

HILTON GARDEN INN: EXPANSION

840 E EL CAMINO REAL, MOUNTAIN VIEW
CALIFORNIA, 94040



ARCSINE
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PROJECT NAME

**HILTON
GARDEN INN
EXPANSION**
840 E EL CAMINO REAL
MOUNTAIN VIEW
CALIFORNIA, 94040

NOT FOR
CONSTRUCTION



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2017 SEP 15	PLANNING REV. RESPONSE #4
2017 OCT 02	PLANNING REV. RESPONSE #4

DATE -
SCALE AS NOTED @ 24x36
DRAWN BY -

PROJECT NUMBER 1528.02
SHEET TITLE

COVER SHEET

SHEET NUMBER

A0.00

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P: 415.618.0855
CONTACT: MATTHEW LANDL

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DIRECTORY

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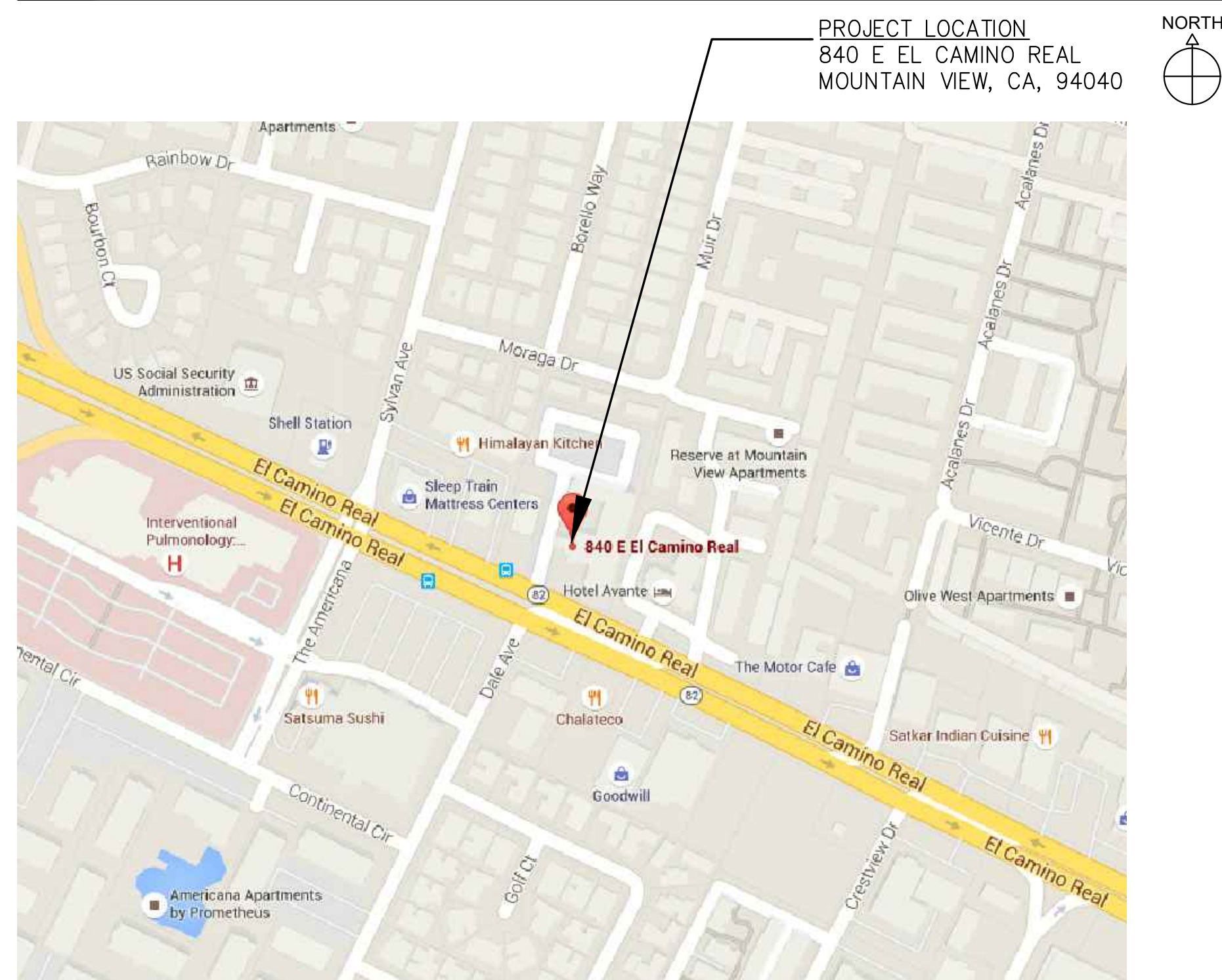
CODE REFERENCE

SCALE: N/A

- APPLICABLE CODES**
- 2016 - CALIFORNIA BUILDING CODE (ADOPTS IBC, 2015 W/ CA AMEND.)
 - 2016 - CALIFORNIA MECHANICAL CODE (ADOPTS UMC, 2015 IAMPO W/ CA AMEND.)
 - 2016 - CALIFORNIA ELECTRICAL CODE (ADOPTS NEC, 2014 W/ CA AMEND.)
 - 2016 - CALIFORNIA PLUMBING CODE (ADOPTS UPC, 2015 IAPMO W/ CA AMEND.)
 - 2016 - CALIFORNIA FIRE CODE (ADOPTS IFC, 2015 W/ CA AMEND.)
 - 2016 - CALIFORNIA ENERGY CODE
 - 2016 - CALIFORNIA GREEN BUILDING STANDARDS CODE
 - 2016 - CALIFORNIA REFERENCED STANDARDS CODE

VICINITY MAP

SCALE: N/A



PROJECT INFORMATION

SCALE: N/A

APN: 161-10-056
ZONING: EL CAMINO REAL PRECISE PLAN: MEDIUM-INTENSITY CORRIDOR
PROJECT ADDRESS: 840 E EL CAMINO REAL, MOUNTAIN VIEW, CA 94040
TYPE OF CONSTRUCTION: TYPE II A
OCCUPANCY GROUP: A3, B AND R-1
EXISTING/PROPOSED USE: HOTEL/HOTEL AND RESTAURANT
AREA OF IMPROVEMENT: +/- 8,000 SF
ADDITION FOOTPRINT: 4,848 SF
GROSS SQUARE FOOTAGE: 18,365 SF
NUMBER OF STORIES: 4
SPECIAL INSPECTIONS: TBD
DEFERRED SUBMITTALS: SIGNAGE

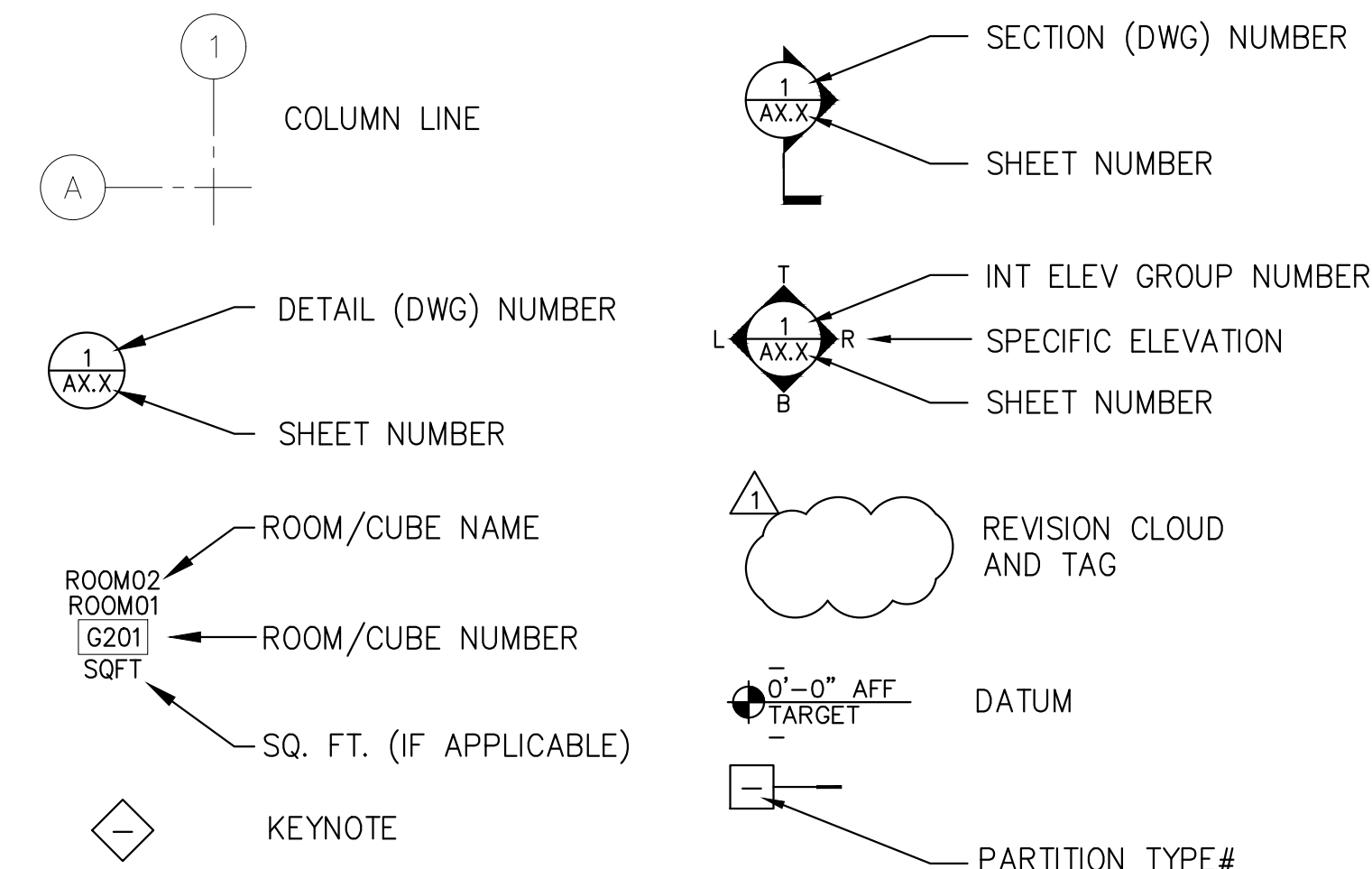
PROJECT DESCRIPTION

SCALE: N/A

- THE SCOPE OF WORK FOR THE CONSTRUCTION OF NEW EXPANSION WING AT EXISTING BUILDING INCLUDES:
- NEW GROUND FLOOR RETAIL SPACE (±4,000 USF) ON EL CAMINO REAL
 - ADDITION OF 37 NEW GUEST ROOMS AT BUILDING ADDITION
 - ADDITION OF 1 NEW GUEST ROOM IN EXISTING BUILDING
 - REMOVAL OF +/-250 SF OF MEETING SPACE
 - MODIFIED PARKING PLAN
 - NEW PORTE COCHERE AT EXISTING HOTEL LOBBY
 - NEW ACCESSIBLE GREEN ROOF AT BUILDING ADDITION
 - REMOVAL OF (7) HERITAGE TREES

SYMBOL LEGEND

SCALE: N.T.S.



DRAWING INDEX	DATE	ISSUES AND REVISIONS					
		2016 JULY 20	2016 DEC 16	2017 APR 28	2017 JULY 28	2017 SEP 15	2017 OCT 02
A0.0	COVER SHEET						
A0.10	COVER SHEET, PROJECT INFO, DRAWING INDEX	•	•	•	•	•	•
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A0.50	SITE CONTEXT	•	•	•	•	•	•
A0.51	SITE PHOTOS	•	•	•	•	•	•
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L-2.1	LANDSCAPE PLAN						
A0.54	PROPOSED SITE PLAN	•	•	•	•	•	•
A2.01	PROPOSED 1ST + 2ND FLOOR PLANS	•	•	•	•	•	•
A2.02	PROPOSED 3RD, 4TH + ROOF PLANS	•	•	•	•	•	•
A8.01	EXISTING + PROPOSED EXTERIOR ELEVATIONS	•	•	•	•	•	•
A8.02	EXISTING + PROPOSED EXTERIOR ELEVATIONS	•	•	•	•	•	•
A8.03	PROPOSED BUILDING SECTION + ELEVATION	•	•	•	•	•	•
A8.04	PROPOSED BUILDING SECTIONS						
A9.01	RENDERINGS		•	•	•	•	•
A9.02	RENDERINGS		•	•	•	•	•
A9.03	RENDERINGS		•	•	•	•	•
A9.04	BIRD'S EYE VIEW		•	•	•	•	•
A9.05	SHADOW STUDY		•	•	•	•	•
L-0.1	KEY PLAN			•	•	•	•
L-0.2	TREE PRESERVATION PLAN					•	•
L-0.3	TREE PRESERVATION NOTES					•	•
L-1.0	LANDSCAPE PLAN	•	•	•	•	•	•
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L-1.3	LANDSCAPE PLAN			•	•	•	•
L-2.0	LANDSCAPE PLAN		•	•	•	•	•
L-4.0	TREE CANOPY COVERAGE PLAN			•	•	•	•
L-5.0	SECTIONS			•	•	•	•
L-6.0	DETAILS			•	•	•	•

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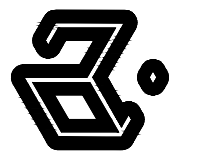
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COVER SHEET
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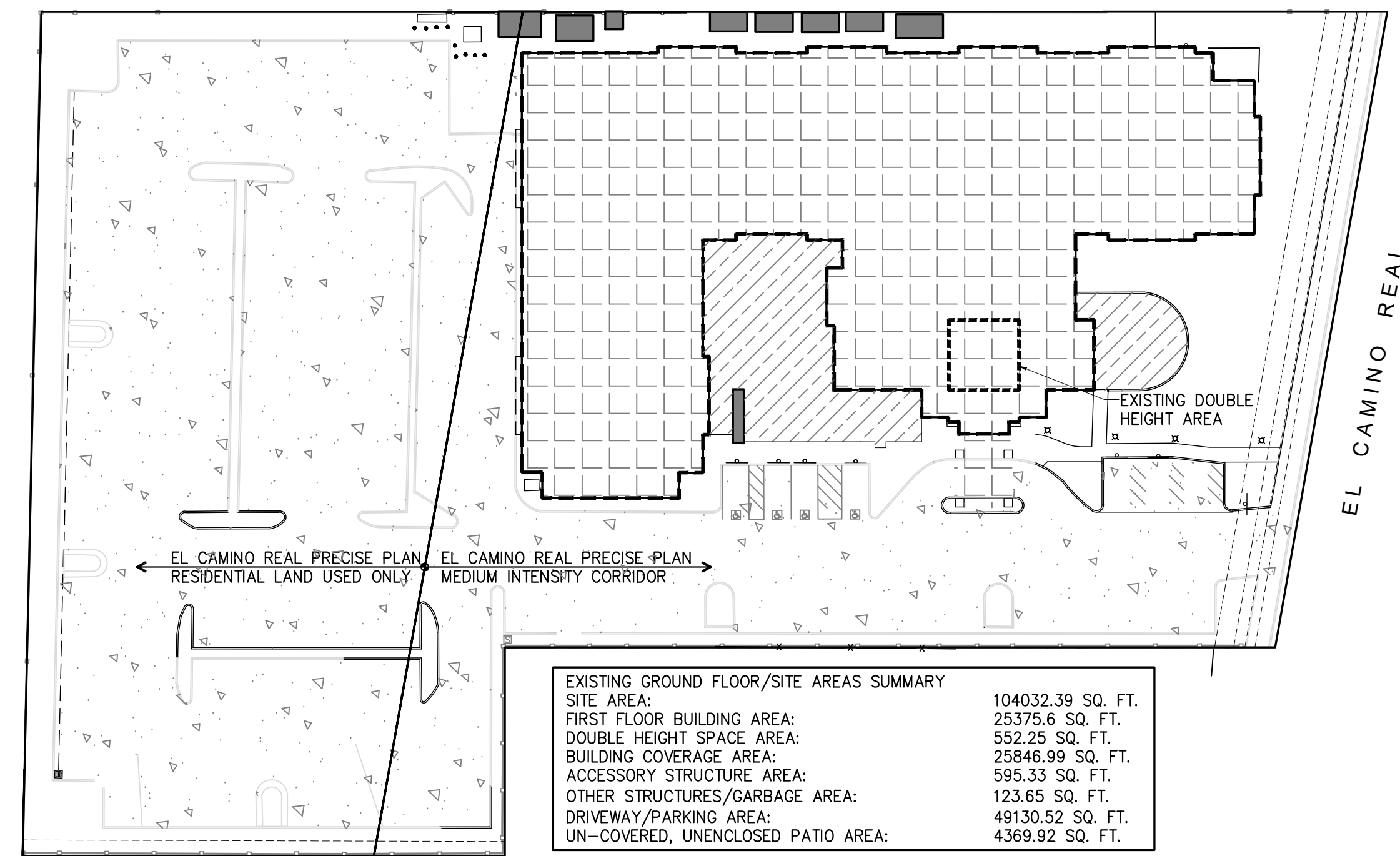
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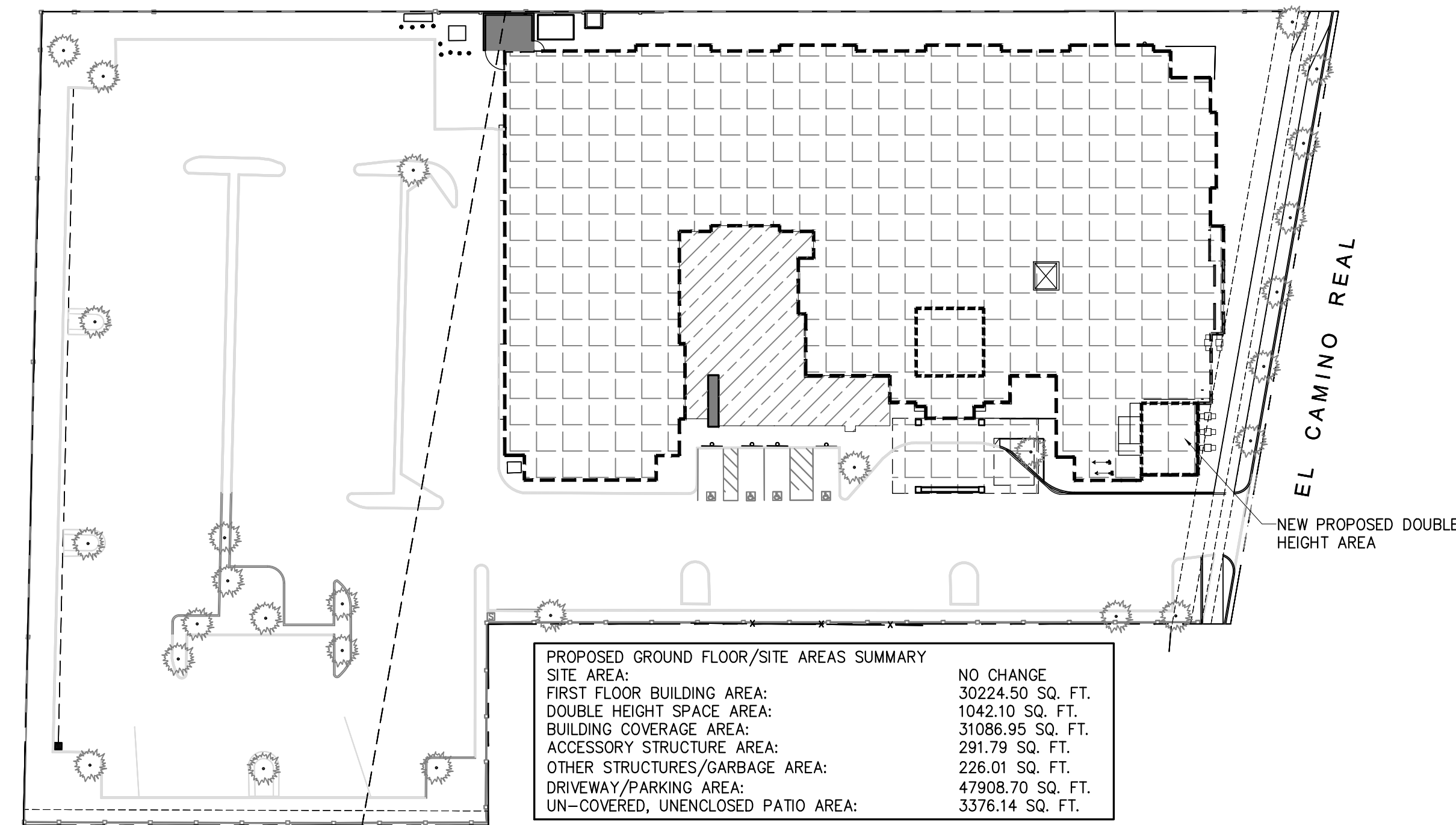
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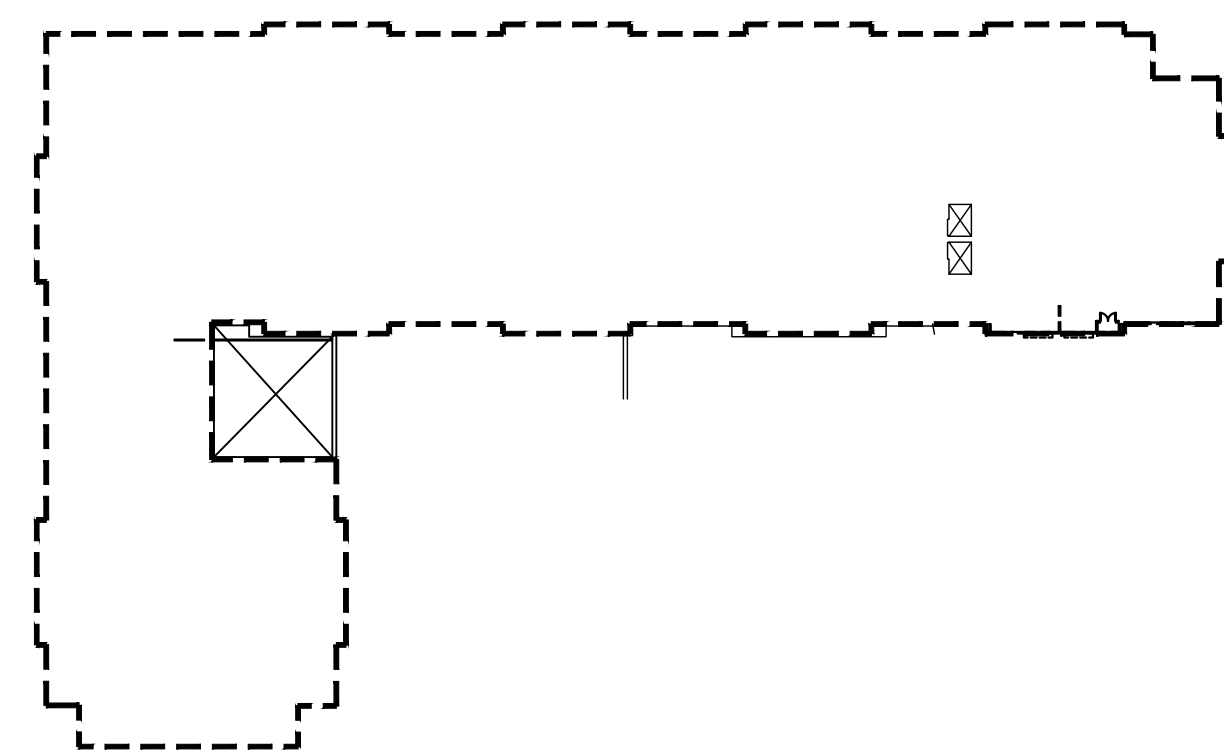
EXISTING SITE PLAN 1

1" = 40'-0"



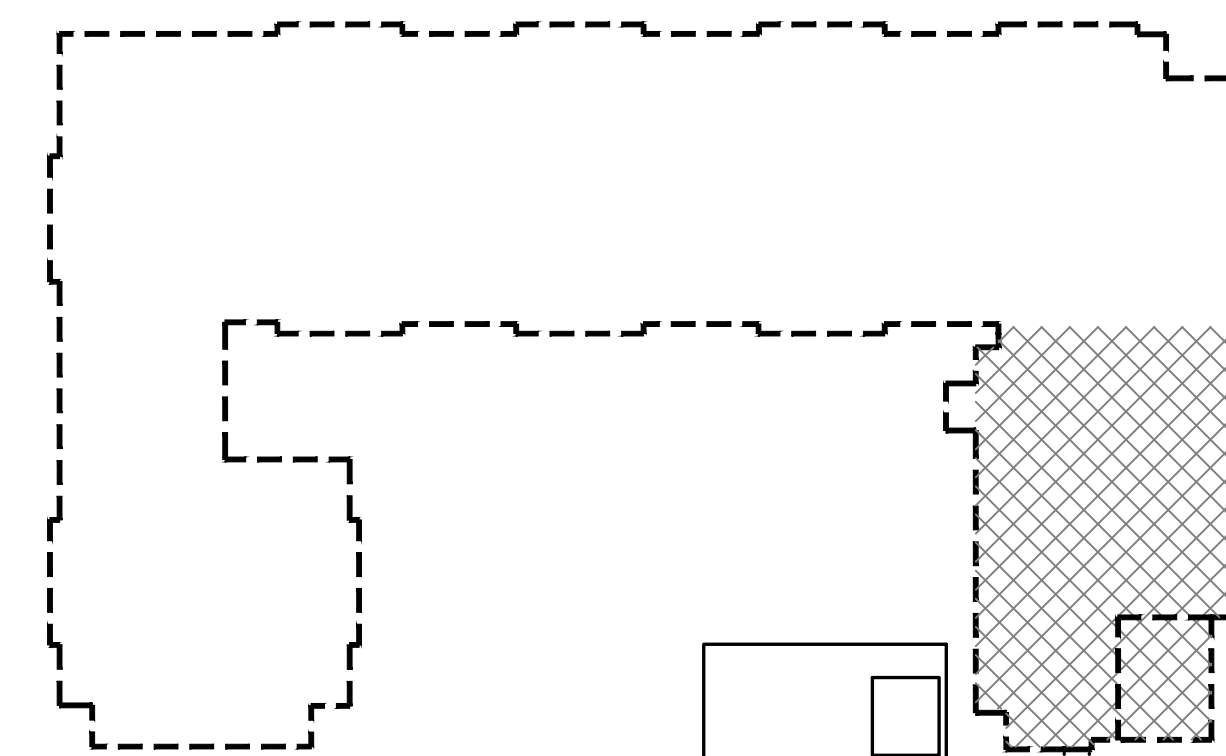
PROPOSED SITE PLAN 3

1" = 40'-0"



EXISTING UPPER FLOORS 2-4 2

1" = 40'-0"



PROPOSED UPPER FLOORS 2-4 4

1" = 40'-0"

ALLOWABLE FAR CALCULATION

ALLOWABLE FLOOR AREA CALCULATION	
TOTAL SITE AREA:	104032.39 SQ. FT.
MEDIUM INTENSITY CORRIDOR AREA:	64477.77 SQ. FT. = 62%
RESIDENTIAL LAND USE:	39554.62 SQ. FT. = 38%
FAR ALLOWED FOR MEDIUM INTENSITY:	1.85
PER ECRPP PAGE 28 ITEM 2, FAR ALLOWED FOR RESIDENTIAL TO BE BASED ON R3-1 ZONE OF CITY ZONING ORDINANCE:	1.05
PER ECRPP PAGE 29 ITEM 2A, WEIGHTED AVERAGE OF ALLOWABLE FAR:	1.54

EXISTING SITE CALCULATIONS

EXISTING FLOOR AREA CALCULATION	
TOTAL SITE AREA:	104032.39 SQ. FT.
ACCESSORY STRUCTURES:	595.33 SQ. FT.
FIRST FLOOR AREA:	25375.6 SQ. FT.
DOUBLE HEIGHT SPACE AREA:	552.25 SQ. FT.
SECOND FLOOR AREA:	19970.36 SQ. FT.
THIRD FLOOR AREA:	19970.36 SQ. FT.
FOURTH FLOOR AREA:	19970.36 SQ. FT.
TOTAL SITE AREA / TOTAL FLOOR AREA:	0.83 F.A.R.

PROPOSED SITE CALCULATIONS

GROSS SQUARE FOOTAGE OF ADDITION:	
SQUARE FOOTAGE OF FOOTPRINT OF ADDITION:	18365.91 SQ. FT.
4848.9 SQ. FT.	
FLOOR AREA CALCULATION	
TOTAL SITE AREA:	104032.39 SQ. FT.
ACCESSORY STRUCTURES:	291.79 SQ. FT.
FIRST FLOOR AREA:	30224.5 SQ. FT.
DOUBLE HEIGHT SPACE AREA:	1042.10 SQ. FT.
SECOND FLOOR AREA:	24149.47 SQ. FT.
THIRD FLOOR AREA:	24639.32 SQ. FT.
FOURTH FLOOR AREA:	24639.32 SQ. FT.
TOTAL SITE AREA / TOTAL FLOOR AREA:	1.01 F.A.R.

LEGEND

- AUTO-DEDICATED AREA (PAVING)
- BUILDING COVERAGE AREA
- UN-COVERED, UNENCLOSED PATIO AREAS
- AREA OF ACCESSIBLE GREEN ROOF ABOVE
- COVERED ACCESSORY STRUCTURES, TRASH AND DUMPSTER ENCLOSURES.
- FLOOR AREA ENCLOSED WITHIN THE WALLS OF THE PRINCIPLE STRUCTURE. SEE F.A.R. CALCULATION.
- FLOOR AREA ENCLOSED WITHIN THE WALLS OF THE PRINCIPLE STRUCTURE WITH CEILING HEIGHT ABOVE 16'-0". SEE F.A.R. CALCULATION.

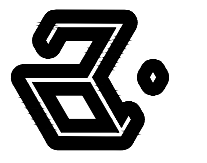
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SITE COVERAGE FAR CALCULATIONS

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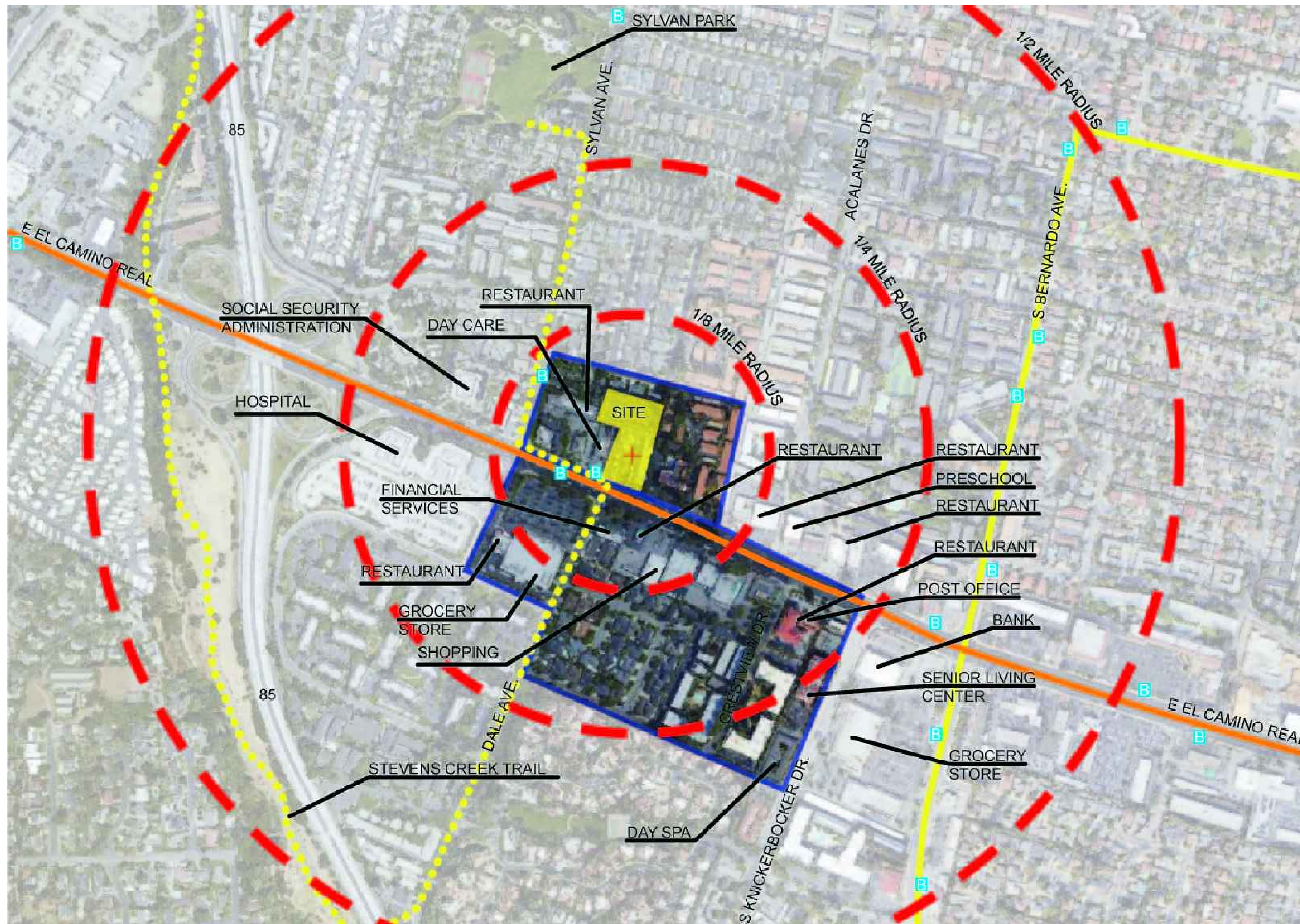
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SITE CONTEXT 1
NTS



LEGEND

- RADI
- PEDESTRIAN CONNECTION
- NEIGHBORHOOD SUB AREA
- RAPID BUS ROUTE (522)
- BUS ROUTE
- NEIGHBORHOOD BUS STATIONS

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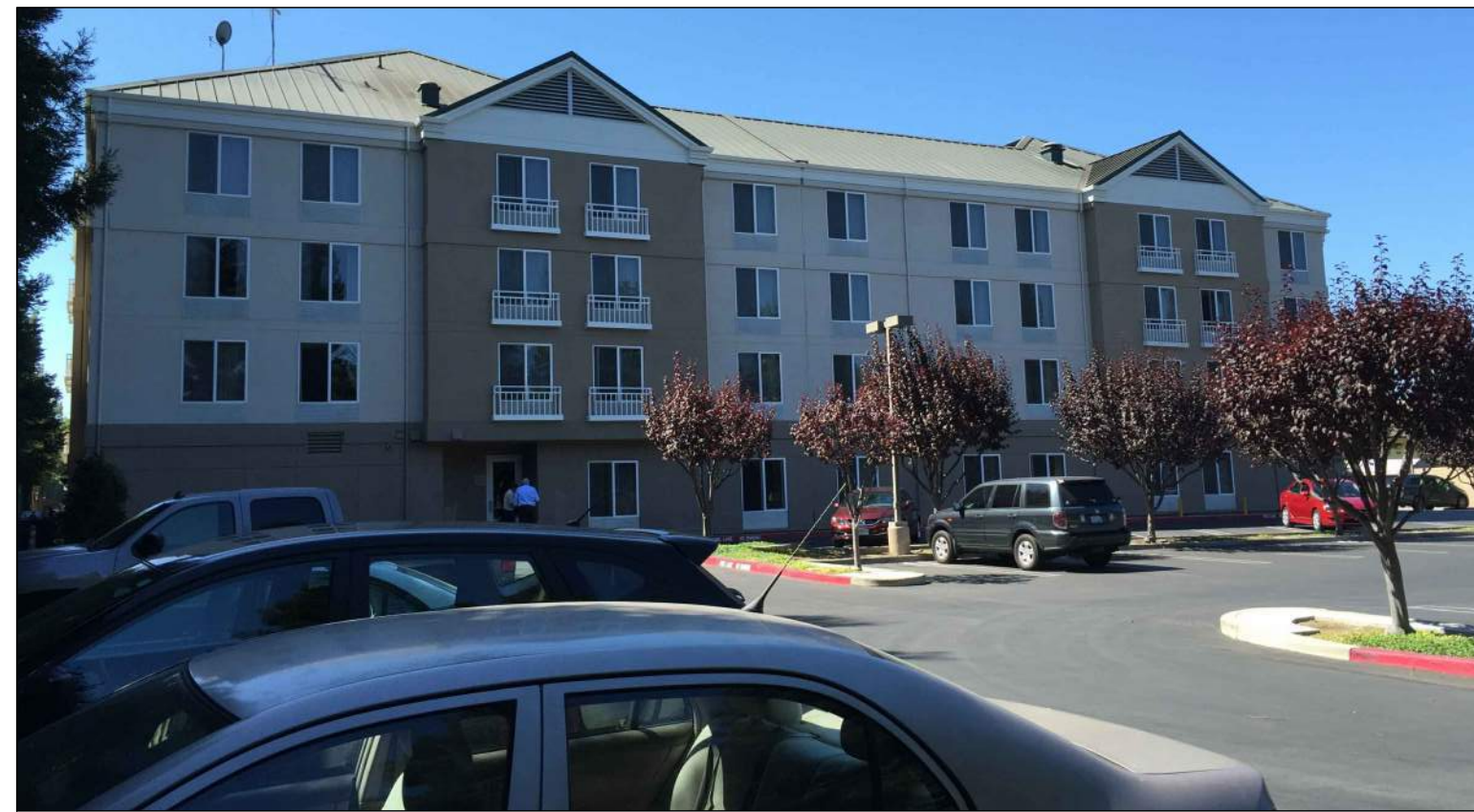


PHOTO NO. 1



PHOTO NO. 2



PHOTO NO. 3



PHOTO NO. 4



SITE KEY MAP



PHOTO NO. 5



PHOTO NO. 7



PHOTO NO. 6



PHOTO NO. 8

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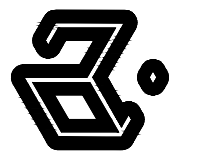
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SITE PHOTOS

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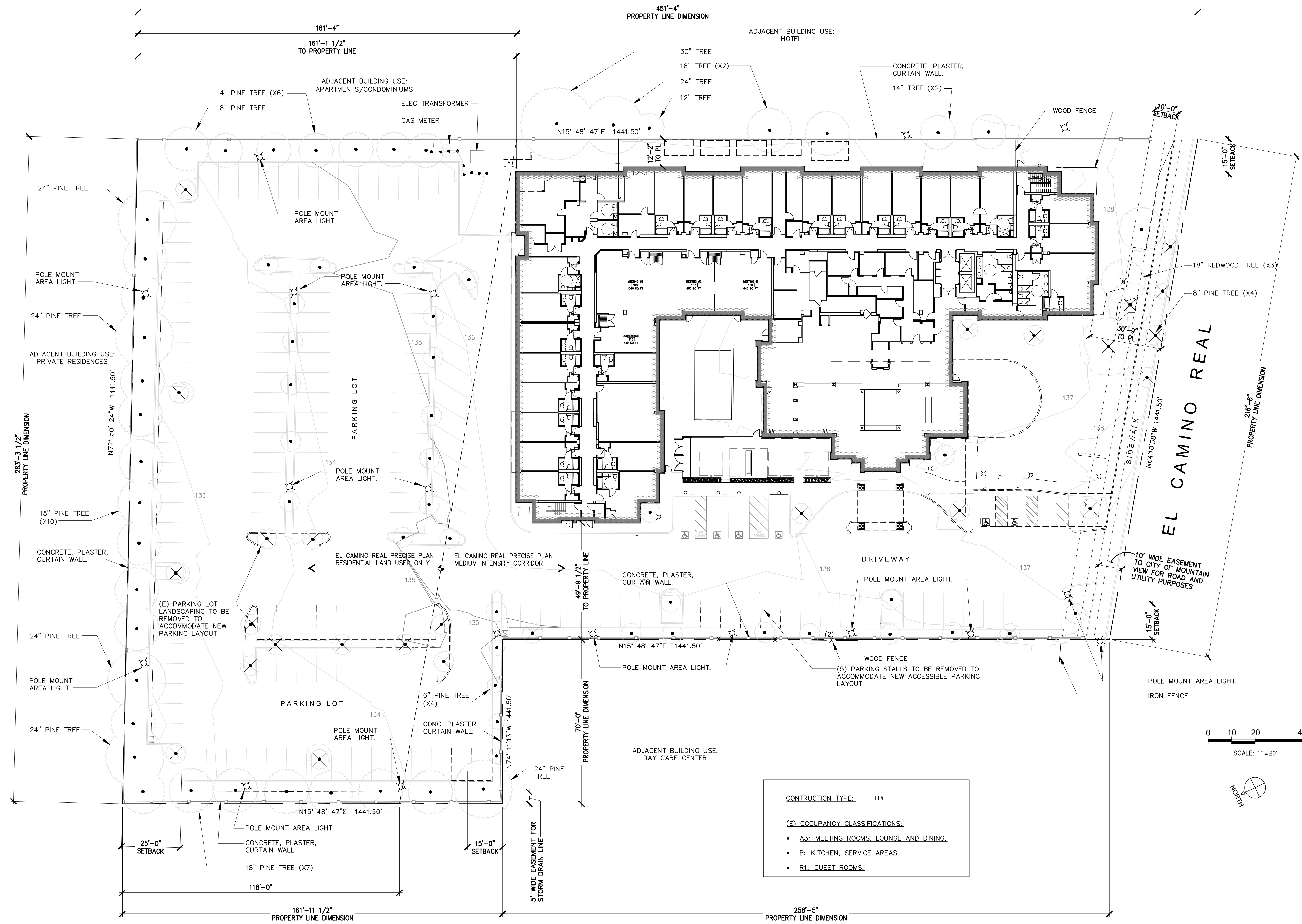
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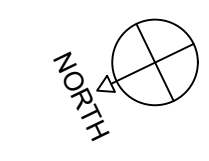
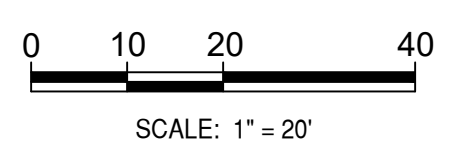
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CONSTRUCTION TYPE: IIA

(E) OCCUPANCY CLASSIFICATIONS:

- A3: MEETING ROOMS, LOUNGE AND DINING.
- B: KITCHEN, SERVICE AREAS.
- R1: GUEST ROOMS.



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EXISTING DEMO
 SITE PLAN

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bfs BFS
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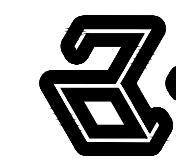
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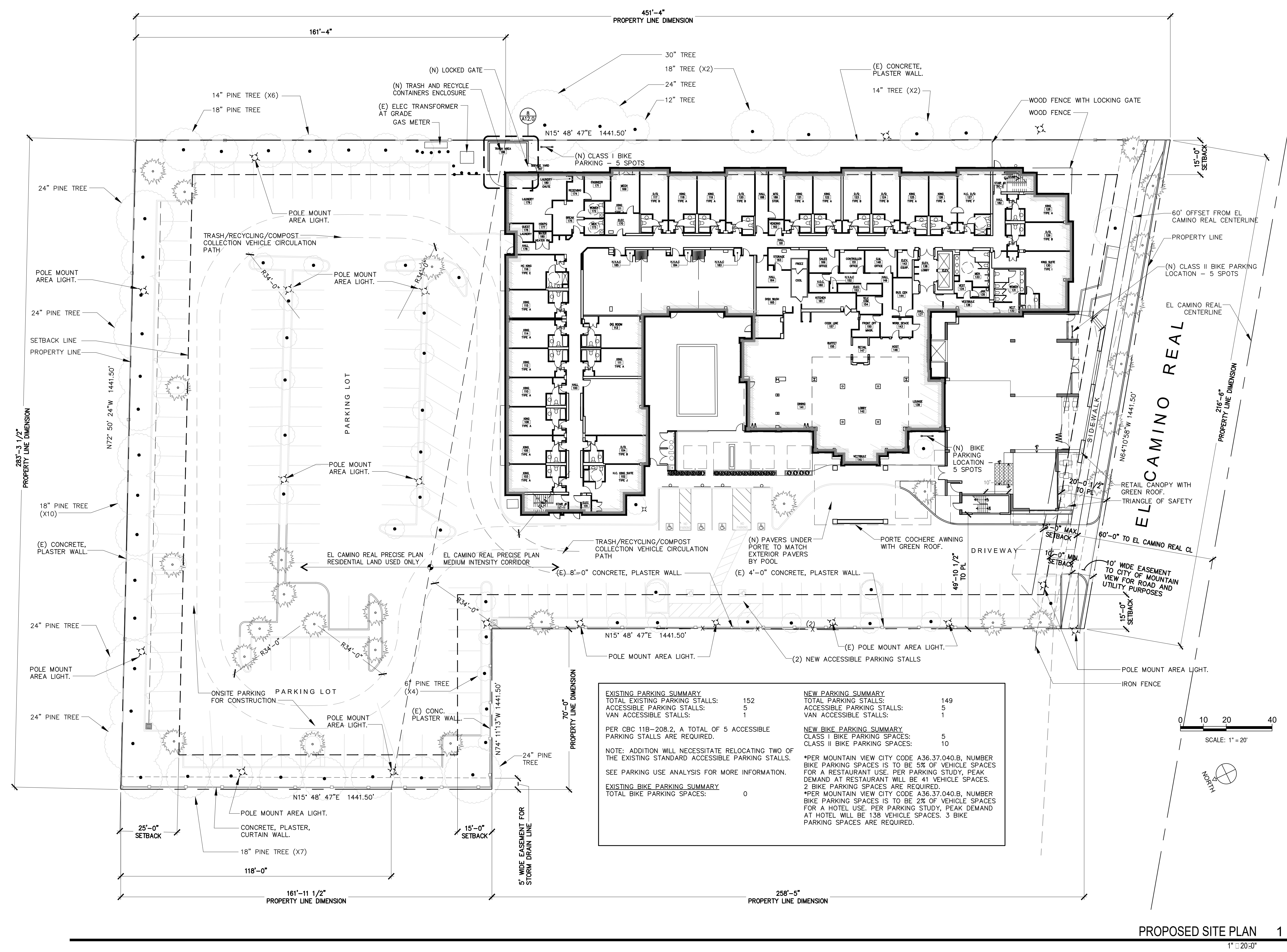
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EXISTING PARKING SUMMARY		NEW PARKING SUMMARY	
TOTAL EXISTING PARKING STALLS:	152	TOTAL PARKING STALLS:	149
ACCESSIBLE PARKING STALLS:	5	ACCESSIBLE PARKING STALLS:	5
VAN ACCESSIBLE STALLS:	1	VAN ACCESSIBLE STALLS:	1
EXISTING BIKE PARKING SUMMARY		NEW BIKE PARKING SUMMARY	
TOTAL BIKE PARKING SPACES:	0	CLASS I BIKE PARKING SPACES:	5
		CLASS II BIKE PARKING SPACES:	10

PER CBC 11B-208.2, A TOTAL OF 5 ACCESSIBLE PARKING STALLS ARE REQUIRED.

NOTE: ADDITION WILL NECESSITATE RELOCATING TWO OF THE EXISTING STANDARD ACCESSIBLE PARKING STALLS. SEE PARKING USE ANALYSIS FOR MORE INFORMATION.

*PER MOUNTAIN VIEW CITY CODE A36.37.040.B, NUMBER BIKE PARKING SPACES IS TO BE 5% OF VEHICLE SPACES FOR A RESTAURANT USE. PER PARKING STUDY, PEAK DEMAND AT RESTAURANT WILL BE 41 VEHICLE SPACES. 2 BIKE PARKING SPACES ARE REQUIRED.

*PER MOUNTAIN VIEW CITY CODE A36.37.040.B, NUMBER BIKE PARKING SPACES IS TO BE 2% OF VEHICLE SPACES FOR A HOTEL USE. PER PARKING STUDY, PEAK DEMAND AT HOTEL WILL BE 138 VEHICLE SPACES. 3 BIKE PARKING SPACES ARE REQUIRED.

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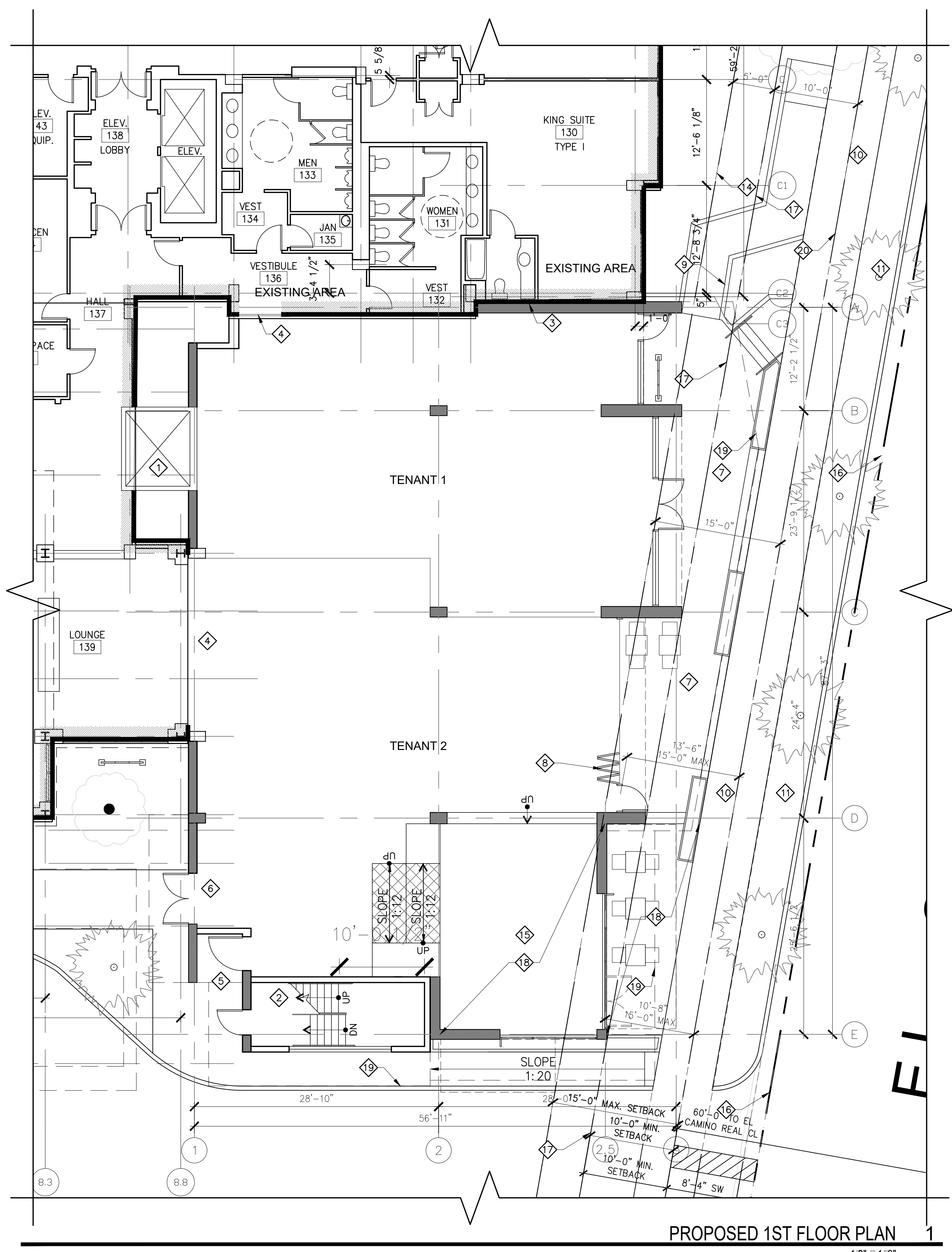
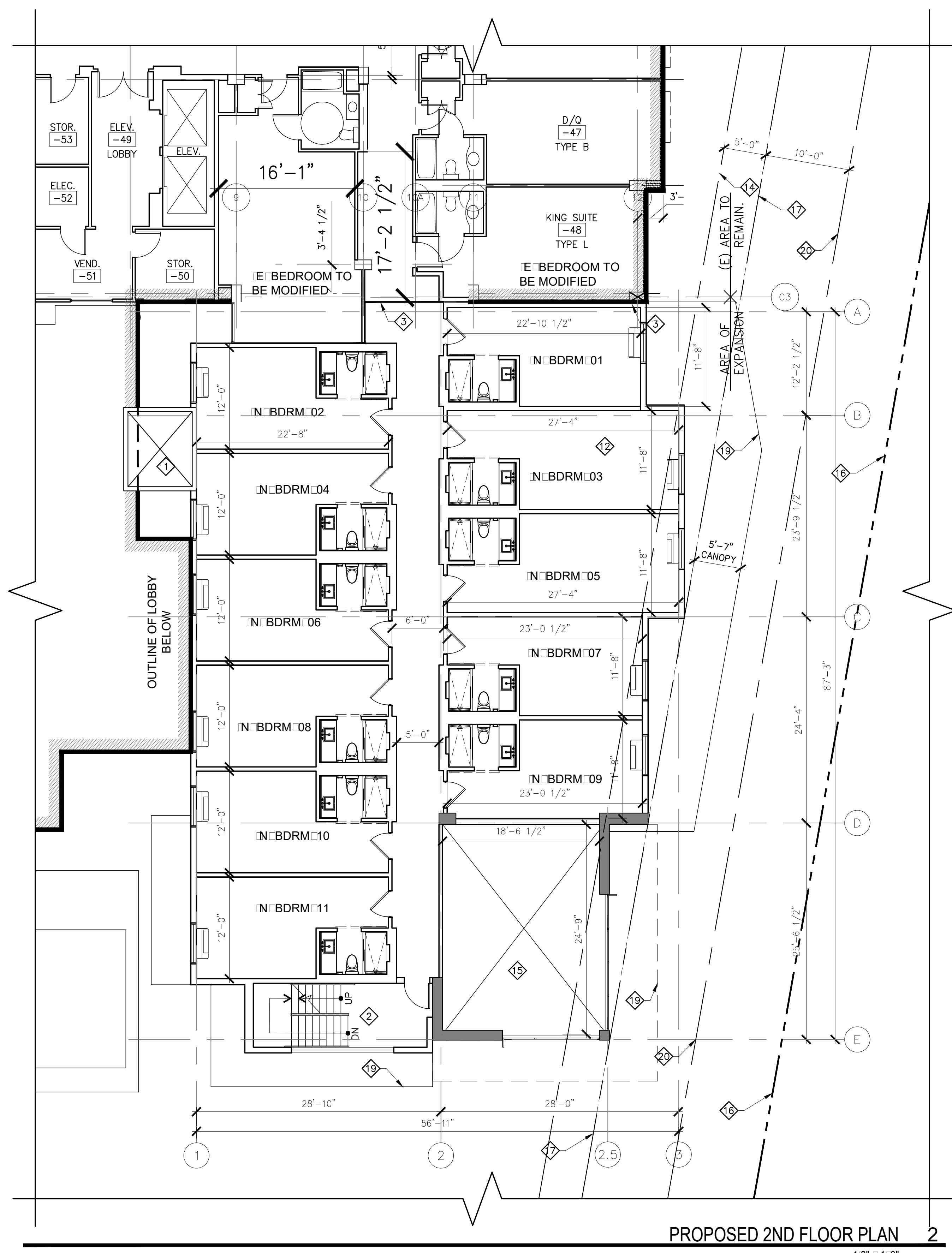
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PROPOSED SITE PLAN

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KEYNOTES

- 1 GOURNEY ELEVATOR FOR ROOFTOP ACCESS. ONLY STOPS ON FIRST FLOOR AND ROOF.
- 2 NEW EMERGENCY EGRESS STAIR TOWER PER CODE.
- 3 EXPANSION JOINT BETWEEN EXISTING PORTION OF BUILDING AND NEW.
- 4 DIRECT ACCESS FROM EXPANSION TO EXISTING GROUND FLOOR SPACES.
- 5 LOCKED OPEN AIR AREA FOR TENANT USE.
- 6 MAIN ENTRY FOR TENANT 2 SPACE
- 7 SUNKEN PATIO AREA.
- 8 ACCORDION DOOR FOR OPEN AIR PATIO ACCESS.
- 9 ACCESSIBLE PATIO ACCESS RAMP. POST AND BEAM CONSTRUCTION TO MINIMIZE ROOT INTRUSION. SEE ARBORIST REPORT FOR ROOT PROTECTION MEASURES, PIERS TO BE 3'-0" MAX DEEP.
- 10 NEW 7'-0" WIDE SIDEWALK (WALK ZONE)
- 11 NEW 5'-0" WIDE CONTINUOUS STREET PLANTING BED (PLANT ZONE)
- 12 ACCESSIBLE ROOM ON 2ND FLOOR ONLY.
- 13 SEE LANDSCAPE DRAWINGS FOR ROOF DECK DESIGN LAYOUT
- 14 15' MAX. SETBACK LINE AS MEASURED FROM 60' FROM EL CAMINO REAL CENTERLINE
- 15 DOUBLE HEIGHT FIRST FLOOR SPACE WITH VERTICALLY OPENING BI-FOLD DOORS
- 16 PROPERTY LINE
- 17 10' MIN. SETBACK LINE AS MEASURED FROM 60' FROM EL CAMINO REAL CENTERLINE
- 18 INDOOR AND PATIO AREA IS LEVEL WITH SIDEWALK
- 19 LINE OF PATIO CANOPY
- 20 60' OFFSET FROM EL CAMINO REAL CENTERLINE
- 21 EXISTING RATED ATTIC SPACE TO ACCOMMODATE NEW MECHANICAL UNITS AS NEEDED.

LEGEND

- (N) STRUCTURAL ELEMENT
- NON STRUCTURAL ELEMENT

SHEET NOTES

1. DIRECTIONAL AND INFORMATION SIGNAGE SHALL BE PROVIDED AT EXTERIOR AND INTERIOR SPACES PER 2013 CBC 11B-216.3.
2. DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 11B-404. SEE DETAILS #2,5,10/A0.3 FOR DIMENSIONS OF CLEAR SPACE AND THRESHOLD DETAILS.
3. EXIT DOORS SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE PER CBC 1008.1.10. NOTE: PANIC HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH UL 305, PER CBC 1008.1.10.1.
4. REFERENCE DETAIL #10/A0.3 FOR CLEAR AREA REQUIREMENTS AT DOORS.
5. FLOORS 3 + 4 SIM U.O.N.
6. SEE LANDSCAPE PLANS FOR NEW TREE LOCATIONS

DATE	ISSUES AND REVISIONS
2016 JULY 20	INFORMAL PLANNING
2016 DEC 16	PLANNING REVIEW
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2017 JULY 28	PLANNING REV. RESPONSE #2
2017 SEP 15	PLANNING REV. RESPONSE #3
2017 OCT 02	PLANNING REV. RESPONSE #4

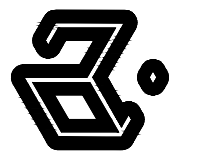
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 SHEET TITLE

**PROPOSED 1ST
 2ND FLOOR PLANS**

SHEET NUMBER
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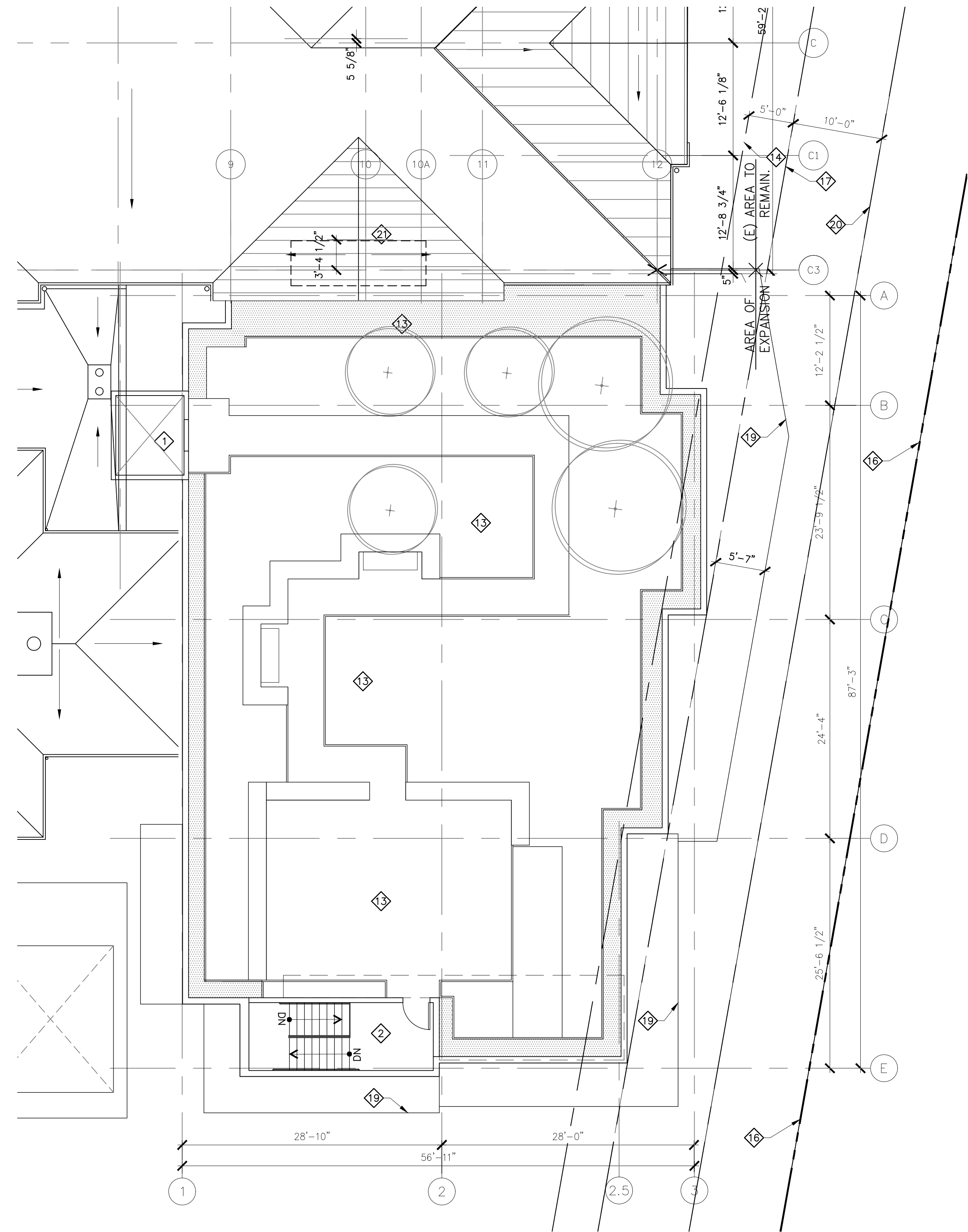
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F 510.444.2610
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PROJECT NAME

**HILTON
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EXPANSION**

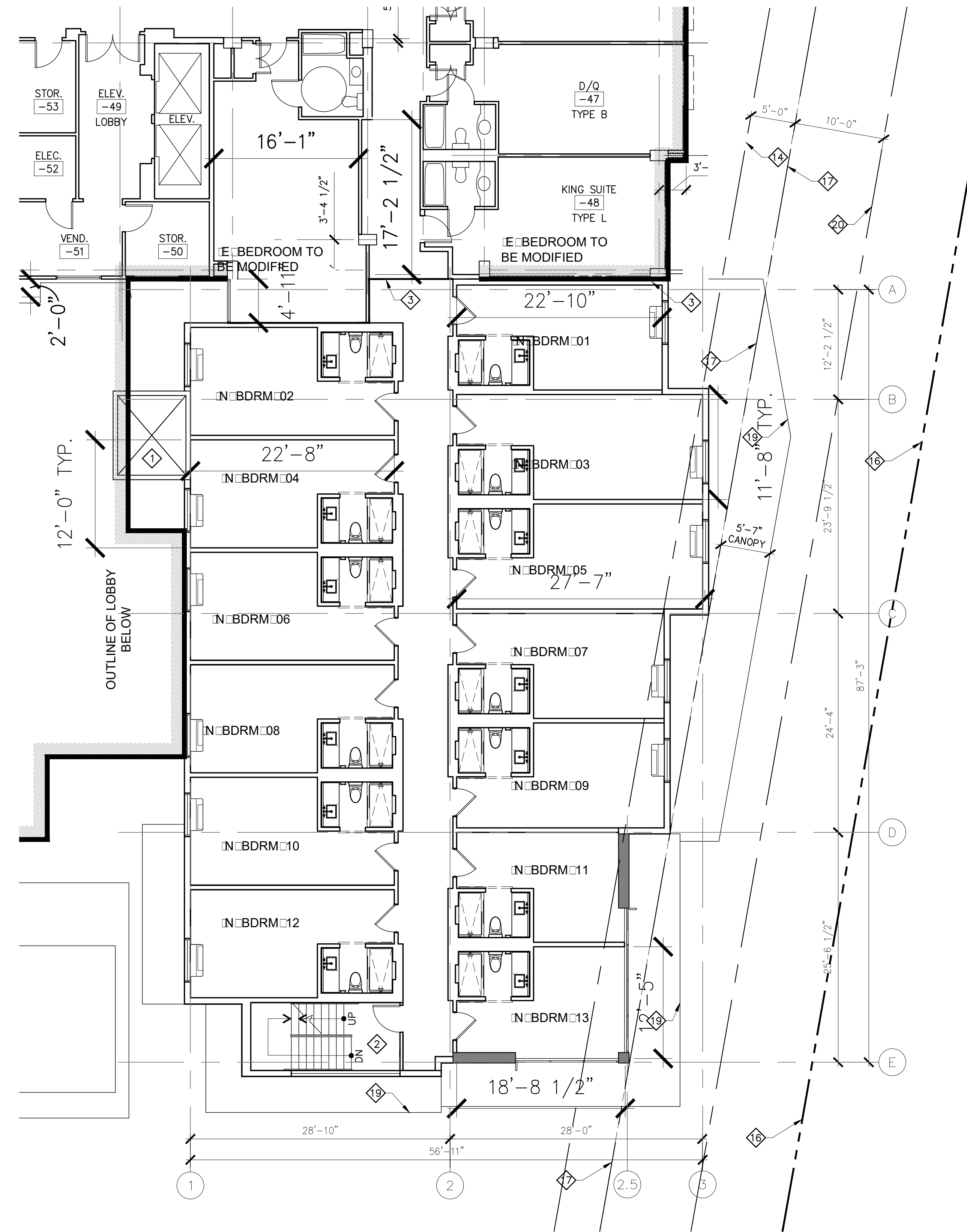
840 E EL CAMINO REAL
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PROPOSED ROOF PLAN 2

1/8" = 1'-0"



PROPOSED 3RD & 4TH FLOOR PLAN 1

1/8" = 1'-0"

KEYNOTES

- 1 GOURNEY ELEVATOR FOR ROOFTOP ACCESS. ONLY STOPS ON FIRST FLOOR AND ROOF.
- 2 NEW EMERGENCY EGRESS STAIR TOWER PER CODE.
- 3 EXPANSION JOINT BETWEEN EXISTING PORTION OF BUILDING AND NEW.
- 4 DIRECT ACCESS FROM EXPANSION TO EXISTING GROUND FLOOR SPACES.
- 5 LOCKED OPEN AIR AREA FOR TENANT USE.
- 6 MAIN ENTRY FOR TENANT 2 SPACE.
- 7 SUNKEN PATIO AREA.
- 8 ACCORDION DOOR FOR OPEN AIR PATIO ACCESS.
- 9 ACCESSIBLE PATIO ACCESS RAMP, POST AND BEAM CONSTRUCTION TO MINIMIZE ROOT INTRUSION. SEE ARBORIST REPORT FOR ROOT PROTECTION MEASURES, PIERS TO BE 3'-0" MAX DEEP.
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LEGEND

- (N) STRUCTURAL ELEMENT
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5. FLOORS 3 + 4 SIM U.O.N.
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2017 OCT 02	PLANNING REV. RESPONSE #4

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PROPOSED 3RD, 4TH & ROOF PLANS

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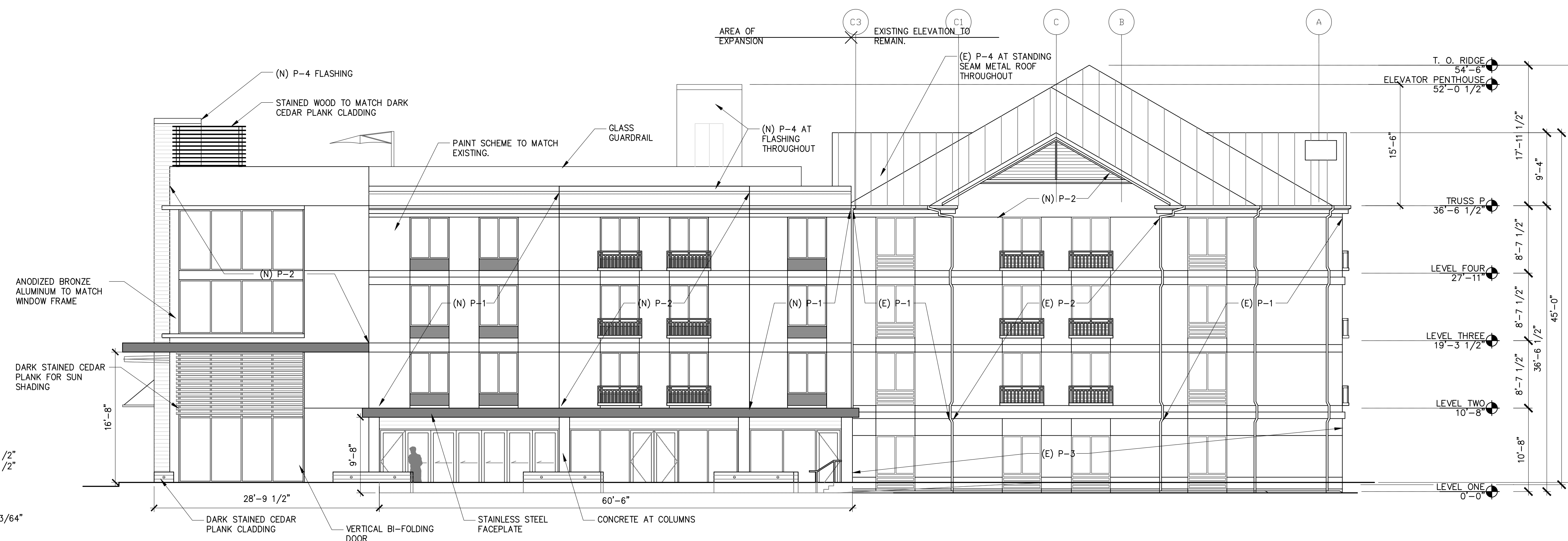
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EXISTING SOUTH ELEVATION - EL CAMINO REAL 1

SCALE: 1/8"=1'-0"



RETAIL HEIGHT CALCULATION:
TOTAL FRONTAGE 89'-3 1/2"
DOUBLE HEIGHT FRONTAGE 28'-9 1/2"
PERCENTAGE OF TOTAL 32.2%
HEIGHT AT DOUBLE SPACE 16'-8"
HEIGHT AT SINGLE SPACE 9'-8"
WEIGHTED AVERAGE HEIGHT 11'-11 3/64"

ISSUES AND REVISIONS

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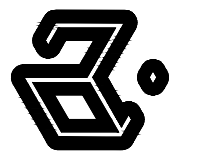
EXISTING PROPOSED EXTERIOR ELEVATIONS

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PROPOSED SOUTH ELEVATION - EL CAMINO REAL 2

SCALE: 1/8"=1'-0"



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EXISTING WEST ELEVATION 1

SCALE: 3/32"=1'-0"



PROPOSED WEST ELEVATION 2

SCALE: 3/32"=1'-0"

DATE	ISSUES AND REVISIONS
2016 JULY 20	INFORMAL PLANNING
2016 DEC 16	PLANNING REVIEW
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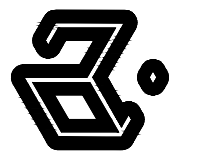
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EXISTING PROPOSED
EXTERIOR ELEVATIONS

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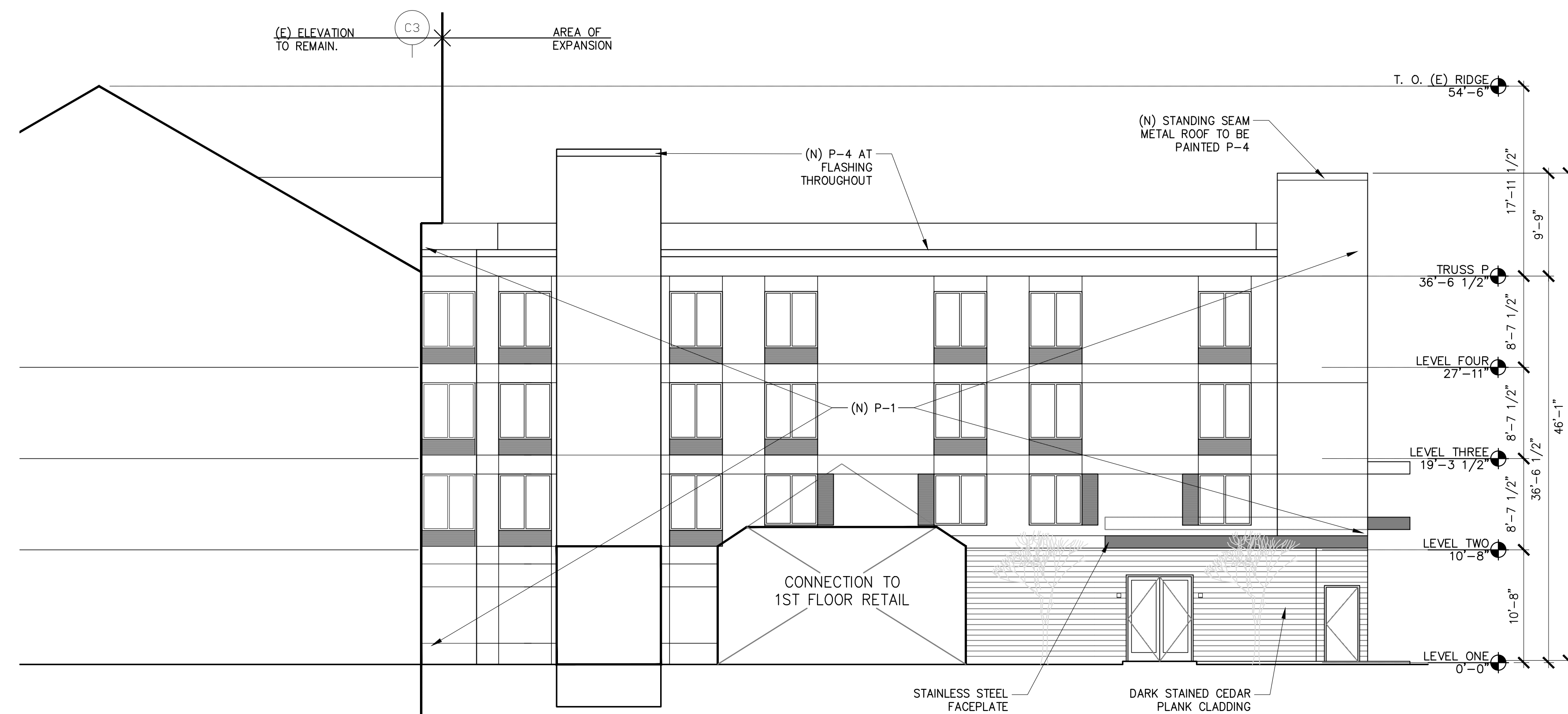
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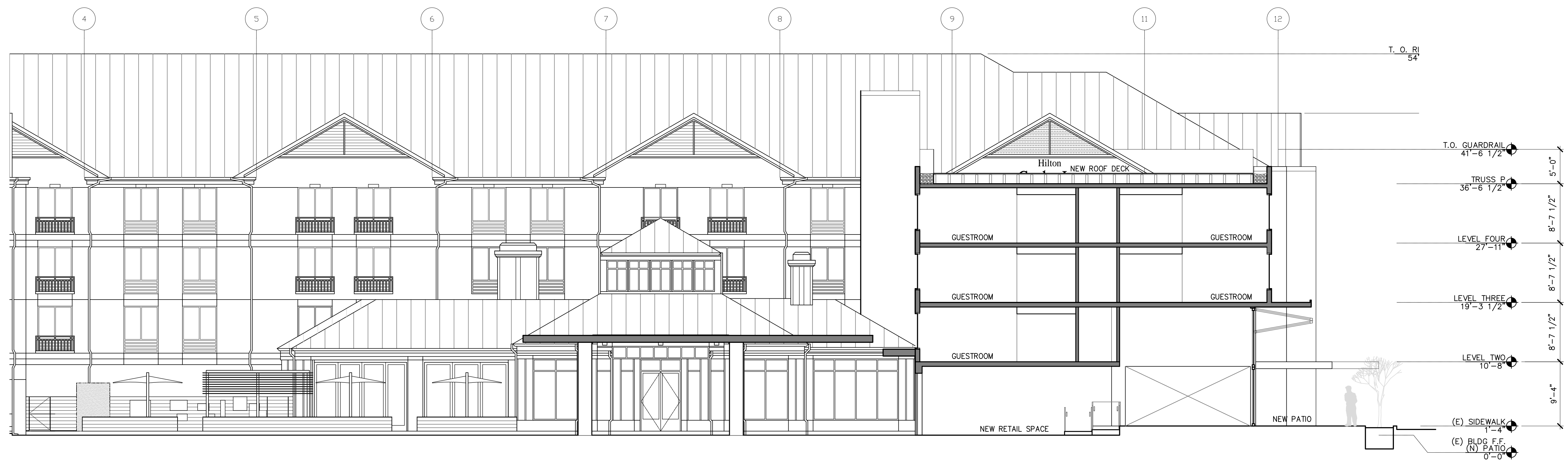
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PROPOSED NORTH ELEVATION 1

SCALE: 1/8"=1'-0"



PROPOSED BUILDING SECTION 2

SCALE: 1/8"=1'-0"

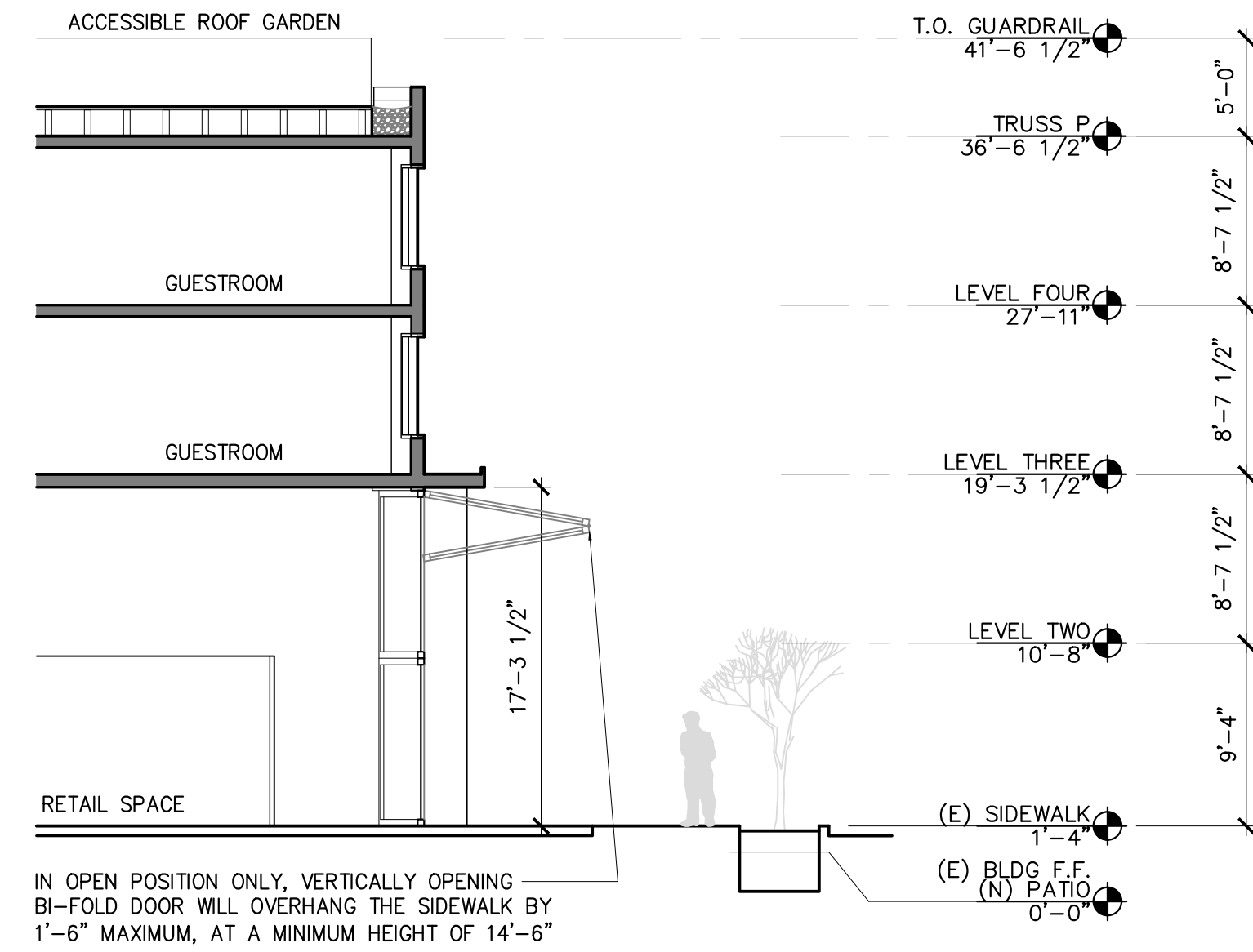
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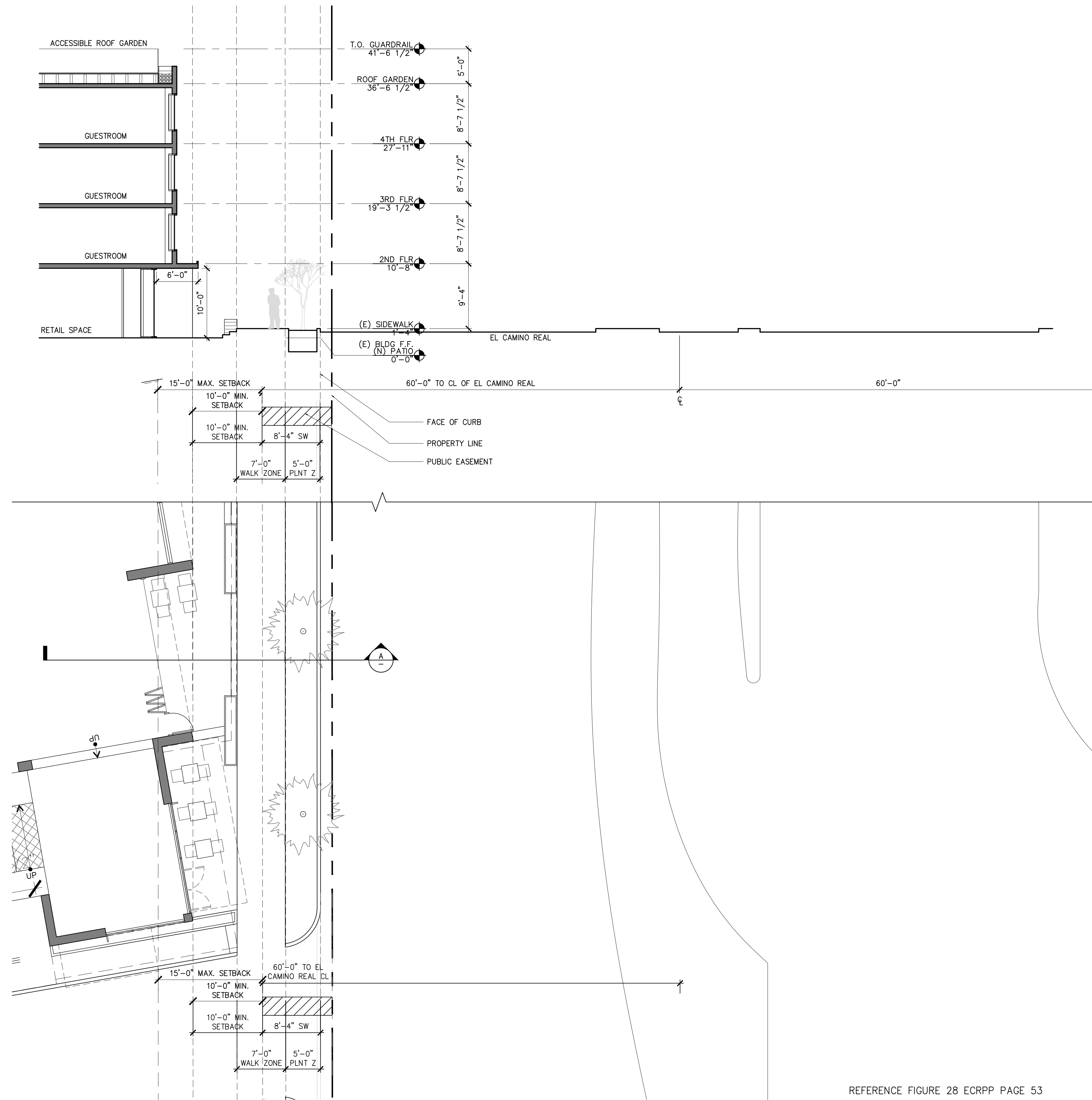
**PROPOSED BUILDING
SECTION ELEVATION**

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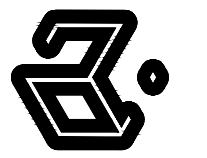


BUILDING SECTION 2
SCALE: 1/8"=1'-0"



REFERENCE FIGURE 28 ECRPP PAGE 53

BUILDING SECTION 1
SCALE: 1/8"=1'-0"



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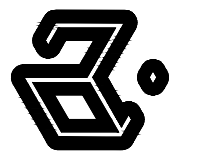
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SHEET TITLE

**PROPOSED BUILDING
SECTIONS**

SHEET NUMBER
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RENDERING - EL CAMINO REAL 1



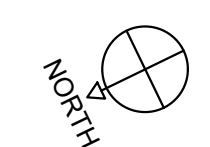
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2016 DEC 16	PLANNING REVIEW
2017 APR 28	PLANNING REV. RESPONSE #2
2017 JULY 28	PLANNING REV. RESPONSE #3
2017 SEP 15	PLANNING REV. RESPONSE #4
2017 OCT 02	PLANNING REV. RESPONSE #4

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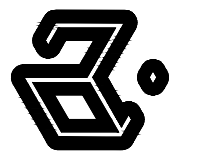
RENDERINGS

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RENDERING - EL CAMINO REAL 1



RENDERING - EL CAMINO REAL 2



SIMILAR DEVELOPMENT 3

ISSUES AND REVISIONS

DATE	ISSUES AND REVISIONS
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2017 OCT 02	PLANNING REV. RESPONSE #4

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SHEET TITLE

RENDERINGS

SHEET NUMBER
A9.0

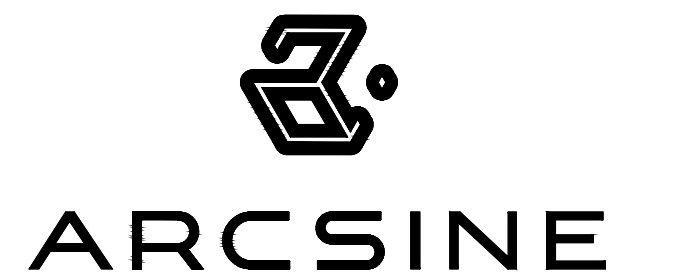
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(E) DARK STAINED CEDAR SIDING

DARK STAINED CEDAR SIDING TO MATCH

RENDERING - PARKING LOT 1



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STAINLESS STEEL FACEPLATE

CONCRETE AT COLUMNS

RENDERING - PARKING LOT 2

ISSUES AND REVISIONS

DATE	ISSUES AND REVISIONS
2016 JULY 20	INFORMAL PLANNING
2016 DEC 16	PLANNING REVIEW
2017 APR 28	PLANNING REV. RESPONSE #2
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RENDERINGS

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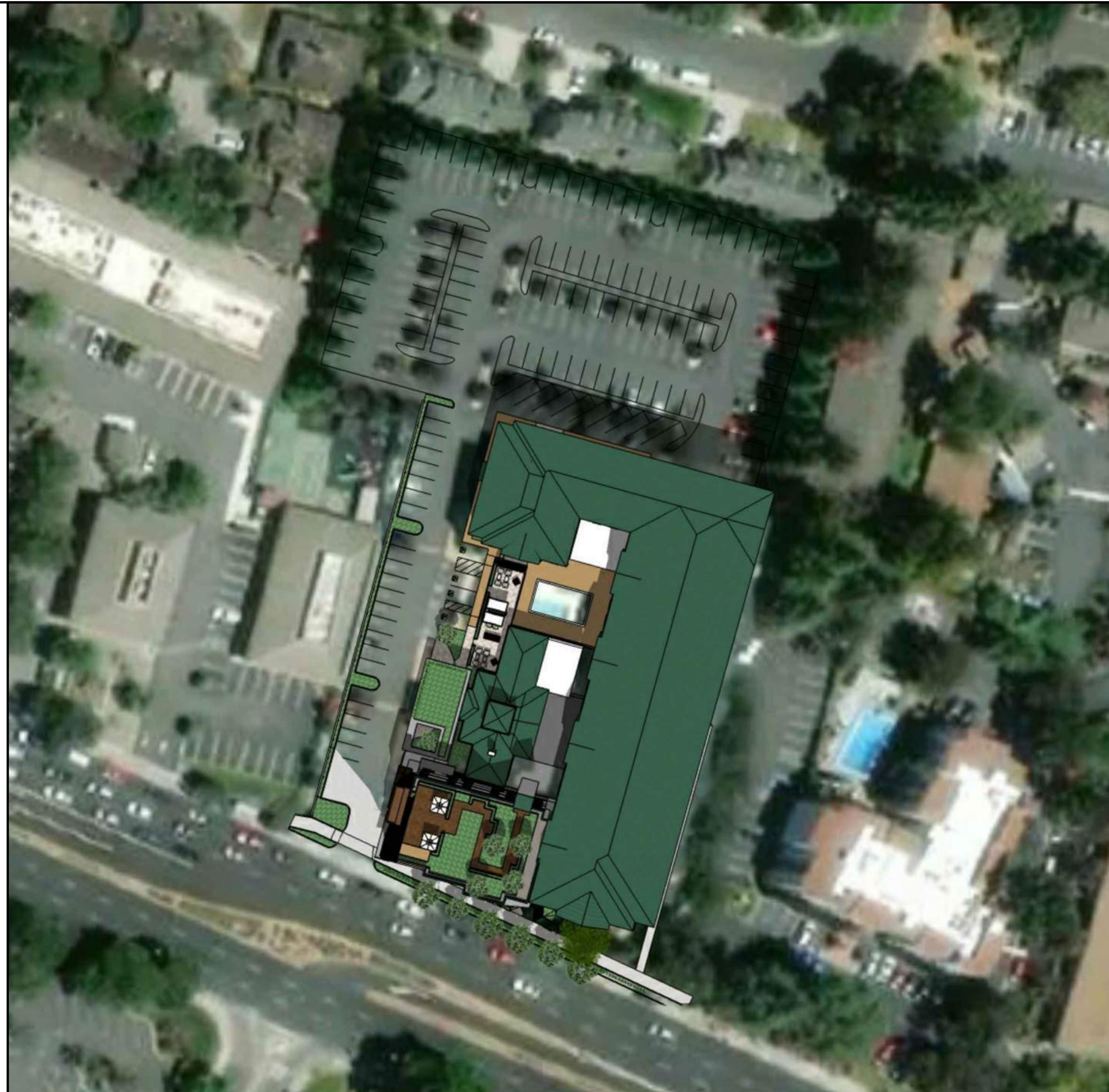
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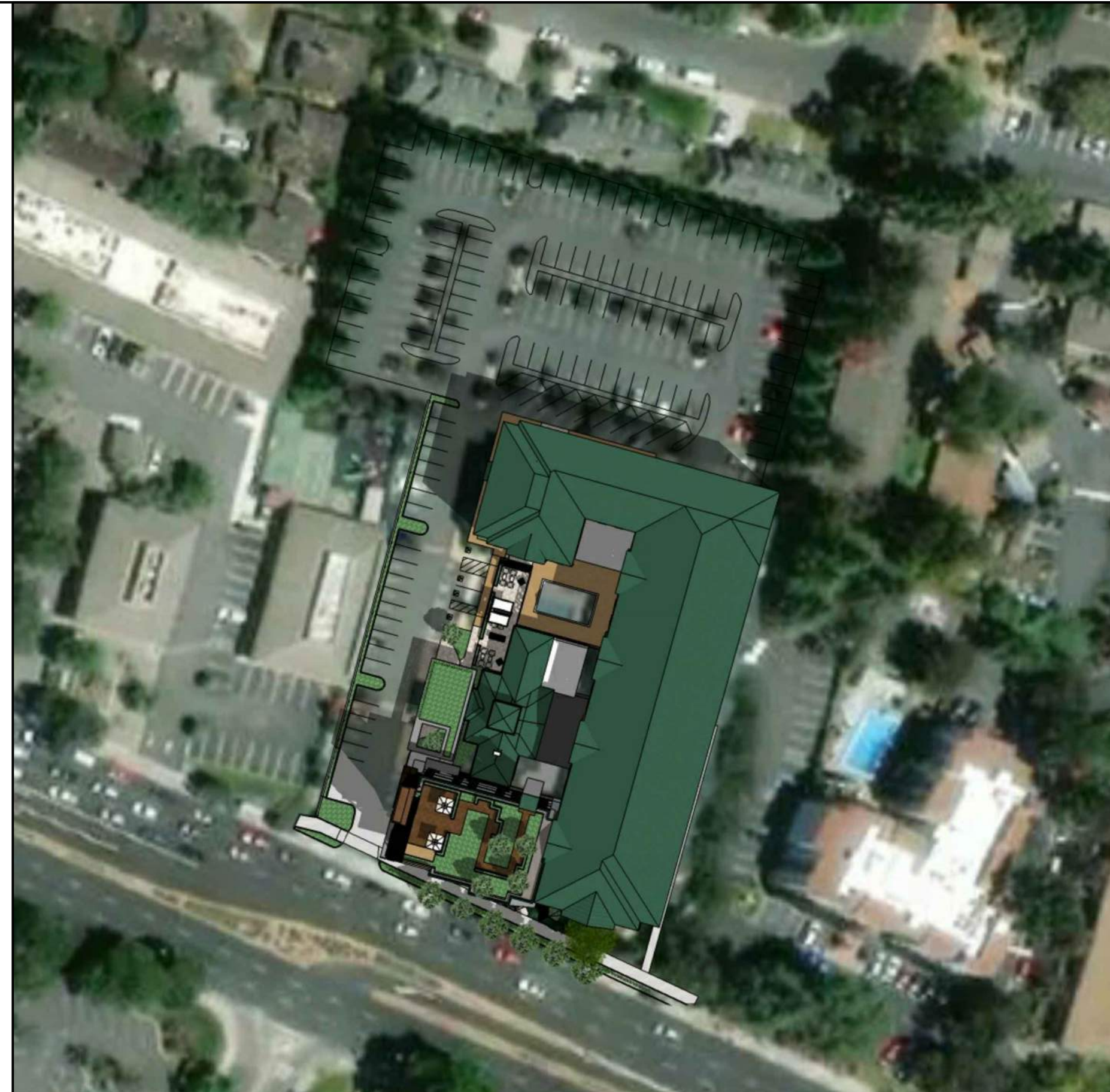
BIRD'S EYE VIEW

SHEET NUMBER
A9.04

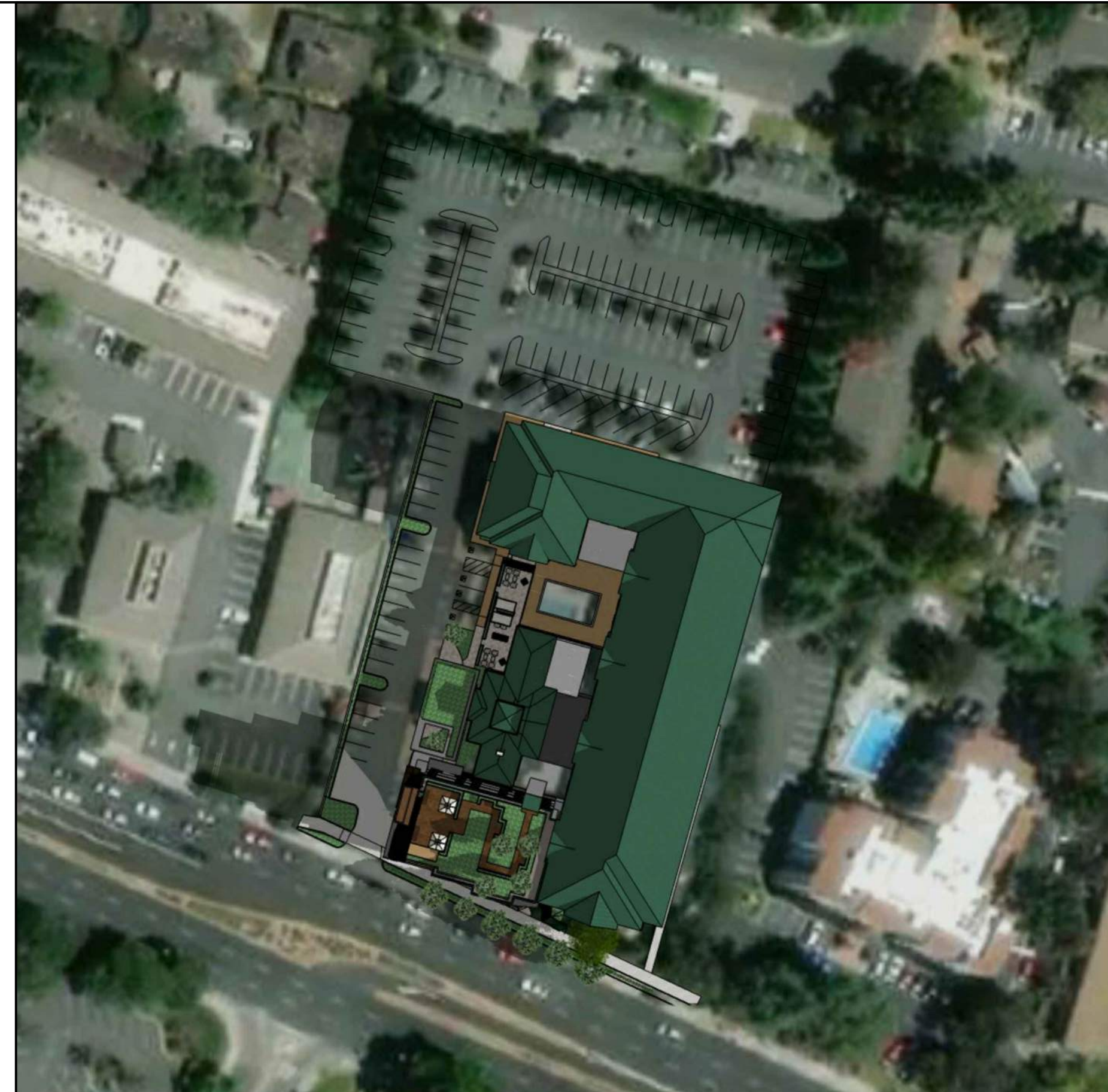
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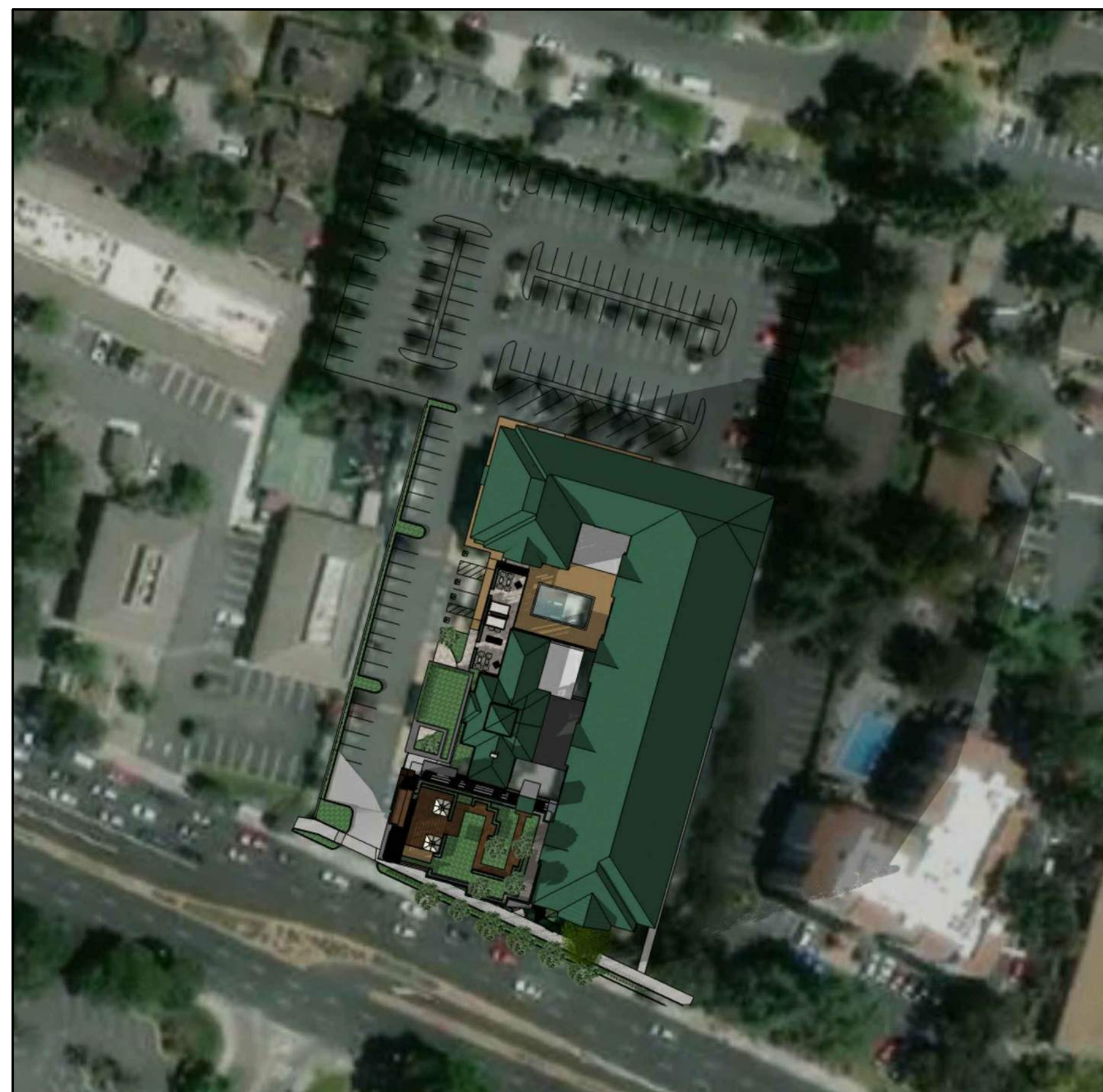
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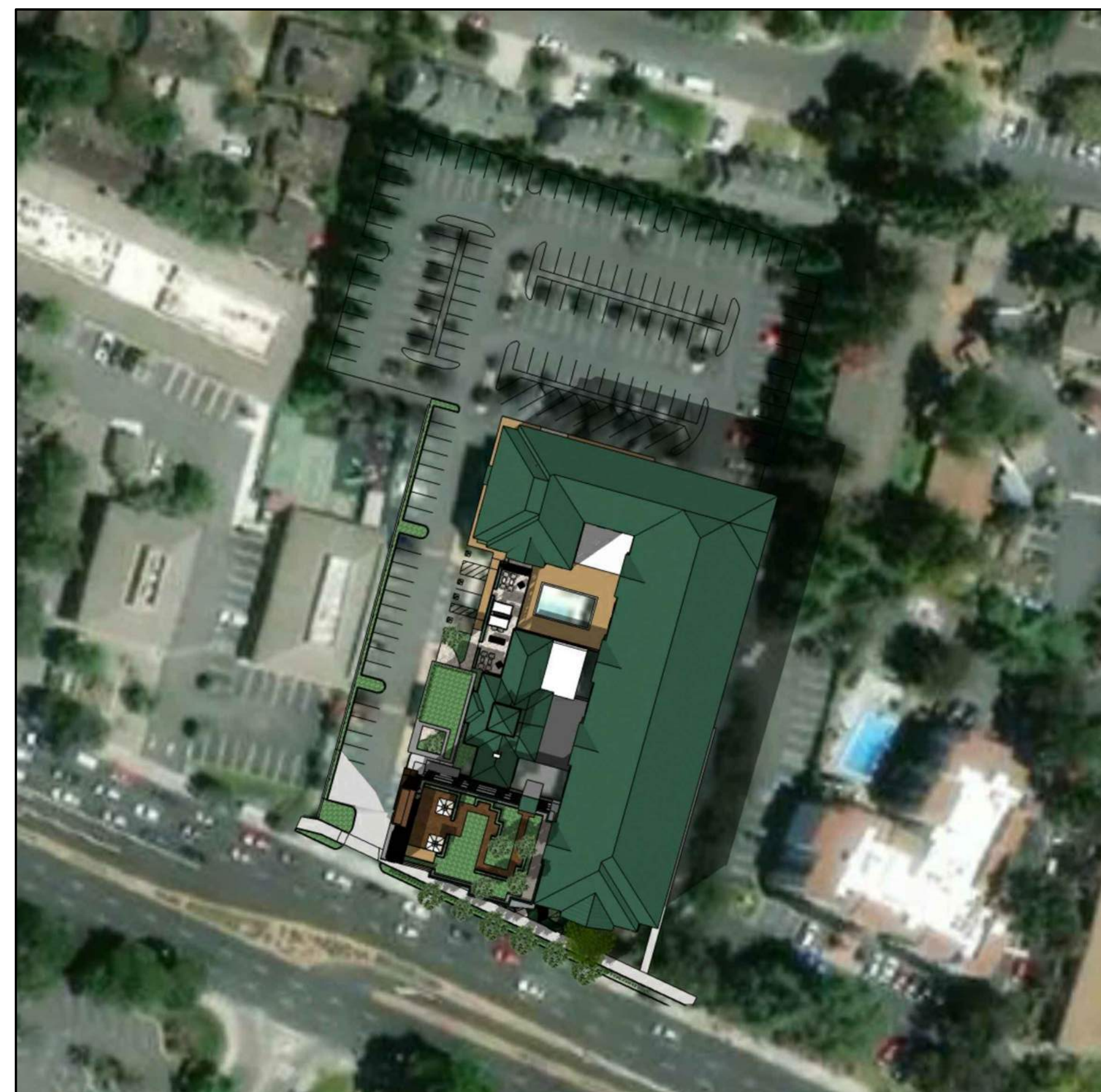
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MARCH 21, 10:00 AM



RENDERING - SHADOW STUDY 1
MARCH 21, 8:00 AM



RENDERING - SHADOW STUDY 5
MARCH 21, 5:00 PM



RENDERING - SHADOW STUDY 4
MARCH 21, 3:00 PM



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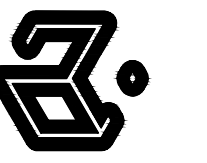
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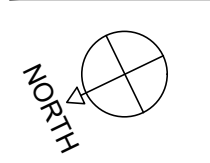


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SHEET TITLE

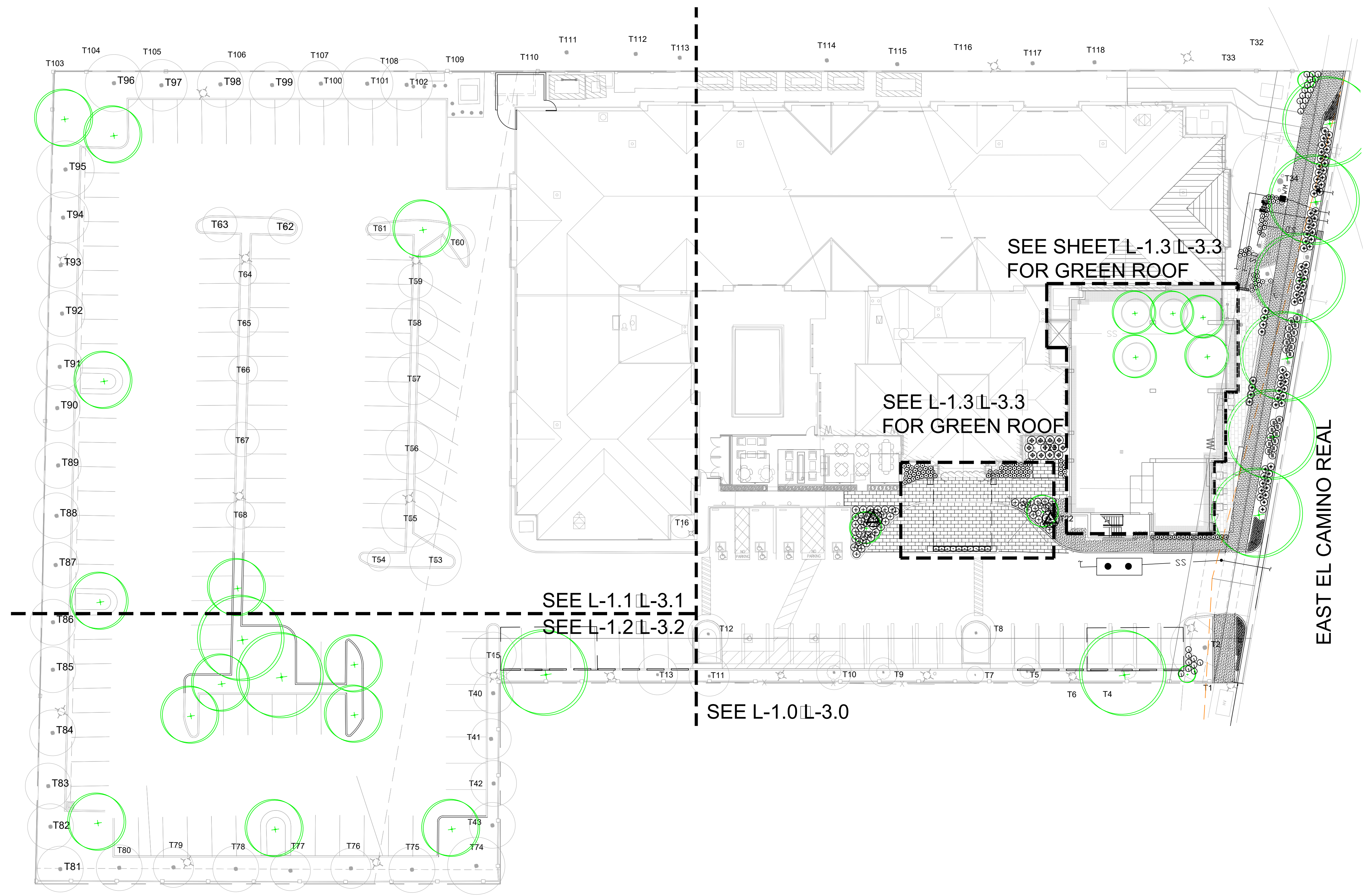
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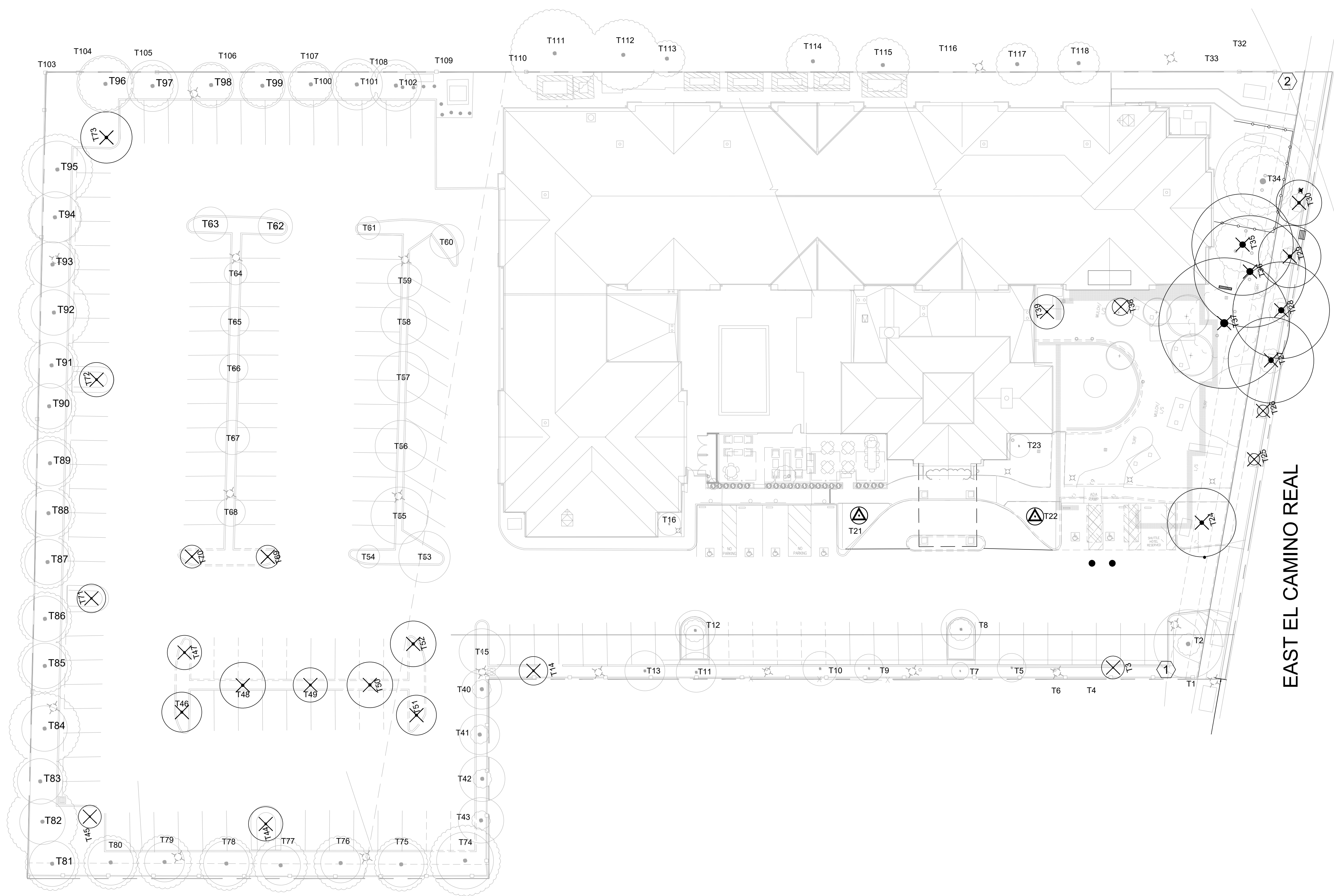


SHEET NUMBER
L-0.1



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LEGEND

- Existing Tree to Be Preserved
- Existing Tree to Be Removed
- Existing Tree to Be Relocated
- Proposed Tree to Be Planted - See Landscape Plan
- Tree Protection Fence

REFERENCE NOTES

- Tree 21 Relocated Planting Location. See Landscape Plan.
- Tree 22 Relocated Planting Location. See Landscape Plan.

EAST EL CAMINO REAL



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**HILTON
 GARDEN INN
 EXPANSION**
 840 E EL CAMINO REAL
 MOUNTAIN VIEW
 CALIFORNIA, 94040

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2017 SEP 15	PLANNING REV. RESPONSE
2017 OCT 02	PLANNING REV. RESPONSE

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PROJECT NUMBER 1528.02-16.033
 SHEET TITLE TREE PRESERVATION PLAN

SHEET NUMBER
 L-0.2

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SEE SHEET L-0.3 FOR GENERAL NOTES, TREE PRESERVATION NOTES, TREE PRESERVATION LEGEND, TREE REMOVAL LEGEND AND TREE SUMMARY



TREE PRESERVATION LEGEND

Species	Tree ID Number	Size DBH (inches)	Heritage
Quercus ilex	T1	6.1"	
Pyrus calleryana 'Bradford'	T2	9.5"	
Arbutus 'Marina'	T4	5"	
Podocarpus gracilior	T5	4.0"	
Arbutus 'Marina'	T6	4.0"	
Podocarpus gracilior	T7	3.0"	
Prunus cerasifera 'Krauter Vesuvius'	T8	6.5"	
Podocarpus gracilior	T9	4.0"	
Podocarpus gracilior	T10	4.2"	
Prunus cerasifera 'Krauter Vesuvius'	T11	3.0"	
Prunus cerasifera 'KV'	T12	6.4"	
Podocarpus gracilior	T13	5"	
Prunus cerasifera 'KV'	T15	8.1"	
Tristanopsis laurina	T16	3.0"	
Syagrus romanzoffianum	T17	9.9"	
Syagrus romanzoffianum	T18	14.0"	
Acer palmatum dissectum 'Crimson Queen'	T19	2.7"	
Acer palmatum	T20	2.7"	
Acer palmatum	T23	2.2"	
Quercus rubra	T25	1.0"	
Quercus rubra	T26	1.0"	
Quercus ilex	T27	10.4"	
Quercus ilex	T28	10.3"	
Quercus rubra	T29	6.1"	
Quercus rubra	T30	5.3"	
Quercus ilex	T31	5.7"	
Fraxinus oxycarpa 'Raywood'	T32	18.1"	Y
Fraxinus oxycarpa 'Raywood'	T33	17.2"	Y
Sequoia sempervirens	T34	21.8"	Y
Sequoia sempervirens	T35	17.0"	Y
Sequoia sempervirens	T36	18.7"	Y
Prunus cerasifera 'KV'	T40	5.7"	
Prunus cerasifera 'KV'	T41	5.8"	
Prunus cerasifera 'KV'	T42	5.5"	
Prunus cerasifera 'KV'	T43	5.3"	
Prunus cerasifera 'KV'	T53	7.7"	
Prunus cerasifera 'KV'	T54	4.5"	
Prunus cerasifera 'KV'	T55	6.9"	
Prunus cerasifera 'KV'	T56	6.1"	
Prunus cerasifera 'KV'	T57	6.0"	
Prunus cerasifera 'KV'	T58	6.5"	
Prunus cerasifera 'KV'	T59	6.7"	
Prunus cerasifera 'KV'	T60	6.4"	
Prunus cerasifera 'KV'	T61	4.4"	
Prunus cerasifera 'KV'	T62	6.9"	
Prunus cerasifera 'KV'	T63	5.3"	
Prunus cerasifera 'KV'	T64	4.4"	
Prunus cerasifera 'KV'	T65	4.4"	
Prunus cerasifera 'KV'	T66	4.9"	
Prunus cerasifera 'KV'	T67	5.8"	
Prunus cerasifera 'KV'	T68	7.0"	

continued		
Species	Tree ID Number	Size DBH Heritage
Sequoia sempervirens	T74	20.6" Y
Sequoia sempervirens	T75	18.6" Y
Sequoia sempervirens	T76	20.0" Y
Sequoia sempervirens	T77	20.3" Y
Sequoia sempervirens	T78	19.7" Y
Sequoia sempervirens	T79	20.7" Y
Sequoia sempervirens	T80	18.9" Y
Sequoia sempervirens	T81	19.7" Y
Sequoia sempervirens	T82	23.6" Y
Sequoia sempervirens	T83	20.9" Y
Sequoia sempervirens	T84	21.7" Y
Sequoia sempervirens	T85	20.3" Y
Sequoia sempervirens	T86	20.4" Y
Sequoia sempervirens	T87	20.2" Y
Sequoia sempervirens	T88	17.6" Y
Sequoia sempervirens	T89	20.2" Y
Sequoia sempervirens	T90	20.4" Y
Sequoia sempervirens	T91	20.8" Y
Sequoia sempervirens	T92	23.2" Y
Sequoia sempervirens	T93	20.7" Y
Sequoia sempervirens	T94	22.1" Y
Sequoia sempervirens	T95	25.1" Y
Sequoia sempervirens	T96	18.2" Y
Sequoia sempervirens	T97	13.8" Y
Sequoia sempervirens	T98	14.8" Y
Sequoia sempervirens	T99	13.9" Y
Sequoia sempervirens	T100	12.3" Y
Sequoia sempervirens	T101	13.8" Y
Sequoia sempervirens	T102	18.2" Y
Sequoia sempervirens	T103	6.0"
Pinus radiata	T104	18.0" Y
Pinus radiata	T105	14.0"
Sequoia sempervirens	T106	5.0" Y
Sequoia sempervirens	T107	8.0" Y
Pinus radiata	T108	12.0"
Sequoia sempervirens	T109	7.0" Y
Sequoia sempervirens	T110	5.0" Y
Pinus radiata	T111	24.0" Y
Cedrus deodara	T112	20.0" Y
Cedrus deodara	T113	24.0" Y
Fraxinus oxycarpa 'Raywood'	T114	12.0"
Fraxinus oxycarpa 'Raywood'	T115	13.0"
Fraxinus oxycarpa 'Raywood'	T116	13.0"
Fraxinus oxycarpa 'Raywood'	T117	14.0"

continued		
Species	Tree ID Number	Size DBH Heritage
Fraxinus oxycarpa 'Raywood'	T118	13.0"
Ficus microcarpa	T119	12.0"
Ficus microcarpa	T120	15.0"
Ficus microcarpa	T121	12.0"
Ficus microcarpa	T122	12.0"
Ficus microcarpa	T123	14.0"

TREE REMOVAL LEGEND

Species	Tree ID Number	Size DBH Heritage
Podocarpus gracilior	T3	4.6"
Podocarpus gracilior	T14	4.3"
Pyrus calleryana 'Bradford'	T24	9.6"
Quercus rubra	T25	1"
Quercus rubra	T26	1"
Quercus ilex	T27	10.4" Y
Quercus ilex	T28	10.3" Y
Quercus rubra	T29	6.1" Y
Quercus rubra	T30	5.3" Y
Sequoia sempervirens	T35	17.0" Y
Sequoia sempervirens	T36	18.7" Y
Sequoia sempervirens	T37	77.9" Y
Acer palmatum	T38	2.5"
Acer palmatum dissectum 'Crimson Queen'	T39	2.8"
Prunus cerasifera 'KV'	T44	4.8"
Prunus cerasifera 'KV'	T45	4.1"
Prunus cerasifera 'KV'	T46	7.0"
Prunus cerasifera 'KV'	T47	5.8"
Prunus cerasifera 'KV'	T48	6.2"
Prunus cerasifera 'KV'	T49	6.4"
Prunus cerasifera 'KV'	T50	7.0"
Prunus cerasifera 'KV'	T51	8.1"
Prunus cerasifera 'KV'	T52	7.7"
Prunus cerasifera 'KV'	T69	6.1"
Prunus cerasifera 'KV'	T70	6.9"
Prunus cerasifera 'KV'	T71	6.9"
Prunus cerasifera 'KV'	T72	5.9"
Prunus cerasifera 'KV'	T73	7.4"

TREE RELOCATION LEGEND

Species	Tree ID Number	Size DBH Heritage
Acer palmatum dissectum 'Crimson Queen'	T21	2.0"
Acer palmatum dissectum 'Crimson Queen'	T22	2.0"

TREE SUMMARY

	Heritage	Non-Heritage	Total
Number of Trees to be Removed	7	21	28
Number of Trees to be Relocated		2	2
Number of Trees to be Preserved			95
Number of Trees to be Planted			30
Number of Mitigation Trees Planted			25

TREE PROTECTION NOTES

- All tree removal and protection measures shall be implemented consistent with measures in the Specifications and the Mountain View City Code relating to the Urban Forest. The contractor shall get permission from the City Arborist to remove any additional trees from the site prior to construction.
- All trees scheduled for preservation shall be temporarily fenced during construction. Fencing shall be installed prior to starting work. Fencing shall consist of minimum 6' high chain link fence. Fencing shall be rigidly supported and maintained during construction. Fenced areas shall be maintained in a natural condition and not compacted. The following practices are prohibited inside the Protection Zone: storage of construction materials, debris or excavated material; dumping of chemicals or garbage; parking vehicles or equipment; foot traffic; erection of sheds or structures; impoundment of water; excavation or other digging unless otherwise indicated; attachment of signs to or wrapping materials around trees or plants unless otherwise indicated; smoking or other flame or ignition source. Removal of fencing shall be allowed following approval by the Project Arborist. Tree fencing locations shall be determined in field by the Project Arborist.
- The Contractor shall not be allowed to store equipment or material within the dripline area under trees to be preserved.
- Selectively prune any tree crowns that lean into the construction area and obstruct construction activities. Pruning to be done under supervision of Project Arborist and Landscape Architect.
- Utility and drainlines shall be located outside the root zone of trees scheduled for preservation.
- All approved construction work within the root zone of trees scheduled for preservation shall receive the following minimum tree protection: Hand trench at point or line of grade cuts closest to the trunk to expose major roots 2-inches in diameter or larger.
- No significant tree as defined by City "Heritage Tree Act" may be removed or trimmed unless authorized under City regulation.
- No soil may be removed from within the dripline of any tree and no fill of additional soil can exceed two inches (2") within the driplines of trees, unless it is part of approved construction and is reviewed by a qualified forester or certified arborist.
- Excavation needed near trees to remain must be minimized. Any excavation in rooted areas will conform with the City Tree Protection Ordinance and these specifications. Roots exposed by excavation must be pruned cleanly and re-covered as quickly as possible to promote callusing, closure and healthy regrowth.
- All tree work shall be monitored by a qualified forester or certified arborist and work completed by qualified tree service personnel. Oaks should not be trimmed during periods of rapid growth in the spring and early summer so that deformed "witches broom" growth is not stimulated.
- The contractor should consult the Santa Clara County Agricultural Commissioner's office immediately prior to any work that requires cutting and removal of oak materials from the site so that current requirements for oak and redwood materials regulated to control SOD can be followed and enforced.
- Number, Species, Size, and Location of replacement trees shall be determined at time of Final approval of Landscape Plan.
- Where directed by Project Arborist or Architect, aerate surface soil compacted during construction. Aerate 10 feet beyond dripline and no closer than 36 inches to tree trunk. Drill 2-inch diameter holes a minimum of 12-inches deep at 24-inches o.c. Backfill holes with an equal mix of augered soil and sand.

GENERAL NOTES

- As defined by Mountain View City Code, a Heritage tree shall mean any one of the following:
 - A tree which has a trunk with a circumference of forty-eight (48) inches or more measured at fifty-four (54) inches above natural grade;
 - A multi-branched tree which has major branches below fifty-four (54) inches above the natural grade with a circumference of forty-eight (48) inches measured just below the first major trunk fork.
 - Any quercus (oak), sequoia (redwood) or cedrus (cedar) tree with a circumference of twelve (12) inches or more when measured at fifty-four (54) inches above natural grade;
 - A tree or grove of trees designated by resolution of the city council to be of special historical value of significant community benefit.



PROJECT NAME
HILTON GARDEN INN EXPANSION
 840 E EL CAMINO REAL MOUNTAIN VIEW CALIFORNIA, 94040

NOT FOR CONSTRUCTION



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PROJECT NUMBER 1528.02 / 16.033
 SHEET TITLE TREE PRESERVATION NOTES

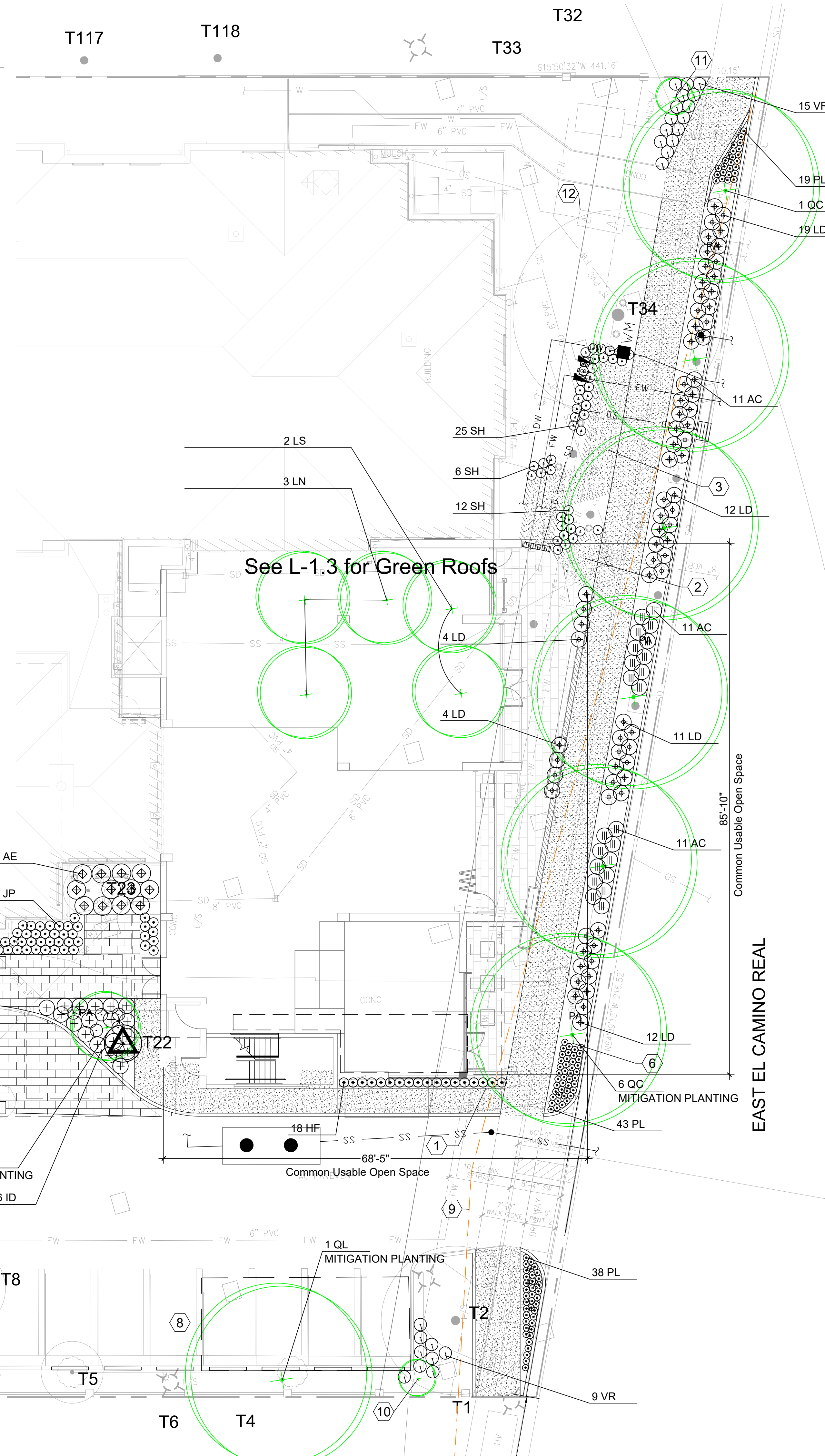
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PLANT LEGEND

*WUC	QTY	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
Trees						
L	13	CT	xChitalpa tashkentensis 'Morning Cloud'	Chitalpa	24" Box	
L	3	LN	Lagerstroemia 'Natchez'	Crepe Myrtle	24" Box	
L	2	LS	Laurus 'Saratoga'	Saratoga Bay Laurel	24" Box	
VL	2	OE	Olea europaea 'Skylark Dwarf'	Common name	24" Box	Multi-trunked, 3 canes
L	6	QC	Quercus coccinea	Scarlet Oak	24" Box	
L	4	QL	Quercus lobata	Valley Oak	24" Box	
Shrubs						
L	III	AC	Artemisia 'Powys Castle'	Artemisia	1 Gal.	
L	●	CV	Callistemon viminalis 'CV01'	Slimottlebrush	5 Gal.	
L	⊕	LM	Lantana montevidensis 'Luscious Grape'	Lantana	1 Gal.	
L	⊕	LD	Lavandula dentatum	French Lavender	1 Gal.	
L	⊕	LA	Lavandula angustifolia 'Munstead'	English Lavender	1 Gal.	@ 12" O.C.
L	⊕	LG	Lavandula x gingsii 'Goodwin Creek Grey'	Lavender	1 Gal.	
L	▲	NW	Nepeta 'Walker's Low'	Catmint	1 Gal.	
L	∇	PM	Phormium 'Cream Delight'	New Zealand Flax	5 Gal.	
L	⊕	PC	Prunus caroliniana 'Bright N Tight'	Cherry Laurel	5 Gal.	
L	⊕	RT	Rosmarinus 'Tuscan Blue'	Rosemary	5 Gal.	
L	SH	SH	Sarcococca hookeriana humilis	Sweet Sarcococca	1 Gal.	
L	⊕	TV	Thymus vulgaris	English Thyme	1 Gal.	@ 12" O.C.
L	⊕	WF	Westringia fruticosa 'Grey Box'	Dwarf Coast Rosemary	5 Gal.	
Grasses and Perennials						
L	●	AM	Achillea millefolium	Yarrow	1 Gal.	
L	⊕	AP	Agave potatorum	Butterfly Agave	1 Gal.	
L	⊕	AB	Anigozanthos 'Bush Devil'	Kangaroo Paw	5 Gal.	@ 12" O.C.
L	⊕	AE	Aspidistra eliator	Cast Iron Plant	5 Gal.	
L	⊕	CT	Chondropetalum tectorum	Cape Rush	5 Gal.	
M	⊕	HF	Hemerocallis 'Frankly Scarlet'	Evergreen Daylily	1 Gal.	
L	ID	ID	Iris douglasiana	Douglas Iris	1 Gal.	
L	⊕	JP	Juncus patens	California Gray Rush	1 Gal.	
L	⊕	LF	Lomandra fluviatilis 'Shara'	Dwarf Mat Rush	5 Gal.	
L	⊕	PL	Pennisetum alopecuroides 'Little Bunny'	Dwarf Fountain Grass	1 Gal.	
L	⊕	PR	Pennisetum alopecuroides 'Red Head'	Fountain Grass	1 Gal.	
L	⊕	PD	Penstemon digitalis 'Husker Red'	Penstemon	1 Gal.	@ 18" O.C.
L	⊕	PH	Penstemon heterophyllus 'Blue Spring'	Penstemon	1 Gal.	@ 18" O.C.
L	⊕	SS	Sedum spathulifolium 'Cape Blanco'	Stonecrop	1 Gal.	
L	⊕		Sedum mat: Species per manufacturer			
L	⊕	VB	Verbena 'Lanai Blush White'	Verbena	1 Gal.	@ 18" O.C.
L	⊕	VR	Verbena rigida	Sand Paper Verbena	1 Gal.	



LEGEND

- Limit of Work Line
- Concrete Pavers: 12"x24" Belgard Moduline Paver in Linen color with Smooth finish.
- Concrete Paving: Natural grey concrete with light sand finish.
- Retaining Wall: See Architectural Drawings
- PA Planting Area
- Existing Tree: To Be Preserved
- Existing Tree: To Be Removed. See Tree Preservation Plan for locations
- Proposed Tree: To Be Planted

- REFERENCE NOTES**
- 1 Raised Planter
 - 2 Stair: See Architecture Drawings.
 - 3 Ramp
 - 4 Porte Cochere: See Architectural Drawings
 - 5 Green Roof: See L-1.3.
 - 6 Street Trees: Structural soil will be placed below the sidewalk per City Arborist Recommendations included in Planning Division letter dated February 7, 2017.
 - 7 Mulch Bed: Area below proposed trees to be mulched with minimum 3" of hardwood mulch.
 - 8 Shade Trees: Structural soil will be placed below the parking stalls indicated inside the dashed line. The stalls will be repaved with pervious asphalt. The curb along the face of the planting bed will be removed, and wheel stops will be added. The volume of structural soil is calculated to allow the trees to mature to approximately a 30' diameter canopy.
 - 9 Triangle of Safety: All landscape elements and planting to follow the guidelines shown in the City of Mountain View Triangle of Safety Design Guidelines. See (7/L-6.0)
 - 10 Tree 21: Relocated planting location
 - 11 Tree 22: Relocated planting location
 - 12 (E) Utilities: Including Irrigation meter and BFP. Preserve and Protect.

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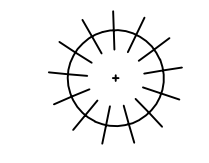
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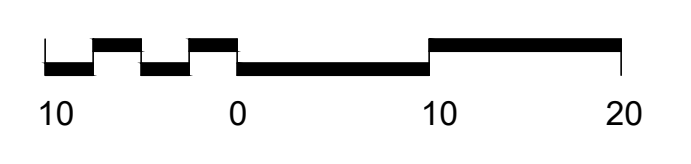
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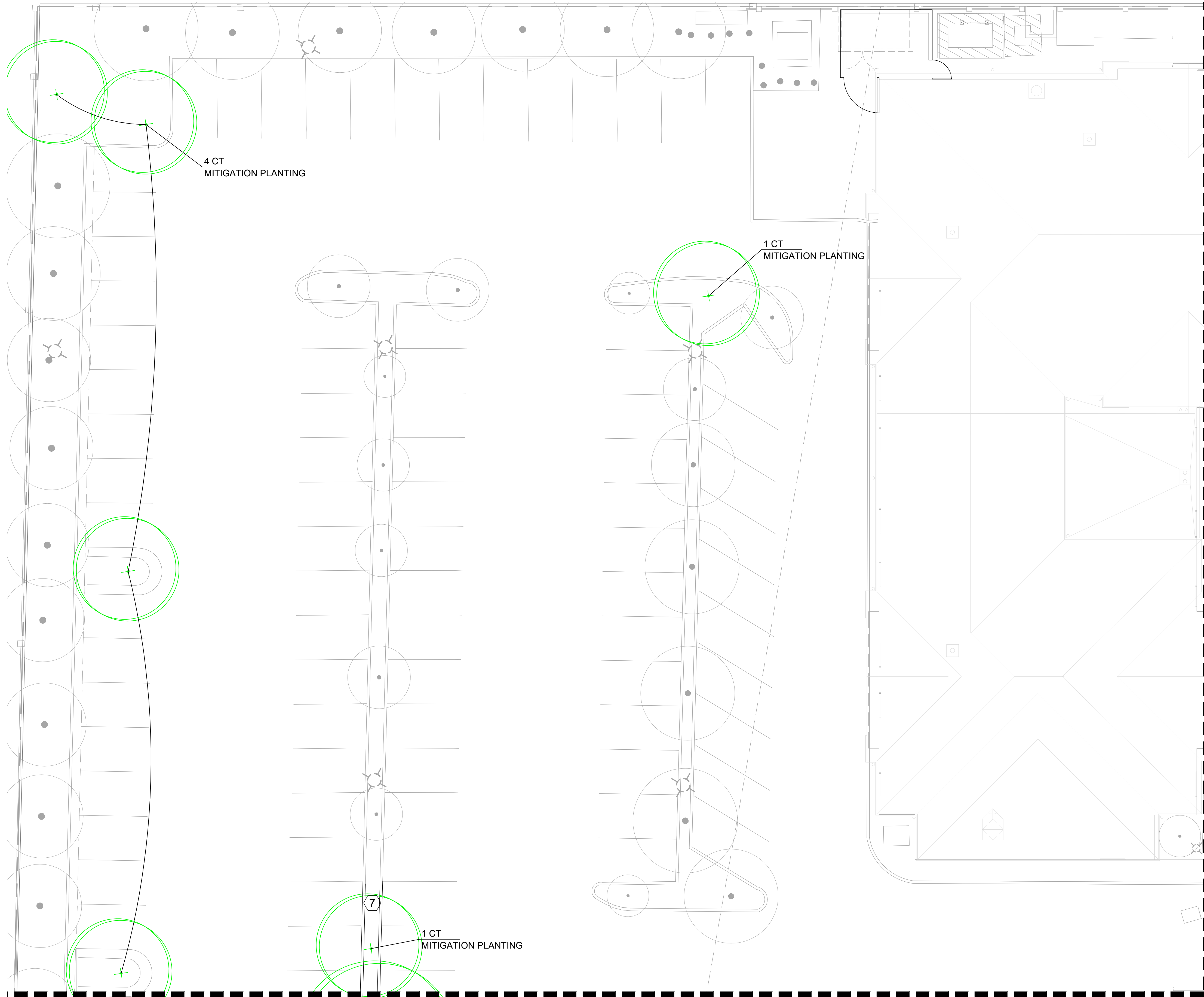
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See L-1.1





LEGEND

- Limit of Work Line
- Concrete Pavers 12"x24" Belgard Modline Paver in Linen color or Smooth finish
- Concrete Paving: Naïve aggregate concrete or light sand finish
- Retaining Wall: See Architectural Drawings
- PA Planting Area
- Existing Tree: To Be Preserved
- Existing Tree: To Be Removed. See Tree Preservation Plan for locations
- Proposed Tree: To Be Planted

REFERENCE NOTES

- 1 Raised Planter
 - 2 Stair: See Architectural Drawings.
 - 3 Ramp
 - 4 Porch Coffer: See Architectural Drawings
 - 5 Green Roof: See L-1.3.
 - 6 Site Trees: See contractor's proposed tree removal side area per City Arborist Recommendations included in Planning Division letter dated February 7, 2017.
 - 7 Mulch Bed Area: To be closed trees to be mulched in minimum 3" or Cardboard mulch.
 - 8 Shade Trees: See contractor's proposed tree removal side area as indicated on the dashed line. The side area related to the trees as indicated on the dashed line shall be planted and removed, and trees shall be added. The topsoil shall be replaced to a depth of trees to mature to a maximum diameter canopy.
 - 9 Triangle of Shade Landscaping elements and planting to be guidelines shown in the City of Mountain View Triangle of Shade Design Guidelines. See 7.1-6.0
 - 10 Tree 21: Reoccur planting location
 - 11 Tree 22: Reoccur planting location
 - 12 Utilities: Including Irrigation meter and BFP. Preserve and Protect
- Note: See L-1.0 for Planting Legend

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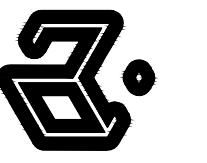
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See L-1.2

See L-1.0



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PROJECT NAME

HILTON GARDEN INN EXPANSION

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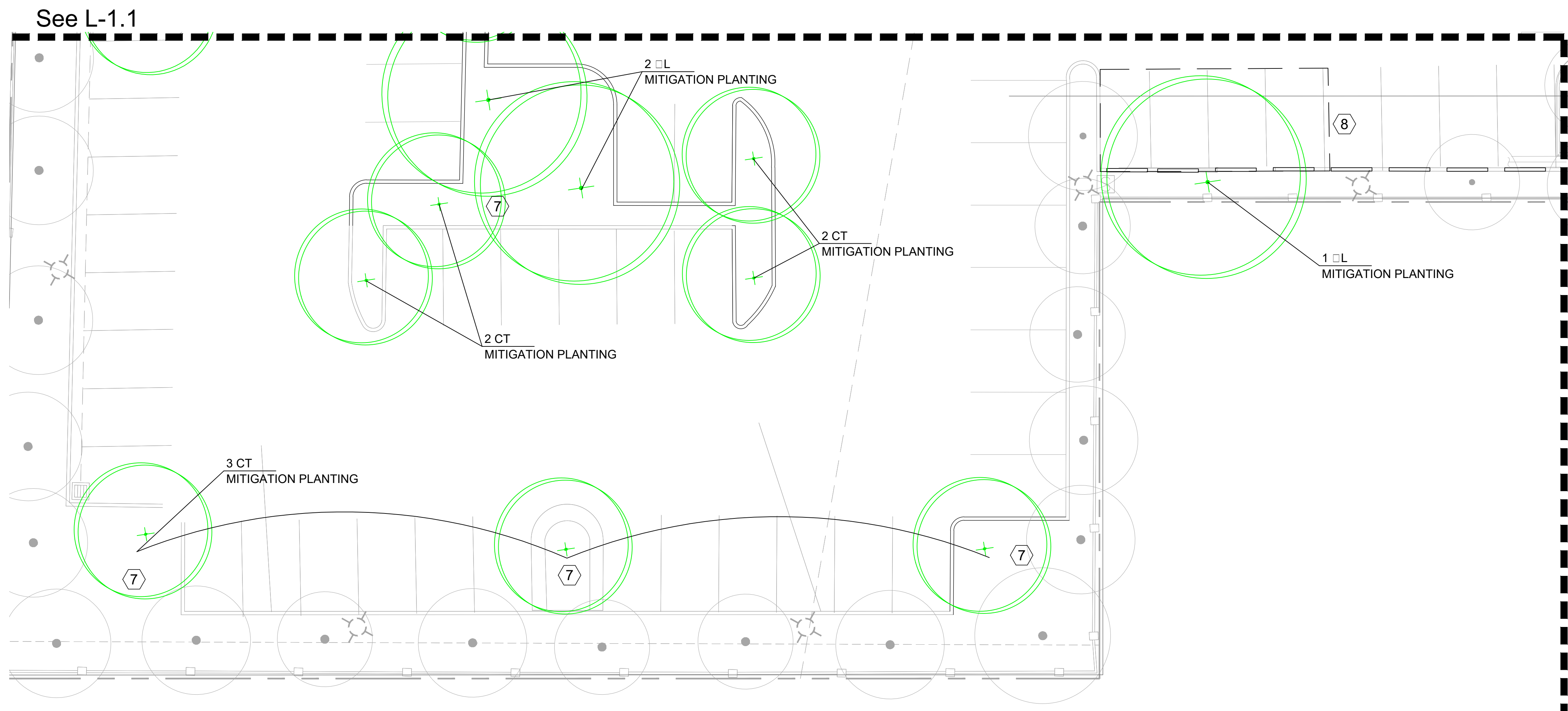
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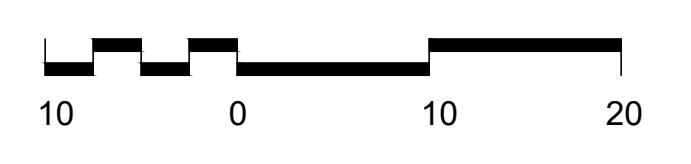
LEGEND

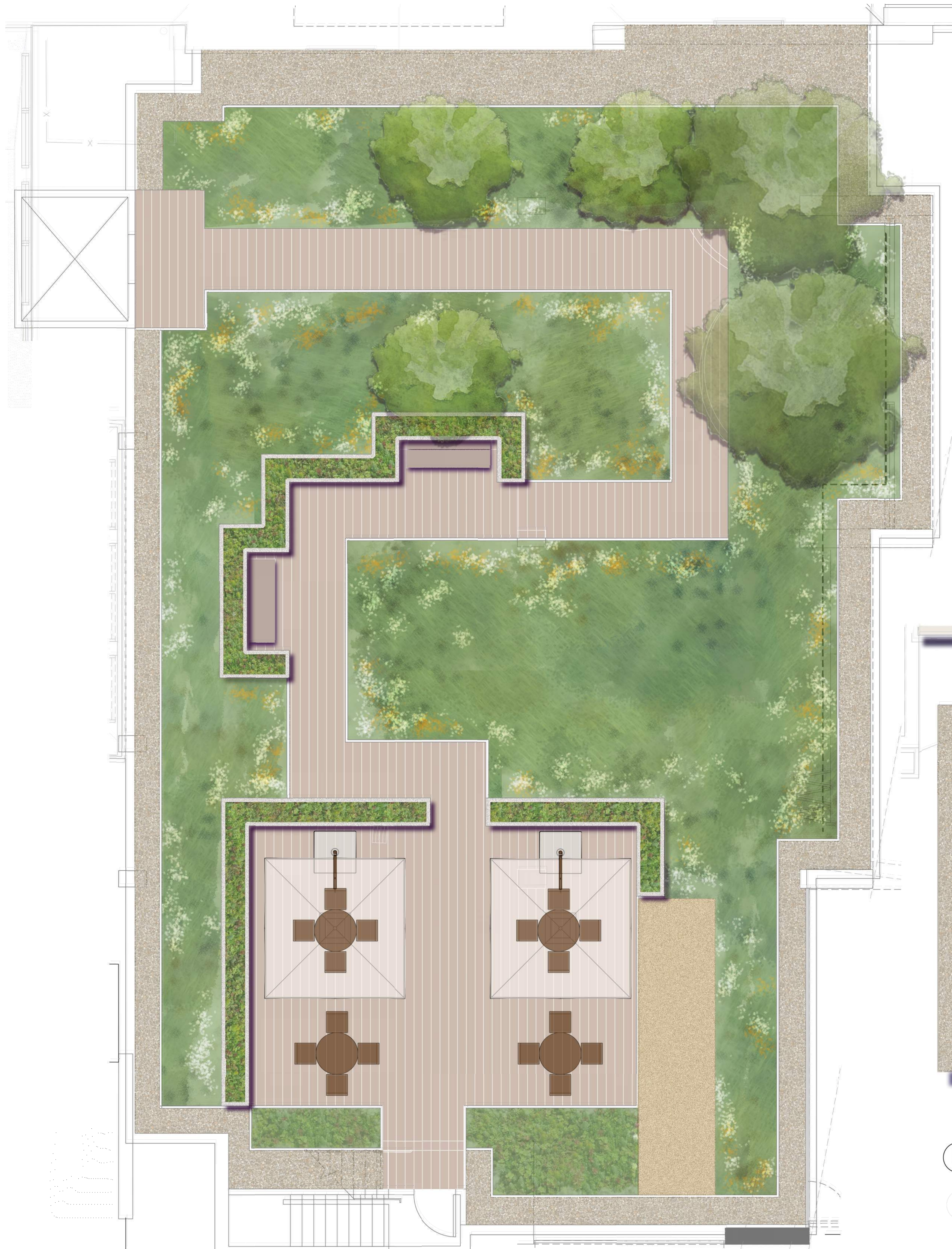
- Limit of Work Line
- Concrete Paters 12"x24" Beigard Mod the Pater in Linen color
Smooth finish
- Concrete Pateng Na tra gre concrete fig sand finish
- Retaining Wall See Arcitect Draings
- PA Planting Area
- Existing Tree To Be Preserved
- Existing Tree To Be Removed. See Tree Preservation Plan for locations
- Proposed Tree To Be Planted

REFERENCE NOTES

- 1 Raised Planer
- 2 Sair See Arcitect Draings.
- 3 Ram
- 4 Porã Cocere See Arcitect Draings
- 5 Green Roo See L-1.3.
- 6 Sree Trees Sinc tra soie eaced e o e side a er Ci Arcis Recommendations included in Planning Division e er da ed Fe ar 7, 2017.
- 7 M o Bed Area e o oposed trees o e m oed o im m 3" o eardood m o
- 8 Shade Trees Sinc tra soie eaced e o e aring sa s indica ed inside e dashed line. The sa s e e re ad e e r e o s as a e e e along e ace o e aning e e re mo ed, and e e s o s e e added. The o m e o s tra sois ca e ad e a o e trees o m a re o a o xima e a 30 diamer can o
- 9 Triang e o Sa e A andsca e em e s and aning o o o e g id e s o o n e Ci o o Mo nain Vie Triang e o Sa e Design G id e s. See (7 L-6.0)
- 10 Tree 21 Re o ad e aning o ca ion
- 11 Tree 22 Re o ad e aning o ca ion
- 12 E U i l i e s I n c l u d i n g I r r i g a t i o n m e t e r a n d B F P. P r e s e r v e a n d P r o t e c t

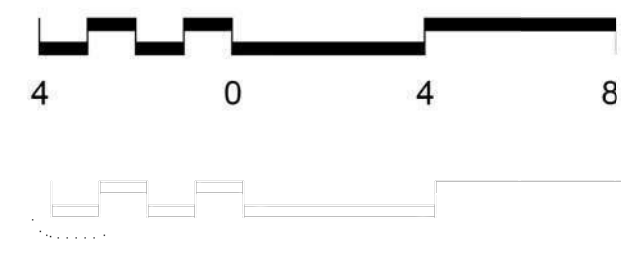
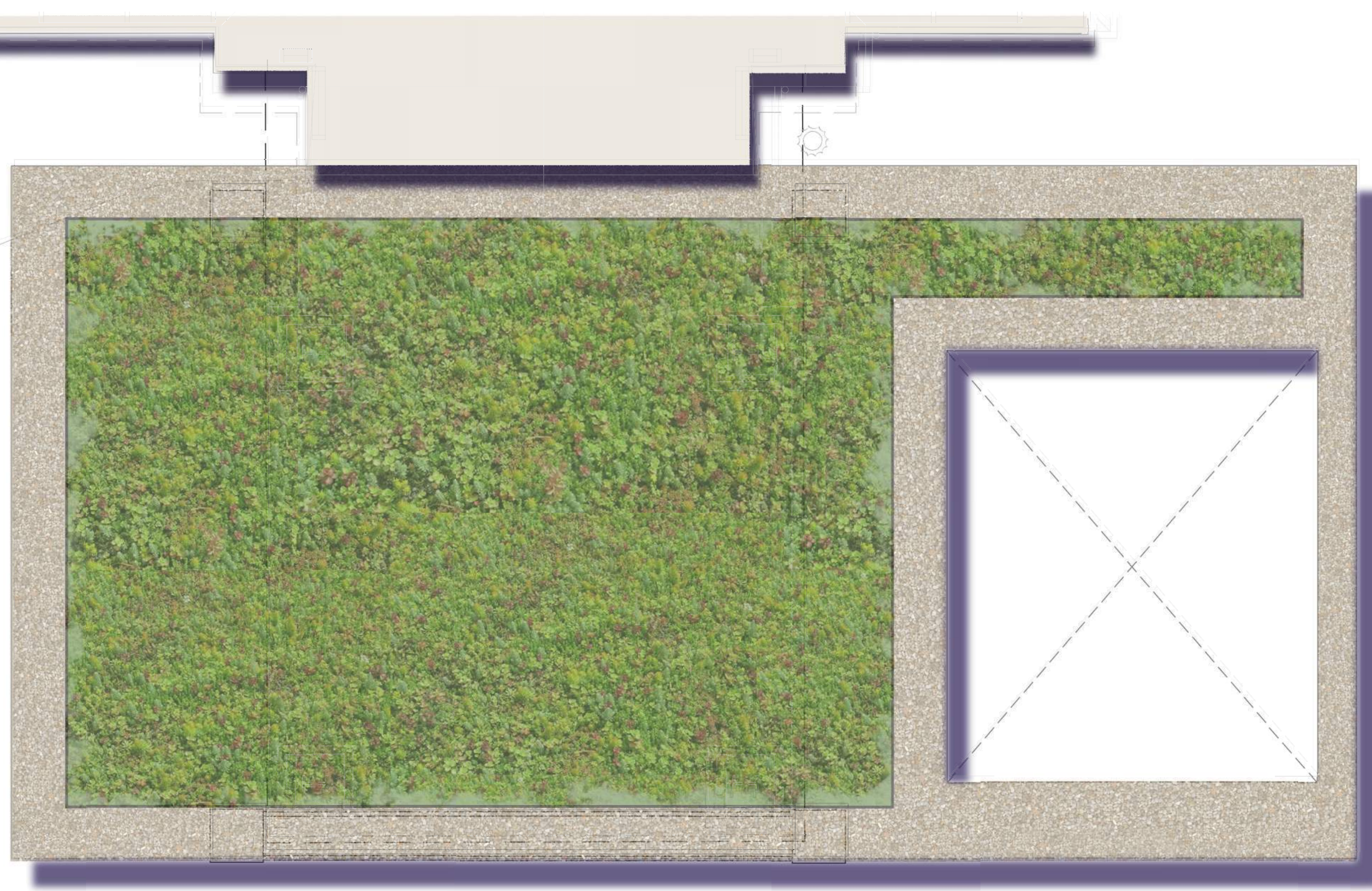
Note See L-1.0 for Planting Legend





A Intensive Green Roof
1" = 4'-0"

B Porte Cochere Green Roof
1" = 4'-0"



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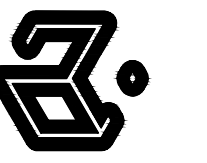
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DATE 10/02/2017
 SCALE AS NOTED @ 24x36
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PROJECT NUMBER 1528.02 / 16.033
 SHEET TITLE LANDSCAPE PLAN

SHEET NUMBER
 L-2.0

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PROJECT NUMBER 1528.02 16.033
SHEET TITLE TREE CANOPY COVERAGE PLAN

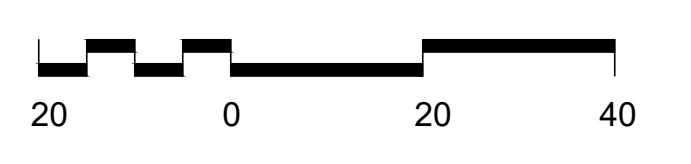
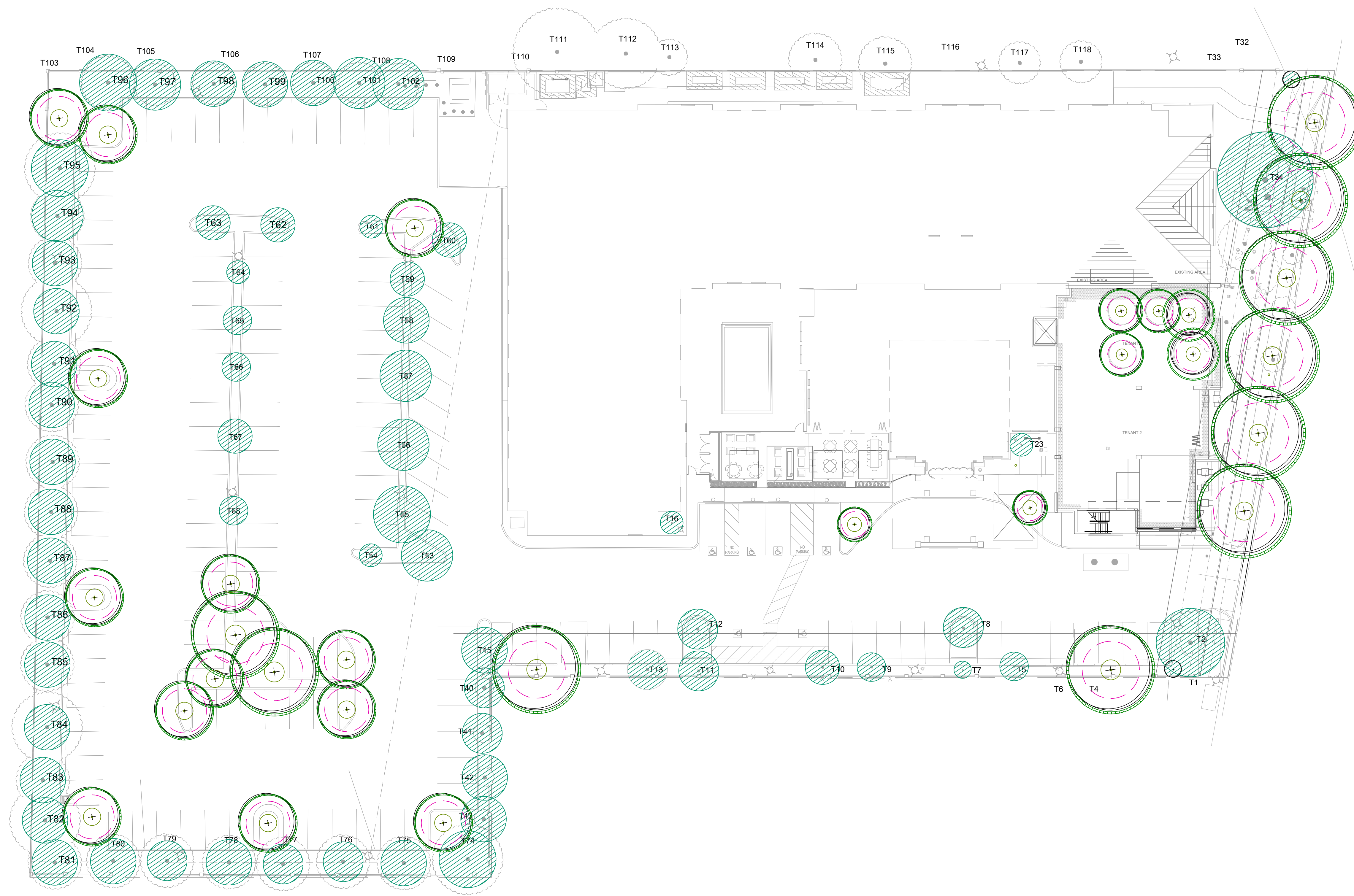
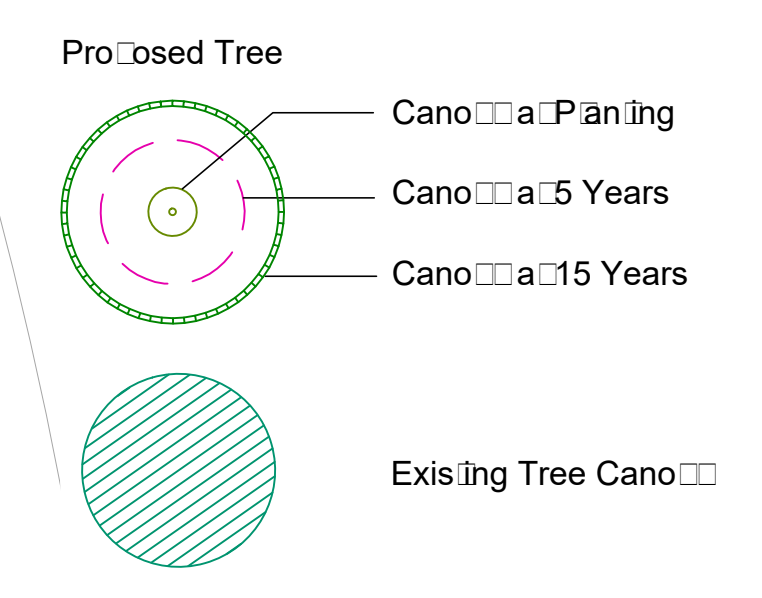
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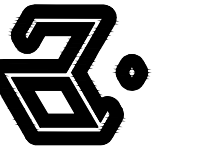
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TREE CANOPY TABLE

PROJECT SITE	SQUARE FOOT AREA	% OF SITE
Total Site Area	104,036	
Existing Canopy	15,468	14.8%
Existing Canopy to Remain	10,424	10.0%
Canopy to Plant Existing Canopy	11,228	10.8%
Canopy to Plant 5 Years Existing Canopy	15,962	15.3%
Canopy to Plant 15 Years Existing Canopy	21,461	20.6%

Key to Canopy Plan





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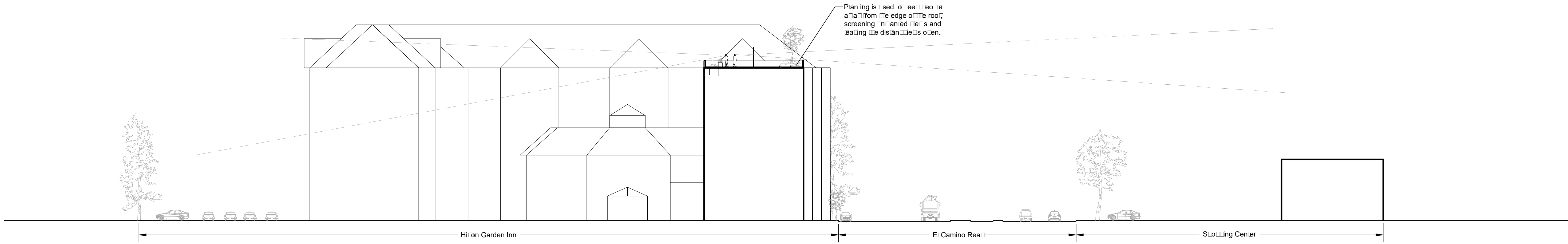
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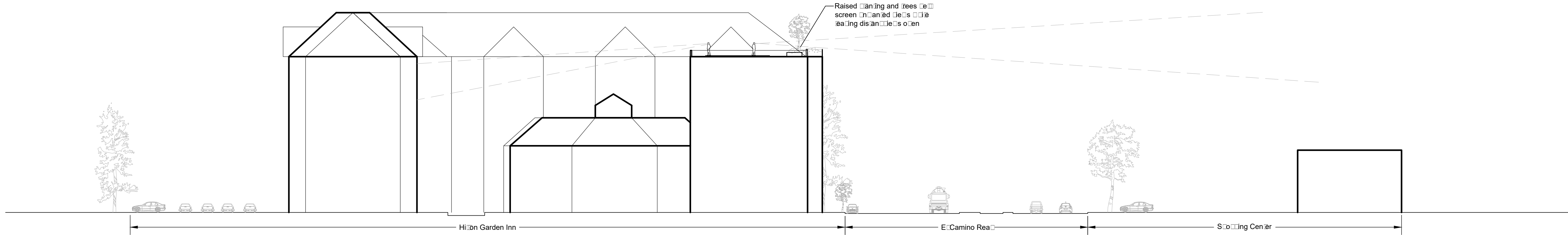
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SHEET TITLE SECTIONS

SHEET NUMBER
L-5.0

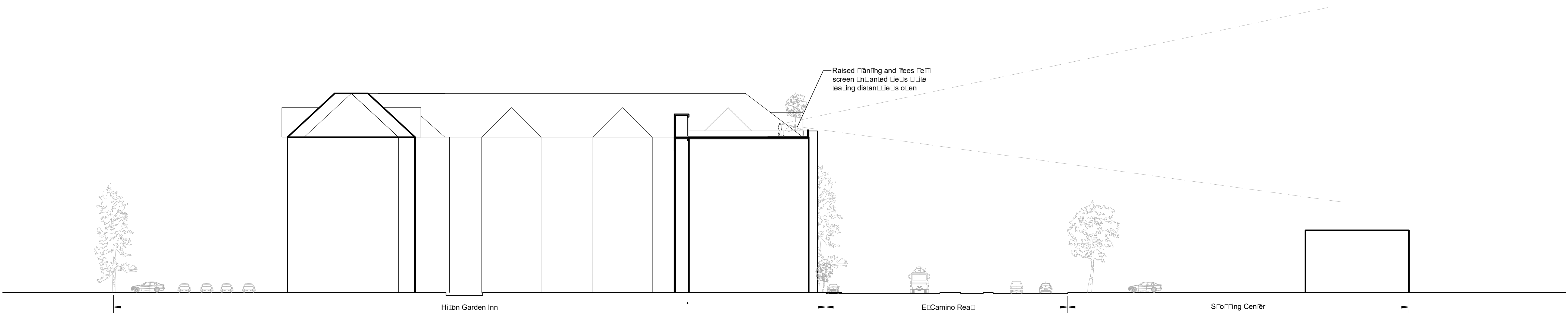
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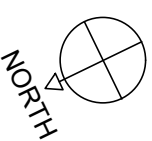
C Section - View from Green Roof
1" = 20'-0"



B Section - View from Green Roof
1" = 20'-0"



A Section - View from Green Roof
1" = 20'-0"

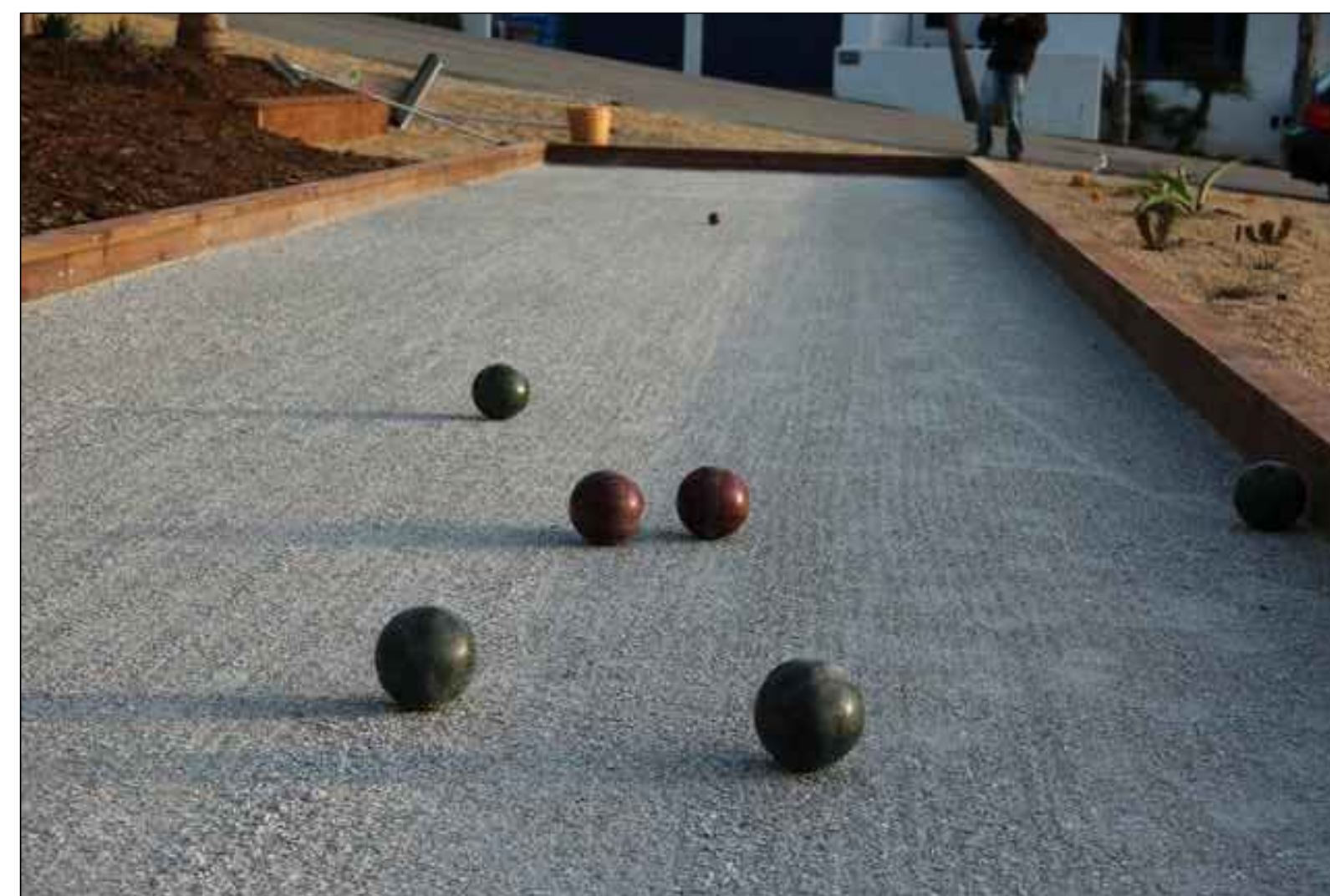




6 Extensive Green roof Sedum Mat
NTS



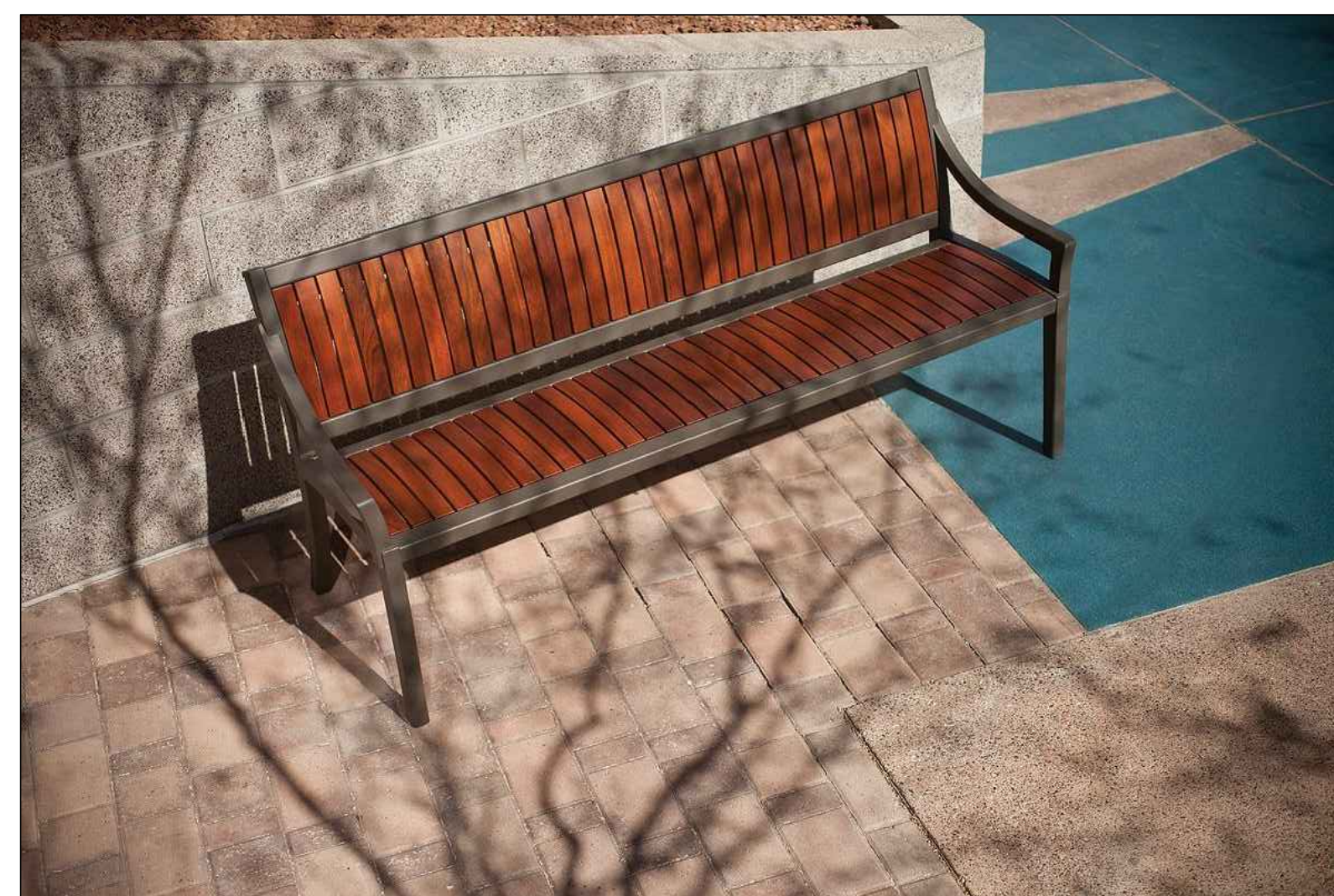
3 Planter Wire from Tomes
NTS



5 Bocce Court
NTS



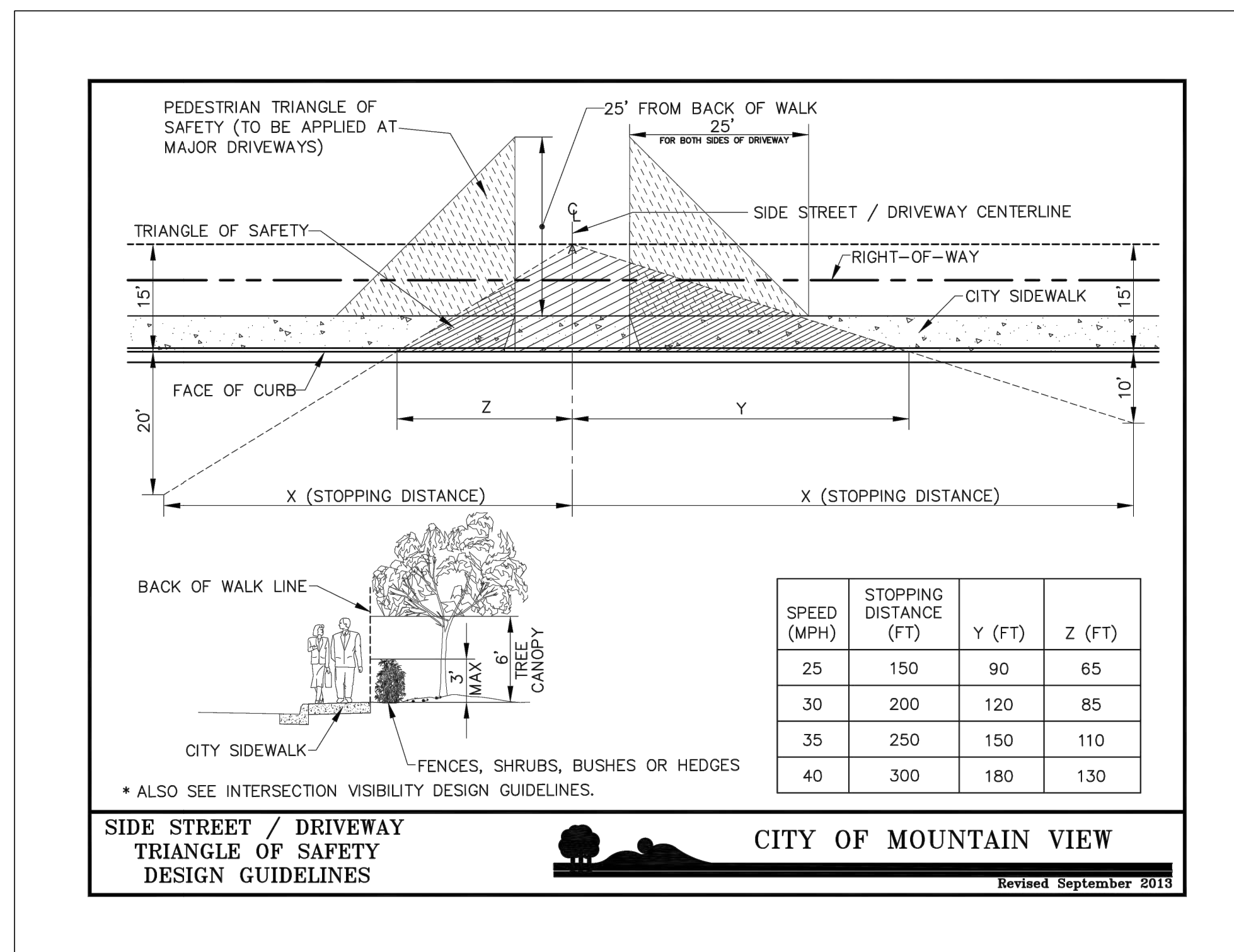
2 Decking Board Hardwood
NTS



4 Bench Cordia from Forms Surfaces
NTS



1 Concrete Pavers Bergard Modline
NTS



7 Triangle of Safety
NTS

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