

THE EXERCISE COACH TENANT IMPROVEMENT

1762 MIRAMONTE AVENUE
MOUNTAIN VIEW, CA. 94040

OWNER:
**NEW ASSETS BUSINESS
DBA. THE EXERCISE COACH**
CONTACT PERSON: SHAWN CHOU
**537 TIROL CT.
MILPITAS CA. 95035
TEL: (408) 887-8031**

ARCHITECT - DESIGNER:
LHC DESIGN INC.
**682 VILLA ST. STE. C-1
MOUNTAIN VIEW, CA 94041
TEL: (408) 483-1965**

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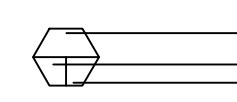
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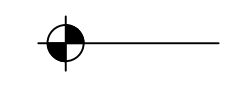
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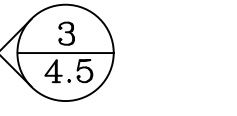
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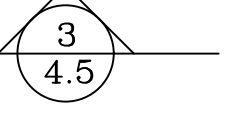
 DOOR NUMBER
DOOR SCHEDULE
HARDWARE GROUP

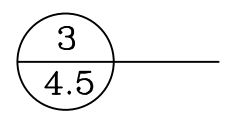
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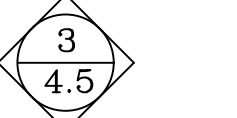
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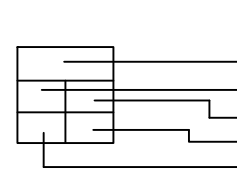
 WORK POINT, DATUM POINT
OR CONTROL POINT

 ELEVATION IDENTIFICATION
SHEET WHERE ELEVATION IS DRAWN

 SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN

 DETAIL IDENTIFICATION
SHEET WHERE DETAIL IS DRAWN

 INTERIOR ELEVATION IDENTIFICATION
SHEET WHERE INTERIOR ELEVATION IS DRAWN.

 ROOM NAME
ROOM NO.
FLOOR SCHEDULE
BASE SCHEDULE
CEILING SCHEDULE
WALL SCHEDULE

TABULATION

PROJECT ADDRESS: 1762 MIRAMONTE AVENUE
MOUNTAIN VIEW, CA. 94040

SITE AREA: 2.142 ACRES
93,316 SF

AREA OF WORK APPROX. 1,050 SF

PUBLIC PARKING 380 STALLS
STANDARD
VAN ACCESSIBLE 1 STALLS
ACCESSIBLE 12 STALLS
PARKING TOTAL 393 STALLS

CURRENT USE: VERIZON (RETAIL)
PARKING REQ'D. 1/180 SF= 5.83 STALLS

PROPOSED USE: INDOOR RECREATION FITNESS CENTER
PARKING REQ'D. 1/200 SF= 5.25 STALLS

TYPE OF CONSTRUCTION: V-B
OCCUPANCY B

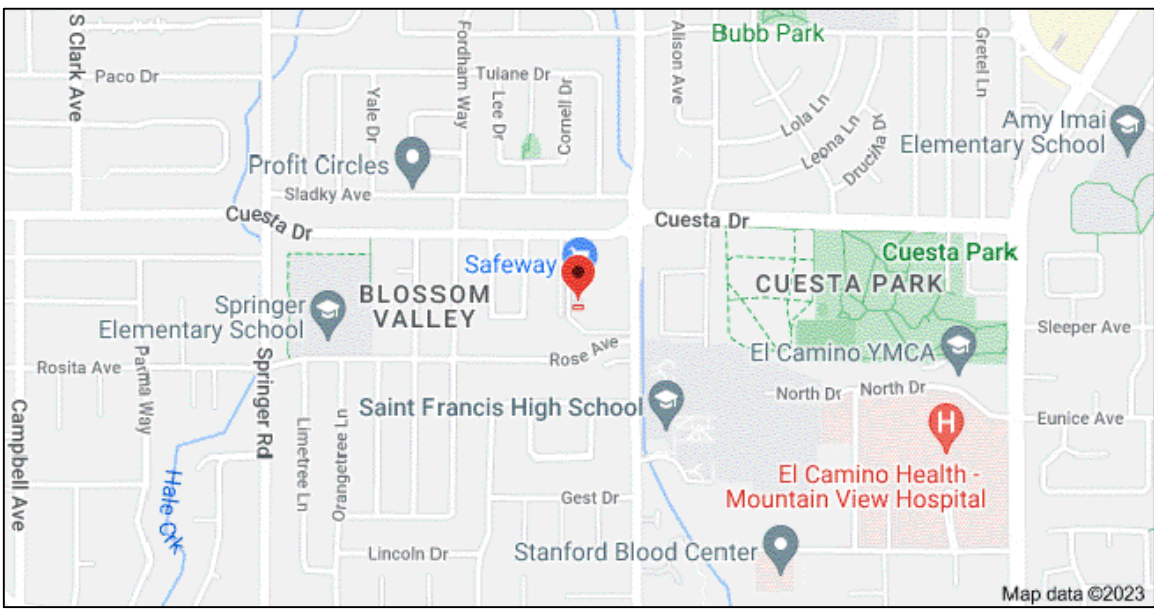
USE ZONE CN - COMMERCIAL NEIGHBORHOOD
FIRE SPRINKLER SYSTEM EXISTING YES

C.B.C. 2022
C.F.C. 2022
C.P.C. 2022
C.E.C. 2022
C.M.C. 2022
CALIFORNIA TITLE 24 2022
CALIFORNIA ENERGY CODE 2022
CSB STANDARD CODE 2022

NUMBER OF STORY 1

CHEMICAL/ HAZARDOUS MATERIALS STORED AT SITE: NO

VICINITY MAP



PROJECT DESCRIPTION

THIS BUILDING IS AN EXISTING VACANT SPACE TO BE USE AS GYM OR PERSONAL TRAINING. THE SCOPE OF WORK IS TO REMOVED INTERIOR PARTITION WALL, ADD NEW PARTITION WALL, AND MINOR ELECTRICAL ONLY. NO WORK ON MECHANICAL-PLUMBING AND EXISTING RESTROOM IS COMPLIANCE.

ABBREVIATION

& @ # (E) (R) (N)	And Angle At Centerline Diameter or Round Pound or Number Existing Relocated New	E.J. ELL. ELEV. EMER. ENCL. ENGR. P. P.O. EQUIPT. E.W.C. EXST. EXPO. EXT.	Expansion Joint Elevation Electrical Elevator Emergency Enclosure Engineer Electrical Panelboard Equal Equipment Electrical Water Cooler Existing Exposed Expansion Exterior	LAB. LAM. LAV. LKR. LT.	Laboratory Laminate Lavatory Locker Light	RWD. R.W.L.	Redwood Rain Water Leader
A.B. ACOUS. A.D. ADJ. AGGR. ALT. A.P. APPROX. ARCH. ASB. ASPH. A.F.F.	Anchor Bolt Acoustical Area Drain Adjustable Aggregate Aluminum Alternate Access Panel Approximate Architectural Asbestos Asphalt Above Finish Floor	F.A. F.B. F.D. FON. F.F. F.E.C. F.H.C. F.H.W.S. FIN. FIT. FL.	Fire Alarm Flat Bar Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cab. Fire Hose Cabinet Flat Head Wood Screw Finish Fixture Floor	N. N.I.C. NO. or # NOM. N.T.S.	North Not In Contrast Number Nominal Not To Scale	O.A. OBS. O.C. O.D. OFF. O.H. OPNG. OPP.	Overall Obscure On Center Outside Diameter (DIM.) Office Opposite Hand Opening Opposite
B.B. BD. BITUM. BKG. BLDG. BLK. BLKG. BM. BOT.	Bulletin Board Board Bituminous Backing Building Block Blocking Beam Bottom	FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. FT. FTG. FURR. FUT.	Flashing Fluorescent Face of Concrete Face of Finish Face of Studs Fireproof Foot or Feet Footing Furring FUTURE	P. P.A.D. PRCST. P.L. PLAM. PLAS. PLYWD. PLY. PT. P.T.D. P.T.D./R. PTN. P.T.R.	Point Powder Actuated Device Pre-cast Plate Plastic Laminate Grade Plywood Pair Point Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle Partition Paper Towel Reptacle	Q.T. QTY.	Quarry Tile Quantity
CAB. C.B. C.C. CER. C.I. C.G. C.J. CLG. CLKG. CL.O. CLR. C.O. C.O. CONC. CONN. CONSTR. CONT. CORR. CPT. CTSK. CNTR. CTR.	Cabinet Catch Basin Cement Ceramic Cast Iron Corner Guard Construction Joint Ceiling Calking Closet Clear Cased Opening Column Concrete Connection Construction Continuous Corridor Corpet Countersunk Counter Center	GA. GALV. G.B. GND. GR. GYP.	Guage Galvanized Grab Bar Glass Ground Gypsum	H.B. H.C. H.DWD. H.DWE. H.M. HORIZ. HR. HGT.	Hose Bibb Hollow Core Hardwood Hardware Hollow Metal Horizontal Hour Height	I.D. INC. INFO. INSUL. INT. INTER.	Inside Diameter (Dim.) Incandescent Information Insulation Interior Intermediate
DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	Detail Diameter Dimension Dispenser Down Door Opening Door Drawer Downspout Dry Standpipe Drawing	JAN. JT.	Janitor Joint	R. RAD. R.D. REF. REFR. RGTR. REINF. REQ. RESIL. RM. R.O.O. RUB.	Riser Radius Roof Drain Reference Refrigerator Register Reinforced Required Resilient Room Rough Opening Rubber	W. W/IF. WC. W.C. WD. W.F. W.O. W/O WP. WSCT. WT. W.R.	West With Wall Covering Water Closet Wood Wide Flange Where Occurs Without Waterproof Wainscot Weight Water Resistant
E. EA. E.B.	East Each Expansion Bolt	Kit.	Kitchen				

DEFERRED SUBMITTAL

FIRE SPRINKLER SYSTEM
FIRE SPRINKLER SYSTEM TO BE DESIGN-BUILT BY OTHER CONSULTANT.
CONSULTANT IS RESPONSIBLE TO SUBMIT DESIGN-BUILT DRAWING AND SECURE PERMIT PRIOR TO START OF WORK.

REVIEW OF ANY PROPOSED SIGNAGE SHALL BE OCCUR UNDER A PLANNING APPLICATION FOR A SIGN PERMIT, WHICH SHALL BE SEPARATE FROM THE APPLICATION FOR A CONDITION USE PERMIT.
THE SIGNAGE THAT IS PART OF THE DEFERRED SUBMITTAL IS THE TENANT IDENTIFICATION SIGNAGE.

GENERAL NOTES

- BY EXECUTING CONTRACTS, CONTRACTOR AND SUBCONTRACTORS REPRESENT THAT THEY HAVE:
 - VISITED THE SITE AND ITS SURROUNDING AND MADE DUE ALLOWANCES FOR DIFFICULTIES AND CONTINGENCIES.
 - COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED; AND
 - NOTIFIED THE ARCHITECT OF AMBIGUITIES, INCONSISTENCIES, AND ERRORS THEY HAVE DISCOVERED WITHIN DRAWINGS OR BETWEEN SCOPE AND EXISTING CONDITIONS.
- FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR A SUBCONTRACTOR FROM FURNISHING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENT AT NO ADDITIONAL COST.
- CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS.
- CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS, WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERRORS ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.
- CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDING IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK.
- DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGING, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK.
- COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE. DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN VERIFIED AND AREA NOT REPRESENTED TO BE ACCURATE BEYOND THE LEVEL NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT.
- IMMEDIATELY UPON ENTERING THE SITE FOR PURPOSES OF BEGINNING WORK, LOCATE GENERAL REFERENCE POINTS AND LAY OUT WORK AND BE RESPONSIBLE FOR LINES ELEVATION AND MEASUREMENTS, AND WORK EXECUTED UNDER THIS CONTRACT. EXERCISE PROPER PRECAUTIONS TO VERIFY FIGURES SHOWN ON PLANS BEFORE LAYING OUT WORK.
- CONTRACTOR AND EACH SUBCONTRACTOR, BEFORE STARTING WORK, SHALL VERIFY GOVERNING DIMENSION AT THE SITE INCLUDING ELEVATIONS AND SHALL EXAMINE ADJOINING WORK ON WHICH CONTRACTORS OR SUBCONTRACTOR'S WORK IN ANY WAY DEPENDENT. NO "EXTRA" OR ADDITIONAL COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS SHOWN. SUBMIT DIFFERENCES DISCOVERED DURING THE WORK TO THE OWNER FOR INTERPRETATION BEFORE PROCEEDING WITH ASSOCIATED WORK.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECTS AND HIS CONSULTANTS FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECTS.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

LHC

L.H.C. Design, inc.

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(408) 483-1965



OWNER:

THE EXERCISE COACH
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(408) 520.9558

THE EXERCISE COACH
TENANT IMPROVEMENT

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MOUNTAIN VIEW, CA. 94040

REVISIONS:

1ST. CITY COMMENTS 11-11-2023

SHEET TITLE:
TITLE SHEET

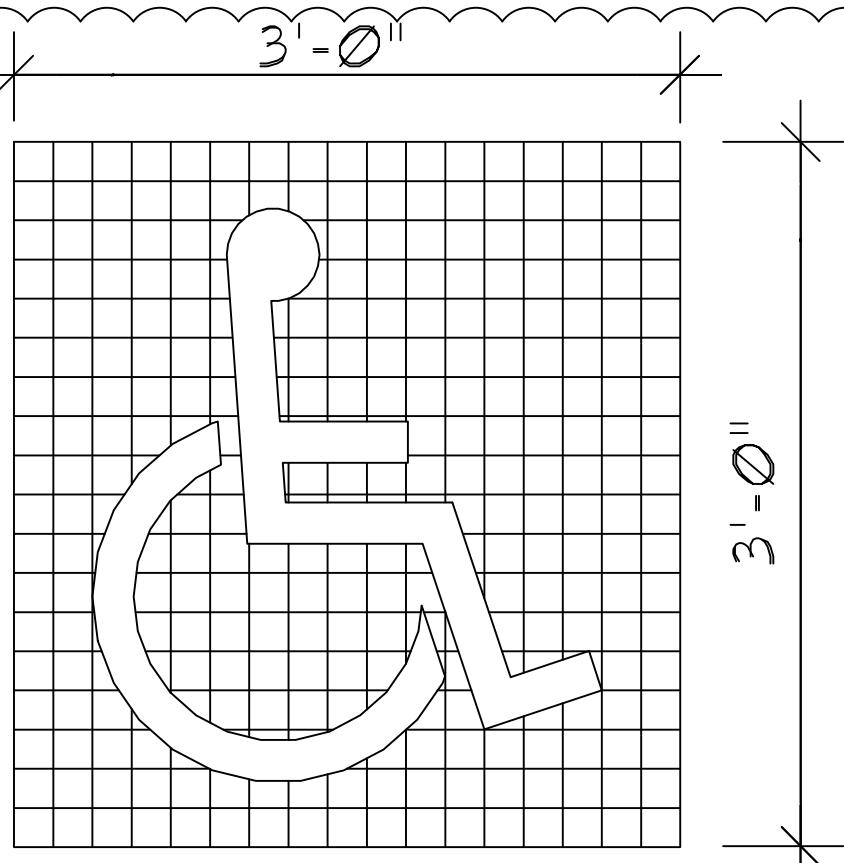
DATE 10-03-2023 PROJECT NO. 493-20231003

SCALE AS SHOWN DRAWN AB-LHC

SHEET

A-0.0

OF SHEETS



THE SYMBOL SHALL BE CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE COLOR NO:15090 IN FEDERAL STANDARD 595B

(E) PARKING SIGN

NTS 2

17"x22" REFLECTORIZED PORCELAIN ON STEEL SIGN MOUNTED OVER 18"x18" BLACK ANODIZED PANEL W/MIN. 1" HIGH LETTERS STATING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: _____ OR BY TELEPHONING _____." THESE LETTERS TO BE HELVETICA MD., SCREEN PRINTED IN WHITE, CONTRACTOR TO VERIFY ADDRESS & PHONE NUMBER PER CBC 2022 11B-502.6.2 "MINIMUM FINE \$250", AT OWNER EXPENSE.

2" SQ. T.S. POST, PAINTED
12" Ø CONC. FOOTING

PER 11B-502.6 CBC 2022

(E) TOW-AWAY SIGN

NTS 3

9"x8" REFLECTORIZED PORCELAIN ON STEEL SIGN W/ INTERNATIONAL ACCESSIBLE SYMBOL, WHITE OVER BLUE BACKGROUND, BEADED TEXT
4"x8" REFLECTORIZED PORCELAIN ON STEEL SIGN INDICATING "VAN ACCESSIBLE" SIGN (LOCATED AS SHOWN ON SITE PLAN)

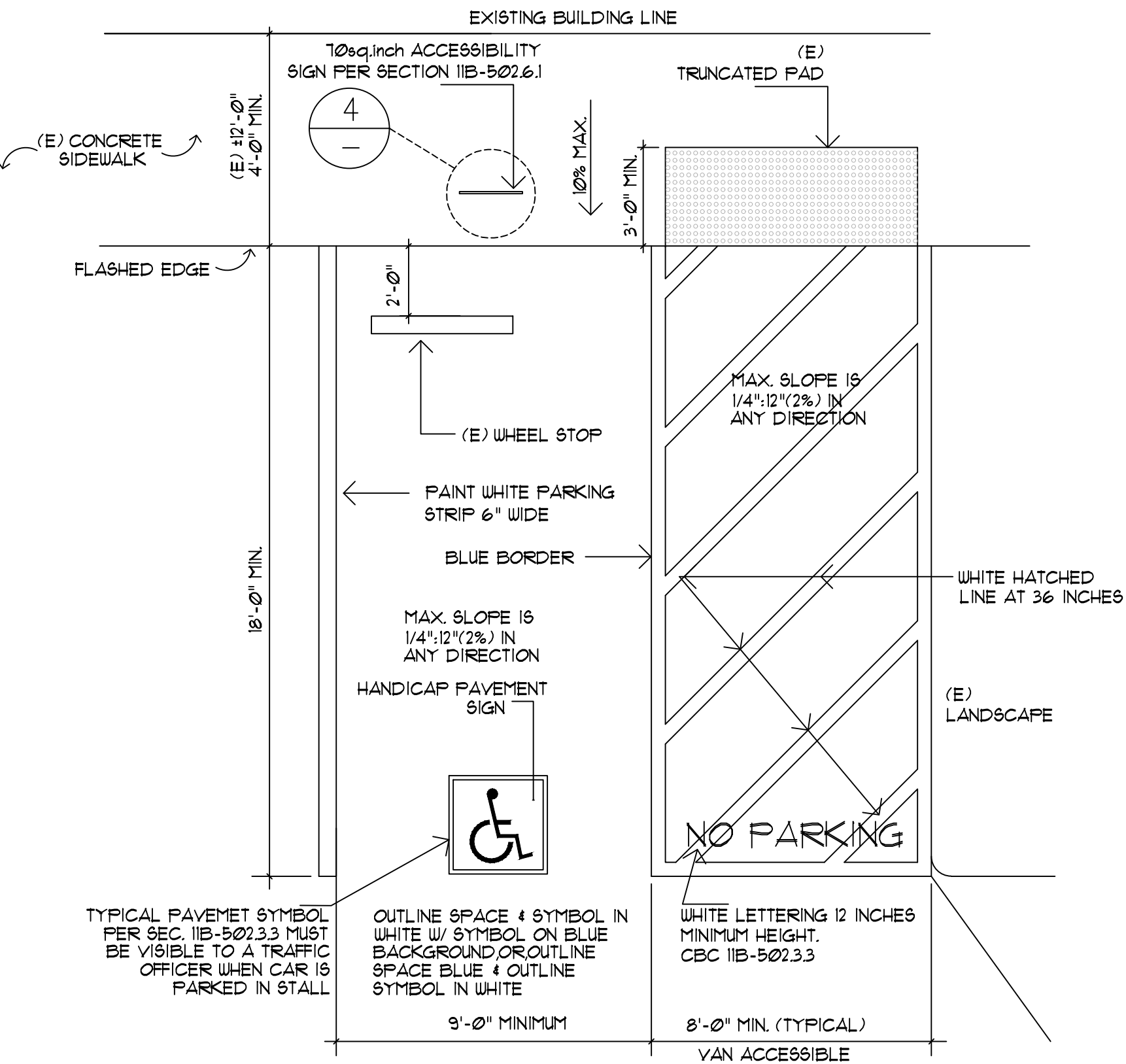
2" SQ. T.S. POST, PAINTED

12" Ø CONC. FOOTING

* FOR WALL MOUNT SIGN ONLY W/ OUT POLE
PER 11B-502.6 CBC 2022

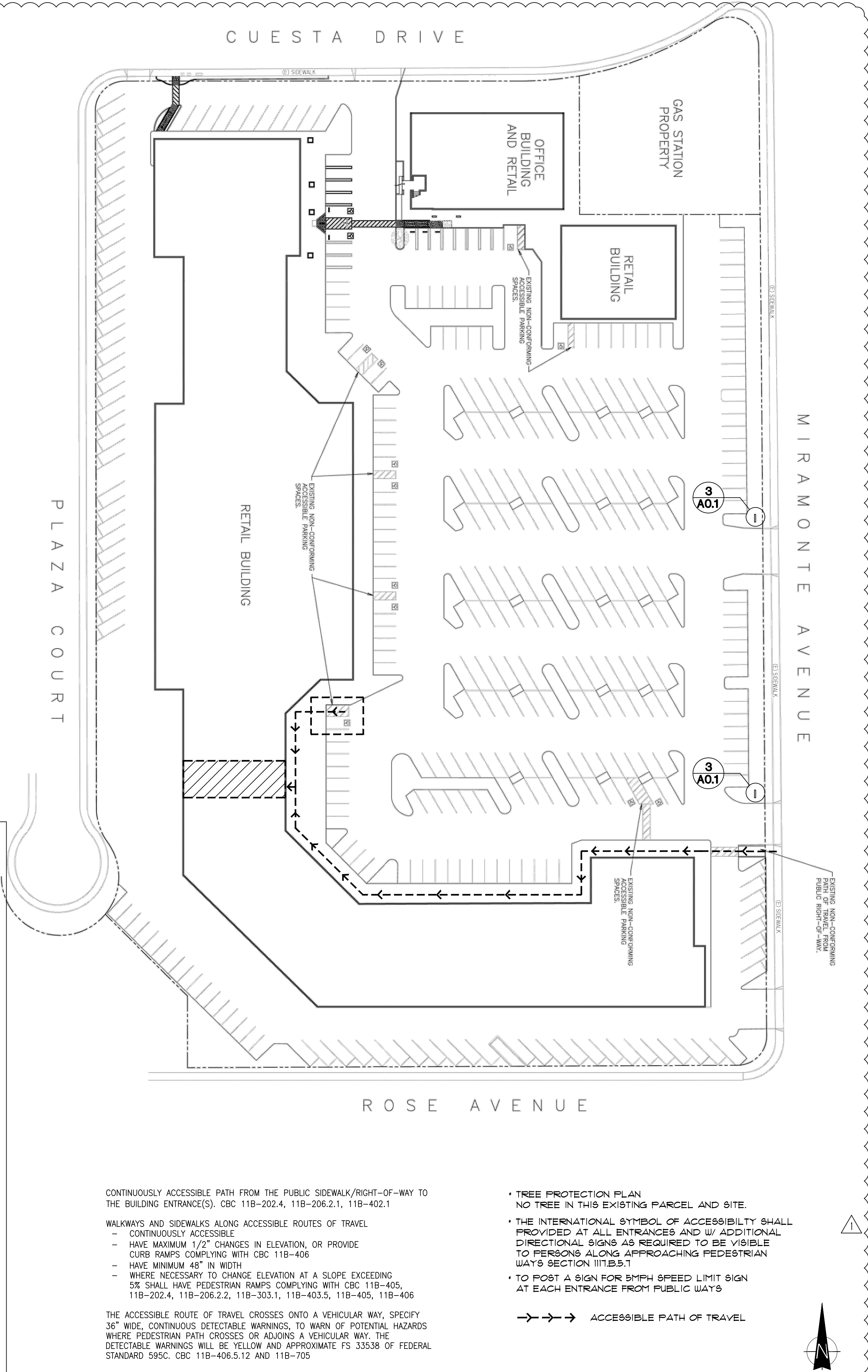
(E) ACCESS. PARKING SIGN

NTS 4



(E) ACCESS. PARKING

NTS 5



CONTINUOUSLY ACCESSIBLE PATH FROM THE PUBLIC SIDEWALK/RIGHT-OF-WAY TO THE BUILDING ENTRANCE(S). CBC 11B-202.4, 11B-206.2.1, 11B-402.1

WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL

- CONTINUOUSLY ACCESSIBLE
- HAVE MAXIMUM 1/2" CHANGES IN ELEVATION, OR PROVIDE CURB RAMPS COMPLYING WITH CBC 11B-406
- HAVE MINIMUM 48" IN WIDTH
- WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 11B-405, 11B-202.4, 11B-206.2.2, 11B-303.1, 11B-403.5, 11B-405, 11B-406

THE ACCESSIBLE ROUTE OF TRAVEL CROSSES ONTO A VEHICULAR WAY, SPECIFY 36" WIDE, CONTINUOUS DETECTABLE WARNINGS, TO WARN OF POTENTIAL HAZARDS WHERE PEDESTRIAN PATH CROSSES OR ADJOINS A VEHICULAR WAY, THE DETECTABLE WARNINGS WILL BE YELLOW AND APPROXIMATE FS 33538 OF FEDERAL STANDARD 595C. CBC 11B-406.5.12 AND 11B-705

* TREE PROTECTION PLAN
NO TREE IN THIS EXISTING PARCEL AND SITE.

* THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL PROVIDED AT ALL ENTRANCES AND W/ ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS SECTION 1111B.5.1

* TO POST A SIGN FOR BYPH SPEED LIMIT SIGN AT EACH ENTRANCE FROM PUBLIC WAYS

→ → → ACCESSIBLE PATH OF TRAVEL

LHC

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TENANT IMPROVEMENT
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MOUNTAIN VIEW, CA. 94040

REVISIONS:

1ST. CITY COMMENTS 11-11-2023

SHEET TITLE:
EXISTING SITE PLAN
ACCESSIBLE PARKING
AND DETAILS

DATE 10-03-2023 PROJECT NO. 493-20231003

SCALE AS SHOWN DRAWN AB-LHC

SHEET

A-0.1

OF SHEETS

LEGEND:

	(E) WALL TO REMAIN. REPAIR AND REPAINT AS REQUIRED.		(E) CONCRETE BLOCK RATED WALL TO REMAIN REPAIR AND REPAINT AS REQUIRED.
	(N) 2X4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. BOTH SIDES (U.O.N)		(E) WINDOW

FINISH SCHEDULE

- FLOOR
10. NO FINISH
11. CARPET
12. CERAMIC TILE
13. VINYL
14. EXISTING
- BASE
21. 4" HIGH COVERED RUBBER TOPSET BASE
22. 6" COVERED TILE BASE
23. EXISTING
- WALL
31. GYPSUM BOARD TAPE, SMOOTH FINISH, AND PAINT FLAT LATEX
32. GYPSUM BOARD TAPE, SMOOTH FINISH, AND PAINT SEMI-GLOSS ENAMEL
33. GYPSUM BOARD TAPE, 4'-0" FRP, PAINT SEMI GLOSS ENAMEL ABOVE TILE
34. EXISTING
- CEILING
41. 2'-0"x2'-0" SUSPENDED ACOUSTIC CEILING TILE
42. 4'-0"x2'-0" SUSPENDED ACOUSTIC CEILING TILE
43. 5/8" TYPE "X" GYPSUM BOARD, TAPE, TEXTURED FINISH AND PAINT
44. 42 & 43
45. 41 & 43
46. EXISTING

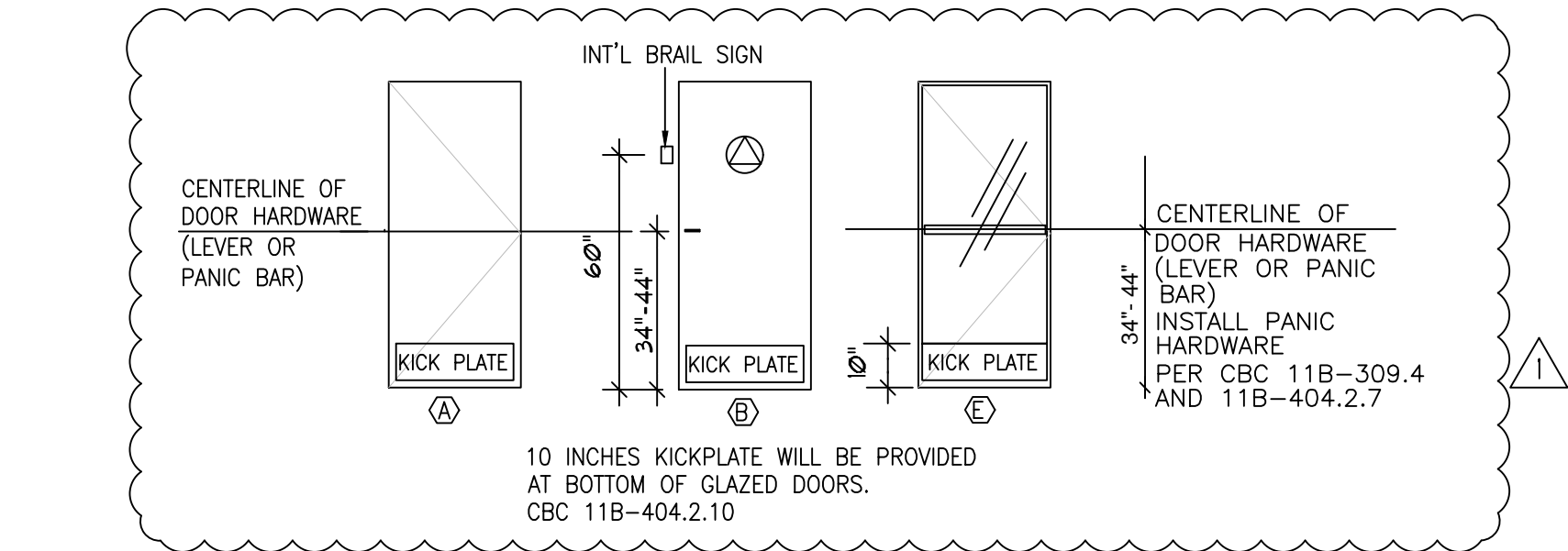
-FLOOR FINISHED SCHEDULE IS SCHEMATIC ONLY, PER OWNER SPECIFICATION OR FRANCHISE.

DOOR SCHEDULE & NOTES

- (A) 3'-0"x7'-0"x1-3/4" SOLID CORE DOOR
- (B) 3'-0"x7'-0"x1-3/4" SOLID CORE DOOR
W/ ADA SIGN & S.S. KICK PLATE
- (E) EXISTING DOOR

HARDWARE SCHEDULE

- GROUP 1 (PER DOOR)
- 1-1/2 PAIR BUTTS BB179 X 4-1/2 X4-1/2 X 10B STA
- 1 LOCKSET (LEVER TYPE) A405 SCH
- 1 DOOR STOP W9 X 10B BBW



- ALL DOORS ARE MINIMUM 36" WIDE TO PROVIDE REQUIRED 32" CLEAR WIDTH WHEN OPEN. CBC 11B-404.2.3.
- MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE MINIMUM MANEUVERING CLEARANCES AT DOOR AND GATES SHALL BE COMPLY PER CBC 11B-404.2.4.
- ALL DOORWAY SHALL BE 1/2" HIGH MAXIMUM. CBC 11B-404.2.5
- RAISED THRESHOLD AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY PER CBC 11B-302 AND 11B-303.
- ALL DOOR EQUIPPED W/SINGLE-EFFORT, LEVER HARDWARE MOUNTED 34"-44" A.F.F. PER CBC 11B-404.2.7.
- DOOR AND GATE CLOSING SPEED SHALL COMPLY PER CBC 11B-404.2.8.
- EXIT DOOR TO BE OPENED FROM INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE, OR EFFORT PER CBC 11B-404.2.9 W/ 5 LBS. MAX. FORCE OF PULLING OR PUSHING.
- SWINGING DOOR AND GATE SURFACE WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. CBC 11B-404.2.10

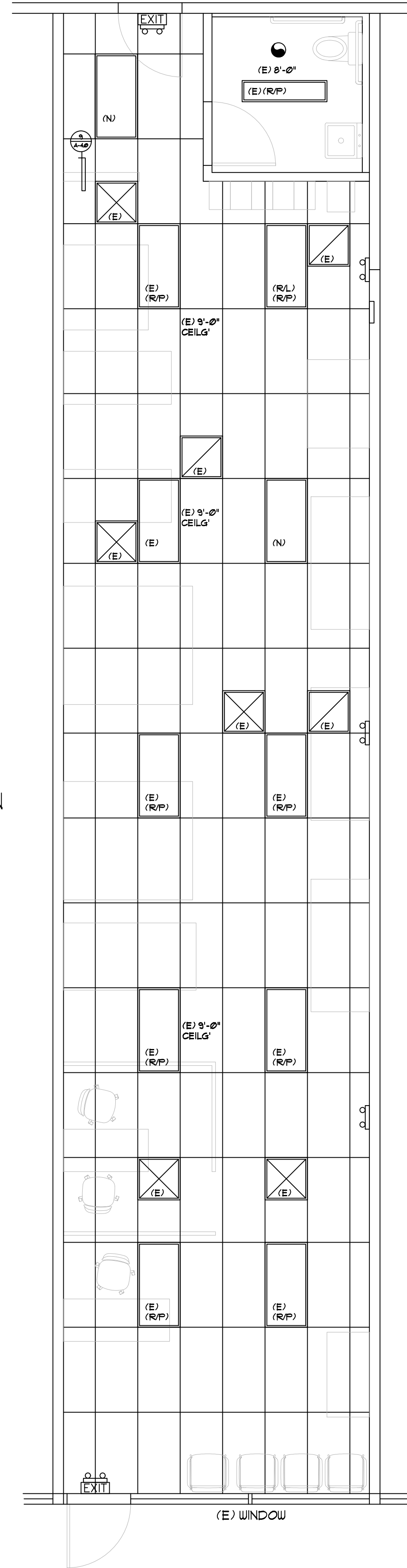
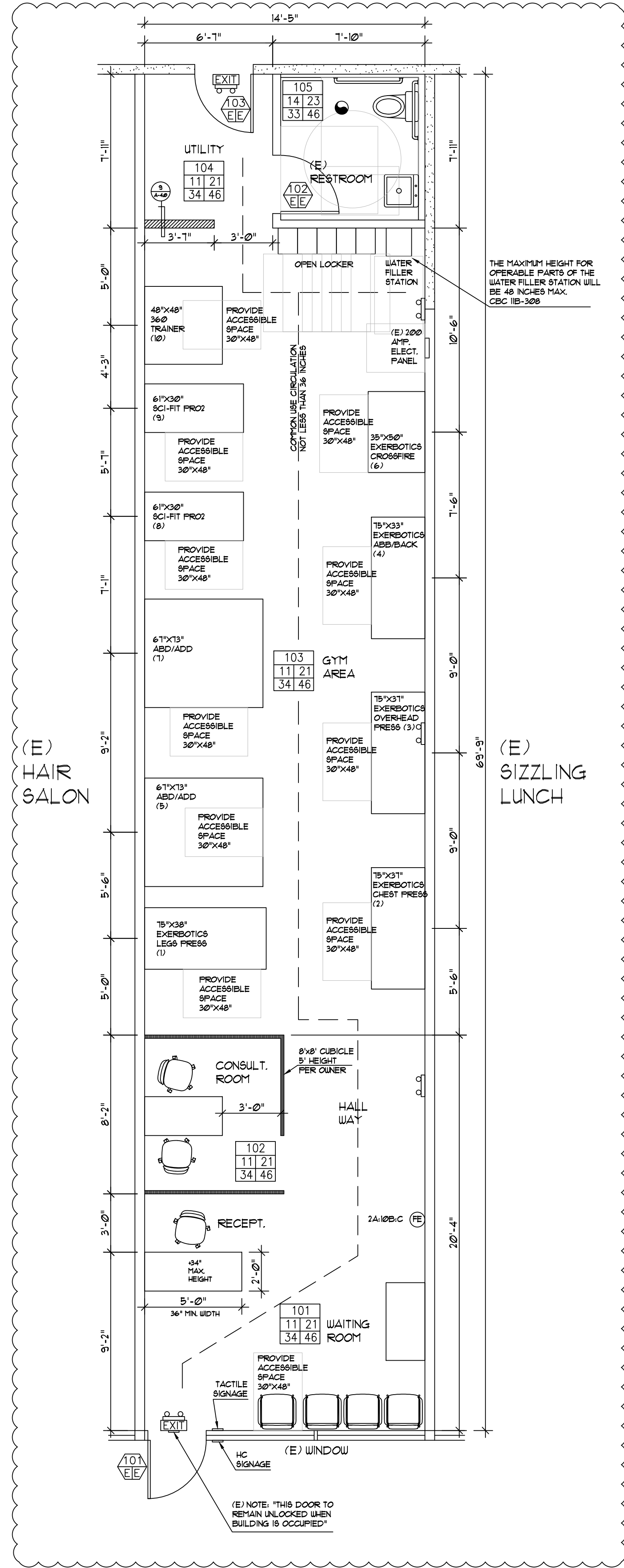
- EGRESS DOOR SHALL NOT REQUIRE TIGHT RASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE ANY OF THE FOLLOWING EXISTS:
1. THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED.
2. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING:
- "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED".
- CFC SEC. 1010.1.9.1 AND 1010.1.9.3.
- EMERGENCY LIGHTING "SHALL NOT BE CONTROLLED BY "OCCUPANCY SENSORS" AND/OR "ENERGY LIGHT SAVING CONTROLLING MEASURES" CFC SEC. 1008.
- TACTILE EXIT SIGNS SHALL BE PROVIDED AS REQUIRED TO COMPLY WITH CBC SEC. 1013.4.
- ALL PORTIONS OF THE BUILDINGS SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MINIMUM SIZE OF THE EXTINGUISHER SHALL BE 2-A-10-BC. CFC SEC. 906.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH AS POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- DOOR HARDWARE - DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE.

OCCUPANCY CALCULATION

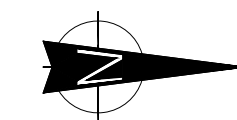
ITEM	AREA DESCRIPTION	AREA	OCCUPANT
1	OWN AREA - 1/200 SF	598	12
2	WAITING AREA - 1/15 SF	103	9
3	RECEPTIONIST / CONSULT RM. - 1/200 SF	94	1
4	RESTROOM / UTILITY / HALLWAY	235	0
TOTAL		1,030	22

ELECTRICAL LEGEND

	(E) HARD CEILING	D	DIMMABLE	▷	DATA / NETWORK OUTLET
	SUPPLY AIR REGISTER	OS	OCCUPANCY SENSOR	§	LIGHT SWITCH
	RETURN AIR REGISTER	R	RELOCATED	§	MULTI LIGHT SWITCH
	1X4 24W T-8 LED LT DIMMABLE OR EQUAL (L-1)	WP	WATERPROOF	§	3 WAY LIGHT SWITCH
	2X4 50W T-8 LED LT DIMMABLE OR EQUAL (L-2)	⚡	FOURPLEX 110VAC OUTLET	⚡	EMERGENCY LIGHT
		⚡	DUPLEX 110VAC OUTLET ● CEILING	EXIT	EXIT LIGHT
		⚡	DUPLEX 110VAC OUTLET ● FLOOR	⚡	EXHAUST FAN
		⚡	240V ELECTRICAL RECEPTACLE	⚡	JUNCTION BOX
		▶	TELEPHONE JACK	(E)	EXISTING LIGHT FIXTURE OR HVAC REGISTER TO REMAIN
				(R/L)	EXISTING TO BE RELOCATE
				(N)	NEW LIGHT FIXTURE OR HVAC REGISTER
				(R/P)	REPLACE



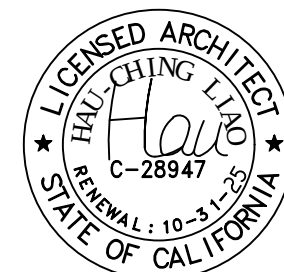
- NOTES:
1. 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS: SECTION 19 (n) + astronomical time-switch controls.
2. CONDUCTOR INSULATION RATING: THHN/THWN + FLAME RETARDANT, MOISTURE AND HEAT- RESISTANT THERMOPLASTIC CEC Table 310.13(A).



LHC

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OWNER:

THE EXERCISE COACH
1762 MIRAMONTE AVENUE
MOUNTAIN VIEW, CA 94040
(408) 520.9558

THE EXERCISE COACH
TENANT IMPROVEMENT

1762 MIRAMONTE AVENUE
MOUNTAIN VIEW, CA. 94040

REVISIONS:

1ST. CITY COMMENTS 11-11-2023

SHEET TITLE:
PROPOSED FLOOR AND
CEILING PLAN
FINISHED SCHEDULE
OCCUPANCY CALCULATION

DATE PROJECT NO.
10-03-2023 493-20231003

SCALE DRAWN
AS SHOWN AB-LHC

SHEET

A-2.0

OF SHEETS

LEGEND, FINISHED SCHEDULE

NTS 3

PROPOSED FLOOR PLAN

1/4" 2

REFLECTED CEILING PLAN

1/4" 1