

MOUNTAIN VIEW, CA

SARES REGIS





PROJECT DESCRIPTION

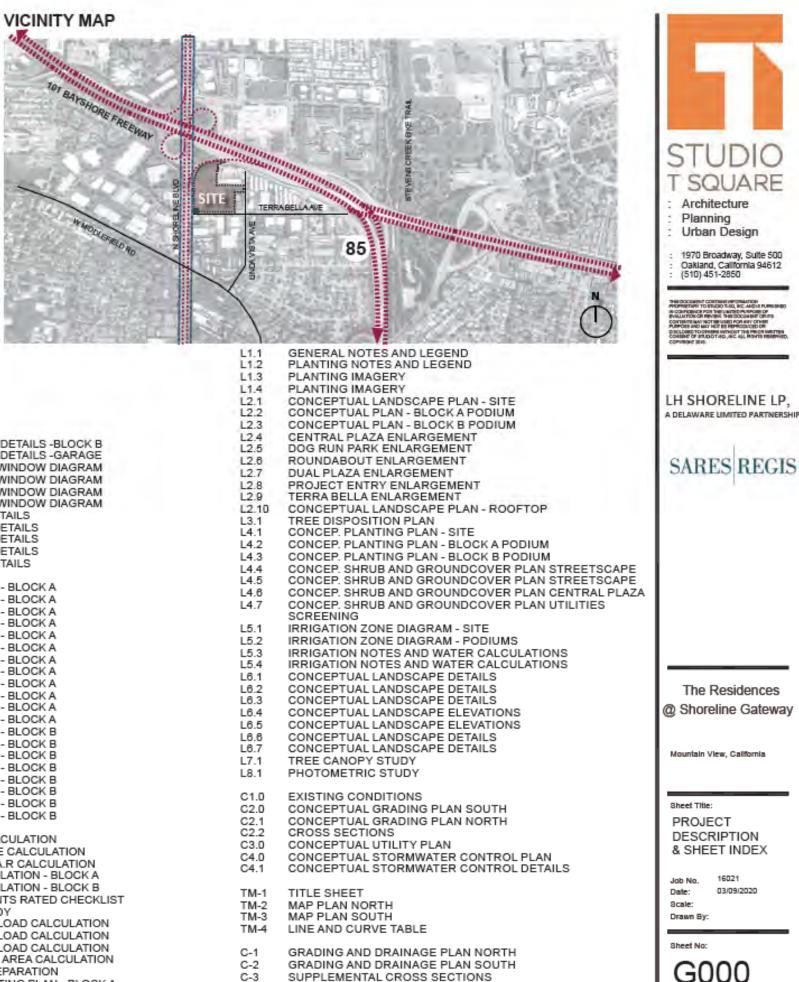
The Residences @ Shoreline Gateway ("Project") is Phase II of the 7.81 acre mixed-use development site located at 1001 North Shoreline Boulevard in Mountain View ("City"). The Phase I office portion was approved in 2015 and construction was completed in 2017. Phase II is the development of 203 rental apartments and 100 for-sale condominiums and an above-ground stand-alone parking structure on the existing surface parking lot serving the office. Given its location adjacent to public transportation on Shoreline Boulevard, the 101 North on-ramp and existing industrial parcels, The Residences @ Shoreline Gateway will meet the City's transit-oriented housing needs. In addition, the Project will provide much-needed housing near the North Bayshore employment area.

The Phase I Office building includes 111,443 square feet of office space and surface parking for 371 cars newly completed. The office will remain in operation during the entirety of the Project's development.

The proposed apartment building, located at the North West corner of the site, is a Type IIIA construction 5-story wood structure on a 2-story concrete parking podium. There are 203 one-, two-, and three-bedroom units. Designed to park at a 1.2 ratio, with 244 parking spaces in the garage. The building has amenity spaces and a roof deck. The Project's architecture takes it cues from 20th Century, modern industrial design to make a harmonious transition from the office to the residential units along the N. Shoreline Boulevard frontage. The curved wall with accent panels at the northwestern corner is a featured element for the Project.

The condominium building, located at the South East corner of the site, is a Type IIIA construction with 5 floors of units over 2 floors of parking podium. There are 100 one-, two- and three-bedroom units. The parking ratio is 1.28, totaling 128 spaces in the podium level garage. The exterior material is a combination of accent tiles, sidings and stucco. The building also has amenity spaces at the podium level.

PROJECT TEAM DEVELOPER: A. "OWNER" LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP	TABI	LE OF CONTENTS			L2.2 L2.3	co
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CONTACT: BARRY D. GREEN, VICE PRESIDENT	SP200	ILLUSTRATIVE SITE PLAN	A440	RECESSED WINDOW DIAGRAM	L2.10	co
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CONTACT: JANICE YUEN, SENIOR VP	SP203	NEIGHBORHOOD CONTEXT ILLUSTRATIVE SITE PLAN SITE PLAN SITE PLAN BLOCK A SITE PLAN BLOCK B MAJOR CIRCULATION ROUTES	A443	EXTERIOR DETAILS	L4.2	CO
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SAN MATEO, CA 94404	SP500	SITE SECTION	A510		L4.6	CO
(650) 377-5735				UNIT PLANS - BLOCK A	L4.7	CO
	A210	LEVEL 1-2 PLANS - BLOCK A		UNIT PLANS - BLOCK A UNIT PLANS - BLOCK A		SC
ARCHITECT / PLANNER	A211	LEVEL 3-4 PLANS - BLOCK A		UNIT PLANS - BLOCK A	L5.1	IRF
STUDIO T-SQ. INC.	A212	LEVEL 5-7 PLANS - BLOCK A		UNIT PLANS - BLOCK A	L5.2	IRF
1970 BROADWAY SUITE 500	A213	ROOF PLAN - BLOCK A	A515 A516		L5.3	IRF
OAKLAND CA 94612	A220	LEVEL 1-2 PLANS - BLOCK B		UNIT PLANS - BLOCK A	L5.4	IRF
OARLAND, CA 94012	A221	LEVEL 5-4 PLANS - BLOCK B	A518		L6.1	CO
CONTACT: CHEK TANG, PRINCIPAL	A222	LEVEL 3-0 FLANS - BLOCK B	A519		L6.2	co
PHONE: 510.451.2850	A225	LEVEL /-ROOF FLANS - BLOCK B	A520	UNIT PLANS - BLOCK A	L6.3	co
WWW.STUDIOT-SQ.COM	4310	ELEVATION & PERSPECTIVE - BLOCK A	A521	UNIT PLANS - BLOCK A	L6.4	co
	A311	ELEVATION & PERSPECTIVE - BLOCK A	A530	UNIT PLANS - BLOCK B	L6.5	co
LANDSCAPE ARCHITECT:	A312	ELEVATION & PERSPECTIVE - BLOCK A	A531	UNIT PLANS - BLOCK B	L6.6 L6.7	CO CO
THE GUZZARDO PARTNERSHIP INC	A313	ELEVATION & PERSPECTIVE - BLOCK A	A532	UNIT PLANS - BLOCK B	L0.7	TR
181 CREENWICH STREET	A320	ELEVATION & PERSPECTIVE -BLOCK B	A533	UNIT PLANS - BLOCK B	L7.1 L8.1	PH
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CONTACT: PAUL LETTIERI, PRINCIPAL	A323	ELEVATION & PERSPECTIVE -BLOCK B	A536	UNIT PLANS - BLOCK B	C2.0	co
PHONE: 415.433.4672	A330	PERSPECTIVE -BLOCK A	A537	UNIT PLANS - BLOCK B	C2.1	čõ
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CIVIL ENGINEER	A333	PERSPECTIVE -BLOCK B	A610	OPEN SPACE CALCULATION	C4.0	co
BVE ENGINEERS	A334	PERSPECTIVE -BLOCK A	A620	OVERALL F.A.R CALCULATION	C4.1	co
	A335	PERSPECTIVE -BLOCK B	A621	G.F.A CALCULATION - BLOCK A		
1730 N. FIRST STREET, SUITE 600			A622	G.F.A CALCULATION - BLOCK B	TM-1	TIT
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CONTACT: COLE GAUMNITZ, P.E. QSD/P	A411	SECTION -BLOCK A	A640 A650	SOLAR STUDY	TM-3	MA
PHONE: 408.467.9166	A420	SECTIONS -BLOCK B	A650	OCCUPANT LOAD CALCULATION	TM-4	LIN
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B. "DEVELOPMENT MANAGER" CONTACT: JANICE YUEN, SENIOR VP SARES REGIS GROUP OF NORTHERN CALIFORNIA 901 MARINERS ISLAND BOULEVARD, SUITE 700 SAN MATEO, CA 94404 (650) 377-5735 ARCHITECT / PLANNER STUDIO T-SQ, INC. 1970 BROADWAY, SUITE 500 OAKLAND, CA 94612 CONTACT: CHEK TANG, PRINCIPAL PHONE: 510.451.2850 WWW.STUDIOT-SQ.COM LANDSCAPE ARCHITECT: THE GUZZARDO PARTNERSHIP INC. 181 GREENWICH STREET SAN FRANCISCO, CA 94111 CONTACT: PAUL LETTIERI, PRINCIPAL PHONE: 415.433.4672 WWW.TGP-INC.COM CIVIL ENGINEERS 1730 N. FIRST STREET, SUITE 600 SAN JOSE, CA 95112 CONTACT: COLE GAUMNITZ, P.E. QSD/P PHONE: 408.467.9166 WWW.BKF.COM	A432		A670		C-3	SU
	A433		A671			
	A434	SCHEMATIC DETAILS -BLOCK B	10011	- service entries entries bedon b	L-1	TR



TREE DISPOSITION PLAN



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PROJECT SUMMARY

PLANNING AND BUILDING						
CODE DATA						
Address 1001 North Shoreline	BLVD., Mour	itain View, CA 94043				
		3-15-015, 153-15-016, 153-15-022 el per the title reports. New APN			024, 153-15-026, 153-1	5-028, and single Caltrain
Existing Land Use Designations:						
General Plan Designation: Ger	neral Industri	ial				
Zoning Designation: MM	1 (General Ir	ndustrial), and ML (Limited Ir	ndustrial)			
Proposed Land Use Designations:						
General Plan Designation: Mix	ed-Use Cent	er				
Zoning Designation: P (P	Planned Com	munity)				
Building Code		The building shall be after the				
Construction shall comply with the 2016 California B	ullaing Code.	The building shall be of mixe	ed occupancy.			
Occupancy Groups		Constructio	on Types			
Residential	R-2	R-2			T	ype IIIA, Fully sprinklered (
Garage	S-2	S-2				Type IA
Amenity	A/B/M	A/B/M				Type IIIA
Office (Existing office on the site)	В					
Building Height (allowable) Bayshore Precise Plan						110' Core Area Nor
Code						UL on Type 1A; 85' to
						0L 011 Type 1A, 65 tt
Lot Area (Includes N. shoreline 22' Street Frontage dedication	on)		340,294.7	sf		7.81
F.A.R. (Inlcudes existing office, block A (retail, resider	ntial and pod	lium garage), block B (resider	ntial and podium gar	age - excludes office	e garage).	
Building Coverage (Phase II Residential + Phase I off	ice over the	entire site)	160,501	sf		47.2%
Paving Area			56,551	sf		16.6%
Landscaping Area (Ground Level Area Only)			123,243	sf		36.6%
Open Area			496	sf/unit	(See	Sheet A610 for Detail)
Residential Density (based on entire parcel area, un	its/acre)		38.8	du/ac	· · · · · · · · · · · · · · · · · · ·	·
PROGRAM		Number	Pkg Ratio Required		Pkg Required	
		Number	Required			
				Resident Parking	Guest Parking	Total
Office (Existing structure to remain on site)		111,443 sf	1 pkg / 300 sf			371
Block A Residential Units		203 du	1.0-2.0	243	43	286
Block B Residential Units		100 du	1.0-2.0	137	24	161
Assigned Guest Parking Surface Spaces						
Unassigned Shared Surface Parking Spaces						
Block A Retail (Surface Parking)		3,113 sf	1 pkg / 100 sf			30
Block A Bike Storage		2,300 sf				
Block B Bike Storage		1,120 sf				
Block A Residential, Garage and Retail total GFA		369,614 sf				
Block B Residential and Garage total GFA		203,885 sf				
Block B Office Garage		131,030 sf				
Block B Office Garage Flex Space		0 sf				
Total					67	848
Total Parking Reduction						
FAR**						

Note: Parking Ratio Required based on the City's Model Parking Standard

EVCS Requirement per Mountain View Multiciple code, 10% of total parking for residential and office

Required Bike Parking for residential : 1 Per Unit		Bik	e Parking Requi	red	Bik	e Parking Provided	
		Resident	Guest	Total	Resident(indoor)	Guest(outdoor)	Total
For residential guest: 1 Per 10 Units	Block A	203	21	224	204	22	226
	Block B	100	10	110	100	12	112

BLOCK A and BLOCK B	FLOOR AREA CALCULATIO	DNS	(GROSS)								
			BLOCK A						BLOCK B		
	Gross Residential	Amenities	Garage	Retail	Residential with Garage total		Gross Residential	Amenities	Residential Podium garage	Residential with Garage total	Office Garage
Level 1	7,539	4,372	50,382	3,113	65,406	Level 1	9,615	1,298	26,703	37,616	23,280
Level 2	11,397	3,369	49,176	1,733	65,674	Level 2	11,622	711	24,761	37,094	23,100
Level 3	44,693	3,249			47,942	Level 3	25,927	874	0	26,801	23,100
Level 4	46,024	2,093			48,117	' Level 4	27,445		0	27,445	23,100
Level 5	48,255				48,255	Level 5	27,450		0	27,450	23,100
Level 6	48,255				48,255	Level 6	26,337		0	26,337	15,350
Level 7	44,469				44,469	Level 7	20,197		0	20,197	
Level - Roof	1,496				1,496	Roof	946			946	
Subtotal	252,128	13,083	99,558	4,846	369,614	ŀ	149,539	2,882	51,464	203,885	131,030
Total GFA excluding th	e office garage										573,499
Total GFA including of	fice garage										704,529

*Note: Area measured to the exterior face of building walls, including decks that are not open to the sky and enclosed on three sides.

Excludes portions of decks which project beyond the face of the building. No Deductions for shafts or stairways are included.

**Note: Area of block B office garage is not included in the FAR calculation

***Note: Including high volume space floor area (over 16')

olock A & block B)
, Fully sprinklered
, Fully sprinklered
h of 101 Freeway
Roof on Type IIIA

2.01 100%

Pkg Ratio Proposed	Pkg Provided	EVCS Provided	Accessible Provided	Tandem Provided
1 pkg / 310 sf	359	36	8	
1.20	244	25	7	
1.28	128	13	5	6
	15			
	25			
1 pkg / 250 sf	12			
	783	74	20	6
				7.66%
				2.01

	Existing Office	Bike Parking	
Regular (indoor)	E-bike (indoor)	Outdoor	Total
48	12	46	106

BLOCK A: Apartment Program Summary

RESIDENTIAL UNIT TYPE	Quan.	NET S.F. (rentable)	Unit Mix	BOMA NET S.F.	Parking Ratio	Parking Provided	Storage Required	Storage Provided Balcony (cf)	Storage Provided Corridor (cf)
J1	15	635	7.4%	9,525	1.2	18	164		183
J2	10	704	4.9%	7,040	1.2	12	164		213
J2.1	8	699	3.9%	5,592	1.2	10	164		227
J2.2 J2.1 UPPER	2	658	1.0%	1,316	1.2	2	164		227
JR Units Total	35	671	17.2%	23,473		42			
1A LINER	24	759	11.8%	18,216	1.2	29	164	164	
1A.1 LINER	5	725	2.5%	3,625	1.2	6	164		183
1A.2 LINER	1	716	0.5%	716	1.2	1	164		187
1A.3	12	766	5.9%	9,192	1.2	14	164		182
1A.4 1A UPPER	6	693	3.0%	4,158	1.2	7	164		252
1B CURVE (1BR+DEN)	16	1,008	7.9%	16,128	1.2	19	164		183
1B.1 1B UPPER	4	844	2.0%	3,376	1.2	5	164		191
1C	16	760	7.9%	12,160	1.2	19	164	164	
1D 2C UPPER	1	1,012	0.5%	1,012	1.2	1	164		238
1BR Units Total	85	807	41.9%	68,583		102			
2A SMALL LINER	11	1,048	5.4%	11,528	1.2	13	164	164	
2A.1 SMALL LINER	11	1,025	5.4%	11,275	1.2	13	164	164	
2A.2 2A UPPER	1	998	0.5%	998	1.2	1	164	164	
2A.3	6	978	3.0%	5,868	1.2	7	164		199
2B LARGE LINER	19	1,083	9.4%	20,577	1.2	23	164	197	
2C LARGE LINER	4	1,260	2.0%	5,040	1.2	5	164		329
2D SMALL LINER	5	1,010	2.5%	5,050	1.2	6	164		183
2E SHALLOW	2	1,004	1.0%	2,008	1.2	2	164		320
2F CORNER	10	1,307	4.9%	13,070	1.2	12	164		230
2BR Units Total	69	1,093	34.0%	75,414		83			
3A CORNER	5	1,391	2.5%	6,955	1.2	6	164		215
3A.1 CORNER	5	1,464	2.5%	7,320	1.2	6	164		289
3B CORNER	4	1,381	2.0%	5,524	1.2	5	164		230
3BR Units Total	14	1,414	6.9%	19,799		17			
All Units - Total	203	923	100.0%	187,269		244			

AMENITY PROGRAM + RETAIL	SF
Main Lobby	900
Mail Box and Package	300
Leasing office	2,480
Fitness	1,500
Clubroom	1,270
Business Lounge	400
Seating Area	550
Retail	3,000
Pet Spa	240
Roof Deck	1,070
Total	11,710

BLOCK B: Condo Program Summary

RESIDENTIAL UNIT TYPE	Quan.	NET S.F. (interior)	Unit Mix	BOMA NET S.F.	Parking Ratio	Parking Provided	Storage Required each	Storage Provided each in Balcony (cf)	Storage Provided each in Hallway (cf)
1A.1 liner	4	813	4.0%	3,252	1.28	5	164	200	
1A.2 Inside corner	3	886	3.0%	2,658	1.28	4	164		202
1A .3	1	865	1.0%	865	1.28	1	164		238
1B shallow	4	828	4.0%	3,312	1.28	5	164		192
1C One plus	4	903	4.0%	3,612	1.28	5	164	181	
1C.1 One plus	6	875	6.0%	5,250	1.28	8	164		209
1C.2 One plus	5	908	5.0%	4,540	1.28	6	164	173	
1D	5	739	5.0%	3,695	1.28	6	164	164	
1E Shallow	6	848	6.0%	5,088	1.28	8	164		181
1F Shallow	1	749	1.0%	749	1.28	1	164		164
1BR Units Total	39	847	39.0%	33,021		50			
2A small liner	2	1,135	2.0%	2,270	1.28	3	164		215
2B	24	1,120	24.0%	26,880	1.28	31	164		175
2B.1	3	1,087	3.0%	3,261	1.28	4	164		178
2B.2	3	1,100	3.0%	3,300	1.28	4	164	180	
2B.3	1	1,049	1.0%	1,049	1.28	1	164		178
2C Large two	4	1,074	4.0%	4,296	1.28	5	164		192
2D Outside Corner	4	1,292	4.0%	5,168	1.28	5	164		387
2D.1 Outside Corner top L	1	1,233	1.0%	1,233	1.28	1	164		238
2E Outside Corner	6	1,185	6.0%	7,110	1.28	8	164		238
2F Inside Corner	5	1,096	5.0%	5,480	1.28	6	164	225	
2BR Units Total	53	1,133	53.0%	60,047		68			
3A liner	5	1,560	5.0%	7,800	1.28	6	164	227	
3BR Units Total	5	1,560	5.0%	7,800		6			
TH-1 (3BR)	1	1,895	1.0%	1,895	1.28	1	164	293	
TH-2 (2BR+FAMILY ROOM)	2	1,462	2.0%	2,924	1.28	3	164	224	
TOWNHOME Units Total	3	1,534	3.0%	4,819		4			
All Units - Total	100	1057	100.0%	105,687	1.28	128			

AMENITY PROGRAM	SF
Lobby	550
Mailbox and Package	300
Clubroom	800
Total	1,650



LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP



The Residences @ Shoreline Gateway

Mountain View, California

Sheet Title: PROJECT SUMMARY

16021 Job No. 03/09/2020 Date: Scale: Drawn By:

Sheet No:

G001



2. NORTH SHORELINE LOOKING NORTH WEST



1. NORTH SHORELINE LOOKING NORTH WEST



8. NORTH SHORELINE BLVD LOOKING WEST



3. US 101 FREEWAY LOOKING SOUTH







5. TERRA BELLA AVE LOOKING EAST



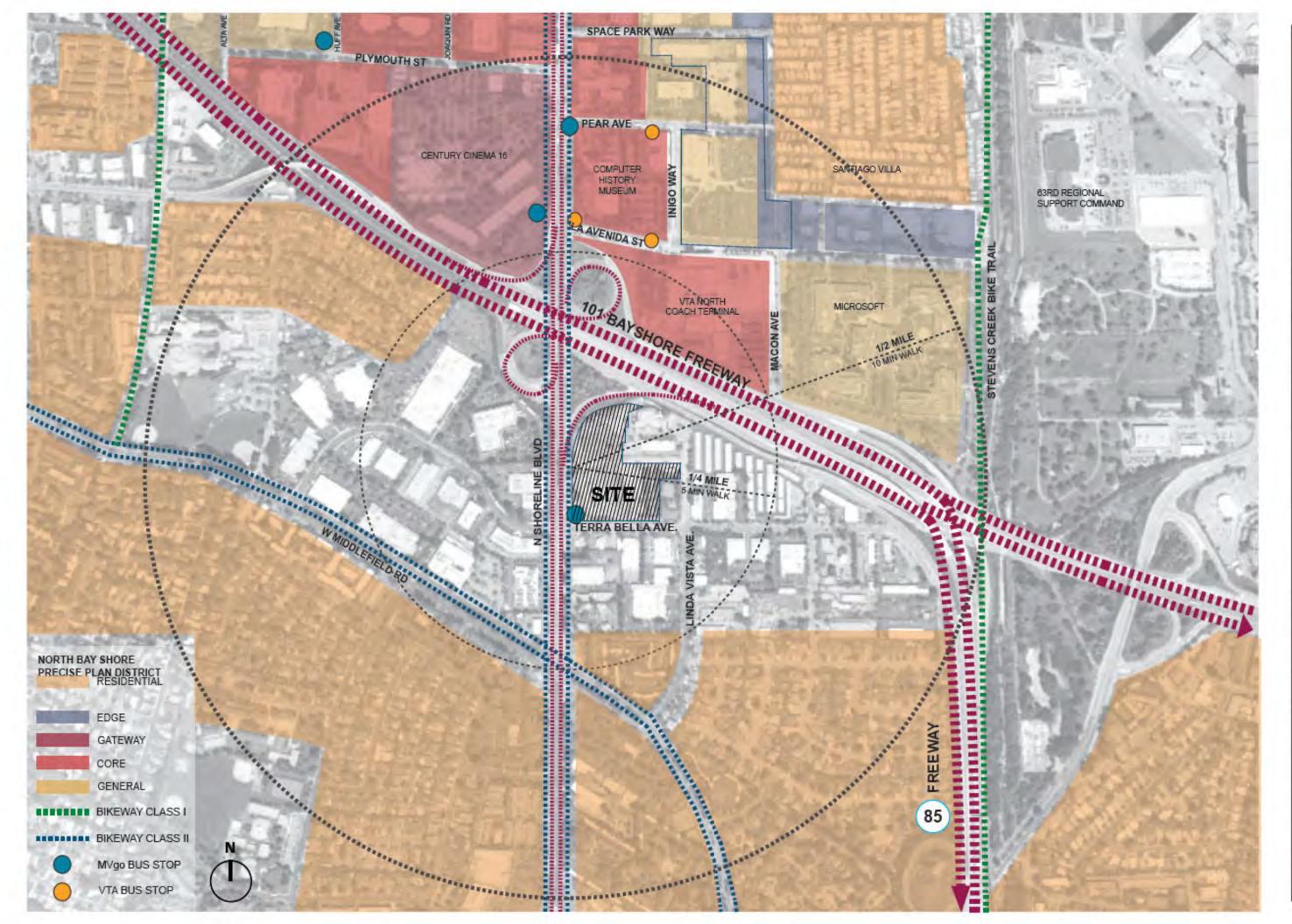
7. TERRA BELLA AVE LOOKING SOUTH

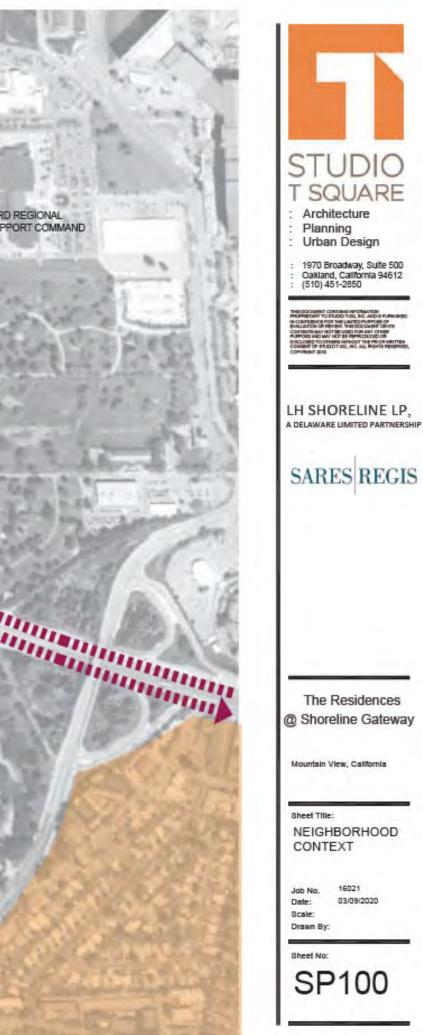


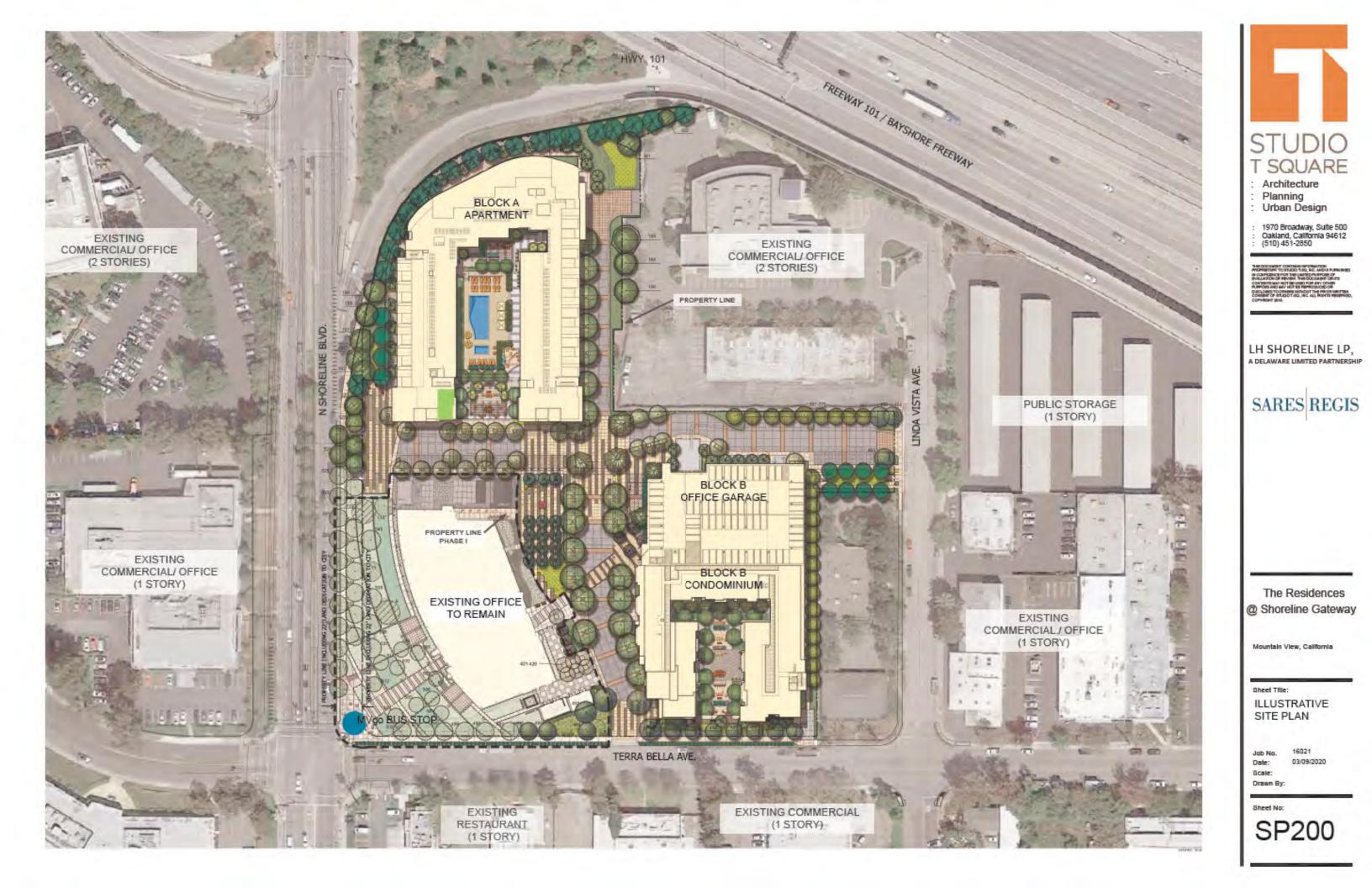
6. TERRA BELLA AVE LOOKING NORTH

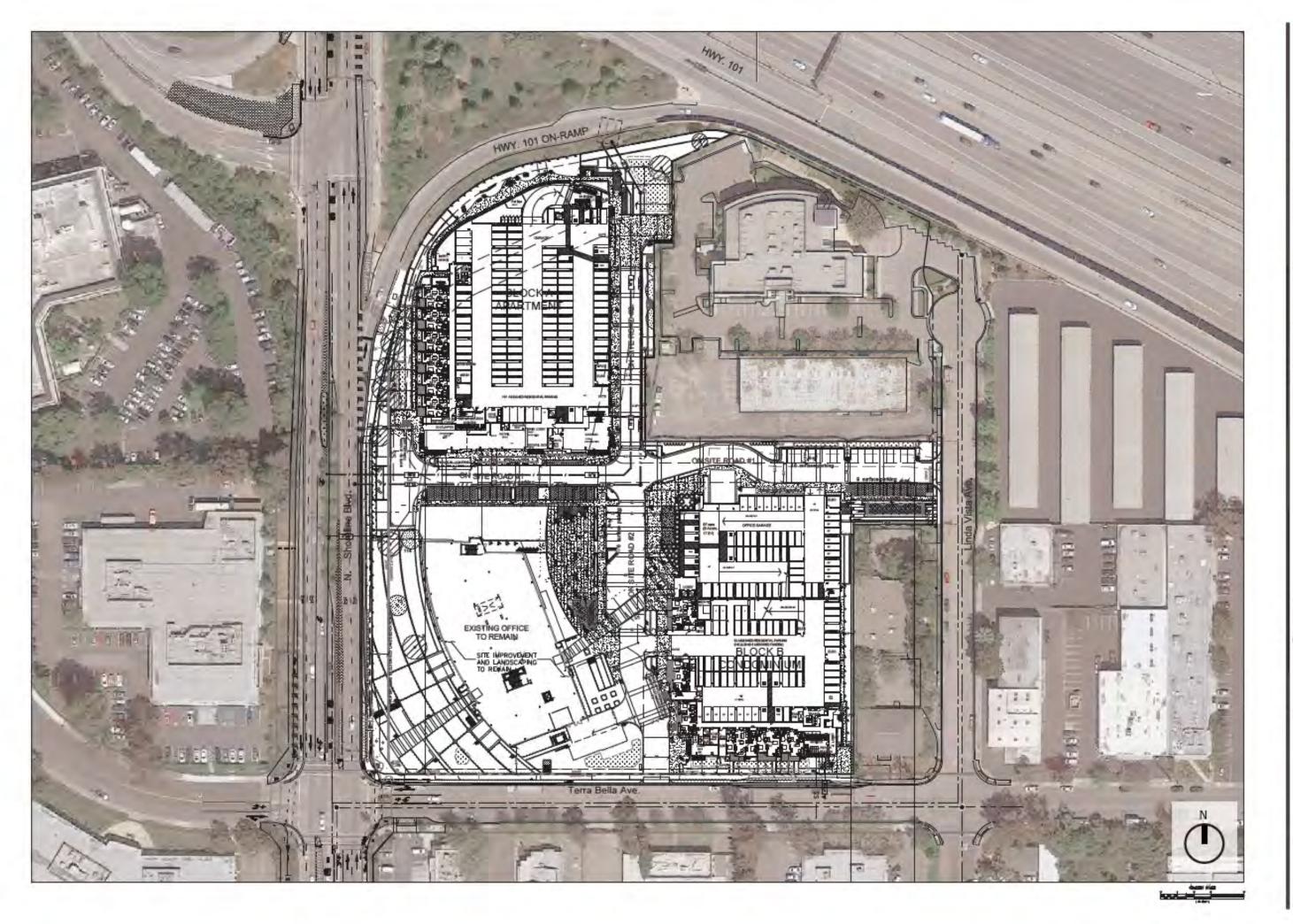
STUDIO T SQUARE : Architecture : Planning : Urban Design : 1970 Broadway, Suite 500 : Oakland, California 94612 : (510) 451-2850
Эна воссиляли сонтаки неговылися инстритутот разволя вод воссийся и ликенно на сонтверски по технатирического и воцилаток он неговы быто и сонте сонтакток на технатири на история сонтакток на технатири на история в насколекто сонтаки, на история в насколекто сонтаки, на история сонавет от издо стар, нас и да матта некетна, сонтакто за по стар, нас и да матта некетна, сонтакто за по
LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP
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The Residences @ Shoreline Gateway
Mountain View, California
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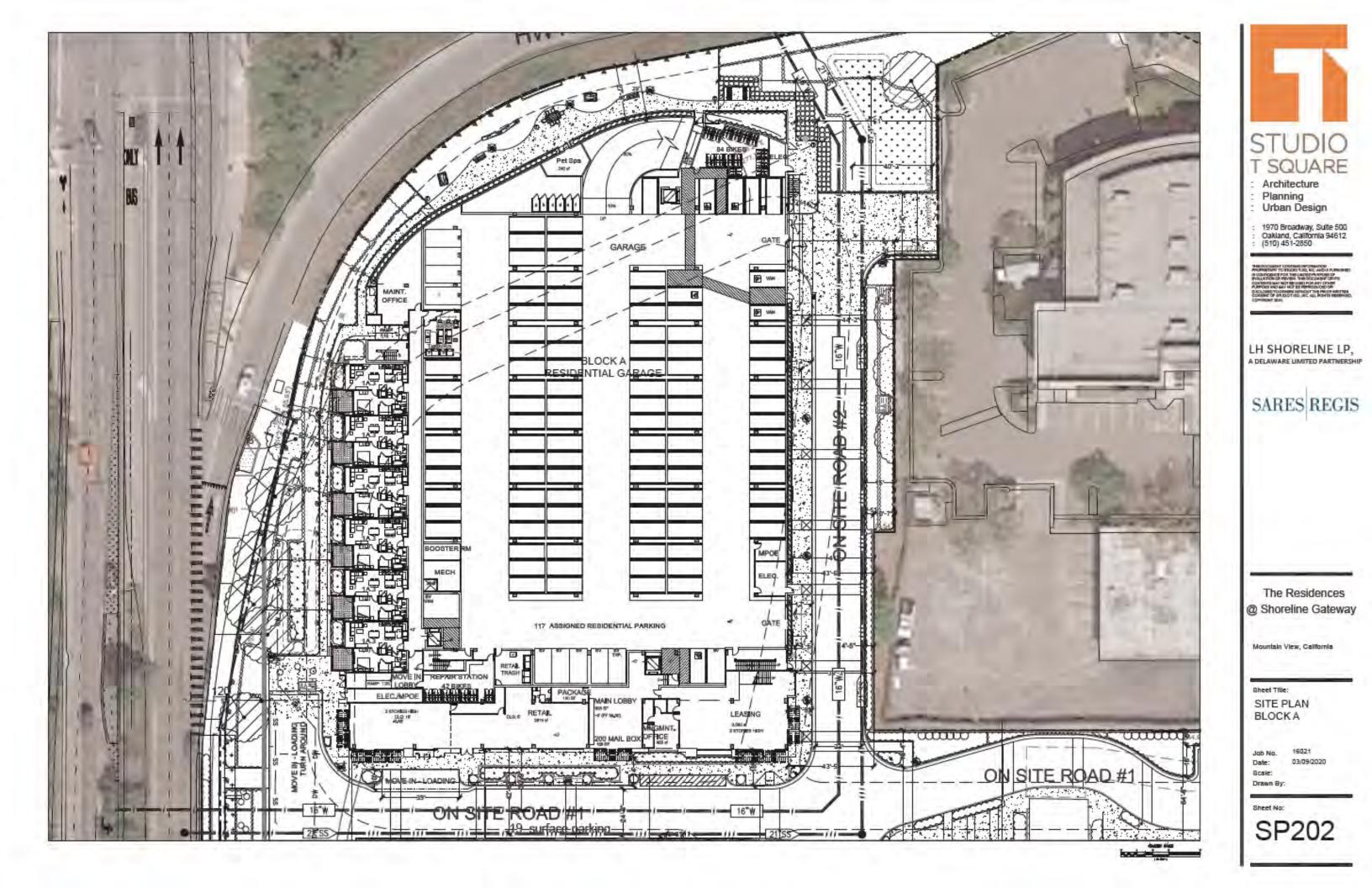
Mountain View, California

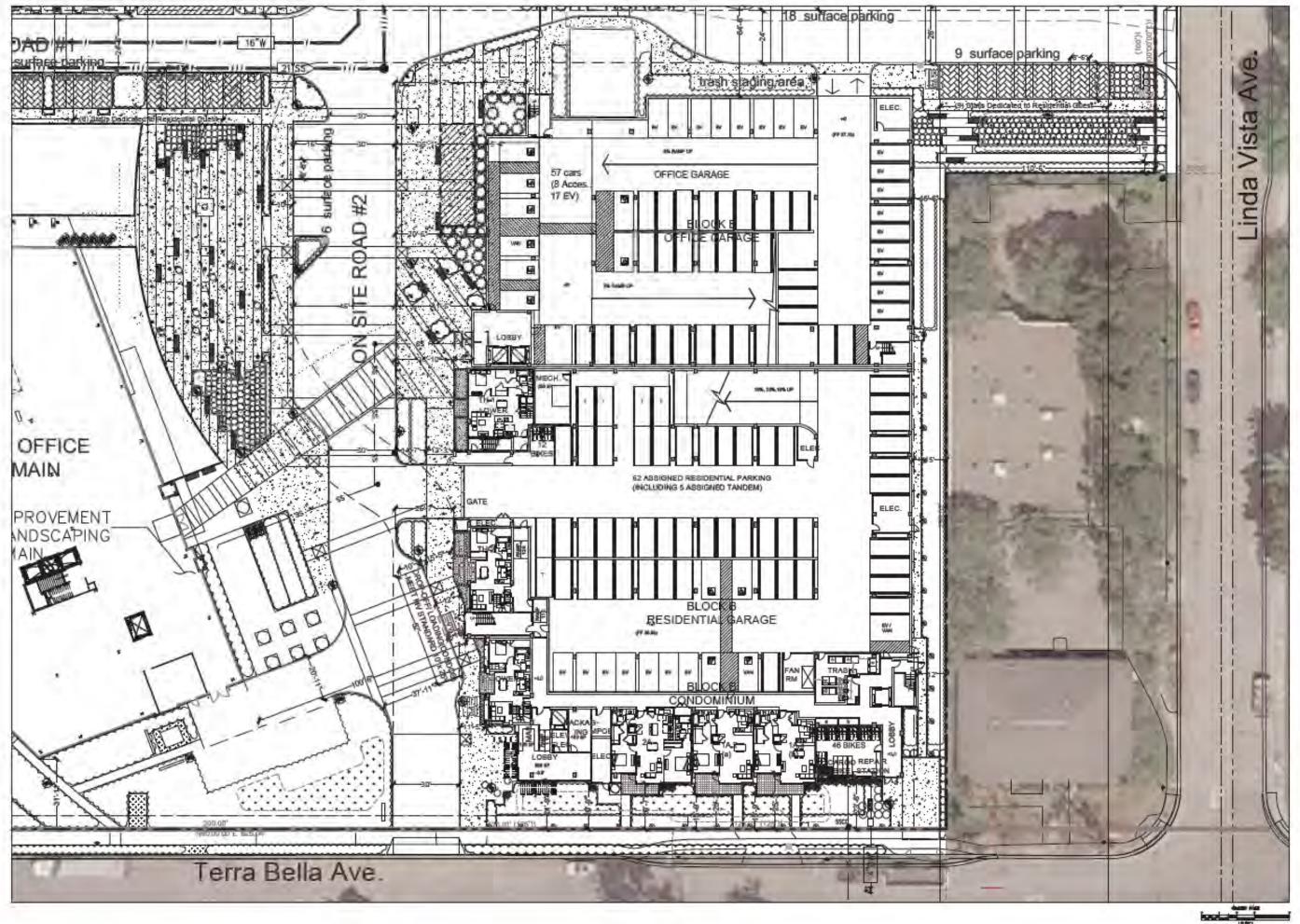
Sheet Title: SITE PLAN

Job No. 16021 Date: 03/09/2020 Scale: Drawn By:

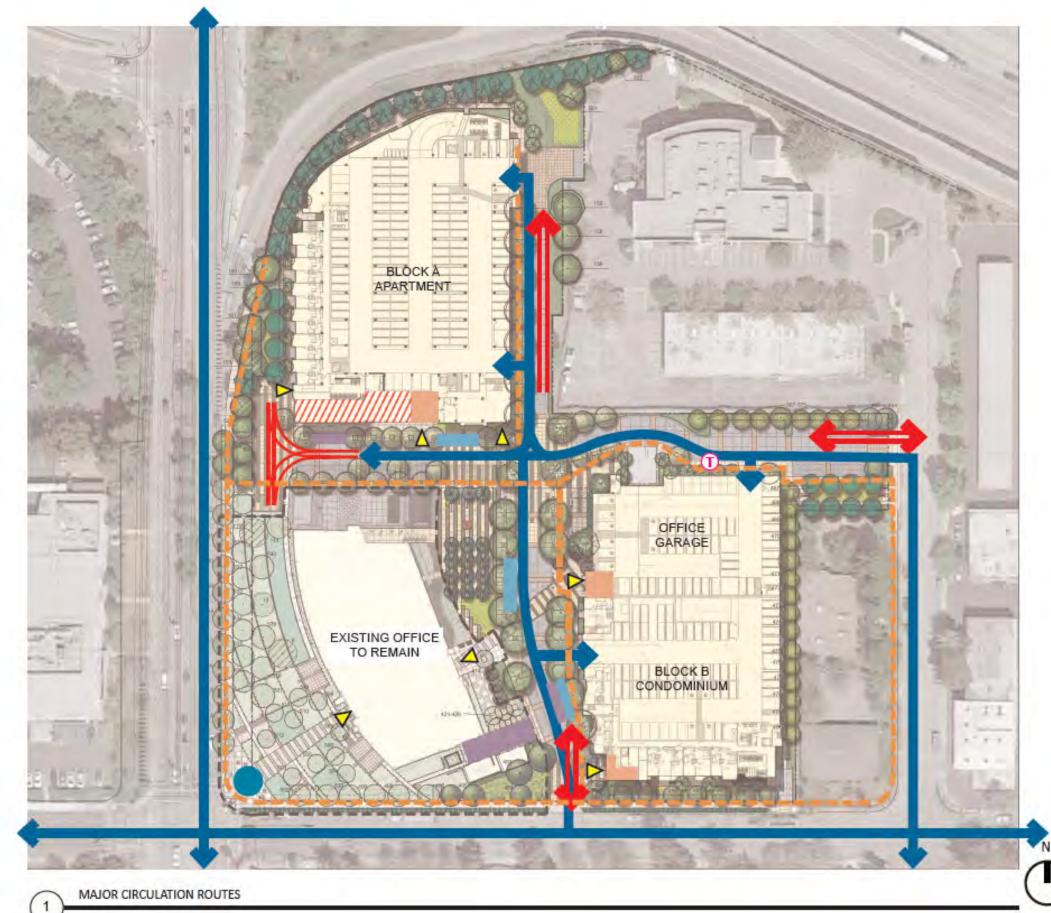
Sheet No:

SP201





5
STUDIO T SQUARE : Architecture : Planning : Urban Design
: 1970 Broadway, Suite 500 : Oakland, California 94612 : (510) 451-2850
Наконструкти состанов прознатися на обратовка и на техно, как и сило и наконстру на обратовка и на техно, как и сило на наконстру организато со на техно, как и сило на наконстру организато со на наконструкти на наконструкти состановка и сило в наконструкти наконструкти состановка и сило в наконструкти на наконструкти состановка и сило в наконструкти наконстру
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The Residences @ Shoreline Gateway
Mountain View, California
SITE PLAN BLOCK B
Job No. 16021 Date: 03/09/2020 Scale: Drawn By:
SP203



SCALE: 1" = 100' - 0"

LEGEND:

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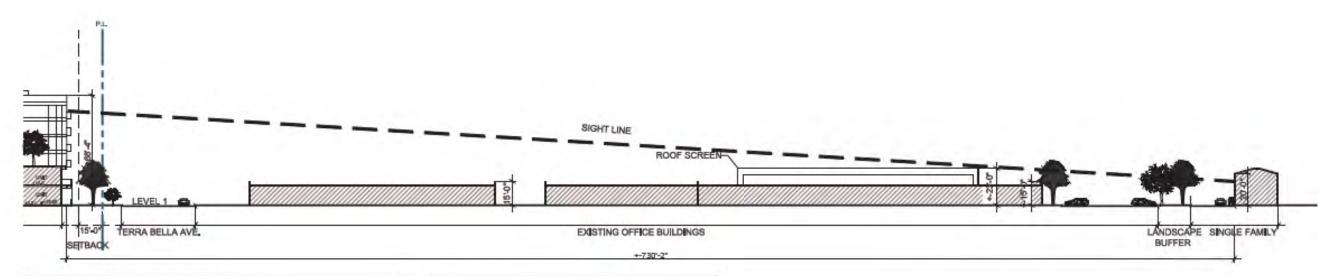
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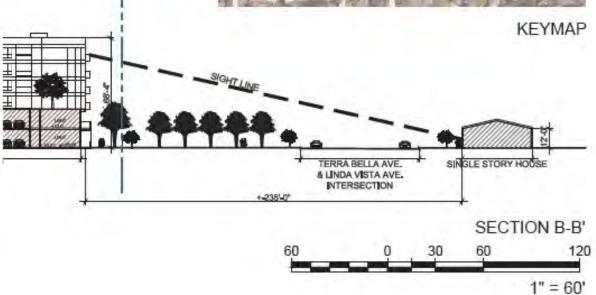


EXISTING CONTEXT OF SECTION A-A'

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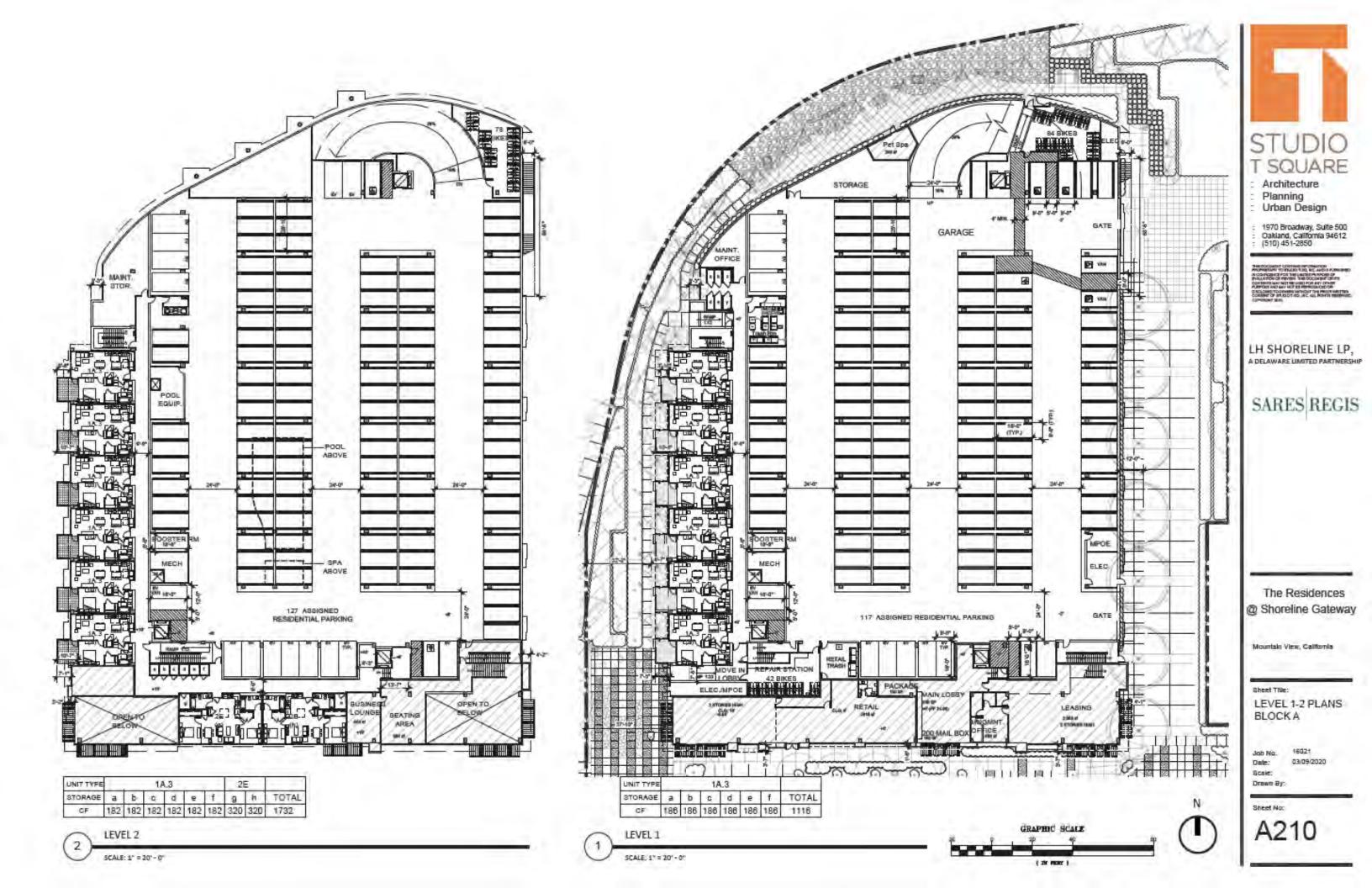
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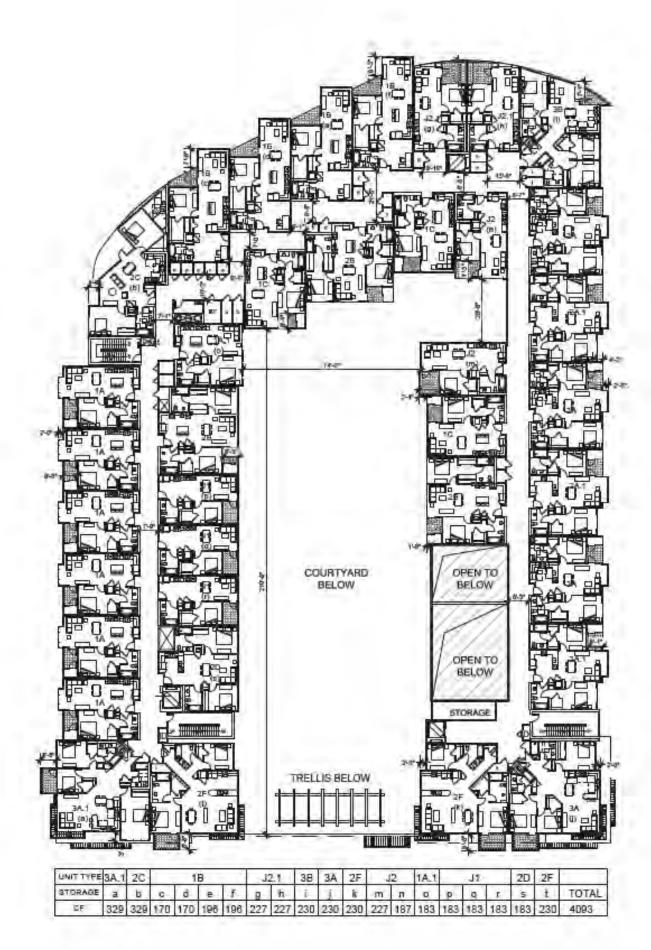


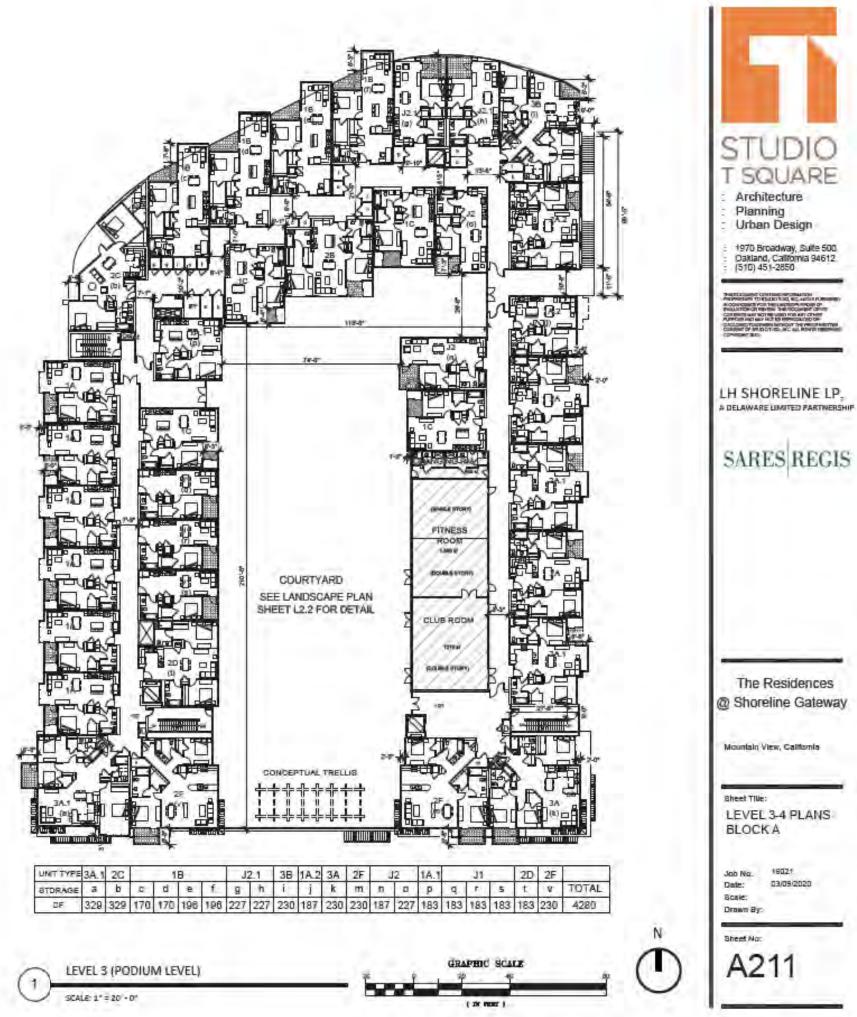
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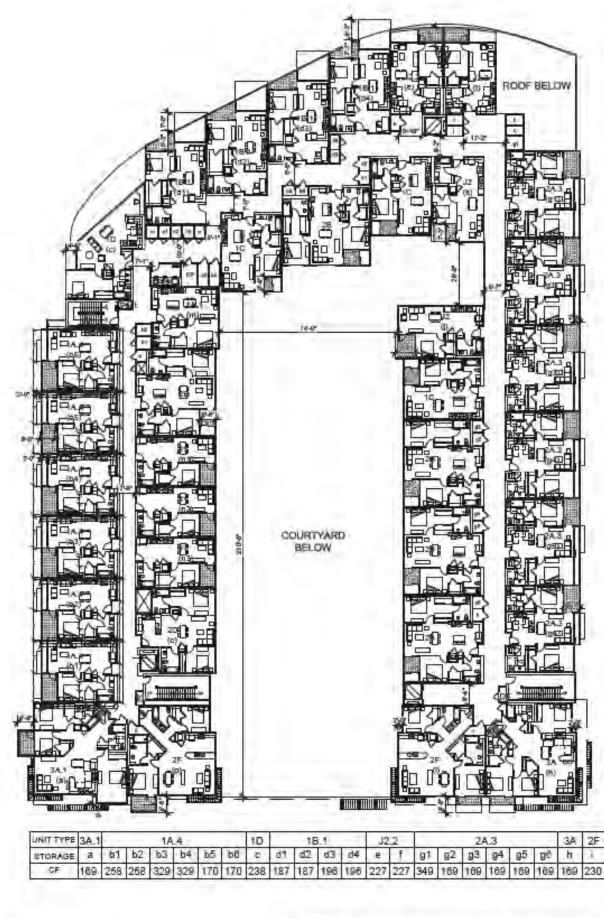
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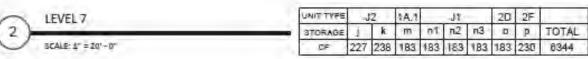


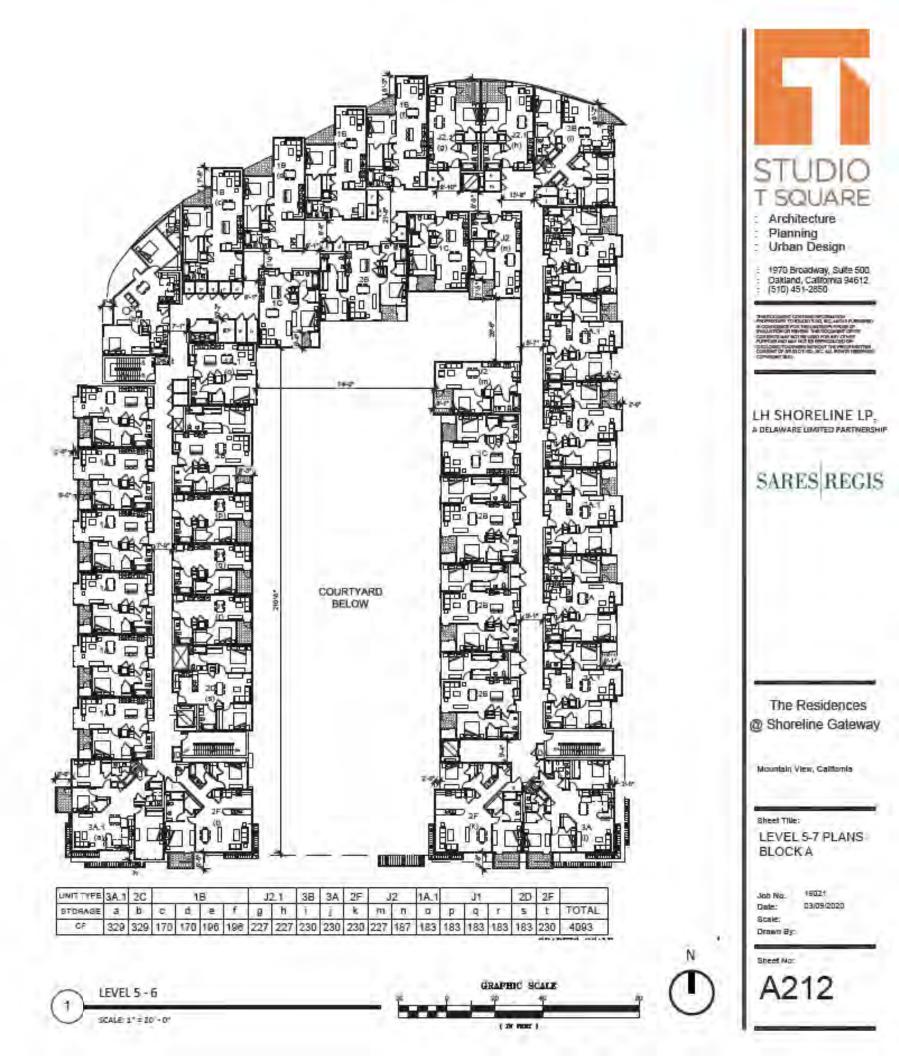


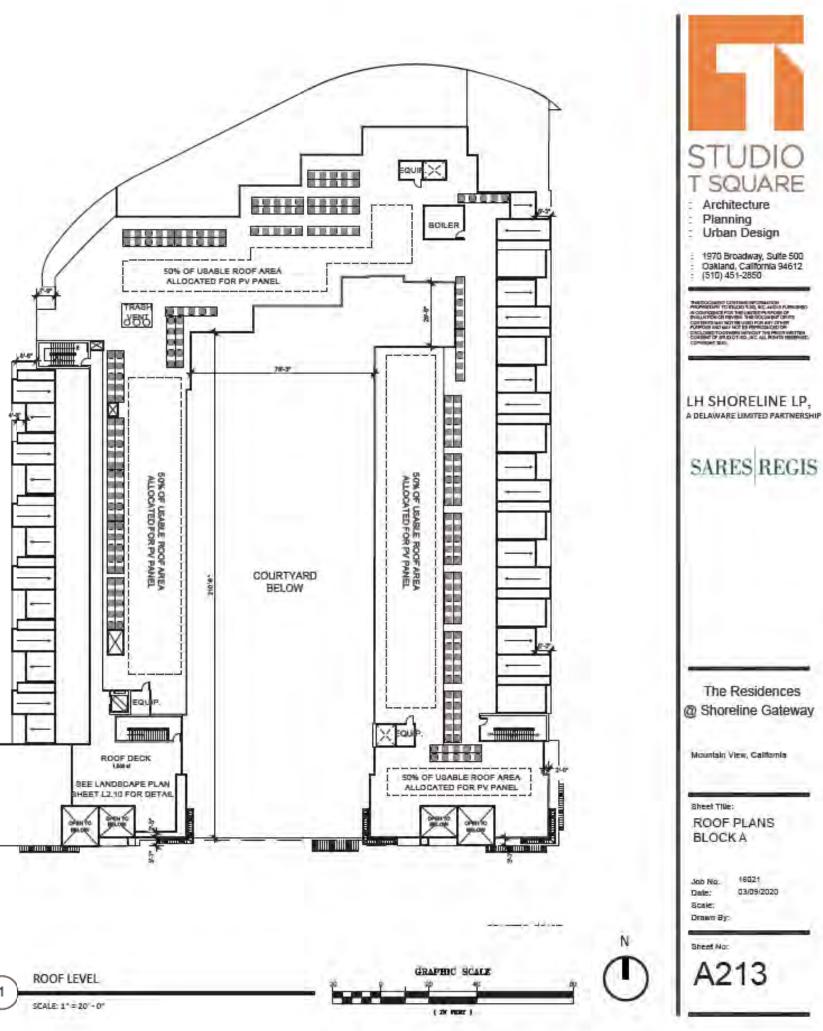


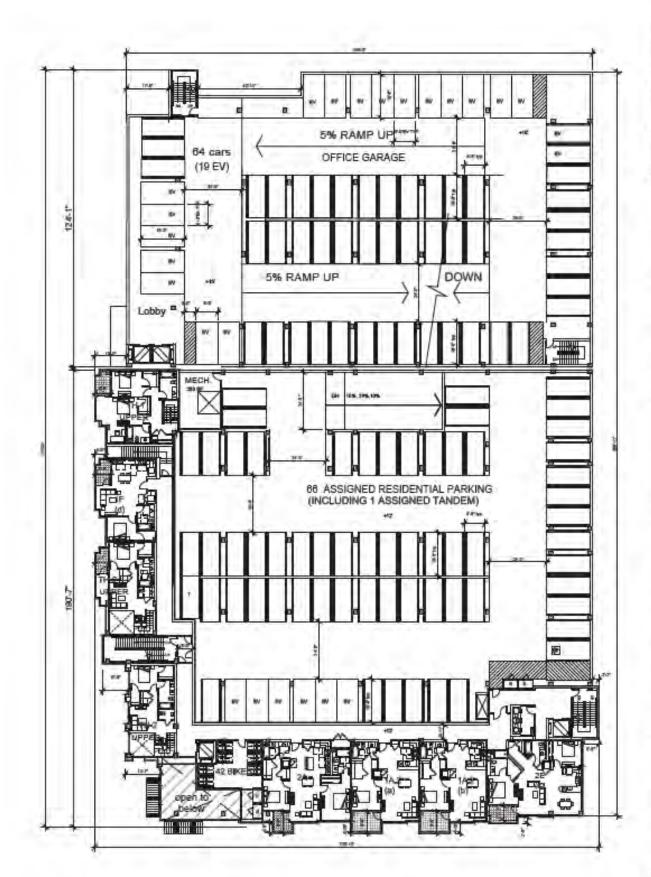
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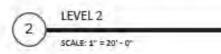


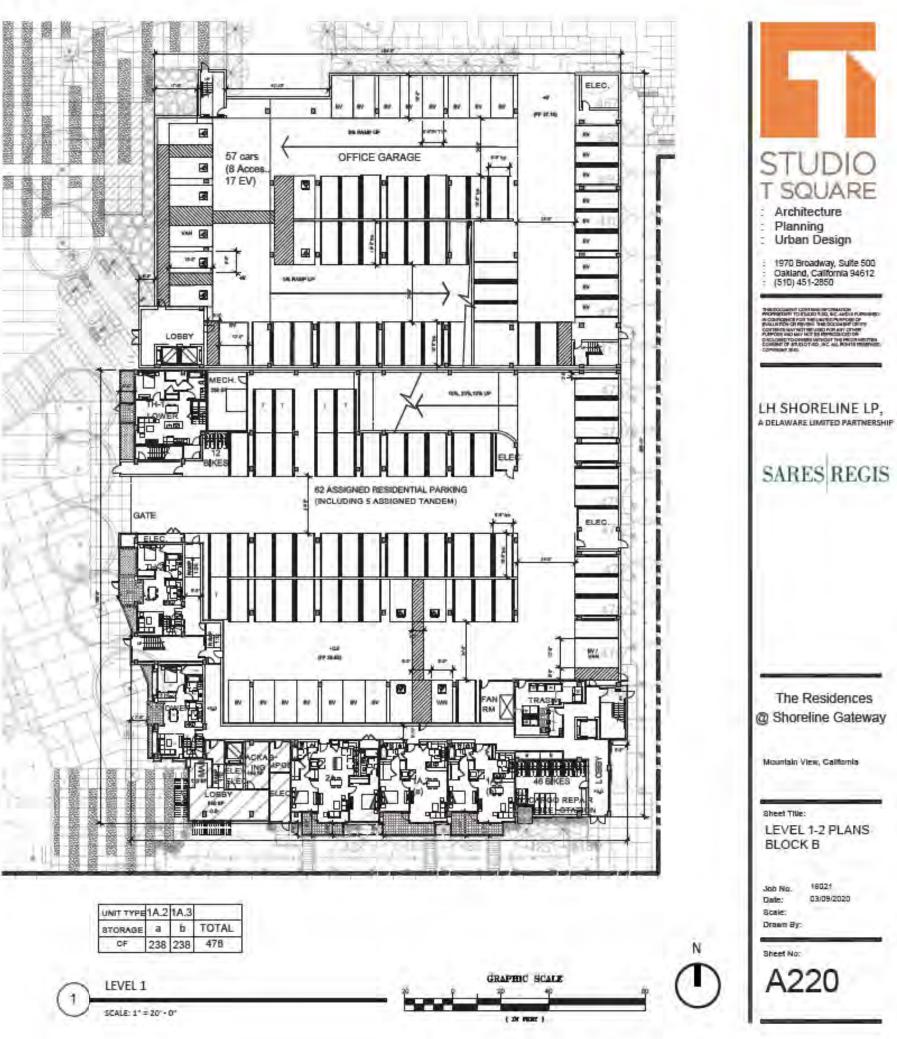


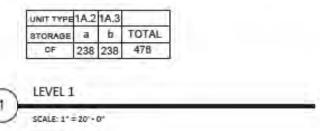


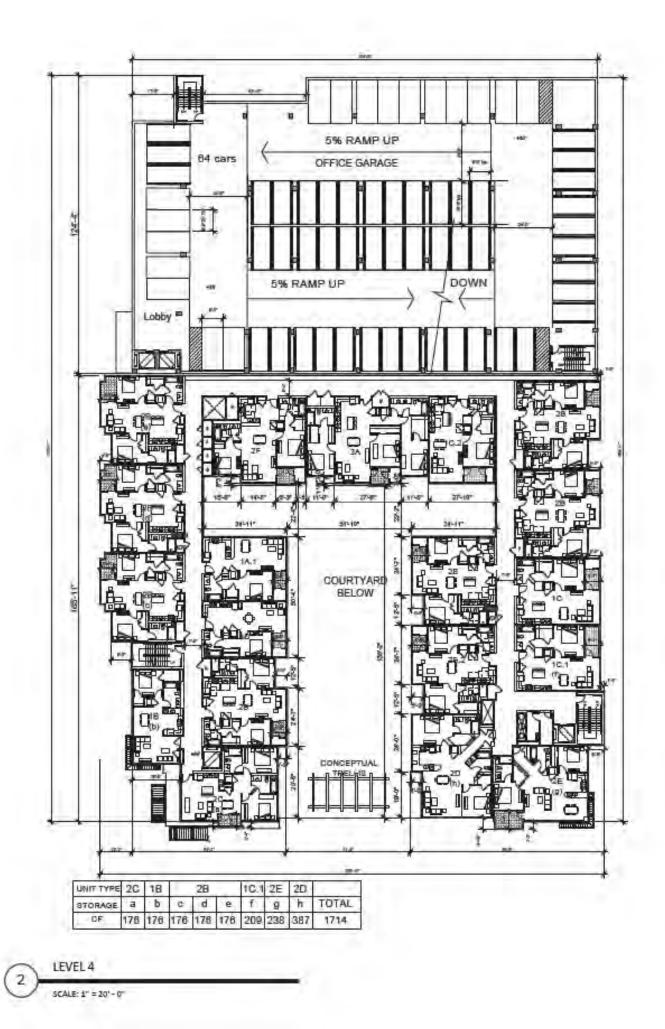


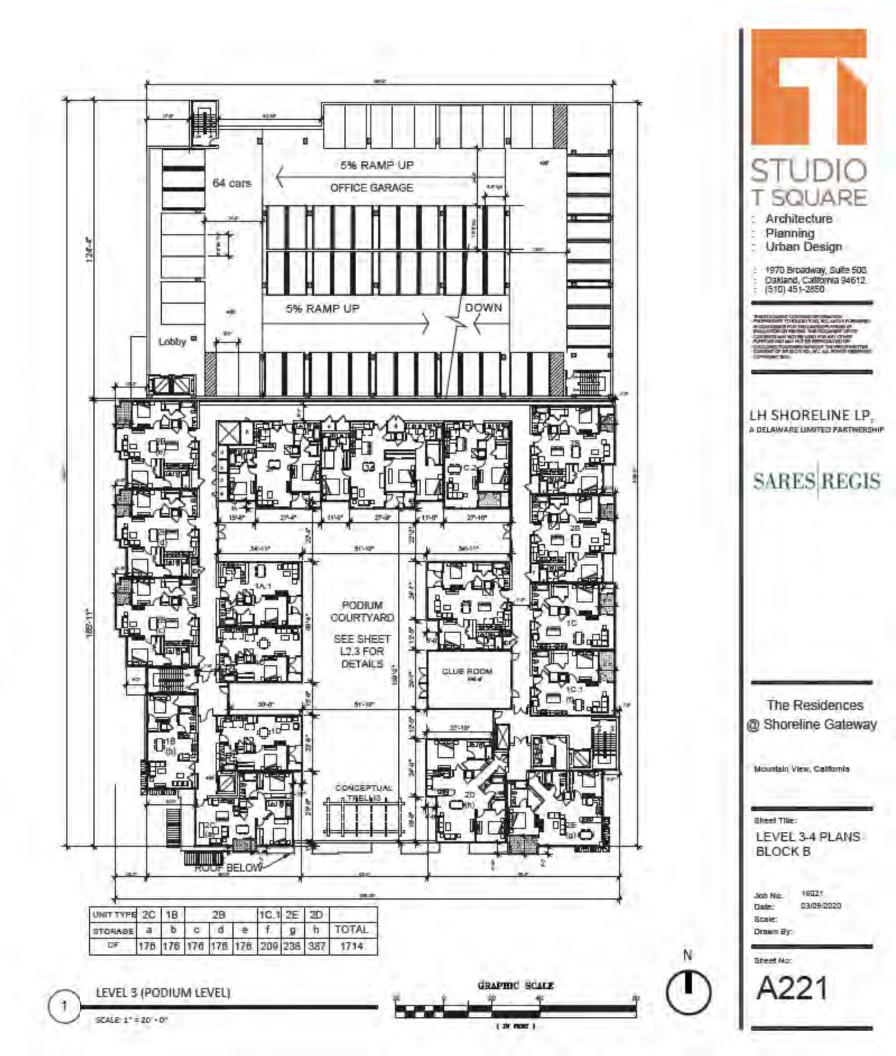
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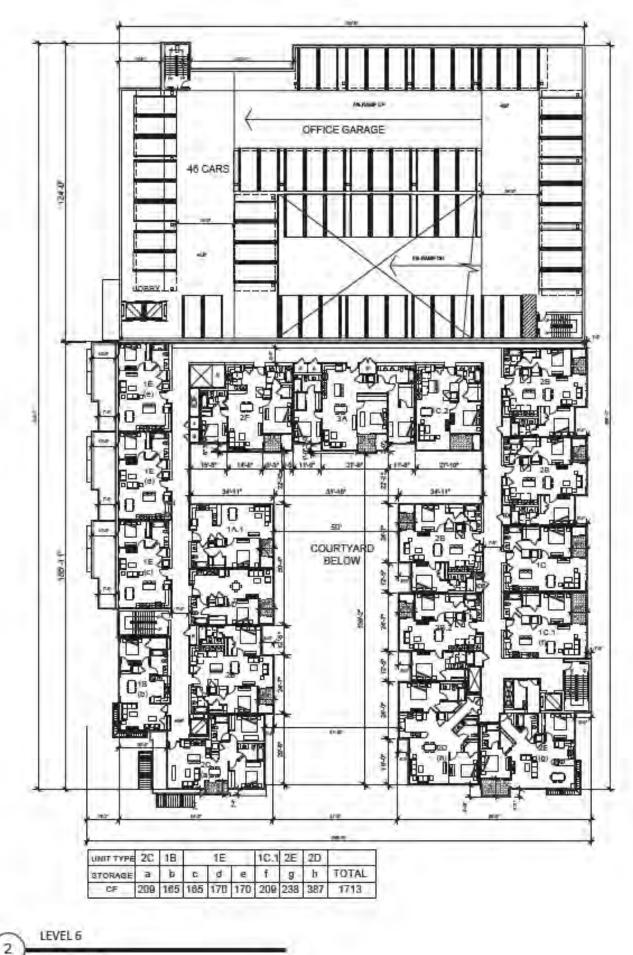


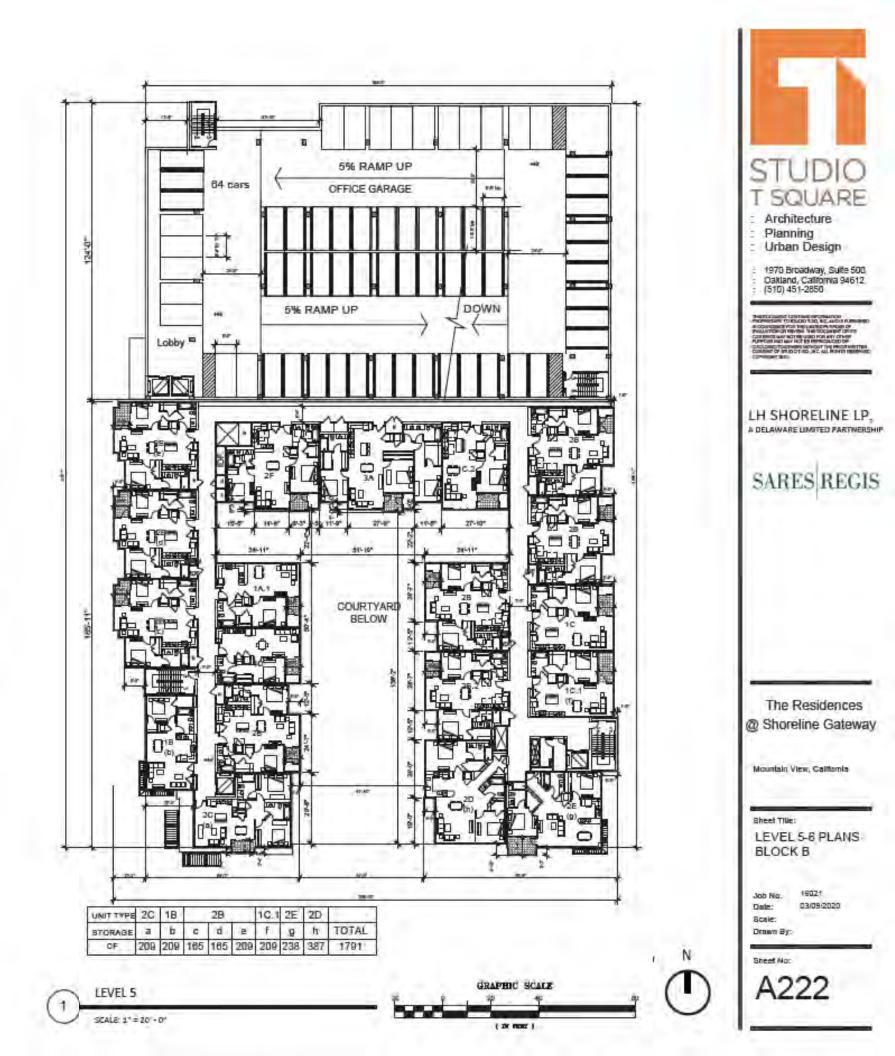




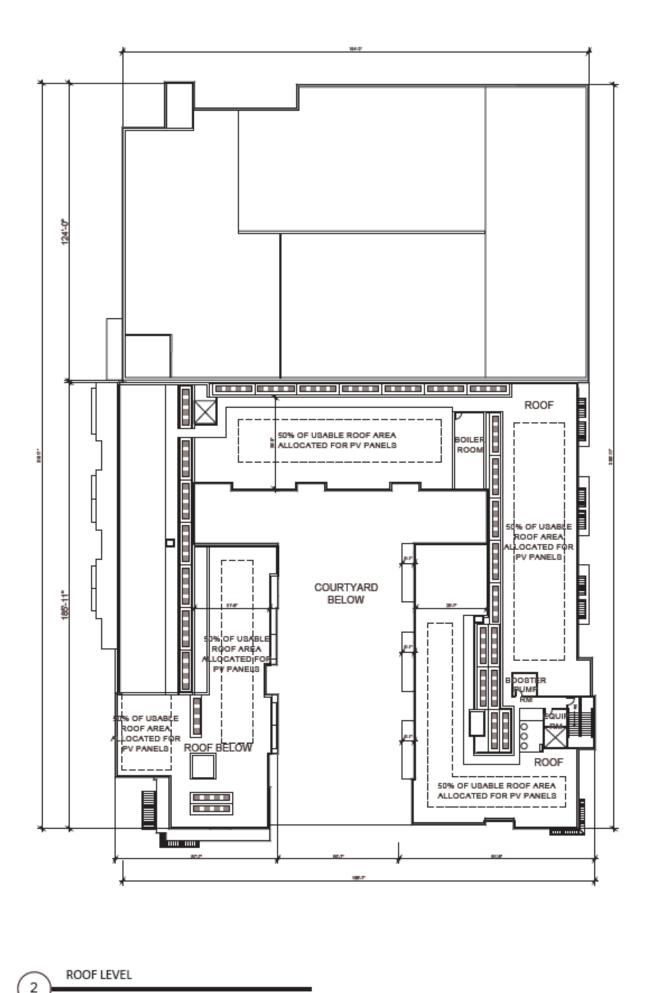


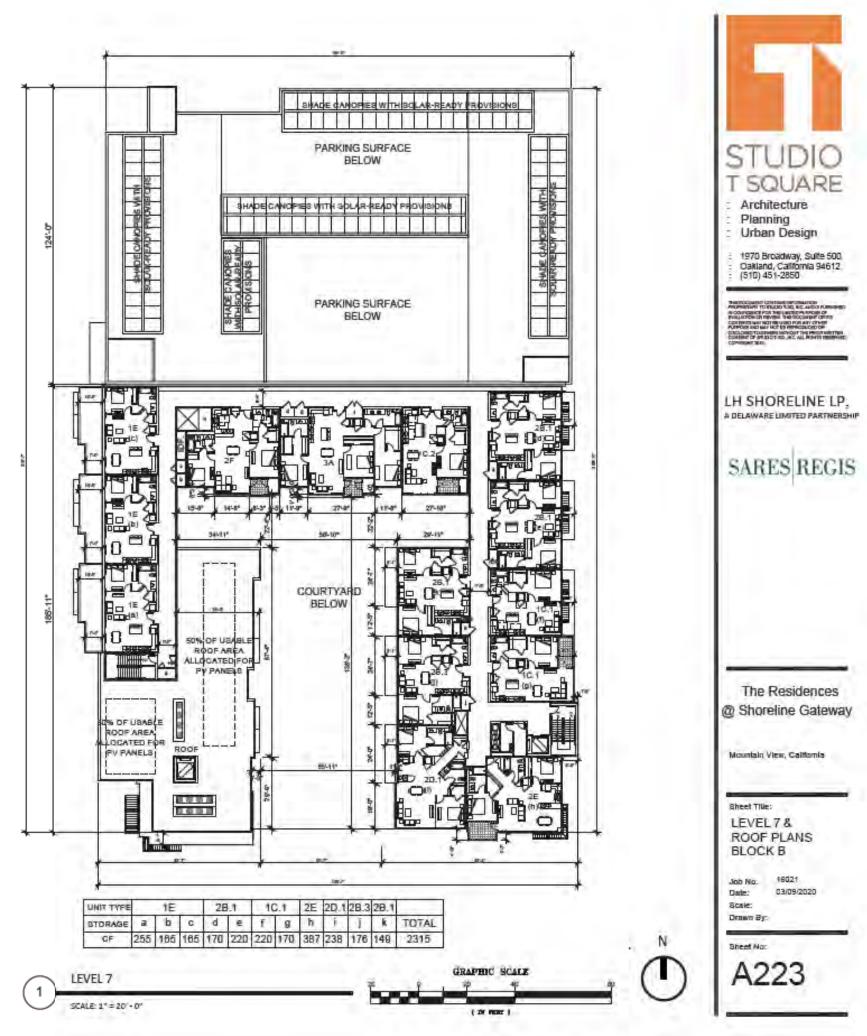






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64)	Panel Facade - Corrugated / Perforated

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SOUTH ELEVATIO

SCALE: 1" = 20' + 0"

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VIEW LOOKING SOUTH WEST FROM PARKING GARAGE

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(1-)	Stucco Finish - White
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EAST ELEVATION

SCALE: 1" = 20' - 0"

2



VIEW FROM LINDA VISTA AVE LOOKING AT APARTMENT

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9	Stucco Finish - White
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SCALE: 1" = 20' - 0"

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VIEW FROM TERRA BELLA AVE. LOOKING AT SOUTH WEST CORNER

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NORTH ELEVATION

SCALE: 1" = 20' + 0"

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SCALE: 1" = 20'-0"

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VIEW 1: Perspective View on N Shoreline BLVD looking from North to South



VIEW 2: Perspective View on N Shoreline BLVD looking from South to North

VIEW 2

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VIEW 3: Perspective View Looking from Parking Garage to Southwest



VIEW 4: Perspective View on HWY.101 Looking from Northeast to Southeast

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VIEW 4





VIEW 5: Condo's Perspective View on Terra Bella Ave Looking at Southwestern Corner



VIEW 6: Condo's Perspective View on Terra Bella Ave Looking at Southeastern Corner

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VIEW 7: Office Garage's Perspective View at Northwestern Corner



VIEW 8: Condo and Garage's Perspective View Looking at Eastern Elevation



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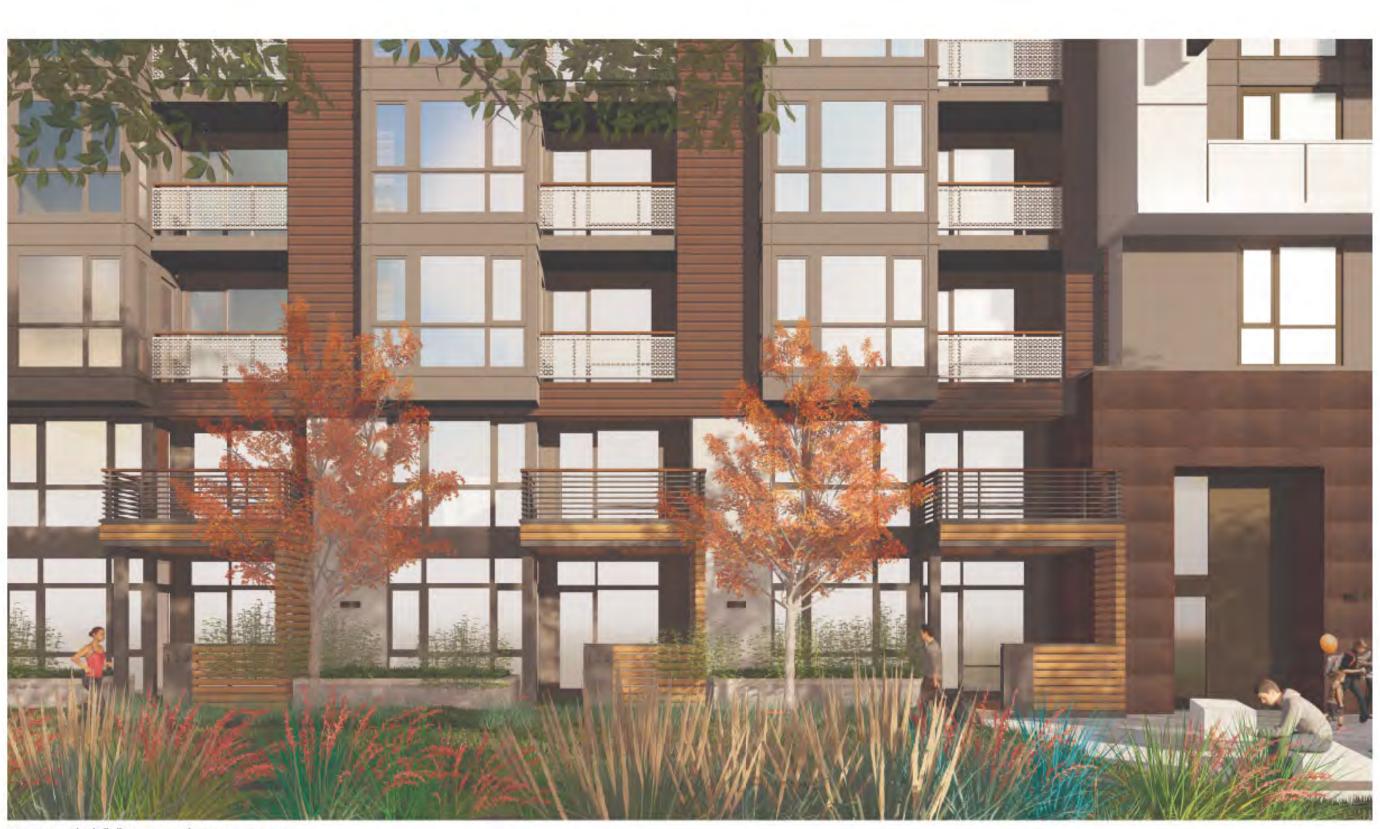
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VIEW 10: Block "A" Apartment's Perspective View

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VIEW 9: Block "B" Condo's Perspective View



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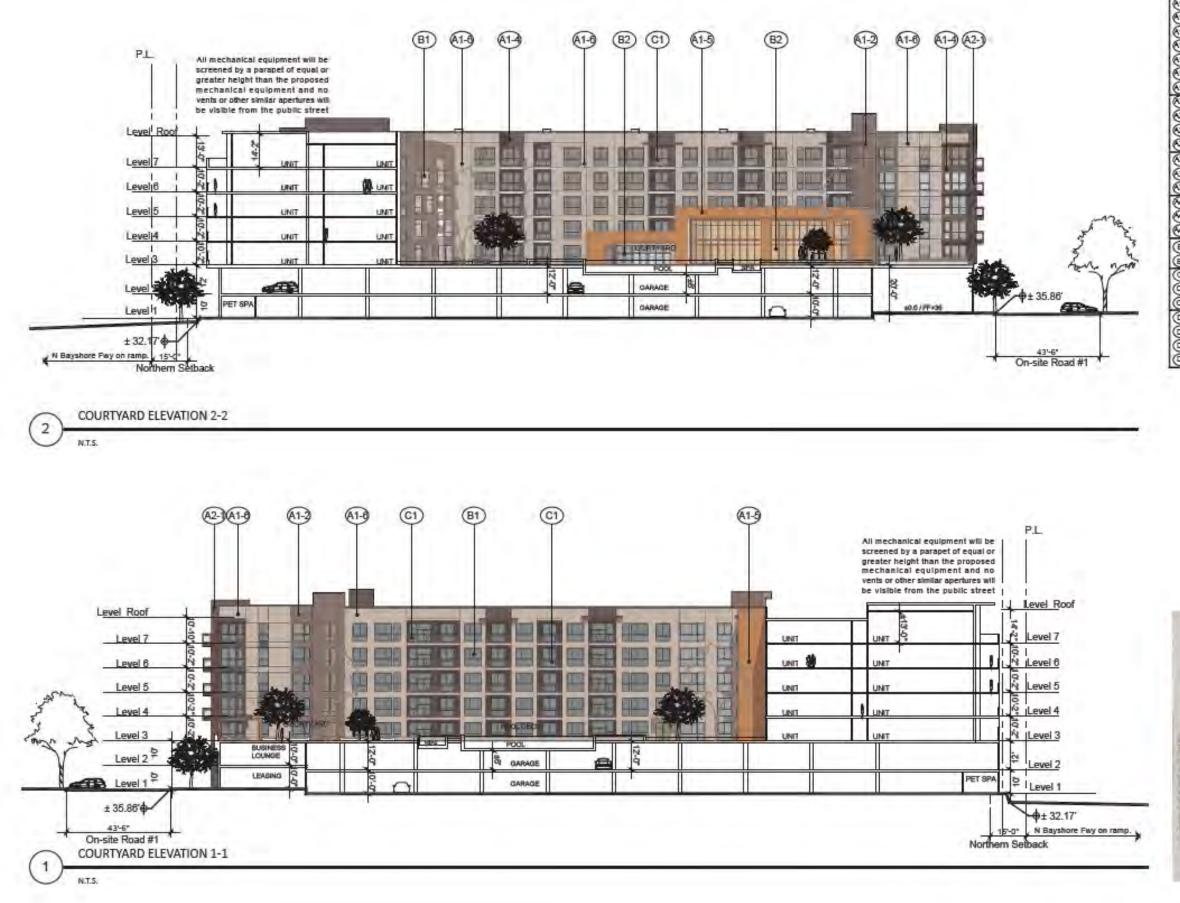
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4	Metal Panel - Orange
87)	Vinyt Window
5	Storefront Window
	Baicony - Metal Open Rall
~	Balcony - Perforated Metal Panel
5	Balcony - Glass Panel
01)	Sun Shade - Metal Square Awning
5	Sun Shade - Metal Tapered Awning
3	Panel Facade - Perforated
54)	Panel Facade - Corrugated / Perforated
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COURTYARD ELEVATION 3-3

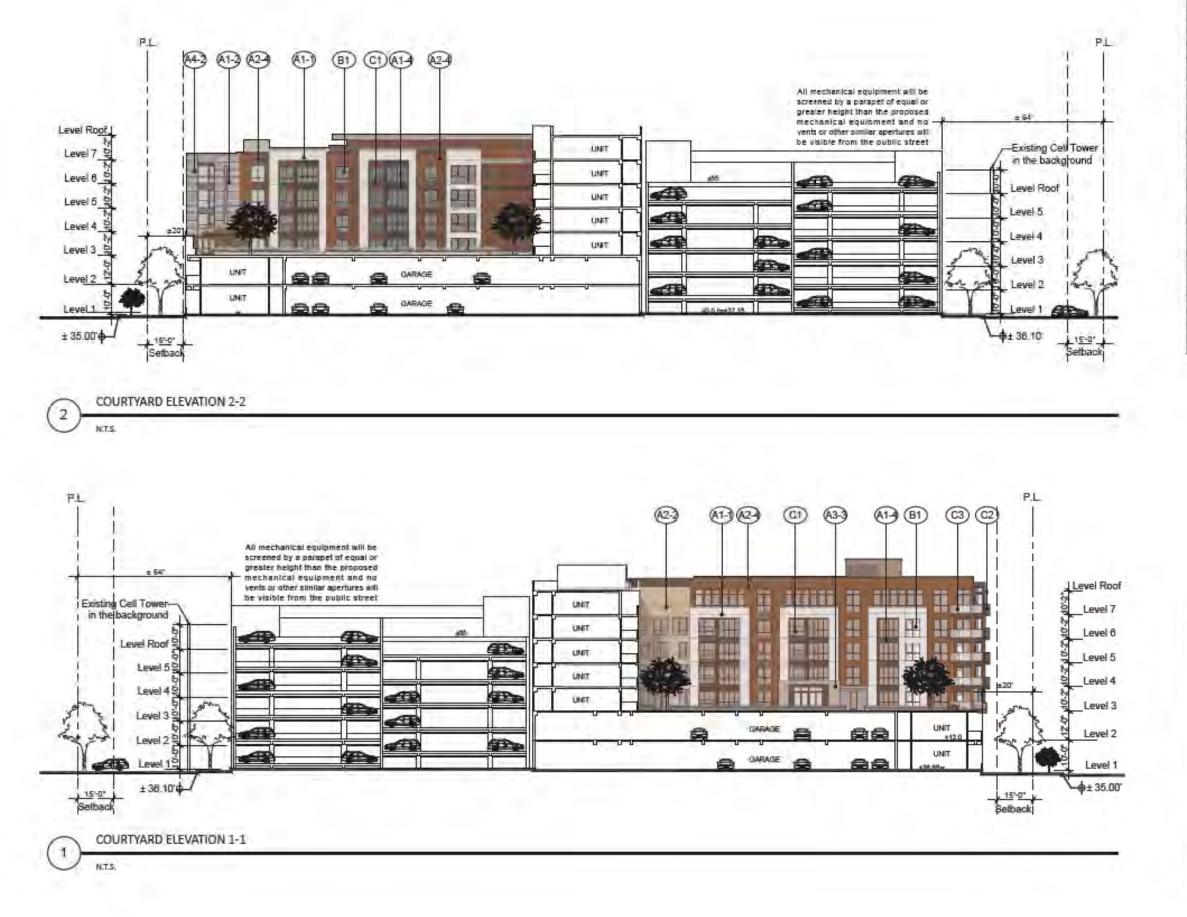
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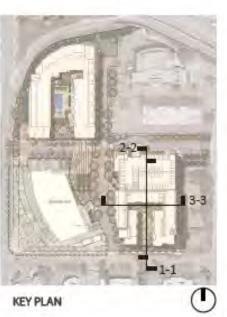
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	Stucco Finish - Grey
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	Stucco Finish - Dark Grey
1)	Stucco Finish - Amber
1-0	Stucco Finish - Belge
1-)	Stucco Finish - Grey
1	Stucco Finish - Khaki
2)	Siding - Brown
23	Siding - Yellow
2)	Siding - Medium Grey
3	Siding - Light Brown
3-)	Tiles - Brown
3	Tiles - Belge
3	Tiles - Grey
4-)	Metal Panel - Grey
4-3	Metal Panel - Light Grey
4-)	Metal Panel - Orange
BI)	Vinyl Window
3	Storefront Window
8) 61)	Balcony - Metal Open Rail
5	Baicony - Perforated Metal Panel
Ď	Balcony - Glass Panèl
01)	Sun Shade - Metal Square Awning
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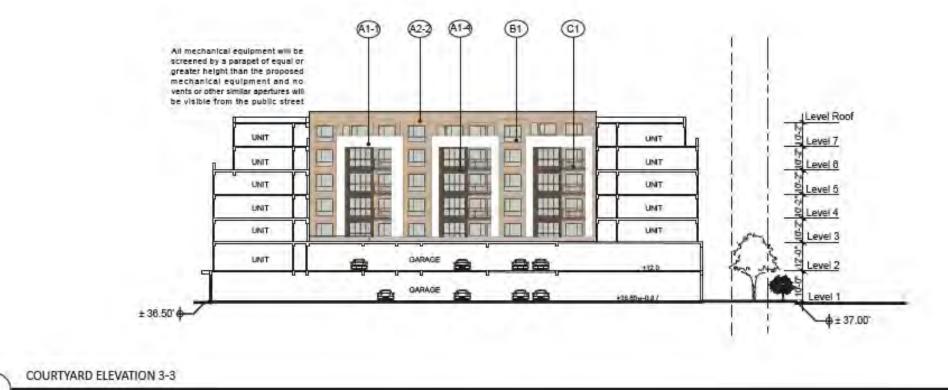
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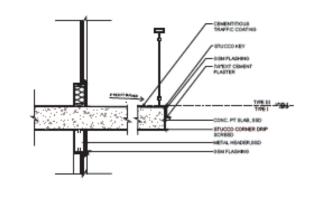
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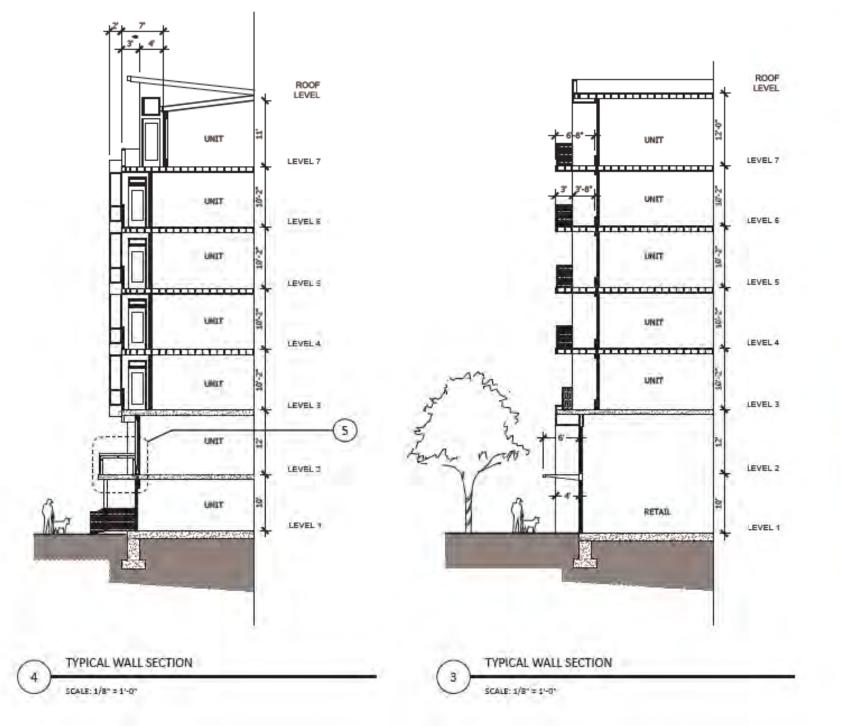
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CONCRETE SLAB BALCONY DETAIL

SCALE: 1/2" = 1'-0"

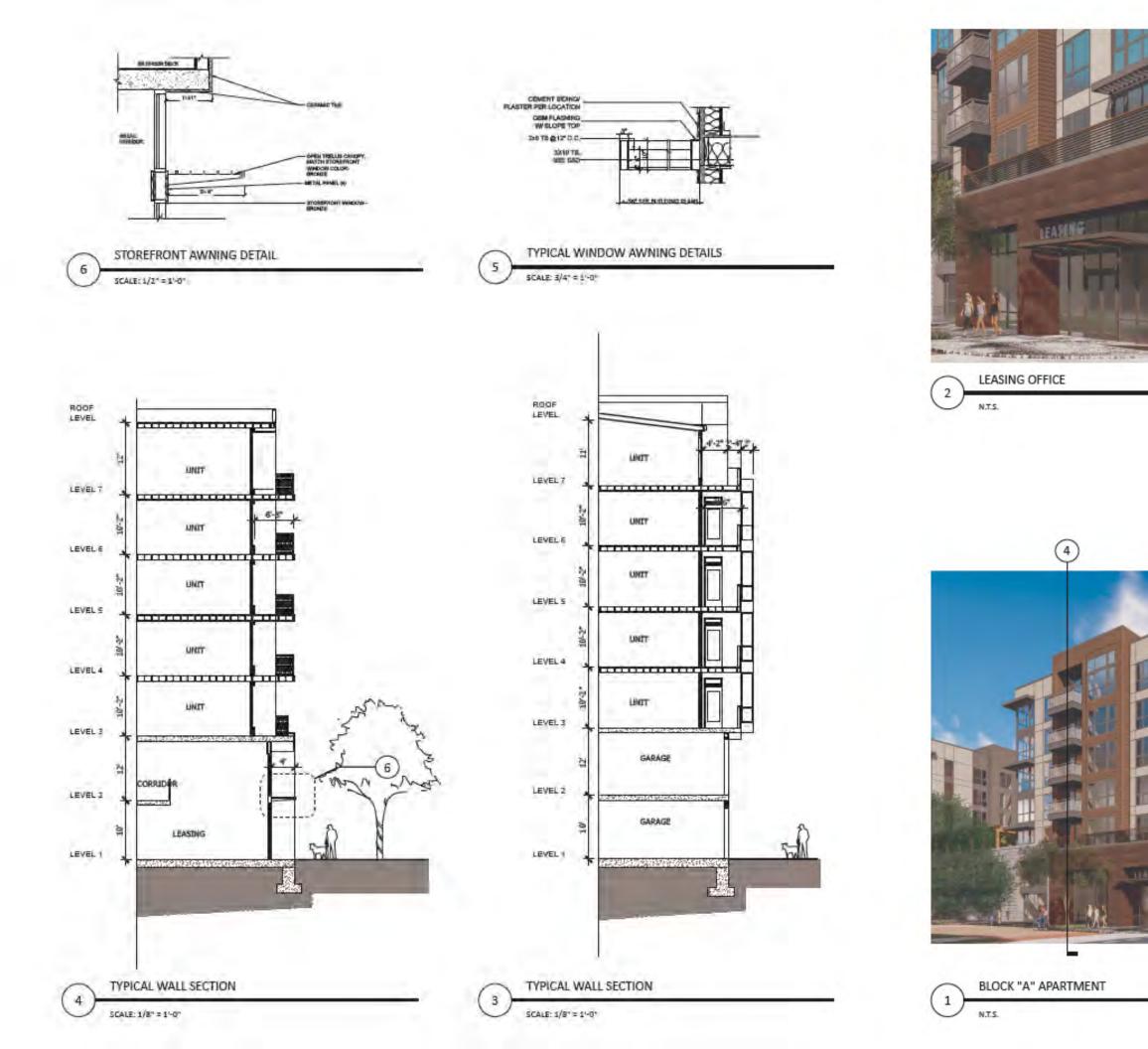
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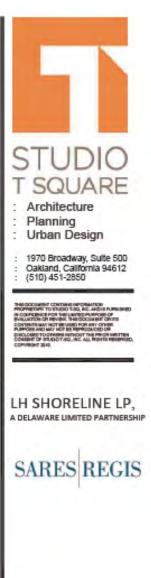


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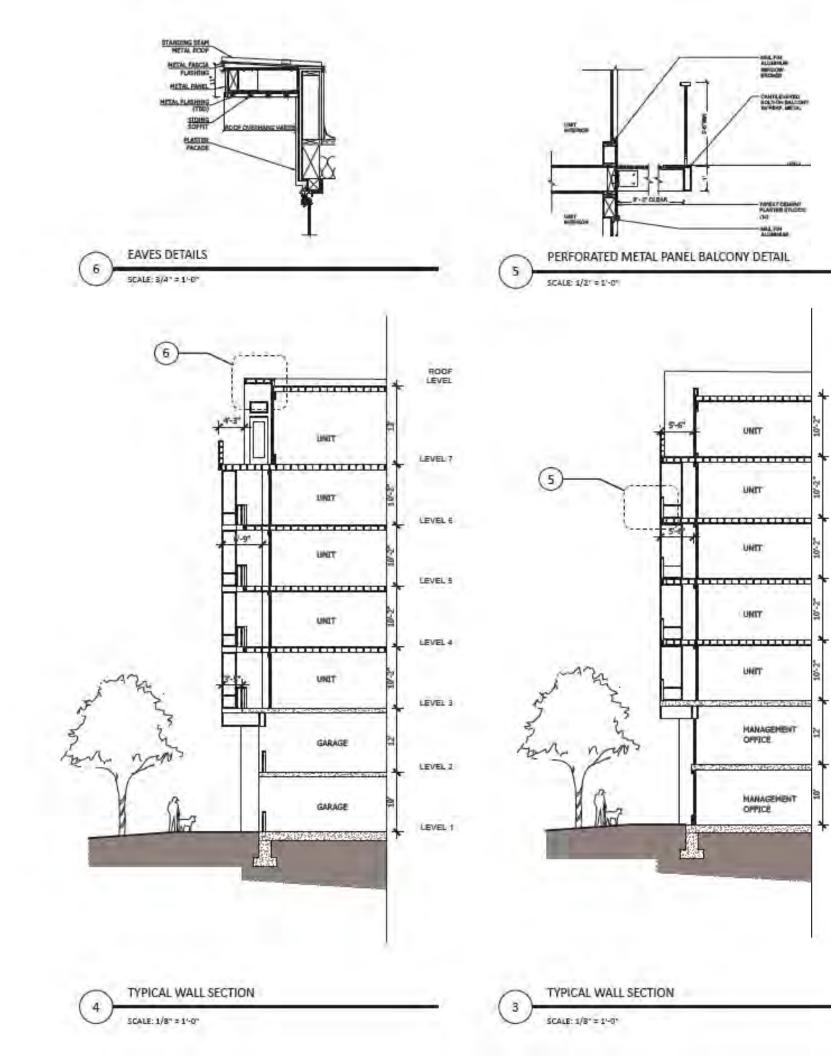
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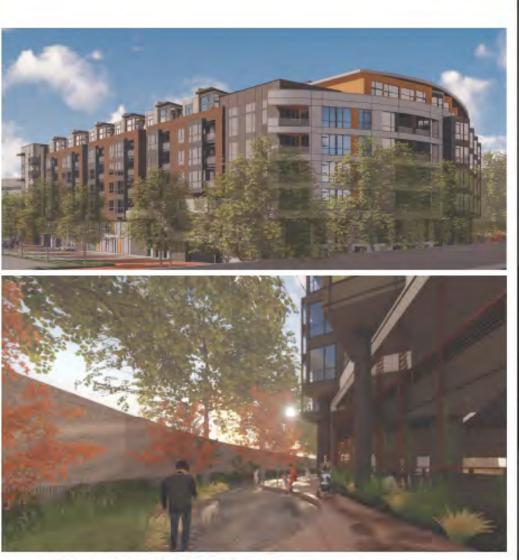
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DETAILS - BLOCK A

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BLOCK "A" APARTMENT - GROUND LEVEL 2 N.T.S.

ROOF

LEVEL

LEVEL 7

LEVEL 6

LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1



BLOCK "A" APARTMENT 1 N.T.S.

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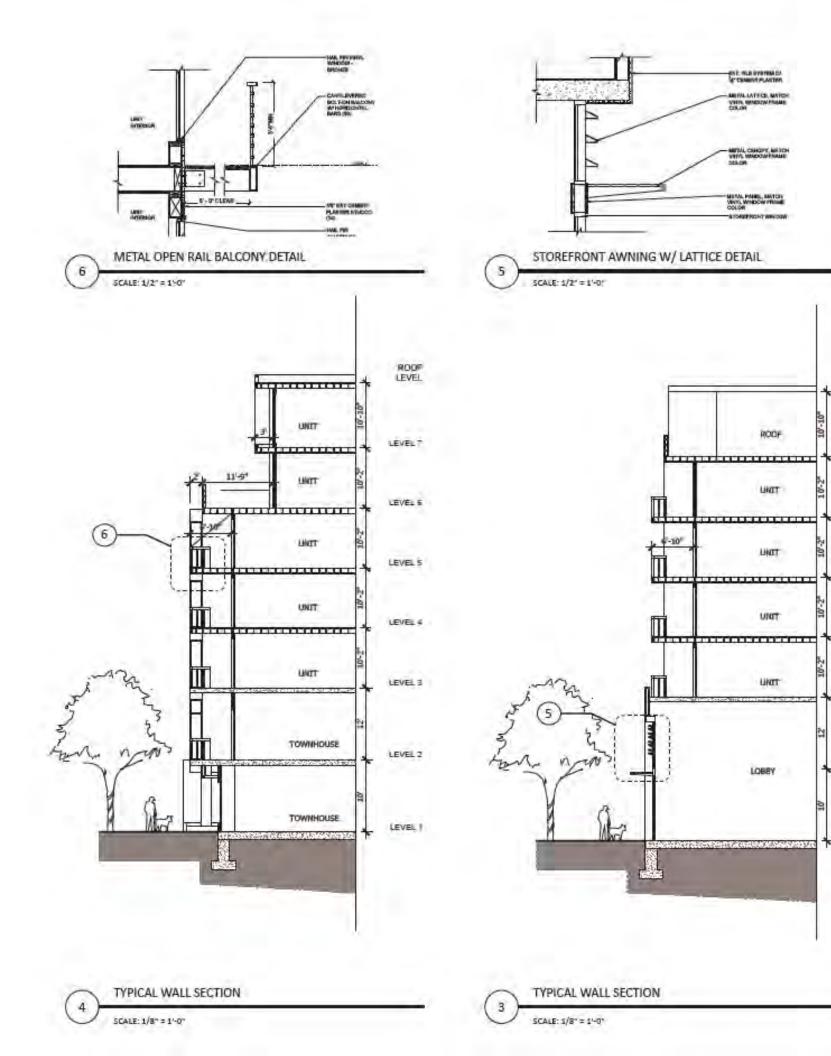
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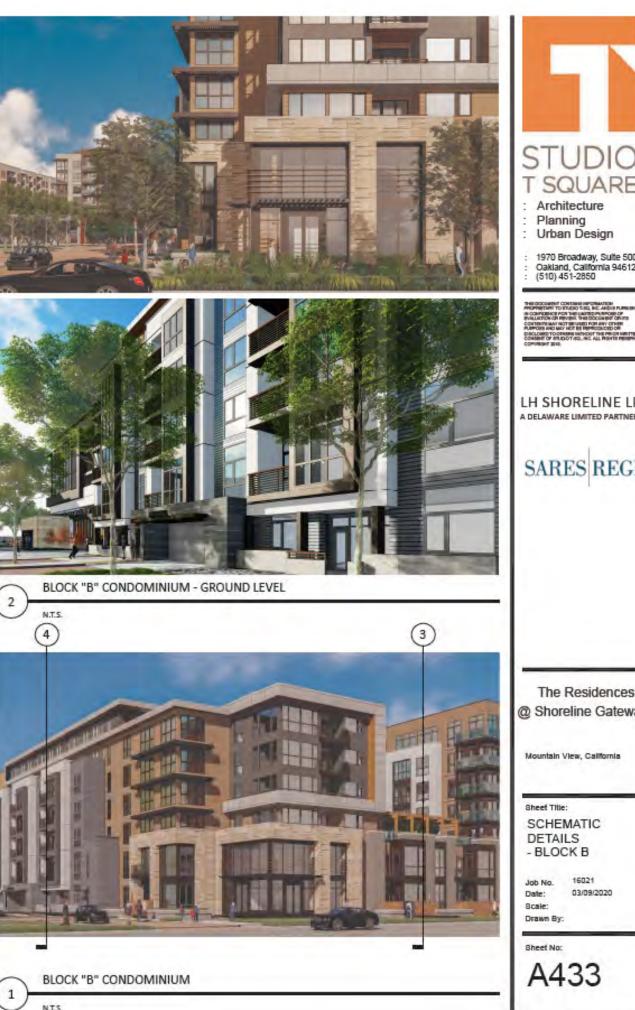
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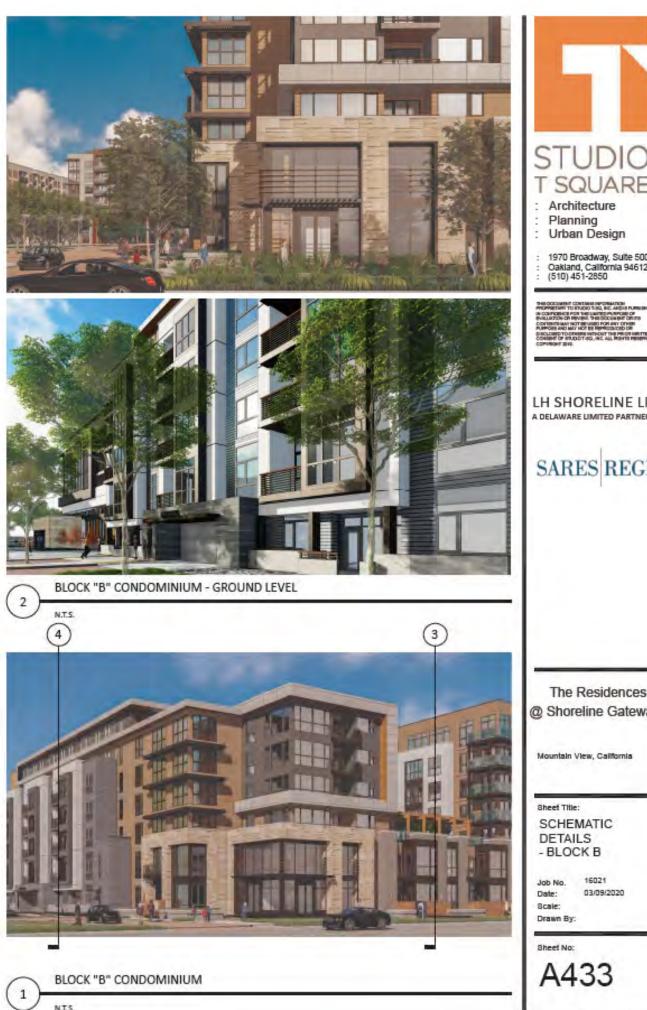
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ROOF

LEVEL

LEVEL 7

LEVEL 6

LEVEL 5

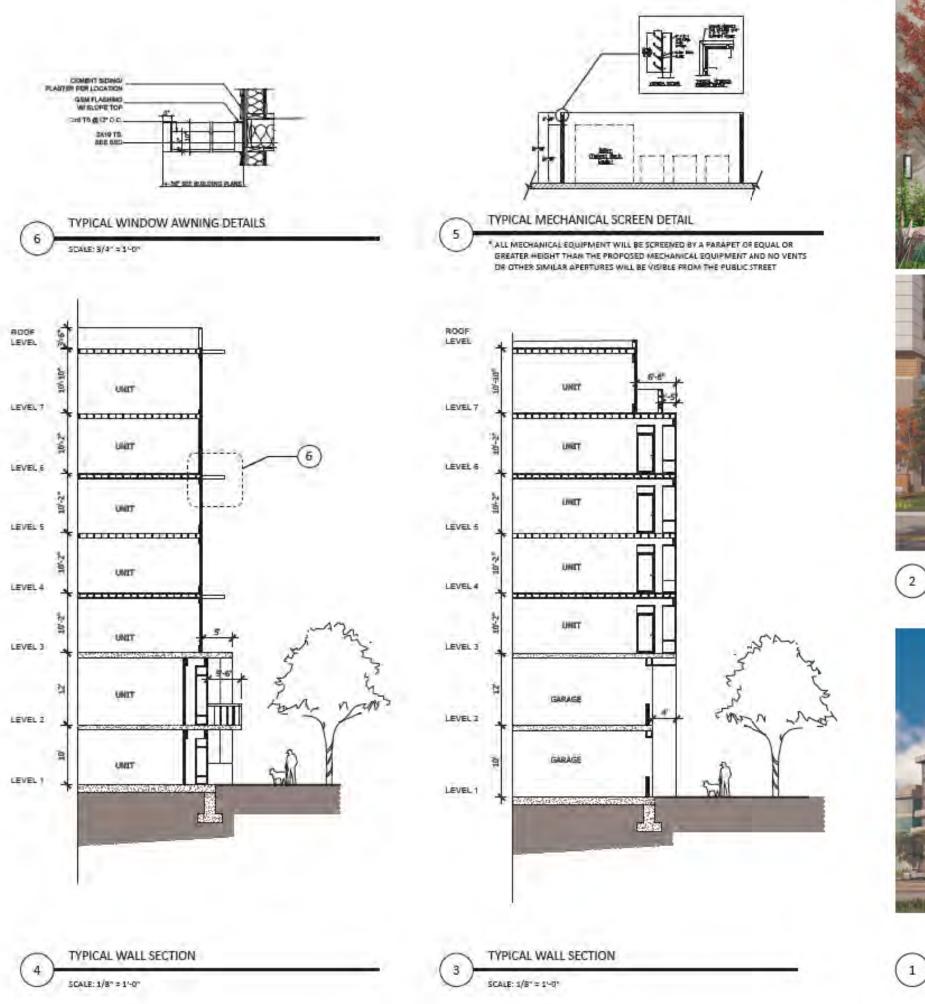
LEVEL 4

LEVEL 3

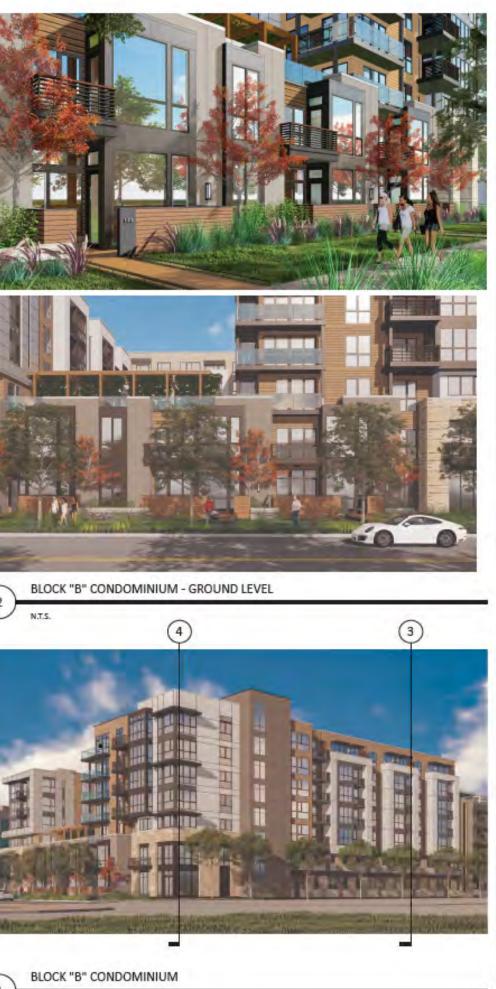
LEVEL 2

LEVEL 1

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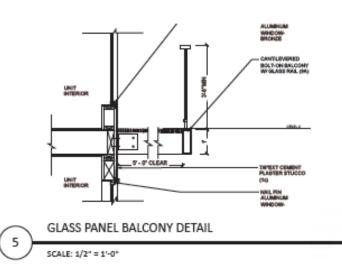


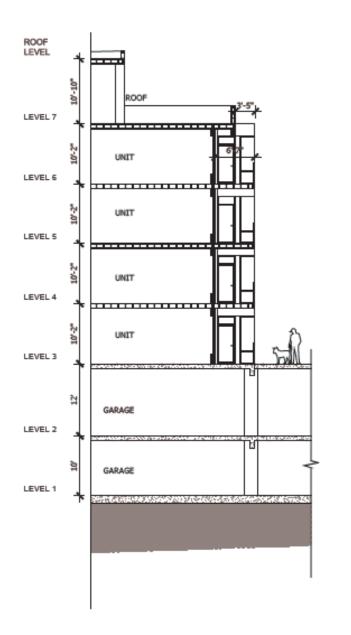


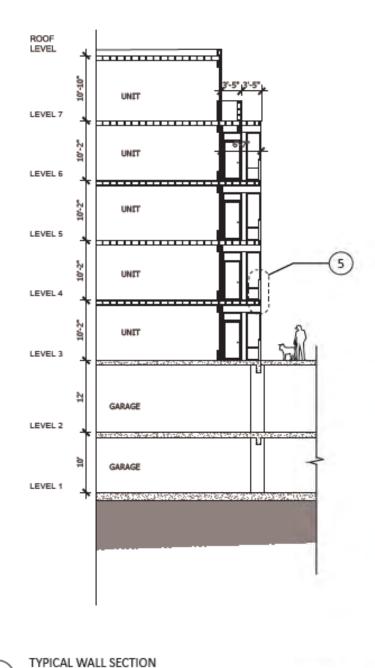


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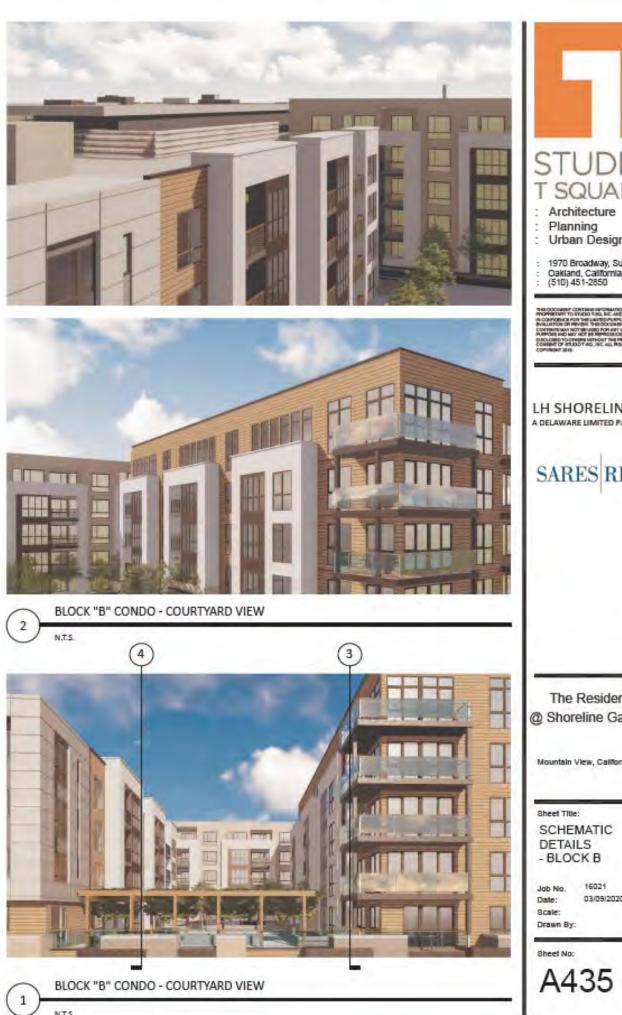
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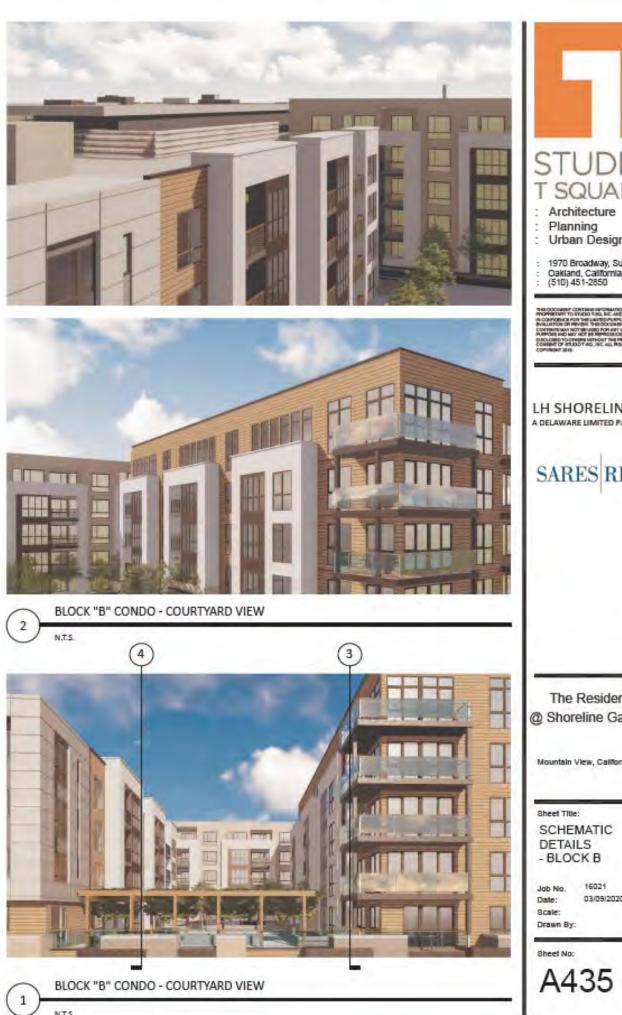












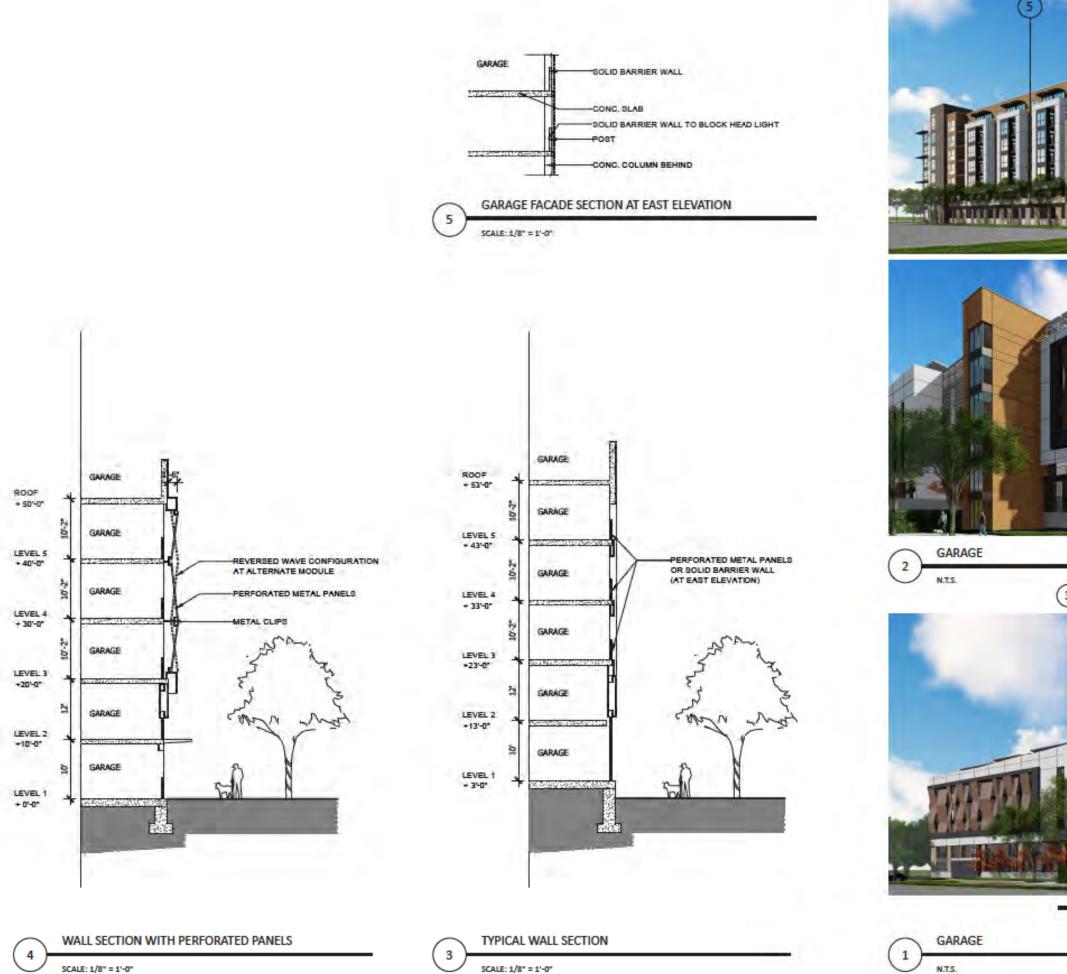
TYPICAL WALL SECTION

4

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

3



SCALE: 1/8" = 1'-0"

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BLOCK A APARTMENT - NORTH ELEVATION

2

1*=20'-0"



WINDOWS ON SIDING - DEFAULT

WINDOW FLUSH WITH STUCCO - DEFAULT

WINDOW 2" RECESS ON STUCCO

WINDOW 6" RECESS ON STUCCO

WINDOW ON METAL PANEL

STOREFRONT WINDOWS

METAL PANEL



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WINDOWS ON SIDING - DEFAULT

WINDOW FLUSH WITH STUCCO - DEFAULT

WINDOW 2" RECESS ON STUCCO

WINDOW 6" RECESS ON STUCCO

WINDOW ON METAL PANEL

STOREFRONT WINDOWS

METAL PANEL



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BLOCK B CONDOMINIUM - NORTH ELEVATION

2

1" = 20' - 0"

1*=20'-0"

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K

WINDOWS ON SIDING - DEFAULT

WINDOW FLUSH WITH STUCCO - DEFAULT

WINDOW 2" RECESS ON STUCCO

WINDOW 6" RECESS ON STUCCO

WINDOW ON METAL PANEL

STOREFRONT WINDOWS

METAL PANEL



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BLOCK B CONDOMINIUM - SOUTH ELEVATION

2

1"=20'-0"

WINDOWS ON SIDING - DEFAULT

WINDOW FLUSH WITH STUCCO - DEFAULT

WINDOW 2" RECESS ON STUCCO

WINDOW 6" RECESS ON STUCCO

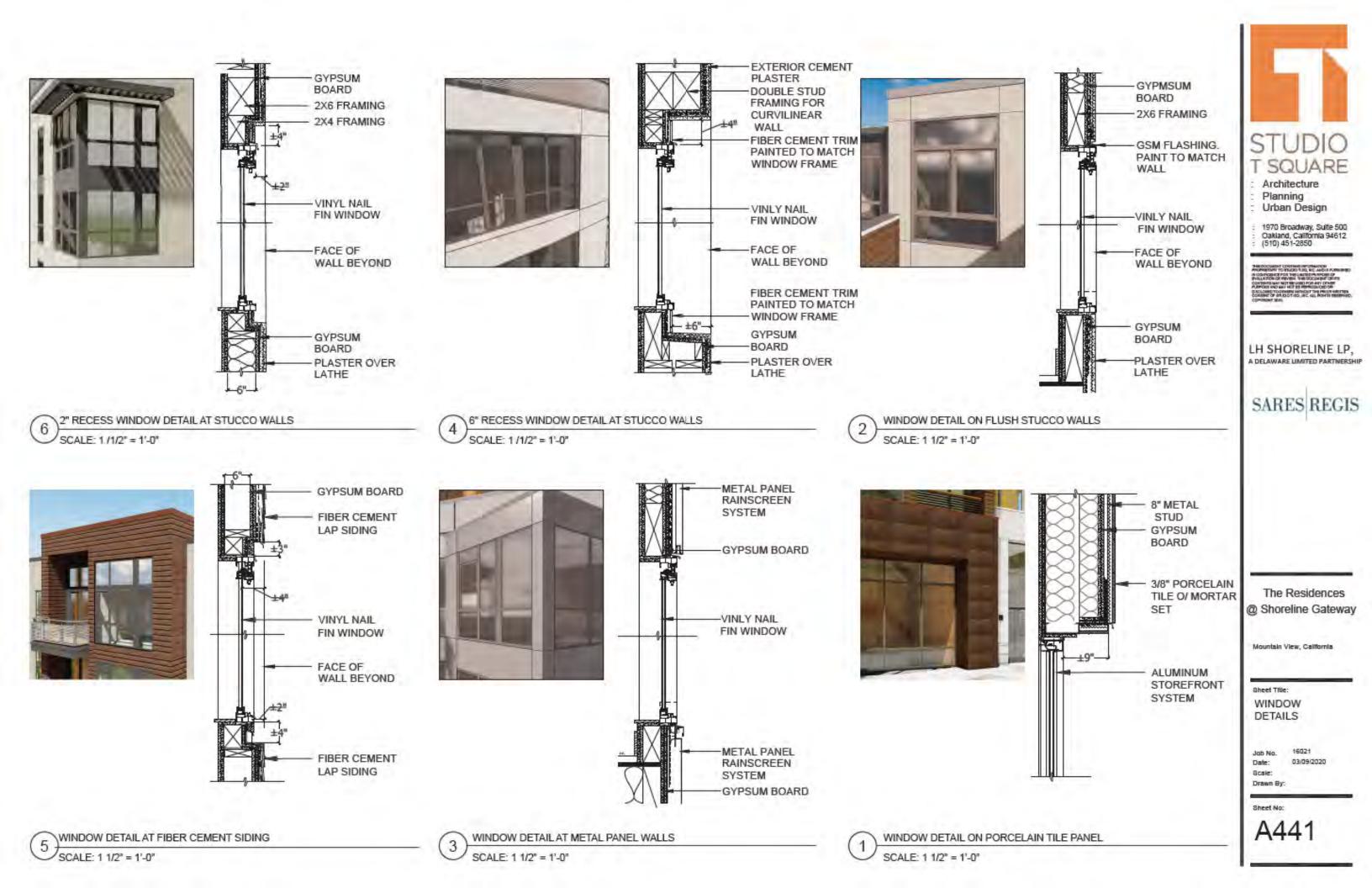
WINDOW ON METAL PANEL

STOREFRONT WINDOWS

METAL PANEL



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BUILDING LIGHTING CONCEPT & FIXTURE SCHEDULE



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Crystel glass, inside white 33 334 DALI controllable			A	255in un/off	385	115	135	1.1
Crystel glass, inside white			Long	Base	A	8	c	40/0
Crystal glass, inside white	33 334	14 DAI	LI control	lable	0	75		
	Crystel	tel gies	s, înside	white	-	10		
Protection class IP 65 Cast aluminium and stainless steel								

BEGA 33 - GRAPHITE - 3000K OR SIMILAR

1. ARCHITECTURAL WALL SCONCE

@ RESIDENTIAL ENTRANCES

Finish: Standard BEGA colors. • A •	Protection class: IP65	tion class: IP63	
	finish: Standard BEGA co	Standard BEGA colors.	A -
Lamp S A B	Lamp	Lamp S A	в ,

BEGA 66 - GRAPHITE - 3000K OR SIMILAR uminum housing. ector.

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2.SURFACE MOUNTED DOWNLIGHT @ PATIO SOFFIT





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STOOP ELEVATION PERSPECTIVE @ SHORELINE BLVD.

BUILDING LIGHTING CONCEPT & FIXTURE SCHEDULE



UNITS

GROUND LEVEL RESIDENTIAL STOOP @ TERRA BELLA AVE.

Information CRI Colour temp LED Technics (light source) 1960 Im // 14 W // 133 Im/W LED Technics (luminaire) Electrical Class Nett weight

Fixation

Location

STOOP

1.ARCHITECTURAL WALL SCONCE @ RESIDENTIAL ENTRANCES DELTA LIGHT MONTUR L PC LED - BLACK -3000K OR SIMILAR

INTERIOR-EXTERIOR

INCL.PC SBL

CRI 80

Class I

2.6 Kg

3000K /2300im

Wall Surface mounted

Warm White (+3000K)

220-240V / 0 50-60Hz

950 lm // 17 W // 56 lm/W

INCLLED POWER SUPPLY 700mA-DC

2.SURFACE MOUNTED DOWNLIGHT @ PATIO SOFFIT

individual specification sheet to specify.

Protection class: IP65

BEGA 66 - GRAPHITE - 3000K OR SIMILAR

PL.

Surface mounted ceiling luminaires with die-cest aluminum housing. Clear tempered glass and anodized aluminum reflector. LED color temperature available in 2700K,3000K,3500K, or 4000K. See



Lamp 8 4.9W LED 24V DC 89 ° 3.0W LED 4.9W LED

Finish: Standard BEGA colors. - A A B C 33/4 31/2 33/4 31/2 5 43/8 89 ° 90 °



EXTERIOR PLASTER PAVEMENT OVER STORM WA-

TER TREATMENT AREA

3

2

N.T.S.

N.T.S.

EXTERIOR PLASTER Sel -COMPOSITE WOOD SIDING EXTERIOR PLASTER VINYL WINDOW(TYP.) METAL RAILING W/ WOOD HANDRAIL RECESSED CEILING LIGHT FIXTURE WALL SCONCE UNIT NUMBER COMPOSITE WOOD LOUVER FENCE/SCREEN

PLANTING AREA/

INCL.LED CLUSTER 14,7W / CRI>80 / NRTL listed to North American Standards.

66 973

66 975 66 977

STORMWATER TREATMENT AREA

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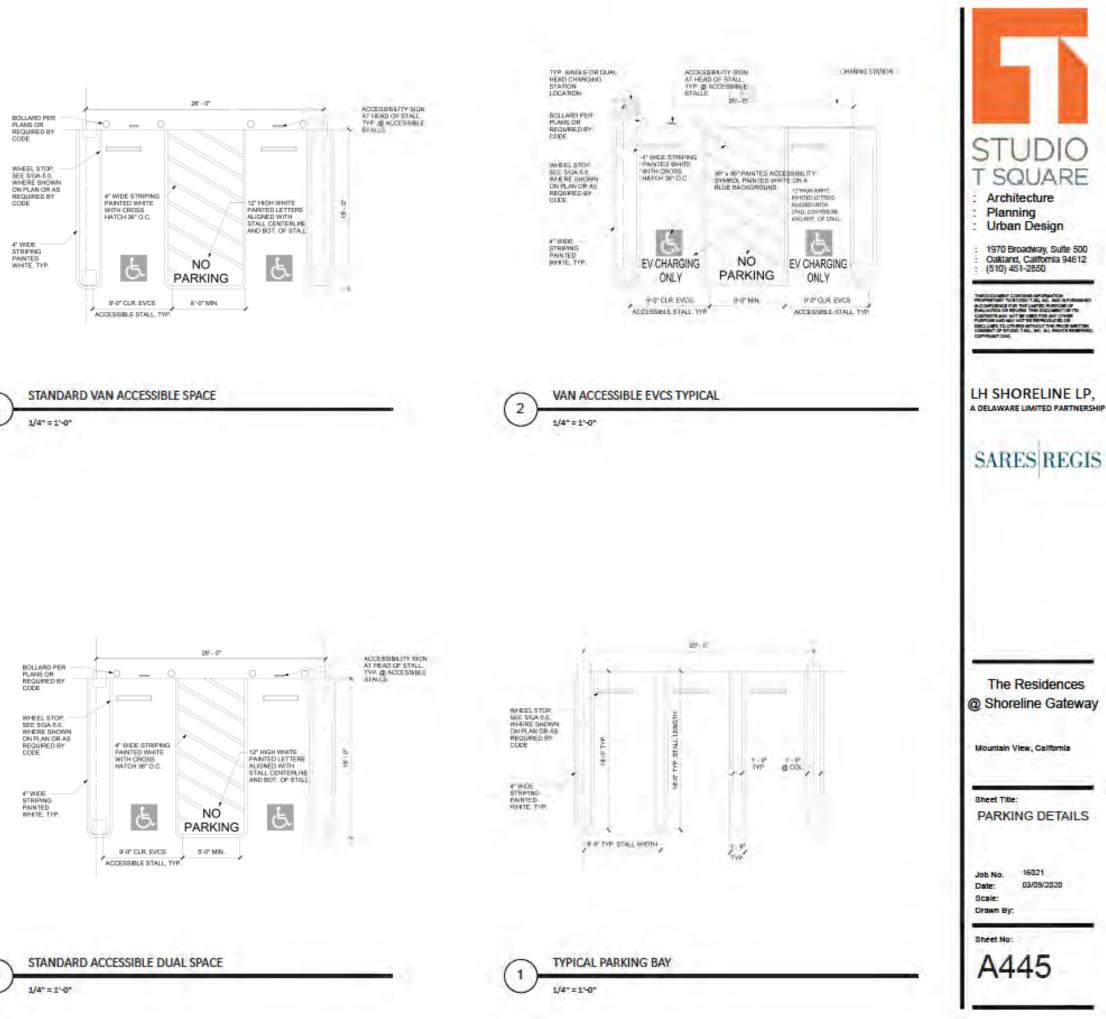
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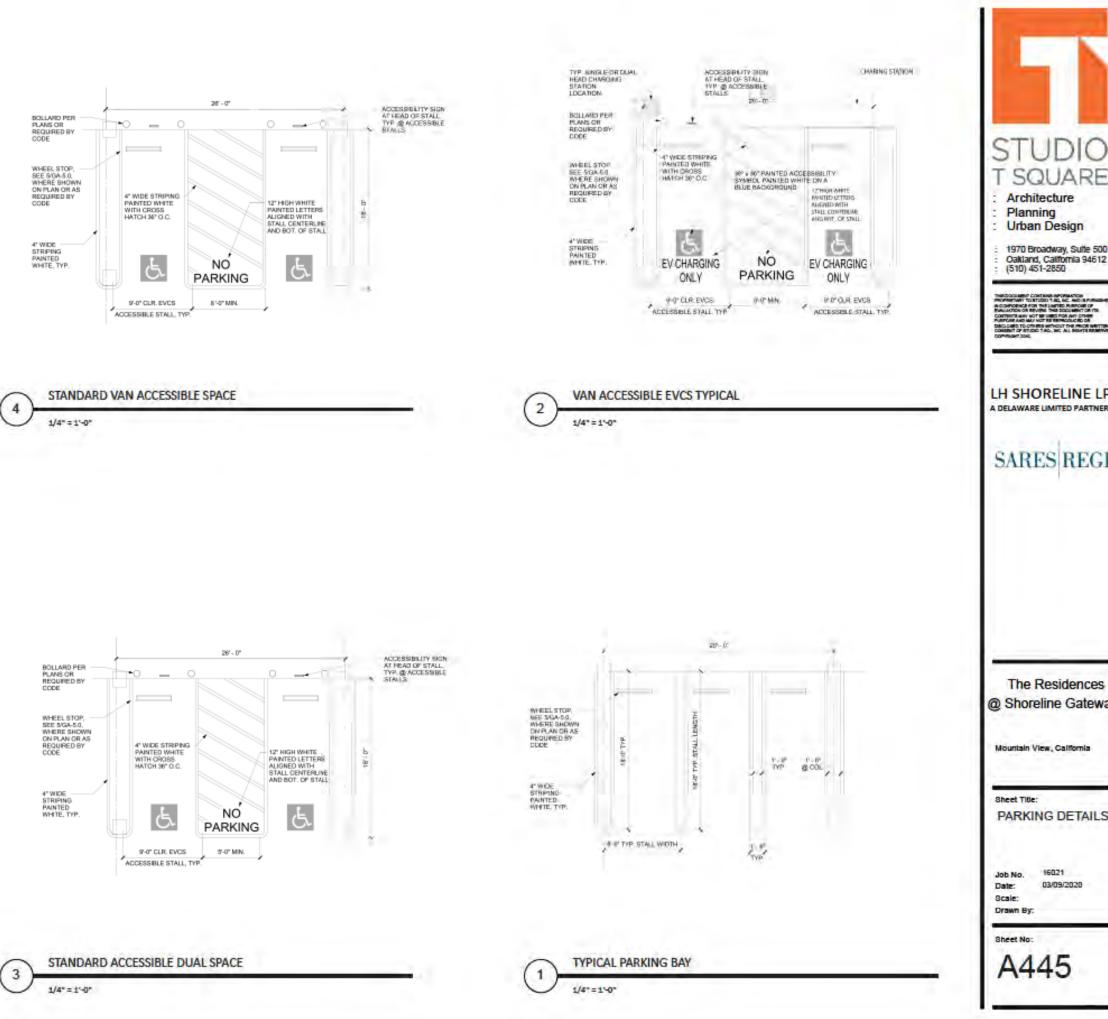
EXTERIOR DETAILS

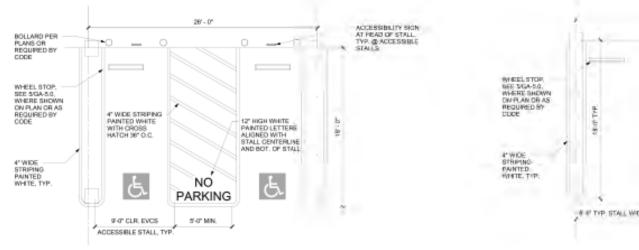
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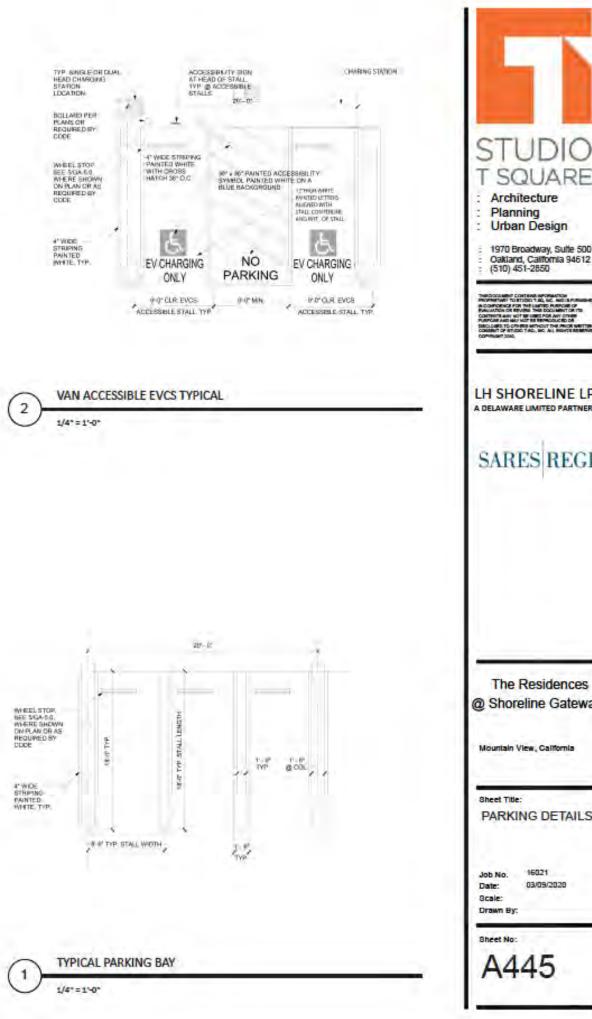
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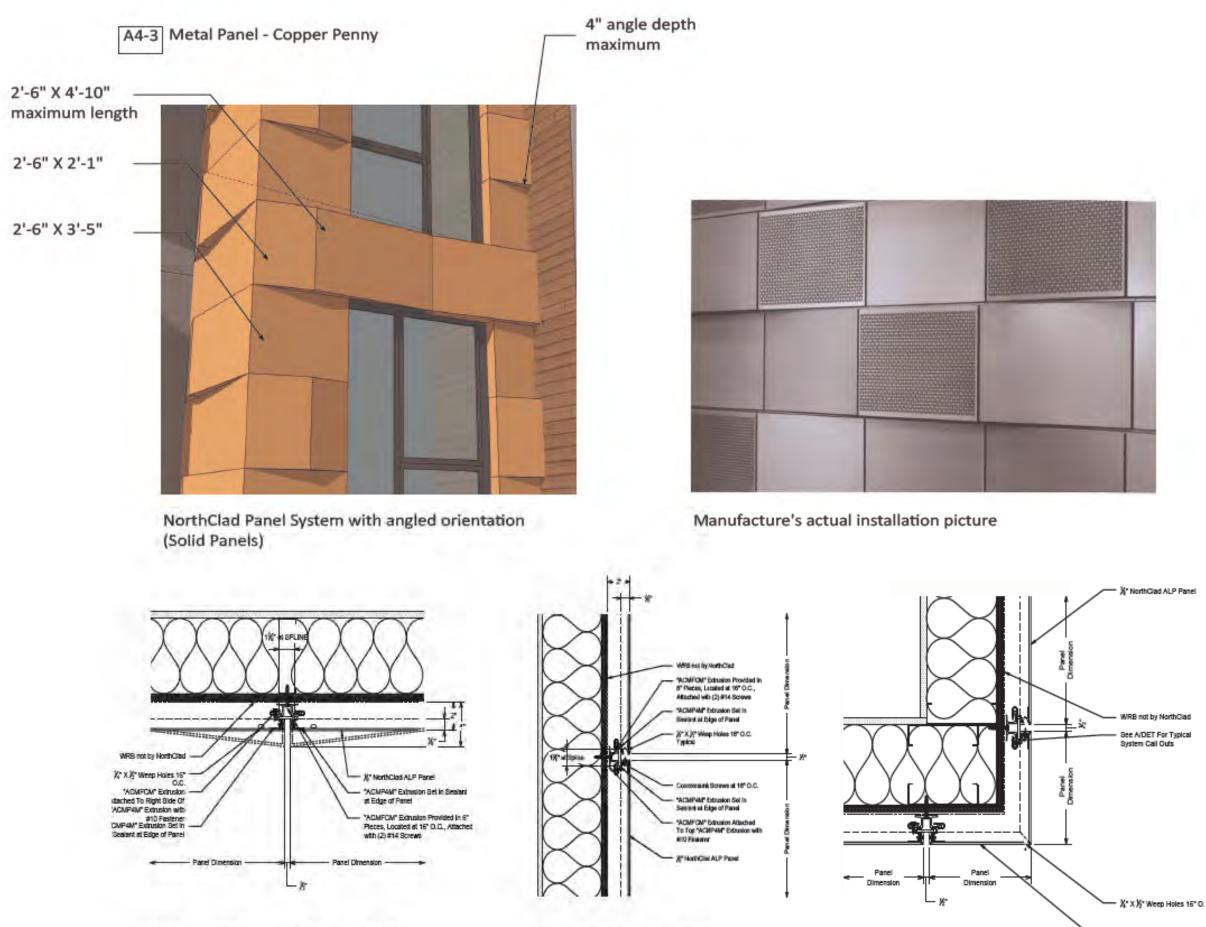












Horizontal Section- TYP. ALP Panel

Joint (dry seal)

Plan - TYP. panel (with dry seal)

Corner Detail Section- ALP Fascia Panel to Soffit Panel

为" NorthClad ALP Soffit Panel

STUDIO T SQUARE Architecture Planning Urban Design 1970 Broadway, Suite 500 Oakland, California 94612 (510) 451-2850 IN CONTROL OF ANY THE LAND OF WRITE OF PARAMETER OF REVEN. THE DOCUMENT OF IT CONTROL ANY NOT BE USED FOR ANY OTHER CONTROL AND MOT BE REPORTED OF

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A DELAWARE LIMITED PARTNERSHIP



The Residences @ Shoreline Gateway

Mountain View, California

Sheet Title:

MATERIALS DETAILS - METAL PANEL

Job No. Date: Scale: Drawn By:

16021 03/09/2020

Sheet No:



A3-1

Tiles - Brown SpecCeramics or Neolith Iron Corten - Satin Finish Seam + Trim Condition 1200 mm x 600 mm x 6 mm Stacked bond pattern 1/16" grout of matching color





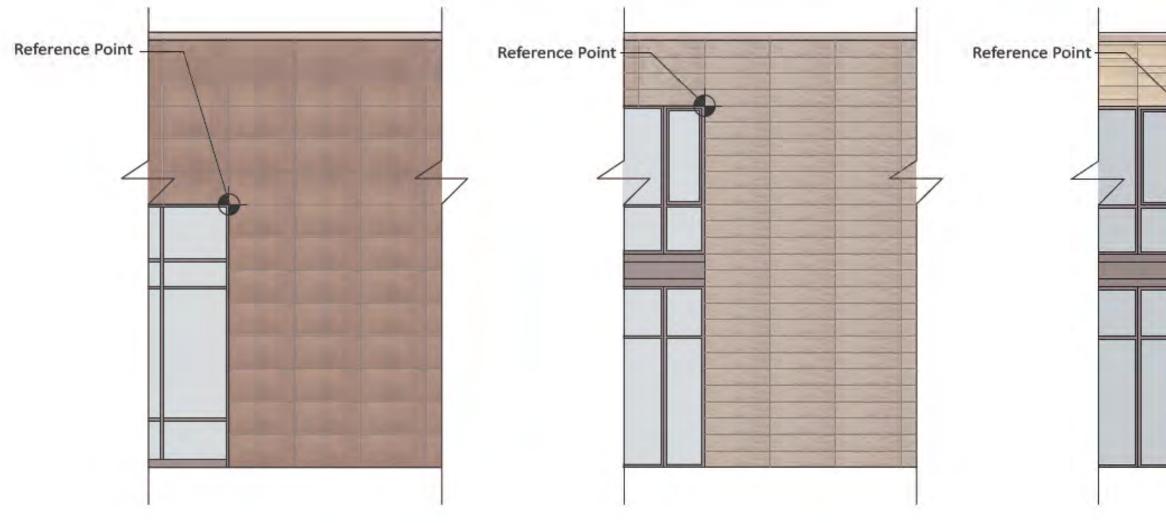
Porcelain Tile - Grey Verse Cloud - Matte Finish 1200 mm x 300 mm x 9.5 mm Stacked bond pattern 1/16" grout of matching color



A3-3

Porcelain Verse Sugar - M 750 mm 750 mm 750 mm 750 mm Running I 1/16" gro





Tiles - Be	eige		1923
atte Finis 375 mm 250 mm 125 mm ond pat	n x 9.5 m n x 9.5 m n x 9.5 m tern	im, im	STUDIOS PROVINCIAL REPORT OF THE PROVINCIAL RE
			LH SHORELINE LP, A DELAWARE LIMITED PARTNERSH
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			The Residences @ Shoreline Gateway
			 Nountain View, California Sheet Title: MATERIALS DETAILS - TILE
			Job No. 16021 Date: 03/09/2020 Scale: Drawn By:

Stucco - Fine Sand Finish (20/30)



Stucco - Smooth troweled acrylic



A1 Stucco - Typical Condition

Standard acrylic-modified plaster with fine sand finish



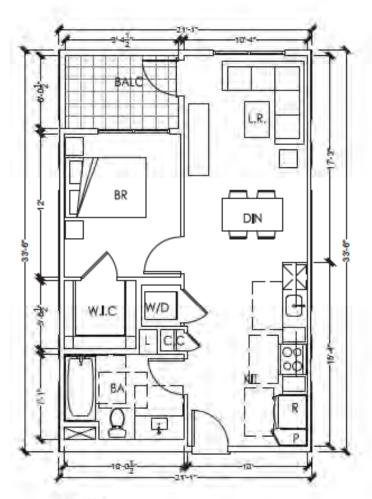
A1

Stucco - Corner Condition

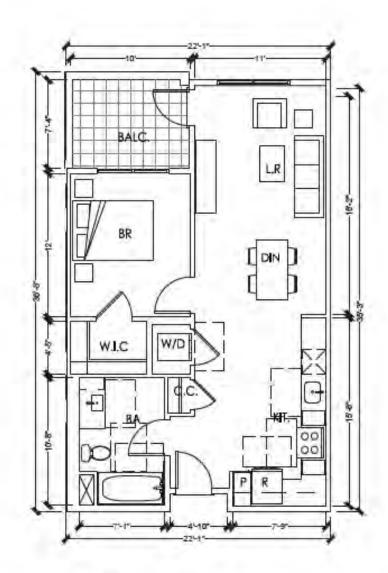
Hard-troweled acrylic-modified plaster

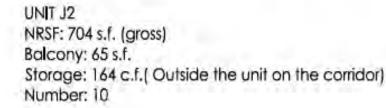


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STUDIO T SQUARE : Architecture : Planning : Urban Design
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Mountain View, California
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Job No. 16021 Date: 03/09/2020 Scale: Drawn By:
A448



UNIT J1 NRSF: 635 s.f. (gross) Balcony: 52 s.f. Storage: 164 c.f. Number: 15





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1970 Broadway, Suffe 500 Oakland, California 94612 (510) 451-2850

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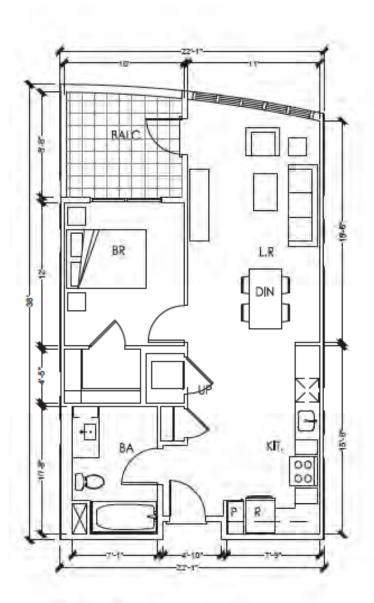
Sheet Title:

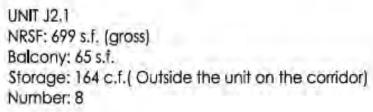
UNIT PLANS BLOCK A

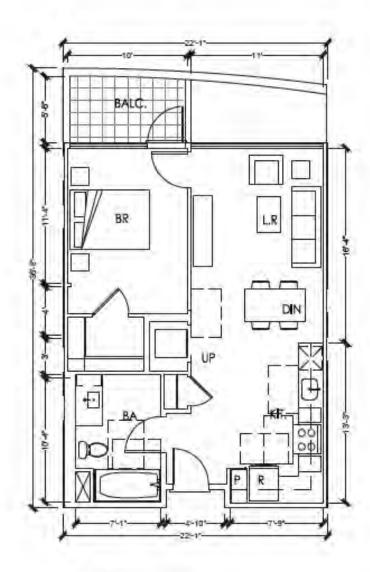
16021 Job No. 03/09/2020 Date: Scale: Drawn By:

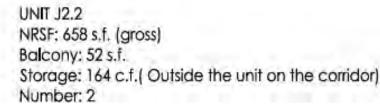
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1970 Broadway, Sulle 500 Oakland, California 94612 (510) 451-2850

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Mountain View, California

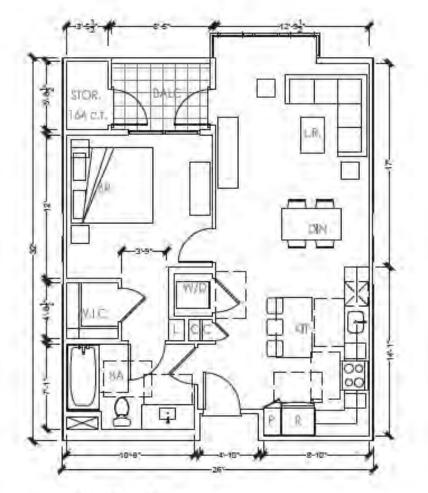
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UNIT PLANS BLOCK A

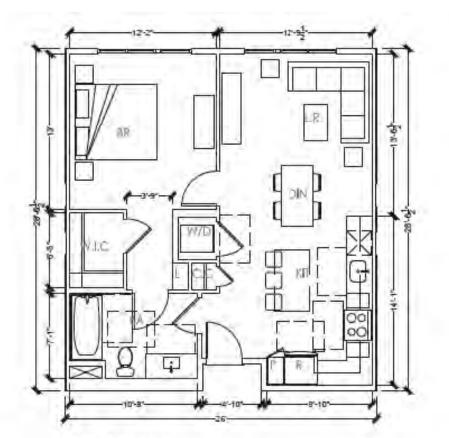
16021 Job No. 03/09/2020 Date: Scale: Drawn By:

A511

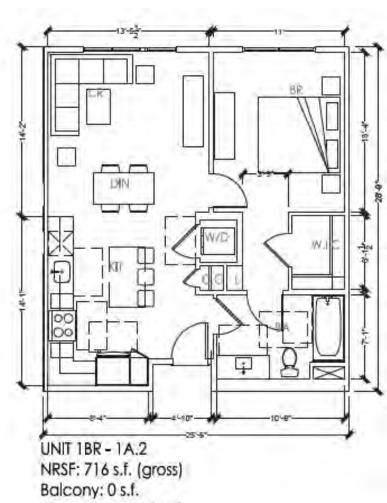
Sheet No:



UNIT 1BR - 1A NRSF: 759 s.f. (gross) Balcony: 42 s.f. Storage: 164 c.f. (On deck/Outside the unit in the cor Number: 24

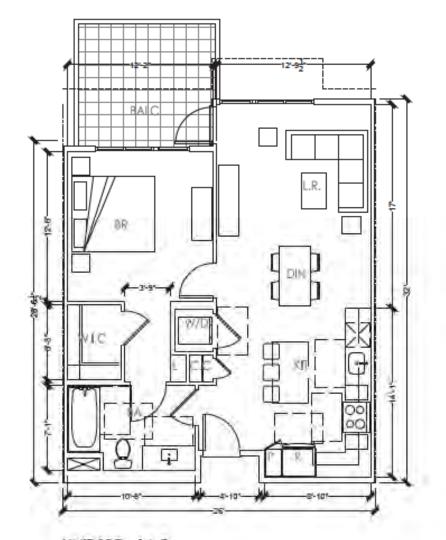


UNIT 1BR - 1A.1 NRSF: 725 s.f. (gross) Storage: 164 c.f. (Outside the unit in the corridor) Number: 5

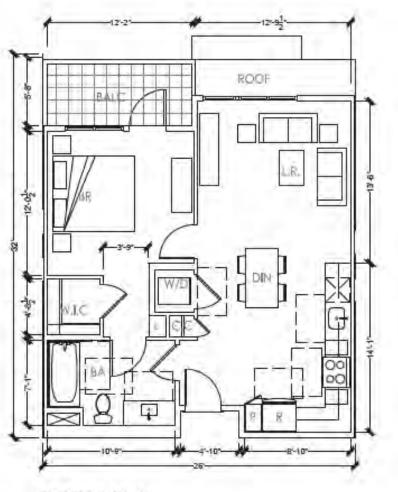


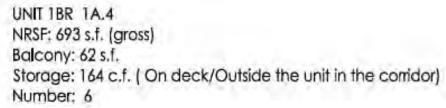
Storage: 164 c.f. min Number: 1

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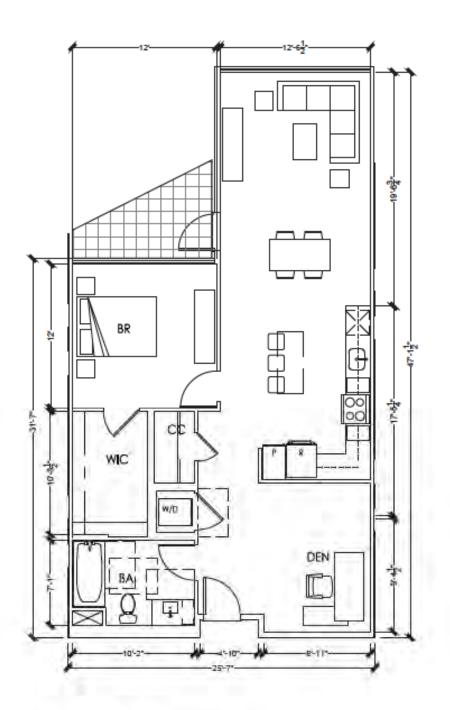
UNIT 1BR - 1A.3 NRSF: 766 s.f. (grass) Balcony: 60s.f. Storage: 164 c.f. (Outside the unit in the corridor) Number: 6





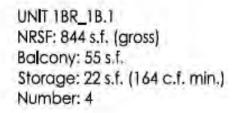
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Job No. 16021 Date: 03/05/2020 Scale: Drawn By:

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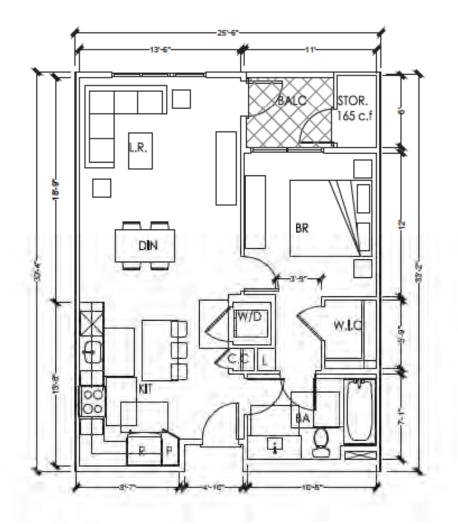


UNIT 1BR_1B NRSF: 1008 s.f. (gross) Balcony: 60 s.f. Storage: 22 s.f. (164 c.f. min.) Number: 16

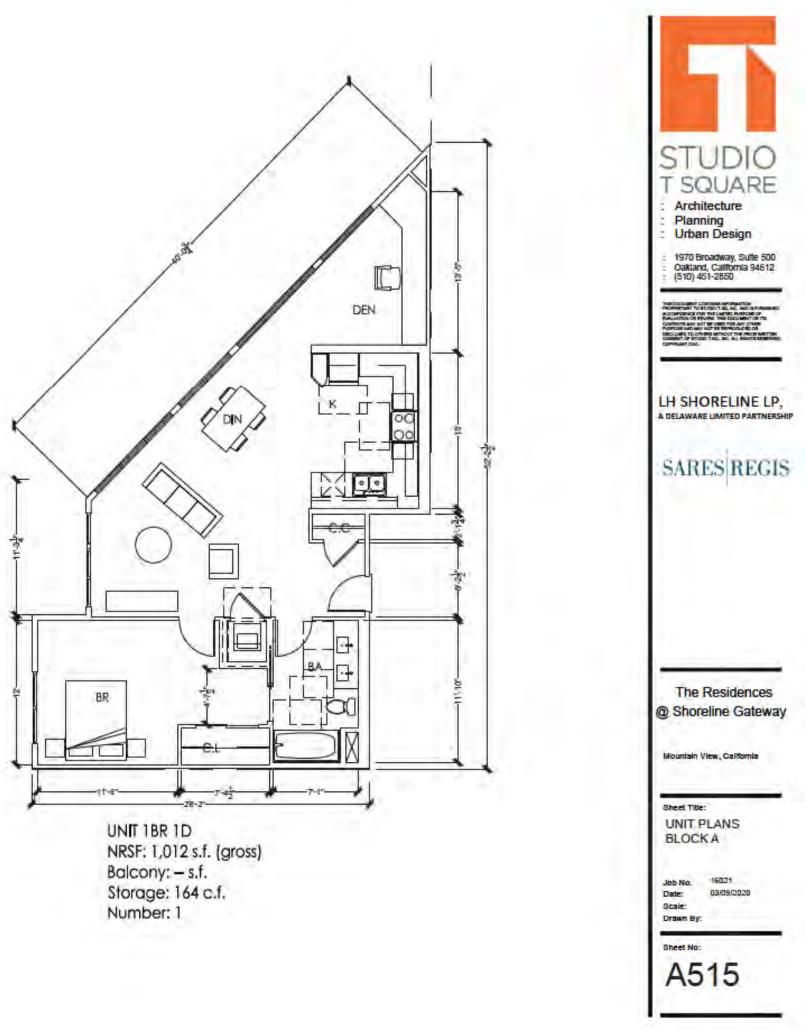


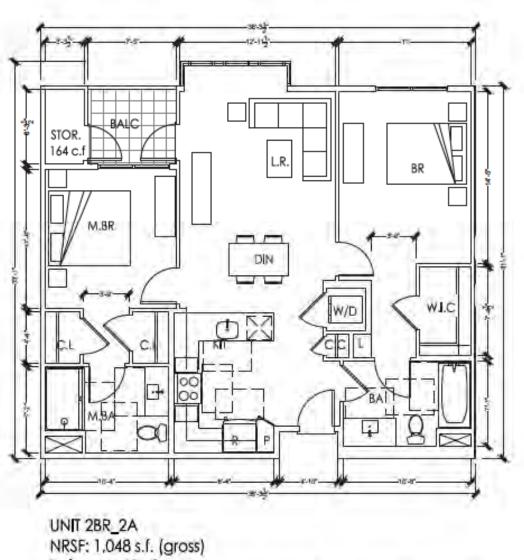


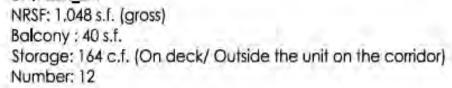
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	Sheet No: A514

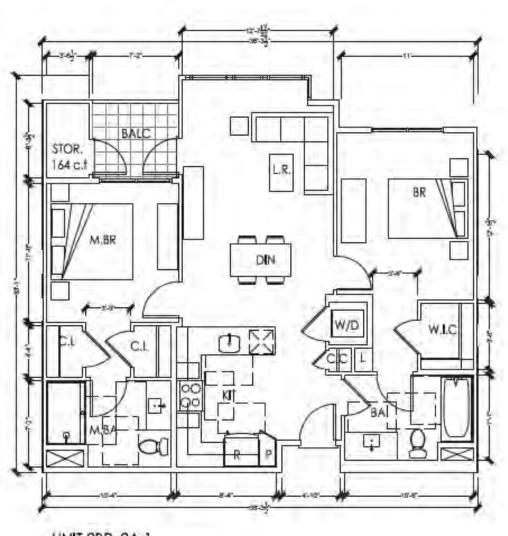


UNIT IC NRSF: 760 s.f. (gross) Balcony: 40 s.f. Storage: 180 c.f. Number: 16



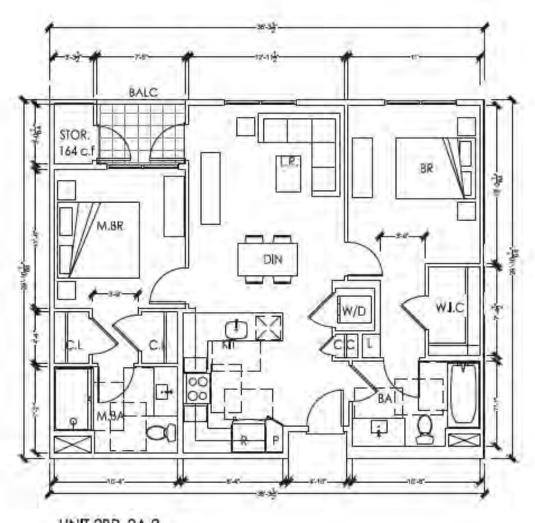


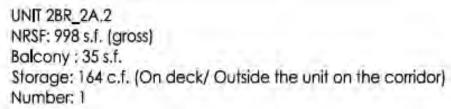


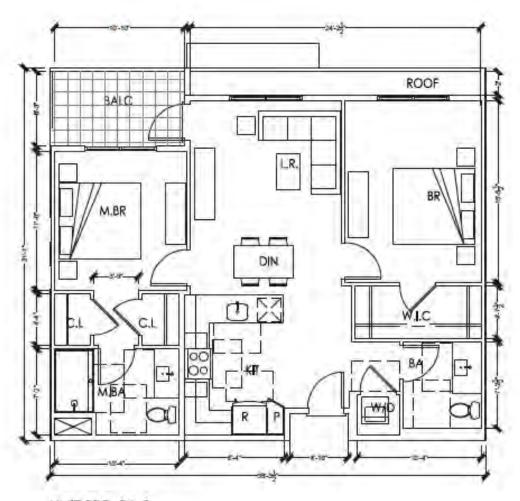


UNIT 2BR_2A.1 NRSF: 1,025 s.f. (gross) Balcony: 40 s.f. Storage: 164 c.f. (On deck/ Outside the unit on the corridor) Number: 11

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	Mountain View, California
	Sheet Title: UNIT PLANS BLOCK A
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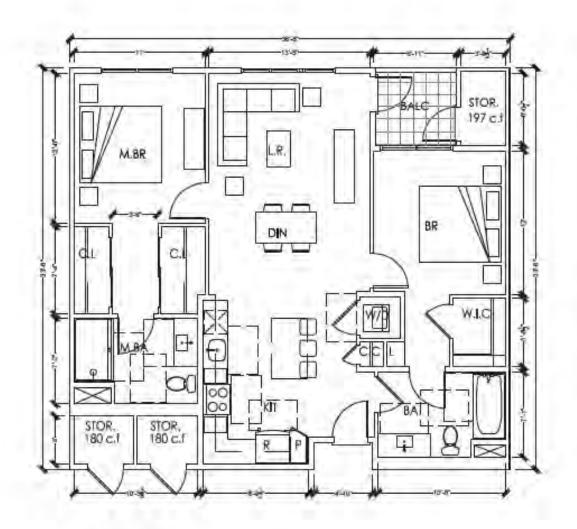




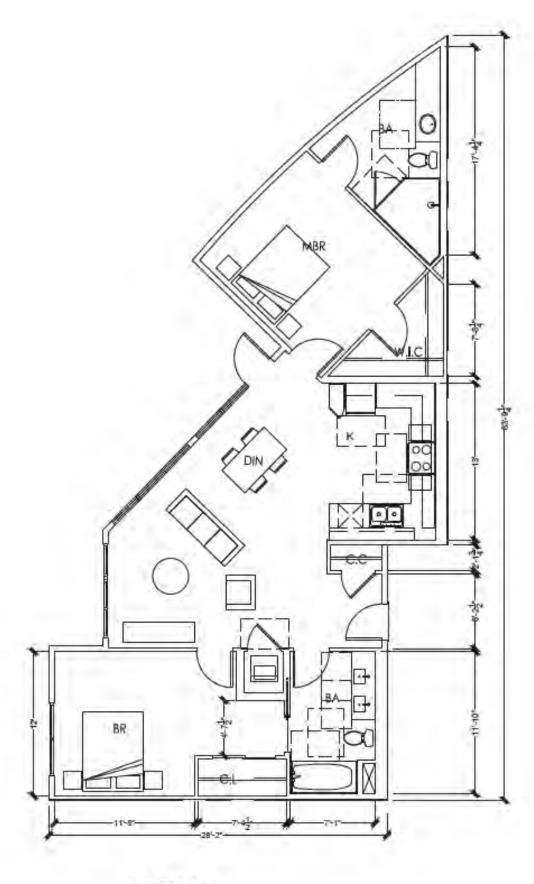


UNIT 2BR_2A.3 NRSF: 978s.f. (gross) Balcony: 60 s.f. Storage: 164 c.f. (Outside of the Unit in the corridor) Number: 6

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STUDIO SQUARE Architecture Planning Urban Design Urban Design 0akland, California 94612 (510) 451-2850
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Sheet Title: UNIT PLANS BLOCK A
Job No. 16021 Date: 03/09/2020 Scale: Drawn By: Sheet No:

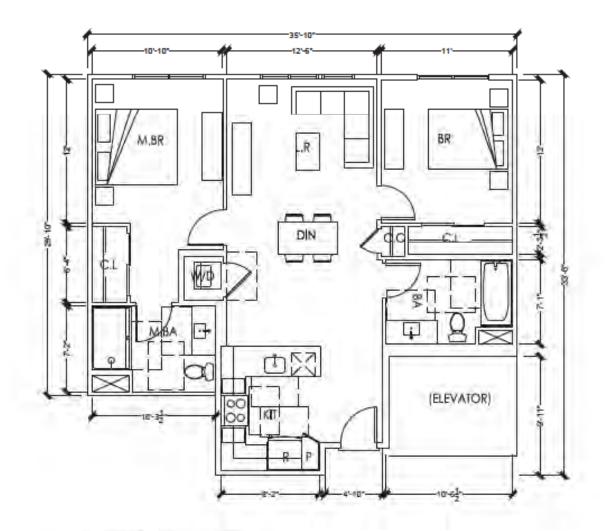


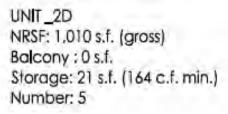
UNIT 2BR_2B NRSF: 1,083s.f. (gross) Balcony : 40 s.f. Storage: 180 c.f. (On the deck) Number: 19

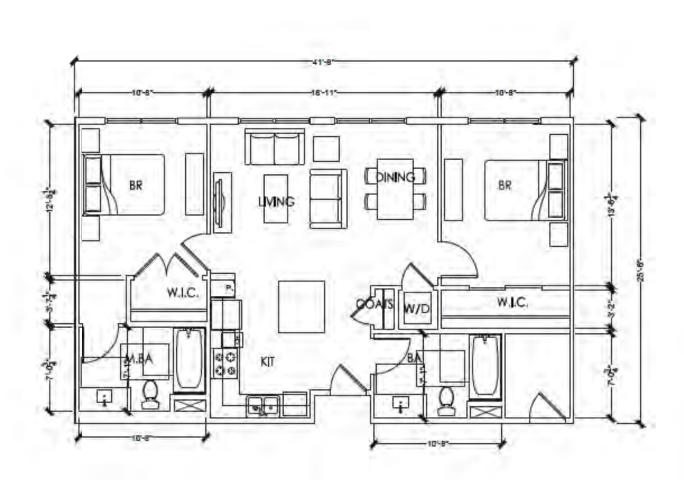


UNIT 2BR 2C NRSF: 1,260 s.f. (gross) Balcony: – s.f. Storage: 164 c.f. Number: 4

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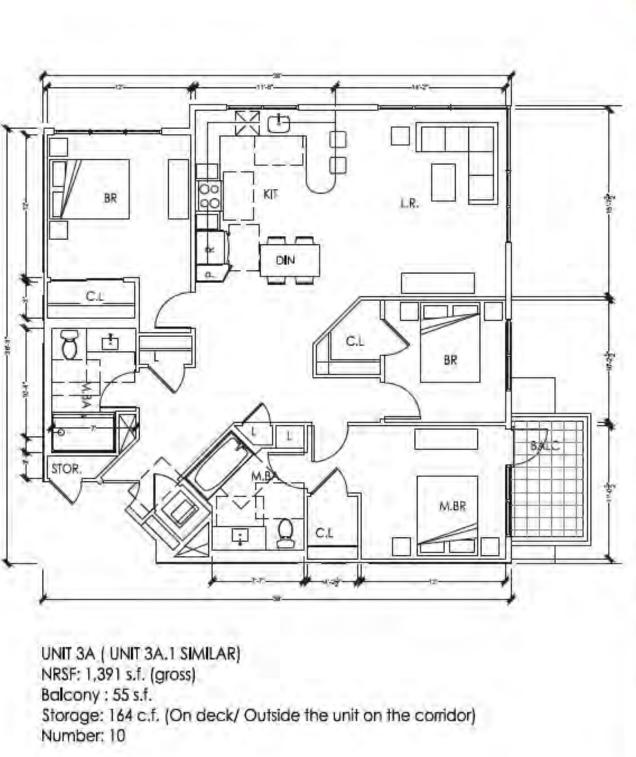


UNIT 2E NRSF: 1,004 s.f. (gross) Balcony: – s.f. Storage: 290 c.f. (Outside the unit in the corridor) Number: 2

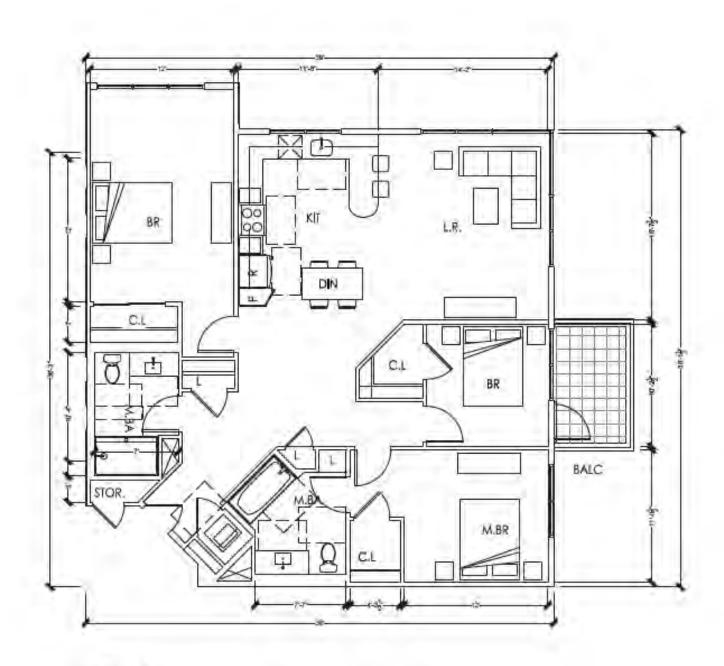
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	Mountain View, California Sheet Title:
	UNIT PLANS BLOCK A



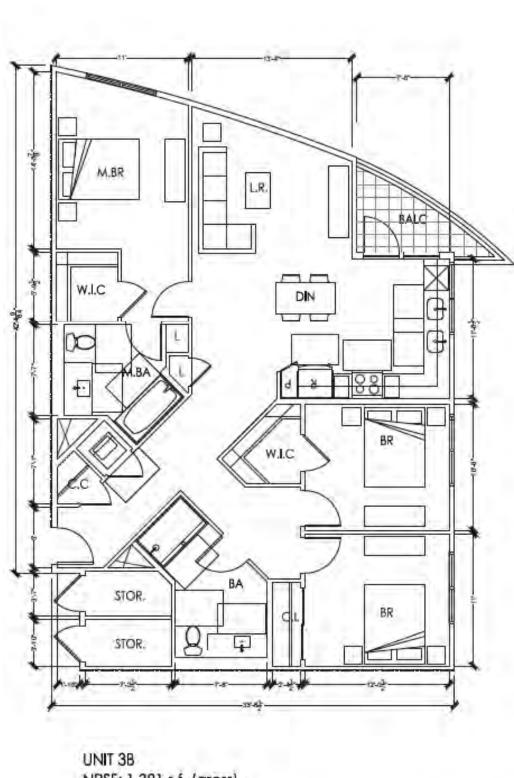
UNIT 2F NRSF: 1,307 s.f. (gross) Balcony: 55 s.f. Storage: 190 c.f. (Outside the unit in the corridor) Number: 10



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Job No. 16021 Date: 03/09/2020
Scale: Drawn By:
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A520
A320

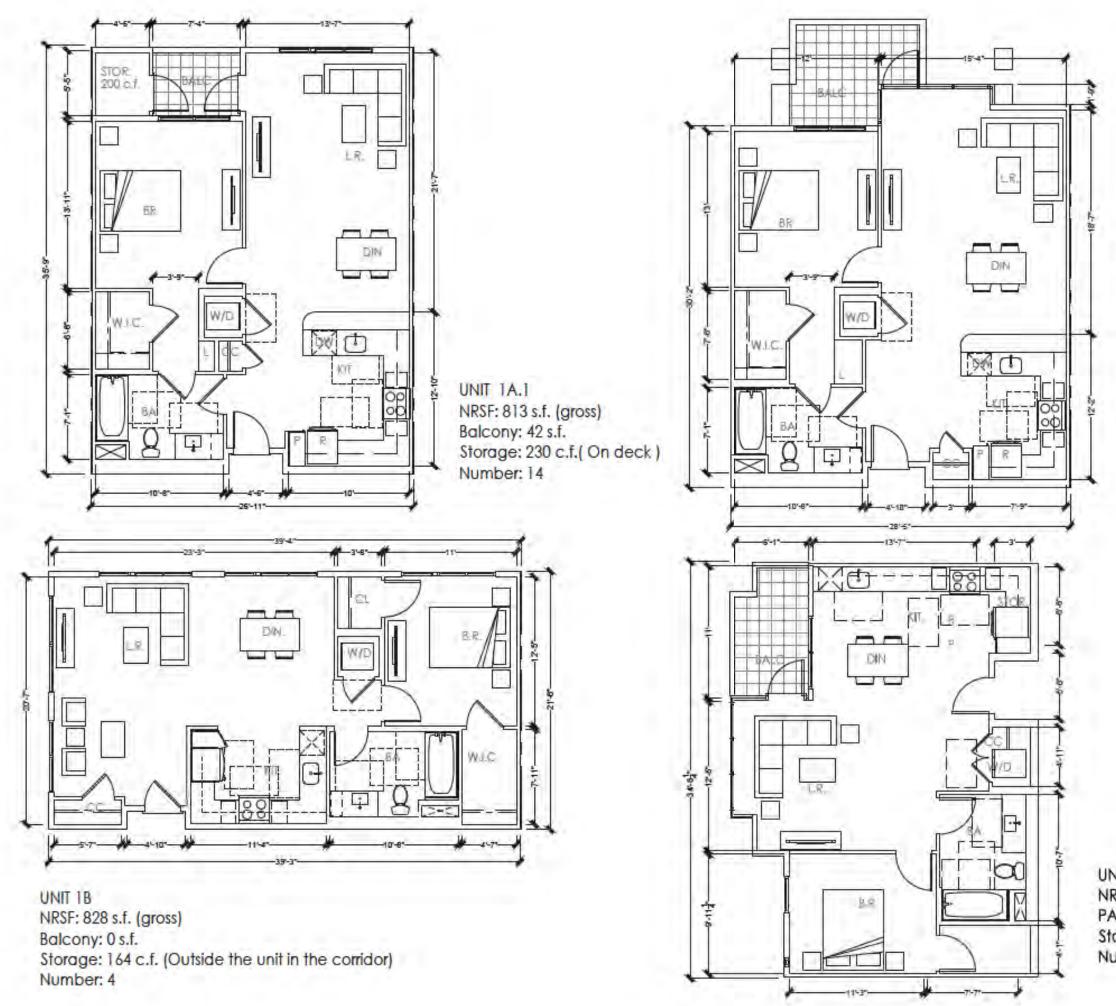


UNIT 3A.T NRSF: 1,464 s.f. (gross) Balcony : 55 s.f. Storage: 164 c.f. (On deck/ Outside the unit on the corridor) Number: 10



NRSF: 1,381 s.f. (gross) Balcony: 45 s.f. Storage: 164 c.f. (On deck/ Outside the unit on the corridor) Number: 4

STUDIO T SQUARE : Architecture : Planning : Urban Design
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Sheet Title: UNIT PLANS BLOCK A
Job No. 16021 Date: 03/09/2020 Scale: Drawn By: Sheet No: A521

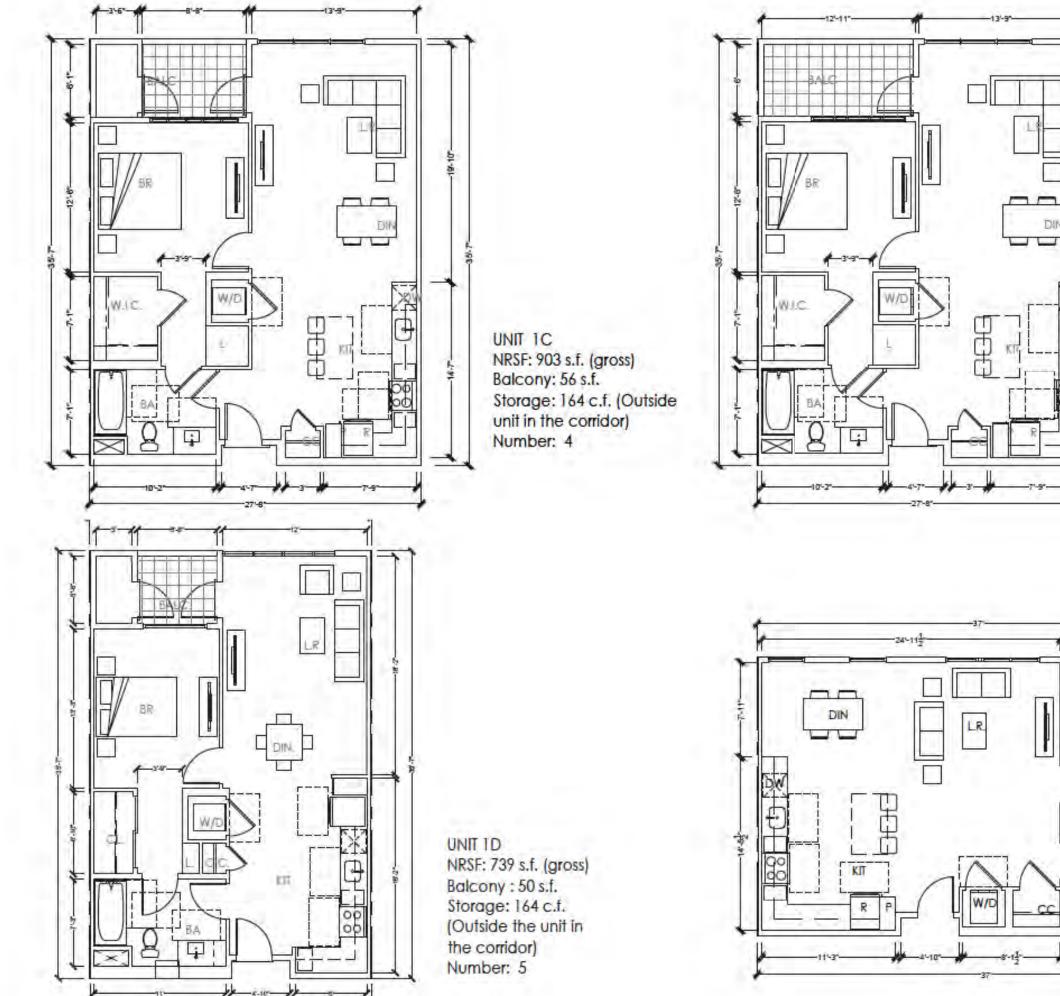


UNIT 1A.2 (1A.3 SIMILAR) NRSF: 886 s.f. (gross) Balcony: 70 s.f. Storage: 164 c.f. (Outside the unit in the corridor) Number: 4

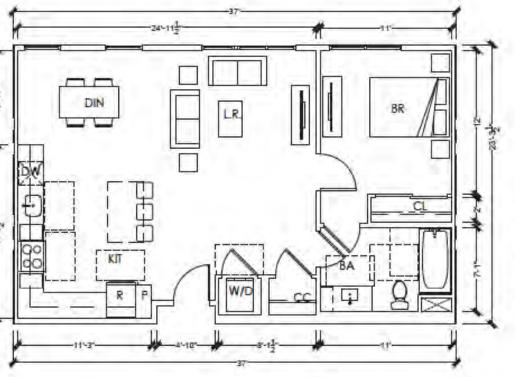
UNIT 1F - 1BR 1BATH NRSF: 749 s.f. (gross) PATIO: 57 s.f. Storage: 288 c.f. Number: 1



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UNIT 1C.1 (1C.2 SIMILAR) NRSF: 875 s.f. (gross) Balcony: 0 s.f. Storage: 200 c.f. (Outside unit in the corridor) Number: 1



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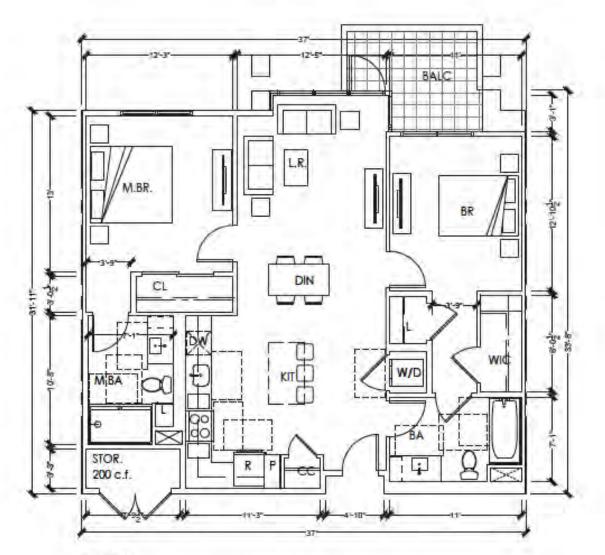
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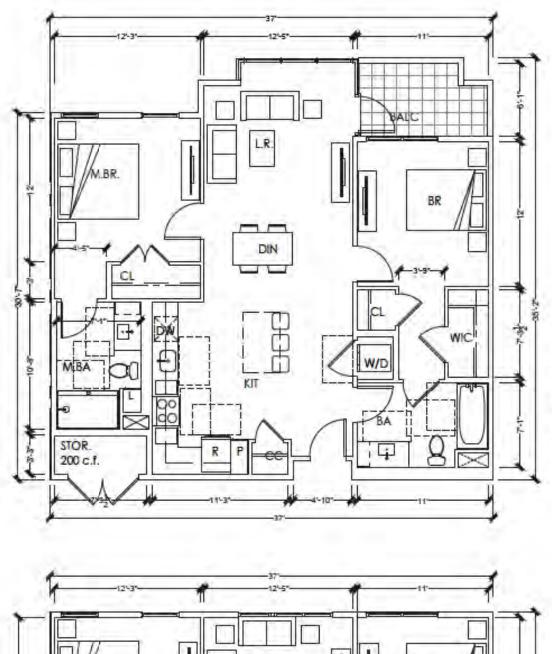
UNIT 1E NRSF: 848s.f. (gross) Balcony: 0 s.f. Storage: 164 c.f. (Outside the unit in the corridor) Number: 6

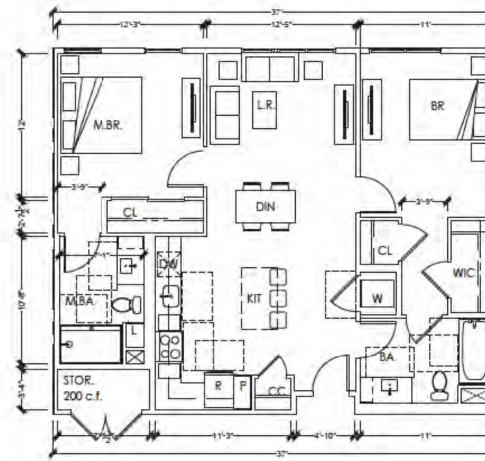


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	Mountain View, California Sheet Title: UNIT PLANS
	BLOCK B Job No. 16021 Date: 03/09/2020 Scale: Drawn By:
	A531



UNIT 2A NRSF: 1,135 s.f. (gross) Balcony: 70 s.f. Storage: 200 c.f. (Outside unit in the corridor) Number: 2





UNIT 2B NRSF: 1,120 s.f. (gross) Balcony: 57 s.f. Storage: 200 c.f. (Outside unit on the corridor) Number: 27

UNIT 2B.1 (2B.2, 2B.3 SIMILAR) NRSF: 1,087 s.f. (gross) Balcony: 0 s.f. Storage: 200 c.f. (Outside unit on the corridor) Number: 4

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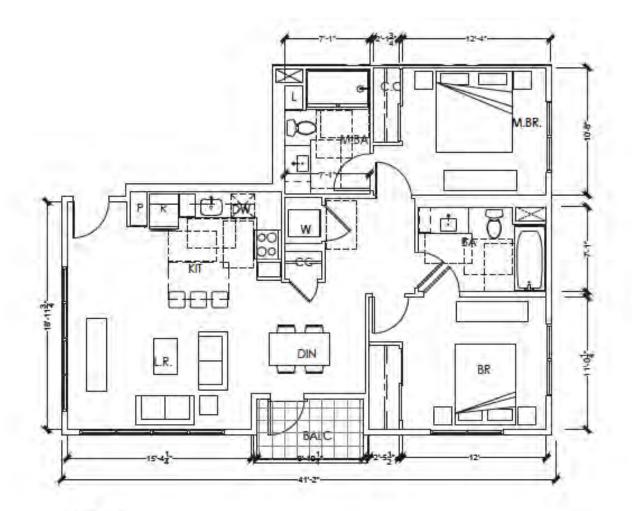
Mountain View, California

Sheet Title: UNIT PLANS BLOCK B

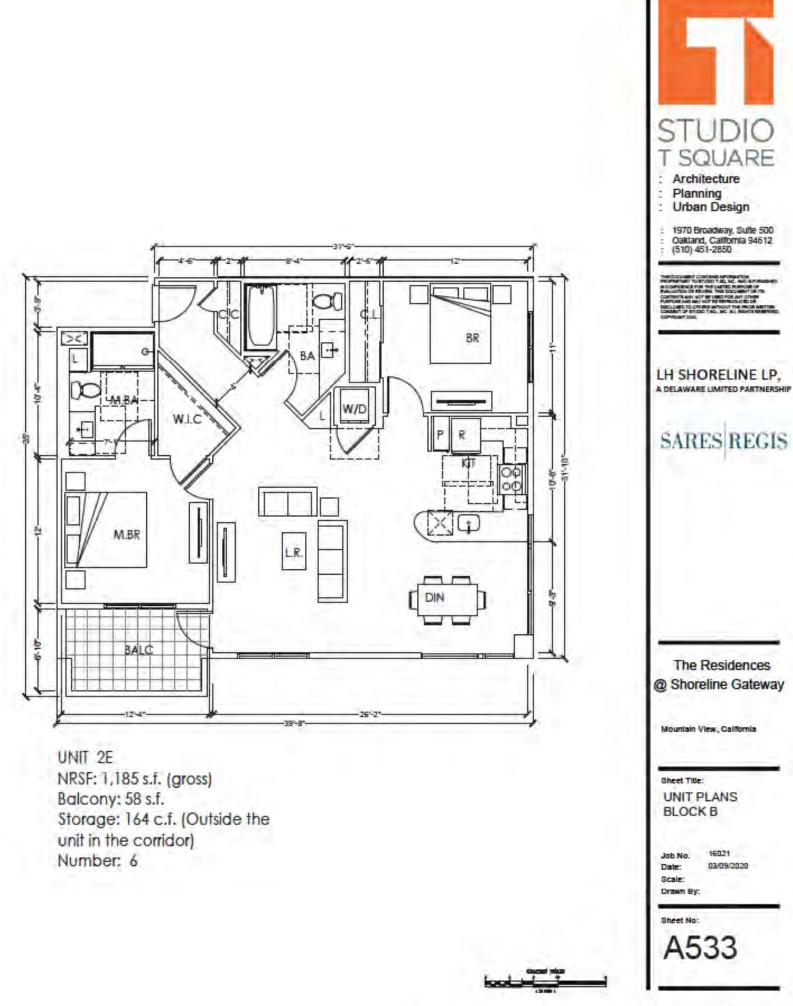
Job No. 16021 Date: 03/09/2020 Scale: Drawn By:

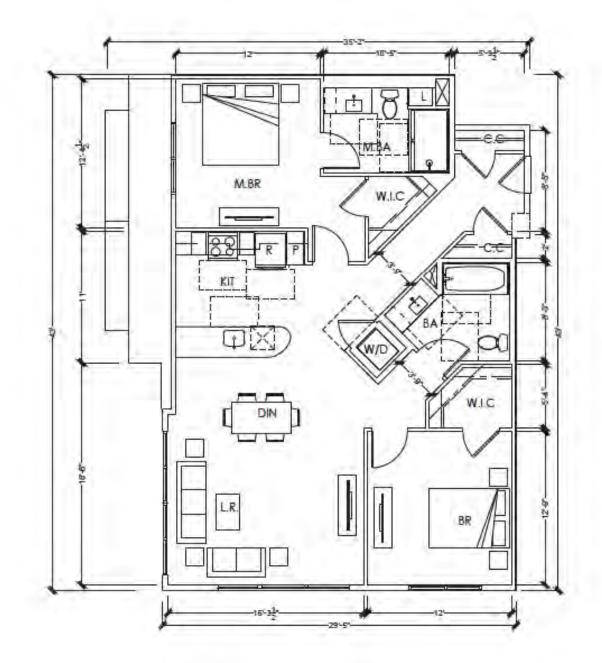
Sheet No:

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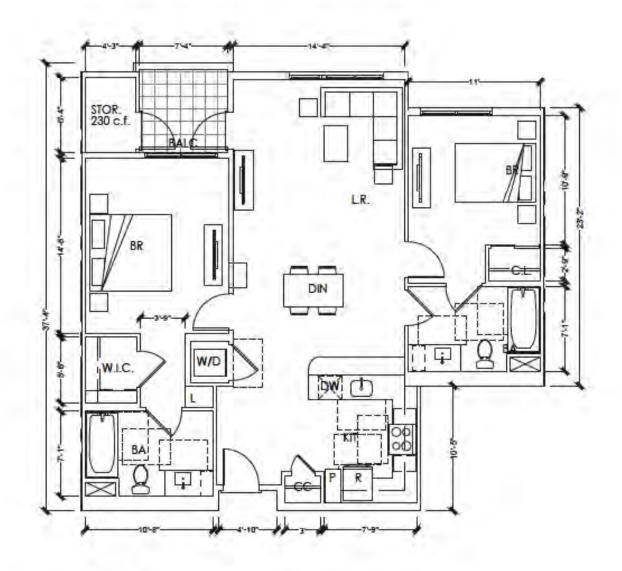
UNIT 2C NRSF: 1,074 s.f. (gross) Balcony: 43s.f. Storage: 200 c.f. (Outside unit on the corridor) Number: 4



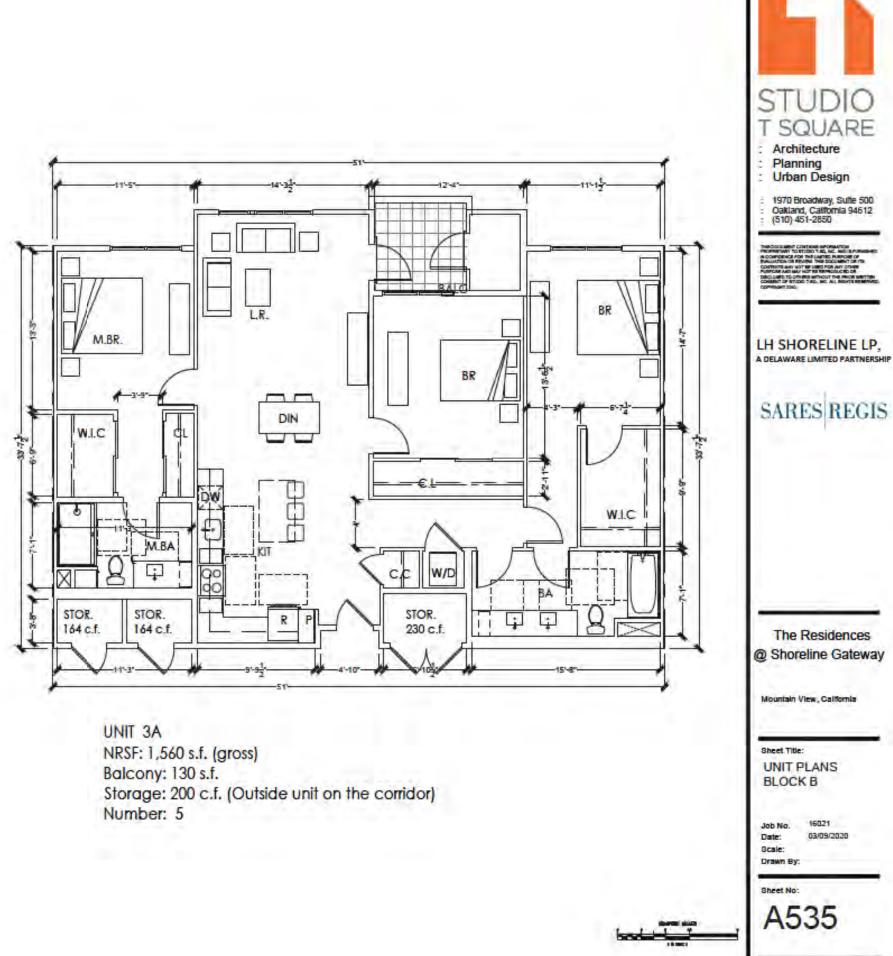


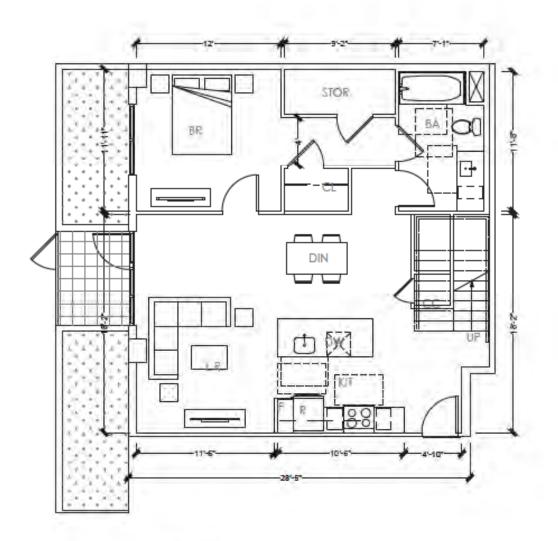
UNIT 2D.1 NRSF: 1,233s.f. (gross) Balcony: Os.f. Storage: 200 c.f. (Outside the unit in the corridor) Number: 1



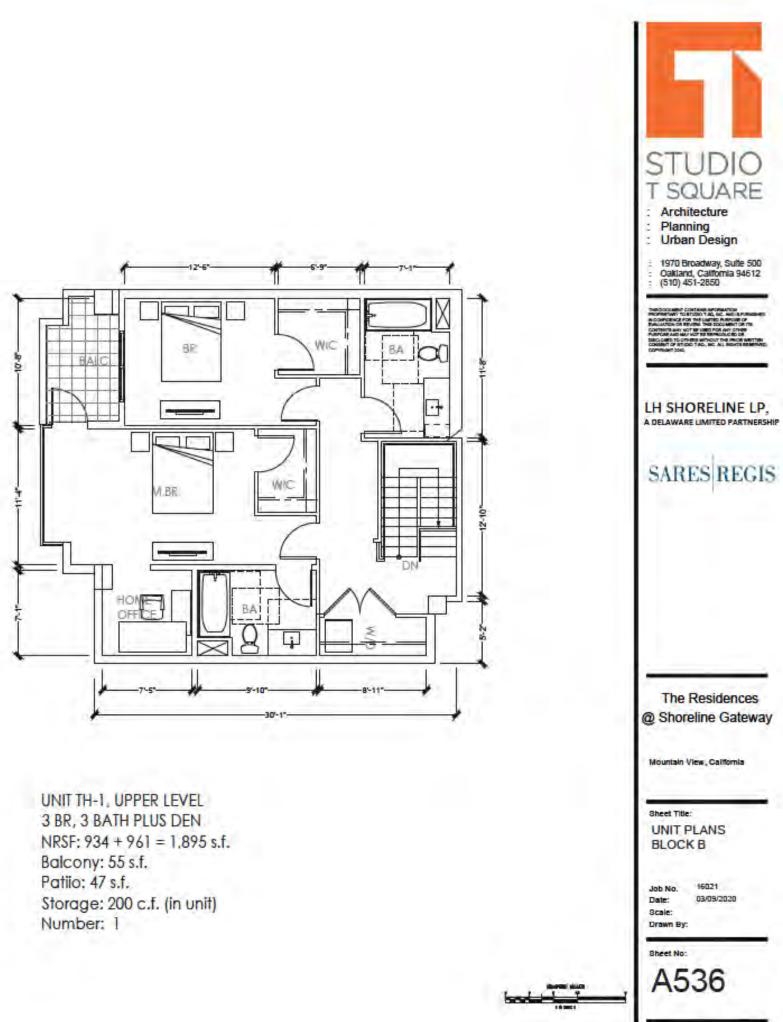


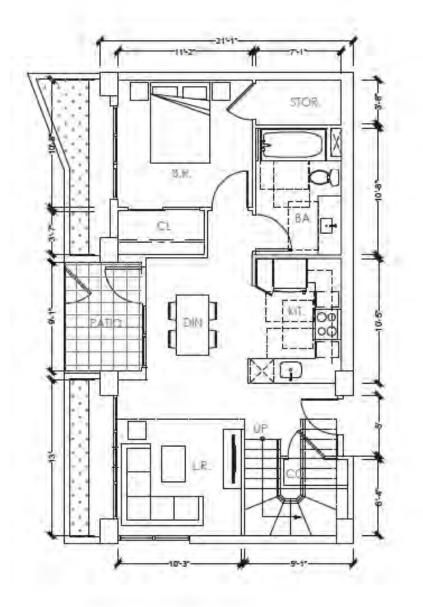
UNIT 2F NRSF: 1,096 s.f. (gross) Balcony: 43s.f. Storage: 200 c.f. (Outside unit on the corridor) Number: 5



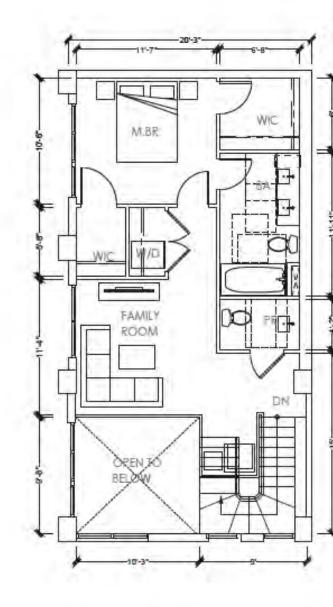


UNIT TH-1, LOWER LEVEL



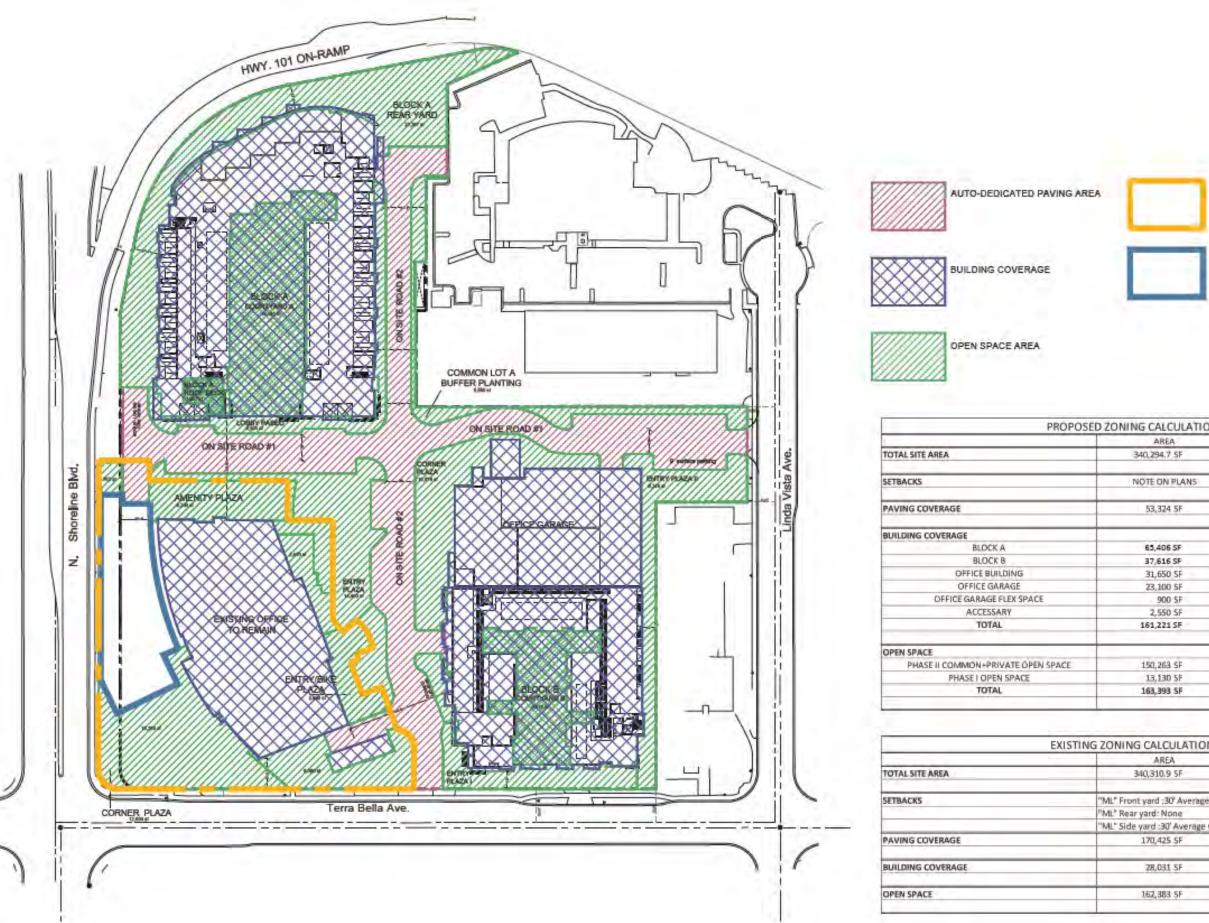


UNIT TH-2 , LOWER LEVEL



UNIT TH-2, UPPER LEVEL 2 BR, 2.5 BATH PLUS FAMILY ROOM NRSF: 767 + 695 = 1,462 s.f. Patio: 57 s.f. Storage: 288 c.f. (in unit) Number: 2

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	Mountain View, California
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	Job No. 16021 Date: 03/09/2020 Scale: Drawn By:
	Sheet No:
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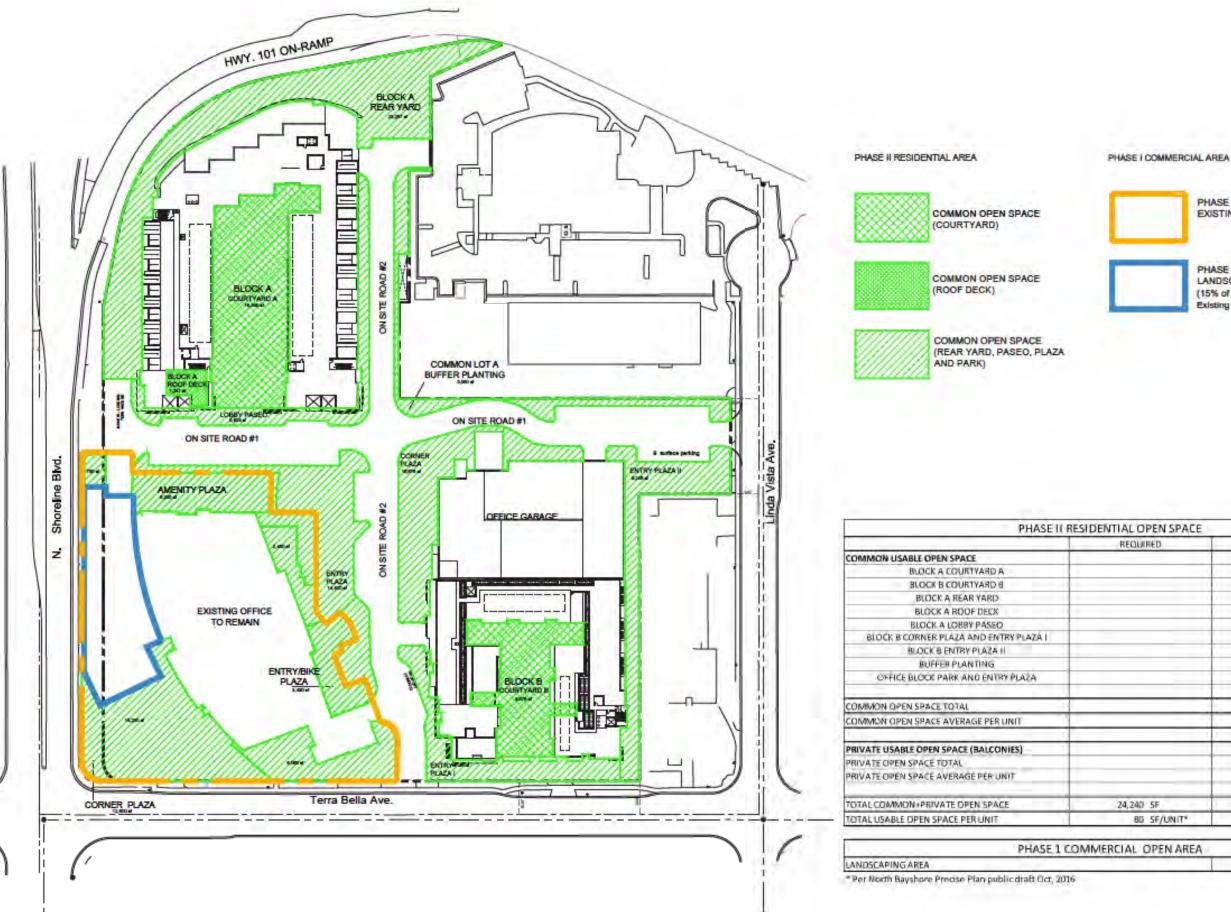
PHASE 1 OFFICE SITE AREA EXISTING TO REMAIN

PHASE 1 OFFICE LANDSCAPING AREA (15% of the Phase 1 Existing To Remain Office Site Area)

CALCULATIONS	
AREA	PERCENTAGE
0,294.7 SF	112%
TE ON PLANS	
53,324 SF	15.7%
65,406 SF	
37,616 SF	
31,650 SF	
23,100 SF	
900 SF	
2,550 SF	
61,221 SF	47,4%
50,263 SF	44.2%
13,130 SF	3.9%
63,393 SF	48.0%

PERCENTAGE
106%
20° min
10' min
50.1%
8.2%
47.7%

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STUDIO T SQUARE Architecture Planning Urban Design
1970 Broadway, Suite 500 Oakland, California 94612 (510) 451-2850
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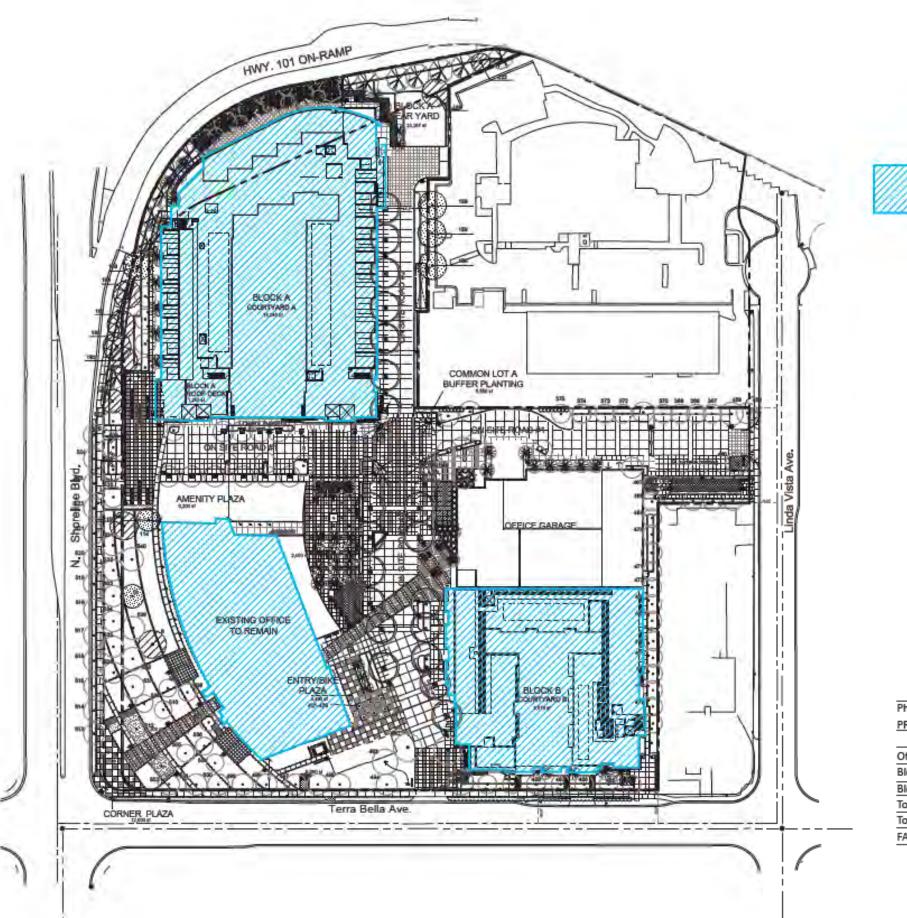


PHASE 1 OFFICE SITE AREA EXISTING TO REMAIN

PHASE 1 OFFICE LANDSCAPING AREA (15% of the Phase 1 Existing To Remain Office Site Area)

QUIRED	PROVIDED
CIVINED.	PROVIDED
	18,345 SF
	9,878 SF
	23,267 SF
	1,247 SF
	5.824 SF
	16,676 SF
	9,246 SF
	5,550 SF
	-48,550 S#
	139,583 54
	461 SF/UNIT
	in ini er
	10,680 SF
	40 SF (267 deck units)
240 SF	150,263 SF
80 SF/UNIT*	496 SE/UNIT
L OPEN AREA	
	13,130 57

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STUDIO T SQUARE Architecture Planning Urban Design
1970 Broadway, Suite 500 Oakland, California 94612 (510) 451-2850
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SARES REGIS
The Residences @ Shoreline Gateway
Mountain View, California
Sheet Title: OPEN SPACE CALCULATION
Job No. 16021 Date: 03409/2020 Scale: Drawn By:
A610



FAR OUTLINE (See A621, A622 for details)

Phase I + Phase II

PROGRAM

Office (Existing structure to remain on site) Block A Residential, Garage and Retail total GFA Block B Residential and Garage total GFA Total Total Lot Area FAR

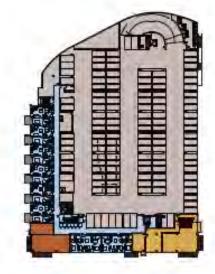
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369,	614 sf
203,	885 sf
684,	942 sf
340,	295 sf
2.01	

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Level 1



Level 2



Level 4

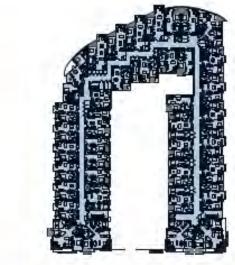
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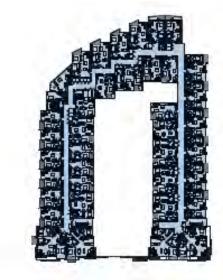
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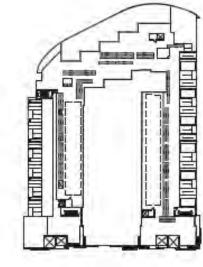
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Level 5







Roof Level

BLOCK A RESIDENTIAL FLOOR PLANS

1"= 60"

Level 1 Level 2

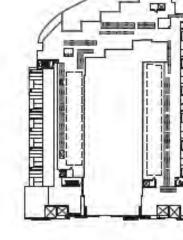
Level 3 Level 4

Level 3

"Note: Area measured to the exterior face of including decks that are not open to t Excludes portions of decks which pro of the building. No Deductions for sha

Level 6

Level 7

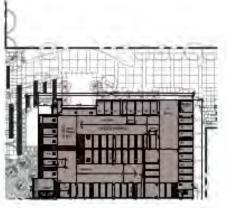


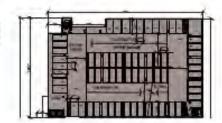


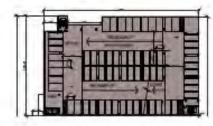
AMENITIES

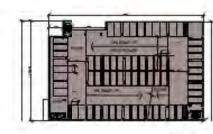
iross Resident Level 6 Level 7 Level - Roof Subtotal

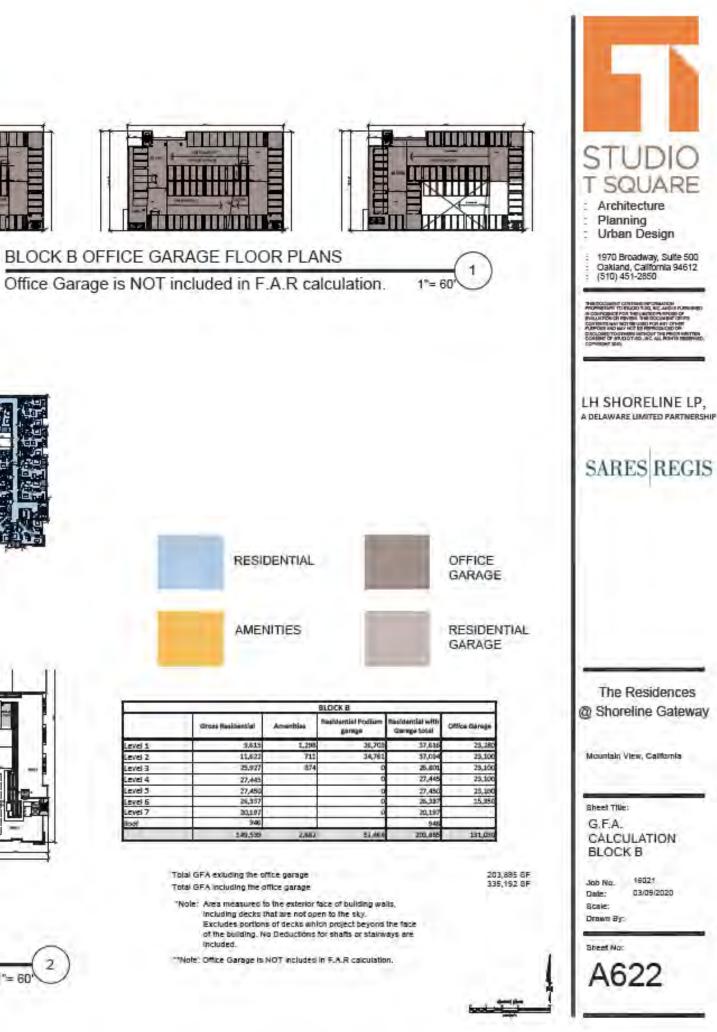
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ies	RESIDENTIAL GARAGE	
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48,255 44,423 1,496	41,215 44,419 1,435	Mountain View, California
252,128 23,300 95,35		Sheet Tille:
see of building walls, in to the sky. In project beyond the face or shafts or stainways are		G.F.A. CALCULATION BLOCK A
		Job No. 16021 Date: 03/09/2020 Scale: Drawn By:
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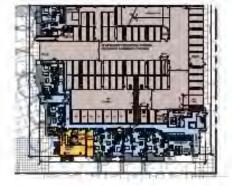




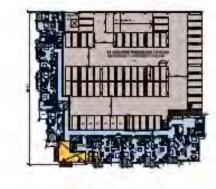




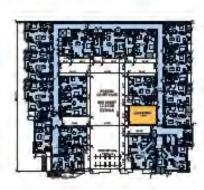
BLOCK B OFFICE GARAGE FLOOR PLANS



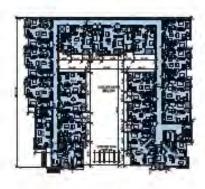
Level 1



Level 2



Level 3



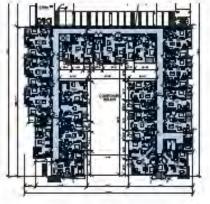
Level 2

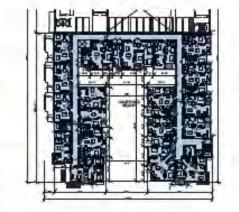
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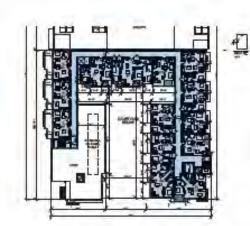
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BLOCK B RESIDENTIAL FLOOR PLANS

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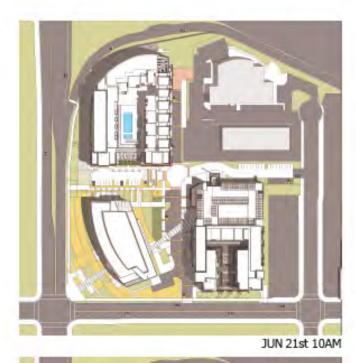
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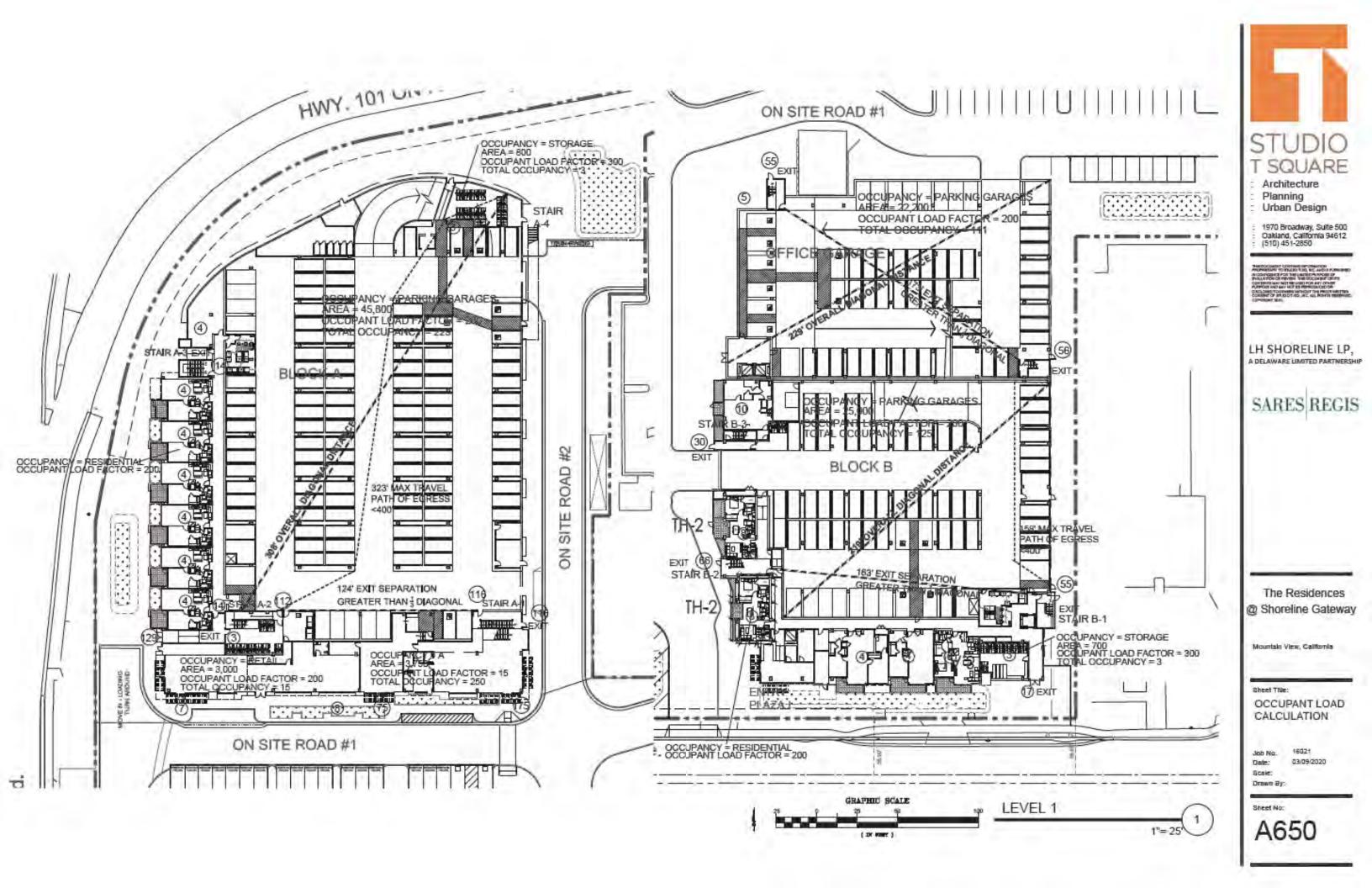


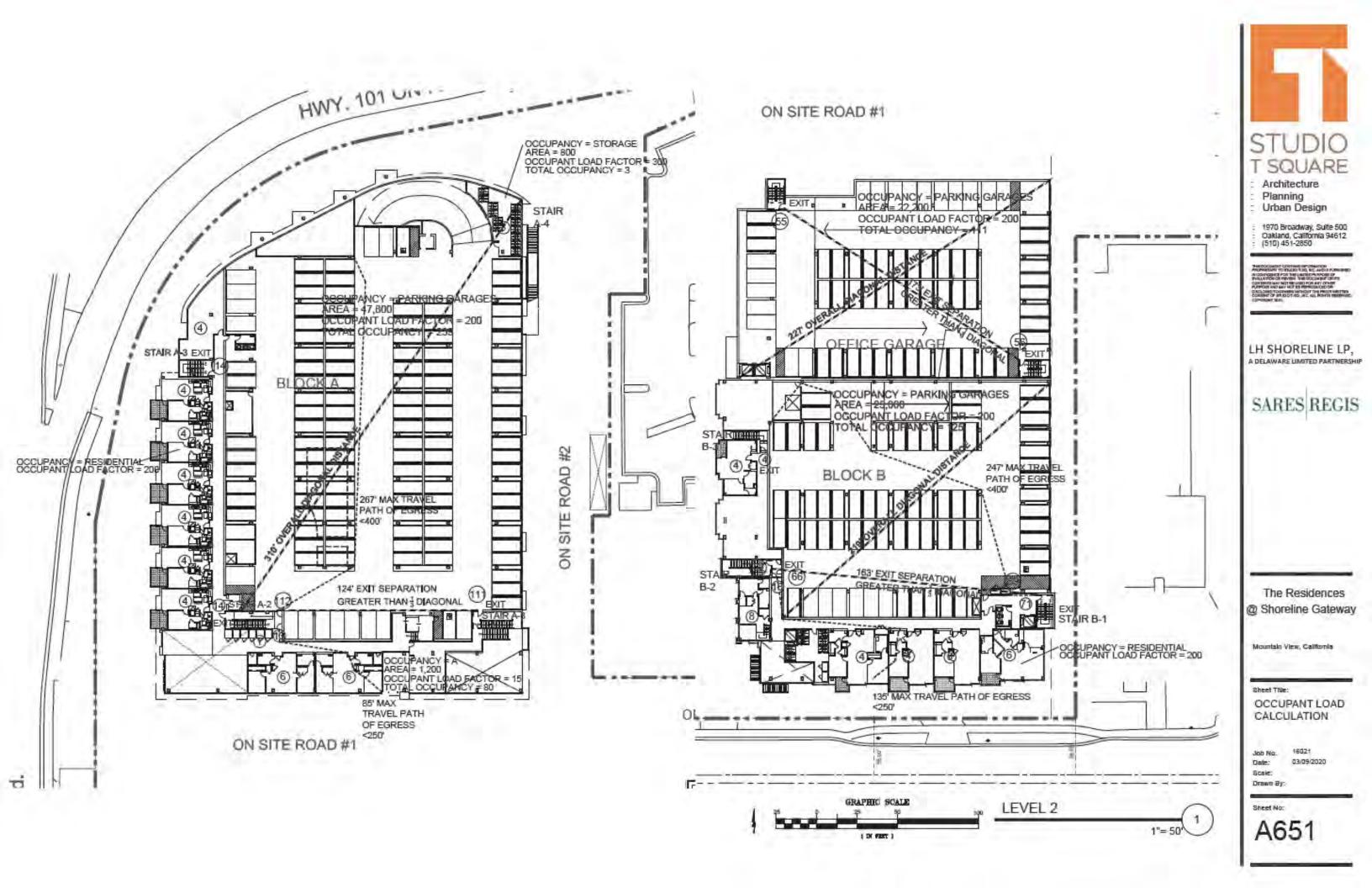
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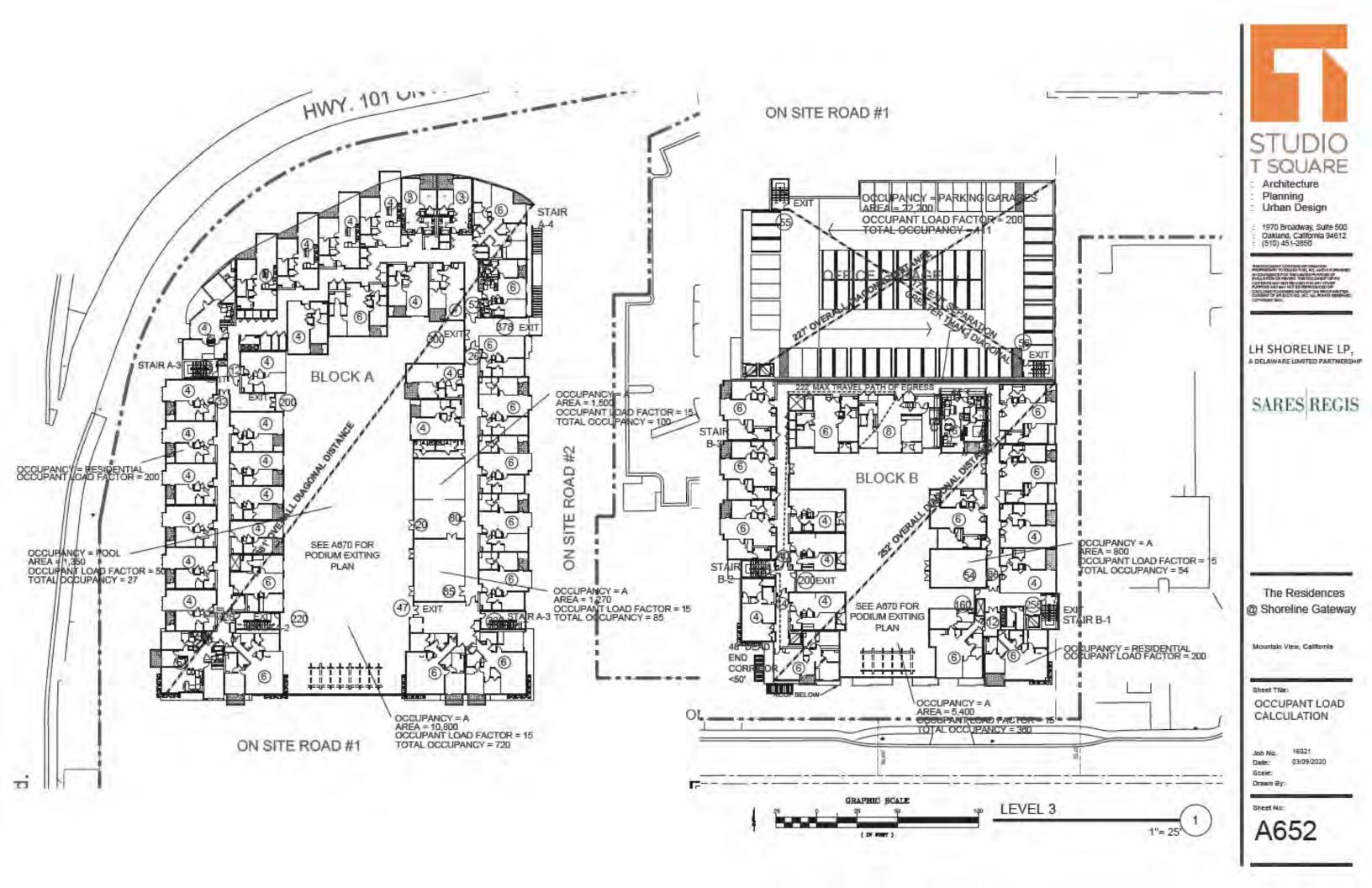
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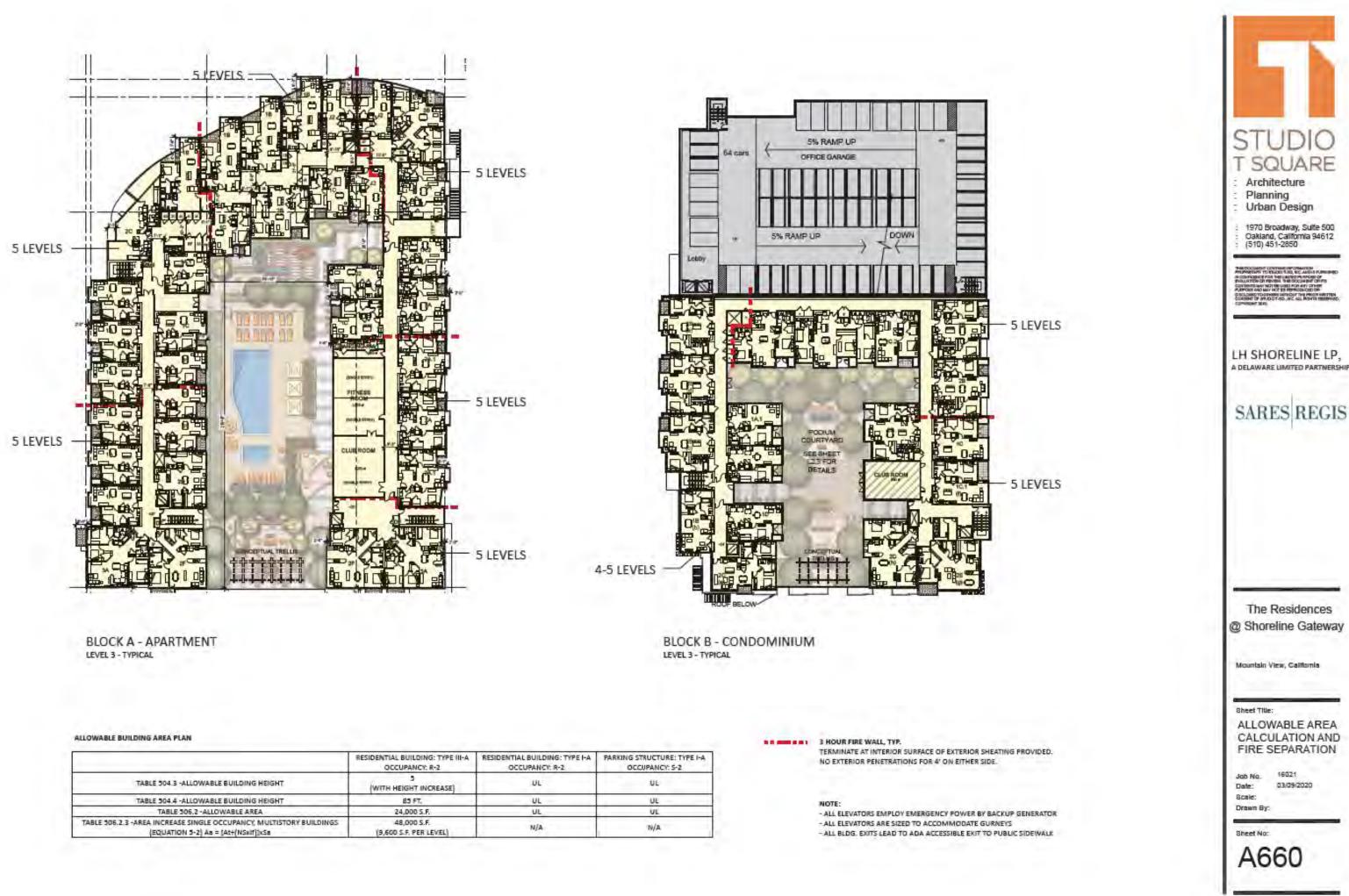
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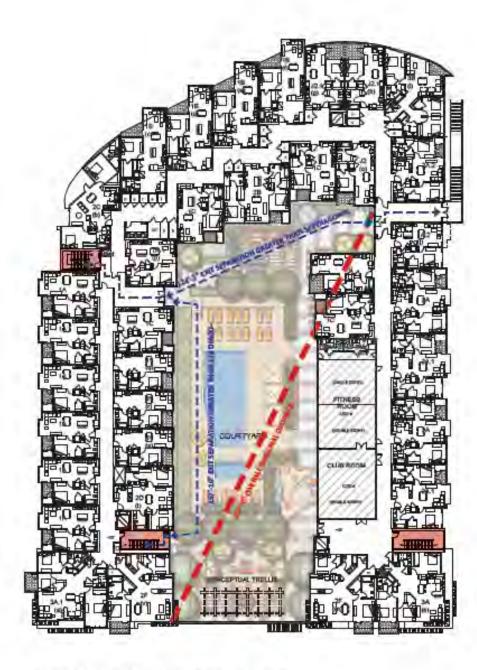


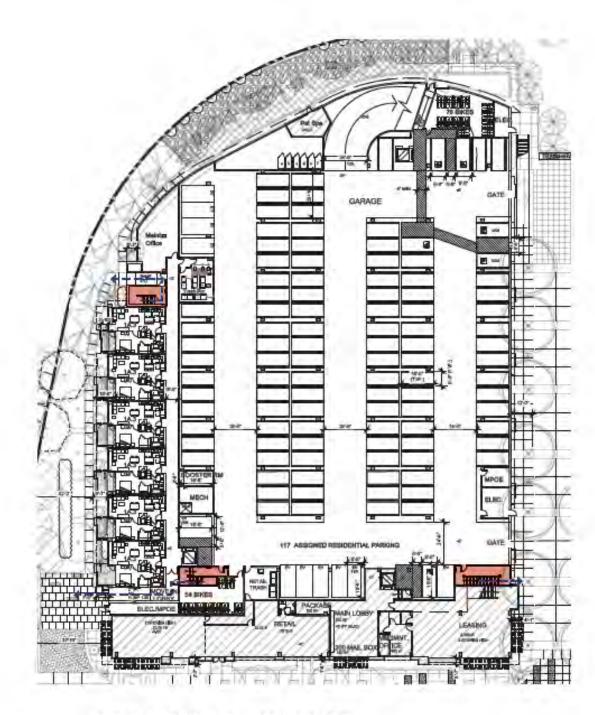






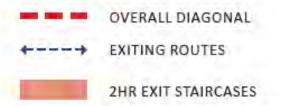
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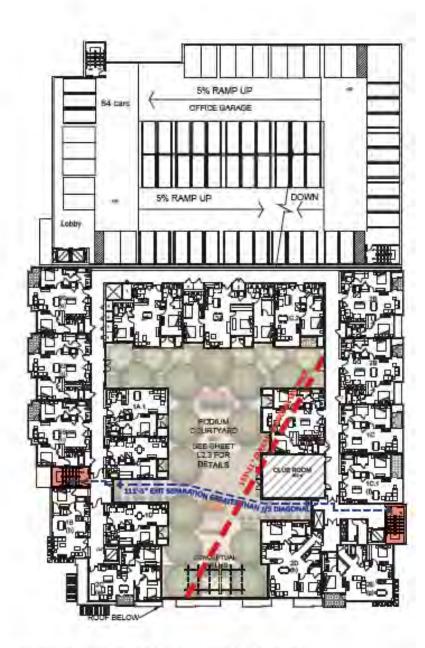


BLOCK A - APARTMENT - PODIUM LEVEL

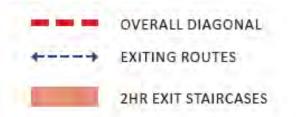
BLOCK A - APARTMENT - GROUND LEVEL

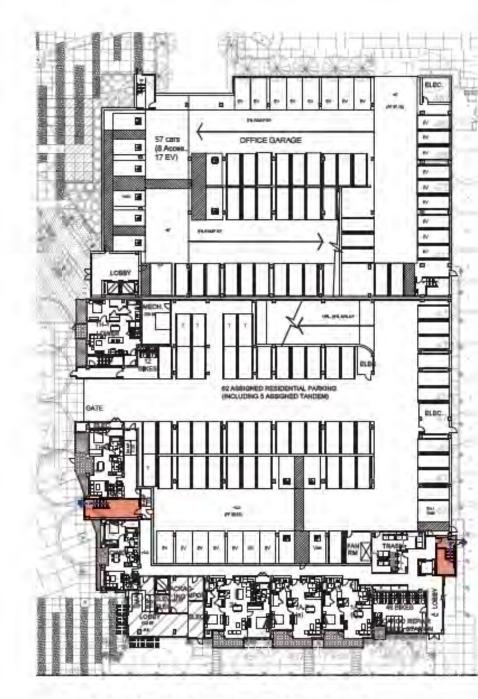


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BLOCK B - CONDOMINIUM - GROUND LEVEL

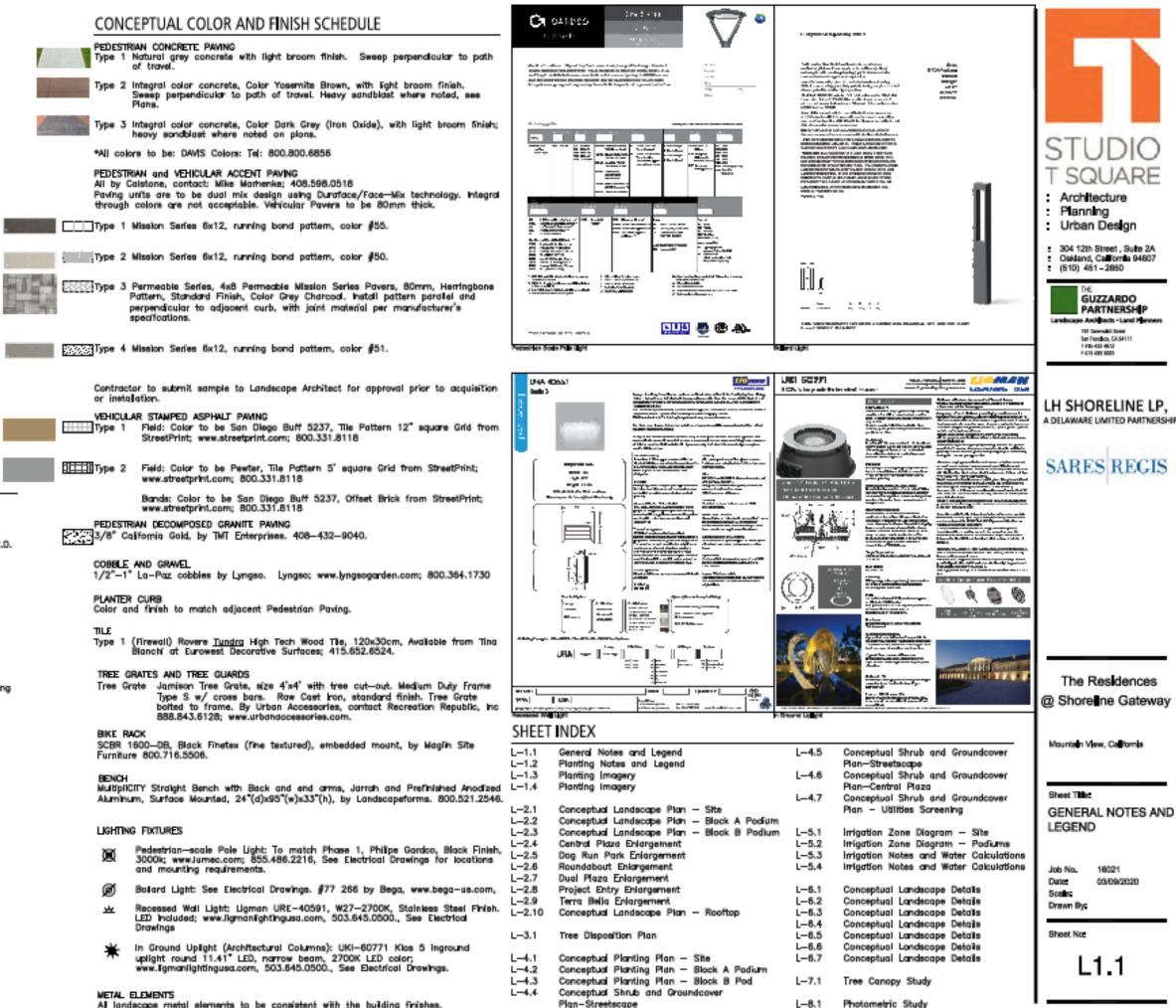
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LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring 1. any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof 2. membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the З. drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects. 4. 5. All building information is based on drawings prepared by:
 - Studio T Square 304 12th Street, Suite 2A Oakland, California 94607
 - 510.451.2850
- 6. All site civil information is based on drawings prepared by: BKF Engineers - Civil Engineers, Land Surveyors, Planners 1650 Technology Drive, Suite 650 Sch Jose, CA 95110 408.467.9100
- 7. The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16" o.c. nor greater than 20" o.c. 9. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

LAYOUT LEGEND

DATOOT L	GENE		
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E	Ground Cover and Shrubs		Stormwater Treatment Area, S.C.D.
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	Property Line	S.C.D.	See Civil Engineer's Drawings
	Center Line	S.C.F.S.	See Color and Finish Schedule
	Phase Line	FG	Finish Grade Elevation
	Natch Line	FS	Finish Surface Elevation at Paving
\sim	Align	TW	Top of Wall Elevation
窻	Pedestrion Scale Pole Light See Color and Finish Sched		
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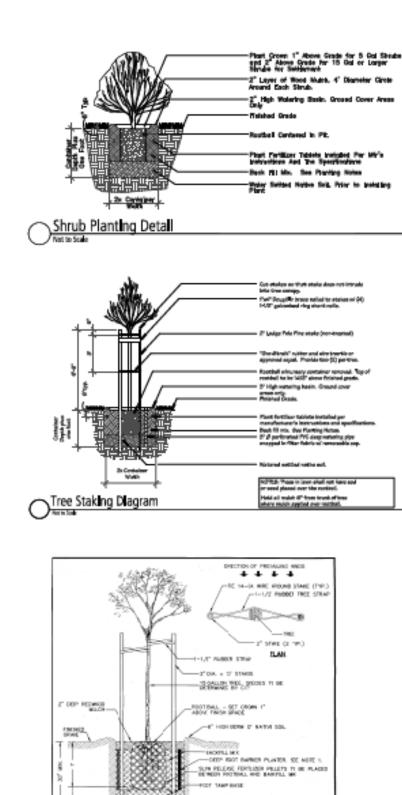
Al landscope metal elements to be consistent with the building finishes.

1-8.1 Photometric Study

PLANTING NOTES

THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY

- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any uniabelied or un-sized tree; 5 gallon plant for any uniabelied or un-sized struct; and 4° poist © 12° o.c. (not flota) for any uniabelied ground cover. All planting beds, except for lowers, are to receive ground cover plant installation in addition to the structs and trees shown on the plants.
- The planting areas shall be ripped to a depth of 5" to reduce comparties. The rative subgrade soil shall be treated with 100 bs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other brades. This is subject to the final recommendations of the soils text (see below) and review by the Londscope Architect and the Owner.
- All planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfl.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the sol to finish grade. All planting areas shall have 6-20-20 Commercial Pertition of 2556/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Londscope Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended eative soil.
- The General Contractor is to provide an agricultural suitabilities analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equilable adjustments in the contract price V/elven recessary. See specifications for testing procedure.
- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman. 7.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscope Architect before the maintenance period begins.
- At trees are to be staked as shown in the staking diagrams.
- 10. At street trees to be installed in accordance with the standards and specifications of All street trees to be installed in occordance with the standards and specifications of the City of Mountain View. Contractor to verify tree species/cultiver specific-tion(s) with City Arborist (or designated manifold outbority) prior to ocquisition and installation of all street trees. Contractor to obtain writes, signed documentation from the City Arborist (or designated manifold outbority) continuing the species/cultiver specification(s) to be installed including installation size and installation detailing.
- 11. Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in free locations after planting at no cost to the Owner. All planting located adjusted adjusted as not to interfere with visibility of the signs.
- 12. The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price V/eten necessary and subject to the Owner's approval
- 13. All planting groups, except lowns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" tayer of recycled wood mutch, "Prochip" by BFI (406.886.7632; www.bf.com) or equal. This shall include all pre-cast planter pols. Mutch shall be Brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mutch siz (6) inches from all plants where mutch is applied over the ractional.
- All street trees to be installed in accordance with the standards and specifications of the City of Mountain View, California.
- 15. Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stack provided by the Landscape Contractor prior to Installation. Seasonal color to be 4" pote at 12" e.e. unless observice noted.
- 16. The lown shall be Poolfic Sod "Metallion", installed per Poolfic Sod's specifications. Trees planted in lown areas shall not have lown planted over the top of the rootball but shall have 12" dismeter circle of lown out out for trimming purposes.
- 17. Trees shall be planted to articipate settlement.
- Plant material requiring from supplements shall have cheloted from foliar feeding opplications per manufacturer's specifications. See specifications for materials.
- 19. All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, carbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications for materials.
- 20. Ground cover shall be planted as shown on the plan, including under shrubs and in tree watering basins.
- 21. The Landscope Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscope Architect within thirty (30) days of award of contract. The Contractor shall partnase the material and have it segregated and green for the job upon approval of the plant material. The deposit necessary for such contract growing is to be bern by the Contractor.
- 22. The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenpace. The impatter for all planting shall be impatted to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The impattent controllers shall be adjusted as necessary to reflect changes in worther and chait excitations. plant, requirements.
- 23. The Landscope Contractor shall verify the location of underground utilities and bring only conflicts with plant material locations to the attention of the Landscope Architect for a decision before proceeding with the work. Any utilities shown on the Landscope drawings are for reference and coordination purposes only. See CMI Drawings.
- 24. The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an or-going maintenance procedure.



SUN RELEVE FOR LOSS PALETS TO BE PLACED

OITS OF MOUNTAIN VIEW EPARTNENT OF PUBLIC WORKS

TREE PLANTING AND STAKING

- F-1

- STARLE TO BE DEVEN Y BELOW ROOT BALL

-FOOT 1AMP BASE

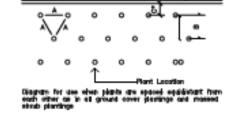
ANT THOS PLANTS WITHIN IT OF A PERMANENT STRUCTURE I DRIVINAN, SACHAUN, SURB, CTU., I NSTALL & DEEP FOOT EMPROY PLANTER NR. 22-25-359 OF APPROVED DOEA.

EN THES FLAMED IS A RON-PROAFED AREA OF WARRAND WITHOUT NECESSARY, METALL-17 THE REMETER-A 4"40" P.V.L DRAW PRO MY 4" ILLAS DRAW Y" ADVE

NEED D-ALL BE VANHED A MINIAM OF 11 FROM SAMTHRY SENER LATERIES AND IF FROM MATCH DRIVERS AND DRIVENING.

PLANT PALETTE

	305	BOTAN CAL MARE	CONVOR NAME	CULTMAR	COMMENTS	APPROX QTY	WUCCLE	GA HATINE
ACE PAL	See Plan	Acer perseture	Coral Bark Japanese Maple	'Sargolaku'	Country	34	MUCCLE	HAIRYE
			Red Maple			-		
ACE RUS	See Plan	Ager rubrum		'Bowheet		11	M	<u> </u>
CHA HUM	See Plan	Chemacrops human	Medievaneen Fan Pare			17	L.	<u> </u>
LASTUS	See Plan	Lagentroenia s.	Crace Myrie	'Tuscarors'	Standard	14	L	<u> </u>
MAG GRA	See Plan	Megnolis granditors	Southern Magnole	"Russet"		16	м	<u> </u>
OLEEUR	See Plan	Clea ouropsea (Fruitess)	Fru ess One			15	ч.	
PLAACE	See Plan	Platenus acertifata	London Plane Tree	'Columbia'		20	м	<u> </u>
POP FRE	See Plen	Popular fremoni	Premont Collanwood			27	M	Y
QUEVER	See Plan	Caercus NY Nene	Southern Live Calk			6	м	
TRICON	See Plan	Testania confeita	Bashare Box		per City Master Plan Street Tree Bat 2013		м	
ULM PAR	See Plan	Unive pervice	Evergreen Elm	'Dynasty'	2013	20		├ ──
DUA PAR	ane Plan	Constant Period of		-1.004	Total Proposed Trees	182		<u> </u>
					Tour Proposed Trees	182	<u> </u>	<u> </u>
SHRUBS/	<u> </u>						—	—
GRASSES								
KEY	SIE	BOTANECAL NAME	COMMON NAME	GULTWAR	COMMENTS/SPACING	APPROX GTY	WUCOLS	CA
	5 galon	Acada organia	Deer! Acede	Caugh If	45 00	142	1	The state of the s
ACC	15 galon	Agave taxardana	Harvard's Century Plant.	- ANNE AN		142	VL.	
	5 galon			'Mood Indiac'	42" 64		v	<u> </u>
ALY	-	Alyogene huege	Silve Hiblacus Venezano Dan		48° n.c.	61	1.	—
AM	5 gallon	Anegozanthos ove	Rangaroo Pev	Bush Red	37 tah	269	1. 	—
ASP	Signion	Asparague densitionus	Myers Asperague	'Myers'	34" 66	131	м	
GAA.	5 galon	Colomographic nutkeensis	Read Grass		35° c.a.	79	M	Ŷ
CAL.	6 gallon	California versas	Deer! California	1.00.364	35.44	31	L.	<u> </u>
DAR	5 galon	Carex turnul cola	Stender Sedge		34° n.c.	20	L	¥
0H0	5 galon	Chondropetatum tectorum	Cape Rush		30° c	369	L	
DIA.	8 parlon	Dianasa revoluta	Plan Lay	'Baky Bloo'	18' + 0	131	M	
DIE	5 galon	Dietes bicolor	Dwarf Fortnight Lay	'Orange Drop'	30° c.c.	505	L	
ELY	5 gallon	Elymus gleucus	Silice Wildrye		30° ca.	34	L	Υ
EBC	5 galon	Escaloria eva	Escelone	Traini	45" 14	18	м	
FOS	5 galon	Feature californica	California Featuca	'Serperine Bue'	18' 9.0.	578	L	Υ
HEM	5 gallon	Hernerson b cultures	Devily	Getts and Neds	37.00	45	м	
LE	5 galon	es vantos	Dearf Yeapen Heay	'Blakes' Dearf	36.44		L	
P	5 pation	Me douglestere	Douglas Ma		30° a.a.	429		Y
J.N	5 galon	Junous effusus	Common Rush		24" 144	1878	v	v.
LAS	15 gallon	Lagenstroemile indice	China Red Dwarf Crape Myrila	Moned	Per Plan	3	ι	,
LAV.	5 galon	Lavandula x Mermedia	White Lavender	Apr	30" 6.6	385	L	
LAT	5 galon	Lavalers to anglecs	Tree-Mallow	'Red Rum'	30° c.c.	16	м	
LOM	5 gallon	Lomenche longitzes	Dwerf Viet Rush	'Breeze'	35' 540	763	L	
M I M	5 galon	Minute exemptors	Staticy Monitory Brown		30' 64	13	VL.	Y
MUH	5 galon	Muhlenbergis cve	Filsk Flamingo Muhly	'Pitrik Filenings'	30° cu.	85	L	ľ
PHO	5 gallon	Phoretan	New Zealand Plax	Venezing Red"	37.66	65		<u> </u>
PHD	5 galon	Phone an	New Zealand Flax	Cust	34° 64.	304	1	<u> </u>
	5 galon	Polygala ova		Wite Meritscent'		198	v.	I —
POL	5 gallon		Sweet Pea Shrub Dearf Example Laure	'Oto Layter'	30° cut.		-	<u> </u>
PRU		Prunus aurocenasus	Dworf Ergen Leure		48" 6.6	20	M	
RHA.	Spaton	Rhamnus californica	California Coffee Bush	'Nound San Brund'	30° a.c.	74	1	¥
ROA	5 gallon	Ross californics	California Rosa		45° n.n.	13	L	Ŷ
SM.	6 gallon	Same devotend	Cleveland Saje		36.44	12	L.	٧
18	15 gallon	Vibumum awabuki	Sweet Viburrum	'Chindo'	60° e.e.	13	м	L
GROUNDCO						<u> </u>		<u> </u>
VERS							—	
REY	10.00	BOTAN CAL MARE	COMMON WARE	CLETMAR	COMMENTERPACING	APPROX GTY	WUCCLE	GA
	Sod	No-mos' Feacue	Hybrid Fescus Grass		See Planding Hotes	010 af		
		Antosisphylos we-ural	Common Bearbarry	Measuring with	45° a.c.	167	L	<u> </u>
NOM	1 gallon			Wayne Roderick	26" 64	62	N N	<u> </u>
NOM AU	1 galon 1 galon	Experion avs	Wayne Roderick Dawy					—
NGM AU EW	1 geon	Experion and Mycoorum panelosum	Weyne Rodenck Dany Creecing Myccorum		30" 6.4	6	L.	
NCM AU EW MP	1 galen 1 galen	Myoporum panelbaum	Creeping Mysporum		Wes.	6 1498	L	<u> </u>
NOM AU EW MP BA	1 gallon 1 gallon 1 gallon	Myoporum paneloaure Bedum album	Creeping Myoporum White Stoneorop		e oc.	1456	L	
NCM AU EW MP	1 galen 1 galen	Myoporum panelosum Bedum album Bedum refeaum	Creeping Mysporum			-	ւ ւ	
NOM AU EW MP BA	1 gallon 1 gallon 1 gallon	Myoporum paneloaure Bedum album	Creeping Myoporum White Stoneorop		6" 0.4. 8" 0.4	1456	L L L	
NOM AU EW DA SA SR	1 galen 1 galen 1 galen 1 galen 1 galen	Myoporum panéhalum Bedum album Sedum refesum Trachalasportum Jeandholdes	Creating Myoporum White Stonecrop Reference Stonecrop	N, 2014-edition	e oc.	455	ւ ւ ւ	
NOM AU EW SA SA SR TJ NOTE: WUCO	1 gellen 1 gellen 1 gellen 1 gellen 1 gellen 1 gellen 1 gellen 1 gellen	Myoporum panéhalum Bedum album Sedum refesum Trachalasportum Jeandholdes	Creating Mysporum White Storecrop Reflectan Stereorop Star Jean/Ine Iscape Species) per WUCOLS		6" 0.4. 8" 0.4	1456 465 267	ı ı ı	
NOM AU EW SA SA SR TJ NOTE: WUCO	1 gallon 1 gallon 1 gallon 1 gallon 1 gallon 1 gallon 1 gallon 1 gallon 1 gallon 1 gallon 1 gallon 1 gallon	Mjoporun panitolum Bedum album Sedum refexam Trachelaepemum Jesminoldes er Lies Classification of Land	Creating Mysporum White Storecrop Reflectan Stereorop Star Jean/Ine Iscape Species) per WUCOLS	<u>P</u>	б° од. 8° од. 34° од.	1456 465 287		



PLANT CALLOUT SYMBOL

-Ougstity (or See Specing Commercial) -Plant Key (See Plant List)

Tree Staking Diagram for Trees within the Public Rights of Way

Andrew State

age age atte

13

\$07E:

COLORIDA INT	100 - Do 100	AREA.100 100	110 0 0 10 10 0 00 00 0 0 0 0 0 0 0 0 0
SPACING 'A'	SHACING .B.	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6° Q.C.	5.20"	2.00"	4.60
8 0.0.	6.93	3.47	2.60
s" o.c.	7.79*	3.90*	1.78
10° 0.C.	8.06"	4,33*	1.66
12° 0.C.	10.40"	5.20*	1,15
15° 0.C.	13.00*	6.50°	0.74
18" C.C.	15.80"	7.80*	0.51
24" 0.6.	20.80*	10.40*	0.29
30" 0.0.	28.00*	13.00*	0.18
36° 0.C.	30.00	15.00"	0.12
45" 0.0.	40.00"	20.00*	0.07
72° 0.C.	62.35"	31.16"	0.04

See Flat Speaks Dispray for maximum trippeder speaks W. The shaft is to be used to determine surviver of groups cover regarded in a given area and speaks between struct meanings. There struct meanings are shown, calculate given mean survive stifting speaking drawt to

* Where out, sidewalk, adjacent planting bed or wall condition accurs, utilize spacing U to destribut planting how two wall, adjacent planting bed or book of ourb, where G=1/2 B.

STUDIO T SQUARE Architecture Planning Urban Design
 304 12th Street , Suite 2A. Oakland, California 94607 (510) 451 - 2950
THE GUZZARDO PARTNERSHIP Landstager Actification See Traduct, CAPHTI See Traduct, CAPHTI Tells 421 (2011) 1419-421 (2011) 1419-421 (2011)
LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP
SARES REGIS

The Residences @ Shore ne Gateway

Mountain View, California

Sheet Title:

PLANTING NOTES AND LEGEND

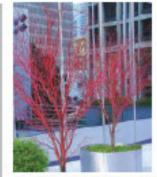
Job No.	16021
Dates	03/09/2020
Scale	
Drawn Bys	

Sheet No.

L1.2

TREES

Platanus acerifolia 'Columbia'



Acer palmatum 'SangoKaku'



Populus fremontii



Acacia cognata 'Cousin Itt'



Acer rubrum 'Bowhall'



Quercus virginiana



Chamaerops humilis





Lagerstroemia x 'Tuscarora'



Ulmus parvifolia 'Dynasty'



Magnolia grandiflora 'Russet'

Asparagus d. 'Myers'





Juncus effusus







Callistemon v. 'Little John'



Festuca californica 'Serpentine Blue' Hemerocallis - Gold



Carex tumulicola





Chondropetalum tectorum



Hemerocallis - Red



Dianella revoluta 'Baby Bliss'



llex vomitoria 'Stokes Dwarf'











Iris douglasiana

Alyogyne huegelii 'Mood Indigo'



Tristania conferta







Olea europaea (Fruitless)





Calamagrostis nutkaensis





Escallonia 'Fradesii'





Lagerstroemia indica 'Moned'

STUDIO T SQUARE : Architecture : Planning : Urban Design : 201 T2thStreet, Suite 2A
Celdiand, California 54607 (510) 451 - 2850 THI GUZZARDO PARTNERSHIP Landscare Anthreats -Land Planners Kill Generation State Transact Sent State Transact Sent Sent Transact Sent Tarkets atto Fact 432 Sent
LH SHORELINE LP, A DELAWARELIMITED PARTNERSHIP
SARES REGIS
The Residences @ Shoreline Gateway
Nountain Vew. California
Planting Imagery
Job No. 16021 Date: 03/06/2020 Scale: Draws By:
Sheet No.
L1.3

SHRUBS / GRASSES



Lavandula x intermedia 'Alba'



Lavatera thuringiaca 'Red Rum'



Lomandra longifolia 'Breeze'





Muhlenbergia 'Pink Flamingo'



Phormium 'Duet'



Polygala 'Alta Mariposa'



Prunus laurocerasus 'Otto Luyken'



Rhamnus cal. 'Mound San Bruno'





Salvia clevelandii

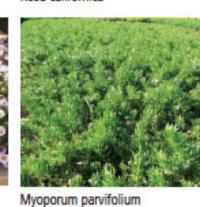
GROUND-**COVERS**



'No-Mow' Fescue



Arctostaphylos u. 'Massachusetts'



Sedum album



Trachelospermum jasminoides



Erigeron 'Wayne Roderick'







Phormium 'Amazing Red'



Viburnum awabuki 'Chindo'





Sedum reflexum





: Ar : Pl	FUDIO SQUARE chitecture ann ng tan Design
: 00	T2th Sinest , Suits 2A dand, California 94607 0) 451 - 2850 THE GUZZARDO PARTNERSHIP (Addess - Lad Flames the devoket there for heavier California Frances California Frances California
A DELAN	HCRELINE LP, WARELIMITED PARTNERSH
@ Sh	ne Residences Ioreline Gateway
LAND	ICEPTUAL DSCAPE PLAN
Job No Date: Beate: Drawn Sheet	63/09/2020 By:



Clara Baol Faces





Cabanas at Pool Deck

Glass Pool Fence





Pool Deck

Fireplace



Metal Trellis



Dining Area under Metal Trellis



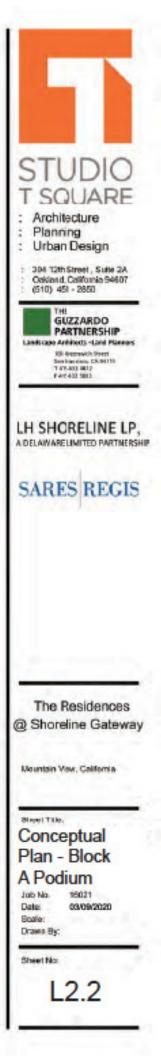
Raised Planter Wall with Wall Light



Outdoor Lounge with String Light









See-through Fireplace



String Light



BBQ Island with Bar Top Table and Stools



Outdoor Lounge



Raised Planter Wall with Wall Light



Trash Receptacle

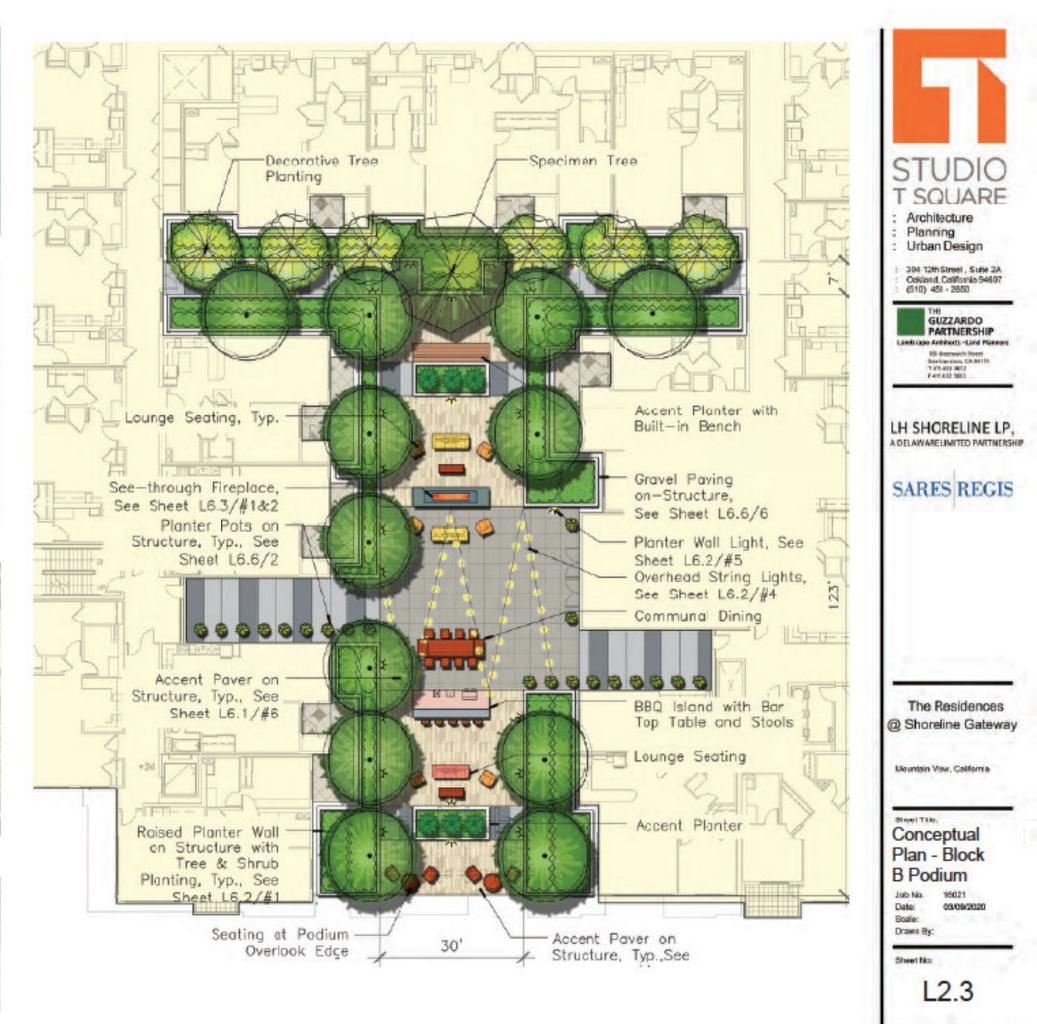


Planter Pots on Gravel



Community Dining with String Light





Key Map





Accent Stripe Paving



Art Sculpture





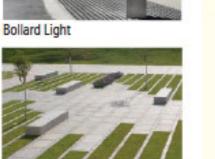
Serrated Planting Edge



Tree Grove with In-ground Lighting



Tables and Chairs under Tree Grove





P P

Pedestrian Walkway

Existing Office Bike

Pedestrian Accent Stripe Paving, Type 1 & 2, Typ. Tree Grove

Seat Walls

THE

Stormwater Treatment

Bollard Light, Typ.

508

Key Map

Parking (6 Spaces)

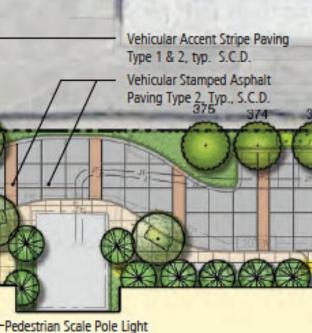
Existing Office Bike



B. .

-Tree Cut Out with Bench and Uplights

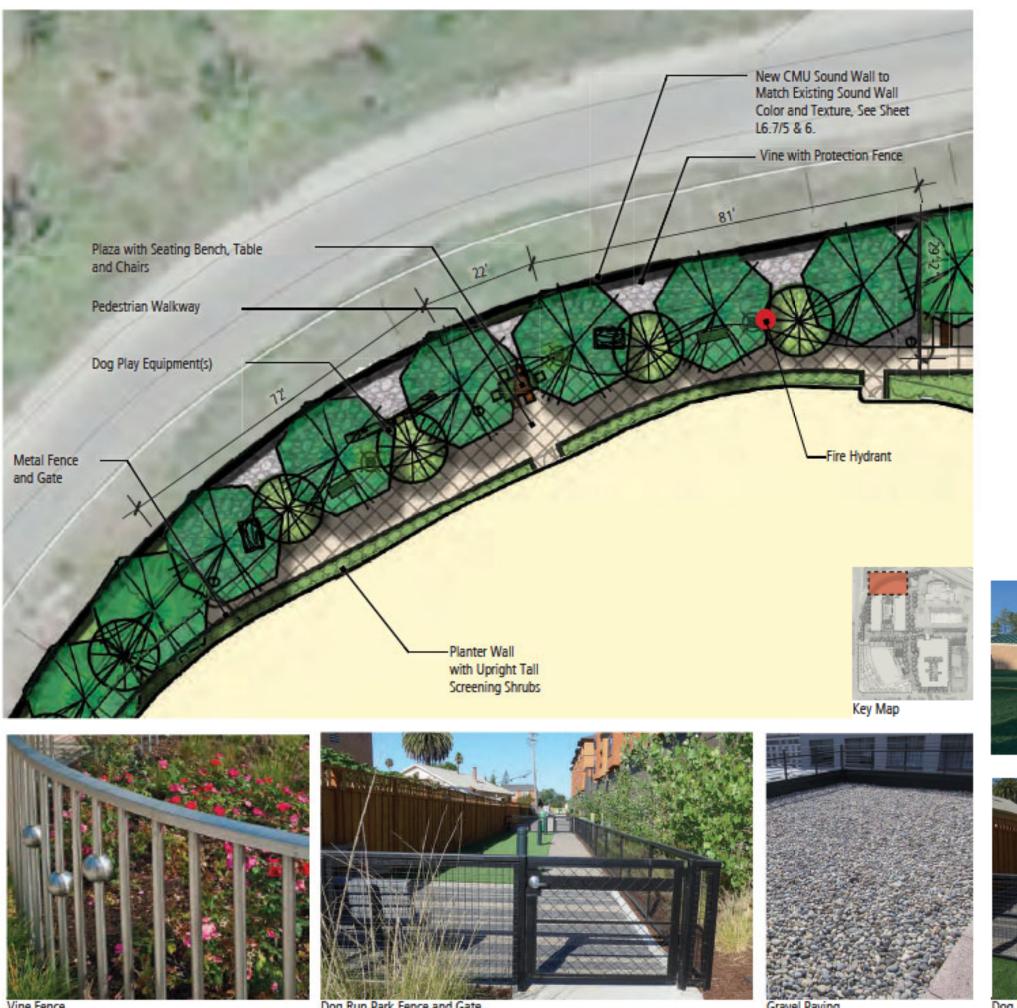




- Pedestrian Stripe Accent Paving, Type 1 & 2, Typ.
- Flush Curb with Bollards
- Large Entry Way Trees
- Specimen Tree
- -Pedestrian Accent Paving at Crossing, Type 4 & 1







Vine Fence

Dog Run Park Fence and Gate

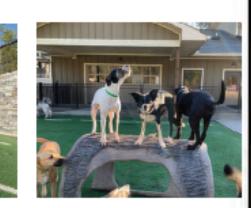
Gravel Paving



Dog Run Park

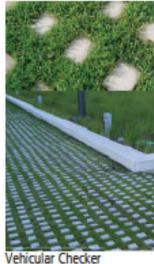


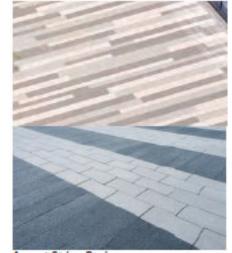
Pet Spa











Accent Stripe Paving



Entry Sign Wall

Block Paving

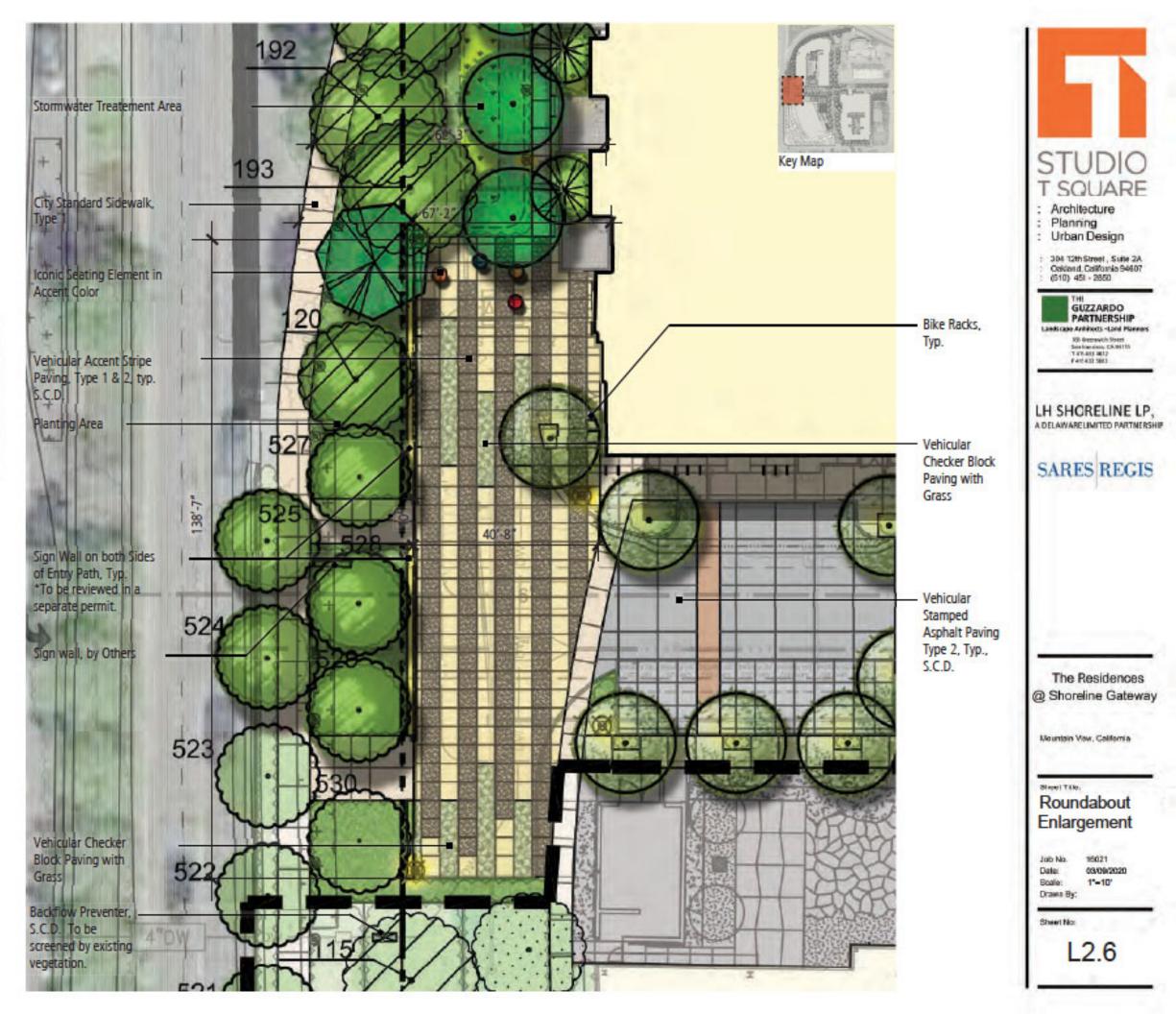
Iconic Seating Element

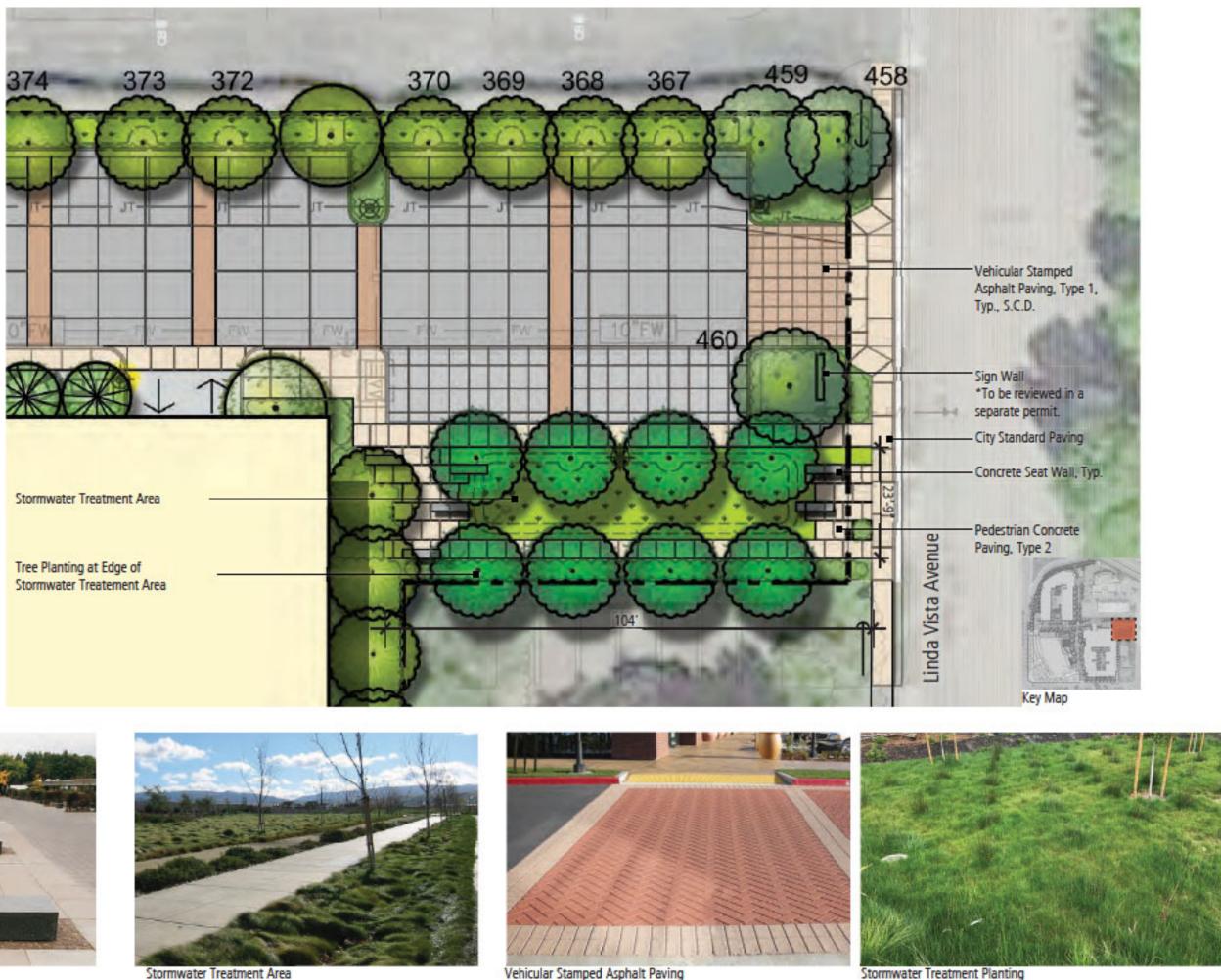


Tree Grate



Vehicular Stamped Asphalt Paving





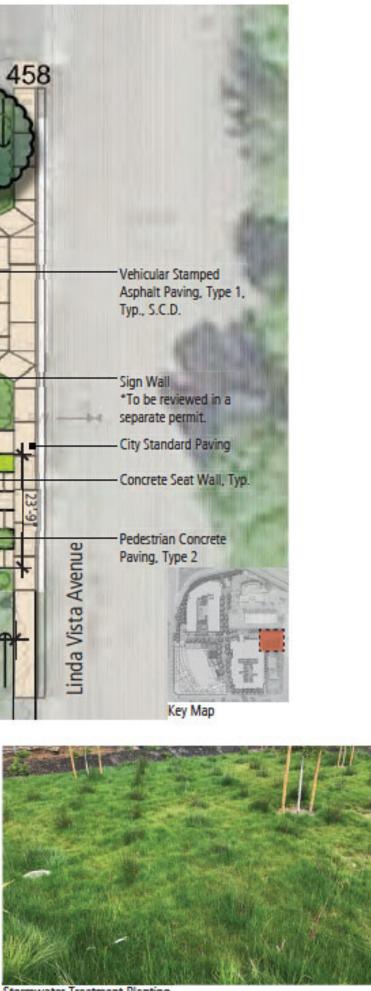


Concrete Seat Block



Stormwater Treatment Area





Vehicular Stamped Asphalt Paving

STUDIO T SQUARE : Architecture Planning Urban Design 304 T2th Street , Suite 2A Ookland, California 54607 (510) 451 - 2850 GUZZARDO PARTNERSHIP Lands case Anhiberts -Land Planners Kill Greenwich Storet Sam Francisco, CA, Millin 17 475-403 4812 F 412 432 5883 LH SHORELINE LP, A DELAWARELIMITED PARTNERSHIP SARES REGIS The Residences @ Shoreline Gateway Nountain Vew, California Dual Plaza Enlargement Job No. 16021 03/09/2020 Date: Scale: 1"-10" Draws By: Sheet No: L2.7

Existing Trash Enclosure

Transplanted Phase 1 Tree -Quercus virginiana



Specimen Tree - Quercus virginiana







Monmument Signage



Ornamental Planting at Monmument Signage



Accent Stripe Paving

Remain-Quercus virginiana

Vehicular Accent Stripe Paving

Iconic Seating Element in Accent Color

Remain-Quercus virginiana





Iconic Seating Element





- Iconic Seating Element in Accent Color

Pedestrian Scale Pole Light



Iconic Seating Element





Key Map

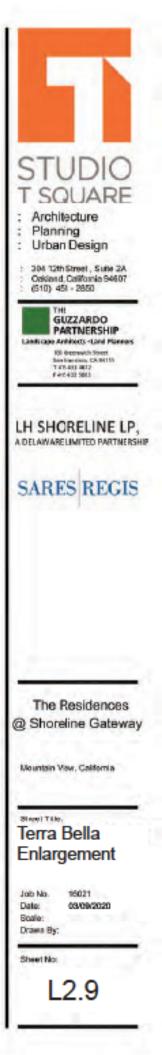


Stormwater Treatment underneath



Stoop Wood Deck Access

Stoop Wood Deck Access with Stormwater Treatement undernearth

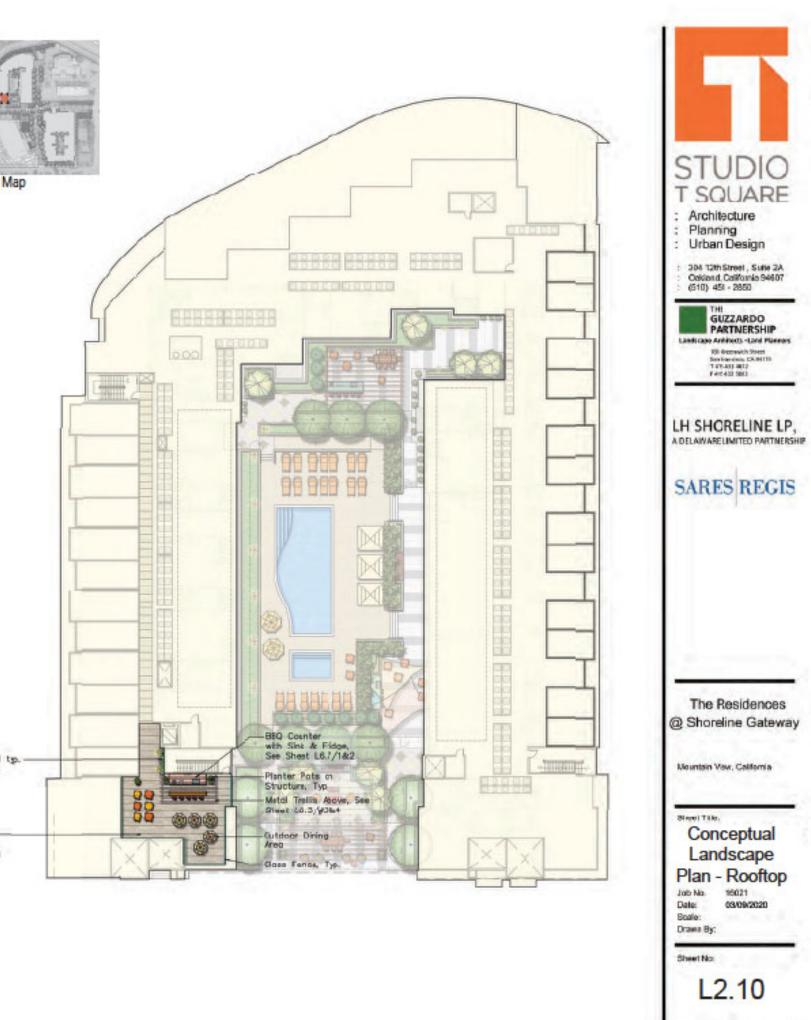








Key Map



Pre-cast Planter Pot

Glass Guardrail



Metal Trellis

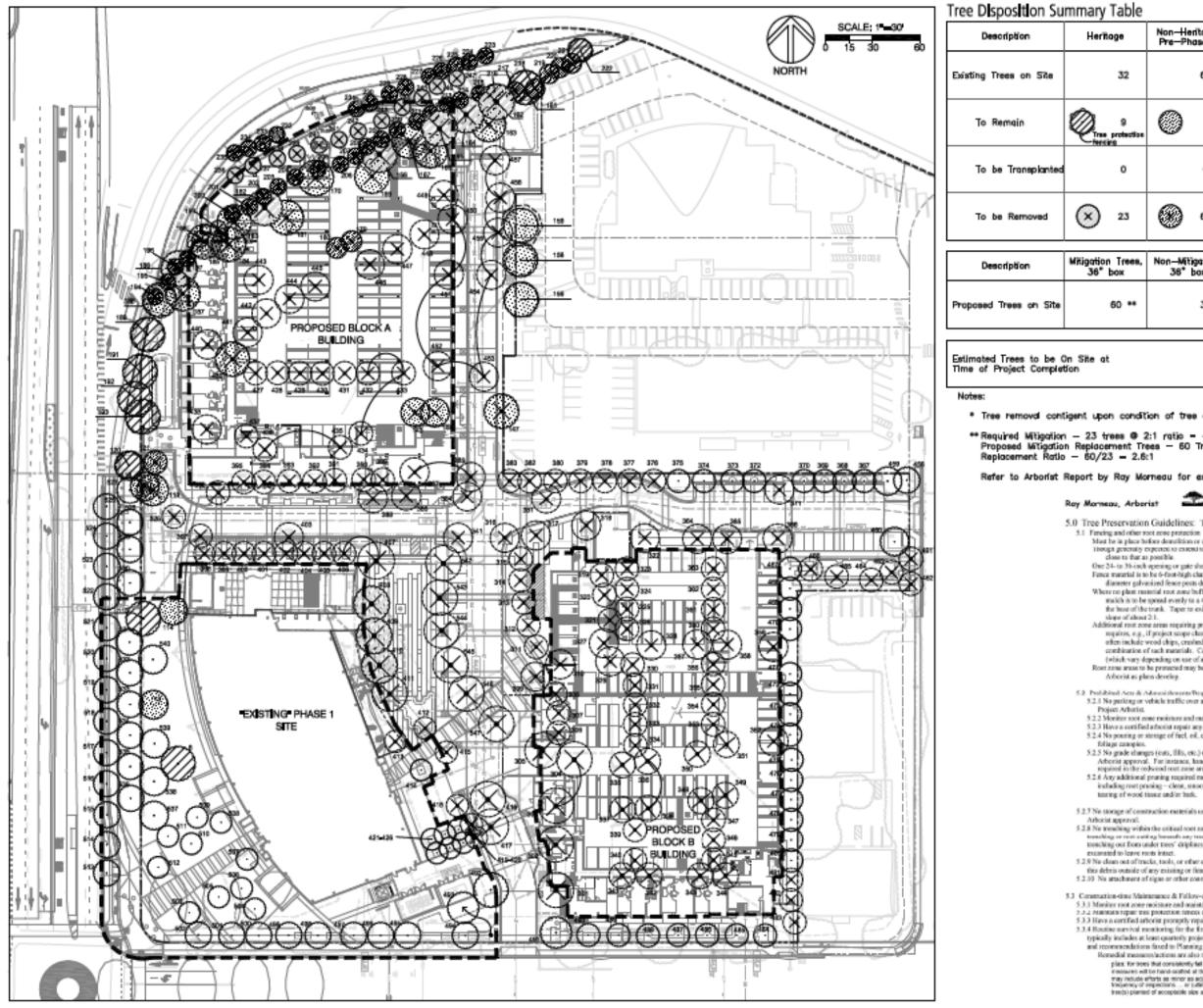


Dining Table Set with Umbrella





BBQ Island with Dining Table Set



ė	Non-Heritage, Pre-Phase 1		Non-Heritage, Phase 1		Total
32		66		243	341
9 otectioe	0	6	\odot	87	102
0		0	(Tree #493	2	1
23	9	60	\otimes	155 *	238

írees, x	Non-Mitigation, 36° box	Non-Mitigation, 24" bax	Total
) **	36	96	192
			205

295

* Tree removal contigent upon condition of tree at time of construction.

** Required Mitigation — 23 trees @ 2:1 ratio = 46 trees, 24" box min. required Proposed Mitigation Replacement Trees — 60 Trees Replacement Ratio — 60/23 = 2.6:1

Refer to Arborist Report by Ray Morneau for existing tree type, size, and condition.

THE OWNER WARDERS

100 044 7444

5.0 Tree Preservation Guidelines: Tree Protection Measures

Hust be in place before detailions or any other project elle work. Though generality expected to enced to the displace, here the TFF can be installed as close to that as possible.

One 24- to 36-inch opening or gate should be left for impretion access to each area. Force material is to be 6-foot-high chain link force supported by 8-foot long, 2-inch

Force maturate in the 6-biotenegic cause that renex supported by 6-biotenerg, 2-biotenerg diameter galvanised fence posts driven 2-feet into the soil. Where no plante material root zone buffler is growing iog, byg, shrubs, turfly, a wood chip match is to be spread evenly to a 6-inch depth from the driphine to 6-inches from the base of the trunk. Taper to existing ground level at the base of the trunk with a driven of the trunk.

slope of about 2:1. Additional root zone areas requiring protection can be buffered as Project Arberiat requires, e.g., if project scope changes. Commonly acceptable buffer materials often include word chips, crushed tock, plywood, steel trench plates, and/or a combination of such materials. Consult Project Arborist for depth specifications

(which vary depending on use of area and/or specific traffic).

Rost zone areas to be protected may be modified by the Municipal Athenist or Project Asborist as plans develop.

5.2 Probibilised Acts & Advantishersent/Requirements 5.2.1 No garking or vehicle traffic over any root zones, unless using buffers approved by

5.2.2 Monitor soot zone moisture and maintain as per above.

5.2.3 Have a contified arborist repair any damage promptly. 5.2.4 No pouring or storage of fact, ed., chemicals, or bazardous materials under these

5.2.5 No grade changes (cuts, fills, etc.) under these fillinge crowns without prior Project. Afterial approval. For instance, hand overvation and thinner have propriate to required in the redwood root ame areas. 5.2.8 Any additional pruning required must be performed under afterist supervision –

iculading root pruning - clean, smooth cats with no breaking, scraping, shattening, or tearing of wood tissue and/or bark.

5.2.5 No storage of construction materials under any foliage canopy without prior Project

Arborist approval. 5.2.8 Ne trenching within the critical root zone area. Consult Project Arborist before any transling or rest stating branch say track folings arrays. It is best to ender all trenching out from under trees' driphics. Often trenches in root zones must be hand externated to leave ensor instat. 5.2.9 Ne clean out of tracks, trols, or other equipment over the critical root zone. Keep

this debris outside of any existing or fature root zone.

5.2.10 No attachment of signs or other construction apparatus to these trees.

5.3 Construction-time Maintenance & Follow-up

5.3.1 Minitor root zone moisture and maintain as per above (§4.1). 2.3.2 Hamiltan repair the powerson threes analyse root zone materiouriter material.

5.3.3 Have a certified arborist promptly repair any damage to trees. 5.3.4 Routine survival monitoring for the first five years is required by the City and

typically includes at least quarterly project arbenist inspections with summary report and recommendations faxed to Planning and to Owner.

Remedial measure/actions are also required to be stand in this too preservation plan. To new that consistently be constrained performance standards, the integration measures will be hand-stated at their time to meet the specific degree of fallow may include efforts as minor as adjusting impation ... and/or pruning ... or increased trademicy of representations ... or increased trademicy of representations and the adjustment of a completion size and species.



LH SHORELINE LP. A DELAWARE LIMITED PARTNERSHIP

SARES REGIS

The Residences ② Shore ne Gateway

Mountain View, California

Sheet Title:

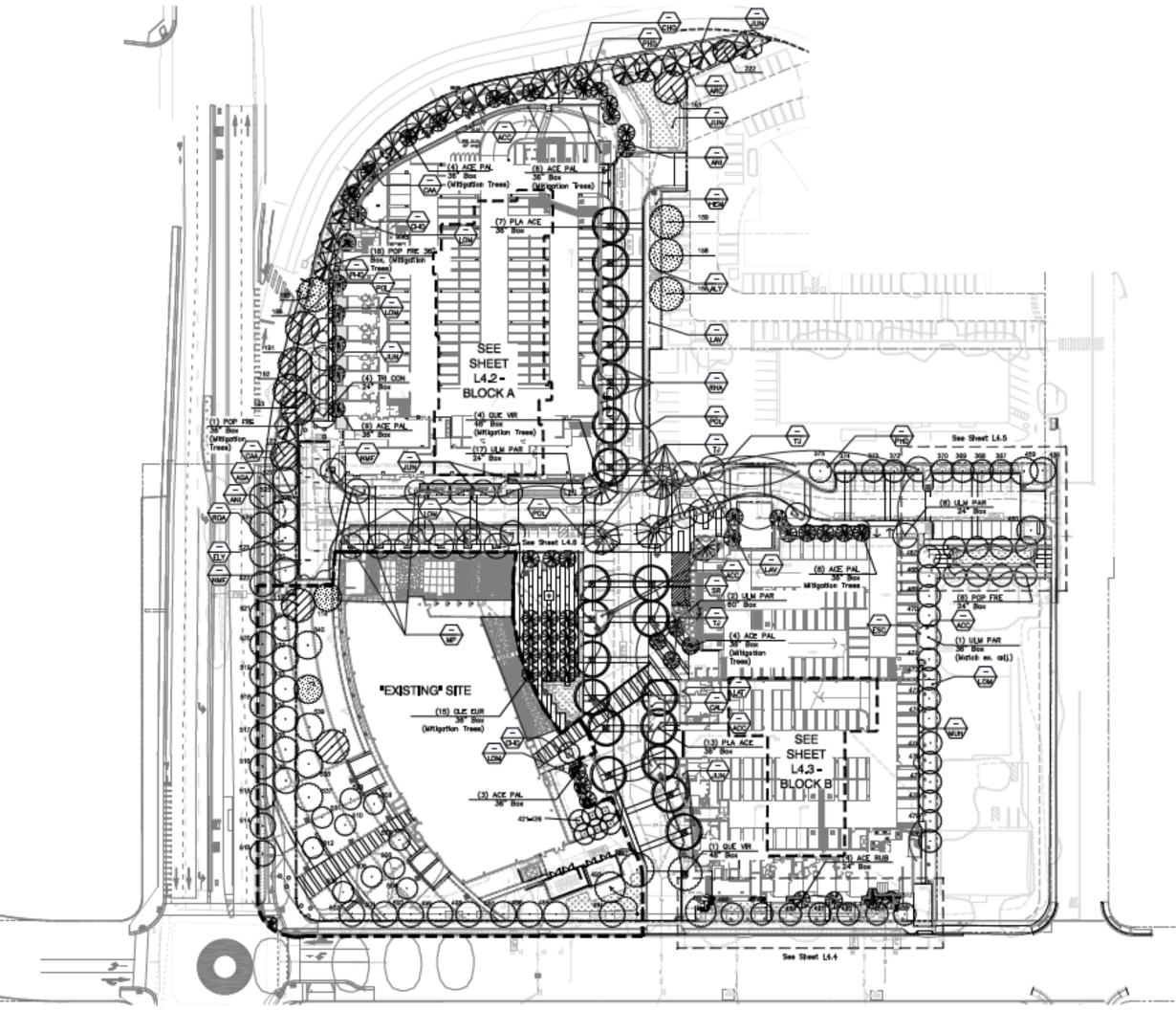
TREE DISPOSITION PLAN

Job No. Date Scare Drawn Bys

16021 03/09/2020

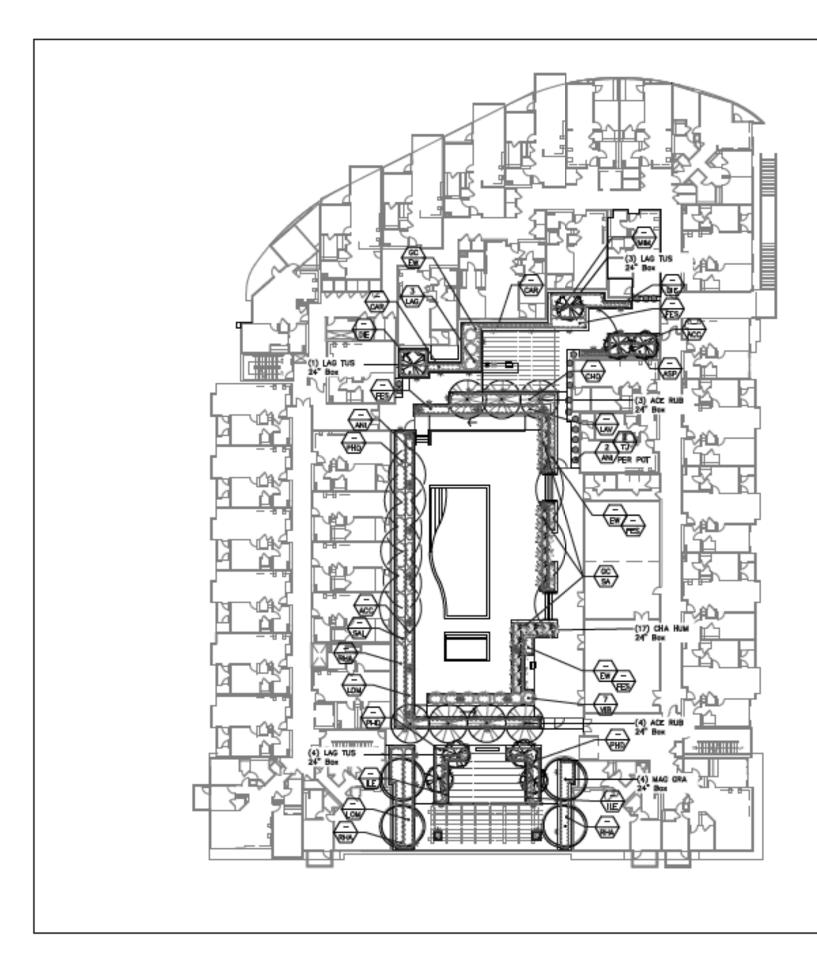
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NORTH





Sheet Title: CONCEPTUAL PLANTING PLAN BLOCK A PODIUM

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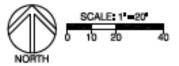
03/09/2020

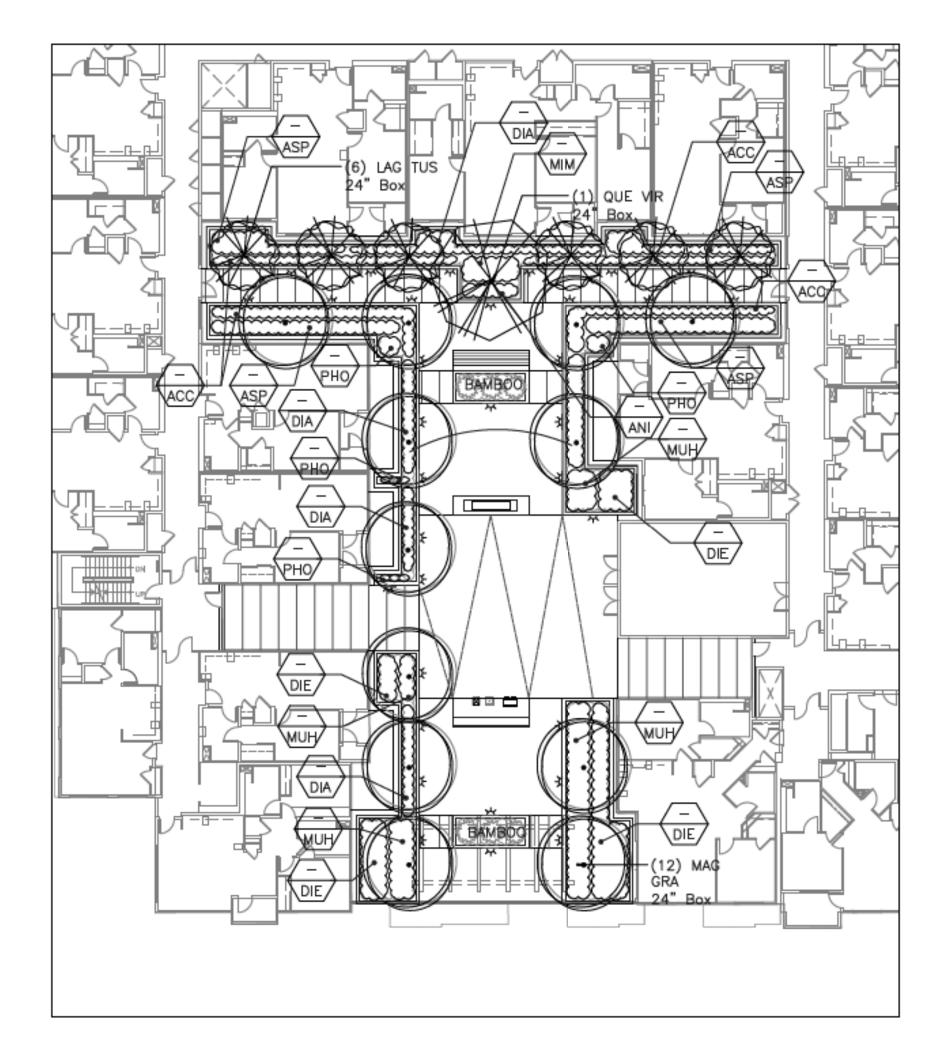
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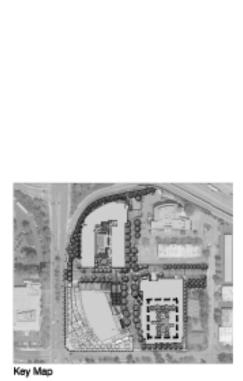
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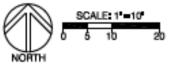


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The Residences @ Shore ne Gateway

Mountain View, California

Sheet Title:

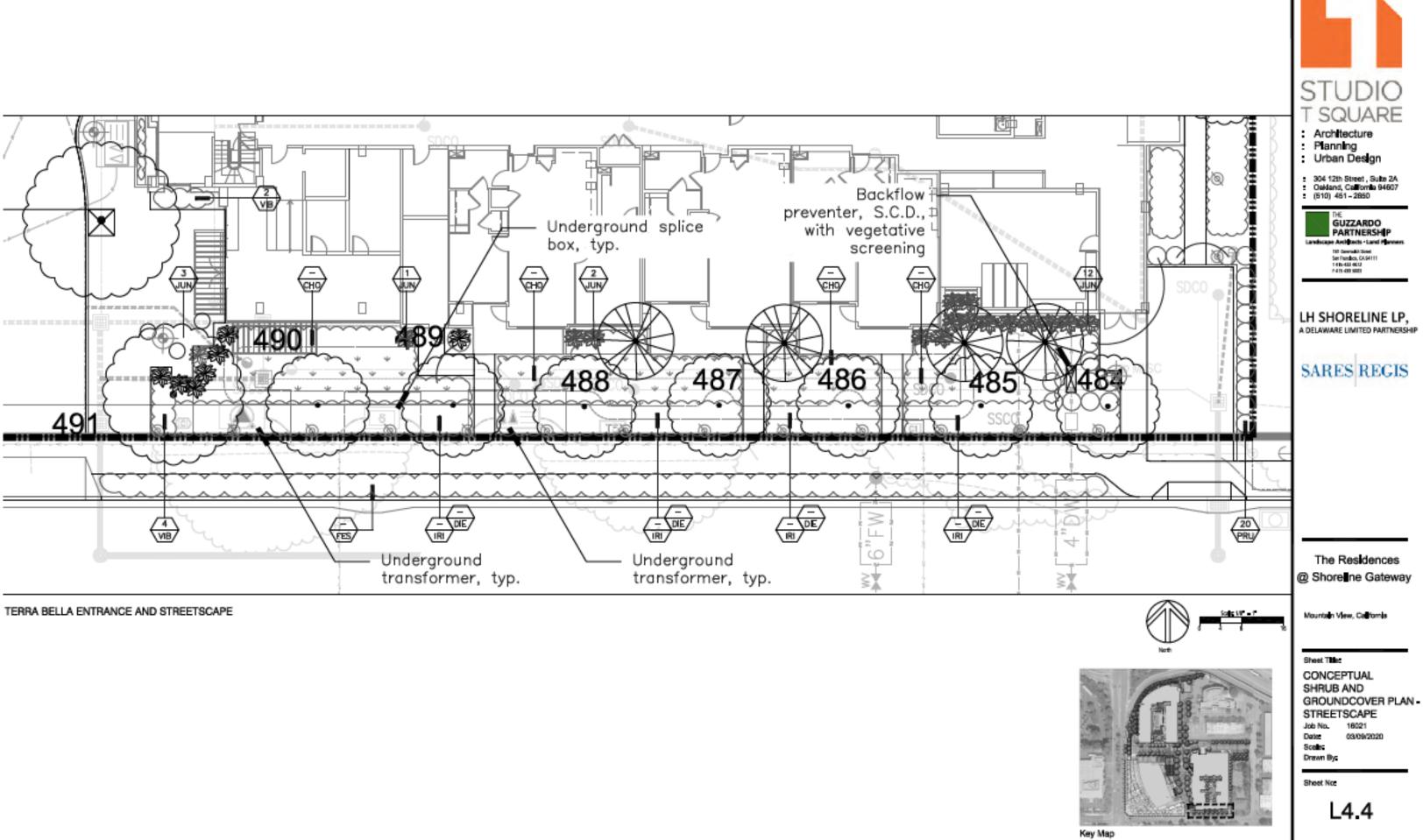
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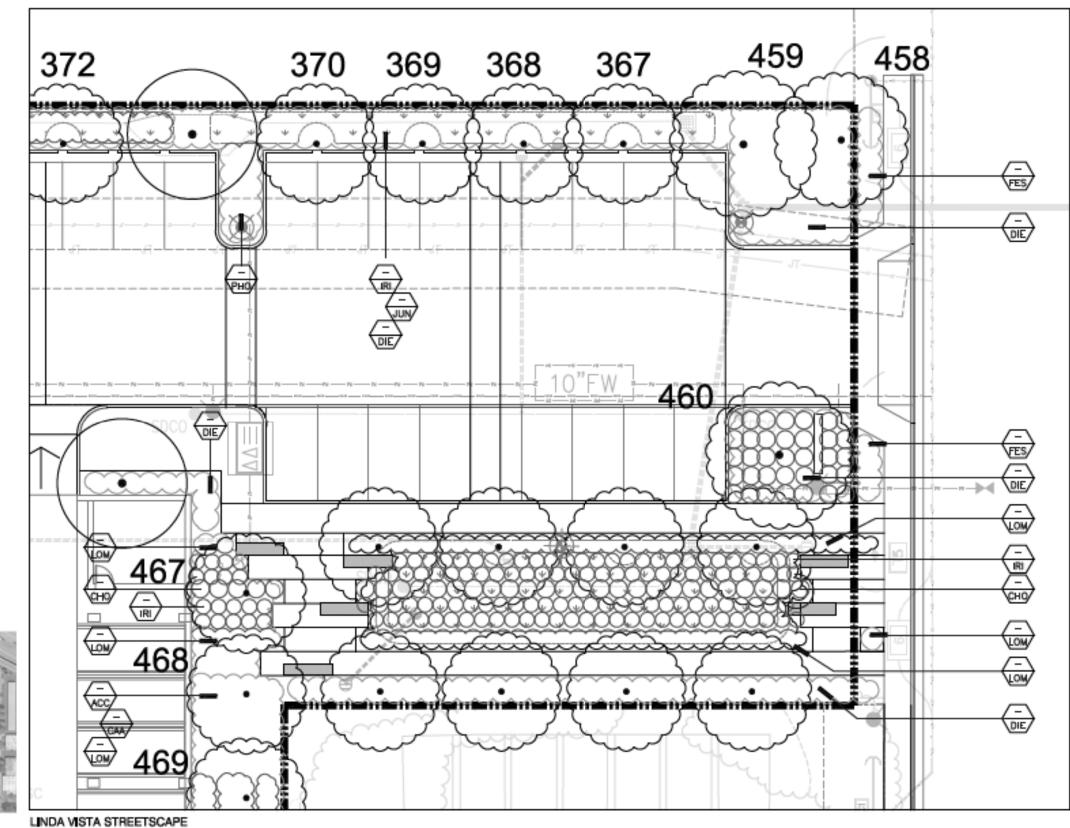
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The Residences @ ShoreIne Gateway

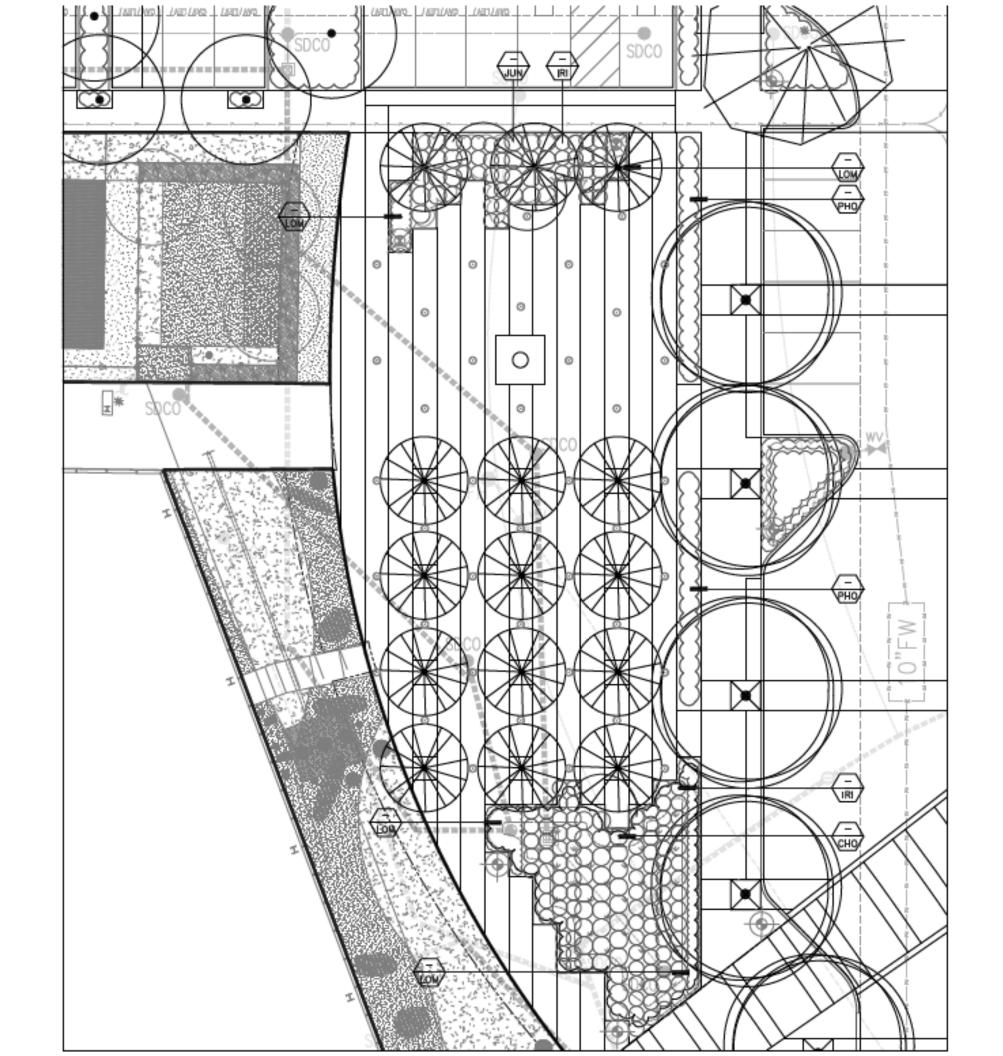
Mountain View, California

Sheet Title:

CONCEPTUAL SHRUB AND GROUNDCOVER PLAN -STREETSCAPE Job No. 16021 Date: 03/09/2020 Scale: Drawn By:

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LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP

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The Residences @ Shore ne Gateway

Mountain View, California

Sheet Title:

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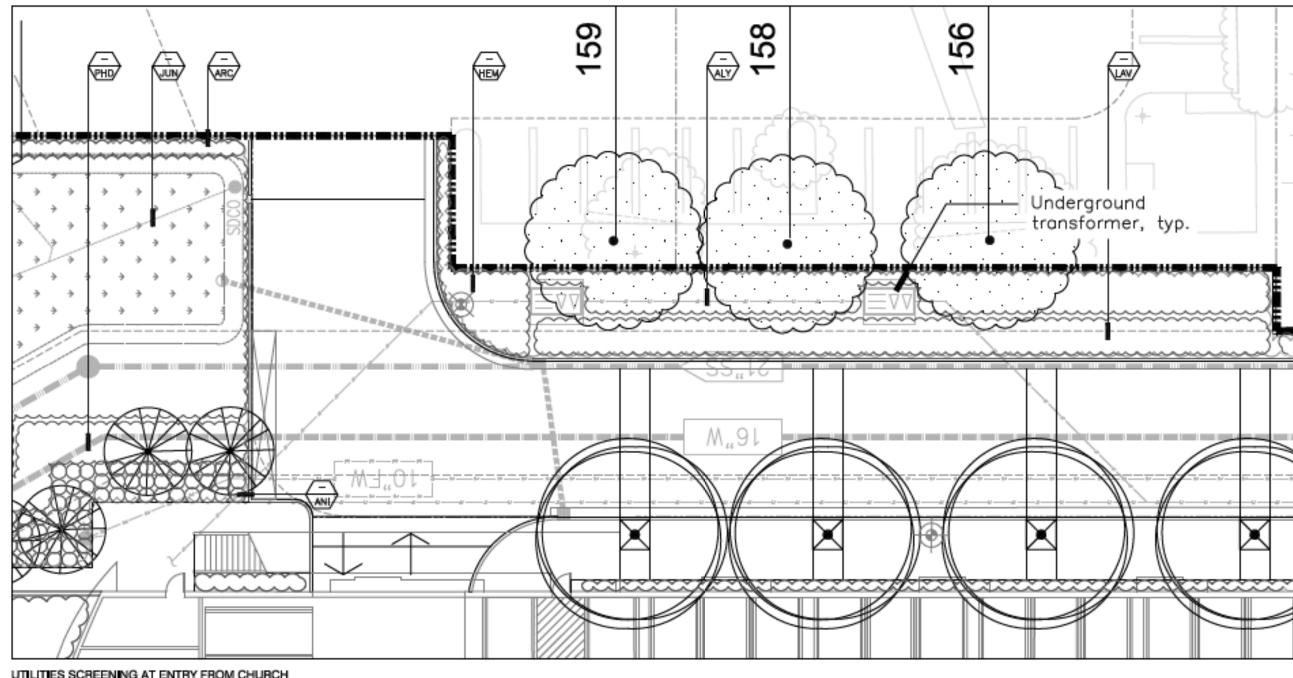
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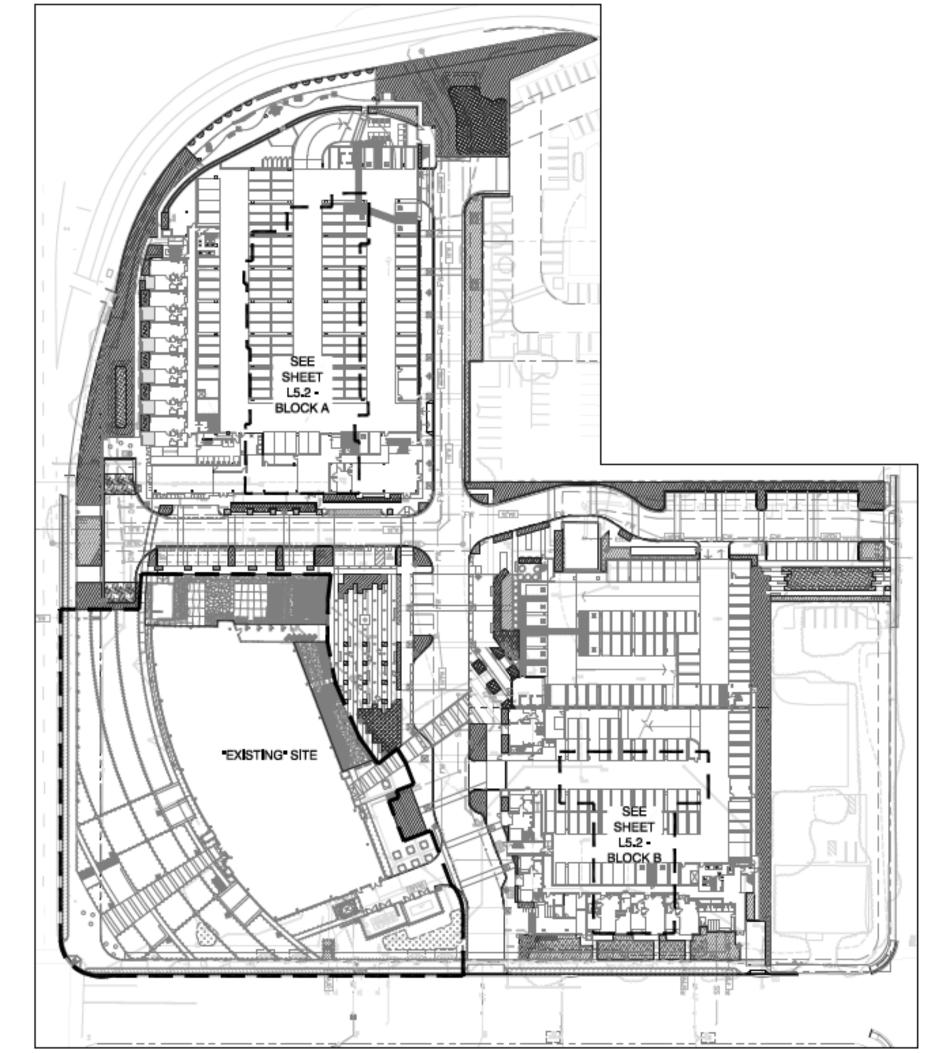


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STUDIO T SQUARE Architecture Planning Urban Design
 304 12th Street, Suite 2A Oakland, California 94607 (510) 451 - 2850
THE GUZZARDO PARTNERSHIP Landscare Architects - Land Planners IN General Class In Transco, Coloriti 1419-432 403 7419-433 503
LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP
SARES REGIS
The Residences @ ShoreIne Gateway
Mountain View, California
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WATER USE LEGEND

8.ey	WUCCLS Category			
	Low Mater Use Biller 37,824-54 Black A: 4,210-54 Black B: 2,467-54 Roofbag: 36-34 107AL: 45,840-54	00000	Maiken V Biten Biaak A: Diaak D: TOTAL:	Nater Una 7,962,69 0 54 165 54 7,727 64
a.e.	High Water Use Biller 1/042 BF Billock A: 1/294 SF Billock B: 0 BF TOTAL: 2/356 BF			

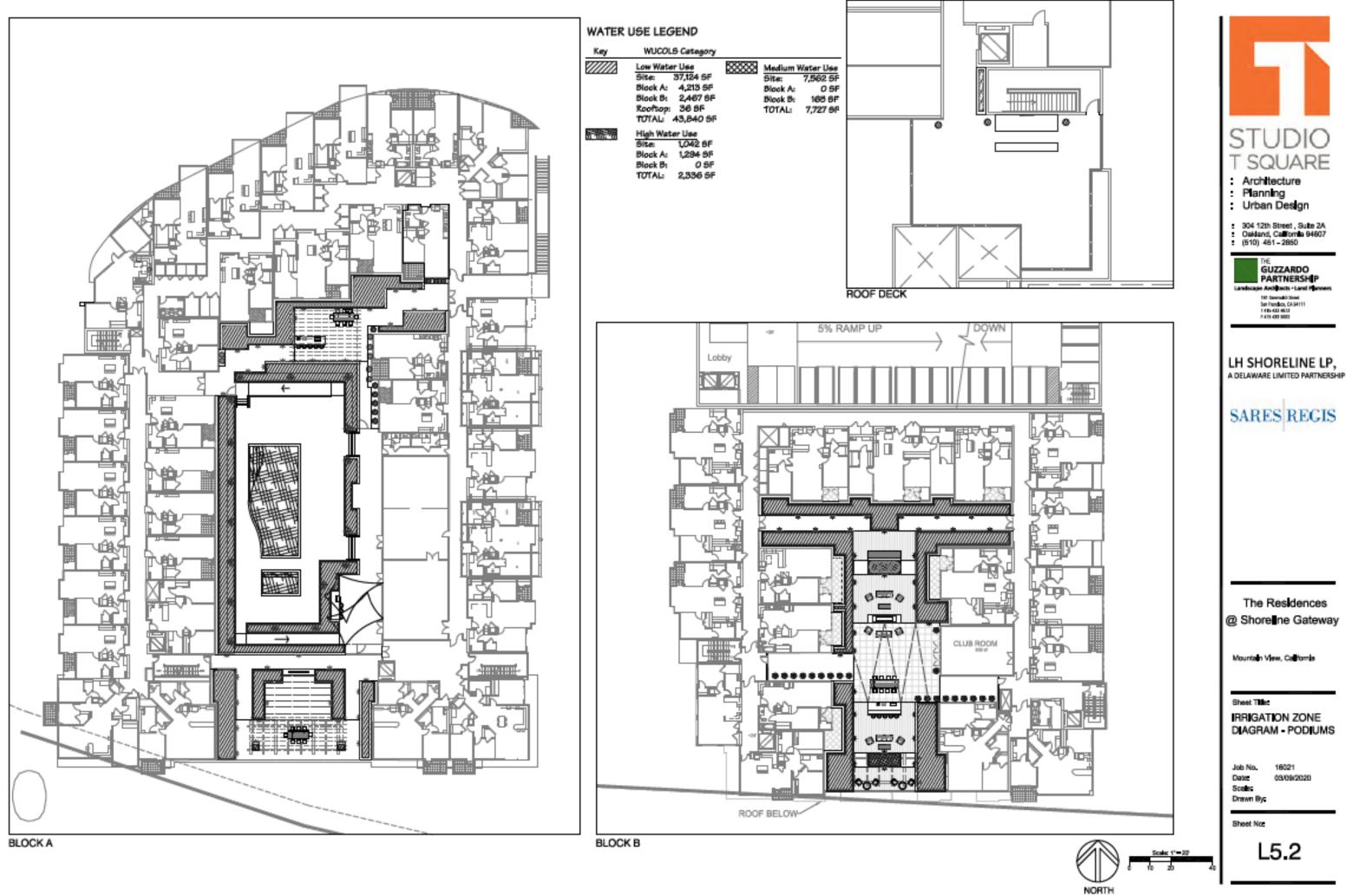


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WATER BUDGET CALCULATION WORKSHEET · ELECTRONIC

[1]

Project Site address: 1500 Salado Deve

Please Note: A Water Budget Calculation Worksheet is required ONLY if:

(1) High-vater-use plants are included in the landscaped area, and/or (2) Less than 80% of the landscape area is planted with California Native and/or low-water-use plants

SECTION & MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

Table A-1 H	drozene Area	Information
1.400.00	A NEW COLUMN TO A LOSS	COLUMN STREET,

[1] Enter Data Here	(3) Enter Data Here	Enter Data Here	[5] Enter Cata Here
Phyliciane Label	Plant Water Use True	Barn Type:	Hydrosone Area (segure /ror)
High (water feature)	Specif Landscipe Area (8LA)	Tool, Spa, Fountain	1.2%
High	High	Medited Turf	1,042
Medium	Moderate	Mirchans Witter Use Plants	7,722
Low	Low	Low Water los Plants	40,540
		<u></u>	

[4]

Summaryot Hydrozone Area Information

Summary Ansi	(rea (regime (of))
Sam of Lote Water-Uso Acoust	43,840
Sam of Mosentite & Nixod-Wate-Use Areas	7,727
Sam of Higs-Water-Use Anna	1,042
Sam of Spoial Landscope Arem	1,294
Sitn of all landscape Amai	53,903

1 of 2

165,648

gallons per year.

171 M

laximun	Applied	Water	Allowance =	
---------	---------	-------	-------------	--

Dete	Printed	5/15/20	19	
Press.			10	

[1]		System Informatio		(1)	[2] Enter Data Here	[4]
Hydrozone Label	Plant Water Use Type	Plant Type	Factor (PF)	Azea (ELA) square ket	Impation Method	Efficiency(IE)
High (water feature	SLA.	Poel, Sps, Fountain	1.0	1.294		
High	High.	Modified Turt	0.8	1,642	5prag	0.75
Mechani	Moderate	Medican Water Un	0.5	7,727	Dru	0.01
Low	Low	Losy Water Use Ph	0.3	43,840	Drip	0.81
[5] Hydrozone areas [6] Estimated Tota		and efficiencies and 624,171		where roqu galons/ye		ОК
Hydrozone areas	dWater Use =	624,171		galons/ye	sar	
Hydrozone areas [1] Estimated Tota	dWater Use = <u>SECT</u>	624,171	USON	galons/ye	ar AND MAW	
Hydrozone areas [1] Estimated Tota	dWater Use = <u>SECT</u>	624,171	USON	galons/ye	ar AND MAW	

151

Congratuations! Your electronic Water BudgetCalculation Worksheet is complete.

Please print Sections A, B & C and submit them with your application.

Mission December & 2010	Date Printed 5/162015	2 of 2	Mession Mession 8 2010

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PERSONA \$150
BLETRIC CONTROL
RINCEL CONTROL
BRP INMEE COM
BURCK COMPLIANT V
OTE VALUE HUS
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NAN DORON AJURI VILLE AJURI NUT BE TROI BLOBLING

NUMBER OF STREET

RRIGATION NOTES

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12 STATE BERR CO. C. C. STATE & STATE OF BERR

IRRIGATION PERFORMANCE SPECIFICATIONS

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Planting Areas and Method of Injustion

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VE BIGS	-BABLAR-IL HERICH - 1960-191	
outron.	-881 087M. -481 087M. -1280-99-132-90	
	-1120/DOMENALE 48 PRO PRE	
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The Residences @ Shore ne Gateway

Mountain View, California

Sheet Title:

RRIGATION NOTES AND WATER CALCULATIONS

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16021 03/09/2020

Sheet Nos

L5.3



CITY OF MOUNTAIN VIEW

WATER-EFFICIENT DESIGN AND MAINTENANCE CHECKLIST

Project Site Address: 1001 N. Shoreline Blvd.

- Required Submittals (check if completed)

 1. Water-Efficient Design and Maintenance Checklist

 2. Landscape Design Plan

 3. Irrigation Design Plan

 4. Water Budget Calculation Windelect (NOT needed)// Flast-Type Besaiction Option is chosed)

 5. Continuing of foundation Windelect (NOT needed)// Flast-Type Besaiction Option is chosed)

 5. Continuing of foundation (Windelect (NOT needed)// Flast-Type Besaiction Option is chosed) Certification of Installation (Within 60 days of instalation)

Landscape Design Plan Requirements

Parameter	Requirements	Campleted
Plantings	Plant Table included in plan with plant symbol, common name, botanical name, container size, quantity, type (e.g., gauss, succulent, vine, skrub, tree), water-efficient species identification (low, moderate, high), and usique physical specifications of plant, if applicable.	Ø
	Plant types are assigned appropriate water-uselevels based on the WUCOLS species evaluation list (i.e., "hurf" is not assigned a "low"-water use).	
	Avoid invasive plants in plan, such as those listed by the California invasive Plant Council.	
	Square footages of planted areas and water teatures (i.e., foundains and pools) noted on the Landscape Design Plan and match areas listec in Compliance Option 1 calculations on Page 2, if applicable.	Ø
Turf	Tarf areas are at least 10' wide, unless watered with subsurface drip irrigation.	
Turf Blocks	Turf is not planted on slopes of 25 percent grate or more.	
	Turf is at least 24" away from nonpermeable hardscape (except internal pathways), unless watered with subsurface drip intigation.	
Special Landscape Arcas	Areas identified as SLAs most the definition of a Special Landscope Area: An area of landscope dedicated solely to edible plants, annu irrighted with nonpotable water, under features acting competable water, and areas dedicated to active play (parks, sports fields, golf control). SLAs DO NOT INCLUSE front-yard and backgood lawns of private notifences or under features that one potable souter.	
Hydrocones	Plants are grouped by hydrozene (similar wate needs, san exposure, slope, toll).	
	Hydrozones, including SLAs, are delineated and labeled with square footages.	
	Hydrozonas are labeled as kw, moderate, high, or mixed (low/moderate) water use.	
	Fligh-water-use plants are onfined to their own hydrozones (not mixed with plants with low- or moderate-weight needs).	
	Single hydrozones with both low- and moderate-water-ase plants are labeled "mixed."	D NV
	Hardscapes are identified.	
	Square footages for hydrozones, water features, and SLAs on plan match those listed on the Water Budget Calculation Worksheets (If Compliance Option 2 is chosen).	
Mulch.	Mulch is at least 3" deep on exposed soil surfaces. Depth and type of mulch are noted in plan.	×
Water	Recirculating (if water features are included inplan).	
Features	Poel/spa cover (if poel/spa is included in plar).	×
Geading and	Grading contours and quantities shown on Landscape Design and/or Irrigation Design Plan.	D N/A
Stormwear	Grading meets applicable requirements of City Standard Design Otterta.	D N/A
Maragement	Stormwater management practices are incorporated appropriately.	×

PS-27 (Rev 07-85-14)

Page1 of 3

95-27 (Rev. 07-85-18)

х

Landscape and Irrigation Maintenance Checklist Pursuant to the City of Mountain View's Water Conservation in Landscaping Regulations, landscapes and intigation systems shall be maintained to ensure successful establishment following installation, and to ensure the efficient use of water. Maintenance shall be performed regularly and must include, at a minimum, the following componente

Pacameter	Components	Completed
Irrigation System	System check (every ats months)	
	Routine inspection (monthly)	
	Adjustment and repair	
	Failed irrigation hardware components shall be replaced with the same or functionally equivalent components	
Landscape	Replenish mulch	
	Fertilize	
	Prute	
	Week control	
	Post control	
	Availion and dethalching of turf areas	
	Fuiled plants shall be replaced with the same or functionally equivalent plants	

To the best of my ability, the landscape and imigation systems installed as part of this project will be maintained on a regular basis and in compliance with the Water Conservation in Landscaping Regulations.



Irrigation Design Plan Requirements

Parameter	Requirements
Doeign	Irrigation system is designed to avoid overspray an
	Overhead infigation is NOT used in the following (overpt in defined amphibheatera), within 24° of pathoeays) or in any memory or imagelarly shope direction. "
	Each irrigation valve waters only one type of hydro
Equipment	Location, type, and size of all imigation system our include controllers, main and lateral lines, value regulators, and backflow prevention devices.
	The following irrigation components are included a
	Automatic religation controllers
	Master shus-off valves or equivalent technology
	Swing joints or other niser-protection components
	Pressure regulators or booster pumps (if applicable
	Statte water pressure at point of connection to public
	Location and size of dedicated irrigation meter if la
Scheduling	Proposed inigation schedule is provided.
	System only operates between 8.00 p.m. and 1040 a
** NOTE: "O	perhead intigation" means mater distributed filoongh spe
Complian	ce Option Requirements
Option 1: Pl	ant-Type Restriction
Option 2 W	ater Budget

Option 1: Plant-Type Restriction Requirements

High-water-use plants (e.g., turf) are not used in the landscape At least 80 percent of plantings are California native or low-wate

Option 2: Water Budget Calculation Requirements A water budget calculation is NOT required if plans comp Water Budget Calculation worksheets are available in hard online: mountainview.gov/depts/condev/planning/application/

Parameter	Requirements
Compliance	Water Budget Calculation worksheet completed a
	Landscape's water use is within budget: MAWA,
Appropriate Labeling	Plant factors in calculation worksheet are assign 0.5 for molerate-water-use plants, and 0.8 for lag are considered moderate-water-use areas and are
	Irrigation methods are assigned appropriate water

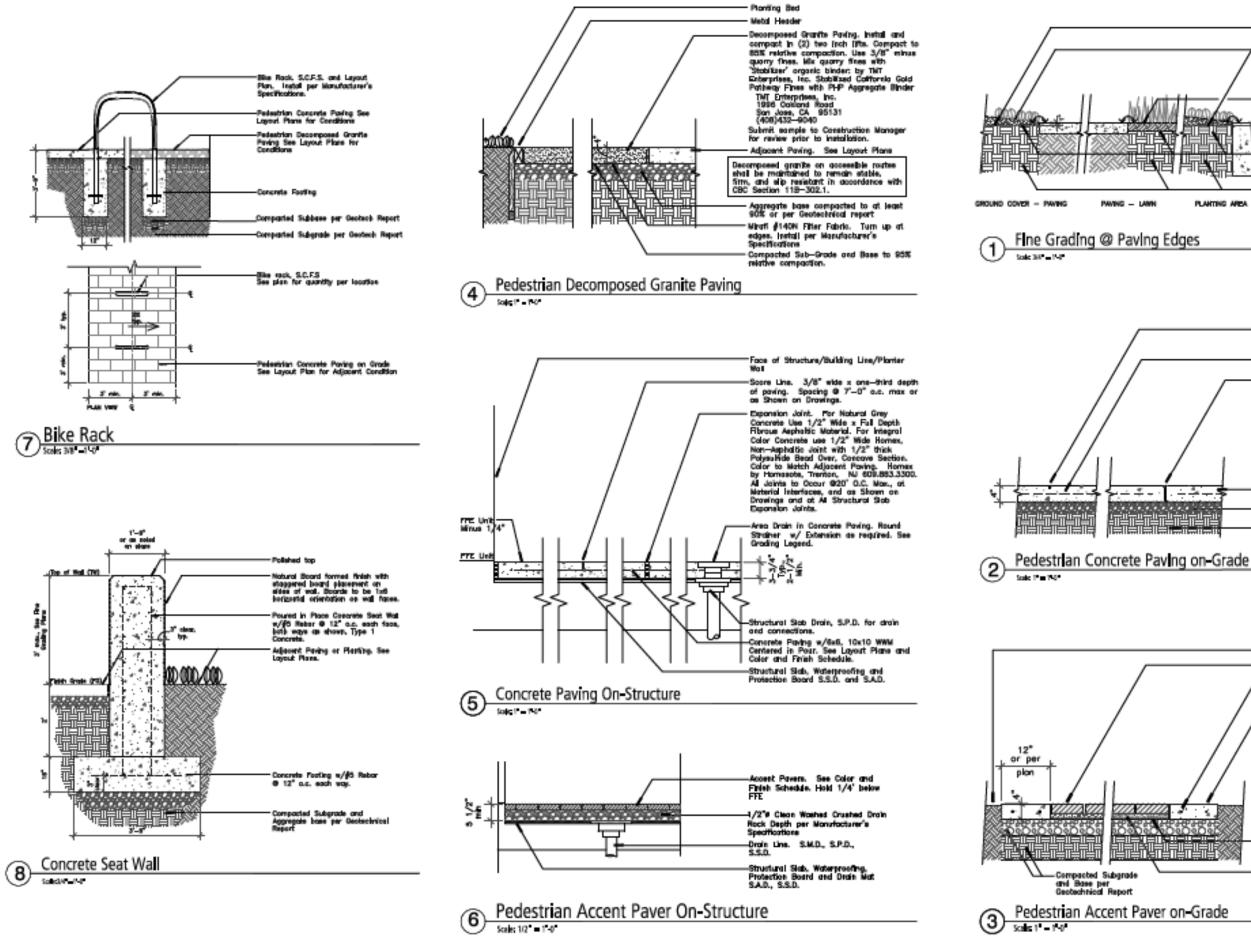
aping Regu avet Letter

Signature of Project Applicant or Authorized Representative

Fage 1 of

		Completed
tran	off.	
	toris: on slopes greater than 25 percent	
	npervious surface (except for internal a that is less than 10' in vishls in any	
oone.		
	nts are noted in plan. Components may inkler heads, quick couplers, pressure	
nd no	ned in plan.	
8	Rain-sensing shutoff devices	
	Check valves or anti-drals valves	
	Flow sensors	×
	Flow/application rate and operating pressure for each station	
e wat	er supply.	
ndso	pe area is > 1,000 square feet).	8
n.		
hiller	heads or nozzles.	
_		-
		12
peà.		
1-13	e plants.	
	ith Compliance Option 1. at the City of Mountain View's Plane P	ing office o
d pris	nted for submission.	
d as	follows: 0.3 for low-wate-use plants; r-use plants, "Mised" hydrocre areas	
	ed a factor of 0.5.	
use la	roels (Spray=0.75 Drip=0.83).	
t an	d meets the specified requirements of	of the Water
	02/07/2020	
	Detr	
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STUDIO T SQUARE Architecture Planning Urban Design
2 304 12th Street , Suite 2A 2 Geldand, California 94607 2 (510) 451 - 2950
THE GUZZARDO PARTNERSHIP Landstage Actives - Land Planners III Downaki Subs See Fundos, 634111 1416-441452 7419-44152
H SHORELINE LP,
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The Residences Shore ne Gateway
Mountain View, California
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Sheet No:
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Sol Finish Graie 1" Balow Adj. Pawemen

Match. Hold Match Rash with Adj. Paving and Tapper Up to Required 3" Depth Within 18" of Pavement Edge.

Hold Tap of Sod Soil Fluck with Adj. Poving. For Depth of Sod Soil, See Wh's Spece. Adjacent Paving, See Leyout Pier Finish Grade of Amended Sol. Carb. S.C.D.

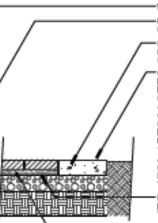
Planting Soil Compasted to 85% Relative Compactive ge Recommended b Soile Engineer.



3/16" Wide by 1-1/4" Deep Score Joint at 7'-0" o.c. max. or as shown on Drawings 6"x6" #10/#10 W.W.M. Center in Pour Expansion Joint. For Natural Grey - Expension Joint, For Metarial Unity Concrete use 1/2" Wide Fiberous Asphaltic material For Integral Color Concrete use 1/2" Hornes, Non-Asphaltic Joint w/Polysellide Bed over, Color to Hatch adjacent pedestrian concrete paving. Homex by Homasots, Trenton, N.J. 609.883.3300. Al

Joints to occur at 20"-0" a.a. max., at Material Interfaces, and as shown on Drawings Concrete Paving, See Layout Plane and Color and Finish Schedule.

Aggregate Base compacted to 90% or per Geotechnical Report Sus-grade compacted to at least 90% or per Geotechnical Report



See Plans for Adj. Conditions Interlocking Unit Povers. See Color and Finish Schedule. (2) #4 Rebar, Cont. Centered. Use (1) #4 Rebar If Band Width Less Than 12[™]. With Less Tran 12". — Concrete Bond, See Color and Finish Schedule. Provide Expansion Johns at material or shructural interface and Score Joints as shown on plans and details For Natural Gray Concrete use 1/2" Wide Fibersus Asphabic Material. For Integral Color Concrets use 1/2" Homes, Non-Asphabic Joint w/Pelysuffide Bead ever. Color to match adjacent Paving. Names by Homesote, Tarether, NJ 600 853 3300 Poving, Homex by Homaso Trenton, NJ 609,883,3300 Mirafi Filter Fabric, #140N, Cont. Install per Mir's Specifications. Turn Up Edges at Conc. Bands Sand Setting Bed. 1" Nax. Depth of Plaster or Nortar Sand. Do Not Use Concrete Sand.

STUDIO T SQUARE Architecture : Planning Urban Deson 304 12th Street , Suite 2A Ookland, California 94607 (510) 451-2850 GUZZARDO PARTNERSHIP Landscape Architects - Land Plan 181 Generaldi Gond Ser Fundica, GASH111 1416-633 4613 1415-633 6613

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Mountain View, California

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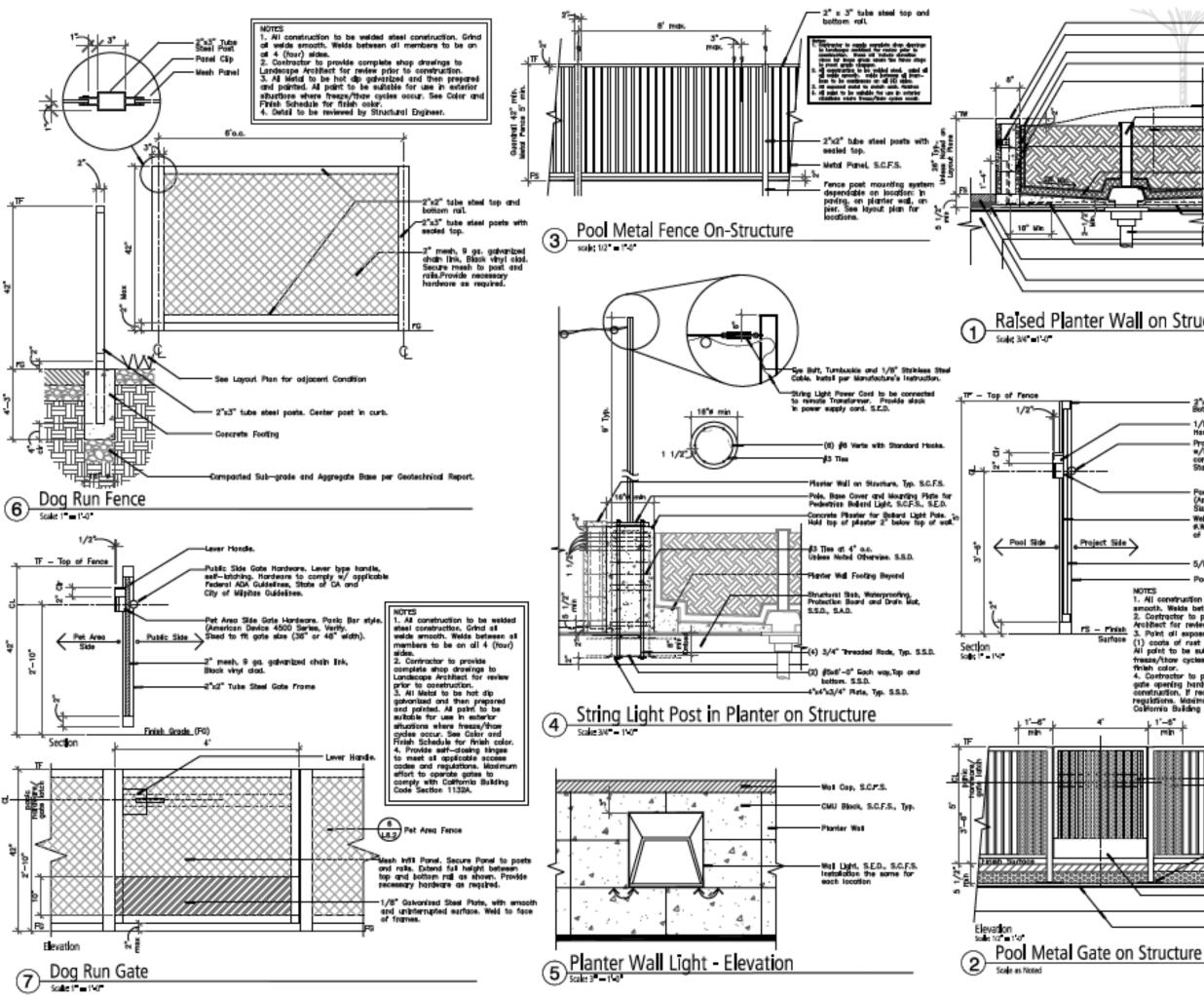
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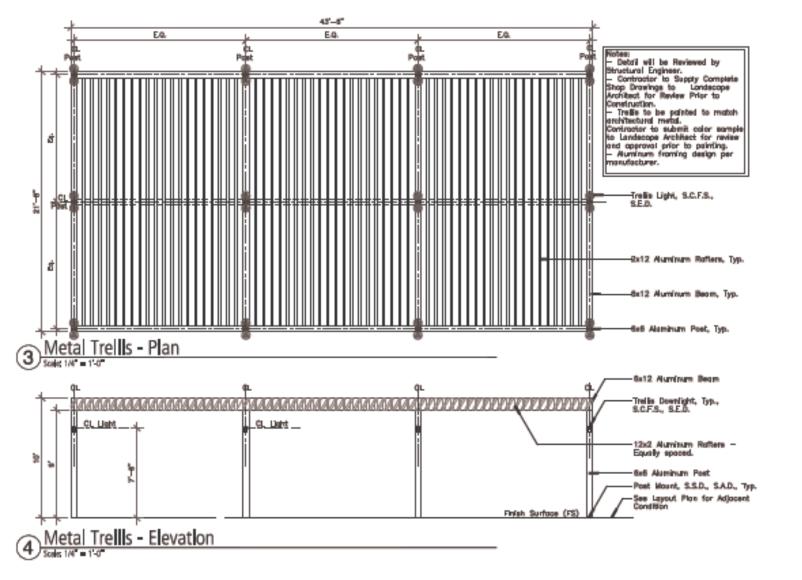
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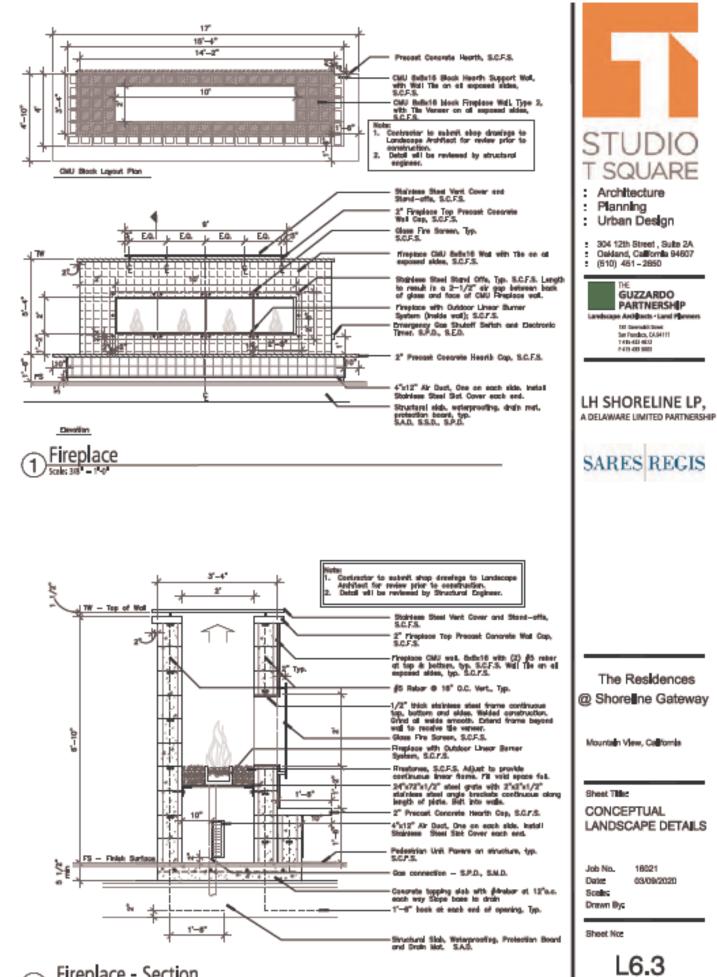
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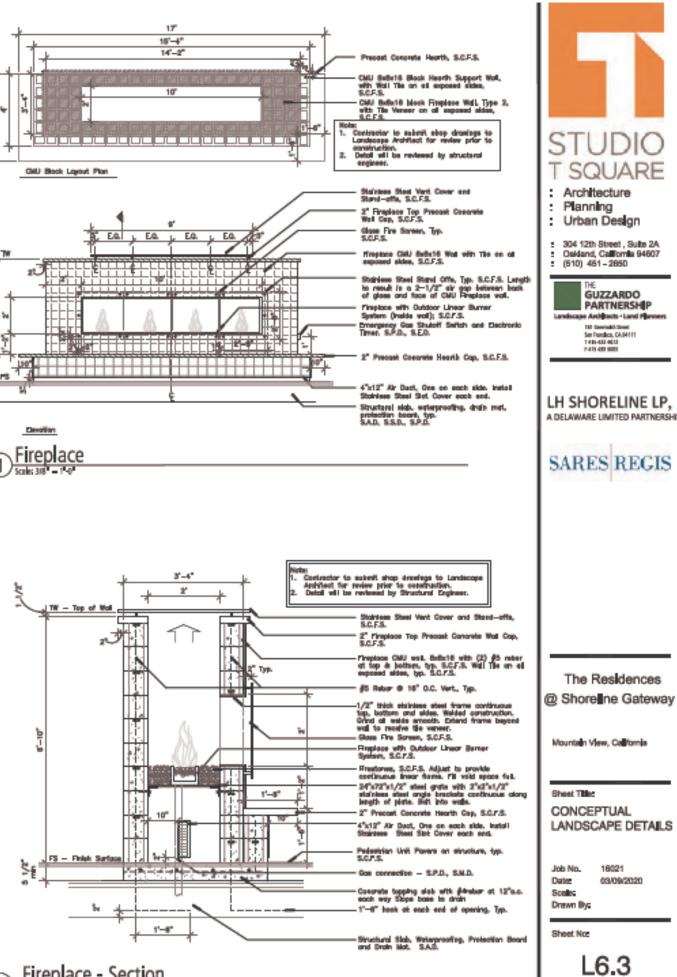


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Net Cap, Type 1 & 2, See Cotor and Finish Schedule. Net Lipit. See Layout Plan for Leastion. S.E.D. Drain Board Stap Ship Weineproof \$150 System Historich 6000 Geolectreioid Board From Morif 600-458-1825. Extend to Top of Black Well as Shoen. Use Trenproof \$150 Geolectreioid Board From Morif 600-458-1825. Extend to Top of Black Well as Shoen Weip Filter Staffet Up and Blass The Evil To Withsproof. Weip Filter Staffet Up and Blass The Evil To Withsproof. Historick Soil Art The Planting as necessary. Typical. Pic Verspipe/Geonaut. Regder Soil Mix Call Blook Well w/\$4 Refer Verfiel © 16° e.e. of center is of well and \$4 Refer Norticel as shoen. Fil dis odds fill. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. See Caber and Fitteh Schedels for Board Staff. Doordinate Sp.D., S.M.D., & S.S.D. For Dates I. Coordinate Sp.D., S.M.D., & S.S.D. Fitte Date School. S.P.D., S.S.D. Fit Board Staffer. Date of the Staffer. Fitte Grain Fitter Spite Staffer and Wei Openings or every 3. Wrop Board with Fitter Faterk. Fitter Grain Fitter Staffer. Fitter Staff. Coordinate Report Fitter Med Staffer. Fitter Staffer. Fitter Staffer. See Lapout Fitter Faterk. Fitter Staffer. Fitter St	STUDIO SSUDIO SQUARE Architecture Planning Urban Design Urban Design Urban Design Suffamile 94607 (510) 451-2850
on Structure	Landscape Antibacts - Land Planners In Generald State Frinden State Print dir State Print dir State LH SHORELINE LP,
2%2" Tube Steel Pool Gate Frame, Top and Bottom	A DELAWARE LIMITED PARTNERSHIP
 1/8" Teick Steel Plote Exclosure for Paric Bor Handware. Welded construction, Top and Sides. 	
Project Side Gate Handware. Lower type handle w/keyed access. Self—intriving. Handware to comply w/applicable Federal ADA Guidelines. State of CA and City of San Jose Guidelines.	SARES REGIS
Pool Side Cate Handware, Paris Bar style. (American Device 4500 Series, Verify, Sized to fit gate size (38° or 48° width). Welded Wire Mesh. 2 mesh/inch, .053° wire d.Weld to pool side of pickwise. Openinge of wire mesh to be no greater than 1/2°.	
5/8" Square Tube Steel Pool Cate Pickets	
Pool Fence Post, beyond	
All construction to be welded steel construction. Grind all welde month, Welde between all members to be on all 4 (four) eldes. Contractor to provide complete shap drivings to Landscope obliest for review prior to construction. Point all exposed metal work, except gate hordwore, w/) coats of meta inhibiting primer and (2) coat of finish point. I point to be suffable for use in exterior structions where escathow cycles occur. See Color and Pinish Schedule for then color. Contractor to provide set—closing hinges and power-assisted the opening hardware to Landscape Arabitect for review prior to metruction. If required, to meet all applicable access codes and guidiform. Mainturn effect to operate gates to comply with lifering Building Code Section 1132A.	The Residences @ Shore ne Gateway
L1'-5" L	Mountain View, California
Imin Paric Bar Assembly, beyond Extend mesh of least 1"-6" beyond atrike edge and hinge side of pool gate; S.C.F.S. Metal Fence on Structure Embed Plate and Connection per Structurel Engineer. Pedestrian Unit Pavers On-Structure 10" Metal Base Plate	Sheet Title: CONCEPTUAL LANDSCAPE DETAILS Job No. 16021 Date: 03/09/2020 Scells: Drawn Bys
Structural Slab (S.S.D) and Waterproofing (S.A.D.) and Protection Beard (S.A.D.)	162

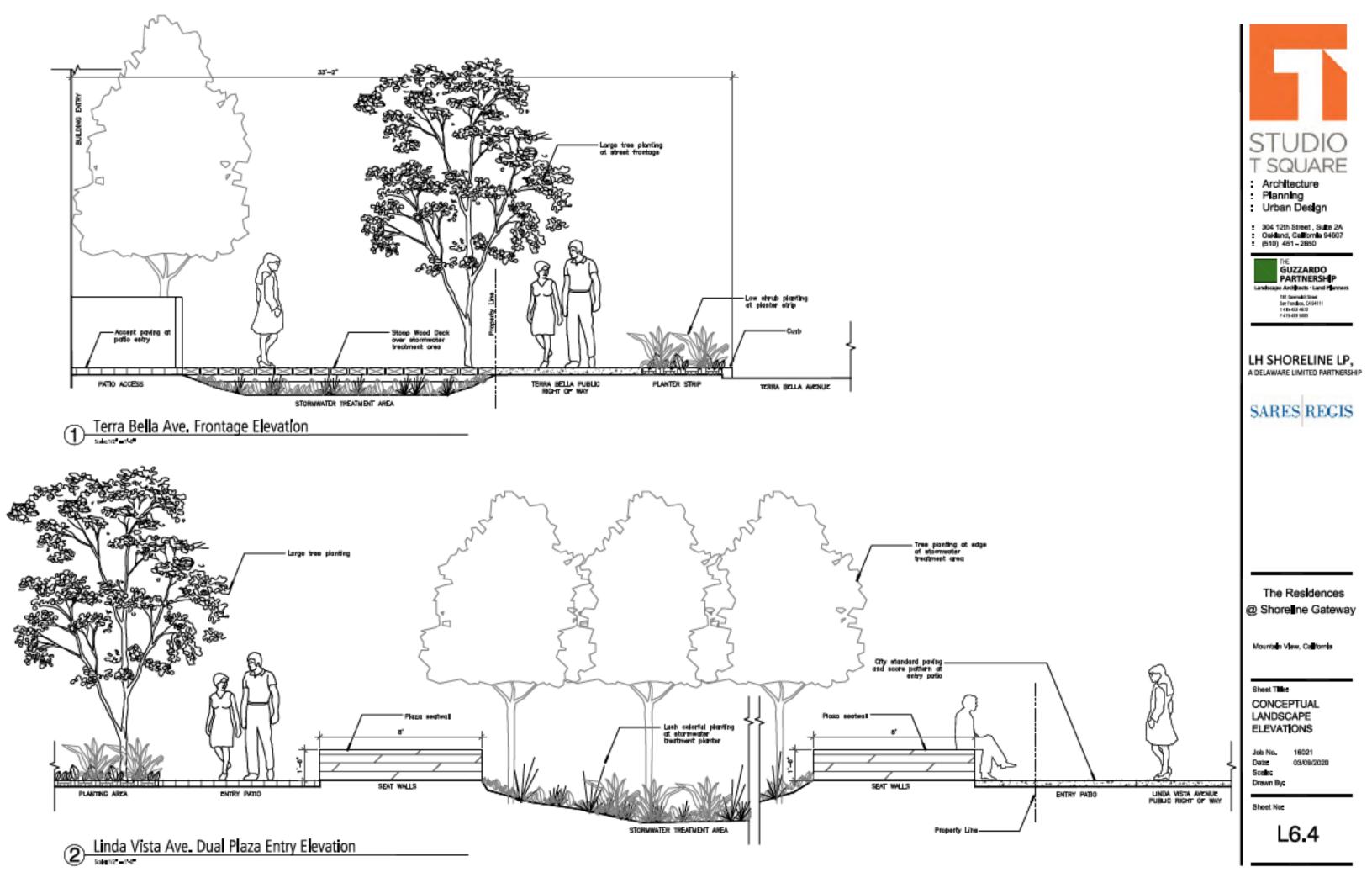
L6.2

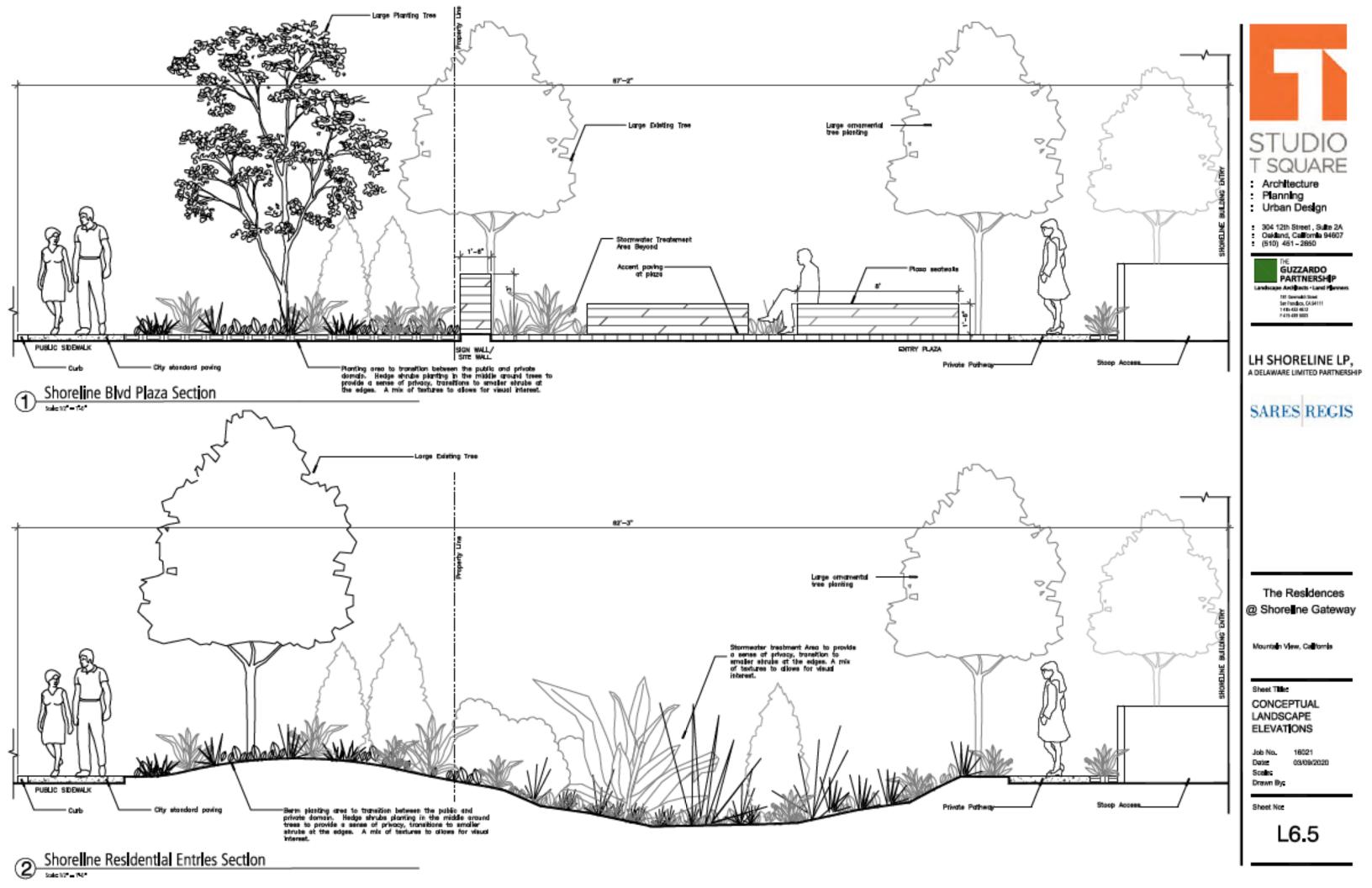


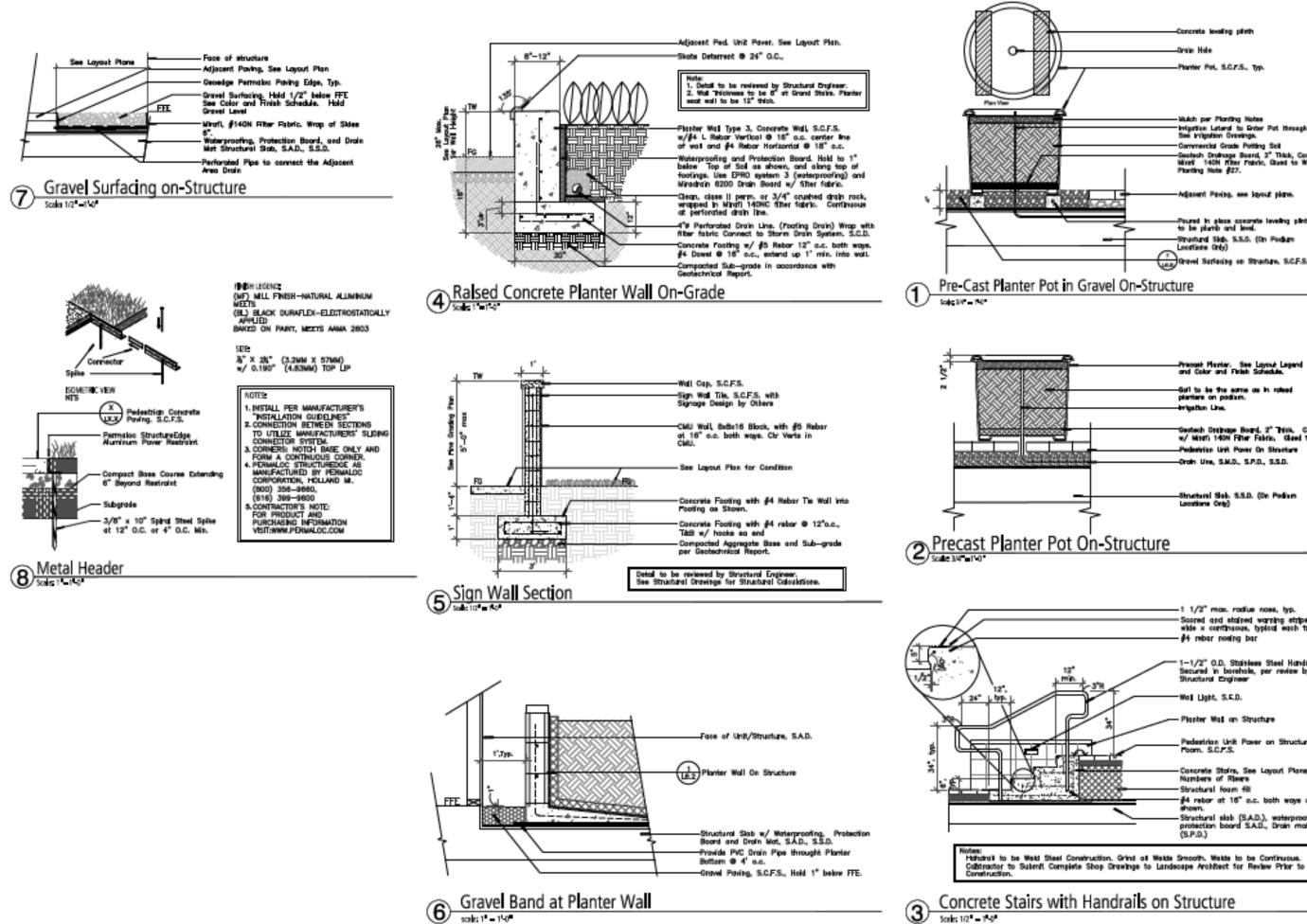




Fireplace - Section 2 Scale 3/4 = 1-0







nonte leveling plint

-Drain Hele

Planter Pol, S.C.F.S., Typ.

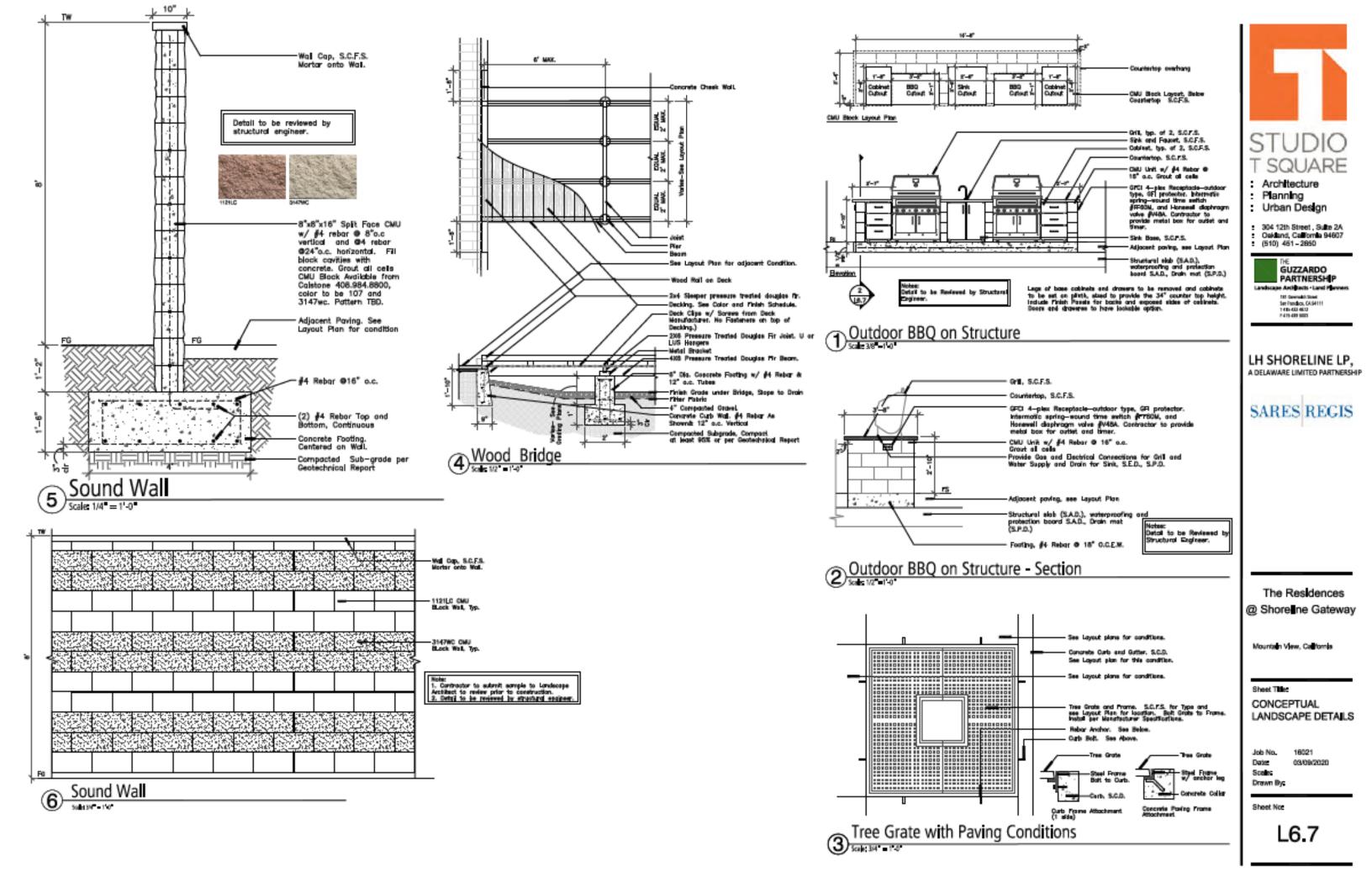
Watch per Planting Notes Irrigation Lateral to Enter Pat through Drain Hole. See Prigation Drawings. **Commercial Grade Potting Soil** -Geotech Droknage Boerd, 2^e Thick, Covered with Mirafi 140H filter Fabric, Gued to Walle, eee Planting Note \$27. Adjacent Paving, see layout plane. -Pound in place operate leveling plinth. All pote to be planth and level. -Structural Slab. 5.5.0. (On Podlum Locations Only) Gravel Sarfacing on Structure, S.C.F.S.

Precest Planter. See Layout Legend and Color and Finish Schedule. -Gail to be the some as in rolead planters on podium. religation Line. "Gestech Dreinage Board, 2" Trick, Covered w/ Mitelii 1409 Filter Fabric, Claed to Wale, Pedeninian Unit Power On Structure Ordin Line, S.M.D., S.P.D., S.S.D.

Structural Slab. S.S.D. (On Padium Locations Only)

1 1/2" max. radius noss, typ. -Scored and stained warning stripe, 3" wide x continuous, typical each tread. #4 rebar noting bar 1-1/2" O.D. Stateless Steel Handrail. Secured in borehole, per review by Structural Engineer Wall Light, S.E.D. Planter Wall on Structure Pedestrian Unit Pover on Structural oom. S.C. .S. Concrete Stoirs, See Loyout Plans for Numbers of Risers Structural foam fill #4 rebor at 16" c.c. both ways and as shown. Structural slab (S.A.D.), waterproofing and protection board S.A.D., Drain mat (S.P.D.)

STUDIO T SQUARE Architecture Planning Urban Design
 304 12th Street , Sulte 2A Oakland, California 94607 (510) 461 - 2850
THE GUZZARDO PARTNERSHIP Lavdscape Antibasts - Land Planners III Generald Gen III Generald Gen III Generald Gen III Generald Gen III Generald Gen III Generald General 1415 401 500
LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP
SARES REGIS
The Residences
@ Shore ne Gateway
Mountain View, California
Sheet Tille: CONCEPTUAL LANDSCAPE DETAILS
Job No. 18021 Date: 03/06/2020 Scells: Drawn By:
Sheet Noz





EXESTING TREE GANOPY (p

CANOPY AT EXERTING PHA OWNOPY AT EXISTING PHA ANOPY AT EXISTING PHA ANOPY AT EXISTING PHA

DANOPY AT PLANTING (NE ANOPY AT 5 YEARS (NEW DANOPY AT 10 YEARS (NEX CANOPY AT 30 YEARS FUU

CANOPY AT PLANTING (EX ANDRY AT 5 YEARS (EXE CANOPY AT 10 YEARS (EX ANOPY AT 30 YEARS PULL

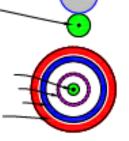
EXISTING TREE CANOPY (per Arborn: Report)

EXISTING TREE CANOPY PHASE 1

NEW TREE CANOPY AT COMPLETION OF PLANTING NEW TREE CANOPY AT 5 YEARS AFTER COMPLETION NEW TREE CANOPY AT 10 YEARS AFTER COMPLETION NEW TREE CANOPY AT 30 YEARS RULL GROWTH AFTER COMPLETION

TREE CANOPY TABLE AND LEGEND

CATEGORY	SQJFT_AREA	% a TE
	340,311	106.0%
per Arbortet Report	16,152	4.7%
ARE 1 TREE TO REMAIN AT CONSTRUCTION COMPLETION	3,165	0,9%
ASE 1 TREE TO REMAIN AT 5 YEARS	14,372	4.2%
ASE 1 TREE TO REMAIN AT 10 YEARS	23,881	7.0%
ASE 1 TREE TO REMAIN AT FULL GROWTH	72,829	21,4%
W CHLY)	4,174	1,2%
V ONLY)	32,348	9.5%
W GALY)	40,705	17,8%
LL GROWTH (NEW OHLY)	\$4,675	27,5%
STING TO REMAIN + NEW)	23,494	6.9%
STING TO REMAIN + NEW)	42,873	18,5%
ESTING TO REMAIN + NEW)	100,736	28,6%
UL OROWTH (EXISTING TO REMAIN + NEW)	183,850	64.0%







LH SHORELINE LP. A DELAWARE LIMITED PARTNERSHIP

SARES REGIS

The Residences @ Shore ne Gateway

Mountain View, California

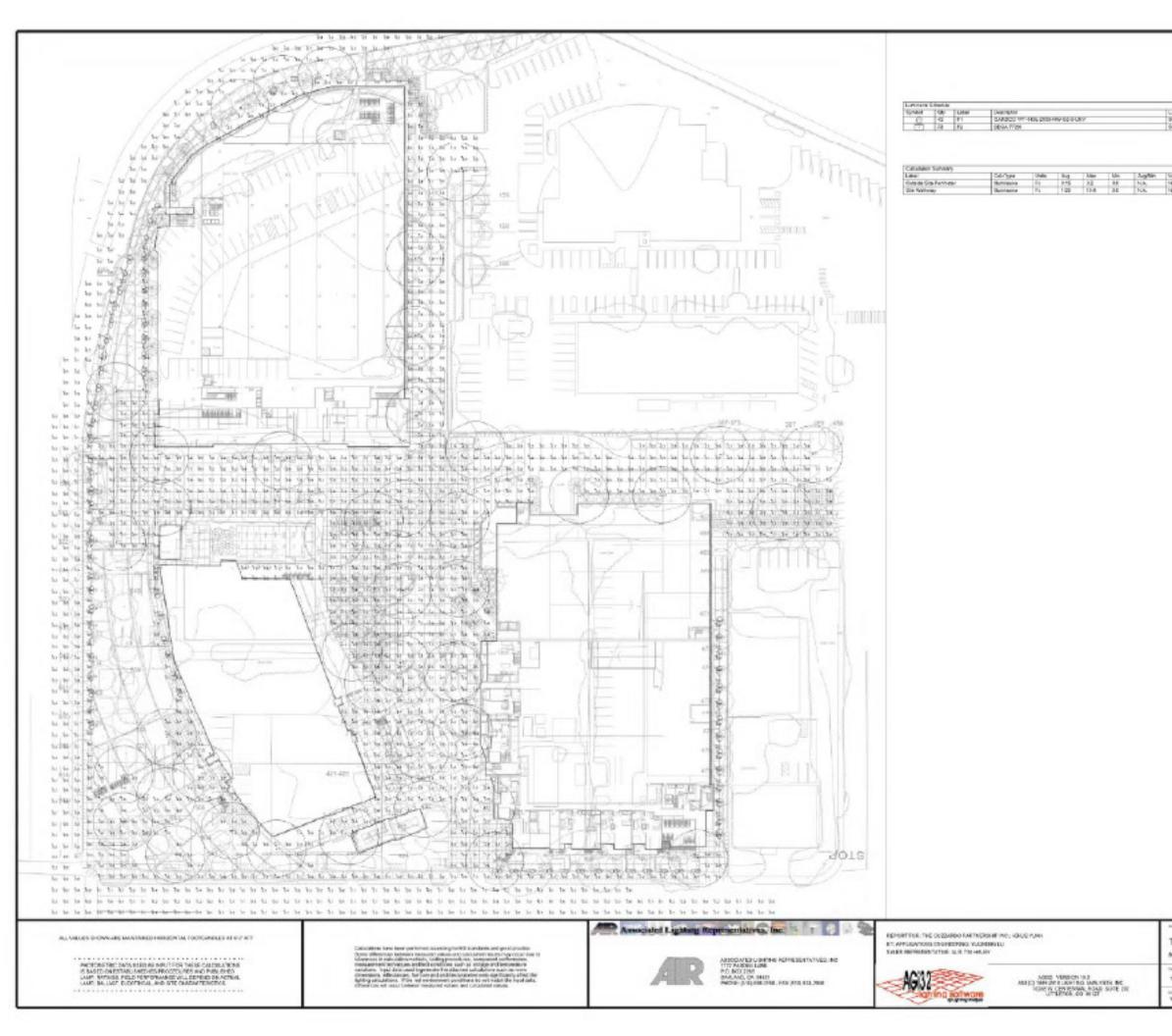
Sheet Title: TREE CANOPY STUDY

Job No. Dates Scare Drawn Bys

16021 03/09/2020

Sheet Not

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añe	Description							
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T SQUARE
Architecture Planning Urban Design
 304 12th Street , Suite 2A Oakland, California 94607 (510) 451 - 2850
GUZZARDO PARTNERSHIP Landscare Architects - Land Plemens Ut Servald Start
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LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP
SARES REGIS
The Residences @ Shore ne Gateway
Mountain View, California
Sheet Tille: PHOTOMETRIC STUDY
Job No. 18021 Date: 03/09/2020 Scalls: Drawn Bys
Sheet No:
L8.1

001	SHORELINE - ALTERNATE
KUN	TNN VIEW, CA

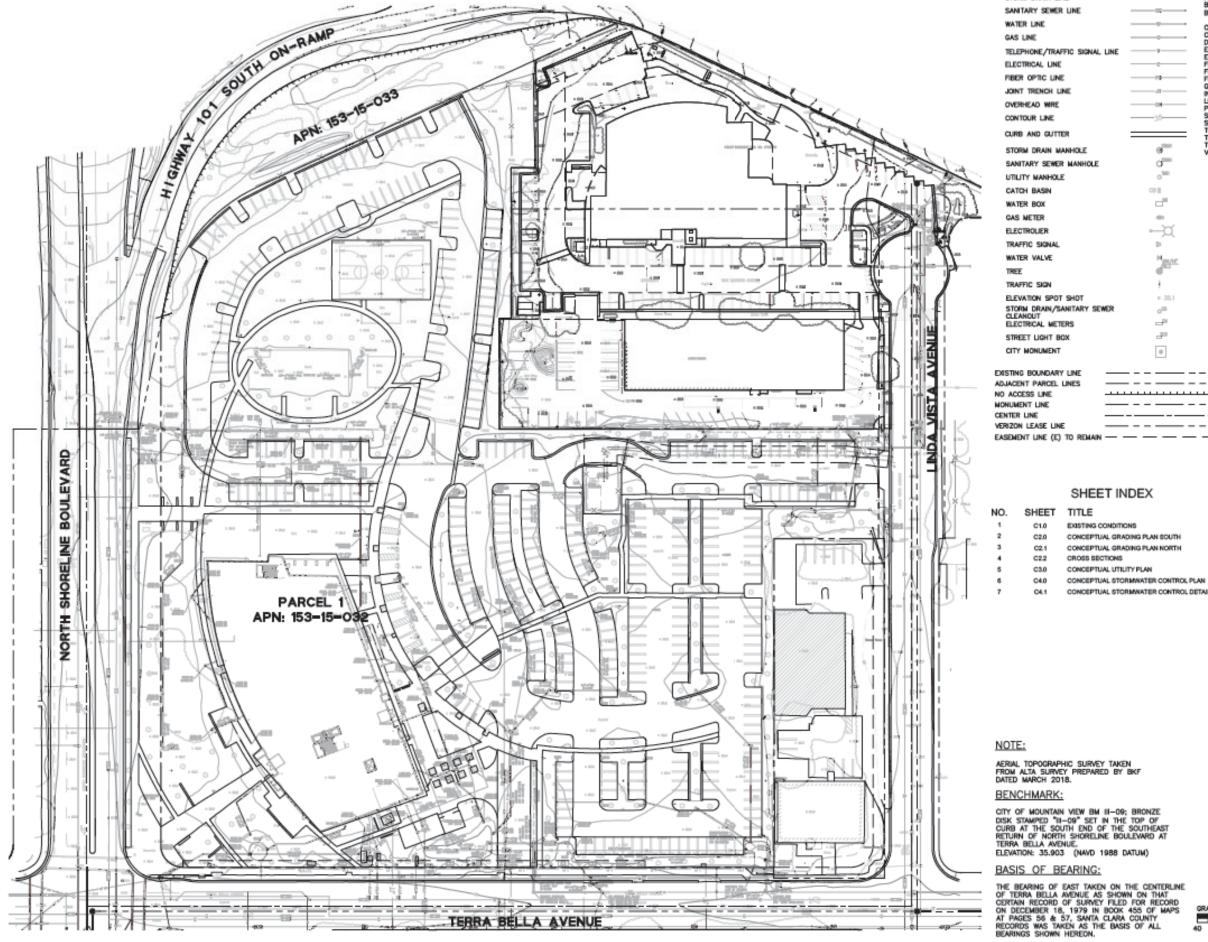
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W-1	1001	0110012020

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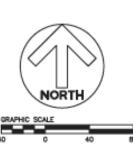
LEGEND AND ABBREVIATIONS

STORM DRAIN LINE



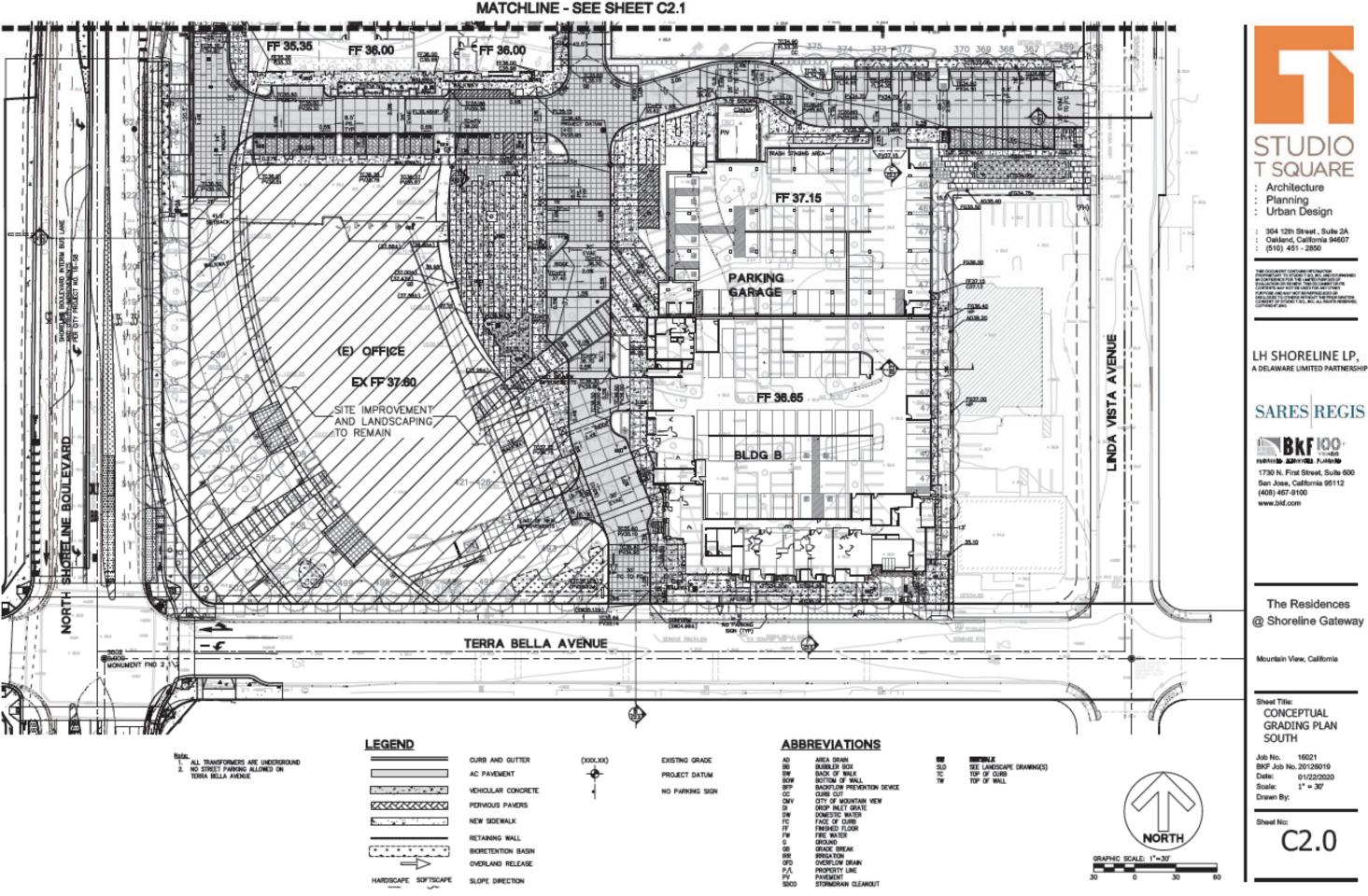
NE	ACP BL BW CODEP BP FL COBY FR SSSC HW SSSC HW	ASBESTOS COMENT PIPE BUILDING BACK OF WALK/ BOTTON OF WALL CATCH BASH CLEAN OUT DRIVEWAY EDGE OF WALK FINSHED FLOOR FLOW LINE FINSHED FLOOR FLOW LINE FRADE BREAK INVENT LIP OF GUITER FRELIMINARY TILLE REPORT SANITARY SEWER TOP OF CURB TYPICAL MANHOLE TOP OF WALL
R	Ϋ́δ	WTRIPED CLAY PIPE
		-

- CONCEPTUAL STORMWATER CONTROL DETAILS

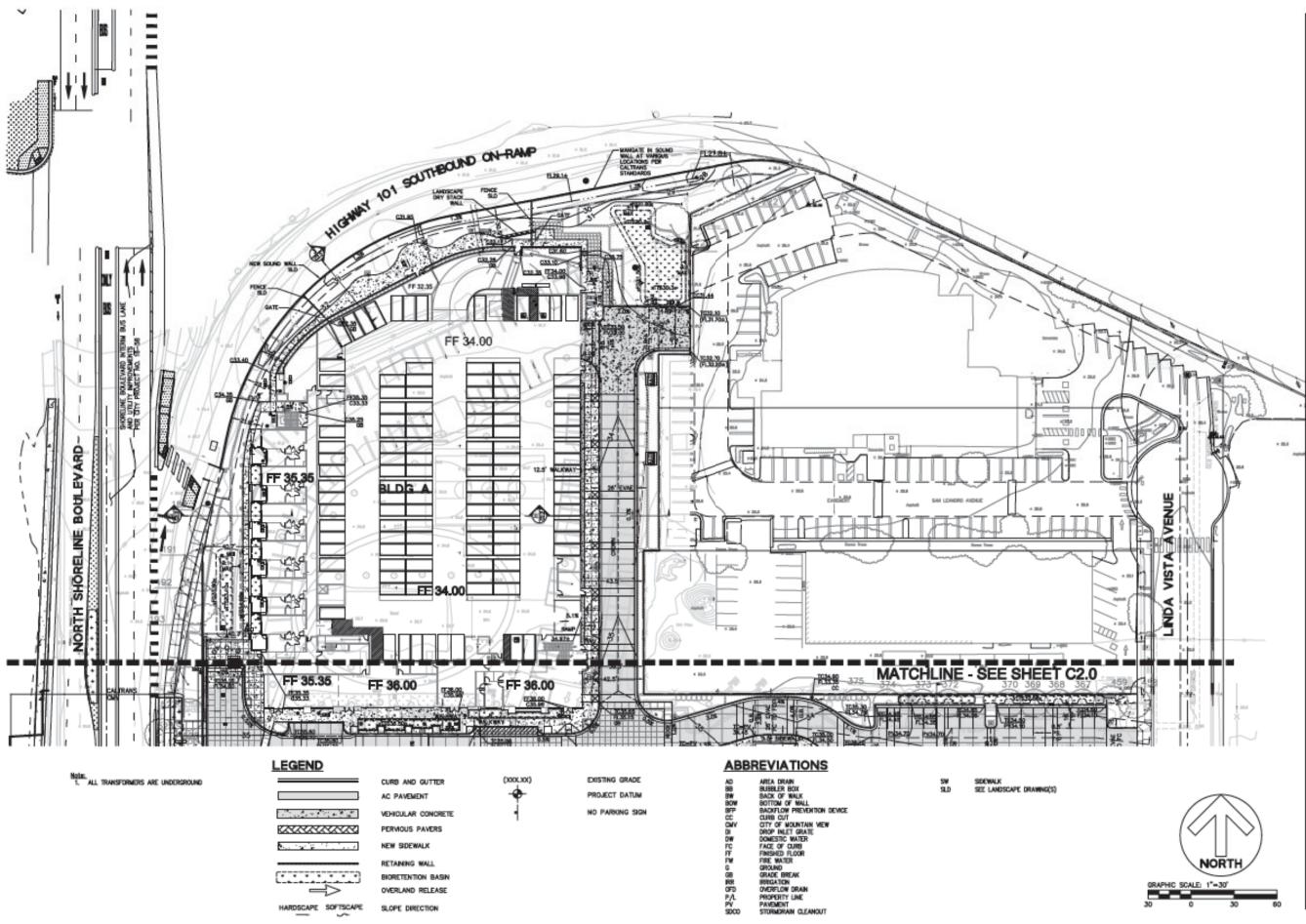




Sheet No: C1.0

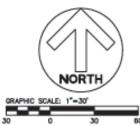


LEGEND	
	CURB AND GUTTER
	AC PAVEMENT
	VEHICULAR CONCRETE
(AAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAA	PERVIOUS PAVERS
	NEW SIDEWALK
	RETAINING WALL
	BIORETENTION BASIN
	OVERLAND RELEASE
HARDSCAPE SOFTSCAPE	SLOPE DIRECTION











LH SHORELINE LP, A DELAWARE LIMITED PARTNERSHIP



BKFIOO

1730 N. First Street, Suite 600 San Jose, California 95112 (408) 467-9100 www.bid.com

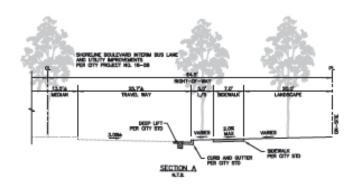
The Residences @ Shoreline Gateway

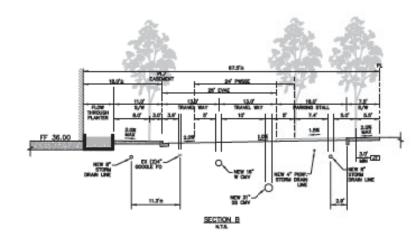
Mountain View, California

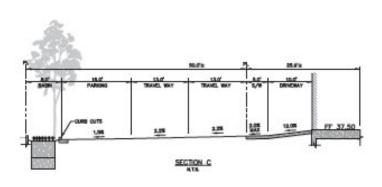
Sheet Title: CONCEPTUAL GRADING PLAN NORTH

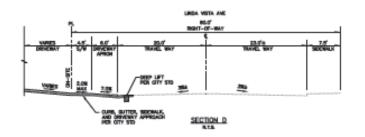
Job No. 16021 BKF Job No. 20126019 Date: 01/22/2020 Scale: 1" = 30' Drawn By:

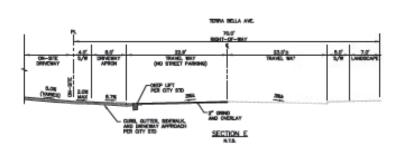
Sheet No: C2.1

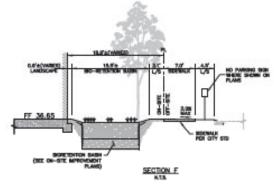


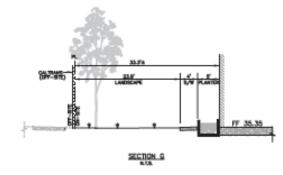


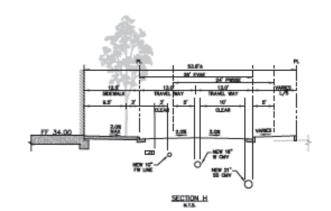


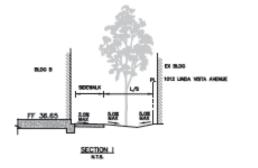


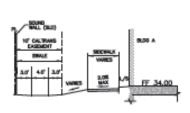








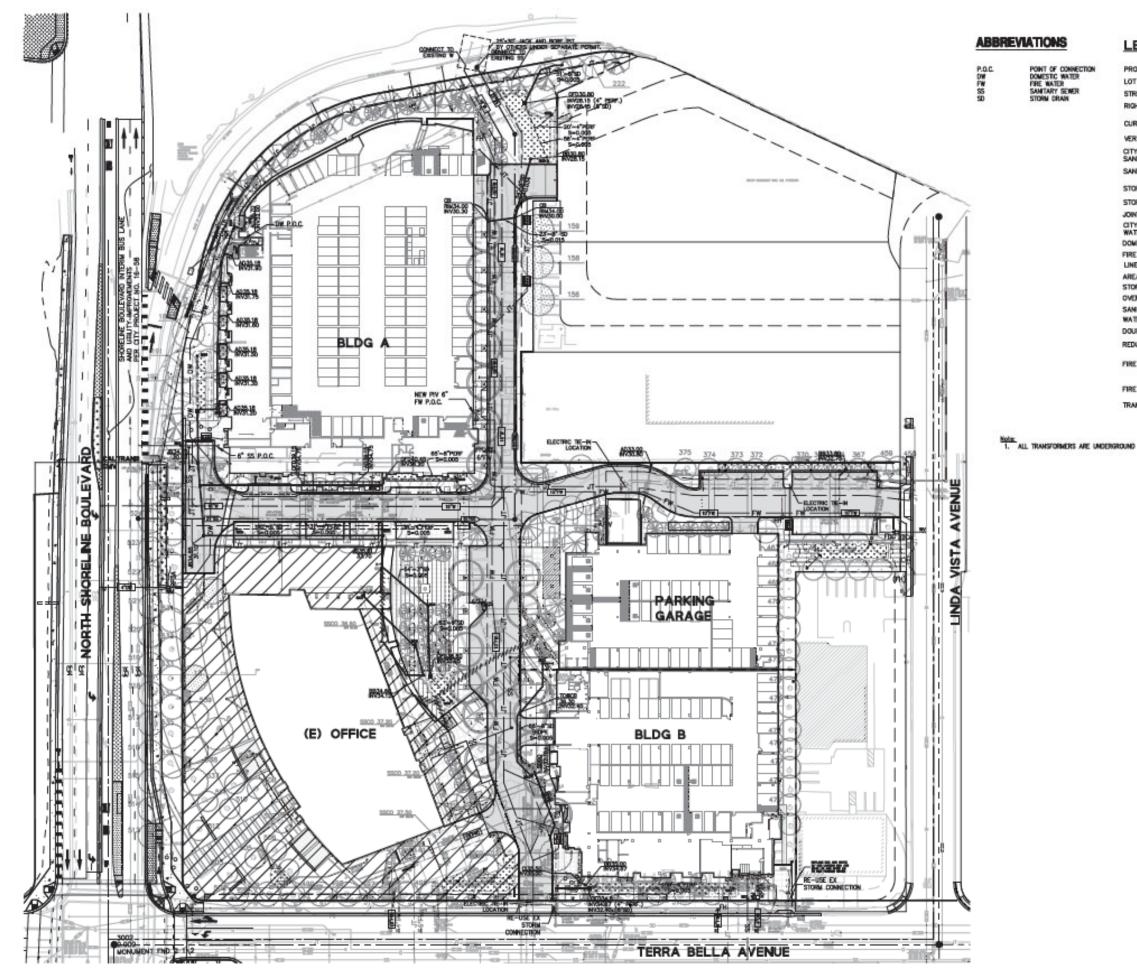




SECTION J

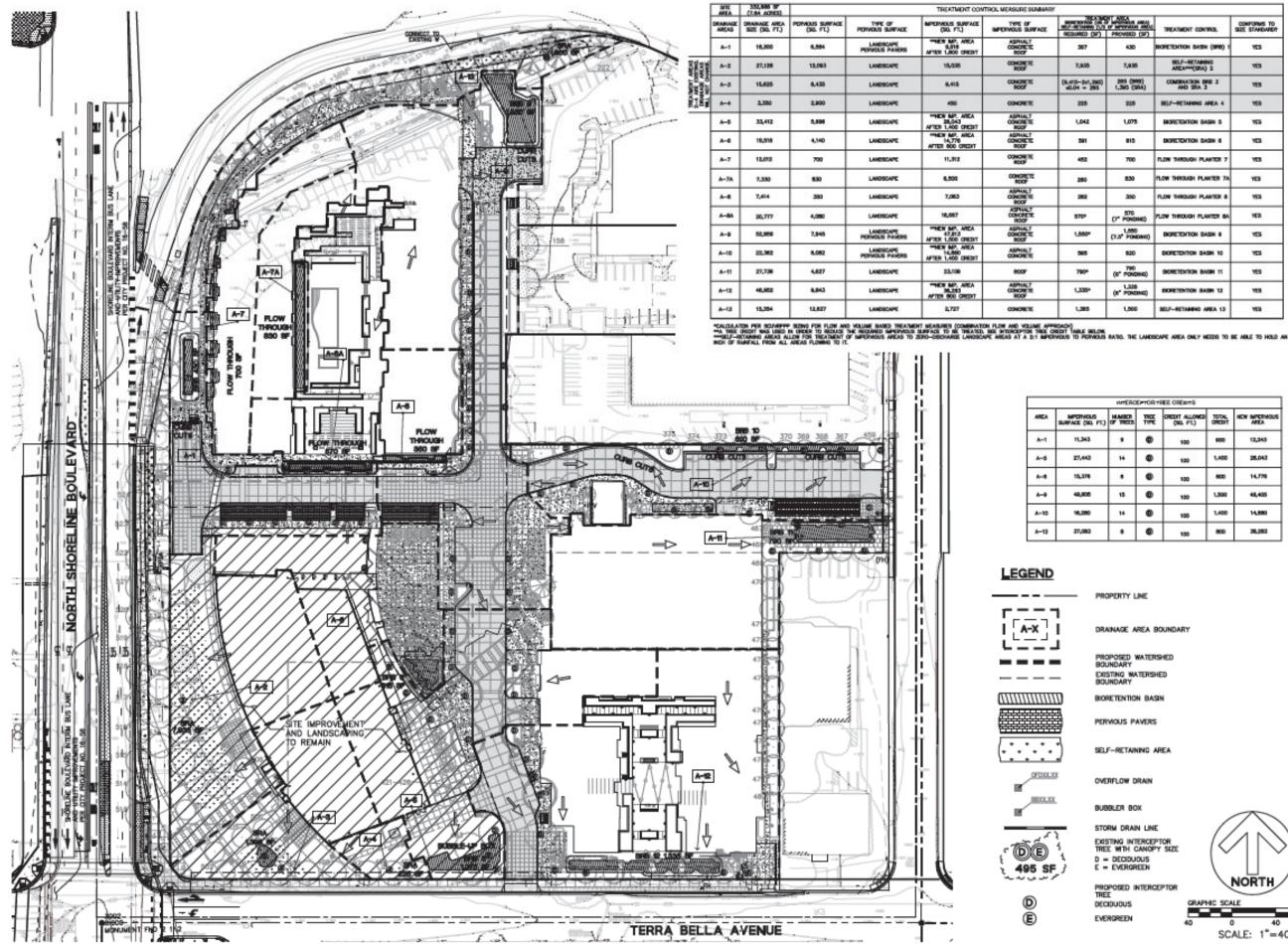






LEGEND

EGEND	
OPERTY LINE	
NTARY SEMER MAIN NTARY LINE NTARY LINE SINGLASSING DRM DRAIN LINE DRM DRAIN LINE DRM DRAIN LINE UT TRENCH LINE	STUDIO Architecture Planning Urban Design Urban Design 304 12th Street, Suite 24 Californie 94607 (510) 451 - 2850 Urbaneter for the suite street Content of the suite street Cont
	SARES REGIS
	The Residences @ Shoreline Gateway Mountain View, California
ORAPHIC SCALE SCALE 1"=40"	Sheet Title: CONCEPTUAL UTILITY PLAN Job No. 16021 BKF Job No. 20126019 Date: 1° = 40° Drawm By: Sheet No: C3.0

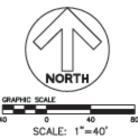


Maria Anton Maria Anton Maria (SP)	TREATMENT CONTROL	CONFORMS TO SIZE STANDARD?
430	BIOPETENTION BASIN (SPR) 1	YES
7,836	SELF-RETAINING ADEAHHI(SEA) 2	YES
is (949) 95 (984)	COMBINATION DEB 3 AND SEA 3	YES
225	SELF-RETAINING AREA 4	YES
1,075	BORCTENTON BASIN 5	YES
815	DORCTONION DASH 6	YES
700	FLOW THROUGH PLANTER 7	YES
630	FLOW THROUGH PLANTER 7A	YES
350	FLOW THROUGH PLANTER &	YES
570 PONDINE)	FLOW THROUGH PLANTER BA	165
1,550 PONDING)	DECRETITION GASH 9	YES
620	DIOPETENTION BASH 10	YES
790 PONDING)	BORETENTION BASH 11	YES
1,338 PONDING)	BORETENTON BASH 12	168
1,500	SELF-RETABLING AREA 13	YES

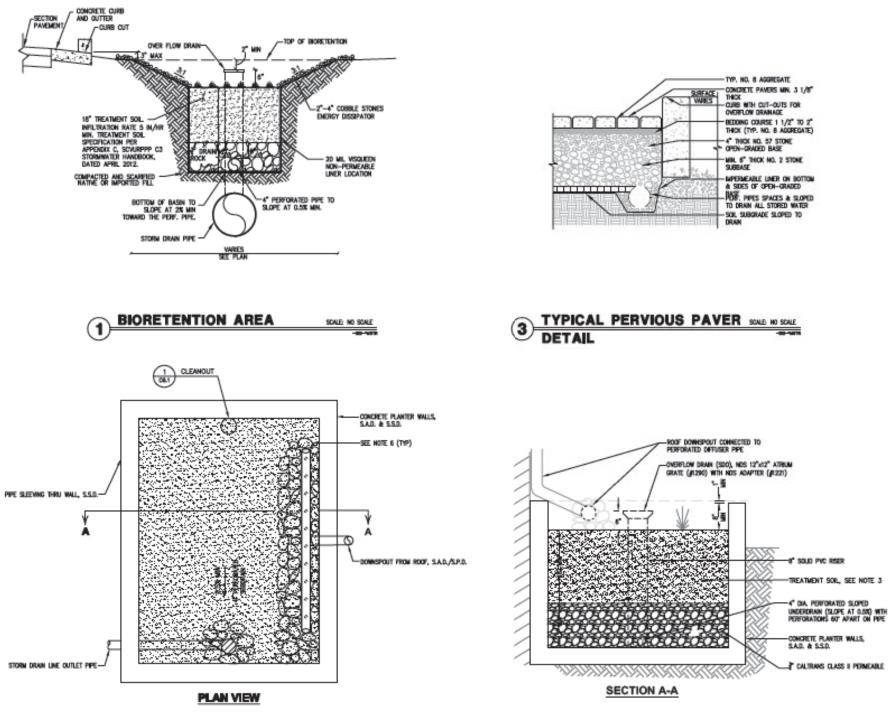
TERC	PTORT	REE CREDITS		
88	THE	CREDIT ALLOWED (381, FT.)	TOTAL GREDIT	HEN IMPERMOUS
,	۰	190	900	12,243
۰	۹	130	1,400	28,043
•		190	800	14,378
5	۲	190	1,500	48,405
•	0	190	1,400	14,880
•	٥	190	800	36,283

DRAINAGE AREA BOUNDARY

SELF-RETAINING AREA







- NOTES: 1. SEE LANDSCAPE PLANS & SPECIFICATIONS FOR PLANTING WATERIALS WITHIN BIORETENTION AREAS 2. PLACE 4" MIN. DIA. APPROVED NOTO COBBLE (OR APPROVED EQUIVALENT) FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" FROM EDGE OF STRUCTURE.
- STRUCTURE. SOLS IN THE FACILITY SHOULD MEET BIOTREATMENT SOL. SPECIFICATIONS APPROVED BY THE REGIONAL WATER BOARD (SANTA CLARA COUNTY C.S. STORMATTER TICHNICAL QUEDARCE). A MINIMUM PERCOLATION RATE OF 5 MORES/HOUR AND A MADMAU PERCOLATION RATE OF 10 INCHES/HOUR ARE REQUIRED (INITIAL INFLITIATION RATE WAY EXCEED THIS TO ALLOW FOR TEMDENCY OF INFLITATION RATE TO REDUCE OVER TMEE), FLANTING SOL LAYER SHOULD BE AT LEAST 16 MORES DEEP. CONTRACTOR TO SUBILY MATERIAL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CRITEFYING THAT SOL COMPLIES WITL OR TOOLIES, STOLATION RATE NOL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CRITEFYING THAT SOL COMPLIES WITL OR TOOLIES, STOLATED REQUIREMENTS. FOR DETAILS AND SPECIFICATIONS OF CONCRETE FLATTER WALLS, S.S.D. AND S.A.D. EXPOSED FVC FPE WITHIN BORETENTION AREAS, SJOH AS OVERLOW RESERS, SHALL BE PANIED BLACK. MOYO COBELES (4"-6" IN DAL), OR APPROVED GUIVALENT, SHALL BE PLACED AROUND DIFFUGER IPPE TO THE TOP OF TREATMENT SOL (TTS), FLUSH WITH PLANTING SURFACE, EXTENDING A MINIMUM OF 8" ON ALL SIDES OF DRAMAGE STRUCTURE/FVFE. 3.
- 6.





C4.1

VESTING TENTATIVE MAP

5 LOT SUBDIVISION

LOT 1 IS FOR CONDOMINIUM PURPOSES CONSISTING OF 203 RESIDENTIAL UNITS AND 1 COMMI LOT 3 IS FOR CONDOMINIUM PURPOSES CONSISTING OF 1 UNIT FOR PARKING. LOT 4 IS FOR CONDOMINIUM PURPOSES CONSISTING OF 100 RESIDENTIAL UNITS

1001 NORTH SHORELINE BOULEVAR CITY OF MOUNTAIN VIEW, SANTA CLARA COUNTY, CALIFORNIA

LEGEND

EXISTING BOUNDARY LINE	
ENGING BUONDART LINE	
NEW LOT LINES	
ADJACENT PARCEL LINES	
NO ACCESS LINE	
MONUMENT LINE	
CENTER LINE	
VERIZON LEASE LINE	
EASEMENT LINE (NEW)	
EASEMENT LINE (E) TO REMAIN	
IN DISTANCE INSIDE SUB	JECT BOUNDARY
M-N MONUMENT TO MONUM	
OUT DISTANCE OUTSIDE SI	

- RECORD DATA PER W MAPS 56 31
- j2 RECORD DATA PER 455 ROS 56-57 ່ງ3 RECORD DATA PER DOC NO. 21494974
- RECORD DATA PER DOC NO. 14046575

GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 85452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- 2. AREA: THE BOUNDARIES OF THIS SUBDIVISION CONTAIN 7.64± ACRES CONSISTING OF FOUR DEVELOPABLE PARCELS AND ONE UNDEVELOPABLE PARCEL.
- 3. BUILDING TYPE: THE BUILDING FOOTPRINTS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THE BUILDING TYPE, LOCATION AND STYLES WILL BE PERMITTED AS CONSTRUCTED IN CONFORMANCE WITH PROJECT PD REQUIREMENTS PRIOR TO THE APPLICATION FOR BUILDING PERMITS.
- UTILITIES: A PUBLIC WATER AND SEWER EASEMENT IN 4. THE FAVOR OF THE CITY OF MOUNTAIN VIEW WILL BE CREATED TO FACILITATE MAINTENANCE OF THE MAIN WATER TRANSMISSION LINE AND THE SANITARY SEWER MAIN, SANITARY AND WATER SERVICE LATERALS BETWEEN THE BUILDINGS AND THE CLEANOUTS AND/OR WATER METERS WILL BE PRIVATELY OWNED AND MAINTAINED. THE STORM DRAINAGE SYSTEM WILL ALSO BE PRIVATELY OWNED AND MAINTAINED OR AS DESIGNATED
- 5. MULTIPLE FINAL MAPS: PURSUANT TO SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL WAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BOUNDED.

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

DATE

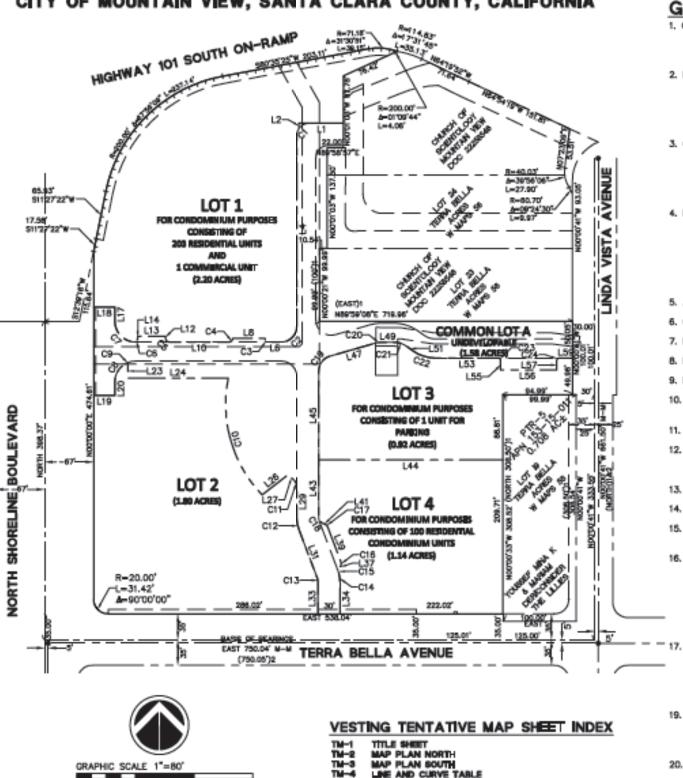
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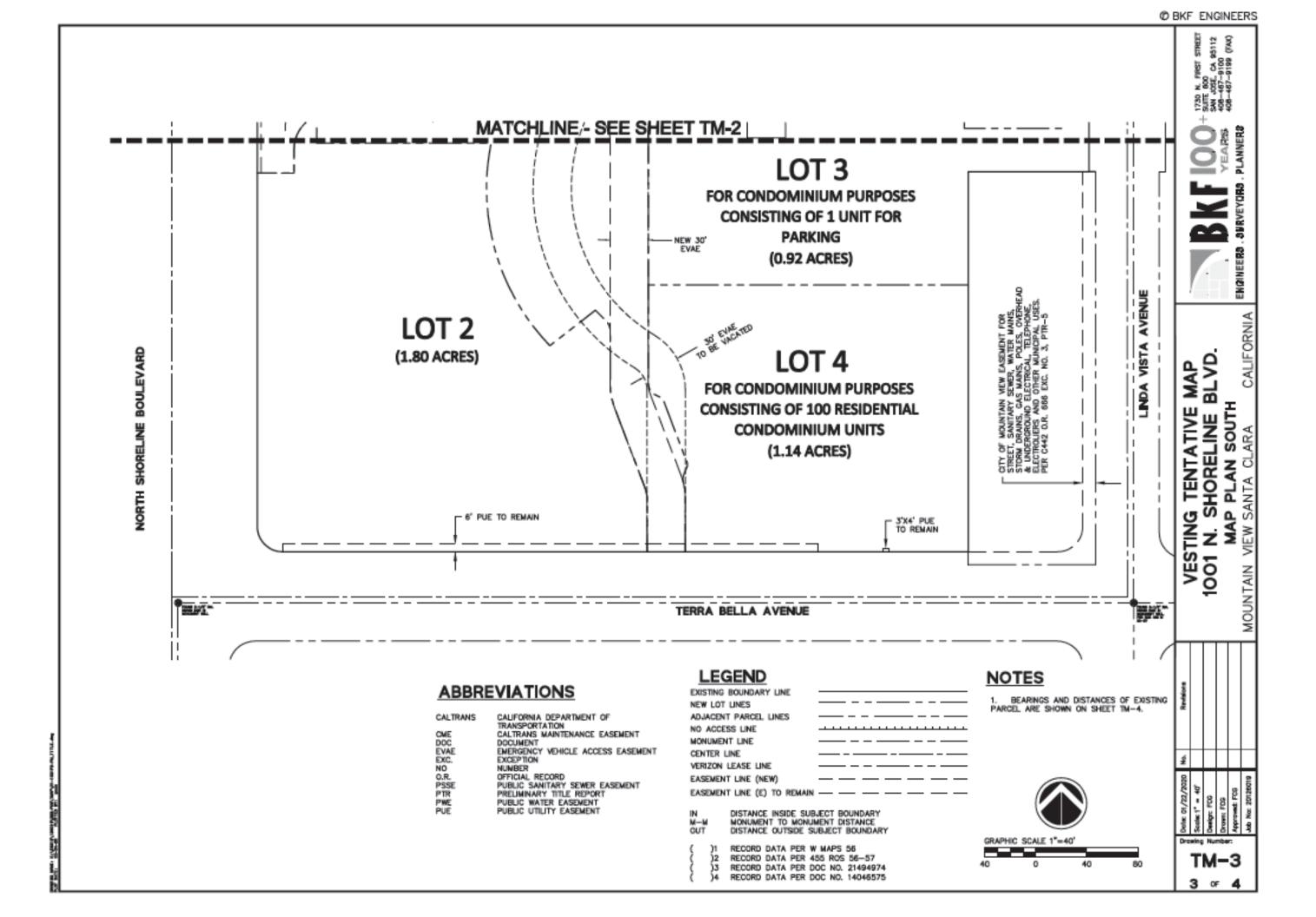
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03/04/2020 FRITZ COLE GAUMNITZ, P.E. 687



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RD					×	5	2
	LH SHORELINE LP 4 EMBARCADERO CENTER SUITE 3300		ľ			AUDVEVIDA	
DEVELOPER:	SAN FRANCISCO, CA 94111 SARES REGIS 901 MARINERS ISLAND BLVD, SUITE 700 SAN MATEO, CA 94404 CONTACT: JANICE YUEN (650) 377-5735			-		FNONFFDA	
CIVIL ENGINEER:	BKF ENGINEERS 1730 N. FIRST STREET, SUITE 600 SAN JOSE, CA 95112 CONTACT: COLE GAUMNITZ (408) 467-9100		L	ę			LIFORNIA
PROPERTY:	ALL OF PARCEL 1 AS SHOWN ON THAT CERTAIN PARCEL MAP. ENTITLED LOT MERCER RECORDED MAY 11, 2016 IN BOOK 892 OF MAPS, PAGES 14–20, SANTA CLARA COUNTY RECORDERS AND THE CALTRANS DIRECTOR'S DEED 011987-02-01.	Ι					ARA CAL
APN	153-15-032 & 153-15-033	15	5	Щ	l	Ĕ	금
GENERAL PLAN	GENERAL INDUSTRIAL	Ż		Ř			<
EXISTING ZONING:	ML & MM	빝	<u> </u>	<u>o</u>		"	\vdash
PROPOSED ZONING:	PD ZONING	1.		ᇥ			SAN
EXISTING USE:	OFFICE	l	2				≥
). PROPOSED USE:	MIXED USE-CENTER, OFFICE, RESIDENTIAL COMMUNITY	Ιù	0	Z			Ē
. GROSS AREA:	7.81± (7.84± NET) ACRES	Ľ		Ò			Ę
2. NUMBER OF LOTS:	4 DEVELOPABLE, 1 UNDEVELOPABLE COMMON AREA TO BE MAINTAINED BY HOA.	[0			MOUNTAIN
3. PUBLIC SEWER:	CITY OF MOUNTAIN VIEW						ğ
. PUBLIC WATER:	CITY OF MOUNTAIN VIEW	L					2
5. PUBLIC STORM:	CITY OF MOUNTAIN VIEW AND CALTRANS.						
3. BASIS OF BEARING:	THE BEARING OF "EAST" TAKEN ON THE CENTER LINE OF TERRA BELLA AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON DECEMBER 18, 1979 IN BOOK 455 OF MAPS AT PAGES 56 & 57, SANTA CLARA COUNTY RECORDS.	Revisions					
7. TOPOGRAPHY:	INFORMATION SHOWN IS BASED ON	ź					
	AERIAL SURVEY PREPARED BY 360 AERIAL SURVEYS OCTOBER 2017 AND GROUND SURVEY PREPARED BY BKF ENGINEERS CONDUCTED OCTOBER 2017.	/22/2020	= 40°	22	ros	t: FCG	20126019
9. FLOOD ZONE:	ZONE X; PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 6085C0037H, EFFECTIVE DATE MAY 18, 2009	Deter of	Scelec 1"	E Deelor: 7	Drowns	www.uddy c	Job No:
0. EASEMENTS:	EASEMENT DESCRIPTIONS ARE		т	'N	1-	1	
	SHOWN ON SHEETS TM-2 & TM-3.	I 1					

O BKF ENGINEERS



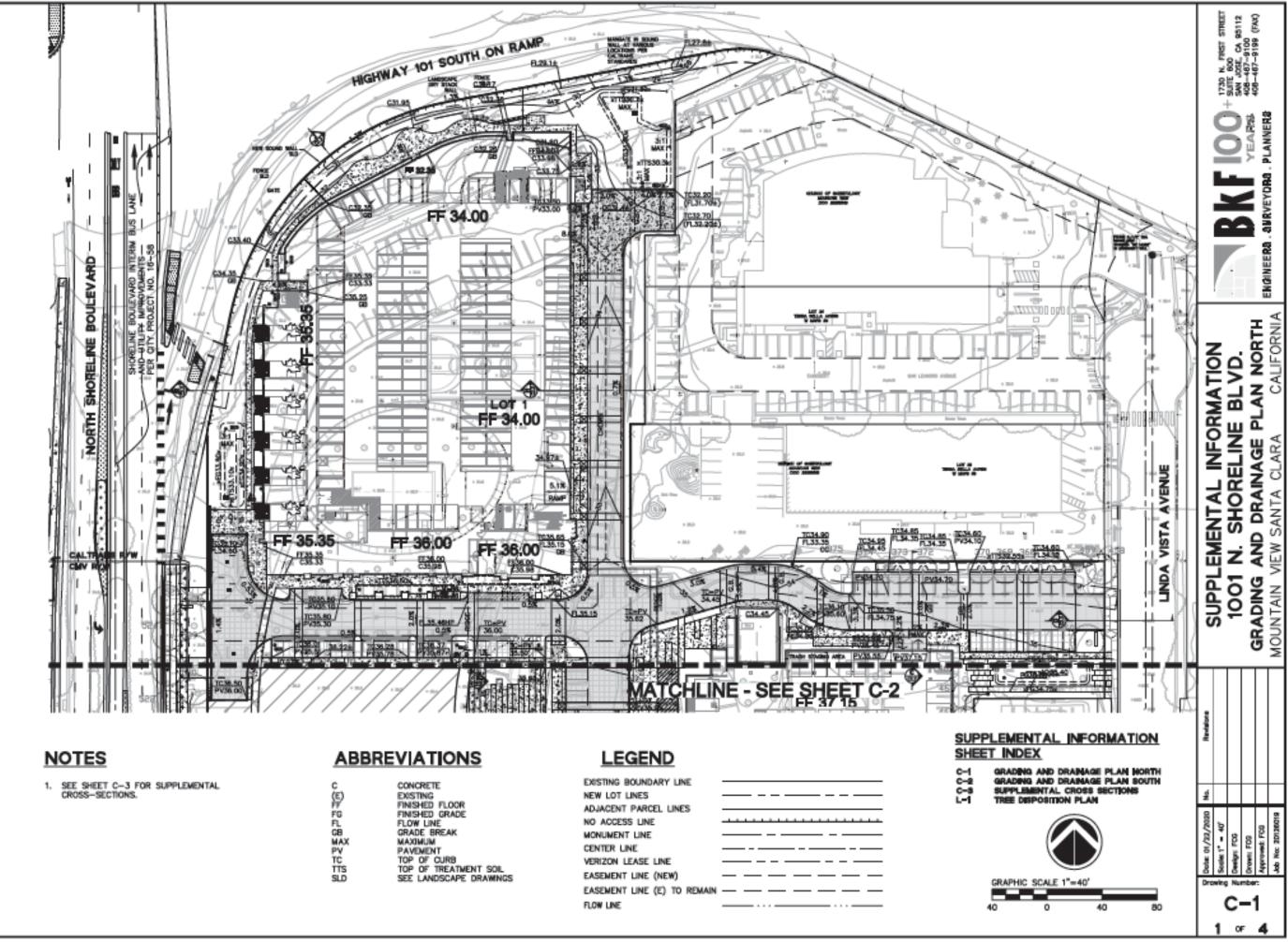
		LINE TAB	ile.
ECTION	LINE NO.	LENGTH	DIRECTION
56'15"W	L34	42.13	N00'00'00"E
'01'45"W	L37	5.60	N24'18'33"E
'01'25 " E	L39	52.00	N20*41*27*W
59'55 * W	L41	3.93	N65'41'27"W
w*00'00	L43	77.39	N00'00'00"E
59`56 ° W	L44	251.02	N90'00'00*W
'00'05 " E	L45	121.28	N00'00'00"W
w*00'00	L47	64.69	N74'01'04"E
00'00"E	L49	16.84	N89'59'19"E
102'06"E	L51	10.56	\$54'12'39"E
00'00 * W	L53	85.02	\$89'59'59"E
3°00'00	L55	13.00	\$00'00'00"E
3°00'00	L56	76.50	N90'00'00"E
00'00"E	L57	13.00	N00'00'00"E
3,00,00 . E	L59	18.45	N90'00'00"E
'08'36"E			
'00'00"E			

	LINE THE	ILE.
JNE NO.	LENGTH	DIRECTION
LI	60.58	N89'56'15"W
L2	7.13	S00'01'45"W
L4	267.62	S00'01'25*E
Lő	17.38	N89'59'55*W
L8	44.00	N90'00'00*W
L10	81.40	N89'59'56"W
L12	3.00	N00'00'05"E
L13	38.00	N90'00'00"W
L14	2.92	500'00'00"E
L17	19.50	N00'02'06"E
L18	29.03	N90'00'00*W
L19	28.97	N90'00'00"E
L20	19.00	N00'00'00"E
L23	20.10	S00'00'00"E
L24	136.72	N90'00'00"E
L26	45.33	N52'08'36"E
L27	12.16	\$45'00'00"E
L29	42.40	S00'00'00"E
L31	69.42	S20'41'27"E
L33	42.13	\$00'00'00"E

	CURVE	TABLE	
CURVE NO.	LENGTH	RADIUS	DELTA
C21	18.75	30.00	035'48'02"
C22	32.48	52.00	035'47'21*
C23	4.71	3.00	090'00'06"
C24	4.71	3.00	090'00'00"

	CURVE	TABLE	
JURVE NO.	LENGTH	RADIUS	DELTA
C1	4.71	3.00	089'58'15"
C2	33.00	21.00	090'01'30"
C3	7.85	5.00	090'00'00"
C4	7.95	5.00	09112'00*
C5	7.85	5.00	090'00'00"
C6	8.27	5.00	094'48'15"
C7	41.63	28.00	085"11'45"
C8	32.09	28.00	065'40'24"
C9	1.99	1.00	114'03'06*
C10	172.02	178.08	055'21'05"
C11	7.85	10.00	045'00'00"
C12	18.06	50.00	020*41*27*
C13	7.22	20.00	020'41'27"
C14	12.61	50.00	014"27"09"
C15	6.77	10.00	038*45*41*
C16	3.93	5.00	045'00'00"
C17	3.93	5.00	045'00'00"
C18	11.47	10.00	065'41'27"
C19	27.13	21.00	074'01'07"
C20	8.36	30.00	015'58'14*

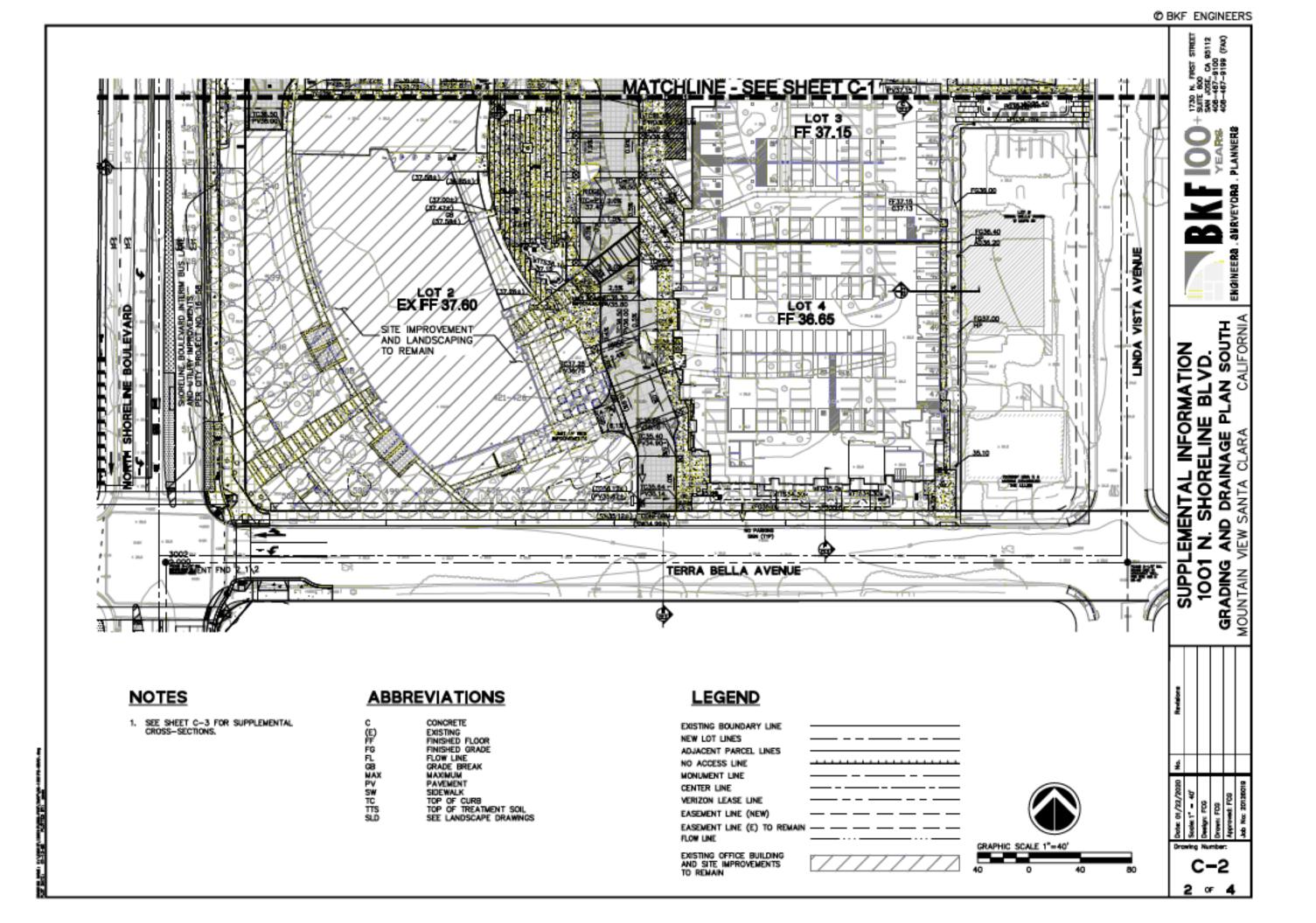
	С	- SUIL BOOL SAN JOSE CA 25112	12	8	
VECTING TENTATIVE MAD	_	1001 N. SHORELINE BLVD.			MOUNTAIN VIEW SANTA CLARA CALIFORNIA
Revisions					
Dete: 01/22/2020 No.	Scole: NONE	Deelgn: FCO	Drown: FDG	Approved: FOG	Job No: 20126019
Dre	***; T 4	M	F	- 4 4	'

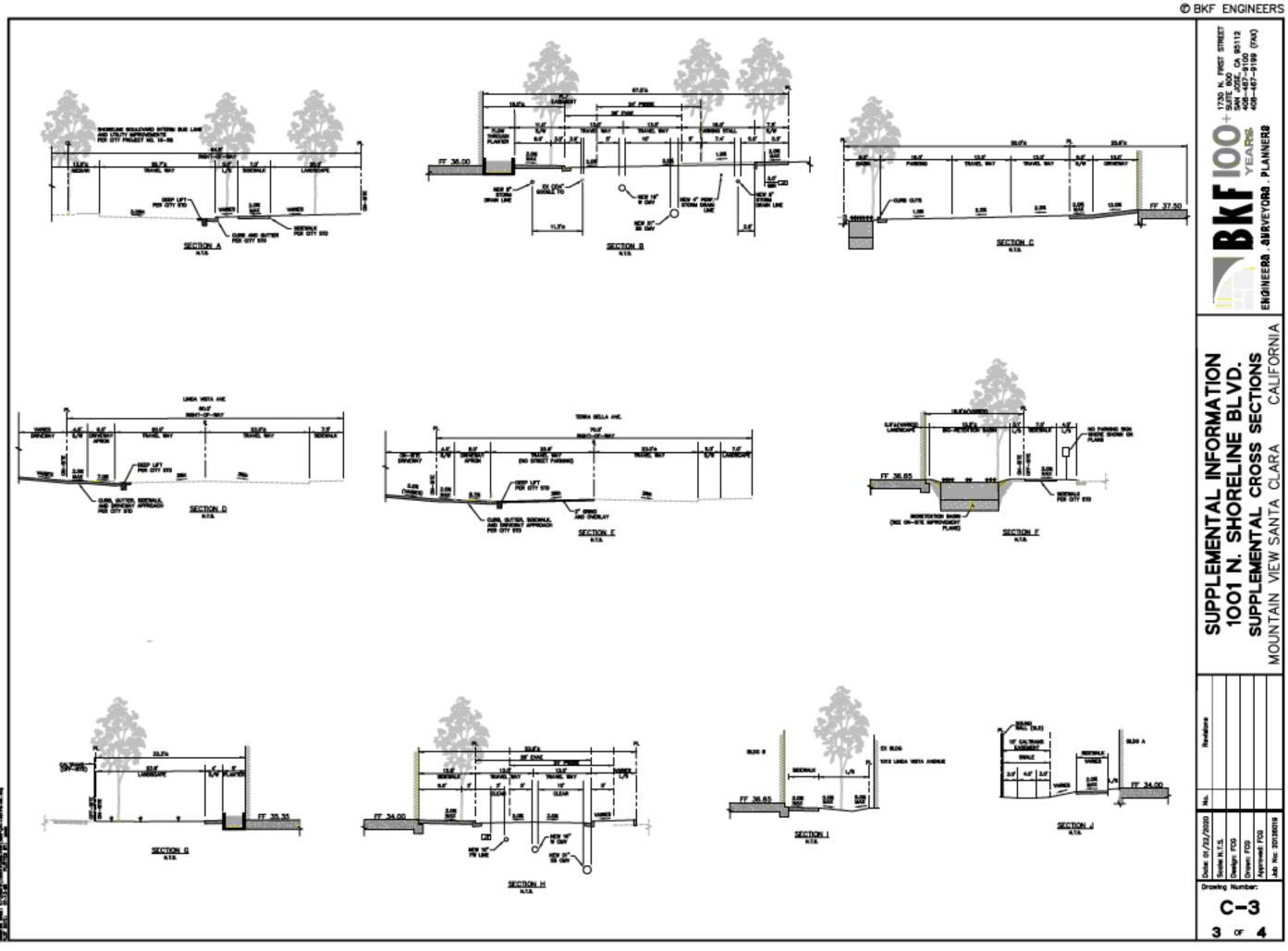


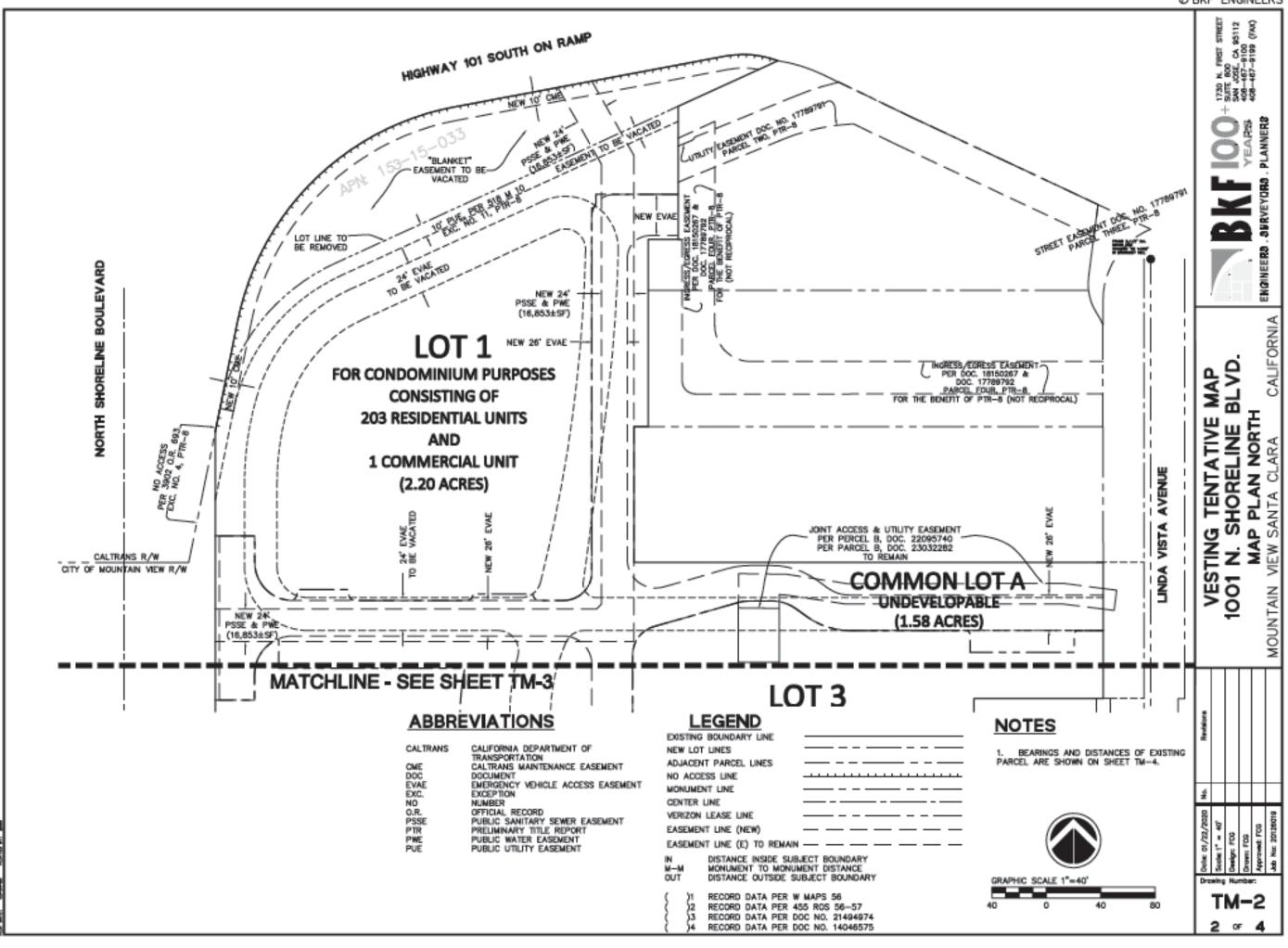
	CONCRETE
9	EXISTING
	FINISHED FLOOR
8	FINISHED GRADE
L	FLOW LINE
B	GRADE BREAK
AX	MUMDKAM
¢ c	PAVEMENT
C	TOP OF CURB
TS	TOP OF TREATMENT SOIL
	SEE LANDSCAPE DRAWINGS

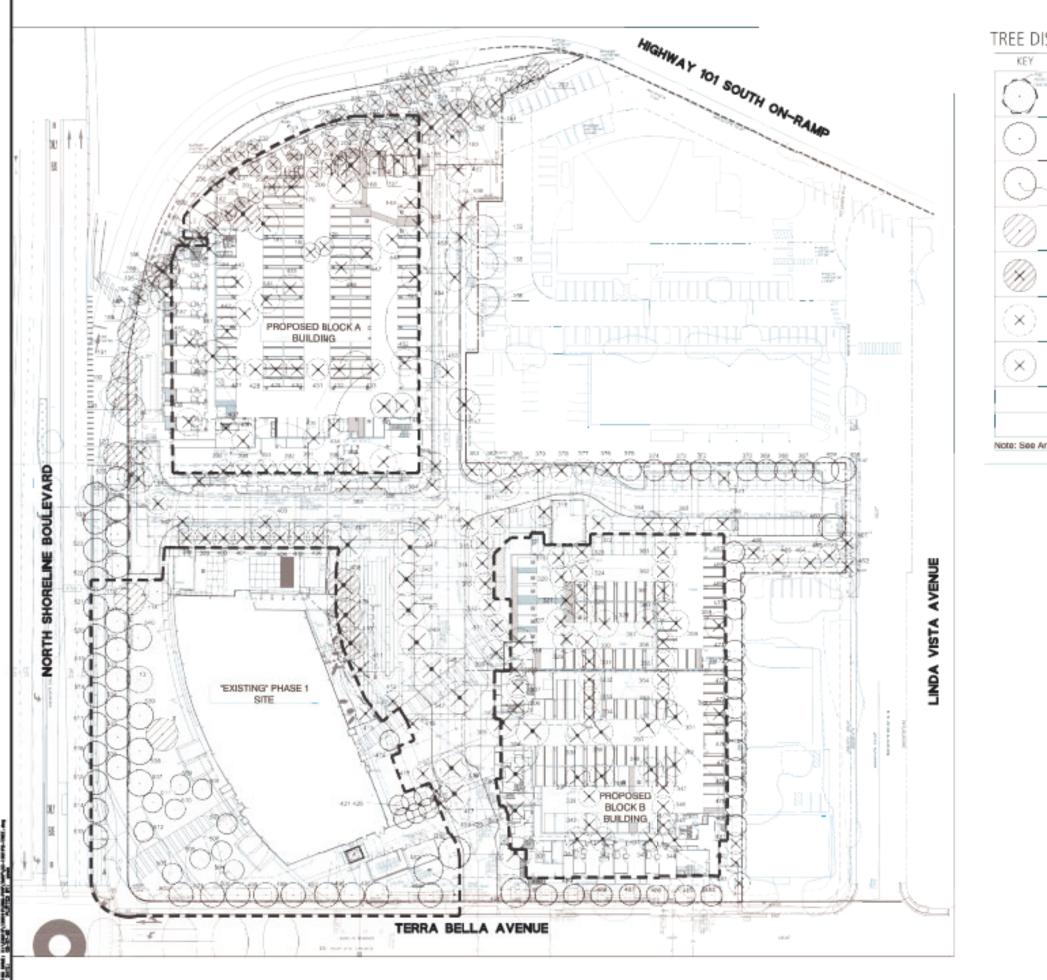
XISTING BOUNDARY LINE	
AISTING BOUNDART LINE	
EW LOT LINES	
DJACENT PARCEL LINES	
O ACCESS LINE	
IONUMENT LINE	
ENTER LINE	
ERIZON LEASE LINE	
ASEMENT LINE (NEW)	
ASEMENT LINE (E) TO REMAIN	
LOW LINE	

O BKF ENGINEERS









KEY	DESCRIPTION	QUANTITY
Ó		6
\odot	HASE 1 THEES TO BOLINE? "Dependent: open condition of inex of condituction time	87
0	INALS 1 TREE TO TRANSPORT	1
\bigcirc	LOC ING HARDAGE ING ING IC REARD	9
Ø	HENTING THES TO BE REMOVED	23
\otimes	MARE: THER TO BE REMOVED	155
\otimes	Brind an 10	60
	NOV FREE TO BE PLANTED [NTY & MODUAL]	192
	TSTAL TREE ISTMATED TO BE ON STEAT TWE OF PROJECT	295

						0
	Ore	Dote: 01/22/2020	ų.	Redstons	CLIDDI EVIENTAL INEODUATION	BKF
4		Soulet N.T.S.			<u> </u>	_
0	NU	Deelgn: FDD			1001 N. SHORELINE BLVD.	
F	nbe 4	Drown FDS				YEARS 408-487-9100
4		Approved: FCB			NOLION PLA	
		Job No: 20126019			MOUNTAIN VIEW SANTA CLARA CALIFORNIA	