



PROJECT DESCRIPTION

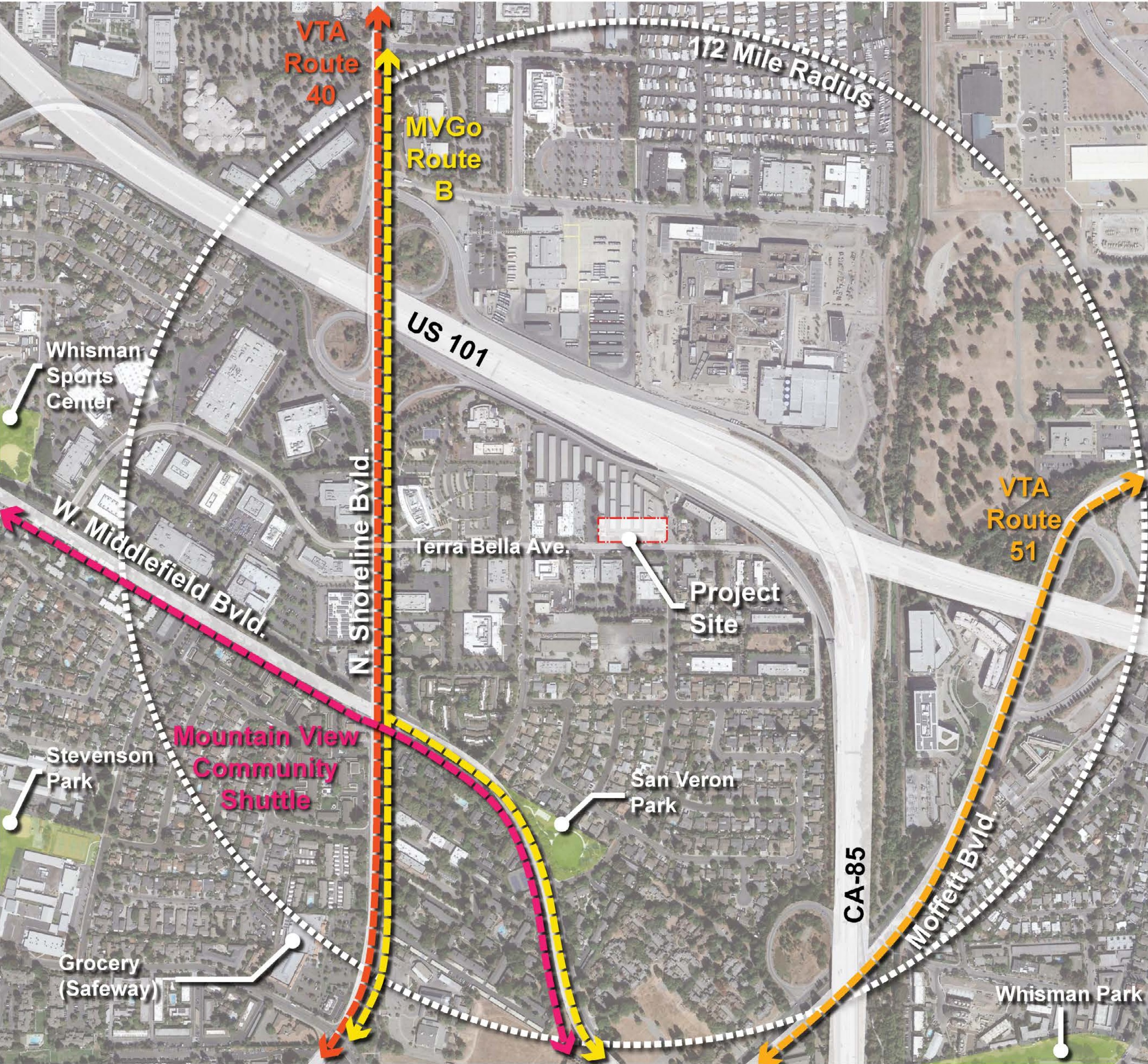
Alta Housing's proposed 1020 Terra Bella development will provide 108 apartments on the site of one vacant single family home and a portion of the existing one story Public Storage facility. The building will include 106 units of affordable housing and two units reserved for on-site management within a 6 story residential building. The proposed housing will be a mix of one, two, and three bedroom units with the majority of units sized to accommodate families. In addition to the housing, the building will include high quality amenities for residents including a large community room located to open directly onto an expansive, landscaped third floor courtyard, ample laundry facilities, offices for supportive housing services staff, and a resident lounge. The project will accommodate 96 off street parking spaces within two levels of above-grade garage space to yield a parking ratio of 0.89 spaces per unit, which corresponds to typical parking utilization at nearby buildings with a comparable resident demographic. Conscious of this parking ratio, the development seeks to incentivize zero carbon transportation by providing one bicycle parking space for each unit in a spacious and convenient resident bike room co-located with a bike workshop. The project will be all electric and is seeking to maximize energy generation through the use of rooftop photovoltaic panels.

The massing of the building has been carefully designed to mitigate the impact of its length and height. The building has been reduced from the original concept down to six stories and a height of 70 feet. The base of the building has been articulated as a two-story element with a rhythm of street-facing modules in order to echo traditional townhome proportions. The 'C' shape of the four story building above is also oriented to allow the bulk of the center section to recede behind the townhome elements. The 18'-6" wide front setback along Terra Bella Avenue allows for an active frontage meant to serve as an amenity for the broader community, including stoops and canopies, abundant planting, seating areas and an entry plaza at the corner. The rear setback adjacent to Public Storage is reduced to 7'-2" and accommodates stormwater treatment and landscape screening between the buildings. Likewise, the west setback is increased to 15', where a wide planting strip screens the two story parking garage. The San Rafael frontage includes a 5' setback and incorporates the garage entry, exit stairs, and trash areas behind the lobby corner which require mostly hardscape surfaces. The proposed architecture uses detailing to focus attention at significant moments while setting a restrained precedent for future development appropriate for the eventual transformation of this industrial neighborhood. Vertical metal siding is used to emphasize the perpendicular wings of the building. This vertical siding is extended to the ground at the southeast corner where it cleaves through the clean horizontal siding material of the base to visually announce the main entrance lobby. A large horizontal entrance canopy echoes the smaller sunshades on the upper stories and creates an interplay between horizontal and vertical elements to subtly enliven the facade.

PROJECT DIRECTORY

OWNER ALTA HOUSING 2596 E. BAYSHORE RD. STE 200 PALO ALTO, CA 94303	ARCHITECT VAN METER WILLIAMS POLLACK LLP 333 Bryant Street, Suite 300 San Francisco, CA 94107 TEL: 415.974.5352 x 202 CONTACT: Fred Pollack, Partner EMAIL: fred@vmwp.com	CIVIL ENGINEER BKF ENGINEERS 1730 N. First Street, Suite 600 San Jose, CA 95112 TEL: 408.467.9100	LANDSCAPE ARCHITECT THE GUZZARDO PARTNERSHIP INC. 181 Greenwich Street San Francisco, CA 94111 TEL: 415.433.4672	JOINT TRENCH ENGINEER URBAN DESIGN CONSULTING ENGINEERS 350 Townsend Street, Suite 409 San Francisco, CA 94107 TEL: 415.658.5850	STRUCTURAL ENGINEER KPFF 45 Fremont Street, 28th Floor San Francisco, CA 94105 TEL: 415.989.1004	MEP ENGINEER EMERALD CITY ENGINEERS, INC. 21705 Highway 99 Lynnwood, WA 98036 TEL: 425.741.1200

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TR1.1	STAGING AREA
TR2.0	CHUTE DETAILS



SITE LOCATION AND CONNECTIVITY



SITE VICINITY MAP

- ☐ CIVIL ENGINEER
- BKF ENGINEERS**
1730 N. First Street, Suite 600,
San Jose, CA 95112
408.467.9100
- ☐ LANDSCAPE ARCHITECT
- GUZZARDO PARTNERSHIP**
181 Greenwich Street
San Francisco CA 94111
415.433.4672
- ☐ JOINT TRENCH
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ENGINEERS**
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- ☐ STRUCTURAL ENGINEER
- KPFF**
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415.989.1004
- ☐ MEP ENGINEER
- Emerald City Engineers, Inc.**
21705 Highway 99
Lynnwood, WA 98036
425.741.1200

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3	04/29/22	100% DD / Planning Resubmittal
4	09/27/22	Planning Resubmittal
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Project:

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

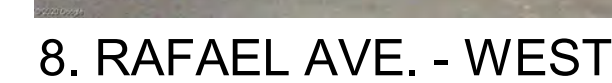
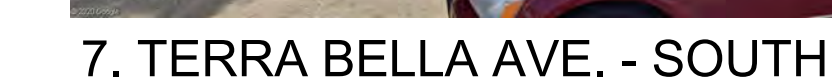
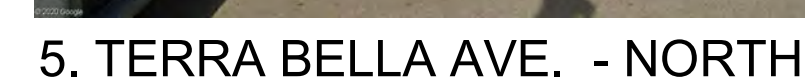
Client:

ALTA
HOUSING

2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

PROJECT VICINITY

JOB #: #1716
SCALE:



1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

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NEIGHBORHOOD CONTEXT

JOB #: #1716

SCALE: As indicated

A0.03



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STREET VIEW FROM TERRA BELLA & SAN RAFAEL



AXON VIEW ABOVE TERRA BELLA

[illegible]

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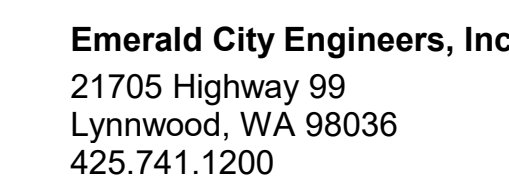
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RENDERINGS

JOB #: #1716

SCALE: 1/4" = 1'-0"

A0.04



AERIAL VIEW ABOVE TERRA BELLA

COMMUNITY ROOM SPILL OVER SPACE ON PODIUM

PLAY AREA ON PODIUM

OUTDOOR DINING SPACE AND TRELLIS

[illegible]

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RENDERINGS

JOB #: #1716

SCALE: 1/4" = 1'-0"

A0.05

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MOUNTAIN VIEW, CA 94043

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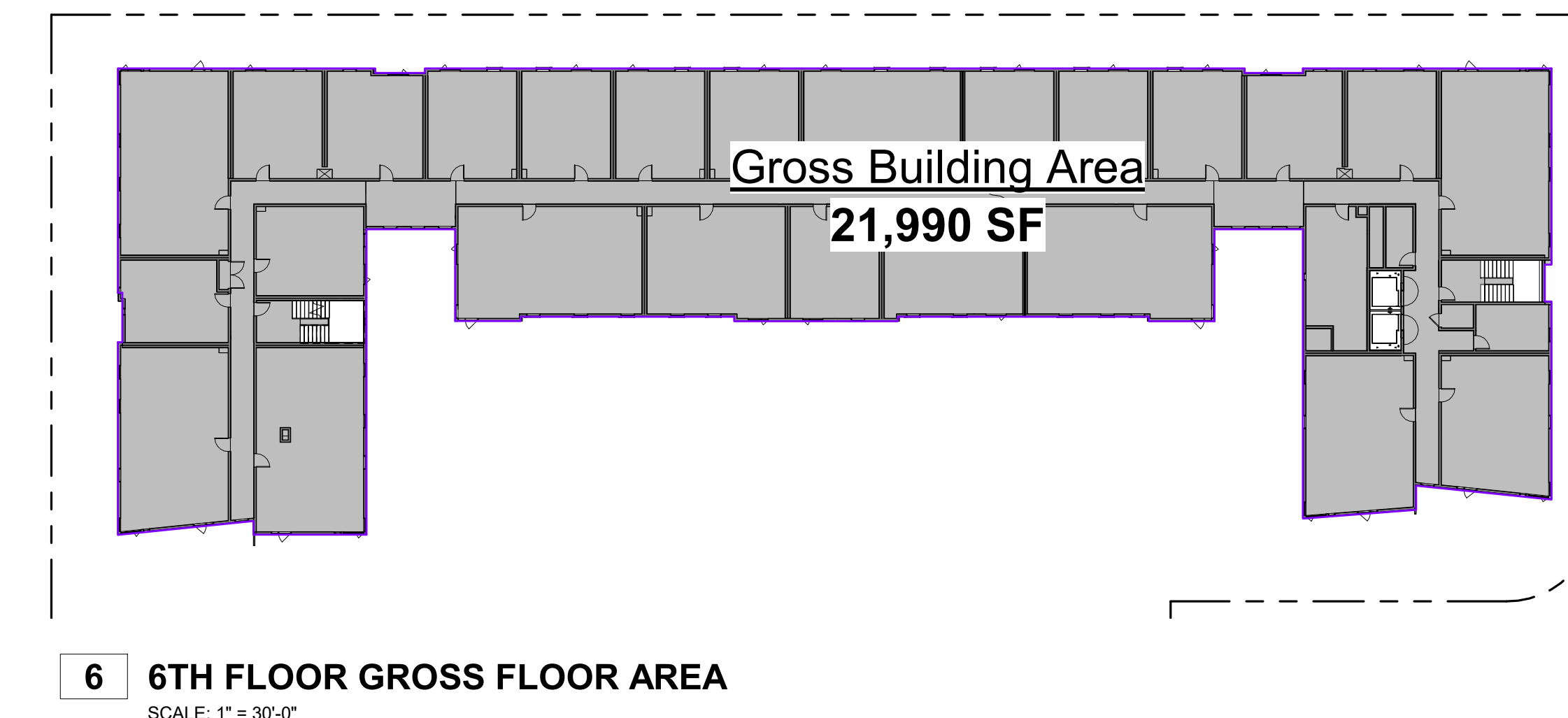
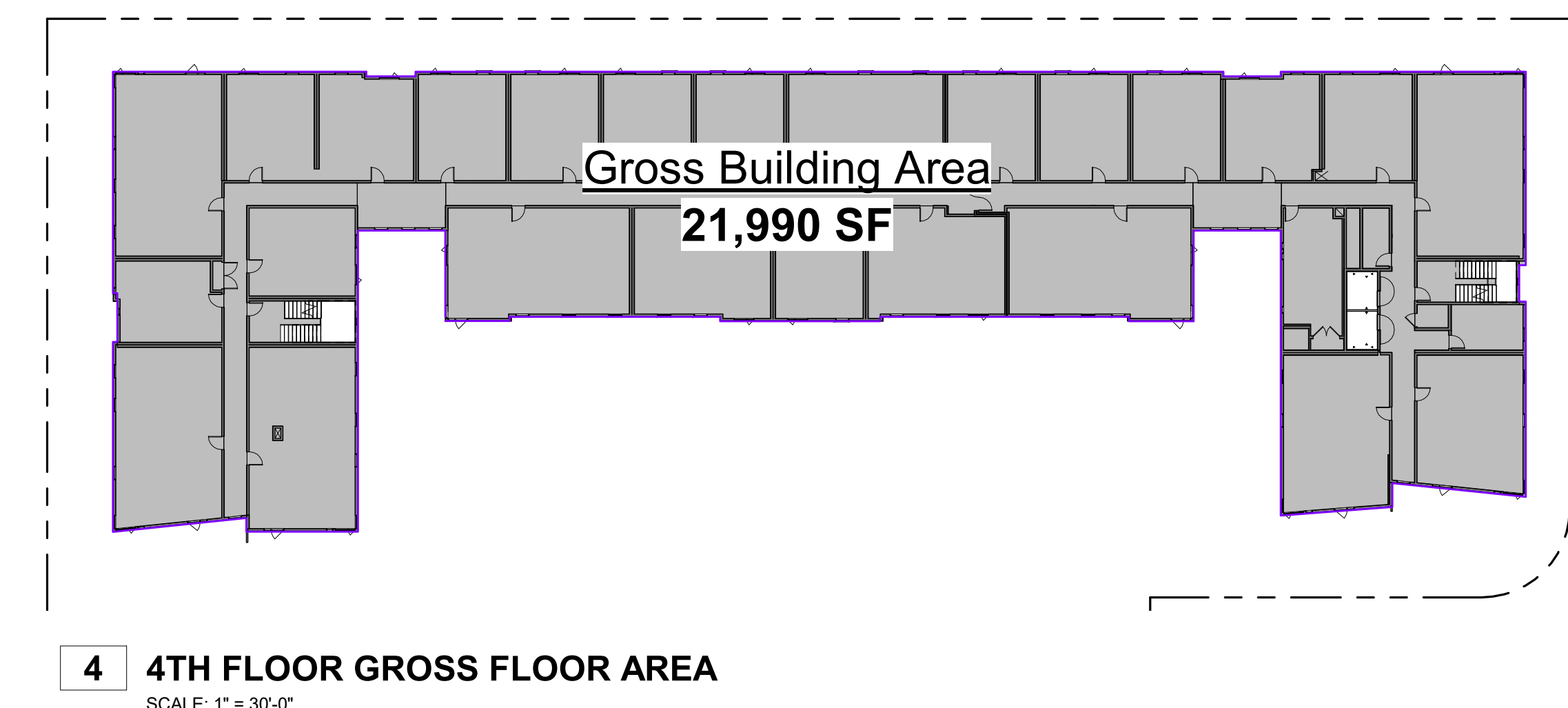
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RENDERINGS

JOB #: #1716

SCALE: 1/4" = 1'-0"

A0.07



PROJECT DATA		PLANNING
Site Information		
Parcel APN	153-15-021 and portion of 153-15-002	
General Plan Land Use	General Industrial	
Existing Zoning	MM - General Industrial	
Lot Area (net)	45,180 SQ. FT.	
Lot Acres (Acres)	1.04 ACRES	
Control (Taking influence from East Whisman Specific Plan High Intensity Mixed- Use)	East Whisman Specific Plan High Intensity Mixed-Use	Proposed
Allowed FAR:	1.0 base, 3.5 Residential Bonus	Provided: 1.0 base + 2.33 bonus FAR = 3.33 total FAR
Density:	80 du/acre per GPD	104 du/acre
Height:	95' roof plate, 75' streetwall	70' roof plate; 6 stories
Setback - Front @ Street (Terra Bella)	10'	18'-6" (including 6' stoop encroachment)
Setback - Side @ Street (San Rafael)	10'	5'
Setback - Side @ Interior	10'	15'
Setback - Rear	15'	7'-2"
Minimum Site Area:	n/a	45,180 SQ. FT.
Gross Building Footprint	n/a	31,699 SQ. FT.
Site Open Area (Site area excluding building footprint & vehicular paving)	n/a	13,481 SQ. FT.
Maximum Auto-Dedicated Pavement Coverage	n/a	760 SQ. FT.
Common Usable Open Space (80 sf/ unit)	8,640 SQ. FT.	13,562 SQ. FT.
Total Usable Open Space (120 sf/ unit total)	12,960 SQ. FT.	13,562 SQ. FT.
Resident Storage 164 CF per unit	108 storage units @ 164 CF per unit	108 storage units 164 CF per unit
Parking		
Parking Ratio:		0.89 SPACES : 1 UNIT
Conventional parking spaces		96 SPACES
Accessible spaces	4 SPACES	4 SPACES (1 Van Accessible)
Designated Level 2 EVCS	15 SPACES	15 SPACES
Level 3 EV Fast/Charger	0 SPACES	0 SPACES
EV Ready (Prewired)	81 SPACES	81 SPACES
ACCESSIBLE EV INSTALLED		2 SPACES (1 VAN)
Resident Bicycle Parking	1 SPACE : 1 UNIT	108 SPACES
Short Term Bicycle Parking	1 SPACE : 10 UNITS	12 SPACES
Unit Count		
Studio	2	
1 Bedroom	49	
2 Bedroom	29	
3 Bedroom	28	
Total:	108	

PROJECT DATA		BUILDING
Gross Building Areas		SF
Ground floor	31,699	includes covered parking
2nd floor	31,451	
3rd floor	21,415	
4th floor	21,990	
5th floor	21,990	
6th floor	21,990	
Total	150,535	
Usable Open Space		SF
Ground level common	3,258	Ground level stoops only
Podium common	10,304	
Private open space	493	
Total	14,055	
Residential Units		
Ground floor	5	
2nd floor	11	
3rd floor	22	
4th floor	23	
5th floor	23	
6th floor	24	
Total	108	

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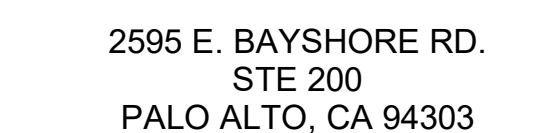
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Project:

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:

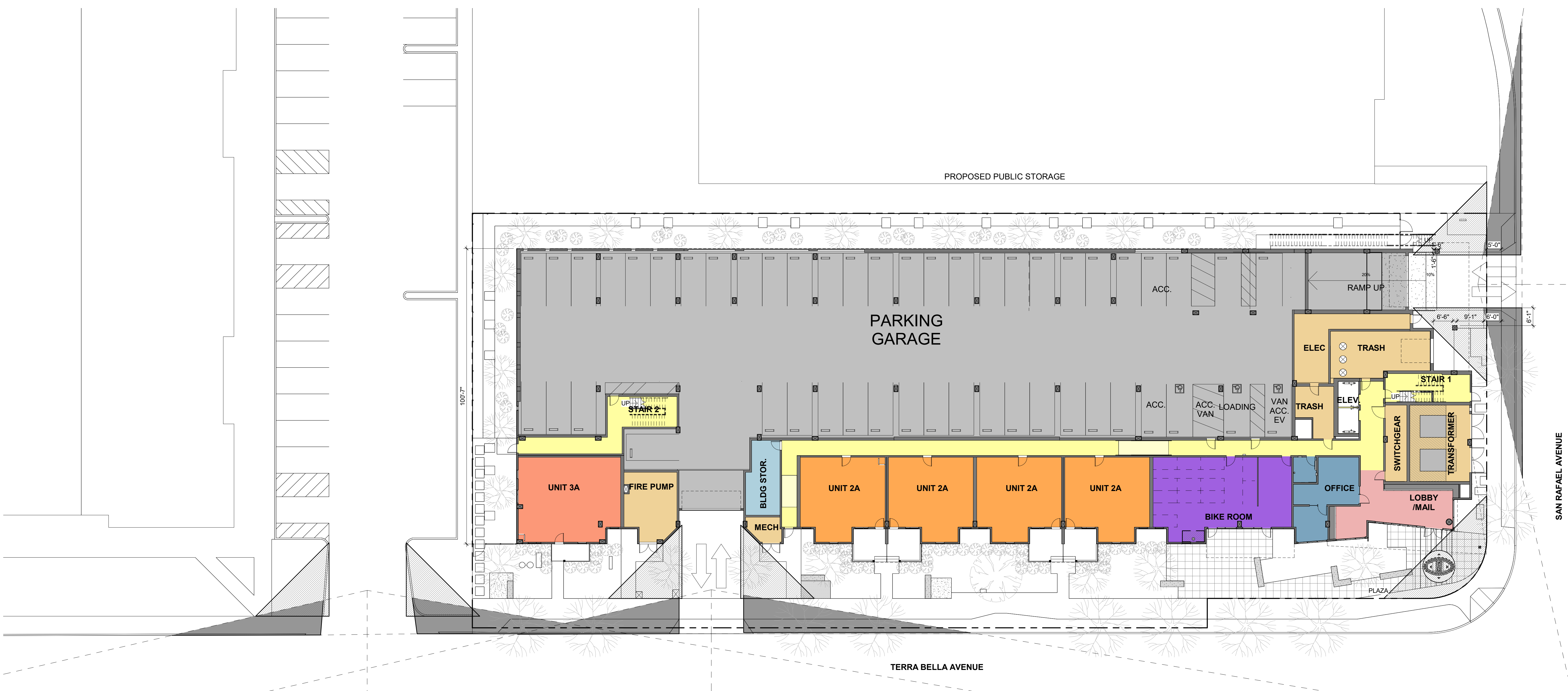


AREA CALC DIAGRAMS

JOB #: #1716

SCALE: 1" = 30'-0"

A0.22

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VIEW TRIANGLE DIAGRAM

JOB #: #1716

SCALE: As indicated

A0.23

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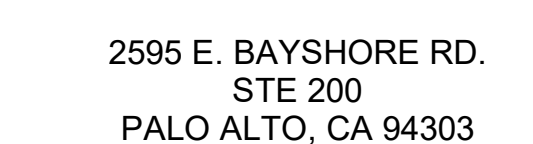
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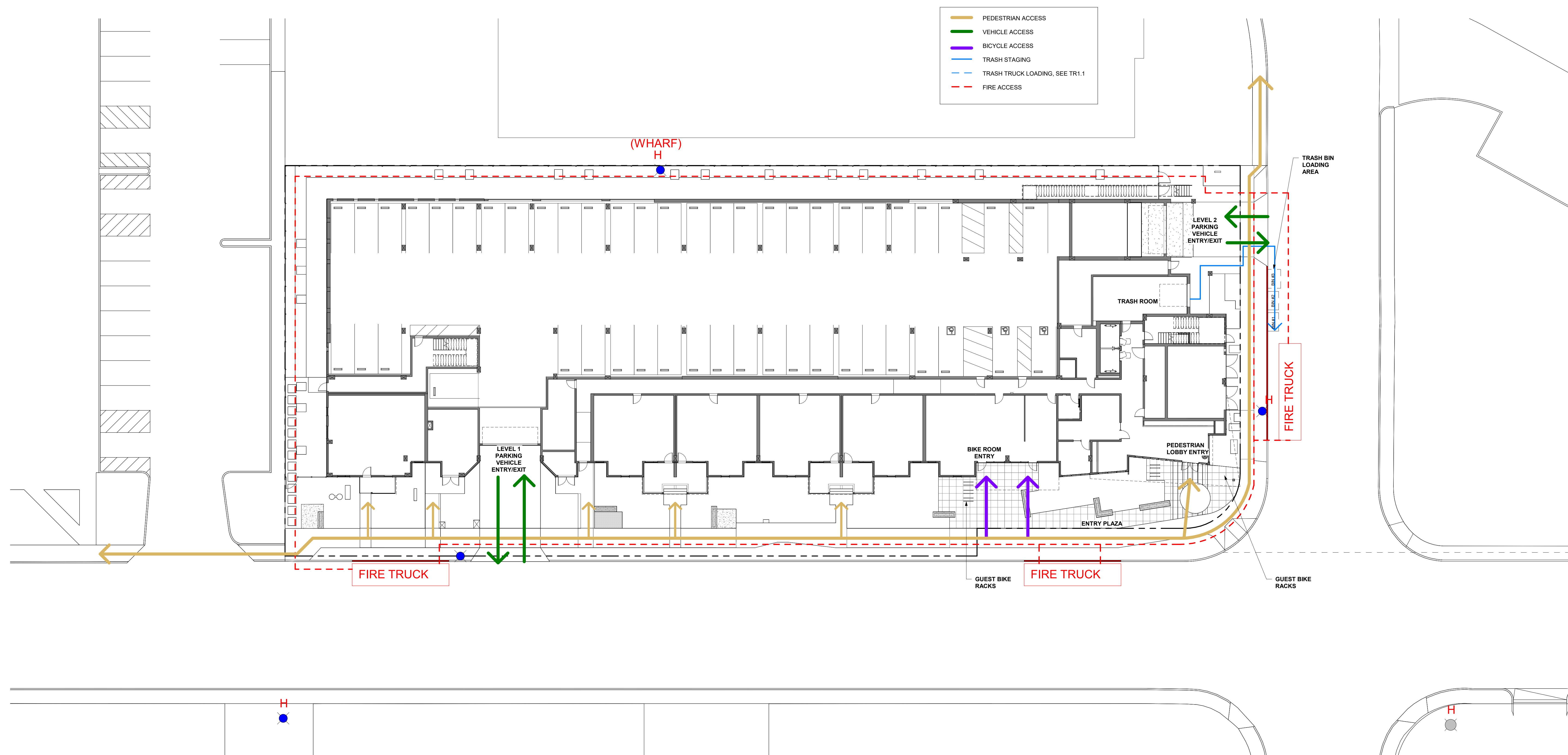
Client: _____



JOB #: #1716

SCALE: 1/16" = 1'-0"

A0.24



1 CIRCULATION DIAGRAM
SCALE: 1/16" = 1'-0"

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**3-HR RATED HORIZONTAL BUILDING SEPARATION PER CBC SECTION 510.2
BETWEEN CONSTRUCTION TYPES IA & VA; PROTECTED OPENINGS ARE REQUIRED**

**3-HR FIRE RESISTANCE RATED STRUCTURAL MEMBER PER CBC TABLE 605.3
TYPICAL AT PRIMARY STRUCTURAL FRAME & BEARING WALLS AT TYPE IA**

2-HR RATED FIRE WALL/AREA SEPARATION WALL/HORIZONTAL EXIT
PER CBC SECTION 1025 & 706.4 - TYPE VA. PROTECTED OPENINGS ARE REQUIRED

2-HR FIRE RESISTANCE RATED STRUCTURAL MEMBER PER CBC TABLE 601
TYPICAL AT FLOOR AND SECONDARY MEMBERS - TYPE 1A

2-HR FIRE RESISTANCE RATED BARRIER PER CBC 707
TYPICAL AT SHAFT ENCLOSURES PER CBC/IBC 713.4. P

2-HR FIRE RESISTANCE RATED BARRIER PER CBC 707
TYPICAL AT SHAFT ENCLOSURES PER CBC/IBC 713.4. PER 713.6 WHERE EXTERIOR WALLS SERVE AS PART OF A SHAFT ENCLOSURE, SUCH WALLS SHALL COMPLY WITH CBC SECTION 705 AND FIRE RESISTANCE RATED SHAFT ENCLOSURE REQUIREMENTS SHALL NOT APPLY. PER SECTION 713.8.8 PENETRATIONS OTHER THAN THOSE NECESSARY FOR THE PURPOSE OF THE SHAFT SHALL NOT BE PERMITTED IN THE SHAFT ENCLOSURE.

**1-HR FIRE RESISTANCE RATED ASSEMBLY PER CBC TABLE 601
TYPICAL AT FLOOR AND ROOF ASSEMBLIES - TYPE VA**

1-HR FIRE RATED EXTERIOR WALL PER CBC TABLE 601/602
TYPICAL AT EXTERIOR BEARING WALLS - TYPE VA

**1-HR RATED FIRE BARRIER / OCCUPANCY SEPARATION PER
TYPICAL AT WALLS SEPARATING DIFFERENT OCCUPANCIES**

1-HR FIRE PARTITION CBC SECTION 708
TYPICAL AT CORRIDORS AND WALLS SEPARATING DWELLING UNITS

1-HR FIRE PARTITION CBC SECTION 708
TYPICAL AT CORRIDORS AND WALLS SEPARATING DWELLING UNITS
PROTECTED OPENINGS ARE REQUIRED

GENERAL NOTES:

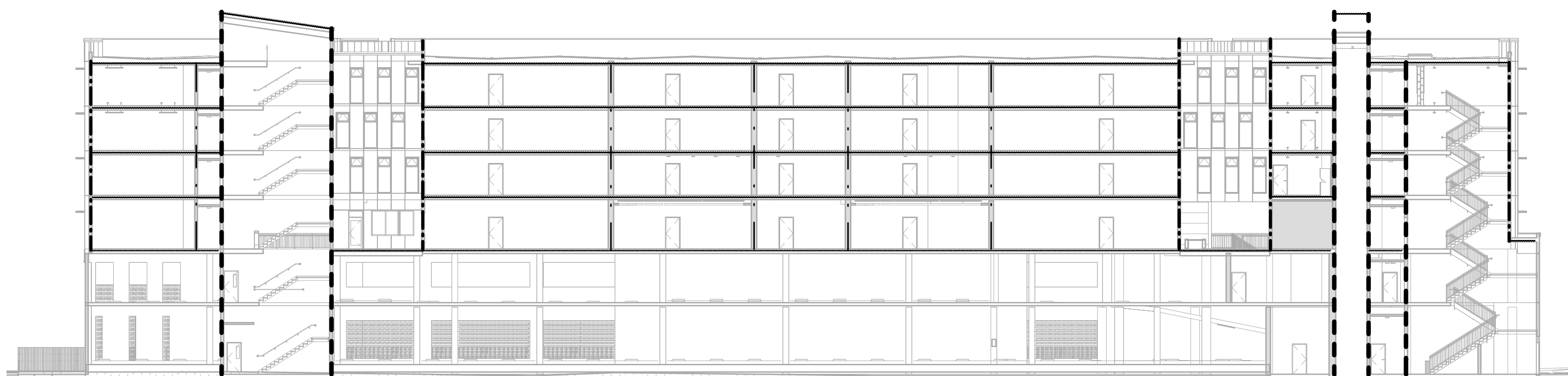
1. PER CBC TABLE 602, TYPE VA EXTERIOR WALLS TO BE 1-HR FIRE RATED CONSTRUCTION. PROTECTED OPENINGS ARE NOT REQUIRED.

2. TYPE IA EXTERIOR WALLS ARE NOT REQUIRED TO INCLUDE PROTECTED OPENINGS.

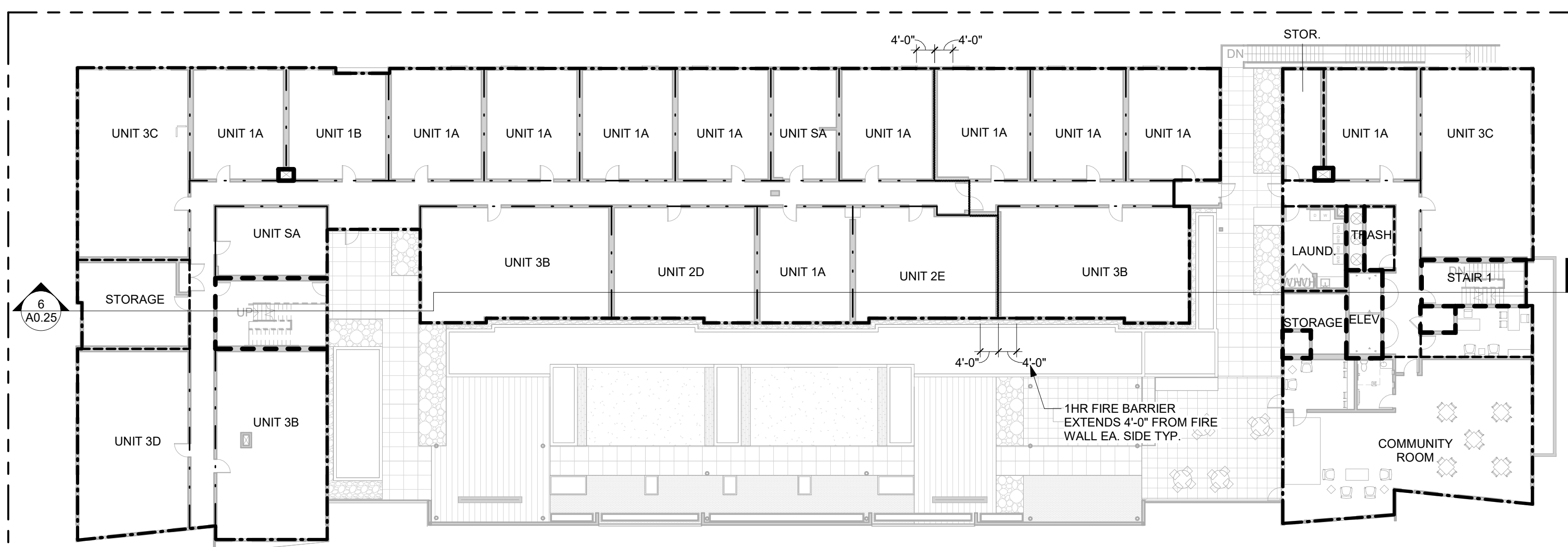
3. PER CBC TABLE 602, INTERIOR LOAD BEARING WALLS ARE REQUIRED TO BE 1-HR RATED. PROTECTED OPENINGS ARE NOT REQUIRED.

4. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 714.

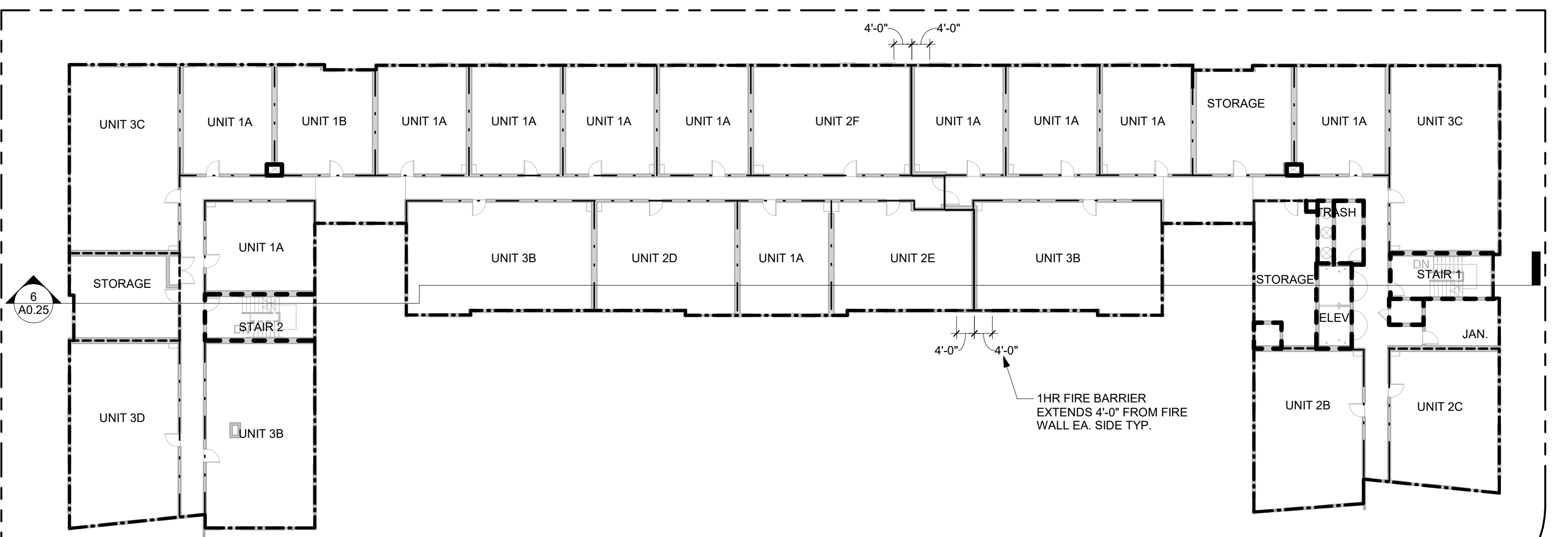
5. WHERE COLUMNS REQUIRE FIRE RESISTANCE RATING, THE ENTIRE COLUMN, INCLUDING ITS CONNECTION TO BEAMS OR GIRDERS, SHALL BE PROTECTED. WHERE COLUMN EXTENDS THROUGH A CEILING, FIRE RESISTANCE OF THE COLUMN SHALL BE CONTINUOUS FROM THE TOP OF THE FLOOR THROUGH THE CEILING SPACE TO THE TOP OF THE COLUMN PER SECTION 704.2



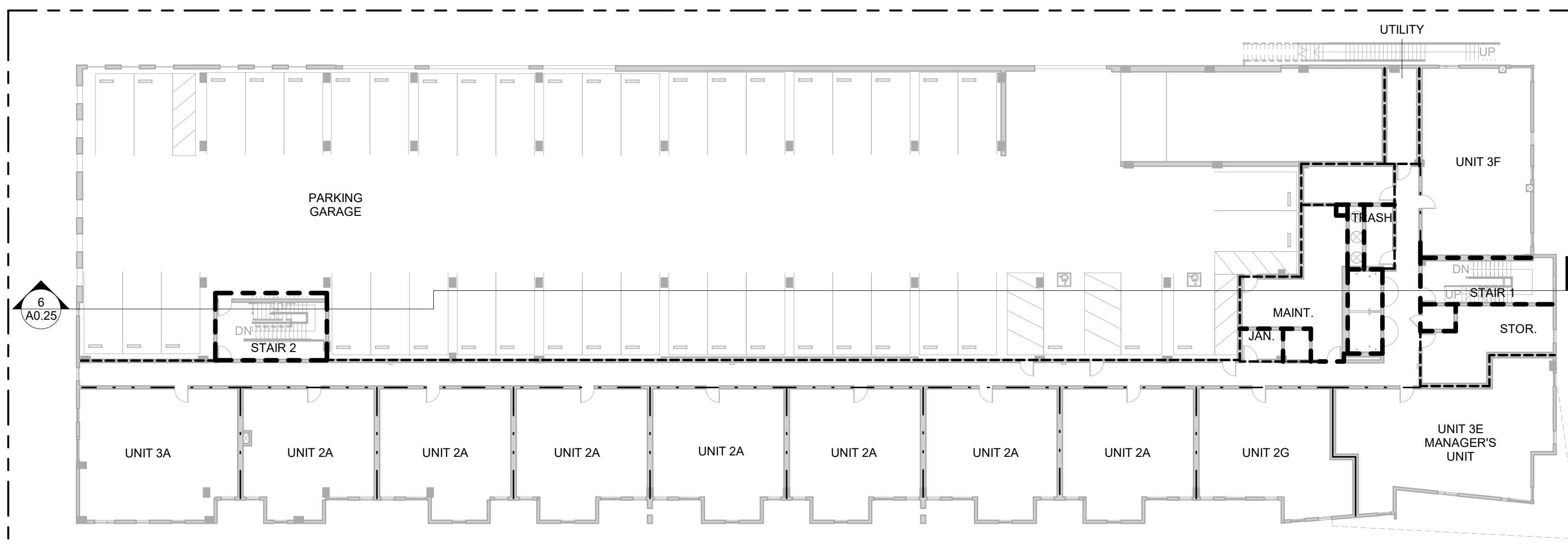
A0.25 SCALE: 1" = 20'-0"



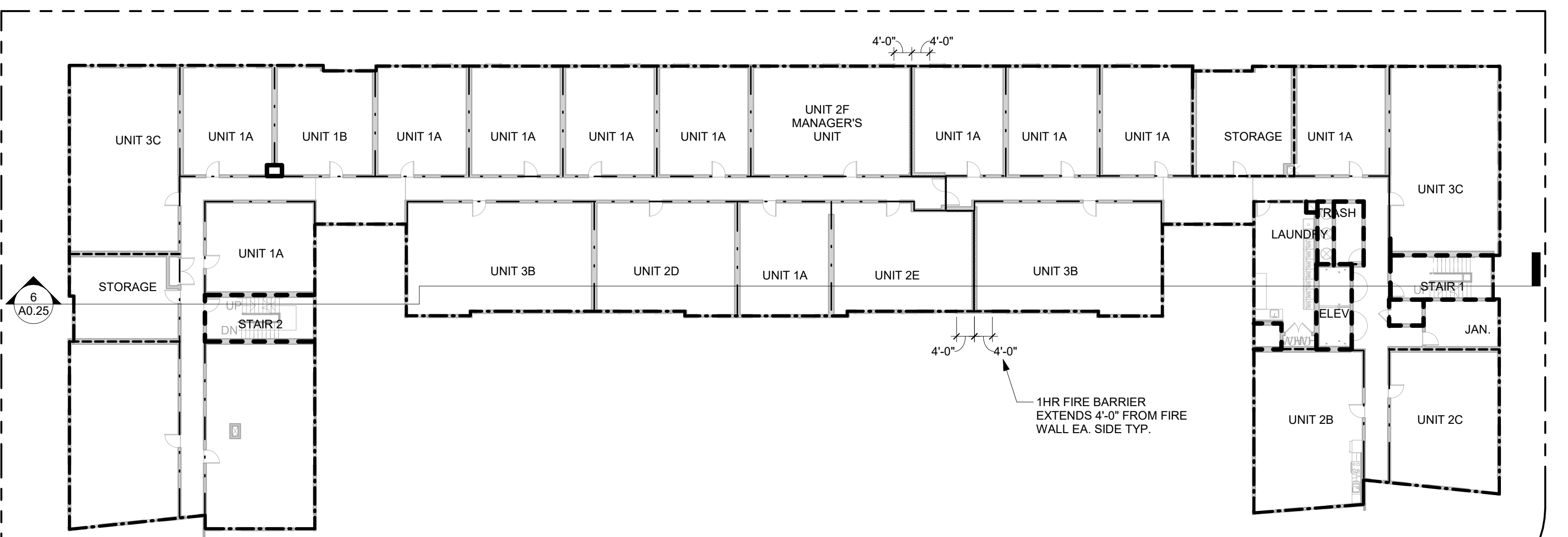
25 SCALE: 1" = 20'-0"



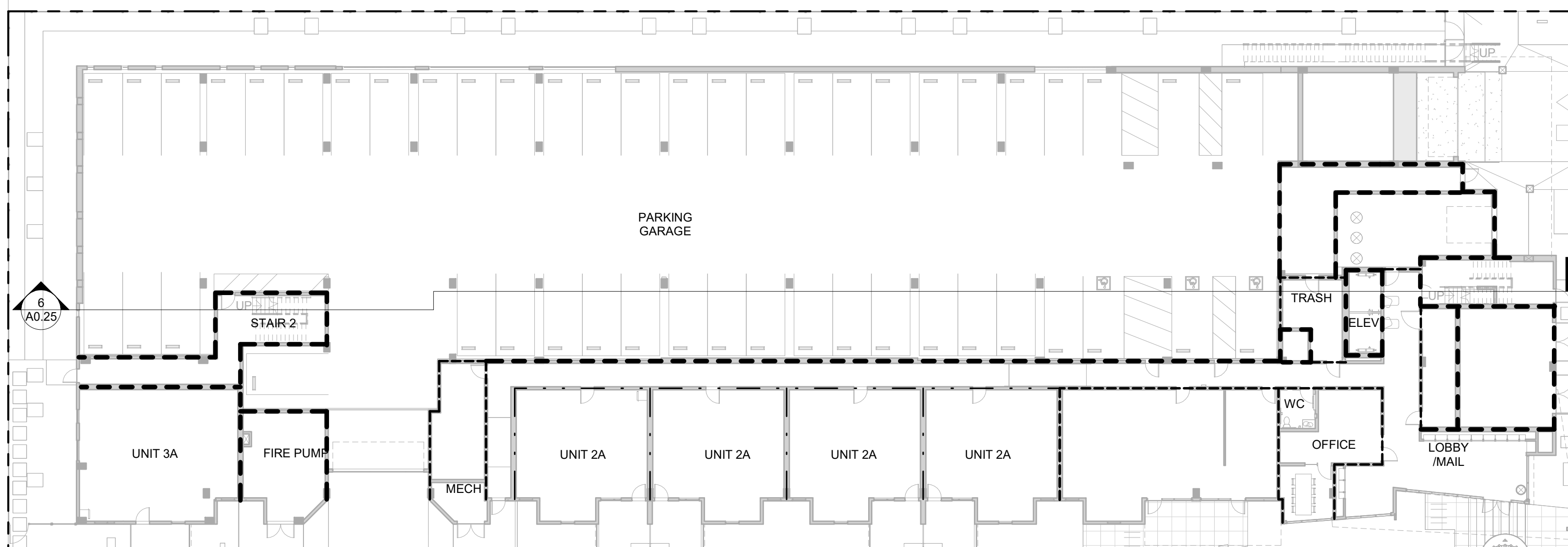
A0.25 SCALE: 1" = 20'-0"



025 SCALE: 1" = 20'-0"



A0.25 / SCALE: 1" = 20'-0"



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ID	DATE	NAME
1	12/22/21	100% SD
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Project

1020 TERRA BELLA

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MOUNTAIN VIEW, CA 94043

Client:



2595 E. BAYSHORE RD.
STE 200
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FIRE RATING DIAGRAMS

JOB #: #1716

SCALE: As indicated

A0.25

- ☐ CIVIL ENGINEER

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HOUSING

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UNPROTECTED
OPENING DIAGRAMS

JOB #: #1716

SCALE: 1/16" = 1'-0"

A0.27

WEST ELEVATION	FIRE SEPARATION DISTANCE (FT)	ALLOW. AREA OF OPENINGS (UNPROTECTED, SPRINKLERED)	WALL AREA (SF)	OPENING AREA (SF)	OPENING %
GROUND FLOOR	10' ≤ X ≤ 15'	45%	1,619 SF	141 SF	8.7%
SECOND FLOOR	10' ≤ X ≤ 15'	45%	1,317 SF	176 SF	13.4%
THIRD FLOOR	10' ≤ X ≤ 15'	45%	1,263 SF	180 SF	14.3%
FOURTH FLOOR	10' ≤ X ≤ 15'	45%	1,054 SF	180 SF	17.1%
FIFTH FLOOR	10' ≤ X ≤ 15'	45%	1,054 SF	180 SF	17.1%
SIXTH FLOOR	10' ≤ X ≤ 15'	45%	1,506 SF	180 SF	12.0%

1 2ND FLOOR - STORAGE C202
SCALE: 1/4" = 1'-0"

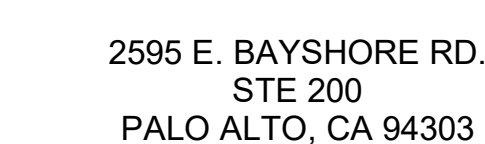
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Project:

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:

ILLUSTRATIVE SITE
PLAN

JOB #: #1716

SCALE: 1/16" = 1'-0"

A1.10



1 ILLUSTRATIVE SITE PLAN
SCALE: 1/16" = 1'-0"



[illegible]

Project:

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



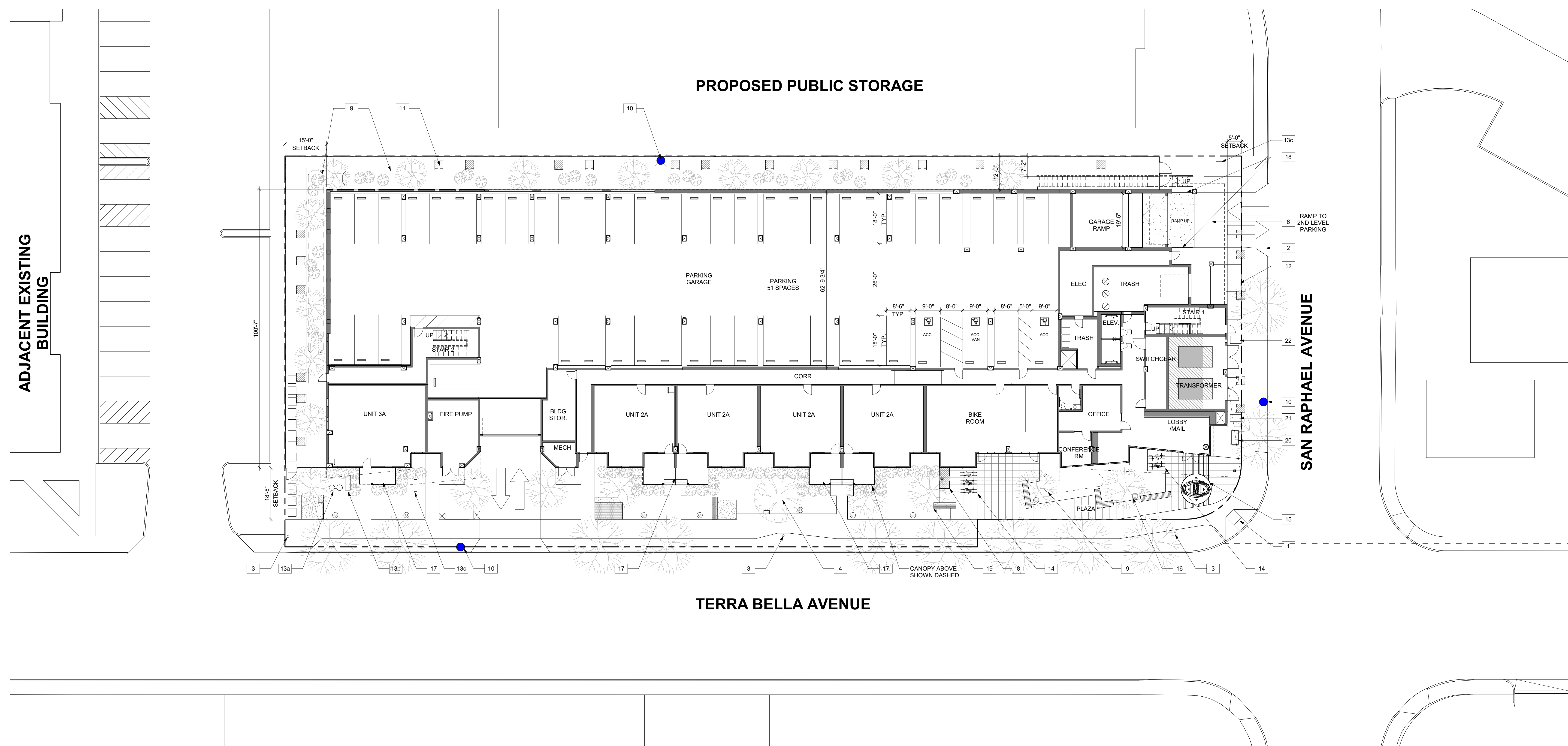
2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

DETAILED SITE PLAN

JOB #: #1716

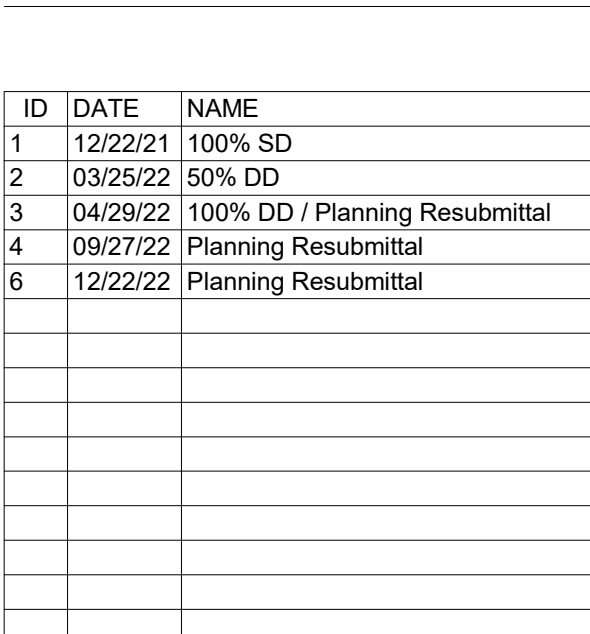
SCALE: As indicated

A1.11



1 DETAILED SITE PLAN
SCALE: 1/16" = 1'-0"





Project:

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

FLOOR PLANS - 1ST
FLOOR

JOB #: #1716

SCALE: 1" = 10'-0"

A 2.01

- [illegible]

Legend:

- 2 BR (Orange)
- 3 BR (Red)
- CIRCULATION (Yellow)
- PARKING (Grey)
- SERVICES (Blue)
- UTILITY (Tan)

Room Details:

- PARKING:** 45 SPACES
- STAIR 1 S1.2:** DN, UP
- STAIR 2 S2.2:** UP
- UNIT 3A 201:** 960 SF
- UNIT 2A 203:** 734 SF
- UNIT 2A 205:** 743 SF
- UNIT 2A 207:** 743 SF
- UNIT 2A 209:** 741 SF
- UNIT 2A 211:** 743 SF
- UNIT 2A 213:** 743 SF
- UNIT 2A 215:** 743 SF
- UNIT 2A 217:** 789 SF
- UNIT 3E MANAGER'S UNIT 219:** 1,130 SF
- UNIT 3F 225:** 972 SF
- STOR C202**
- STOR C223**
- ACC. EV.**
- MAINT. M200**
- JAN. M218**
- ELEV. E1.2**
- TRASH M204**
- UTILITY M206**
- RAMP:** 10%, 20% DN
- CORR. C1.2**

DOOR - DIAGRAM

[illegible]

Client:

 **ALTA
HOUSING**

2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

SCALE: 1" = 10'-0"

BKF ENGINEERS
1730 N. First Street, Suite 600,
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KPFF
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San Francisco, CA 94105
415.989.1004

Emerald City Engineers, Inc.
21705 Highway 99
Lynnwood, WA 98036
425.741.1200

SCALE: 1" = 10'-0"



SCALE: 1" = 10'-0"

Project:

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043



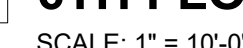
2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

FLOOR PLANS - 4TH &
5TH FLOORS

JOB #: #1716

SCALE: 1" = 10'-0"

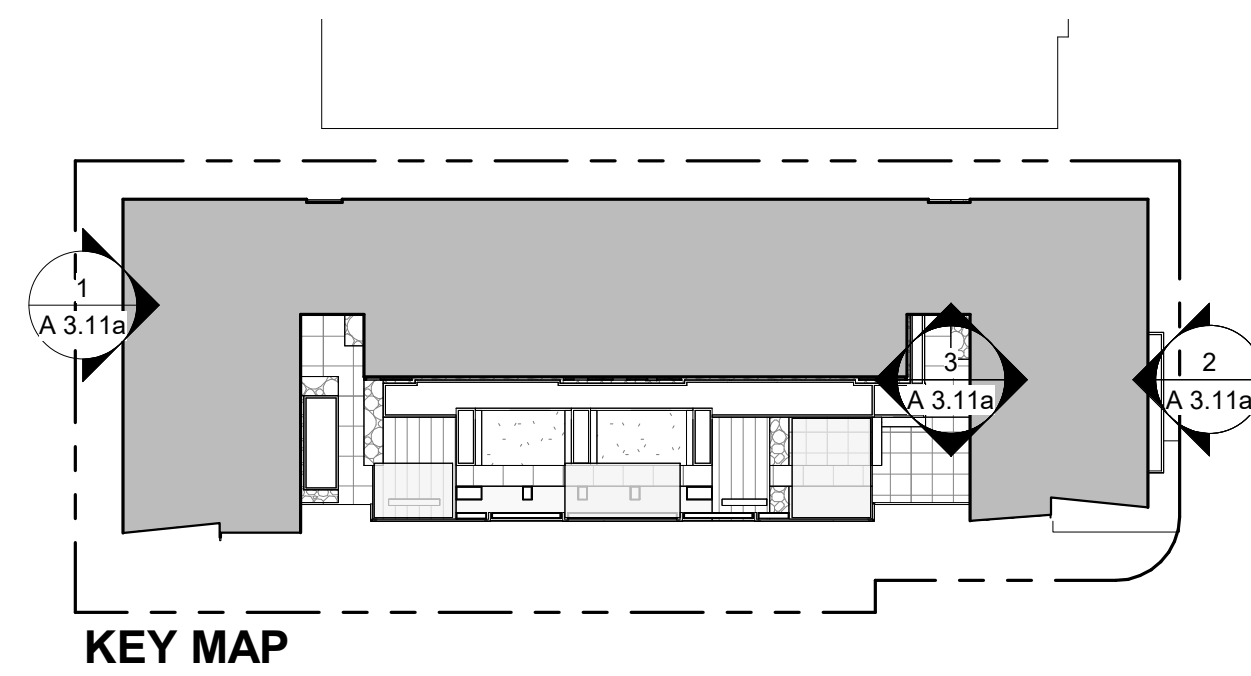
A 2.03

Project:

SCALE: 1" = 10'-0"

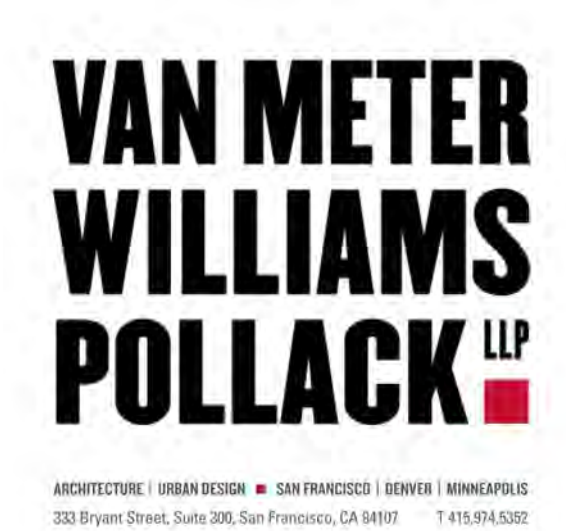
A 2.04





MATERIALS			
1	FIBER CEMENT LAP SIDING SEE 1.2/A8.21	12	PERFORATED SCREEN
2	METAL SIDING - STANDING SEAM SEE 9.10/A8.21	13	RAILING
3	FIBER CEMENT PANEL, CLOSED JOINT SYSTEM SEE 5.6/A8.21	14	PARAPET CAP
4	BOARD FORM CONCRETE	15	LOUVERS
5	ALUMINUM WINDOW	16	EXTERIOR STAIR
6	ALUMINUM STOREFRONT	17	STEEL TRELLIS
7	HORIZONTAL METAL SUNSHADE - SOLID PANEL	18	PROPOSED ADJACENT PUBLIC STORAGE BUILDING
8	ENTRY CANOPY	19	SECTIONAL GARAGE DOOR, MOUNTED TO INTERIOR SIDE OF WALL
9	METAL AWNING - SOLID PANEL	20	EDUCATIONAL SCULPTURE
10	METAL COLUMN	21	PERFORATED METAL GATE SYSTEM
11	METAL GUARDRAIL - PERFORATED	22	WINDOW TRIM

COLORS	
A	WESTERN STATES "ALMOND"
B	WESTERN STATES "MESA SUNRISE"
C	KELLY MOORE "PARISIAN CASHMERE"
D	KELLY MOORE "TOWERING CLIFFS"
E	KELLY MOORE "VINTAGE COPPER"
F	KELLY MOORE "ACCOLADE"

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☐ LANDSCAPE ARCHITECT

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☐ MEP ENGINEER

Emerald City Engineers, Inc.
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Lynnwood, WA 98036
425.741.1200

ID	DATE	NAME
1	12/22/21	100% SD
2	03/25/22	50% DD
3	04/29/22	100% DD / Planning Resubmittal
4	09/27/22	Planning Resubmittal
5	12/22/22	Planning Resubmittal

Project

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

ELEVATIONS

JOB #: #1716

SCALE: As indicated

A 3.11a

Project:

SCALE: As indicated

A 3.20

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[illegible]

1020 TERRA BELLA



MASSING ALTERNATES

SCALE: 1/4" = 1'-0"

A 1

A 11.51

INTERACTIVE GAMES

LITTLE FREE LIBRARY

CHALKBOARD / PAINT PANEL

CHALK ART PAVING AREA



NATURAL STONES

BOLLARD LIGHTS

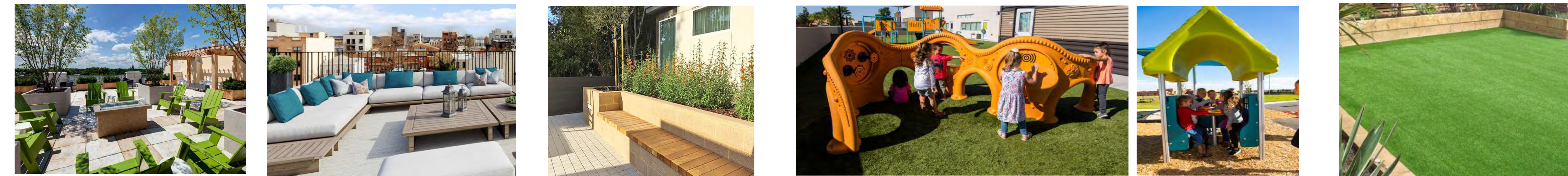
ACCENT PAVING



PLANETARY SCULPTURE

RAISED PLANTERS

ACCENT PAVING



INTEGRAL WOOD BENCH

PLAYGROUND EQUIPMENT

ARTIFICIAL TURE FLEXIBLE GAMES AREA

BRISBANE BOX TREE

GRAPE MYRTLE

PINK MELALEUCA

BURGUNDY PEPPERMINT TREE

CATALINA IRONWOOD

COAST LIVE OAK

JAPANESE MAPLE

PRINCESS FLOWER

MANZANITA 'HOWARD MCMINN'

CAROLINA CHERRY

CRAPE MYRTLE

PINK MELALEUCA

BURGUNDY
PEPPERMINT TREE

CATALINA IRONWOOD

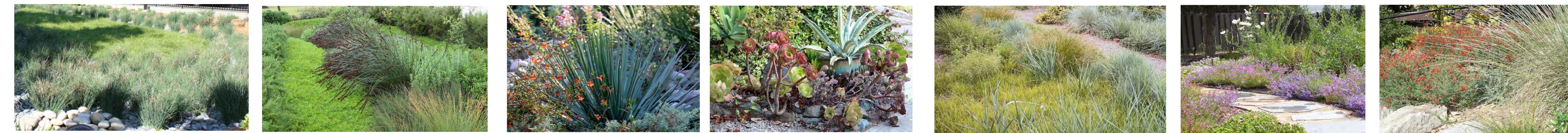
COAST LIVE OAK

JAPANESE MAPLE

PRINCESS FLOWER

MANZANITA 'HOWARD MCMINN'

CAROLINA CHERRY



SUCCULENT GARDENS

NATIVE AND LOCALLY ADAPTED GARDENS

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[illegible]

Project:

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

MATERIALS AND LANDSCAPE IMAGERY

JOB #: #1716

SCALE:

L-1.0

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[illegible]

Project:

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MOUNTAIN VIEW, CA 94043



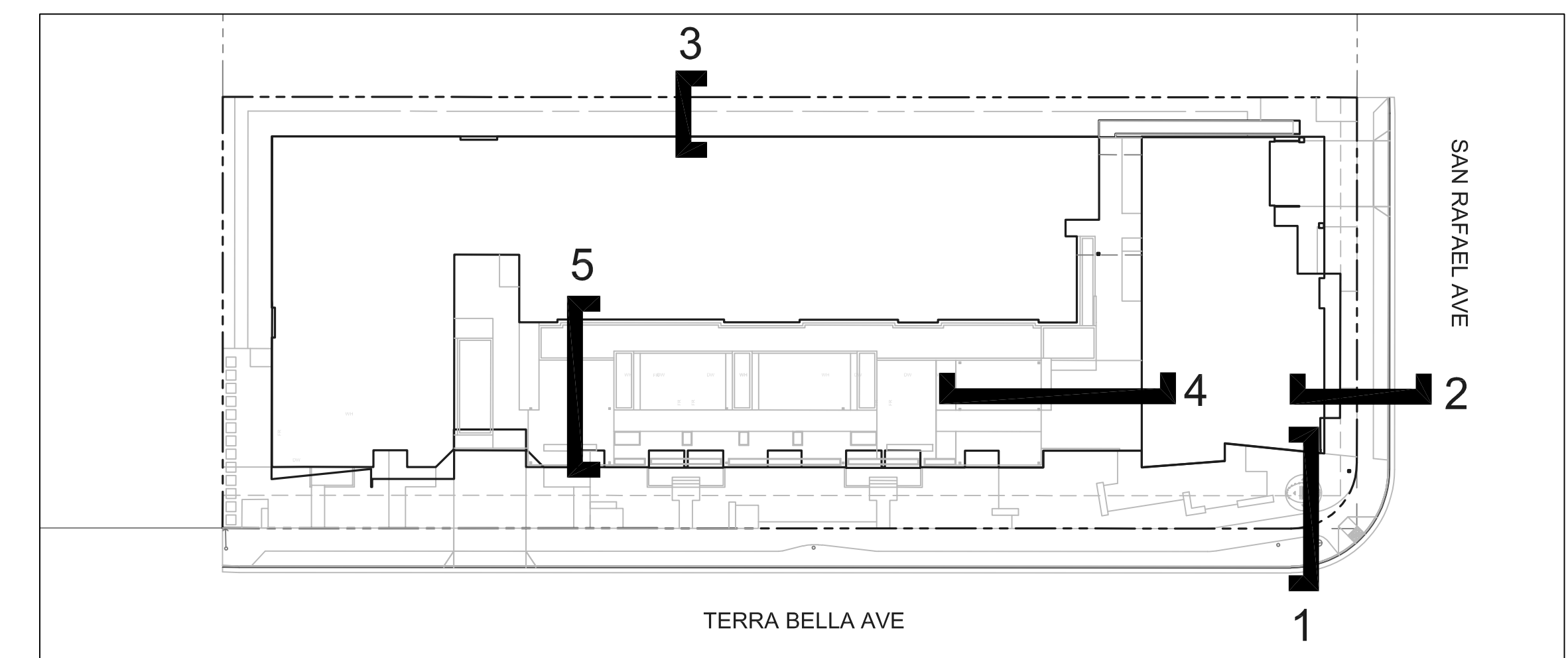
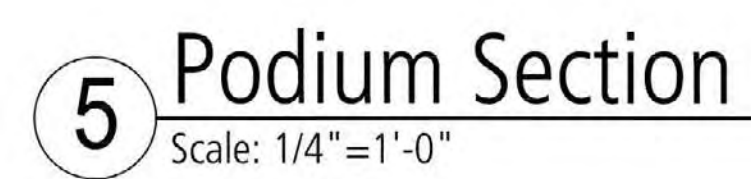
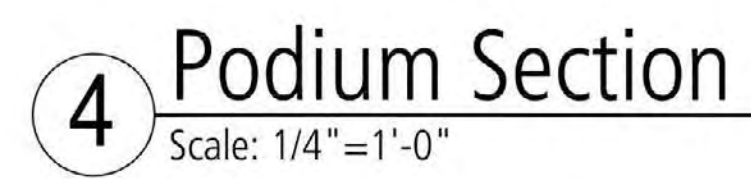
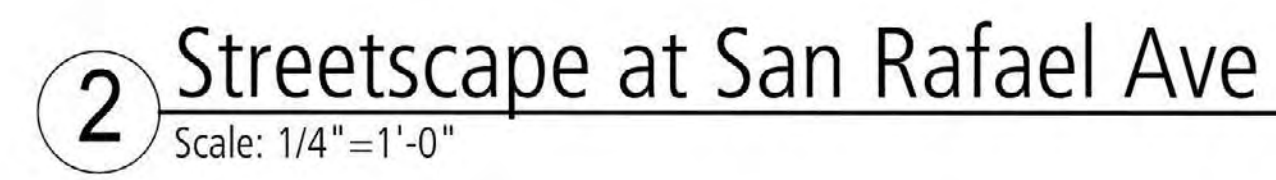
2595 E. BAYSHORE RD.
STE 200
PALO ALTO, CA 94303

LANDSCAPE
PODIUM PLAN

SCALE

L-2.2



[illegible]

object:

1020 TERRA BELLA

020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

ient:



595 E. BAYSHORE RD.
STE 200
ALLO ALTO, CA 94303

ILLUSTRATIVE LANDSCAPE SECTIONS

OB #: #1716

SALE:

-3.1

[illegible]

Project

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



ALTA
HOUSING

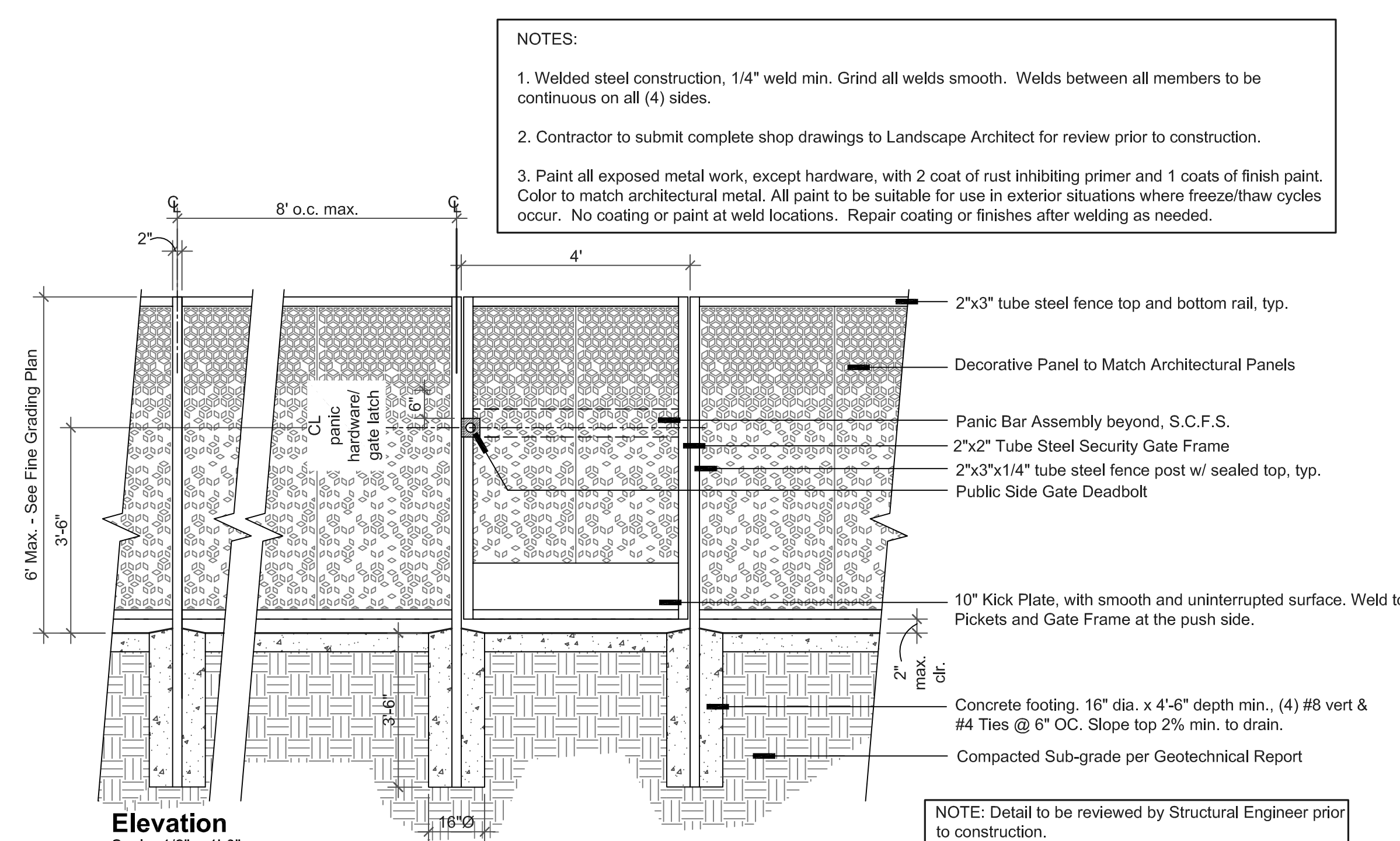
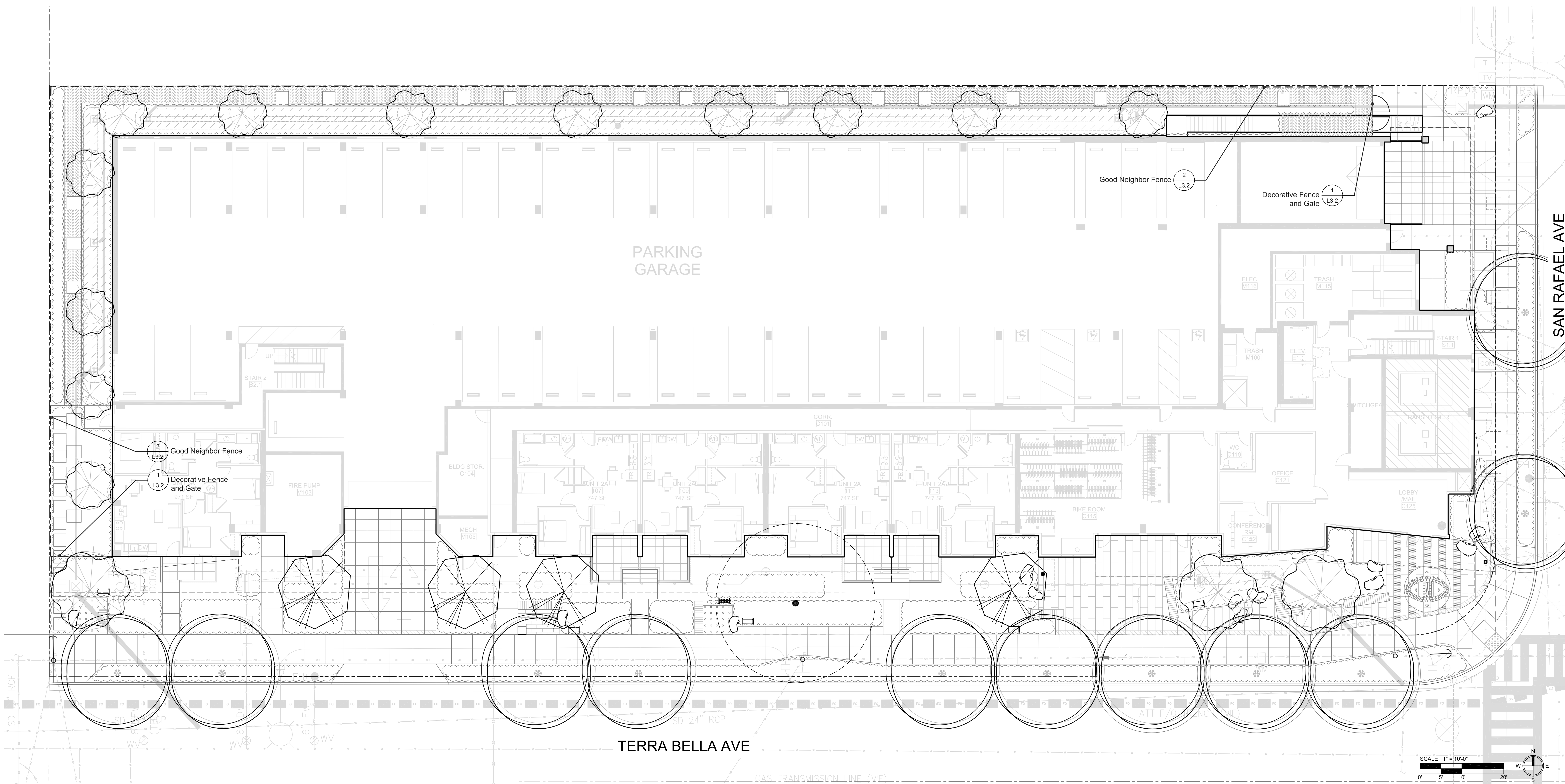
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LANDSCAPE FENCE PLAN

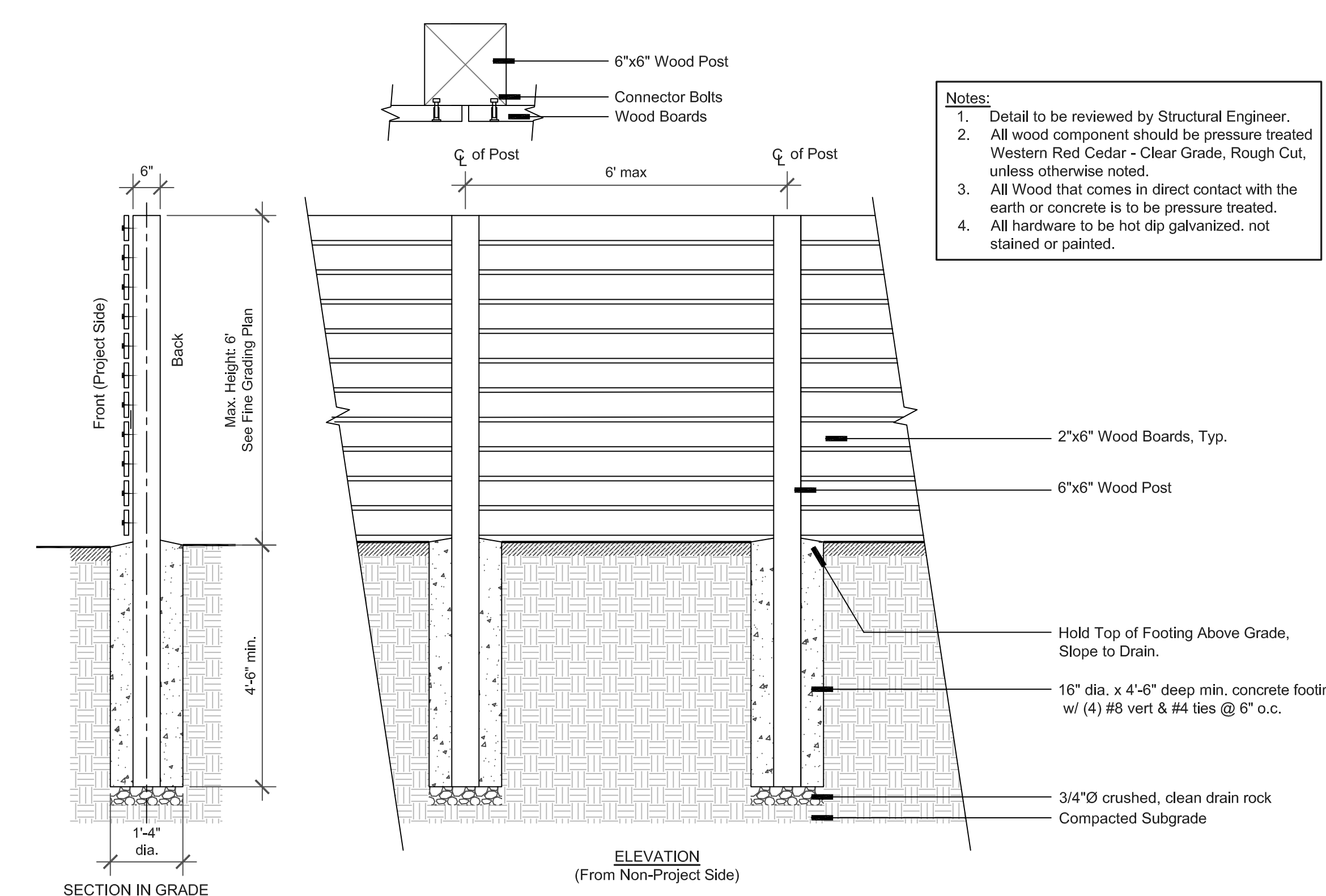
JOB #: #1716

SCALE:

L-3.2



2 Decorative Fence and Gate



1 Good Neighbor Fence

Scale: 1/2" = 1'-0"

[illegible]

Project:

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



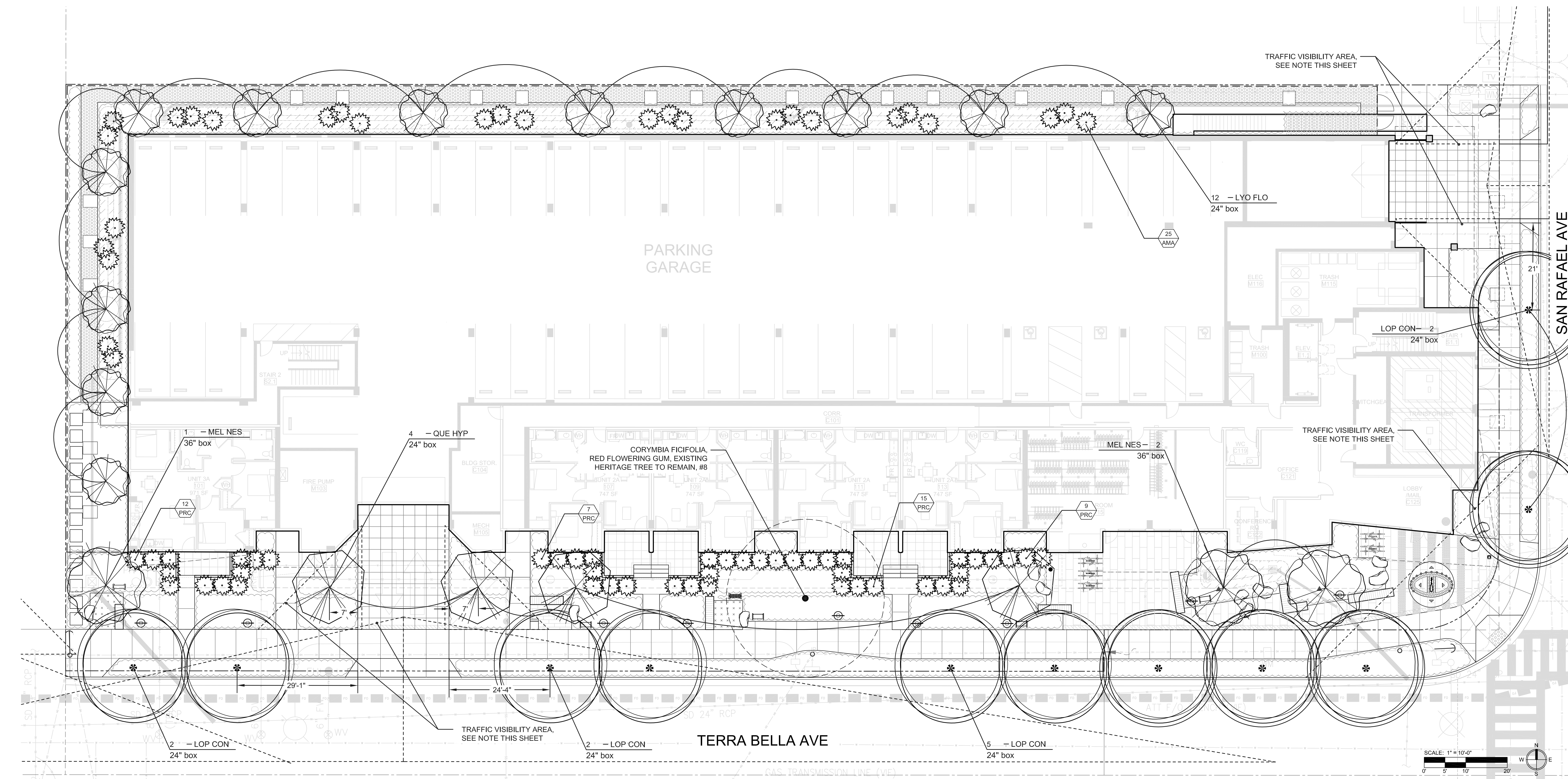
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PALO ALTO, CA 94303

PLANTING PLAN
SITE

JOB #: #1716

SCALE

L-4.1

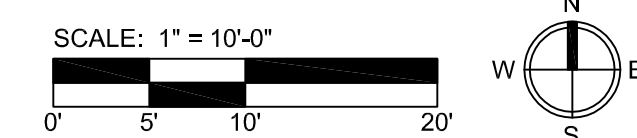


NOTE:
Traffic Safety Visibility Area
Within this area nothing shall be erected, placed, planted or allowed to grow exceeding three feet in height, with the exception of trees with canopies no lower than six feet.

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[illegible]

Project:

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043



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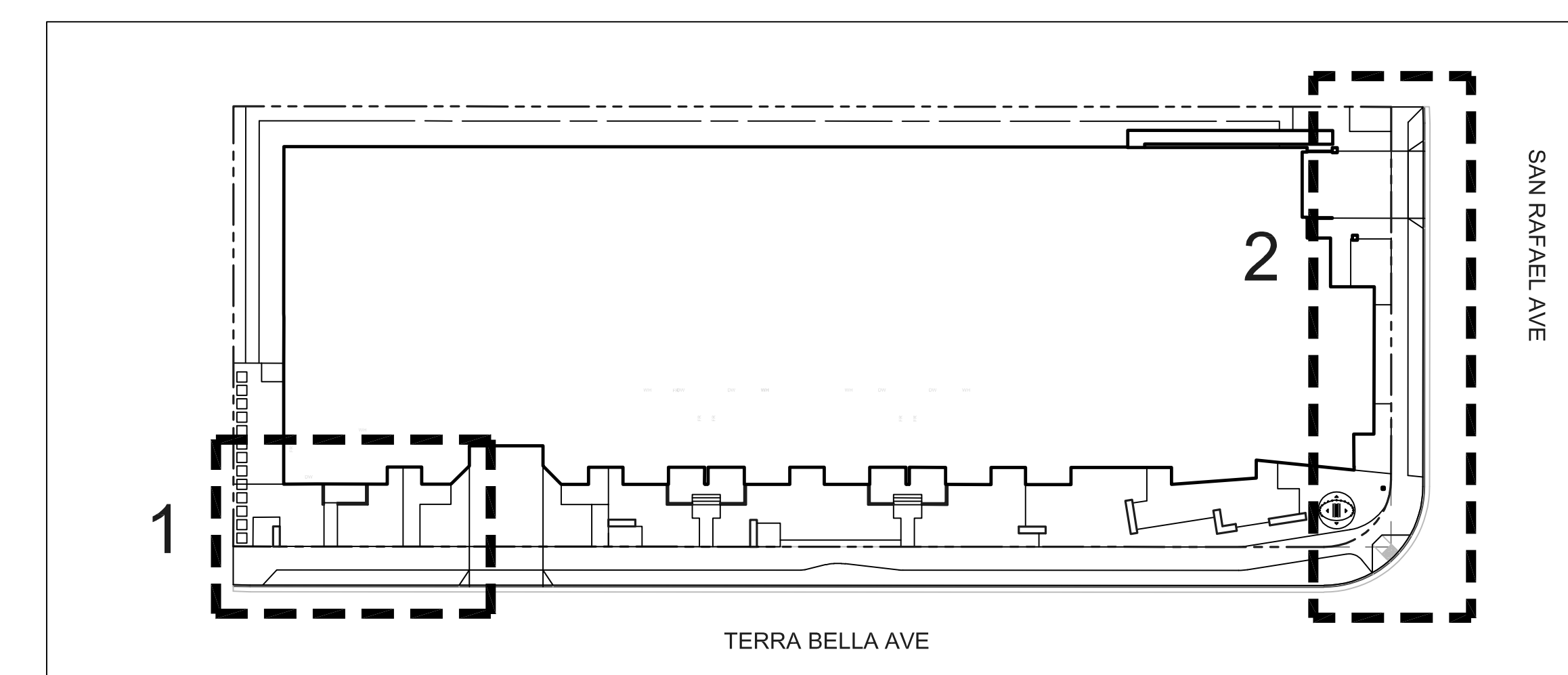
PLANTING PLAN
PODIUM

JOB #: #1716

SCALE:

L-4.2

L-4.3



PLANT PALETTE

TREES		^ 36" Box Standards Unless Noted Otherwise on Plans				
KEY	QTY	BOTANICAL NAME	COMMON NAME	COMMENT	WUCOL	CA NATIVE
ACE PAL	8	Acer palmatum	Japanese Maple	Multi Trunk	M	
AGO FLE	12	Agonis flexuosa 'Burgundy'	Burgundy Peppermint Tree		M	
LOP CON	11	Lophostemon confertus	Brisbane Box	Street Tree	L	
LYO FLO	12	Lyonothamnus floribundus	Catalina Ironwood		L	Y
MEL NES	4	Melaleuca nesophila	Pink Melaleuca	Multi Trunk	L	
QUE HYP	4	Quercus hypoleucoides	Silverleaf Oak		L	
TIB URV	3	Tibouchina urvilleana	Princess Flower		M	

SHRUBS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
AMA	5 gal	Arctostaphylos m. 'Howard McMinn'	Howard McMinn Manzanita	48" o.c.	VL	Y
BPI	5 gal	Baccharis pilularis	Coyote Brush	48" o.c.	L	Y
CCO	5 gal	Ceanothus concha	California Mountain Lillac	48" o.c.	L	Y
HXH	5 gal	Hypericum x 'Hidcote'	Gold Flower	36" o.c.	M	Y
LAS	5 gal	Lavatera assurgentiflora	Tree Mallow	60" o.c.	L	Y
LEB	5 gal	Leucadendron 'Ebony'	Ebony Conebush	48" o.c.	L	
LJE	5 gal	Leucadendron 'Jester'	Jester Conebush	48" o.c.	L	
MRE	5 gal	Mahonia repens	Oregon Grape	48" o.c.	L	Y
MCA	5 gal	Myrica californica	California Coffeeberry	60" o.c.	M	Y
PRC	5 gal	Prunus caroliniana	Carolina Cherry	60" o.c.	L	
RSA	5 gal	Ribes sanguineum	Red Flowering Currant	36" o.c.	L	Y
RCA	5 gal	Rhamnus californica	Coffeeberry	48" o.c.	L	Y

ACCENT SHRUBS, GRASSES AND PERENNIALS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
AG	1 gal	Achillea millefolium spp.	Yarrow spp	24" o.c.	L	Y
AA	5 gal	Agave attenuata 'Variegata'	Variegated Fox Tail Agave	60" o.c.	L	
AD	5 gal	Agave 'deserti'	Desert Agave	30" o.c.	VL	Y
AM	5 gal	Asparagus d. 'Myers'	Myers Asparagus	24" o.c.	M	
AN	5 gal	Anigozanthos spp.	Kangaroo Paws	24" o.c.	L	
CA	5 gal	Calamagrostis foliosa	Mendocino Reed Grass	36" o.c.	M	Y
CD	5 gal	Carex divulsa	Berkeley Sedge	24" o.c.	L	
CT	5 gal	Ceanothus thyrsiflorus 'Griseus'	Carmel ceanothus	36" o.c.	L	Y
CH	5 gal	Chondropetalum tectorum	Cape Reed	36" o.c.	L	
DI	5 gal	Dietes vegeta / hybrids	Fortnight Lily / Lemon Drops	30" o.c.	L	
EC	1 gal	Elymus condensatus 'Canyon Prince'	Lyme Grass	30" o.c.	VL	Y
HU	2 gal	Heuchera spp.	Coral Bells	24" o.c.	M	Y
HP	5 gal	Hesperaloe parviflora	Red Yucca	36" o.c.	VL	
JP	1 gal	Juncus patens	California Gray Rush	24" o.c.	L	Y
LA	5 gal	Lavandula x i. 'Provence'	French Lavender	30" o.c.	L	
LP	1 gal	Libertia p. 'Bronze Sword'	Libertia	24" o.c.	L	
LL	5 gal	Lomandra longifolia 'Platinum Beauty'	Variegated Dwarf Mat Rush	24" o.c.	L	
MU	5 gal	Muhlenbergia c. 'Regal Mist'	R. Mist Pink Muhlenbergia	42" o.c.	L	
MR	5 gal	Muhlenbergia rigens	Deer Grass	42" o.c.	L	Y
MS	5 gal	Mimulus aurantiacus	Sticky Monkey Flower	24" o.c.	L	Y
NE	1 gal	Nephrolepis cordifolia	Southern Sword Fern	24" o.c.	M	
PO	5 gal	Polystichum munitum	Western sword fern	24" o.c.	L	Y
PE	5 gal	Pennisetum s. 'Rubrum'	Purple Fountain Grass	36" o.c.	L	
RC	5 gal	Romneya coulteri	Matlilja Poppy	24" o.c.	L	Y
SI	1 gal	Sisyrinchium bellum	Blue-eyed Grass	18" o.c.	L	Y
SG	5 gal	Salvia greggii	Autumn Sage	30" o.c.	L	Y
ST	1 gal	Stipa arundinacea	New Zealand Wind Grass	18" o.c.	L	
ZC	5 gal	Zauscheneria California 'Ghostly Red'	California Fuschia 'Ghostly Red'	18" o.c.	L	Y

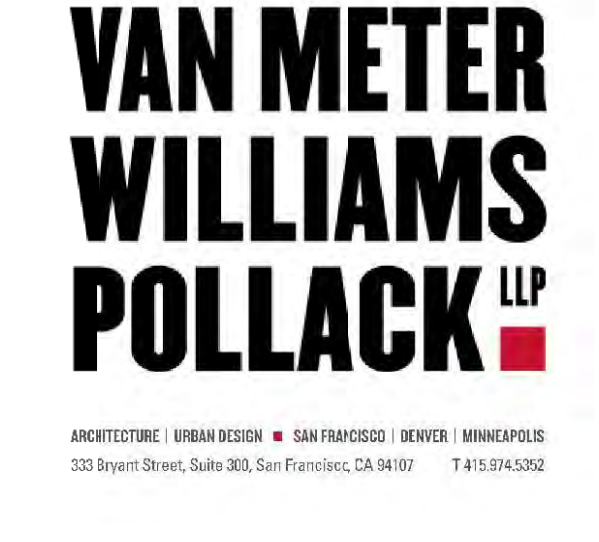
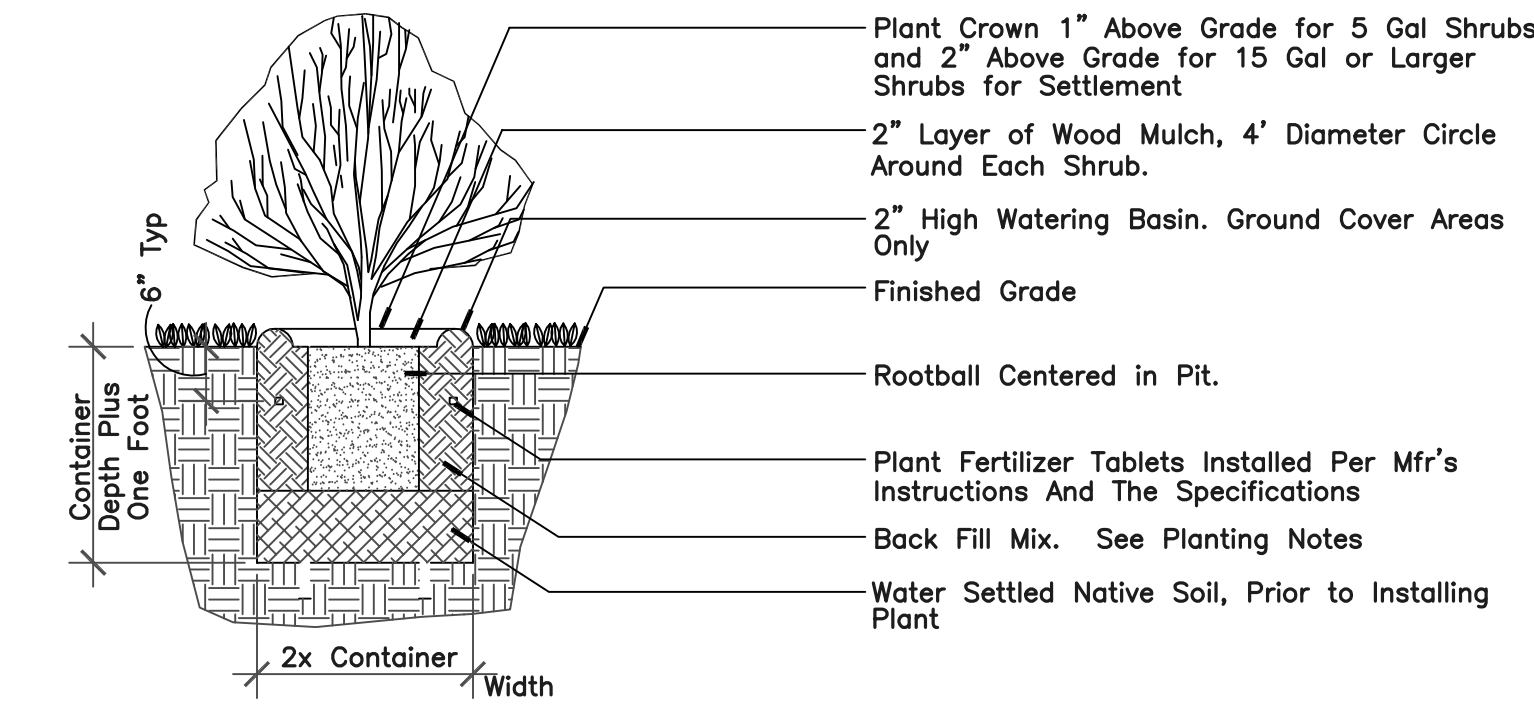
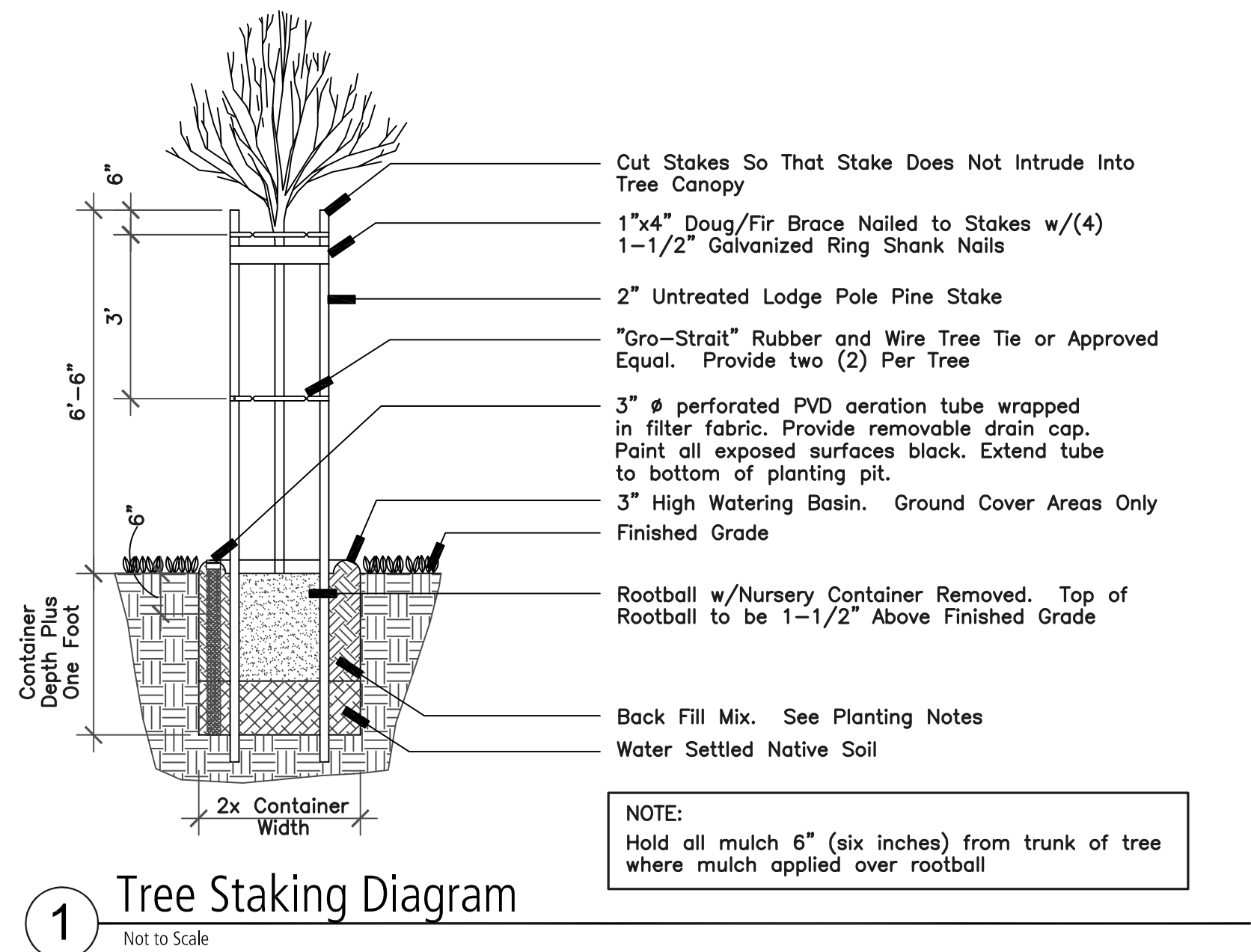
GROUNDCOVERS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
AE	5 gal	Arctostaphylos 'Emerald Carpet'	Manzanita	36" o.c.	L	Y
AC	5 gal	Acacia cognata 'Cousin Itt'	Little River Wattle	30" o.c.	L	
FE	1 gal	Festuca Rubra	Red Fescue	18" o.c.	L	Y
LN	1 gal	Lantana montevidensis	Trailing Lantana	24" o.c.	L	
LM	1 gal	Lotus maculatus 'New Gold Flash'	Gold Flash Lotus	18" o.c.	L	
RP	5 gal	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	24" o.c.	L	
RI	1 gal	Ribes viburnifolium	Catalina Currant	48" o.c.	L	Y
SM	1 gal	Senecio mandraliscae	Blue Chalk Sticks	12" o.c.	L	

VINES						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
CL	5 gal	Clematis armandii	Evergreen Clematis	24" o.c.	M	
MU	5 gal	Macfadyena unguis-cati	Cat's Claw	24" o.c.	M	

LANDSCAPE NOTES

- SITE RUNOFF AND SURFACE FILTRATION NOTES:
- There will be no steep slopes on site. Any slopes will be directed to areas for surface infiltration.
 - Amend the soil with compost before planting. Quality compost shall be used to amend the soil at the rates indicated by a soil analysis, to bring the soil organic content to a minimum of 5% by dry weight. Compost shall be from processors that participate in the US Composting Council's Standard Testing Assurance Program. 100% of compost and mulch is recycled from local, organic materials.
 - Minimum 3" of mulch is to be installed in all planting areas. Storm water treatment areas are to have ground cover or non-floating mulch.
 - Invasive species listed by Cal-IPC as invasive in the San Francisco Bay Area will not be planted.
 - Plants appropriate for the location in accordance with the appropriate climate zone and specific site conditions will be used.
 - Turf shall not be installed.
 - Pedestrian paving areas are to be directed to on site planting areas to promote on site surface infiltration

- IRRIGATION NOTES:
- Irrigation timers to be set to avoid runoff by splitting cycles to shorter durations.
 - Irrigation system to include a weather based controller that adjust based on weather conditions.
 - Irrigation system to include rain shut off devices.
 - All planting areas to be sub-surface drip irrigation and with trees to have bubblers.
 - A master valve will be used to stop unscheduled flow.
 - Flow reducers will be included to mitigate broken heads.
 - Irrigation shall conform to the City's water conservation in landscaping regulations.
 - Backflow devices will be screened with planting.
 - See irrigation notes sheet for additional information.
 - Street trees to be irrigated off project system.
 - Irrigation system will be recycled water ready.



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ID	DATE	NAME
12/22/2021	PLANNING FORMAL APPLICATION SUBMITTAL	
4/29/2022	PLANNING FORMAL APPLICATION SUBMITTAL	
8/26/2022	PLANNING FORMAL APPLICATION SUBMITTAL	
8/22/2022	PLANNING FORMAL APPLICATION SUBMITTAL	
12/22/2022	PLANNING FORMAL APPLICATION SUBMITTAL	

Project:

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



LANDSCAPE PLANTING NOTES AND DETAILS

JOB #: #1716

SCALE:

L-4.4

[illegible]

Project:

1020 TERRA BELLA

1020 TERRA BELLA AVE
MOUNTAIN VIEW, CA 94043

Client:



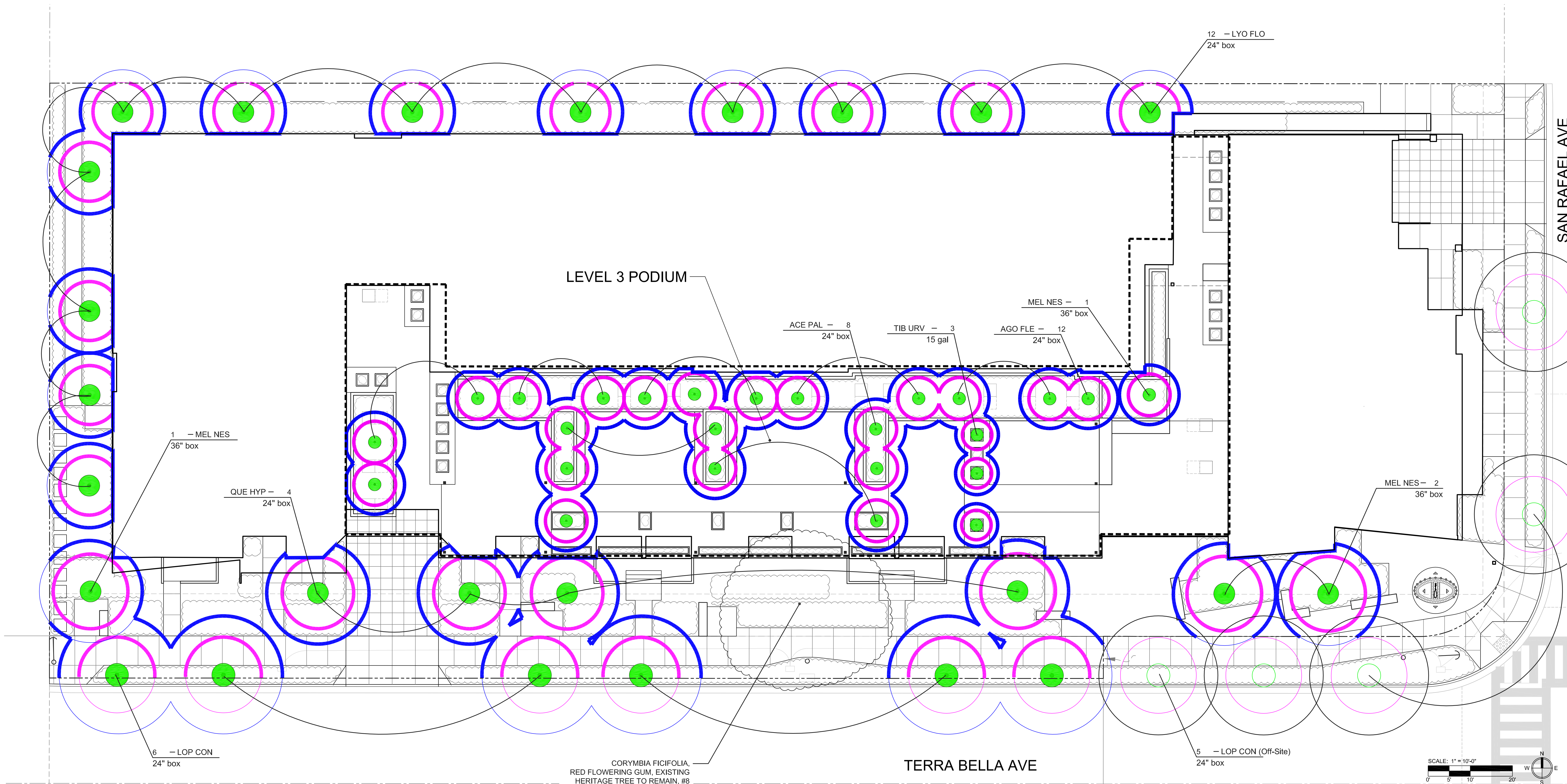
2595 E. BAYSHORE RD
STE 200
PALO ALTO, CA 94303

TREE CANOPY COVERAGE PLAN

JOB #: #1716

SCALE:

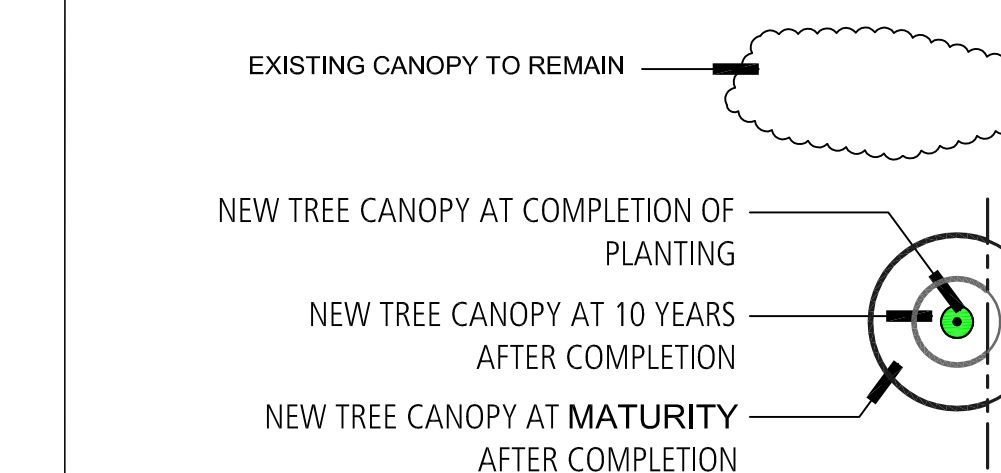
L-7.1



TREE CANOPY TABLE AND LEGEND

SITE AREA IS 47,680 SQ. FT. *	SQ. FT. AREA	% SITE
EXISTING CANOPY	3,676 SF	7.7 %
CANOPY AT PLANTING	1,756 SF	3.7 %
CANOPY AT 10 YEARS	6,827 SF	14.3 %
CANOPY AT MATURITY	11,795 SF	24.7 %

NOTE:
- CANOPY AT PLANTING, CANOPY AT 10 YEARS, AND CANOPY AT MATURITY INCLUDES 855 SQ. FT. OF EXISTING TREE CANOPY TO REMAIN.
- CANOPY AT 10 AND MATURITY DOES NOT INCLUDE GROWTH OF EXISTING TREE.



* SITE AREA IS BASED ON PROPERTY LINE