have impacted the energy report for the project, unless the new report is provided;	
_____ All mandatory CALGreen measures noted in the checklist have been implemented unless a new checklist is provided	
Signature (Owner) and Date	Signature (Contractor) and Date
Print Name	Print Name

**COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION**
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Public Works: www.mountainview.gov/publicworks

Building Code Click here.

