

ATTACHMENT 3

PLANNING REFERENCE NUMBER: 399-15-PCZA
SUBMITTAL #1: December 16, 2015
SUBMITTAL #2: March 7, 2016
SUBMITTAL #3: June 9, 2016
SUBMITTAL #4: August 8, 2016

ANTON MOUNTAIN VIEW



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PROJECT TEAM

DEVELOPER:



Anton Development Company
950 Tower Lane, Suite 1225
Foster City, California 94404
Contact: Rachel Green
P: 650.549.1607
www.antondev.com



ARCHITECT:

TCA Architects
1111 Broadway, Suite 1320
Oakland, California 94607
Contact: Thomas Cox & Brittany De Paul
P: 510.545.4222
www.tca-arch.com



LANDSCAPE ARCHITECT:

MJS Landscape Architecture
507 30th Street
Newport Beach, California 92663
Contact: Mark Schattinger & Dan Delle
P: 949.675.9964
www.mjs-la.com



CIVIL ENGINEER:

BKF Engineers
1650 Technology Drive, Suite 650
San Jose, California 95110
Contact: Isaac Kontorovsky
P: 408.467.9187
www.bkf.com



ELECTRICAL ENGINEER:

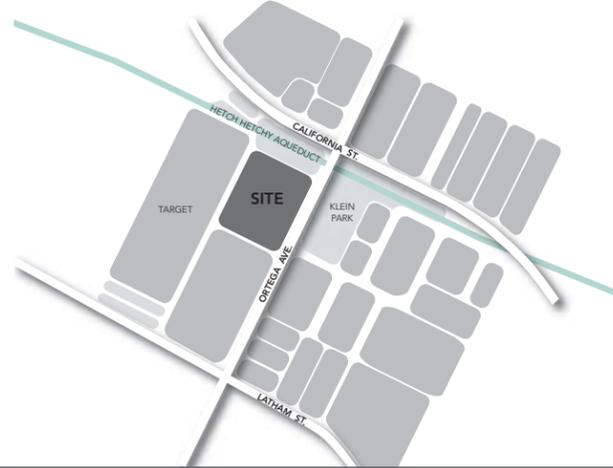
Candela Engineering
25635 Calle La Fuene
San Juan Capistrano, California 92675
Contact: Brian Overley
P: 949.201.1333
www.candelaengineering.com



GREEN CONSULTING:

VCA Green
2200 West Orangewood Ave., Suite 155
Orange, California 92868
Contact: Luke Patruno
P: 714.363.4700
www.vca-green.com

VICINITY MAP



PROJECT DATA

PROJECT ADDRESS:

394 Ortega Avenue, Mountain View, California 94040

ASSESSOR PARCEL NUMBERS:

Parcels One & Four: 148-029-024

PURPOSE:

Request for Zoning Project Approval

NARRATIVE:

The proposed project is a 1.615 acre apartment building containing 144 units in four residential levels (Type V) over two below-grade levels of garage (Type I). The podium style building is oriented around two courtyards which open onto a heavily amenitized easement. The site is bounded by California St. & the Hetch Hetchy R.O.W. to the north with Ortega Ave. to the east. Approximately 5,683 square feet of common area will be provided which includes the leasing office, club room, fitness center, bicycle repair, lounge and sky deck. Tenants will also enjoy access to two-podium courtyards, pool/spa, BBQs, private resident patios, dog park, and game lawns. The exterior material palette includes stucco, fiber cement siding and panels, composite wood siding, metal awnings, Juliette balconies, as well as glass and metal railings. Green building features, smart landscape irrigation controls, and high efficiency materials will ensure the building exceeds California energy codes & is GreenPoint Rated.

EXISTING ZONING DISTRICT:

Planned Community - P
San Antonio Precise Plan - P(40)

EXISTING LAND USE:

Single-Family Residential

PROPOSED ZONING DISTRICT:

Planned Community - P

PROPOSED LAND USE:

Multiple Family Residential

GENERAL PLAN AREAS:

Mixed Use Corridor

BUILDING CODE:

2013 California Building Code (CBC), CALGreen, Mountain View Green Building Code

TYPES OF CONSTRUCTION:

Type VA Sprinklered, NFPA-13 (Residential)
Type IA Sprinklered, NFPA-13 (Garage)

OCCUPANCY CLASSIFICATION:

R-2 Residential Units
B Leasing, Mail, Fitness Center, Sky Deck, Lounge
A-3 Club Room
S-2 Garage

LOT AREA:

± 70,350 SF 1.615 AC (Includes Easement)

ZONING COMPLIANCE

FLOOR AREA RATIO (RESIDENTIAL GROSS BLDG. AREA/LOT AREA):

MAXIMUM 1.85 for Tier 1 Intensity per San Antonio Precise Plan
PROPOSED 1.842

BUILDING STORIES LIMITATION:

MINIMUM 4 Stories for Tier 1 Intensity per San Antonio Precise Plan
PROPOSED 4 Stories

BUILDING HEIGHT LIMITATION:

MAXIMUM 55' from top of parapet to lowest top of curb for Tier 1 Intensity per San Antonio Precise Plan. Excludes up to an additional 10' of overall height for structures such as stairways, rooftop equipment and enclosures, and other rooftop amenities. Additional height may be allowed for elevator structures or similar mechanical installations per Precise Plan's Development Standards & Guidelines under section Encroachments & Exceptions.
PROPOSED 55' from top of parapet to lowest top of curb

BUILDING SETBACKS:

ORTEGA AVENUE 15' from property line per San Antonio Precise Plan
24' from curb line per Open Space Requirements
HETCH HETCHY SIDE YARD 15' from property line per San Antonio Precise Plan
No minimum for Planned Community zoning designation but 5' required per MV Fire Dept.
REAR YARD 15' from property line per San Antonio Precise Plan
but 46' required per onsite Easement

COMMON USABLE OPEN SPACE:

REQUIRED 175 SF per dwelling unit per San Antonio Precise Plan
(175 x 144 DU = 25,200 SF)
PROPOSED 29,632 SF

OPEN AREA / LANDSCAPING:

MINIMUM 40% of Lot Area per San Antonio Precise Plan
(.4 x 70,350 SF = 28,140 SF)
PROPOSED 48% of Lot Area (33,688 SF / 70,350 SF = .48)

PERSONAL STORAGE:

MINIMUM 164 CU FT per dwelling unit per San Antonio Precise Plan
COMPLIANCE Yes

VEHICULAR PARKING:

REQUIRED Per San Antonio Precise Plan
RESIDENTIAL Studios: 1 stall
1-bedroom units: 1 stall
2-bedroom units: 2 stalls
GUEST 15% of total required residential parking

PROJECT SUMMARY

UNIT TALLY							
UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	COUNT	AREA	DECK AREA
STUDIO							
S1	4	6	6	6	22	512 SF	0 SF
S1.1	2	4	4	4	14	485 SF	0 SF
ONE BEDROOM							
A1	3	11	11	4	29	616 SF	50-60 SF
A1.1	1	1	1	1	4	664 SF	50 SF
A1.2	6	0	0	0	6	620 SF	98 SF
A2	8	8	8	8	32	695 SF	55 SF
A3	3	1	1	1	6	758 SF	56 SF
A4	1	1	1	1	4	852 SF	54 SF
TWO BEDROOM							
B1	0	0	0	2	2	947 SF	408 SF
B1.1	0	0	0	1	1	947 SF	511 SF
B1.2	0	0	0	1	1	947 SF	831 SF
B2	0	2	2	2	6	1,056 SF	55 SF
B3	1	1	1	1	4	1,100 SF	57 SF
B3.1	1	1	1	1	4	1,128 SF	62 SF
B3.2	1	1	1	1	4	1,154 SF	57 SF
B3.3	1	1	1	0	3	1,136 SF	59 SF
B4	0	1	1	0	2	1,043 SF	55 SF
TOTAL	32	39	39	34	144	101,643 SF	

UNIT CATEGORY	COUNT	AVG. AREA	MIX
STUDIO	36	501 SF	25.0%
ONE BEDROOM	81	672 SF	56.3%
TWO BEDROOM	27	1,080 SF	18.8%
TOTAL	144	706 SF	100.0%

*NOTE: UNIT AREAS ARE MEASURED TO THE CENTERLINE OF PARTI WALLS AND EXTERIOR FACE OF EXTERIOR WALLS, EXCLUDING ALL DECKS.

GROSS BUILDING AREA	
LEVEL	AREA
LEVEL B2	47,803 SF
LEVEL B1	47,803 SF

SITE DENSITY		
AREA	DENSITY	UNIT COUNT
1.615 acres	89.16	144

FLOOR AREA RATIO	
LEVEL	AREA
LEVEL 1	32,917 SF
LEVEL 2	32,970 SF
LEVEL 3	32,930 SF
LEVEL 4	30,769 SF
TOTAL	129,586 SF

1.842

*NOTE: GROSS BUILDING AREAS ARE MEASURED TO THE EXTERIOR FACE OF BUILDING WALLS, EXCLUDING ALL DECKS. NO DEDUCTION FOR SHAFTS OR STAIRWAYS ARE INCLUDED.

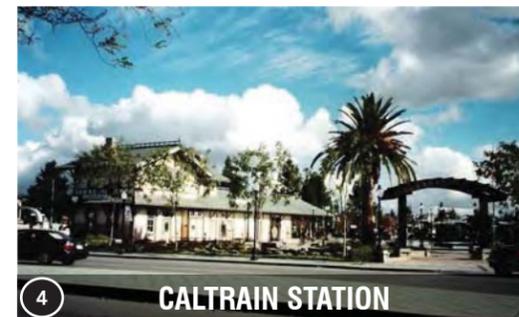
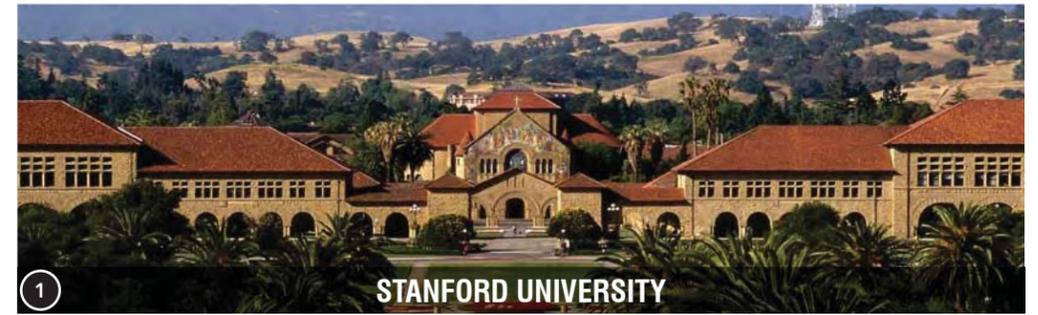
REQUIRED RESIDENT PARKING (PER SAN ANTONIO PRECISE PLAN)			
UNIT CATEGORY	RATIO	UNIT COUNT	REQUIRED PARKING
STUDIO	1	36	36
ONE BEDROOM	1	81	81
TWO BEDROOM	2	27	54
TOTAL			171

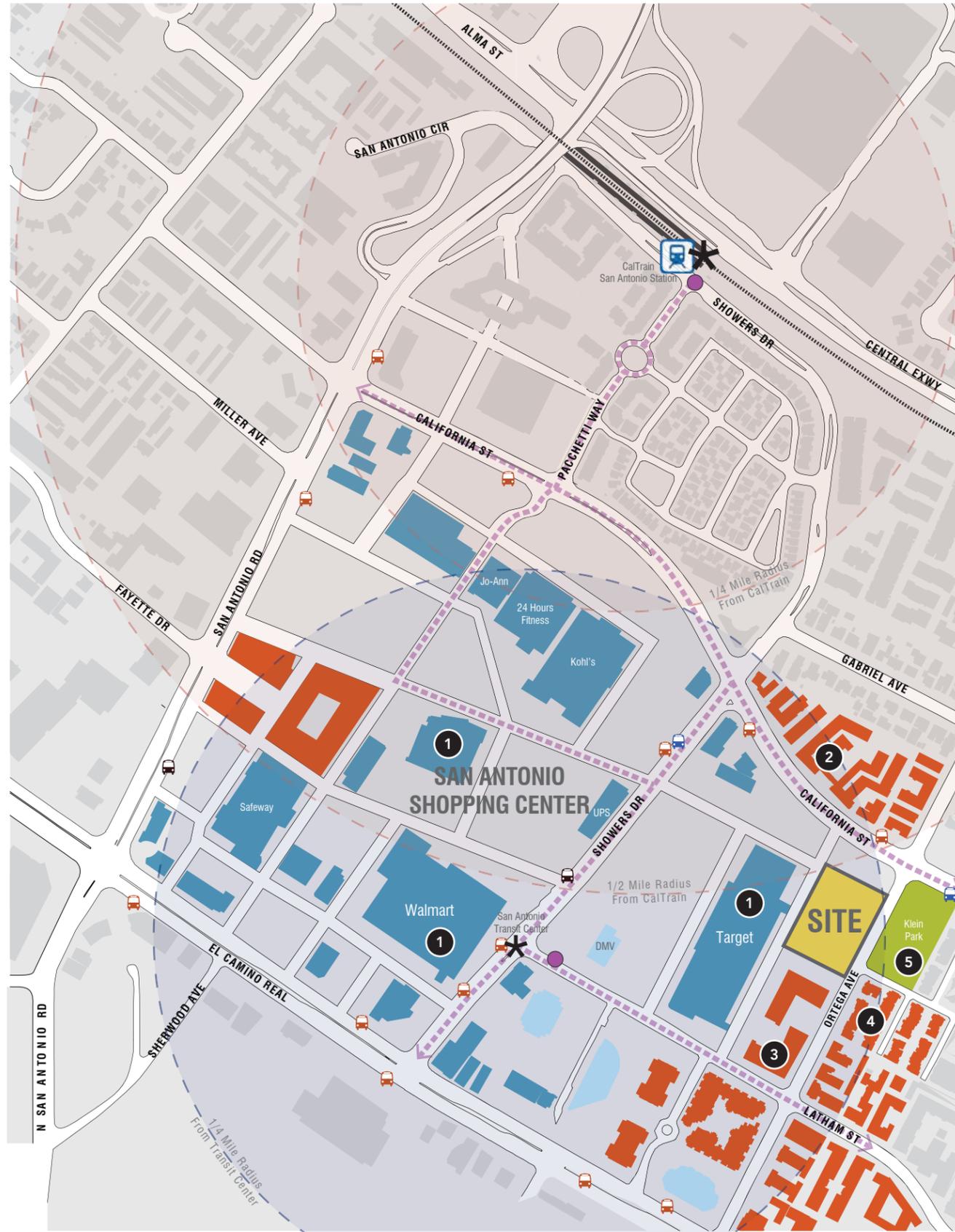
PROVIDED PARKING TABULATION		
GUEST (15% OF TOTAL RESIDENTIAL STALLS REQUIRED)	LEVEL B1	26
RESIDENT	LEVEL B1	58
RESIDENT	LEVEL B2	106
TOTAL		190

REQUIRED BICYCLE PARKING			
UNIT CATEGORY	UNIT COUNT	RATIO	REQUIRED BIKE PARKING
STUDIO	36	1	36
ONE BEDROOM	81	1	81
TWO BEDROOM	27	1	27
TOTAL	144		144

PROVIDED BICYCLE PARKING		
BIKE	LEVEL B1	144
BIKE (GUEST) (1 SPACE PER 10 UNITS FOR GUEST BIKE PARKING REQUIRED)	LEVEL 1	15
TOTAL		159

COMMON AREAS		
AREA	LEVEL	AREA
CLUB ROOM	LEVEL 1	1,711 SF
LEASING	LEVEL 1	1,097 SF
POOL RESTROOMS	LEVEL 1	364 SF
FITNESS	LEVEL 1	730 SF
MAIL	LEVEL 1	226 SF
LOUNGE	LEVEL 4	388 SF
SKY DECK	LEVEL 4	363 SF
BICYCLE REPAIR	LEVEL B1	418 SF
DOG SPA	LEVEL B1	387 SF
TOTAL		5,683 SF





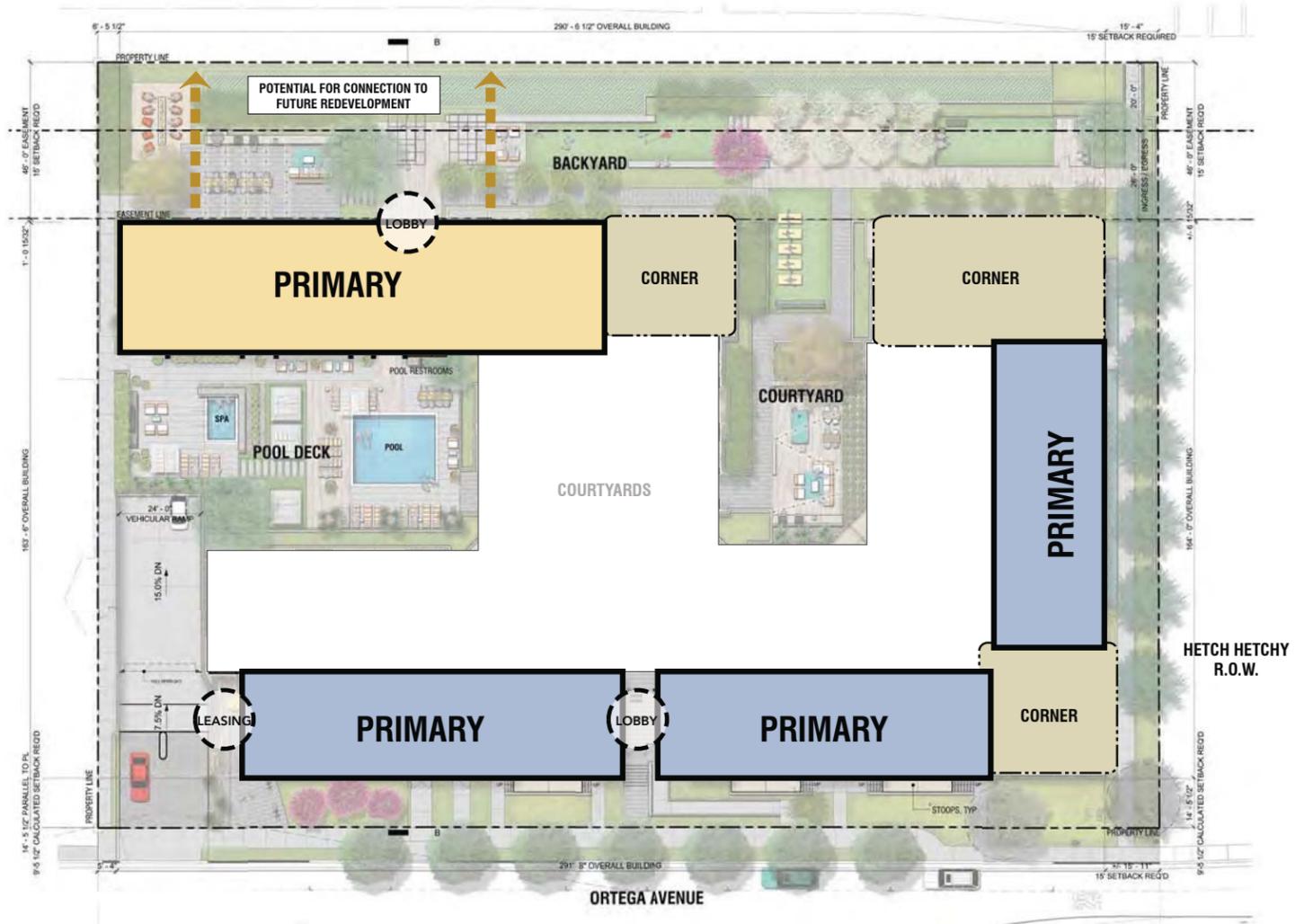
LEGEND

- Retail/Commercial
- Residential
- Office
- Open Space
- CalTrain Station
- MV Station
- Marguerite Shuttle Station
- VTA Bus Stop
- VTA Bike Station
- Bicycle Route





SITE AXON



BUILDING PLAN



LEASING OFFICE ENTRANCE ALONG ORTEGA AVENUE & VEHICULAR RAMP TO BELOW GRADE PARKING GARAGE



CORNER OF ORTEGA AVENUE & HETCH HETCHY R.O.W. WITH LOUNGE AND SKY DECK ON TOP FLOOR



NEW HOME RATING SYSTEM, VERSION 6.1

MULTIFAMILY

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J5.1, O1, O7.

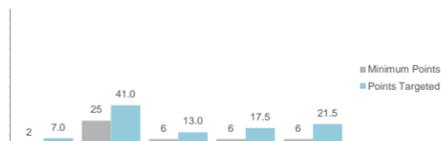
The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated. **Build It Green is not a code enforcement agency.**

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

New Home Multifamily v. 6.1

Points Targeted: 100.0

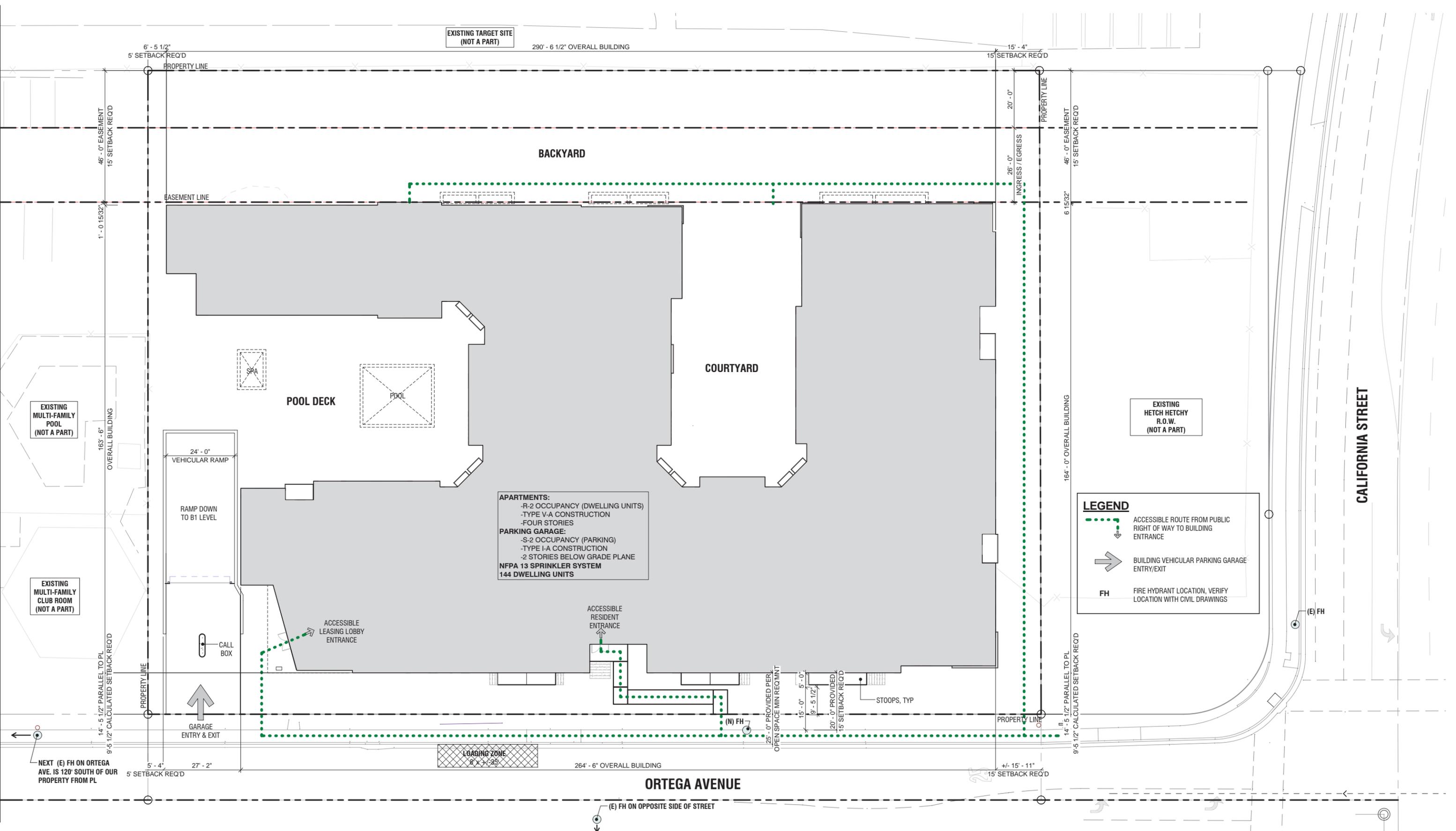
Certification Level: Silver



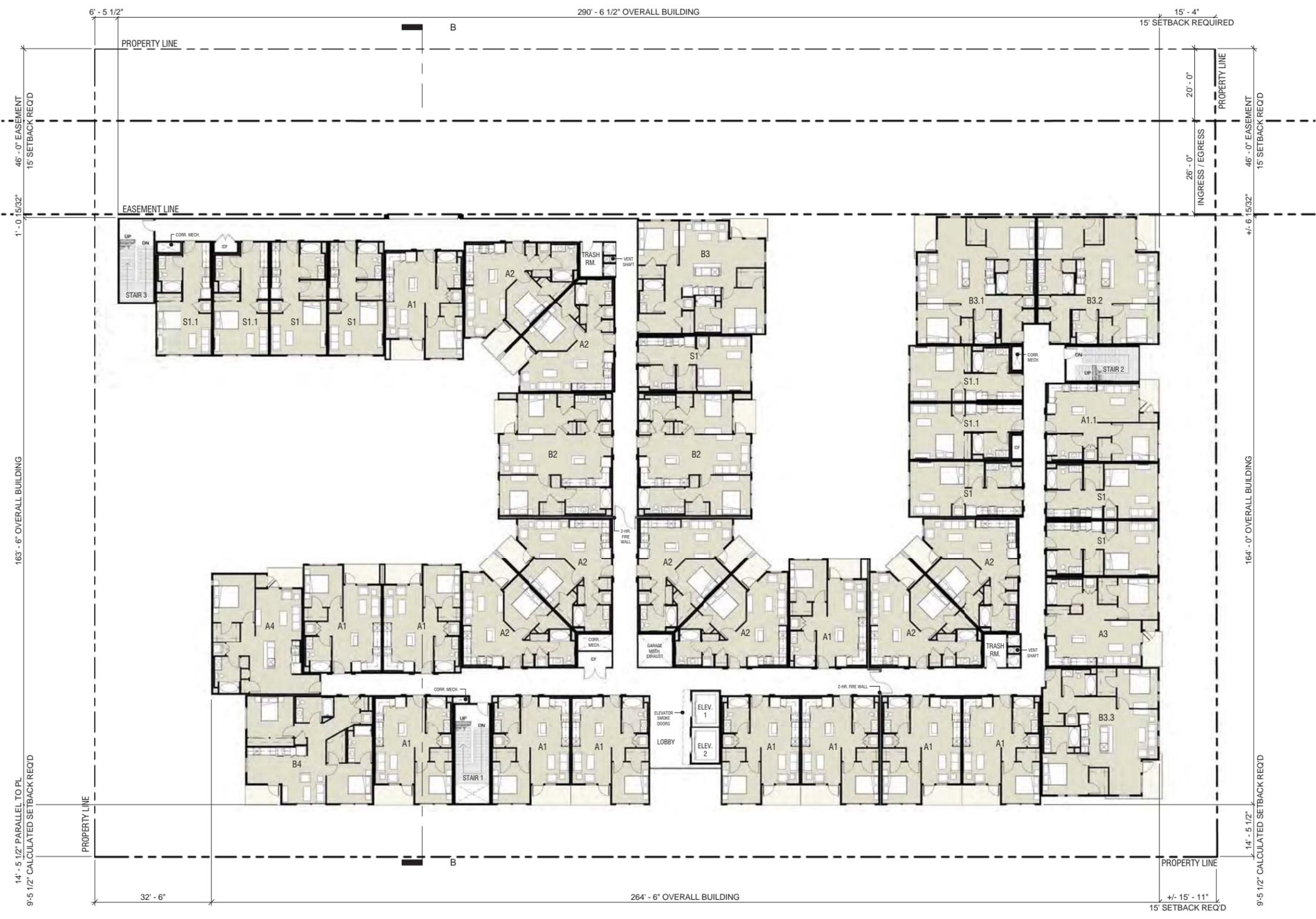
Anton Mountain View		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	Notes
Measures								
CALGreen								
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1	
A. SITE								
Yes	A1. Construction Footprint	1				1		
TBD	A2. Job Site Construction Waste Diversion					2		
Yes	A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)	2				2		
Yes	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)	1				1		
Yes	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility	1				1		
Yes	A3. Recycled Content Base Material	1				1		
No	A4. Heat Island Effect Reduction (Non-Roof)	0		1		1		
No	A5. Construction Environmental Quality Management Plan Including Flush-Out	0			1			
TBD	A6. Stormwater Control: Prescriptive Path						1	
Yes	A6.1 Permeable Paving Material	1					1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
TBD	A6.3 Non-Leaching Roofing Materials						1	
No	A6.4 Smart Stormwater Street Design	0	1					
No	A7. Stormwater Control: Performance Path	0					3	
B. FOUNDATION								
No	B1. Fly Ash and/or Slag in Concrete	0				1		
No	B2. Radon-Resistant Construction	0			2			
No	B3. Foundation Drainage System	0				2		
No	B4. Moisture Controlled Crawlspace	0			1			
No	B5. Structural Pest Controls	0				1		
No	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	0				1		
No	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	0				1		
C. LANDSCAPE								
47.74%	Enter the landscape area percentage							
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)	1					1	
Yes	C2. Three Inches of Mulch in Planting Beds	1					1	
C3. Resource Efficient Landscapes								
Yes	C3.1 No Invasive Species Listed by Cal-IPC	1				1		
TBD	C3.2 Plants Chosen and Located to Grow to Natural Size					1		
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	3					3	
C4. Minimal Turf in Landscape								
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	1					2	
≤25%	C4.2 Turf on a Small Percentage of Landscaped Area	1					2	
TBD	C5. Trees to Moderate Building Temperature		1	1			1	
Yes	C6. High-Efficiency Irrigation System	2					2	
No	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil	0					2	
No	C8. Rainwater Harvesting System	0					3	
TBD	C9. Recycled Wastewater Irrigation System						1	
Yes	C10. Submeter or Dedicated Meter for Landscape Irrigation	2					2	
≤0.5 ETo	C11. Landscape Meets Water Budget	2					2	
C12. Environmentally Preferable Materials for Site								
No	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing	0				1		
No	C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20%	0				1		
TBD	C13. Reduced Light Pollution		1					
TBD	C14. Large Stature Tree(s)		1					
No	C15. Third Party Landscape Program Certification	0					1	
TBD	C16. Maintenance Contract with Certified Professional						1	
No	C17. Community Garden	0	2					
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								
D1. Optimal Value Engineering								
No	D1.1 Joists, Rafters, and Studs at 24 Inches on Center	0		1		2		
No	D1.2 Non-Load Bearing Door and Window Headers Sized for Load	0				1		
No	D1.3 Advanced Framing Measures	0				2		
TBD	D2. Construction Material Efficiencies					1		
D3. Engineered Lumber								
No	D3.1 Engineered Beams and Headers	0				1		
No	D3.2 Wood I-Joists or Web Trussing for Floors	0				1		
TBD	D3.3 Engineered Lumber for Roof Rafters					1		
No	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications	0				1		
Yes	D3.5 OSB for Subfloor	0.5				0.5		
Yes	D3.6 OSB for Wall and Roof Sheathing	0.5				0.5		
No	D4. Insulated Headers	0		1				
D5. FSC-Certified Wood								
No	D5.1 Dimensional Lumber, Studs, and Timber	0				6		
No	D5.2 Panel Products	0				3		
D6. Solid Wall Systems								
No	D6.1 At Least 90% of Floors	0				1		
No	D6.2 At Least 90% of Exterior Walls	0		1		1		
No	D6.3 At Least 90% of Roofs	0		1		1		
Yes	D7. Energy Heels on Roof Trusses	1		1				
TBD	D8. Overhangs and Gutters			1		1		
D9. Reduced Pollution Entering the Home from the Garage								
No	D9.1 Detached Garage	0			2			
No	D9.2 Mitigation Strategies for Attached Garage	0			1			
D10. Structural Pest and Rot Controls								
Yes	D10.1 All Wood Located At Least 12 Inches Above the Soil	1					1	
No	D10.2 Wood Framing Treating With Borates or Factory-Impregnated, or Wall Materials Other Than Wood	0					1	
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	2			1	1		

Anton Mountain View		Points Targeted	Community	Energy	IAQ/Health	Resources	Water
E. EXTERIOR							
TBD	E1. Environmentally Preferable Decking					1	
No	E2. Flashing Installation Third-Party Verified	0				2	
No	E3. Rain Screen Wall System	0				2	
Yes	E4. Durable and Non-Combustible Cladding Materials	1				1	
E5. Durable Roofing Materials							
Yes	E5.1 Durable and Fire Resistant Roofing Materials or Assembly	1				1	
Yes	E5.2 Roofing Warranty for Shingle Roofing	Y	R	R	R	R	R
No	E6. Vegetated Roof	0	2	2			
F. INSULATION							
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
Yes	F1.1 Walls and Floors	1				1	
Yes	F1.2 Ceilings	1				1	
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
Yes	F2.1 Walls and Floors	1			1		
Yes	F2.2 Ceilings	1			1		
F3. Insulation That Does Not Contain Fire Retardants							
Yes	F3.1 Cavity Walls and Floors	1			1		
Yes	F3.2 Ceilings	1			1		
Yes	F3.3 Interior and Exterior Insulation	1			1		
G. PLUMBING							
G1. Efficient Distribution of Domestic Hot Water							
TBD	G1.1 Insulated Hot Water Pipes			1			
Yes	G1.2 WaterSense Volume Limit for Hot Water Distribution	0				1	
TBD	G1.3 Increased Efficiency in Hot Water Distribution					2	
G2. Install Water-Efficient Fixtures							
Yes	G2.1 WaterSense Showerheads with Matching Compensation Valve	2				2	
Yes	G2.2 WaterSense Bathroom Faucets	1				1	
Yes	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams	1				1	
TBD	G2.4 Urinals with Flush Rate of ≤0.1 Gallons/Flush					1	
TBD	G3. Pre-Plumbing for Graywater System					3	
TBD	G4. Operational Graywater System					3	
TBD	G5. Submeter Water for Tenants					2	
H. HEATING, VENTILATION, AND AIR CONDITIONING							
H1. Sealed Combustion Units							
No	H1.1 Sealed Combustion Furnace	0			1		
Yes	H1.2 Sealed Combustion Water Heater	2			2		
TBD	H2. High Performing Zoned Hydronic Radiant Heating System			1	1		
H3. Effective Ductwork							
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1			
TBD	H3.2 Pressure Balance the Ductwork System			1			
TBD	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified			1			
H5. Advanced Practices for Cooling							
Yes	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms	1		1			
No	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units	0		1			
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE Standard 62.2-2012 Ventilation Residential Standards	Y	R	R	R	R	R
TBD	H6.2 Advanced Ventilation Standards					1	
TBD	H6.3 Outdoor Air Ducted to Bedroom and Living Areas					2	
H7. Effective Range Design and Installation							
Yes	H7.1 Effective Range Hood Ducting and Design	1				1	
TBD	H7.2 Automatic Range Hood Control					1	
I. RENEWABLE ENERGY							
TBD	I1. Pre-Plumbing for Solar Water Heating			1			
TBD	I2. Preparation for Future Photovoltaic Installation			1			
I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)							
I4. Net Zero Energy Home							
TBD	I4.1 Near Zero Energy Home			2			
TBD	I4.2 Net Zero Electric			4			
TBD	I5. Solar Hot Water Systems to Preheat Domestic Hot Water			4			
TBD	I6. Photovoltaic System for Multifamily Projects			12			
J. BUILDING PERFORMANCE AND TESTING							
TBD	J1. Third-Party Verification of Quality of Insulation Installation				1		
No	J2. Supply and Return Air Flow Testing	0		1			
Yes	J3. Mechanical Ventilation Testing and Low Leakage	1			1		
No	J4. Combustion Appliance Safety Testing	0			1		
J5. Building Performance Exceeds Title 24 Part 6							
0.12	J5.1 Home Outperforms Title 24	29		30+			
3.00%	J5.2 Non-Residential Spaces Outperform Title 24	3		15+			
Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	1		1			
TBD	J7. Participation in Utility Program with Third-Party Plan Review			1			
No	J8. ENERGY STAR for Homes	0		1			
No	J9. EPA Indoor airPlus Certification				1		
K. FINISHES							
K1. Entryways Designed to Reduce Tracked-In Contaminants							
TBD	K1.1 Entryways to Individual Units				1		
TBD	K1.2 Entryways to Buildings				1		
TBD	K2. Zero-VOC Interior Wall and Ceiling Paints				2		
Yes	K3. Low-VOC Caulks and Adhesives	1			1		
K4. Environmentally Preferable Materials for Interior Finish							
TBD	K4.1 Cabinets					2	
TBD	K4.2 Interior Trim					2	
TBD	K4.3 Shelving					2	
TBD	K4.4 Doors					2	
TBD	K4.5 Countertops					1	
K5. Formaldehyde Emissions in Interior Finish Exceed CARB							
Yes	K5.1 Doors	1			1		
TBD	K5.2 Cabinets and Countertops				1		
TBD	K5.3 Interior Trim and Shelving				2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard				2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion				2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes				1		
TBD	K9. Durable Cabinets				2		
TBD	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes				1		

Anton Mountain View		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
L. FLOORING								
≥25%	L1. Environmentally Preferable Flooring	1				3		
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3			
TBD	L3. Durable Flooring					1		
TBD	L4. Thermal Mass Flooring			1				
M. APPLIANCES AND LIGHTING								
Yes	M1. ENERGY STAR® Dishwasher	1					1	
TBD	M2. CEE-Rated Clothes Washer			1			2	
<25 cubic feet	M3. Size-Efficient ENERGY STAR Refrigerator	1		2				
M4. Permanent Centers for Waste Reduction Strategies								
No	M4.1 Built-In Recycling Center	0				1		
No	M4.2 Built-In Composting Center	0				1		
M5. Lighting Efficiency								
Yes	M5.1 High-Efficacy Lighting	2		2				
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant			2				
TBD	M6. Central Laundry						1	
TBD	M7. Gearless Elevator			1				
N. COMMUNITY								
N1. Smart Development								
Yes	N1.1 Infill Site	2	1			1		
TBD	N1.2 Designated Brownfield Site		1		1			
>20	N1.3 Conserve Resources by Increasing Density	1		2		2		
No	N1.4 Cluster Homes for Land Preservation	0	1			1		
	N1.5 Home Size Efficiency					9		
	Enter the area of the home, in square feet							
	Enter the number of bedrooms							
Yes	N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop	2	2					
N3. Pedestrian and Bicycle Access								
N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services								
10	Enter the number of Tier 1 services							
10	Enter the number of Tier 2 services							
TBD	N3.2 Connection to Pedestrian Pathways		1					
TBD	N3.3 Traffic Calming Strategies		2					
TBD	N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide		1					
TBD	N3.5 Bicycle Storage for Residents		1					
TBD	N3.6 Bicycle Storage for Non-Residents		1					
TBD	N3.7 Reduced Parking Capacity		2					
N4. Outdoor Gathering Places								
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1					
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1					
N5. Social Interaction								
TBD	N5.1 Residence Entries with Views to Callers		1					
No	N5.2 Entrances Visible from Street and/or Other Front Doors	0	1					
No	N5.3 Porches Oriented to Street and Public Space	0	1					
TBD	N5.4 Social Gathering Space		1					
N6. Passive Solar Design								
TBD	N6.1 Heating Load			2				
TBD	N6.2 Cooling Load			2				
N7. Adaptable Building								
TBD	N7.1 Universal Design Principles in Units		1		1			
TBD	N7.2 Full-Function Independent Rental Unit		1					
N8. Affordability								
TBD	N8.1 Dedicated Units for Households Making 80% of AMI or Less		2					
TBD	N8.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less		1					
TBD	N8.3 At Least 20% of Units at 120% AMI or Less are For Sale		1					
N9. Mixed-Use Developments								
TBD	N9.1 Live/Work Units Include a Dedicated Commercial Entrance		1					
TBD	N9.2 At Least 2% of Development Floor Space Supports Mixed Use		1					
TBD	N9.3 Half of the Non-Residential Floor Space is Dedicated to Community Service		1					
O. OTHER								
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R	
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5	1	0.5	0.5	
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5	0.5	
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5	0.5	0.5	0.5	
TBD	O5. Home System Monitors			2			1	
O6. Green Building Education								
Yes	O6.1 Marketing Green Building	2	2					
TBD	O6.2 Green Building Signage			0.5			0.5	
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R	
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation						1	
TBD	O9. Residents Are Offered Free or Discounted Transit Passes		2					
TBD	O10. Vandalism Deterrence Practices and Vandalism Management Plan					1		
P. DESIGN CONSIDERATIONS								
P1. Acoustics: Noise and Vibration Control								
	Enter the number of Tier 1 practices				1			
	Enter the number of Tier 2 practices							
P2. Mixed-Use Design Strategies								
TBD	P2.1 Tenant Improvement Requirements for Build-Outs				1		1	
TBD	P2.2 Commercial Loading Area Separated for Residential Area				1			
TBD	P2.3 Separate Mechanical and Plumbing Systems				1			
P3. Commissioning								
TBD	P3.1 Design Phase			1	1			
TBD	P3.2 Construction Phase			1	1			
TBD	P3.3 Post-Construction Phase			1	1			
TBD	P4. Building Enclosure Testing			1	1	1		
INNOVATIONS								
TBD	Enter Innovation 1 description here. Enter up to four points at right.							
TBD	Enter Innovation 2 description here. Enter up to four points at right.							
TBD	Enter Innovation 3 description here. Enter up to four points at right.							
TBD	Enter Innovation 4 description here. Enter up to four points at right.							
Summary								
Total Available Points in Specific Categories			336	43	93	61	86	53
Minimum Points Required in Specific Categories			50	2	25	6	6	6
Total Points Targeted			100.0	7.0	41.0	13.0	17.5	21.5

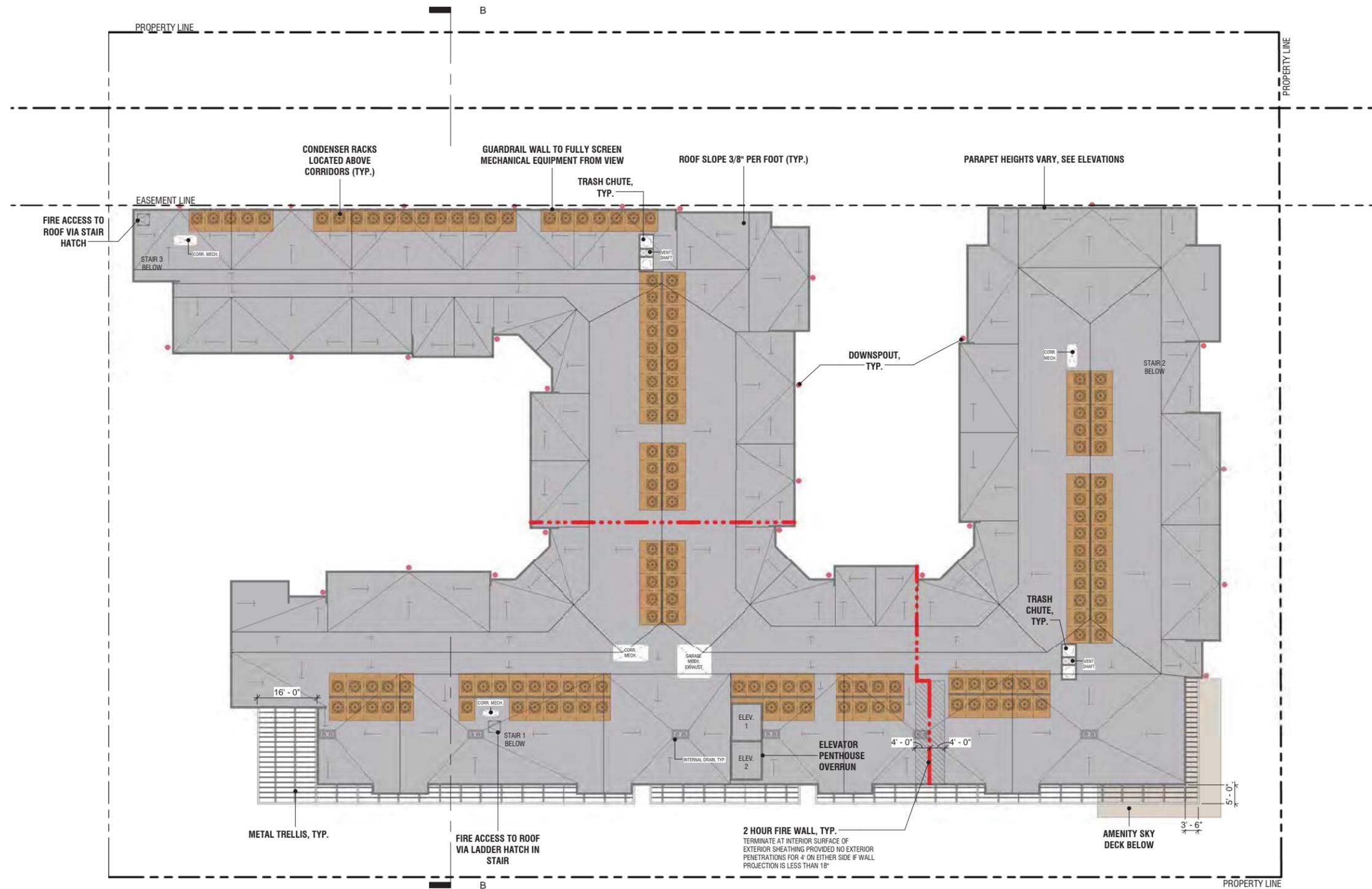


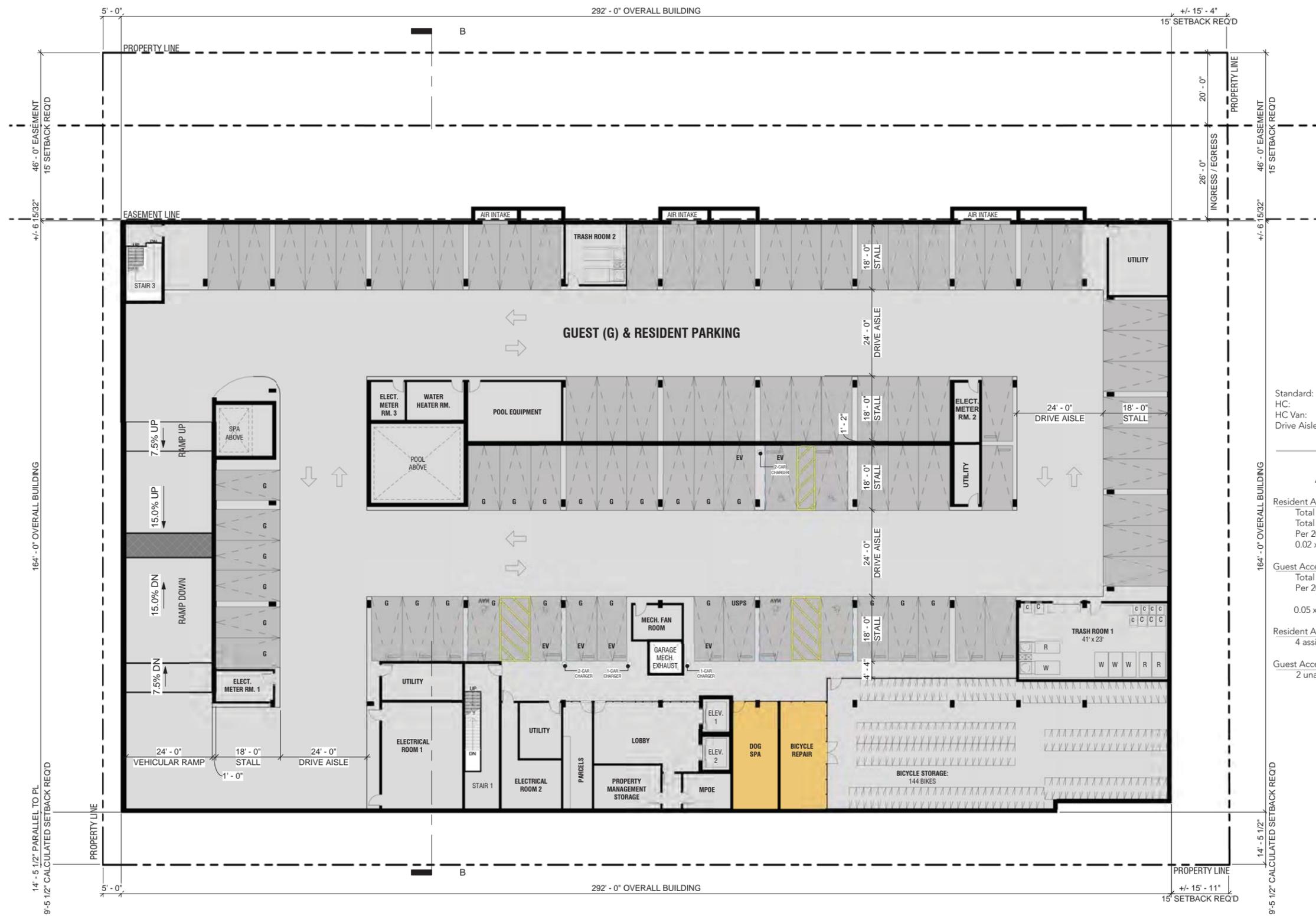












PARKING INFORMATION

Standard: 8'-6" x 18"
 HC: 9' x 18' with 5' dedicated access
 HC Van: 9' x 18' with 8' dedicated access
 Drive Aisle Width: 24'

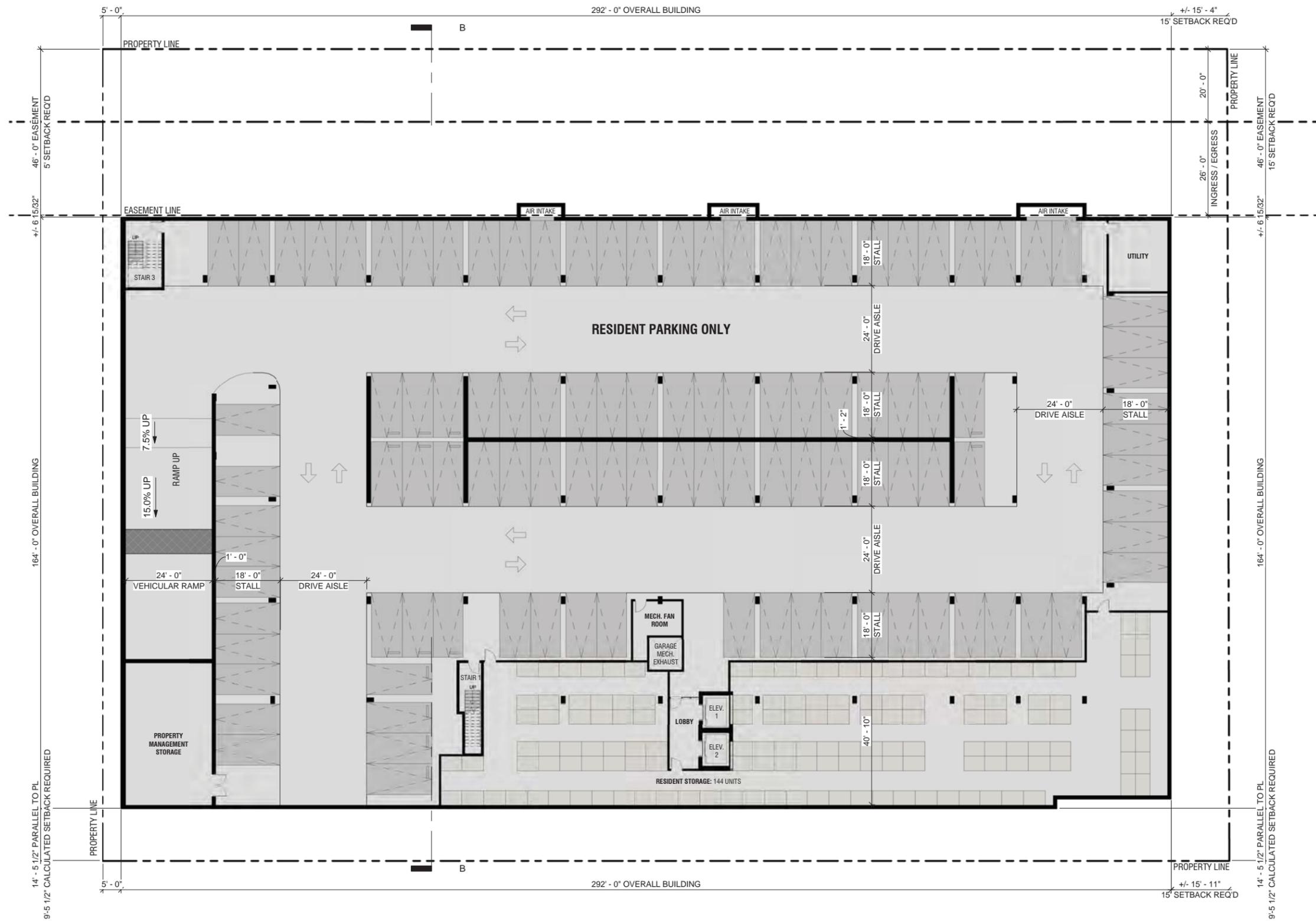
ACCESSIBLE STALL ANALYSIS:

Resident Accessible Stalls Required (CBC):
 Total accessible dwelling units = 144
 Total provided assigned stalls = 164
 Per 2013 CBC Section 1109A.3, HC parking required = 2% of stalls
 0.02 x 164 assigned stalls = 4 HC stalls required

Guest Accessible Stalls Required (CBC):
 Total provided unassigned stalls = 26
 Per 2013 CBC Section 1109A.5, HC parking required 5% of unassigned stalls
 0.05 x 26 unassigned stalls = 2 HC stalls required

Resident Accessible Stalls Provided:
 4 assigned HC stall provided

Guest Accessible Stalls Provided:
 2 unassigned HC stalls provided





2| PEDESTRIAN WALKWAY ALONG HETCH HETCHY



1| NORTH ELEVATION



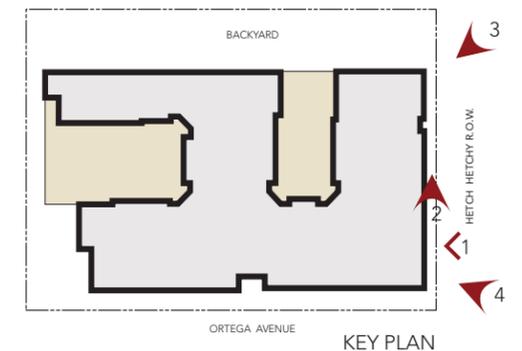
3| HETCH HETCHY R.O.W. ELEVATION



4| CORNER OF ORTEGA AVE. & HETCH HETCHY R.O.W. WITH LOUNGE & ROOF DECK ON TOP FLOOR

MATERIAL LEGEND (See exterior material sheet A-6.0 for more detail)

- | | |
|----------------------------|--|
| 1 Exterior Plaster | 8 Metal Awning/Frame with Composite Wood |
| 2 Smooth Concrete | 9 Metal Awning/Sun Shade |
| 3 Fiber Cement Siding | 10 Vinyl Window |
| 4 Composite Wood Siding | 11 Aluminum Storefront |
| 5 Glass Railing | 12 Painted Metal Trellis |
| 6 Decorative Metal Railing | 13 Facade Lighting |
| 7 Metal Picket Railing | 14 Fiber Cement Panel |





1| EAST ELEVATION



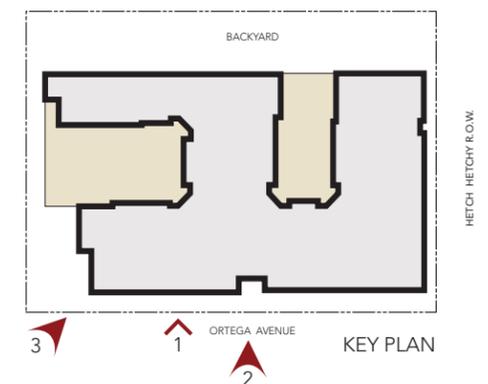
2| ELEVATOR LOBBY ALONG ORTEGA AVE. & STOOPS ON GRADE



3| LEASING OFFICE ENTRANCE & VEHICULAR RAMP TO BELOW GRADE PARKING GARAGE

MATERIAL LEGEND (See exterior material sheet A-6.0 for more detail)

- | | |
|----------------------------|--|
| 1 Exterior Plaster | 8 Metal Awning/Frame with Composite Wood |
| 2 Smooth Concrete | 9 Metal Awning/Sun Shade |
| 3 Fiber Cement Siding | 10 Vinyl Window |
| 4 Composite Wood Siding | 11 Aluminum Storefront |
| 5 Glass Railing | 12 Painted Metal Trellis |
| 6 Decorative Metal Railing | 13 Facade Lighting |
| 7 Metal Picket Railing | 14 Fiber Cement Panel |





1| SOUTH ELEVATION



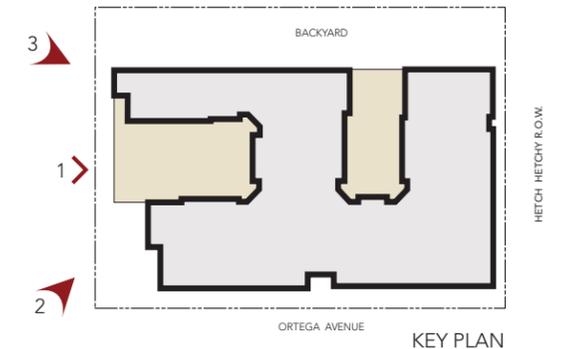
2| VIEW LOOKING NORTH ALONG ORTEGA AVE.



3| LOOKING TOWARDS POOL DECK FROM INTERNAL SIDE YARD

MATERIAL LEGEND (See exterior material sheet A-6.0 for more detail)

- | | |
|----------------------------|--|
| 1 Exterior Plaster | 8 Metal Awning/Frame with Composite Wood |
| 2 Smooth Concrete | 9 Metal Awning/Sun Shade |
| 3 Fiber Cement Siding | 10 Vinyl Window |
| 4 Composite Wood Siding | 11 Aluminum Storefront |
| 5 Glass Railing | 12 Painted Metal Trellis |
| 6 Decorative Metal Railing | 13 Facade Lighting |
| 7 Metal Picket Railing | 14 Fiber Cement Panel |





1| WEST ELEVATION



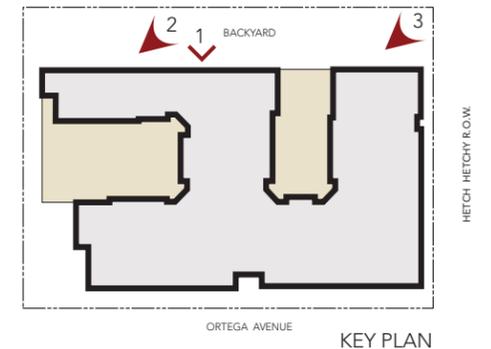
2| LANDSCAPED BACKYARD WITH CONNECTION TO POOL DECK



3| CORNER VIEW OF HETCH HETCHY R.O.W. & BACKYARD

MATERIAL LEGEND (See exterior material sheet A-6.0 for more detail)

- | | |
|----------------------------|--|
| 1 Exterior Plaster | 8 Metal Awning/Frame with Composite Wood |
| 2 Smooth Concrete | 9 Metal Awning/Sun Shade |
| 3 Fiber Cement Siding | 10 Vinyl Window |
| 4 Composite Wood Siding | 11 Aluminum Storefront |
| 5 Glass Railing | 12 Painted Metal Trellis |
| 6 Decorative Metal Railing | 13 Facade Lighting |
| 7 Metal Picket Railing | 14 Fiber Cement Panel |





1| POOL DECK "A"



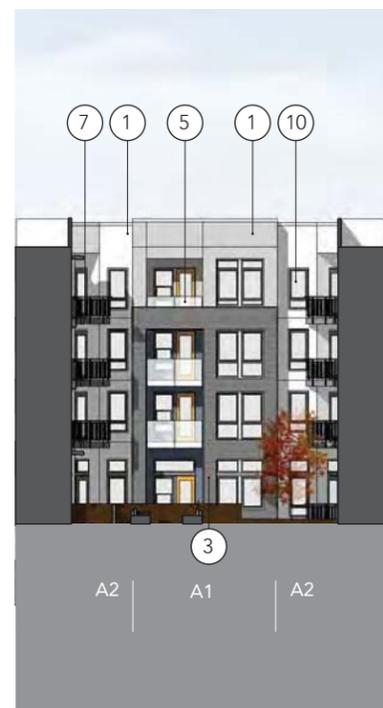
2| POOL DECK "B"



3| POOL DECK "C"



4| COURTYARD "A"



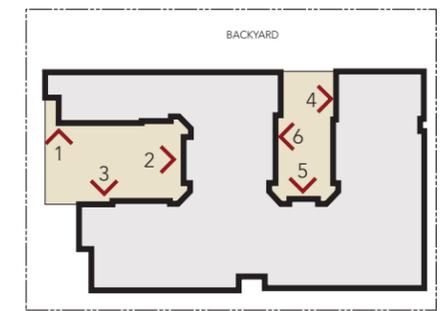
5| COURTYARD "B"

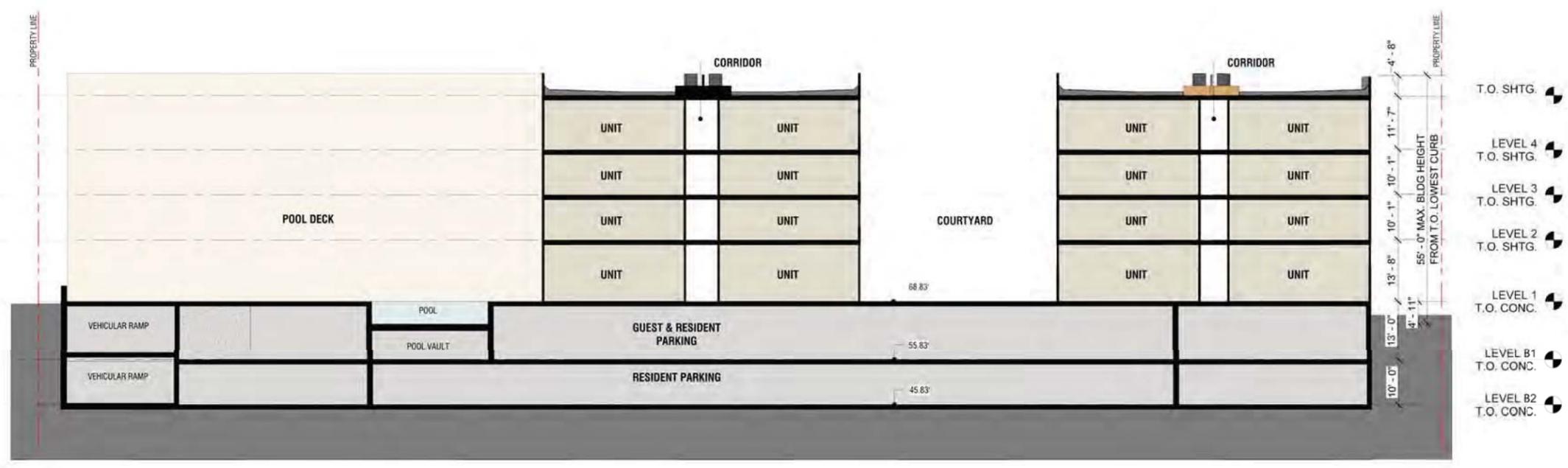


6| COURTYARD "C"

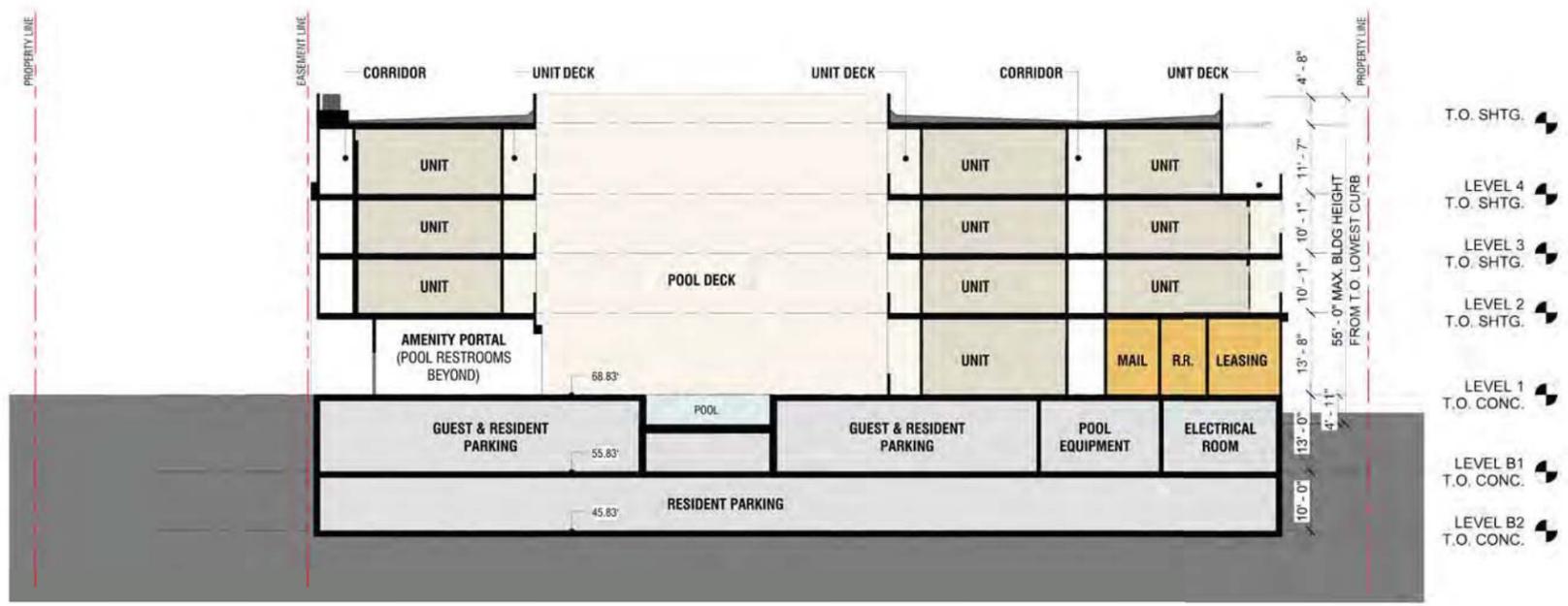
MATERIAL LEGEND (See exterior material sheet A-6.0 for more detail)

- | | |
|----------------------------|--|
| 1 Exterior Plaster | 8 Metal Awning/Frame with Composite Wood |
| 2 Smooth Concrete | 9 Metal Awning/Sun Shade |
| 3 Fiber Cement Siding | 10 Vinyl Window |
| 4 Composite Wood Siding | 11 Aluminum Storefront |
| 5 Glass Railing | 12 Painted Metal Trellis |
| 6 Decorative Metal Railing | 13 Facade Lighting |
| 7 Metal Picket Railing | 14 Fiber Cement Panel |

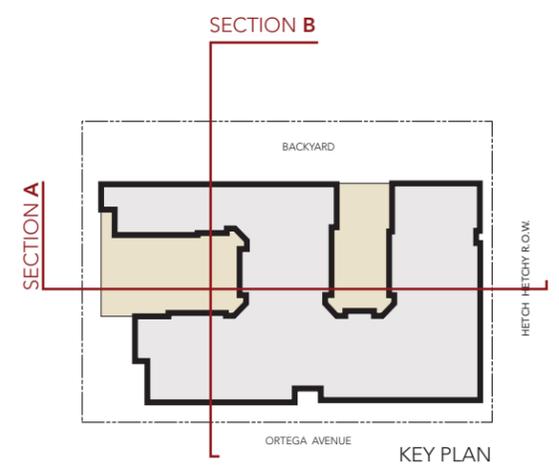




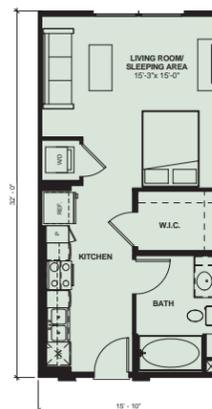
SECTION 'A'



SECTION 'B'



TYPICAL STUDIOS & 1-BEDROOM UNITS



UNIT S1



UNIT A1



UNIT A2



UNIT A3



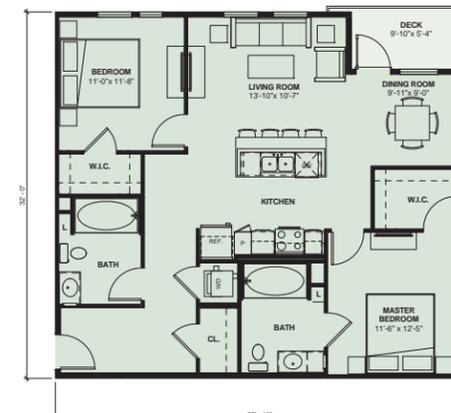
UNIT A4



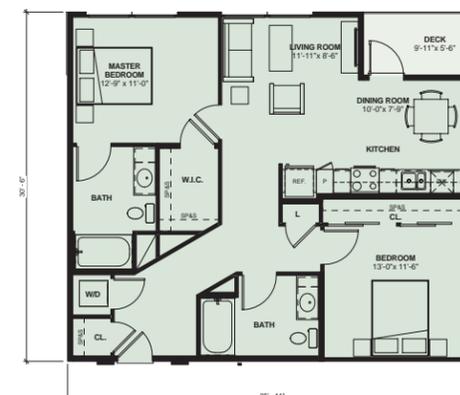
UNIT B1



UNIT B2



UNIT B3



UNIT B4

GENERAL NOTES

1. Unit plans shown here are typical only. All plan variations are shown in building plans and may contain differences in unit area and deck square footages.
2. Refer to sheet G-1.0 for all square footages.
3. Typical window locations shown. Refer to elevations for variations.



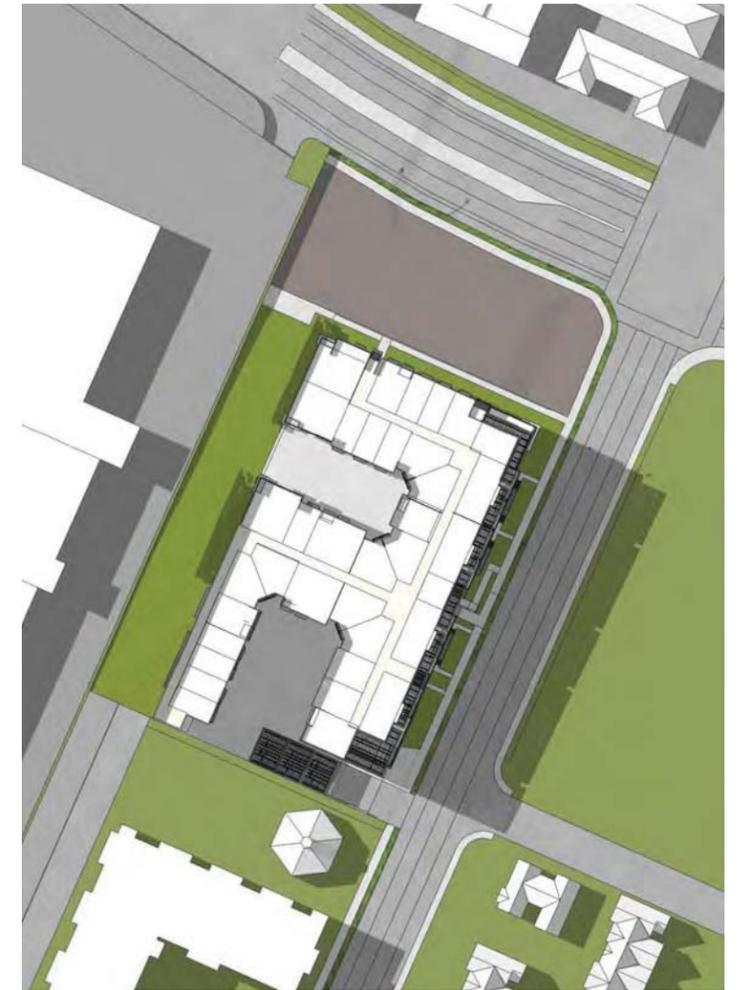
1| JUNE 21 AT 9:00 AM



2| JUNE 21 AT 12:00 PM



3| JUNE 21 AT 2:00 PM



4| JUNE 21 AT 5:00 PM



1| DECEMBER 21 AT 9:00 AM



2| DECEMBER 21 AT 12:00 PM

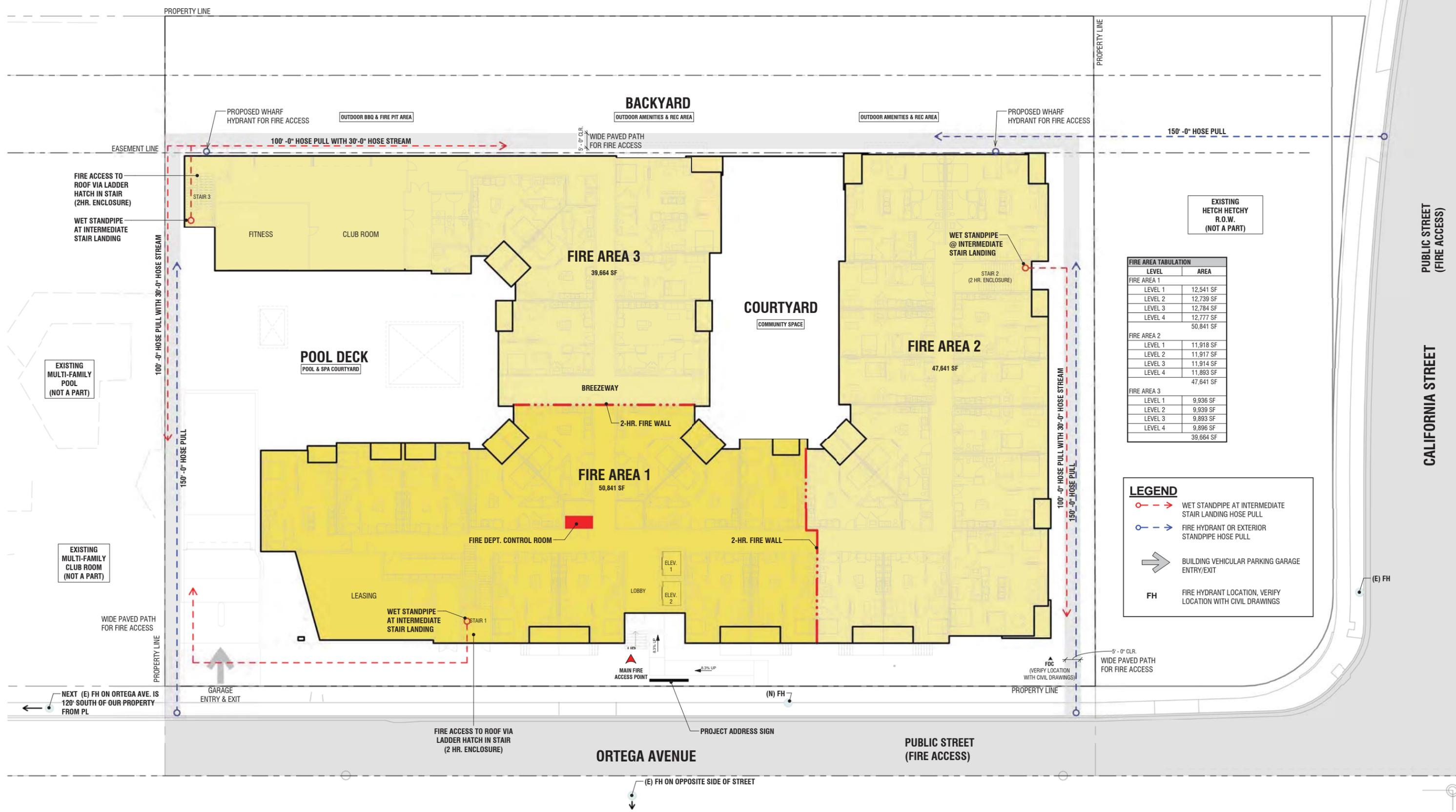


3| DECEMBER 21 AT 2:00 PM



4| DECEMBER 21 AT 4:00 PM

EXISTING TARGET SITE
(NOT A PART)



FIRE AREA TABULATION	
LEVEL	AREA
FIRE AREA 1	
LEVEL 1	12,541 SF
LEVEL 2	12,739 SF
LEVEL 3	12,784 SF
LEVEL 4	12,777 SF
50,841 SF	
FIRE AREA 2	
LEVEL 1	11,918 SF
LEVEL 2	11,917 SF
LEVEL 3	11,914 SF
LEVEL 4	11,893 SF
47,641 SF	
FIRE AREA 3	
LEVEL 1	9,936 SF
LEVEL 2	9,939 SF
LEVEL 3	9,893 SF
LEVEL 4	9,896 SF
39,664 SF	

LEGEND

- WET STANDPIPE AT INTERMEDIATE STAIR LANDING HOSE PULL
- FIRE HYDRANT OR EXTERIOR STANDPIPE HOSE PULL
- BUILDING VEHICULAR PARKING GARAGE ENTRY/EXIT
- FH** FIRE HYDRANT LOCATION, VERIFY LOCATION WITH CIVIL DRAWINGS



EXTERIOR PLASTER
(SOLID, VARIOUS COLORS)

EXTERIOR PLASTER
(PATTERNED SCREED)

SMOOTH CONCRETE

FIBER CEMENT PANEL

FIBER CEMENT SIDING

COMPOSITE WOOD SIDING



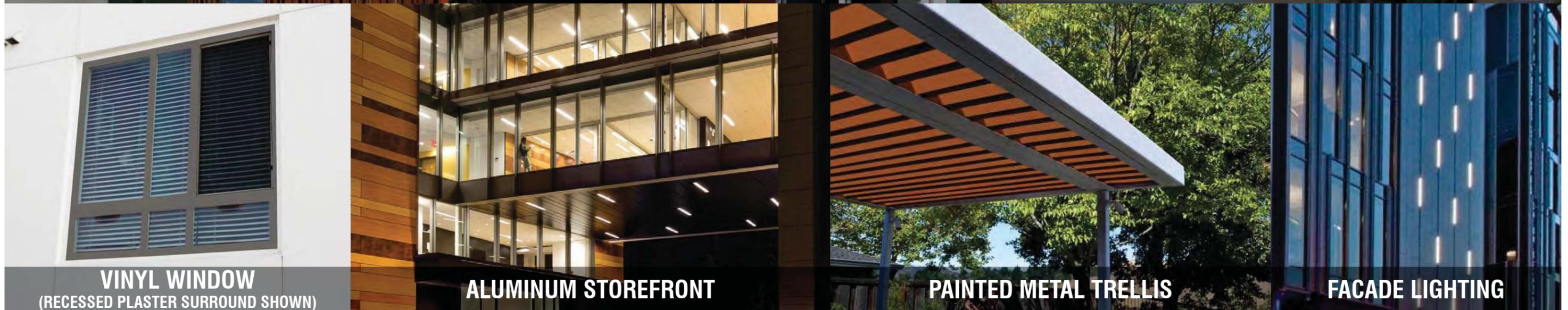
GLASS RAILING

DECORATIVE METAL RAILING

METAL PICKET RAILING

METAL AWNING/FRAME WITH COMPOSITE WOOD

METAL AWNING/SUN SHADE

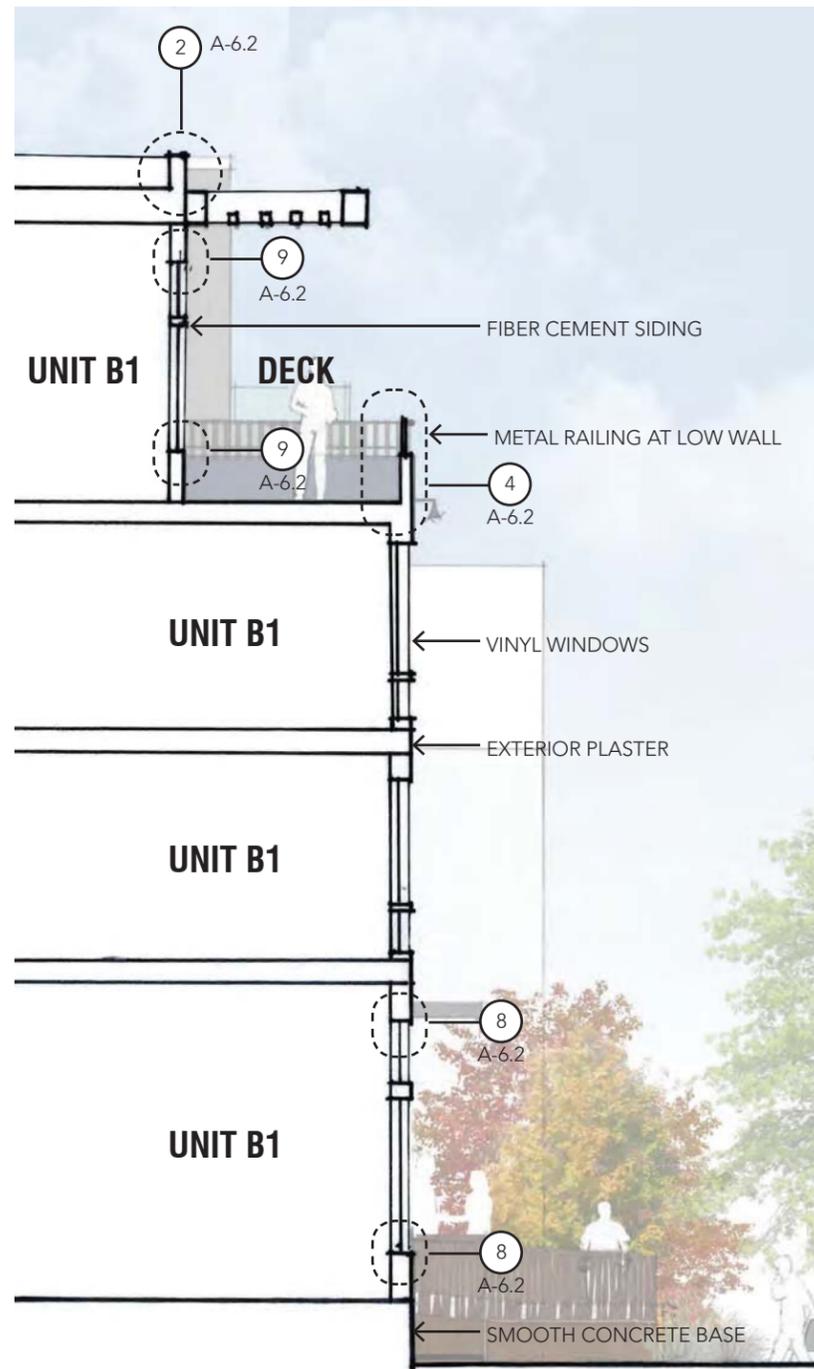


VINYL WINDOW
(RECESSED PLASTER SURROUND SHOWN)

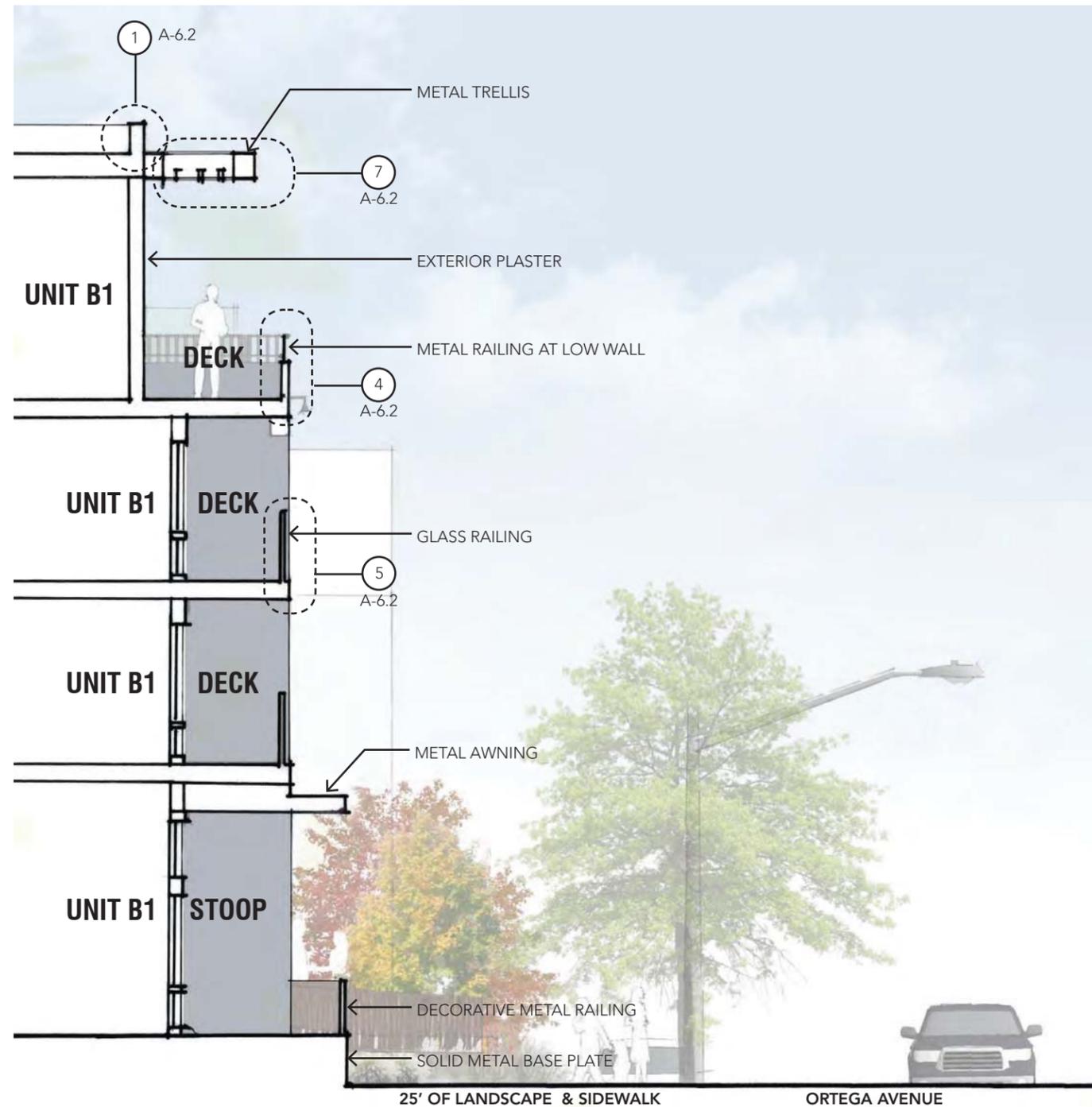
ALUMINUM STOREFRONT

PAINTED METAL TRELLIS

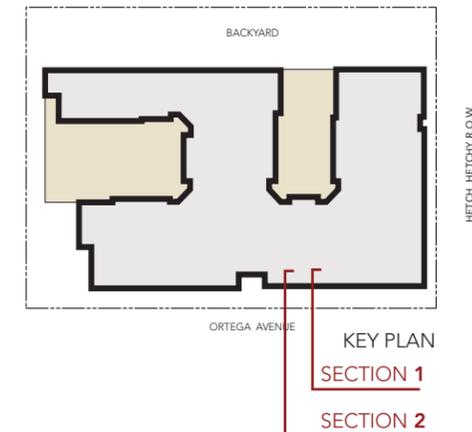
FACADE LIGHTING

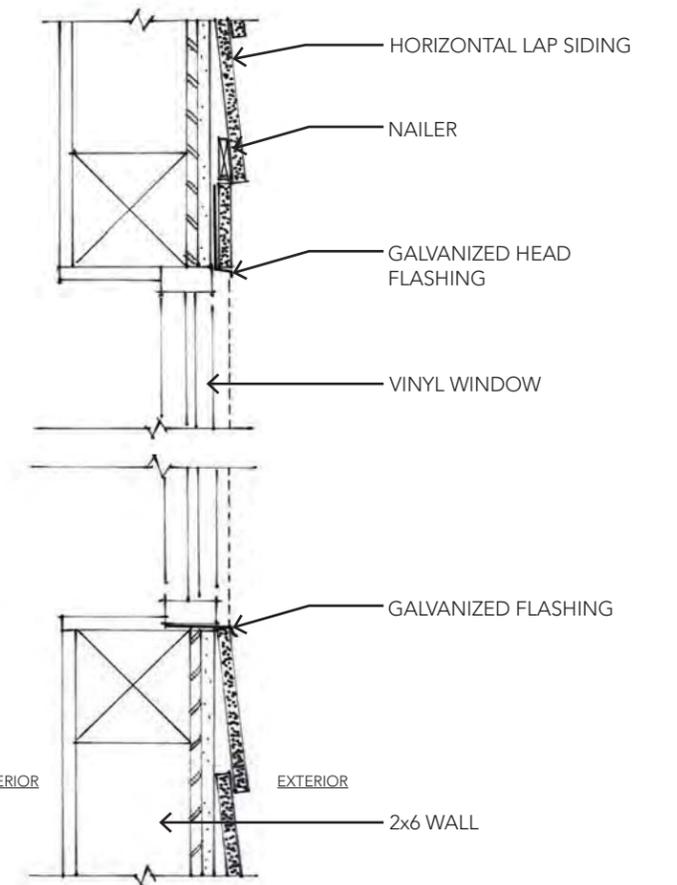
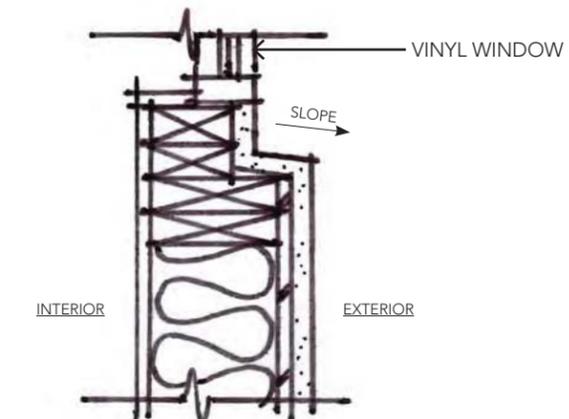
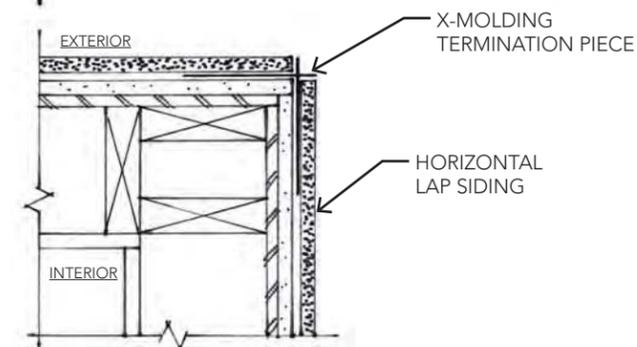
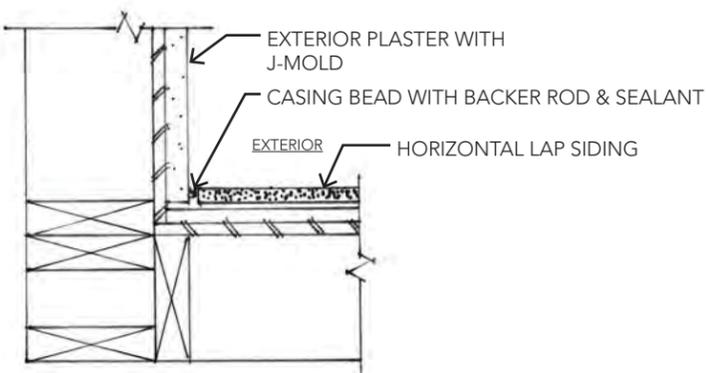
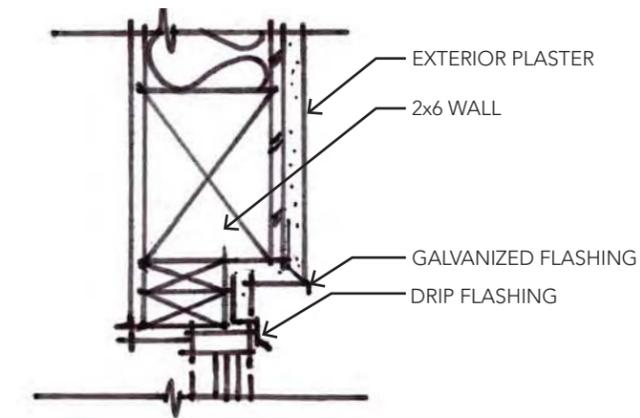
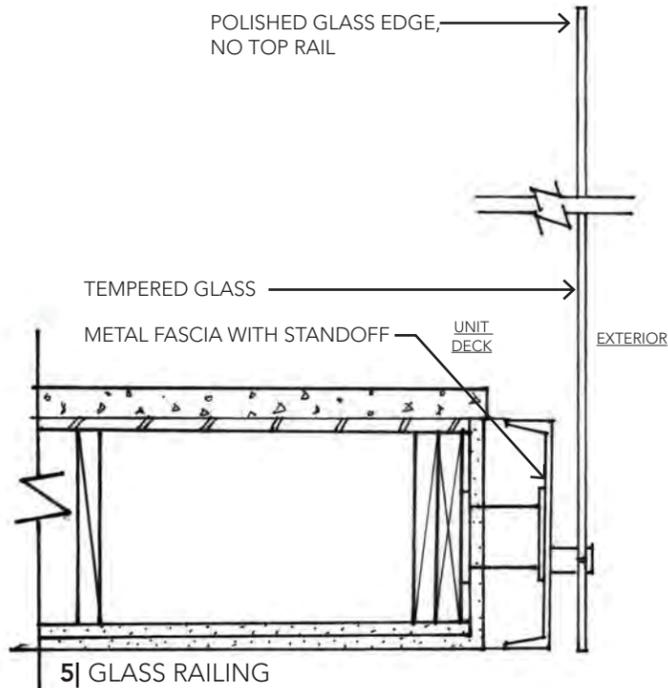
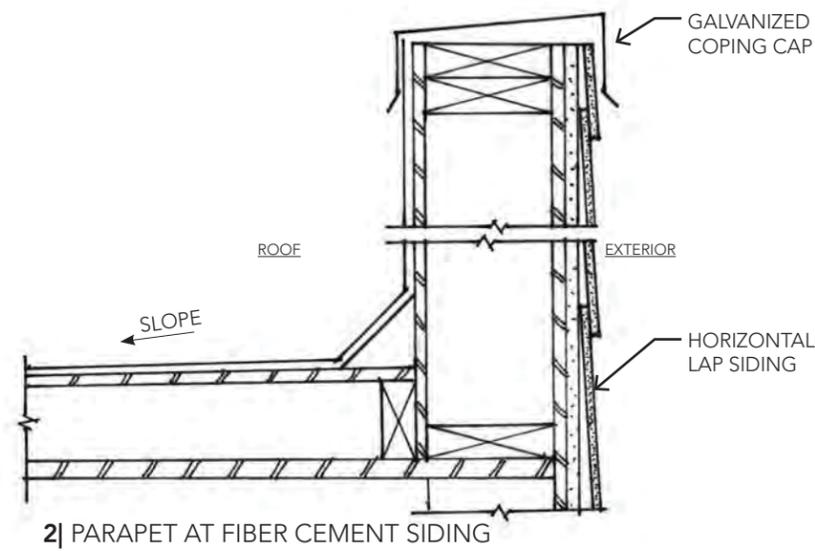
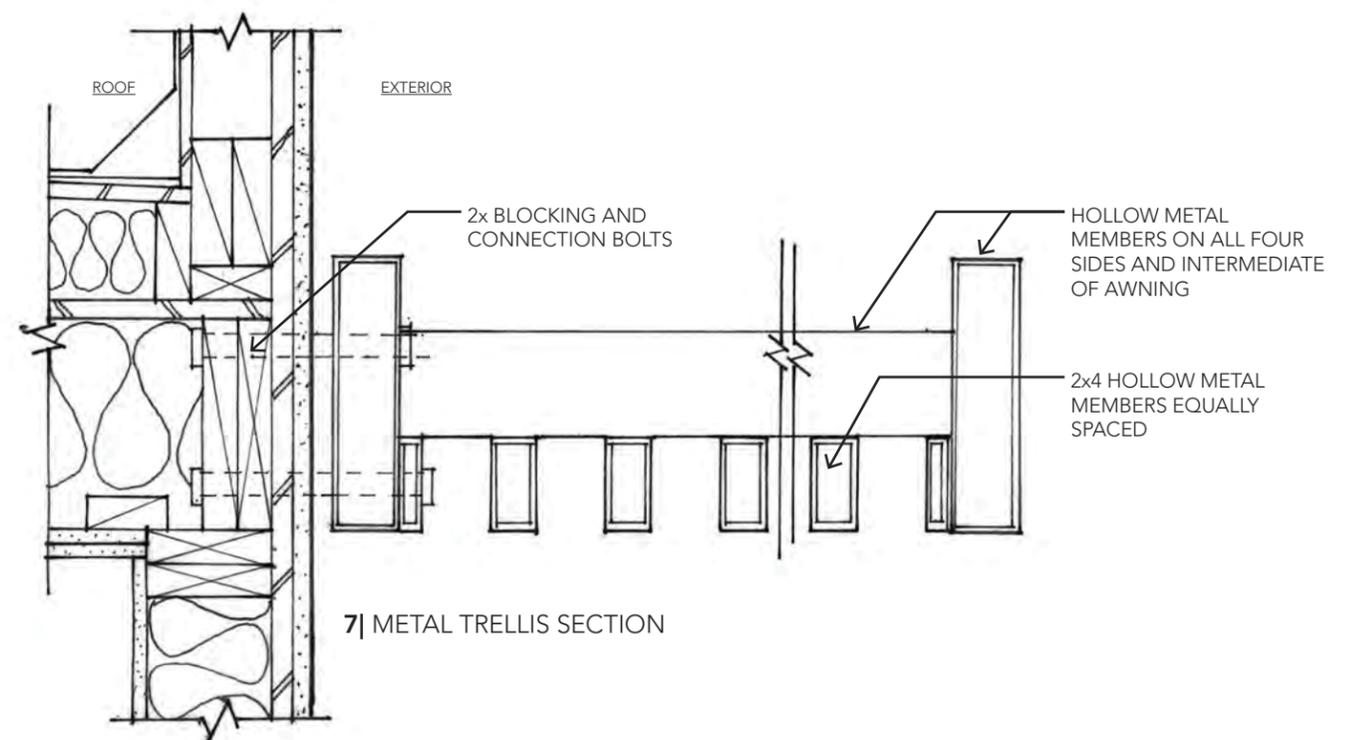
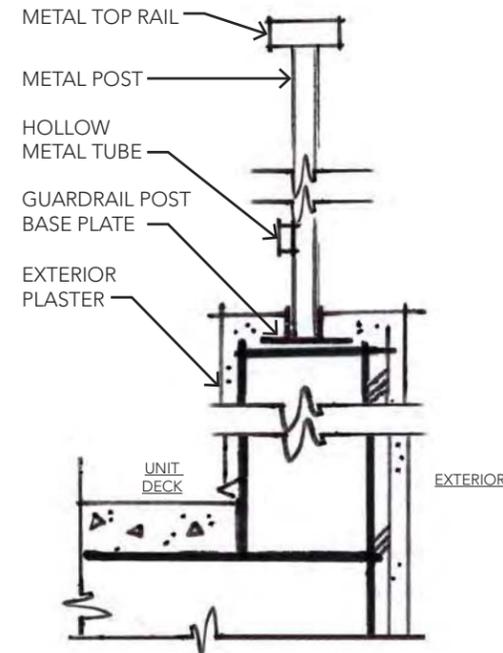
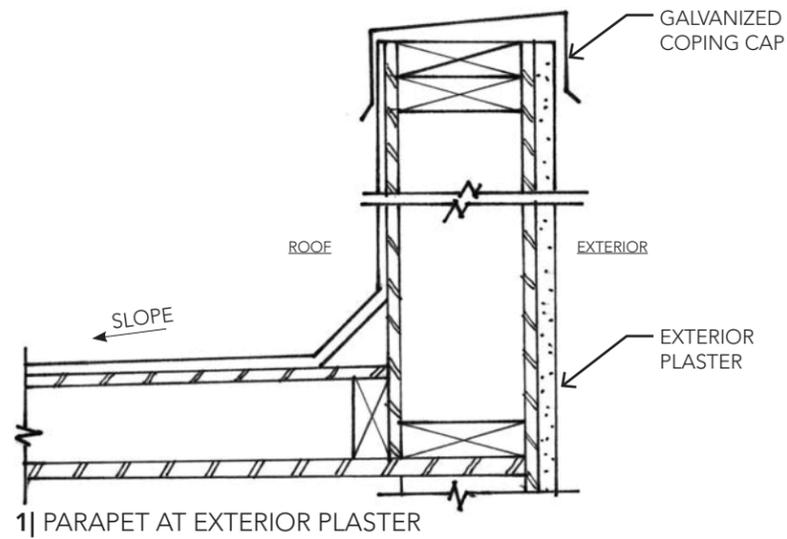


1| SECTION 1



2| SECTION 2



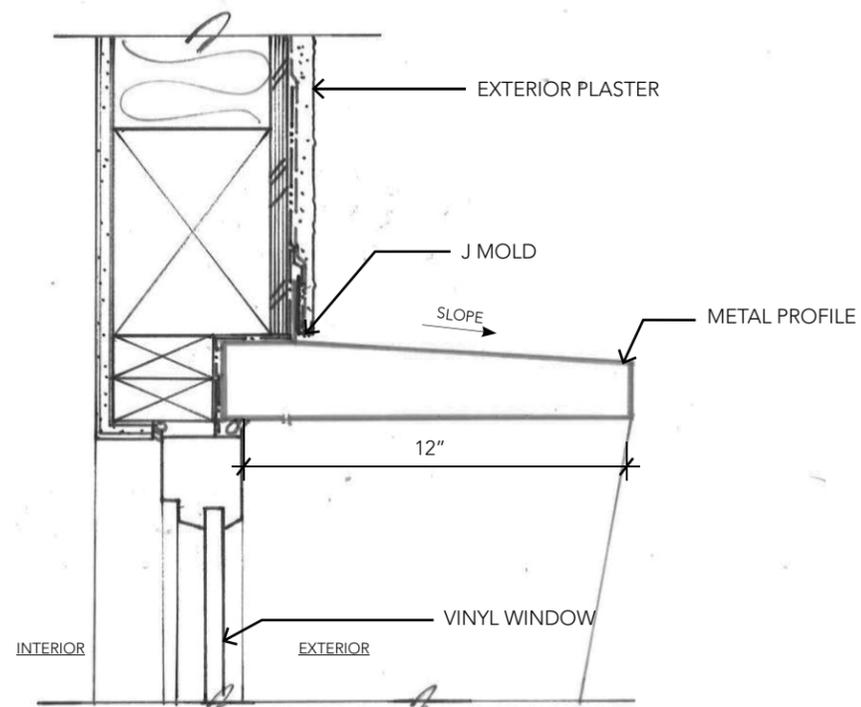


3] INSIDE CORNER TRANSITION - EXTERIOR PLASTER TO FIBER CEMENT SIDING

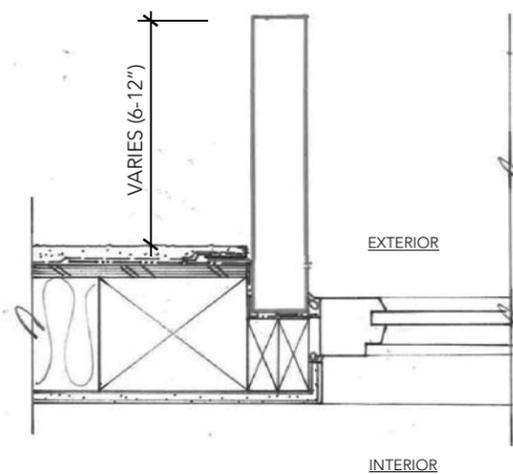
6] OUTSIDE CORNER AT FIBER CEMENT SIDING

8] TYPICAL RECESSED WINDOW HEAD & SILL AT EXTERIOR PLASTER

9] TYPICAL FLUSH WINDOW HEAD & SILL AT FIBER CEMENT SIDING (CONDITION AT FIBER CEMENT PANEL IS SIMILAR)



10| METAL FIN AT HEAD (EXTERIOR PLASTER)

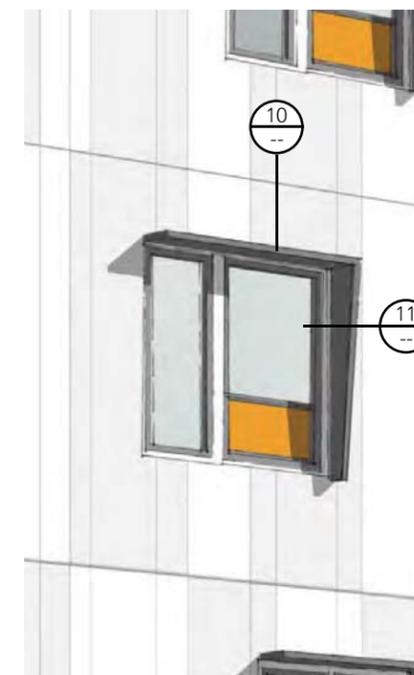


REFER TO DETAIL 10/- FOR ADDITIONAL INFORMATION NOT SHOWN.

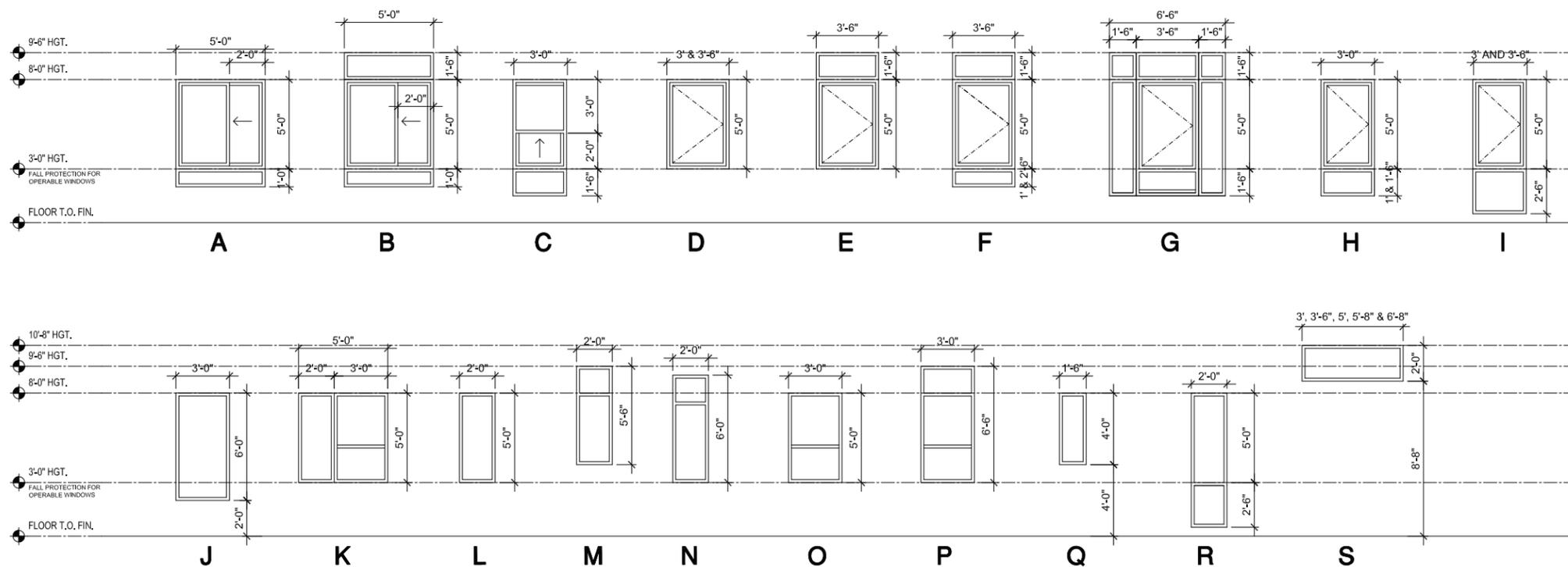
11| METAL FIN AT JAMB (EXTERIOR PLASTER)



12A| WINDOW ELEVATION (WEST ELEVATION)



12B| WINDOW PERSPECTIVE



13| SCHEMATIC WINDOW SCHEDULE



14| METAL FIN PRECEDENT IMAGERY
(SIMILAR AESTHETIC BUT EXTERIOR WALL MATERIAL & FULL SURROUND METAL FRAME DIFFER FROM PROPOSED DESIGN PER DETAIL 12B/-)

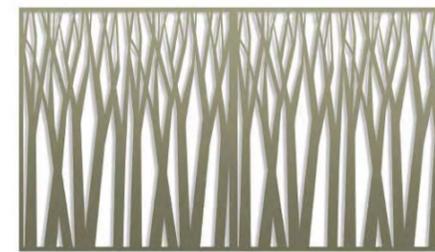


INTERIOR FINISH: WHITE



EXTERIOR FINISH: ESPRESSO

15| VINYL WINDOW FINISH
(MANUFACTURER TBD)



PATTERN "C27"



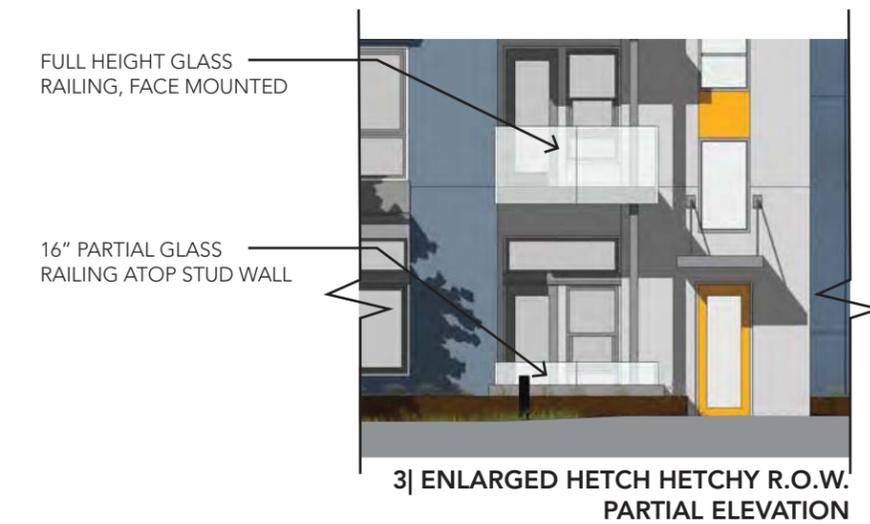
DECORATIVE METAL RAILING FROM BOK MODERN. PRODUCT SAMPLE & SELECTED PATTERN "C27" PICTURED ABOVE.

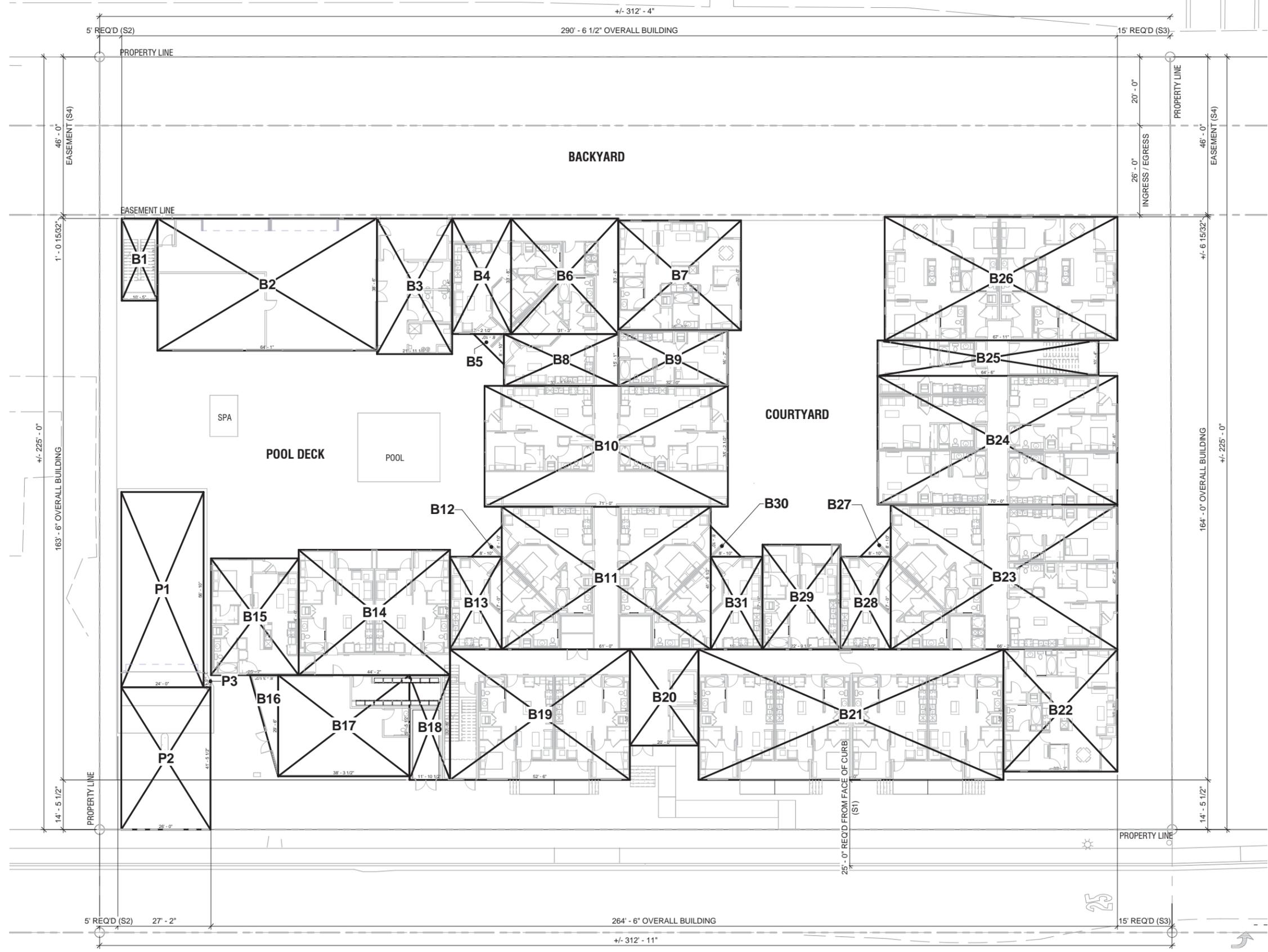


GLASS RAILING, SIMILAR



METAL PICKET RAILING





TOTAL SITE AREA: 70,350 SF

SETBACKS:
 S1 - ORTEGA AVE. (NOTE ON PLAN, REQ'D FOR OPEN SPACE ONLY)
 S2 - INTERIOR SIDE YARD (NOTE ON PLAN, REQ'D FOR FIRE ACCESS ONLY)
 S3 - HETCH HETCHY R.O.W. (NOTE ON PLAN - VARIES)
 S4 - EASEMENT (NOTE ON PLAN)

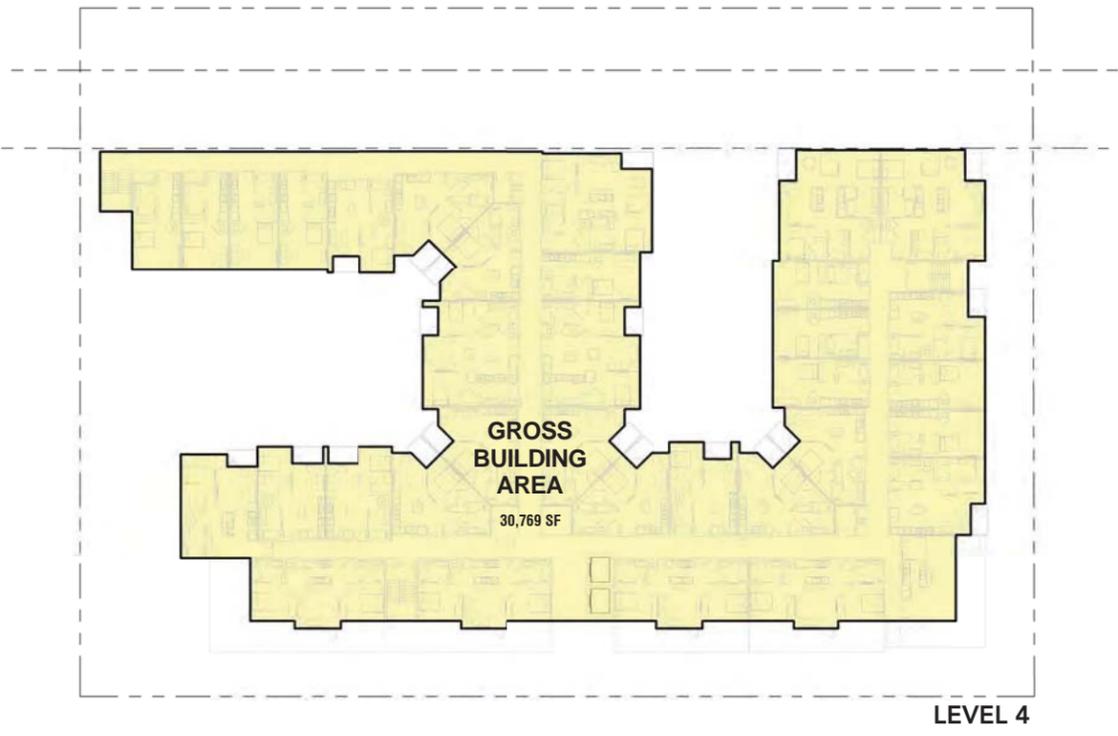
BUILDING COVERAGE			
CATEGORY NAME	LENGTH	WIDTH	AREA
B1	23' - 11 1/2"	10' - 5"	250 SF
B2	38' - 6"	64' - 1"	2,466 SF
B3	39' - 6"	21' - 11 1/2"	867 SF
B4	33' - 8"	17' - 2 1/2"	579 SF
B5	8' - 10"	8' - 10"	39 SF
B6	33' - 8"	31' - 3"	1,052 SF
B7	32' - 0"	35' - 10"	1,147 SF
B8	15' - 1"	33' - 4 1/2"	503 SF
B9	16' - 2"	32' - 0"	517 SF
B10	35' - 2 1/2"	71' - 0"	2,500 SF
B11	41' - 6 1/2"	61' - 0"	2,534 SF
B12	8' - 10"	8' - 10"	39 SF
B13	27' - 0"	15' - 1"	407 SF
B14	38' - 6"	44' - 2"	1,612 SF
B15	34' - 0"	25' - 7"	870 SF
B16	29' - 6"	8' - 3 1/2"	122 SF
B17	29' - 5 1/2"	38' - 3 1/2"	1,129 SF
B18	30' - 6"	11' - 10 1/2"	362 SF
B19	38' - 0"	52' - 6"	1,995 SF
B20	28' - 0"	20' - 0"	560 SF
B21	38' - 0"	89' - 0"	3,382 SF
B22	35' - 7"	33' - 3"	1,183 SF
B23	42' - 2"	66' - 2"	2,790 SF
B24	37' - 6"	70' - 0"	2,625 SF
B25	10' - 4"	64' - 6"	666 SF
B26	36' - 0"	67' - 11"	2,445 SF
B27	8' - 10"	8' - 10"	39 SF
B28	27' - 0"	14' - 7 1/2"	395 SF
B29	30' - 6"	22' - 9 1/2"	695 SF
B30	8' - 10"	8' - 10"	39 SF
B31	27' - 0"	15' - 1"	407 SF
TOTAL			34,217 SF

% OF BUILDING COVERAGE		
TOTAL SITE AREA	BUILDING COVERAGE	% OF SITE COVERAGE
70,350 SF	34,217 SF	48.64%

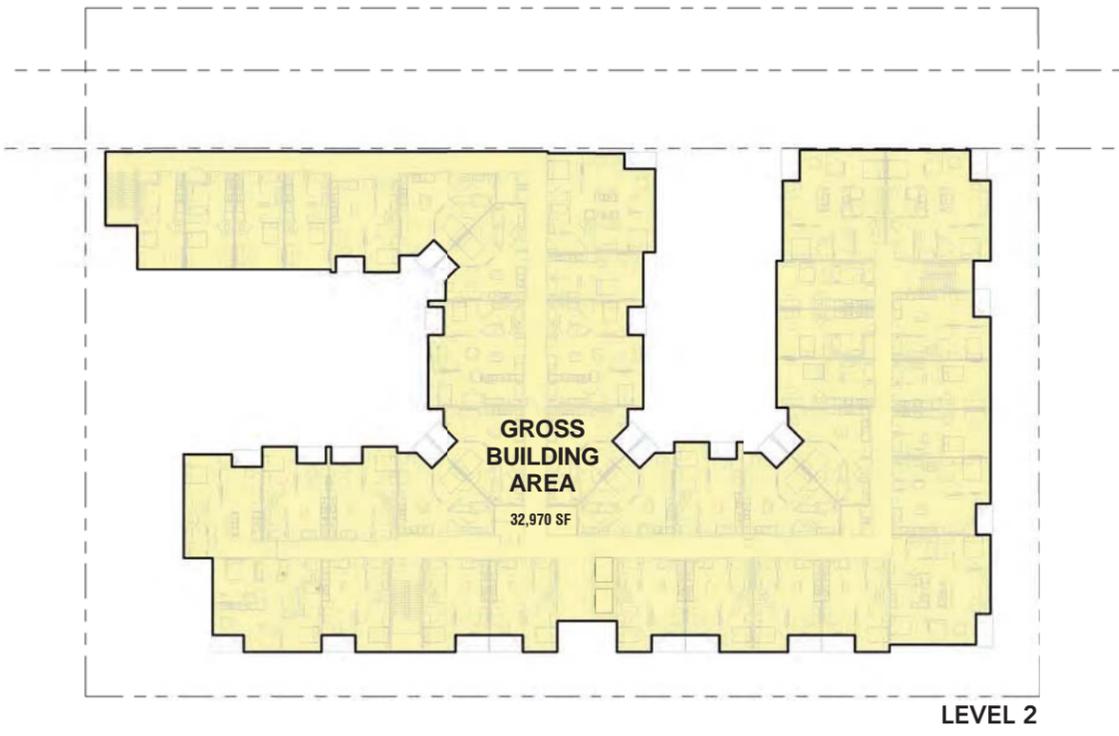
PAVING COVERAGE			
CATEGORY NAME	LENGTH	WIDTH	AREA
P1	56' - 10"	24' - 0"	1,364 SF
P2	41' - 5 1/2"	26' - 0"	1,077 SF
P3	3' - 5 1/2"	2' - 0"	3 SF
TOTAL			2,445 SF

% OF PAVING COVERAGE		
TOTAL SITE AREA	PAVING COVERAGE	% OF SITE COVERAGE
70,350 SF	2,445 SF	3.48%

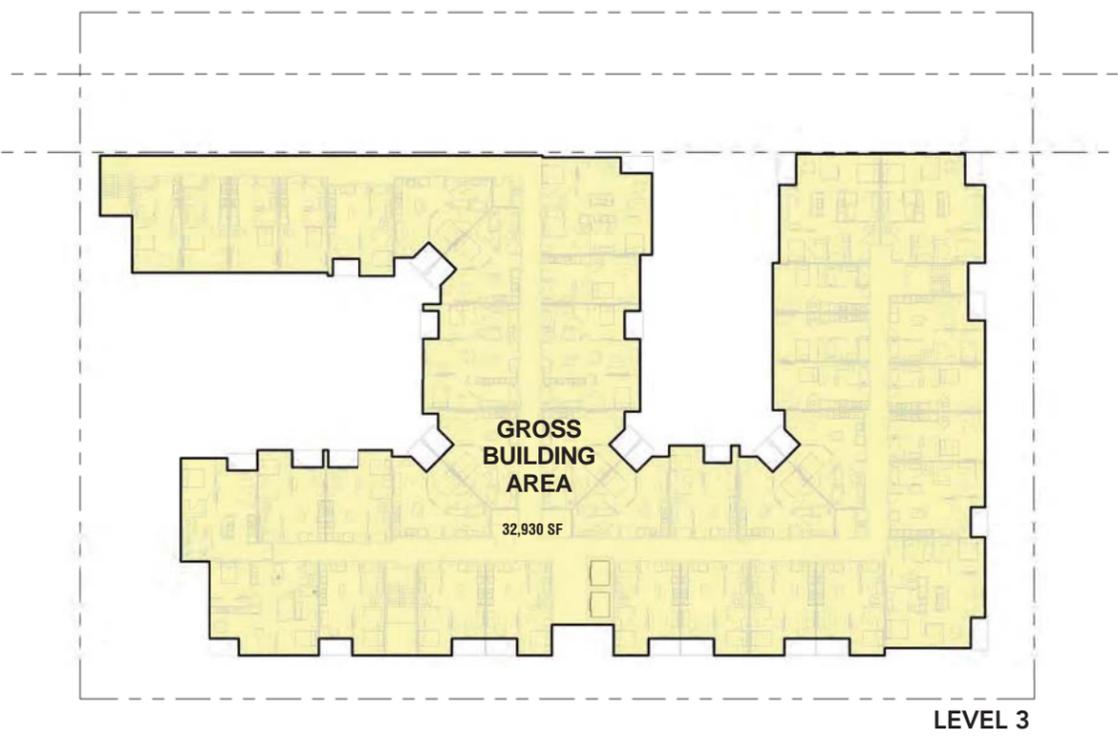
% OF OPEN AREA / LANDSCAPING			
TOTAL SITE AREA	BUILDING AND PAVING AREA	OPEN AREA / LANDSCAPING	% OF SITE COVERAGE
70,350 SF	36,662 SF	33,688 SF	47.89%



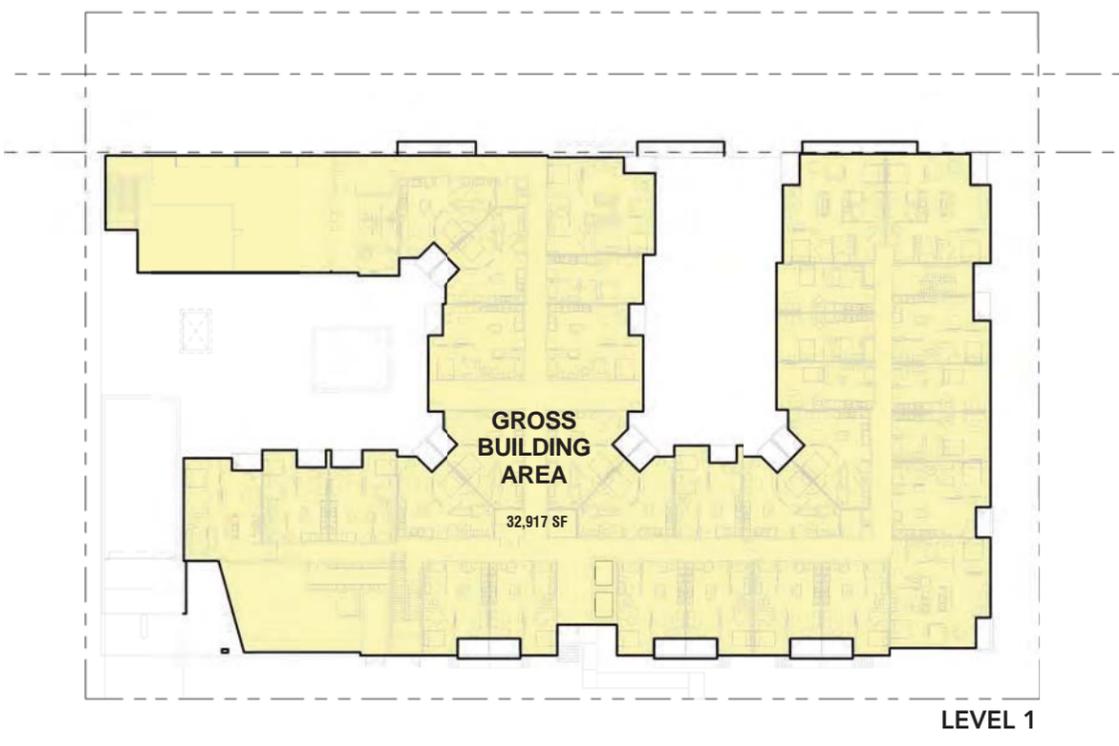
LEVEL 4



LEVEL 2



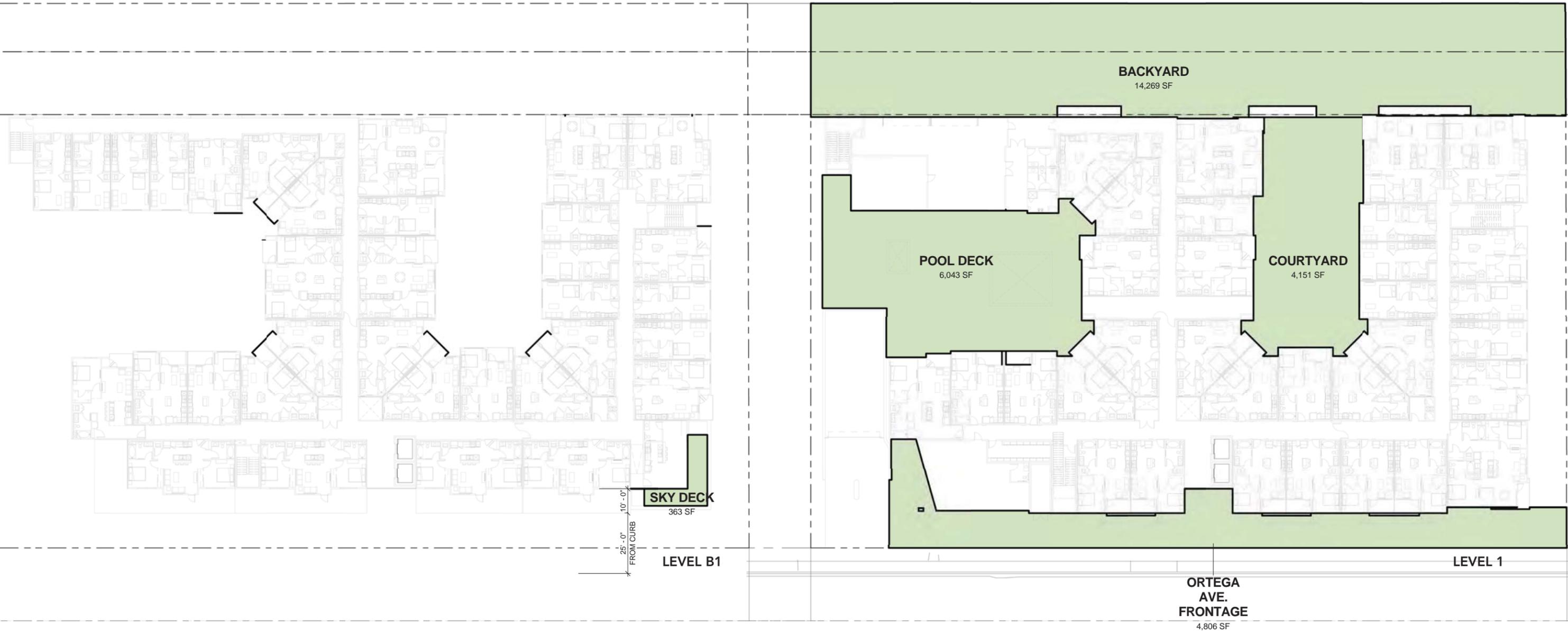
LEVEL 3



LEVEL 1

GROSS BUILDING AREA	
LEVEL	AREA
LEVEL 1	32,917 SF
LEVEL 2	32,970 SF
LEVEL 3	32,930 SF
LEVEL 4	30,769 SF
TOTAL	129,586 SF

FLOOR AREA RATIO
1.842



COMMON USABLE OPEN SPACE	
Name	Area
SKY DECK	363 SF
COURTYARD	4,151 SF
ORTEGA AVE. FRONTAGE	4,806 SF
POOL DECK	6,043 SF
BACKYARD	14,269 SF
TOTAL	29,632 SF



PAVING KEY

-  pedestrian and vehicular concrete medium release finish
-  pedestrian pavers 12 x 24 with light shotblast finish
-  porcelain wood tile
-  vehicular linear concrete pavers
-  synthetic turf
-  stabilized decomposed granite



FIREPIT LOUNGE

- firepit
- decomposed granite paving
- adirondack chairs

OUTDOOR CLUBROOM

- outdoor kitchen
 - pizza oven
 - low fireplace
- communal seating
- lounge furniture
- festival lights
- frame overhead to match
- specimen oak tree

SPA TERRACE

- spa with seat wall
- chaise lounge chairs
- fireplace lounge

BACKYARD
SEE SHEET L4.0

PAVING KEY

- pedestrian and vehicular concrete medium release finish
- pedestrian pavers 12 x 24 with light shotblast finish
- porcelain wood tile
- vehicular linear concrete pavers
- synthetic turf
- stabilized decomposed granite

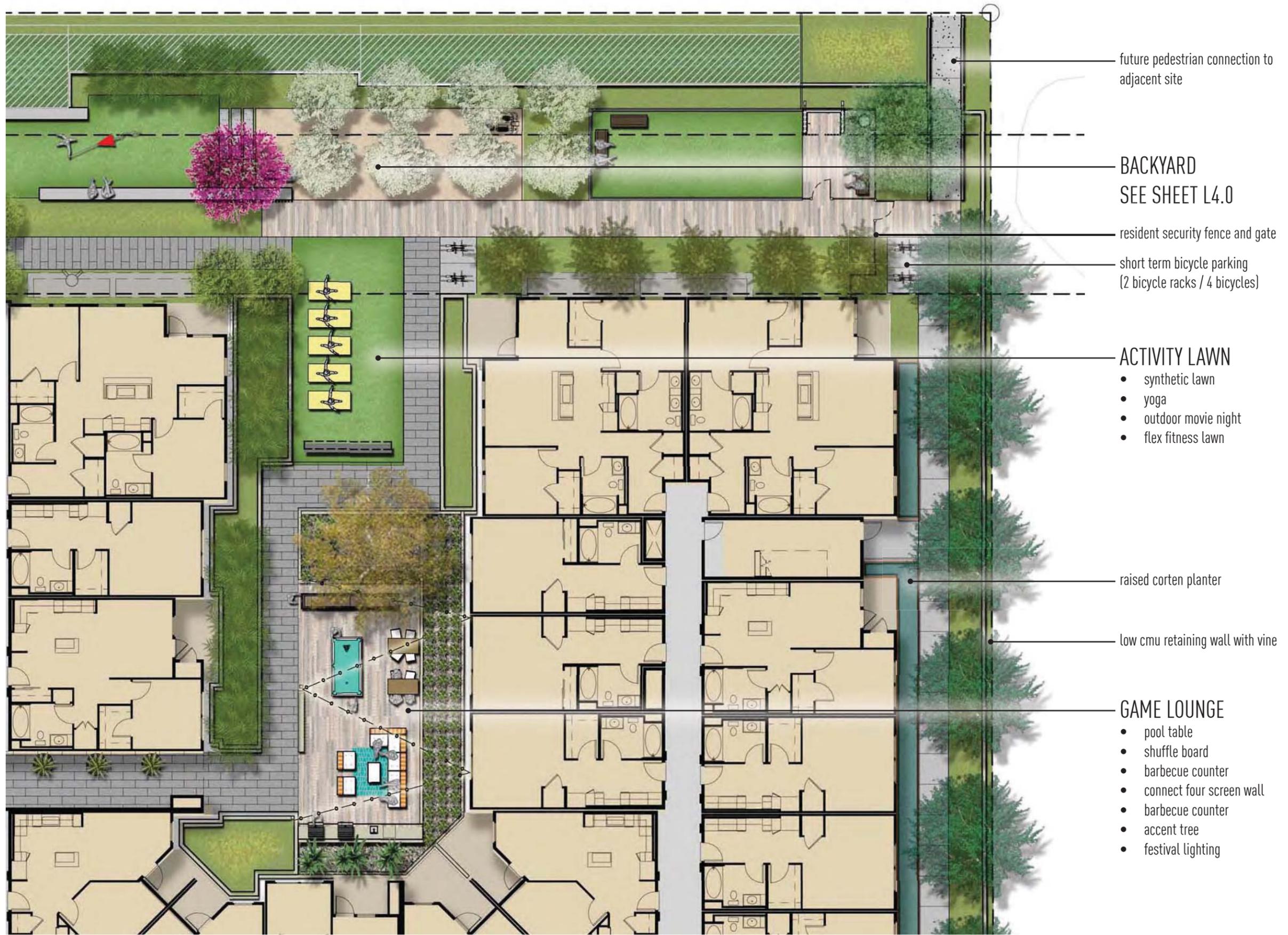
POOL DECK

- 16' x 24' pool
- cabanas
- communal seating
- chaise lounge chairs
- barbecue counter



PAVING KEY

-  pedestrian and vehicular concrete medium release finish
-  pedestrian pavers 12 x 24 with light shotblast finish
-  porcelain wood tile
-  vehicular linear concrete pavers
-  synthetic turf
-  stabilized decomposed granite



future pedestrian connection to adjacent site

BACKYARD
SEE SHEET L4.0

resident security fence and gate

short term bicycle parking
(2 bicycle racks / 4 bicycles)

ACTIVITY LAWN

- synthetic lawn
- yoga
- outdoor movie night
- flex fitness lawn

raised corten planter

low cmu retaining wall with vine

GAME LOUNGE

- pool table
- shuffle board
- barbecue counter
- connect four screen wall
- barbecue counter
- accent tree
- festival lighting

GREAT LAWN

- lawn darts
- croquet
- corn hole
- seatwalls
- synthetic lawn

PING PONG PAVILIONS

- overhead structures
- ping pong

PAVING KEY

- pedestrian and vehicular concrete medium release finish
- pedestrian pavers 12 x 24 with light shotblast finish
- porcelain wood tile
- vehicular linear concrete pavers
- synthetic turf
- stabilized decomposed granite

FIT LOT

- outdoor fitness equipment
- shade trees
- decomposed granite paving

DOG LAWN

- synthetic lawn
- dog wash

future pedestrian connection to adjacent site



short term bicycle parking
(2 bicycle racks / 4 bicycles)

resident security fence and gate

WATER BUDGET CALCULATION

- per City Of Mountain View Guidelines

Maximum Applied Water Allowance

$$\text{MAWA} = (ET_o) \times (.62) \times (.70) \times (\text{Landscape Area})$$
$$\text{Site Landscape MAWA} = (43.0 \times .62 \times .70 \times 15,313 \text{ s.f.}) = \boxed{285,771 \text{ gal./yr.}}$$

Estimated Total Water Use

$$\text{EWU} = (ET_o \times 0.62) \times \left(\frac{\text{Plant Factor} \times \text{Hydrozone Area}}{\text{Irrigation Efficiency (min. 70\%)}} \right)$$

$$\text{Hydrozone 1 - North \& East Exposures} = (43.0 \times 0.62) \times \left(\frac{0.50 \times 5,110 \text{ s.f.}}{\text{Irrigation Efficiency (81\%)}} \right) = 74,094 \text{ gal./yr.}$$

Sub-Surface Drip Irrigation

$$\text{Hydrozone 2 - South \& West Exposures} = (43.0 \times 0.62) \times \left(\frac{0.30 \times 5,562 \text{ s.f.}}{\text{Irrigation Efficiency (81\%)}} \right) = 54,919 \text{ gal./yr.}$$

Sub-Surface Drip Irrigation

$$\text{Hydrozone 3 - Water Quality Basins} = (43.0 \times 0.62) \times \left(\frac{0.50 \times 2,180 \text{ s.f.}}{\text{Irrigation Efficiency (75\%)}} \right) = 37,495 \text{ gal./yr.}$$

Spray Irrigation

$$\text{Hydrozone 3 - Water Quality Basins} = (43.0 \times 0.62) \times \left(\frac{0.50 \times 2,461 \text{ s.f.}}{\text{Irrigation Efficiency (81\%)}} \right) = 39,193 \text{ gal./yr.}$$

Sub-Surface Drip Irrigation

$$\text{Total E.W.U.} = \boxed{207,172 \text{ gal./yr.}}$$

ENVIRONMENTAL SAFETY NOTES

LANDSCAPE DESIGN SHALL MINIMIZE RUNOFF AND PROMOTE SURFACE FILTRATION.

THE FOLLOWING MEASURES ARE USED:

- NO STEEP SLOPES PROPOSED FOR THE SITE
- 3" THICK LAYER OF WOOD MULCH PROPOSED IN ALL PLANTING AREAS
- PLANT MATERIAL WILL HAVE A MIX OF MODERATE AND LOW WATER REQUIREMENTS.
- PLANTS WILL BE ZONED BY HYDROZONES AND WATER REQUIREMENTS

EFFICIENT IRRIGATION SHALL EMPLOY EFFICIENT IRRIGATION TO AVOID EXCESS IRRIGATION RUNOFF.

THE FOLLOW MEASURES ARE USED:

- IRRIGATION TO BE MOSTLY DRIP EMITTER TUBING WITH LOW VOLUME EMITTERS TO PREVENT RUNOFF. IRRIGATION CONTROLLER TO BE PROGRAMMED WITH APPROPRIATE RUN TIME TO AVOID RUNOFF.
- MULTI-PROGRAMMABLE IRRIGATION CONTROLLERS WITH RAIN SHUTOFF DEVICES USE.
- DRIP IRRIGATION WILL BE USED ON ALL PLANTING AREAS EXCEPT WATER QUALITY BASINS.
- FLOW SENSOR WILL BE INSTALLED.

PLANTING CONCEPT STATEMENT:

PLANT MATERIALS IS SELECTED FOR THEIR WATER CONSERVATION QUALITIES, LOW MAINTENANCE and ADAPTED TO THE LOCAL CLIMATE.

THE PRELIMINARY LANDSCAPE PLANS INDICATE FOUR HYDROZONES BASED ON EXPOSURES(SUN AND SHADE) AND CONDITIONS. FURTHER DETAILED PLANTING PLANS will be REFINED and EXPANDED BASED ON NUANCES in the BUILDING DESIGN AND EXPOSURES. PER CHAPTERS 6-10 OF CITY OF MOUNTAIN VIEW WATER CONSERVATION IN LANDSCAPING REGULATIONS

THE PLANTING SCHEME EMPHASIZES FORM, LEAF TEXTURE and FOLIAGE COLOR IN AN ARRANGEMENT OF LARGE BROAD MASSINGS. PLANT SPECIES with UNIQUE CHARACTERISTICS USED SINGULARLY WILL CREATE FOCAL POINTS and POINTS OF INTEREST.

WATER EFFICIENT LANDSCAPING - CITY OF MOUNTAIN VIEW

THE LANDSCAPING AND IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS OF THE CITY OF MOUNTAIN VIEW WATER CONSERVATION IN LANDSCAPE REGULATIONS. UPON COMPLETION OF FINAL LANDSCAPE CONSTRUCTION DOCUMENTS, A COMPLETED WATER EFFICIENT DESIGN AND MAINTENANCE CHECKLIST WILL BE PROVIDED TO DEMONSTRATE COMPLIANCE WITH THE CITY OF MOUNTAIN VIEW REGULATIONS. ALL IRRIGATION SHALL BE PER THE CITY OF MOUNTAIN VIEW WATER CONSERVATION IN LANDSCAPING REGULATIONS AND OTHER APPLICABLE CITY LANDSCAPE GUIDELINES.

IRRIGATION WATER CONSERVATION FEATURES

THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:

1. INSTALLATION OF AUTOMATIC 'SMART' IRRIGATION CONTROLLER WITH RAIN-SENSOR AND WEATHER TRACK.
2. THE USE OF LOW PRECIPITATION/LOW ANGLE IRRIGATION SPRAY HEADS.
3. THE USE OF LOW WATER CONSUMING PLANTS.
4. SOIL AMENDMENT TO ACHIEVE GOOD SOIL MOISTURE RETENTION.
5. MULCHING TO REDUCE EVAPOTRANSPIRATION FROM THE ROOT ZONE. (3" THICK)

CITY RELATED NOTES

THE LANDSCAPE PLAN IS CONSISTENT WITH LANDSCAPE REGULATIONS.

THE LANDSCAPE DESIGN IS COMPLIANT WITH BAY-FRIENDLY LANDSCAPE GUIDELINES FOR SUSTAINABLE PRACTICES

SHRUB LEGEND, CONTINUED			
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS
ON-GRADE SMALL SHRUBS			
	CAREX TESTACEA ORANGE COLORED SEDGE	1 GAL.	MED.
	ESCALLONIA 'NEWPORT DWARF' ESCALLONIA	5 GAL.	MED.
	FESTUCA GLAUCA BLUE FESCUE	1 GAL.	MED.
	HEMEROCALLIS HYBRIDS DAYLILY	1 GAL.	MED.
	HEUCHERA SPP. CORAL BELLS	1 GAL.	MED.
	PHILODENDRON XANADU DWARF PHILODENDRON	5 GAL.	MED.
	ROSMARINUS PROSTRATUS PROSTRATE ROSEMARY	1 GAL.	LOW
	PARKWAY PLANTING - WITH 4'W x 4'L D.G. STEP OUT 15' O.C.		
	ALOE STRIATA HYBRID HYBRID CORAL ALOE	5 GAL.	LOW
	FESTUCA GLAUCA BLUE FESCUE	1 GAL.	MED.
	ROSMARINUS PROSTRATUS PROSTRATE ROSEMARY	1 GAL.	LOW
C3 BIORETENTION AREAS			
	MAGONIA REPENS CREEPING MAHONIA	1 GAL.	LOW
	DIETES VEGETA FORTNIGHT LILY	5 GAL.	MED.
	PITTOSPORUM TOBIRA PITTOSPORUM	5 GAL.	MED.
	RHUS INTEGRIFOLIA LEMONADE BERRY	5 GAL.	MED.

SHRUB LEGEND (ON GRADE / ON PODIUM)			
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS
	AGAVE ATTENUATA 'NOVA' FOXTAIL AGAVE	15 GAL.	LOW
	FEIJOA SELLOWIANA PINEAPPLE GUAVA	15 GAL.	MED.
	PITTOSPORUM 'SILVER SHEEN' SILVER SHEEN PITTOSPORUM	15 GAL.	MED.
	PITTOSPORUM TOBIRA PITTOSPORUM	5 GAL.	MED.
	VIBURNUM 'SPRING BOUQUET' VIBURNUM	5 GAL.	MED.
	WESTRINGIA 'SMOKEY' COAST ROSEMARY	5 GAL.	LOW
	ON-GRADE MEDIUM SHRUBS		
	ALOE STRIATA HYBRID HYBRID CORAL ALOE	5 GAL.	LOW
	CALLISTEMON 'LITTLE JOHN' DWARF CALLISTEMON	5 GAL.	MED.
	DIANELLA VARIEGATA VARIEGATED FLAX LILY	1 GAL.	MED.
	DIETES VEGETA FORTNIGHT LILY	5 GAL.	MED.
	ESCALLONIA RUBRA 'WILLIAM WILSON' ESCALLONIA	5 GAL.	MED.
	GREVELLIA ROSMARIFOLIA GREVELLIA	5 GAL.	LOW
	LOMANDRA 'BREEZE' LOMANDRA	1 GAL.	MED.
	PHORMIUM TENAX 'DAZZLER' NEW ZEALAND FLAX	5 GAL.	MED.

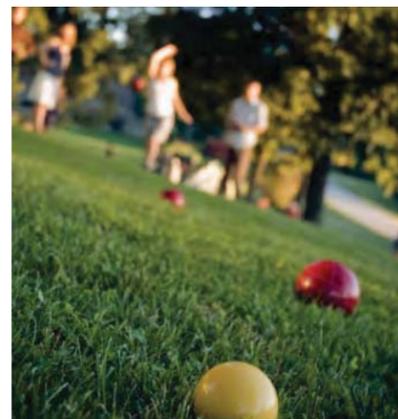
TREE LEGEND (ON PODIUM)			
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS
ON-PODIUM ACCENT TREE			
	ACER PALMATUM JAPANESE MAPLE - MULTI	24" BOX	MED.
	BETULA NIGRA RIVER BIRCH	24" BOX	MED.
	CERCIS 'FOREST PANSY' EASTERN REDBUD	24" BOX	LOW
	DRACAENA DRACO DRAGON TREE	24" BOX	LOW
	OLEA 'SWAN HILL' FRUITLESS OLIVE	48" BOX	LOW
ON-PODIUM EVERGREEN TREE			
	AGONIS FLEXUOSA AUSTRALIAN WILLOW	36" BOX	LOW
	BAMBUSA OLDHAMII TIMBER BAMBOO	24" BOX	MED.
	TRISTANIA LAURINA BRISBANE BOX	24" BOX	MED.

LEGEND	
	STABILIZED DECOMPOSED GRANITE COLOR: CALIFORNIA GOLD
	ALL SHRUB AREAS 3" THICK SHREDDED WOOD MULCH

TREE LEGEND (ON GRADE)				
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS	
ORTEGA AVENUE STREET TREE				
	MAGNOLIA G. 'ST. MARYS' MAGNOLIA	24" BOX	MED.	
VERTICAL EVERGREEN TREE ADJACENT HETCH HETCHY				
	TRISTANIA CONFERTA BRISBANE BOX (NON-INVASIVE)	24" BOX	MED.	
ON-GRADE ACCENT TREE				
	ARBUTUS 'MARINA' HYBRID STRAWBERRY TREE	36" BOX	MED.	
	CERCIS 'FOREST PANSY' EASTERN REDBUD	24" BOX	LOW	
	MALUS 'PRAIRIE FIRE' CRABAPPLE TREE	24" BOX	MED.	
	PLATANUS A. 'YARWOOD' LONDON PLANE TREE	24" BOX	MED.	
	PRUNUS 'PINK CLOUD' FLOWERING CHERRY	24" BOX	MED.	
	TABEBUIA IPE PINK TRUMPET TREE	36" BOX	MED.	
	PYRUS C. 'ARISTOCRAT' FLOWERING PEAR	24" BOX	MED.	
	QUERCUS AGRIFOLIA COAST LIVE OAK	48" BOX	LOW	
	ON-GRADE EVERGREEN TREE			
		MAGNOLIA G. 'LITTLE GEM' LITTLE GEM MAGNOLIA	24" BOX	MED.
PODOCARPUS 'ICEE BLUE' BLUE PODOCARPUS		24" BOX	MED.	
PRUNUS 'BRIGHT N' TIGHT' CAROLINA CHERRY		24" BOX	MED.	
TRISTANIA LAURINA BRISBANE BOX		24" BOX	MED.	



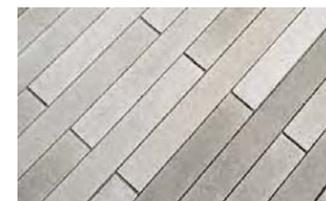
OUTDOOR GAMES



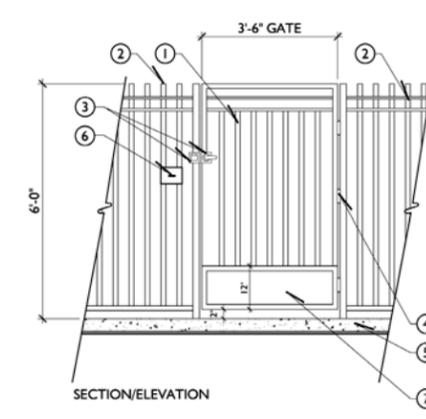
GREAT LAWN



FIREPIT LOUNGE



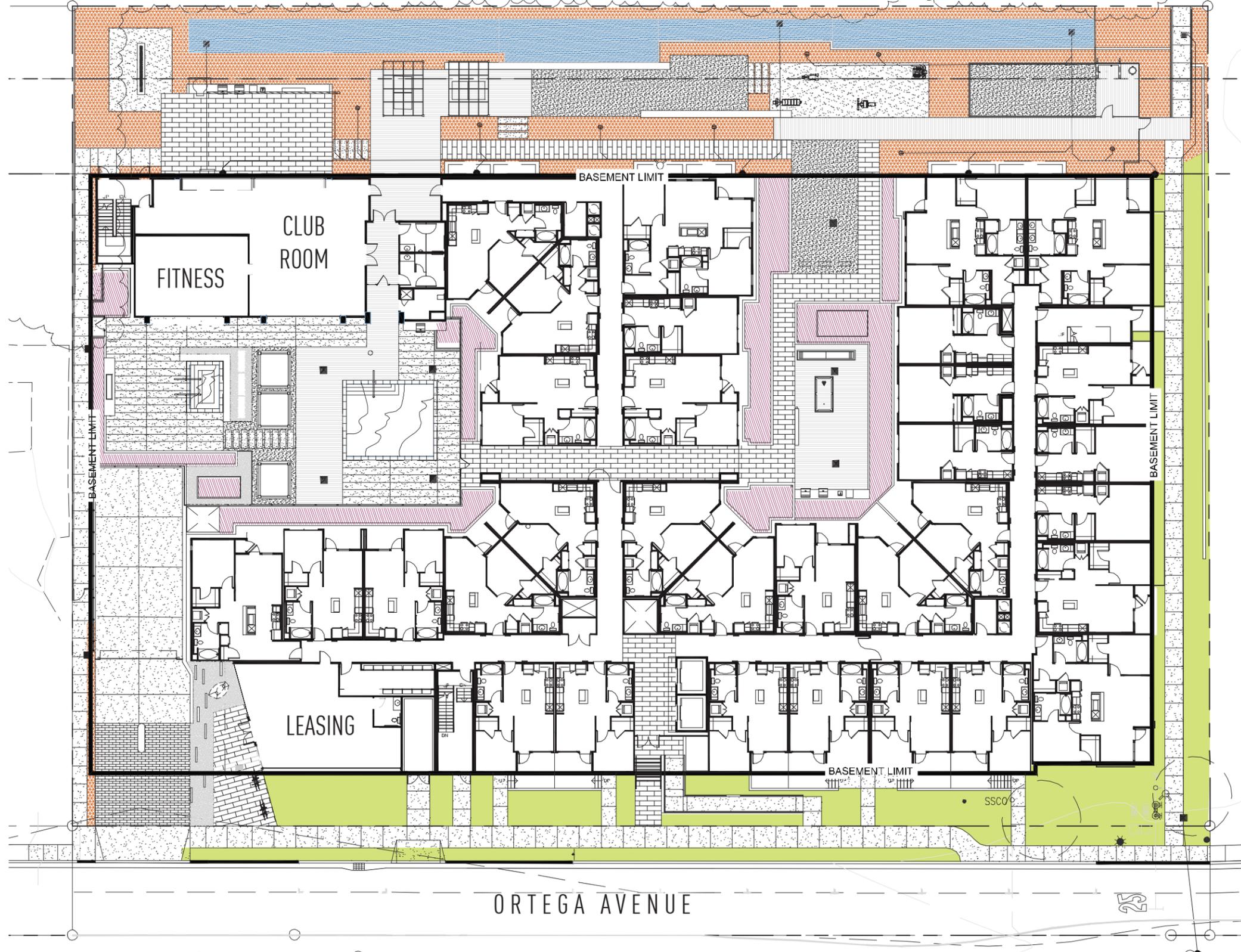
PAVING



- LEGEND:**
- ① TUBULAR STEEL GATE. PICKETS at 4" O.C.
 - ② 6' HT. TUBULAR STEEL FENCE. PICKETS at 4" O.C.
 - ③ SELF-CLOSING/LATCHING GATE PER CONTRACTOR. SINGLE SIDED ELECTRICAL SELF-LOCKING FROM OUTSIDE OF POOL AREA with PAD FOR ELECTRICAL KEY.
 - ④ HEAVY DUTY SELF CLOSING HINGES.
 - ⑤ CONCRETE WALK
 - ⑥ KNOX BOX. LOCATION TO BE APPROVED BY THE FIRE/POLICE DEPARTMENT. (SEE NOTE)
 - ⑦ 12' HT. SOLID PANEL

PERIMETER FENCE AND GATE

EXISTING TARGET SITE

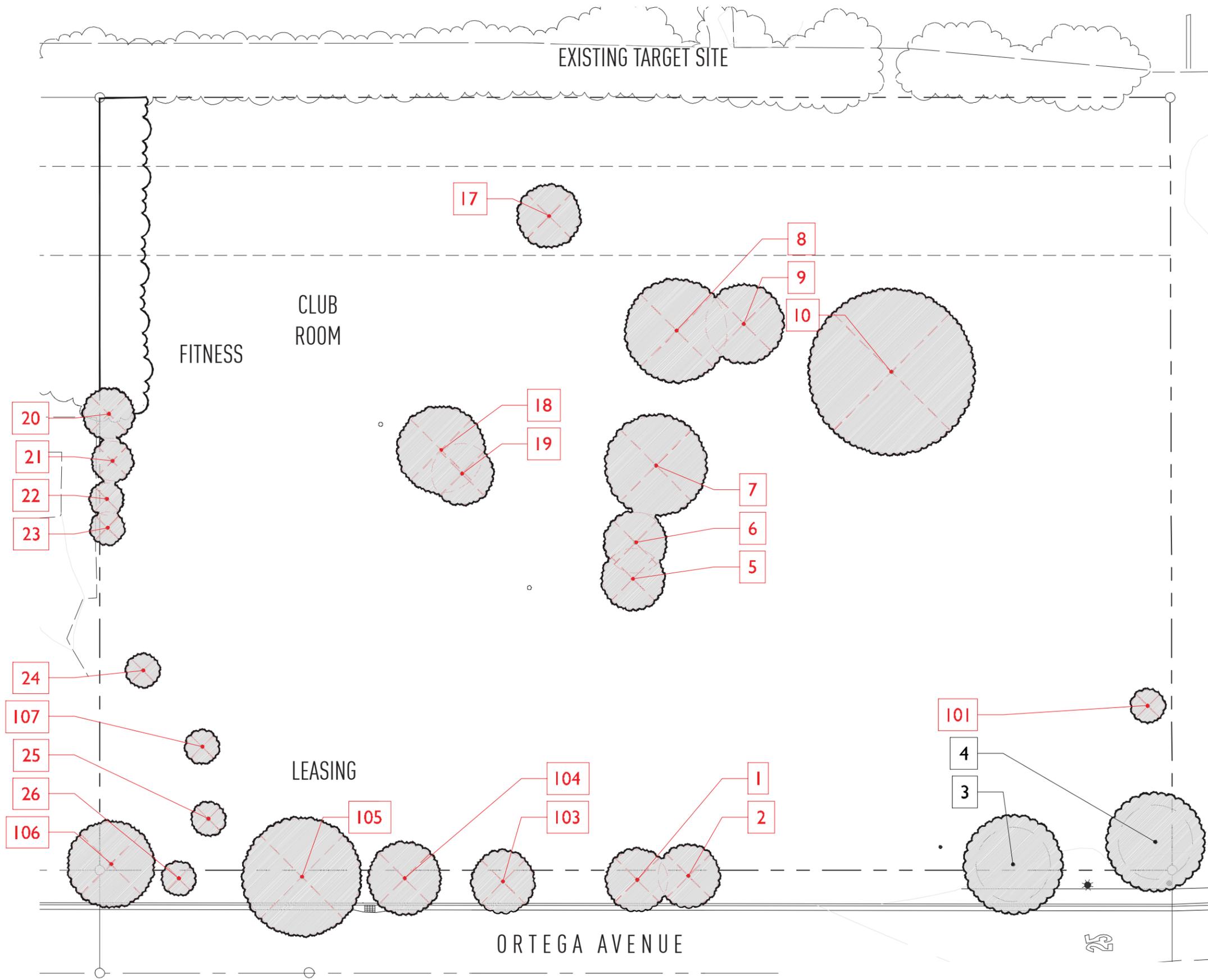


IRRIGATION HYDROZONES:

	<p>HYDRO-ZONE 1-MODERATE-N/E FACING - 5,110 S.F. <u>IRRIGATION TECHNIQUE</u> TREES - BUBBLERS SHRUBS - SUB SURFACE DRIP IRRIGATION</p>
	<p>HYDRO-ZONE 2-LOW -SW FACING - 5,562 S.F. <u>IRRIGATION TECHNIQUE</u> TREES - BUBBLERS SHRUBS - SUB SURFACE DRIP IRRIGATION</p>
	<p>HYDRO-ZONE 3-MIXED (LOW/MOD.)-WATER QUALITY BASINS - 2,180 S.F. <u>IRRIGATION TECHNIQUE</u> SPRAY IRRIGATION</p>
	<p>HYDRO-ZONE 4-MIXED (LOW/MOD.)-RAISED PLANTERS ON PODIUM - 2,461 S.F. <u>IRRIGATION TECHNIQUE</u> TREES - BUBBLERS SHRUBS - SUB SURFACE DRIP IRRIGATION</p>

SITE AREA: 70,350 S.F.
 LANDSCAPE AREA: 15,313 - 21.8% OF SITE
 MINIMUM OF 45% SITE IS PERMANENTLY IRRIGATED

EXISTING TARGET SITE



EXISTING TREE SURVEY # TREE DESIGNATION PER ARBORIST REPORT

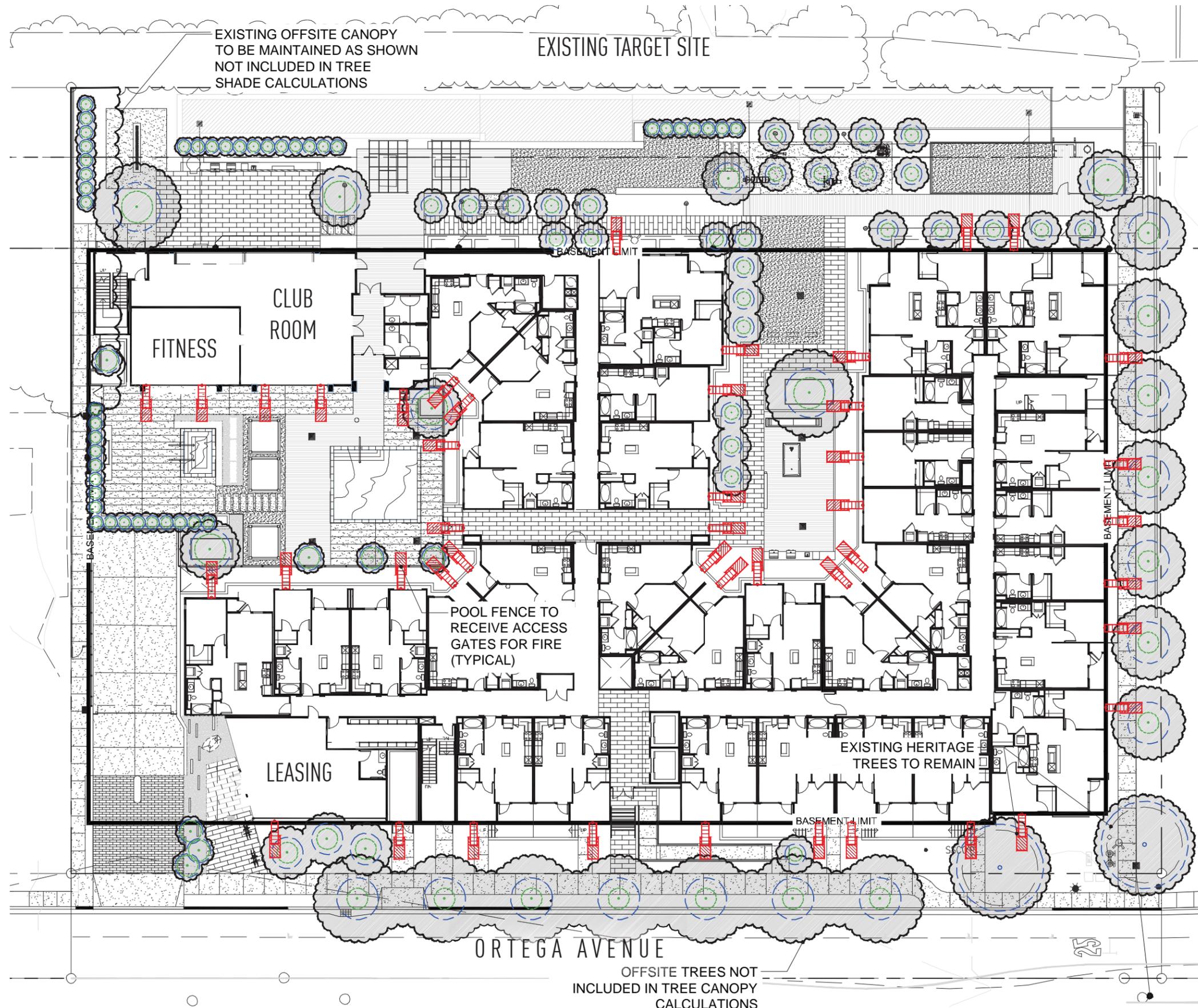
TREE SURVEY PERFORMED BY A CERTIFIED ARBORIST with HORT SCIENCE (925) 484-0211 on JANUARY 22, 2016.

TREES TO BE PROTECTED-IN-PLACE:		DBH	PRESERVATION SUITABILITY
#3	QUERCUS AGRIFOLIA - H	21.0/15.0	HIGH
#4	SEQUOIA SEMPERVIRENS - H	19.0	LOW

TREE DESIGNATION PER ARBORIST REPORT

TREES ON SITE TO BE REMOVED:		DBH	PRESERVATION SUITABILITY
#1	ULMUS PUMILA - H	22.0	LOW
#2	PRUNUS SP.	14.0	LOW
#5	SEQUOIA SEMPERVIRENS - H	41.0	LOW
#6	SEQUOIA SEMPERVIRENS - H	31.0	MODERATE
#7	SEQUOIA SEMPERVIRENS - H	31.0	LOW
#8	ARAUCARIA BIDWILLI - H	31.0	MODERATE
#9	CELTIS SP. - H	14.0/12.0	LOW
#10	UMBELLULARIA CALIFORNIA - H	42.0	LOW
#17	JUGLANS HINDSII - H	21.0	LOW
#18	CELTIS SP. - H	21.0/12.0	LOW
#19	CELTIS SP. - H	14.0/11.0	LOW
#20	JUGLANS HINDSII.	10.0	LOW
#21	PRUNUS SP.	12.0/5.0	LOW
#22	JUGLANS REGIA	6.0/6.0	LOW
#23	JUGLANS REGIA	10.0	LOW
#24	PRUNUS SP.	9.0/8.0/5.0	LOW
#25	LIGUSTRUM LUCIDUM	9.0/7/6/5/5	LOW
#26	ACER SACCHARINUM	9.0	LOW
#101	CELTIS SP.	5.0/4/3/3	LOW
#103	AILANTHUS ALTISSIMA	8.0	LOW
#104	ACER SACCHARINUM	11.0	LOW
#105	ACER SACCHARINUM	9.0/7.0	LOW
#106	LIGUSTRUM LUCIDUM	15.0	LOW
#107	FEIJOA SELLOWIANA	4.0/4.0	LOW

H - DENOTES HERITAGE TREE ON SITE PER MOUNTAIN VIEW HERITAGE TREE ORDINANCE - (10) TOTAL HERITAGE TREES TO BE REMOVED



FIRE LADDER PADS NOTE:

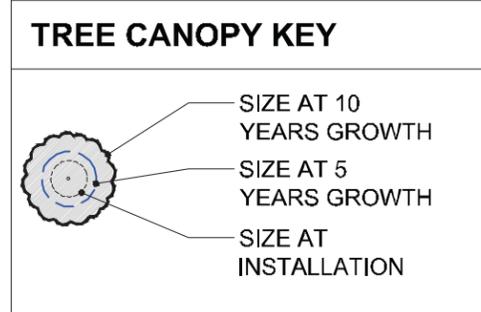
FINAL LOCATIONS OF LADDER PADS TO BE SUBMITTED AND APPROVED BY MOUNTAIN VIEW FIRE DEPARTMENT AS PART OF BUILDING PERMIT PROCESS.

FIRE PADS ARE SHOWN TO DEMONSTRATE GENERAL CONFORMANCE.

FIRE PAD SYMBOL: 

TREE CANOPY TABLE

	S.F. AREA	% SITE
EXISTING CANOPY	10,802 S.F.	15%
CANOPY AT PLANTING	1,937 S.F.	3%
CANOPY AT 5 YEARS	4,414 S.F.	6%
CANOPY AT 10 YEARS	11,035 S.F.	15%
SITE AREA	70,350 S.F.	100%





corten planter

property line

screen tree bordering hetch hetchy to be non-invasive

bollard light

5' concrete walkway

burnished CMU retaining wall per civil with vines
-6" to 30" height

Hetch Hetchy R.O.W.



WALL WITH VINES



BOLLARD LIGHT



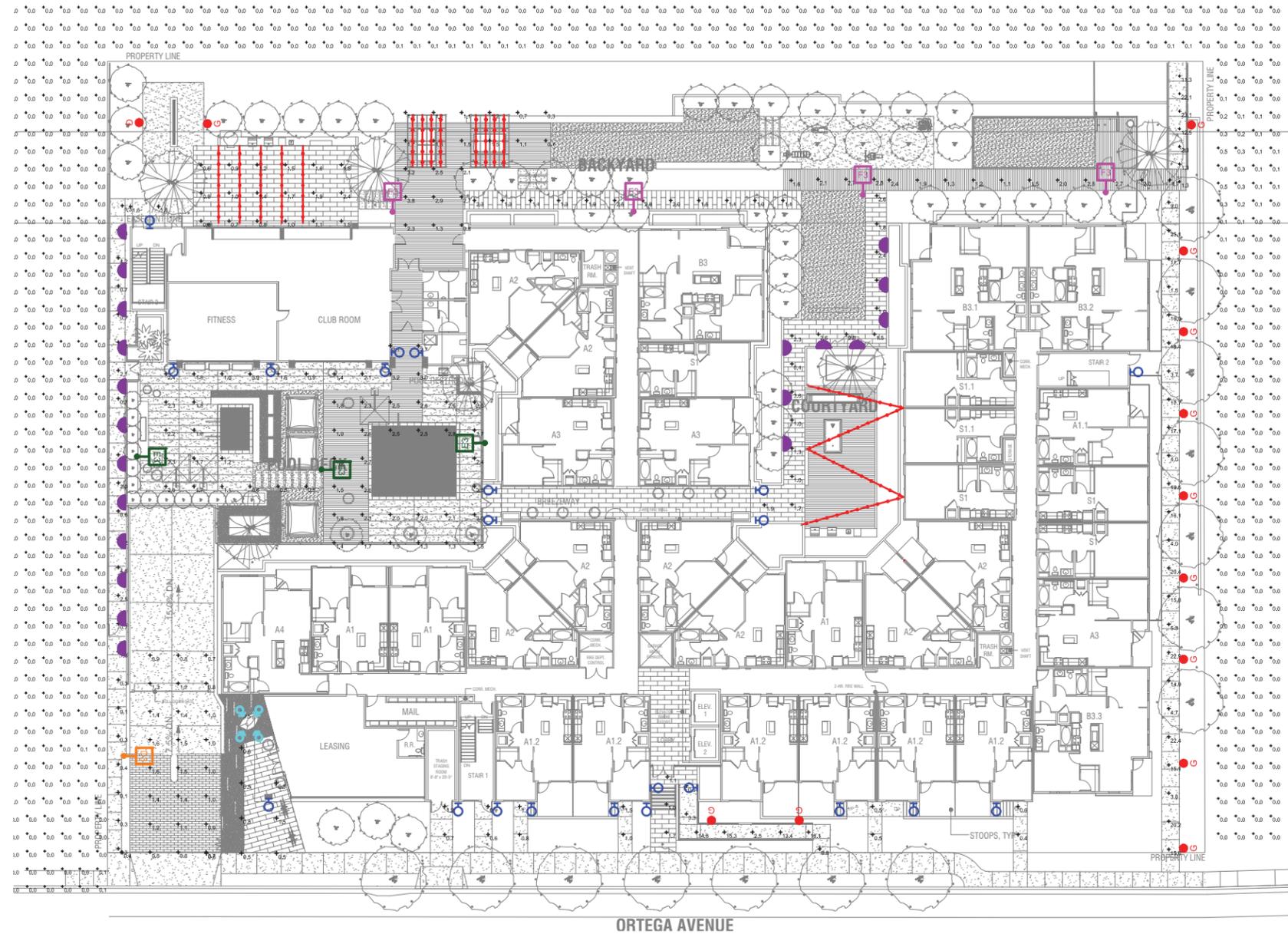
CMU WALL - BURNISHED BLOCK



CORTEN PLANTER



SCREEN TREE - TRISTANIA CONFERTA



ORTEGA AVENUE



-  16FT LED PARKING LOT POST LIGHT
US ARCHITECTURAL RAZAR SERIES
MEDIUM SIZE (WITH HOUSE SIDE SHIELD)
65W LED - 4000K LED
-  12FT LED POST LIGHT
US ARCHITECTURAL RAZAR SERIES
SMALL SIZE
40W LED - 4000K LED
-  12FT LED POST LIGHT
US ARCHITECTURAL RAZAR SERIES
SMALL SIZE
27W LED - 4000K LED



 35.5 IN TALL LED BOLLARD
LUMUX BL350
26W LED - 4000K LED



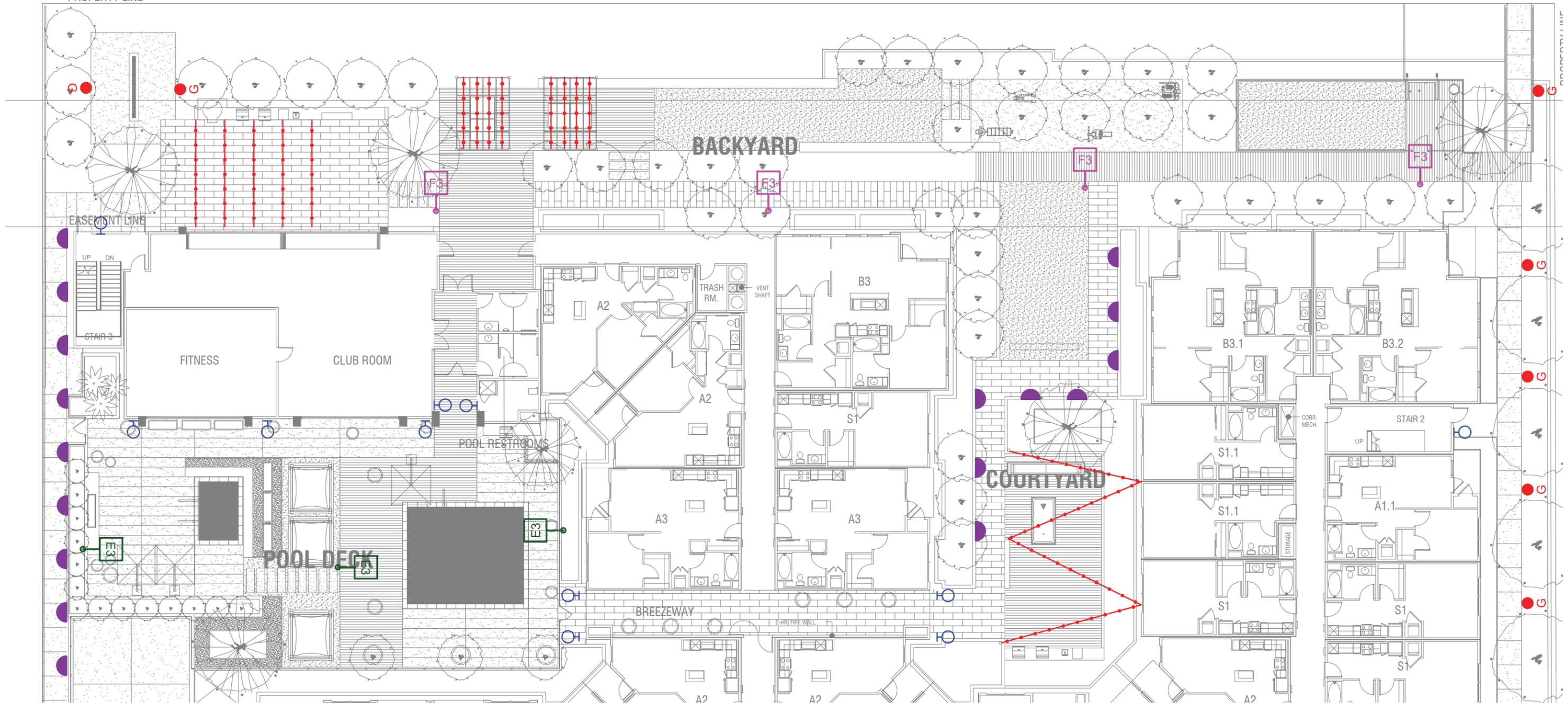
 FLUORESCENT STEPLIGHT
MOUNT @ +18" AFF
PACE ILLUMINATION JRLS SERIES
18W FLUORESCENT - 3000K



 LED FESTOON LIGHTING
10 FT MOUNTING HEIGHT (MINIMUM)
24" SPACING

-  LED UPLIGHT
-  HIGH EFFICACY DECORATIVE WALL LIGHT
VERIFY STYLE

PROPERTY LINE



-  16FT LED PARKING LOT POST LIGHT
US ARCHITECTURAL RAZAR SERIES
MEDIUM SIZE (WITH HOUSE SIDE SHIELD)
65W LED - 4000K LED
-  12FT LED POST LIGHT
US ARCHITECTURAL RAZAR SERIES
SMALL SIZE
40W LED - 4000K LED
-  12FT LED POST LIGHT
US ARCHITECTURAL RAZAR SERIES
SMALL SIZE
27W LED - 4000K LED



 35.5 IN TALL LED BOLLARD
LUMUX BL350
26W LED - 4000K LED

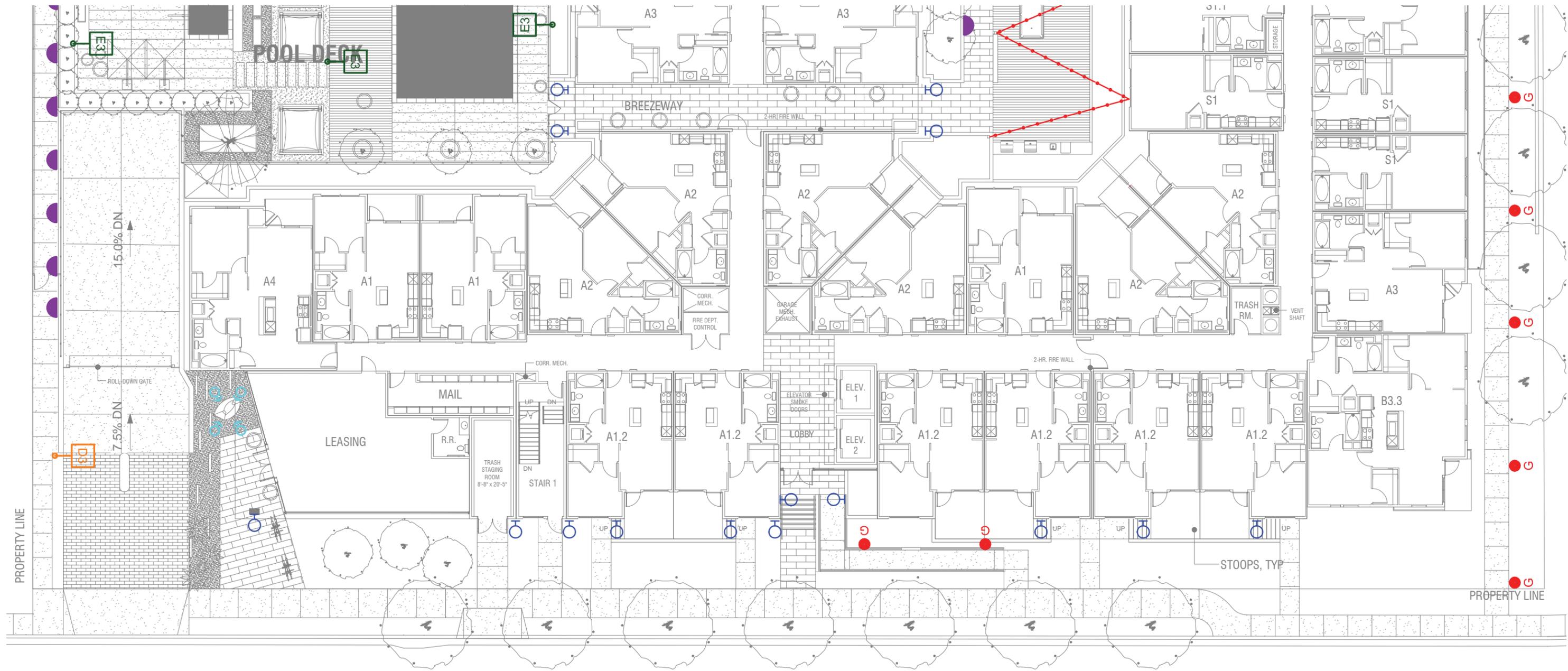


 FLUORESCENT STEPLIGHT
MOUNT @ +18" AFF
PACE ILLUMINATION JRLS SERIES
18W FLUORESCENT - 3000K



 LED FESTOON LIGHTING
10 FT MOUNTING HEIGHT (MINIMUM)
24" SPACING

-  LED UPLIGHT
-  HIGH EFFICACY DECORATIVE WALL LIGHT
VERIFY STYLE



-  16FT LED PARKING LOT POST LIGHT
US ARCHITECTURAL RAZAR SERIES
MEDIUM SIZE (WITH HOUSE SIDE SHIELD)
65W LED - 4000K LED
-  12FT LED POST LIGHT
US ARCHITECTURAL RAZAR SERIES
SMALL SIZE
40W LED - 4000K LED
-  12FT LED POST LIGHT
US ARCHITECTURAL RAZAR SERIES
SMALL SIZE
27W LED - 4000K LED



 35.5 IN TALL LED BOLLARD
LUMUX BL350
26W LED - 4000K LED



 FLUORESCENT STEPLIGHT
MOUNT @ +18" AFF
PACE ILLUMINATION JRLS SERIES
18W FLUORESCENT - 3000K



 LED FESTOON LIGHTING
10 FT MOUNTING HEIGHT (MINIMUM)
24" SPACING

-  LED UPLIGHT
-  HIGH EFFICACY DECORATIVE WALL LIGHT
VERIFY STYLE

EXISTING CONDITIONS:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BY MORROW SURVEYING ON JUNE 23, 2014. GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CLIENT SHALL HOLD HARMLESS BKF ENGINEERS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACY OF THE CLIENT SUPPLIED TOPOGRAPHIC AND BOUNDARY SURVEY (AS PREPARED BY OTHERS).

SURVEYOR'S NOTES:

UTILITY NOTE:

- SOME UNDERGROUND UTILITY INFORMATION SHOWN HEREON MAY HAVE BEEN OBTAINED FROM OUTSIDE SOURCES.
- THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. MORROW SURVEYING WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE MARKINGS TO DETERMINE UNDERGROUND UTILITIES.

CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION

BASIS OF BEARING:

CENTERLINE OF ORTEGA AVENUE AS SHOWN ON BOOK 343 OF MAPS, PAGE 25, TAKEN AS N26°11'20"E AND WAS ESTABLISHED FROM FOUND MONUMENTS SHOWN HEREON.

BENCHMARK:

S.C.V.W.D. BM752, EL=75.55'(NAVD88)

BRONZE DISK SET ON TOP OF CURB AT WEST END OF RETURN ON NW CORNER OF CALIFORNIA STREET AN ESCUELA AVENUE, CITY OF MOUNTAIN VIEW

LEGEND:

-FOUND MONUMENT PER 343 MAPS 25
-DIMENSION POINT-NOTHING FOUND OR SET
-DRAIN MANHOLE
-DRAIN INLET
-SEWER MANHOLE
-SEWER CLEAN OUT
-FIRE HYDRANT
-FIRE DEPARTMENT CONNECTION
-WATER VALVE
-WATER BOX OR METER
-WATER VALVE ASSEMBLY
-WATER MANHOLE
-ELECTRIC BOX OR VAULT
-PULL BOX
-TRANSFORMER
-UTILITY POLE
-LIGHT
-TRAFFIC SIGNAL
-ELECTRIC MANHOLE
-TELEPHONE BOX
-TELEPHONE MANHOLE
-TELEVISION BOX
-TELEVISION MANHOLE
-GAS VALVE
-GAS METER
-SIGN
-HANDICAP PARKING OR RAMP

ABBREVIATIONS:

- VOL...VOLUME
- BK...BOOK
- PG...PAGE
- OR...OFFICIAL RECORDS
- P.O.B...POINT OF BEGINNING
- TE...TRASH ENCLOSURE
- DI...DRAIN INLET
- FL...FLOWLINE
- FC...FACE OF CURB
- TBC...TOP BACK OF CURB
- PLW...PROPERTY LINE
- ROW...RIGHT-OF-WAY
- CL...CENTERLINE
- ()...RECORD PER LEGAL DESCRIPTION

LINETYPES:

- PROPERTY LINE
- RIGHT-OF-WAY
- CENTERLINE
- LOT LINE
- EASEMENT
- STORM DRAIN
- SANITARY SEWER
- DOMESTIC WATER

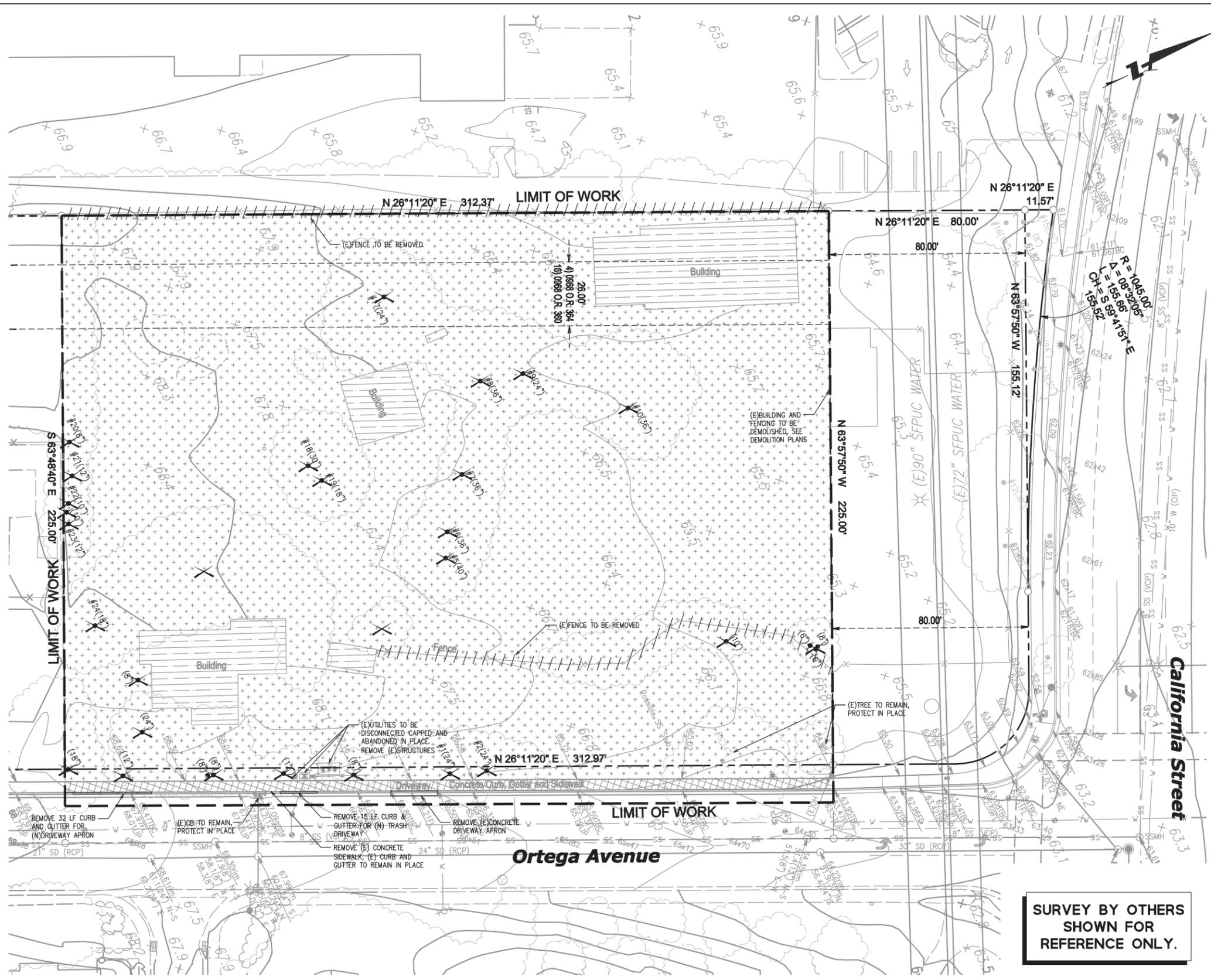
DEMOLITION LEGEND:

- LIMIT OF WORK
WITHIN THE LIMIT OF WORK LINE ALL ITEMS NOT CALLED OUT TO BE REMOVED ARE TO REMAIN AND MUST BE PROTECTED IN PLACE. CONTRACTOR TO USE CAUTION AROUND (E) UTILITIES, UTILITY VAULTS AND WATER VALVES TO REMAIN.
- EXISTING AC PAVING
(E) AC PAVEMENT, AND BASE ROCK TO BE REMOVED. BASE ROCK UNDER AC PAVEMENT CAN BE REUSED IF APPROVED BY SOILS ENGINEER. ALL EDGES TO BE SAWCUT WITH A CLEAN EDGE.
- EXISTING CONCRETE PAVING
(E) CONCRETE, BASE ROCK AND REBAR TO BE REMOVED. BASE ROCK UNDER CONCRETE CAN BE REUSED IF APPROVED BY SOILS ENGINEER. ALL EDGES TO BE SAWCUT WITH A CLEAN EDGE.
- EXISTING BUILDING
REMOVE BUILDING INCLUDING FOUNDATION AND ASSOCIATED REBAR. ALL SITE UTILITY INFRASTRUCTURE FEEDING THE BUILDINGS SHALL BE REMOVED TO THE NEAREST MAIN LINE.
- EXISTING LANDSCAPED AREAS
REMOVE ALL TREES, SHRUBS, AND GRASS INCLUDING ALL ROOT MASS UNLESS OTHERWISE SPECIFIED. COORDINATE WITH CLIENT AND LANDSCAPE ARCHITECT PRIOR TO REMOVING ANY TREES. IRRIGATION LINES TO BE REPAIRED TO THE EXTENTS OF NEW PLANTING AND IRRIGATION CONSTRUCTION. SLP.

DEMOLITION NOTES:

- IF CONTRACTOR ENCOUNTERS UTILITIES THAT ARE NOT SHOWN ON THIS PLAN, THEY ARE TO CONTACT THE ARCH/ENGINEER PRIOR TO REMOVING UTILITY.
- (E) TREE (APPROXIMATE LOCATION, VF) TO BE REMOVED INCLUDING ALL ROOT MASS. COORDINATE WITH THE CLIENT AND LANDSCAPE ARCHITECT PRIOR TO REMOVING ANY TREES.

SURVEY BY OTHERS SHOWN FOR REFERENCE ONLY.



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BKF ENGINEERS | SURVEYORS | PLANNERS
255 SHORELINE DR. SUITE 200
REDWOOD CITY, CA 94065
650/482-6300
650/482-6399 (FAX)
BKF # 20156054

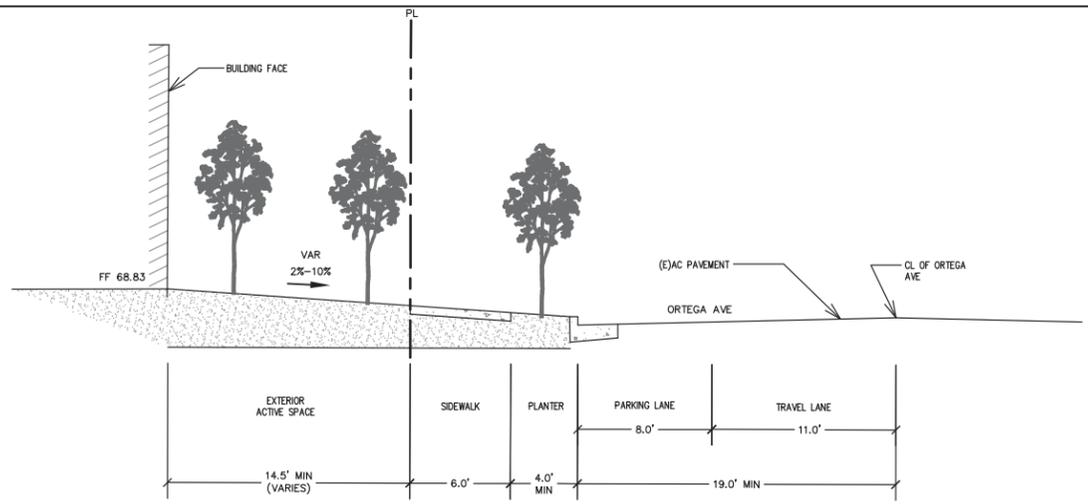
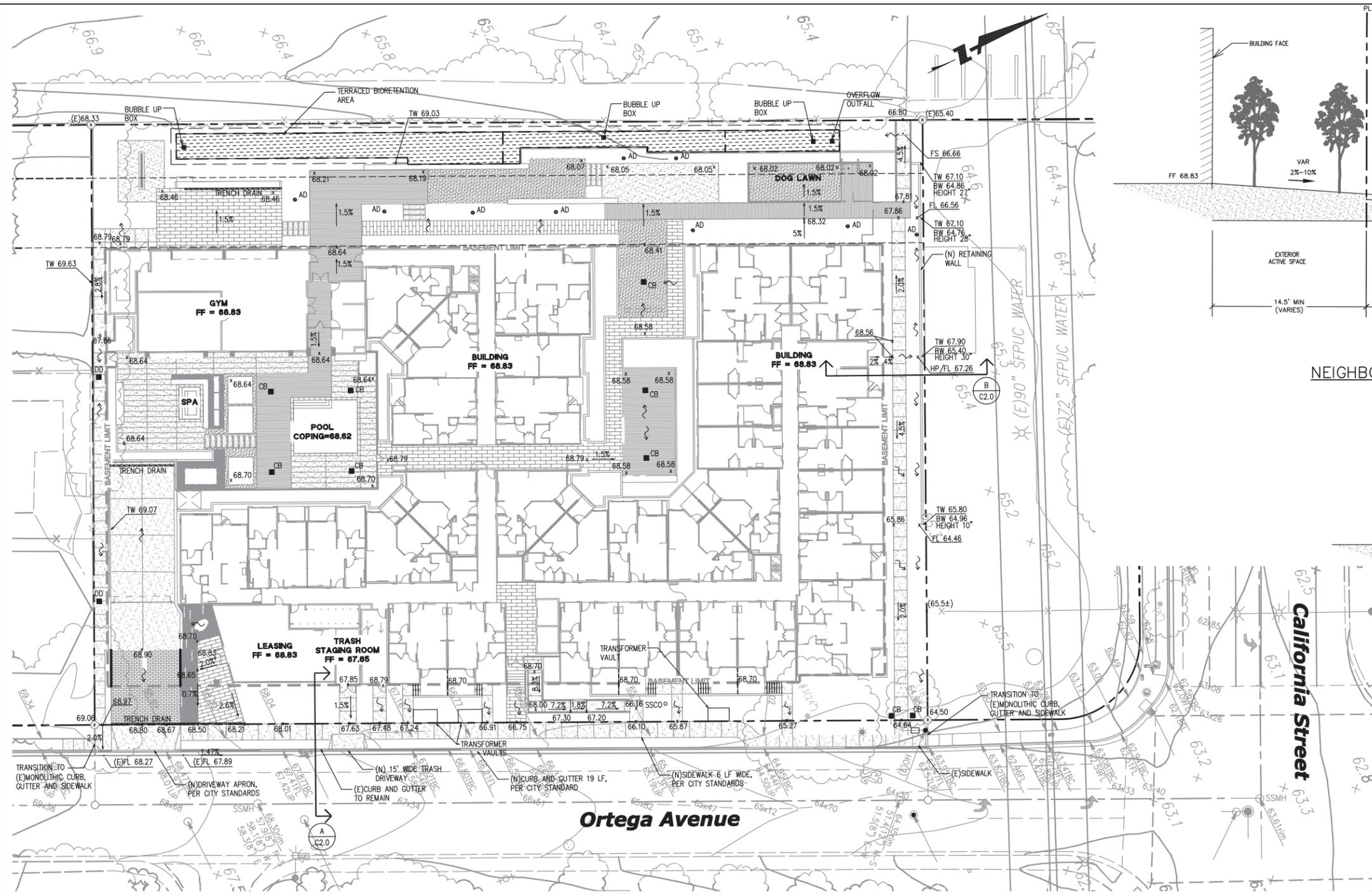
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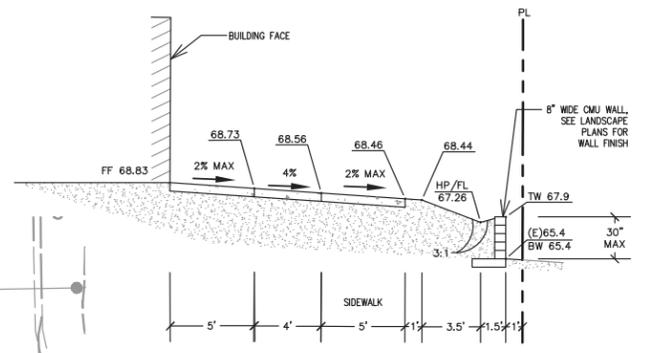


EXISTING CONDITIONS AND DEMOLITION PLAN

C-1.0



NEIGHBORHOOD STREET SECTION
SECTION A, SCALE=1":5'



CROSS SECTION AT RECESSED DOORWELL
SECTION B, N.T.S.

LEGEND:

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	LIMIT OF WORK
X	X	FENCE
○	○	CLEAN OUT TO GRADE
○	○	FOUND MONUMENT
○	○	DOUBLE DETECTOR CHECK VALVE
○	○	POST INDICATOR VALVE
○	○	VALVE
○	○	METER BOX
○	○	STREET LIGHT
○	○	DRAIN
○	○	CATCH BASIN
○	○	FIRE HYDRANT
○	○	FIRE DEPARTMENT CONNECTION
○	○	BENCHMARK
○	○	MANHOLE
○	○	SIGN
○	○	SPLASH BLOCK

EARTHWORK QUANTITIES:
CUT 38,462 C.Y.
FILL 1,129 C.Y.
BALANCE 37,334 C.Y. (EXPORT)

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

HATCH LEGEND:

[Hatch Pattern]	CONCRETE PAVERS	[Hatch Pattern]	TILE
[Hatch Pattern]	CONCRETE	[Hatch Pattern]	BIORETENTION AREA

IMPERVIOUS AREAS:

PRE-CONSTRUCTION	5,215 SF
POST-CONSTRUCTION	56,710 SF
CREATED/REPLACED	56,710 SF

GRADING NOTES

ANY WORK IN THE PUBLIC RIGHT-OF-WAY MUST BE DONE PER CITY STANDARDS BY A LICENSED CONTRACTOR AND THAT PERMITS ARE REQUIRED FROM THE APPROPRIATE AGENCIES.

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255 SHORELINE DR. SUITE 200
REDWOOD CITY, CA 94065
650/482-6300
650/482-6399 (FAX)
BKF # 20156054

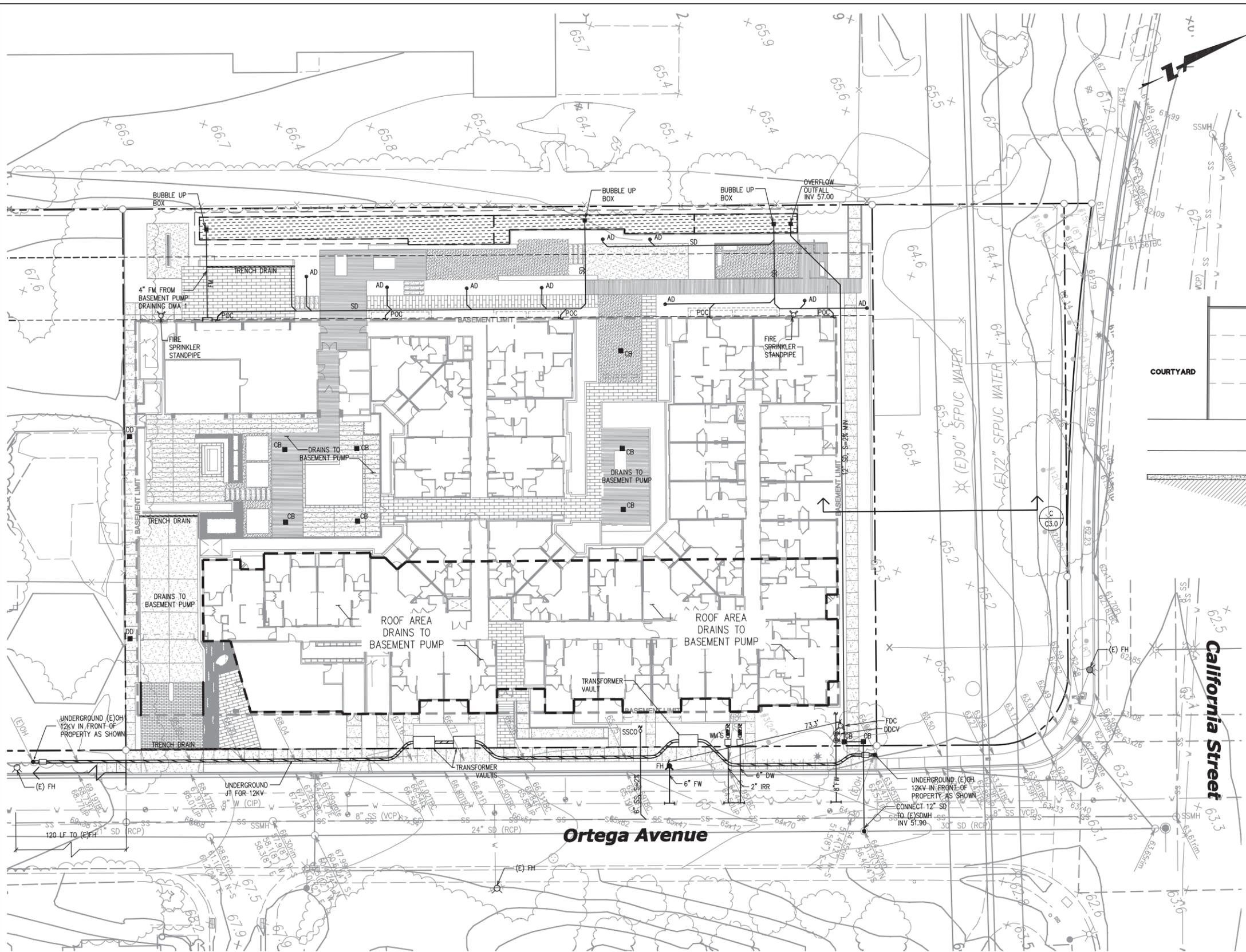
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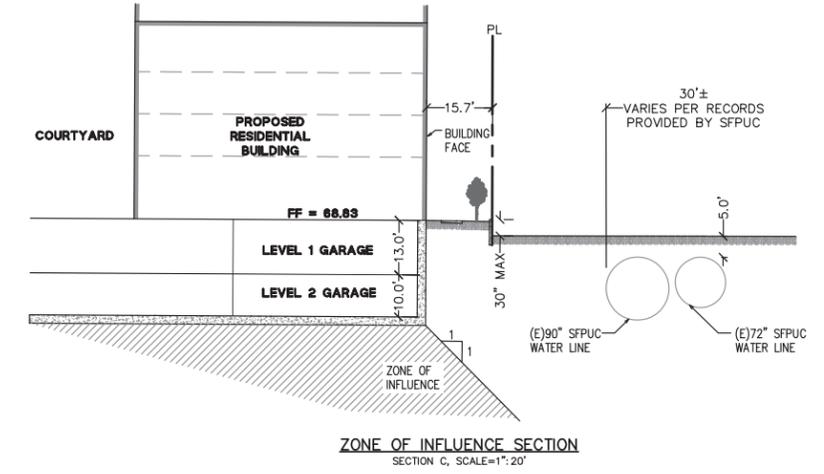


PRELIMINARY GRADING AND DRAINAGE PLAN

C-2.0



- UTILITY NOTES:**
1. SEE ARCHITECTURAL FIRE ACCESS PLAN (SHEET A5.2) FOR INTERNAL STANDPIPE LOCATIONS AND BUILDING COVERAGE.
 2. GARAGE STRUCTURAL DESIGN TO INCLUDE SUBDRAIN AND SUMP PUMP.



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650/482-6399 (FAX)
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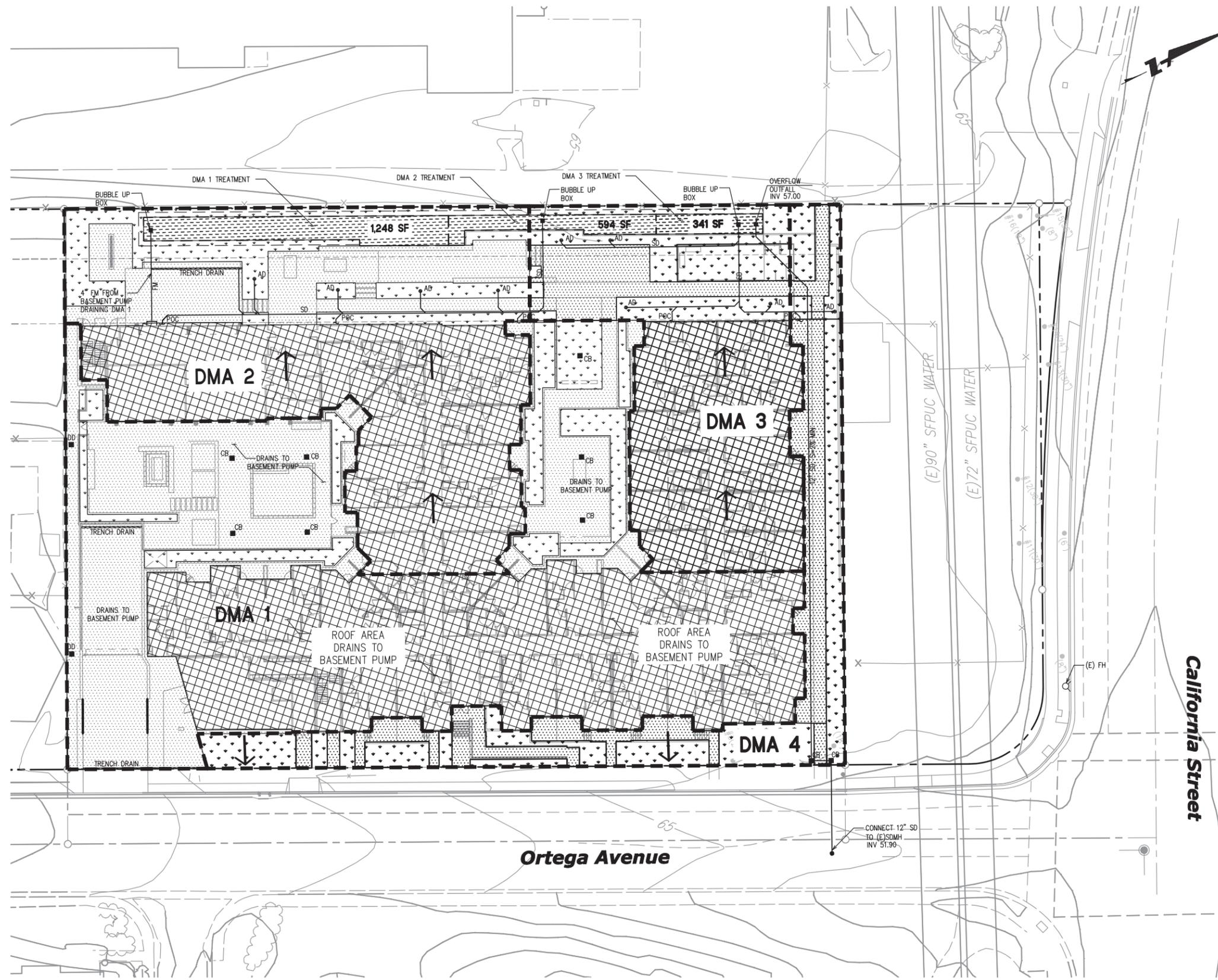
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PRELIMINARY UTILITY PLAN

C-3.0



LEGEND:

- BOUNDARY
- - - EASEMENT
- CLEAN OUT TO GRADE
- 10" SD SOLID STORM DRAIN
- AREA DRAIN
- CATCH BASIN
- MANHOLE
- [Hatched] TREATMENT AREA
- [Cross-hatched] BUILDING
- [Dotted] HARDSCAPE
- [Grid] LANDSCAPE

DMA NOTES:

- DMA 1 - DRAINS TO BASEMENT PUMP
- DMA 2 - DRAINS TO BIORETENTION AREA IN BACK VIA DOWNSPOUTS
- DMA 3 - DRAINS TO BIORETENTION AREA IN BACK VIA DOWNSPOUTS
- DMA 4 - HARDSCAPE TREATED SELF RETAINING/PONDING IN ADJACENT LANDSCAPE AREAS

IMPERVIOUS AREAS

IMPERVIOUS AREAS:				
	DMA 1	DMA 2	DMA 3	DMA 4
PRE-CONSTRUCTION	5,215 SF			
POST-CONSTRUCTION	56,710 SF			
IMPERV. BLDG.	15,599 SF	10,585 SF	6,678 SF	0 SF
IMPERV. HARDSCAPE	14,287 SF	4,277 SF	1,592 SF	3,692 SF
TOTAL IMPERV.	29,886 SF	14,862 SF	8,270 SF	3,692 SF
BIORETENTION AREA	1,248 SF	594 SF	341 SF	0 SF
BIORETENTION % OF IMPERV.	4.1%	4.0%	4.1%	SELF-TREATING

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650/482-6300
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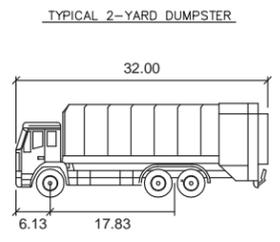
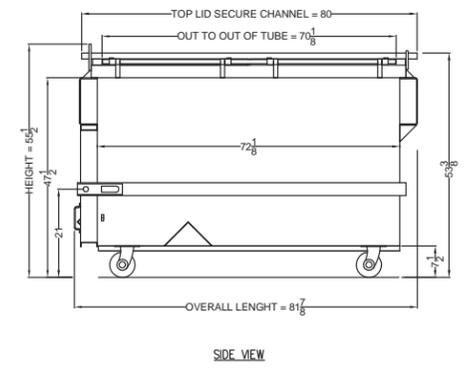
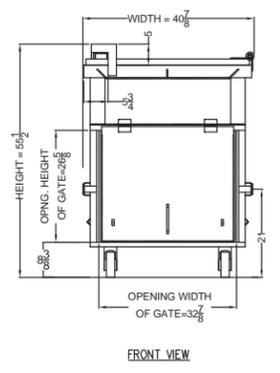
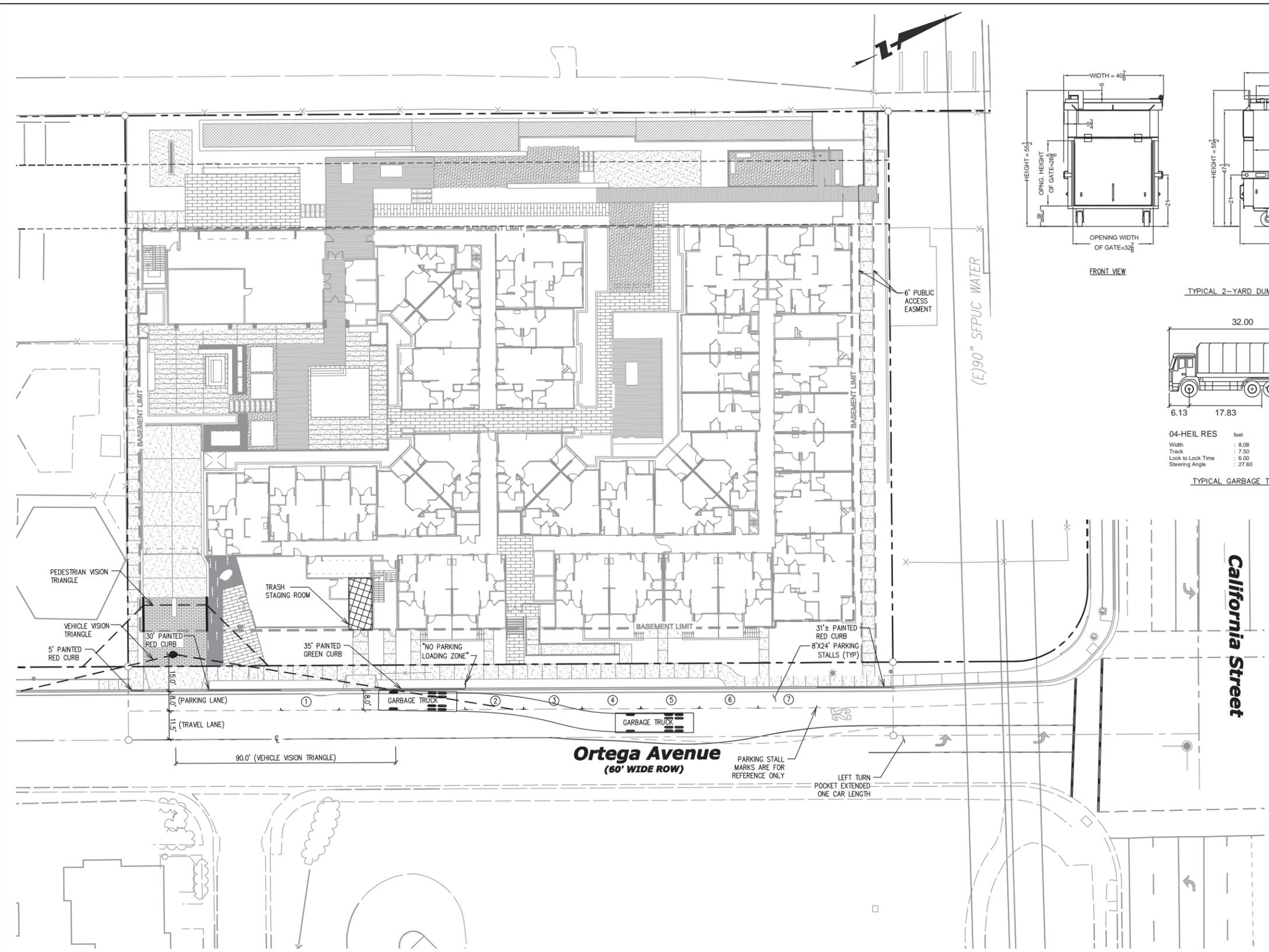
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STORMWATER TREATMENT PLAN

C-4.0



04-HEIL RES

	feet
Width	: 8.08
Track	: 7.50
Lock to Lock Time	: 6.00
Steering Angle	: 27.60

TYPICAL GARBAGE TRUCK

TRASH MANAGEMENT PLAN NOTES:

1. PARKING STALL MARKS ARE FOR REFERENCE ONLY. PARKING STALL MARKS WILL NOT BE STRIPED IN THE PUBLIC RIGHT-OF-WAY.
2. TRASH BINS WILL BE STORED IN THE TRASH STAGING ROOM AND TO BE MOVED TO STREET ONLY DURING PICKUP TIMES.

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ENGINEERS / SURVEYORS / PLANNERS
255 SHORELINE DR. SUITE 200
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650/482-6300
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TRASH MANAGEMENT PLAN

TMP-1.0