



1. VIEW FROM SOUTH EAST



2. AERIAL VIEW FROM SOUTH EAST



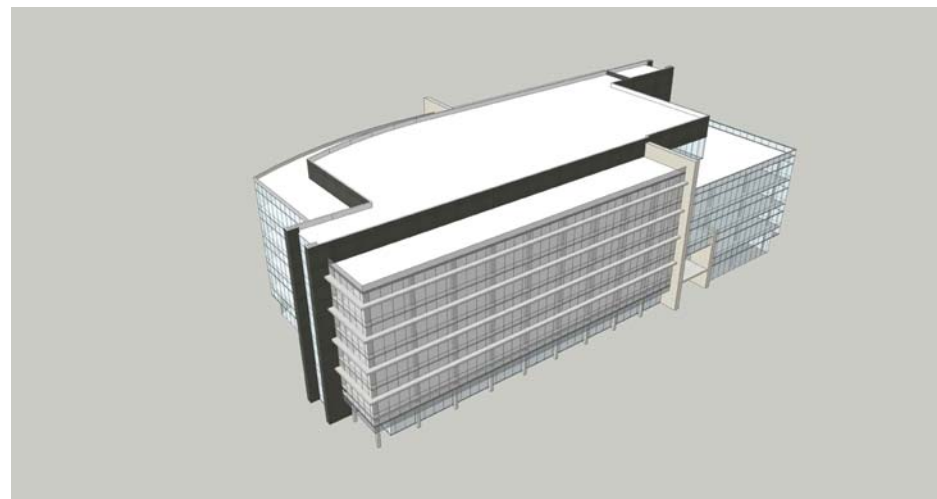
3. VIEW FROM NORTH EAST



4. AERIAL VIEW FROM NORTH EAST



5. VIEW FROM NORTH WEST



6. AERIAL VIEW FROM NORTH WEST (SIMILAR)

# A Warm Shell Building For ATTACHMENT 2 CLYDE AVENUE JOINT VENTURE LLC

580-620 Clyde Avenue  
Mountain View, CA 94043



## PROJECT DESCRIPTION

THIS IS A 178,477-S.F., 5-STORY CLASS A OFFICE BUILDING.  
SITE WORK INCLUDES A 3-STORY PARKING STRUCTURE AND AN EXTERIOR COURTYARD.

## PROJECT TEAM

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LANDSCAPE ARCHITECT: GUZZARDO PARTNERSHIP 181 Greenloch St. San Francisco, CA 94111 PHONE: 415.433.4627 CONTACT: phillip@TGP-INC.com EMAIL: Paul Letellier	CIVIL ENGINEER: KIER & WRIGHT 3350 Scott Blvd., Building 22 Santa Clara, CA 95054 PHONE: 408.727.6665 CONTACT: Barry Schmitt EMAIL: bschmitt@kierwright.com

## DRAWING INDEX AND ISSUE DATES

● PRELIMINARY OR PRICING PLANS  
● FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE  
+ MODIFICATIONS SINCE PREVIOUS ISSUE

### COVER SHEET

#### ARCHITECTURAL

A1.00	EXISTING SITE PLAN AND ZONING CALCULATION DIAGRAM	●
A1.01	SITE PLAN	●
A1.11	NEIGHBORHOOD CONTEXT	●
A2.11	FIRST LEVEL FLOOR PLAN	●
A2.12	SECOND LEVEL FLOOR PLAN	●
A2.13	THIRD LEVEL FLOOR PLAN	●
A2.14	FOURTH LEVEL FLOOR PLAN	●
A2.15	FIFTH LEVEL FLOOR PLAN	●
A2.31	ROOF PLAN	●
A3.01	EXTERIOR ELEVATIONS	●
A3.02	EXTERIOR ELEVATIONS	●
A3.03	SITE EXTERIOR ELEVATIONS	●
A3.11	RENDERED EXTERIOR ELEVATIONS	●
A3.21	EXTERIOR RENDERINGS	●
A3.21	EXTERIOR RENDERINGS	●
A4.01	SITE SECTION PROFILE AND BUILDING SECTION	●
A4.11	ENLARGED ELEVATIONS AND WALL SECTIONS	●
AP2.11	GARAGE FIRST LEVEL FLOOR PLAN	●
AP2.12	GARAGE SECOND LEVEL FLOOR PLAN	●
AP2.13	GARAGE THIRD LEVEL FLOOR PLAN	●
AP3.01	GARAGE EXTERIOR ELEVATIONS	●
AP3.11	GARAGE RENDERED EXTERIOR ELEVATIONS	●

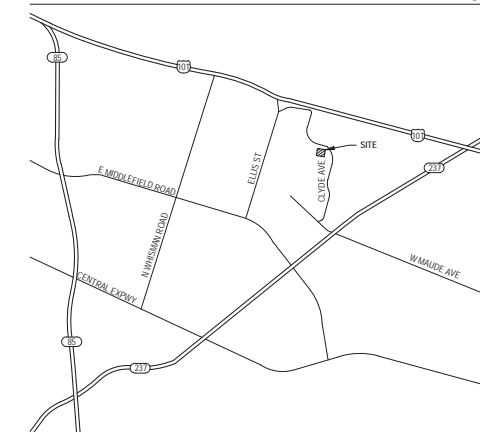
#### LANDSCAPE

L1.1	LANDSCAPE NOTES, LEGENDS, AND DETAILS	●
L1.2	PLANTING NOTES, LEGENDS, AND DETAILS	●
L1.3	SITE MATERIALS AND FINISHING IMAGERY	●
L2.1	LANDSCAPE LAYOUT AND MATERIALS PLAN	●
L3.1	PLANTING PLAN	●
L4.1	CONCEPTUAL DETAILS	●
L5.1	TREE DISPOSITION PLAN	●
L5.2	ARBORIST REPORT	●
L4.1	TREE CANOPY COVERAGE DIAGRAM	●

#### CIVIL

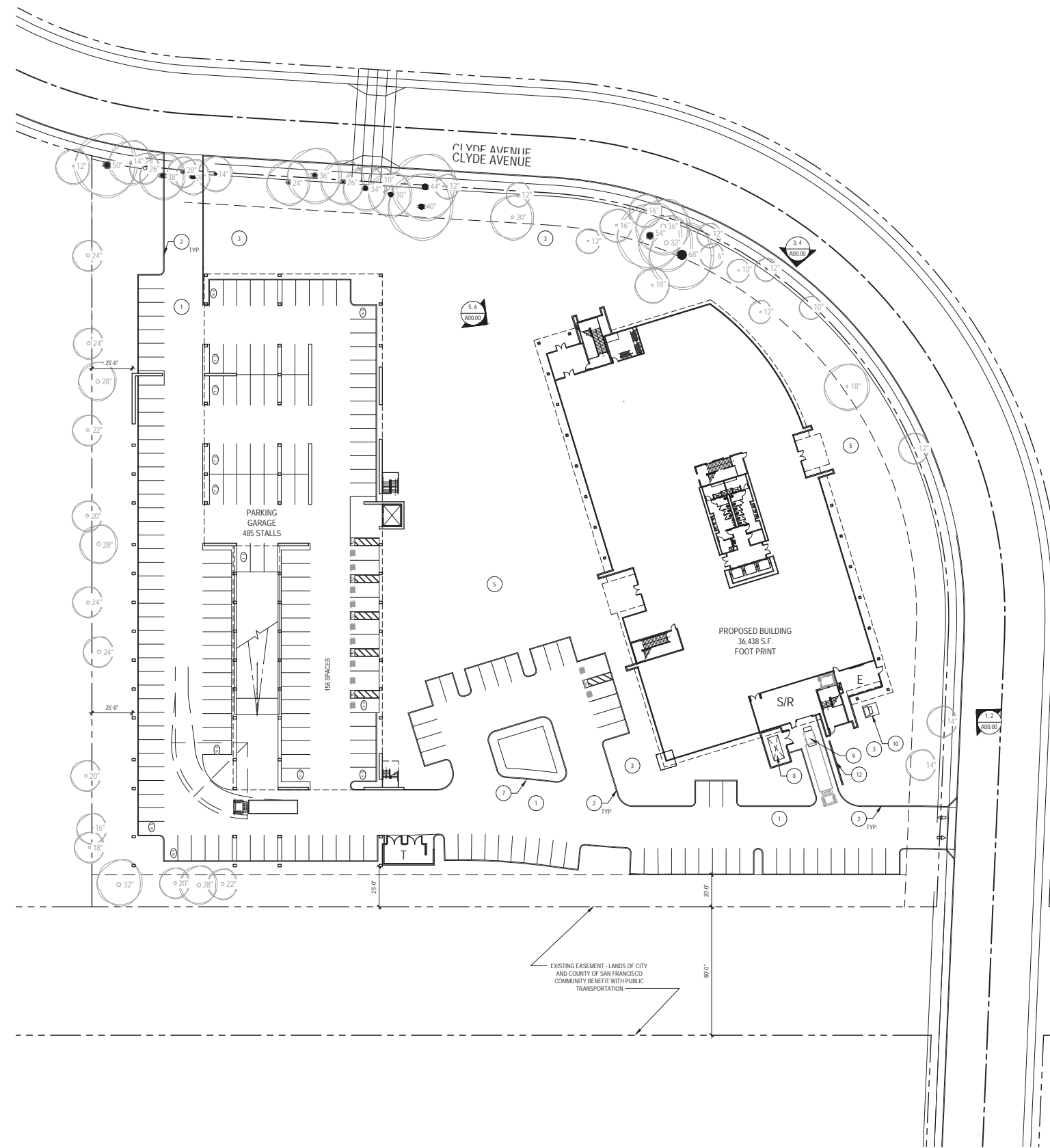
C1.0	PRELIMINARY GRADING & DRAINAGE PLAN	●
C2.0	TOPOGRAPHIC SURVEY	●
C3.0	STORMWATER MANAGEMENT PLAN	●

#### VICINITY MAP



A Warm Shell Building For  
**CLYDE AVENUE JOINT VENTURE LLC**  
 Mountain View, CA 94043  
 580-620 Clyde Avenue

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### PARKING ANALYSIS

SITE COVERAGE	36,438 S.F.
BUILDING FOOTPRINT	55,938 S.F.
TOTAL AREA	92,376 S.F.
SITE AREA	224,334 S.F. / 5.15 ACRES
BUILDING AND GARAGE COVERAGE	41.2%
TOTAL PARKING REQUIRED PER MOUNTAIN VIEW ZONING CHAPTER 16 DIVISION A36-37	
GROSS AREA IS DEFINED AS THE FLOOR AREA ENCLOSED WITHIN THE WALLS OF A BUILDING AND MEASURED FROM THE OUTSIDE PERIMETER OF SAID WALLS (A36.95.020)	
PARKING ALLOWED (A36.37.040)	535 SPACES
178,477 / 333	
PARKING PROVIDED ON GRADE	
UNSTALL	48 SPACES
ACCESSIBLE	1 SPACES
VAN ACCESSIBLE	1 SPACE
PARKING GARAGE	
GROUND LEVEL UNSTALL	147 STALLS
GROUND LEVEL ACCESSIBLE	8 STALLS
SECOND LEVEL	1 STALL
THIRD LEVEL	88 STALLS
FOURTH LEVEL	131 STALLS
TOTAL PARKING PROVIDED	535 SPACES

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B-208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
501-1,000	-	YES

\*Two percent of total

AUTOMOBILE PARKING STALL DIMENSIONS (A36.37.090)

STALL TYPE	WIDTH	DEPTH	ANGLE	COMPLIANT
UNSTALL	8'-6"	18'-0"	24'-0"	YES

### LEGEND

- E - ELECTRIC ROOM
- S/R - SHIPPING AND RECEIVING
- T - TRASH ENCLOSURE

### KEY NOTES

- 1 PAVED PARKING AND DRIVES.
- 2 6" HIGH CONCRETE CURB
- 3 LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- 4 ACCESSIBLE RAMP (MAX. SLOPE 1:12)
- 5 WALKWAY AND HARDSCAPE, REFER TO LANDSCAPE AND CIVIL DRAWINGS
- 6 BOLLARD
- 7 TRANSIT PLAZA WITH BUS STOP, REFER TO LANDSCAPE
- 8 GENERATOR ENCLOSURE, SIZE TO BE DETERMINED BY FUTURE TENANT
- 9 TRUCK LOADING ZONE, MINIMUM 10'-0" WIDE X 25'-0" LONG WITH A 12'-0" VERTICAL CLEARANCE
- 10 10'-0"X10'-0" CONCRETE TRANSFORMER PAD
- 11 BICYCLE RACKS, REFER TO LANDSCAPE DRAWINGS
- 12 LOW SCREEN WALL

**1 SITE PLAN**  
SCALE: 1"=30'-0"



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DATE	DESCRIPTION
02.17.15	PRELIMINARY PRICING
03.30.15	OWNER REVIEW
04.09.15	PLANNING DEPT. SUBMITTAL
09.18.05	PLANNING REVIEW

SITE PLAN & SITE SECTION  
PROFILE

**A1.01**

PROJECT NO: 143840





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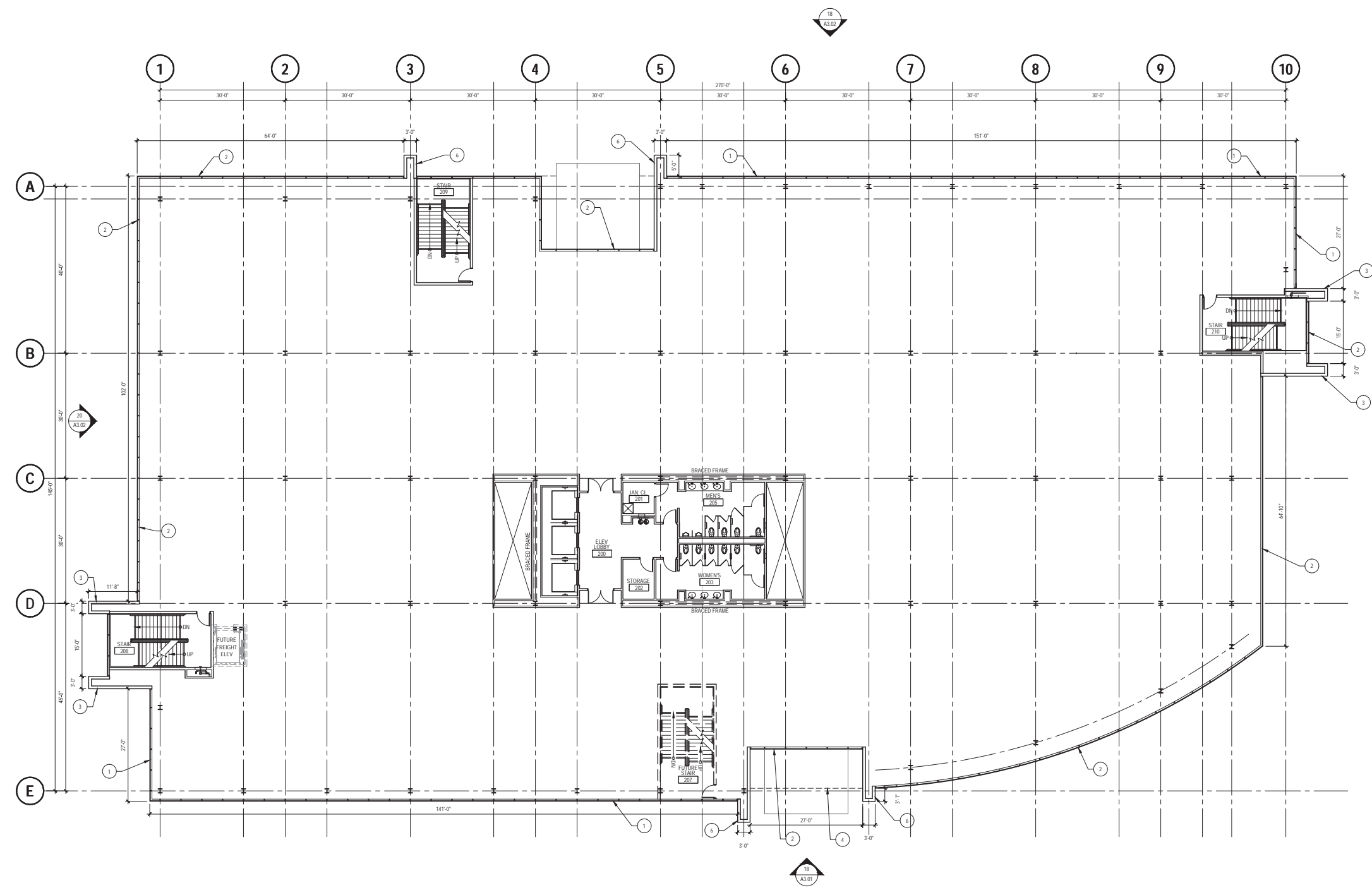
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SECOND LEVEL FLOOR PLAN

**A2.12**  
 PROJECT NO: 143840



**1 SECOND LEVEL FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

**KEY NOTES**

NOT ALL KEYNOTES MAY APPLY

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED VERTICAL AND HORIZONTAL MULLIONS AND 3" EXPRESSED HORIZONTAL MULLIONS
- 2 1" INSULATED LOW E GLAZING SYSTEM WITH CLEAR GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED VERTICAL AND HORIZONTAL AND 3" EXPRESSED HORIZONTAL MULLIONS
- 3 ALUMINUM COMPOSITE PANEL
- 4 LINE OF BUILDING FACE ABOVE SHOWN DASHED
- 5 BALCONY GUARDRAIL
- 6 STONE TILE AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 7 ENTRY DOORS
- 8 OVERHEAD COILING DOOR
- 9 STRUCTURAL STEEL COLUMN

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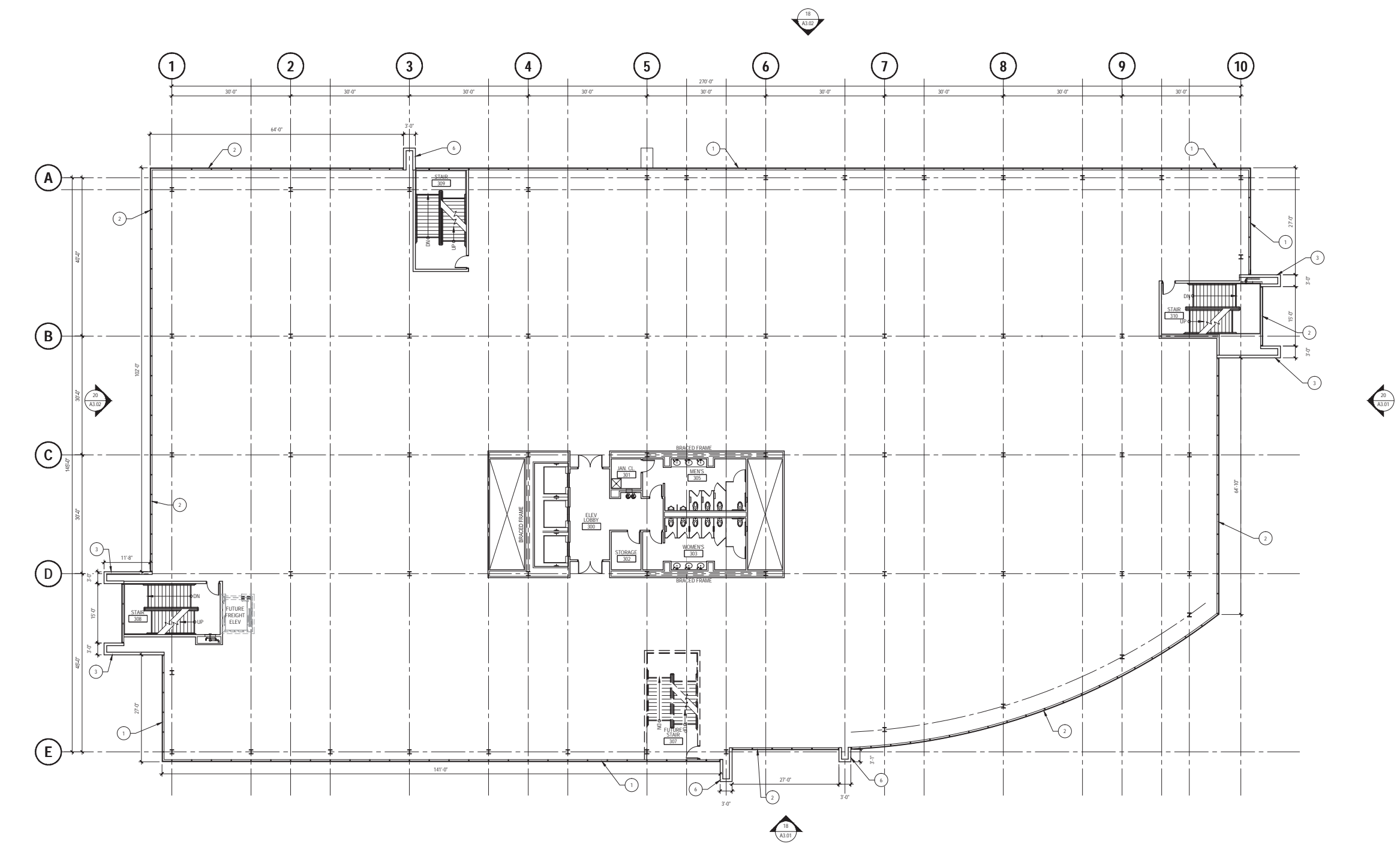
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**1 THIRD LEVEL FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

**KEY NOTES**

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- 2 1" INSULATED LOW E GLAZING SYSTEM WITH CLEAR GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED VERTICAL AND HORIZONTAL AND 3" EXPRESSED HORIZONTAL MULLIONS
- 3 ALUMINUM COMPOSITE PANEL
- 4 LINE OF BUILDING FACE ABOVE SHOWN DASHED
- 5 BALCONY GUARDRAIL
- 6 STONE TILE AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 7 ENTRY DOORS
- 8 OVERHEAD COILING DOOR
- 9 STRUCTURAL STEEL COLUMN

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04.09.15	PLANNING DEPT. SUBMITTAL
09.18.05	PLANNING REVIEW

THIRD LEVEL FLOOR PLAN

**A2.13**

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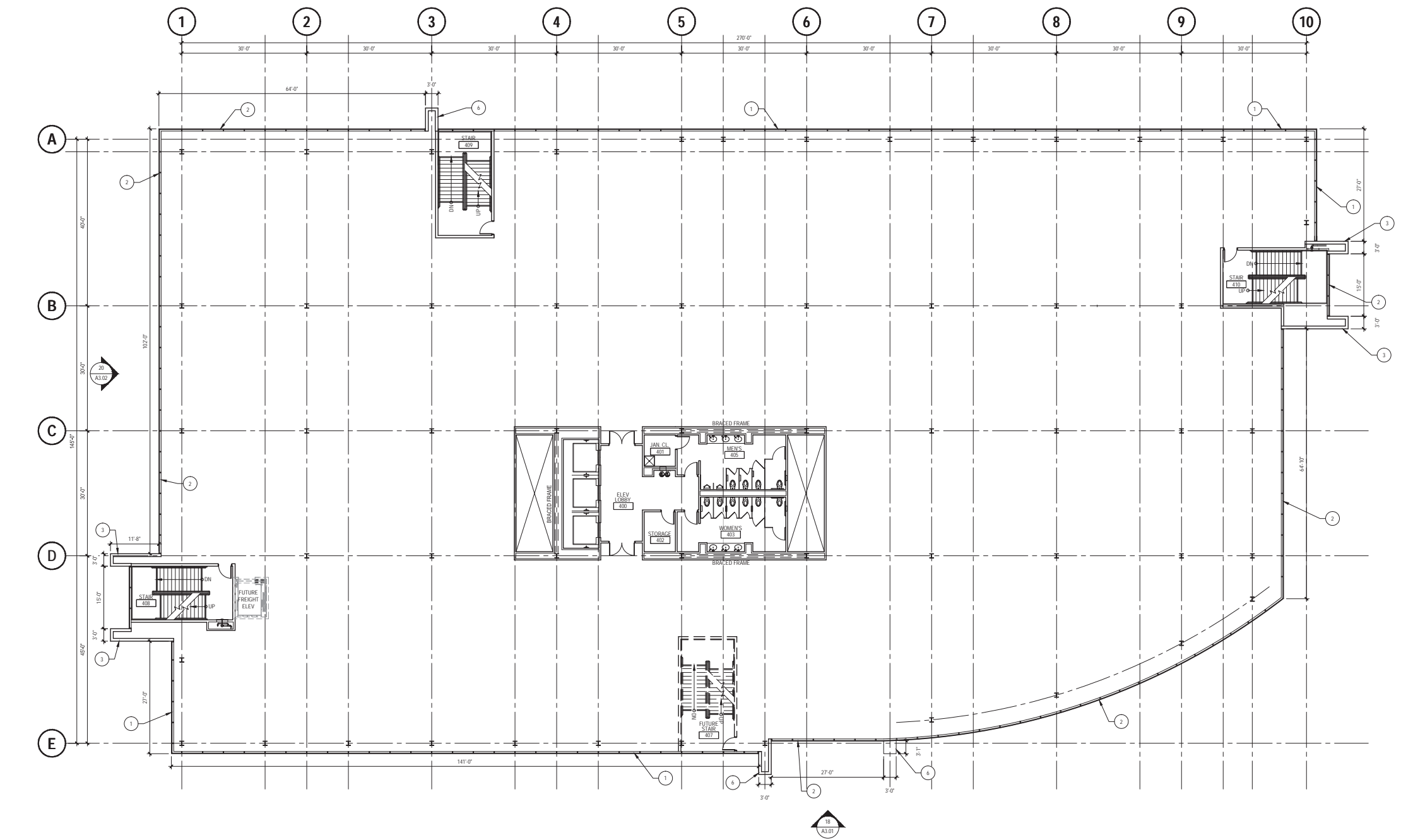
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**1** FOURTH LEVEL FLOOR PLAN  
SCALE: 3/32" = 1'-0"

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- 3 ALUMINUM COMPOSITE PANEL
- 4 LINE OF BUILDING FACE ABOVE SHOWN DASHED
- 5 BALCONY GUARDRAIL
- 6 STONE TILE AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 7 ENTRY DOORS
- 8 OVERHEAD COILING DOOR
- 9 STRUCTURAL STEEL COLUMN

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FOURTH LEVEL FLOOR PLAN

**A2.14**

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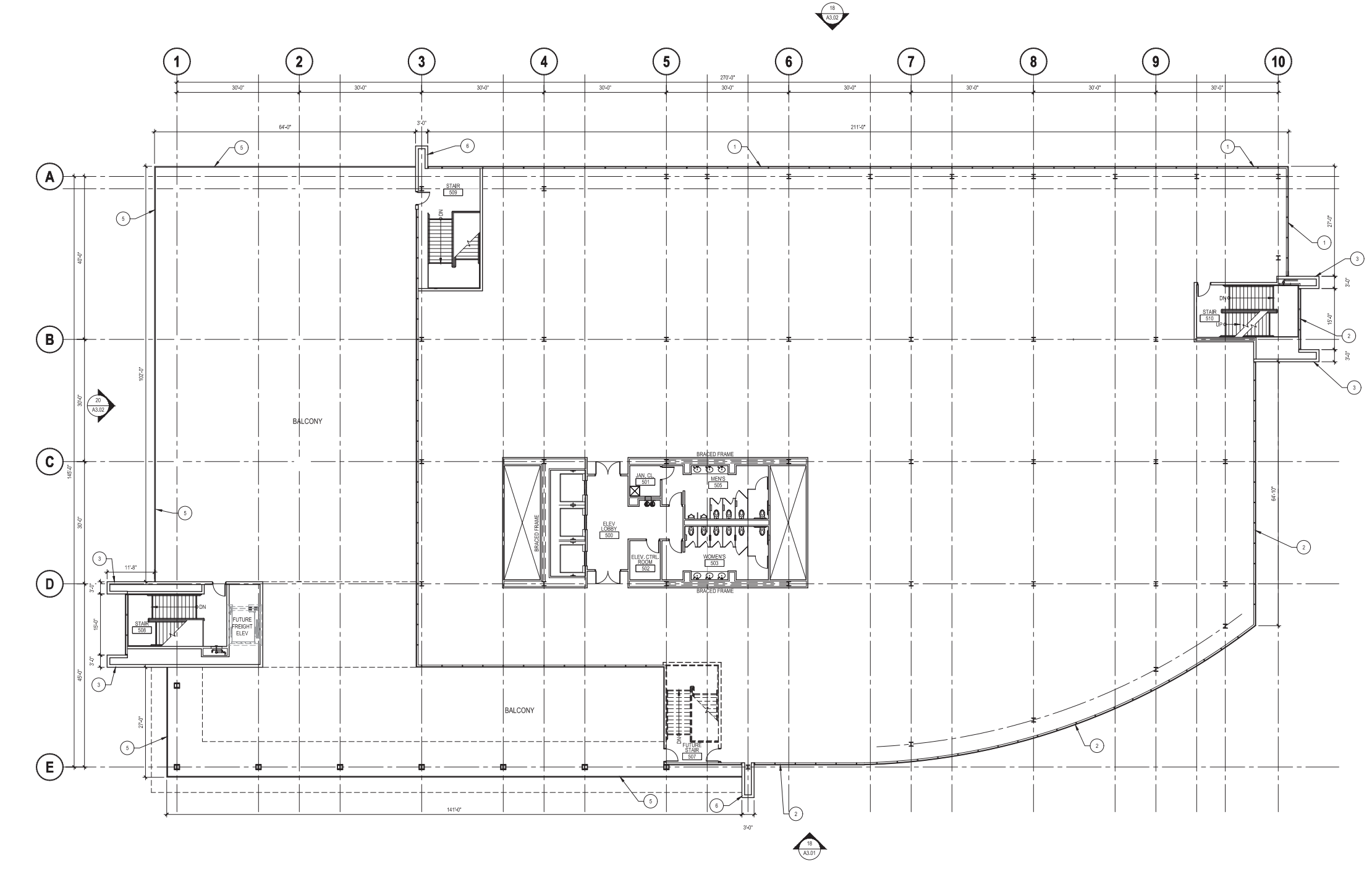


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**1 FIFTH LEVEL FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

**KEY NOTES**

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  - 2 1" INSULATED LOW E GLAZING SYSTEM WITH CLEAR GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED VERTICAL AND HORIZONTAL AND 3" EXPRESSED HORIZONTAL MULLIONS
  - 3 ALUMINUM COMPOSITE PANEL
  - 4 LINE OF BUILDING FACE ABOVE SHOWN DASHED
  - 5 BALCONY GUARDRAIL
  - 6 STONE TILE AND EXTERIOR SHEATHING OVER METAL STUD FRAME
  - 7 ENTRY DOORS
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  - 9 STRUCTURAL STEEL COLUMN

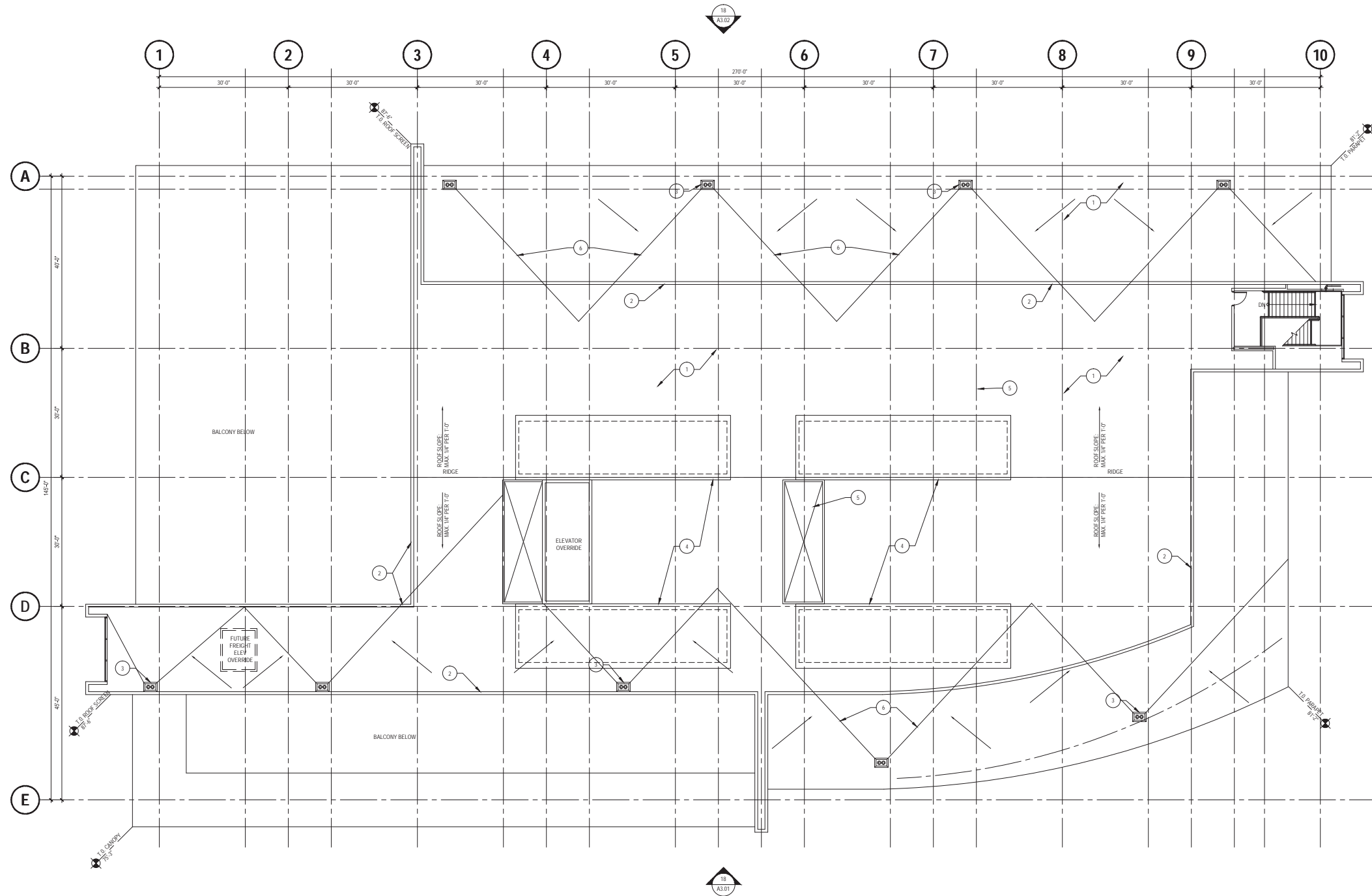
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FIFTH LEVEL FLOOR PLAN

**A2.15**

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**1 FIFTH LEVEL FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



**KEY NOTES**

- NOT ALL KEYNOTES MAY APPLY
- 1 TYPICAL ROOF FRAMING - LOW SLOPED ROOFING OVER METAL DECK
  - 2 ALUMINUM COMPOSITE PANEL ROOF SCREEN
  - 3 ROOF/OVERFLOW DRAIN
  - 4 HVAC EQUIPMENT
  - 5 DECK OPENING TO ACCOMMODATE MECHANICAL DUCTS
  - 6 ROOF CRICKET



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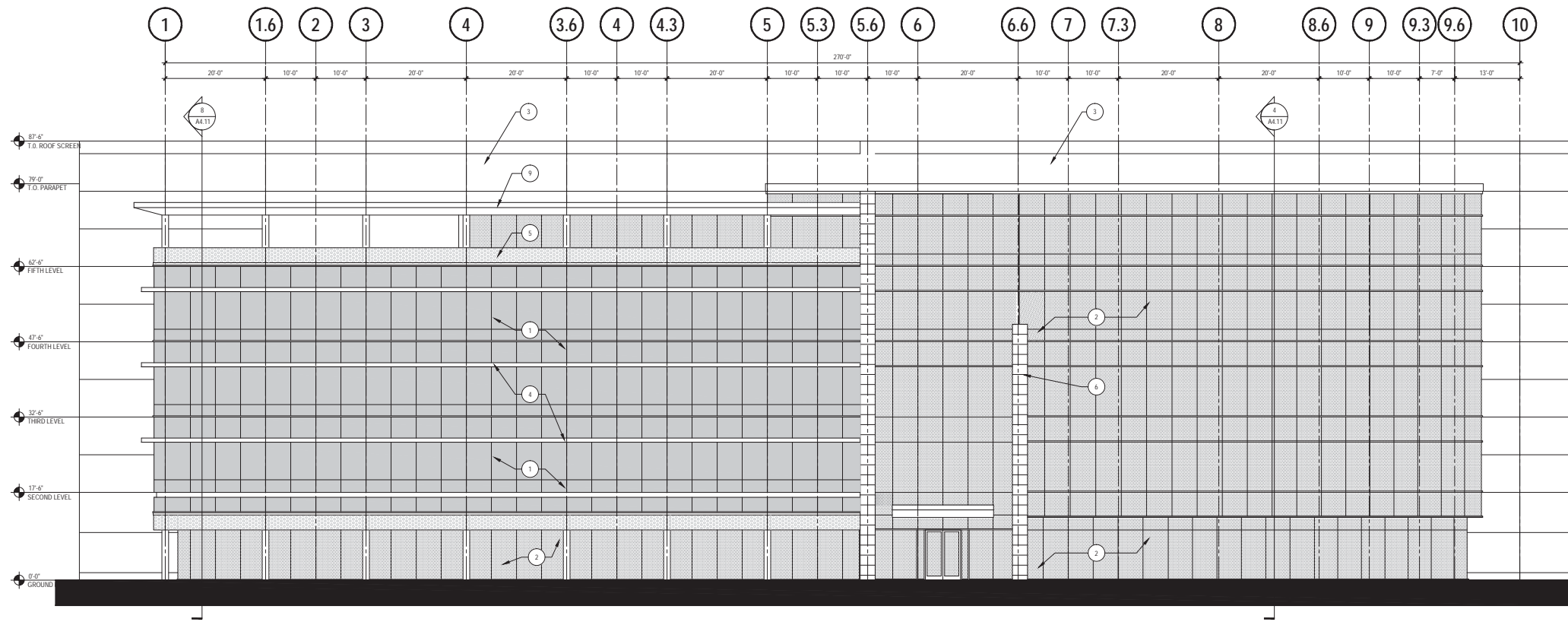
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FIFTH LEVEL FLOOR PLAN

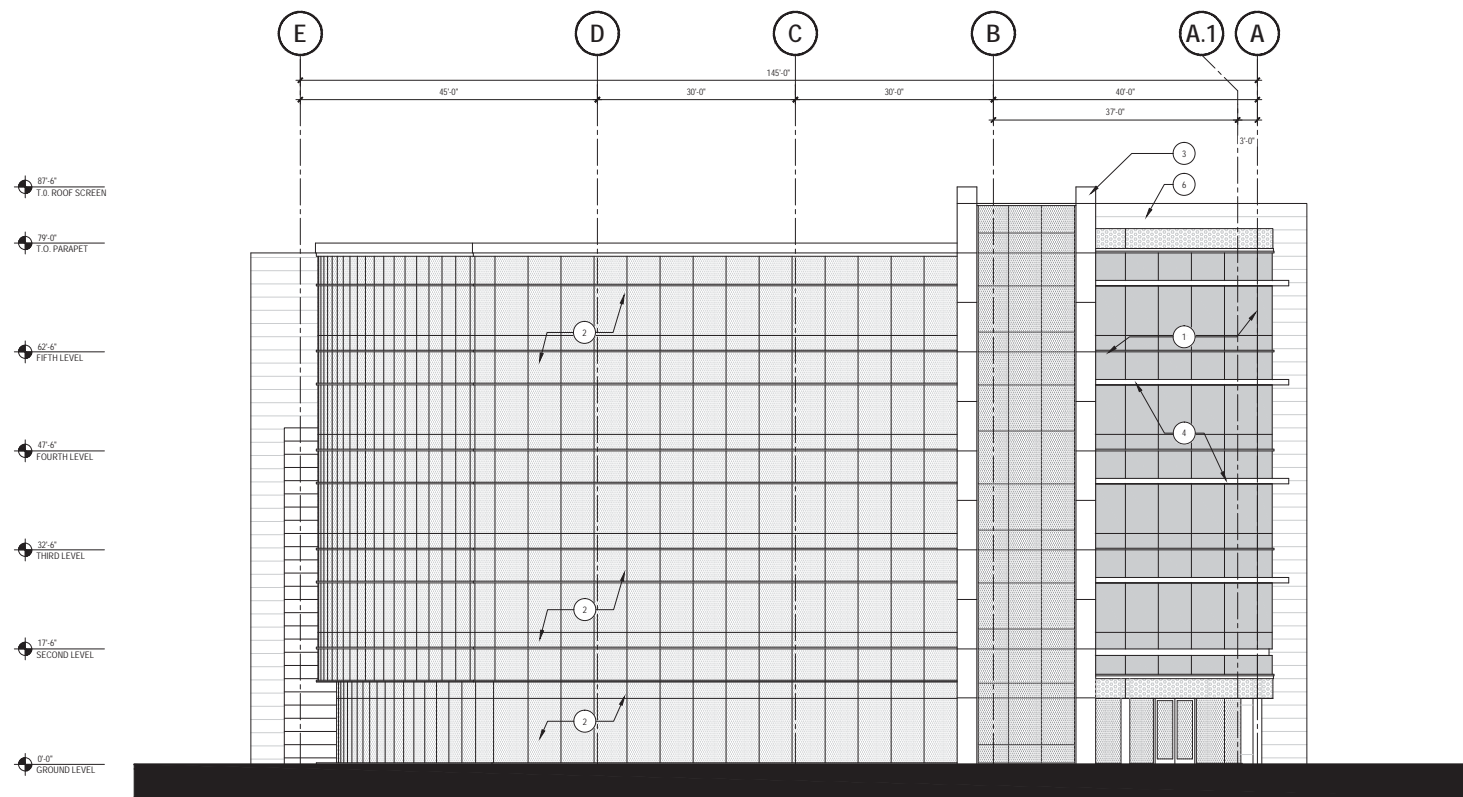
**A2.31**

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**18 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**20 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

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- 2 1" INSULATED LOW E GLAZING SYSTEM WITH CLEAR GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED VERTICAL AND HORIZONTAL AND 3" EXPRESSED HORIZONTAL MULLIONS
- 3 ALUMINUM COMPOSITE PANEL
- 4 2'-4" DEEP ALUMINUM SUNSHADE WITH LOUVERS
- 5 PERFORATED METAL PANEL GUARDRAIL
- 6 STONE TILE AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 7 OVERHEAD ROLL UP DOOR
- 8 GENERATOR ENCLOSURE SIZE TO BE DETERMINED BY FUTURE TENANT
- 9 ALUMINUM COMPOSITE METAL PANEL CANOPY

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EXTERIOR ELEVATIONS

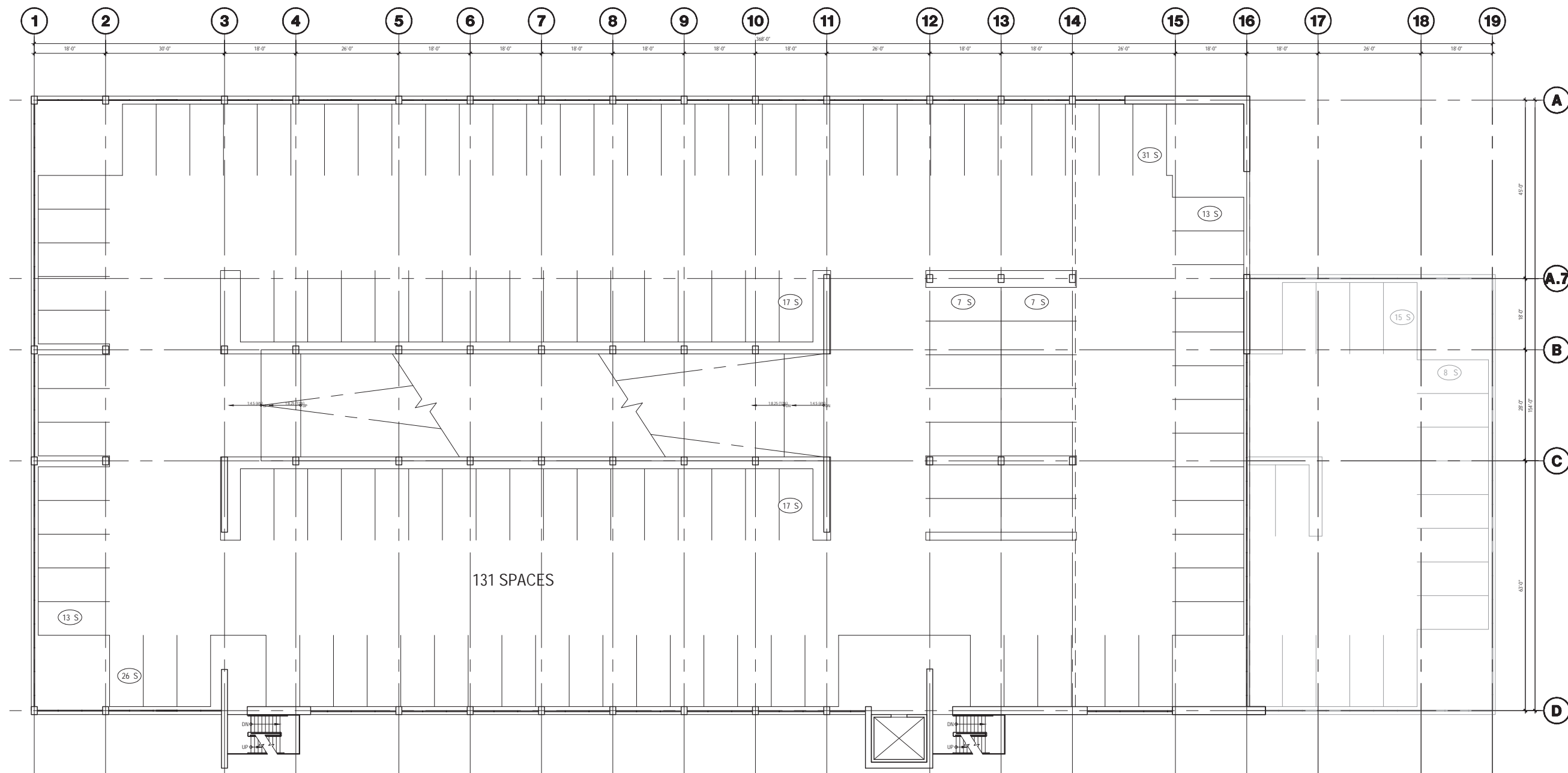
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**1 GARAGE THIRD LEVEL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**KEY NOTES**

NOT ALL KEYNOTES MAY APPLY

- 1 STEEL MESH ALUMINUM FRAMES WITH 8" EXPRESSED HORIZONTAL JOINTS
- 2 ALUMINUM COMPOSITE PANEL
- 3 STEEL GUARDRAIL
- 4 STONE TILE AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 5 CONCRETE PANEL, PAINTED
- 6 FACE OF BUILDING ABOVE, SHOWN DASHED
- 7 FREE STANDING TRELLIS FENCE
- 8 TRASH ENCLOSURE, REFER TO T1A1.01
- 9 BOLLARD
- 10 BIKE STORAGE

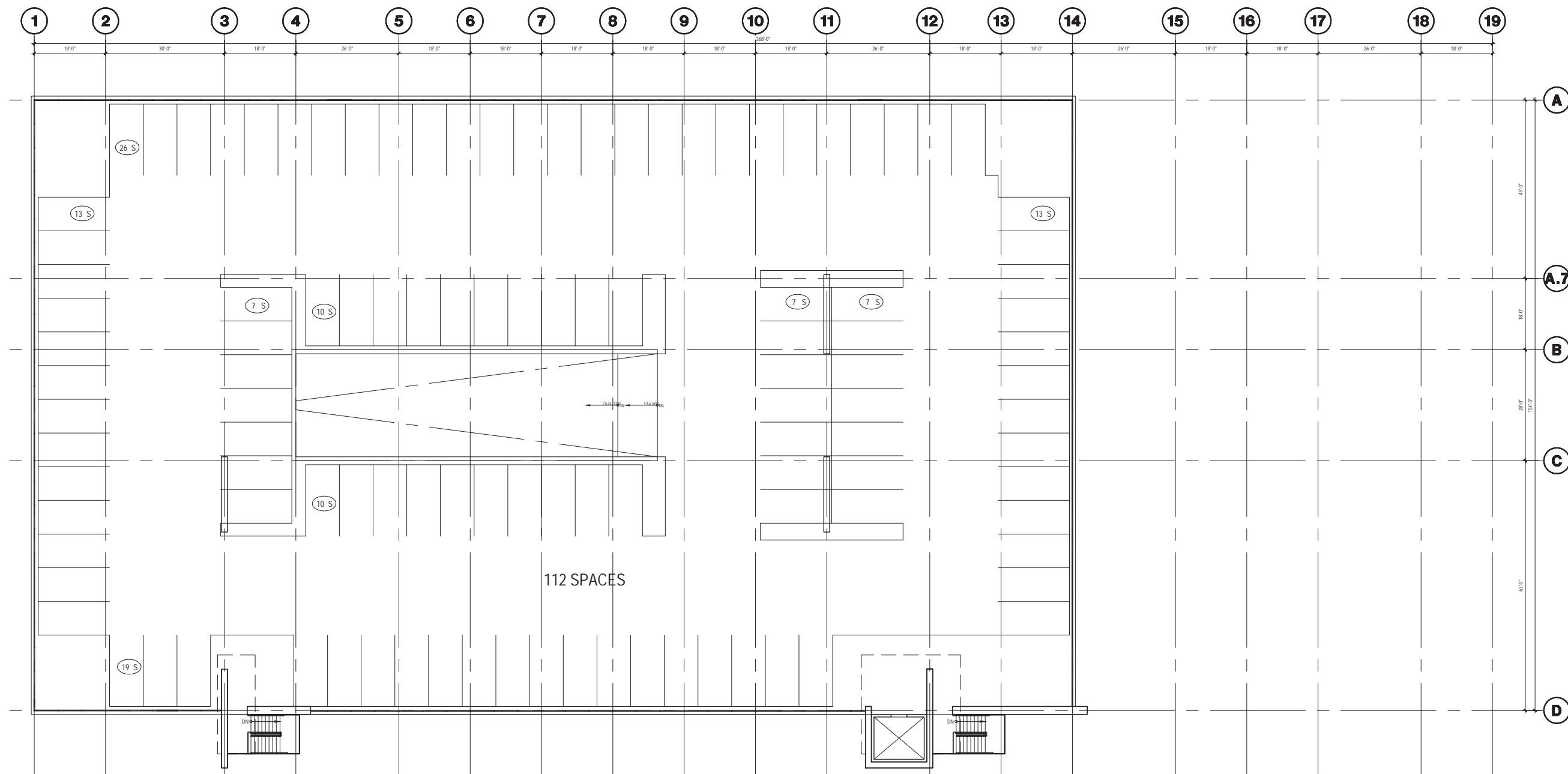
DATE	DESCRIPTION
02.17.15	PRELIMINARY PRICING
03.30.15	OWNER REVIEW
04.09.15	PLANNING DEPT. SUBMITTAL
09.18.05	PLANNING REVIEW

GARAGE THIRD LEVEL FLOOR PLAN

**AP2.13**

PROJECT NO: 143840

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A Warm Shell Building For:  
**CLYDE AVENUE JOINT VENTURE LLC**  
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 Mountain View, CA 94043



**1 GARAGE FOURTH LEVEL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**KEY NOTES**

NOT ALL KEYNOTES MAY APPLY

- 1 STEEL MESH ALUMINUM FRAMES WITH 8" EXPRESSED HORIZONTAL JOINTS
- 2 ALUMINUM COMPOSITE PANEL
- 3 STEEL GUARDRAIL
- 4 STONE TILE AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 5 CONCRETE PANEL, PAINTED
- 6 FACE OF BUILDING ABOVE, SHOWN DASHED
- 7 FREE STANDING TRELLIS FENCE
- 8 TRASH ENCLOSURE, REFER TO T1A1.01
- 9 BOLLARD
- 10 BIKE STORAGE

DATE	DESCRIPTION
02.17.15	PRELIMINARY PRICING
03.30.15	OWNER REVIEW
04.09.15	PLANNING DEPT. SUBMITTAL
09.18.05	PLANNING REVIEW

GARAGE FOURTH LEVEL FLOOR PLAN

**AP2.14**

PROJECT NO: 143840

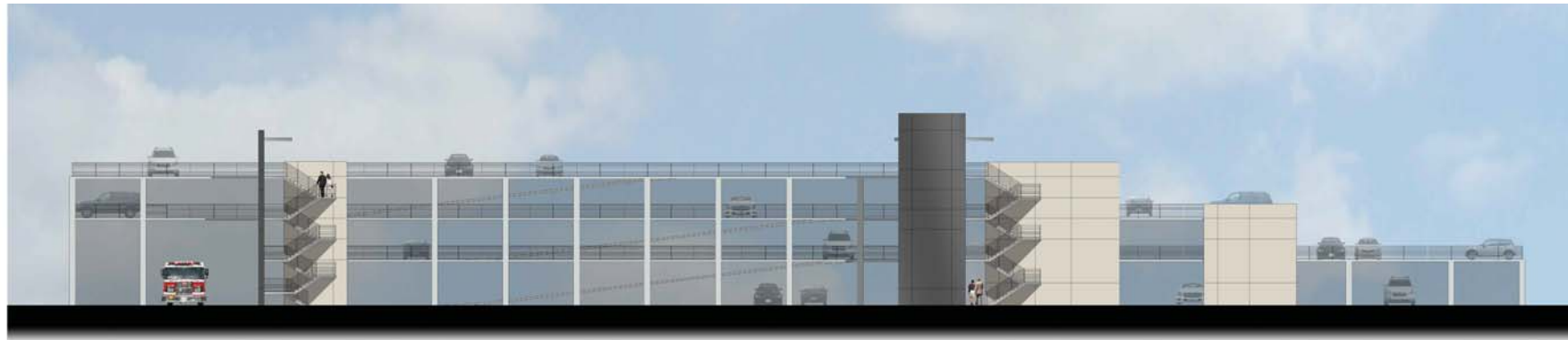
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17 NORTH ELEVATION  
SCALE: 1/16"=1'-0"



19 EAST ELEVATION  
SCALE: 1/16"=1'-0"



20 WEST ELEVATIONS  
SCALE: 1/16"=1'-0"



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DATE	DESCRIPTION
02.11.15	PRELIMINARY PRICING
03.30.15	OWNER REVIEW
04.09.15	PLANNING DEPT. SUBMITTAL
09.18.05	PLANNING REVIEW

GARAGE RENDERED EXTERIOR  
ELEVATIONS

**AP3.11**  
PROJECT NO: 143840





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DATE	DESCRIPTION
02.17.15	PRELIMINARY PRICING
03.26.15	OWNER REVIEW
04.06.15	PLANNING DEPT. SUBMITTAL
08.18.15	INFORMAL SUBMITTAL

Landscape  
Layout and Materials Plan

**L-2.1**  
PROJECT NO: 143840

**SITE PLAN** Scale: 1" = 20'