2300 West El Camino Real

2300 West El Camino Real
Mountain View, California

For:

BPR Properties

Arris
STUDIO ARCHITECTS

Proposed
Hotel

2300 West El Camino Real
Mountain View, California

COVER

April 08, 2020

A0.0

PROJECT DIRECTORY

OWNER

BPR PROPERTIES
953 INDUSTRIAL AVE, SUITE 100 — PHONE: (650) 424-1400
PALO ALTO, CA 94303 — FAX: (650) 328-2924
ATTN: PERRY PATEL — EMAIL: PPATEL@BPRPROPERTIES.COM

ARCHITECT

ARRIS STUDIO ARCHITECTS
1327 ARCHER STREET, STE 220 — PHONE: (805) 547-2240
SAN LUIS OBISPO, CA 93401 — FAX: (805) 547-2241
ATTN: THOM JESS — EMAIL: TJESS@ARRIS-STUDIO.COM
ATTN: ADRIANA COOK — EMAIL: ADRIANA@ARRIS-STUDIO.COM

ELECTRICAL

JMPE ELECTRICAL ENGINEERING
156 W ALAMAR AVENUE, SUITEB — PHONE: (805)569-9216
SANTA BARBARA, CA 93105
ATTN: JOHN MALONEY — EMAIL:MALONEY@JMPE.NET

LANDSCAPE

FIRMA
187 TANK FARM ROAD SUITE 230 — PHONE: (209)532-2856
SAN LUIS OBISPO, CA 93401
ATTN: LINDSAY CORICA — EMAIL: LINDSAY@FIRMACONSULTANTS.COM

CIVIL

ALIQUOT ASSOCIATES
1390 S. MAIN STREET SUITE 310 — PHONE: (925)476-2300
WALNUT CREEK, CA 94596
ATTN: ROBERT WONG — EMAIL: RWONG@ALIQUOT.COM

CONSTRUCTION STAGING

-- CONSTRUCTION STAGING AND TRAFFIC CONTROL PLANS REQUIRED AS PART OF THE BUILDING PERMIT SUBMITTAL.
-- PARKING FOR CONSTRUCTION MUST BE PROVIDED ON SITE.

SEPARATE PERMIT

SIGNAGE IS NOT PART OF THIS PERMIT AND WILL BE UNDER SEPARATE PERMIT.

ACCESSIBILITY REQUIREMENTS

PER CBC 11B-224.2 & 11B-224.4 FOR 153 ROOMS

GUEST ROOMS WITH MOBILITY FEATURES:
ROOMS WITHOUT ROLL-IN SHOWERS 6
ROOMS WITH ROLL-IN SHOWERS 2

GUEST ROOMS WITH COMMUNICATION FEATURES:
ROOMS WITH COMMUNICATION FEATURES 14

CBC 11B-224.1.3 RANGE OF ACCOMMODATIONS: ACCESSIBLE GUEST ROOMS OR SUITES SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OR SLEEPING ACCOMMODATIONS TO PROVIDE A RANGE OF OPTIONS APPLICABLE TO ROOM SIZES, COSTS AND AMENITIES PROVIDED.

AREA INFORMATION

BUILDING AREA	EXISTING	TOTAL PER FLOOR	PROPOSED	TOTAL PER FLOOR	NET INCREASE
BASEMENT				0	
SERVICE			1,885		
FIRST FLOOR		16,211		14,717	-1,494
GUEST	9,344		5,718		
CIRCULATION	3,563		1,948		
HOTEL AMMENITIES	3,107		4,677		
SERVICE	197		2,374		
SECOND FLOOR		12,762		22,005	9,243
GUEST	9,344		18,946		
CIRCULATION	9,418		2,472		
SERVICE			587		
THIRD FLOOR		2,099		19,318	17,219
GUEST	1,312		16,492		
CIRCULATION	787		2,239		
SERVICE			587		
FOURTH FLOOR		0		19,318	19,318
GUEST			16,492		
CIRCULATION			2,239		
SERVICE			587		
TOTAL PER BUILDING		31,072		75,358	44,286

*BASEMENTS DO NOT NEED TO BE INCLUDED IN THE TOTAL ALLOWABLE FLOOR AREA OF A BUILDING PROVIDED THE TOTAL ATREA OF SUCH BASEMENTS DOES NOT EXCEED THE AREA PERMITTED FOR A ONE-STORY ABOVE GRADE PLANE BUILDING

PROJECT INFORMATION

ADDRESS:	2300 WEST EL CAMINO REAL, MOUNTAIN VIEW, CA
APN:	148-36-012
LOT AREA:	0.97 ACRES (42,138 SF)
ZONING:	P(38) EL CAMINO REAL PRECISE PLAN
OCCUPANCY GROUP:	R-1 HOTEL OVER S-2 GARAGE
TYPE CONSTRUCTION:	TYPE III-A / TYPE 1A
SPRINKLER:	YES/ NFPA-13
EXISTING USE:	HOTEL
PROPOSED USE:	HOTEL
EXISTING GUEST ROOMS:	71
PROPOSED GUEST ROOMS:	153
EXISTING FLOOR AREA:	31,072 S.F.
PROPOSED FLOOR AREA:	75,358 S.F.
EXISTING # OF STORIES:	3 + BASEMENT
PROPOSED # OF STORIES:	4 + BASEMENT
ALLOWED BUILDING HEIGHT (TIER-1):	55'-0"
EXISTING BUILDING HEIGHT:	32'-6"
PROPOSED BUILDING HEIGHT:	52'-6"
EXISTING BUILDING COVERAGE:	17,698 SF
PROPOSED BUILDING COVERAGE:	23,602 SF
ALLOWED FAR (TIER-1):	1.85
EXISTING FAR:	0.81
PROPOSED FAR:	1.79
TOTAL PROPOSED PARKING AREA:	8,661 SF
PARKING COVERED:	6,781 SF
PARKING UNCOVERED:	1,880 SF
ALLOWED MIN. ECR SETBACK:	10 FT
ALLOWED MAX. ECR SETBACK:	15FT
PROPOSED ECR SETBACK:	10 FT
ALLOWED SIDE YARD SETBACK:	15 FT
PROPOSED SIDE YARD SETBACK:	15 FT
ALLOWED REAR YARD SETBACK:	25 FT
PROPOSED REAR YARD SETBACK:	25 FT

ENCROACHMENTS AND EXCEPTIONS:
PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS & EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL & SIDE STREET SETBACKS.

PARKING INFORMATION

PARKING EXISTING:
BASEMENT LEVEL : 22 STALLS
GROUND LEVEL : 41 STALLS
63 STALLS

NUMBER OF GUEST ROOMS 71 ROOMS
PARKING REQUIRED:
153 GUESTS @ 1 PER 153 STALLS
28 EMPLOYEES @ 0.5 PER 14 STALLS
167 STALLS

PARKING PROPOSED:
BASEMENT: 112 STALLS
GROUND LEVEL: 19 STALLS
131 STALLS *

ACCESSIBLE PARKING:
REQUIRED: 171 REQUIRED STALLS =6 SPACES (INCLUDING 1 VAN)
PROVIDED: =6 SPACES (INCLUDING 1 VAN)

BICYCLE PARKING:
SHORT TERM REQUIRED: 171X 2%= 4 BIKE SPACES
SHORT TERM PROPOSED: 4 BIKE SPACES
LONG TERM REQUIRED (PER CBGC 5.106.4.1.2): 7 BIKE SPACES
LONG TERM PROPOSED: 8 BIKE SPACES

*SEE TRANSPORTATION DEMAND MANAGEMENT PLAN FOR PARKING REDUCTION JUSTIFICATION

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE DEMOLITION OF THE EXISTING 71 GUEST ROOM HOTEL AND CONSTRUCTION OF PROPOSED HOTEL. AS PART OF THIS WORK THE NUMBER OF GUEST ROOMS WILL BE INCREASED TO 153.

THE EXISTING BELOW GRADE "CLOSED" PARKING WILL BE EXPANDED AND ADDITIONAL SURFACE PARKING WILL BE ADDED AT THE GRADE LEVEL "OPEN" PARKING GARAGE, THE BELOW GRADE "CLOSED" PARKING WILL BE MECHANICALLY VENTILATED. THE ADDITIONAL PARKING WILL INCREASE THIS NUMBER OF SPACES UP TO 131, A RATIO OF 0.80 PARKING SPACES PER GUEST ROOM.

VALET PARKING WILL BE UTILIZED IN ORDER TO MAKE FULL USE OF THE PROPOSED TANDEM PARKING. THIS EQUALS A 19% REDUCTION IN THE REQUIRED PARKING SPACES. PLEASE SEE THE SUPPLEMENTAL PARKING STUDY FOR REDUCTION JUSTIFICATION.

IN ADDITION, THE EXISTING SWIMMING POOL WILL BE REPLACED BY AN EXPANDED LOBBY, COURTYARD, AND SPA FOR HOTEL GUESTS.

THE CURRENT HOTEL HAS (2) DRIVEWAY ENTRANCES. THESE DRIVEWAY APRONS WILL NEED TO BE KEPT TO ACCOMMODATE TRASH PICK-UP ON THE NORTHWEST END AND THE MAIN HOTEL ENTRY WILL BE TOWARD THE SOUTHEAST END.

PUBLIC SERVICE EASEMENT

WE ARE IN THE PROCESS OF ABANDONMENT OF THE PUBLIC SERVICE EASEMENT, WHICH INCLUDES THE LOT AREA OUTSIDE THE EXISTING BUILDING FOOTPRINT.

THE PUBLIC SERVICE EASEMENT MUST BE VACATED PRIOR TO CONSTRUCTION.

PUBLIC BENEFIT CALCULATION

IN COMPLIANCE WITH THE P-38 (EL CAMINO REAL) PRECISE PLAN, THE APPLICANT IS REQUIRED TO PROVIDE A PUBLIC BENEFIT(S) IN EXCHANGE FOR ADDITIONAL DEVELOPMENT INTENSITY AND TO ADVANCE THE GOALS AND POLICIES OF THE EL CAMINO REAL PRECISE PLAN. THE APPLICANT HAS PROPOSED TO CONTRIBUTE THE PUBLIC BENEFIT FUNDS TO THE CITY AFFORDABLE HOUSING FUND WITH AN ESTIMATED VALUE OF $443,512.72. FINAL DETAILS OF THE PUBLIC BENEFIT PACKAGE MUST BE REVIEWED AND APPROVED DURING BUILDING PERMIT REVIEW AND COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE.

GUEST ROOM INFORMATION

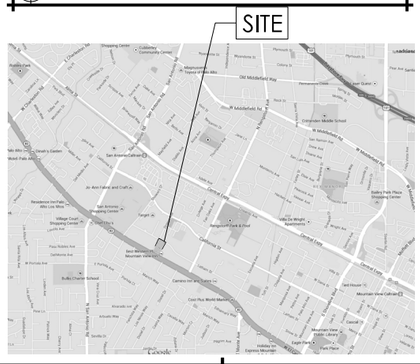
EXISTING GUEST ROOMS:
FIRST FLOOR: 31 ROOMS
SECOND FLOOR: 36 ROOMS
THIRD FLOOR: 4 ROOMS
FOURTH FLOOR: 0 ROOMS
71 ROOMS

PROPOSED GUEST ROOMS:
FIRST FLOOR: 15 ROOMS
SECOND FLOOR: 50 ROOMS
THIRD FLOOR: 44 ROOMS
FOURTH FLOOR: 44 ROOMS
153 ROOMS

DRAWING INDEX

NORTH

VICINITY MAP



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FIRE DEPARTMENT NOTES

FIRE SPRINKLER SYSTEM: PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM TO BE MONITORED BY A CENTRAL STATION MONITORING ALARM COMPANY. THIS MONITORING SHALL INCLUDE WATER FLOW INDICATORS AND TAMPER
SWITCHES ON ALL CONTROL VALVES. THREE (3) SETS OF SHOP-QUALITY DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. ALL WORK SHALL CONFORM TO NFPA 13 (2013 EDITION), NFPA 72 (2013 EDITION), AND MOUNTAIN VIEW FIRE DEPARTMENT SPECIFICATIONS. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR A COPY OF SPECIFICATIONS AND SUBMITTAL REQUIREMENTS. (MOUNTAIN VIEW CITY CODE, SECTIONS 14.10.27, 14.10.28, AND CALIFORNIA FIRE CODE, SECTION 903.)

STANDPIPE SYSTEM: PROVIDE A CLASS III STANDPIPE SYSTEM. (MOUNTAIN VIEW CITY CODE, SECTIONS 14.10.29, 14.10.30, 14.10.31, AND 14.10.32 AND CALIFORNIA FIRE CODE, SECTION 905.)

FIRE PROTECTION DURING CONSTRUCTION: EVERY BUILDING FOUR (4) STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE (1) STANDPIPE FOR USE DURING CONSTRUCTION. SUCH STANDPIPE(S) SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40' IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. SUCH STANDPIPE(S) SHALL BE PROVIDED WITH FIRE DEPARTMENT HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO USABLE STAIRS, AND THE STANDPIPE OUTLETS SHALL BE LOCATED ADJACENT TO SUCH USABLE STAIRS. SUCH STANDPIPE SYSTEMS SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF
THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING. IN EACH FLOOR, THERE SHALL BE PROVIDED A 2.5" VALVE OUTLET FOR FIRE DEPARTMENT USE. (CALIFORNIA FIRE CODE, CHAPTER 33.)

ON-SITE WHARF HYDRANTS: PROVIDE GROUND-LEVEL WET STANDPIPES (WHARF HYDRANTS). ON-SITE WHARF HYDRANTS SHALL BE SO LOCATED AS TO REACH ANY PORTION OF COMBUSTIBLE CONSTRUCTION WITH 150' OF HOSE. INSTALLATION SHALL BE COMPLETE AND THE SYSTEM SHALL BE TESTED PRIOR TO COMBUSTIBLE CONSTRUCTION BEYOND 150' FROM THE PUBLIC RIGHT-OF-WAY. THE WHARF HYDRANT SHALL BE CAPABLE OF PROVIDING A COMBINATION FLOW OF 500 GPM WITH TWO 2.5" OUTLETS FLOWING. THREE (3) COMPLETE SETS OF SHOP-QUALITY DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. (NFPA 24 (2013 EDITION) AND MOUNTAIN VIEW FIRE DEPARTMENT
REQUIREMENTS.)

FIRE EXTINGUISHERS: INSTALL ONE 2-A:10-B:C FIRE EXTINGUISHER FOR EVERY 50'/75' OF TRAVEL OR EVERY 3,000 SQUARE FEET. FIRE EXTINGUISHER LOCATIONS SHALL BE INDICATED ON THE ARCHITECTURAL FLOOR PLANS. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, CHAPTER 3 AND CALIFORNIA FIRE CODE, SECTION 906.)

FIRE EXTINGUISHERS: INSTALL CLASS K FIRE EXTINGUISHERS IN THE COMMERCIAL COOKING EQUIPMENT AREAS. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, CHAPTER 3, AND CALIFORNIA FIRE CODE, SECTION 904.11.5.)

FIRE EXTINGUISHING SYSTEMS: SUBMIT THREE (3) SETS OF SHOP-QUALITY DRAWINGS FOR THE COOKING APPLIANCE FIRE EXTINGUISHING SYSTEM(S). CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR A COPY OF SPECIFICATIONS AND SUBMITTAL REQUIREMENTS. (CALIFORNIA FIRE CODE, SECTION 904.2.1.)

AUTOMATIC/MANUAL FIRE ALARM SYSTEM: PROVIDE AN APPROVED AUTOMATIC/MANUAL FIRE ALARM SYSTEM IN ACCORDANCE WITH CALIFORNIA FIRE CODE AND MOUNTAIN VIEW FIRE DEPARTMENT SPECIFICATIONS.
THREE (3) COMPLETE SETS OF FIRE ALARM SYSTEM SHOP-QUALITY DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. PRIOR TO OCCUPANCY, THE SYSTEM SHALL BE FIELD-TESTED, APPROVED, AND IN SERVICE. PROVISIONS SHALL
BE MADE FOR MONTHLY TESTING, MAINTENANCE, AND SERVICE. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR A COPY OF SPECIFICATIONS AND SUBMITTAL REQUIREMENTS. (CALIFORNIA FIRE CODE, SECTION 907 AND MOUNTAIN VIEW CITY CODE, SECTION 14.10.33.)

SMOKE ALARMS: ALL RESIDENTIAL OCCUPANCIES SHALL BE PROVIDED WITH CALIFORNIA STATE FIRE MARSHALLISTED SMOKE ALARMS. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE
AND THE APPROVED MANUFACTURER'S INSTRUCTIONS. (CALIFORNIA FIRE CODE, SECTION 907.)

LOCKBOX: INSTALL AN APPROVED KEY LOCKBOX PER THE FIRE PROTECTION ENGINEER'S DIRECTIONS. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR INSTRUCTIONS. (CALIFORNIA FIRE CODE, SECTION 506.)

KEYSWITCH: INSTALL AN APPROVED KEY SWITCH PER THE FIRE PROTECTION ENGINEER'S DIRECTIONS. CALL THE BUILDING INSPECTION DIVISION AT (650) 903-6313 FOR INSTRUCTIONS. (CALIFORNIA FIRE CODE, SECTION 506.)
REQUIRED IF THERE IS A GATE FOR UNDERGROUND PARKING GARAGE.

STRETCHER REQUIREMENTS: IN ALL STRUCTURES FOUR (4) OR MORE STORIES IN HEIGHT, AT LEAST ONE ELEVATOR SHALL BE PROVIDED WITH A MINIMUM CLEAR DISTANCE BETWEEN WALLS OR BETWEEN WALLS AND DOOR, EXCLUDING RETURN PANELS, OF NOT LESS THAN 80"X54", AND A MINIMUM DISTANCE FROM WALL TO RETURN PANEL OF NOT LESS THAN 51" WITH A 42" SIDE SLIDE DOOR, UNLESS OTHERWISE DESIGNED TO ACCOMMODATE AN AMBULANCE-TYPE STRETCHER 84"X24" IN THE HORIZONTAL POSITION. (CALIFORNIA BUILDING CODE, SECTION 3002.)

EXIT ILLUMINATION: EXIT PATHS SHALL BE ILLUMINATED ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT HAVING AN INTENSITY OF NOT LESS THAN ONE FOOTCANDLE AT FLOOR LEVEL. POWER SHALL NORMALLY BE BY THE PREMISES WIRING WITH BATTERY BACKUP. EXIT ILLUMINATION SHALL BE INDICATED ON THE ELECTRICAL PLANS. (CALIFORNIA BUILDING CODE, SECTION 1006.)

EXIT SIGNS: EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AND PROVIDED WITH BATTERY BACKUP PER UNIFORM BUILDING CODE CHAPTER 10. EXIT SIGNS SHALL BE POSTED ABOVE EACH REQUIRED EXIT DOORWAY AND WHEREVER OTHERWISE REQUIRED TO CLEARLY INDICATE THE DIRECTION OF EGRESS. (CALIFORNIA BUILDING CODE,
SECTION 1011.)

FLOOR-LEVEL EXIT SIGNS: FLOOR-LEVEL EXIT SIGNS SHALL BE PROVIDED IN ALL INTERIOR EXIT CORRIDORS OF GROUP A, E, I, AND GROUP R2.1 OCCUPANCIES AND IN ALL INTERIOR RATED EXIT CORRIDORS SERVING GUEST ROOMS OF HOTELS IN R1 OCCUPANCIES. (CALIFORNIA BUILDING CODE, SECTION 1011.)

EXIT DOORS IN GROUPS A, E, H, AND I OCCUPANCIES: EXIT DOORS SHALL BE PROVIDED WITH APPROVED PANIC HARDWARE. (CALIFORNIA BUILDING CODE, SECTION 1008.1.10.)

GROUP A OCCUPANCIES: BUILDINGS OR PORTIONS OF BUILDINGS USED FOR ASSEMBLY PURPOSES SHALL CONFORM TO ALL REQUIREMENTS OF TITLE 19 AND THE UNIFORM BUILDING CODE. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO: (1) TWO EXITS; (2) FIRE-RETARDANT DRAPES, HANGINGS, CHRISTMAS TREES, OR OTHER SIMILAR DECORATIVE MATERIAL; AND (3) POSTING OF A MAXIMUM OCCUPANT LOAD SIGN. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTIONS 3.08, 3.21, AND 3.30.)

GROUP A, E, I, AND R-1 OCCUPANCIES: DECORATIVE MATERIALS: ALL DRAPES, HANGINGS, CURTAINS, DROPS, AND ALL OTHER DECORATIVE MATERIAL, INCLUDING CHRISTMAS TREES, SHALL BE MADE FROM A NONCOMBUSTIBLE OR FIRERESISTIVE MATERIAL OR MAINTAINED IN A FLAME-RETARDANT CONDITION BY MEANS OF AN APPROVED FLAME-RETARDANT SOLUTION OR PROCESS APPROVED BY THE CALIFORNIA STATE FIRE MARSHAL. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTIONS 3.08 AND 3.21.)

INTERIOR WALL AND CEILING FINISH: INTERIOR FINISHES SHALL HAVE A FLAME-SPREAD RATING IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, CHAPTER 8, AND CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTION 3.21.

UPHOLSTERED SEATING FURNITURE: ALL UPHOLSTERED SEATING FURNITURE INTENDED FOR USE IN NURSING HOMES, BOARD AND CARE FACILITIES, CONVALESCENT HOMES, CHILD DAY-CARE CENTERS, PUBLIC AUDITORIUMS, AND STADIUMS AND PUBLIC ASSEMBLY AREAS IN HOTELS, MOTELS, AND LODGING HOUSES SHALL CONFORM TO STATE OF CALIFORNIA DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHINGS, TECHNICAL BULLETIN 133. (CALIFORNIA BUSINESS AND PROFESSIONS CODE.)

ON-SITE DRAWINGS: SUBMIT TWO (2) 8.5"X11" PLOT PLAN DRAWINGS ACCORDING TO FIRE DEPARTMENT
SPECIFICATIONS PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.

EMERGENCY PROCEDURE MAPS: IN HOTELS, MOTELS, AND LODGING HOUSES, EVERY GUEST ROOM AVAILABLE
FOR RENTAL SHALL HAVE CLEARLY VISIBLE EMERGENCY PROCEDURES INFORMATION PRINTED ON A FLOOR PLAN
REPRESENTATIVE OF THE FLOOR LEVEL AND POSTED ON THE INTERIOR OF EACH ENTRANCE DOOR OR IMMEDIATELY ADJACENT TO SUCH DOOR. THE BOTTOM OF THE INFORMATION SHALL NOT BE LOCATED MORE THAN 4' ABOVE THE FLOOR LEVEL. EMERGENCY PROCEDURES INFORMATION SHALL BE PRINTED WITH A MINIMUM OF 3/16" HIGH NONDECORATIVE LETTERING PROVIDING A SHARP CONTRAST TO THE BACKGROUND. EMERGENCY PROCEDURES INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: (1) LOCATION OF EXITS AND FIRE ALARM INITIATING STATIONS, IF REQUIRED; (2) WHAT THE FIRE ALARM, IF REQUIRED, SOUNDS AND LOOKS LIKE (AUDIBLE AND VISUAL WARNING DEVICES); (3) FIRE DEPARTMENT EMERGENCY TELEPHONE NUMBER, 911; AND (4) THE PROHIBITION OF ELEVATOR USE DURING EMERGENCIES, IF ANY. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, SECTION 3.09.)

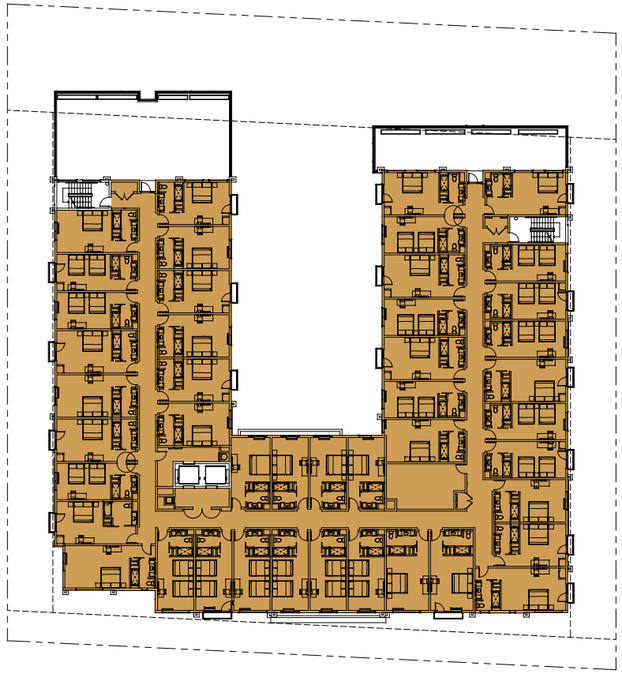
STAIRWAY IDENTIFICATION SIGNS: IN BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT, APPROVED STAIRWAY IDENTIFICATION SIGNS SHALL BE LOCATED AT EACH FLOOR LEVEL IN ALL ENCLOSED STAIRWAYS. THE SIGN SHALL
IDENTIFY THE STAIRWAY AND INDICATE WHETHER THERE IS ROOF ACCESS, THE FLOOR LEVEL, AND THE UPPER AND LOWER
TERMINUS OF THE STAIRWAY. THE SIGN SHALL BE LOCATED 5' ABOVE THE FLOOR LANDING IN A POSITION WHICH IS
READILY VISIBLE WHEN THE DOOR IS IN THE OPEN OR CLOSED POSITION. (CALIFORNIA BUILDING CODE, SECTION 1022.9.)

PREMISES IDENTIFICATION: APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW AND
EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING
THE PROPERTY. ADDRESS SIGNS SHALL BE A MINIMUM OF 6" IN HEIGHT. (MOUNTAIN VIEW CITY CODE, SECTION
14.10.20.)

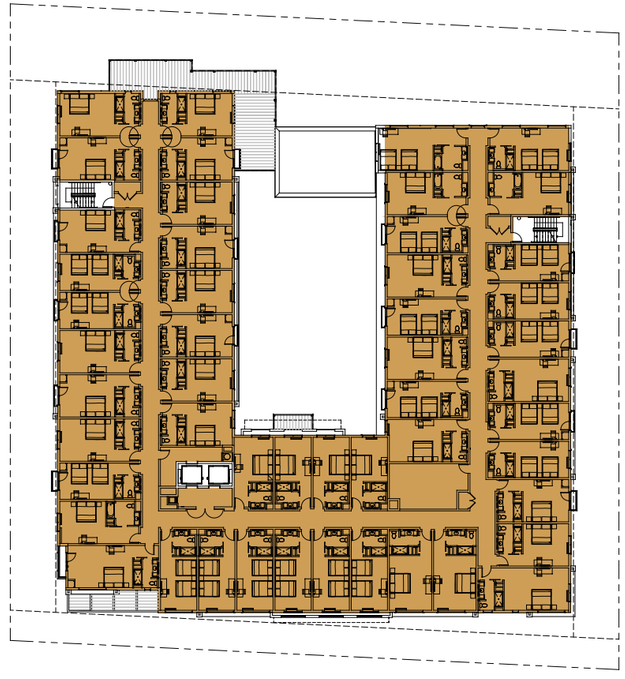
EMERGENCY ESCAPE OPENING ACCESS: PROVIDE CLEAR SPACE AND LADDER PADS AT GROUND LEVEL FOR
EMERGENCY ESCAPE OPENING ACCESS IN R AND I-1 OCCUPANCIES. LADDER PADS SHALL BE ACCESSIBLE BY FIRE CREWS WITH A THREE-SECTION, 12' LONG LADDER. AWNINGS AND WINDOW SHADES SHALL BE DESIGNED TO NOT INTERFERE
WITH LADDER ACCESS. (CALIFORNIA BUILDING CODE, SECTION 1029.)

EMERGENCY RESPONDER RADIO COVERAGE: ALL BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING. (CALIFORNIA FIRE CODE, SECTION 510.)

AREA DIAGRAM

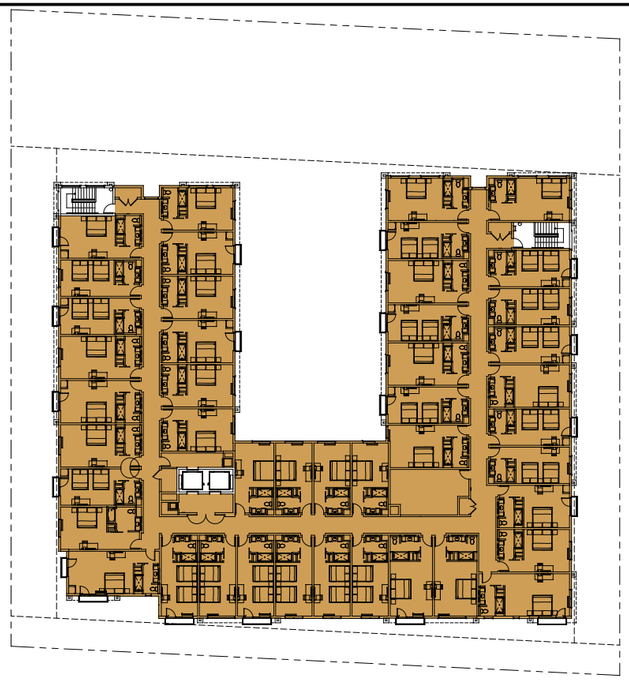


THIRD FLOOR AREA DIAGRAM



SECOND FLOOR AREA DIAGRAM

FIRST FLOOR AREA DIAGRAM



FOURTH FLOOR AREA DIAGRAM

BUILDING AREA	
FIRST FLOOR	14,717
SECOND FLOOR	22,005
THIRD FLOOR	19,318
FOURTH FLOOR	19,318
TOTAL BUILDING AREA	75,358
TOTAL LOT AREA	42,138
PROPOSED FAR	1.8

AREA INFORMATION

AREA COLOR LEGEND

BUILDING AREA
STAIRS & ELEVATORS INCLUDED ON FIRST FLOOR

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PROJECT DATA

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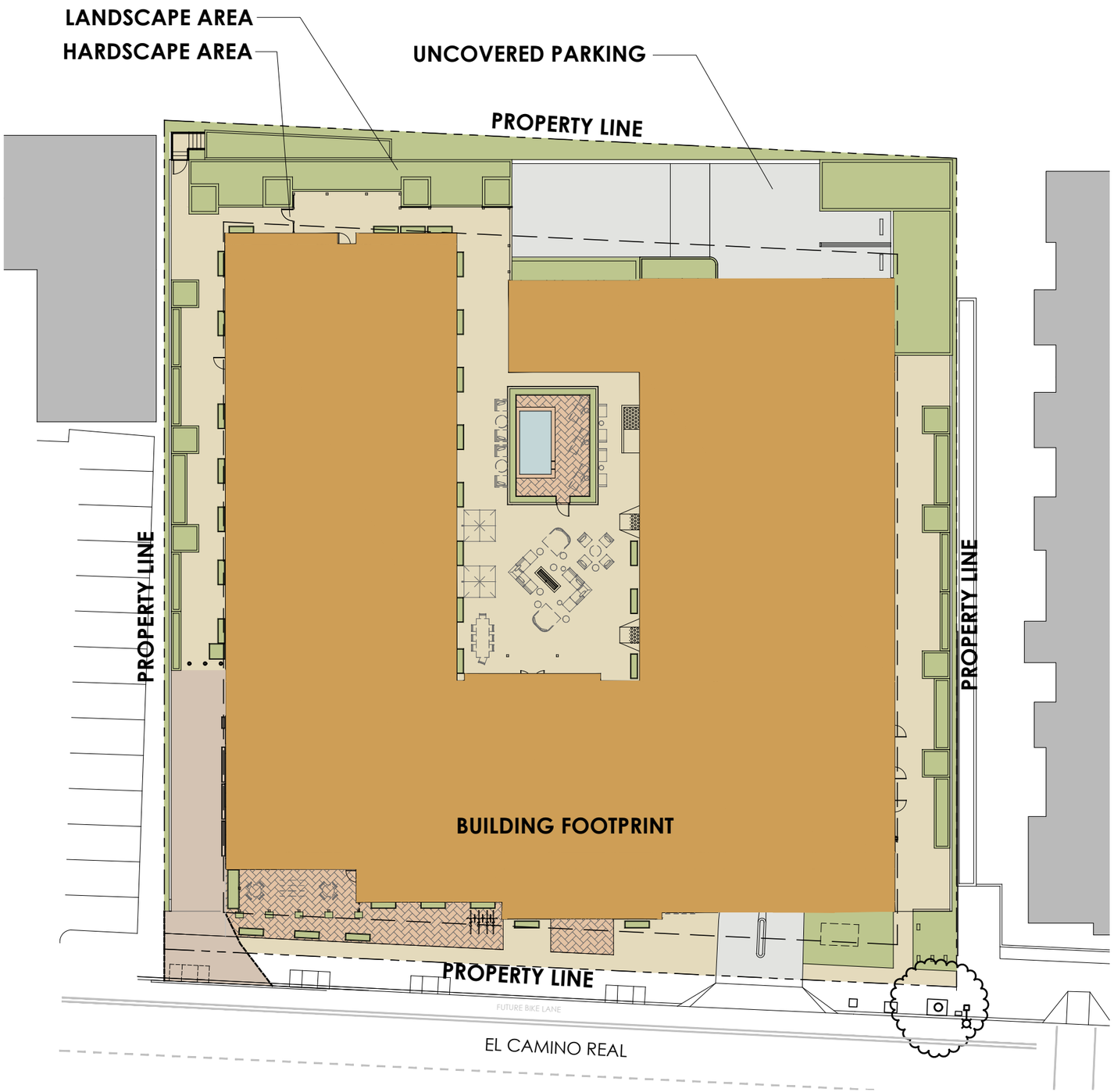

SITE PAVING AREA DIAGRAM

TOTAL SITE AREA:	42,138 SF
BUILDING FOOTPRINT:	23,602 SF
23,602 SF / 42,138 SF:	56%
UNCOVERED LOT AREA:	
42,138 SF - 23,602 SF:	18,536 SF
LANDSCAPE AREA:	5,451 SF
5,451 SF / 18,536 SF:	30%
HARDSCAPE AREA:	13,085 SF
13,085 SF / 18,536 SF:	70%

TOTAL PARKING AREA:	8,661 SF
PARKING COVERED:	6,781 SF
PARKING UNCOVERED:	1,880 SF

PAVING AREA INFORMATION

Arris STUDIO ARCHITECTS

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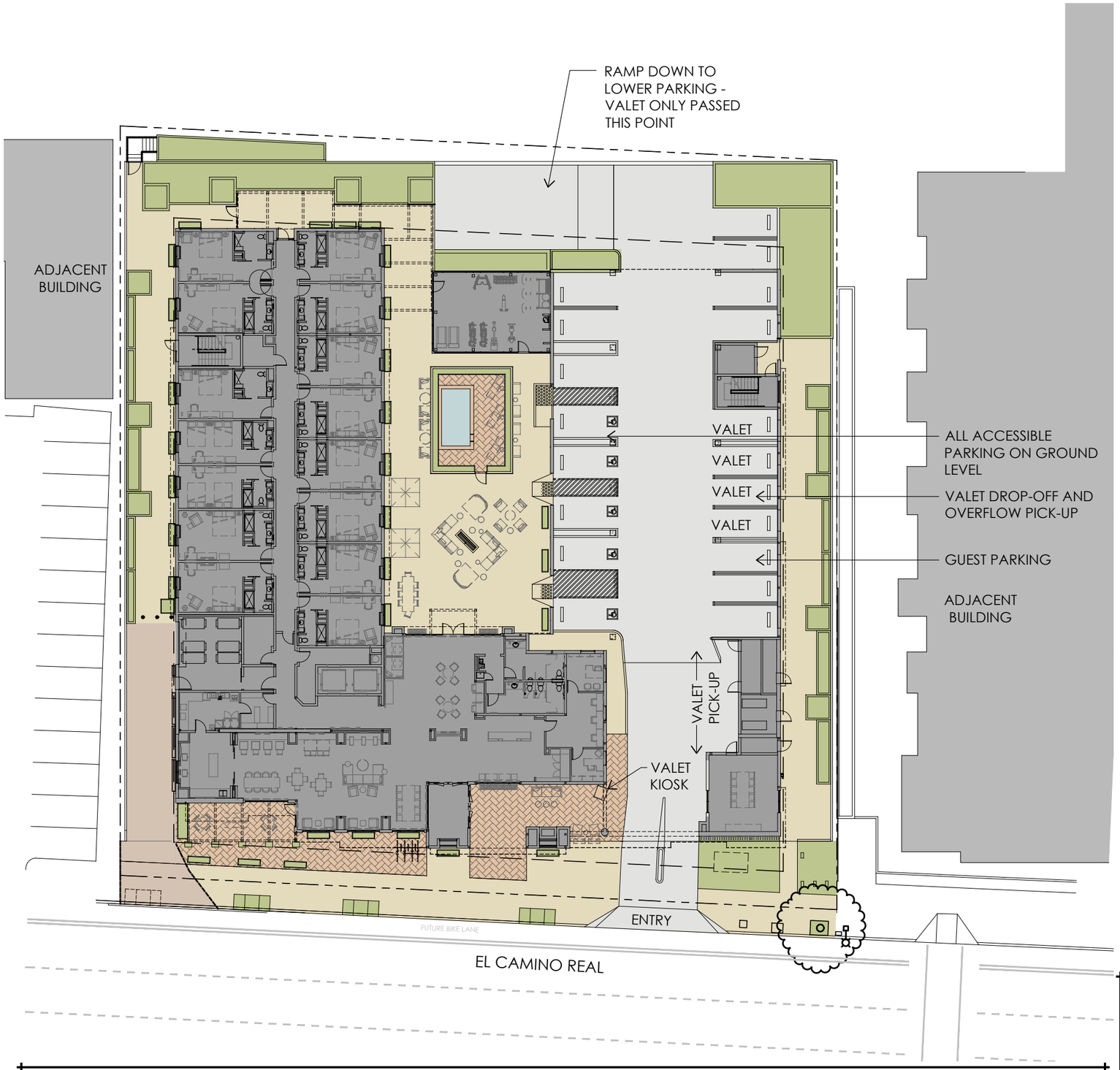

SITE VALET DIAGRAM

Arris STUDIO ARCHITECTS

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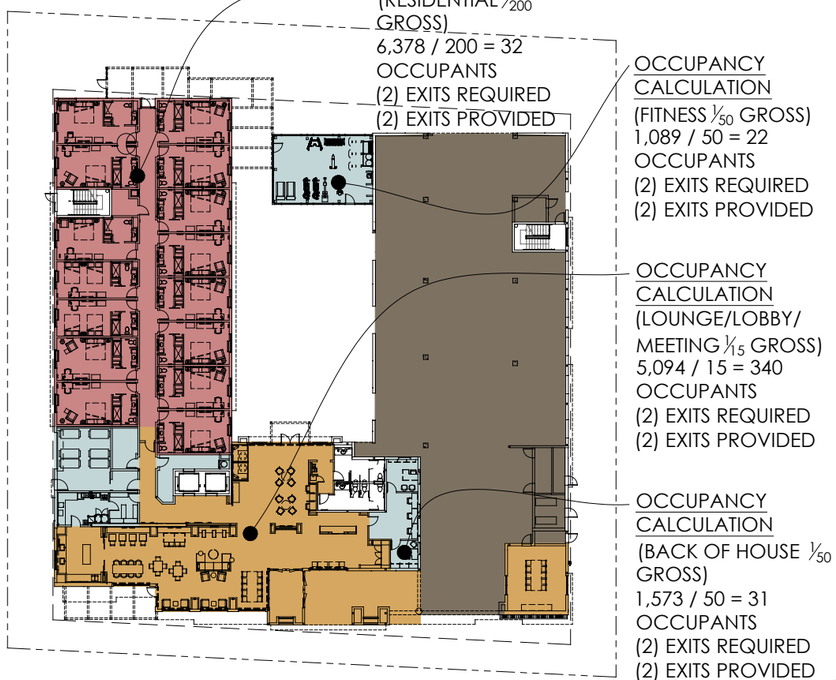
SITE VALET DIAGRAM

April 08, 2020

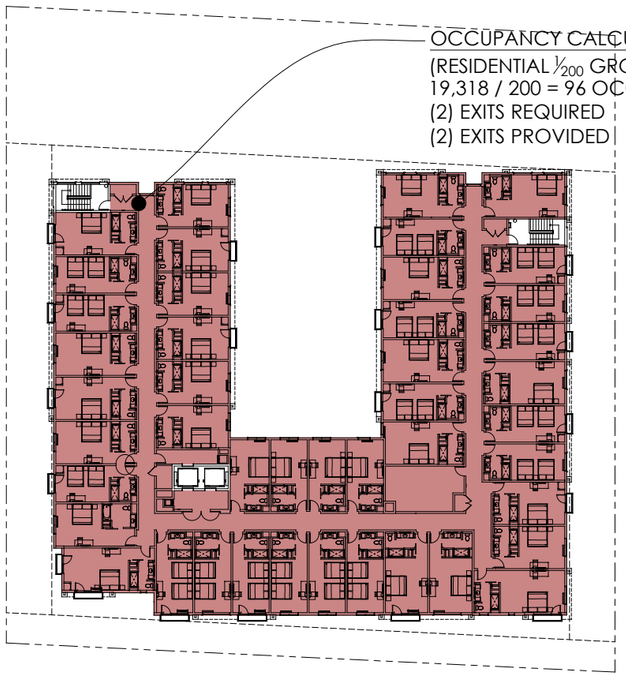
A0.5

SECOND FLOOR OCCUPANCY DIAGRAM (TYPE IIIA)

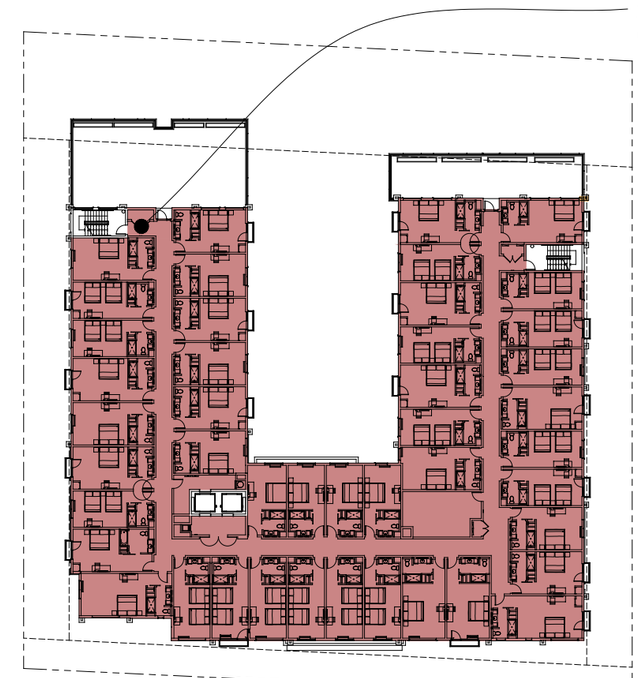


FIRST FLOOR OCCUPANCY DIAGRAM (TYPE IIIA)

BASEMENT OCCUPANCY DIAGRAM (TYPE 1A)



FOURTH FLOOR OCCUPANCY DIAGRAM (TYPE IIIA)



THIRD FLOOR OCCUPANCY DIAGRAM (TYPE IIIA)

COLOR LEGEND

- A-2 OCCUPANCY
- R-1 OCCUPANCY
- S-2 OCCUPANCY
- B OCCUPANCY

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

OCCUPANCY DIAGRAMS

April 08, 2020

A0.7

BUILDING CODE ANALYSIS

OVERALL BUILDING STATISTICS

OCCUPANCY GROUPS: A-2 / B / R-1 / S-2
SEPARATED OCCUPANCIES: YES
TYPE OF CONSTRUCTION: TYPE III-A

FIRE SPRINKLERS: YES (NFPA - 13)

BUILDING HEIGHT ALLOWED: 65 FEET (TABLE 504.3 'S WITH AREA INCREASE') / 50 FEET PER CITY
BUILDING HEIGHT PROPOSED: 50 FEET

NUMBER OF STORIES ALLOWED:
TYPE III-A: 4 STORIES (TABLE 504.4 'S WITH AREA INCREASE')
STORIES PROPOSED: 4 STORIES + BASEMENT

NUMBER OF GUEST ROOMS: 154
NUMBER OF PARKING SPACES: 131

OVERALL BUILDING AREA BY STORY:

*BASEMENT:	35,785 S.F.	(NOT INCLUDED IN TOTAL)
FIRST STORY:	14,717 S.F.	(FIRST STORY ABOVE PODIUM)
SECOND STORY:	22,005 S.F.	(SECOND STORY ABOVE PODIUM)
THIRD STORY:	19,318 S.F.	(THIRD STORY ABOVE PODIUM)
FOURTH STORY:	19,318 S.F.	(FOURTH STORY ABOVE PODIUM)
TOTAL:	**75,358 S.F.**	

NOTES:

*SECTION 506.1.3 BASEMENTS.
BASEMENTS NEED NOT BE INCLUDED IN THE TOTAL ALLOWABLE FLOOR AREA OF A BUILDING PROVIDED THE TOTAL AREA OF SUCH BASEMENTS DOES NOT EXCEED THE AREA PERMITTED FOR A ONE-STORY ABOVE GRADE PLANE BUILDING.

**CLOSED PARKING GARAGE:
PER CMC 403.7 - IN CLOSED PARKING GARAGES MECHANICAL VENTILATION MUST BE PROVIDED.
MECHNICAL VENTILATION REQUIRED AT CLOSED GARAGE: (0.75 CFM PER S.F.)
34,066 S.F. x 0.75 CFM = 25,550 CFM REQUIRED
26,000 CFM PROVIDED

HOTEL ROOMS OVER BASEMENT "CLOSED" PARKING GARAGE/PODIUM
TYPE III-A CONSTRUCTION

BUILDING AREA BY STORY & OCCUPANCY:

*BASEMENT (B OCCUPANCY):	1,885 S.F. (NIC IN TOTAL)
*BASEMENT (S-2 OCCUPANCY)	
"CLOSED" PARKING GARAGE**:	34,913 S.F. (NIC IN TOTAL)
FIRST STORY (A-2 OCCUPANCY):	4,677 S.F.
FIRST STORY (B OCCUPANCY):	2,374 S.F.
FIRST STORY (R-1 OCCUPANCY):	6,699 S.F.
FIRST STORY (S-2 OCCUPANCY)	
"OPEN" PARKING GARAGE***:	6,667 S.F.
FIRST STORY (S-2 OCCUPANCY):	967 S.F.
SECOND STORY (R-1 OCCUPANCY):	22,005 S.F.
THIRD STORY (R-1 OCCUPANCY):	19,318 S.F.
FOURTH STORY (R-1 OCCUPANCY):	19,318 S.F.
TOTAL:	**75,358 S.F.**

ALLOWABLE BUILDING AREA CALCULATION (PER CBC 506.2.4)

Aa = At + (NS x If)
Aa = ALLOWABLE BUILDING AREA PER STORY

A-2 OCCUPANCY
At = PER TABLE 506.2 = SM (WITHOUT HEIGHT INCREASE) = 42,000 S.F.
If = 0
NS = 14,000

Aa = 42,000 S.F. + (14,000 S.F. x 0)
Aa = 42,000 S.F.
TOTAL ALLOWABLE BUILDING AREA = 42,000 S.F. x 1 = 42,000 S.F.

B OCCUPANCY
At = PER TABLE 506.2 = S1 = 114,000 S.F.
If = 0
NS = 28,500

Aa = 114,000 S.F. + (42,000 S.F. x 0)
Aa = 114,000 S.F.
TOTAL ALLOWABLE BUILDING AREA = 114,000 S.F. x 1 = 114,000 S.F.

R-1 OCCUPANCY
At = PER TABLE 506.2 = SM (WITHOUT HEIGHT INCREASE) = 72,000 S.F.
If = 0
NS = 24,000

Aa = 72,000 S.F. + (24,000 S.F. x 0)
Aa = 72,000 S.F.
TOTAL ALLOWABLE BUILDING AREA = 72,000 S.F. x 1 = 72,000 S.F.

S-2 OCCUPANCY
At = PER TABLE 506.2. = S1 = 156,000 S.F.
If = 0
NS = 39,000

Aa = 156,000 S.F. + (39,000 S.F. x 0)
Aa = 156,000 S.F.
TOTAL ALLOWABLE BUILDING AREA = 156,000 S.F. x 1 = 156,000 S.F.

ALLOWABLE BUILDING AREA CALCULATION - PER STORY (PER CBC 508.4.2)

ACTUAL AREA / Aa = < 1.00

MIXED OCCUPANCY - BASEMENT:

B OCCUPANCY
1,885 S.F. / 114,000 S.F. = 0.016

S-2 OCCUPANCY ("CLOSED" PARKING GARAGE)**
34,913 S.F. / 156,000 S.F. = 0.22

TOTAL MIXED OCCUPANCY: 0.016 + 0.22 = 0.25 < 1.00 (OKAY)

MIXED OCCUPANCY - FIRST STORY:

A-2 OCCUPANCY
4,677 S.F. / 42,000 S.F. = 0.11

B OCCUPANCY
2,374 S.F. / 114,000 S.F. = 0.20

R-1 OCCUPANCY
6,699 S.F. / 72,000 S.F. = 0.09

S-2 OCCUPANCY ("OPEN" PARKING GARAGE***)
6,667 S.F. / 156,000 S.F. = 0.04

S-2 OCCUPANCY
967 S.F. / 156,000 S.F. = 0.006

TOTAL MIXED OCCUPANCY: 0.11 + 0.20 + 0.09 + 0.04 + 0.006 = 0.45 < 1.00 (OKAY)

SECOND STORY:
R-1 OCCUPANCY
22,005 S.F. / 72,000 S.F. = 0.31 < 1.00 (OKAY)

THIRD STORY:
R-1 OCCUPANCY
19,318 S.F. / 72,000 S.F. = 0.27 < 1.00 (OKAY)

FOURTH STORY:
R-1 OCCUPANCY
19,318 S.F. / 72,000 S.F. = 0.27 < 1.00 (OKAY)

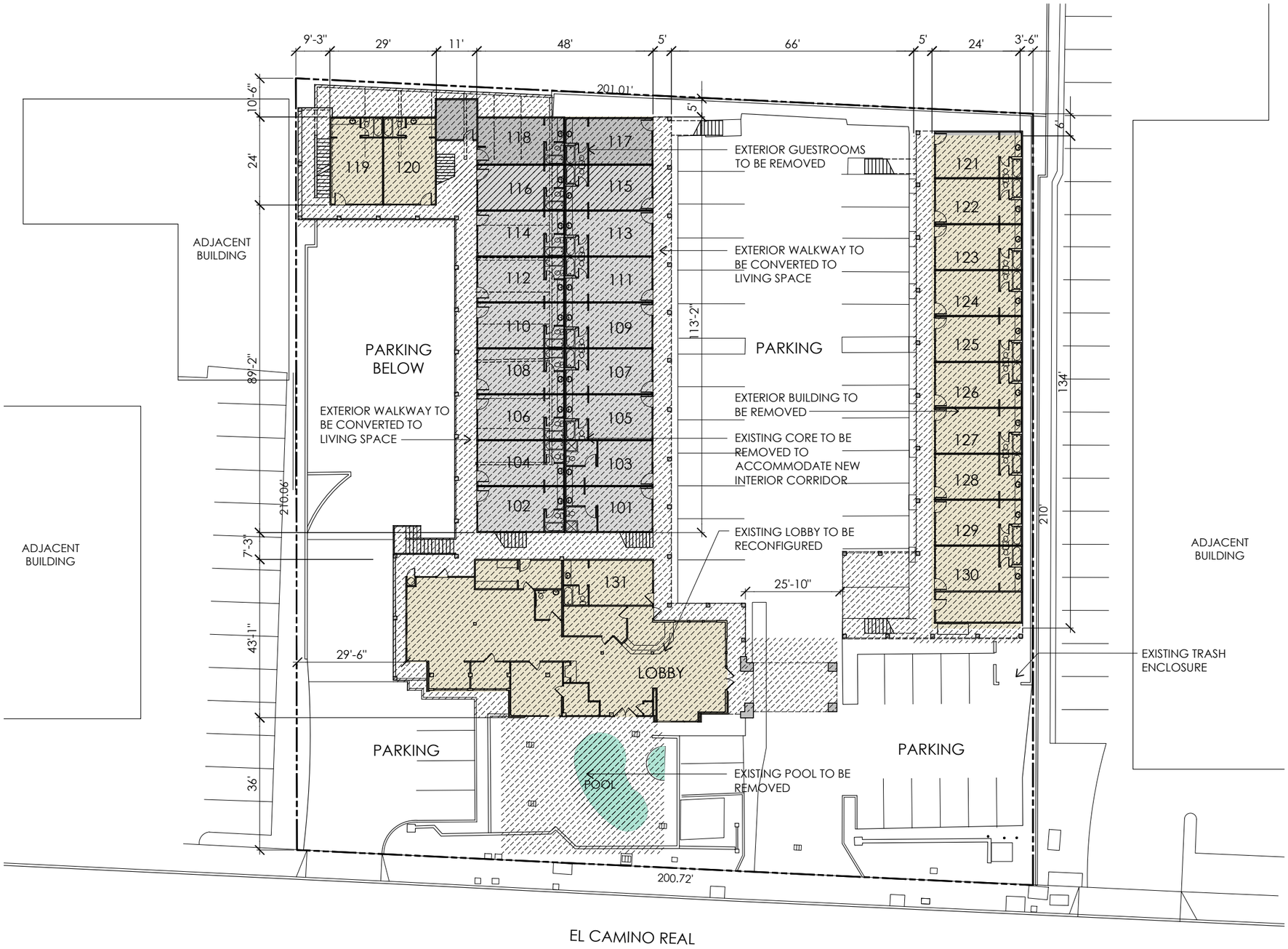
TOTAL ALLOWABLE BUILDING AREA CALCULATION (PER CBC 506.2.4)
TOTAL AGGREGATE SUM OF RATIOS PER STORY = < 2.00

TOTAL: 0.25 + 0.45 + 0.31 + 0.27 + 0.27 = 1.55 < 2.00 (OKAY)

Arris STUDIO ARCHITECTS

Proposed Hotel
2300 West El Camino Real
Mountain View, California

BUILDING CODE ANALYSIS
April 08, 2020
A0.8



LEGEND

AREA OF EXISTING BUILDING TO BE REMOVED - REMOVE ALL EXISTING STRUCTURES

DEMOLITION SITE PLAN / FIRST FLOOR PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36

0 3 6 9 12 15 30

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

EXISTING PLANS

April 08, 2020

A1.0

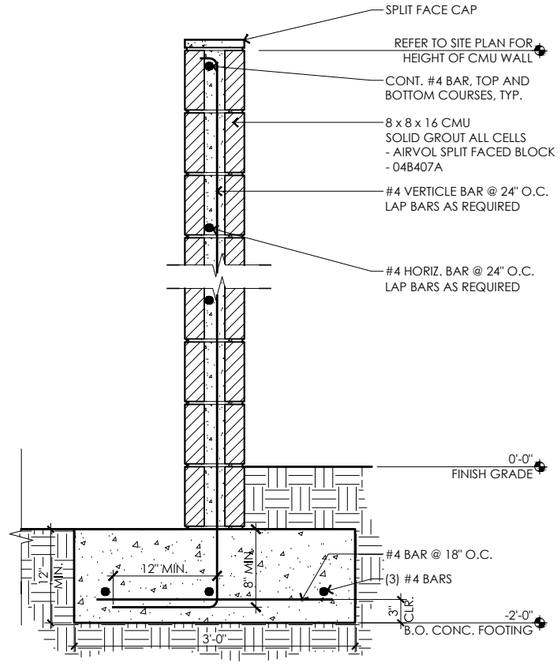
PROPOSED SITE PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36

0 3 6 9 12 15 30

PROPOSED BIKE RACKS - INVERTED "U"



CMU WALL SECTION SCALE: N.T.S.

Arris STUDIO ARCHITECTS

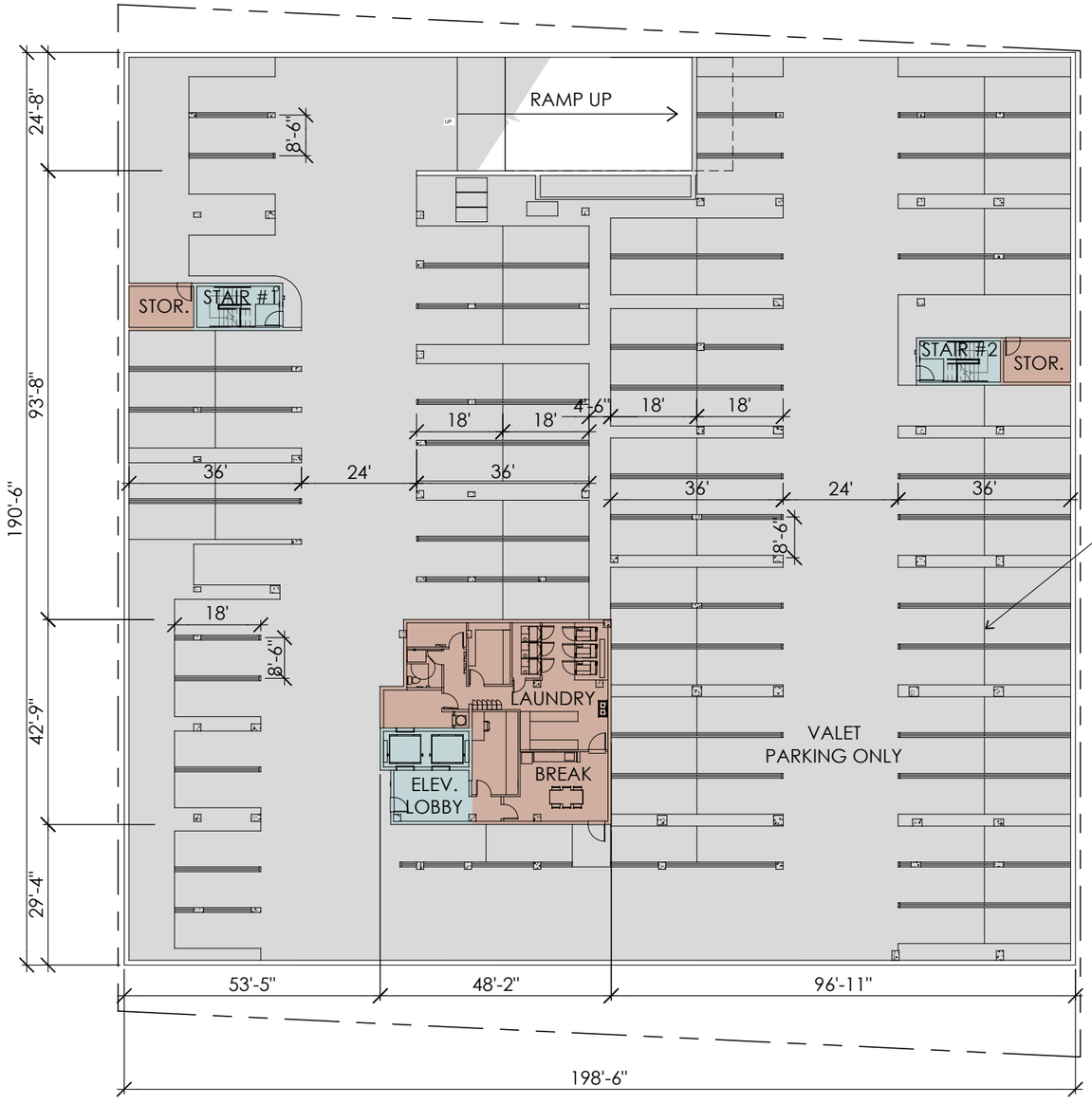
Proposed Hotel

2300 West El Camino Real
Mountain View, California

SITE PLAN

April 08, 2020

A3.0



TANDEM PARKING STALLS

THE TANDEM PARKING STALLS WILL NOT BE USED BY GUESTS. THE OVERFLOW PARKING WILL ONLY BE USED BY THE VALET PARKING STAFF. PLEASE SEE SEPARATE VALET PARKING MEMO FOR THE VALET OPERATION, AND TANDEM PARKING.

COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY — GYM, SPA DECK
- DINING
- CIRCULATION — ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

PROPOSED BASEMENT FLOOR PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36
0 3 6 9 12 15 30

Arris STUDIO ARCHITECTS

Proposed Hotel

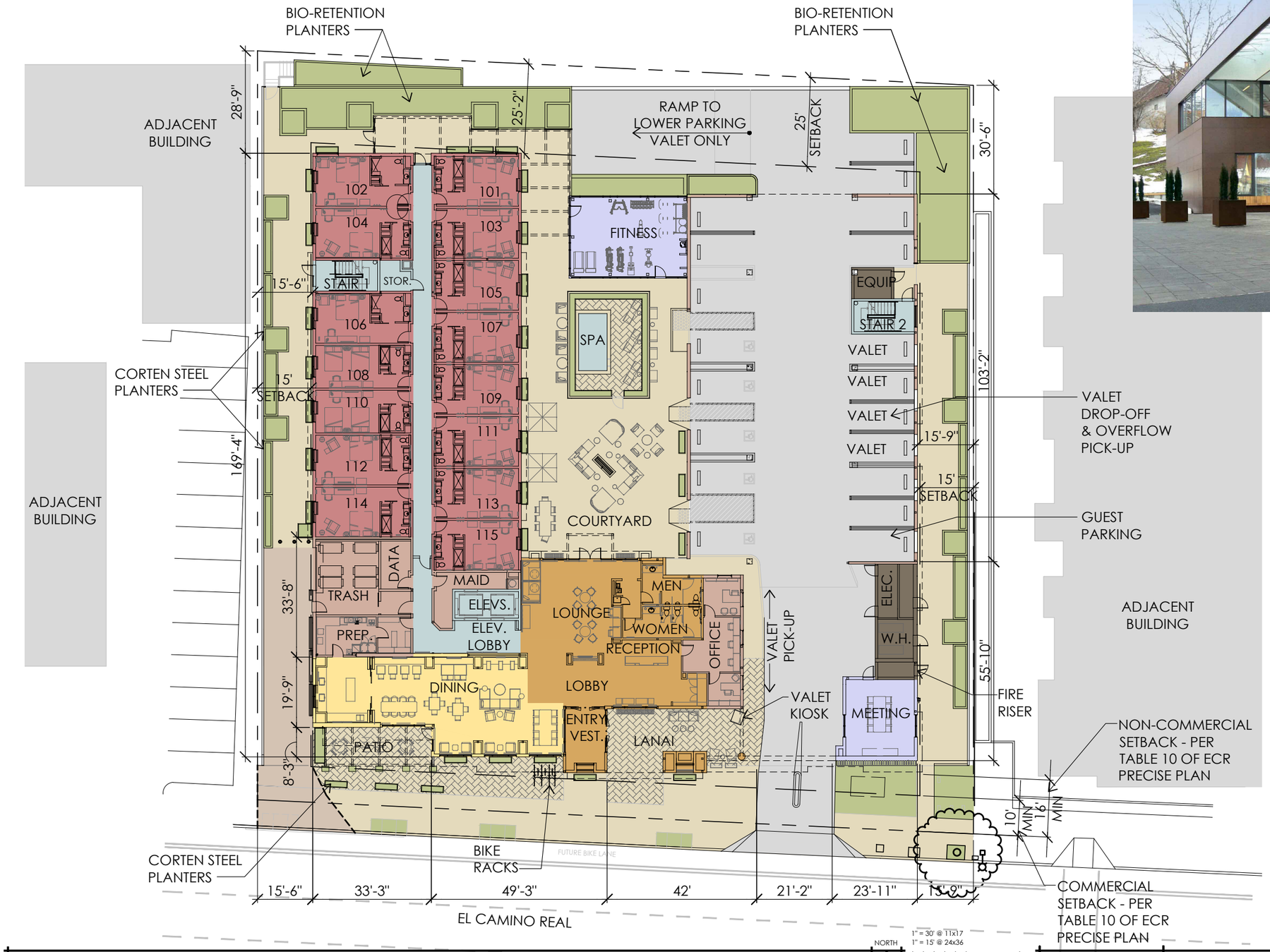
2300 West El Camino Real
Mountain View, California

FLOOR PLANS

April 08, 2020

A4.0

CORTEN STEEL PLANTERS



COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY — GYM, SPA DECK
- DINING
- CIRCULATION — ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

* HOTEL USES IN REQUIRED GROUND FLOOR COMMERCIAL AREAS MAY INCLUDE LOBBIES, LOUNGES, FITNESS ROOMS OR OTHER USES COMPATIBLE WITH THE PURPOSES AND INTENT OF THESE AREAS. - OTHER LAND USE REQUIREMENTS - #4 HOTEL ACCESSORY STRUCTURES & USES.

PROPOSED FIRST FLOOR PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36
0 3 6 9 12 15 30

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

FLOOR PLANS

April 08, 2020

A4.1

COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY — GYM, SPA DECK
- DINING
- CIRCULATION — ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

PROPOSED SECOND FLOOR PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36

0 3 6 9 12 15 30

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

FLOOR PLANS

April 08, 2020

A4.2

PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS

PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 8 FT MAX ENCROACHMENT INTO EL CAMINO REAL SETBACK. PROJECTION OVER SIDEWALK SHALL BE 8 FT MIN ABOVE GRADE.

CORTEN PLANTERS

PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS

NON-COMMERCIAL SETBACK - PER TABLE 10 OF ECR PRECISE PLAN

COMMERCIAL SETBACK - PER TABLE 10 OF ECR PRECISE PLAN

COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY — GYM, SPA DECK
- DINING
- CIRCULATION — ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

PROPOSED THIRD FLOOR PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36
0 3 6 9 12 15 30

Arris STUDIO ARCHITECTS

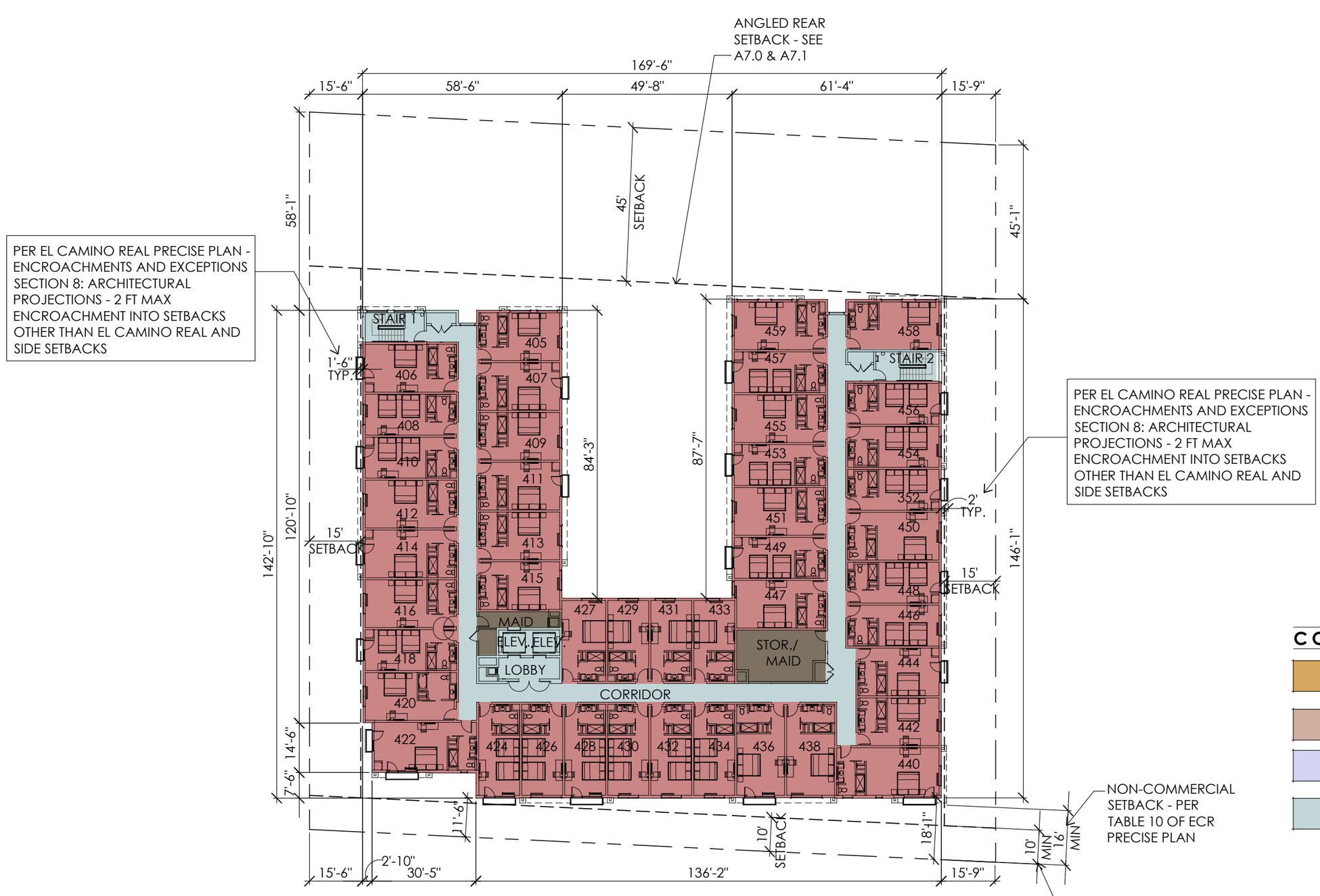
Proposed Hotel

2300 West El Camino Real
Mountain View, California

FLOOR PLANS

April 08, 2020

A4.3



PER EL CAMINO REAL PRECISE PLAN - ENCROACHMENTS AND EXCEPTIONS SECTION 8: ARCHITECTURAL PROJECTIONS - 2 FT MAX ENCROACHMENT INTO SETBACKS OTHER THAN EL CAMINO REAL AND SIDE SETBACKS

COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY — GYM, SPA DECK
- DINING
- CIRCULATION — ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

PROPOSED FOURTH FLOOR PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36
0 3 6 9 12 15 30

Arris STUDIO ARCHITECTS

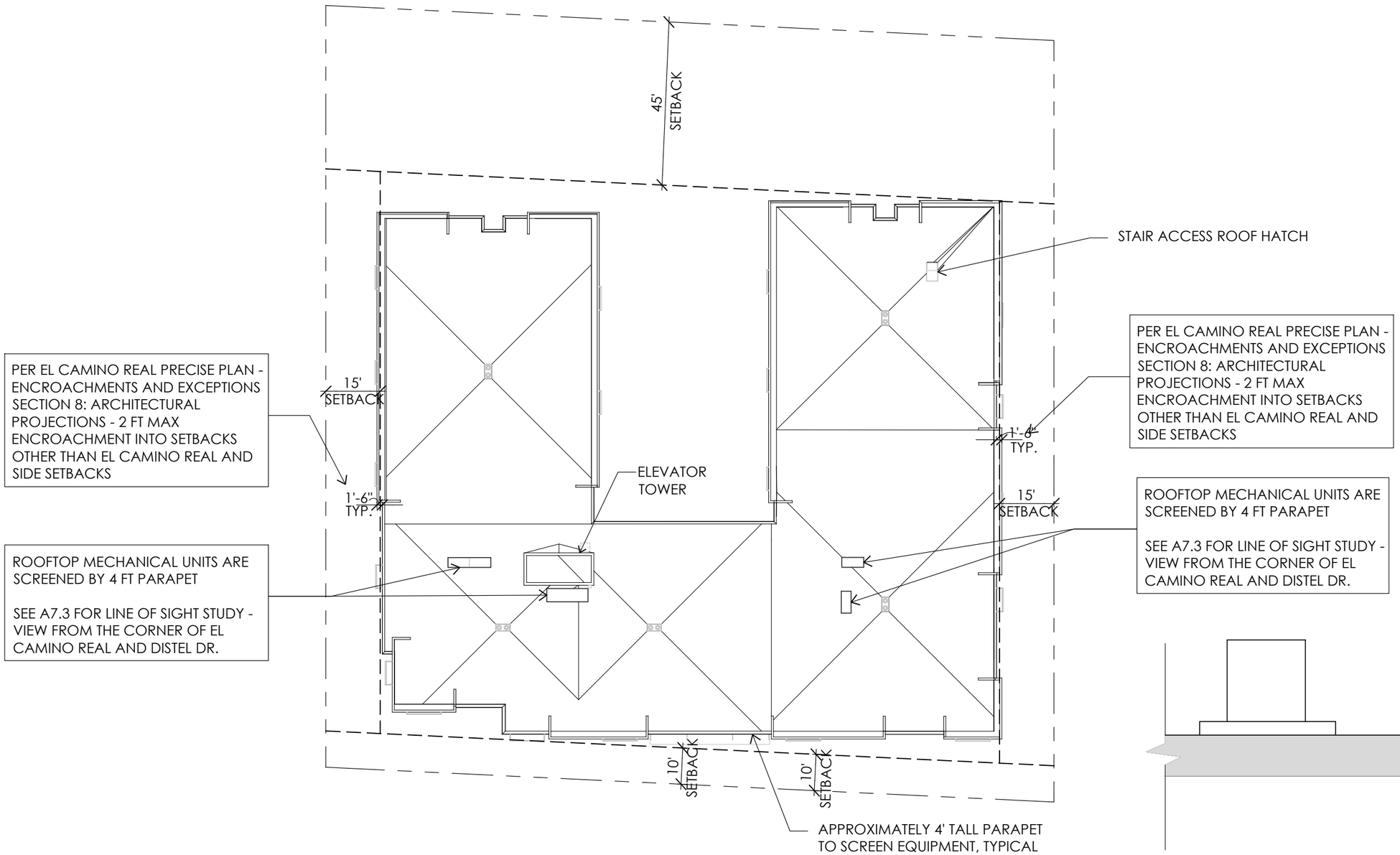
Proposed Hotel

2300 West El Camino Real
Mountain View, California

FLOOR PLANS

April 08, 2020

A4.4



PROPOSED ROOF PLAN

NORTH

1" = 30' @ 11x17
1" = 15' @ 24x36

0 3 6 9 12 15 30

MECHANICAL SCREEN

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

FLOOR PLANS

April 08, 2020

A4.5

PERSPECTIVE AT EL CAMINO REAL

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.0

PERSPECTIVE AT EL CAMINO REAL

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.1

PERSPECTIVE AT EL CAMINO REAL - EYE LEVEL

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.2

PERSPECTIVE AT COURTYARD

Arris STUDIO ARCHITECTS

Proposed Hotel

2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.3

PERSPECTIVE AT COURTYARD

Arris STUDIO ARCHITECTS

Proposed Hotel

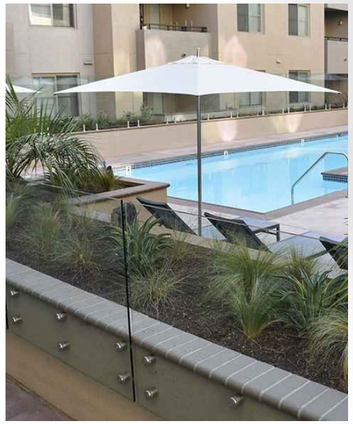
2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.3a

GLASS ENCLOSED
FITNESS CENTER



GLASS RAILING AND PLANTER
AT SPA PERIMETER

VIEW FROM SOUTH

VIEW FROM NORTH

AERIAL VIEWS AT COURTYARD

Arris
STUDIO ARCHITECTS

Proposed
Hotel

2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.3b

PERSPECTIVE AT LANAI AND HOTEL ENTRY

Arris STUDIO ARCHITECTS

Proposed
Hotel

2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.4

PERSPECTIVE AT WALL ART AT NIGHT

Arris
STUDIO ARCHITECTS

Proposed
Hotel

2300 West El Camino Real
Mountain View, California

PERSPECTIVE

MARCH 29, 2019

A5.5

SMOOTH PLASTER FRAME:
BM-1617 CHEATING HEART

SMOOTH PLASTER:
BM - LINEN WHITE

METAL FRAME TRELLIS WITH WOOD JOISTS

SMOOTH PLASTER:
BM - OC-67 ICE MIST

TRESPA PANEL:
SIENNA BROWN

PL

PL

52'-6"
50'-0"
46'-0"
36'-0"
25'-8"
15'-4"
14'-0"
FLOOR TO CEILING
0'-0"

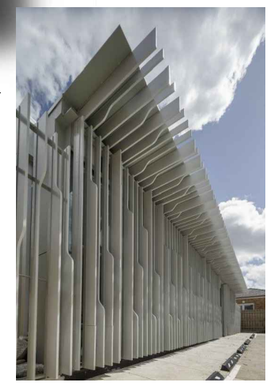
Hampton Inn

25'

OUTDOOR SEATING

WOOD PLANK
TRESPA SIDING
COLOR: MILANO
GRIGIO

METAL FRAME TRELLIS WITH
WOOD JOISTS



VERTICAL METAL FIN WALL ART
TO BE BACK LIT AT NIGHT

FRONT ELEVATION AT EL CAMINO REAL

1 /16" = 1'-0" @ 11x17
1 /8" = 1'-0" @ 24x36

0 2 4 8 16

Arris
STUDIO ARCHITECTS

Proposed
Hotel

2300 West El Camino Real
Mountain View, California

ELEVATIONS & MATERIALS

April 08, 2020

A6.0

EAST ELEVATION

1 /16" = 1'-0" @ 11x17
1 /8" = 1'-0" @ 24x36

0 2 4 8 16

Arris
STUDIO ARCHITECTS

Proposed
Hotel

2300 West El Camino Real
Mountain View, California

ELEVATIONS

April 08, 2020

A6.1

NORTH ELEVATION

1 /16" = 1'-0" @ 11x17
1 /8" = 1'-0" @ 24x36

0 2 4 8 16

Arris
STUDIO ARCHITECTS

Proposed
Hotel

2300 West El Camino Real
Mountain View, California

ELEVATIONS

April 08, 2020

A6.2

WEST ELEVATION

1 /16" = 1'-0" @ 11x17
1 /8" = 1'-0" @ 24x36

0 2 4 8 16

Arris STUDIO ARCHITECTS

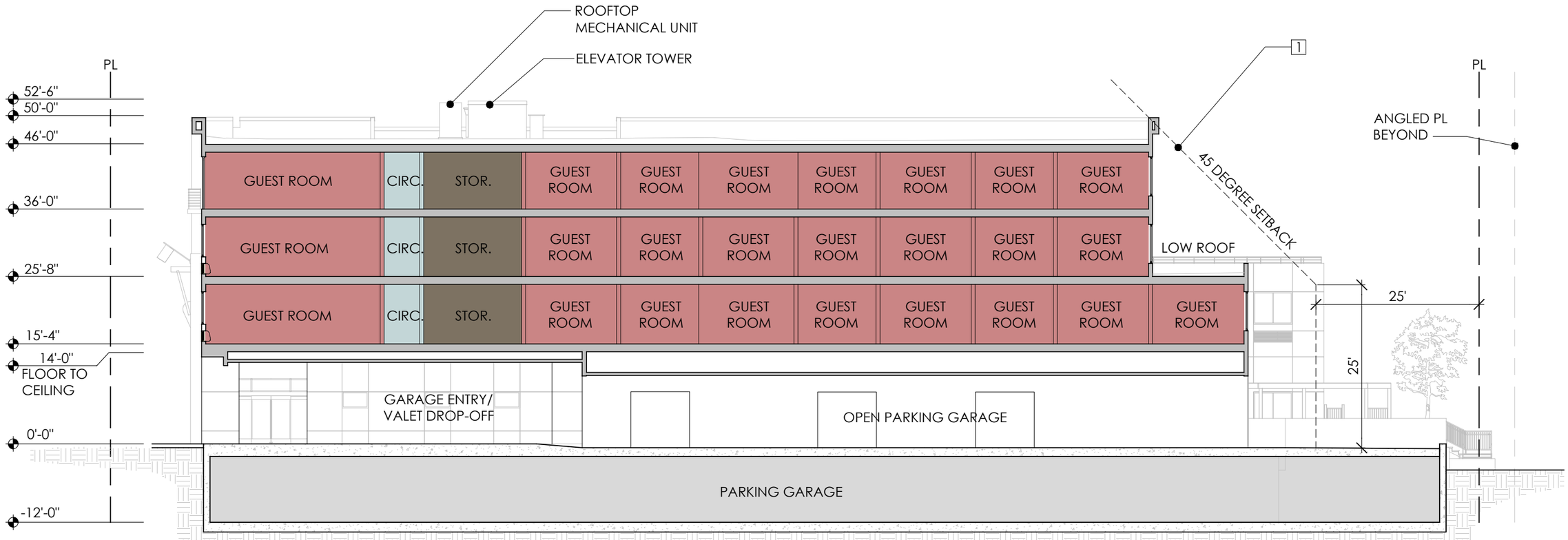
Proposed Hotel

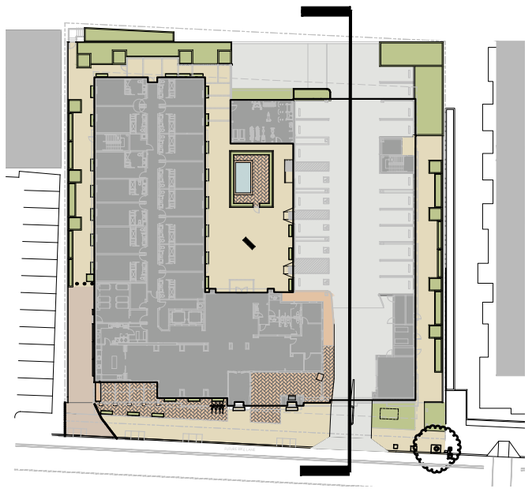
2300 West El Camino Real
Mountain View, California

ELEVATIONS

April 08, 2020

A6.3





1 PER THE EL CAMINO REAL PRECISE PLAN (PG.30 / FIGURE 14.)
- MAXIMUM HEIGHT ADJACENT TO RESIDENTIAL

COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY
  GYM, SPA DECK
- DINING
- CIRCULATION
  ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

SECTIONS

1 /16" = 1'-0" @ 11x17
1 /8" = 1'-0" @ 24x36

0 2 4 8 16

Arris STUDIO ARCHITECTS

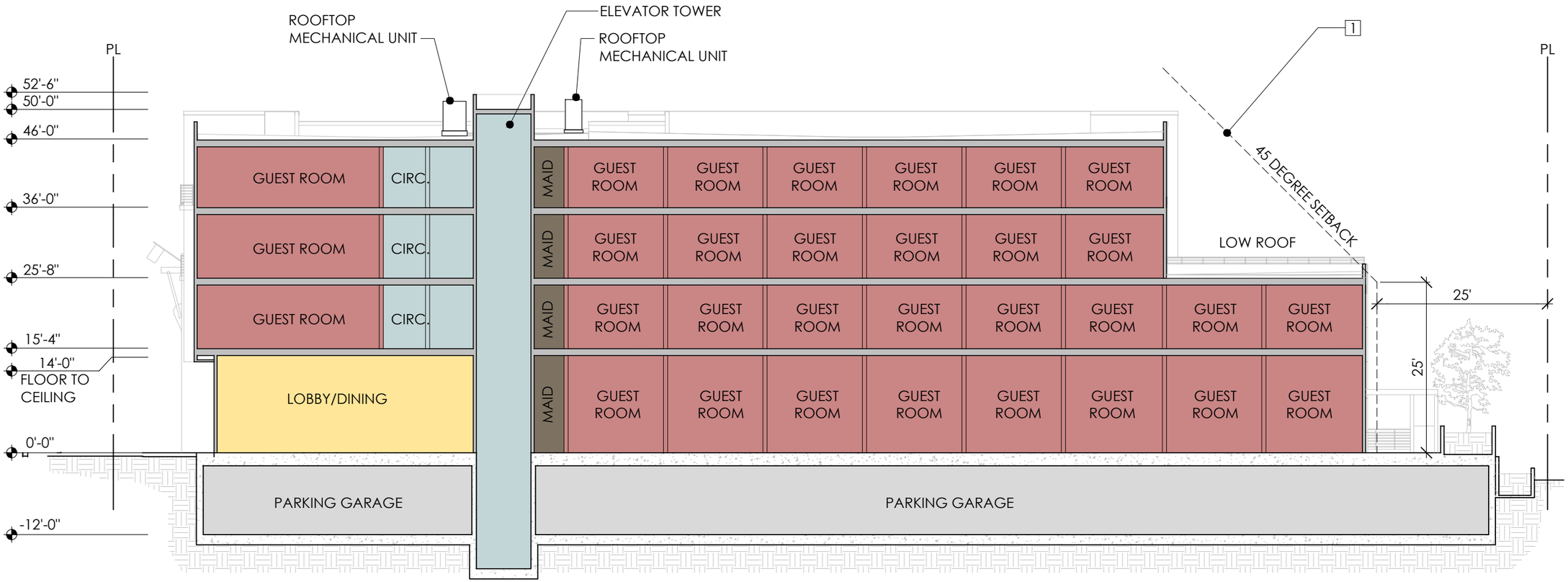
Proposed
Hotel

2300 West El Camino Real
Mountain View, California

SECTIONS

April 08, 2020

A7.0



[1] PER THE EL CAMINO REAL PRECISE PLAN (PG.30 / FIGURE 14.)
- MAXIMUM HEIGHT ADJACENT TO RESIDENTIAL

COLOR LEGEND

- LOBBY/LOUNGE
- BACK OF HOUSE
- REC/AMENITY
  GYM, SPA DECK
- CIRCULATION
  ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- SERVICE
- GUEST ROOMS
- DINING
- LANDSCAPE
- HARDSCAPE

SECTIONS

1/16" = 1'-0" @ 11x17
1/8" = 1'-0" @ 24x36

0 2 4 8 16

Arris STUDIO ARCHITECTS

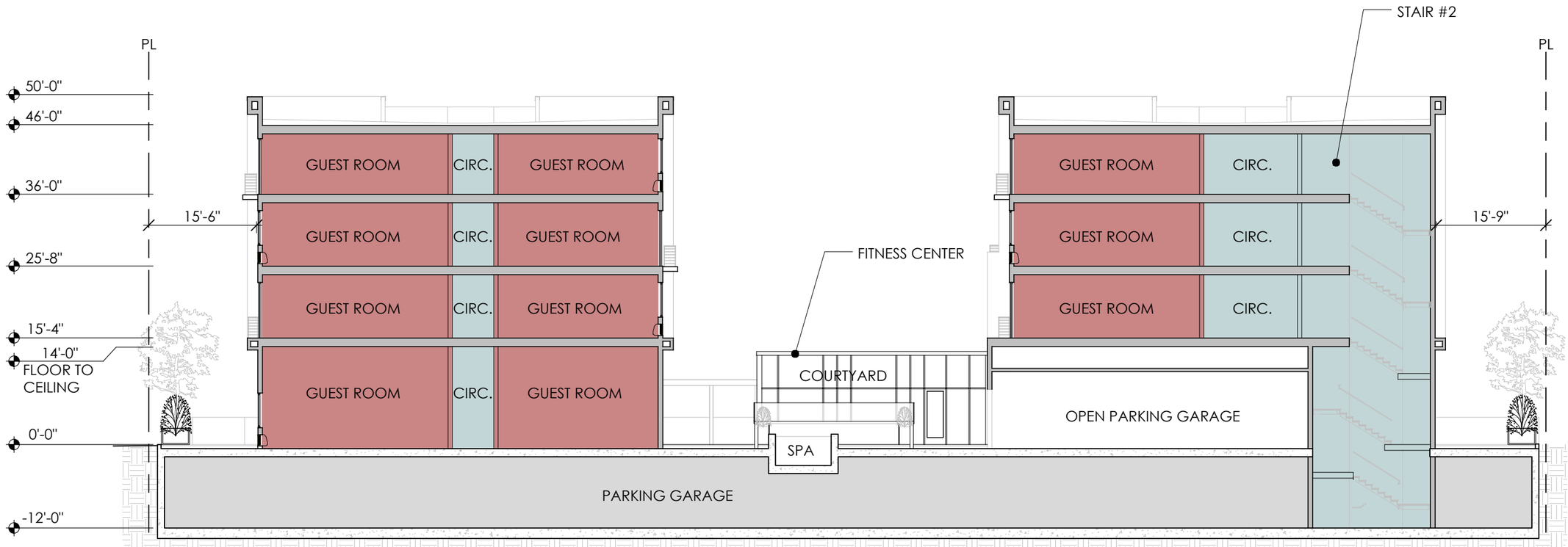
Proposed Hotel

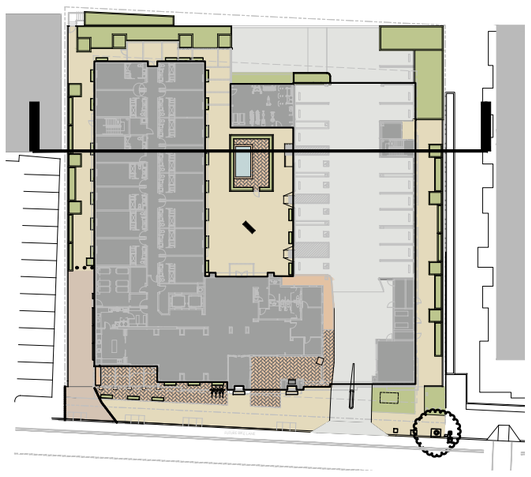
2300 West El Camino Real
Mountain View, California

SECTIONS

April 08, 2020

A7.1





COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY — GYM, SPA DECK
- DINING
- CIRCULATION — ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

1 /16" = 1'-0" @ 11x17
1 /8" = 1'-0" @ 24x36

0 2 4 8 16

SECTIONS

Arris STUDIO ARCHITECTS

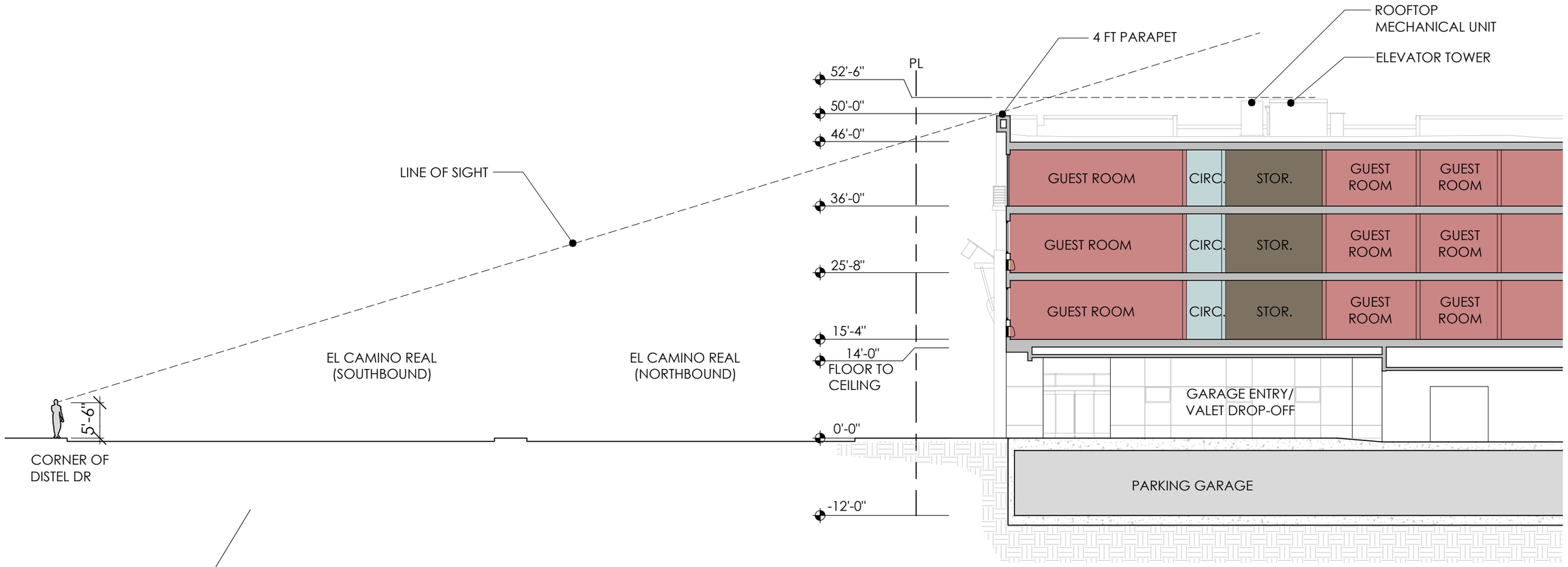
Proposed Hotel

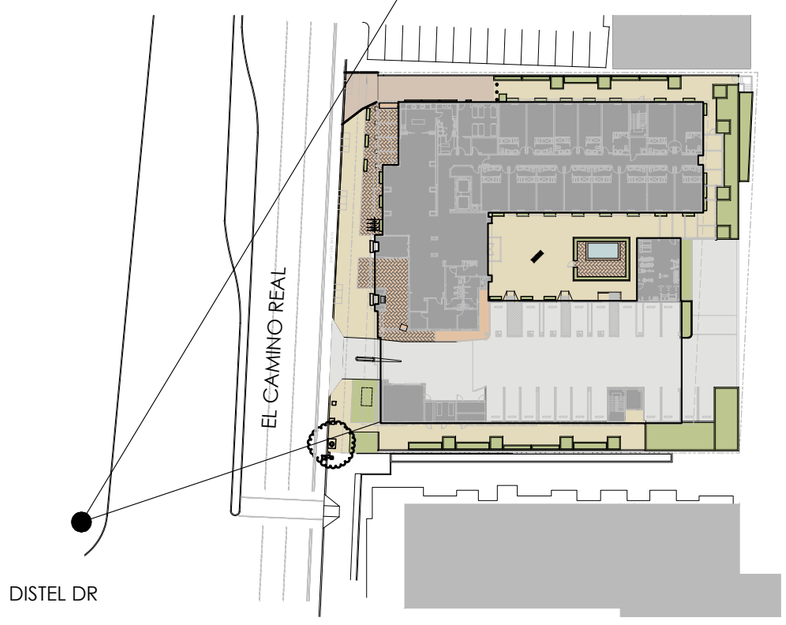
2300 West El Camino Real
Mountain View, California

SECTIONS

April 08, 2020

A7.2





COLOR LEGEND

- LOBBY/LOUNGE
- SERVICE
- BACK OF HOUSE
- GUEST ROOMS
- REC/AMENITY
  GYM, SPA DECK
- DINING
- CIRCULATION
  ELEV. LOBBY, CORRIDOR, STAIRS & ELEVATOR
- LANDSCAPE
- HARDSCAPE

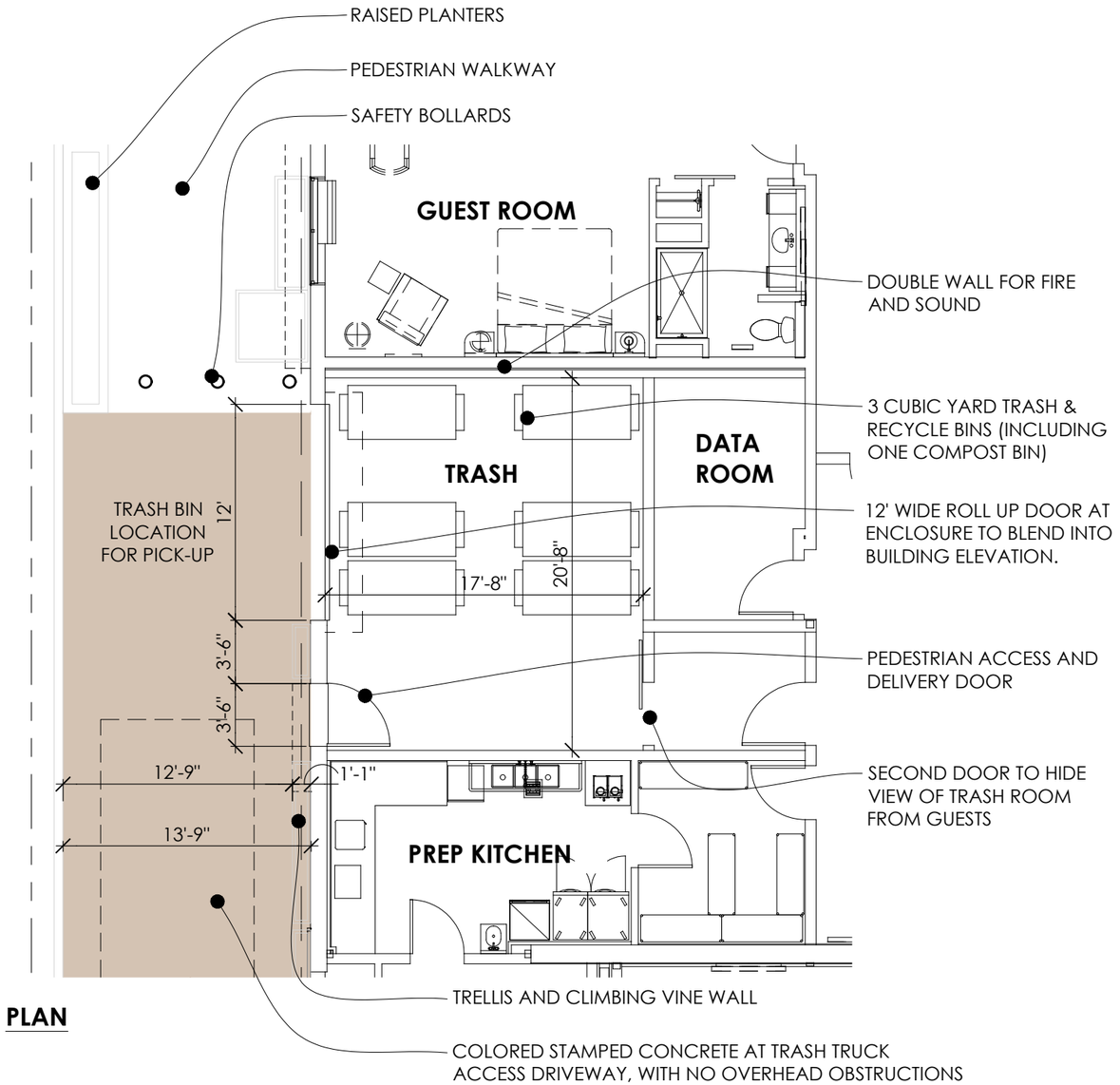
LINE OF SIGHT STUDY - VIEW FROM THE CORNER OF EL CAMINO REAL & DISTEL DR

1 /16" = 1'-0" @ 11x17
1 /8" = 1'-0" @ 24x36
0 2 4 8 16

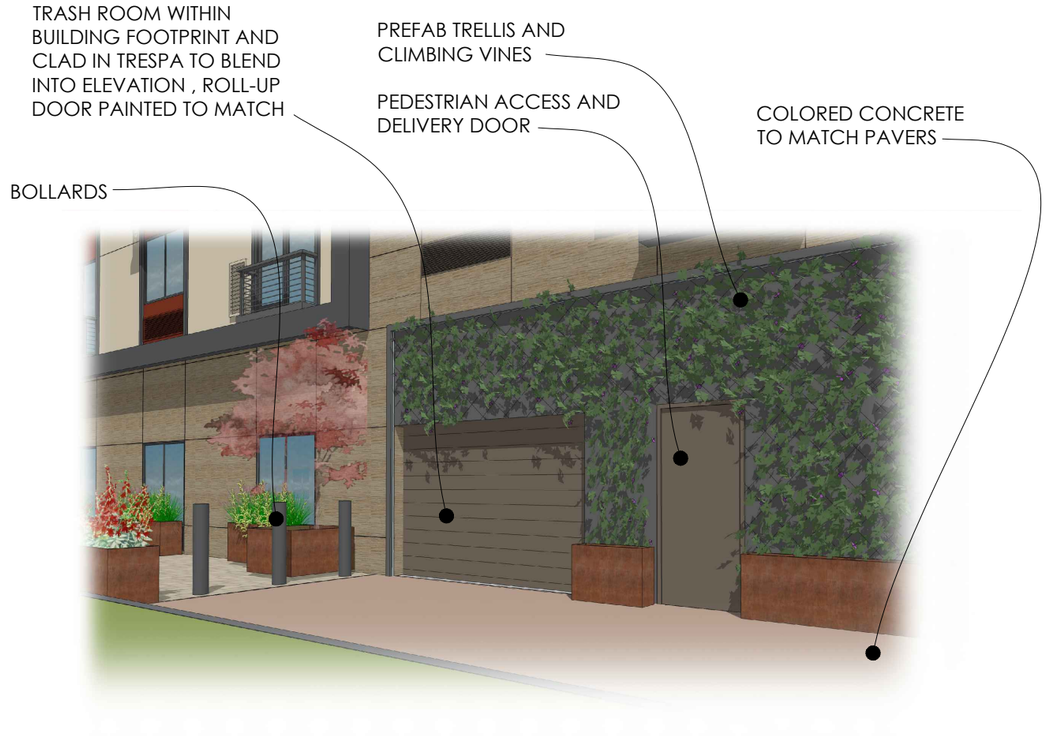
Arris STUDIO ARCHITECTS

Proposed
Hotel
2300 West El Camino Real
Mountain View, California

LINE OF SIGHT STUDY
April 08, 2020
A7.3



PLAN



PERSPECTIVE

PROPOSED TRASH ENCLOSURE

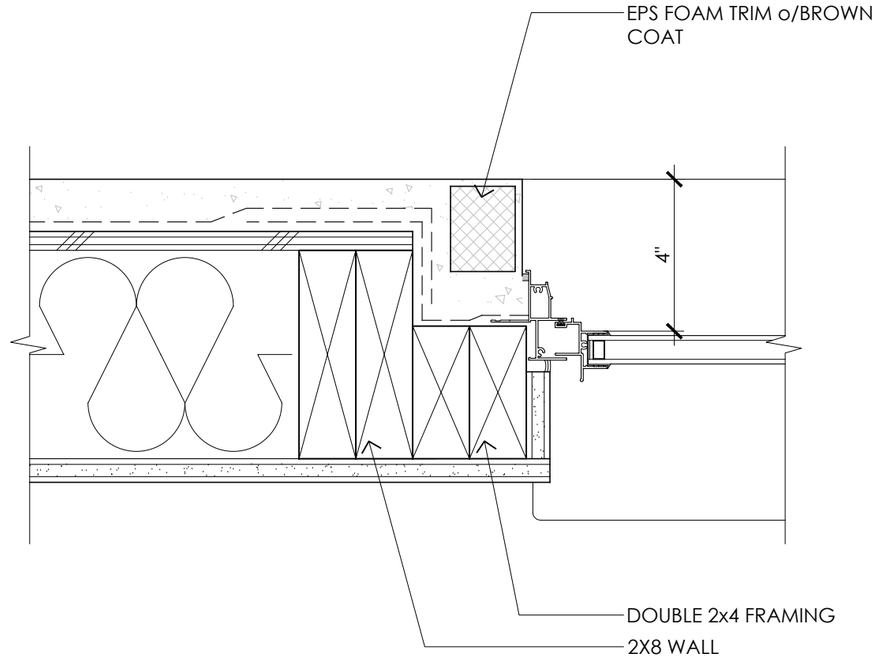
1 /8" = 1'-0" @ 11x17
1 /4" = 1'-0" @ 24x36
0 2 4 8

Arris STUDIO ARCHITECTS

Proposed Hotel
2300 West El Camino Real
Mountain View, California

TRASH ENCLOSURE
April 08, 2020
A8.0

FACADE DETAILS



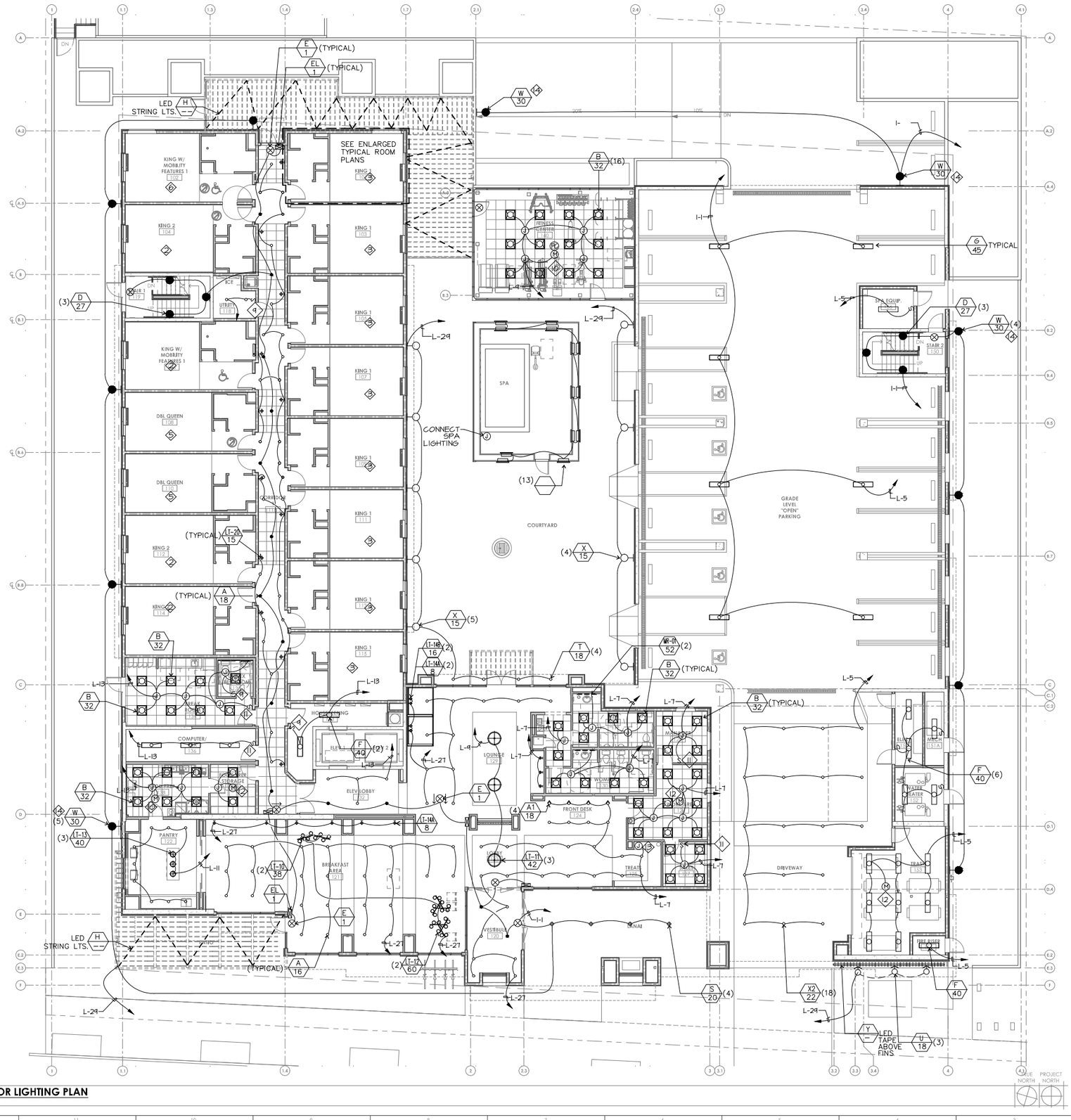
1 **WINDOW JAMB**
3" = 1'-0" Window-02

ARCHITECTURAL DETAILS

Arris STUDIO ARCHITECTS

Proposed Hotel
2300 West El Camino Real
Mountain View, California

ARCHITECTURAL DETAILS
April 08, 2020
A8.1



LIGHTING NOTES

1. SEE ENLARGED KING LAYOUT I TYPICAL ELECTRICAL PLAN A/E4.0
2. SEE ENLARGED KING SOFA TYPICAL ELECTRICAL PLAN B/E4.0
3. SEE ENLARGED KING LAYOUT I TYPICAL ELECTRICAL PLAN C/E4.0
4. SEE ENLARGED DOUBLE QUEEN W/ MOBILITY FEATURES TYPICAL ELECTRICAL PLAN D/E4.0
5. SEE ENLARGED DOUBLE QUEEN TYPICAL ELECTRICAL PLAN E/E4.0
6. SEE ENLARGED KING W/ MOBILITY FEATURES TYPICAL ELECTRICAL PLAN F/E4.0
7. SEE ENLARGED CORNER KING TYPICAL ELECTRICAL PLAN A/E4.1
8. SEE ENLARGED KING SOFA W/ MOBILITY FEATURES TYPICAL ELECTRICAL PLAN B/E4.1
9. SENSOR SWITCH #WSD-PDT-WH
10. SENSOR SWITCH #CMRIODIM-PDT-WH
11. LUTRON OCC SENSOR/DIMMER #MSZ-101-WH
12. SENSOR SWITCH #CMR4-PDT-WH
13. CONNECT DISPLAY LIGHTS, SEE INTERIOR DWGS.
14. SEE ARCHITECTURAL EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS

K12 **FIRST FLOOR LIGHTING PLAN**
1/8" = 1'-0"

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THOMAS E. JESS ARCHITECT
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MOUNTAIN VIEW HAMPTON INN HOTEL
2300 WEST EL CAMINO REAL

FIRST FLOOR LIGHTING PLAN

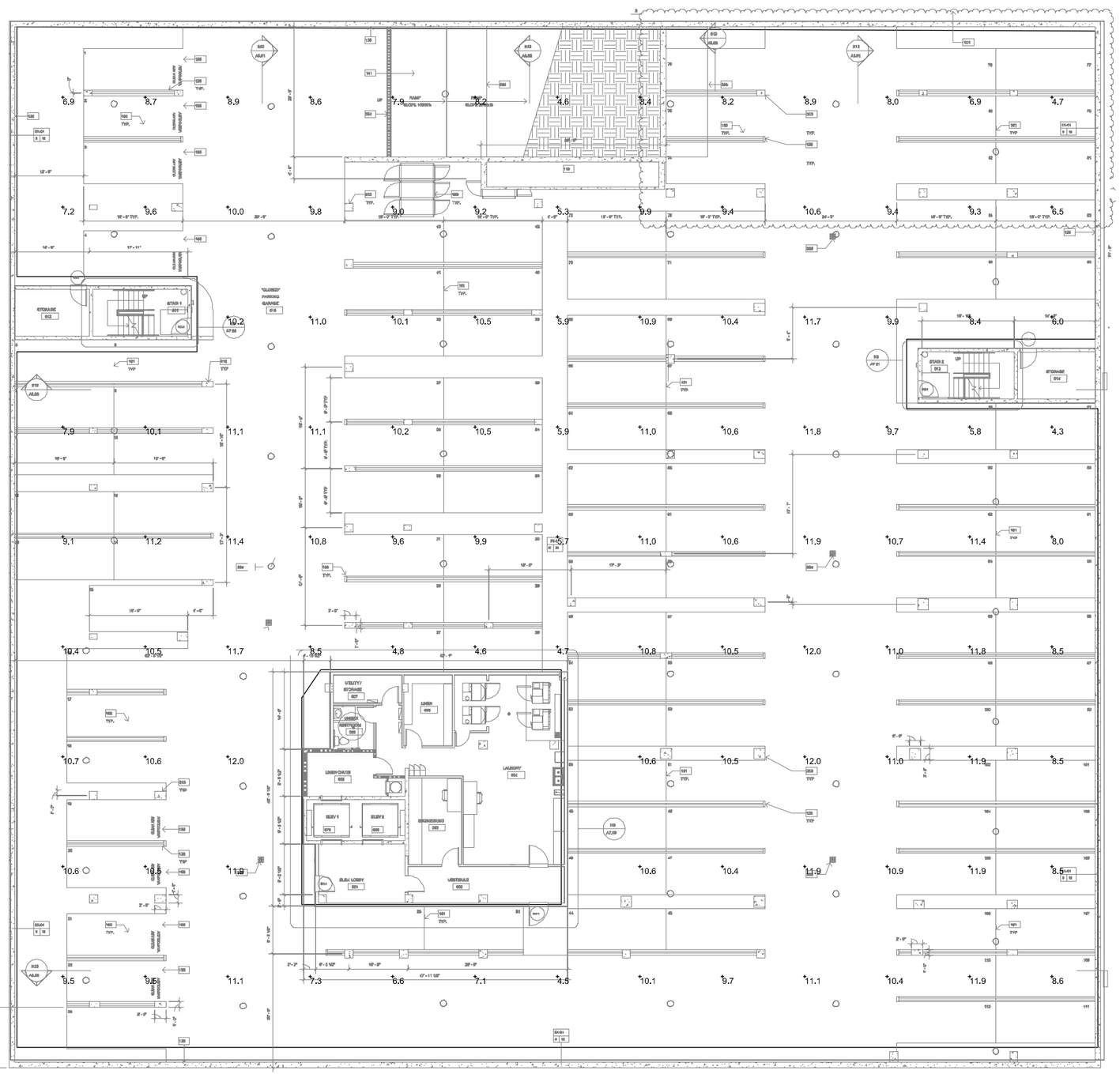
NO.	SHEET ISSUE/REVISION	DATE
	REVISION 1	07/10/18

Project A13012
Date 07/08/2019
Sheet **E3.1**

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
◯	F1	49	Lithonia Lighting	VCPG LED P3 40K T5M MVOLT	VCPG LED WITH P3 - PERFORMANCE PACKAGE, 4000K, T5M OPTIC TYPE	LED	1	6253	0.95	43.37

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING GARAGE	+	9.4 fc	12.0 fc	4.3 fc	2.8:1	2.2:1

Luminaire Locations							
		Location					
No.	Label	X	Y	Z	MH	Tilt	Orientation
33	F1	-115.14	-95.46	10.60	10.60	0.00	48.91
77	F1	-95.58	-40.43	10.60	10.60	0.00	46.90
78	F1	115.14	-45.91	10.60	10.60	0.00	48.91
79	F1	-54.02	-45.21	10.60	10.60	0.00	48.91
80	F1	-55.73	-83.66	10.60	10.60	0.00	48.91
81	F1	-96.58	-83.12	10.60	10.60	0.00	48.90
82	F1	-115.14	-83.70	10.60	10.60	0.00	48.91
87	F1	+13.91	-45.91	10.60	10.60	0.00	48.91
88	F1	+13.91	-83.70	10.60	10.60	0.00	48.91
93	F1	18.21	-40.91	10.60	10.60	0.00	48.91
94	F1	18.21	-83.70	10.60	10.60	0.00	48.91
99	F1	45.29	-48.69	10.60	10.60	0.00	48.91
100	F1	45.29	-112.38	10.60	10.60	0.00	48.91
101	F1	-115.14	+119.66	10.60	10.60	0.00	48.91
102	F1	-120.24	+119.66	10.60	10.60	0.00	48.91
103	F1	-115.14	+169.66	10.60	10.60	0.00	48.91
104	F1	-120.24	+179.66	10.60	10.60	0.00	48.91
105	F1	-115.14	+189.66	10.60	10.60	0.00	48.91
106	F1	-120.24	-83.66	10.60	10.60	0.00	48.91
107	F1	+13.91	-83.70	10.60	10.60	0.00	48.91
108	F1	18.21	-83.70	10.60	10.60	0.00	48.91
110	F1	-55.73	+103.00	10.60	10.60	0.00	48.91
111	F1	+13.91	+103.70	10.60	10.60	0.00	48.91
112	F1	18.21	+103.70	10.60	10.60	0.00	48.91
113	F1	45.29	+112.38	10.60	10.60	0.00	48.91
114	F1	-55.23	+123.66	10.60	10.60	0.00	48.91
115	F1	+13.91	+123.70	10.60	10.60	0.00	48.91
116	F1	18.21	+123.70	10.60	10.60	0.00	48.91
117	F1	45.29	+132.38	10.60	10.60	0.00	48.91
119	F1	+13.91	+143.70	10.60	10.60	0.00	48.91
120	F1	18.21	+143.70	10.60	10.60	0.00	48.91
121	F1	45.29	+152.38	10.60	10.60	0.00	48.91
123	F1	+13.91	+183.70	10.60	10.60	0.00	48.91
124	F1	18.21	+183.70	10.60	10.60	0.00	48.91
125	F1	45.29	+172.38	10.60	10.60	0.00	48.91
127	F1	+13.91	+183.70	10.60	10.60	0.00	48.91
128	F1	18.21	+183.70	10.60	10.60	0.00	48.91
129	F1	45.29	+192.38	10.60	10.60	0.00	48.91
130	F1	-55.73	+203.66	10.60	10.60	0.00	48.91
131	F1	+13.91	+203.70	10.60	10.60	0.00	48.91
132	F1	18.21	+203.70	10.60	10.60	0.00	48.91
133	F1	45.29	+212.38	10.60	10.60	0.00	48.91
134	F1	-96.58	-84.12	10.60	10.60	0.00	48.90
135	F1	-96.58	+104.12	10.60	10.60	0.00	48.90
136	F1	-96.58	+194.12	10.60	10.60	0.00	48.90
137	F1	-91.68	+144.12	10.60	10.60	0.00	48.90
138	F1	-91.68	+164.12	10.60	10.60	0.00	48.90
139	F1	-91.68	+184.12	10.60	10.60	0.00	48.90
140	F1	-91.68	-204.12	10.60	10.60	0.00	48.90



K12 BASEMENT PHOTOMETRIC PLAN
1/8" = 1'-0"

TRUE NORTH PROJECT NORTH

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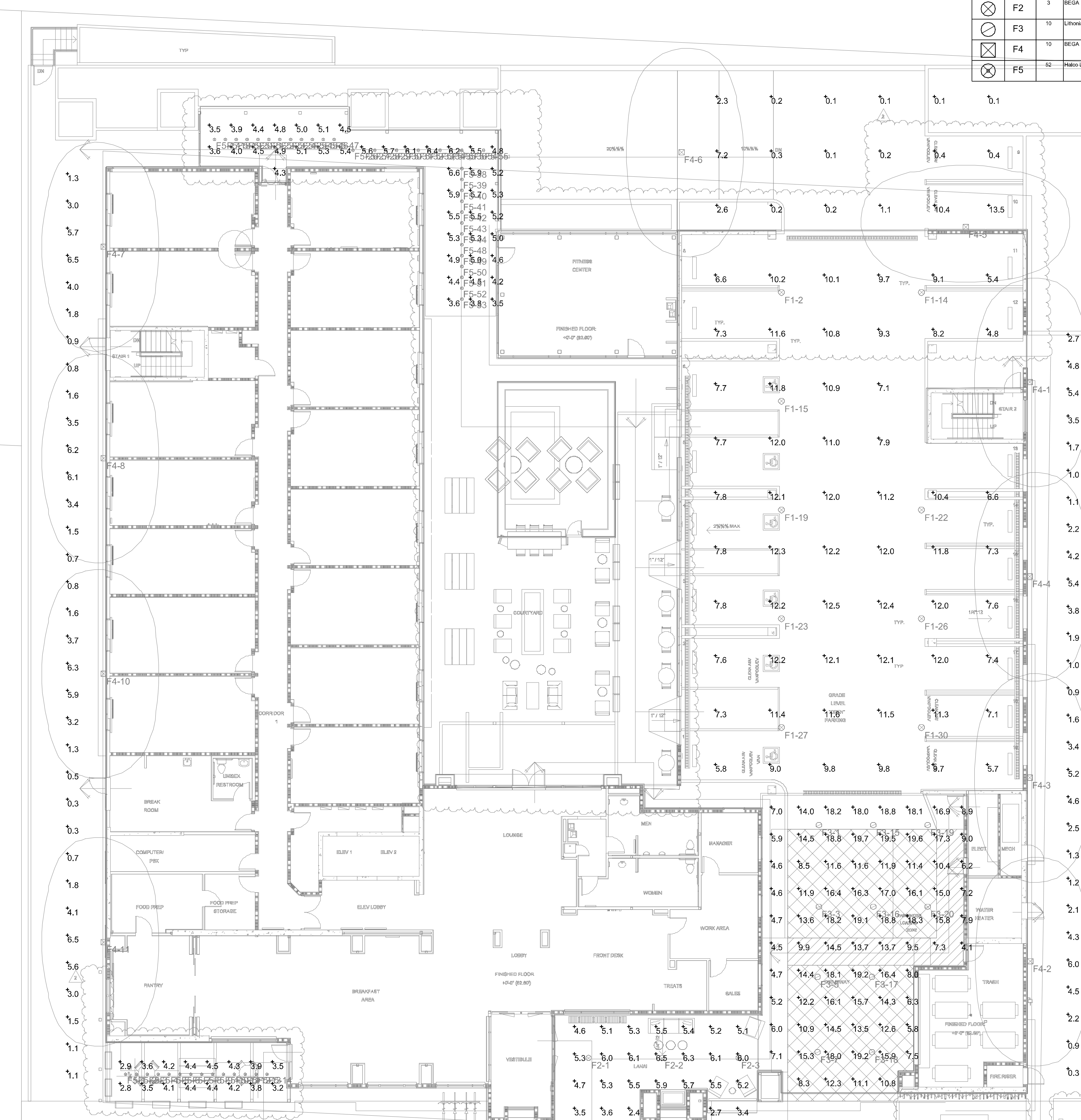
MOUNTAIN VIEW
HAMPTON INN HOTEL
2300 WEST EL CAMINO REAL

BASEMENT PHOTOMETRIC PLAN

NO.	SHEET ISSUE/REVISION	DATE
	REVISION 1	9/10/19

Project A13012
Date 06/05/2019
Sheet **E3.5**



Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
⊗	F1	9	Lithonia Lighting	VCPG LED V4 P3 40K 80CRI T5M SRM	VCPG LED WITH 4 LIGHT ENGINES P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, T5M OPTIC TYPE		1	6174	0.95	43.37
⊗	F2	3	BEGA	33681 K4	33 681 K3	LED 19,6W	1	2093	0.95	23
⊘	F3	10	Lithonia Lighting	LDN6 40/20 LO6AR LSS	6IN LDN, 4000K, 2000LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR	LED	1	1970	0.95	22.61
⊠	F4	10	BEGA	33 243 K4	WALL MOUNTED LED 4000K	LED 29,8W	1	4014	0.95	34
⊗	F5	52	Halco Lighting	99962 -LED LAMP DSL/52254M/3G-BK	Decorative Strand Lighting 52ft long 25 E26 sockets 4in drops 3 wire Grounded	120V 60HZ	1	489	0.95	4.91

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST WALKWAY	+	2.8 fc	6.0 fc	0.3 fc	20.0:1	9.3:1
FIRST FLOOR DRIVEWAY	+	12.6 fc	19.7 fc	4.1 fc	4.8:1	3.1:1
FIRST FLOOR LANAI	+	5.1 fc	6.5 fc	2.4 fc	2.7:1	2.1:1
FIRST FLOOR PARKING	+	9.7 fc	12.5 fc	4.8 fc	2.6:1	2.0:1
NORTH PARKING	+	2.2 fc	13.5 fc	0.1 fc	135.0:1	22.0:1
PATIO	+	3.9 fc	4.5 fc	2.8 fc	1.6:1	1.4:1
WALKWAY #1	+	5.0 fc	6.6 fc	3.5 fc	1.9:1	1.4:1
WEST SIDEWALK	+	2.8 fc	6.5 fc	0.3 fc	21.7:1	9.3:1

Luminaire Locations

		Location					
No.	Label	X	Y	Z	MH	Tilt	Orientation
2	F1	614.28	203.35	10.33	10.60	0.00	0.00
1	F2	578.81	62.59	13.83	12.60	0.00	90.00
2	F2	592.31	62.59	13.83	12.60	0.00	90.00
3	F2	606.39	62.59	13.83	12.60	0.00	90.00
1	F3	621.15	105.41	11.87	10.60	0.00	0.00
3	F3	621.15	90.41	11.87	10.60	0.00	0.00
5	F3	620.91	77.49	11.87	10.60	0.00	0.00
7	F3	620.91	63.64	11.87	10.60	0.00	0.00
1	F4	659.87	186.81	10.00	10.00	0.00	90.00
2	F4	660.00	80.34	10.00	10.00	0.00	90.00
3	F4	659.87	114.06	10.00	10.00	0.00	90.00
4	F4	659.87	151.07	10.00	10.00	0.00	90.00
5	F4	648.14	215.33	10.00	10.00	0.00	0.00
6	F4	595.87	229.10	10.00	10.00	0.00	90.00
7	F4	489.69	211.73	10.00	10.00	0.00	270.00
8	F4	489.69	172.83	10.00	10.00	0.00	270.00
1	F5	493.73	59.59	10.00	10.00	0.00	0.00
2	F5	495.73	59.59	10.00	10.00	0.00	0.00
3	F5	497.73	59.59	10.00	10.00	0.00	0.00
4	F5	499.73	59.59	10.00	10.00	0.00	0.00
5	F5	501.73	59.59	10.00	10.00	0.00	0.00
6	F5	503.73	59.59	10.00	10.00	0.00	0.00
7	F5	505.73	59.59	10.00	10.00	0.00	0.00
8	F5	507.73	59.59	10.00	10.00	0.00	0.00
9	F5	509.73	59.59	10.00	10.00	0.00	0.00
14	F1	640.00	203.35	10.33	10.60	0.00	0.00
15	F1	614.28	183.35	10.33	10.60	0.00	0.00
19	F1	614.28	163.35	10.33	10.60	0.00	0.00
22	F1	640.00	163.35	10.33	10.60	0.00	0.00
23	F1	614.28	143.35	10.33	10.60	0.00	0.00
26	F1	640.00	143.35	10.33	10.60	0.00	0.00
27	F1	614.28	123.35	10.33	10.60	0.00	0.00
30	F1	640.00	123.35	10.33	10.60	0.00	0.00
15	F3	631.15	105.41	11.87	10.60	0.00	0.00
16	F3	631.15	90.41	11.87	10.60	0.00	0.00
17	F3	630.91	77.49	11.87	10.60	0.00	0.00
18	F3	630.91	63.64	11.87	10.60	0.00	0.00
19	F3	641.15	105.41	11.87	10.60	0.00	0.00
20	F3	641.15	90.41	11.87	10.60	0.00	0.00
10	F4	489.69	133.19	10.00	10.00	0.00	270.00
11	F4	489.69	83.89	10.00	10.00	0.00	270.00
10	F5	511.73	59.59	10.00	10.00	0.00	0.00
11	F5	513.73	59.59	10.00	10.00	0.00	0.00
12	F5	515.73	59.59	10.00	10.00	0.00	0.00
13	F5	517.73	59.59	10.00	10.00	0.00	0.00
14	F5	519.73	59.59	10.00	10.00	0.00	0.00
17	F5	510.06	231.45	10.00	10.00	0.00	0.00
18	F5	512.06	231.45	10.00	10.00	0.00	0.00
19	F5	514.06	231.45	10.00	10.00	0.00	0.00
20	F5	516.06	231.45	10.00	10.00	0.00	0.00
21	F5	518.06	231.45	10.00	10.00	0.00	0.00
22	F5	520.06	231.45	10.00	10.00	0.00	0.00
23	F5	522.06	231.45	10.00	10.00	0.00	0.00
24	F5	524.06	231.45	10.00	10.00	0.00	0.00
25	F5	526.06	231.45	10.00	10.00	0.00	0.00
26	F5	535.49	229.48	10.00	10.00	0.00	0.00
27	F5	537.49	229.48	10.00	10.00	0.00	0.00
28	F5	539.49	229.48	10.00	10.00	0.00	0.00
29	F5	541.49	229.48	10.00	10.00	0.00	0.00
30	F5	543.49	229.48	10.00	10.00	0.00	0.00
31	F5	545.49	229.48	10.00	10.00	0.00	0.00
32	F5	547.49	229.48	10.00	10.00	0.00	0.00
33	F5	549.49	229.48	10.00	10.00	0.00	0.00
34	F5	551.49	229.48	10.00	10.00	0.00	0.00
35	F5	553.49	229.48	10.00	10.00	0.00	0.00
36	F5	555.49	229.48	10.00	10.00	0.00	0.00
38	F5	555.52	226.13	10.00	10.00	0.00	0.00
39	F5	555.52	224.13	10.00	10.00	0.00	0.00
40	F5	555.52	222.13	10.00	10.00	0.00	0.00
41	F5	555.52	220.13	10.00	10.00	0.00	0.00
42	F5	555.52	218.13	10.00	10.00	0.00	0.00
43	F5	555.52	216.13	10.00	10.00	0.00	0.00
44	F5	555.52	214.13	10.00	10.00	0.00	0.00
45	F5	528.06	231.45	10.00	10.00	0.00	0.00
46	F5	530.06	231.45	10.00	10.00	0.00	0.00
47	F5	532.06	231.45	10.00	10.00	0.00	0.00
48	F5	555.52	212.13	10.00	10.00	0.00	0.00
49	F5	555.52	210.13	10.00	10.00	0.00	0.00
50	F5	555.52	208.13	10.00	10.00	0.00	0.00
51	F5	555.52	206.13	10.00	10.00	0.00	0.00
52	F5	555.52	204.13	10.00	10.00	0.00	0.00
53	F5	555.52	202.13	10.00	10.00	0.00	0.00
54	F5	557.49	229.48	10.00	10.00	0.00	0.00
55	F5	559.49	229.48	10.00	10.00	0.00	0.00

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MOUNTAIN VIEW HAMPTON INN HOTEL

2300 WEST EL CAMINO REAL

FIRST FLOOR PHOTMETRIC PLAN

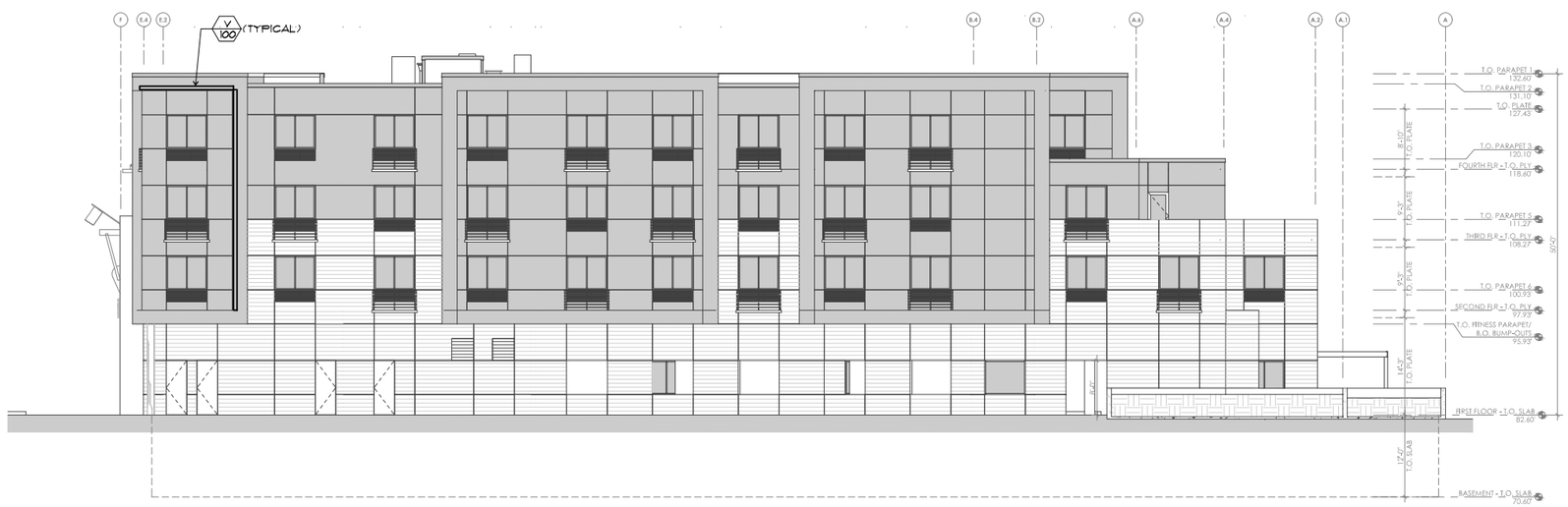
NO.	SHEET ISSUE/REVISION	DATE
1	REVISION 1	9/10/18

Project A13012

Date 06/05/2019

Sheet E3.6

E12 SOUTH LIGHTING ELEVATION
1/8" = 1'-0"



K12 EAST LIGHTING ELEVATION
1/8" = 1'-0"

Arris
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MOUNTAIN VIEW
HAMPTON INN HOTEL
2300 WEST EL CAMINO REAL

LIGHTING ELEVATIONS

NO.	SHEET ISSUE/REVISION	DATE
	REVISION 1	7/10/19

Project A13012
Date 07/08/2019
Sheet **E4.2**

STANDARD GENERAL NOTES

1 . THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING TO ASSUME THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.

2. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING AND BRACING OR EQUIVALENT METHOD, FOR THE PROTECTION OF LIFE, OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA, THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.

3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.

4. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS FAILURE TO DO SO.

5. THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.

6. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY.

7. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.

8. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSES BASIS AND PAID FOR BY THE CONTRACTOR.

9. STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.

10. ALL RETURN RADII AND CURB DATA ARE TO FACE OF CURB.

11. WHENEVER BOTTOM OF WALL (BW) ELEVATION IS GIVEN, IT IS FINISH PAVEMENT OR GRADE ELEVATION AT FACE OF WALL.

12. ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.

13. LENGTHS OF SANITARY SEWERS AND STORM DRAINS ARE HORIZONTAL DISTANCES FROM CENTER TO CENTER OF STRUCTURES, ROUNDED OFF TO THE NEAREST FOOT.

14. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 800-227-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

15. THE CONSTRUCTION OF ALL GRAVITY UNDERGROUND LINES (SANITARY SEWERS AND STORM DRAINS) SHALL BEGIN AT THE MOST DOWNSTREAM END, UNLESS OTHERWISE SPECIFICALLY APPROVED BY ALIQUOT ASSOCIATES, INC.

16. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER OR UTILITY AGENCY REPRESENTATIVE, AT THE CONTRACTOR'S SOLE EXPENSE.

17. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY REPRESENTATIVE INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.

18. IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.

19. NO ASBESTOS MATERIALS ARE TO BE INSTALLED.

20. THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.

21. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT ALIQUOT ASSOCIATES, INC. AT (925) 476-2300 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

22. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PUBLIC SAFETY AND SAFETY OF EXISTING STRUCTURES. THE CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES, TRAFFIC CONTROLS, SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE SPECS AND LOCAL SAFETY ORDINANCES.

23. ALL APPLICABLE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ERRORS, THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE CONSTRUCTION SAFETY ACT SHALL BE MET.

24. ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO CAL-OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY CAL-OSHA PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY OF MOUNTAIN VIEW ORDINANCE CODES, CALTRANS STANDARD SPECIFICATIONS, CITY OF MOUNTAIN VIEW STANDARD PLAN. ALL IMPROVEMENTS ARE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF MOUNTAIN VIEW.

2. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY OF MOUNTAIN VIEW PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS SIGNED BY THE CITY ENGINEER.

3. PRIOR TO PLACING CURB, SIDEWALK, ASPHALT CONCRETE, SUBBASE, OR BASE MATERIAL, ALL UNDERGROUND FACILITIES SHALL BE INSTALLED, BACKFILLED, AND THE PUBLIC WORKS DEPARTMENT'S CONSTRUCTION DIVISION NOTIFIED BY EACH OF THE UTILITY COMPANIES HAVING FACILITIES WITHIN THE WORK AREA THAT THE UTILITY INSTALLATION HAS SATISFACTORILY PASSED ACCEPTANCE TESTS.

4. WHEN CONFORMING TO EXISTING ASPHALT PAVEMENT, THE EXISTING ASPHALT PAVEMENT SHALL BE SAWCUT TO A NEAT LINE AND REMOVED TO AN EXISTING ADEQUATE STRUCTURAL SECTION, OR TO THE ORIGINAL ROAD SECTION. AN EXPLORATORY TRENCH, OR POTHOLING, MAY BE REQUIRED BY THE CITY TO DETERMINE THE LIMITS OF PAVEMENT REMOVAL.

5. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO OCTOBER 15 AND SHALL BE MAINTAINED DAILY UNTIL APRIL 15. THESE MEASURES SHALL CONTROL AND CONTAIN SEDIMENTS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT-FREE WATERS INTO EXISTING STORM DRAIN FACILITIES. DESIGN OF THESE MEASURES MUST BE APPROVED/UPDATED EACH YEAR BY THE CONTRACTOR PRIOR TO SEPTEMBER 30.

6. A CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL OSHA) PERMIT SHALL BE OBTAINED FOR TRENCHES FIVE FEET OR GREATER IN DEPTH. A COPY OF THIS PERMIT SHALL BE SUPPLIED TO THE PUBLIC WORKS DEPARTMENT. AN ADDITIONAL COPY SHALL BE KEPT AT THE JOB SITE AT ALL TIMES.

7. ALL STAKING REQUESTS SHOULD BE DIRECTED TO THE CIVIL ENGINEER A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO ACTUAL NEED. ANY ADDITIONAL STAKING OR RESTAKING WILL ONLY BE DONE AS DIRECTED AND AUTHORIZED BY THE CLIENT OR HIS AUTHORIZED AGENT. THE CITY ENGINEER HAS THE AUTHORITY TO REQUIRE THE CLIENT OR HIS AUTHORIZED AGENT TO PLACE ADDITIONAL STAKES OR RESTAKES AS HE DEEMS NECESSARY FOR PROPER CONSTRUCTION OR TO AVOID CONFLICTS.

8. THE CONTRACTOR SHALL NOT DESTROY ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF THE CITY ENGINEER. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

9. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER AND/OR ALIQUOT ASSOCIATES, INC.

10. WITHIN 30 DAYS FROM THE COMPLETION OF WORK, THE CONTRACTOR SHALL PROVIDE A REDLINED COPY OF "AS-BUILT" PLANS FOR RECORD DRAWINGS.

11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE CITY ENGINEER UPON DISCOVERY OF ANY FIELD CONFLICTS.

12. PRIOR TO MOVING ANY MATERIAL TO OR FROM THE SITE, THE CONTRACTOR SHALL OBTAIN APPROVAL FOR HAUL ROUTE FROM THE CITY OF MOUNTAIN VIEW.

13. WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE THE ABANDONED STRUCTURES TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS. THE CITY ENGINEER MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.

14. ALL MANHOLES & VALVE BOXES SHALL BE ADJUSTED TO NEW FINISHED GRADE AFTER FINAL LIFT OF PAVING IS PLACED.

GRADING

1. ALL GRADING OPERATIONS SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL REPORT BY BAGG ENGINEERS DATED FEBRUARY 2015.

2. A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER SHALL BE ON SITE DURING GRADING AND TRENCH BACKFILL OPERATIONS AND SHALL PERFORM SUCH TESTING AS DEEMED NECESSARY. THE REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER SHALL OBSERVE THE GRADING OPERATION FOR CONDITIONS THAT SHOULD BE MEASURES TO THE CONTRACTOR. THE SOIL ENGINEER OR HIS REPRESENTATIVE SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF THE GRADING OPERATION.

3. THE CONTRACTOR SHALL ESTIMATE THE EARTHWORK QUANTITIES TO HIS OR HER SATISFACTION PRIOR TO THE START OF CONSTRUCTION AND SHALL ARRANGE FOR DISPOSAL OF EXCESS MATERIAL OR ACQUISITION OF IMPORT MATERIAL AS REQUIRED TO COMPLETE THE GRADING AS SHOWN ON THIS PLAN. NO ADDITIONAL COMPENSATION WILL BE MADE FOR ANY EXPORT OR IMPORT REQUIRED.

SANITARY SEWER

1. SANITARY SEWER PIPE, FITTINGS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE CITY OF MOUNTAIN VIEW CONSTRUCTION SPECIFICATIONS AND DETAILS.

2. CONTRACTOR SHALL EXPOSE THE EXISTING SEWER PIPES AT THE CONNECTION POINTS TO VERIFY THEIR LOCATION AND DEPTHS PRIOR TO CONSTRUCTING ANY NEW SEWER PIPES. CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER OF MODIFICATIONS AS REQUIRED. CIVIL ENGINEER SHALL BE ALLOWED REASONABLE TIME FOR RESOLUTION OF ANY CONFLICT.

3. CONTRACTOR SHALL OBTAIN AN ENGINEERING PERMIT FOR SEWER CAPPING. IN ACCORDANCE WITH CITY OF MOUNTAIN VIEW POLICY, THE LOWER LATERAL MUST BE CAPPED AT THE POINT AT WHICH IT ENTERS THE MAIN.

4. THE EXISTING BUILDING IS TO BE DEMOLISHED AND THE EXISTING LATERAL IS NOT TO BE RE-USED, THE LATERAL SEWER SHALL BE DUG AND EXPOSED WHERE IT ENTERS THE MAIN.

A. IF THE LATERAL ENTERS THE MAIN BY MEANS OF A FACTORY MANUFACTURED WYE OR TEE BRANCH, AND IF THE MAIN AND WYE OR TEE BRANCH ARE ALL IN GOOD, UNDAMAGED CONDITION, THE LATERAL SHALL BE DISCONNECTED AND THE BRANCH SHALL BE PLUGGED WITH AN EXPANDABLE NEOPRENE RUBBER PLUG AT THE MAIN. THE BRANCH PLUG SHALL BE ENCLOSED WITH A MINIMUM THICKNESS OF 6 INCHES OF 6 SACK, ¾" SIZE AGGREGATE. PORTLAND CEMENT CONCRETE. THE WYE BRANCH WITH RUBBER PLUG MUST BE INSPECTED AND APPROVED BY AN ENGINEERING INSPECTOR PRIOR TO ENCLOSURE WITH CONCRETE AND BACKFILL OF THE TRENCH.

B. IF THE LATERAL ENTERS THE MAIN BY ANY METHOD OTHER THAN BY A FACTORY WYE OR TEE BRANCH, OR IF THE EXISTING MAIN, WYE OR TEE BRANCH IS DAMAGED IN ANY WAY, THE SECTION OF MAIN CONTAINING THE LATERAL ENTRY OPENING SHALL BE REMOVED AND REPLACED WITH A NEW SECTION OF PIPE OF THE SAME DIAMETER AS THE EXISTING MAIN. AN ENGINEERING INSPECTOR MUST INSPECT THE NEW MAIN SECTION BEFORE BACKFILL.

C. THE ABANDONED LATERAL PIPE SHALL BE FILLED WITH SAND AND JETTED TO PREVENT THE PIPE FROM BECOMING A HOME FOR RODENTS OR OTHER DISEASE VECTORS.

STORM DRAIN

1. STORM DRAIN PIPE SHALL BE AS SPECIFIED ON THE MEP PLANS

2. STORM DRAIN MANHOLES SHALL BE CONSTRUCTED PER MOUNTAIN VIEW CITY STANDARDS.

3. DRAIN PIPES SHALL BE PVC SCH 40 UNLESS OTHERWISE SPECIFIED, AREA DRAINS SHALL BE 4" SPEE-D-BASIN WITH 4" ATRIUM GRATE (OR APPROVED EQUAL BY THE CIVIL ENGINEER).

4. INLETS SHALL BE OLD CASTLE PRECAST TYPE OR AS INDICATED ON THE PLANS.

5. SLOT/TRENCH DRAINS AS SPECIFIED ON THE MEP PLANS.

6. STORMWATER SUMP PUMPS SHALL BE PER MEP PLANS.

WATER SYSTEM

1. ALL WATER PIPES, FITTINGS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE CITY OF MOUNTAIN VIEW CONSTRUCTION SPECIFICATIONS AND DETAILS.

2. EXCAVATIONS MUST BE KEPT DEWATERED AT ALL TIMES SO AS NOT TO ALLOW CONTAMINATED WATER TO ENTER WATER MAINS.

3. THRUST BLOCKS SHALL BE PROVIDED FOR ALL BENDS, TEES, CROSSES, REDUCERS, DEAD ENDS, FIRE HYDRANTS, AND WHERE PIPE CHANGES IN DIRECTIONS OF MORE THAN 11 1/2 DEGREE PER CITY OF MOUNTAIN VIEW SPECIFICATIONS AND DETAILS.

4. AT CROSSING WITH OTHER PIPES, THERE SHALL BE A MINIMUM OF 12" CLEAR DISTANCE BETWEEN WATER MAINS AND OTHER PIPES, UNLESS OTHERWISE NOTED ON THE PLANS.

5. ALL FIRE SERVICE LINES SHALL BE TESTED AND INSPECTED BY THE FIRE DEPARTMENT PRIOR TO ANY BACKFILL.

6. GATE VALVE SHALL CONFORM TO AWWA C509, RESILIENT SEATED TYPE VALVES WITH NONRISING STEMS, AND HAVE "O" RING STUFFING BOXES. STUFFING BOXES SHALL BE BOLTED AND CONSTRUCTED SO AS TO AID VALVE REPAIR. VALVES SHALL OPEN COUNTERCLOCKWISE AND BE FITTED WITH 2-INCH SQUARE OPERATING NUTS. ALL VALVES SHALL BE HYDROSTATICALLY TESTED AND DROPTIGHT AT A PRESSURE OF NOT LESS THAN 350 POUNDS PER SQUARE INCH.

CONCRETE

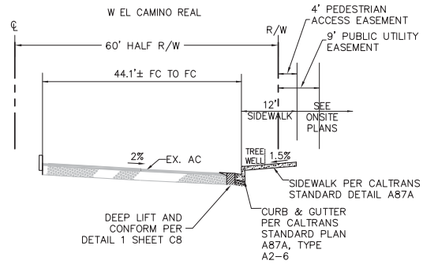
1. PORTLAND CEMENT SHALL BE TYPE II AND CONFORM TO SECTION 90 OF THE STATE STANDARD SPECIFICATIONS. CONCRETE SHALL BE CLASS B AND HAVE A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.

2. AGGREGATE BASE (AB) SHALL BE CLASS 2 CONFORMING TO THE REQUIREMENTS OF SECTION 26 OF THE STATE STANDARD SPECIFICATIONS. THE GRADING FOR THE AGGREGATES SHALL BE 3/4" MAXIMUM.

1/2" EXPANSION JOINTS SHALL BE CONSTRUCTED AT END OF ALL RETURNS AND AT INTERVAL NOT TO EXCEED 10' AND NO JOINTS SHALL BE CONSTRUCTED IN RETURN.

4. NEW CONCRETE IS TO BE TIED TO THE EXISTING CONCRETE CURB AND SIDEWALK SECTIONS WITH SMOOTH DOWELS. THE DOWELS SHALL BE NO. 4 WITH A MINIMUM LENGTH OF NINE INCHES (9") AND SHALL BE INSTALLED AT EIGHTEEN INCHES (18") ON CENTER ALONG THE EXISTING SECTION. THE DOWELS ARE TO BE INSERTED TO A MINIMUM PENETRATION OF FOUR (4") INTO THE SIDEWALK, CURB, AND GUTTER AND SHALL BE INCORPORATED IN NEW POUR. THE DOWELS ARE TO BE EPOXY GROUTED.

5. THE TOP SURFACE OF THE CURB AND GUTTER SHALL BE FINISHED WITH A STEEL TROWEL TO A SMOOTH FINISH. IMMEDIATELY UPON STRIPPING CURB FORMS AND PRIOR TO BACKFILLING, ALL ROCK POCKETS OR HONEYCOMBS SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER.



W EL CAMINO REAL
TYPICAL CROSS SECTION

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PROFESSIONAL ENGINEER — No. 43748 — CIVIL — STATE OF CALIFORNIA

GENERAL NOTES
HAMPTON INN HOTEL
2300 W EL CAMINO REAL
SANTA CLARA COUNTY
MOUNTAIN VIEW
CALIFORNIA

No.	Revisions
1	

Date 3/31/2020
Scale 1"=10'
Design
Drawn MC
Approved
Job No 217012

Drawing Number:
C0.1
1 OF 7

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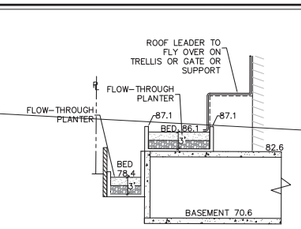
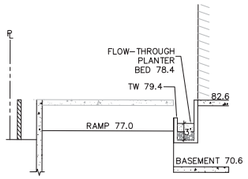


SECTION A



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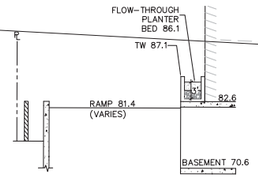

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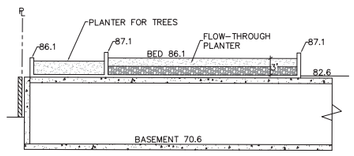

SECTION D

LEGEND

DRAINAGE RELEASE ROUTE

NOTES:

1. ALL STORM DRAIN PIPE SHOWN ON THIS SHEET IS HUNG ON THE CEILING OR WALL IN THE BASEMENT
2. ALL CATCH BASINS SHALL BE LABELED WITH "NO DUMPING FLOWS TO BAY"
3. NO BUILDING WILL BE RELEASED FOR OCCUPANCY UNTIL THE OFF-SITE IMPROVEMENTS TO BE CONSTRUCTED TO CITY PUBLIC WORKS STANDARDS AND/OR ACCEPTED FOR MAINTENANCE BY THE CITY ARE COMPLETE AND READY FOR ACCEPTANCE

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PROFESSIONAL ENGINEER — CIVIL — No. 43748 — STATE OF CALIFORNIA

GRADING AND DRAINAGE PLAN
HAMPTON INN HOTEL
2300 W EL CAMINO REAL
SANTA CLARA COUNTY

MOUNTAIN VIEW

CALIFORNIA

No.	Revisions
1	

Date 3/31/2020
Scale 1"=10'
Design
Drawn MC
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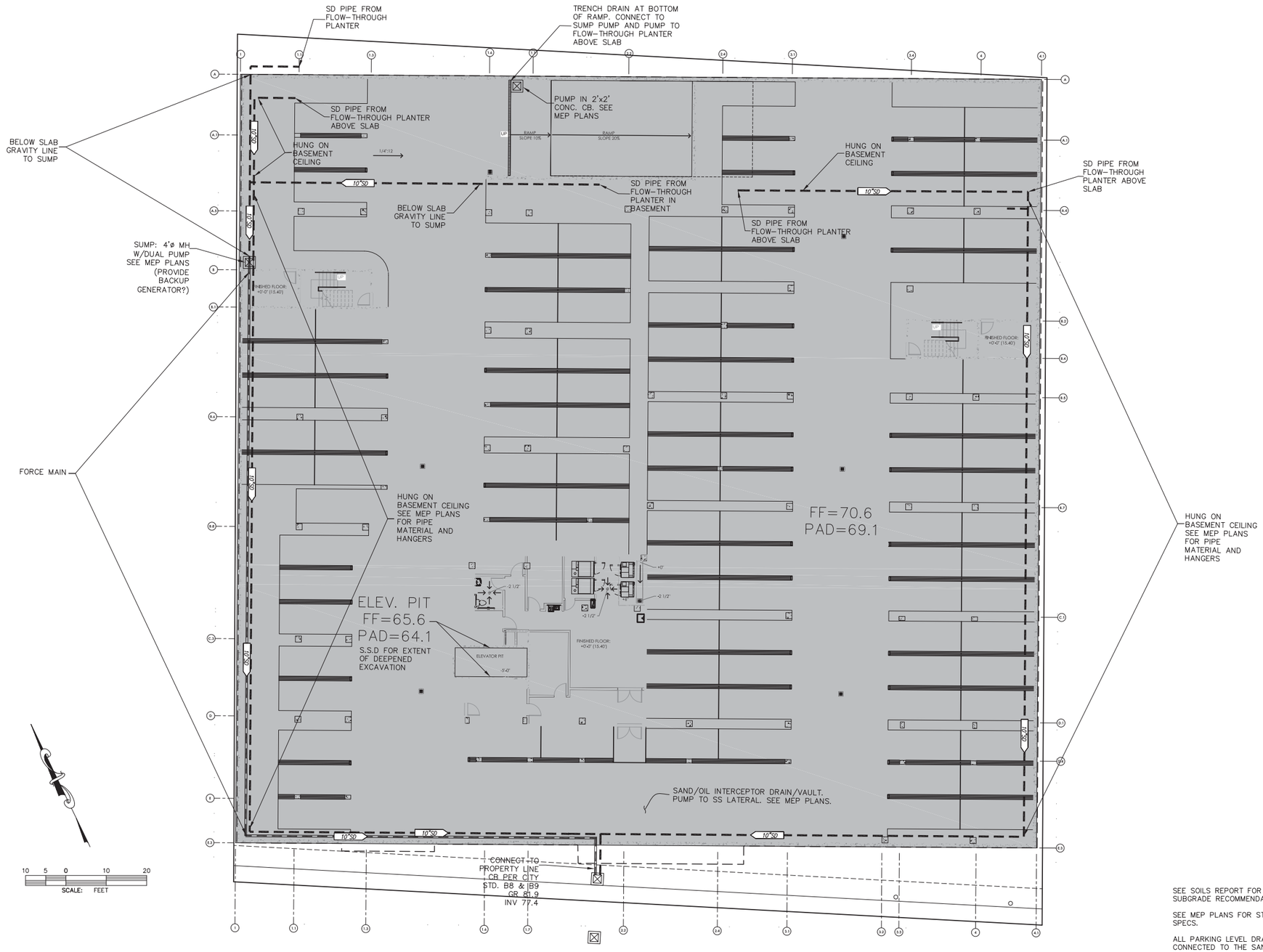
Drawing Number:
C1.0
2 OF 7



SEE SOILS REPORT FOR GRADING AND SUBGRADE RECOMMENDATIONS.

SEE MEP PLANS FOR STORM DRAIN PIPE SPECS.

ALL PARKING LEVEL DRAINS TO BE CONNECTED TO THE SANITARY SEWER SYSTEM. SEE P4.00.

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PROFESSIONAL ENGINEER — CIVIL — No. 43748 — STATE OF CALIFORNIA

GRADING AND DRAINAGE PLAN-BELOW GROUND

HAMPTON INN HOTEL

2300 W EL CAMINO REAL

SANTA CLARA COUNTY CALIFORNIA

MOUNTAIN VIEW

Revisions

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C1.1

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NOTES:
1. JOINT TRENCH BY OTHERS
2. FIRE SPRINKLER DESIGNER TO DESIGN AND SIZE FIRE SERVICE AND APPURTENANCES

KEY NOTES
1. 1" METER PER CITY STANDARD DETAIL D-1, SHEET C9. METER SHALL BE BADGER RECORDALL DISC SERIES AND METER BOX SHALL BE OLDCASTLE FL12T
2. 1" REDUCED PRESSURE BACKFLOW PREVENTER PER CITY STANDARD DETAIL D-05, SHEET C9. FEBCO 825Y OR WILKINS 975XL. 3' MIN. CLR. FROM DOMESTIC BACKFLOW PREVENTER.
3. HOT TAP 6" C900 PVC MANIFOLD SERVICE FOR DOMESTIC AND IRRIGATION WATER TO EXISTING WATER MAIN. 36" MIN CLEARANCE BETWEEN 6" HOT-TAP AND 6" HOT-TAP. 30" MINIMUM CLEARANCE BETWEEN 6" HOT-TAP AND PIPE JOINT.
4. METER PER CITY STANDARD DETAIL D-2 AND D-3, SHEET C9. 3" METER SHALL BE BADGER TURBO SERIES AND METER BOX SHALL BE OLDCASTLE N52.
5. 3" REDUCED PRESSURE BACKFLOW PREVENTER PER CITY STANDARD DETAIL D-05, SHEET C9. WILKINS 375 OR 475. 3' MIN. CLR. FROM DCDA AND IRRIGATION BACKFLOW PREVENTER.
6. HOT TAP 6" C900 PVC FIRE WATER SERVICE TO EXISTING WATER MAIN PER CITY STANDARD DETAIL D-2, SHEET C9. 36" MIN CLEARANCE BETWEEN 6" HOT-TAP AND 6" HOT-TAP. 30" MINIMUM CLEARANCE BETWEEN 6" HOT-TAP AND PIPE JOINT.
7. 6" DOUBLE CHECK DETECTOR ASSEMBLY PER CITY STANDARD DETAIL D-5B, SHEET C9. FEBCO 876 VST OR WILKINS 350 DA OR 450 DA. 3' MIN. CLR. FROM DOMESTIC BACKFLOW PREVENTER.

10 5 0 10 20
SCALE: FEET

WHARF HYDRANT BY OTHERS
WHARF HYDRANT BY OTHERS
GAS METER
FIRE RISER ROOM
FDC & PIV BY OTHERS
FIRE SERVICE AND DCDA BY OTHERS (7)
TRANSFORMER
PG&E VAULT
DOMESTIC SERVICE, METER AND BACKFLOW PREVENTER (4) (5)
IRRIG. SERVICE, 1" METER AND BACKFLOW PREVENTER (1) (2)
EX. TREE TO REMAIN
PROPOSED 9' PUBLIC UTILITY EASEMENT
PROPERTY LINE CATCH BASIN
PROPERTY LINE CLEANOUT
EX. TREE TO REMAIN
BELOW GROUND TRANSFORMER
EX. FIRE HYDRANT TO REMAIN
(6) 6" FIRE WATER
REMOVE 6" SS AND REPLACE W/6" SANITARY SEWER LATERAL. SEE OFF-SITE IMPROVEMENT PLANS
CALTRANS "S" ADVANCED DETECTOR HANDHOLE
DOMESTIC AND IRRIG. SERVICE, VIA MANIFOLD (3)
12"WATER
8"SS
18"SD
12"SD
6"SS
6"GAS
RIM=81.88
FL=72.53
RIM=82.09
FL=76.68 IN
FL=76.60 OUT

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4 OF 7

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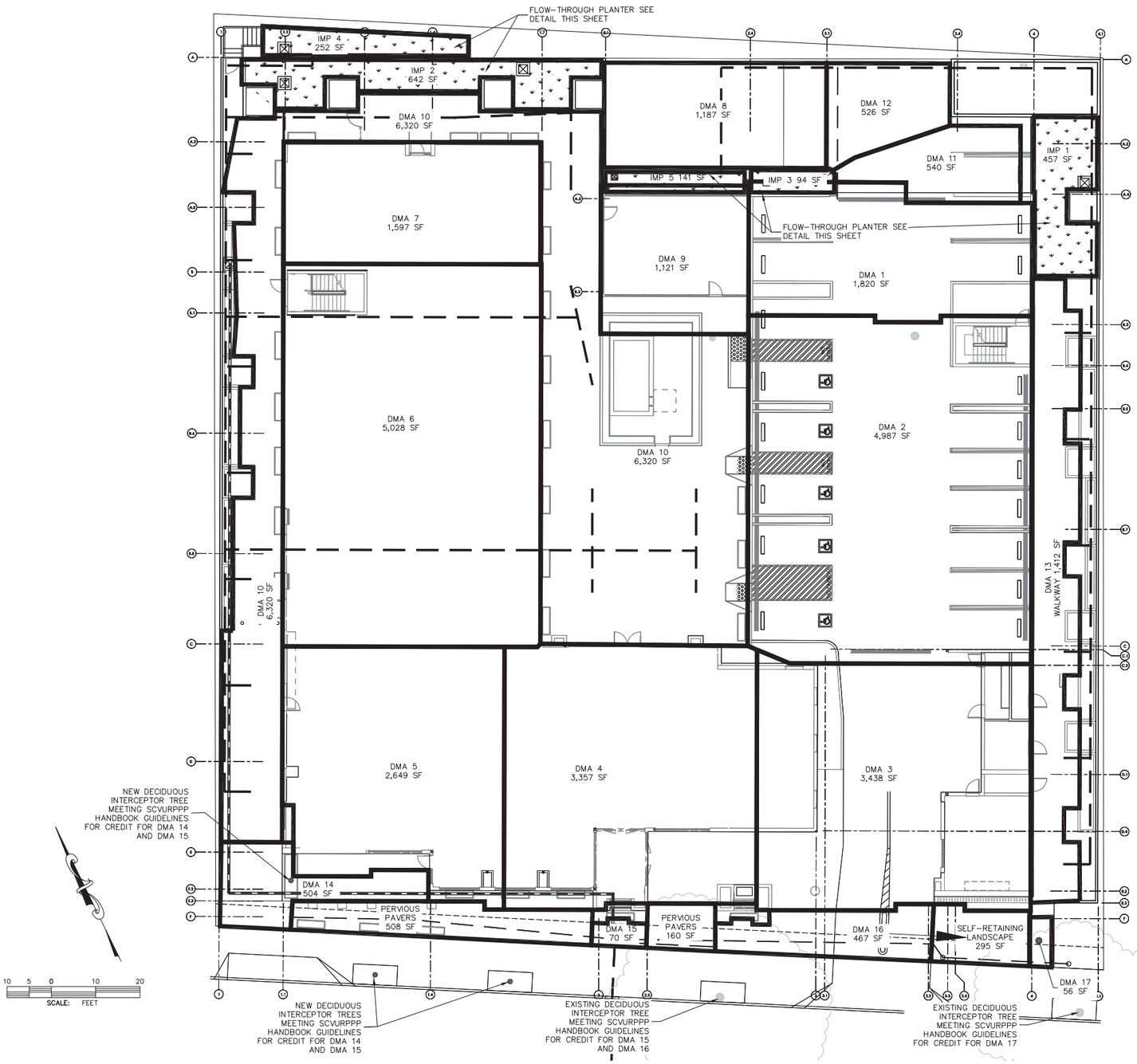
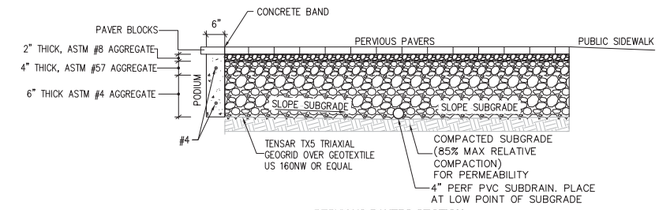


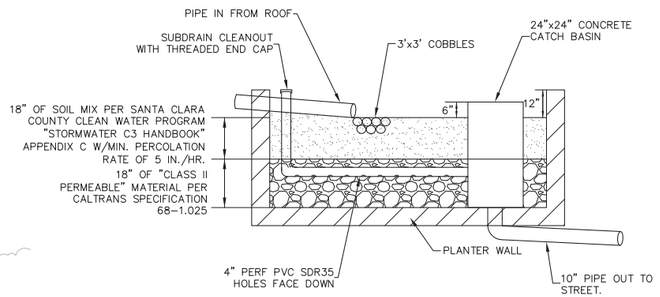
DMA #	DMA AREA (SF)	IMP #	TREATMENT AREA REQUIRED	TREATMENT AREA PROVIDED
DMA 1–3	10,245	IMP 1	410	457
DMA 4–8	14,939	IMP 2	598	642
DMA 9	1,121	IMP 3	45	94
DMA 10	6,320	IMP 4	252	252
DMA 11–13	2,478	IMP 5	99	141
DMA 14	504	INTERCEPTOR TREE CREDIT		
DMA 15	70	INTERCEPTOR TREE CREDIT		
DMA 16	467	INTERCEPTOR TREE CREDIT AND DRAINS TO SELF-RETAINING		
DMA 17	56	INTERCEPTOR TREE CREDIT		

TREATMENT AREA REQUIRED=0.04xIMPERVIOUS AREA

TOTAL AREA 42,138
IMPERVIOUS = 35,799



PERVIOUS PAVERS SECTION
NOT TO SCALE



FLOW-THROUGH PLANTER

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Planners
Civil Engineers
Surveyors

ALLIQUOT

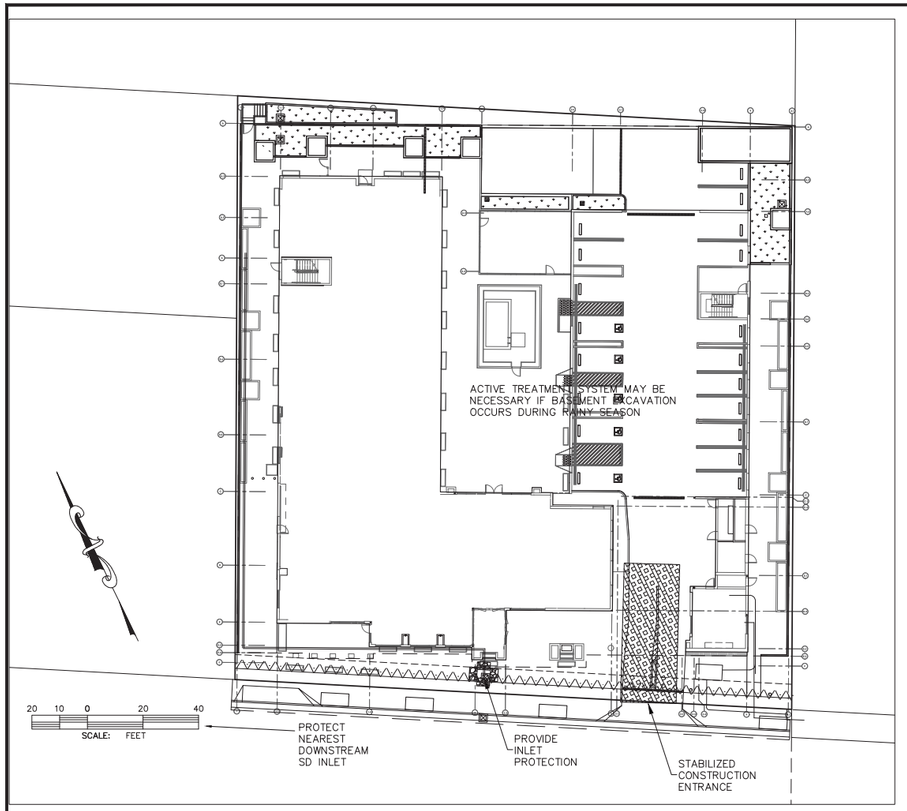
PROFESSIONAL ENGINEER CIVIL No. 43748 STATE OF CALIFORNIA

STORMWATER CONTROL PLAN
HAMPTON INN HOTEL
2300 W EL CAMINO REAL
SANTA CLARA COUNTY
CALIFORNIA
MOUNTAIN VIEW

No.	Revisions
1	

Date 3/31/2020
Scale 1"=10'
Design
Drawn MC
Approved
Job No 217012

Drawing Number:
C3.0
5 OF 7



EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
2. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CASQA CALIFORNIA STORMWATER BMP HANDBOOK.
4. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
5. THE CONTRACTOR SHALL PLACE RUMBLE PLATES AT EACH ROAD ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED THE SAME DAY.
6. A CONCRETE WASHOUT IS REQUIRED FOR ALL CONCRETE WORK. THE WASHOUT SHALL CONSIST OF A CONTAINMENT AREA ENCLOSED BY AN EARTHEN DIKE. PLASTIC TARP, COVERING THE CONTAINMENT AREA AND EARTHEN DIKE, SHALL BE STAKED IN AT OUTSIDE EDGE OF EARTHEN DIKE.
7. ADDITIONAL CONTAINMENT METHODS MUST BE PROVIDED FOR ANY WASTE STORAGE AREA, STOCKPILE/MATERIAL STORAGE AREA AND/OR CONSTRUCTION TOILET AREA.
8. STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
9. ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. BREACHES IN DIKES AND SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
10. TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES.
11. SANDBAGS OR STRAW BALES SHALL BE STOCKPILED ON SITE
12. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL.
13. SEWER OR STORM DRAIN TRENCHES THAT ARE OUT THROUGH BASIN DIKES OR BASIN INLET DIKES, SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
14. ALL OPEN UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DOWNWARD, TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG LOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

15. AFTER STORM DRAIN, SANITARY SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA.
16. SEDIMENT TRAPS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE DETAIL ON THIS SHEET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE DESILTING BASINS AND THE SEDIMENT TRAPS.
17. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD.
18. EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS STREETS AND BUILDING PADS ARE BEING INSTALLED.
19. THE CONTRACTOR CAN STORE TEMPORARILY, STOCKPILES AND EROSION CONTROL SUPPLIES, TO HANDLE EMERGENCIES, AND SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES.
20. THE CONTRACTOR SHALL KEEP AN EMERGENCY PHONE # OF CREW CAPTAIN THAT WILL HANDLE EMERGENCIES.
21. THE CONTRACTOR–ASSIGNED STANDBY CREWS 24 HOURS SEVEN DAYS PER WEEK TO BE CALLED TO WORK DURING EACH RAINSTORM EMERGENCY.
22. THE CONTRACTOR SHALL ASSIGN ONE CREW CAPTAIN RESPONSIBLE FOR DAILY, WEEKLY, MONTHLY INSPECTION DURING WET, AND DRY WEATHER TO BE SURE ALL EROSION CONTROL MEASURES ARE WORKING PROPERLY.
23. DURING SITE WORK CONSTRUCTION, HAZARDOUS MATERIALS SHALL BE CONTAINED IN TRUCKS, WASTE PLACED IN DUMPSTER, AND CONCRETE AND TRUCK WASHING DONE OFFSITE IN APPROVED FACILITIES. VEHICLE AND EQUIPMENT STORAGE AREA LOCATION MAY CHANGE DURING CONSTRUCTION PHASES.

LEGEND

FIBER ROLL

INLET PROTECTION

STABILIZED CONSTRUCTION ENTRANCE

IMPLEMENT ALL EROSION AND SEDIMENT CONTROLS PER CASQA STORMWATER BMP HANDBOOK

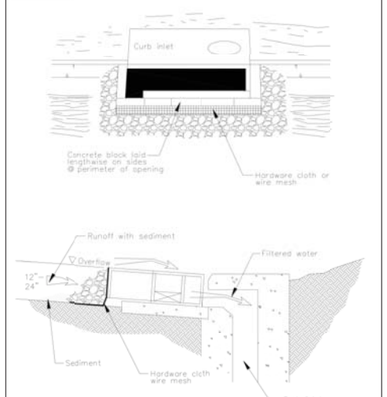
IMPLEMENT AS NEEDED AND WHEN APPROPRIATE:
1. SILT FENCES AROUND SITE PERIMETER
2. GRAVEL BAGS SURROUNDING CATCH BASINS
3. FILTER FABRIC OVER CATCH BASINS
4. COVERING OF EXPOSED STOCKPILES
5. CONCRETE WASHOUT AREAS
6. STABILIZED ROCK/GRAVEL DRIVEWAYS AT POINTS OF EGRESS
7. VEGETATION, HYDROSEEDING, OR OTHER SOIL STABILIZATION METHOD

TASKS THAT NEED PERFORMING ROUTINELY:
1. SWEEP STREET
2. CLEAN STORM DRAIN CATCH BASIN

STORAGE AND WASTE MANAGEMENT NOTES:

1. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR STORAGE OF BAGS OF CEMENT, PAINTS, FLAMMABLES, OILS, FERTILIZERS, PESTICIDES, OR ANY OTHER MATERIALS USED ON THE PROJECT SITE THAT HAVE THE POTENTIAL FOR BEING DISCHARGED TO THE STORM DRAIN SYSTEM BY THE WIND OR IN THE EVENT OF A MATERIAL SPILL. NO HAZARDOUS WASTE MATERIAL SHALL BE STORED ON SITE.
2. GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE THEM IN A DUMPSTER OR OTHER CONTAINER WHICH IS EMPTIED OR REMOVED ON A WEEKLY BASIS. WHEN APPROPRIATE, USE TARPS ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORMWATER POLLUTION.

Storm Drain Inlet Protection **SE-10**



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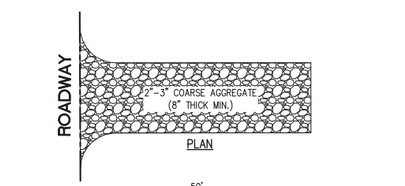
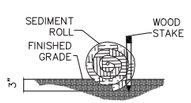


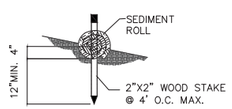
NOTE:

THE ENTRANCE SHALL BE MAINAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO STREE.

A – STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

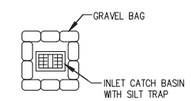


ENTRENCHMENT DETAIL IN FLAT AREA

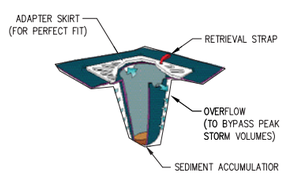


ENTRENCHMENT DETAIL IN SLOPED AREA

B – FIBER ROLL DETAIL
NOT TO SCALE



INLET PROTECTION DETAIL
NOT TO SCALE



SILT TRAP DETAIL
NOT TO SCALE

C – INLET PROTECTION DETAIL
NOT TO SCALE

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Planners
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ALIQUOT

PROFESSIONAL ENGINEER — CIVIL — No. 43748 — STATE OF CALIFORNIA

EROSION CONTROL PLAN
HAMPTON INN HOTEL
2300 W EL CAMINO REAL
SANTA CLARA COUNTY CALIFORNIA

MOUNTAIN VIEW

No.	Revisions
1	

Date 3/31/2020
Scale 1"=20'
Design
Drawn MC
Approved
Job No 217012

Drawing Number:
C4.0
6 OF 7

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RETAINING WALL
AC PAVING
UG PARKING
FACE OF WALL
PARKING LEVEL
PLANTER
Conc.
EP
EXIST. BLDG
EXISTING WALL
CONC. WALL
AC PAVING
PLANTER
ELEC. METER
RETAINING WALL
Trash Enc. Conc.
CONCRETE
Stairs
POOL
TUB
PLANTER
TRANSFORMER
PG&E VAULT
SIDEWALK
DRIVEWAY
12"WATER
8"SS
18"SD
12"SD
6"SS
6"GAS
RIM=81.88
FL=72.53
RIM=82.09
FL=76.68 IN
FL=76.60 OUT
CALTRANS TS ADVANCED LOOP DETECTOR HANDHOLE
PALM TREE
CONCRETE
AC PAVING
UG PARKING

10 5 0 10 20
SCALE: FEET

Allquot Associates, Inc.
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Planners
Civil Engineers
Surveyors

ALLIQUOT

PROFESSIONAL ENGINEER
CIVIL
No. 43748
REGISTERED
STATE OF CALIFORNIA

TOPOGRAPHIC SURVEY
HAMPTON INN HOTEL
2300 W EL CAMINO REAL
SANTA CLARA COUNTY
MOUNTAIN VIEW
CALIFORNIA

No.	Revisions
1	

Date 3/31/2020
Scale 1"=10'
Design
Drawn MC
Approved
Job No. 217012

Drawing Number:
C5.0
7 OF 7

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Plant Palette

Podocarpus henkelii
Podocarpus

Tristania conferta
Brisbane Box

Podocarpus elongatus 'Monmal'
Blue Ice Yellowwood

Ulmus parviflora
Chinese Elm

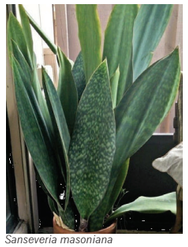
Chondropetalum tectorum
Small Cape Rush

Pittosporum 'Silver Sheen'
Silver Sheen Pittosporum

Clivia miniata
Kaffir Lily

Pennisetum orientale
Chinese Fountain Grass

Aloe 'Safari Rose'
Safari Rose Aloe



Sanseveria masoniana
Snake Plant

Campsis radicans
Trumpet Vine

Trachelospermum jasminoides
Star Jasmine

City of Mountain View Standards for Landscape Plan- Water Conservation in the Landscape

GENERAL NOTES:

1. Groundcover, shrubs and trees are drought tolerant, native and Medditerranean plants with irrigation plant factor of "low" to "medium". No high water use plants (e.g. turf) have been selected.

2. Water Budget is provided on Sheet L.0.
MAWA= 55,572 gal/year
ETWU= 42,552 gal/year
ETWU is 77% of MAWA

3.Irrigation Hydrozones shall be separated with control valves and controller stations into appropriate and compatible zones. For the purposes of Cal Green there are two hydrozones: "Low Ground Covers, Shrubs and Trees" and Moderate Ground Covers, Shrubs and Trees" (no lawn)

4. Spray irrigation is not used on the proposed project, therefore overspray, low head drainage and irrigation runoff will be avoided.

5. Drip Irrigation system average irrgation efficiency shall exceed irrigation efficiency of 70%

6. A weather sensor (or rain shut-off device) will prevent irrigation after significant precipitation. Irrigation system shall include programmable irrigation controller per note 3 above.

Preliminary Plant Materials List

Shrubs and Vines (5 Gallon) / Groundcovers (1 Gallon)

Shrubs

Aloe 'Safari Rose'	Safari Rose Aloe
Chondropetalum tectorum	Cape Rush
Clivia miniata	Kaffir Lily
Lomondra longifolia 'Breeze'	Lomondra
Pennisetum orientale	Oriental Fountain Grass
Pennisetum setaceum "Rubrum'	Purple Fountain Grass
Pittosporum tenuifolium 'Silver Sheen'	Pittosporum
Myrica californica	Pacific Wax Myrtle
Rhaphiolepis indica 'Clara'	India Hawthorne
Rosa spp.	Carpet Rose (Amber or Peach)
Trachelospermum jasminoides	Star Jasmine
Sanseveria masoniana	Whale Fin

Spreading Groundcover

Archtostaphylos 'Emerald Carpet'	Manzanita
Lomandra longifolia 'Breeze'	Lomondra
Senecio mandraliscae	Blue Chalk Sticks
Trachelospermum jasminoides	Star Jasmine

Succulent Perennials

Echeveria 'Morning Beauty'	Echeveria

Vines

Campsis radicans	Common Trumpet Creeper

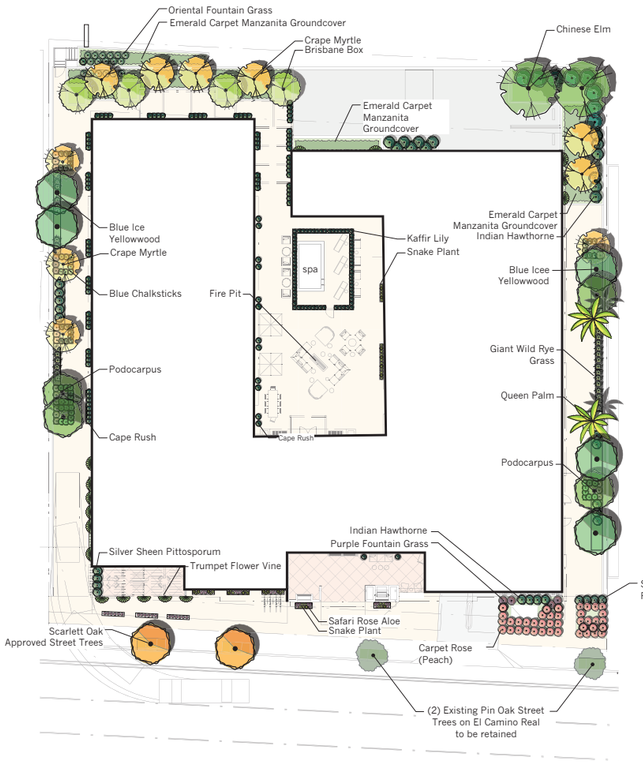
Trees (24" Box)

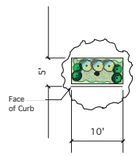
Proposed Broadleaf Evergreen Trees

Podocarpus elongatus 'Monmal'	Blue Icee Yellowwood
Podocarpus henklii	Podocarpus
Syagrus romanzoffiana	Queen Palm
Tristania conferta	Brisbane Box
Ulmus parvifolia	Chinese Elm

Proposed Deciduous Trees

Lagerstroemia indica 'Natchez'	Crape Myrtle
Quercus coccinea	Scarlett Oak





Parkway Planter with Trees & Shrubs

As required by Public Works Division and El Camino Precise Plan, tree wells are a minimum 10'x5'. Planter landscaping shall be drought tolerant and hardy species. Planting shall be no more than 3 feet high, including but not limited to species such as carpet rose, coprosma and rosemary. Proposed Street Tree is Scarlet Oak, consistent with the El Camino Precise Plan . New trees shall be placed at 30ft spacing to create a continuous canopy. Refer to civil plan for curb, gutter and sidewalk improvements.

REFER TO CONSTRUCTION DOCUMENTS FOR COMPREHENSIVE PLANTING PLAN

Existing "Heritage" Trees to Retain:

See Approved Preliminary Landscape Set Dated March 27, 2017, Sheet L-4 for Tree Map. Refer to Arborist Reports Dated May 13, 2015 and May 22, 2018 for complete tree inventory.

(2) Quercus palustris / Pin Oak

Mulch

Mulch all ground cover and planter areas with 3" minimum layer 'walk-on' bark. Areas adjacent to building entries may receive decorative gravel mulch for accent.

Note:

All plant materials proposed are selected appropriately according to suitability to the climatic, geologic, and topographical conditions of the site. Plant selection emphasizes the use of drought tolerant and water conserving plants.

LOW WATER USE LANDSCAPE
TOTAL SQ FT: 3,424

MEDIUM WATER USE LANDSCAPE
TOTAL SQ FT: 973

Water Efficient Landscape Ordinance Compliance

- Refer to Irrigation Plan and Irrigation Specifications 2.02 for Soil Management Report.
- Refer to table below for water budget .
- Refer to Irrigation Plan for valve station hydrozone identification.
- Refer to Plant List for WUCOLS plant factors used in Table 2.
- Refer to Specifications 1.02 for Hydrozone record drawing requirement

Table 1: annual

To Calculate MAWA- Maximum Applied Water Allowance	
ETo (annual)	45.3
A	4,397
SLA	0
MAWA (gallons/year)	55,572
MAWA (inches per sq. ft)	20.27
MAWA (inches per DAY)	0.06

ETo is not adjusted for seasonal rainfall
MAWA = (Eto)(0.62)[(0.45xLA)+(0.55xSLA)]

Table 2a: annual

To Calculate ETWU- Estimated Total Water Use	
Eto (annual)	45.3
PF-HA (see table 2b)	1,227
HA (see table 2b)	4,397
IE (see Table 3)	0.81
SLA	0
ETWU (gallons/season)	42,552
ETWU (inches per sq. ft.)	15.82
ETWU (per DAY)	0.04

ETo is not adjusted for seasonal rainfall
ETWU = (Eto)(0.62)[(PF+HA)/IE]+SLA)

Table 2b

To Determine Plant Factor with Multiple Hydro Zones

H.Z	Water Use Type	P.F **	H.A (s.f.)	Weighted P.F.
1	LOW	0.2	1,892	378
2	MED	0.4	973	389
3	LOW	0.3	1,532	460
				0
				0
				0
		Totals	4,397	1,227

**Plant Factor from WUCOLS, August 2000 adjusted for local microclimate and soils

ETWU IS 77.% MAWA

ETWU÷MAWA	0.77

Table 3: hydrozone (H.Z.) information

To Determine Average System "IE" exceeds .71

H.Z	Water Use Type	Sprinkler	HA	"IE"	Weighted Area
1	LOW	EMITTER	1,892	0.81	1,533
2	MED	EMITTER	973	0.81	788
3	LOW	EMITTER	1,532	0.81	1,241
					0
					0
					0
Totals			4,397		3,562
				IE =	0.81

Table 2b SLA

To Determine Plant Factor with Multiple Hydro Zones

H.Z	Water Use Type	P.F **	H.A (s.f.)	P.F.
1				0
2				0
3				0
4				0
5				0
6				0
		SLA Totals	0	0

**Plant Factor from WUCOLS, August 2000

WATER EFFICIENT LANDSCAPE COMPLIANCE STATEMENT

Water Budget (ETWU) is 77% of the Maximum Applied Water Allowance. Refer to permit application for Project Information.

"I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the LANDSCAPE AND IRRIGATION design plans"

Lindsay Morica, Firma Consultants Inc.

North

Scale: 1" = 20'-0"

20' 10' 0 20' 40' 60'

Arris STUDIO ARCHITECTS
1306 JOHNSON AVENUE
SAN LUIS OBISPO, CA 93401
805/547.2240 805/547.2241
THOMAS E. JESS ARCHITECT
#C27558
STEPHEN F. RIGOR #C33672
Architect of Record/Consultant
LANDSCAPE ARCHITECT LINDSAY A. CORICA #6355 REGISTERED 07/31/2020 STATE OF CALIFORNIA
Consultant
firma landscape architects planning ~ environmental studies
187 Tank Farm Road, Suite 230, San Luis Obispo, CA 93401
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Hampton Inn by HILTON

Client
BPR PROPERTIES
953 INDUSTRIAL AVENUE
SUITE 100
PALO ALTO, CA 93403

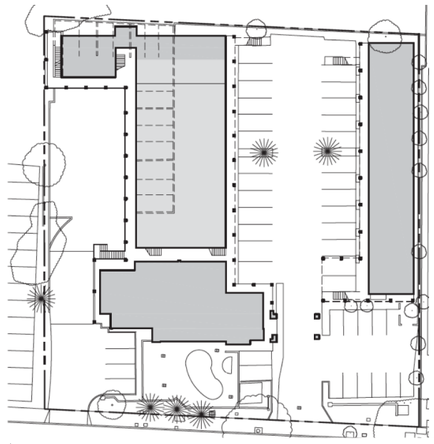
MOUNTAIN VIEW
HAMPTON INN HOTEL
2300 WEST EL CAMINO REAL

SCHEMATIC LANDSCAPE PLAN
WITH IMAGERY

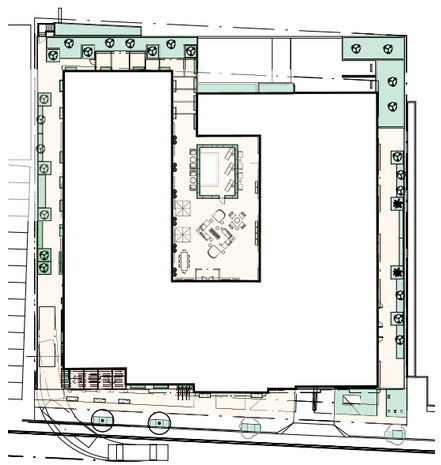
NO.	SHEET ISSUE/REVISION	DATE

Project FIRMA #21735
Date 07/15/2020
Sheet **L-1**

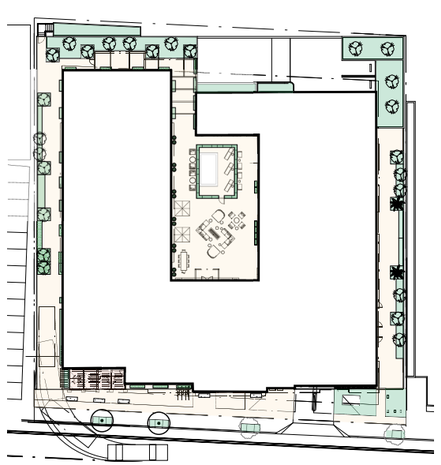
File Name: Firma_MtnView_21735_CD Last Date Modified: 07.15.2020



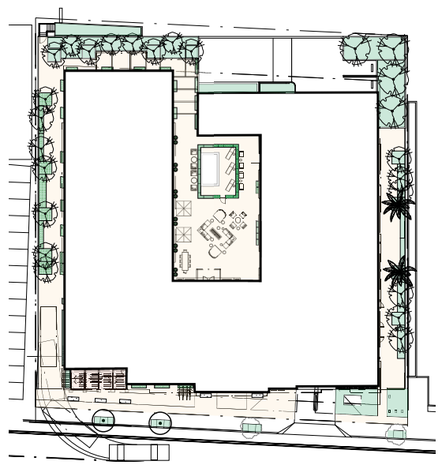
EXISTING CANOPY COVERAGE 1'-0" =30'-0" SCALE @24x36



TIME OF PLANTING 1" =30'-0" SCALE @24x36



5 YEAR BUILD OUT 1" =30'-0" SCALE @24x36



10 YEAR BUILD OUT 1" =30'-0" SCALE @24x36

Notes:

1. 75% of the Total Parking Area is shaded by Building and Tree Canopy at maturity for Ground Level Parking. Refer to Sheet A0.4 for Covered and Uncovered Parking Statistics at Ground Level. The Covered Parking in the Basement Level was not included in this study.

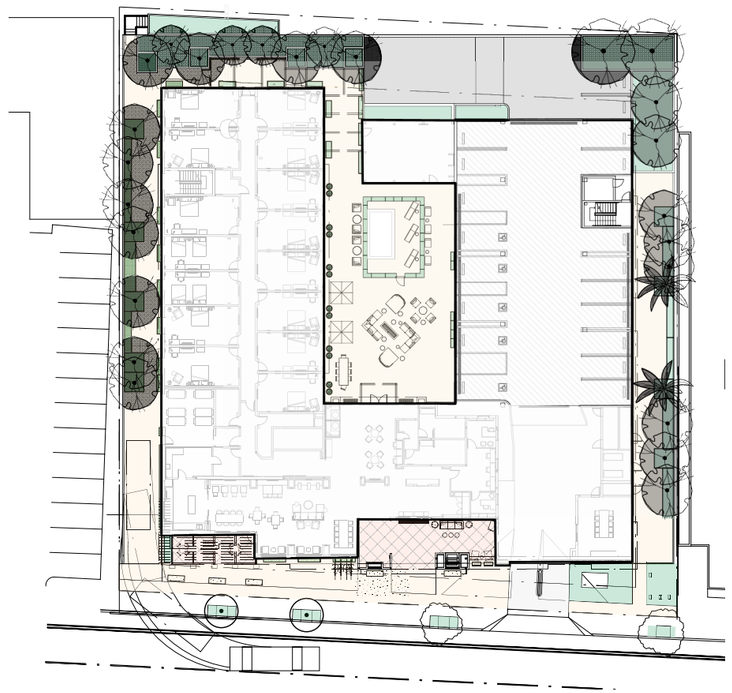
2. Regarding the overall tree canopy on site, 10.7% of the overall site will be covered by tree canopy at maturity (See Table 2) Therefore, when compared to the existing site conditions the proposed project will add approx. 4,288 SF or 9% tree canopy to the overall site.

Table 1: Parking Lot Tree Canopy Percentage -Total Uncovered Parking Lot Area: 2,298 SF

	Existing	Time of Planting	5 Year	10 Year	Maturity
Total SF of Parking Covered by Tree Canopy	212 SF	0 SF	19 SF	74 SF	163 SF
Total Percent Canopy Coverage	1%	0%	1%	3%	7%

Table 2: Overall Site Tree Canopy Percentage - Site Area Total: 42,138 SF

	Existing	Time of Planting	5 Year	10 Year	Maturity
Total SF of Site Covered by Tree Canopy	212 SF	225 SF	1,800 SF	3,150 SF	4,500 SF
Total Percent Canopy Coverage	1%	1%	4.3%	7.5%	10.7%



Planting Plan
PL-2019-312
April 09, 2020

MATURITY- 15 YEARS 1" =20'-0" SCALE @30x42

TREE CANOPY LEGEND

SYMBOL	CLASSIFICATION
	EXISTING TREE RETAINED
	PROPOSED CANOPY TREE
	PROPOSED PALM TREE
	COVERED PARKING LOT AREA - 6,062 SF (GROUND LEVEL)
	EXPOSED PARKING LOT AREA - 2,298 SF
	PARKING LOT AREA CANOPY COVERAGE
	CANOPY COVERAGE OF ENTIRE SITE

North

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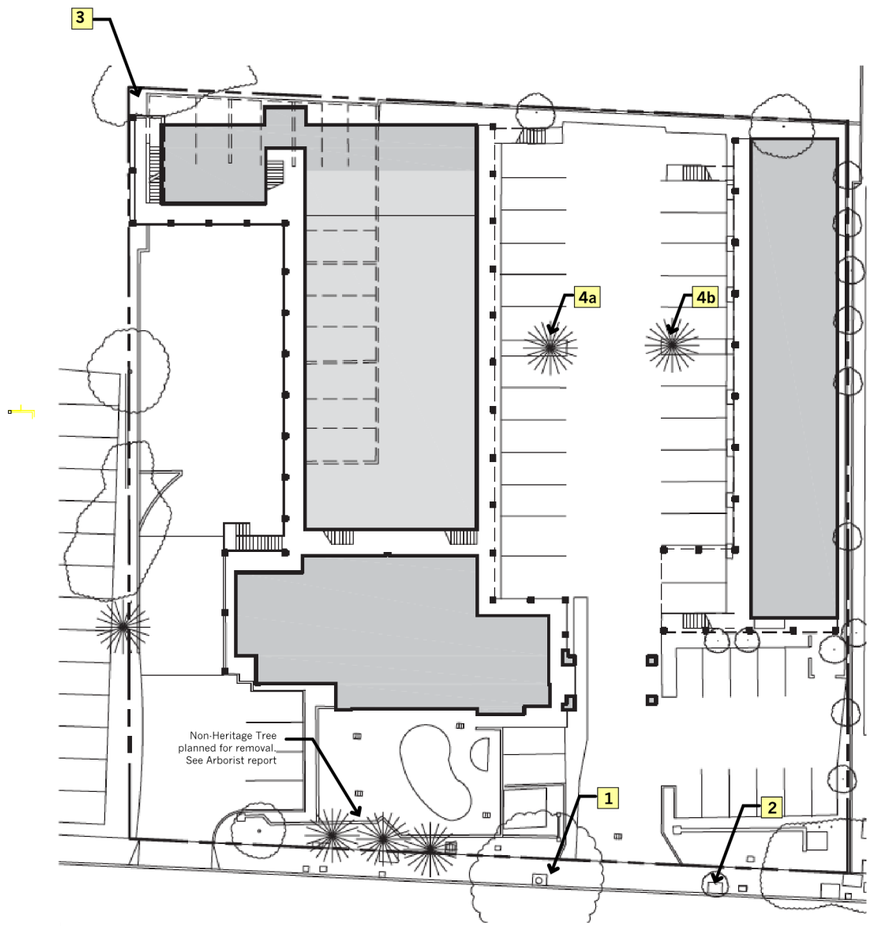
MOUNTAIN VIEW
HAMPTON INN HOTEL
2300 WEST EL CAMINO REAL

LANDSCAPE CANOPY COVERAGE PLAN

NO.	SHEET ISSUE/REVISION	DATE

Project FIRMA# 21735
Date 07/15/2020
Sheet **L-2**

File Name: Firma_MtnView_21735_CD Last Date Modified: 07.15.2020



SITE PLAN- EXISTING CONFIGURATION

HERITAGE TREE LEGEND

	Botanical / Common Name	Retain, Remove or Relocate
1	Quercus Palustris/ Pin Oak	Retain
2	Quercus Palustris/ Pin Oak	Retain
3	Ulmus Parvifolia / Chinese Elm	Remove. (Safety Concern)
4a	Washington Robusta/ Fan Palm	Remove. (Conflict with proposed site development; Relocation unadvised.)
4b	Washington Robusta/ Fan Palm	Remove. (Conflict with proposed site development; Relocation unadvised.)

EXISTING # TREES ON SITE: 26
EXISTING # HERITAGE TREES: 5
NON-HERITAGE TREES: 21

TREES PROPOSED FOR REMOVAL: 24
HERITAGE TREES PLANNED FOR REMOVAL: 3 (See Reasons for Removal Above)

Refer to Arborist Report Dated May 22, 2018 for Suitability for Preservation of Two Fan Palms on Construction Site.

Per arborist report (pg.3), all other trees on the property not labeled 1 through 4 are planned for removal as they are not of a size protected under City ordinance. Approximately 27 new trees are proposed on site as part of schematic landscape plan.

North

N.T.S

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HERITAGE TREE MAP

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Project
FIRMA #21735
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Sheet
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