

# GENESIS/HYUNDAI SERVICE CENTER

## 2150 Old Middlefield Way, Mountain View, CA 94043

### Formal Application for Conditional Use Permit and Development Review Permit

ABBREVIATIONS			
A.B.	ANCHOR BOLT	GALV.	GALVANIZED
ABV.	ABOVE	G.B.	GYPSUM BOARD
A/C	AIR CONDITIONING	G.D.	GARBAGE DISPOSAL
ACOUS.	ACOUSTICAL	G.D.O.	GARAGE DOOR OPERATOR
ADJ.	ADJACENT	G.F.I.	GROUND-FAULT CIRCUIT INTERRUPTER
ADJ.	ADJUSTABLE	G.I.	GALVANIZED IRON
AL	ALUMINUM	GL	GLASS
ALT.	ALTERNATE	GRD.	GRADE
AMP.	AMPERAGE	GRND.	GROUND
AVG.	AVERAGE	GYP.	GYPSUM
BD.	BOARD	G.V.B.	GLUED-LAMINATED BEAM
BLDG.	BUILDING	G.T.	GIRDER TRUSS
BLK'G.	BLOCKING	H.C.	HOLLOW CORE
BLT-IN	BUILT-IN	H.D.	HOLD DOWN ANCHOR
BM.	BEAM	HDR.	HEADER
B.N.	BOUNDARY NAILING	HGT.	HEIGHT
BRG.	BEARING	HNGR.	HANGER
B.S.	BAR SINK	INSUL.	INSULATION
CABT.	CABINET	INT.	INTERIOR
CALC.	CALCULATION	LAV.	LAVATORY
CMBR.	CAMBER	LAM.	LAMINATED
C.H.C.	CEILING HEIGHT CHANGE	L.F.	LINEAL FEET/FOOT
C.I.	CAST IRON	L.L.	LOG LIGHTER
C.J.	CEILING JOIST	L.L.M.	LUMINOUS
C.L.	CENTER LINE	LVR.	LOUVER
CLG.	CEILING	MAR.	MARBLE
CLR.	CLEAR	MAS.	MASONRY
CNTR.	COUNTER	MAX.	MAXIMUM
CNTRTP.	COUNTER TOP	M.B.	MACHINE BOLT
C.O.	CASED OPENING	M.C.	MEDICINE CABINET
CONC.	CONCRETE	MFR.	MFR. MANUFACTURER
CONT.	CONTINUOUS	MIN.	MIN. MINIMUM
CPT.	CARPET	MIR.	MIR. MIRROR
C.R.	CURTAIN ROD	M-L	MICRO LAM
CSMT.WDW.	CASEMENT WINDOW	M.O.	MASONRY OPENING
C.T.	CERAMIC TILE	MTD.	MOUNTED
CULT.	CULTURED	MTL.	METAL
D.	DRYER	N.G.	NATURAL GRADE
DBL.	DOUBLE	N.I.C.	NOT IN CONTRACT
D.F.	DOUGLAS FIR	NOM.	NOMINAL
DIA. OR Ø	DIAMETER	N.T.S.	NOT TO SCALE
DIAG.	DIAGONAL	O/	OVER
DIM.	DIMENSION	O.A.	OVERALL
DISP.	DISPOSAL	OBS.	OBSCURE
DP.	DEEP	O.C. OR O/C	ON CENTER
DR.	DOOR	O.H.	OVERHEAD
DRP.	DROP	OPG.	OPENING
D.S.	DOWNSPOUT	OSA	OUTSIDE AIR
DTL.	DETAIL	O.S.B.	ORIENTED STRAND BOARD
D.W.	DISHWASHER	P.B.	PUSH BUTTON
DWG.	DRAWING	P.C.	PORTLAND CEMENT
DWR.	DRAWER	P.C.	PULL CHAIN
EA.	EACH	PCE.	PIECE
ELECT.	ELECTRICAL	PH.	PHONE
E.N.	ELEVATION	PLT.	PLATE
EQ.	EQUAL	PLAS.	PLASTER
EXH.	EXHAUST	PLYWD.	PLYWOOD
E.W.	EXTERIOR	PR.	PAIR
FAU.	EACH WAY	PSF.	POUNDS/SQUARE FOOT
F.G.	FORCED AIR UNIT	PSI.	POUNDS/SQUARE INCH
F.G.	FIXED GLASS	P=L	PARALLAM
FIN.	FUEL GAS	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
FIN.FLR.	FINISH FLOOR	PVC.	POLY VINYL CHLORIDE
F.J.	FINISH FLOOR JOIST		
FL.	FLUSH		
FLUOR.	FLOUORESCENT		
F.M.C.	FLOOR MATERIAL CHANGE		
F.N.	FIELD NAILING		
FND.	FOUNDATION		
F.O.C.	FACE OF CURB		
F.O.M.	FACE OF MASONRY		
F.O.S.	FACE OF STUDS		
FR.DR.	FRENCH DOOR		
FTG.	FOOTING		

**PROJECT DESCRIPTION:**

**CONDITIONAL USE PERMIT** - THIS CONDITIONAL USE PERMIT IS FOR THE TENANT IMPROVEMENTS, OCCUPANCY AND OPERATIONS OF A NEW GENESIS-HYUNDAI AUTOMOTIVE SERVICE CENTER ("SERVICE CENTER") FOR "AUTOMOBILE REPAIR, MINOR USE" LOCATED AT 2150 OLD MIDDLEFIELD WAY WITHIN AN EXISTING, 11,130 SQUARE FOOT WAREHOUSE STYLE BUILDING ON A 0.81 ACRE LOT ("THE PROJECT"). THE EXISTING BUILDING, BUILT IN 1965, HAS 3 GRADE LEVEL ROLL UP DOOR, 5 DOUBLE DOORS, 13' - 15' CLEAR HEIGHT, AND 800-AMPS, 120/240-VOLTS OF POWER. THE EXISTING SURFACE PARKING LOT HAS 42 SPACES. THE ASSOCIATED GENESIS-HYUNDAI STUDIO SHOWROOM ("SHOWROOM") IS LOCATED APPROXIMATELY 1.5 MILES AWAY AT 2575 CALIFORNIA STREET, SUITES 90 & 92, AT THE VILLAGE AT SAN ANTONIO NORTH IN MOUNTAIN VIEW, CA. THE SHOWROOM IS NOT A PART OF THIS APPLICATION.

**PARKING REDUCTION** - THE CITY HAS DETERMINED THAT THE PROJECT FALLS WITHIN THE CATEGORY OF "REPAIR AND MAINTENANCE - VEHICLE - REPAIR GARAGE" UNDER THE MOUNTAIN VIEW PARKING AND LOADING CODE SECTION 32.36.50, WHICH REQUIRES 5 SPACES PLUS 1 SPACE FOR EACH 200 SQ. FT. OOF GROSS FLOOR AREA. THIS CONDITIONAL USE PERMIT PROVIDES FOR A PARKING REDUCTION IN CONFORMANCE WITH SECTION 36.32.65 SPECIFICALLY, THE PROJECT REQUESTS A REDUCTION IN PARKING TO PROVIDE 38 SPACES WHERE 61 ARE REQUIRED.

**DEVELOPMENT REVIEW PERMIT** - THIS DEVELOPMENT REVIEW PERMIT IS FOR THE ADDITION OF MINOR FACADE ENHANCEMENTS THAT INCORPORATE MATERIALS, TEXTURES, AND COLOR COMPLEMENTARY AND CONSIST WITH THE GENESIS-HYUNDAI BRANDS.

**MOUNTAIN VIEW 2036 GENERAL PLAN** - THE SITE IS DESIGNATED GENERAL COMMERCIAL UNDER THE MOUNTAIN VIEW GENERAL PLAN, WHICH SUPPORTS A BROAD RANGE OF COMMERCIAL AND LIGHT INDUSTRIAL SERVING BUSINESSES AND RESIDENTS (SUCH AS AUTOMOTIVE REPAIR).

**ZONING** - THE SITE IS LOCATED WITHIN THE (CS) COMMERCIAL - SERVICE ZONING DISTRICT, WHICH ALLOWS SERVICE COMMERCIAL AND INDUSTRIAL USES THAT SERVE LOCAL RESIDENTS AND BUSINESSES. THESE USES INCLUDE AUTOMOTIVE REPAIR, RETAIL AND WHOLESALE BUSINESSES, CARPENTRY SHOPS, VETERINARY CLINICS AND SIMILAR AND RELATED COMPATIBLE USES.

**TENANT IMPROVEMENTS** - THE FRONT QUARTER OF THE BUILDING WILL BE DIVIDED INTO SEPARATE GENESIS AND HYUNDAI SERVICE FACILITIES WITH COVERED DROP-OFF AREAS ("PORTE COCHERES"), RECEPTION AREAS, AND SERVICE WRITERS OFFICES. EACH BRAND WILL HAVE LUNGES WITH COFFEE BARS AND RESTROOMS. THE REMAINDER OF THE FACILITIES WILL CONSIST OF 01 SERVICE BAYS (7 FOR GENESIS AND 7 FOR HYUNDAI) FOR GASOLINE AND ELECTRIC POWERED VEHICLES. INTERIOR ROOMS ARE PROVIDED FOR TRASH AND EV STORAGE. INTERIORS ARE DECORATED WITH A MODERN SOPHISTICATED, MINIMALIST AESTHETIC WITH HIGH END FINISHES. THE FRONT FACADE OF THE BUILDING, INCLUDING THE TWO PORTE-COCHERES, FEATURE ACM FASCIAS IN LINE WITH EACH BRAND'S MATERIALS. COLOR PALATE AND DESIGN OBJECTIVES. MINIMAL SITE IMPROVEMENTS ARE PROPOSED.

**EMPLOYEES** - APPROXIMATELY 15 - 20 EMPLOYEES.

**HOURS OF OPERATION** - THE SERVICE CENTER WILL BE OPEN 6 DAYS PER WEEK: MONDAY - FRIDAY 7:30 AM - 6:00 PM, AND SATURDAYS 8:00 AM - 3:00 PM.

**PROJECT DATA**

**LOCAL JURISDICTION:** CITY OF MOUNTAIN VIEW, CA

**ASSESSOR'S PARCEL NUMBER:** 147-07-077

**PROJECT ADDRESS:** 2150 OLD MIDDLEFIELD WAY, MOUNTAIN VIEW, CA 94043

**ZONING:** CS - COMMERCIAL-SERVICE

**OCCUPANCY GROUP:** B & S-1

**CONSTRUCTION TYPE:** TYPE V-B 1 STORY 9,000 SF

**NO. OF STORIES:** 1 STORY

**LOT NUMBER:** 77

**FIRE SPRINKLES SYSTEM:** PROPOSED NEW

**AREA:** GROSS LAND AREA OF RECORD IS 34,592 SQ.FT. / 0.81 ACRE

ZONING - THE PROPERTY IS IN THE CS (COMMERCIAL -SERVICE) ZONING DISTRICT WHICH ALLOWS SERVICE COMMERCIAL AND INDUSTRIAL USES. THESE USES INCLUDE AUTOMOTIVE REPAIR, RETAIL AND WHOLESALE BUSINESSES, DISTRIBUTION, OFFICE, RESEARCH AND DEVELOPMENT, WAREHOUSING, VETERINARY CLINICS AND MORE.

ALLOWABLE CALCULATION TABLE 506.2  
OCCUP. GROUP B & S-1  
CONSTRUCTION TYPE: VB 1-STORY 9000SF  
FULLY SPRINKLERED: 36,000 SF

**FLOOR AREA RATIO AND REQUIRED PARKING CALCULATION**

TOTAL BUILDING SQUARE FOOTAGE: 11,130 SF  
TOTAL SITE SQUARE FOOTAGE: (.81 ACRE) 34,592 SF

**FLOOR AREA RATIO:** MAIN BUILDING: 11,130 SF  
11,130 / 34,592 SF = 32.2 %

**REQUIRED AND PROPOSED PARKING:** REPAIR GARAGE : 5 + 11,130 SF / 200 =61 STALLS REQUIRED

PROPOSED PARKING SPACES: (PROVIDED)

DIAGONAL PARKING STALLS	13
ADA PARKING (VAN)	1
TEMPORARY PARKING FOR SERVICE PERSONNEL	10
SERVICE BAYS	14
TOTAL PARKING PROVIDED	38
BICYCLE PARKING:	0

**SHEET INDEX**

**GENERAL**

CS PROJECT DATA AND INFORMATION

A0.1 HEXAGON SITE PLAN AND VEHICLE CIRCULATION PLAN

**ARCHITECTURAL**

A1.1 EXISTING SITE CONDITIONS 1

A1.2 EXISTING SITE CONDITIONS 2

A1.3 EXISTING AND NEW SITE PLAN

A1.4 NEW SITE PLAN

A1.5 SITE PARKING CIRCULATION PLAN

A1.6 TRASH MANAGEMENT PLAN

A2.1 RENDERINGS 1

A2.2 RENDERINGS 2

A3.1 EXISTING SITE PLAN

A3.2 EXISTING FLOOR PLAN AND DEMO

A3.3 ZONING DIAGRAM AND EGRESS PLAN

A3.4 NEW ROOF PLAN

A4.1 EXISTING ELEVATIONS

A4.2 NEW ELEVATIONS

A4.3 NEW SECTIONS

A5.1 EXTERIOR LIGHTING SITE PLAN

A5.2 SITE PHOTOMETRIC PLAN

A5.3 SHADOW STUDY

A6.1 SITE DETAILS

A6.2 ACM DETAILS

**SURVEY**

T1-1 PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

T1-2 PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

PROJECT: HYUNDAI - GENESIS SERVICE CENTER

PROJECT ADDRESS: 2150 Old Middlefield Way, Mountain View, CA 94043

CLIENT: Cardinale Automotive Group

**GENESIS/HYUNDAI SERVICE CENTER**  
2150 Old Middlefield Way,  
Mountain View, CA 94043

PROJECT NO.: 2024-03

REVISION:  
△ PER CITY COMMENTS 06.27.24  
△ PER CITY COMMENTS 12.03.24

SHEET TITLE: COVER SHEET

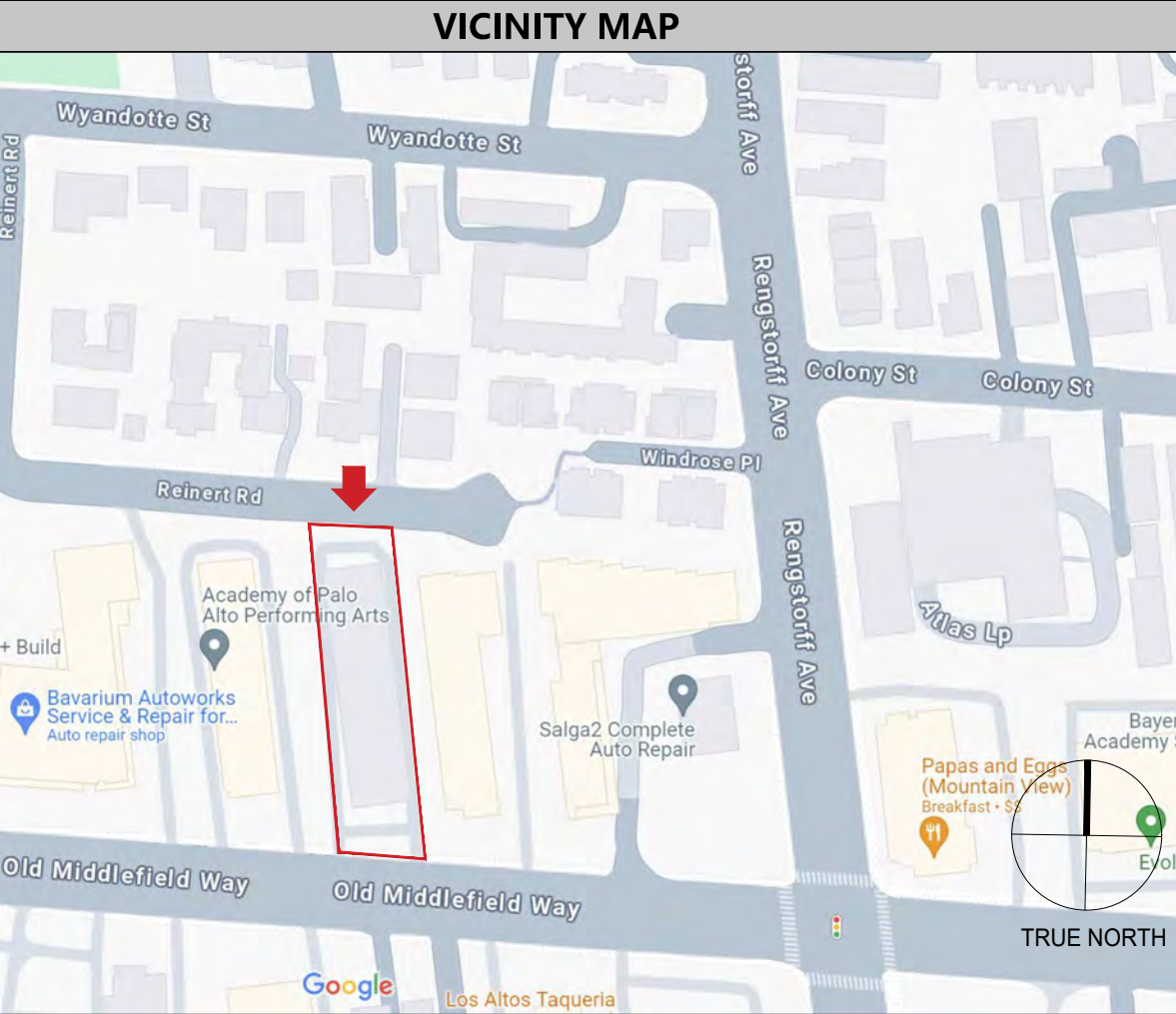
DESIGNED BY: KK

DRAFTING BY: KC

SHEET NO:

**NOTES**

ALL SIGNS ARE CONCEPTUAL AND WILL BE SUBMITTED UNDER SEPARATE PERMIT



**CITY APPROVAL STAMPS**

**GENERAL NOTES**

SAFETY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS OR SAFETY PROGRAMS USED TO PROVIDE A SAFE WORKING ENVIRONMENT ON THE JOB SITE. CONSTRUCTION EXECUTION, EACH CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION, AND EQUIPMENT NECESSARY TO PERFORM ALL WORK UNDER HIS TRADE IN FULL ACCORDANCE WITH THE WORKING DRAWINGS, SPECIFICATIONS AND CONTRACTS.

JOB SITE CONDITIONS, EACH CONTRACTOR SHALL CLEAN UP AND REMOVE ALL DEBRIS RESULTING FROM HIS WORK PRIOR TO SUBMITTING REQUEST FOR PROGRESS PAYMENT. IN NO CASE WILL FINAL PAYMENT BE DISPENSED TO EITHER THE PRIME CONTRACTOR OR ANY SUB-CONTRACTOR UNTIL ALL DEBRIS AND EQUIPMENT OWNED BY SAID CONTRACTOR'S, HAS BEEN REMOVED FROM THIS PROJECT SITE OR UNTIL OWNER APPROVAL HAS BEEN GRANTED.

THE RESPONSIBLE PARTY, EITHER THE PROJECT OWNER OR THIS SIGNED DESIGNER, SHALL BE NOTIFIED OF ERRORS OR OMISSIONS FOR CORRECTIONS BEFORE PROCEEDING WITH THE WORK. STORAGE, MATERIALS STORED ON SITE SHALL BE PROTECTED FROM DAMAGE BY MOISTURE, WIND, SUN, ABUSE OR ANY OTHER HARMFUL AFFECTS.

CHANGES, ANY MINOR OR REQUIRED CHANGES OR MODIFICATIONS TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AND ARCHITECT OR ENGINEER ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED.

MATERIALS, ALL MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PER APPLICABLE CODES AND REQUIREMENTS. THE DESIGNER SHALL HAVE NO CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

**CONSULTANTS**

**TENANT:** CARDINALE AUTO GROUP  
3239 IMJIN RD  
MARINA, CA 93933  
CONTACT: MICHAEL WARD  
EMAIL: MWWARD@CARDINALEWAY.COM

**MEP ENGINEER:** STEVEN T. TOYAMA, M.E.  
JORGE HOYOS, E.E.  
TOYAMA & ASSOCIATES  
(661) 296-3880 OFFICE

**ARCHITECT AND G.C.:** DARCO LLC  
999 WEST TAYLOR ST, SUITE A  
SAN JOSE, CA 95126  
CONTACT: DARWIN FAJARDO  
EMAIL: DARWIN@DARCO-CA.COM

**CIVIL ENGINEER:** SMP ENGINEERS  
SAEID RAZAVI  
1534 CAROL LANE LOS ALTOS, CA, 94024  
(408) 472-5062  
SRAZAVI@SMPENGINEERS.COM

**STRUCTURAL ENGINEER:** TY ENGINEERING AND DESIGN  
952 MANHATTAN BEACH BLVD., SUITE 260  
MANHATTAN BEACH, CA 90266  
(310) 935-0060 (PHONE)  
WWW.TY-ENG.COM

**CODE REFERENCE**

ALL CONSTRUCTION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FOLLOWING 2022 CALIFORNIA BUILDING STANDARDS CODE, CCR TITLE 24:

APPLICABLE BUILDING CODES:  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA STANDARDS CODE  
2022 CALIFORNIA BUILDING CODE (CBC)  
2022 MECHANICAL CODE (CMC)  
2022 PLUMBING CODE (CPC)  
2022 CALIFORNIA ELECTRICAL CODE (CEC)  
2022 CALIFORNIA GREEN BUILDING CODE CODE OF ORDINANCES SAN MATEO COUNTY  
2022 CALIFORNIA RESIDENTIAL CODE (CRC)

**GENERAL NOTES LEGEND**

DETAIL REFERENCE

1  
A6.1  
← DETAIL NUMBER  
← SHEET NUMBER

SECTION REFERENCE

1  
A6.1  
← SECTION NUMBER  
← SHEET NUMBER

INTERIOR ELEVATION REFERENCE

A6.1  
1  
← ELEVATION NUMBER/LETTER  
← SECTION NUMBER

OFFICE 101  
ROOM NAME AND NUMBER

EXISTING FULL HEIGHT WALL

NEW FULL HEIGHT WALL

PROJECTION LINES

AREA/WALLS TO DEMO

DETAIL OR PLAN ENLARGEMENT

1  
A6.1  
← DETAIL NUMBER  
← SHEET NUMBER

KEY NOTE REFERENCE

REVISION

CENTERLINE

COLUMN LINES

### Summary of Proposed Site Operations

The proposed service center would include 14 service bays and would be split evenly between services for Genesis vehicles and services for Hyundai vehicles. The Service Center facility would be for service and maintenance only and would not include a showroom or new car inventory. It is anticipated that the proposed Service Center would be open 6 days per week, Monday through Friday, from 7:30 AM to 6:00 PM and Saturday 8:00 AM to 3:00 PM.

The Applicant's Showroom and Service Center locations will operate as one dealership. There will be approximately 15 - 20 employees at the Service Center. Of this total, approximately 8 - 12 employees will be technicians servicing cars in the 14 on-site service bays. A single technician may service more than one bay. The remaining personnel will be Staff members supporting Service Center operations such as service writers and concierge pick up/delivery personnel. Some personnel from the Showroom may also be deployed for concierge pick up/delivery. The project would maintain the two existing driveways along Old Middlefield Way. The eastern driveway would be full access and would provide direct access to the Hyundai side of the Service Center. The western driveway would be inbound only and would provide direct access to the Genesis side of the Service Center. Vehicles that enter via the eastern driveway would require a three-point turn to turn around and exit the site. Vehicles that enter via the western driveway would navigate through the site in a clockwise direction.

The proposed Service Center would handle mostly routine maintenance, and small warranty repairs covered under the first three years of vehicle purchase. This would include minor maintenance such as oil changes, tire rotation, changing transmission fluid, replacement of air and oil filters, and safety inspections. The proposed service center would not perform any collision or body shop repair services. The proposed Service Center would also sell parts to local repair shops.

The Project proposes a new concept in vehicle service and maintenance to increase customer convenience. Customers would make an appointment, and staff would pick-up and drop-off the vehicle at the customer's home, work, or preferred location. Customers also could drop off vehicles by appointment, but the project applicant estimates that approximately 100% of Genesis customers and approximately 50% or more of Hyundai customers would use the concierge service. With this concierge service, on-site management of vehicles would be tightly coordinated. Staff would control the scheduling of pick-ups and returns, and customers would generally not have to visit the service center. Therefore, no AM/PM queuing by customers is expected since service of vehicles would primarily be handled by appointment only, spread throughout the day, and centrally managed by staff to pick-up/drop-off vehicles.

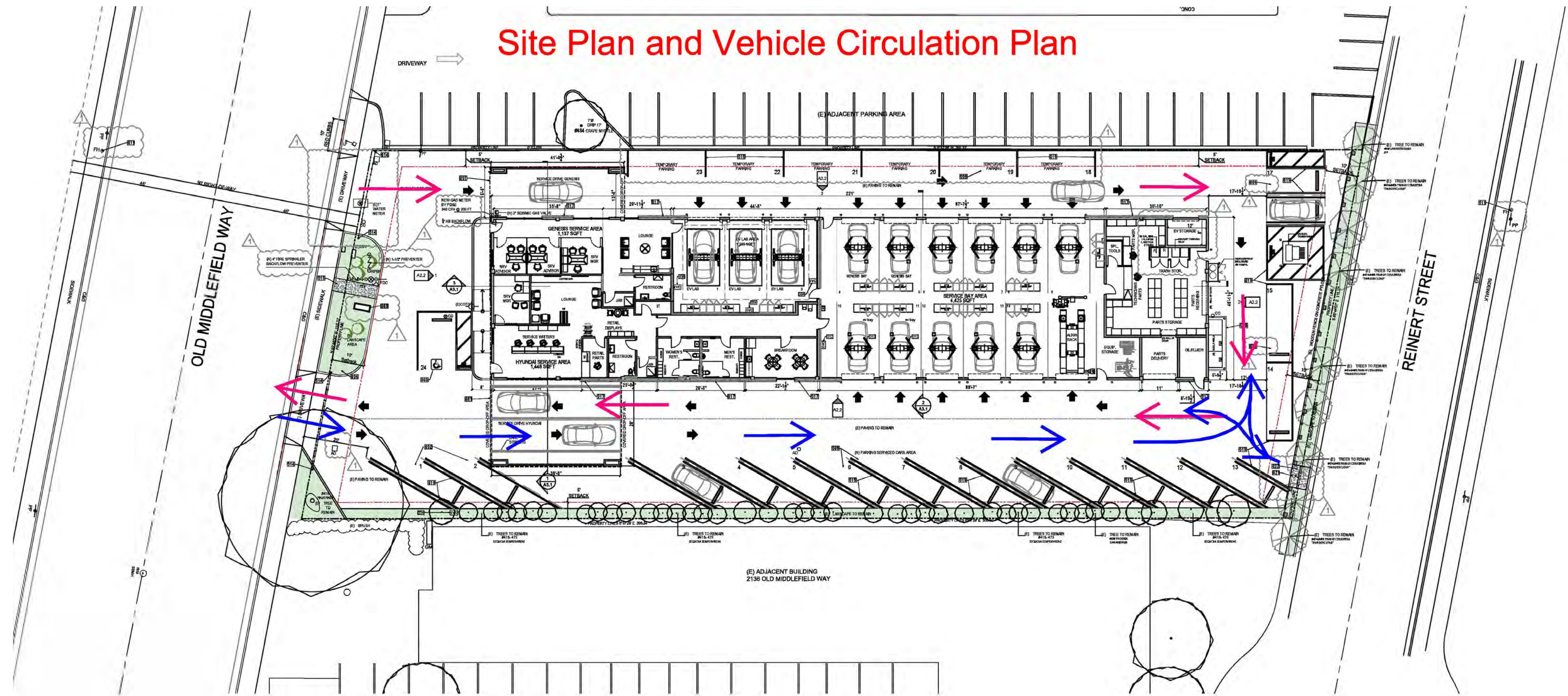
The Applicant expects that each service bay would serve approximately 1 to 2.5 vehicles per day on average; thus, the average total number of vehicles estimated to be serviced each day is approximately 14 to 35. Employees would not park on-site. The proposed project would work in conjunction with the Genesis-Hyundai Showroom at the Village at San Antonio North (2575 California Street, Suites 90 - 92 in Mountain View, California). The employees for the Service Center would park at the showroom site and be shuttled over to the Service Center site in one of the dealership vehicles.

### Deliveries

It is estimated that parts would be delivered to the site approximately 3 times per week. Parts typically would be delivered in the early morning or at night in a small box van. Delivery vans would drop off the parts at the proposed Service Center and retrieve any discarded parts boxes for reuse purposes. No large trucks would need to travel through the site.

### Parking

The proposed site plan shows a total of 24 parking spaces, including 12 diagonal spaces and 1 ADA space, and 10 exterior parking spaces for temporary "staging" of vehicles operated by Service Center employees during daily service operations. Additionally, the site includes 14 service bays that can house cars, if needed, overnight. In total, the site has capacity for 38 cars at one time without stacking or tandem parking. A Parking Analysis for the Proposed Genesis-Hyundai Service Center, dated Oct. 11, 2024, prepared by Hexagon Transportation Analysis demonstrates that the proposed supply of parking on-site is greater than the anticipated demand and would be adequate to serve the operational needs of the Project.



PROJECT:  
HYUNDAI - GENESIS  
SERVICE CENTER

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CLIENT:  
Cardinale Automotive  
Group

**GENESIS/HYUNDAI SERVICE  
CENTER**  
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PROJECT NO. : 2024-03

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SHEET TITLE:  
HEXAGON SITE PLAN  
AND VEHICLE  
CIRCULATION PLAN

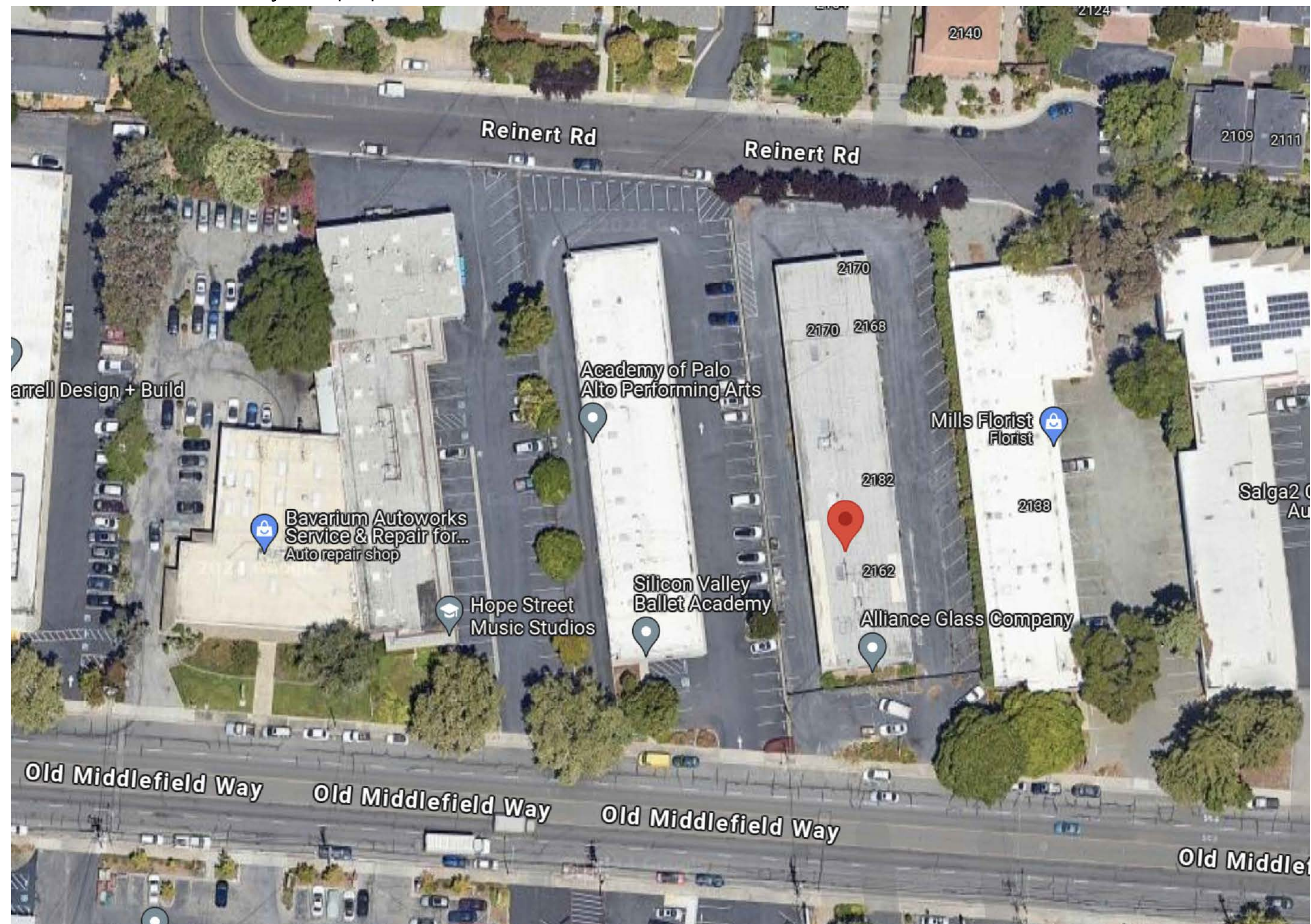
DESIGNED BY:  
KK

DRAFTING BY:  
KC

SHEET NO:  
**0.1**

1 EXISTING SITE CONDITIONS- EXTERIOR AND NEIGHBORHOOD CONTEXT

Aerial View- Site and adjacent properties



Reinert Rd- North West View



Old Middlefield Way- South West View



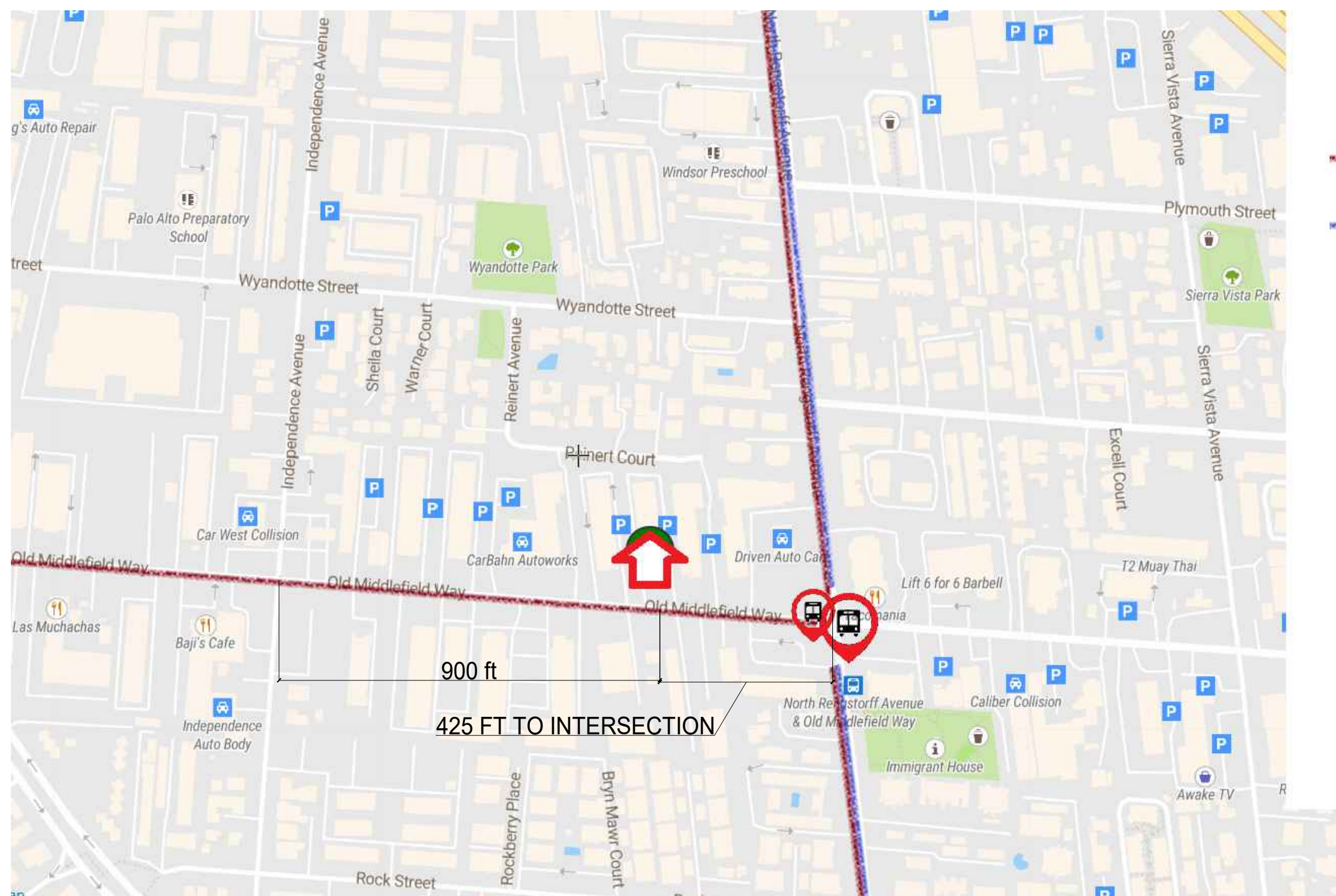
Reinert Rd- North East View



Reinert Rd- Rear View



SCHMATIC TRANSIT LINKS



LEGEND

- Bike lane IV protected Bikeway
- Class II Bike Lane
- Bus stop
- Parking

2 EXISTING SITE CONDITIONS -INTERIOR



PROJECT:  
HYUNDAI - GENESIS SERVICE CENTER  
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CLIENT:  
Cardinale Way

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SHEET TITLE:  
EXISTING SITE CONDITIONS 1

DESIGNED BY:  
KK

DRAFTING BY:  
KC

SHEET NO:

**A1.1**

1 EXISTING SITE CONDITIONS- EXTERIOR AND NEIGHBORHOOD CONTEXT



**DARCO**  
 DESIGN · ARCHITECTURE · CONSTRUCTION  
 999 W TAYLOR ST. SUITE A SAN JOSE, CA 95128  
 PHONE: 408-827-4591 EMAIL: INFO@DARCO-CA.COM  
 CSLB #1079457

PROJECT:  
 HYUNDAI - GENESIS SERVICE CENTER

PROJECT ADDRESS:  
 2150 Old Middlefield Way, Mountain View, CA 94043

CLIENT:  
 Cardinale Way

**GENESIS/HYUNDAI SERVICE CENTER**  
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SHEET TITLE:  
 EXISTING SITE CONDITIONS 2

DESIGNED BY:  
 KK

DRAFTING BY:  
 KC

SHEET NO:

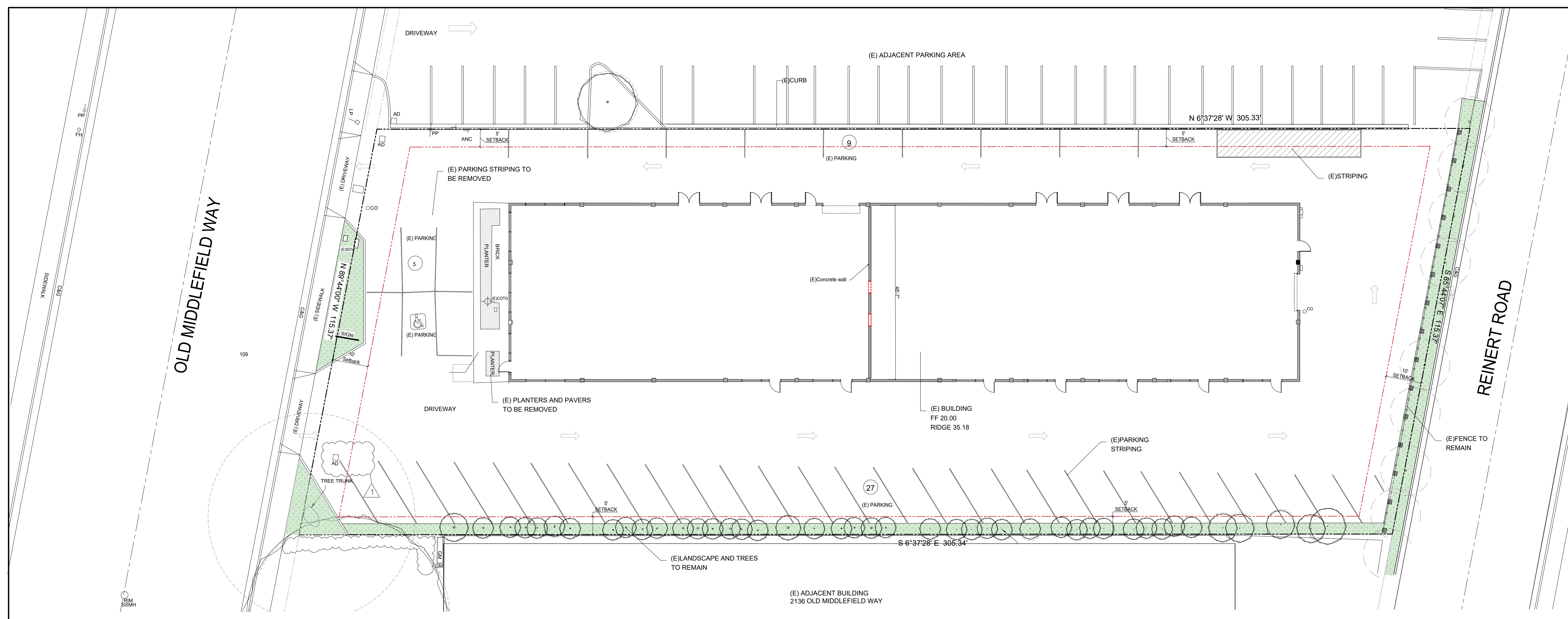
**A1.2**

HYUNDAI - GENESIS SERVICE CENTER  
PROJECT ADDRESS:  
2150 Old Middlefield Way,  
Mountain View, CA 94043  
CLIENT:  
Cardinale Way

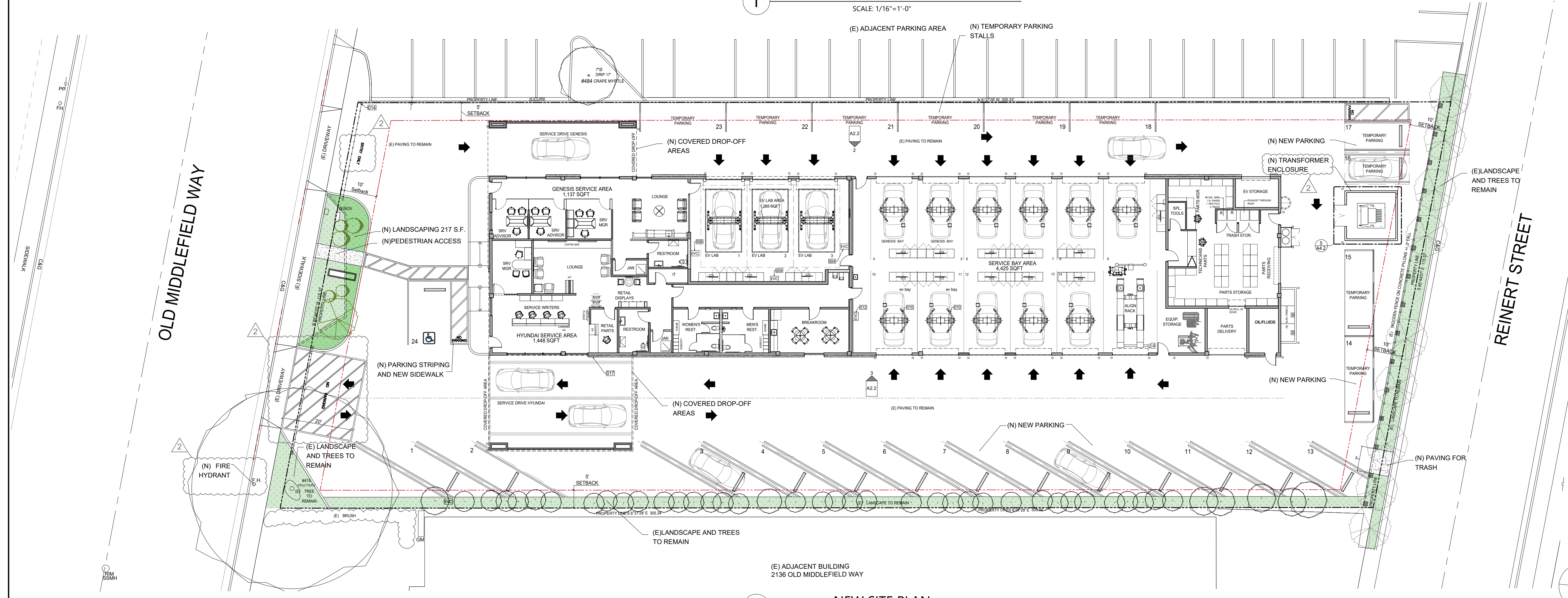
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PROJECT NO.: 2024-03  
REVISION:  
PER CITY COMMENTS 06.27.24  
PER CITY COMMENTS 12.03.24  
SHEET TITLE:  
EXISTING AND NEW SITE PLAN  
DESIGNED BY:  
KK  
DRAFTING BY:  
KC  
SHEET NO:



1 EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"



2 NEW SITE PLAN  
SCALE: 1/16" = 1'-0"

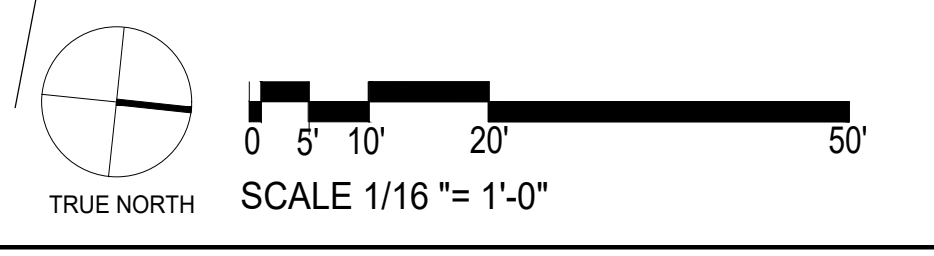
REQUIRED PARKING CALCULATION	
TOTAL BUILDING SQUARE FOOTAGE:	11,130 SF
TOTAL SITE SQUARE FOOTAGE: (.81 ACRE)	34,592 SF
<b>BUILDING AREA :</b>	
MAIN BUILDING:	11,130 SF
<b>11,130 / 34,592 SF = 32.2 %</b>	
<b>REQUIRED AND PROPOSED PARKING:</b>	
REPAIR GARAGE: 5 + 11,130 SF / 200 =	61 STALLS REQUIRED
<b>PROPOSED PARKING SPACES: (PROVIDED)</b>	
DIAGONAL PARKING STALLS	13
ADA PARKING (VAN)	1
TEMPORARY PARKING FOR SERVICE PERSONNEL	10
SERVICE BAYS	14
TOTAL PARKING PROVIDED	38
BICYCLE PARKING:	0

BUILDING AREA CALCULATION	
TOTAL LOT AREA:	34,592 SF
(N) HYUNDAI SERVICE AREA	1,416 SF
(N) GENESIS SERVICE AREA	1,138 SF
(N) EMPLOYEE AREA	1,185 SF
(N) EV LAB	1,330 SF
(N) SERVICE BAYS	4,580 SF
(N) PARTS AND STORAGE	1,318 SF
(N) TRASH STORAGE	47 SF
(N) EV STORAGE	116 SF
TOTAL BUILDING AREA	11,130 SF

LANDSCAPING AREA CALCULATION	
EXISTING LANDSCAPING AREA:	
EXISTING FRONT PLANTER:	324 SF
EAST SIDE LANDSCAPING AREA:	1,120 SF
TOTAL (E):	1,444 SF
PROPOSED LANDSCAPE AREA:	
(N) FRONT LANDSCAPE ADDITION:	161 SF
(E) FRONT LANDSCAPING AREA:	324 SF
(E) EAST SIDE LANDSCAPING AREA:	1,120 SF
TOTAL (N) :	1,605 SF



PROJECT:  
 HYUNDAI - GENESIS SERVICE CENTER

PROJECT ADDRESS:  
 2150 Old Middlefield Way, Mountain View, CA 94043

CLIENT:  
 Cardinaline Way

**GENESIS/HYUNDAI SERVICE CENTER**  
 2150 Old Middlefield Way,  
 Mountain View, CA 94043

PROJECT NO. : 2024-03

REVISION:  
 ▲ PER CITY COMMENTS 06.27.24  
 ▲ PER CITY COMMENTS 12.03.24

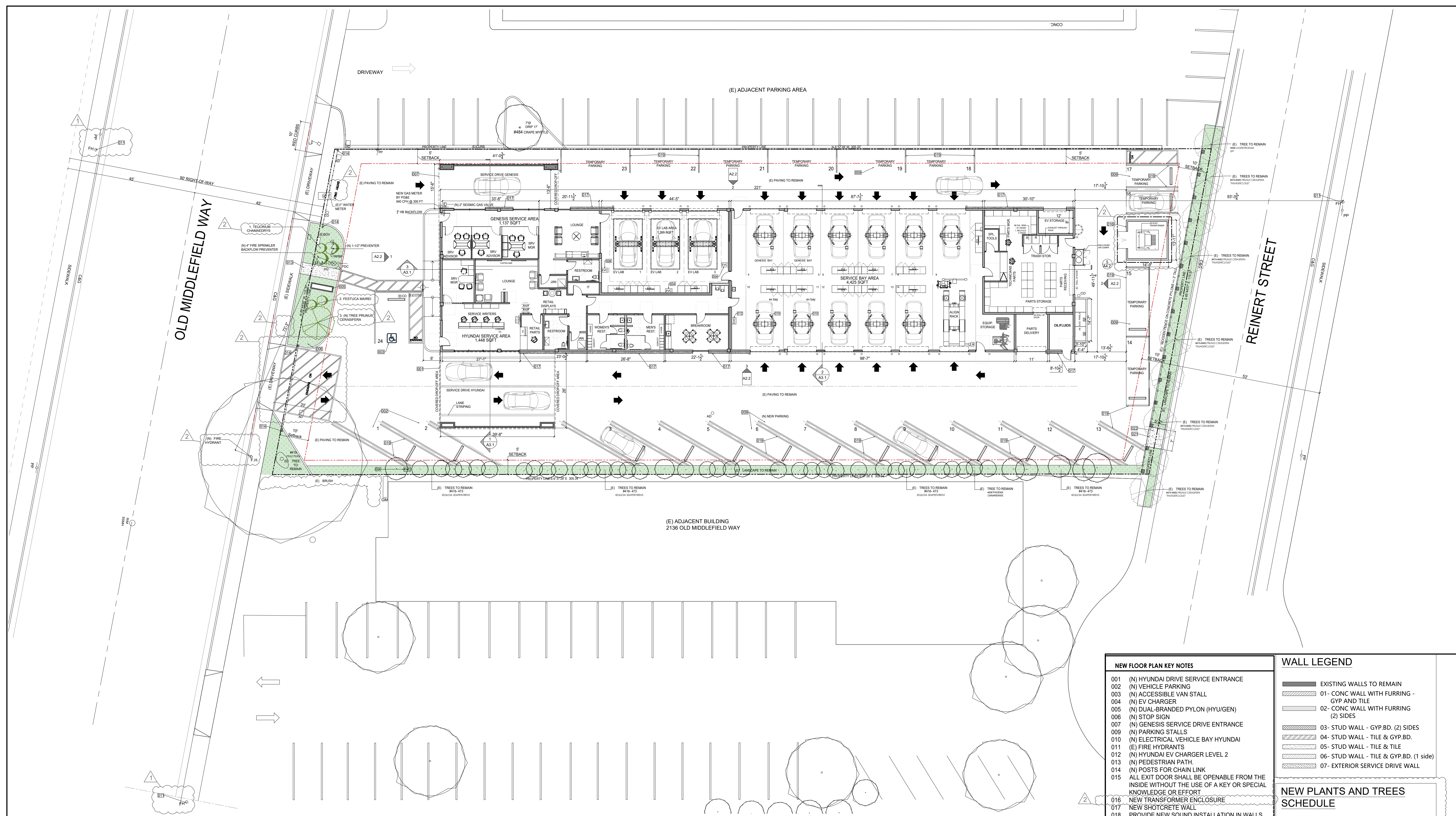
SHEET TITLE:  
 NEW SITE PLAN

DESIGNED BY:  
 KK

DRAFTING BY:  
 KC

SHEET NO:

**A1.4**



**1** NEW SITE PLAN  
 SCALE: 1/16" = 1'-0"

REQUIRED PARKING CALCULATION	BUILDING AREA CALCULATION
TOTAL BUILDING SQUARE FOOTAGE: 11,130 SF	TOTAL LOT AREA: 34,592 SF
TOTAL SITE SQUARE FOOTAGE: (.81 ACRE) 34,592 SF	(N) HYUNDAI SERVICE AREA 1,416 SF
<b>BUILDING AREA :</b>	(N) GENESIS SERVICE AREA 1,138 SF
MAIN BUILDING: 11,130 SF	(N) EMPLOYEE AREA 1,185 SF
<b>11,130 / 34,592 SF = 32.2 %</b>	(N) EV LAB 1,330 SF
<b>REQUIRED AND PROPOSED PARKING:</b>	(N) SERVICE BAYS 4,580 SF
REPAIR GARAGE : 5 + 11,130 SF / 200 = 61 STALLS REQUIRED	(N) PARTS AND STORAGE 1,318 SF
PROPOSED PARKING SPACES: (PROVIDED)	(N) TRASH STORAGE 47 SF
DIAGONAL PARKING STALLS 13	(N) EV STORAGE 116 SF
ADA PARKING (VAN) 1	<b>TOTAL BUILDING AREA 11,130 SF</b>
TEMPORARY PARKING FOR SERVICE PERSONNEL 10	<b>LANDSCAPING AREA CALCULATION</b>
SERVICE BAYS 14	EXISTING LANDSCAPING AREA:
TOTAL PARKING PROVIDED 38	EXISTING FRONT PLANTER: 324 SF
BICYCLE PARKING: 0	EAST SIDE LANDSCAPING AREA: 1,120 SF
	<b>TOTAL (E): 1,444 SF</b>
	<b>PROPOSED LANDSCAPE AREA:</b>
	(N) FRONT LANDSCAPE ADDITION: 161 SF
	(E) FRONT LANDSCAPING AREA: 324
	(E) EAST SIDE LANDSCAPING AREA: 1,120 SF
	<b>TOTAL (N) : 1,605 SF</b>

- NEW FLOOR PLAN KEY NOTES**
- 001 (N) HYUNDAI DRIVE SERVICE ENTRANCE
  - 002 (N) VEHICLE PARKING
  - 003 (N) ACCESSIBLE VAN STALL
  - 004 (N) EV CHARGER
  - 005 (N) DUAL-BRANDED PYLON (HYU/GEN)
  - 006 (N) STOP SIGN
  - 007 (N) GENESIS SERVICE DRIVE ENTRANCE
  - 009 (N) PARKING STALLS
  - 010 (N) ELECTRICAL VEHICLE BAY HYUNDAI
  - 011 (E) FIRE HYDRANTS
  - 012 (N) HYUNDAI EV CHARGER LEVEL 2
  - 013 (N) PEDESTRIAN PATH
  - 014 (N) POSTS FOR CHAIN LINK
  - 015 ALL EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
  - 016 NEW TRANSFORMER ENCLOSURE
  - 017 NEW SHOTCRETE WALL
  - 018 PROVIDE NEW SOUND INSTALLATION IN WALLS
  - 019 NEW WHITE THERMOPLASTIC LANE STRIPING
  - 020 GYPSUM WALL BOARD MUST BE GREENGUARD CERTIFIED, TYP.
  - 021 SECTION OF (E) BARRIER TO BE REMOVED IN BETWEEN (E) TREES TO ALLOW HOSE PULL ACCESS FOR FIRE PERSONNEL. CHAIN TO BE USED.
  - 022 NEW CONCRETE PAVING OVER LANDSCAPING TO ROLL TRASH CARTS.

**WALL LEGEND**

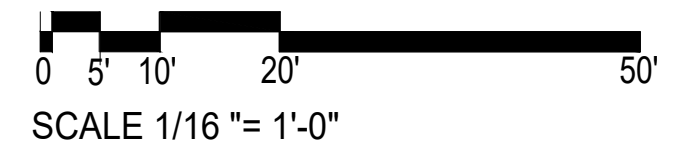
	EXISTING WALLS TO REMAIN
	01- CONC WALL WITH FURRING - GYP AND TILE
	02- CONC WALL WITH FURRING (2) SIDES
	03- STUD WALL - GYP.BD. (2) SIDES
	04- STUD WALL - TILE & GYP.BD.
	05- STUD WALL - TILE & TILE
	06- STUD WALL - TILE & GYP.BD. (1 side)
	07- EXTERIOR SERVICE DRIVE WALL

**NEW PLANTS AND TREES SCHEDULE**

BOTANICAL / COMMON NAME	QTY	DIM.
1. TEUCRUM CHAMAEDRYS (PERENNIAL) / WALL GERMANDER	3	10'TALL 1'-2" WIDE
2. FESTUCA MAIREI (GRASS) / ATLAS FESCUE	2	24'TALL 36" WIDE
3. PRUNUS CERASIFERA / THUNDERCLOUD	1	

**NOTES:**

- A. STORM DRAIN INLETS SHALL BE LABELED IN ACCORDANCE WITH THE CITY'S STORM DRAIN INLET LABEL PROGRAM.
- B. ROOF-MOUNTED EQUIPMENT, TANKS, AND PIPING CONTAINING HAZARDOUS MATERIALS SHALL BE SECONDARILY CONTAINED (MVCC SECTION 35.33.11.1(K)). SECONDARY CONTAINMENT SHALL NOT ALLOW FOR THE ACCUMULATION OF LIQUIDS (HAZARDOUS MATERIAL LIQUIDS, PRECIPITATION, CONDENSATE, ETC) (MVCC SECTION 24.3.0.Q.2(D)). LIST AN INVENTORY OF ALL ROOF-MOUNTED EQUIPMENT ON THE PLANS AND O INDICATE WHICH ONES CONTAIN HAZARDOUS MATERIALS.



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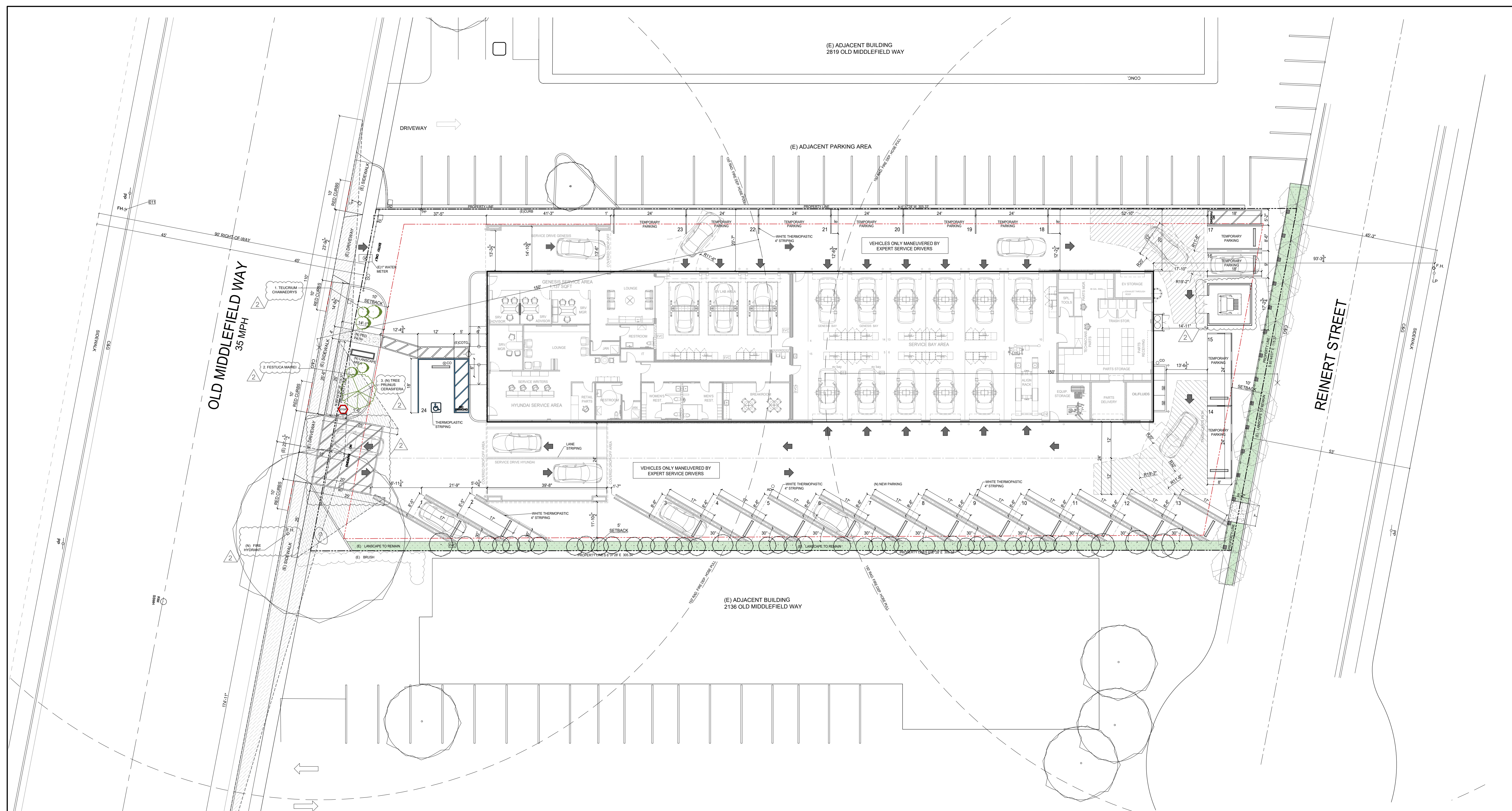
SHEET TITLE:  
 SITE PARKING AND CIRCULATION PLAN

DESIGNED BY:  
 KK

DRAFTING BY:  
 KC

SHEET NO:

**A1.5**

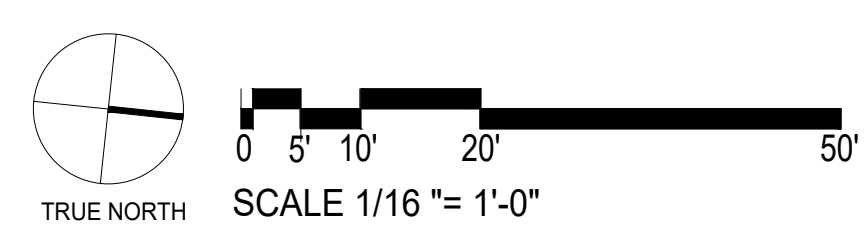


**1 SITE PARKING AND CIRCULATION PLAN**  
 SCALE: 1/16"=1'-0"

REQUIRED PARKING CALCULATION	BUILDING AREA CALCULATION
TOTAL BUILDING SQUARE FOOTAGE: 11,130 SF	TOTAL LOT AREA: 34,592 SF
TOTAL SITE SQUARE FOOTAGE: (.81 ACRE) 34,592 SF	(N) HYUNDAI SERVICE AREA 1,416 SF
<b>BUILDING AREA :</b>	(N) GENESIS SERVICE AREA 1,138 SF
MAIN BUILDING: 11,130 SF	(N) EMPLOYEE AREA 1,185 SF
<b>11,130 / 34,592 SF = 32.2 %</b>	(N) EV LAB 1,330 SF
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PROPOSED PARKING SPACES: (PROVIDED)	(N) TRASH STORAGE 47 SF
DIAGONAL PARKING STALLS 13	(N) EV STORAGE 116 SF
ADA PARKING (VAN) 1	<b>TOTAL BUILDING AREA 11,130 SF</b>
TEMPORARY PARKING FOR SERVICE PERSONNEL 10	<b>LANDSCAPING AREA CALCULATION</b>
SERVICE BAYS 14	EXISTING LANDSCAPING AREA:
TOTAL PARKING PROVIDED 38	EXISTING FRONT PLANTER: 324 SF
BICYCLE PARKING: 0	EAST SIDE LANDSCAPING AREA: 1,120 SF
	<b>TOTAL (E) : 1,444 SF</b>
	<b>PROPOSED LANDSCAPE AREA:</b>
	(N) FRONT LANDSCAPE ADDITION: 161 SF
	(E) FRONT LANDSCAPING AREA: 324
	(E) EAST SIDE LANDSCAPING AREA: 1,120 SF
	<b>TOTAL (N) : 1,605 SF</b>

**WALL LEGEND**

	EXISTING WALLS TO REMAIN
	01- CONC WALL WITH FURRING - GYP AND TILE
	02- CONC WALL WITH FURRING (2) SIDES
	03- STUD WALL - GYP.BD. (2) SIDES
	04- STUD WALL - TILE & GYP.BD.
	05- STUD WALL - TILE & TILE
	06- STUD WALL - TILE & GYP.BD. (1 side)
	07- EXTERIOR SERVICE DRIVE WALL



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**GENESIS/HYUNDAI SERVICE CENTER**  
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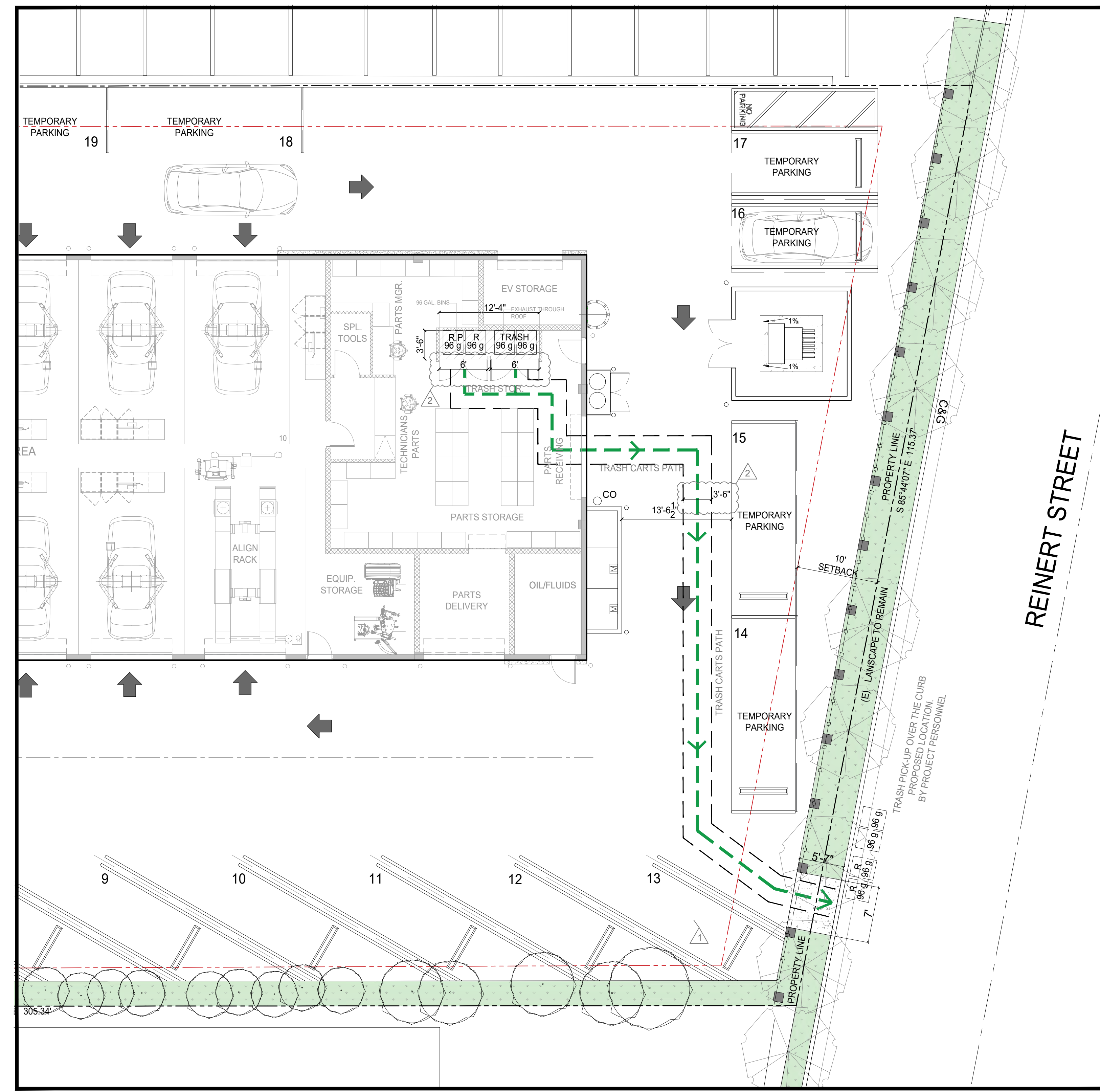
PROJECT NO. : 2024-03

REVISION:  
 △ PER CITY COMMENTS 06.27.24  
 △ PER CITY COMMENTS 12.03.24

SHEET TITLE:  
 TRASH MGMT. PLAN

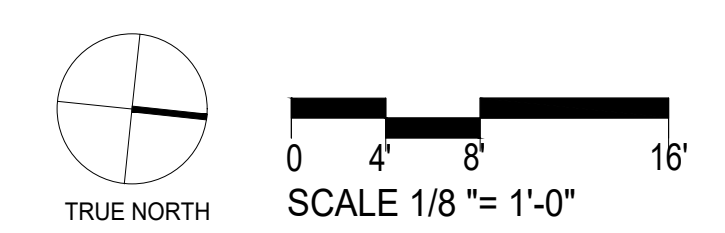
DESIGNED BY:  
 KK  
 DRAFTING BY:  
 KC

SHEET NO:  
**A1.6**



**1 TRASH MANAGEMENT PLAN**  
 SCALE: 1/8"=1'-0"

REQUIRED PARKING CALCULATION	BUILDING AREA CALCULATION
TOTAL BUILDING SQUARE FOOTAGE: 11,130 SF TOTAL SITE SQUARE FOOTAGE: (.81 ACRE) 34,592 SF	TOTAL LOT AREA: 34,592 SF
<b>BUILDING AREA :</b> MAIN BUILDING: 11,130 SF  <b>11,130 / 34,592 SF = 32.2 %</b>	(N) HYUNDAI SERVICE AREA 1,416 SF (N) GENESIS SERVICE AREA 1,138 SF (N) EMPLOYEE AREA 1,185 SF (N) EV LAB 1,330 SF (N) SERVICE BAYS 4,580 SF (N) PARTS AND STORAGE 1,318 SF (N) TRASH STORAGE 47 SF (N) EV STORAGE 116 SF <b>TOTAL BUILDING AREA 11,130 SF</b>
<b>REQUIRED AND PROPOSED PARKING:</b> REPAIR GARAGE : 5 + 11,130 SF / 200 = 61 STALLS REQUIRED	<b>LANDSCAPING AREA CALCULATION</b>
PROPOSED PARKING SPACES: (PROVIDED)	EXISTING LANDSCAPING AREA: EXISTING FRONT PLANTER: 324 SF EAST SIDE LANDSCAPING AREA: 1,120 SF <b>TOTAL (E) : 1,444 SF</b>
DIAGONAL PARKING STALLS 13 ADA PARKING (VAN) 1 TEMPORARY PARKING FOR SERVICE PERSONNEL 10 SERVICE BAYS 14 TOTAL PARKING PROVIDED 38	<b>PROPOSED LANDSCAPE AREA:</b> (N) FRONT LANDSCAPE ADDITION: 161 SF (E) FRONT LANDSCAPE AREA: 324 (E) EAST SIDE LANDSCAPING AREA: 1,120 SF <b>TOTAL (N) : 1,605 SF</b>
BICYCLE PARKING: 0	<b>WALL LEGEND</b>
	— EXISTING WALLS TO REMAIN 01- CONC WALL WITH FURRING - GYP AND TILE 02- CONC WALL WITH FURRING (2) SIDES 03- STUD WALL - GYP.BD. (2) SIDES 04- STUD WALL - TILE & GYP.BD. 05- STUD WALL - TILE & TILE 06- STUD WALL - TILE & GYP.BD. (1 side) 07- EXTERIOR SERVICE DRIVE WALL







1 3D VIEW FROM OLD MIDDLEFIELD WAY  
FRONT VIEW



2 3D VIEW FROM OLD MIDDLEFIELD WAY  
AERIAL



3 3D VIEW FROM OLD MIDDLEFIELD WAY  
LATERAL



4 3D VIEW FROM OLD MIDDLEFIELD WAY

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CLIENT:  
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PROJECT NO. : 2024-03

REVISION  
 ▲ PER CITY COMMENTS 06.27.24  
 ▲ PER CITY COMMENTS 12.03.24

SHEET TITLE:  
 RENDERING AND  
 STREETScape 2

DESIGNED BY:  
 KK

DRAFTING BY:  
 KC

SHEET NO:  
 A2.2



1 3D VIEW GENESIS WEST ELEVATION



2 3D VIEW HYUNDAI EAST ELEVATION



3 EXISTING STREETScape FROM OLD MIDDLEFIELD WAY



4 EXISTING STREETScape FROM OLD MIDDLEFIELD WAY



5 PROPOSED STREETScape FROM OLD MIDDLEFIELD WAY



6 PROPOSED STREETScape FROM OLD MIDDLEFIELD WAY

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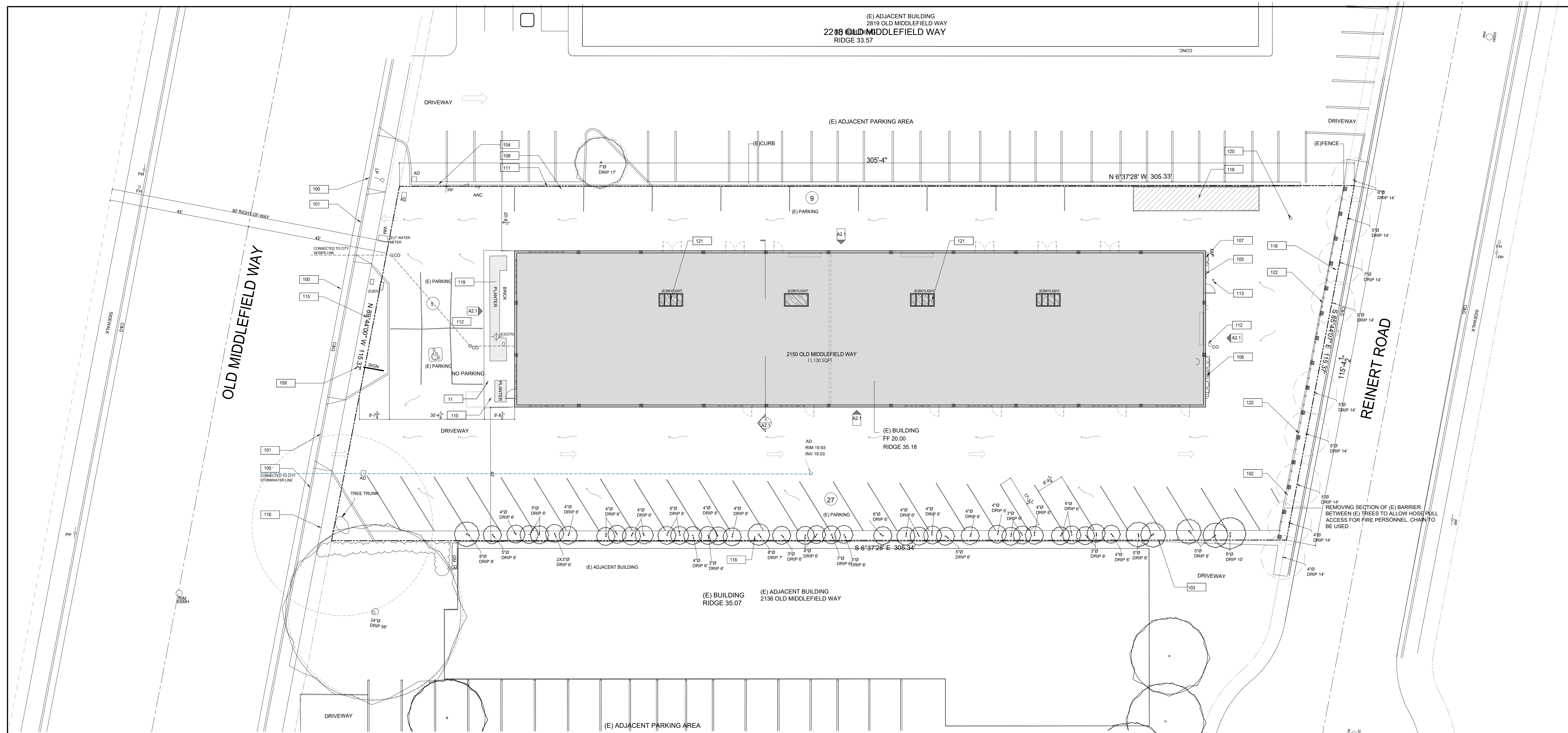
SHEET TITLE:  
 EXISTING SITE PLAN

DESIGNED BY:  
 KK

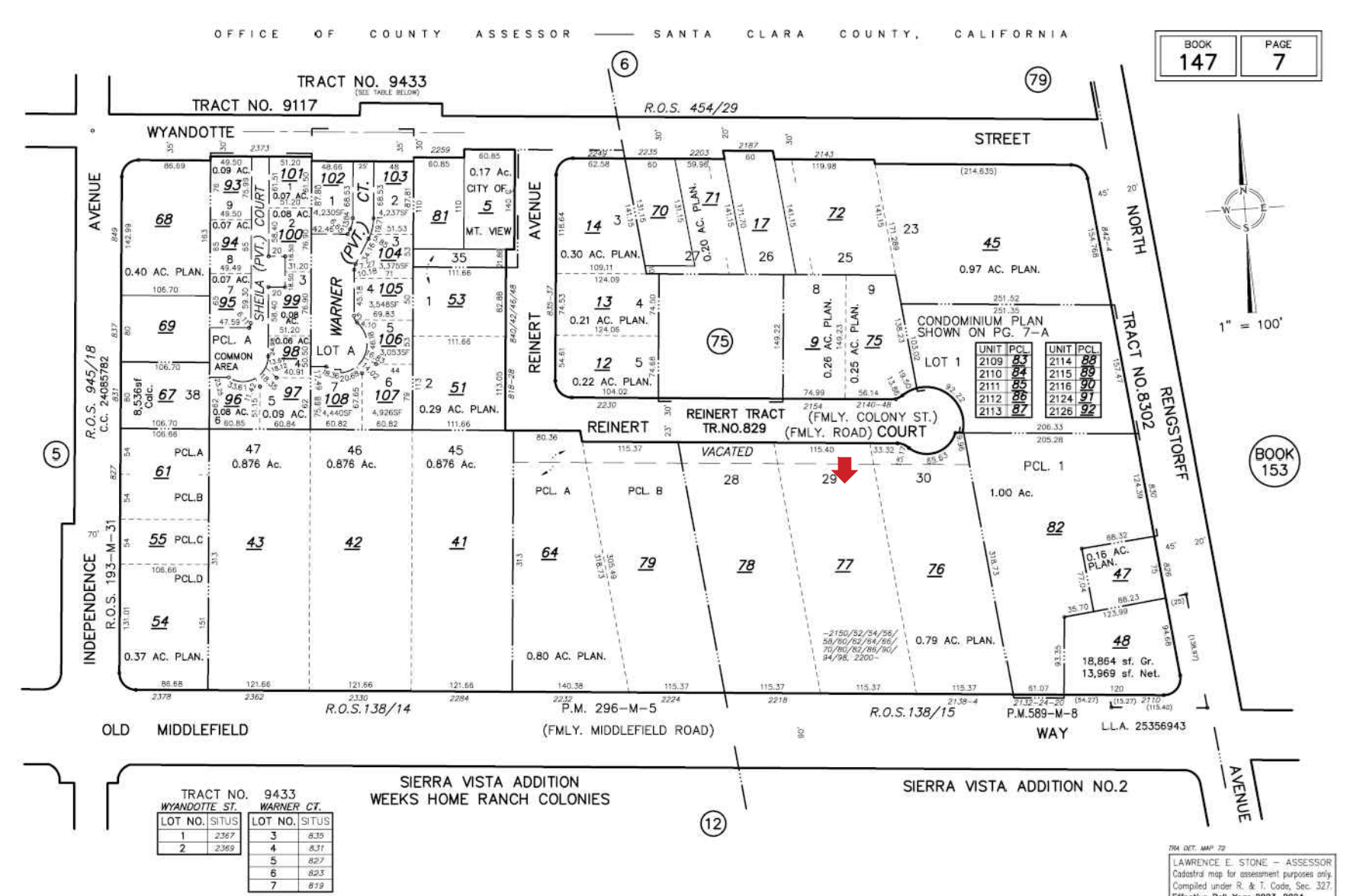
DRAFTING BY:  
 KC

SHEET NO:

**A3.1**



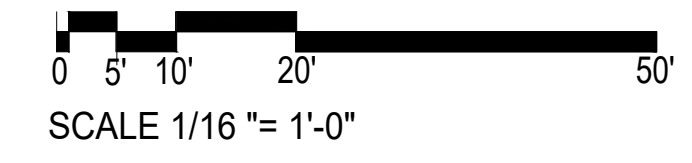
**1 EXISTING SITE PLAN**  
 SCALE: 1/16"=1'-0"



**2 PARCEL MAP**  
 NO SCALE

KEYNOTES	
100	(E) SIDEWALK
101	(E) DRIVEWAY
102	REMOVE (E) FENCE AS REQUIRED FOR (N) ACCESSIBLE PATHWAY
103	(E) FENCE
104	(E) JOINT POLE ON PL
105	(E) GAS METERS TO BE REMOVED
106	(E) ELECTRIC CABINET TO BE REMOVED
107	(E) ELECTRIC METERS TO BE REMOVED
108	(E) CURB ON PL
109	(E) SIGN ON PL
110	(E) CONCRETE PAVERS AND LANDSCAPING TO BE REMOVED AS REQUIRED FOR (N) ACCESSIBLE PATHWAY
111	PROPERTY LINE
112	(E) SANITARY SEWER CLEANOUT
113	(E) BOLLARDS TO BE REMOVED
114	(E) GUARDRAIL TO REMAIN
115	REMOVE (E) LANDSCAPING(HATCHED) AS REQUIRED, RELOCATE IRRIGATION CONTROLLER & SYSTEM
116	(E) TREES TO REMAIN, TYP., REMOVE (E) LANDSCAPE AS REQUIRED FOR (N) PARKING STALL LAYOUT REQUIREMENTS
117	REMOVE & RESIZE (E) NO PARKING AISLE
118	REMOVE (E) PARKING STRIPING, TYP.
119	REMOVE (E) LANDSCAPING AS REQUIRED FOR NEW PARKING STALL REQUIREMENTS
120	(E) TRASH BIN & RECYCLING CART AREA
121	(E) SKYLIGHTS TO BE REMOVED
122	(E) TEMPORARY FENCE TO BE REMOVED

LEGEND	
---	STREET CENTERLINE
---	PROPERTY LINE
○	WOOD FENCE
WM	WATER METER
GM	GAS METER
EM	ELECTRIC METER
AD	AREA DRAIN
PP	POWER POLE
CO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAINAGE MANHOLE
FH	FIRE HYDRANT
C&G	CURB & GUTTER
∇ WV	WATER VALVE



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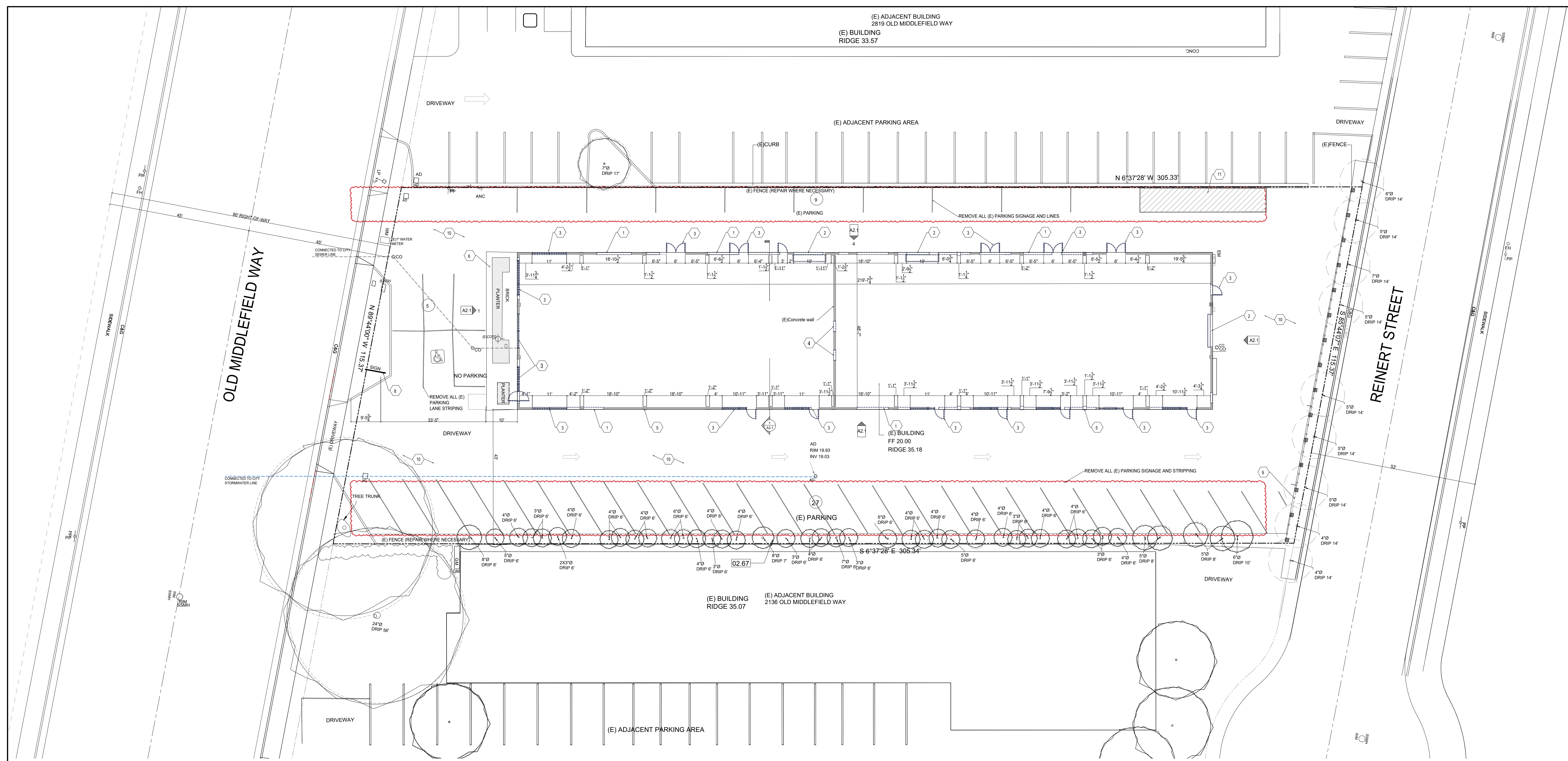
SHEET TITLE:  
 EXISTING FLOOR PLAN AND DEMO

DESIGNED BY:  
 KK

DRAFTING BY:  
 KC

SHEET NO:

**A3.2**



EXISTING BUILDING COVERAGE > ALLOWABLE AREA  
 11,050 SF > 34,000 SF OK

**DEMOLITION NOTES**

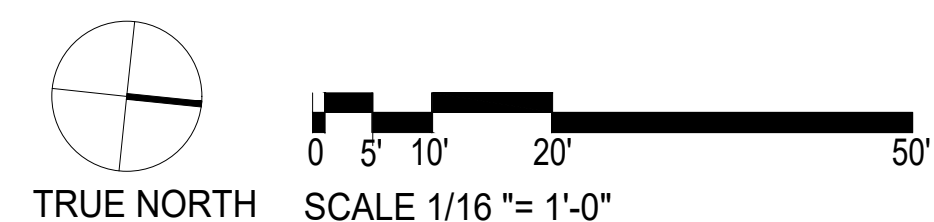
- REMOVE ALL LIGHT FIXTURES, WINDOWS, DOORS, AND INTERIOR WALLS AS NEEDED TO PER FORM WORK.
- STORE ALL REMOVED ITEMS AS PER OWNER'S REQUEST AND DISPOSE OF ALL OTHERS OFF SITE.
- CAP BELOW FINISH SURFACE ALL ELECTRICAL, WATER, GAS AND WASTE LINES AS REQUIRED TO ACCOMMODATE NEW WORK.
- CAP ALL ELECTRICAL WIRES AS REQUIRED TO ACCOMMODATE NEW WORK.
- PROTECT FROM DAMAGING EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
- CONTRACTOR TO PROTECT ALL REMAINING AREAS OF STRUCTURE FROM CONSTRUCTION AND WEATHER DAMAGE.
- REMOVE EXISTING INTERIOR NON-BEARING WALLS AS INDICATED. VERIFY PARTITION WALLS TO BE REMOVED ARE NOT BEARING PRIOR TO REMOVING THE WALL.
- LOCATE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND REMOVE MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS TO SUPPORTING WALLS, FLOORS OR FRAMING.
- GENERAL: REMOVE FROM SITE ACCUMULATED DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVAL: TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND LEGALLY DISPOSE OF OFFSITE.
- VERMIN CONTROL: EMPLOY A CERTIFIED, LICENSED EXTERMINATOR TO INSPECT AND TREAT ENTIRE AREA OF BUILDING AS REQUIRED FOR RODENT AND INSECT CONTROL.
- ALL STRIPING DAMAGED AS PART OF CONSTRUCTION ACTIVITIES SHALL BE REPLACED WITH THERMOPLASTIC STRIPING TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.

TAKE CARE IN THE REMOVAL OF ALL INDICATED ITEMS. ALL USABLE ITEMS ARE TO BE SALVAGED FOR AND RETURNED TO OWNER.

**DEMOLITION FLOOR PLAN KEY NOTES**

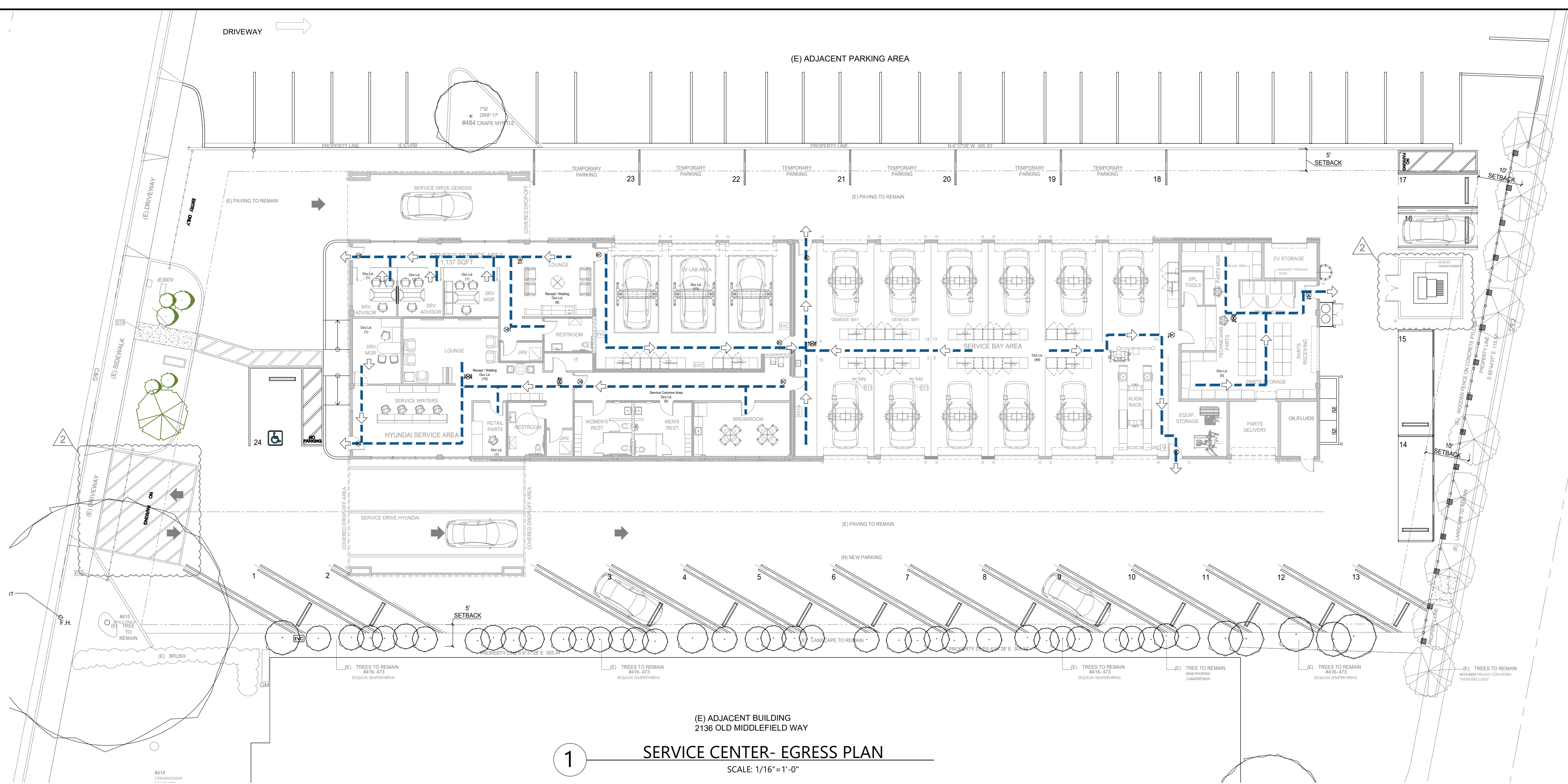
- PORTION OF EXISTING 8" CONCRETE WALL TO BE REMOVED, AS INDICATED
- EXISTING OVERHEAD DOOR TO BE REMOVED, AS INDICATED
- EXISTING STOREFRONT/DOOR/WINDOW TO BE REMOVED, TYPICAL
- PORTION OF EXISTING INTERIOR CONCRETE WALL TO BE REMOVED
- EXISTING CONCRETE COLUMN TO REMAIN, TYPICAL
- EXISTING PAVERS TO BE REMOVED, TYPICAL
- REMOVED RIBBED MATERIAL IN FACADES AND REFINISHED
- REMOVE ALL EXISTING SIGNAGE AND TOTEMS
- REMOVE SECTION OF EXISTING FENCE FOR FUTURE TRASH/FIRE DEPARTMENT ACCESS
- EXISTING ASPHALT TO REMAIN. EXISTING SITE PAVING & CURBS TO BE CLEAN, WELL MAINTAINED AND REPAIRED TO PROVIDE A CONSISTENT FINISH.
- STRIPING TO BE REMOVED

**1 EXISTING / DEMO FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

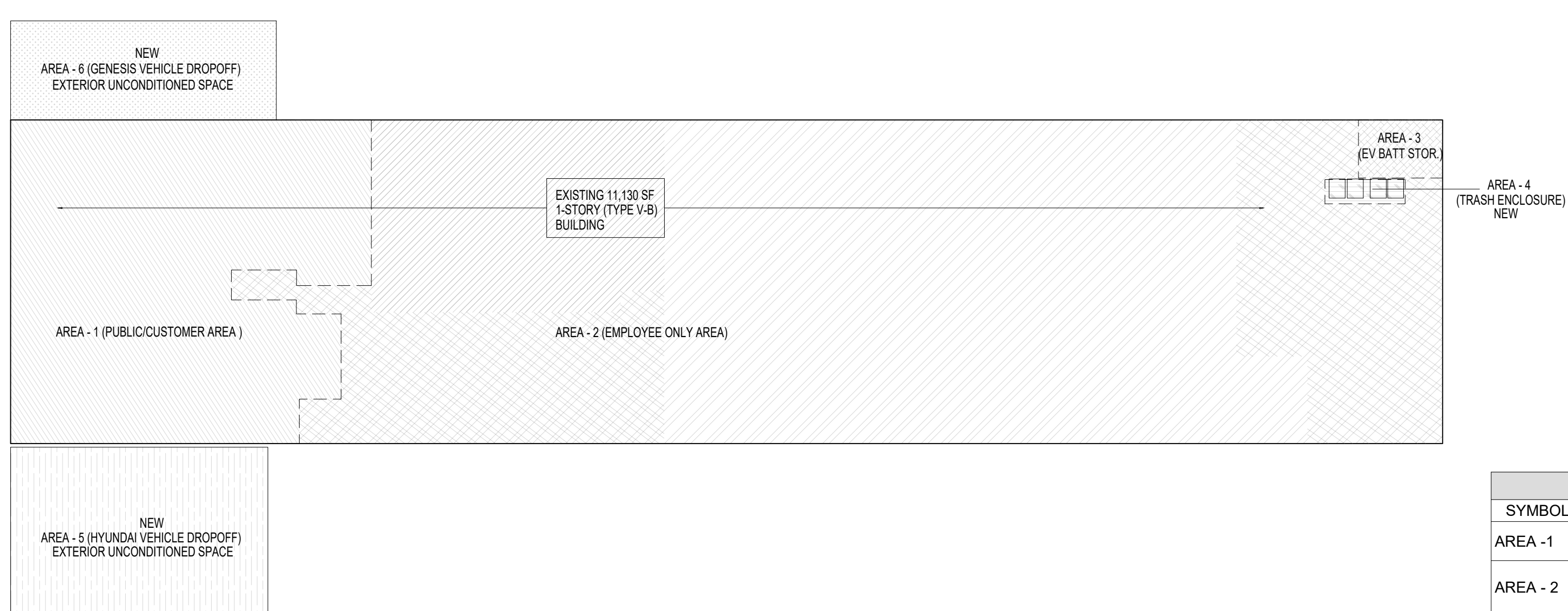


**GENESIS/HYUNDAI SERVICE CENTER**  
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OCCUPANCY AND AREA CALCULATION					
ROOM NAME	AREA DESCRIPTION	OCCUPANCY GROUP	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD PER AREA
<b>HYUNDAI</b>					
RECEPTION / WAITING COMBINED	BUSINESS	B	1,416	1/150	10
<b>GENESIS</b>					
RECEPTION / WAITING COMBINED	BUSINESS	B	1,138	1/150	8
<b>SERVICE AREAS</b>					
SERVICE AREA COMMON AREA	BUSINESS	B	1,185	1/150	8
EV LAB	BUSINESS/INDUSTRIAL	S-1	1,330	1/100	13
SERVICE BAY AREA	BUSINESS/INDUSTRIAL	S-1	4,580	1/100	46
PARTS STORAGE	ACCESSORY STORAGE	S-1	1,318	1/300	5

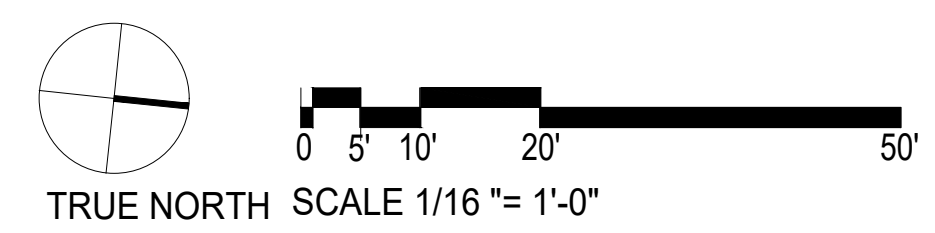


1 SERVICE CENTER- EGRESS PLAN  
 SCALE: 1/16" = 1'-0"

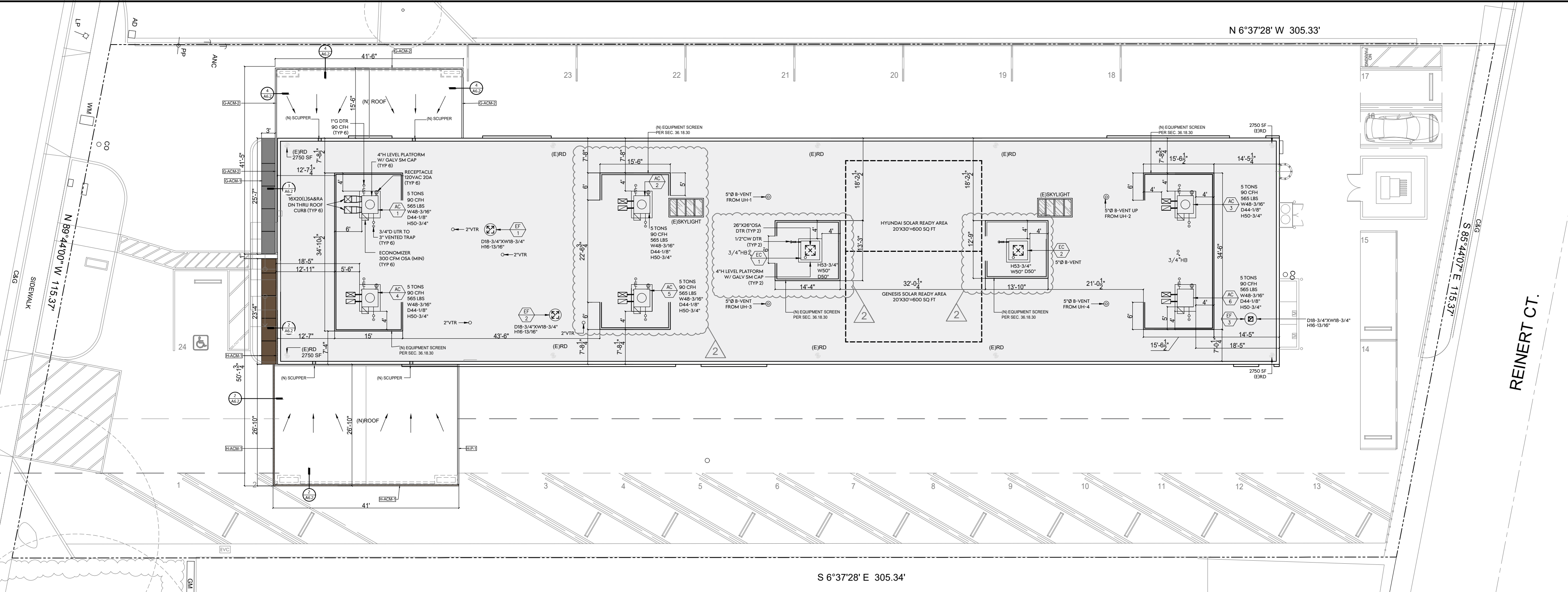


REQUIRED PARKING CALCULATION		BUILDING AREA CALCULATION	
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TOTAL SITE SQUARE FOOTAGE:	(.81 ACRE) 34,592 SF	(N) HYUNDAI SERVICE AREA:	1,416 SF
<b>BUILDING AREA:</b>	<b>11,130 / 34,592 SF = 32.2 %</b>	(N) GENESIS SERVICE AREA:	1,138 SF
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PROPOSED PARKING SPACES: (PROVIDED)		(N) SERVICE BAYS:	4,580 SF
DIAGONAL PARKING STALLS:	13	(N) PARTS AND STORAGE:	1,318 SF
ADA PARKING (VAN):	1	(N) TRASH STORAGE:	47 SF
TEMPORARY PARKING FOR SERVICE PERSONNEL:	10	(N) EV STORAGE:	116 SF
SERVICE BAYS:	14	<b>TOTAL BUILDING AREA:</b>	<b>11,130 SF</b>
TOTAL PARKING PROVIDED:	38	<b>LANDSCAPING AREA CALCULATION</b>	
BICYCLE PARKING:	0	EXISTING LANDSCAPING AREA:	
		EXISTING FRONT PLANTER:	324 SF
		EAST SIDE LANDSCAPING AREA:	1,120 SF
		<b>TOTAL (E):</b>	<b>1,444 SF</b>
		PROPOSED LANDSCAPE AREA:	
		(N) FRONT LANDSCAPE ADDITION:	161 SF
		(E) FRONT LANDSCAPING AREA:	324 SF
		(E) EAST SIDE LANDSCAPING AREA:	1,120 SF
		<b>TOTAL (N):</b>	<b>1,605 SF</b>

BUILDING AREA			
SYMBOL	DESCRIPTION	SF	
AREA - 1	MAIN BUILDING - SERVICE CENTER PUBLIC AREA, CUSTOMER RESTROOMS AND LOUNGES	2,554	PORTION OF EXISTING STRUCTURE
AREA - 2	MAIN BUILDING - EMPLOYEE COMMON AREAS, SERVICE BAYS AND PARTS/STORAGE AREAS	8,413	PORTION OF EXISTING STRUCTURE
AREA - 3	EV BATTERY STORAGE	116	PORTION OF EXISTING STRUCTURE
AREA - 4	TRASH STORAGE	47	PORTION OF EXISTING STRUCTURE
AREA - 5	HYUNDAI - COVERED VEHICLE DROP-OFF AREA	1,052	NEW ADDITION (EXTERIOR UNCONDITIONED SPACE)
AREA - 6	GENESIS - COVERED VEHICLE DROP-OFF AREA	625	NEW ADDITION (EXTERIOR UNCONDITIONED SPACE)
	<b>TOTAL:</b>	<b>11,130</b>	



OLD MIDDLEFIELD WAY (90' RW)



SERVICE CENTER NEW ROOF PLAN

SCALE: 1/8" = 1'-0"

ROOF GENERAL NOTES:

- 1. CG TO COORDINATE WITH MECHANICAL SCREEN MANUFACTURER ON LOCATION OF MECHANICAL SCREEN PSTS. REFER TO STRUCTURAL FOR BRACING.
2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR OTHER ROOF EQUIPMENT.
3. PLACE ROOF WALK PAD AT PERIMETER OF MECHANICAL EQUIPMENT, ROOF HATCHES AND TRAVEL ROUTES FROM ROOD LADDERS.

DARCO DESIGN - ARCHITECTURE - CONSTRUCTION
999 W TAYLOR ST. SUITE A SAN JOSE, CA 95128
PHONE: 408-827-4591 EMAIL: INFO@DARCO-CA.COM
CSLB #1079457

PROJECT: HYUNDAI - GENESIS SERVICE CENTER

PROJECT ADDRESS: 2150 Old Middlefield Way, Mountain View, CA 94043

CLIENT: Cardinale Way

GENESIS/HYUNDAI SERVICE CENTER
2150 Old Middlefield Way, Mountain View, CA 94043

PROJECT NO.: 2024-03

PER CITY COMMENTS 06.27.24
PER CITY COMMENTS 12.03.24

SHEET TITLE: NEW ROOF PLAN

DESIGNED BY: KK

DRAFTING BY: KC

SHEET NO:

A3.4



DATE:
PROJECT:
LOCATION:

ACE-D

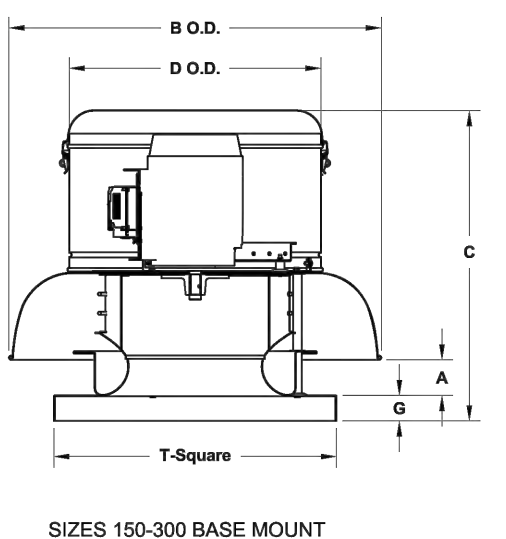
Downblast Centrifugal Exhaust Ventilator
Roof Mounted/Direct Drive

Table with 8 columns: Size, A, B, C, D, G, T, Ship Wt., Roof Opening Sq. Lists various unit sizes and dimensions.

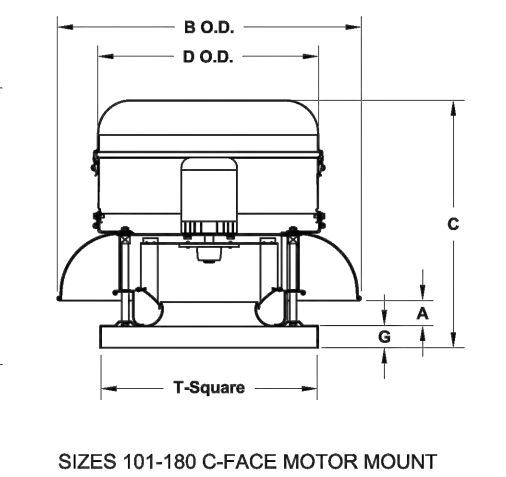
STANDARD CONSTRUCTION FEATURES:
All aluminum housing - Backward inclined all aluminum wheel - Two piece top cap with stainless steel quick release latches...

ACCESSORIES

- 1. DISCONNECT SWITCH
2. GRAVITY BACKDRAFT DAMPER
3. MOTORIZED BACKDRAFT DAMPER
4. RIGID GALVANIZED CURB
5. RCA ALUMINUM CURB
6. FAN SPEED CONTROL
7. EPOXY COATING
8. EPOXY PHENOLIC COATING
9. LORENZED COATING
10. ANTI-CONDENSATE COATING
11. LESS BIRDSCREEN
12. VFD



SIZES 150-300 BASE MOUNT



SIZES 70-100 C-FACE MOTOR MOUNT

SIZES 101-180 C-FACE MOTOR MOUNT

Table with 5 columns: QTY, MARK, CATALOG NUMBER, FAN INFORMATION (CFM, SP, RPM), MOTOR INFORMATION (HP, VOLTS, HZ, PH, TYPE), ACCESSORIES.

MOTOR TYPE: ODP (OPEN DRIP-PROOF); X-PRF (EXPLOSION PROOF); TEFC (TOTALLY ENCLOSED FAN COOLED).

AC002R06

48VR - A, 48VR - C and 48VR - E Performance™ 15 SEER 2-Stage Packaged HYBRID HEAT® Dual Fuel System with Puron® (R-410A) Refrigerant Single and Three Phase 2-5 Nominal Tons (Sizes 24-60)



Product Data

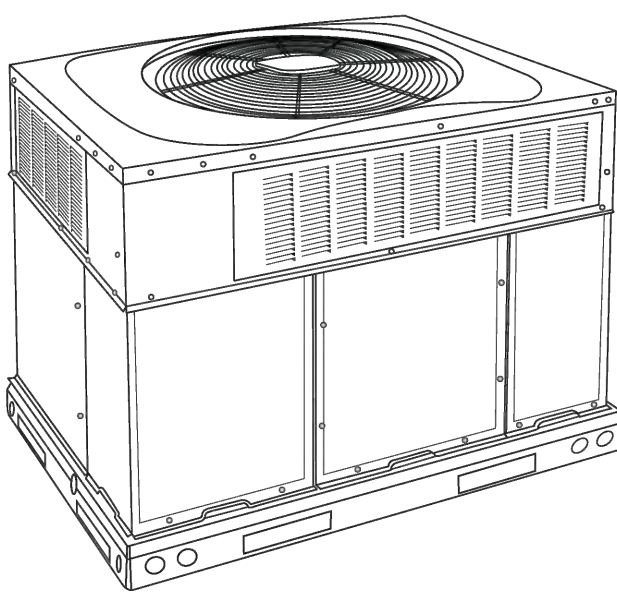


Fig. 1 - Unit 48VR

- Single-Packaged Products with Energy-Saving Features and Puron® refrigerant.
• Up to 15.5 SEER
• 12.0 - 12.5 EER
• 8.2 to 8.5 HSPF
• 81% AFUE (Single phase models)
• Direct Spark Ignition
• Factory-Installed TXV
• Multi-speed ECM Blower Motor-Standard
• Sound Levels as low as 68dBA
• Two Stage Heating (208/230 VAC models)
• Dehumidification Feature

FEATURES/BENEFITS

One-piece heating and cooling units with low sound levels, easy installation, low maintenance, and dependable performance. Carrier's unique refrigerant is designed to be environmentally balanced. Puron is an HFC refrigerant which does not contain chlorine that can harm the ozone layer. Puron refrigerant is in service in millions of systems proving highly reliable and is non-ozone depleting. Easy Installation Factory-assembled package is a compact, fully self-contained, combination gas heating/electric cooling unit that is pre-wired, pre-piped, and pre-charged for minimum installation expense. These units are available in a variety of standard and optional

heating/cooling size combinations with voltage options to meet residential and light commercial requirements. Units are lightweight and install easily on a rooftop or at ground level. The high tech composite base eliminates rust problems associated with ground level applications.

Innovative Unit Base Design

On the inside a high-tech composite material will not rust and incorporates a sloped drain pan which improves drainage and helps inhibit mold, algae and bacterial growth. On the outside metal base rails provide added stability as well as easier handling and rigging. Convertible duct configuration Unit is designed for use in either downflow or horizontal applications. Each unit is converted from horizontal to downflow and includes two horizontal duct covers. Downflow operation is provided in the field to allow vertical ductwork connections. The basepan seals on the bottom openings to ensure a positive seal in the vertical airflow mode.

High-efficiency operation

High-efficiency design offers SEER (Seasonal Energy Efficiency Ratio) of 15.0 to 15.5, 12.0 to 12.5 EER, HSPF of up to 8.5, and AFUE (Annual Fuel Utilization Efficiency) ratings as high as 81%. Energy-saving, direct spark ignition saves gas by operating only when the room thermostat calls for heating. Standard units are furnished with natural gas controls. A low-cost field installed kit for propane conversion is available for all units. Low NOx units are designed for California installations and meet 40 ngj NOx emissions. Can be installed in air quality management districts with a 40 ngj NOx emissions requirement.

Durable, dependable compressors

Compressors have two stages of cooling and are designed for high efficiency. Each compressor is hermetically sealed against contamination to help promote longer life and dependable operation. Each compressor also has vibration isolation to provide quieter operation. All compressors have internal high pressure and overcurrent protection. Monoprot inshot burners produce precise air-to-gas mixture, which provides for clean and efficient combustion. The large monoprot on the inshot (or injection type) burners seldom, if ever, requires cleaning. All gas furnace components are accessible in one compartment.

Turbo-tubular™ heat exchangers are constructed of aluminumized steel for corrosion resistance and optimum heat transfer for improved efficiency. The tubular design permits hot gases to make multiple passes across the path of the supply air. In addition, dimples located on the heat exchanger walls force the hot gases to stay in close contact with the walls, improving heat transfer.

Stainless steel heat exchanger available as factory installed option. combination gas heating/electric cooling unit that is pre-wired, pre-piped, and pre-charged for minimum installation expense. High Efficiency Inducer Motor on single phase models.



Dimensions

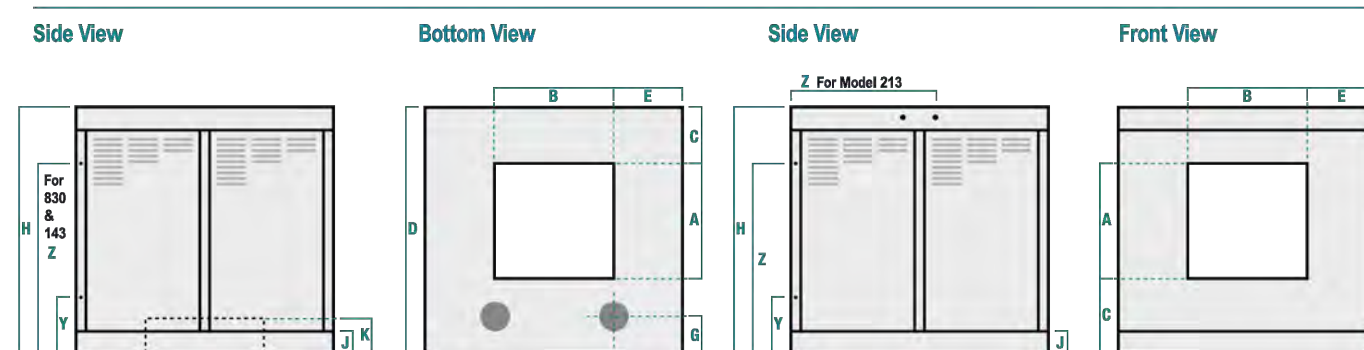


Table with columns: Model Number, Cabinet, Duct Location, Drain Location, Bottom Pan, Water Service, Electric Service, Pads, Blower Wheel, Effective Pad Area, Weight, Operating. Lists specifications for various models.

\*These models have a single drain.

- 1: In pounds. Side/Down discharge weights shown. Shipping weight is cabinet and carton. Operating weight variance determined by motor. Accessories and motor boxed separately.
2: Water knock-out is clearance for running 1/4" tubing.
3: Units have 7/8" knock-out for running electrical service.
4: Drain is 3/4" male hose thread.

PACKAGE AIR CONDITIONING UNIT (HYBRID GAS/ELECTRIC HEAT PUMP)

Table with columns: UNIT NUMBER, MANUFACTURER & MODEL NUMBER, SUPPLY FAN, COOLING CAPACITY @ AIR STD, HEATING CAPACITY @ AIR, ELECTRICAL, OPERATING WEIGHT, REMARKS & OPTIONAL ACCESSORIES.

UNIT HEATERS

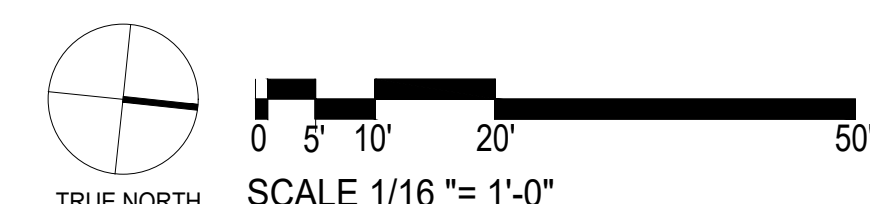
Table with columns: UNIT NUMBER, MANUFACTURER & MODEL NUMBER, CONFIGURATION, SUPPLY FAN, HEATING CAPACITY @ AIR, ELECTRICAL, OPERATING WEIGHT, REMARKS & OPTIONAL ACCESSORIES.

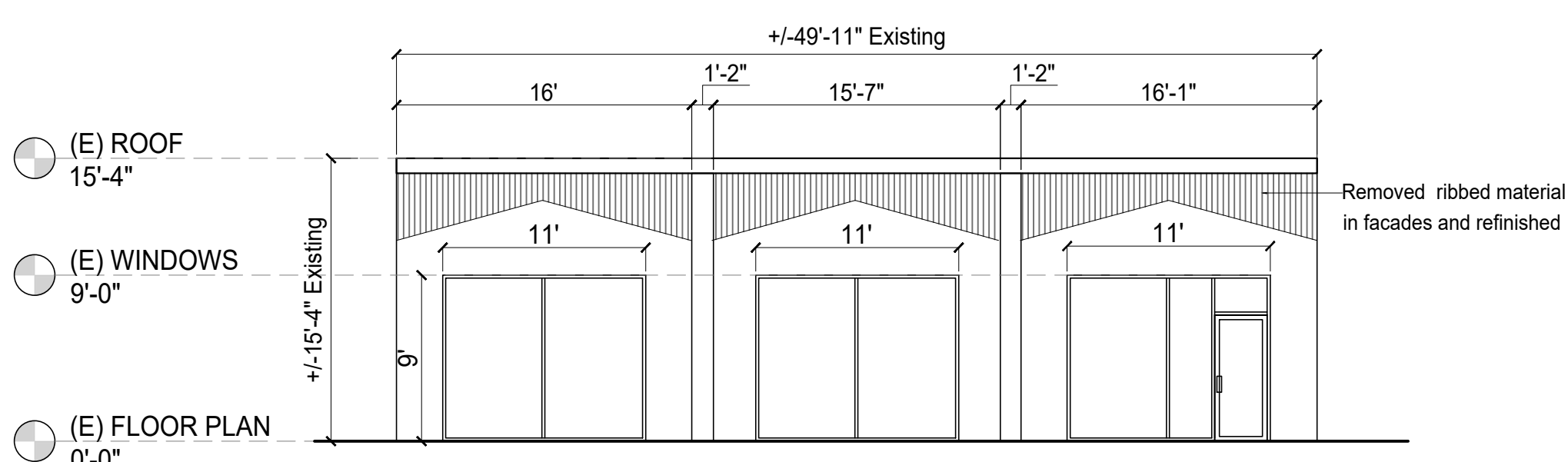
EVAPORATIVE COOLERS

Table with columns: UNIT NUMBER, MANUFACTURER & MODEL NUMBER, CONFIGURATION, SUPPLY FAN, ELECTRICAL, OPERATING WEIGHT, REMARKS & OPTIONAL ACCESSORIES.

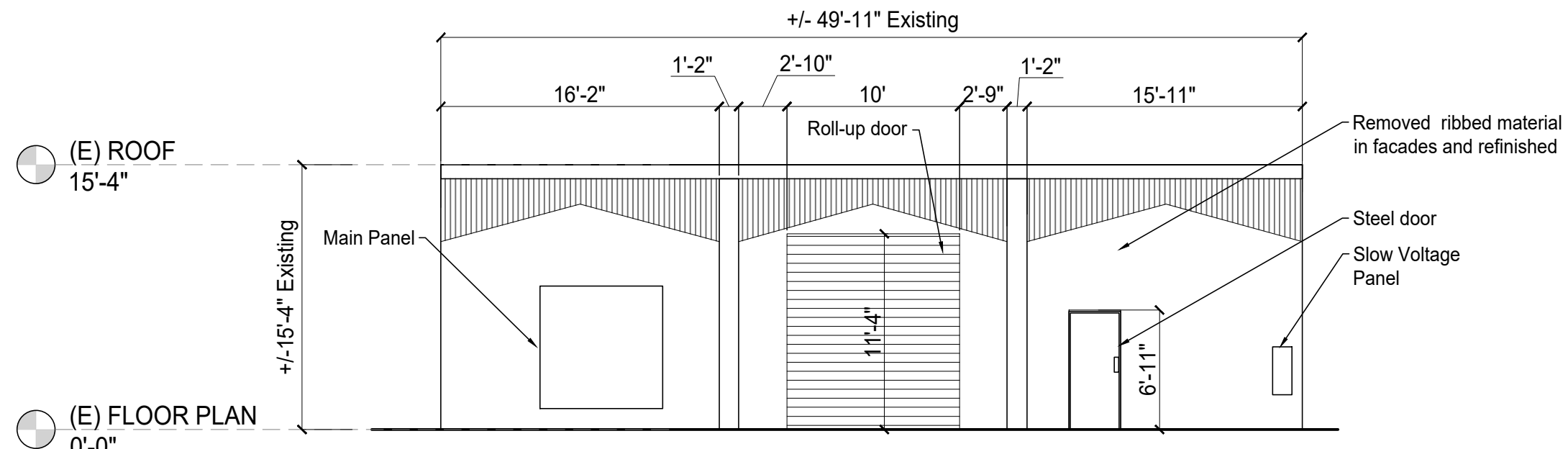
EXHAUST FANS

Table with columns: UNIT NUMBER, MANUFACTURER & MODEL NUMBER, CONFIGURATION, DOWNFLOW FAN, ELECTRICAL, OPERATING WEIGHT, REMARKS & OPTIONAL ACCESSORIES.

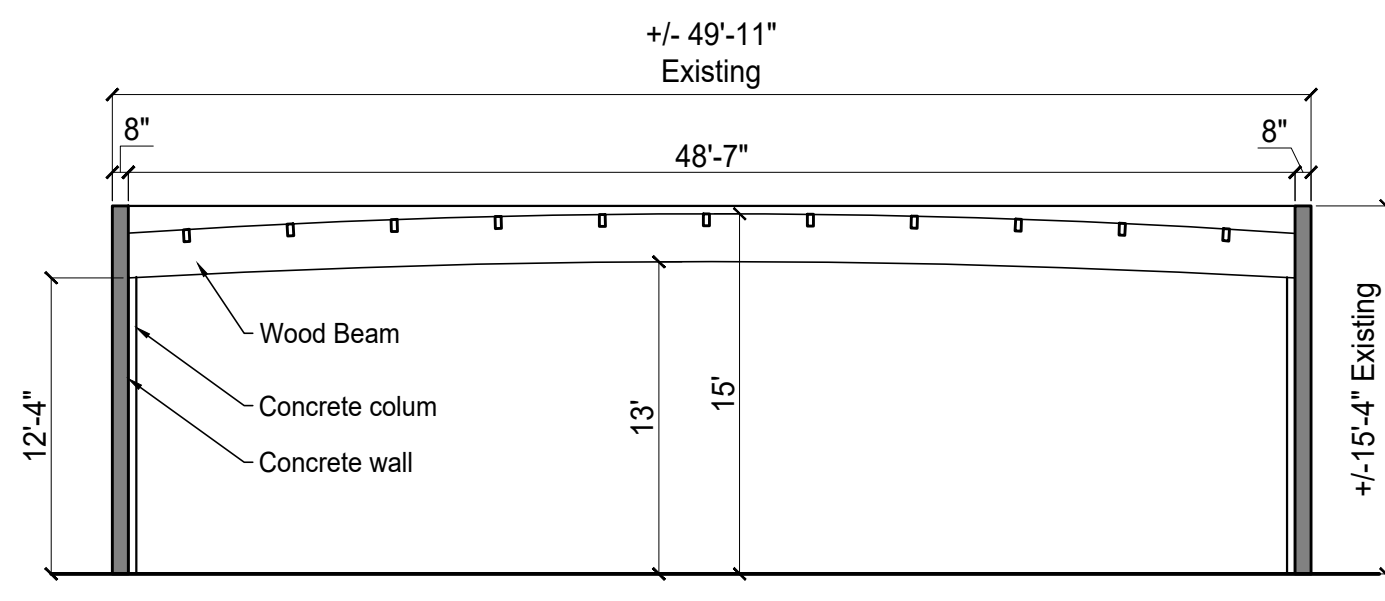




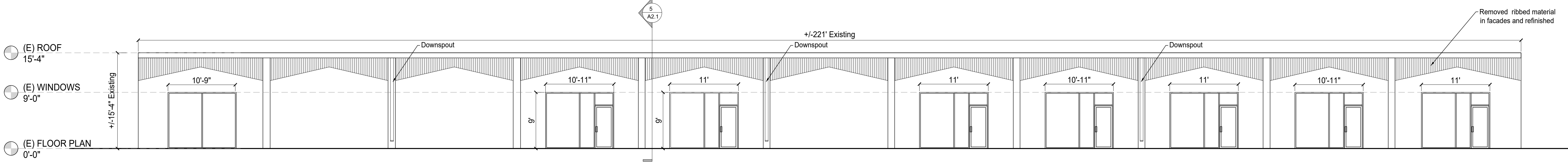
1 EXISTING SOUTH ELEVATION  
 SCALE: 1/8"=1'-0"



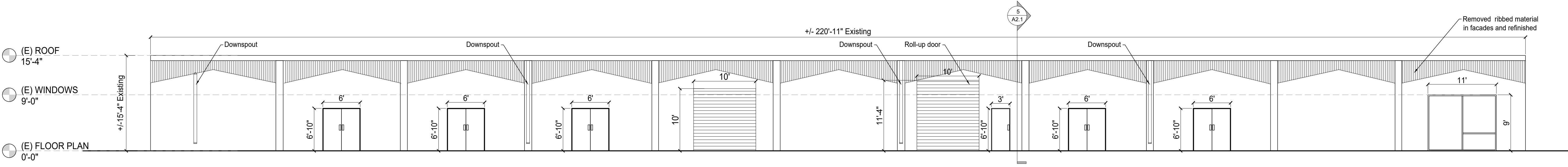
2 EXISTING NORTH ELEVATION  
 SCALE: 1/8"=1'-0"



5 EXISTING SECTION 1  
 SCALE: 1/8"=1'-0"



3 EXISTING WEST ELEVATION  
 SCALE: 1/8"=1'-0"



4 EXISTING EAST ELEVATION  
 SCALE: 1/8"=1'-0"



1 EXISTING SOUTH ELEVATION



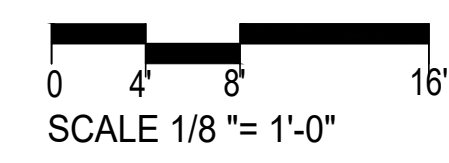
2 EXISTING NORTH ELEVATION



3 EXISTING WEST ELEVATION



4 EXISTING EAST ELEVATION



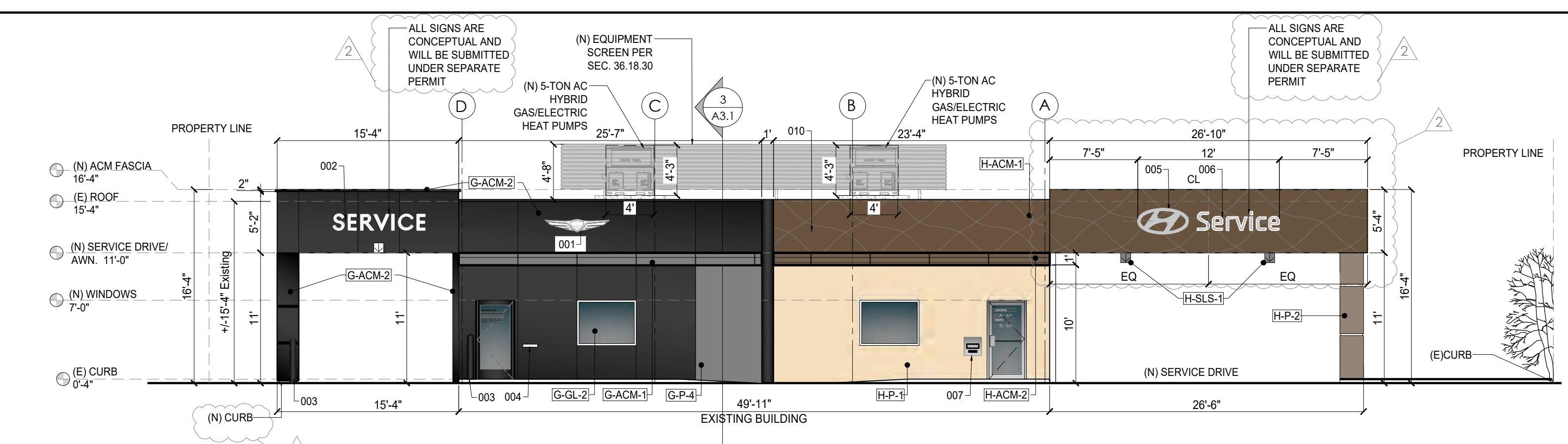
PROJECT:  
 HYUNDAI - GENESIS  
 SERVICE CENTER  
 PROJECT ADDRESS:  
 2150 Old Middlefield Way,  
 Mountain View, CA 94043  
 CLIENT:  
 Cardinale Way

**GENESIS/HYUNDAI SERVICE  
 CENTER**  
 2150 Old Middlefield Way,  
 Mountain View, CA 94043

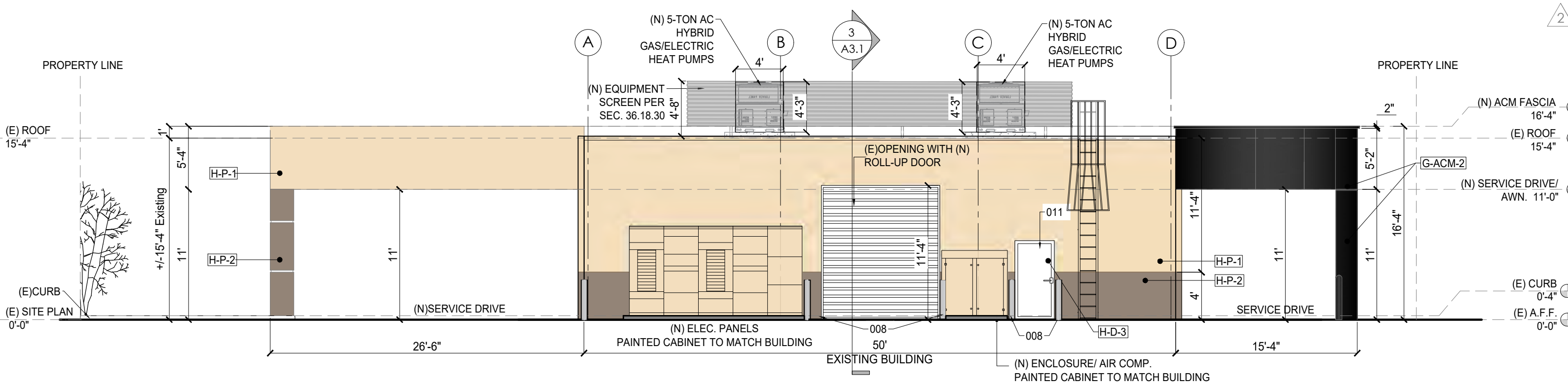
PROJECT NO. : 2024-03  
 PER CITY COMMENTS 06.27.24  
 PER CITY COMMENTS 12.03.24

SHEET TITLE:  
 EXISTING ELEVATIONS  
 AND SECTIONS  
 DESIGNED BY:  
 KK  
 DRAFTING BY:  
 KC

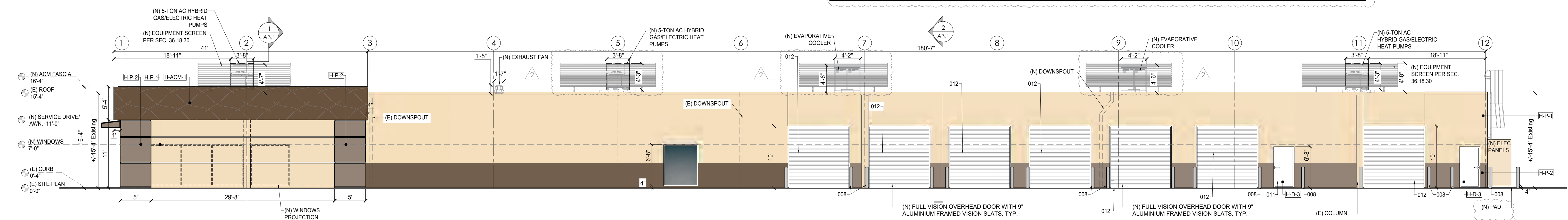
SHEET NO:  
**A4.1**



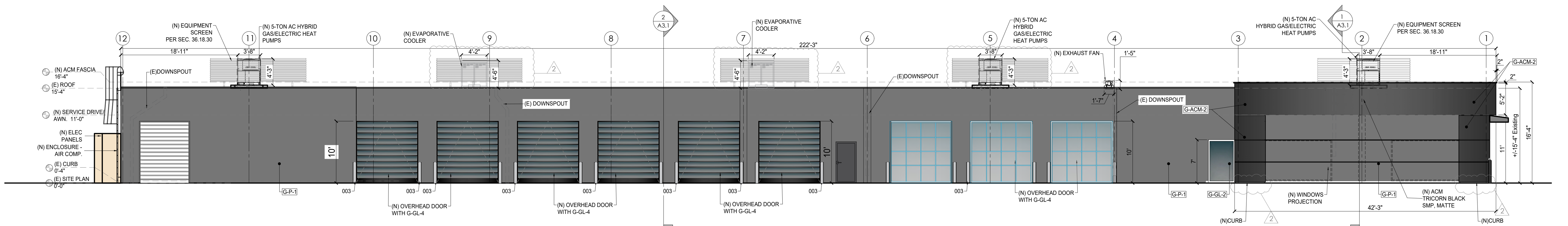
1 SOUTH ELEVATION-OLD MIDDLEFIELD WAY VIEW  
SCALE: 1/8"=1'-0"



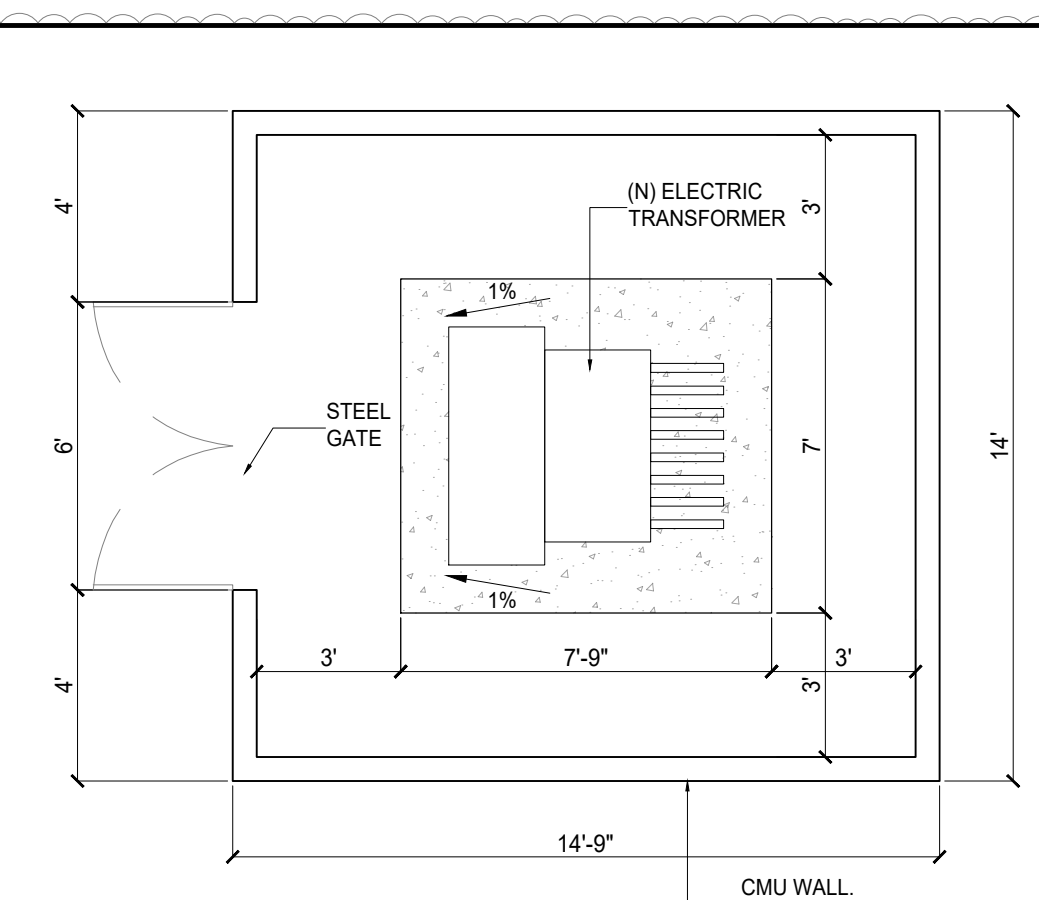
2 NORTH ELEVATION-REINERT RD VIEW  
SCALE: 1/8"=1'-0"



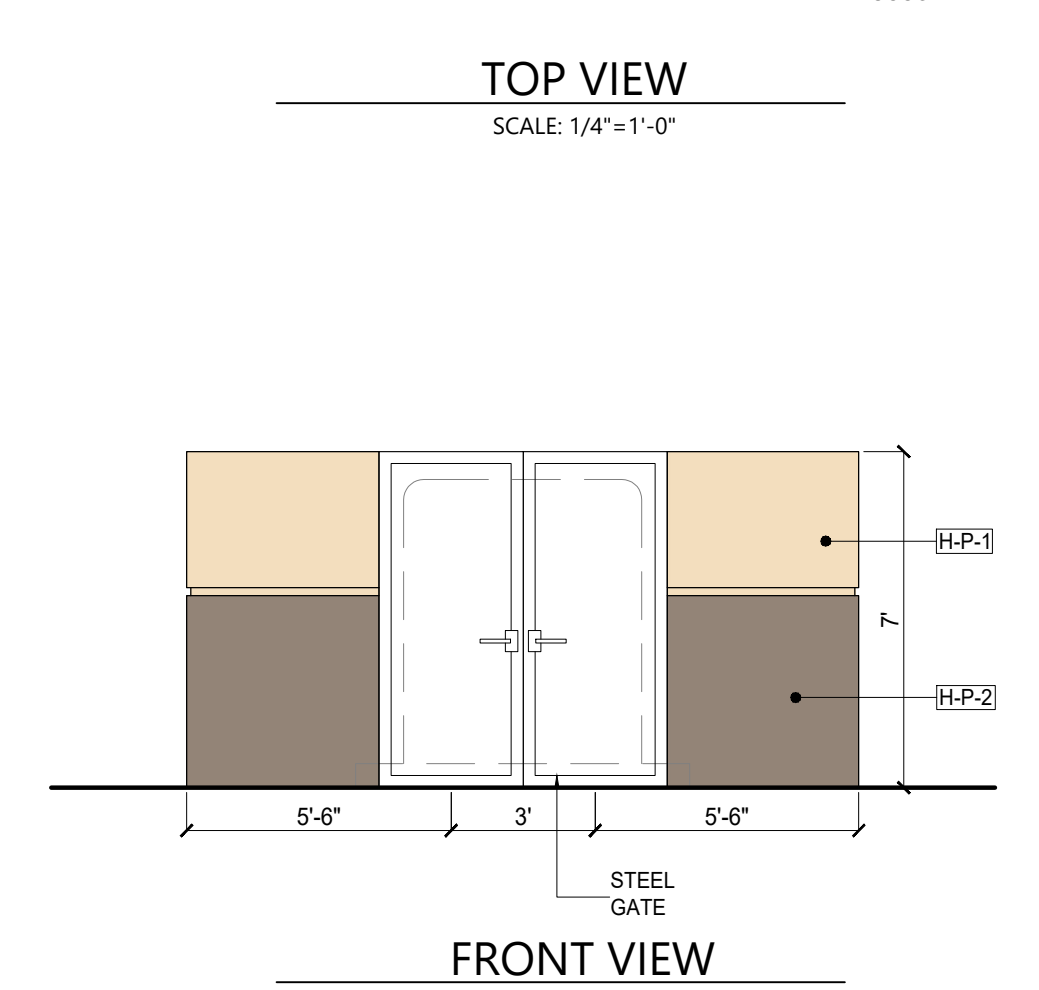
3 WEST ELEVATION  
SCALE: 1/8"=1'-0"



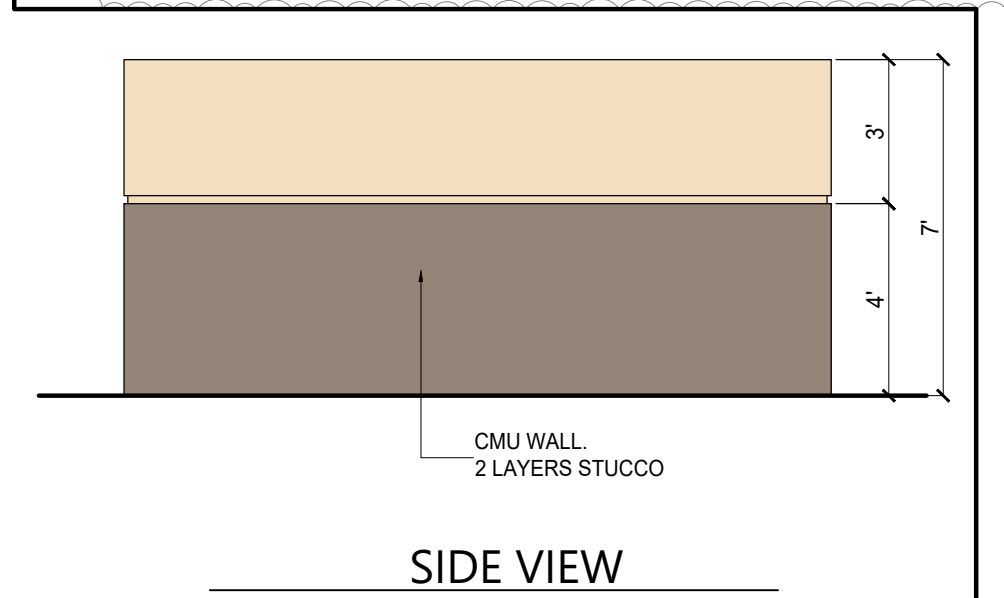
4 EAST ELEVATION  
SCALE: 1/8"=1'-0"



5 TOP VIEW  
SCALE: 1/4"=1'-0"



FRONT VIEW  
SCALE: 1/4"=1'-0"



SIDE VIEW  
SCALE: 1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTES

- 001 GENESIS LOGO SIGNAGE
- 002 SERVICE SIGNAGE 16 IN TALL
- 003 GENESIS 6" PIPE BOLLARDS TO BE PAINTED TO MATCH ADJACENT WALL
- 004 KEYKEEPER XL OVERNIGHT DROPBOX @36"
- 005 HYUNDAI LOGO SIGNAGE
- 006 "SERVICE" CHANNEL LETTERS, WHITE, AS MANUFACTURED BY HMA'S SIGN VENDOR
- 007 KEY DROP BOX (TBD) AT 42" A.F.F. TO BE INSTALLED ADJACENT TO THE OVERHEAD DOOR ON THE FRONT ELEVATION OF THE SERVICE DRIVE AREA
- 008 CONSTRUCTOR IS RESPONSIBLE FOR THE WALL PREPARATION AND INSTALLATION. KEY DROP BOX MUST BE A SOLID COLOR THAT IS COMPLEMENTARY TO THE EXTERIOR COLOR SCHEME.
- 009 DEEP HORIZONTAL REVEAL 2 WX1 D IN @4 FT. O.C.
- 010 SHAPED SKY ACM PANELS, AS MANUFACTURED BY HMA-S ACM VENDOR, INSTALLED OVER BLACK ACM PANELS, DRY JOINT
- 011 PAINT METAL DOORS, FRAMES & TRIM SHERWIN WILLIAMS #9111 "ANTLER VELVET" SEMI-GLOSS FINISH
- 012 OVERHEAD GLAZED RAPID RISE DOOR FRAME & MULLIONS TO BE CLEAR ANODIZED ALUMINIUM, TYP.
- 013 ANY PARAPET CAPS/COPING AND ANY VISIBLE GUTTERS, DOWNLEADERS, ETC. ARE FINISHED TO MATCH
- 014 THE ADJACENT WALL COLOR
- DOWNSPOUTS TO BE PAINTED TO MATCH WALL

NOTE:  
1. EXTERIOR SERVICE SHOP WALLS TO BE SMOOTH STUCCO WITH 30/30 SAND FINISH OR SIMILAR EFIS FINISH. AN ALTERNATE CAN BE INSULATED PANELS, FINISH TO MATCH P-1  
2. JOINTS AT ACM PANELS TO BE 12"  
3. BUILDING ADDRESS NUMBER PER LOCAL CITY REQUIREMENTS

NEW FACADE MATERIALS

G-ACM-1 ALUM. COMPOSITE PANEL - BASALT GREY	G-ACM-2 ALUM. COMPOSITE PANEL - TRICORN BLACK
G-P-1 SW 7076 CYBERSPACE	G-P-4 SW7075 WEB HREY
H-ACM-1 ALUM. COMPOSITE PANEL BRONZE	H-ACM-3 ALUM. COMPOSITE PANEL HYUNDAI NORTH AMERICAN BRONZE
H-P-1 EXTERIOR PAINT SW6111 ANTLER VELVET	H-P-2 EXTERIOR PAINT SW6104 KAFFEE

**DARCO**  
DESIGN · ARCHITECTURE · CONSTRUCTION  
999 W TAYLOR ST. SUITE A SAN JOSE, CA 95126  
PHONE: 408-827-4591 EMAIL: INFO@DARCO-CA.COM  
CSLB #1079457

PROJECT:  
HYUNDAI - GENESIS SERVICE CENTER

PROJECT ADDRESS:  
2150 Old Middlefield Way, Mountain View, CA 94043

CLIENT:  
Cardinale Way

**GENESIS/HYUNDAI SERVICE CENTER**  
 2150 Old Middlefield Way,  
 Mountain View, CA 94043

PROJECT NO. : 2024-03

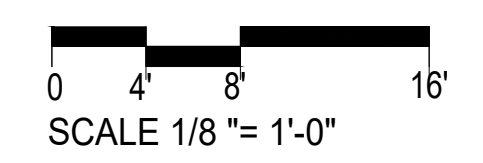
REVISION:  
 ⚠ PER CITY COMMENTS 06.27.24  
 ⚠ PER CITY COMMENTS 12.03.24

SHEET TITLE:  
NEW ELEVATIONS AND ELECTRIC TRANSFORMER

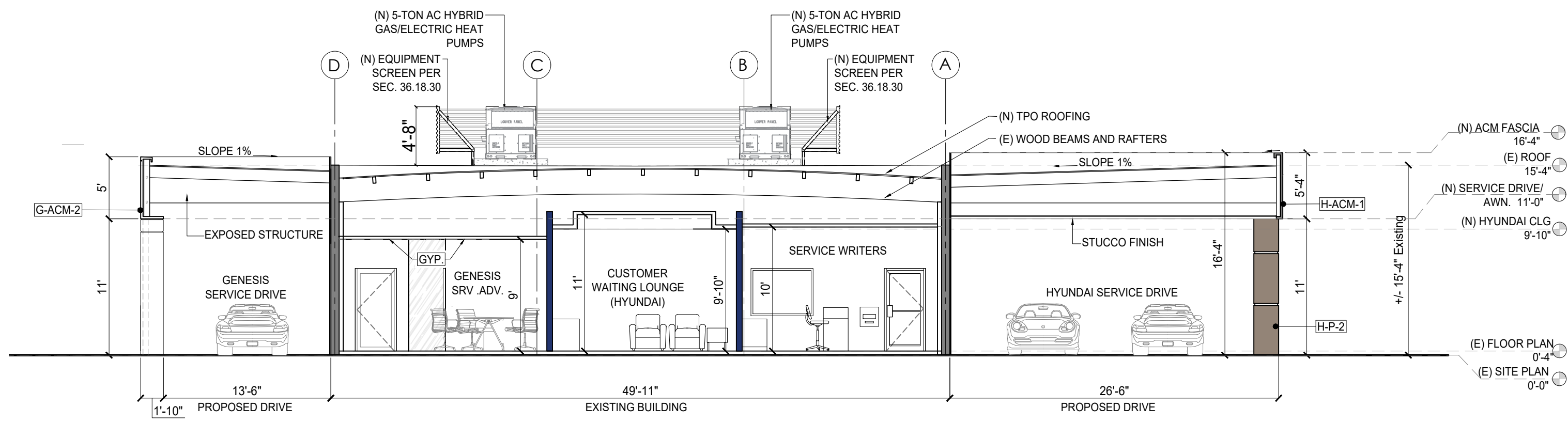
DESIGNED BY:  
KK

DRAFTING BY:  
KC

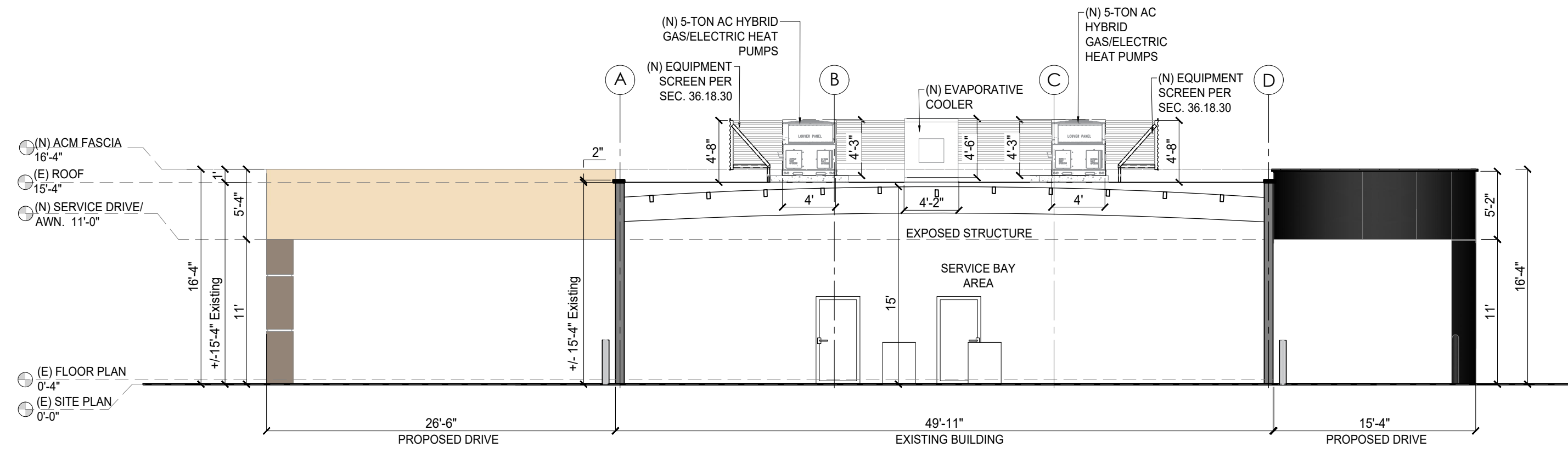
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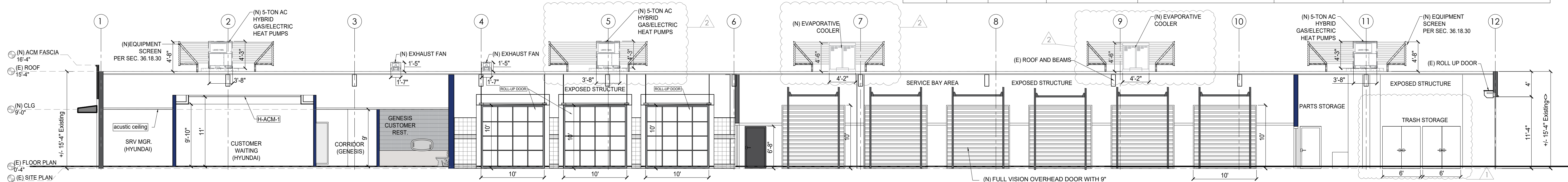




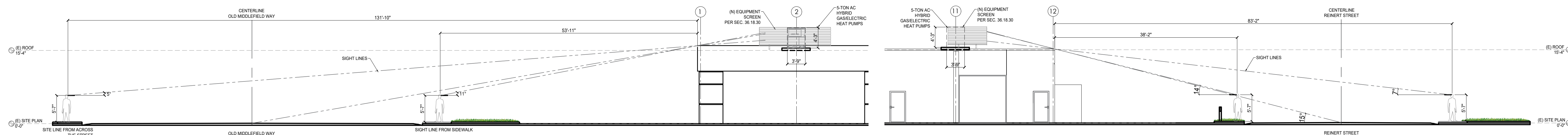
SECTION 1  
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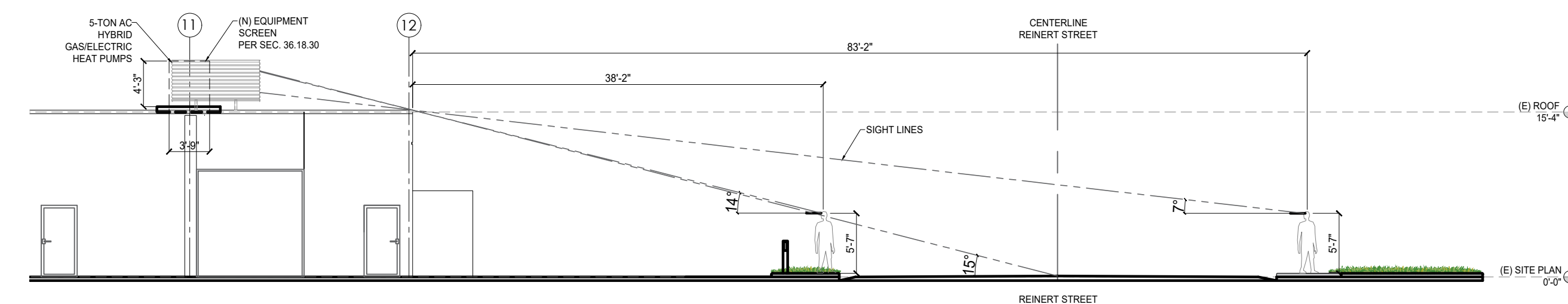
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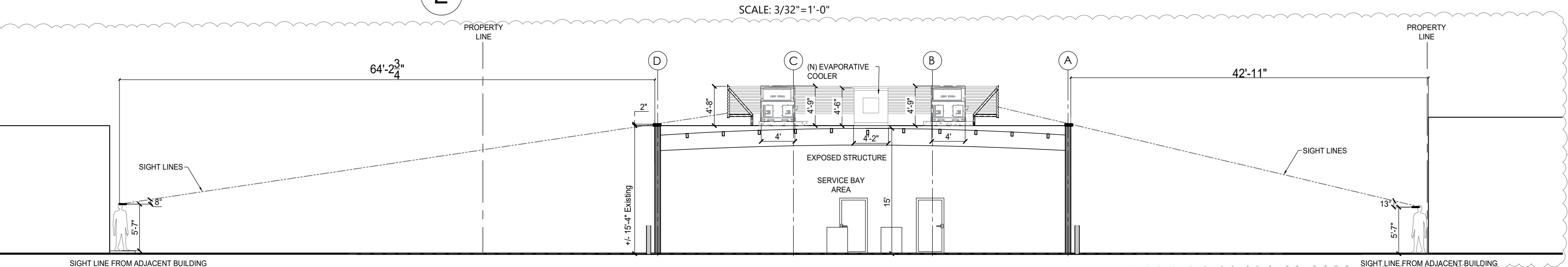
SECTION 3  
SCALE: 1/8"=1'-0"



ENLARGED SIGHT LINE STUDY FROM OLD MIDDLEFIELD WAY  
SCALE: 3/32"=1'-0"



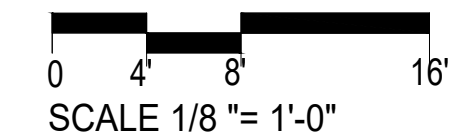
ENLARGED SIGHT LINE STUDY FROM REINERT ST  
SCALE: 3/32"=1'-0"



ENLARGED SIGHT LINE STUDY FROM ADJACENT BUILDINGS  
SCALE: 3/32"=1'-0"

FINISHES SCHEDULE- EXTERIOR GENESIS					
TAG	TYPE	MODEL / SERIES	COLOR	MANUFACTURER	NOTES/LOCATION
G-ACM-1	EXTERIOR WALLS	ALUMINUM COMPOSITE METAL PANEL	COLOR: BASALT GREY. PVD-2, MATTE	ALUCOBOND	LOCATION: AWNING
G-ACM-2	EXTERIOR WALLS	ALUMINUM COMPOSITE METAL PANEL	COLOR: TRICORN BLACK SMP, MATTE	ALUCOBOND	LOCATED: SERVICE WRITE-UP EXTERIOR WALLS
G-P-1	EXTERIOR WALLS	SW 7076 CYBERSPACE	PAINT SW 7076 CYBERSPACE	SHERWIN WILLIAMS	LOCATION: EXTERIOR OF SERVICE SHOP
G-P-4	EXTERIOR WALLS	SW 7075	COLOR SW7075 WEB GREY FINISH: MATTE	SHERWIN WILLIAMS	FACADE
G-MP-1	TRAPEZOIDAL SHEET	CENTRIA, CONCEPT SERIES OR EQUAL	CS -660, MATCH SW 7073 NETWORK GREY	CENTRIA OR EQUAL	MECHANICAL SCREEN AT MAINROOF

FINISHES SCHEDULE- EXTERIOR HYUNDAI					
TAG	TYPE	MODEL / SERIES	COLOR	MANUFACTURER	NOTES/LOCATION
H-ACM-1	ACM WALLS	ALUMINUM COMPOSITE METAL PANEL	SHAPED SKY METAL FASCIA COMPLETE RAIN SCREEN ACM SYSTEM, BLACK, WITH 4 MM SHAPED SKY PANEL OVERLAY, BRONZE		NOTES: 1. ALL SHAPED SKY ELEMENTS TO BE PROVIDED AND INSTALLED BY HMA SURVEY VENDOR
H-ACM-3	ACM WALLS	SERIES ONE RAINSCREEN - ACM CLADDING	COLOR: HYUNDAI NORTH AMERICAN BRONZE	ALUCOBOND	LOCATION: EXTERIOR CLADDING AT VEHICLE DELIVERY AREA
H-D-3	DOOR	EXTERIOR MAN DOOR	METAL EXTERIOR MAN DOOR	CECO DOOR	LOCATION: EXTERIOR DOORS AT PARTS AND SERVICE
H-D-4	DOOR	SPIRAL FV OVERHEAD DOOR	OVERHEAD DOOR FULL VISION OVERHEAD DOOR WITH 9" ALUMINUM FRAMED VISION SLATS	RYTEC	LOCATION: SERVICE DEPARTMENT
H-P-1	PAINT	PAINT EXTERIOR	COLOR: ANTLER VELVET #SW9111 EXTERIOR FINISH: SEMI-GLOSS		LOCATION: EXTERIOR WALLS, DOORS AND FRAMES
H-P-2	PAINT	PAINT EXTERIOR	PAINT EXTERIOR COLOR: KAFFEE #SW6104 EXTERIOR FINISH: SEMI-GLOSS		LOCATION: 4'-0" BASE AT EXTERIOR WALLS OF SERVICE, PARTS, TRAY CEILING OF CUSTOMER WAITING AREAS.
H-SLS-1	SERVICE LANE SIGNALS	TCL SERIES	X / DOWN ARROW LED SIGN ITEM #: 5492 (TCL 1818RG-175DS) FINISH: DURANDONIC BRONZE CABINET	SIGNAL TECH	7", 12" OR 18" SQUARE SINGLE FACE. CANOPY TO BE SURFACE MOUNTED



**DARCO**  
DESIGN · ARCHITECTURE · CONSTRUCTION  
999 W TAYLOR ST. SUITE A SAN JOSE, CA 95126  
PHONE: 408-827-4591 EMAIL: INFO@DARCO-CA.COM  
CSL # 1079457

**PROJECT:**  
HYUNDAI - GENESIS SERVICE CENTER  
**PROJECT ADDRESS:**  
2150 Old Middlefield Way, Mountain View, CA 94043

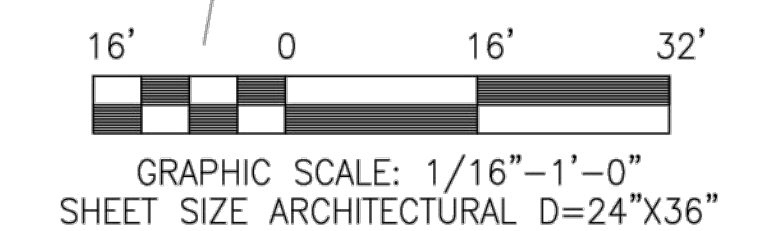
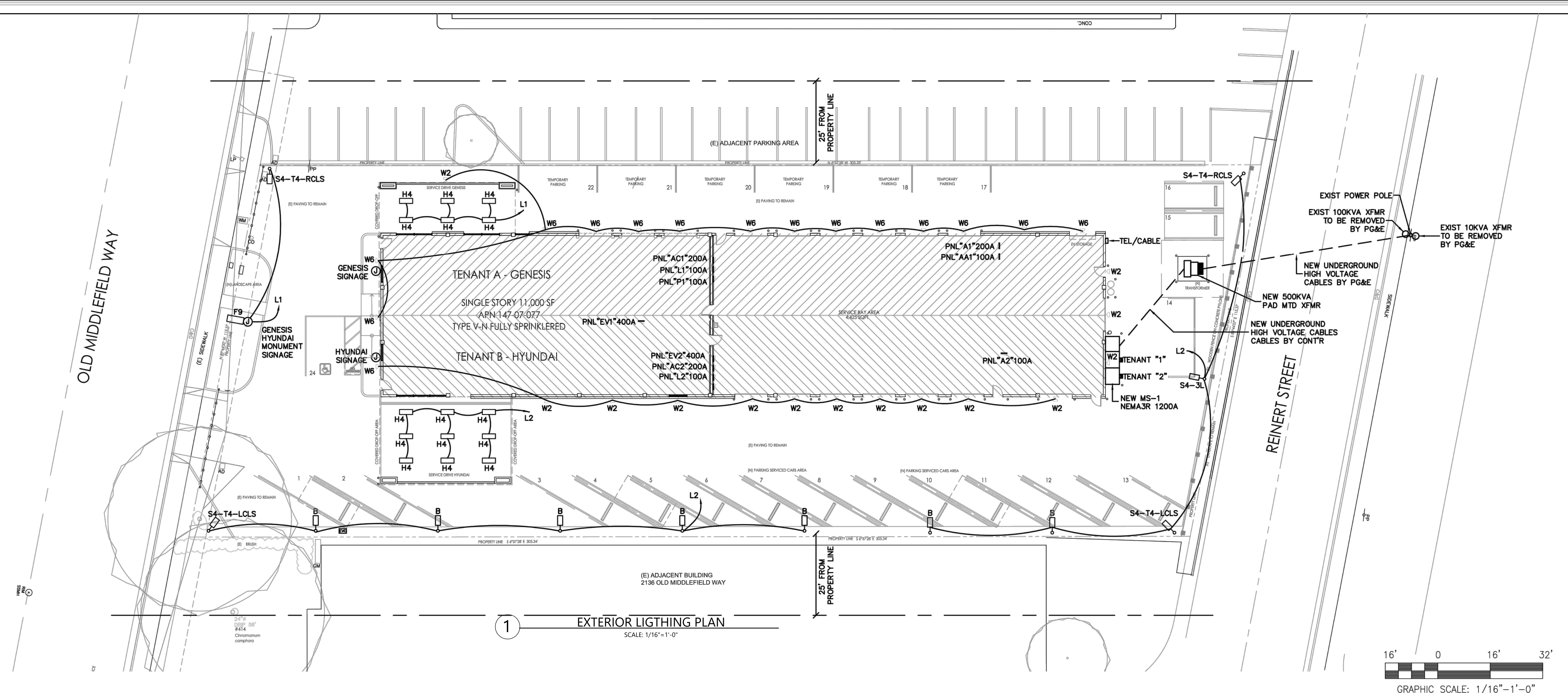
**CLIENT:**  
Cardinale Way

**GENESIS/HYUNDAI SERVICE CENTER**  
2150 Old Middlefield Way, Mountain View, CA 94043

**PROJECT NO. :** 2024-03  
**REVISION:**  
△ PER CITY COMMENTS 06.27.24  
△ PER CITY COMMENTS 12.03.24

**SHEET TITLE:**  
NEW SECTIONS AND SIGHT LINE STUDY  
**DESIGNED BY:**  
KK  
**DRAFTING BY:**  
KC

**SHEET NO.:**  
A4.3



**EXTERIOR LIGHTING PLAN**  
 SCALE: 1/16"=1'-0"

**TENANT #2 LOAD ANALYSIS**

EXTERIOR LIGHTING FIXTURE SCHEDULE										
TYPE	MOUNTING	LOCATION	TRIM COLOR	CATALOG NUMBER	VOLTAGE	WATTAGE	LUMENS	COLOR TEMP	COMMENTS	BUG RATING
A	POLE	FRONT ROW	BRONZE	MRW LED 48L SIL FT L UNV DIM 50 70 BRZ IL	208	401	48809	5000K	GENESIS-HYUNDAI	B4-U0-G5
B	POLE	PERIMETER	BRONZE	MRW LED * SIL FTA * DIM 50 70 BRZ	208	401	49021	5000K	GENESIS-HYUNDAI	B5-U0-G4
S4-T4-T3L	POLE	PERIMETER	BLACK	VMX-II-T3L-S5L-SK-UNV-SAM-BKL-PCR240-WSC20-HS	208	400	18455	5000K	GENESIS-HYUNDAI	B1-U0-G3
S4-T4-RCLS	POLE	PERIMETER	BLACK	VMX-II-T4-S5L-SK-UNV-SAM-BKL-PCR240-WSC20-RCLS	208	400	20074	5000K	GENESIS-HYUNDAI	GENESIS-HYUNDAI
S4-T4-LCLS	POLE	PERIMETER	BLACK	VMX-II-T4-S5L-SK-UNV-SAM-BKL-PCR240-WSC20-LCLS	208	400	20074	5000K	GENESIS-HYUNDAI	GENESIS-HYUNDAI
H4	SUSPENDED	DELIVERY	WHITE	EG3 4 S LED 6L DA S UNV DIM 50 80 LCH10	208	60	6695	5000K	GENESIS-HYUNDAI	-
W2	WALL	EXTERIOR	BRONZE	XMW 2 LED 3L 08 05 UE BRZ-ALSCS01-SP1	208	23	3178	5000K	GENESIS-HYUNDAI	B1-U0-G1
WF	WALL	EXTERIOR	BRONZE	XMW FT LED 50 UE BRZ-ALSCS01-SP1	208	23	3160	5000K	GENESIS-HYUNDAI	B1-U0-G1
W6	WALL	EXTERIOR	BRONZE	XMW 2 LED 6L 50 UE BRZ-ALSCS01-SP1	208	47	3236	5000K	GENESIS-HYUNDAI	B2-U0-G2

**VMX-II Array LED Specifications**

**Ordering Information**

MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VMX4	T1	25L	50K	UNV	AM	BRZ	PCB-300	WSC-300	UPA-300
	T2	35L	50K	UNV	AM	BRZ	PCB-350	WSC-350	UPA-350
	T3	45L	50K	UNV	AM	BRZ	PCB-450	WSC-450	UPA-450
	T4	55L	50K	UNV	AM	BRZ	PCB-550	WSC-550	UPA-550

**EG3 Series**  
 Enclosed and Gasketed Linear LED Fixture

**QUICK LINKS**

**FEATURES & SPECIFICATIONS**

- High performance programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection. Custom lumen and wattage packages available.
- Driver module is sealed to IP68, IP66, and IP67 standards with a Class A sound rating and 0-10V dimming is standard.
- 2-10V dimming (020-1000) standard.
- For complete warranty terms, refer to [www.visionairlighting.com](http://www.visionairlighting.com).
- For warranty in car wash application, optional EG3W (IP68) is required. Other standard LED fixtures available. Contact factory.
- Shipping weight: 37 lbs in carton.

**Mirada Medium (MRM)**  
 Outdoor LED Area Light

**QUICK LINKS**

**FEATURES & SPECIFICATIONS**

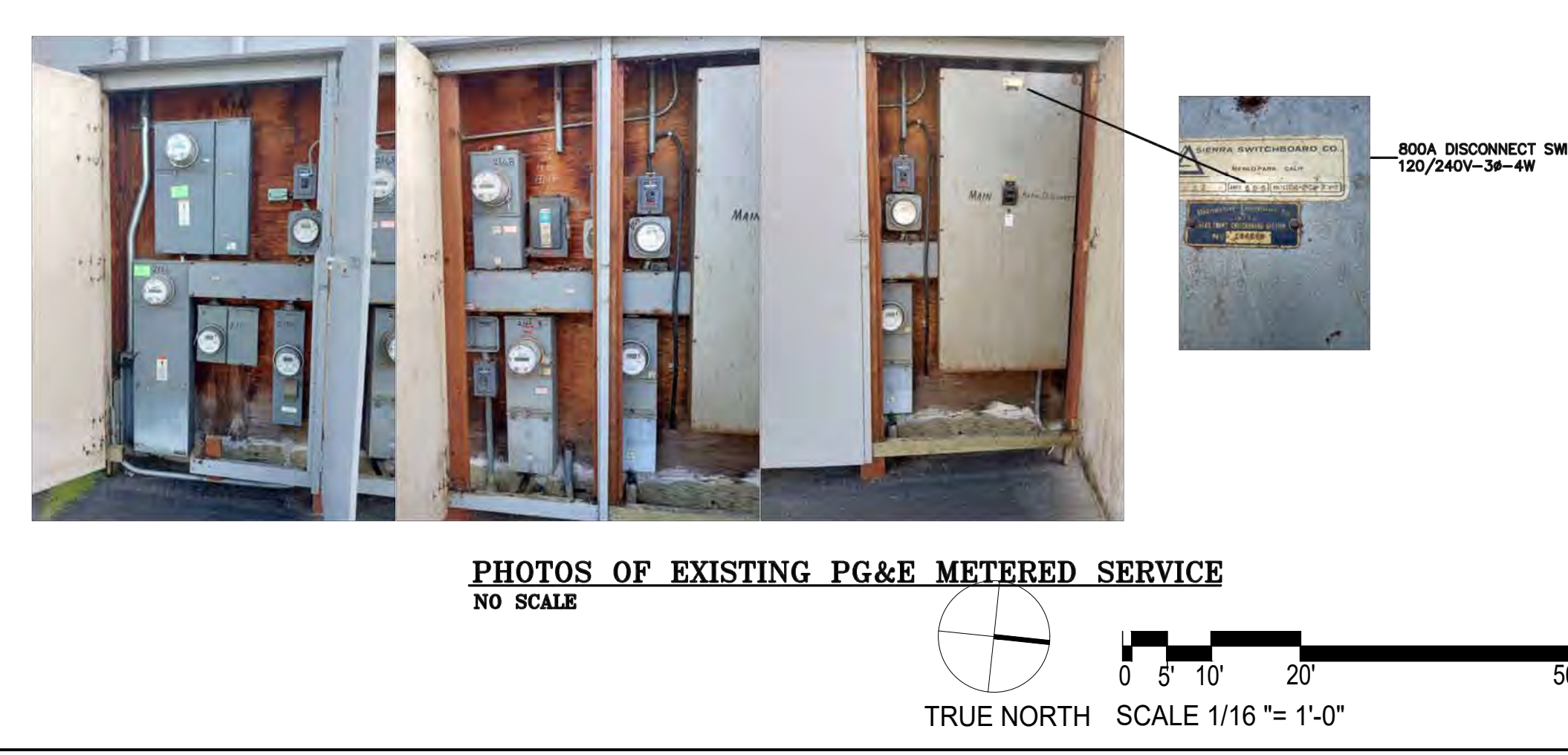
- Rugged die-cast aluminum housing contains factory pre-wired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- IP68 enclosure (NEMA 6P) standard.
- Standard Universal Voltage (120-277 VAC) (247-480 VAC).
- LED Calculated Life: >100,000 hours (See Lumen Maintenance Chart).
- Total Harmonic Distortion <20%.
- Operating Temperature: -40°C to +40°C (-40°F to 104°F).
- Power Factor >.95.
- Output: 120-277V 25W integral emergency battery pack is available to meet critical life safety lighting requirements. A test switch/indicator button will be installed on the end panel of the fixture.

**Mirada Medium Wall Sconce (XWM)**  
 Outdoor Wall Sconce

**QUICK LINKS**

**FEATURES & SPECIFICATIONS**

- Rugged die-cast aluminum housing contains factory pre-wired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- IP68 enclosure (NEMA 6P) standard.
- Standard Universal Voltage (120-277 VAC) (247-480 VAC).
- LED Calculated Life: >100,000 hours (See Lumen Maintenance Chart).
- Total Harmonic Distortion <20%.
- Operating Temperature: -40°C to +40°C (-40°F to 104°F).
- Power Factor >.95.
- Output: 120-277V 25W integral emergency battery pack is available to meet critical life safety lighting requirements. A test switch/indicator button will be installed on the end panel of the fixture.



PROJECT:  
 HYUNDAI - GENESIS SERVICE CENTER  
 PROJECT ADDRESS:  
 2150 Old Middlefield Way, Mountain View, CA 94043  
 CLIENT:  
 Cardinale Way

**GENESIS/HYUNDAI SERVICE CENTER**  
 2150 Old Middlefield Way, Mountain View, CA 94043

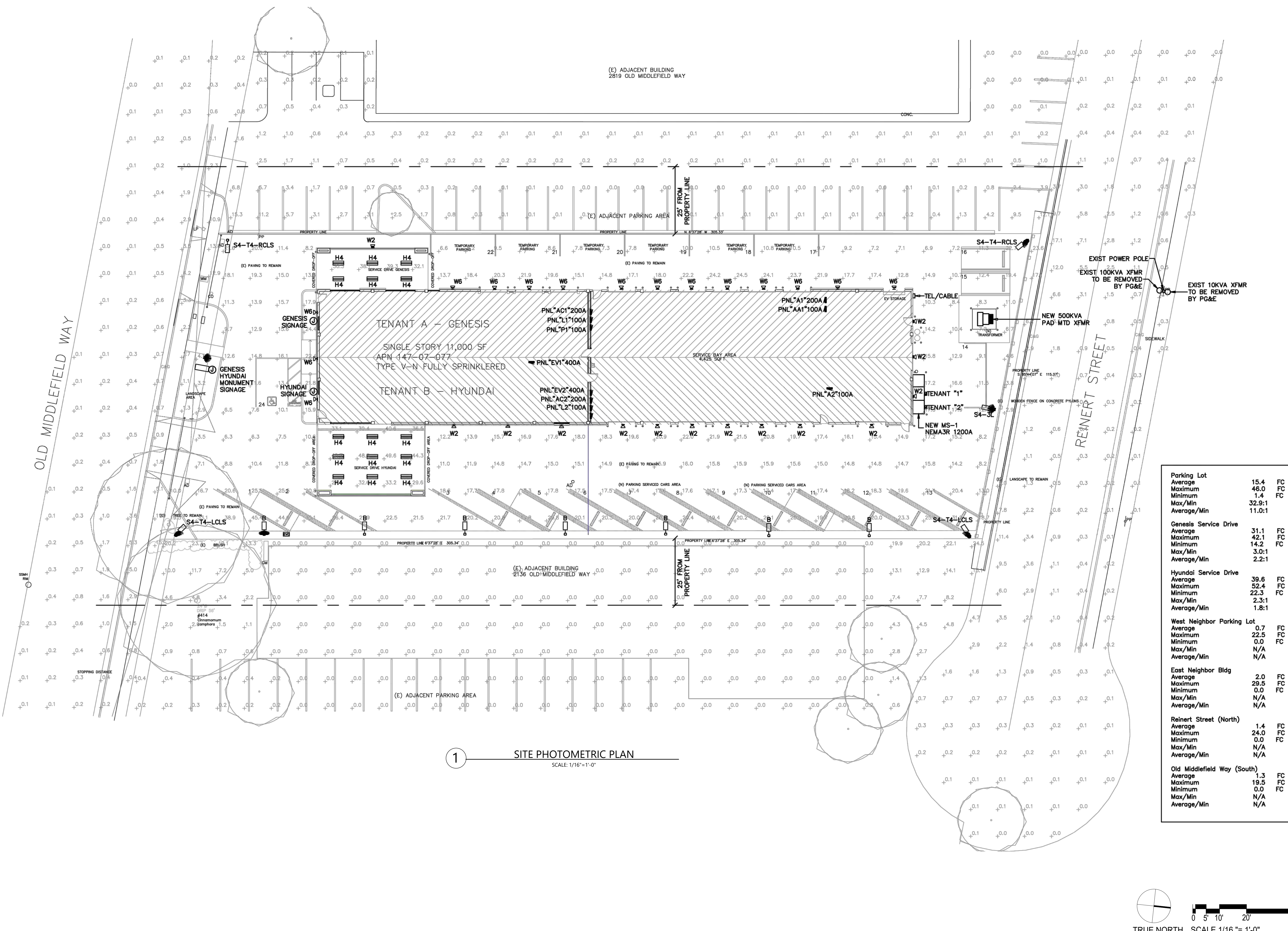
PROJECT NO. : 2024-03

REVISION:  
 ▲ PER CITY COMMENTS 06.27.24  
 ▲ PER CITY COMMENTS 12.03.24

SHEET TITLE:  
 SITE PHOTOMETRIC PLAN

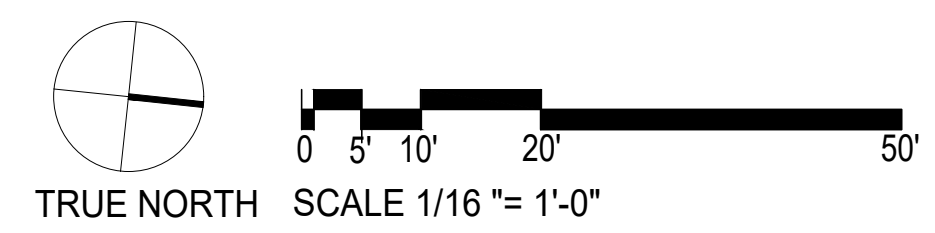
DESIGNED BY:  
 KK  
 DRAFTING BY:  
 KC

SHEET NO:  
**A5.2**



<b>Parking Lot</b>	15.4	FC
Average	46.0	FC
Maximum	1.4	FC
Minimum	32.9:1	
Max/Min	11.0:1	
Average/Min		
<b>Genesis Service Drive</b>	31.1	FC
Average	42.1	FC
Maximum	14.2	FC
Minimum	3.0:1	
Max/Min	2.2:1	
Average/Min		
<b>Hyundai Service Drive</b>	39.6	FC
Average	52.4	FC
Maximum	22.3	FC
Minimum	2.3:1	
Max/Min	1.8:1	
Average/Min		
<b>West Neighbor Parking Lot</b>	0.7	FC
Average	22.5	FC
Maximum	0.0	FC
Minimum	N/A	
Max/Min	N/A	
Average/Min		
<b>East Neighbor Bldg</b>	2.0	FC
Average	29.5	FC
Maximum	0.0	FC
Minimum	N/A	
Max/Min	N/A	
Average/Min		
<b>Reinert Street (North)</b>	1.4	FC
Average	24.0	FC
Maximum	0.0	FC
Minimum	N/A	
Max/Min	N/A	
Average/Min		
<b>Old Middlefield Way (South)</b>	1.3	FC
Average	19.5	FC
Maximum	0.0	FC
Minimum	N/A	
Max/Min	N/A	
Average/Min		

**1 SITE PHOTOMETRIC PLAN**  
 SCALE: 1/16" = 1'-0"

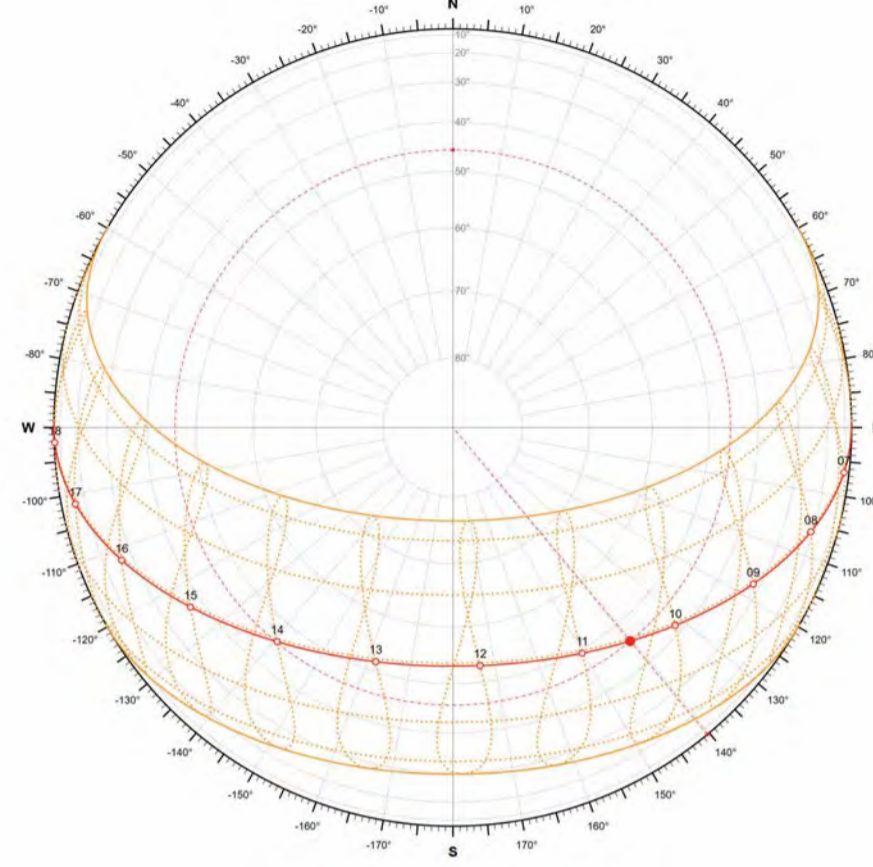


# SHADOW STUDY

A SHADOW STUDY ASSESSES HOW A PROPOSED STRUCTURE WILL CAST SHADOWS ON SURROUNDING AREAS AT DIFFERENT TIMES OF THE DAY AND YEAR. THIS IS CRUCIAL FOR ENSURING COMPLIANCE WITH LOCAL ZONING REGULATIONS, ESPECIALLY REGARDING SOLAR ACCESS AND THE IMPACT ON NEIGHBORING PROPERTIES.

FOR THIS PROJECT, LOCATED IN MOUNTAIN VIEW, CALIFORNIA, THE STUDY MODELS THE SUN'S PATH DURING KEY TIMES—SUCH AS THE WINTER AND SUMMER SOLSTICES AND EQUINOXES—AT SPECIFIC HOURS LIKE 9 AM, 12 PM, AND 3 PM IN ORDER TO DEMONSTRATE THAT THE BUILDING'S SHADOWS DO NOT ADVERSELY AFFECT ADJACENT BUILDINGS OR PUBLIC SPACES BY BLOCKING SUNLIGHT EXCESSIVELY, PARTICULARLY DURING PEAK HOURS.

FOR THE GENESIS/HYUNDAI SERVICE CENTER, THIS STUDY WOULD ENSURE THAT THE PROJECT MEETS LOCAL PLANNING GUIDELINES, AVOIDS OVERSHADOWING ADJACENT PROPERTIES, AND COMPLIES WITH DAYLIGHT ACCESS REQUIREMENTS.



THE SUN PATH OF MOUNTAIN VIEW, CALIFORNIA (LATITUDE 37.386051° N, LONGITUDE -122.083855° W) REFERS TO THE APPARENT MOVEMENT OF THE SUN ACROSS THE SKY THROUGHOUT THE DAY AND YEAR. IT SHOWS THE ANGLE AND POSITION OF THE SUN AT DIFFERENT TIMES.

IT IS USED IN DESIGN TO MAXIMIZE NATURAL LIGHT, REDUCE UNWANTED HEAT GAIN, AND MINIMIZE SHADING IMPACTS ON SURROUNDING PROPERTIES.

## GENERAL NOTES

NOTE: THESE DIAGRAMS SHOW THE SHADOW PATTERN THROUGHOUT THE YEAR DUE TO THE EXISTING BUILDINGS AND PROPOSED BUILDING AT OLD MIDDLEFIELD WAY



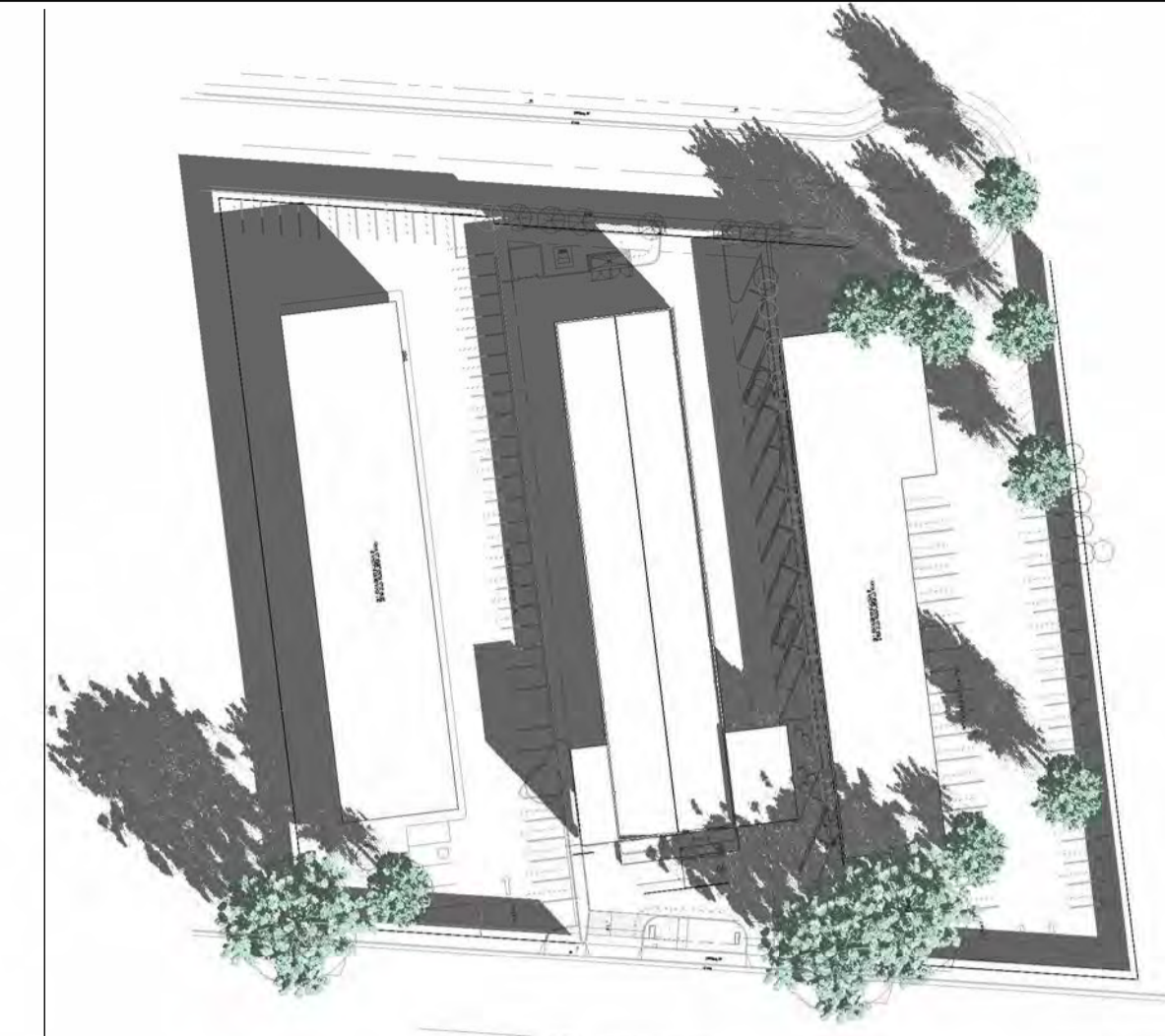
1 MARCH EQUINOX - 9 AM  
1" = 80'-0"



4 JUNE SOLSTICE - 9 AM  
1" = 80'-0"



7 SEP. EQUINOX - 9 AM  
1" = 80'-0"



10 DEC. SOLSTICE - 9 AM  
1" = 80'-0"



2 MARCH EQUINOX - 12 MM  
1" = 80'-0"



5 JUNE SOLSTICE - 12 MM  
1" = 80'-0"



8 SEP. EQUINOX - 12 MM  
1" = 80'-0"



11 DEC. SOLSTICE - 12 MM  
1" = 80'-0"



3 MARCH EQUINOX - 3 PM  
1" = 80'-0"



6 JUNE SOLSTICE - 3 PM  
1" = 80'-0"



9 SEP. EQUINOX - 3 PM  
1" = 80'-0"



12 DEC. SOLSTICE - 3 PM  
1" = 80'-0"

**DARCO**  
DESIGN · ARCHITECTURE · CONSTRUCTION

999 W TAYLOR ST. SUITE A SAN JOSE,  
CA 95126  
PHONE: 408-827-4591 EMAIL:  
INFO@DARCO-CA.COM  
CSLB #1079457

**PROJECT:**  
HYUNDAI - GENESIS  
SERVICE CENTER

**PROJECT ADDRESS:**  
2150 Old Middlefield Way,  
Mountain View, CA 94043

**CLIENT:**  
Cardinale Way

**GENESIS/HYUNDAI SERVICE  
CENTER**  
2150 Old Middlefield Way,  
Mountain View, CA 94043

**PROJECT NO. :** 2024-03

**REVISION:**  
△ PER CITY COMMENTS 06.27.24  
△ PER CITY COMMENTS 12.02.24

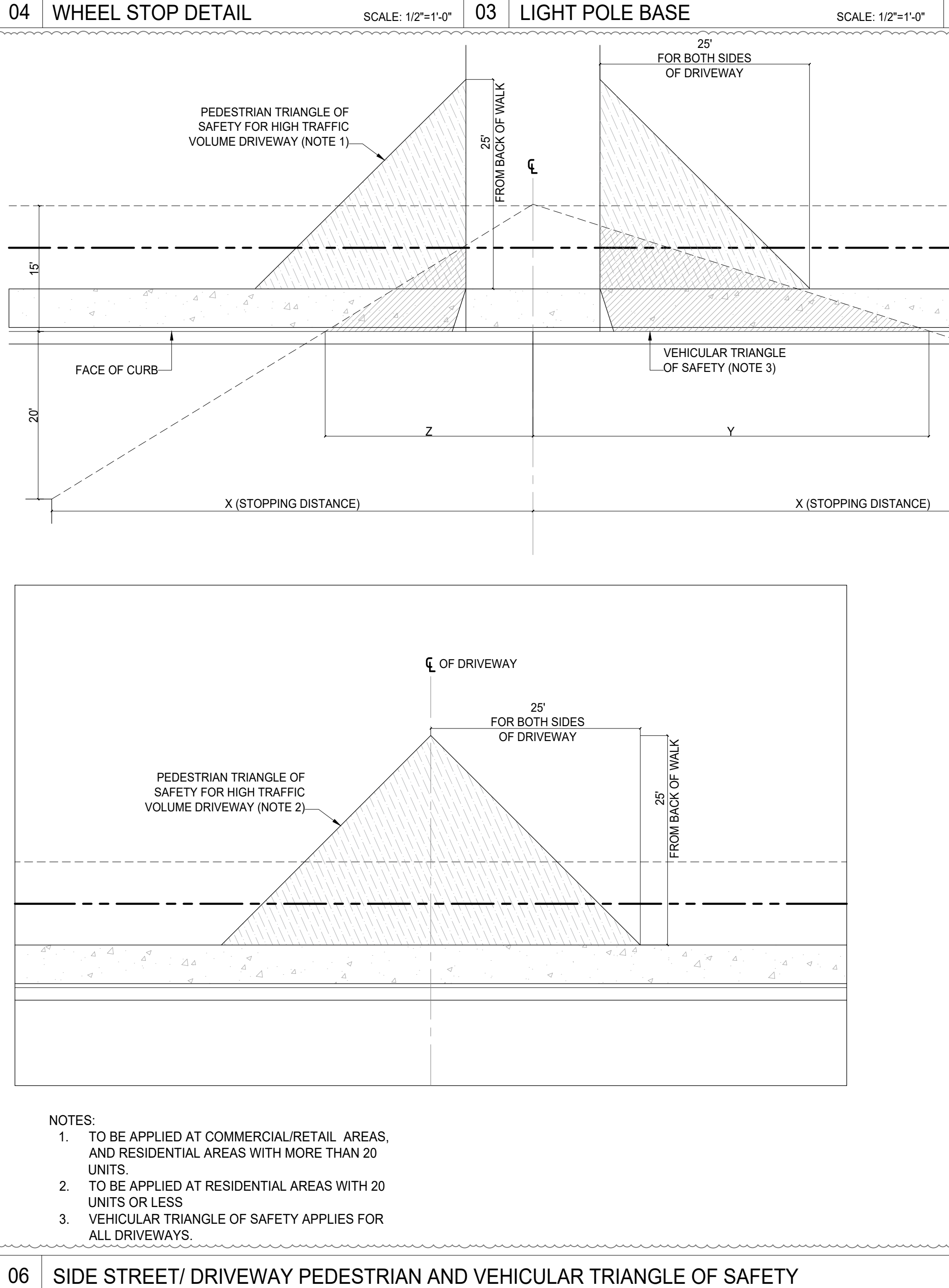
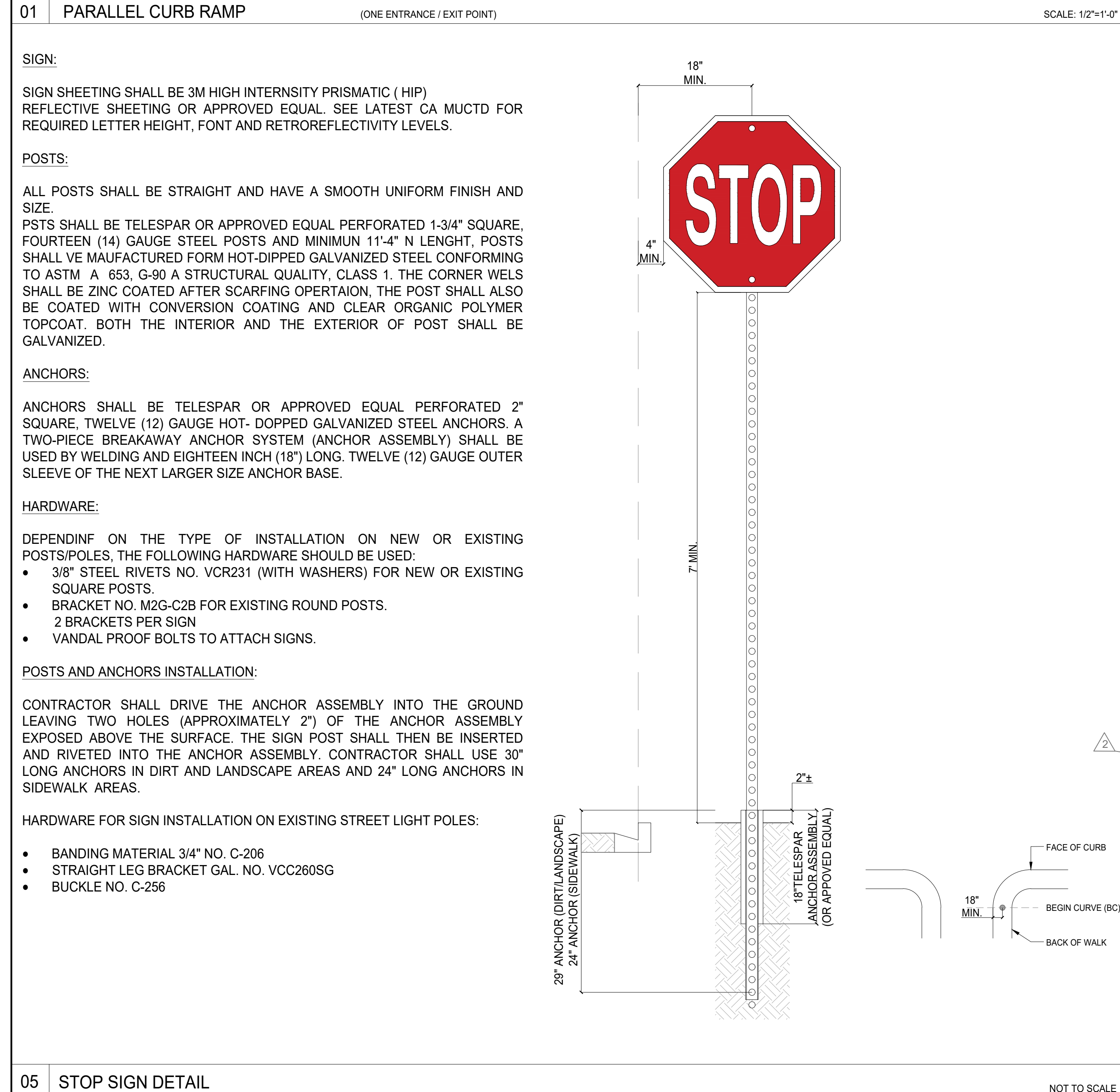
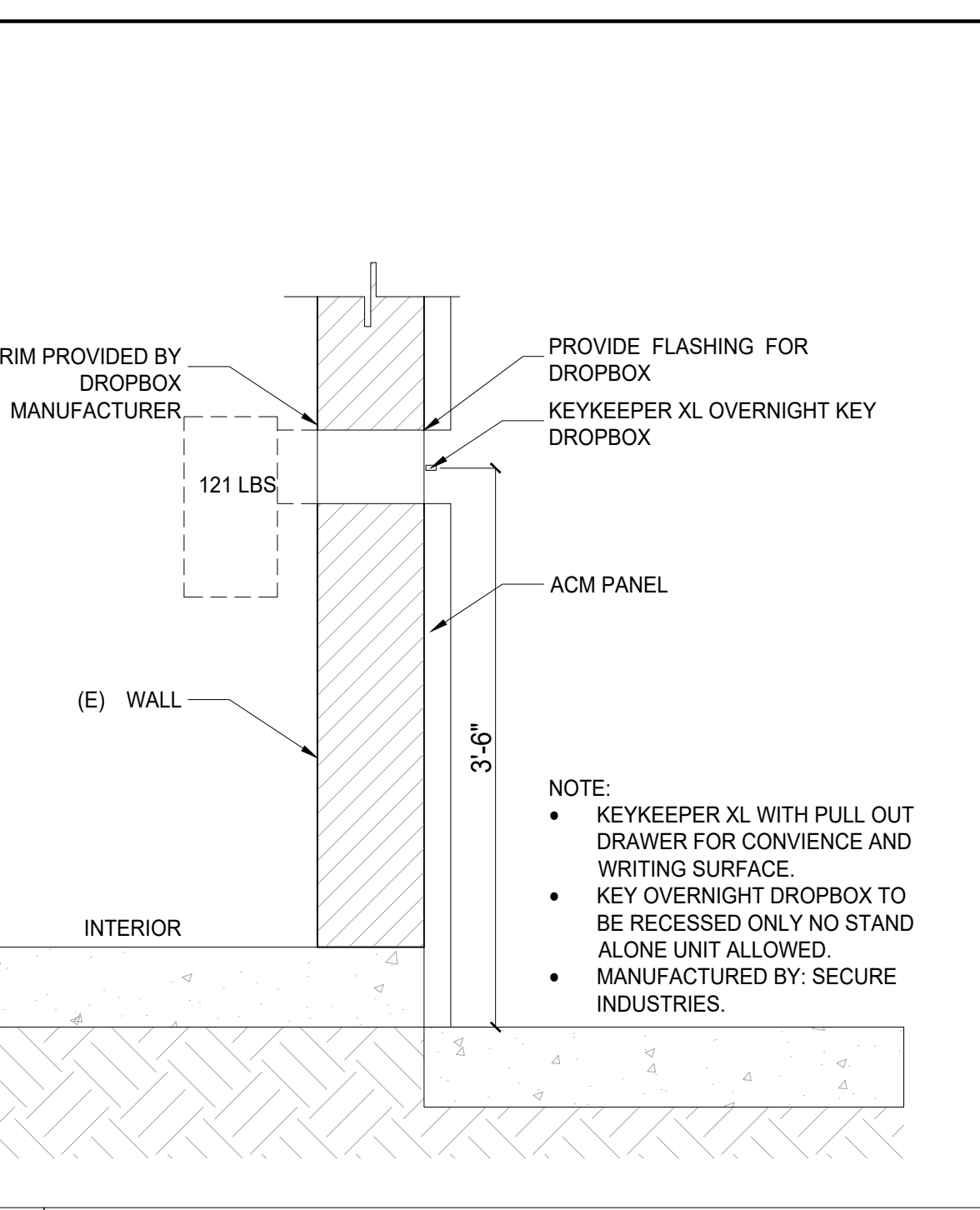
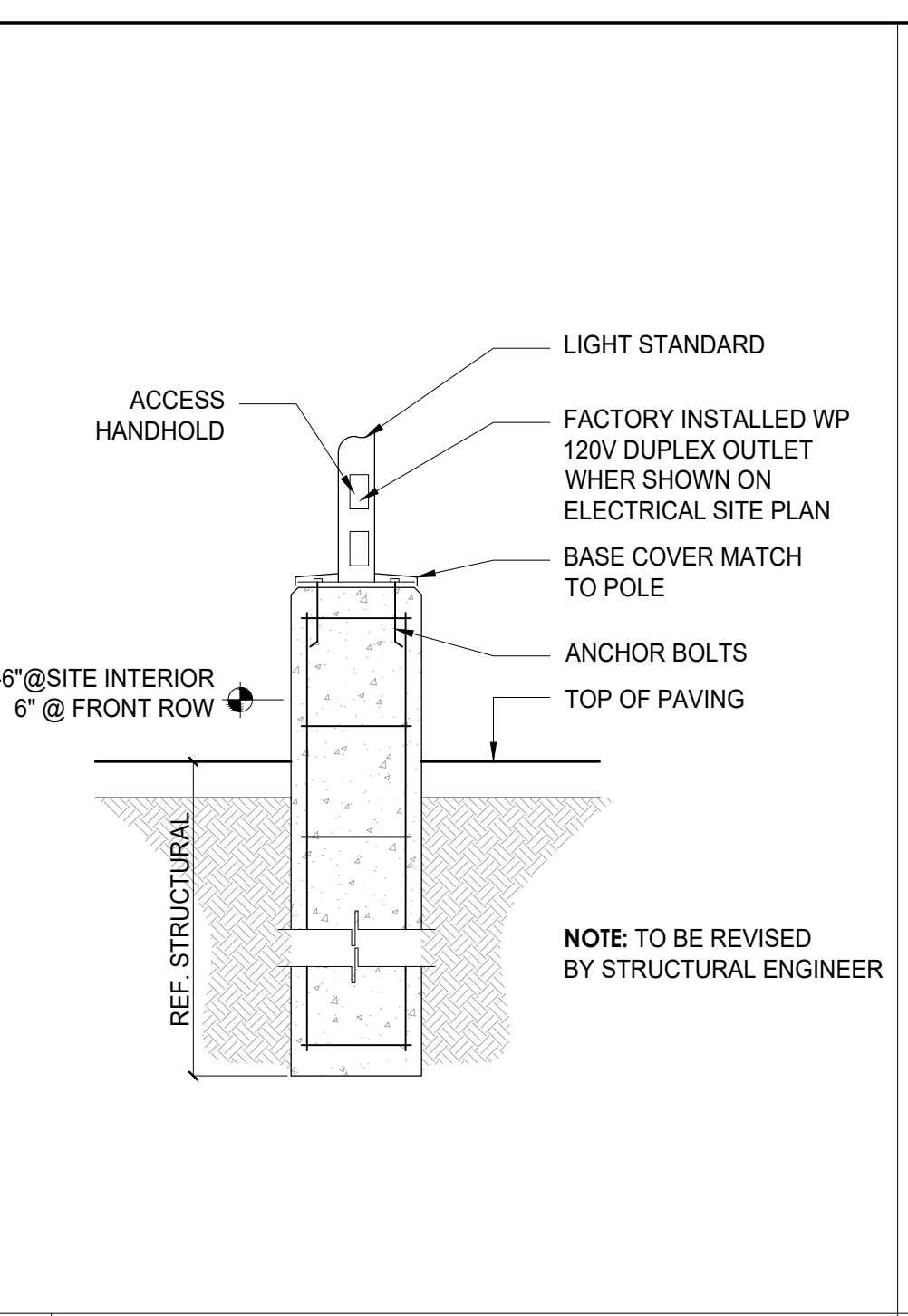
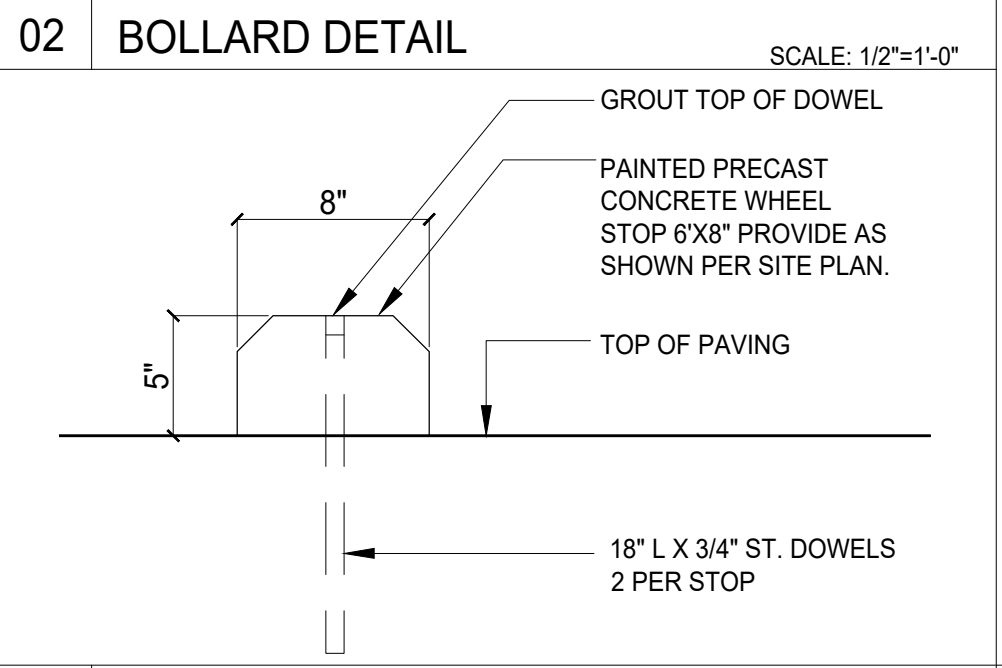
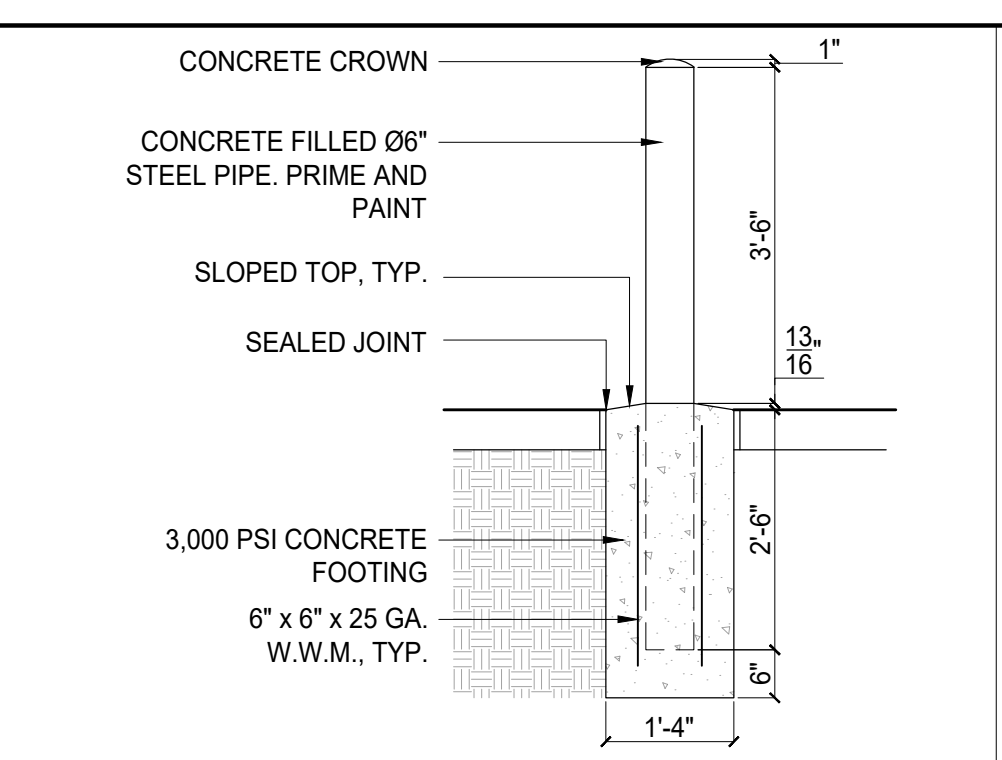
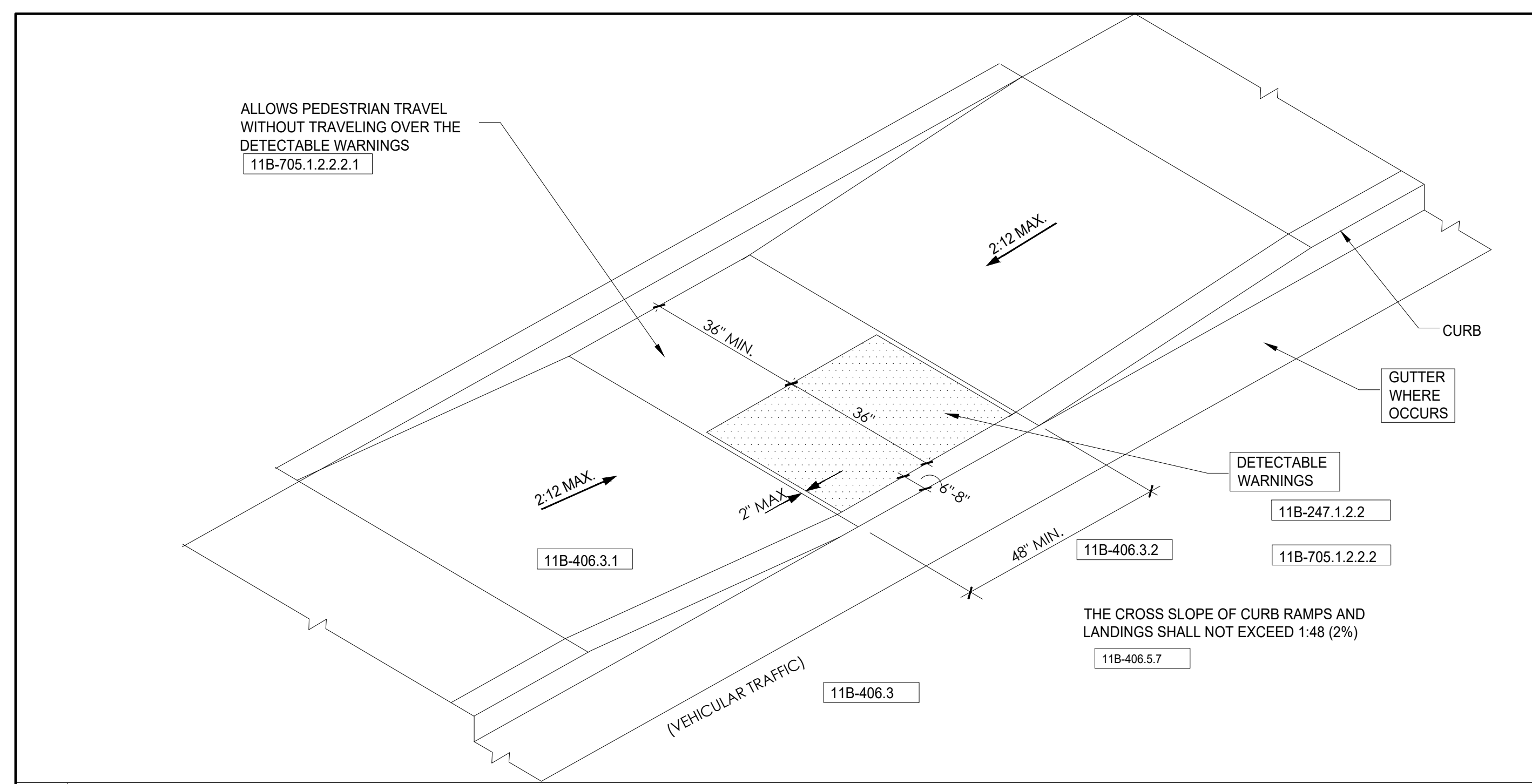
**SHEET TITLE:**  
SHADOW STUDY

**DESIGNED BY:** KK

**DRAFTING BY:** KC

**SHEET NO.:**

△ **A5.3**



01 PARALLEL CURB RAMP (ONE ENTRANCE / EXIT POINT) SCALE: 1/2"=1'-0"

02 BOLLARD DETAIL SCALE: 1/2"=1'-0"

03 LIGHT POLE BASE SCALE: 1/2"=1'-0"

04 WHEEL STOP DETAIL SCALE: 1/2"=1'-0"

05 STOP SIGN DETAIL NOT TO SCALE

06 KEY DROP BOX DETAIL SCALE: 1-1/2"=1'-0"

06 SIDE STREET/ DRIVEWAY PEDESTRIAN AND VEHICULAR TRIANGLE OF SAFETY NOT TO SCALE

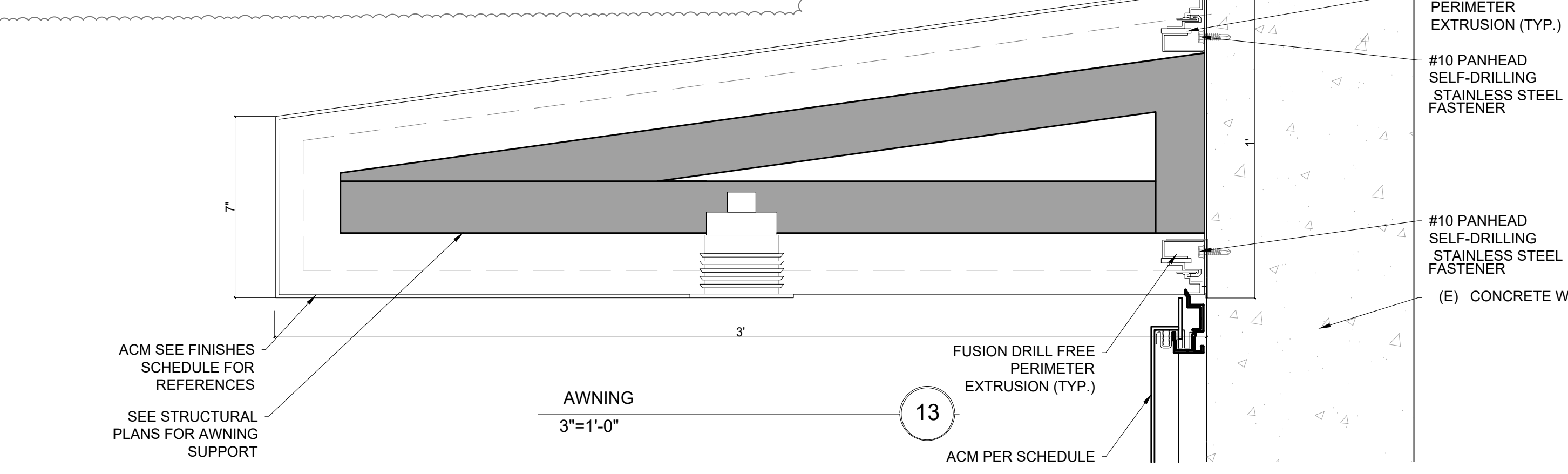
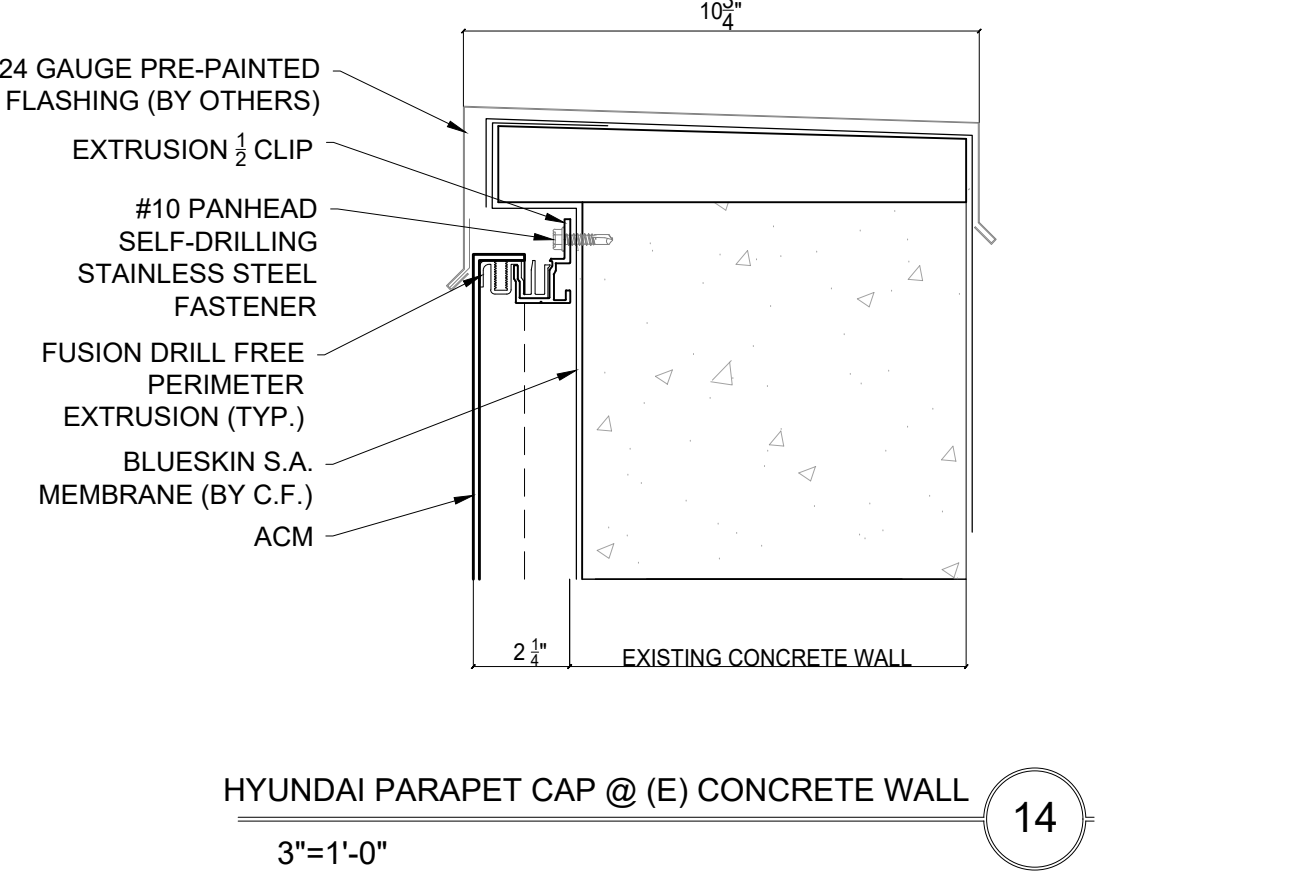
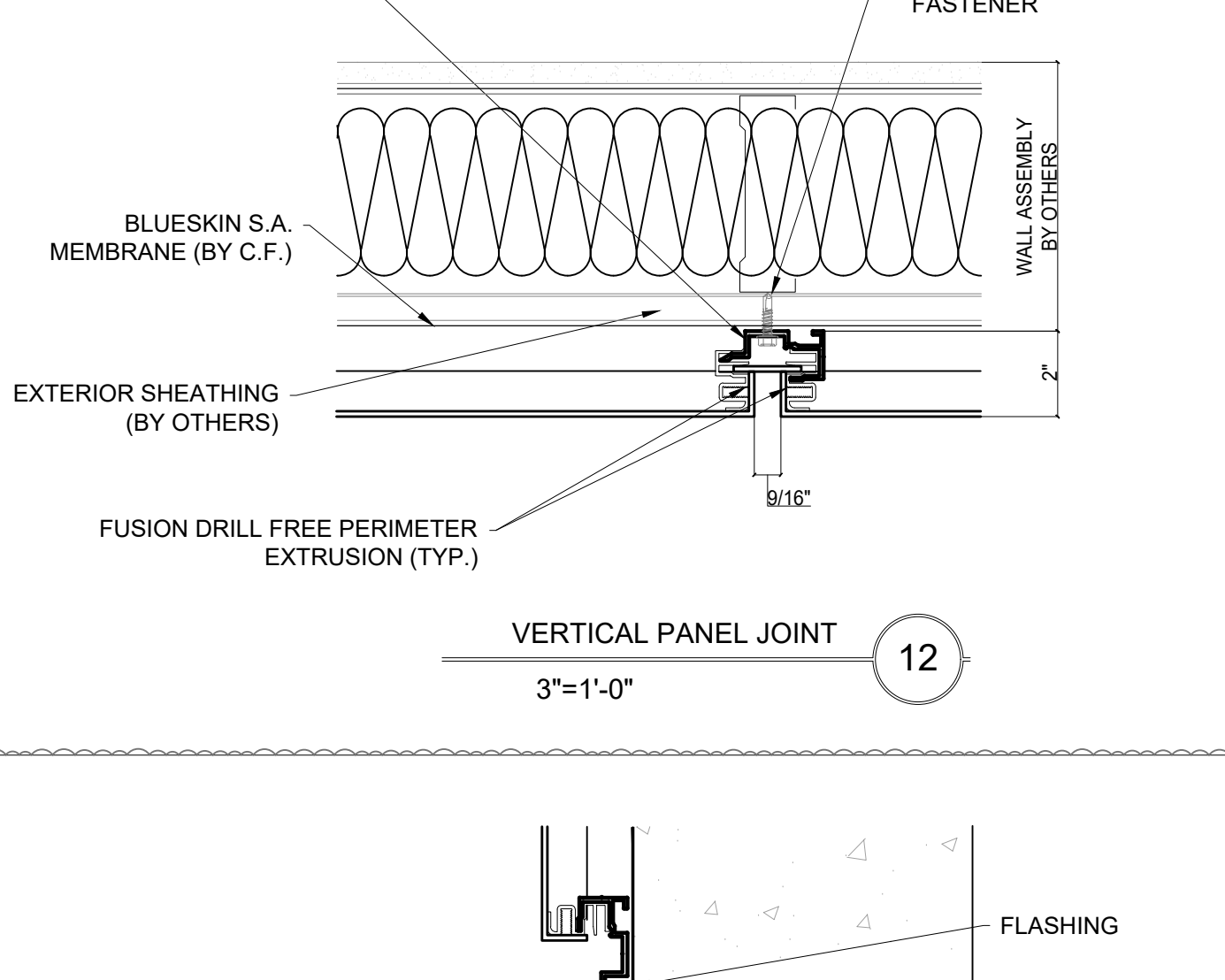
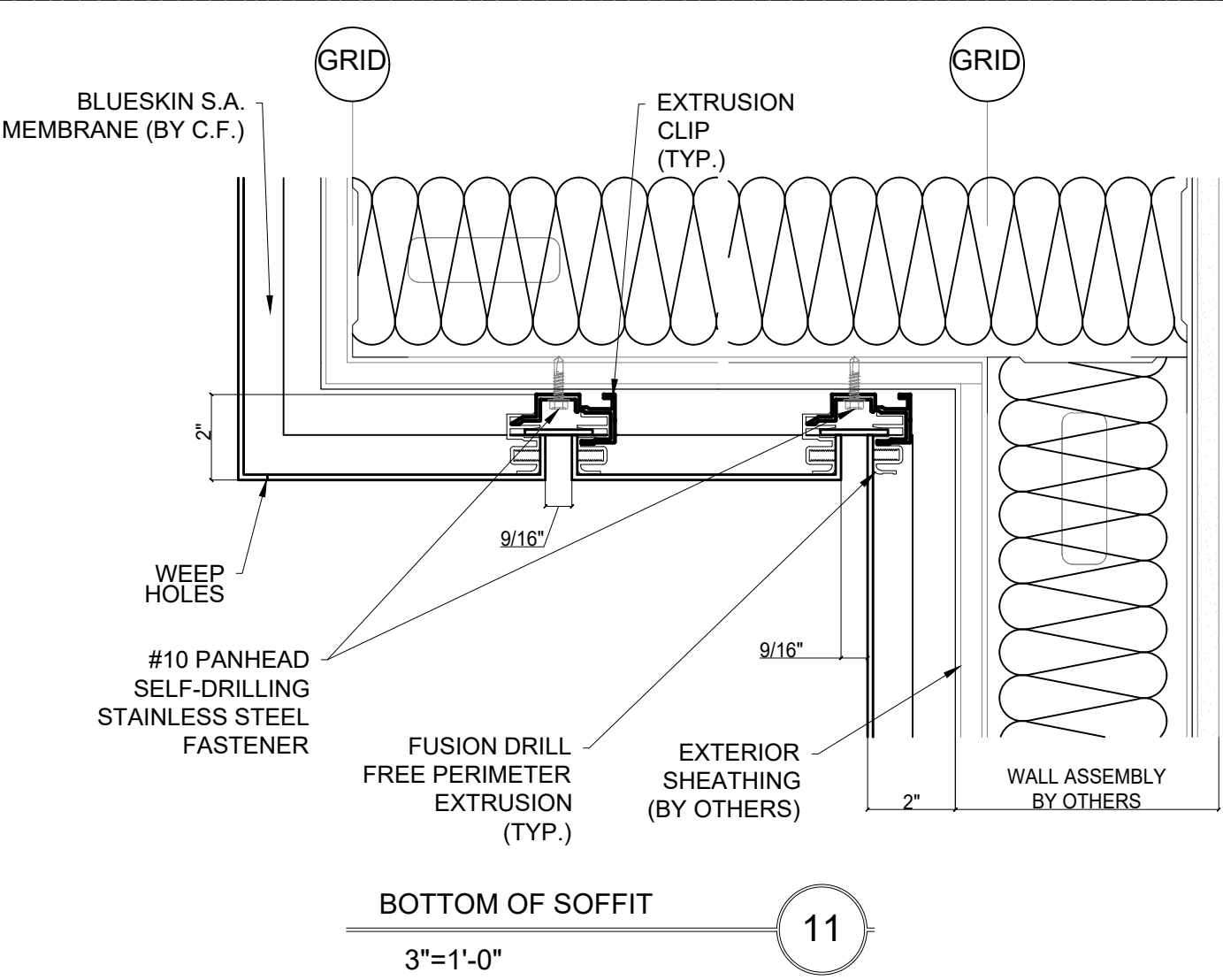
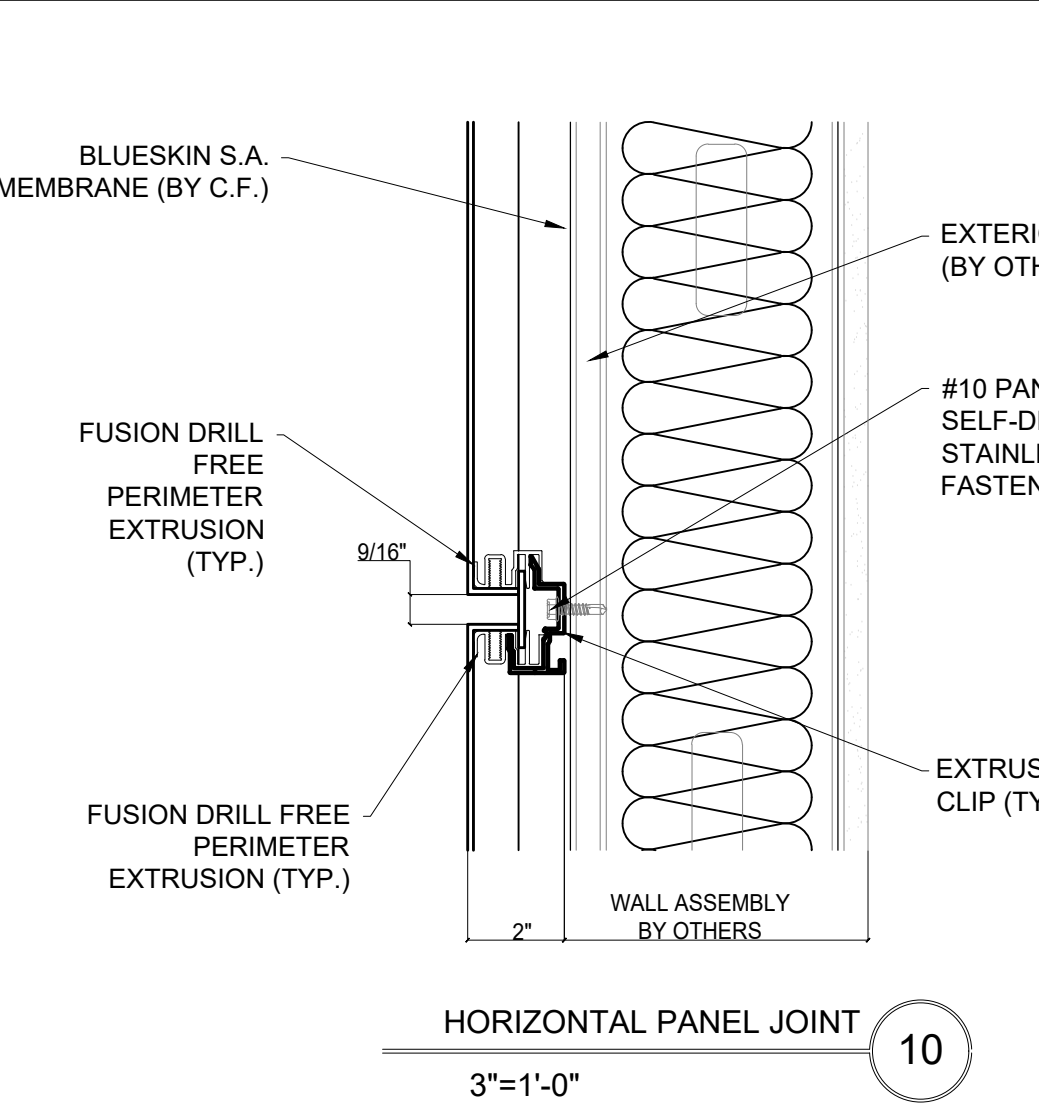
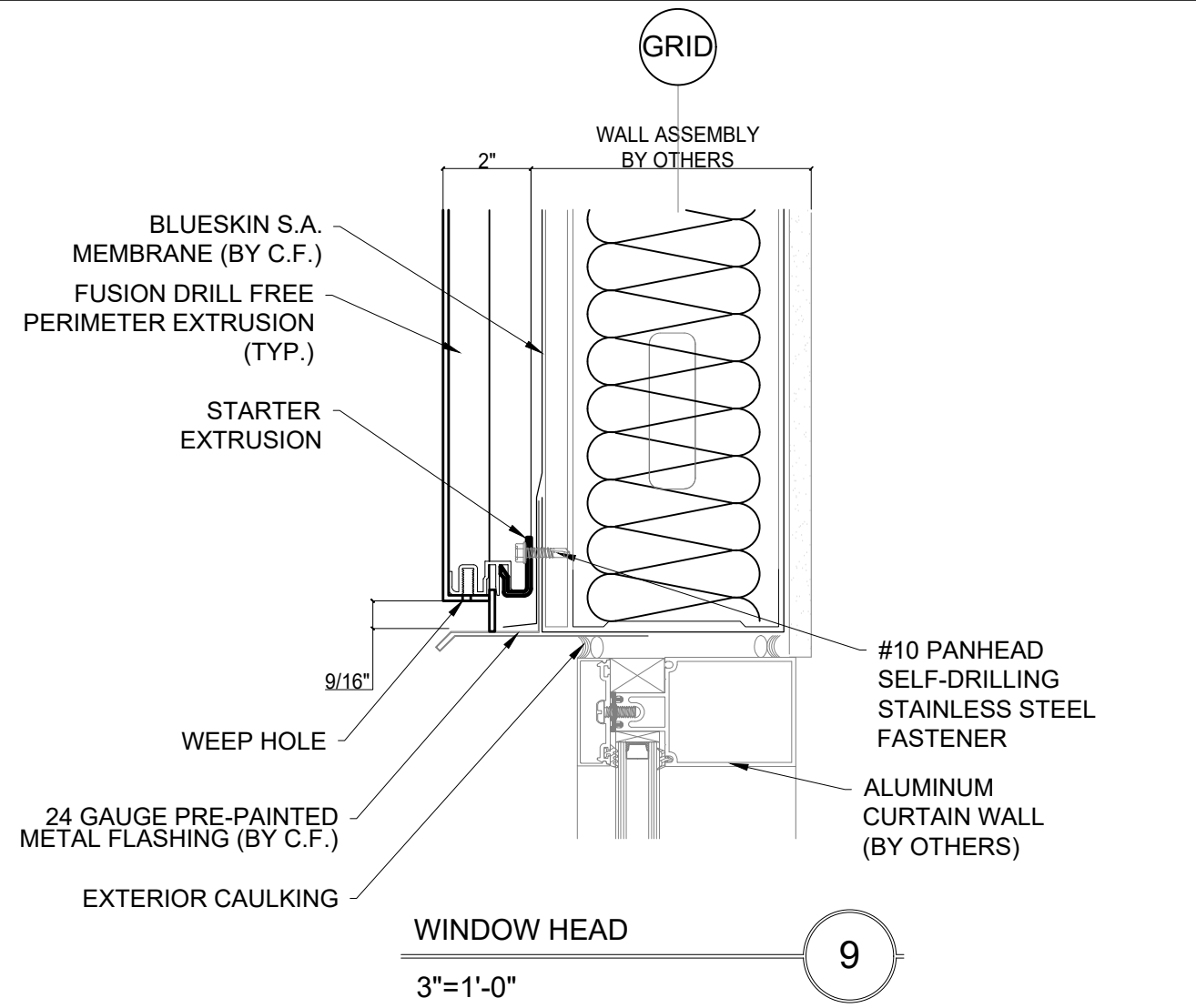
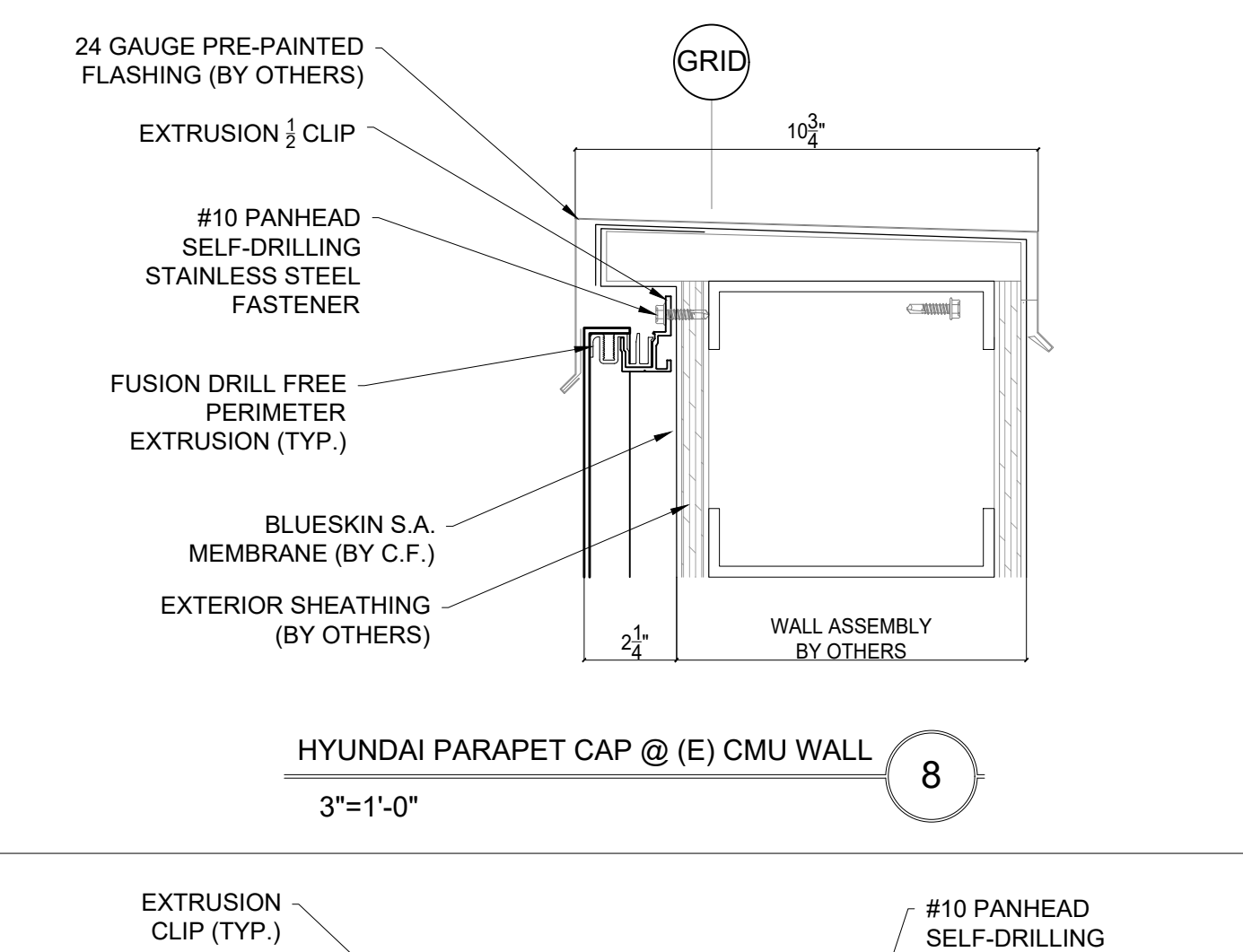
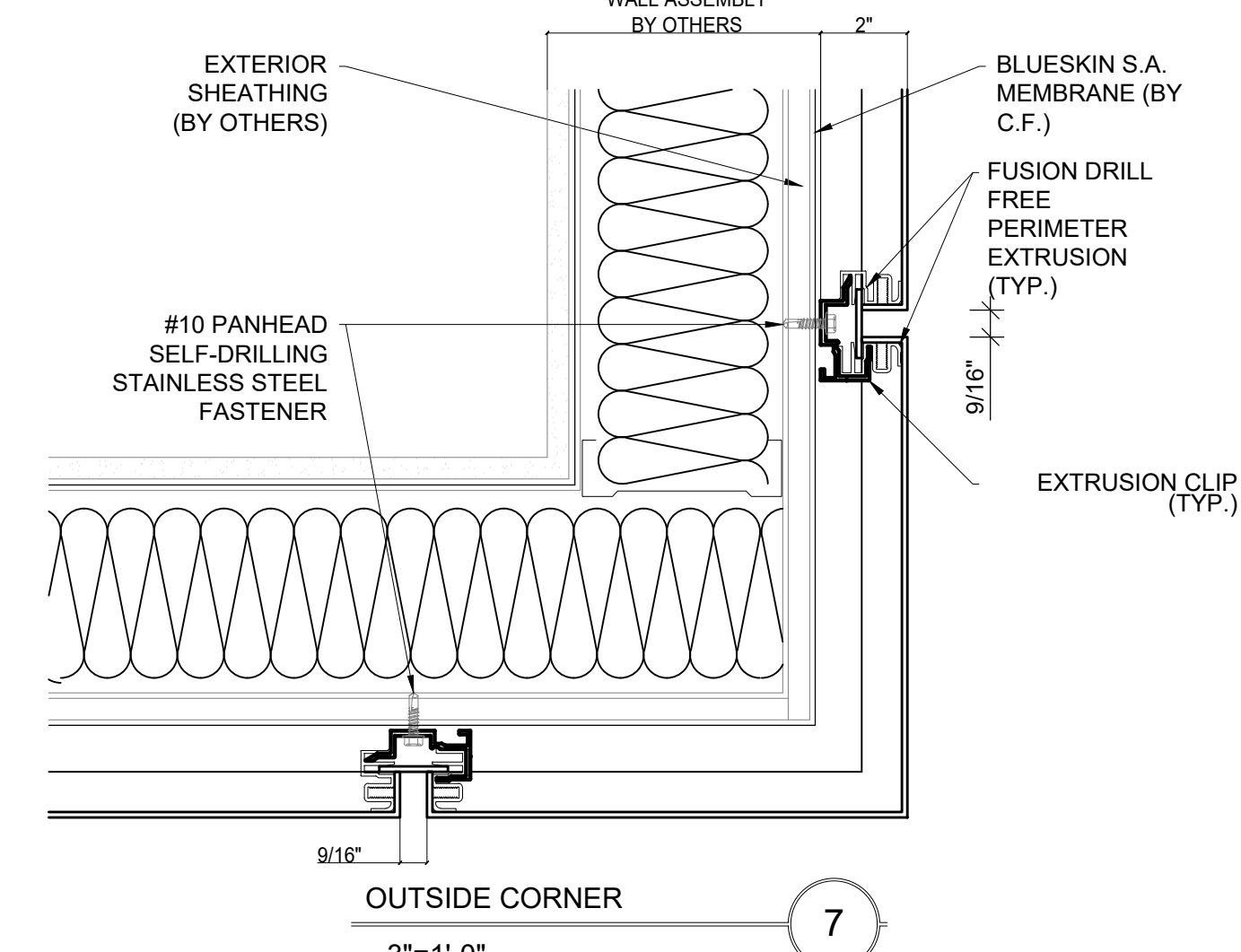
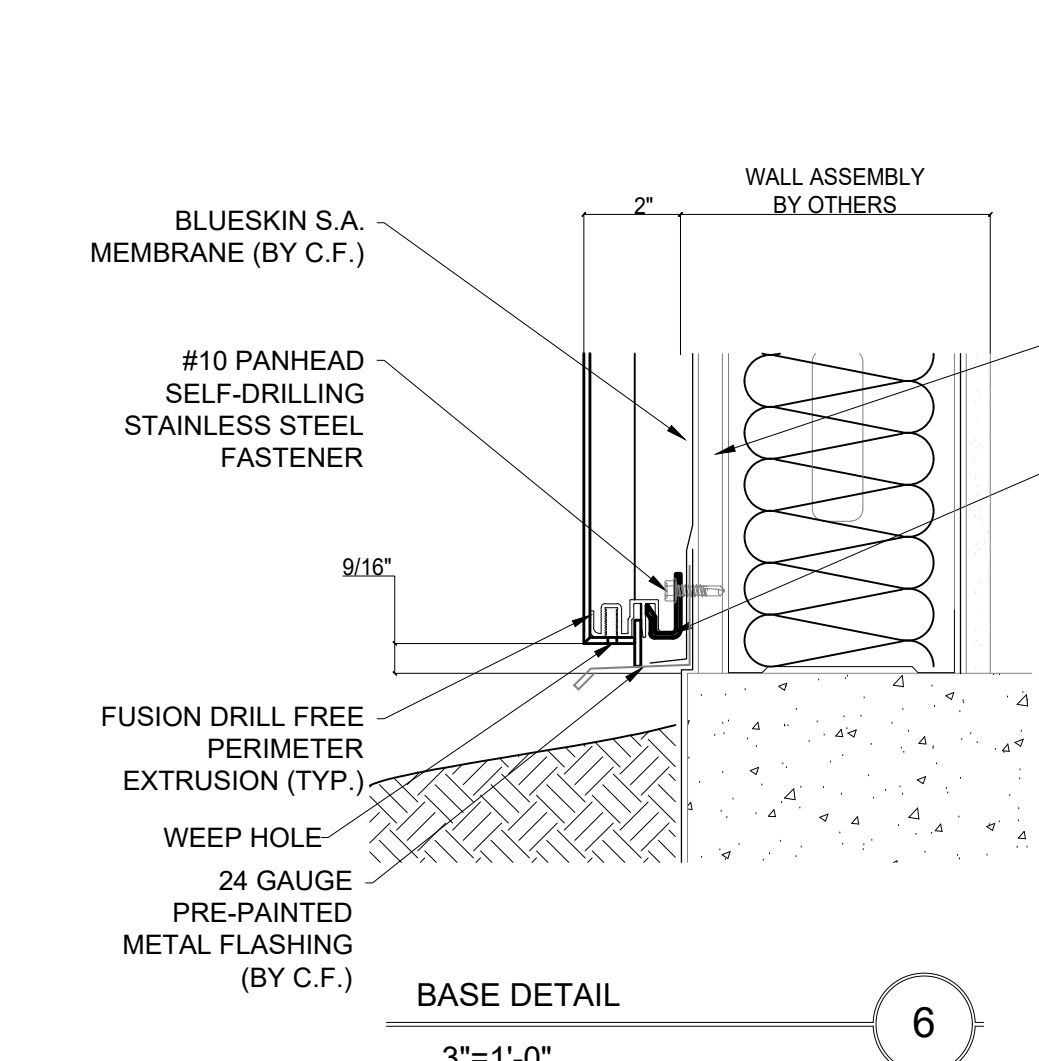
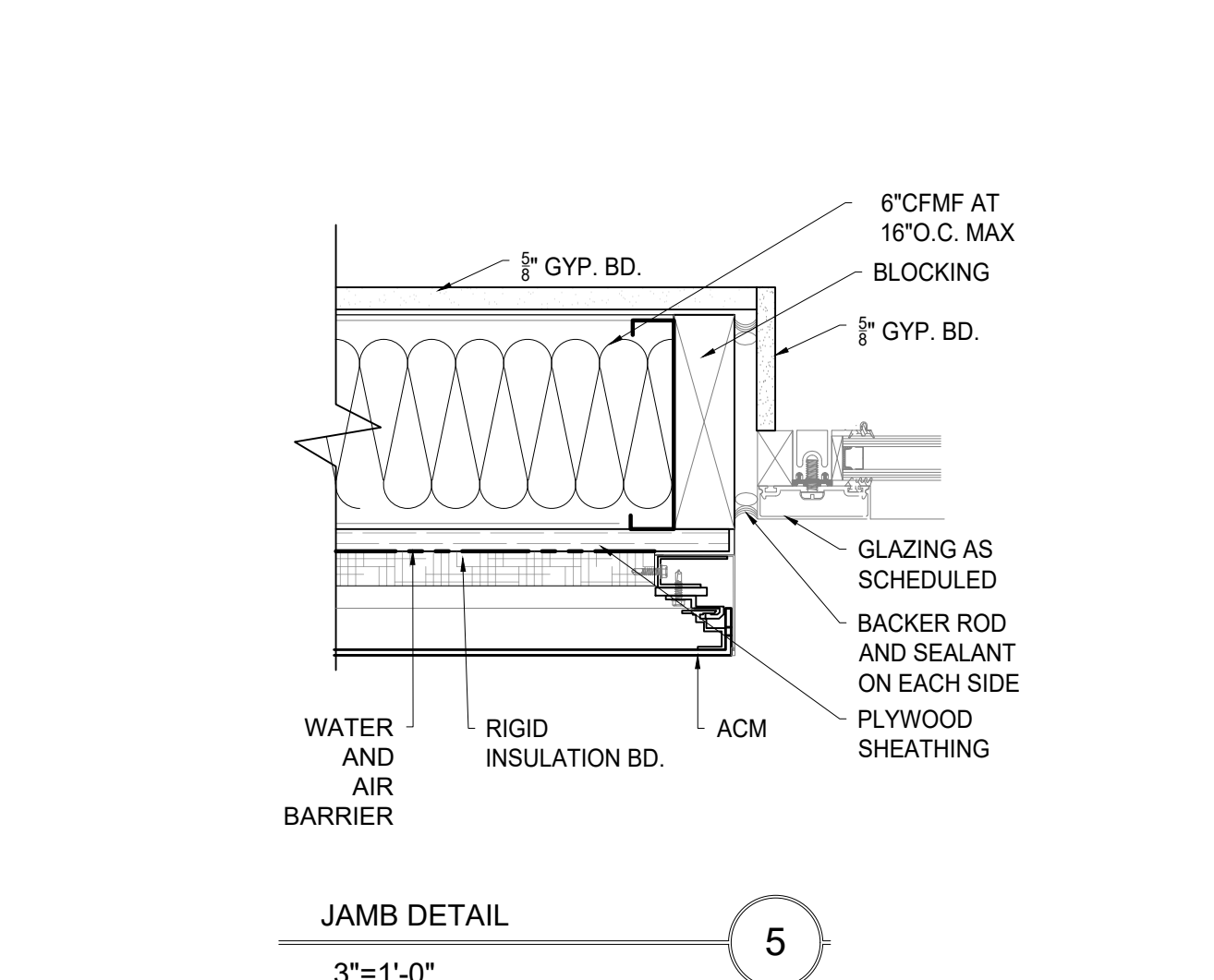
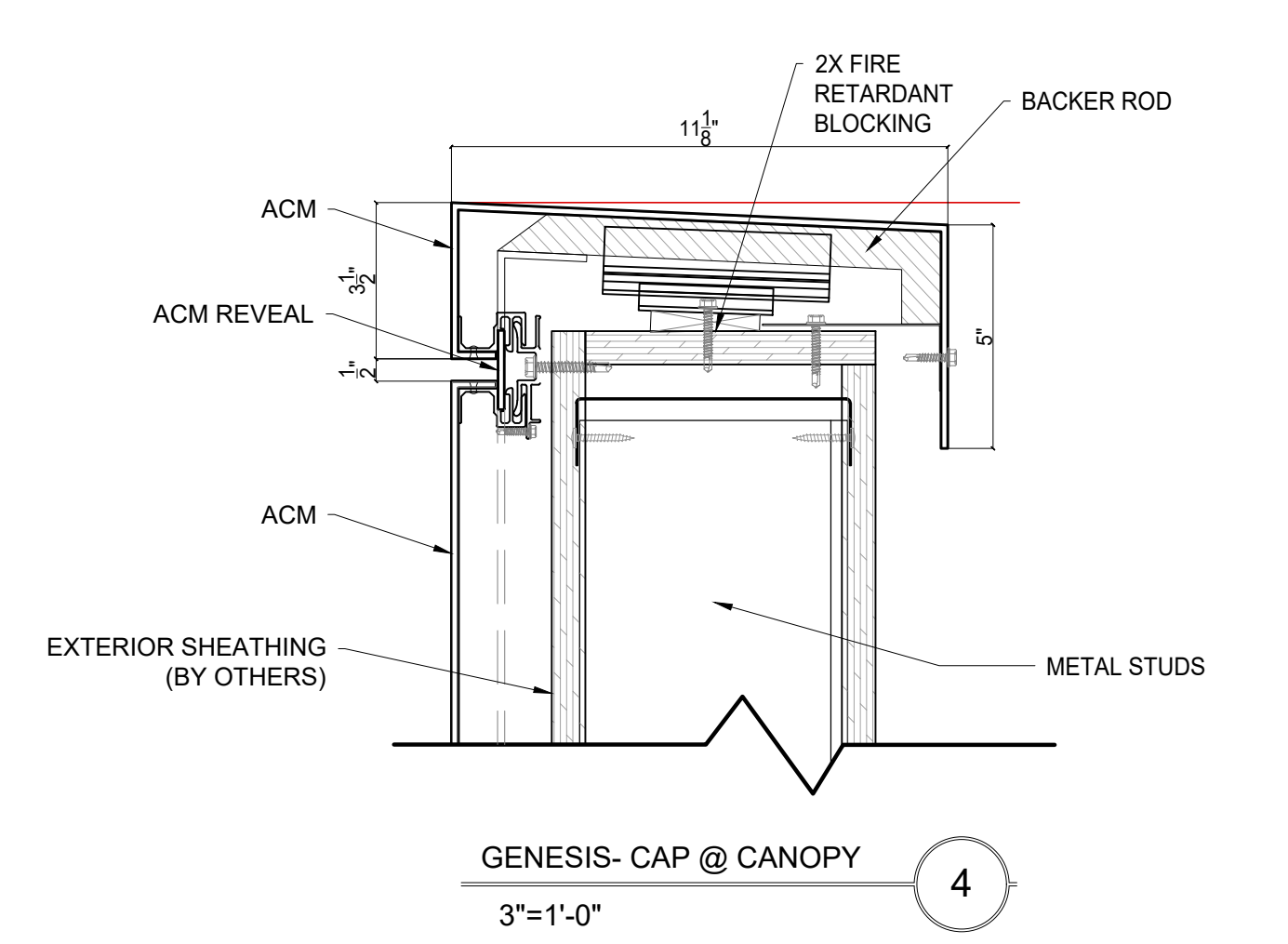
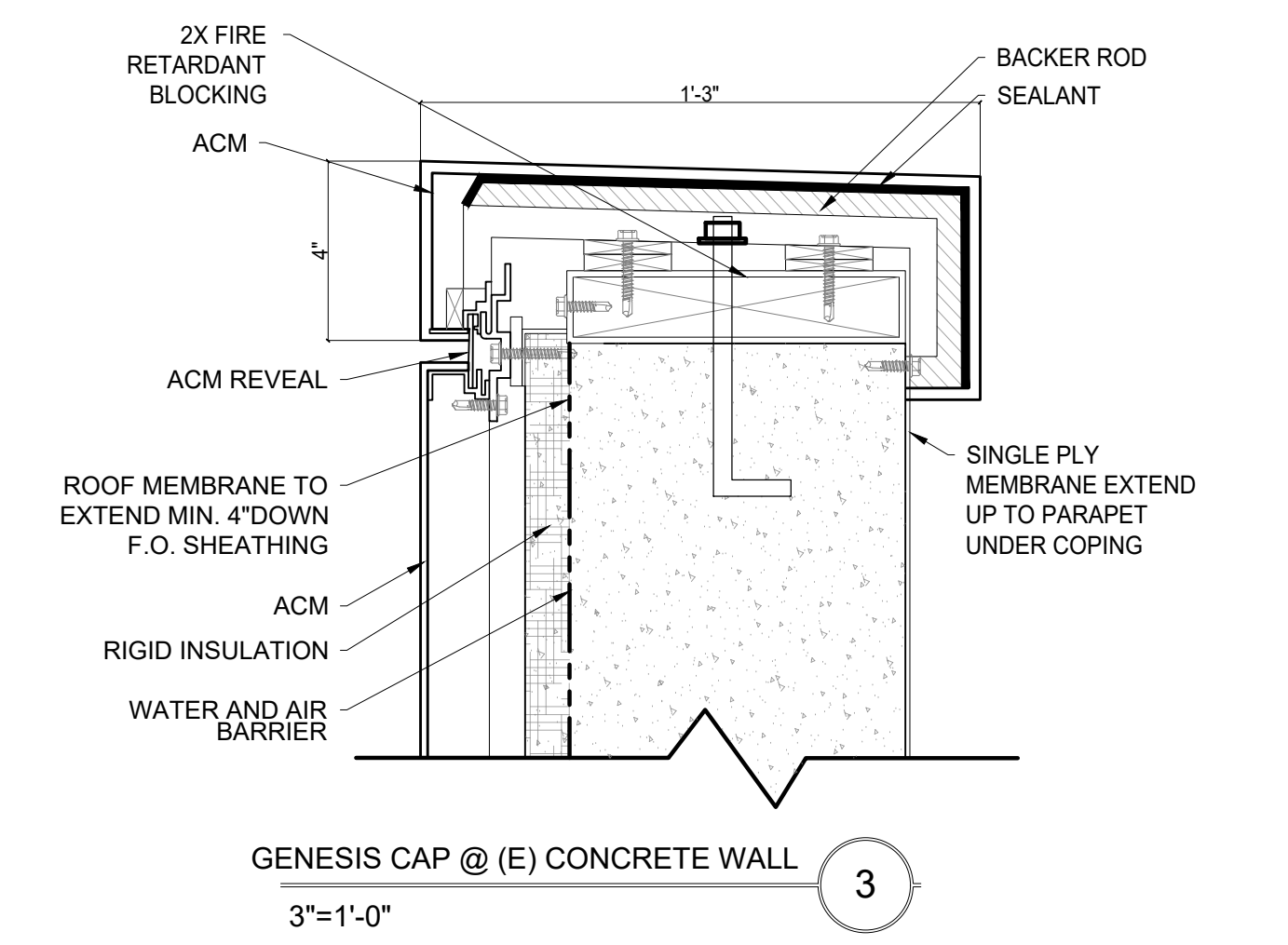
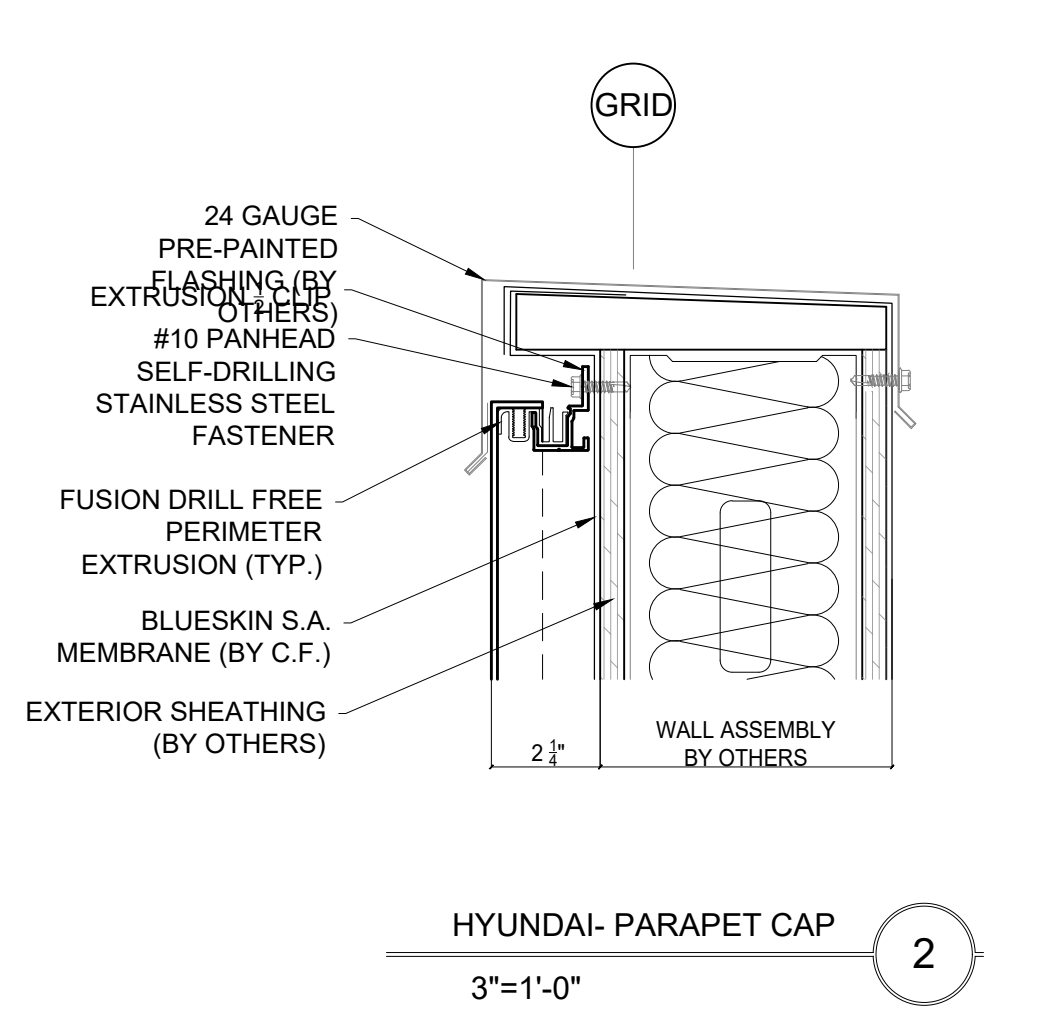
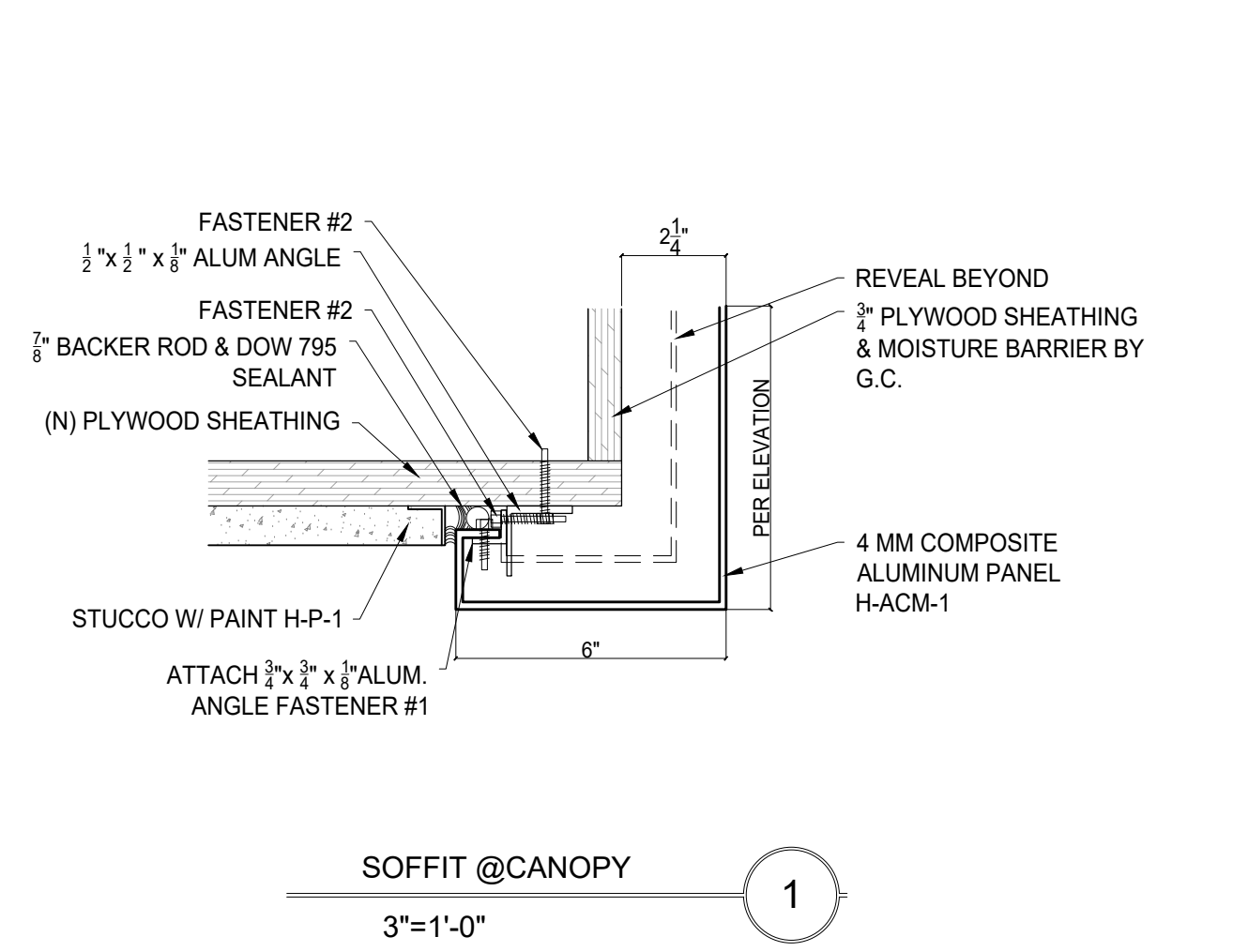
PROJECT:  
 HYUNDAI - GENESIS SERVICE CENTER  
 PROJECT ADDRESS:  
 2150 Old Middlefield Way, Mountain View, CA 94043  
 CLIENT:  
 Cardinale Way

**GENESIS/HYUNDAI SERVICE CENTER**  
 2150 Old Middlefield Way, Mountain View, CA 94043

PROJECT NO. : 2024-03  
 REVISION  
 △ PER CITY COMMENTS 06.27.24  
 △ PER CITY COMMENTS 12.02.24

SHEET TITLE:  
 ACM DETAILS  
 DESIGNED BY:  
 KK  
 DRAFTING BY:  
 KC

SHEET NO:  
**A6.2**



**LEGEND**

---	STREET CENTERLINE
---	PROPERTY LINE
---	WOOD FENCE
WM	WATER METER
GM	GAS METER
EM	ELECTRIC METER
AD	AD
PP	POWER POLE
CO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAINAGE MANHOLE
FH	FIRE HYDRANT
C&G	CURB & GUTTER
WV	WATER VALVE

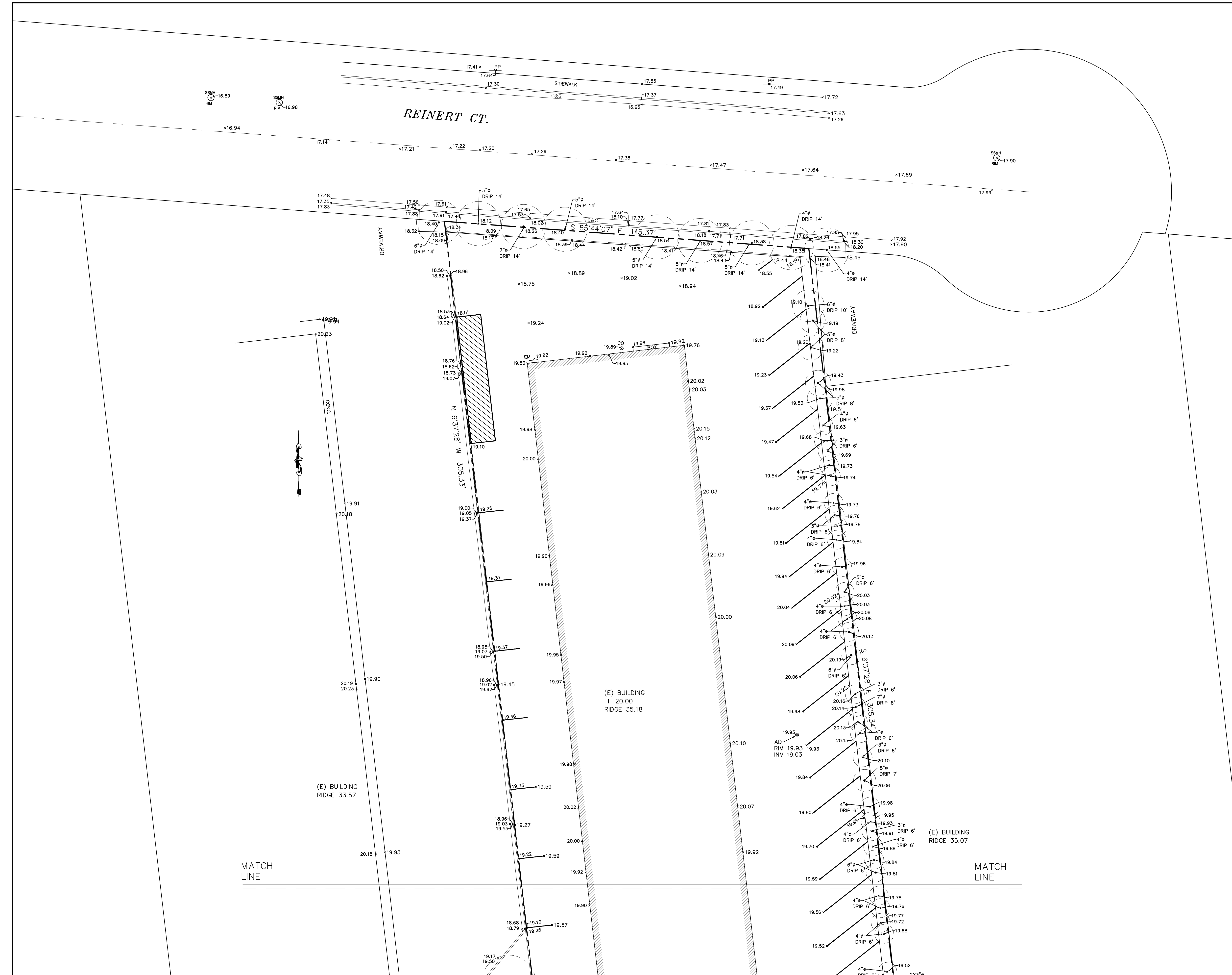
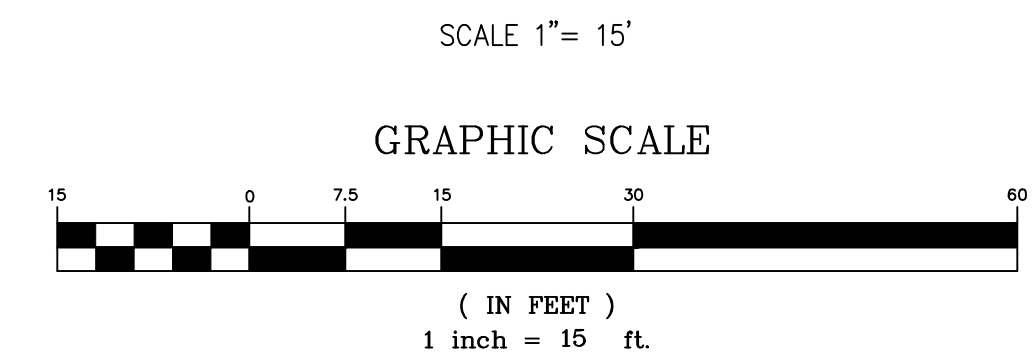
**DISCLAIMER:**  
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

**NOTE:**  
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

**BASIS OF BEARINGS:**  
THE BEARING N 85°44'00" W OF THE CENTERLINE OF OLD MIDDLEFIELD WAY, AS SHOWN UPON CERTAIN RECORD OF SURVEY MAP, FILED FOR RECORD IN BOOK 454 OF MAPS, AT PAGE 29, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**PROJECT BENCHMARK:**  
REFERENCED CITY OF MOUNTAIN VIEW BM:  
BM# III-33 EL: 16.152' (NAVD88)

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
  - THE GROSS AREA OF LAND OF RECORD IS 34,592 SQ. FT. ±.
  - THE MAP WAS BASED ON A GRANT DEED DOC.# 25549973 BY FIRST AMERICAN TITLE CO. DATED 10-26-2023, RECORDED IN SANTA CLARA COUNTY.
  - ALL EXISTING BUILDINGS ARE WOOD.
  - FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
  - DUE TO THE ABSENCE OF A TITLE REPORT, ANY EASEMENT OF RECORD IS UNDETERMINABLE AND NOT SHOWN AND THE OWNER IS REQUIRED TO PROVIDE THE TITLE REPORT.
  - THIS IS A TOPOGRAPHIC MAP, NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATION.



2150 OLD MIDDLEFIELD WAY  
MOUNTAIN VIEW, CA 94043  
APN: 147-07-077



**SMP ENGINEERS**  
CIVIL ENGINEERS—LAND SURVEYORS  
1534 Carob Lane Los Altos, CA 94024  
Tel. (650) 941-8055 Fax (650) 941-8755

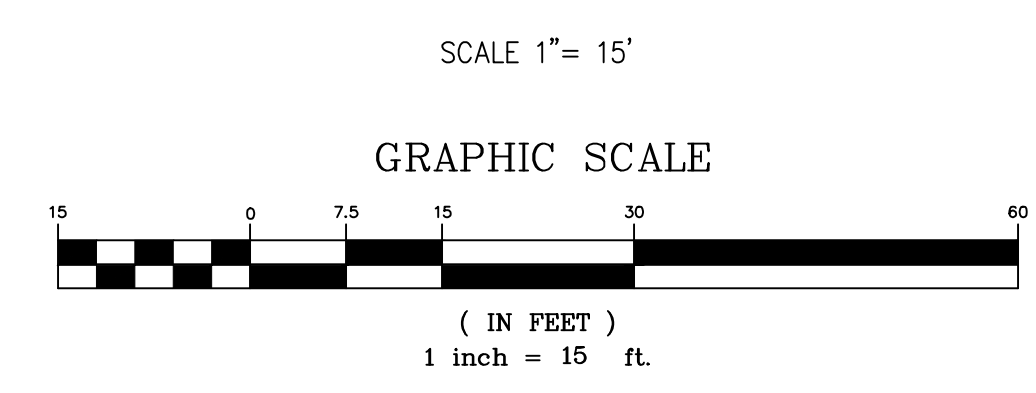
Scale: 1" = 15'  
Prepared by: S.P.  
Checked by: S.P.  
Date: 04/29/2024  
Project No: 224052

**PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP**

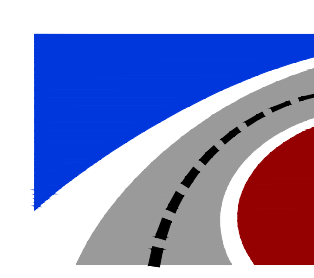
Sheet No: T1-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

**CITY OF MOUNTAIN VIEW**



2150 OLD MIDDLEFIELD WAY  
MOUNTAIN VIEW, CA 94043  
APN: 147-07-077



**SMP ENGINEERS**  
CIVIL ENGINEERS—LAND SURVEYORS  
1534 Carob Lane Los Altos, CA 94024  
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Scale: 1" = 15'  
Prepared by: S.P.  
Checked by: S.P.  
Date: 04/29/2024  
Project No: 224052

**PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP**

Sheet No: T1-2

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF MOUNTAIN VIEW