

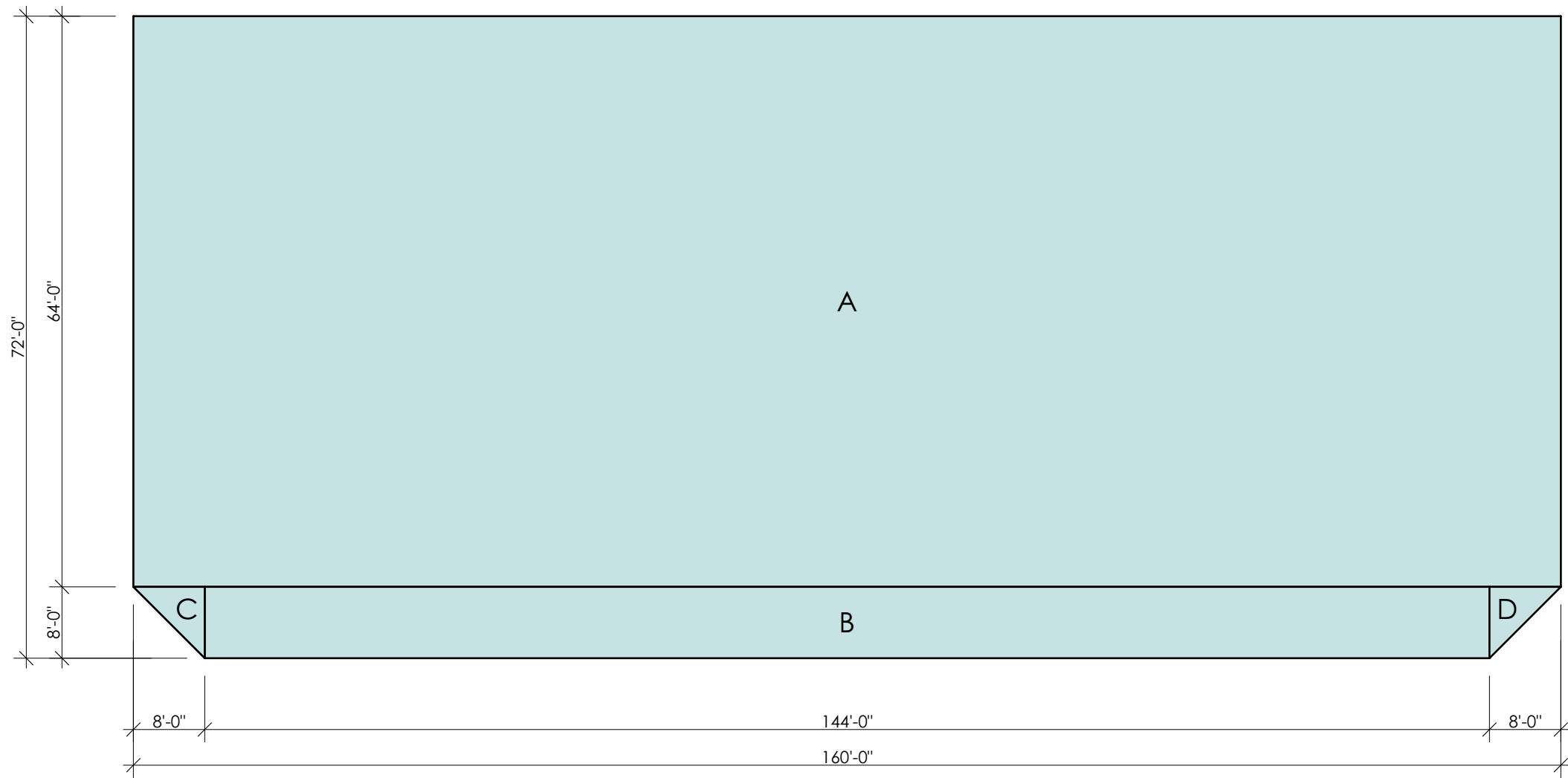
# CCIC

## TENANT IMPROVEMENT

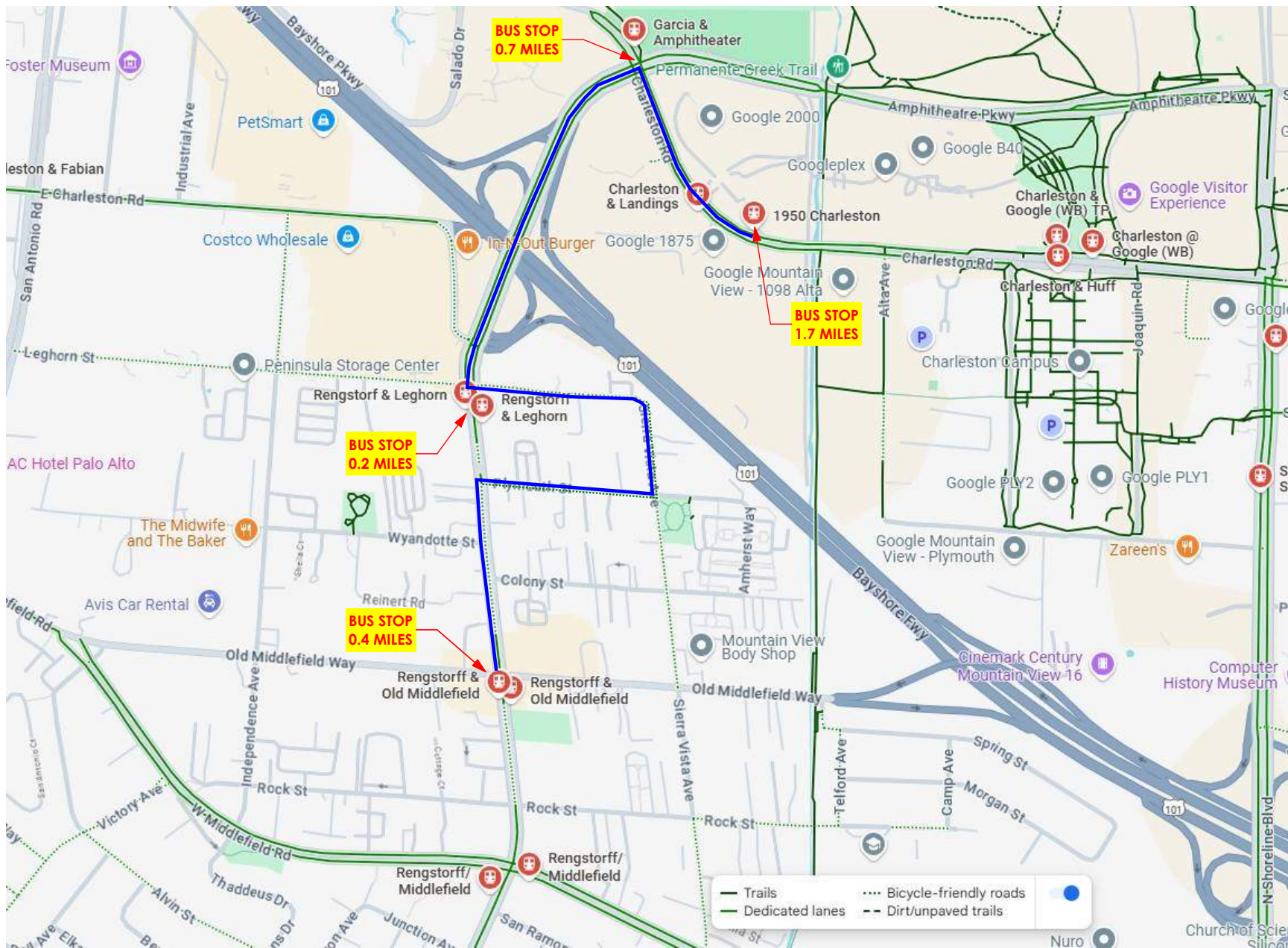
### 935 SIERRA VISTA AVENUE

### MOUNTAIN VIEW, CA

	NAME	SF. FT.
Existing	A	10,240
Existing	B	1,152
Existing	C	32
Existing	D	32
	TOTAL	11,456 ft²



1 FLOOR AREA DIAGRAM  
SCALE: 1/16" = 1'-0"



2 TRANSIT BIKE PLAN  
SCALE: 1:2.67

#### PROJECT DATA

PROJECT DESCRIPTION: TENANT IMPROVEMENT

PROJECT SUMMARY: THE EXISTING BUILDING IS A MULTI-TENANT OFFICE BUILDING. CHINESE CHURCH IN CHRIST (CCIC) HAS BEEN MEETING AT 920 SIERRA VISTA LOCATED ACROSS THE STREET FOR THE PAST 30 YEARS. THEY HAVE ACQUIRED 935 SIERRA VISTA IN HOPES OF EXPANDING THEIR OFFICE, CLASSROOM, AND RECREATION SPACES. THIS PROJECT PROPOSES TO RENOVATE THE 4 SEPARATE UNITS TO ACCOMMODATE THE CHURCH STAFF AND CHURCH CONGREGANTS, WITH MINIMAL EXTERIOR CHANGES. NEW PARKING STUDY PROVIDED.

PROJECT ADDRESS: 935 SIERRA VISTA AVENUE  
ASSESSOR'S PARCEL NO.: 153-03-019  
ZONE: MM-40  
FLOOD ZONE: AO  
FIRE ZONE: LRA (100%)  
GENERAL PLAN DESIGNATION: GENERAL INDUSTRIAL  
HISTORIC STATUS: NO  
STORIES: ONE STORY  
LOT AREA: 39,150 S.F.  
FLOOR AREA: 11,456 S.F.

ALLOWABLE F.A.R.:  
39,150 x 0.35 = 13,703 S.F.  
EXISTING/PROPOSED F.A.R.:  
11,456 S.F. / 39,150 S.F. = 0.29 < 0.35 OK

ALLOWABLE LOT COVERAGE:  
39,150 x 0.35 = 13,705 S.F. (BUILDINGS)  
LOT COVERAGE:  
EXISTING BUILDING = 11,456 S.F.

REQ'D SETBACKS:  
FRONT: 25' SIDE: 0'  
REAR: 0' STREET SIDE: 0'  
SPECIAL SETBACKS: NONE

HEIGHT LIMIT: 50'-0" MAX.  
EXISTING HEIGHT: 20'-0" (UNCHANGED)  
PROPOSED HEIGHT: 20'-0" (UNCHANGED)

SPACES	REQUIRED	PROVIDED
PARKING SPACES	67 SPACES	49 SPACES
ACCESSIBLE SPACES	2 SPACES	2 SPACES
BIKE PARKING	3 SPACES	4 SPACES

LANDSCAPE ANALYSIS  
LOT AREA TOTAL: 39,150 S.F. FRONT YARD AREA (25'): 5,956 S.F.  
(E) TOTAL LANDSCAPE: 7,879 (20%) (E) FRONT LANDSCAPE: 3,140 (53%)  
(N) TOTAL LANDSCAPE: 7,823 (20%) (N) FRONT LANDSCAPE: 3,084 (52%)

BUILDING ANALYSIS  
CONSTRUCTION: TYPE III-B  
FIRE SPRINKLERS REQ'D: EXISTING  
OCCUPANCY GROUPS: B, A-3

THIS BUILDING IS PRIMARILY OCCUPANCY GROUP B, WITH FUNCTION OF SPACE CLASSIFICATIONS OF A-3. THIS IS A NON-SEPARATED MIXED OCCUPANCY AND THUS FIRE-RATED SEPARATIONS ARE NOT REQUIRED PER CBC SECTION 508. BELOW IS AN ANALYSIS OF THE EXISTING BUILDING UTILIZING THE MOST RESTRICTIVE FIRE AND LIFE SAFETY REQUIREMENTS.

ALLOWABLE BLDG. HEIGHT (PER TABLE 504.3)  
OCCUPANCY B: 75' OK  
OCCUPANCY A-3: 75' OK

ALLOWABLE # OF STORIES (PER TABLE 504.4)  
OCCUPANCY B: 4 STORIES OK  
OCCUPANCY A-3: 3 STORIES OK

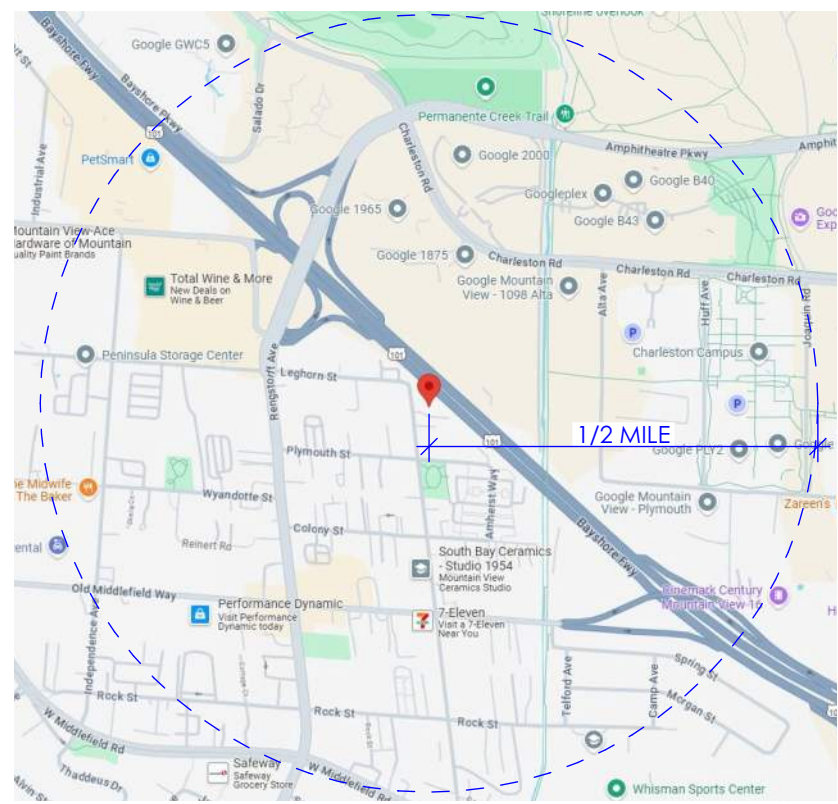
ALLOWABLE AREA (PER CBC TABLE 506.2)  
OCCUPANCY B: 76,000 S.F.  
OCCUPANCY A-3: 38,000 S.F.

APPLICABLE CODES:  
2022 CRC/CBC, 2022 CFC, 2022 CPC, 2022 CMC, 2022 CEC PART 3, 2022 CENC PART 6 & 2022 CGBSC AS AMENDED BY LOCAL JURISDICTION.

#### ABBREVIATIONS

ACOUS.	ACOUSTICAL	D.F.	DRINKING FOUNTAIN	FT.	FEET OR FOOT	MAX.	MAXIMUM	RI.	RISER	TLT.	TOILET
ADJ.	ADJUSTABLE	DIA.	DIAMETER	FUT.	FUTURE	MECH.	MECHANICAL	RAD.	RADIUS	T.O.C.	TOP OF CONCRETE
A.F.F.	ABOVE FINISH FLOOR	DIM.	DIMENSION			MEMB.	MEMBRANE	R.D.	ROOF DRAIN	TR.	TREAD
AL.	ALUMINUM	DN.	DOWN	GA.	GAUGE	MFR.	MANUFACTURER	REF.	REFRIGERATOR	T.S.	TOP SET
APPROX.	APPROXIMATE	DP.	DEEP	GALV.	GALVANIZED	MIN.	MINIMUM	REQ'D.	REQUIRED	TYP.	TYPICAL
ARCH.	ARCHITECTURAL	DR.	DOOR	G.I.	GALVANIZED IRON	MISC.	MISCELLANEOUS	RM.	ROOM		
A.C.	ASPHALTIC CONCRETE	DTL.	DETAIL	GL.	GLASS	MTD.	MOUNTED	R.O.	ROUGH OPENING	UNF.	UNFINISHED
		D.S.	DOWNSPOUT	GM	GAS METER	MTL.	METAL			U.N.O.	UNLESS NOTED
		DWR.	DRAWING	GYP.	GYPSON					OTHERWISE	
BD.	BOARD					(N)	NEW	S.B.N.	SURFACE BULLNOSE		
BLDG.	BUILDING					N.I.C.	NOT IN CONTRACT	S.C.	SOLID CORE		
BLK.	BLOCK	E.J.	EXPANSION JOINT	H.	HIGH	NO.	NUMBER	S.C.D.	SEE CIVIL DRWGS	V.	VOLT
BLKG.	BLOCKING	ELEV.	ELEVATION	H.C.	HOLLOW CORE	NOM.	NOMINAL	SCHED.	SCHEDULE	VERT.	VERTICAL
BM.	BEAM	ELEC.	ELECTRICAL	HDWE.	HARDWARE	N.T.S.	NOT TO SCALE	SECT.	SECTION		
BOT.	BOTTOM	EM	ELECTRIC METER	H.M.	HOLLOW METAL			SH.	SHELF	W.	WIDE
		EQ.	EQUAL	HR.	HORIZONTAL	O/	OVER	SHT.	SHEET	W/	WITH
CAB.	CABINET	EQMT.	EQUIPMENT	HT.	HEIGHT	O.C.	ON CENTER	SIM.	SIMILAR	W.C.	WATER CLOSET
CEM.	CEMENT	(E)EXIST.	EXISTING	I.D.	INSIDE DIAMETER	O.D.	OUTSIDE DIAMETER	SPEC.	SPECIFICATION	WD.	WOOD
CER.	CERAMIC	EXT.	EXTERIOR	INSUL.	INSULATION	OFF.	OFFICE	SQ.	SQUARE	WM	WATER METER
C.I.	CAST IRON	E.W.C.	ELECTRIC WATER	INT.	INTERIOR	OPNG.	OPENING	S.S.K.	SERVICE SINK	W/O	WITHOUT
CLG.	CEILING					OPP.	OPPOSITE	S.S.D.	SEE STRUCT. DRWGS	W.P.	WATERPROOF
CLO.	CLOSET							STD.	STANDARD	W.R.	WATER RESISTANT
CLR.	CLEAR							ST.STL.	STAINLESS STEEL	WT.	WEIGHT
C.O.	CLEANOUT							STL.	STEEL		
COL.	COLUMN	F.D.	FLOOR DRAIN			P.L.	PLASTIC LAMINATE	STOR.	STORAGE	&	AND
CONC.	CONCRETE	F.G.	FINISH GRADE			PL.	PLATE	STRUCT.	STRUCTURAL	L	ANGLE
CONT.	CONTINUOUS	FDN.	FOUNDATION			PLAST.	PLASTER	SUSP.	SUSPENDED	@	AT
CTSK.	COUNTERSINK	FIN.	FINISH			PLYWD.	PLYWOOD			CL	CENTERLINE
CTR.	CENTER	FL.	FLOOR			PR.	PAIR			Ø	DIAMETER
		FLUOR.	FLUORESCENT			PT.	POINT	TEL.	TELEPHONE	Ø	OVER
		F.O.C.	FACE OF CONCRETE			P.T.	PRESSURE TREATED	TEMP.D.	TEMPERED	O/	POUND/NUMBER
DEPT.	DEPARTMENT	F.O.F.	FACE OF FINISH			PTD	PAINTED	THK.	THICK	#	SECTION
		F.O.S.	FACE OF STUDS			P.B.	PLANTER BED			\$	

#### VICINITY MAP



#### GENERAL NOTES

- ALL MODIFICATIONS AND ADDITIONS SHALL BE PERFORMED SO AS TO MATCH COMPLETELY THE EXISTING MATERIALS AND DETAILING, UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE PERFORMED TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS OR ORDERS OF PROPERLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE WORK OF THIS PROJECT. THE CONTRACTOR SHALL EXAMINE THE CONTRACT DOCUMENTS FOR CONFORMANCE WITH THESE CODES AND REGULATIONS, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE; DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS AND EXISTING SITE CONDITIONS TO BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION. UTILITIES AFFECTED BY CONSTRUCTION SHALL BE PROTECTED OR CAPED OFF IN ACCORDANCE WITH APPLICABLE CODES AND UTILITY COMPANIES.

#### SHEET INDEX

A0	TITLE SHEET
A1	AERIAL PHOTO PLAN
A2	STREETSCAPES
A3	EXISTING SITE PLAN
A4	PROPOSED SITE PLAN
A5	PROPOSED SITE PLAN - ENLARGED
A6	DEMOLITION FLOOR PLAN
A7	PROPOSED FLOOR PLAN
A8	PROPOSED ROOF PLAN
A9	EXISTING ELEVATIONS
A10	PROPOSED ELEVATIONS
A11	MATERIALS PALETTE
A12	RENDERING
A13	OCCUPANT/EXIT ANALYSIS
A14	CIRCULATION PLAN
A15	TRASH MANAGEMENT PLAN
A16	PHOTOMETRIC ANALYSIS
A17	CROSSWALK PLAN & SECTION
GB-1	GREEN BUILDING POINT CHECKLIST

#### PROJECT TEAM

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REVISIONS	DATE
PLAN CHECK REV.	4-22-2025

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CCIC  
935 SIERRA VISTA AVENUE  
MOUNTAIN VIEW, CA 94043

SHEET TITLE  
TITLE SHEET

SCALE  
AS NOTED  
DRAWN BY  
CM, MM

JOB NO.  
24243  
DATE  
08/25/2025

SHEET

A0

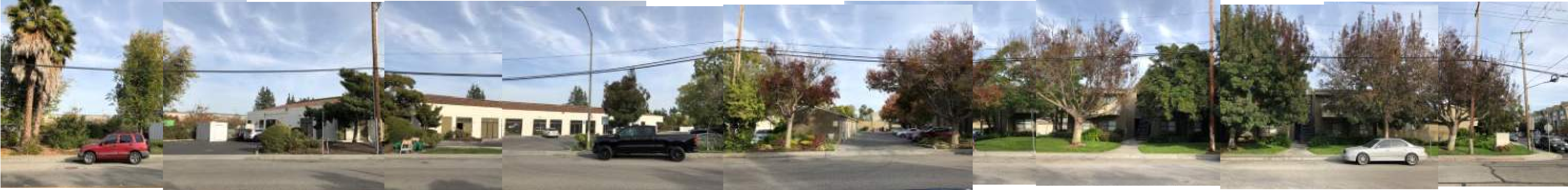








① EXISTING FRONT VIEW - 935 SIERRA VISTA



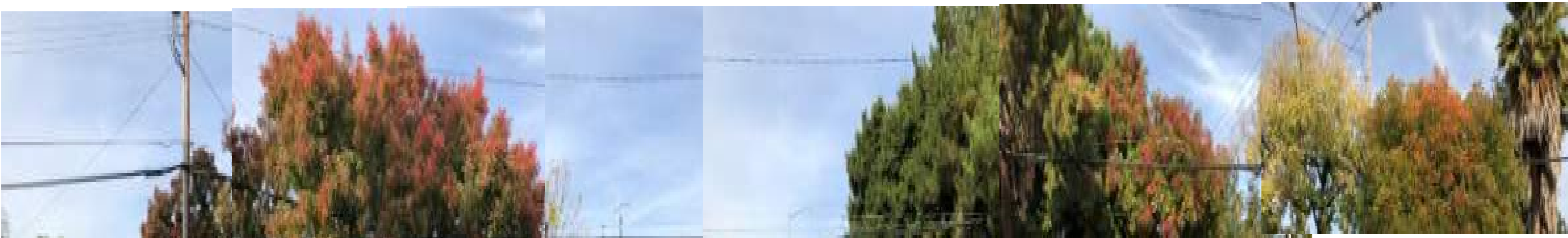
② EXISTING STREETScape - NORTHEAST SIDE OF SIERRA VISTA AVE.



③ EXISTING STREETScape - SOUTHWEST SIDE OF SIERRA VISTA



④ EXISTING STREETScape - SOUTHEAST SIDE OF LEGHORN STREET



⑤ EXISTING STREETScape - NORTHWEST SIDE OF LEGHORN STREET

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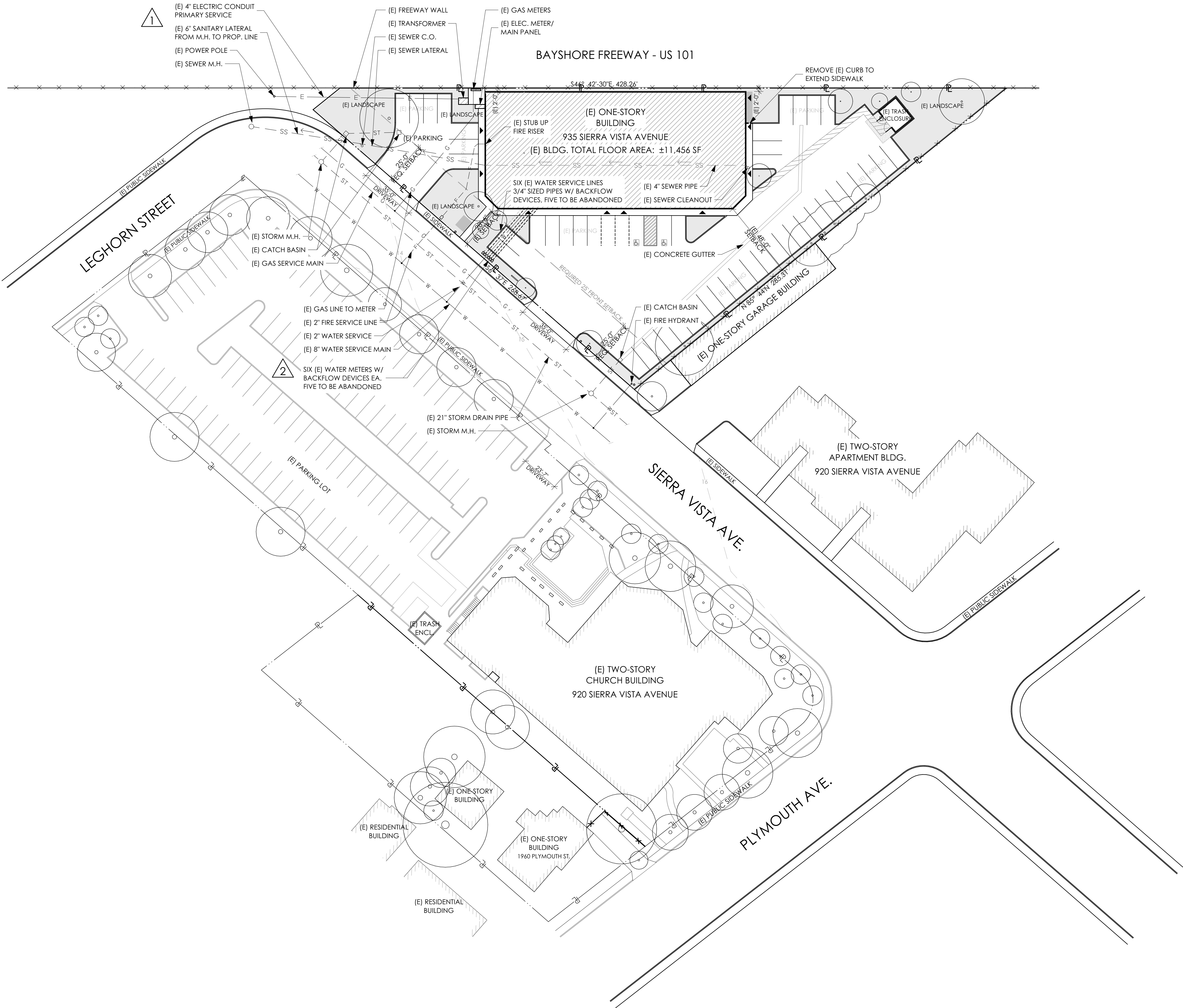


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SITE PLAN NOTES

1. THE LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE HOUSE 5% FOR UNFINISHED SURFACES AND 2% FOR IMPERVIOUS SURFACES. [CRC R401.3]
2. FOLLOW CITY OF MOUNTAIN VIEW STANDARDS FOR INSTALLATION OF ALL UTILITIES.
3. LANDSCAPING AND IRRIGATION WORK SHALL BE ACCOMPLISHED UNDER A SEPARATE PERMIT.
4. WORK IN THE PUBLIC RIGHT-OF-WAY: REQUIRES AN ENCROACHMENT PERMIT FROM THE JURISDICTION PRIOR TO THE COMMENCEMENT OF ANY WORK.

SITE PLAN LEGEND

	TREE PROTECTION
	(E) CHAINLINK FENCE
	PROPERTY LINE
	SETBACK LINE
	DEMO
	WATER LINE
	SANITARY SEWER LINE
	GAS LINE
	ELECTRICAL SERVICE LINE
	TREE

REVISIONS	DATE
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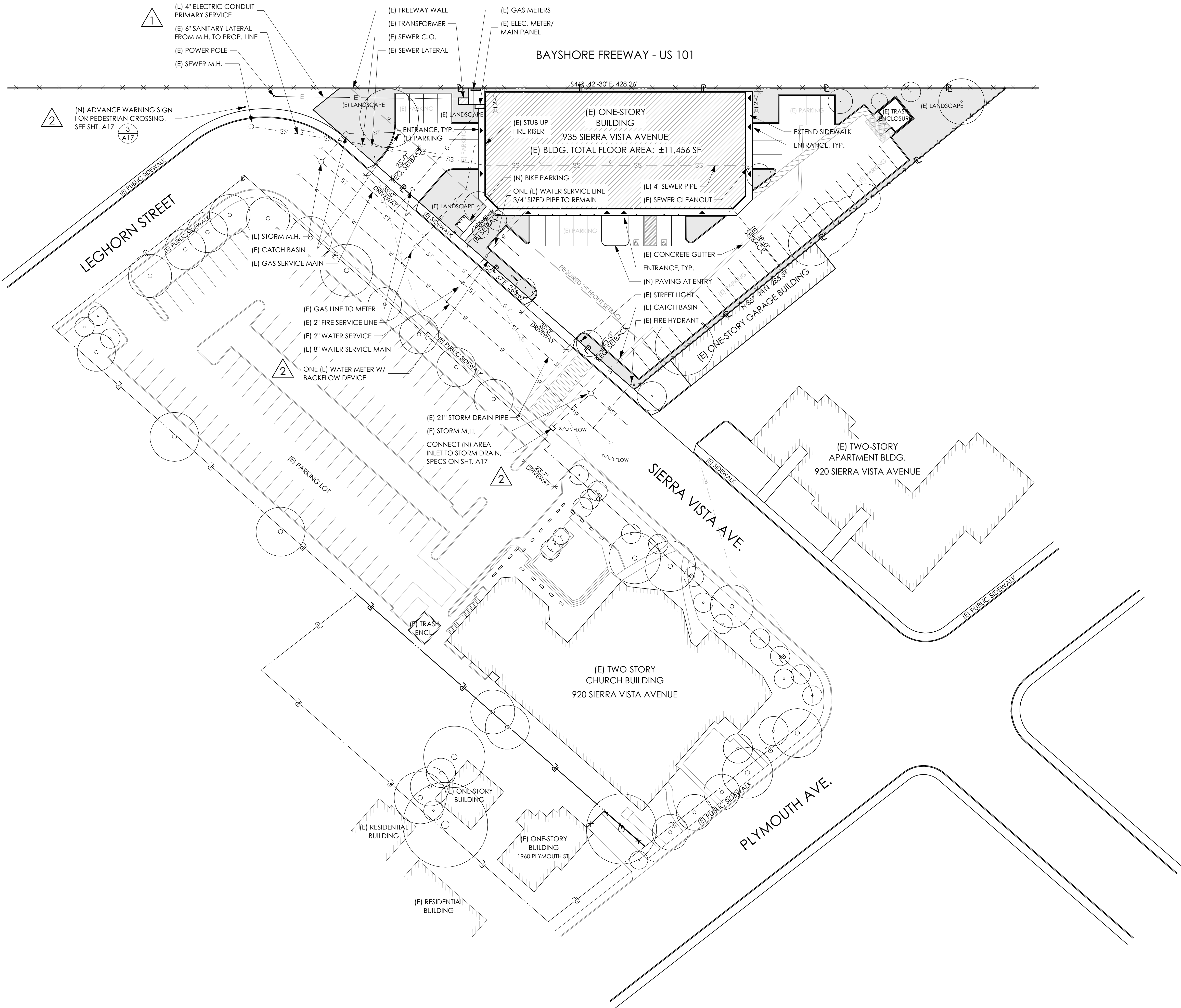
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1 PROPOSED SITE PLAN

SCALE: 1" = 30'

0 30 60



SITE PLAN NOTES

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2. FOLLOW CITY OF MOUNTAIN VIEW STANDARDS FOR INSTALLATION OF ALL UTILITIES.
3. LANDSCAPING AND IRRIGATION WORK SHALL BE ACCOMPLISHED UNDER A SEPARATE PERMIT.
4. WORK IN THE PUBLIC RIGHT-OF-WAY: REQUIRES AN ENCROACHMENT PERMIT FROM THE JURISDICTION PRIOR TO THE COMMENCEMENT OF ANY WORK.

SITE PLAN LEGEND

- |  |                         |
|--|-------------------------|
|  | TREE PROTECTION         |
|  | (E) CHAINLINK FENCE     |
|  | PROPERTY LINE           |
|  | SETBACK LINE            |
|  | DEMO                    |
|  | WATER LINE              |
|  | SANITARY SEWER LINE     |
|  | GAS LINE                |
|  | ELECTRICAL SERVICE LINE |
|  | TREE                    |

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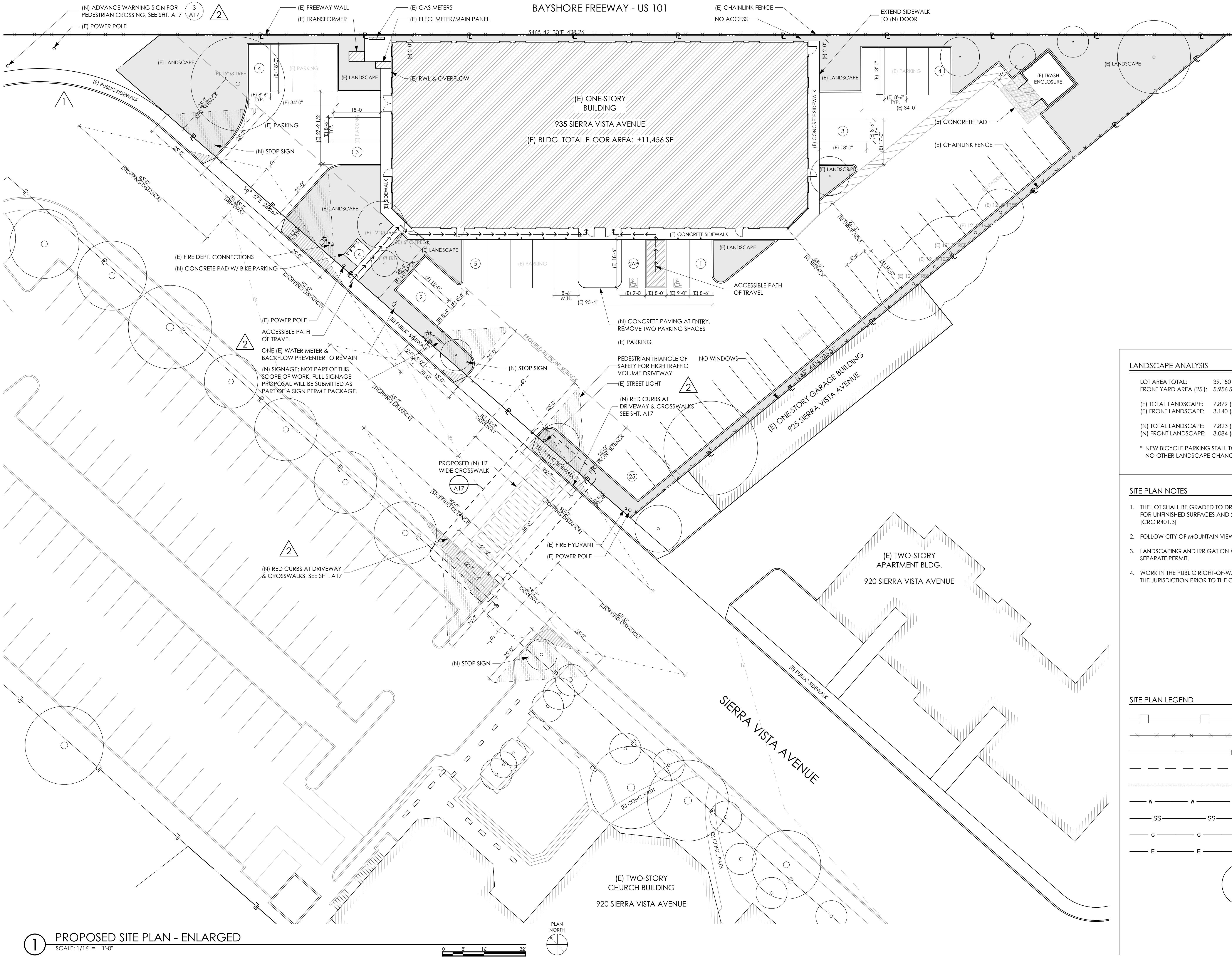
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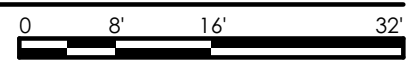
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A4





1 PROPOSED SITE PLAN - ENLARGED  
SCALE: 1/16" = 1'-0"



LANDSCAPE ANALYSIS

LOT AREA TOTAL:	39,150 S.F.
FRONT YARD AREA (25'):	5,956 S.F.
(E) TOTAL LANDSCAPE:	7,879 (20%)
(E) FRONT LANDSCAPE:	3,140 (53%)
(N) TOTAL LANDSCAPE:	7,823 (20%)
(N) FRONT LANDSCAPE:	3,084 (52%)

\* NEW BICYCLE PARKING STALL TO REMOVE 56 S.F. FROM FRONT LANDSCAPE.  
NO OTHER LANDSCAPE CHANGES PROPOSED.

SITE PLAN NOTES

- THE LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE HOUSE 5% FOR UNFINISHED SURFACES AND 2% FOR IMPERVIOUS SURFACES. [CRC R401.3]
- FOLLOW CITY OF MOUNTAIN VIEW STANDARDS FOR INSTALLATION OF ALL UTILITIES.
- LANDSCAPING AND IRRIGATION WORK SHALL BE ACCOMPLISHED UNDER A SEPARATE PERMIT.
- WORK IN THE PUBLIC RIGHT-OF-WAY: REQUIRES AN ENCROACHMENT PERMIT FROM THE JURISDICTION PRIOR TO THE COMMENCEMENT OF ANY WORK.

SITE PLAN LEGEND

	TREE PROTECTION
	(E) CHAINLINK FENCE
	PROPERTY LINE
	SETBACK LINE
	DEMO
	WATER LINE
	SANITARY SEWER LINE
	GAS LINE
	ELECTRICAL SERVICE LINE
	TREE

REVISIONS	DATE
PLAN CHECK REV.	4-22-2025

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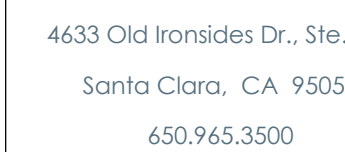
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


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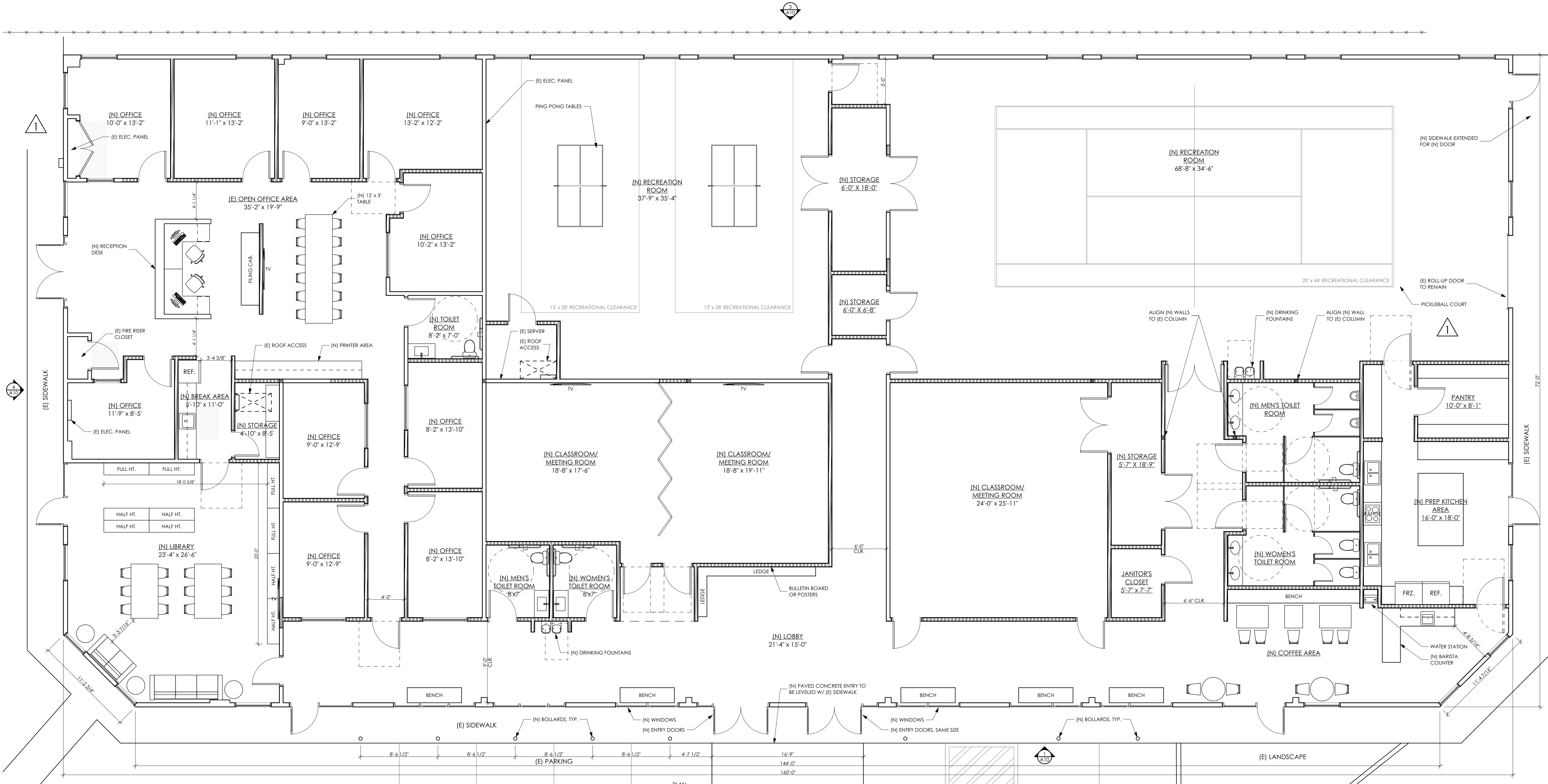


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## SYMBOL LEGEND

	DOOR REFERENCE
	WINDOW REFERENCE
	BUILDING SECTION REFERENCE
	DETAIL REFERENCE



# 1 PROPOSED 1ST FLOOR PLAN SCALE: 3/16" = 1'-0"

## CALGREEN STANDARD NOTES

- REFER TO THE CITY OF MOUNTAIN VIEW'S STANDARDIZED CHECKLIST OF CALGREEN MANDATORY MEASURES AND BUILD IT GREEN REQUIREMENTS ON SHEET GB-1.
- [FOR ALTERNATION, ADDITIONS, OR IMPROVEMENTS ONLY] PER CGBSC 301.1.1, REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO FINAL PERMIT APPROVAL BY BUILDING DEPARTMENT. FAUCETS AND SHOWERHEADS MAY USE AERATORS TO ACHIEVE COMPLIANCE. PER CIVIL CODE SECTION 1101.1., A NON-COMPLIANT PLUMBING FIXTURE MEANS ANY OF THE FOLLOWING:
  - TOILETS EXCEEDING 1.6 GAL/FLUSH.
  - URINAL EXCEEDING 1.0 GAL/FLUSH.
  - SHOWERHEADS SHALL BE 1.8 GPM @ 80 PSI.
  - LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM @ 60PSI, AND NOT LESS THAN 0.8 GPM @ 20 PSI.
  - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM @ 60 PSI. (MAY TEMPORARILY INCREASE THE FLOW TO MAXIMUM 2.2 GPM @ 60 PSI, AND DEFAULT TO MAX. 1.8 GPM @ 60PSI.)
- PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH C.P.C. AND MEET STANDARDS IN TABLE 1401.1. PER CGBSC 4.303, ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING:
  - TOILETS SHALL NOT EXCEED 1.28 GAL/FLUSH.
  - URINAL SHALL NOT EXCEED 0.5 GAL/FLUSH.
  - SHOWERHEADS SHALL BE 1.8 GPM @ 80 PSI.
  - LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM @ 60PSI, AND NOT LESS THAN 0.8 GPM @ 20 PSI.
  - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM @ 60 PSI. (MAY TEMPORARILY INCREASE THE FLOW TO MAXIMUM 2.2 GPM @ 60 PSI, AND DEFAULT TO MAX. 1.8 GPM @ 60PSI.)

- PER CGBSC 4.406.1, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD.
- PER CGBSC 5.408, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE CITY WHICH SHOWS A WASTE REDUCTION OF 65% MINIMUM. IDENTIFY MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON PROJECT, SALVAGE FOR FUTURE USE OR SALE. SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR BULK MIXED. IDENTIFY AND UTILIZE WASTE MANAGEMENT COMPANY FROM APPROVED LIST. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE WASTE GENERATED. SPECIFY IF DIVERTED MATERIALS CALCULATED BY WEIGHT OR VOLUME, BUT NOT BOTH. PROVIDE DOCUMENTATION TO CITY THAT PROJECT COMPLIES WITH ABOVE REQUIREMENTS.
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED ON SITE PER CGBSC SECTION 4.410. ALL THE REQUIRED INFORMATION SHOWN IN 4.410.1.1 & 4.410.1.2 THAT IS WITHIN THE SPECIFIC AREA OF THE PROJECT (OR ADDITION OR ALTERATION) SHALL BE INCLUDED AS PART OF THE MANUAL.
- DOCUMENTATION AND COMPLIANCE VERIFICATION ON POLLUTION CONTROL MEASURES FOR ADHESIVES, SEALANTS, CAULKS, PAINT, COATINGS, CARPETS, RESILIENT FLOORING OR ANY COMPOSITE WOOD PRODUCTS SHALL BE PROVIDED AT THE REQUEST OF THE BUILDING DIVISION. PROVIDE VOC AND FORMALDEHYDE LIMITATION TABLE FROM CGBSC ON SITE FOR BUILDING INSPECTOR TO VERIFY. CGBSC SECTION 4.504.

- PER CGBSC 4.503.1, ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- PER CGBSC 4.505.2, VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.
- PER CGBSC 4.503.3, BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THEIR MOISTURE CONTENT EXCEEDS 19%. MOISTURE CONTENT SHALL BE DETERMINED BY PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM GRADE STAMPED END OF EACH PIECE. AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION PROVIDED TO ENFORCING AGENCY FOR APPROVAL PRIOR TO ENCLOSING FRAMING. WET INSULATION PRODUCTS SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSING. WET APPLIED INSULATION PRODUCTS SHALL FOLLOW MFR'S RECOMMENDATIONS PRIOR TO ENCLOSING.

## WALL LEGEND

	(E) WD. STUD WALL
	(N) CONCRETE WALL
	(N) 2x4 WD. STUD WALL
	(N) 2x6 WD. STUD WALL
	(N) 1 HR. RATED WALL W/ 5/8" TYP "X" GYP. BOARD ON BOTH SIDES
	(E) FENCE

## SYMBOL LEGEND

	DOOR REFERENCE
	WINDOW REFERENCE
	BUILDING SECTION REFERENCE
	DETAIL REFERENCE
	SLOPE TO DRAIN - 1/4"/FT. MIN.
	ALIGN

REVISIONS	DATE
PLAN CHECK REV.	4-22-2025

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MOUNTAIN VIEW, CA 94043

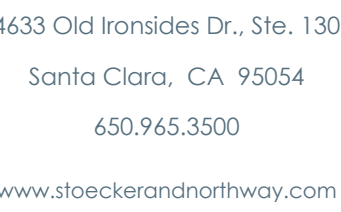
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PLAN

SCALE  
AS NOTED  
DRAWN BY  
CM, MM  
JOB NO.  
24243  
DATE  
08/25/2025  
SHEET

A7



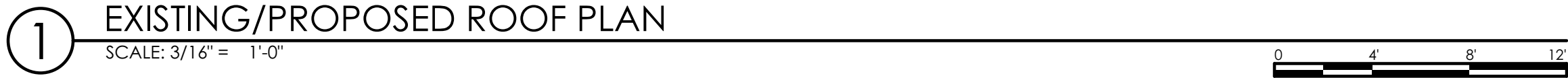
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




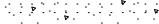

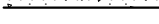






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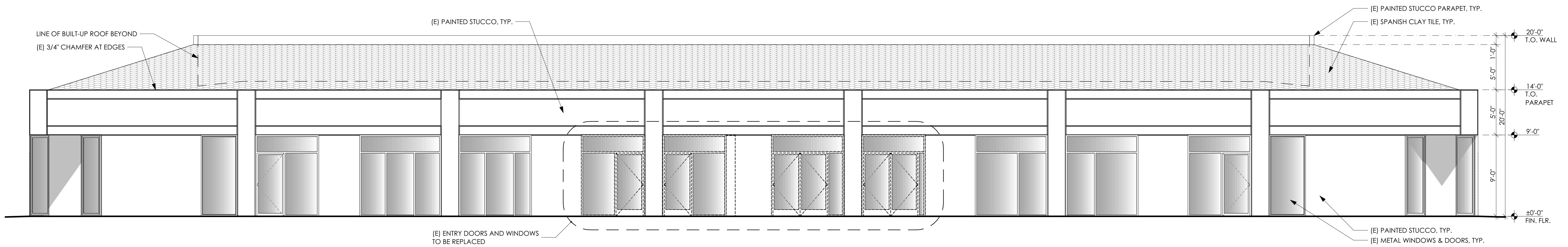
PROPOSED ROOF  
PLAN

A8

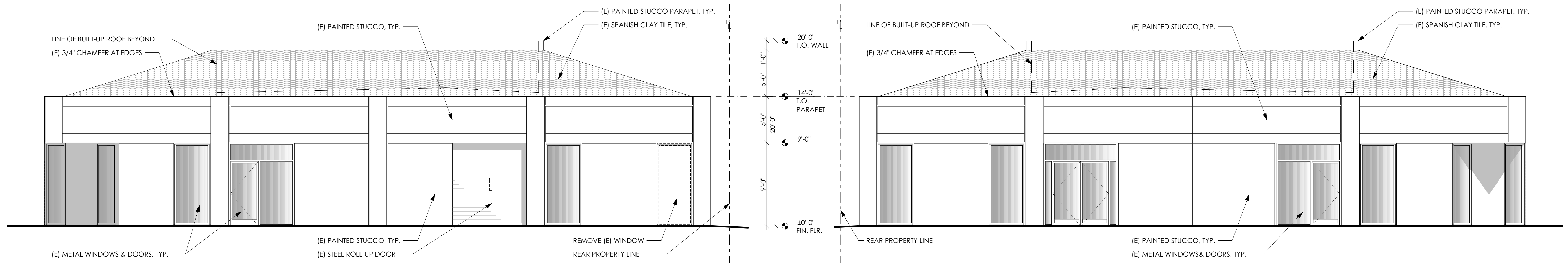


WALL LEGEND		SYMBOL LEGEND	
	(E) WD. STUD WALL		DOOR REFERENCE
	(N) CONCRETE WALL		WINDOW REFERENCE
	(N) 2x4 WD. STUD WALL		BUILDING SECTION REFERENCE
	(N) 2x6 WD. STUD WALL		DETAIL REFERENCE
	(N) 1 HR. RATED WALL W/ 5/8" TYP "X" GYP. BOARD ON BOTH SIDES		SLOPE TO DRAIN - 1/4"/FT. MIN.
			ALIGN
	(E) FENCE		



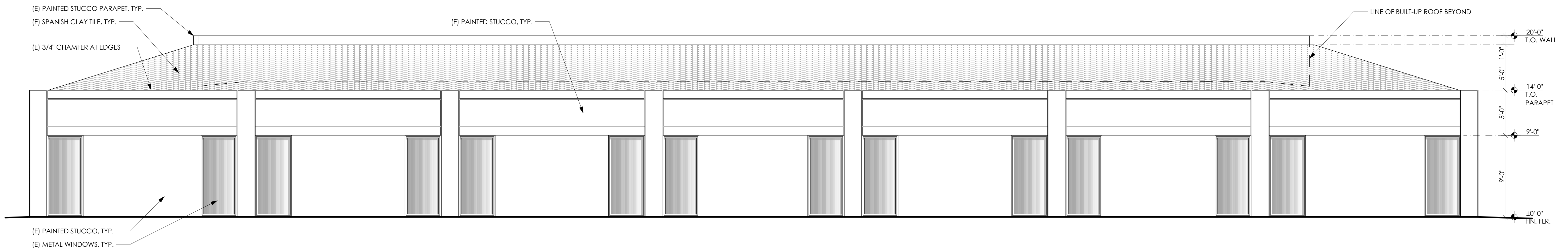


1 EXISTING SOUTH ELEVATION (FRONT)  
SCALE: 3/16" = 1'-0"



2 EXISTING EAST ELEVATION  
SCALE: 3/16" = 1'-0"

4 EXISTING WEST ELEVATION  
SCALE: 3/16" = 1'-0"



3 EXISTING NORTH ELEVATION (REAR)  
SCALE: 3/16" = 1'-0"

REVISIONS	DATE
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CCIC  
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SHEET TITLE  
EXISTING  
ELEVATIONS

SCALE  
AS NOTED  
DRAWN BY  
CM, MM

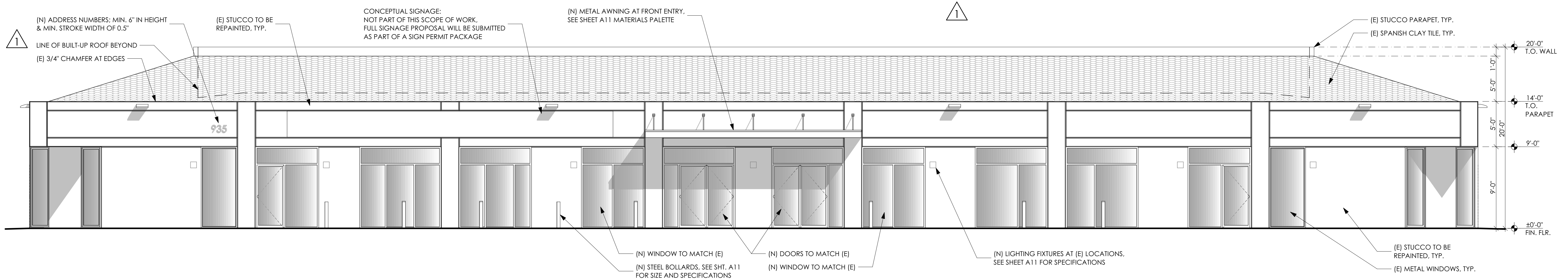
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DATE  
08/25/2025

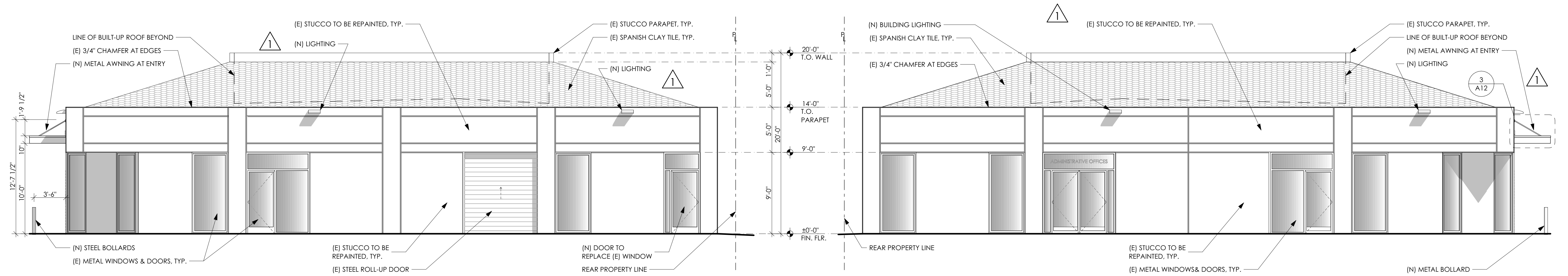
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A9



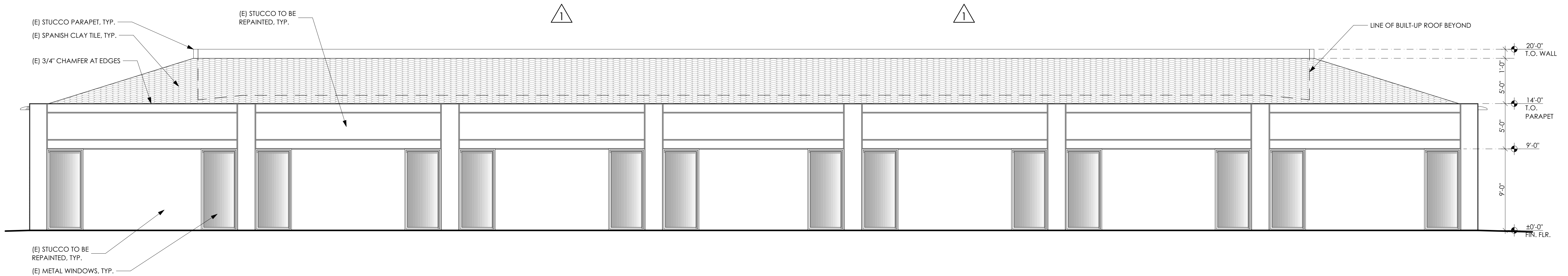


1 PROPOSED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



2 PROPOSED EAST ELEVATION  
SCALE: 3/16" = 1'-0"

4 PROPOSED WEST ELEVATION  
SCALE: 3/16" = 1'-0"



3 PROPOSED NORTH ELEVATION (REAR)  
SCALE: 3/16" = 1'-0"

REVISIONS	DATE
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SHEET TITLE  
PROPOSED  
ELEVATIONS

SCALE  
AS NOTED

DRAWN BY  
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DATE  
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SHEET

A10







REVISIONS	DATE
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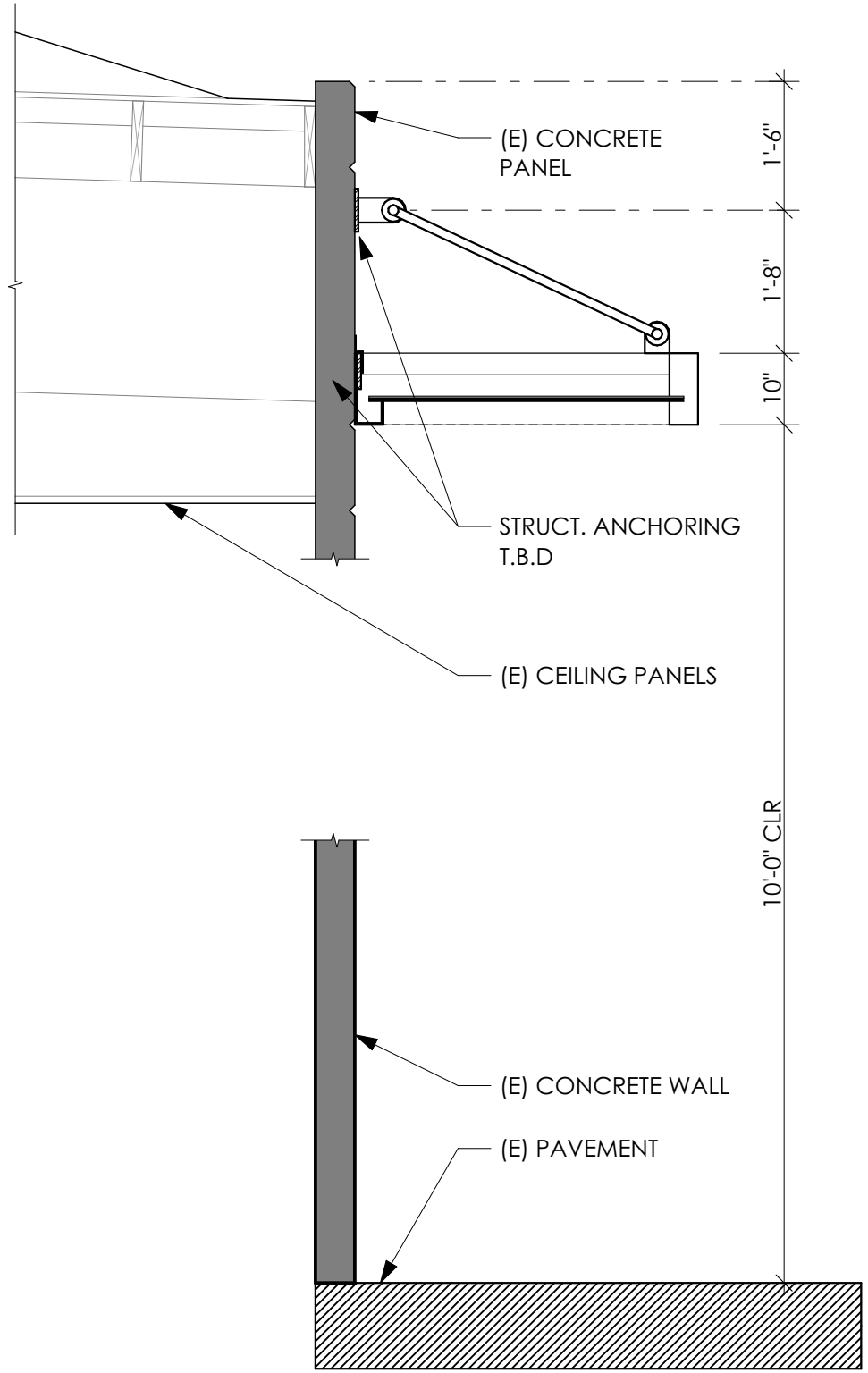
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② 935 SIERRA VISTA AVE. - FRONT VIEW



① 935 SIERRA VISTA AVE. - SIDEWALK VIEW



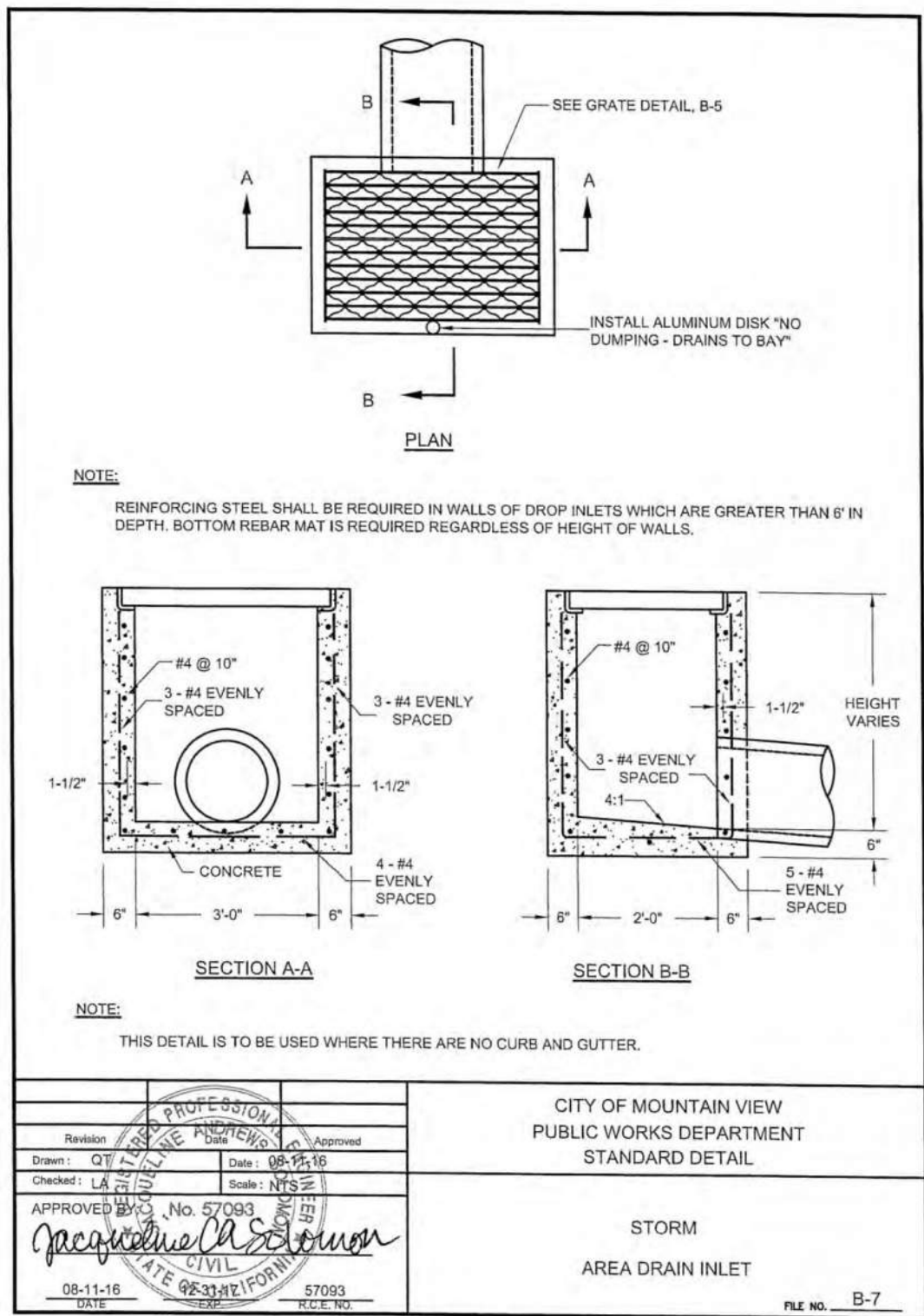
③ AWNING DETAIL  
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CCIC  
935 SIERRA VISTA AVENUE  
MOUNTAIN VIEW, CA 94043

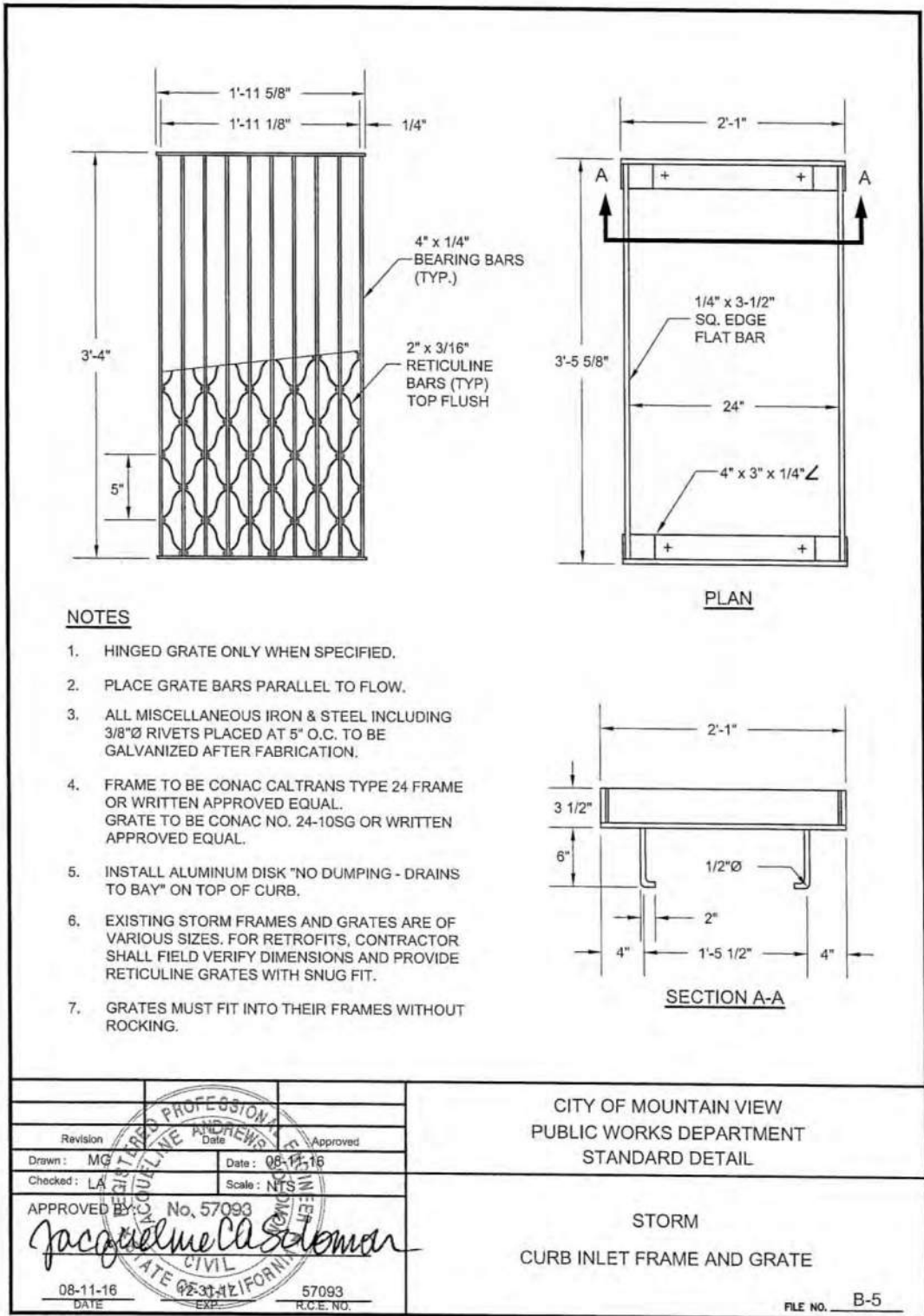
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DATE  
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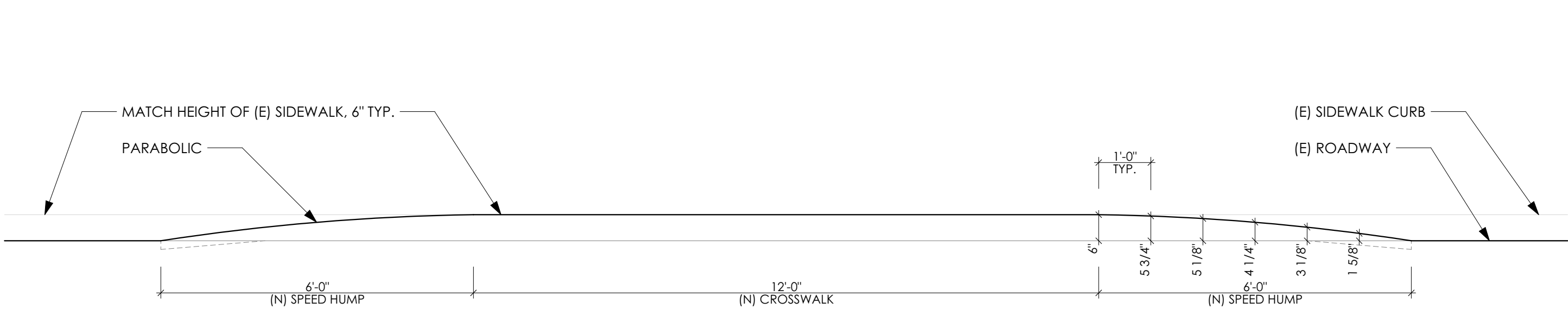




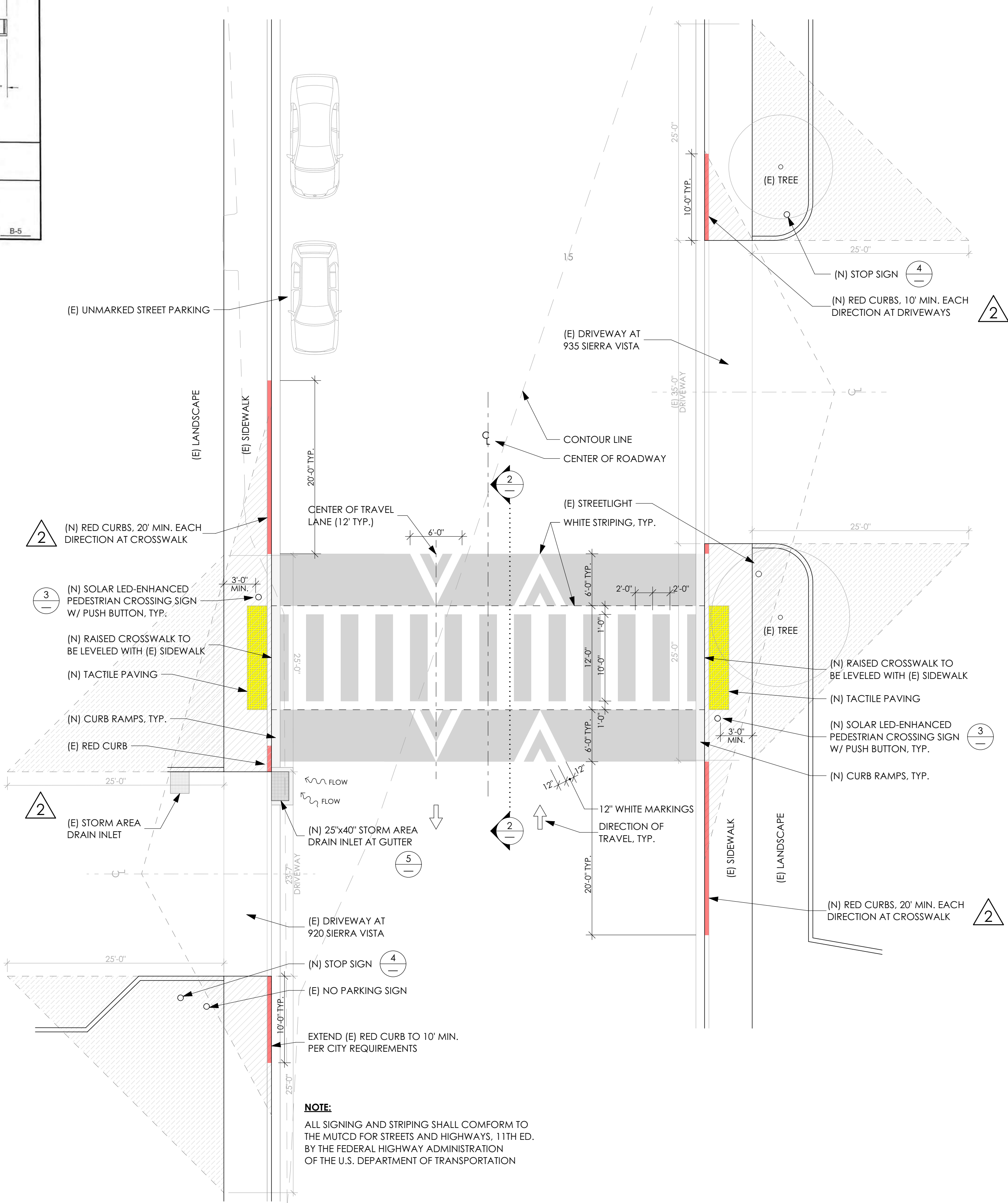
5 AREA DRAIN INLET & GRATE DETAIL



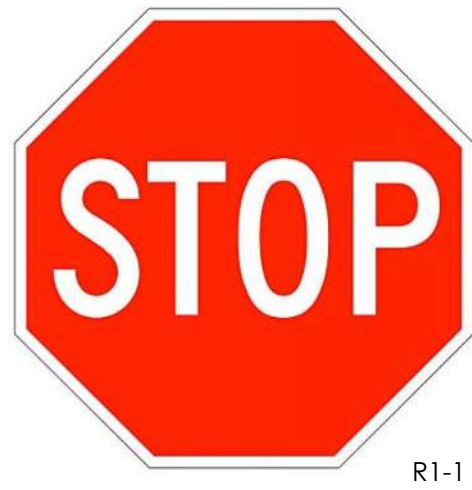
2 RAISED CROSSWALK SECTION



2 RAISED CROSSWALK SECTION



1 RAISED CROSSWALK PLAN

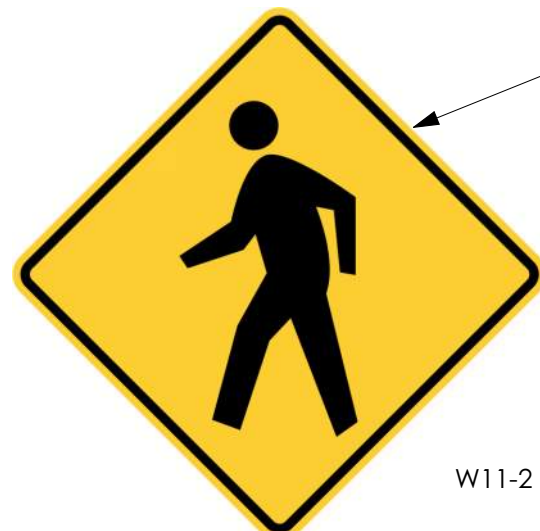


MIN. 24" x 24"  
PER MUTCD TABLE 2B-1:  
REGULATORY SIGN SIZES

4 STOP SIGN



W11-2



W11-2



W16-9P



W16-7PL

NOTE:  
ALL SIGNING AND STRIPING SHALL COMFORM TO  
THE MUTCD FOR STREETS AND HIGHWAYS, 11TH ED.  
BY THE FEDERAL HIGHWAY ADMINISTRATION  
OF THE U.S. DEPARTMENT OF TRANSPORTATION

3 PEDESTRIAN CROSSING SIGN

#### SITE PLAN NOTES

- THE LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE HOUSE 5% FOR UNFINISHED SURFACES AND 2% FOR IMPERVIOUS SURFACES. [CRC R401.3]
- FOLLOW MOUNTAIN VIEW STANDARDS FOR INSTALLATION OF ALL UTILITIES.
- LANDSCAPING AND IRRIGATION WORK SHALL BE ACCOMPLISHED UNDER A SEPARATE PERMIT.
- WORK IN THE PUBLIC RIGHT-OF-WAY: REQUIRES AN ENCROACHMENT PERMIT FROM THE JURISDICTION PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL SIGNING AND STRIPING SHALL COMFORM TO THE MUTCD FOR STREETS AND HIGHWAYS, 11TH ED. BY THE FEDERAL HIGHWAY ADMINISTRATION OF THE U.S. DEPARTMENT OF TRANSPORTATION.

#### PROPOSED CROSSWALK

CCIC (920 SIERRA VISTA) IS LOOKING TO EXPAND THEIR FACILITIES TO AN EXISTING BUILDING (935 SIERRA VISTA) THAT THEY PURCHASED ACROSS THE STREET. WE ARE PROPOSING A 10' WIDE CROSSWALK BETWEEN TWO FACILITIES.

PLYMOUTH STREET HAS A TWO-WAY STOP, WITH NO STOP SIGNS AT SIERRA VISTA APPROACHING EITHER 920 SIERRA VISTA OR 935 SIERRA VISTA FROM THE SOUTH. LEGHORN STREET APPROACHES SIERRA VISTA AVENUE FROM THE NORTH, AND IT ALSO DOES NOT HAVE ANY STOP SIGNS. WE ARE HOPING TO ADD A CROSSWALK OR A SPEED BUMP TO GIVE PEDESTRIANS A SAFER ACCESS BETWEEN THE TWO FACILITIES.

THE PROPOSED LOCATION OF THE CROSSWALK ALLOWS PEDESTRIANS TO CROSS BETWEEN THE TWO LOCATIONS IN THE MOST DIRECT AND NATURAL WAY. IT IS ALSO LOCATED FURTHER FROM THE STREET CORNER OF LEGHORN STREET AND SIERRA VISTA AVENUE, AND RIGHT UNDER AN EXISTING STREET LAMP.

PEDESTRIAN CIRCULATION IS SHOWN GOING ONE DIRECTION, BUT IT IS ASSUMED TO BE TRUE IN REVERSED DIRECTION AS WELL. THE PARKING LOTS ARE TO BE SHARED BETWEEN THE TWO FACILITIES.

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SHEET TITLE  
CROSSWALK PLAN  
& SECTION

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