



Rich Avenue Condominiums

918 Rich Avenue, Mountain View, CA 94040

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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 Santa Clara, CA 95054
 650.965.3500
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 Mountain View, CA 94040

SHEET TITLE
 COVER SHEET

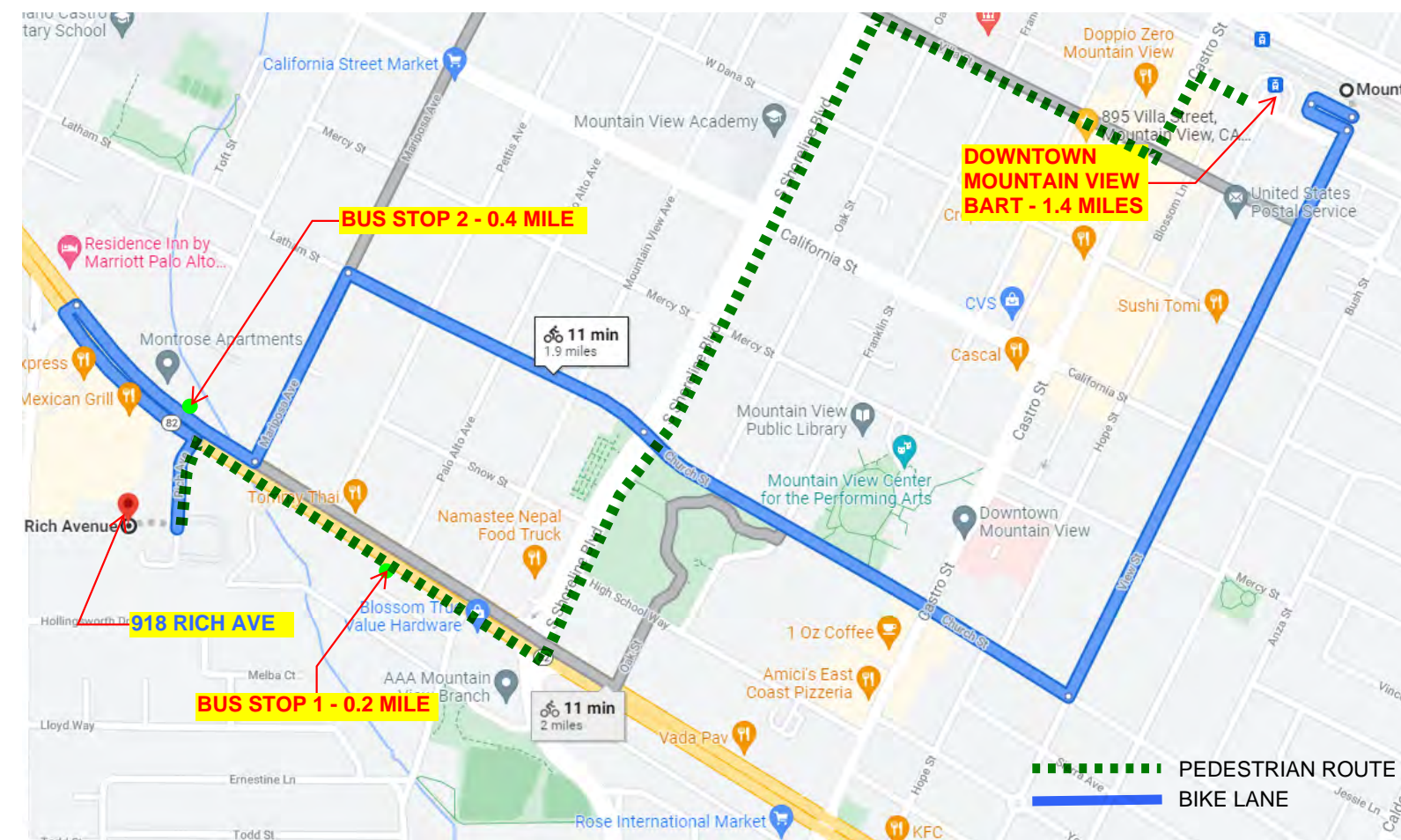
SCALE
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JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

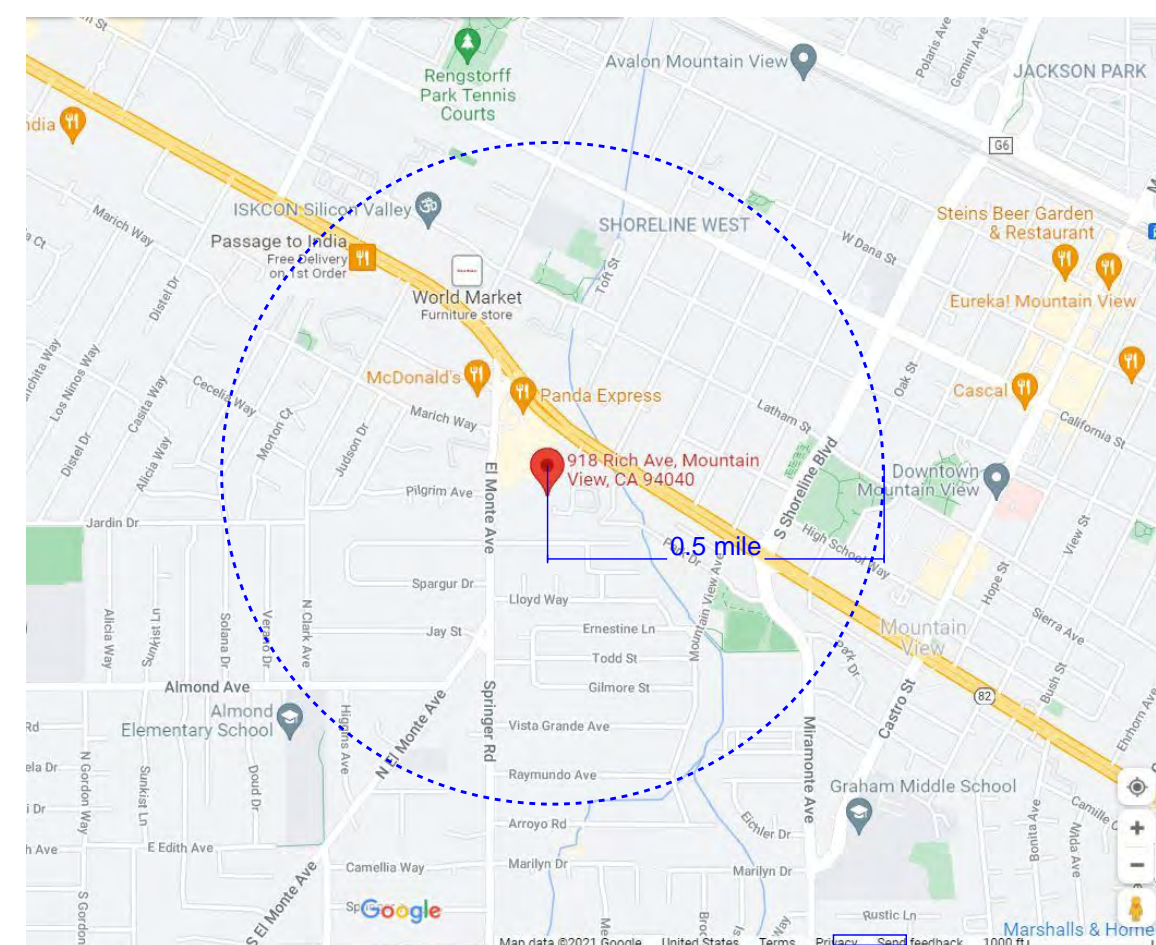
ABBREVIATIONS

Table of architectural abbreviations including ACOUS., ADJ., A.F.F., AL., APPROX., ARCH., A.C., BD., BLDG., BLK., BLKG., BM., BOT., CAB., CEM., CER., C.I., CLG., CLO., CLR., C.O., COL., CONC., CONT., CTSK., CTR., DBL., DEPT., TD.F., DIA., DIM., DN., DP., DR., DTL., D.S., DWG., DWR., EA., E.L., EJV., EQ., EQM.T., (E)EXIST., EX., E.W.C., F.D., F.G., FDN., FIN., FL., F.LOOR., F.O.C., F.O.F., F.O.S., FT., FUT., GA., GAL.V., G.I., GL., GYP., H., H.C., HDWE., H.M., HORIZ., HR., HT., I.D., INSUL., INT., JAN., JT., KIT., LAV., LT., MAX., MECH., MEMB., MFR., MIN.

DISTANCE TO TRANSPORTATION



VICINITY MAP



2

TOTAL SQUARE FOOTAGE (UNIT/FLOOR/BUILDING)

FLOOR AREA CALCULATION

Table for 1ST FLOOR area calculation with columns ID, Area (sq ft), and rows 1-A LOBBY (762.11) through 1-N UNIT 7 (1,318.50).

2ND FLOOR

Table for 2ND FLOOR area calculation with rows 2-A LOBBY (764.61) through 2-N UNIT 14 (1,270.91).

3RD FLOOR

Table for 3RD FLOOR area calculation with rows 3-A LOBBY (235.43) through 3-O UNIT 29 (529.18).

4TH FLOOR

Table for 4TH FLOOR area calculation with rows 4-A LOBBY (235.43) through 4-O UNIT 29 (473.29).

5TH FLOOR

Table for 5TH FLOOR area calculation with rows 5-B STAIR (188.22) through 5-N MECHANICAL (121.43).

TOTAL FAR sq ft 43,694.84 sq ft

SEE FLOOR AREA DIAGRAMS & CALCULATIONS ON SHEET A40

BASEMENT FLOOR 17,850.00 sq ft

BUILDING CODE ANALYSIS

- 1. PER 2022 CBC CHAPTER 5 TABLE 504.3: ALLOWABLE BUILDING HEIGHT FOR TYPE III-A CONSTRUCTION... OCCUPANCY S SPRINKLER = 85...
2. PER 2022 CBC CHAPTER 5 TABLE 504.4: ALLOWABLE NUMBER OF STORIES FOR TYPE III-A CONSTRUCTION...
3. PER 2022 CBC CHAPTER 5 TABLE 506.2: ALLOWABLE AREA FOR TYPE III-A CONSTRUCTION...
4. PER 2022 CBC CHAPTER TABLE 508.4: REQUIRED SEPARATION OF OCCUPANCIES (HOURS) BETWEEN 5-2 & R-2 IS 1 HOUR...
5. PER 2022 CBC CHAPTER 7 TABLE 705.5: REQUIRED FIRE-RESISTANCE RATING FOR EXTERIOR WALLS...
6. PER 2022 CBC CHAPTER 7 TABLE 705.8: DEGREE OF OPENING PROTECTION WITH A FIRE SEPARATION DISTANCE BETWEEN 15' TO 20' = 75% ALLOWABLE AREA OF UNPROTECTED OPENINGS FOR A SPRINKLERED BLDG...

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS OR ORDERS OF PROPERLY CONSTITUTED AUTHORITIES...
2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE: DRAWINGS ARE NOT TO BE SCALED...
3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION...

SHEET INDEX

Table listing sheet numbers and titles such as - COVER SHEET, A1 AERIAL PHOTO PLAN, A2 STREETSCAPES, C3 SECTIONS AND DETAILS, C4 EXISTING CONDITIONS, etc.

PROJECT TEAM

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PROJECT DATA

PROJECT DESCRIPTION: NEW SITE DEVELOPMENT OF A 33 UNIT FOR-SALE, 3-4 BEDROOM MINIMUM BUILDING, CONSISTING OF 3 ONE-BEDROOM AND 29 TWO-BEDROOM UNITS AND ONE LEVEL OF BELOW GRADE PARKING DEVELOPMENT TO INCLUDE 21 BLM UNITS, WITH A REQUEST FOR 38.75% DENSITY BONUS, SPECIFIC DEVELOPMENT STANDARDS WAIVERS AND ONE CONCESSION.
PROJECT ADDRESS: 918 RICH AVENUE
ASSESSOR'S PARCEL NO.: 189-33-028
ZONE: R3-1 MEDIUM DENSITY FLOOD ZONE 3
HISTORIC STATUS: NONE
OCCUPANCY GROUPS: R-2
CONSTRUCTION TYPE: CONCRETE FRAME
STORIES: FIVE + ONE LEVEL BASEMENT
GROSS LOT SIZE: 31,456 S.F.
LOT SIZE AFTER STREET DEDICATION DEDUCTION: 31,456 S.F. - 500 S.F. = 30,956 S.F.
ALLOWABLE LOT COVERAGE: 30,956 X .35% = 10,835 S.F. (15,033 S.F. W/38.75% DENSITY BONUS)
PROPOSED LOT COVERAGE: 43,695 S.F.
BUILDING FOOTPRINT = 10,721 S.F. = 34.43%
SEE BUILDING LOT COVERAGE CALCULATIONS ON SHEET A39
ALLOWABLE FLOOR AREA RATIO: 30,956 X 1.05 = 32,504 S.F. MAX. (45,099 S.F. W/38.75% DENSITY BONUS)
PROPOSED FLOOR AREA: 43,669 S.F. = 1.41
SEE FAR CALCULATIONS ON SHEET A40
OPEN AREA: SEE SHEET A39
MINIMUM OPEN AREA REQUIRED: 30,956 X .55% = 17,026 S.F.
PROPOSED OPEN AREA: 11,000 S.F.
COMMON USABLE OPEN SPACE: 1,412 S.F.
ROOF DECKS OPEN AREA: 2,300 S.F.
PRIVATE DECK OPEN SPACE (DECK): 4,856 S.F.
TOTAL 21,568 S.F. = 69.7%
VEHICLE PAVING AREA: 11,000 S.F.
REQUIRED: 500 CU. FT.
PROPOSED: SEE STORAGE AREA SCHEDULE ON SHEET A40
PARKING REQ'D PER STATE DENSITY BONUS LAW, SECTION 65915(P):
D1 BEDROOMS = 1 SPACE
D2 BEDROOMS = 1.5 SPACES
(1X31' X 4' X 21' = 2,492 S.F.) - 1.5 SPACES REQUIRED
PARKING PROVIDED:
BASEMENT (COVERED PARKING): 45
21 SINGLE STALLS & 24 STALLS IN TANDAM LAYOUT
GROUND LEVEL: 5
4 REGULAR + 1 ACCESSIBLE SPACE
TOTAL PROVIDED:
50 SPACES (48 REGULAR + 2 ACCESSIBLE)
RESIDENTS PARKING ALL PROVIDED AT COVERED BASEMENT:
SEE SHEET A23 BASEMENT PLAN
- 44 SPACES ARE RESERVED FOR ASSIGNED UNITS.
- 1 LEVEL 2 EVSE CHARGER PROVIDED FOR EACH UNIT.
- 1 ACCESSIBLE SPACES WITH LEVEL 3/DC FAST CHARGER
GUEST PARKING ALL PROVIDED AT UNCOVERED GROUND LEVEL
SEE SHEET A6 ENLARGED SITE PLAN
- TOTAL 5 SPACES
- 4 GUEST PARKING SPACE WITH LEVEL 2 EVSE DUAL CHARGER X1
- 1 ACCESSIBLE WITH LEVEL 3/DC FAST CHARGER X1
BIKE PARKING REQUIRED:
1 PER UNIT & 1 PER 10 UNITS FOR GUEST BIKE PARKING
32 UNITS: 32 X 1 = 32 SPACES (BIKE LOCKERS)
GUEST: 32 X 0.1 = 3.2 -> 4 SPACES (BIKE RACKS)
BIKE PARKING PROVIDED:
32 BIKE LOCKERS (IN SECURE BIKE STORAGE ROOM) & 4 BIKE RACKS AT GRADE
BASE DENSITY PER GENERAL PLAN:
26-35 D.U./ACRE
35 X 0.71 AC = 24.85 = 25 UNITS
BMR UNITS PROPOSED:
3 VII + 1 MIU
TOTAL UNITS PROPOSED:
32 UNITS
APPLICABLE CODES:
2022 CRC7/CBC; 2022 CPC; 2022 CPC; 2022 CMC; 2022 CEC PART 3; 2022 CENC PART 6 & 2022 CGSBC AS AMENDED BY LOCAL JURISDICTION (MVGBC).

BMR & DENSITY BONUS

BMR UNITS PROPOSED: 2 VII + 2 MIU
DENSITY BONUS: 27.5% ALLOWED
7 ADDITIONAL UNITS ALLOWED
25 + 7 = 32 UNITS TOTAL ALLOWED
TOTAL NUMBER OF UNITS PROPOSED: 32
SUMMARY OF CONCESSIONS & WAIVERS REQUESTED:
WAIVER 1 - SETBACKS
TYPICAL SETBACKS REQUIRED: 15' OR HEIGHT OF ADJACENT WALL PLATE
SUMMARY PROVIDED IN DENSITY BONUS REQUEST LETTER
WAIVER 2:
ALLOWABLE BUILDING HEIGHT: 45' MAXIMUM WITH 36" PLATE HEIGHT
ALLOWABLE WITH 27.5% DENSITY BONUS: 57'-4" MAX. WITH 45.9" PLATE HEIGHT
PROPOSED BUILDING HEIGHT: 54'-11" WITH 49" PLATE HEIGHT
WAIVER 3:
ALLOWABLE FLOOR AREA RATIO: 1.05 LOT AREA = 30,956 X 1.05 = 32,503.8 S.F. MAX.
ALLOWABLE FLOOR AREA RATIO W/27.5% DENSITY BONUS: 41,442.6 S.F.
PROPOSED FLOOR AREA RATIO: 43,695 S.F. (1.41 FAR = 34% OVER BASE ALLOWABLE)
WAIVER 4:
PERSONAL BULK STORAGE
ALL UNITS ARE PROVIDED ADDITIONAL BULK STORAGE AREAS IN THE BASEMENT. RANGING IN SIZE FROM 330 CU.F. TO 577 CU.F.T. (SEE SHEET A40). BULK STORAGE CLOSETS ARE ALSO PROVIDED WITHIN THE UNITS, WHICH CANNOT OFFICIALLY COUNT TOWARDS PERSONAL BULK STORAGE.
CONCESSION 1:
WEIGHTED AVERAGE AFFORDABILITY LEVEL
HEIGHT EXCEPTION REQUEST PER SEC. 36.08.30(a)
58'-5" FROM LOWEST ADJACENT CURB TO TOP OF ELEVATOR TOWER

REVISIONS table with columns REVISIONS, SUBMITAL #, DATE and rows 1-5.

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SHEET TITLE
PROJECT DATA

SCALE
AS SHOWN
DRAWN BY

JOB NO.
20103

DATE
08/04/2023

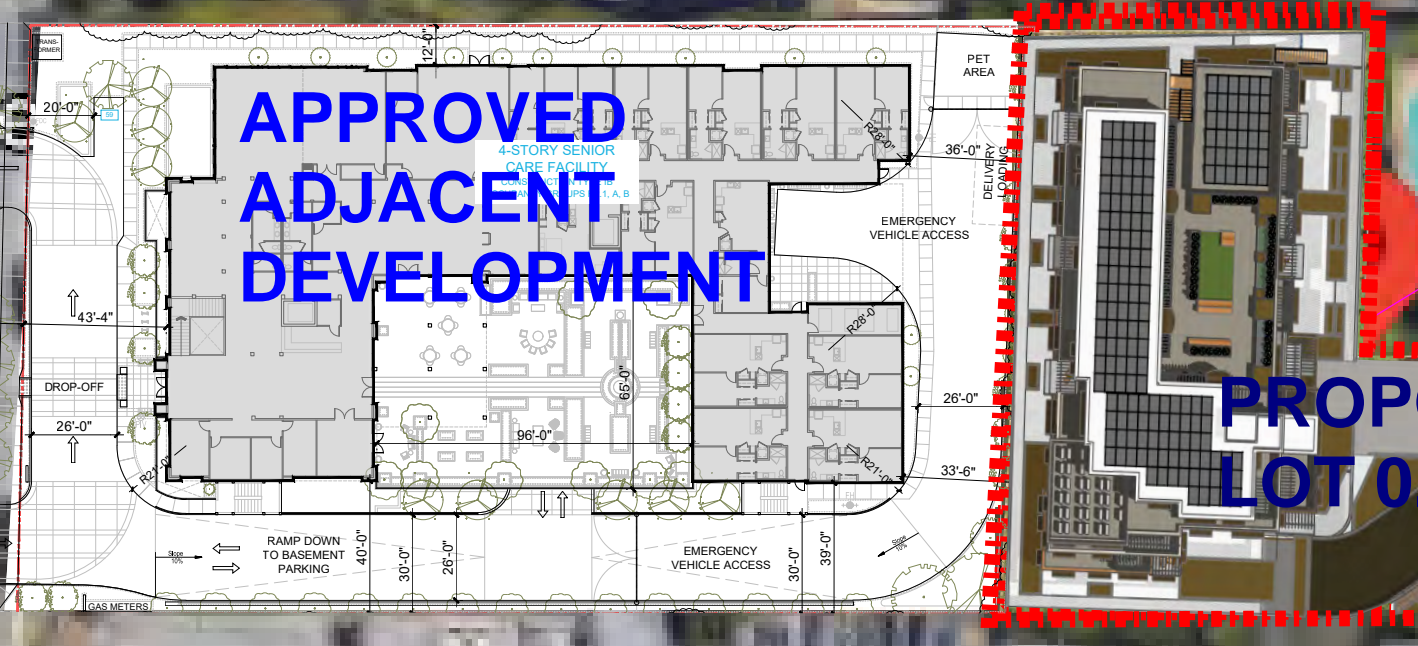
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A0

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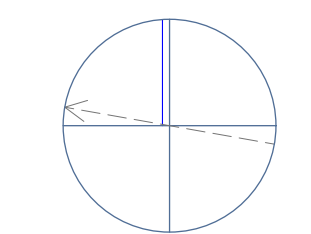
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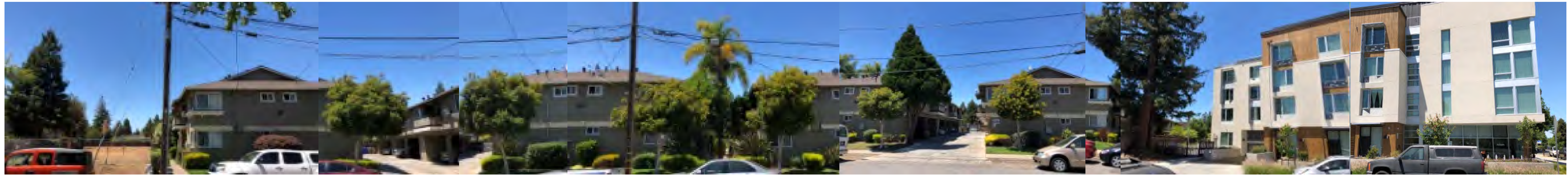


SYMBOL LEGEND:
 SEE SHEET A-2 FOR STREET VIEW



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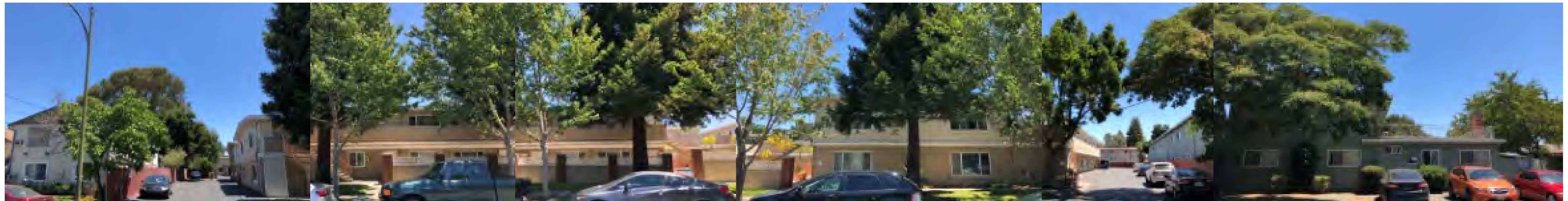
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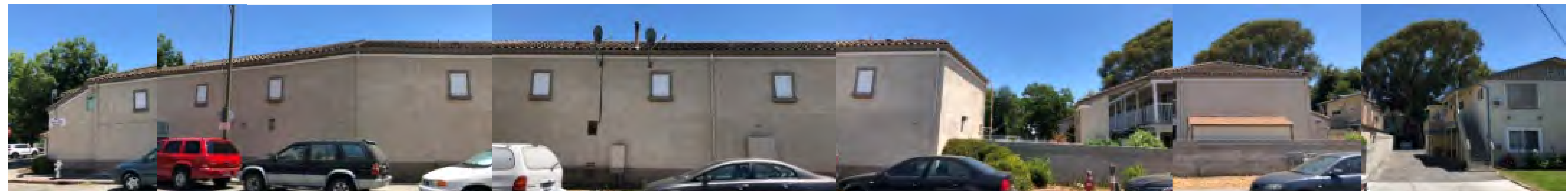
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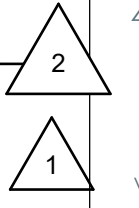
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SHEET TITLE
 STREETSCAPES

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A2



1



2



3



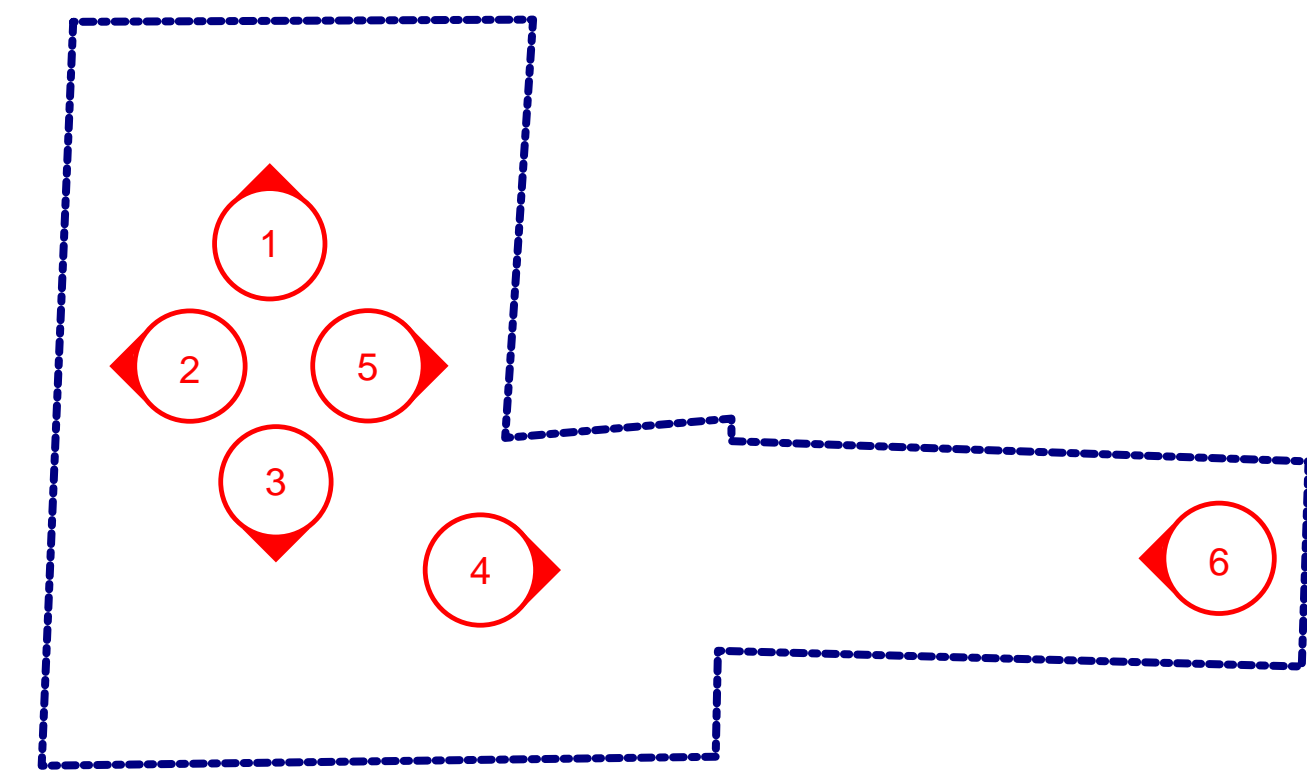
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6



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SHEET TITLE
 EXISTING SITE VIEWS

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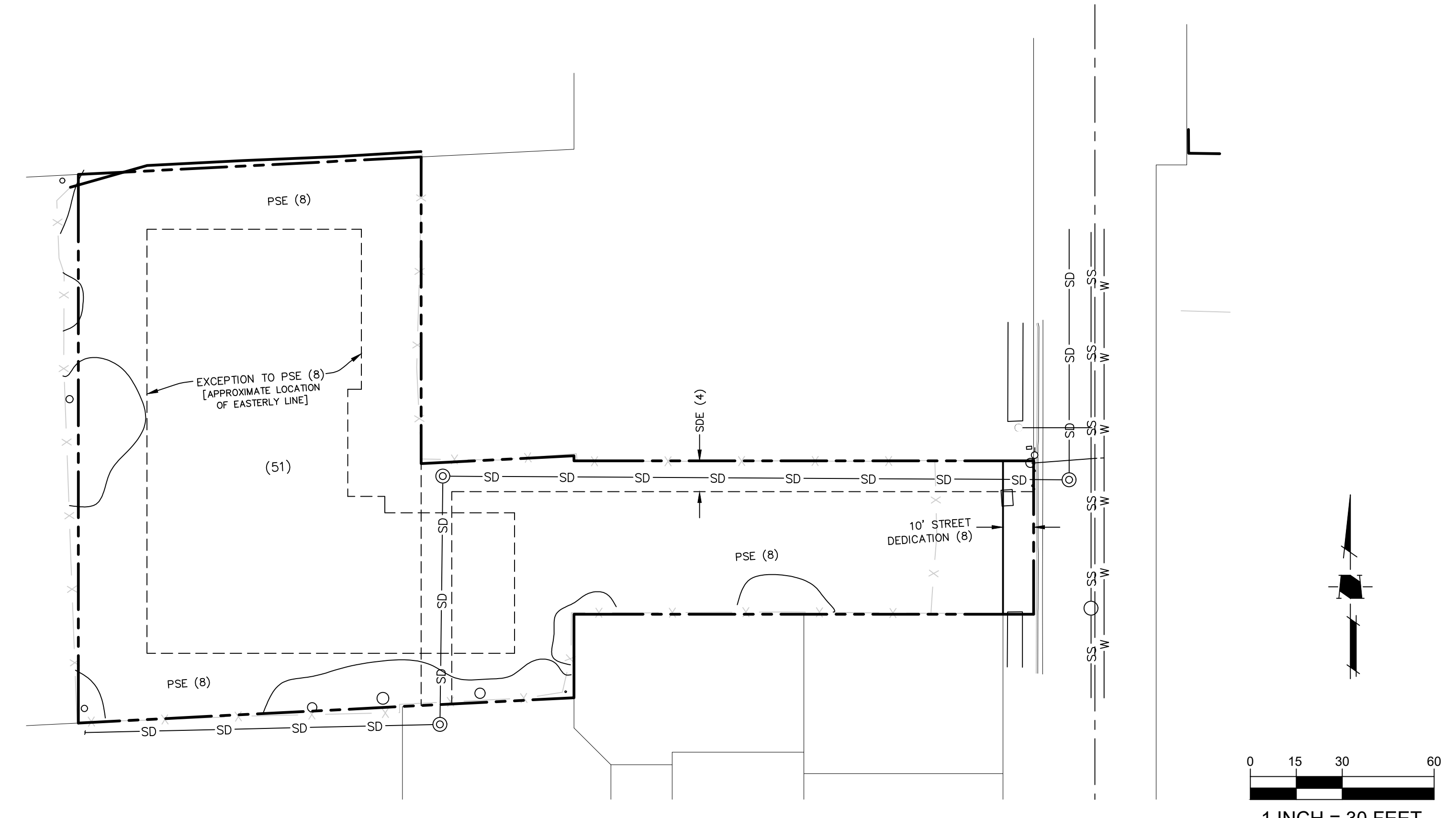
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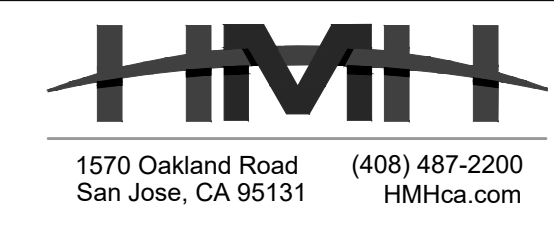


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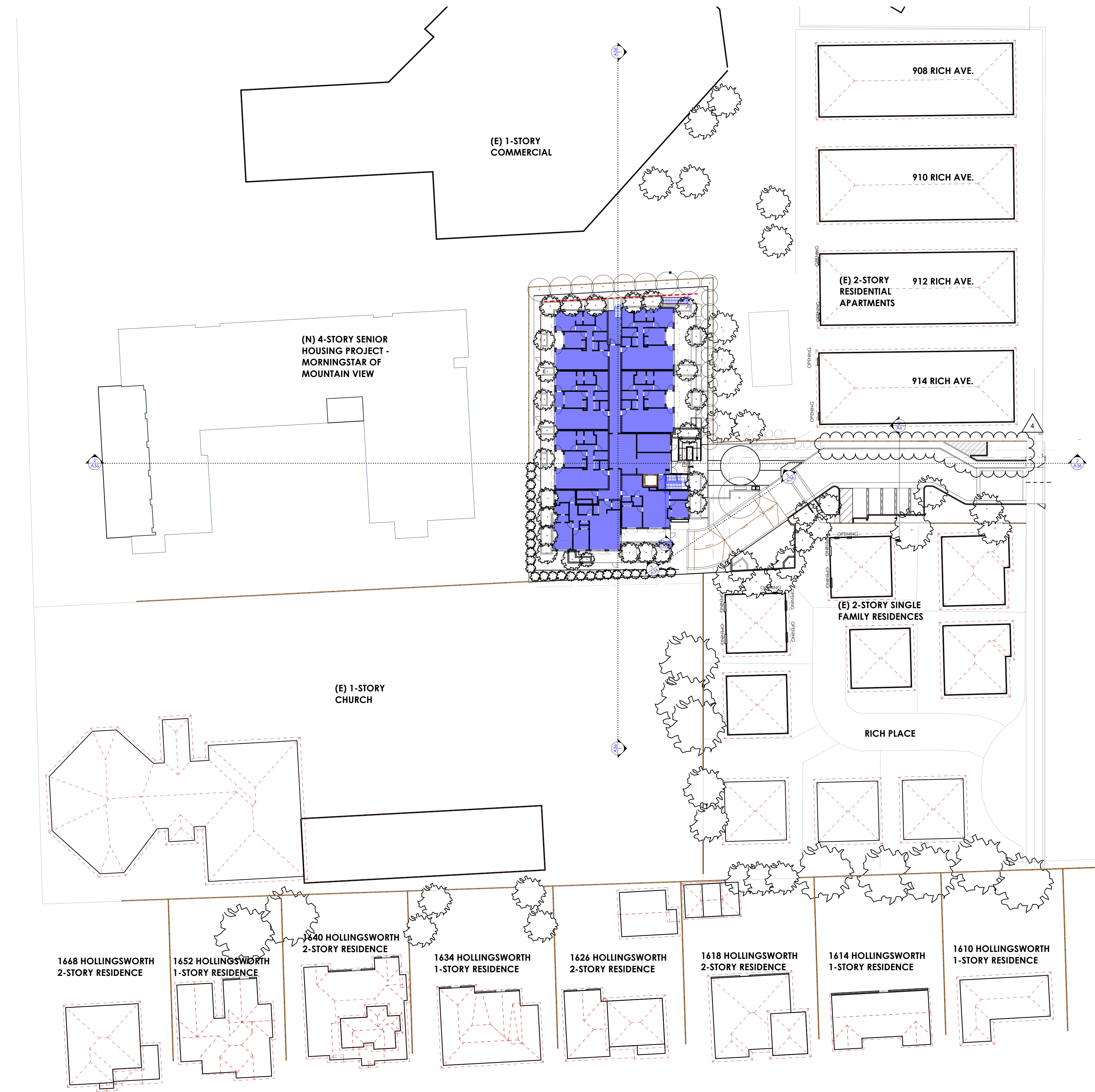
ARDENVIEW HOMES 918 RICH AVENUE

HMH#5817.00 | Drawn: RCH/AC | Review: MD/BC | Scale: 1" = 30' | Date: 07.17.20
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Rich Avenue Condominiums
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SHEET TITLE	SITE SURVEY
SCALE	AS SHOWN
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SHEET	



2
1

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SHEET TITLE
SITE PLAN

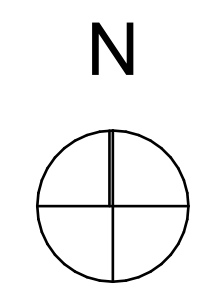
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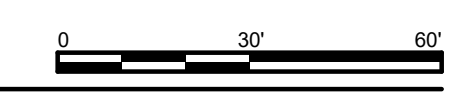
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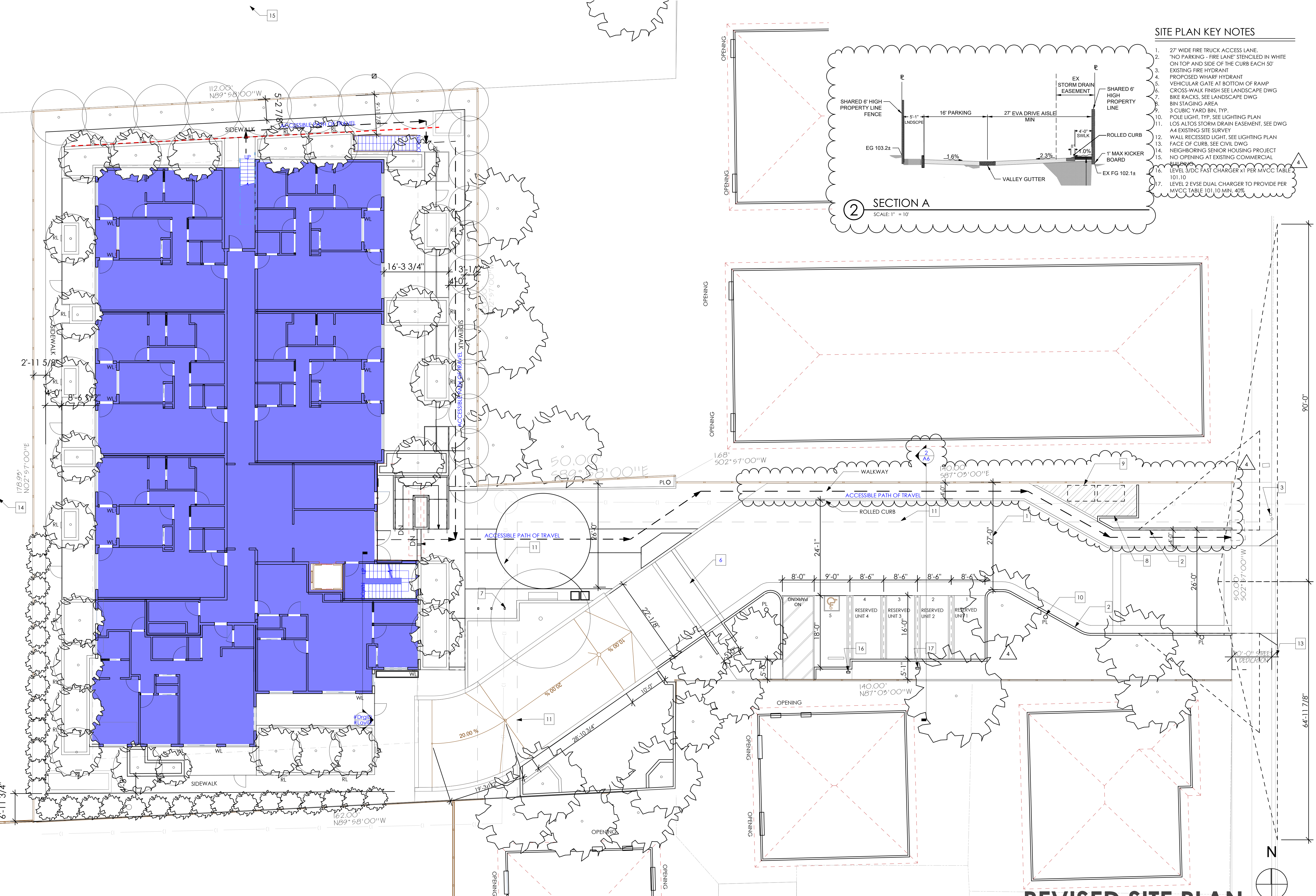
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1 SITE PLAN - 1" = 30'
SCALE: 1" = 30'



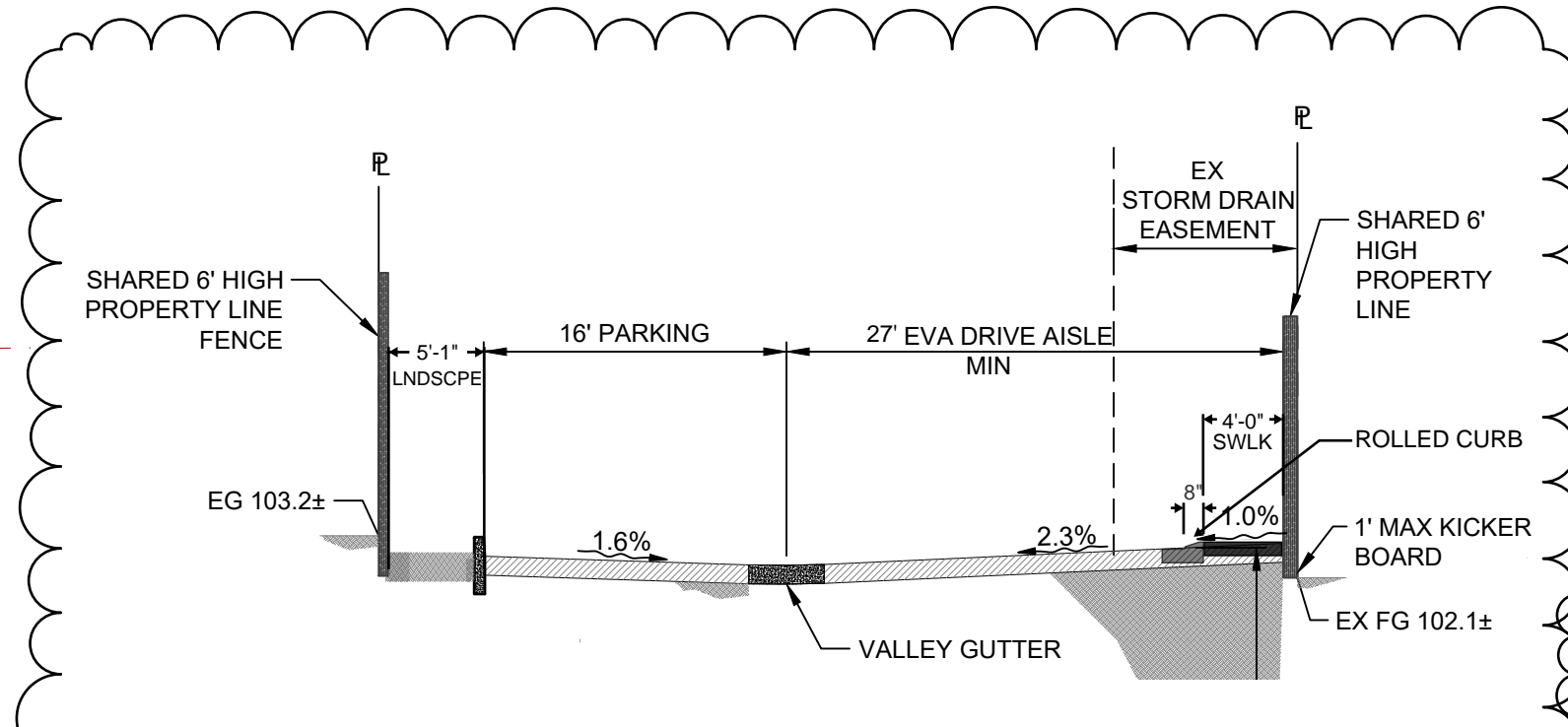
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SITE PLAN KEY NOTES

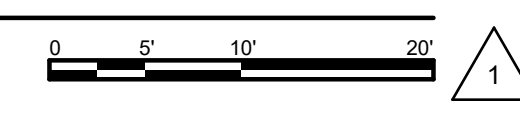
1. 27' WIDE FIRE TRUCK ACCESS LANE.
2. "NO PARKING - FIRE LANE" STENCILED IN WHITE ON TOP AND SIDE OF THE CURB EACH 50'
3. EXISTING FIRE HYDRANT
4. PROPOSED WHARF HYDRANT
5. VEHICULAR GATE AT BOTTOM OF RAMP
6. CROSS-WALK FINISH SEE LANDSCAPE DWG
7. BIKE RACKS, SEE LANDSCAPE DWG
8. BIN STAGING AREA
9. 3 CUBIC YARD BIN, TYP.
10. POLE LIGHT, TYP, SEE LIGHTING PLAN
11. LOS ALTOS STORM DRAIN EASEMENT, SEE DWG A4 EXISTING SITE SURVEY
12. WALL RECESSED LIGHT, SEE LIGHTING PLAN
13. FACE OF CURB, SEE CIVIL DWG
14. NEIGHBORING SENIOR HOUSING PROJECT
15. NO OPENING AT EXISTING COMMERCIAL SUBDIVISION
16. LEVEL 3/DC FAST CHARGER XT PER MVCC TABLE 101.10
17. LEVEL 2 EVSE DUAL CHARGER TO PROVIDE PER MVCC TABLE 101.10 MIN. 40%

SECTION A
SCALE: 1" = 10'



1 ENLARGED SITE PLAN
SCALE: 1" = 10'

REVISED SITE PLAN



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architects

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SHEET TITLE
SITE PLAN - ENLARGED

SCALE
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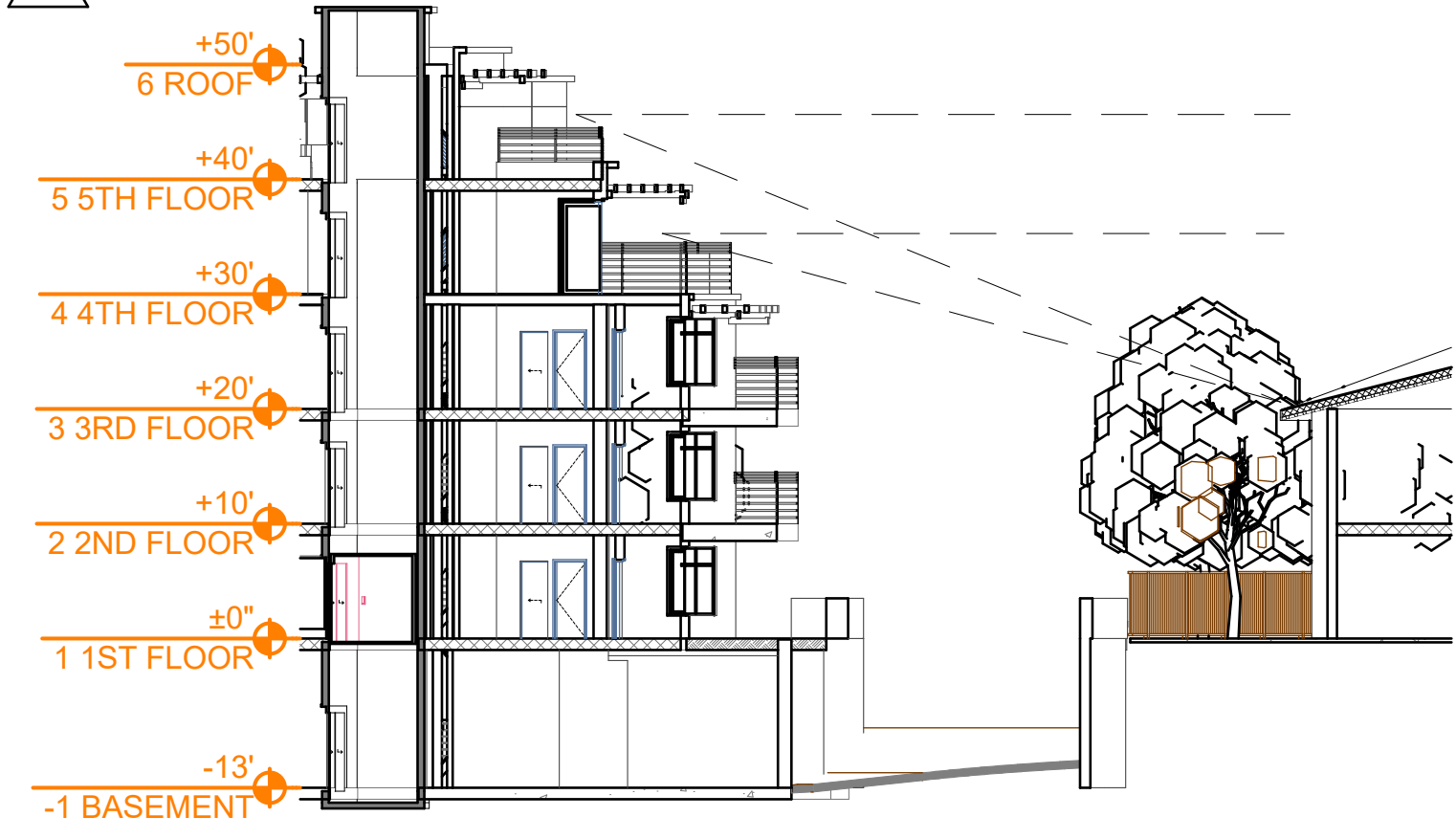
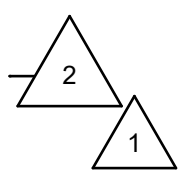
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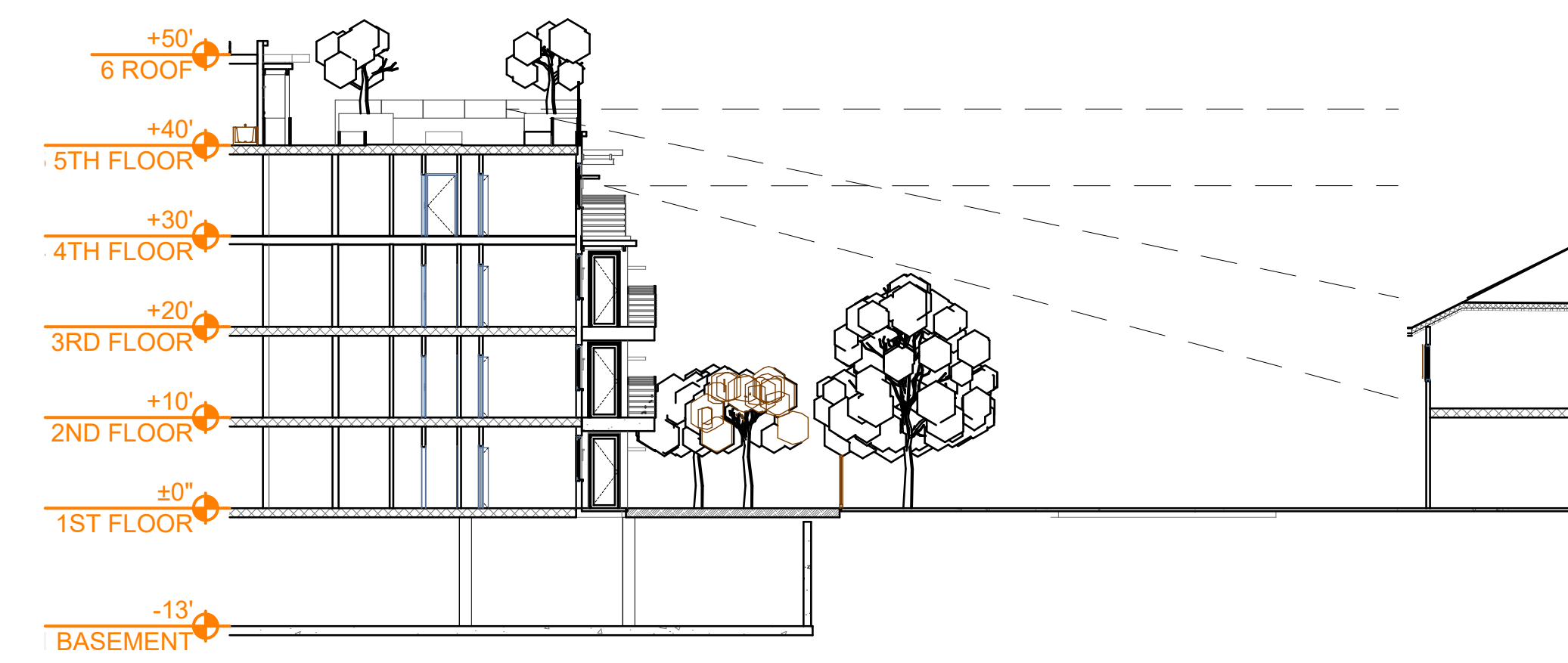
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08/04/2023

SHEET

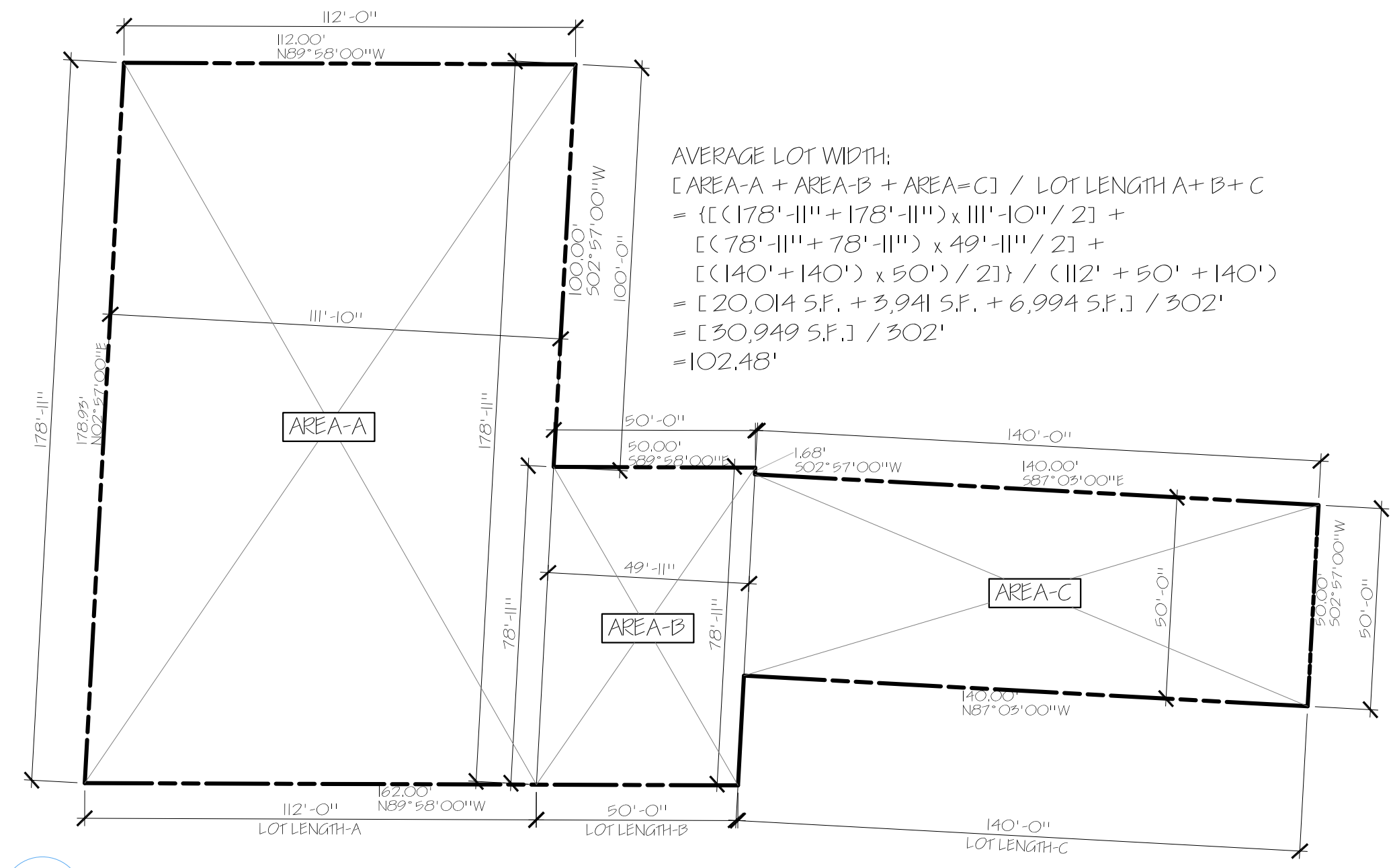
A6



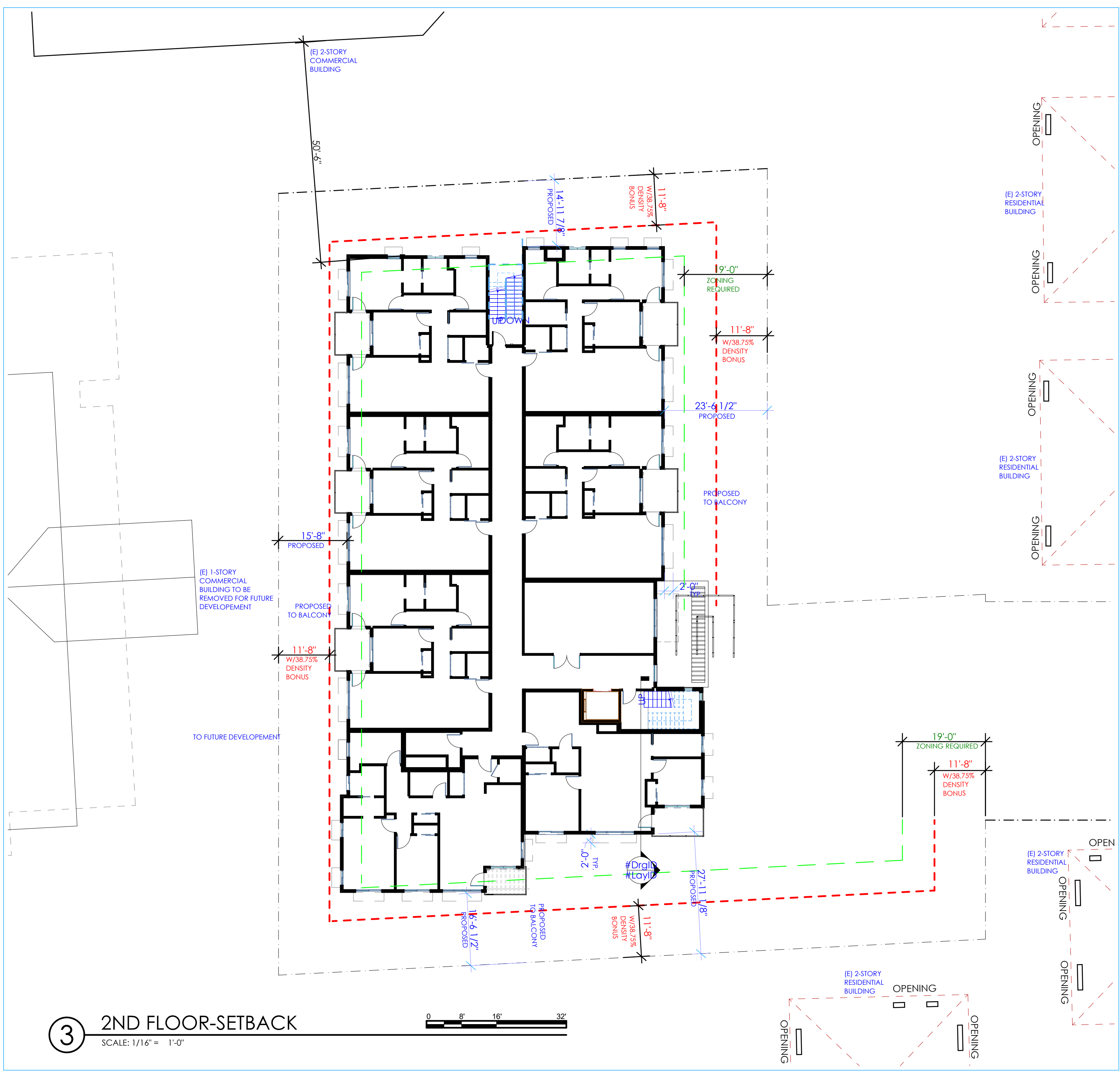
5 LINE OF SITE DIAGRAM - SOUTH
SCALE: 1/16" = 1'-0"



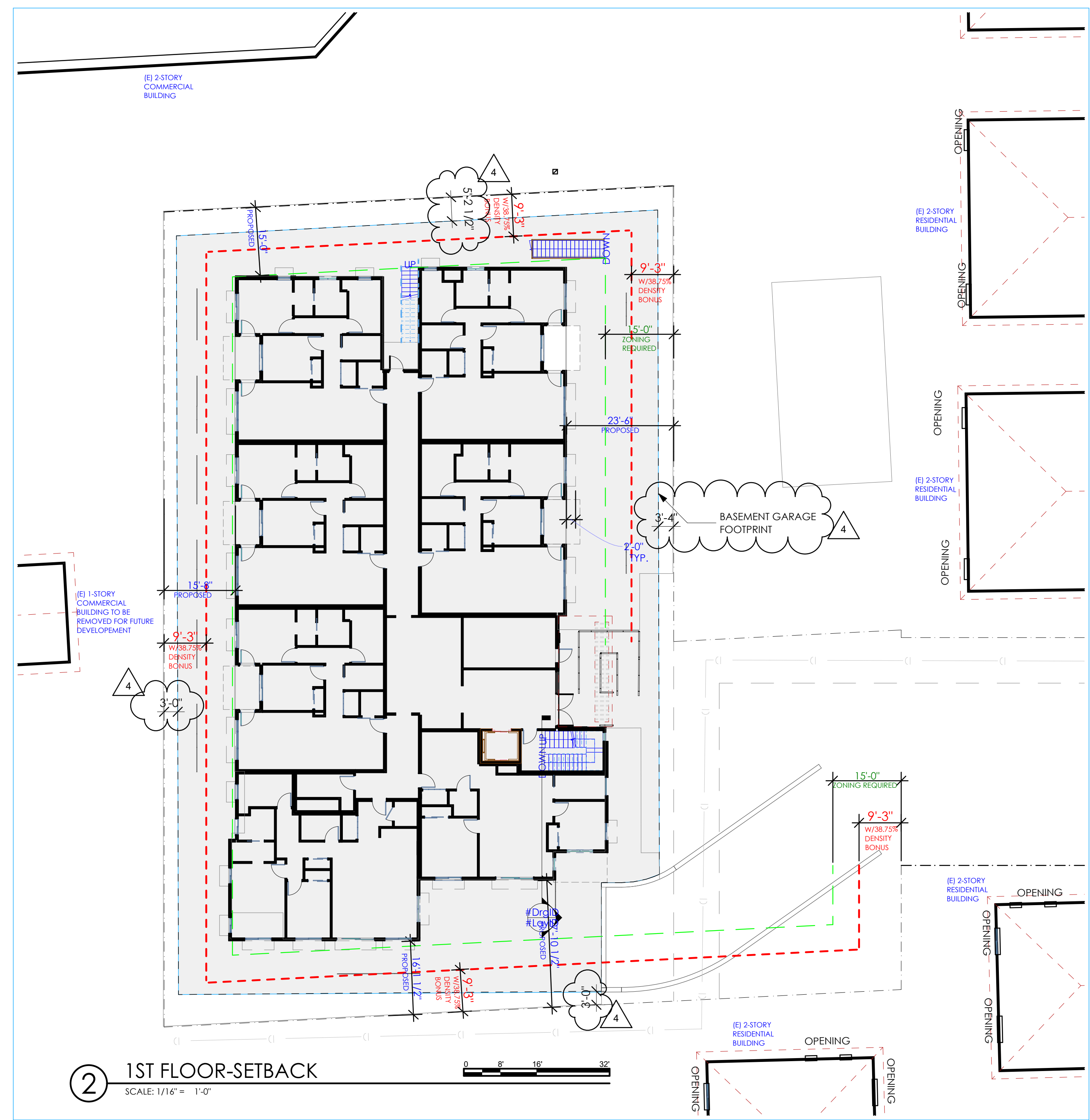
4 LINE OF SITE DIAGRAM - EAST
SCALE: 1/16" = 1'-0"



1 AVERAGE LOT WIDTH | SCALE: 1/32" = 1'-0"



3 2ND FLOOR-SETBACK
SCALE: 1/16" = 1'-0"



2 1ST FLOOR-SETBACK
SCALE: 1/16" = 1'-0"

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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SHEET TITLE
 SITE SETBACKS & AVERAGE LOT WIDTH
 SCALE
 AS SHOWN
 DRAWN BY
 JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A7

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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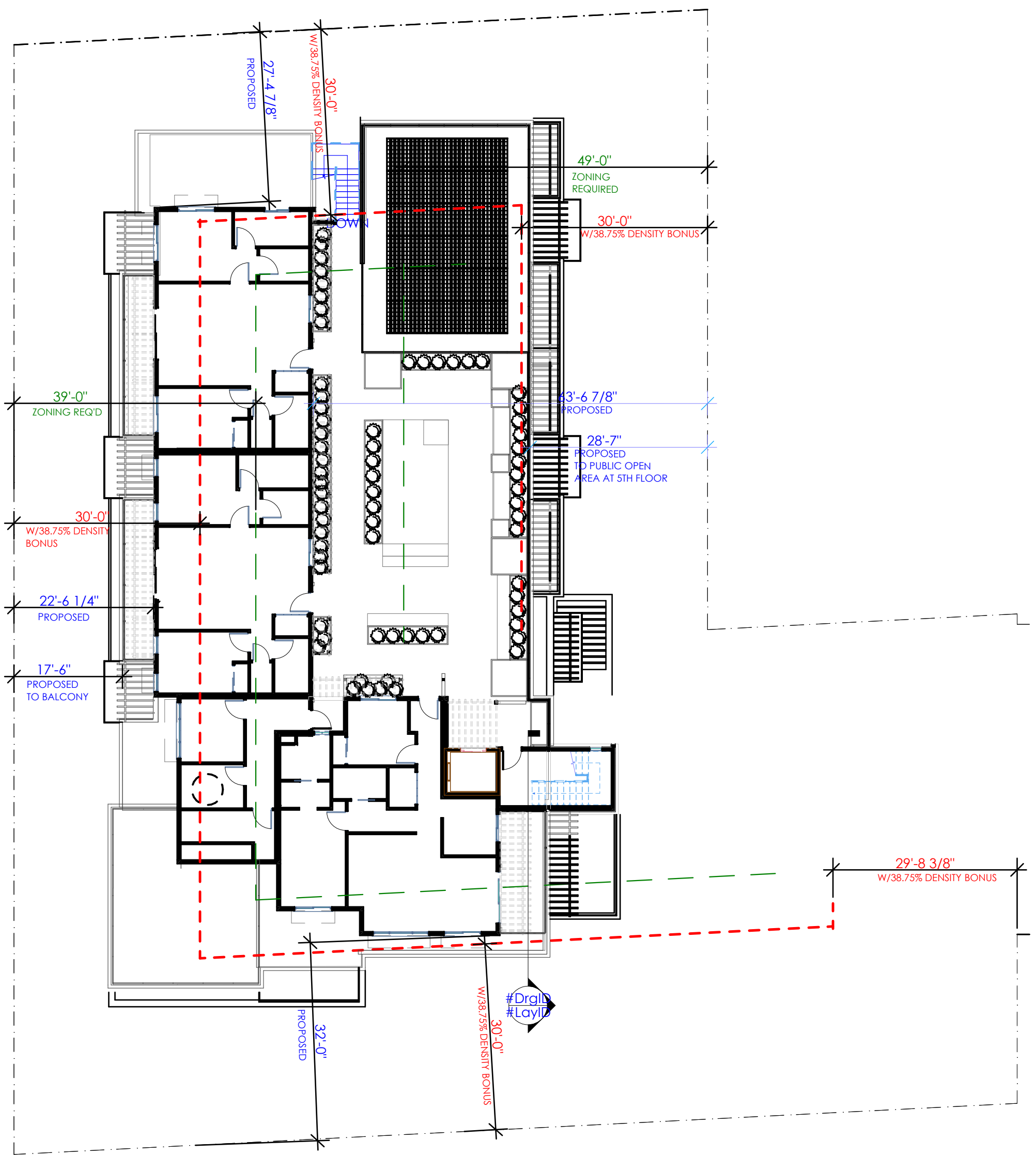
SHEET TITLE
 SITE SETBACKS

SCALE
 AS SHOWN
 DRAWN BY

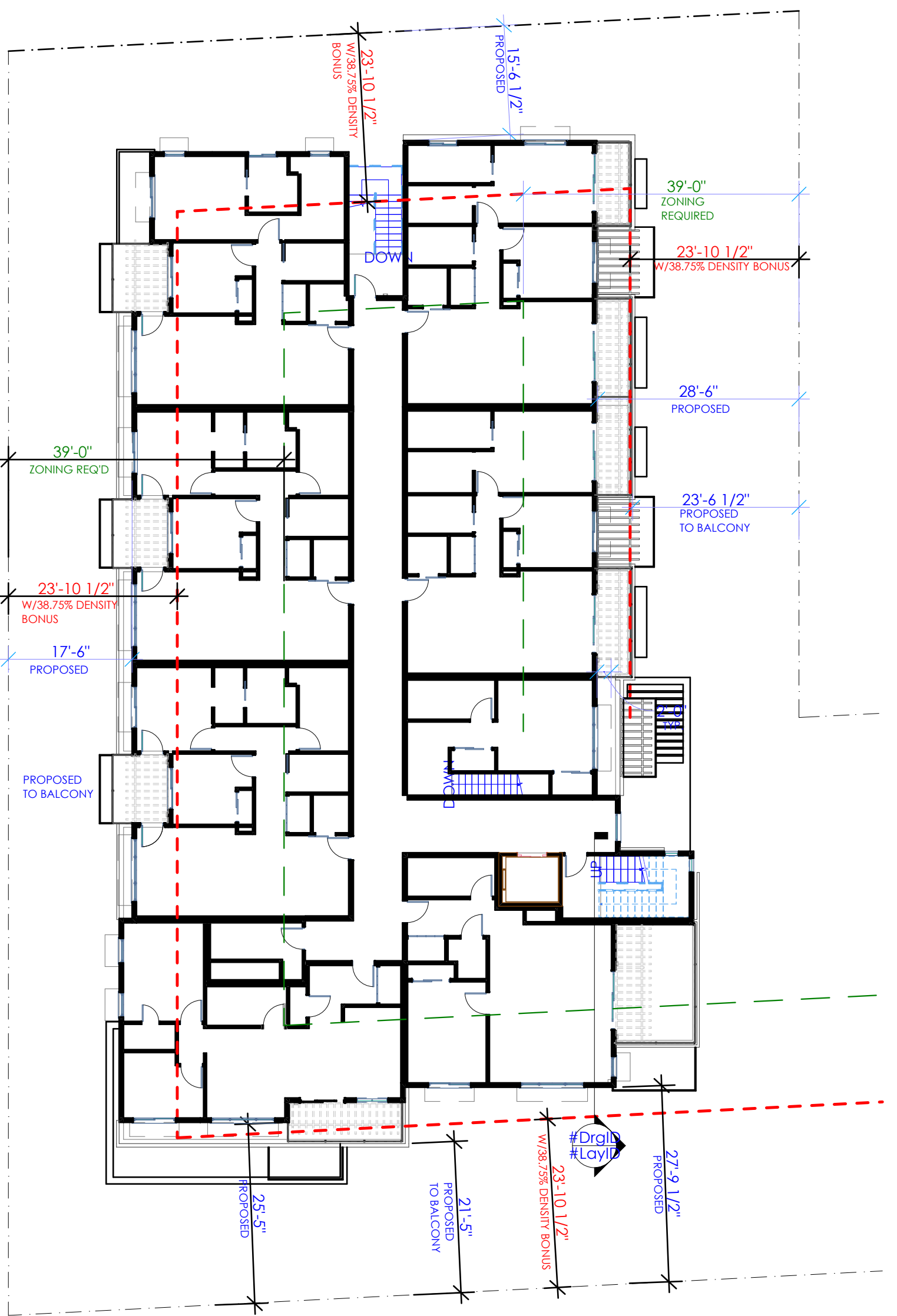
JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A8

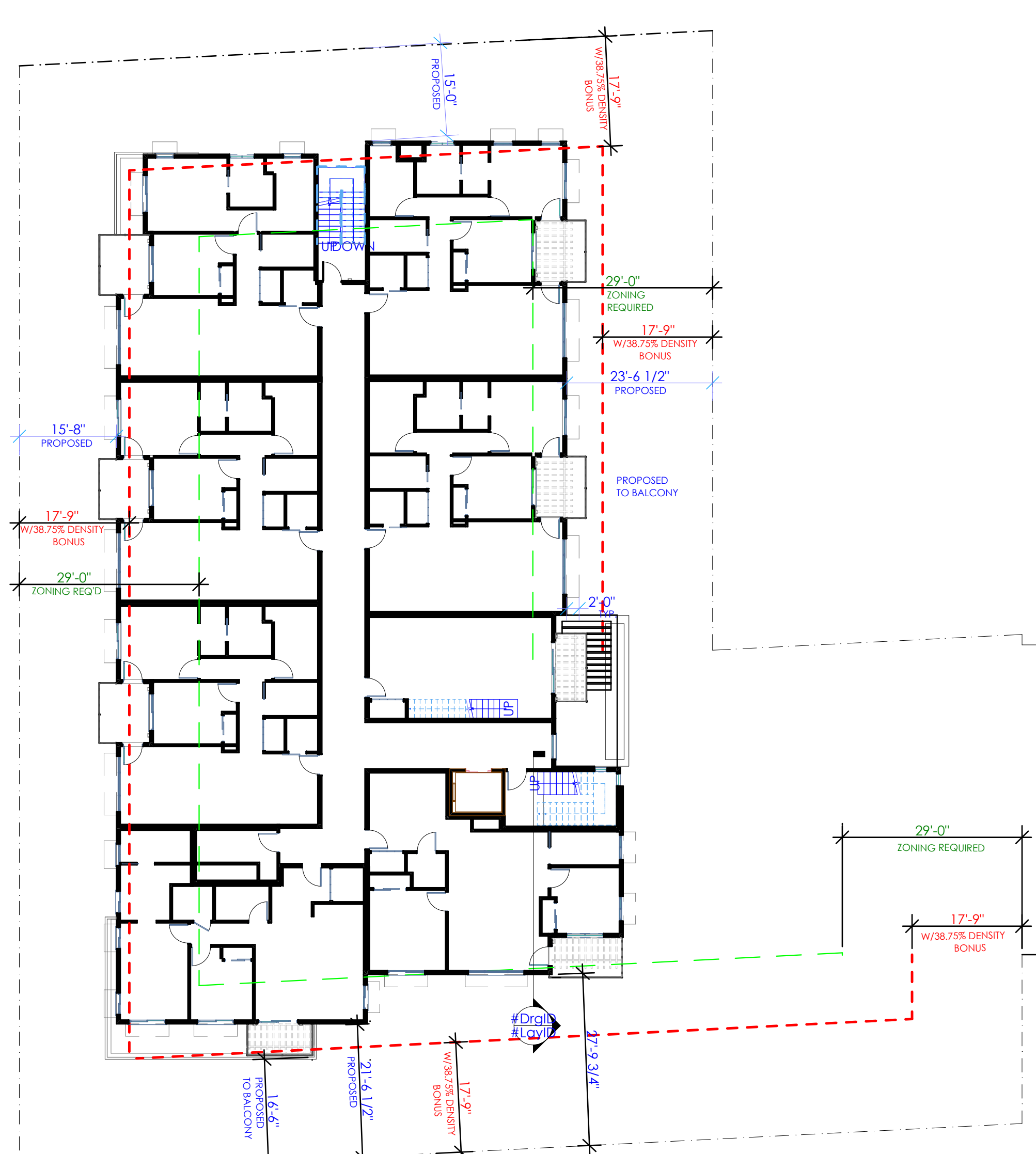
2
 1



③ 5TH FLOOR SETBACK
 SCALE: 1/16" = 1'-0"



② 4TH FLOOR SETBACK
 SCALE: 1/16" = 1'-0"



① 3RD FLOOR SETBACK
 SCALE: 1/16" = 1'-0"

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
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BIRD'S EYE VIEW FROM EAST

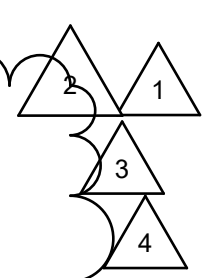
Rich Avenue Condominiums
 918 Rich Avenue
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SHEET TITLE
 RENDERINGS 1-2

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A9



EAST VIEW



EAST VIEW FROM DRIVEWAY



NORTHEAST CORNER



NORTH END

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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SHEET TITLE
 RENDERINGS 3-4

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023

SHEET
 A10



NORTHWEST CORNER



SOUTHWEST CORNER



SOUTH END



TOP DOWN VIEW AT ENTRY

2	1
3	2
4	3

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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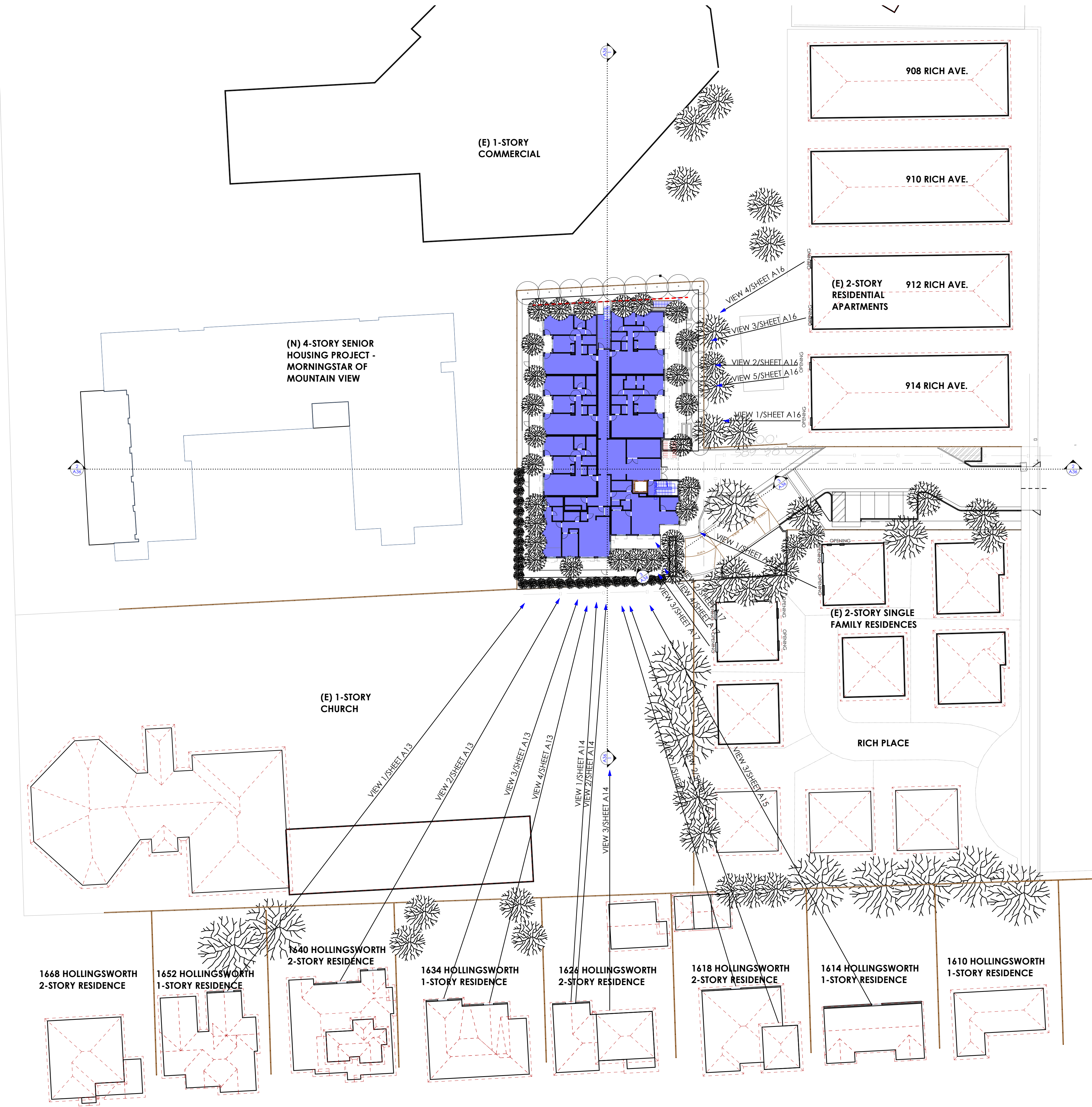
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SHEET TITLE
 RENDERINGS 5-7

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A11



REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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SHEET TITLE
 VIEWS FROM NEIGHBORING PROPERTIES

SCALE
 AS SHOWN

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
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1 1652 Hollingsworth



2 1640 Hollingsworth



3 1634 Hollingsworth View 1



4 1634 Hollingsworth View 2

Rich Avenue Condominiums
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SHEET TITLE
 HOLLINGSWORTH VIEWS

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A13





1 1626 Hollingsworth 1st floor



2 1626 Hollingsworth 2nd floor #2



3 1626 Hollingsworth 2nd floor

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
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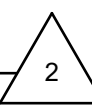
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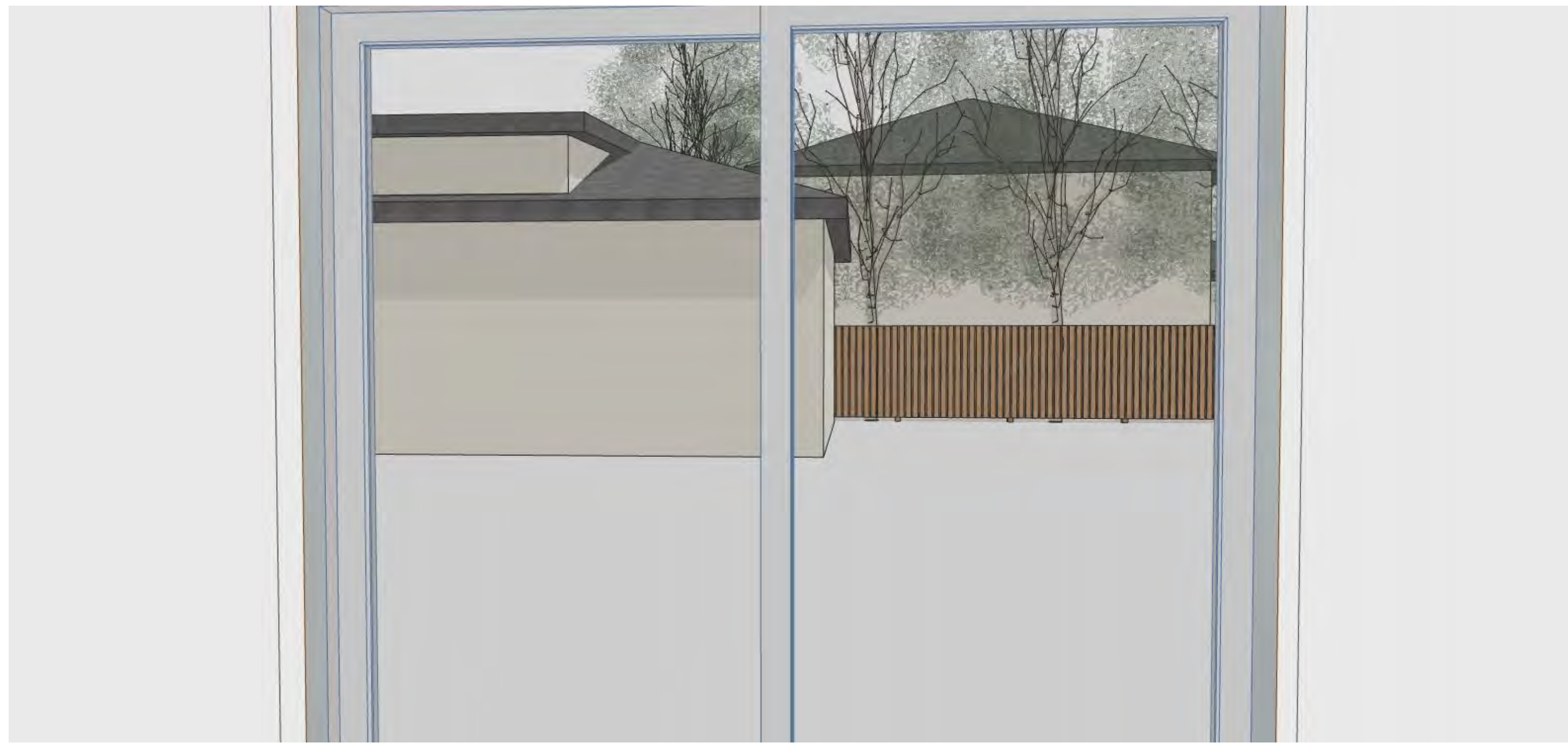
SHEET TITLE
 HOLLINGSWORTH
 VIEWS 2

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A14





1 1618 Hollingsworth



2 1618 Hollingsworth 2nd floor



3 1614 Hollingsworth

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
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FORMAL SUBMITTAL #5	05/15/2023

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SHEET TITLE
 HOLLINGSWORTH
 VIEWS 3

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A15





1 914 Rich Ave. - Second Story View 1



2 914 Rich Ave. - Second Story View 2



3 912 Rich Ave. - Second Story View 1



4 912 Rich Ave. - Second Story View 2



5 912 RICH AVE. PATIO VIEW

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
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FORMAL SUBMITTAL #5	05/15/2023

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SHEET TITLE
 914-912 RICH AVE. VIEWS

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

REVISIONS	DATE
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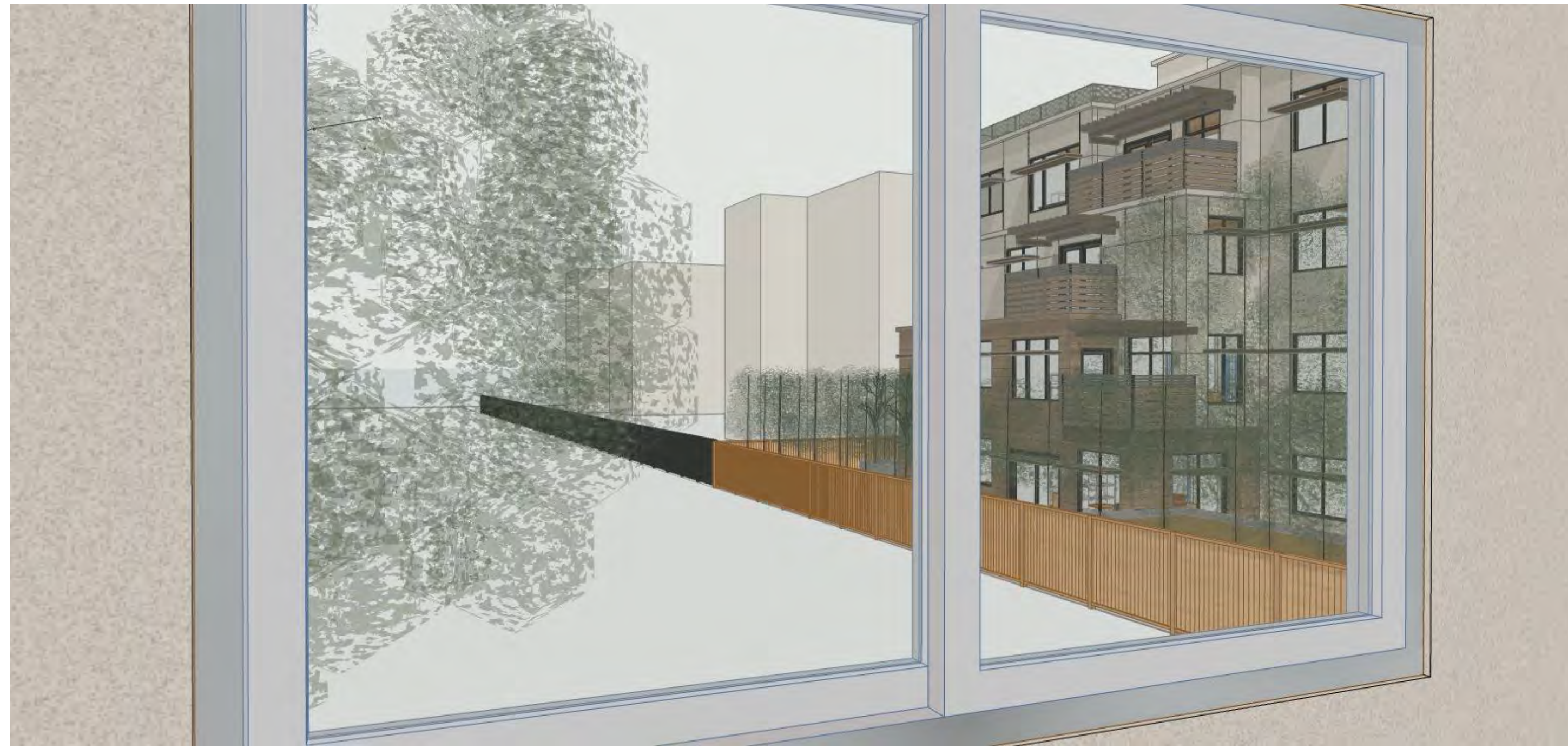
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1 Rich Place, View 1 from 2nd Fl.



2 Rich Place, View 2 from 2nd Fl.



3 Rich Place, View 3 from 2nd Fl.



4 Rich Place, View 4 from 1st Fl.

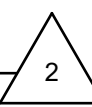
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SHEET TITLE
 RICH PLACE VIEWS

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A17

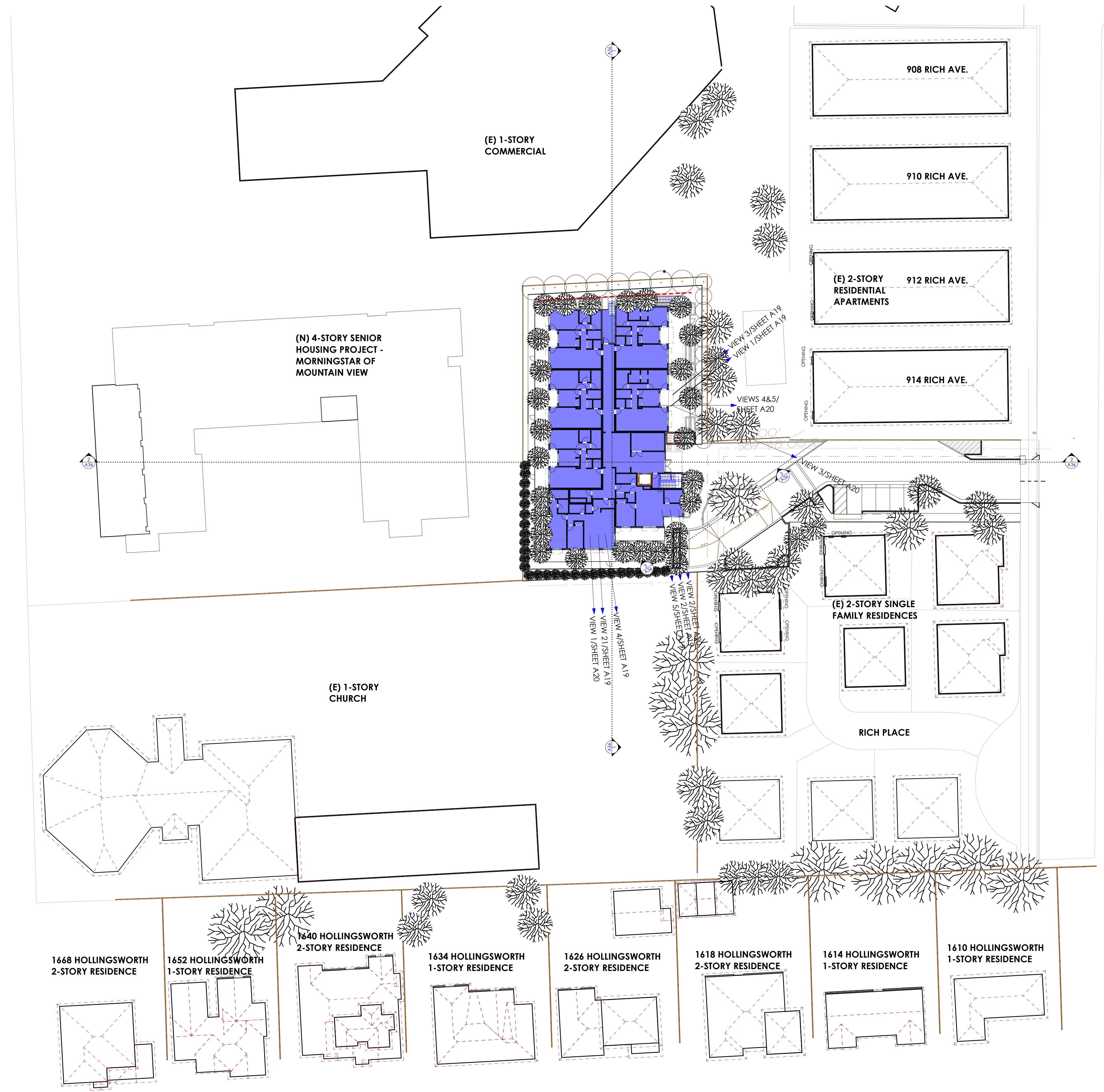


REVISIONS	DATE
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SHEET TITLE
 VIEWS FROM 918 RICH

SCALE
 AS SHOWN

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET



1 Unit 2 Patio



3 Unit 9



2 Unit 8



4 Unit 14



5 Unit 15



6 Unit 21

REVISIONS	DATE
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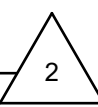
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SHEET TITLE
 RICH AVE VIEWS

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

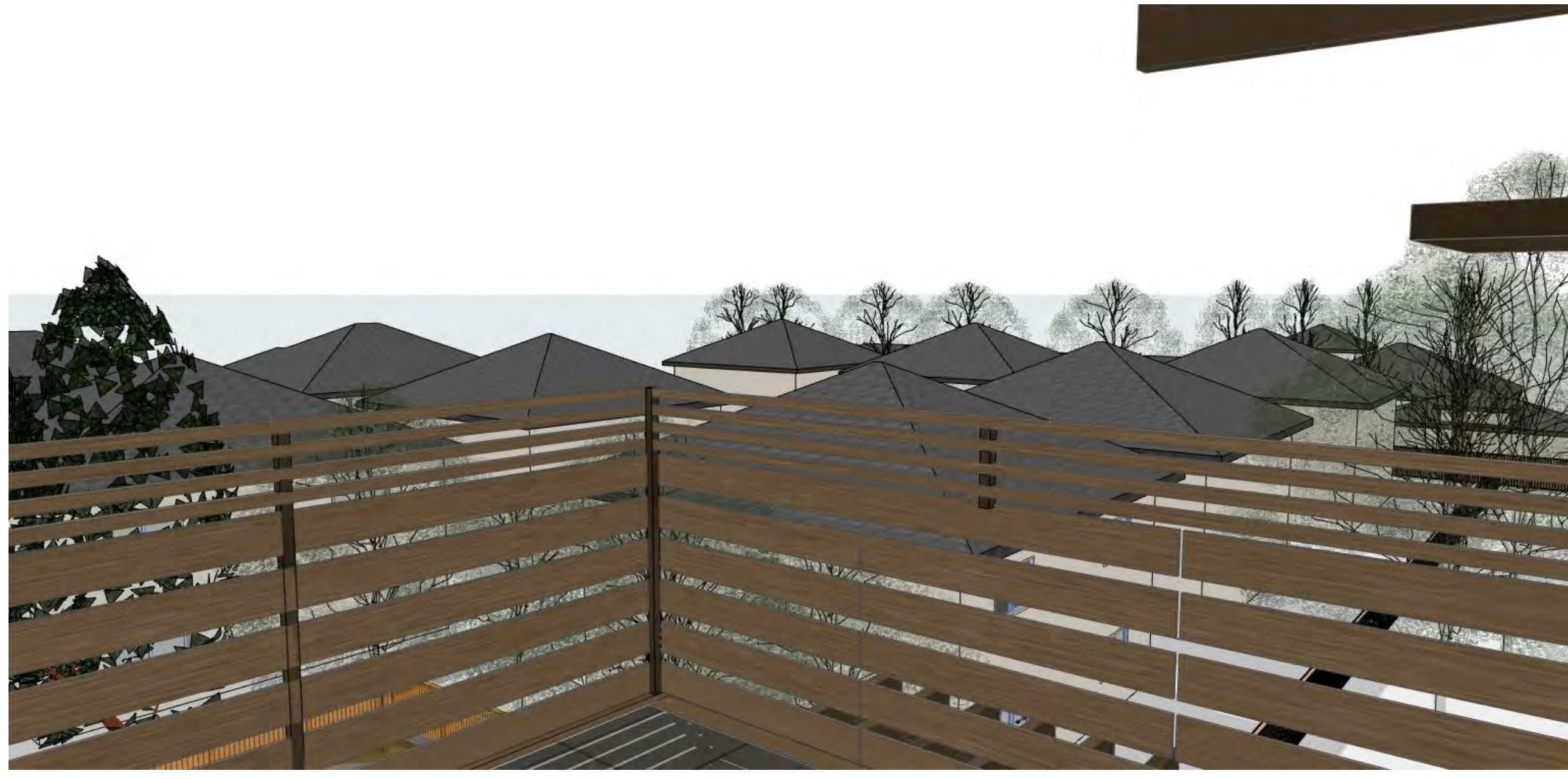
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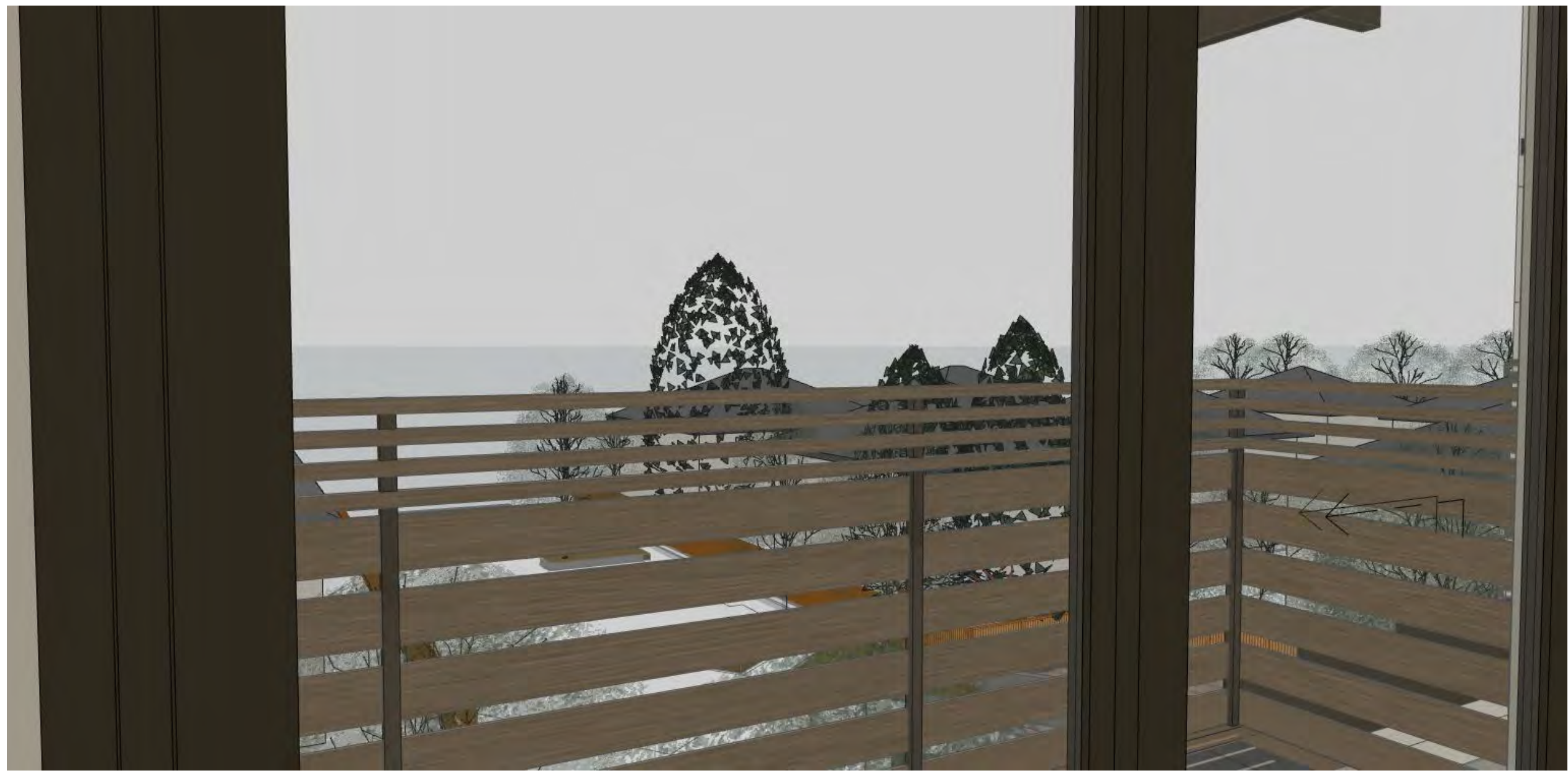
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Unit 28



2

Unit 22 Patio



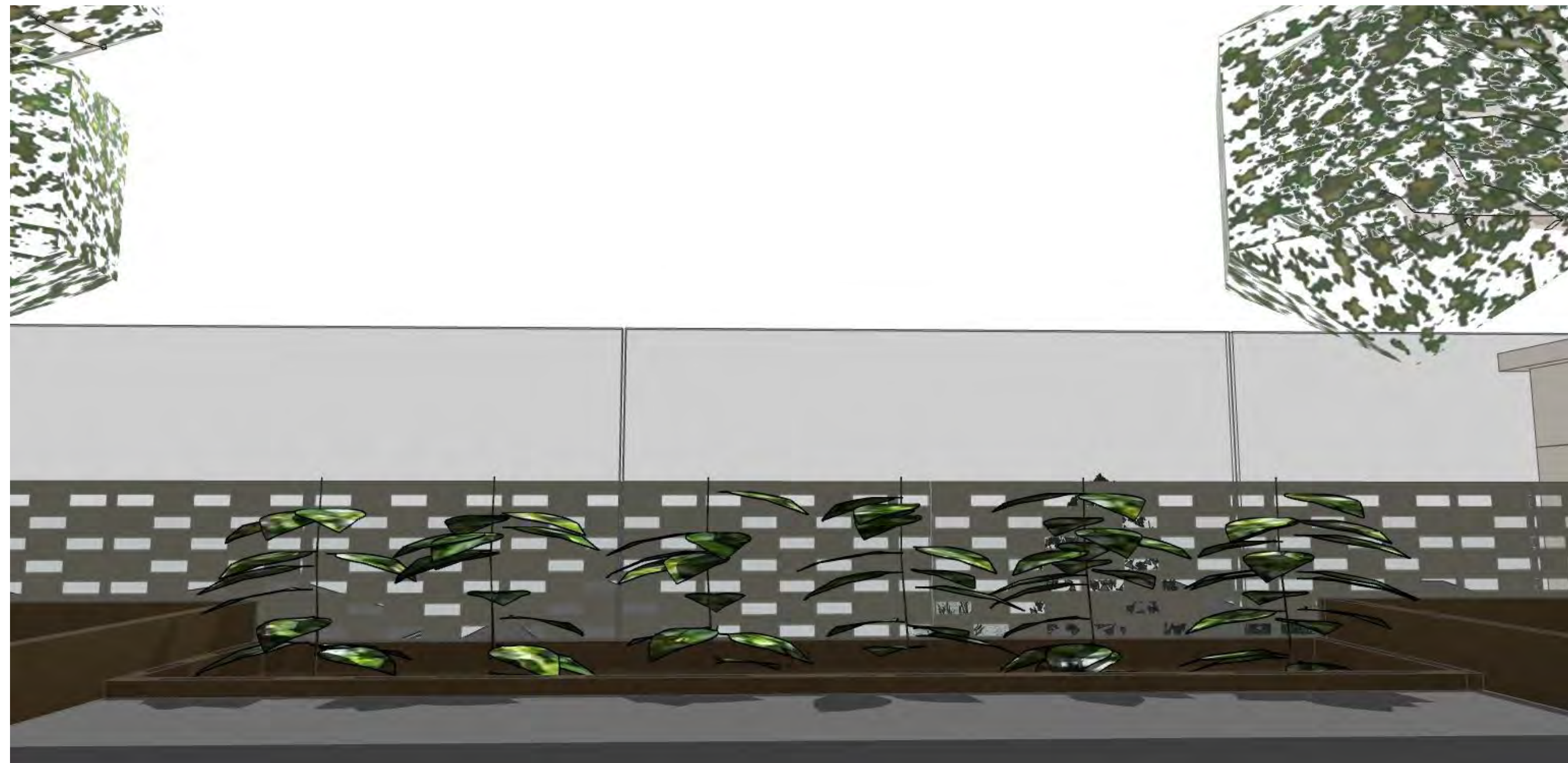
3

Unit 23 Patio



4

5th Floor Terrace



5

5th Floor Terrace Edge Planter

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
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SHEET TITLE
 VIEWS FROM 918 RICH

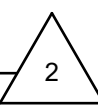
SCALE
 AS SHOWN
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JOB NO.
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DATE
 05/15/2023

SHEET

A20



REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
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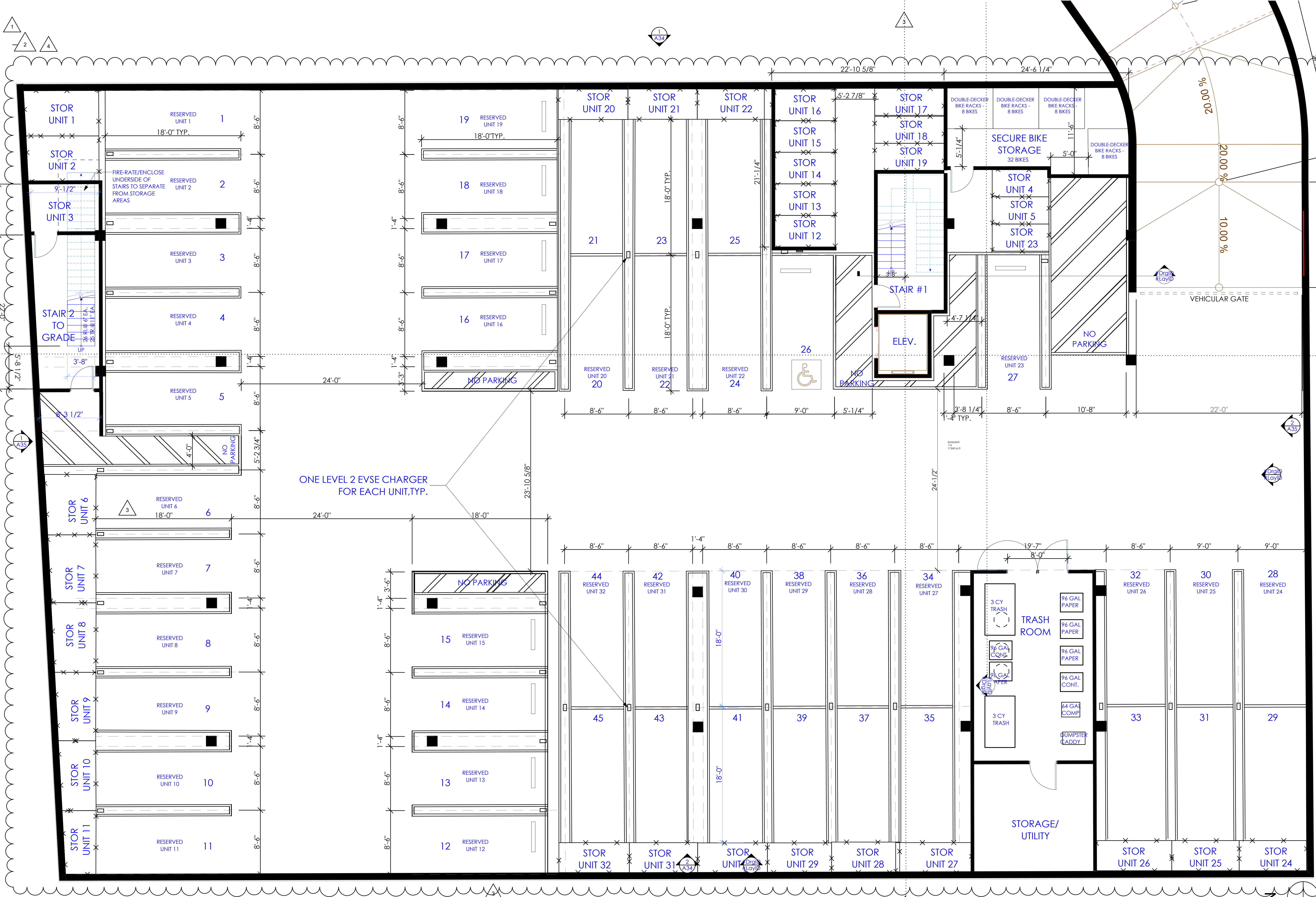
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SHEET TITLE
BASEMENT

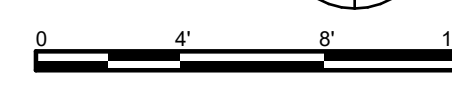
SCALE
 AS SHOWN
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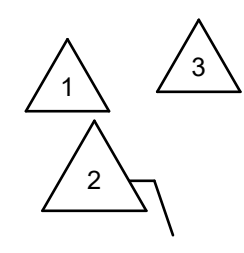
JOB NO.
 20103
 DATE
 08/07/2023
 SHEET

A23



1 PROPOSED BASEMENT
 SCALE: 3/16" = 1'-0"



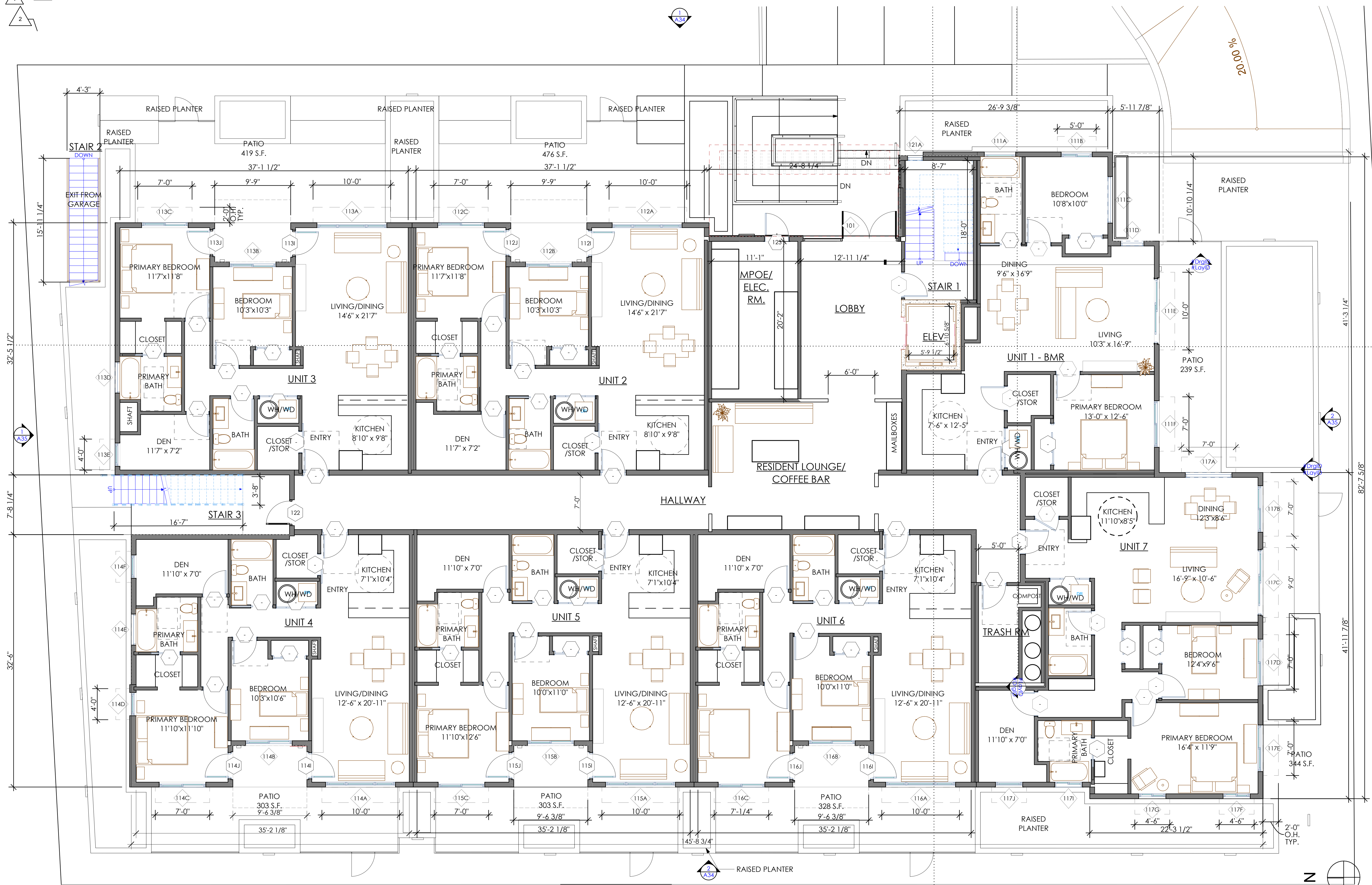


REVISIONS	DATE
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FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

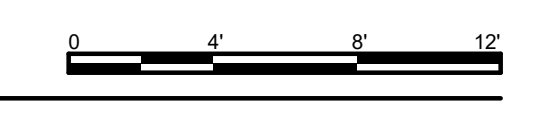
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1 PROPOSED 1ST FLOOR
 SCALE: 3/16" = 1'-0"



Rich Avenue Condominiums
918 Rich Avenue
Mountain View, CA 94040

SHEET TITLE
FIRST FLOOR

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

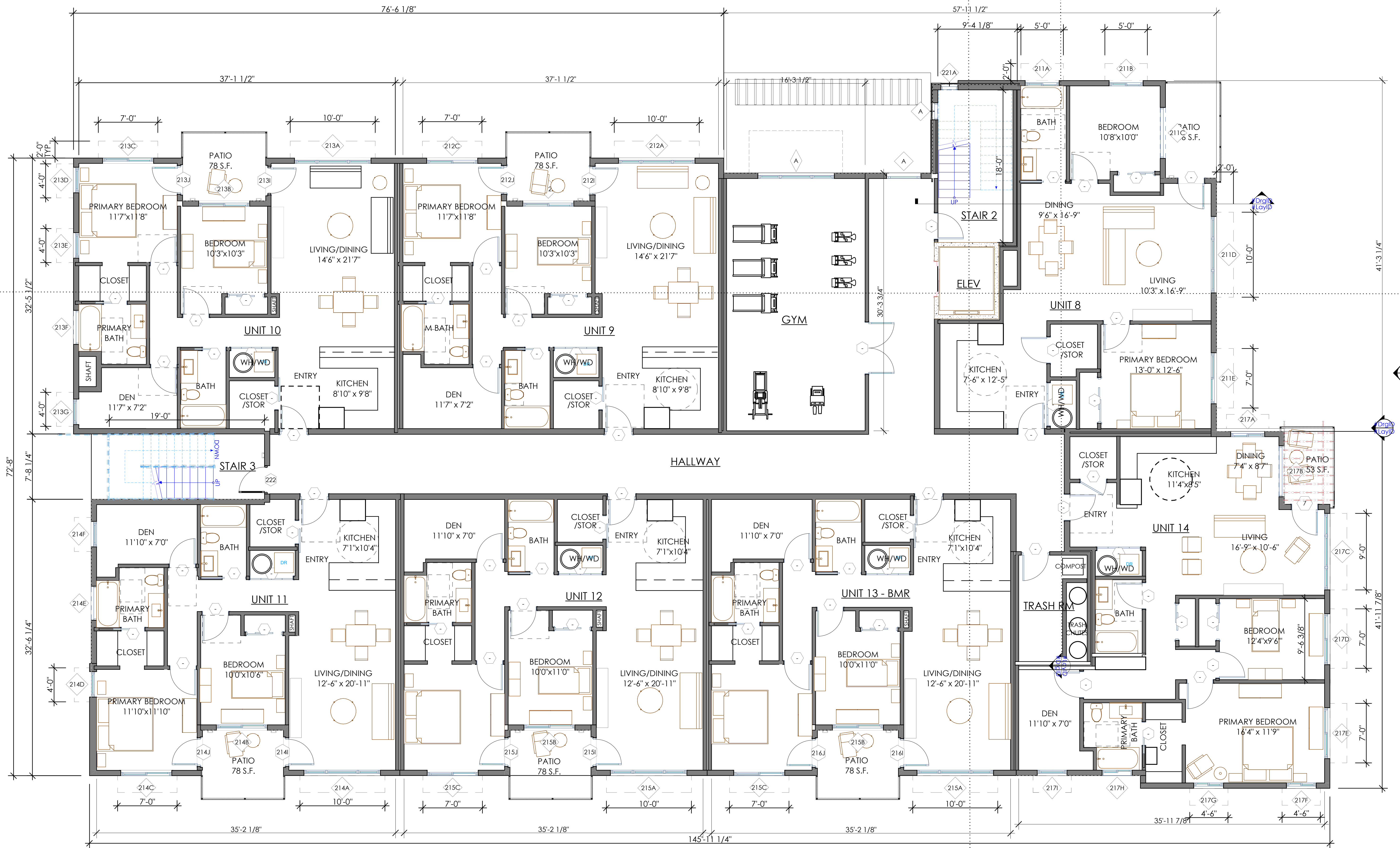
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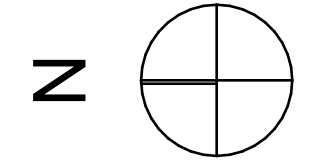
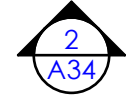
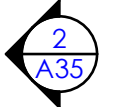
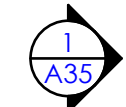
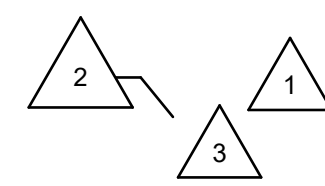
REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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REVISIONS	DATE
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FORMAL SUBMITTAL #5	05/15/2023

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1 PROPOSED 3RD FLOOR
 SCALE: 3/16" = 1'-0"



Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
 THIRD FLOOR

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A26

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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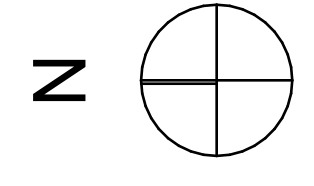
Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
 FOURTH FLOOR

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A27



1
2
3

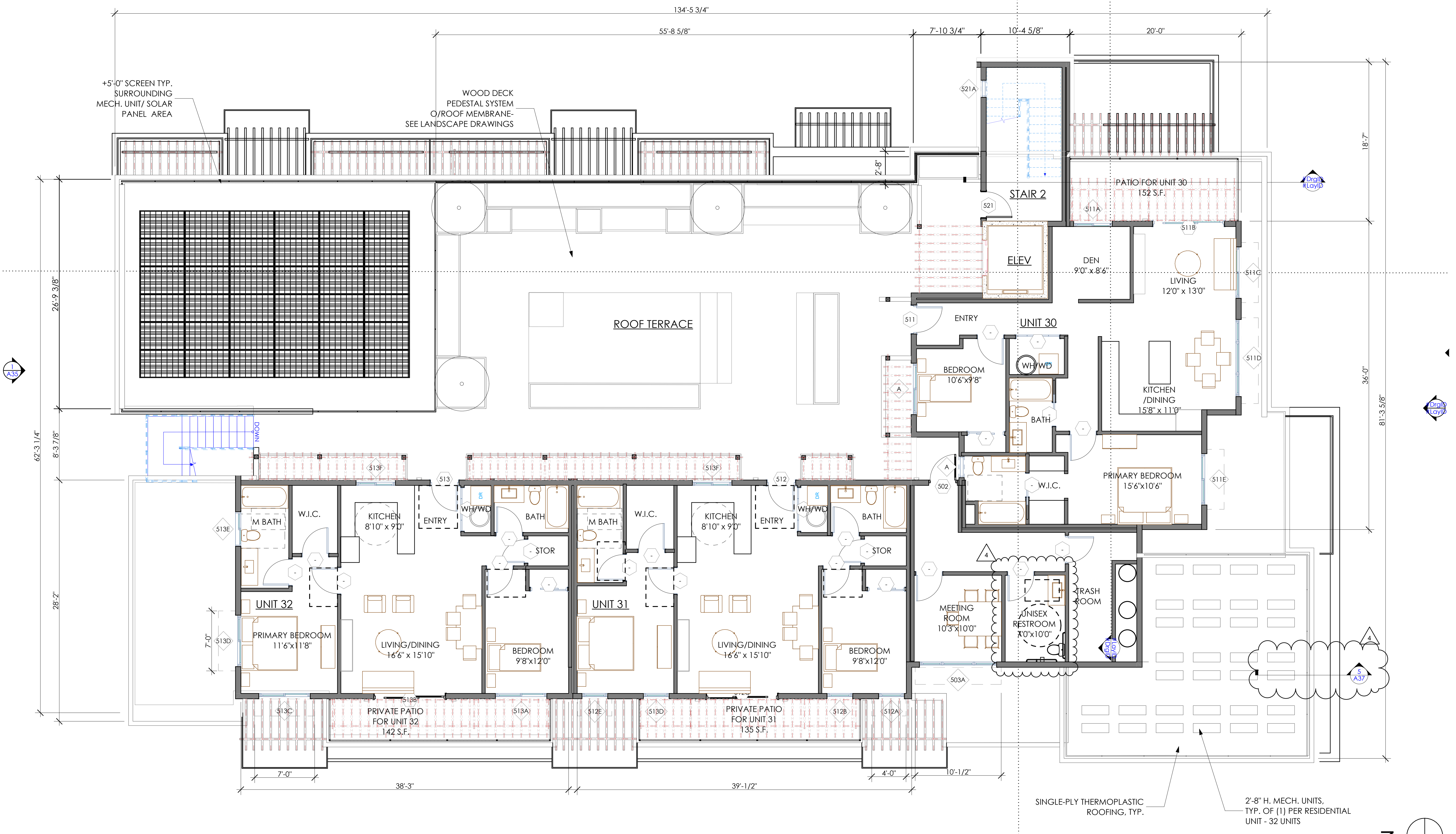
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A34

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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1 PROPOSED 5TH FLOOR
 SCALE: 3/16" = 1'-0"

Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
 FIFTH FLOOR

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A28

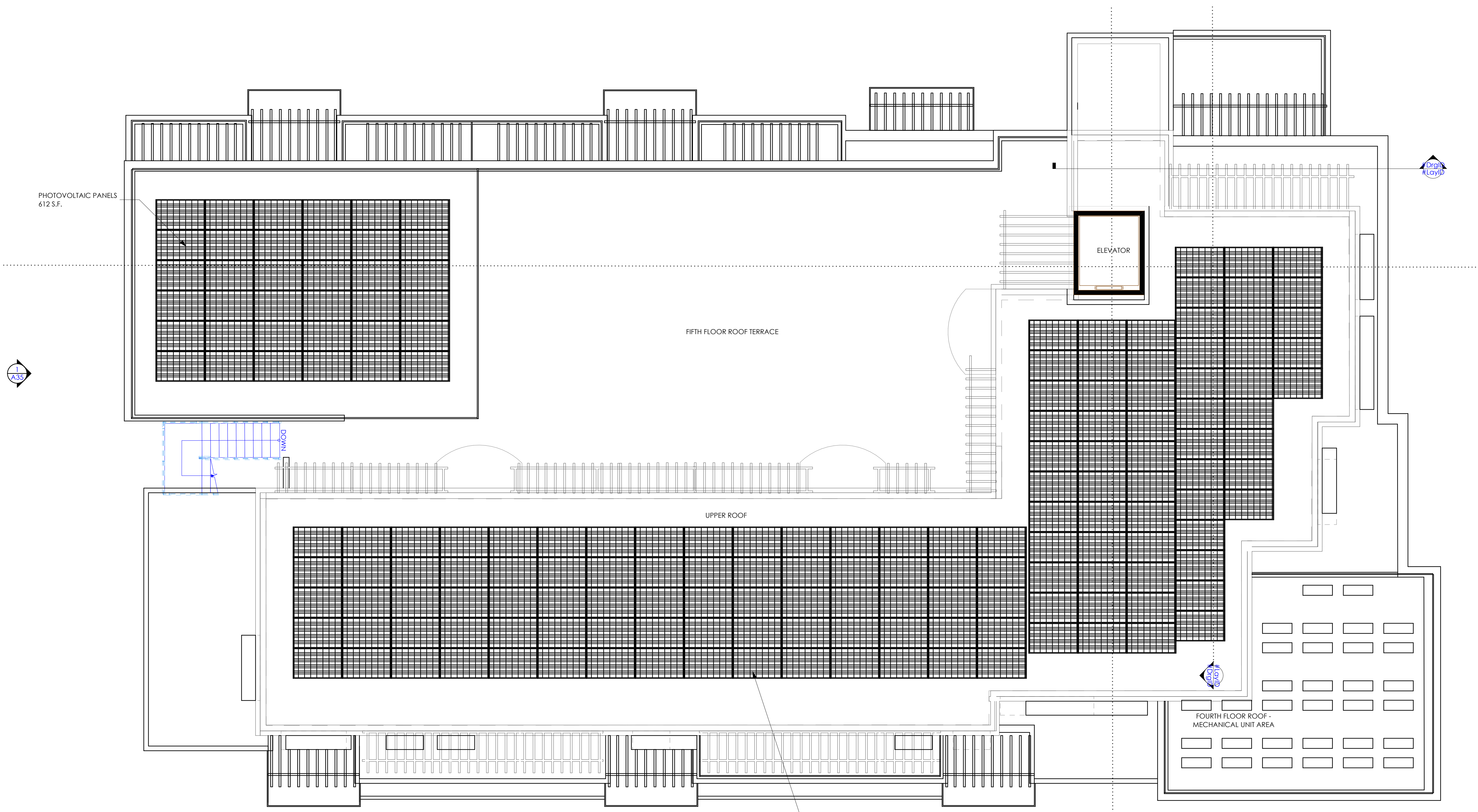
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REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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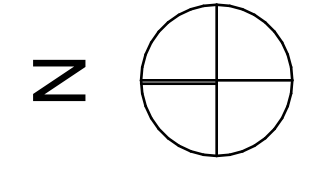
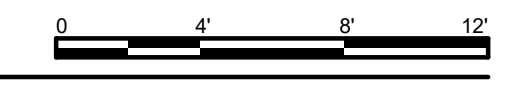
4633 Old Ironsides Dr., Ste. 130
 Santa Clara, CA 95054
 650.965.3500
 www.stoeckerandnorthway.com



PHOTOVOLTAIC PANELS
2,293 S.F.

ROOF AREA (EXCLUSIVE OF TERRACES): 5,717 S.F.
 50% = 2,868.5 S.F. (REQUIRED AREA OF PV PANELS)
 TOTAL PROPOSED PHOTOVOLTAIC PANEL AREA: 2,913 S.F.

1 PROPOSED ROOF
 SCALE: 3/16" = 1'-0"



Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
 ROOF PLAN

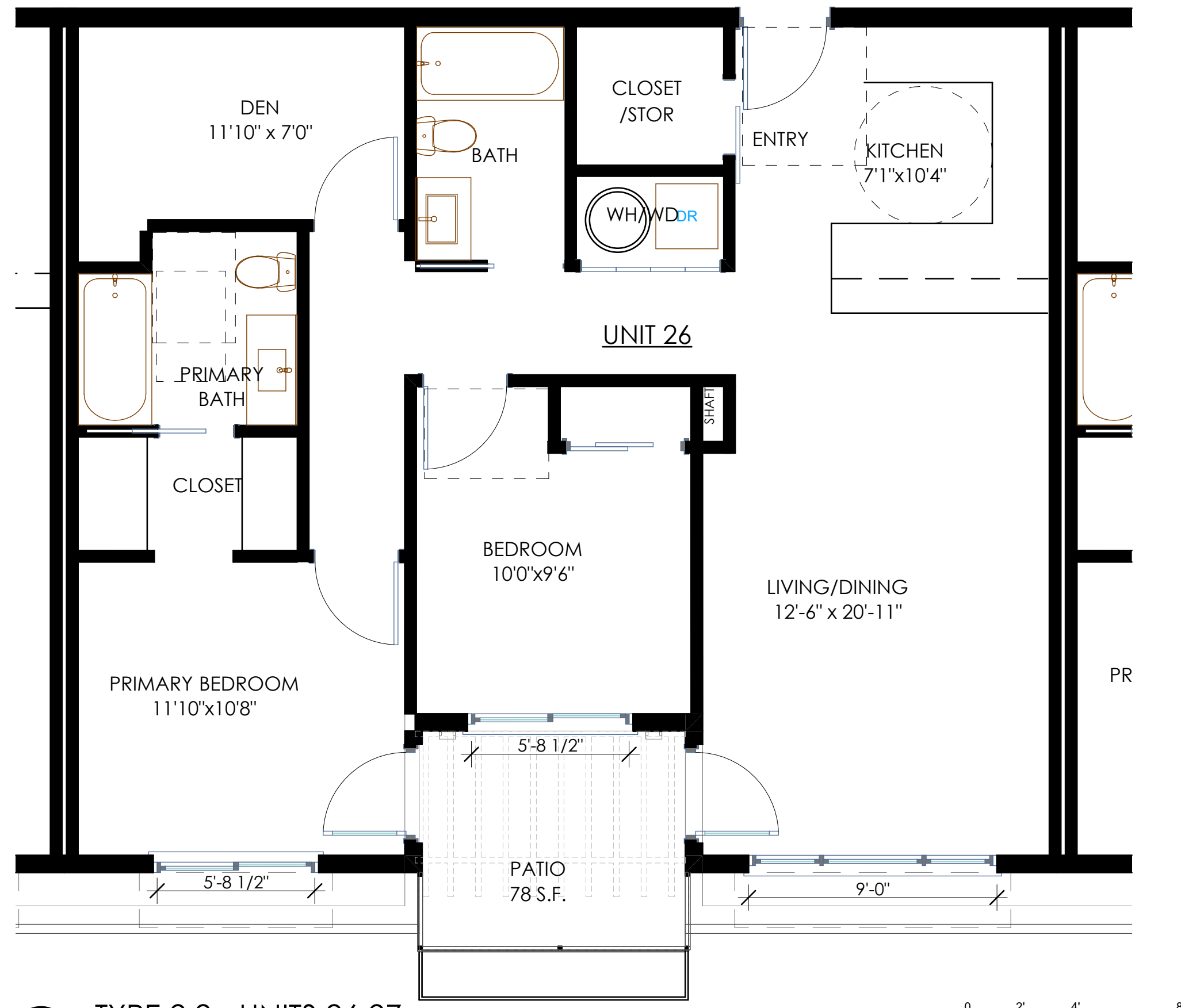
SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103

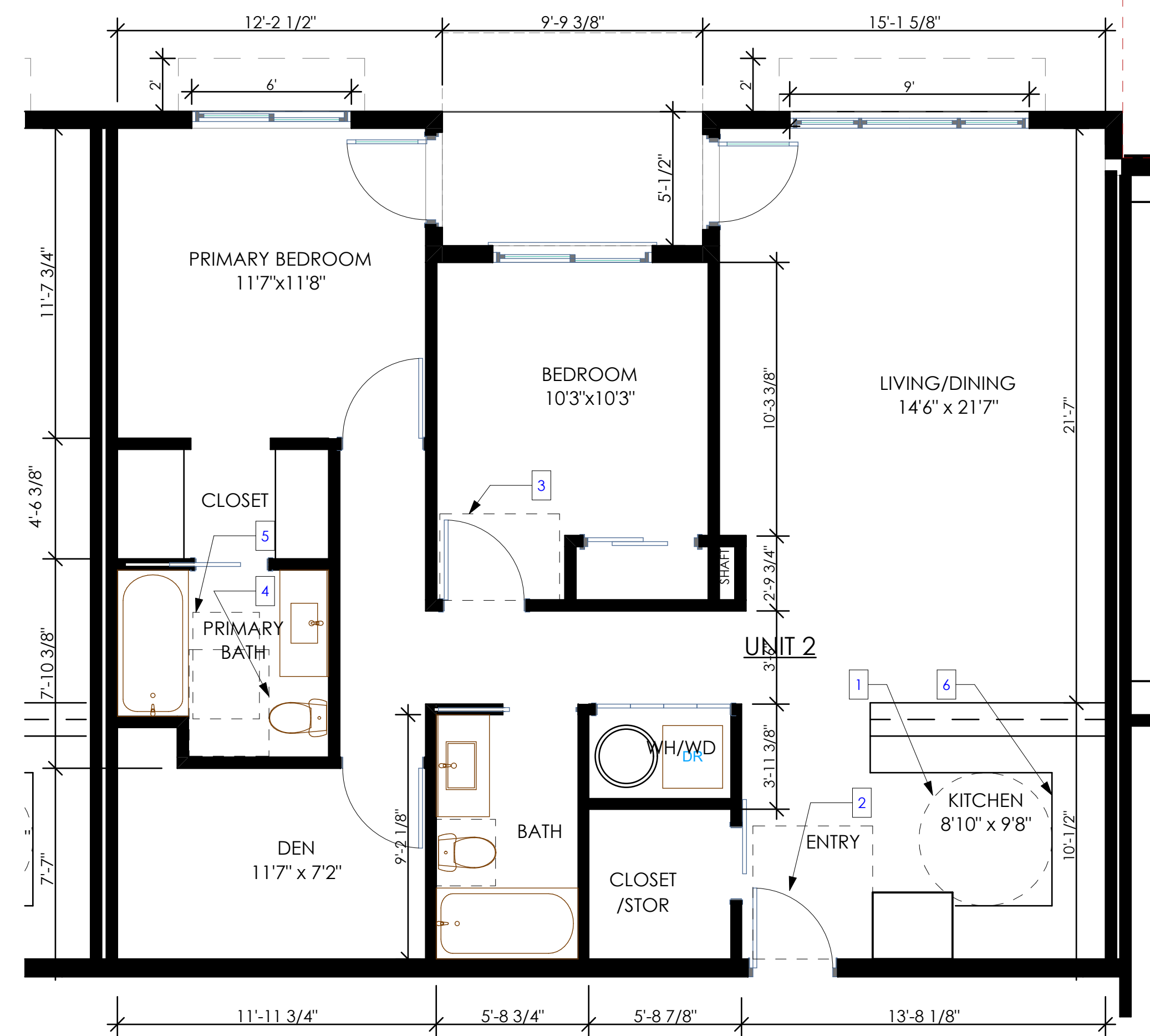
DATE
 05/15/2023

SHEET

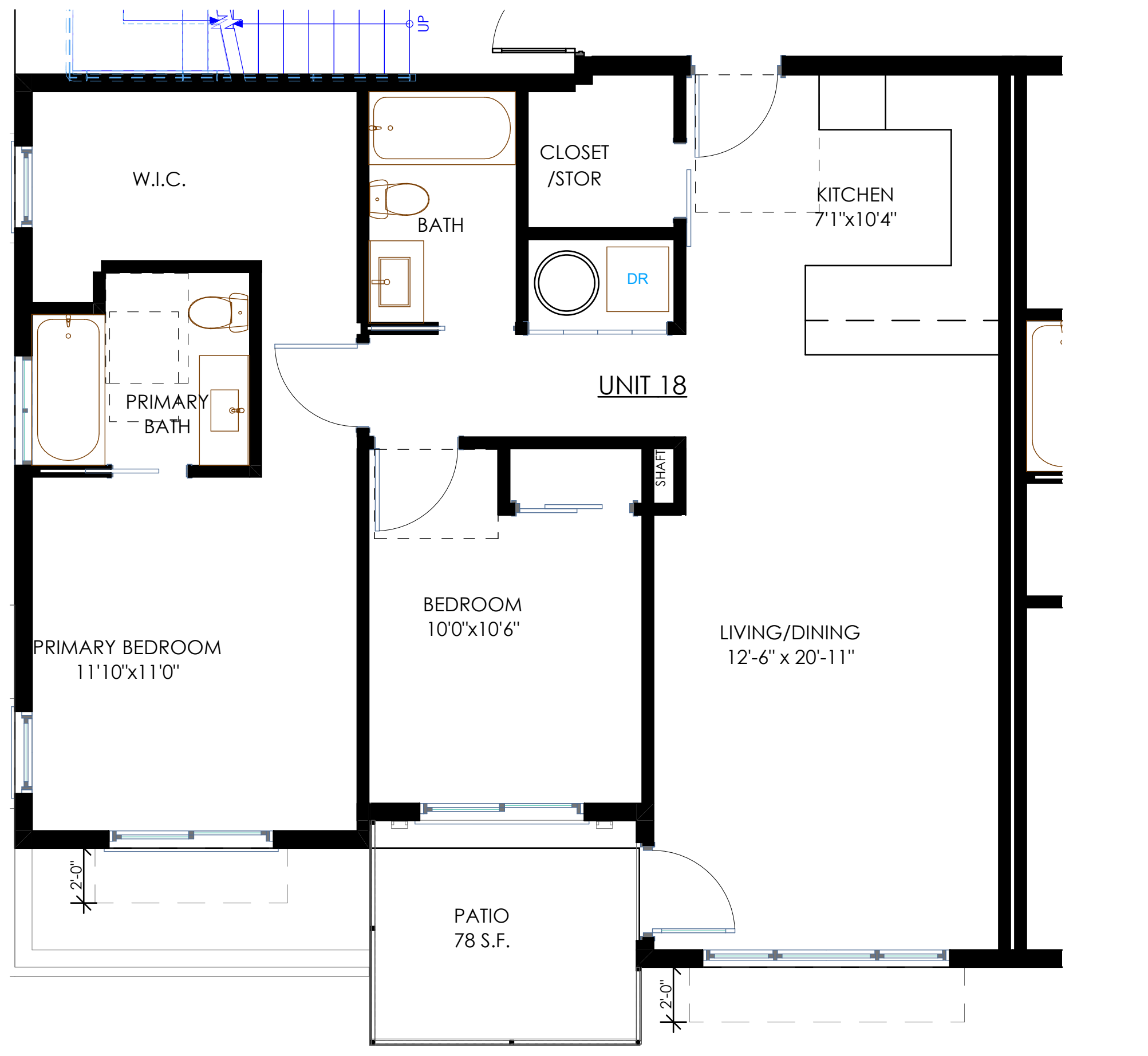
A29



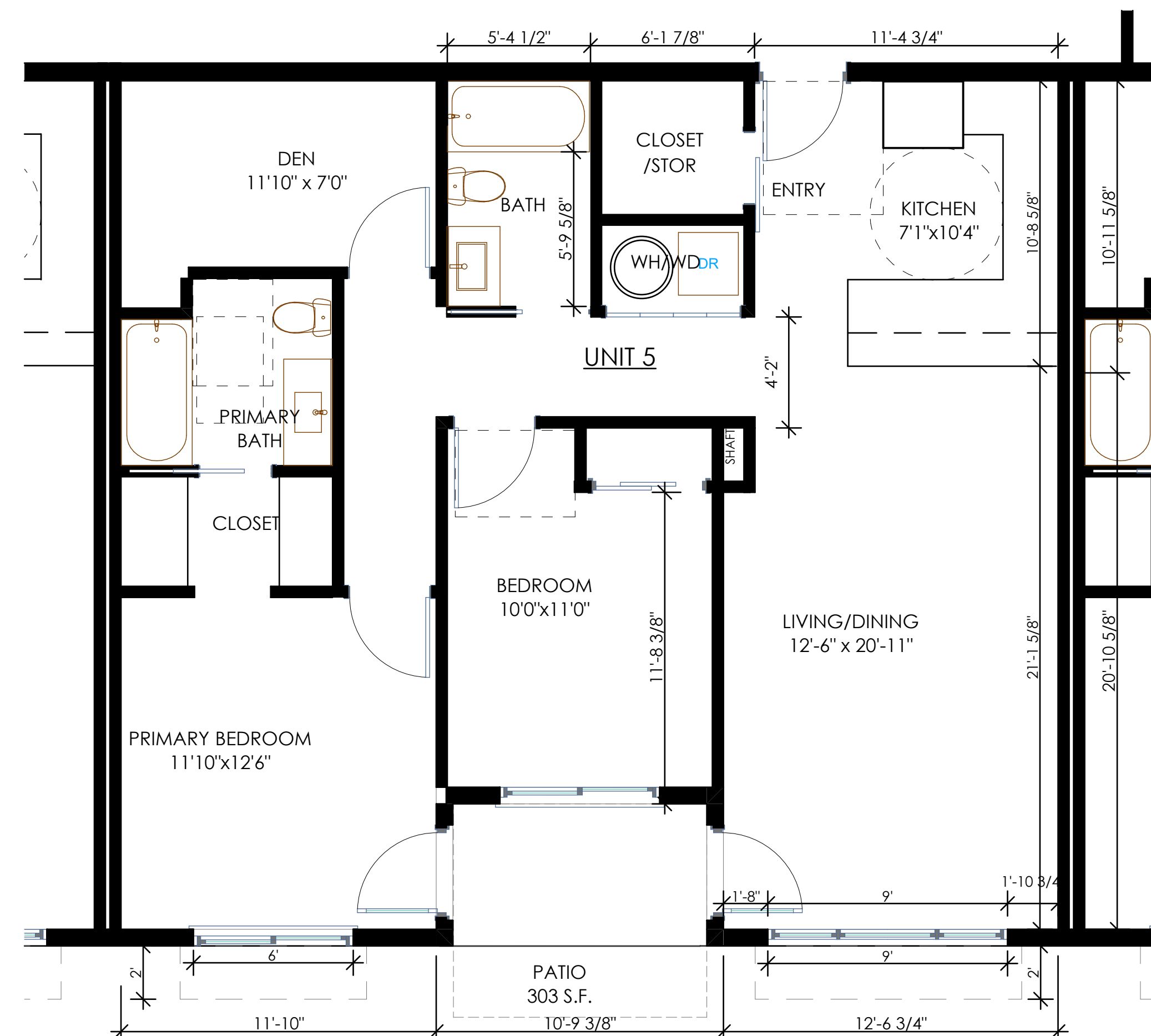
③ TYPE 2.2 - UNITS 26 27
SCALE: 1/4" = 1'-0"



① TYPE 1 - UNITS 2 3 9 10 16 17
SCALE: 1/4" = 1'-0"



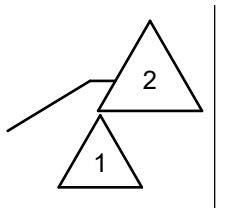
④ TYPE 3 - UNITS 18 25
SCALE: 1/4" = 1'-0"



② TYPE 2.1 - UNITS 4 5 6 11 12 13 19 20
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES

1. 60" DIAMETER CLEARANCE.
2. DWELLING UNIT PRIMARY ENTRY DOOR CLEARANCE PER CBC SECTION 1132A.5.1 & 2.
3. DWELLING UNIT INTERIOR DOOR CLEARANCE PER CBC SECTION 1132A.5.1 & 2.
4. DWELLING UNIT WATER CLOSET CLEARANCE PER CBC SECTION 1134A.7.
5. DWELLING UNIT BATHTUB CLEARANCE PER CBC SECTION 1134A.5.
6. DWELLING UNIT 15" WIDE BREADBOARD x2 AT KITCHEN PER CBC 1133A.4.1.



REVISIONS	DATE
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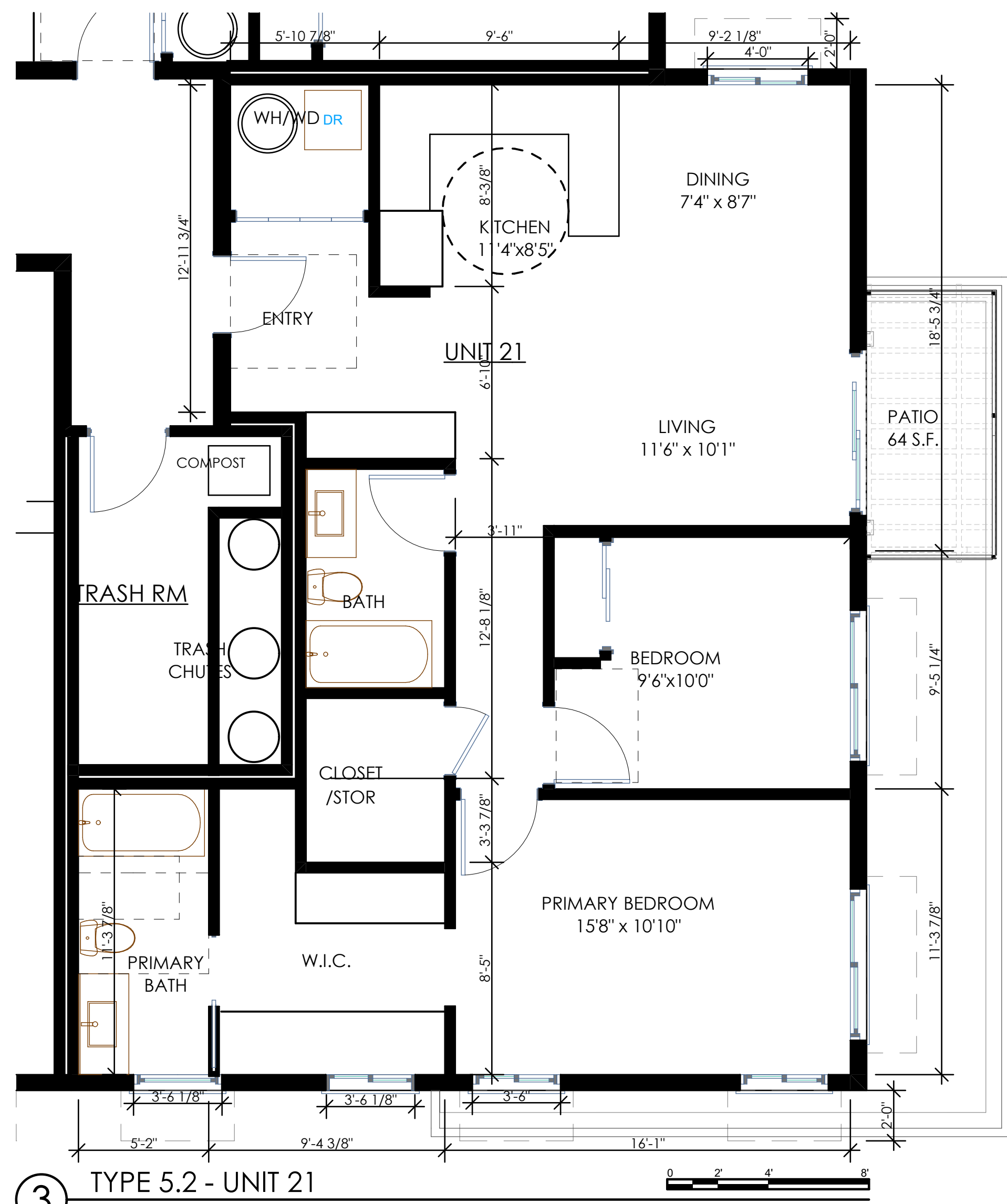
Rich Avenue Condominiums
918 Rich Avenue
Mountain View, CA 94040

SHEET TITLE
UNIT FLOOR PLANS
TYPES 1-3

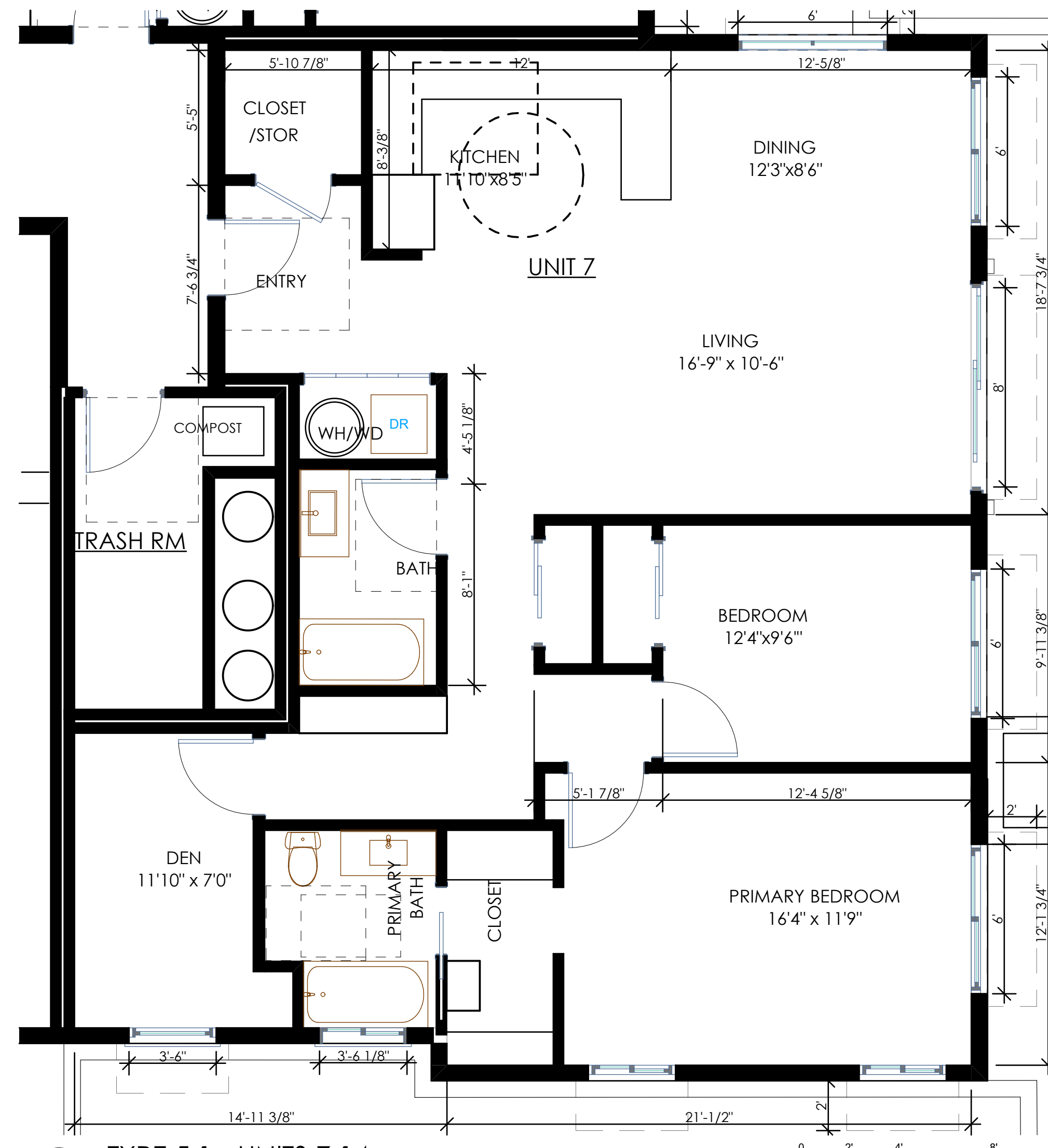
SCALE
AS SHOWN
DRAWN BY

JOB NO.
20103
DATE
05/15/2023
SHEET

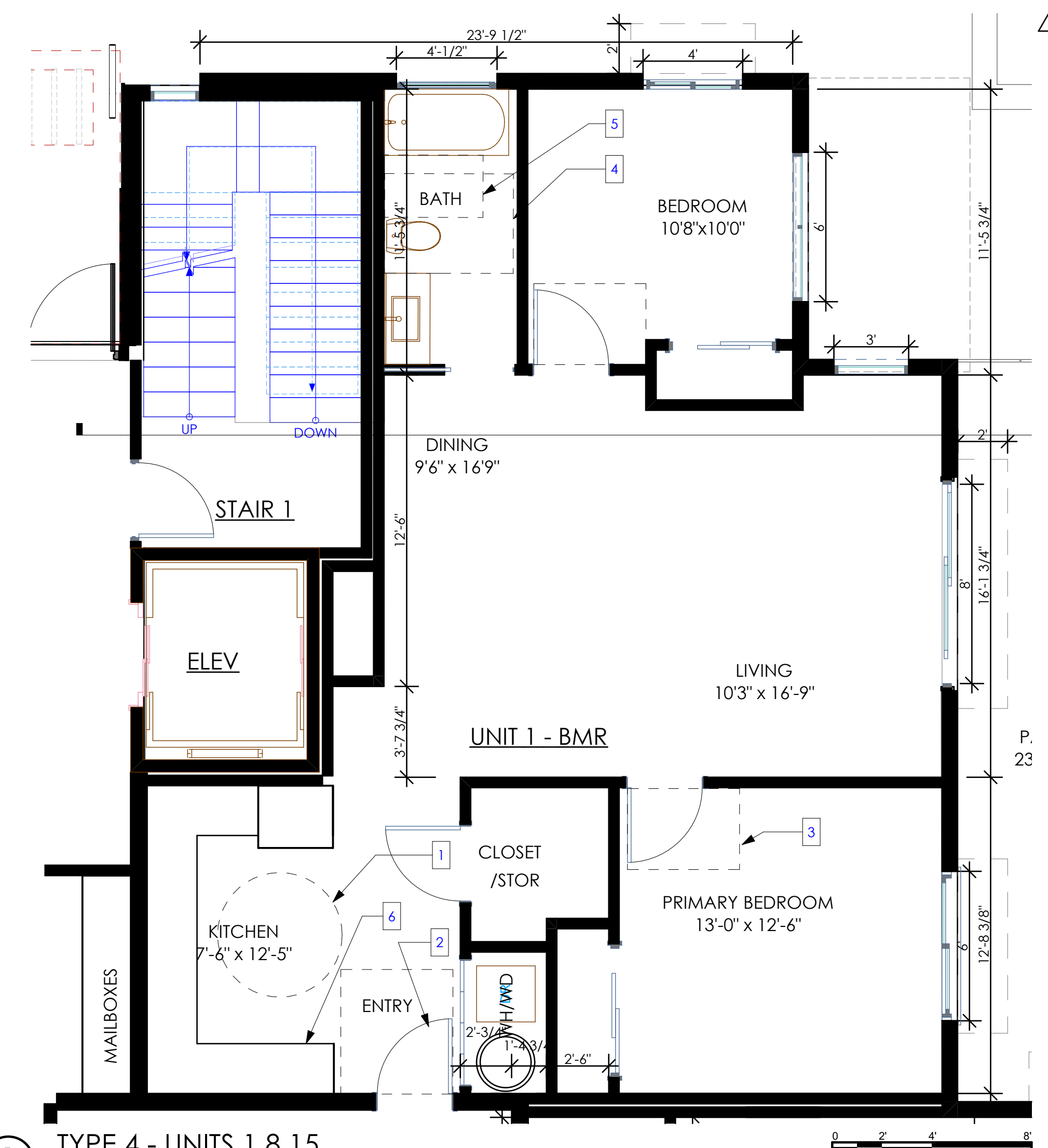
A30



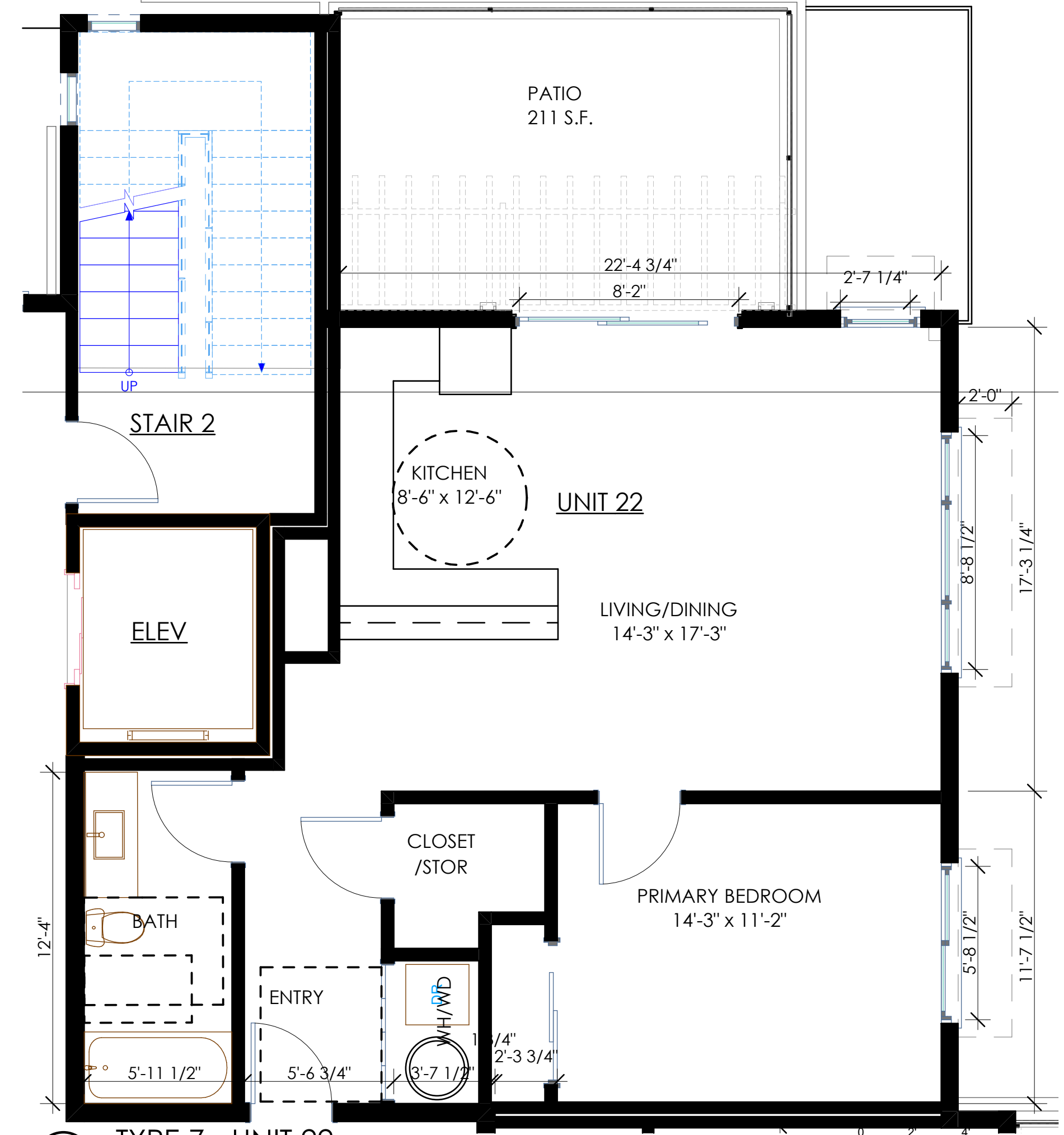
③ TYPE 5.2 - UNIT 21
SCALE: 1/4" = 1'-0"



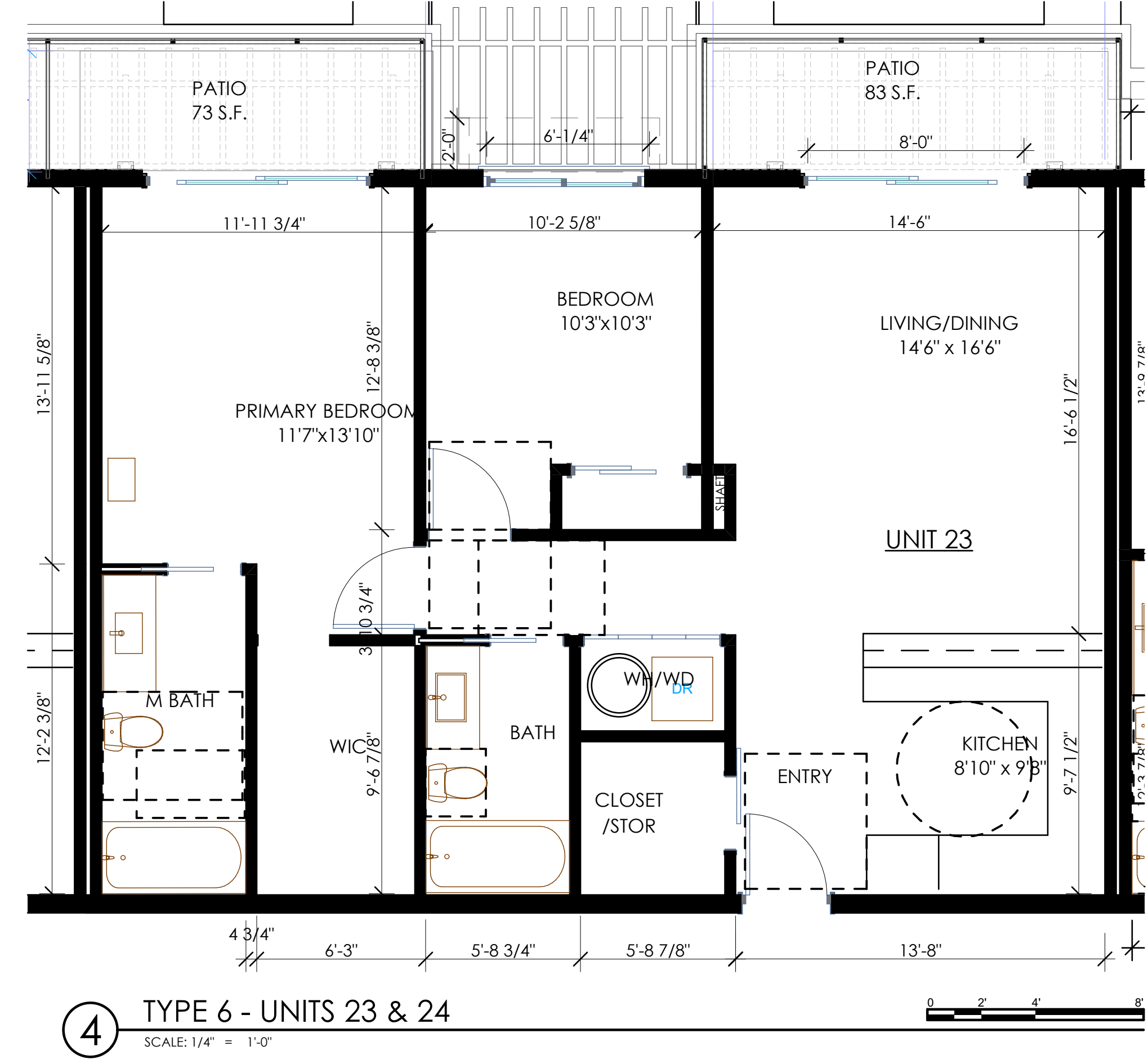
② TYPE 5.1 - UNITS 7 14
SCALE: 1/4" = 1'-0"



① TYPE 4 - UNITS 1 8 15
SCALE: 1/4" = 1'-0"



⑤ TYPE 7 - UNIT 22
SCALE: 1/4" = 1'-0"



④ TYPE 6 - UNITS 23 & 24
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES

- 60" DIAMETER CLEARANCE.
- DWELLING UNIT PRIMARY ENTRY DOOR CLEARANCE PER CBC SECTION 1132A.5.1 & 2.
- DWELLING UNIT INTERIOR DOOR CLEARANCE PER CBC SECTION 1132A.5.1 & 2.
- DWELLING UNIT WATER CLOSET CLEARANCE PER CBC SECTION 1134A.7.
- DWELLING UNIT BATHTUB CLEARANCE PER CBC SECTION 1134A.5.
- DWELLING UNIT 15" WIDE BREADBOARD x2 AT KITCHEN PER CBC 1133A.4.1.

REVISIONS	DATE
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918 Rich Avenue
Mountain View, CA 94040

SHEET TITLE
UNIT FLOOR PLANS
TYPES 4-7

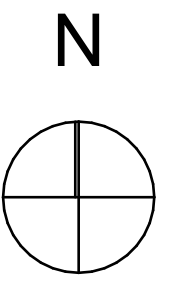
SCALE
AS SHOWN

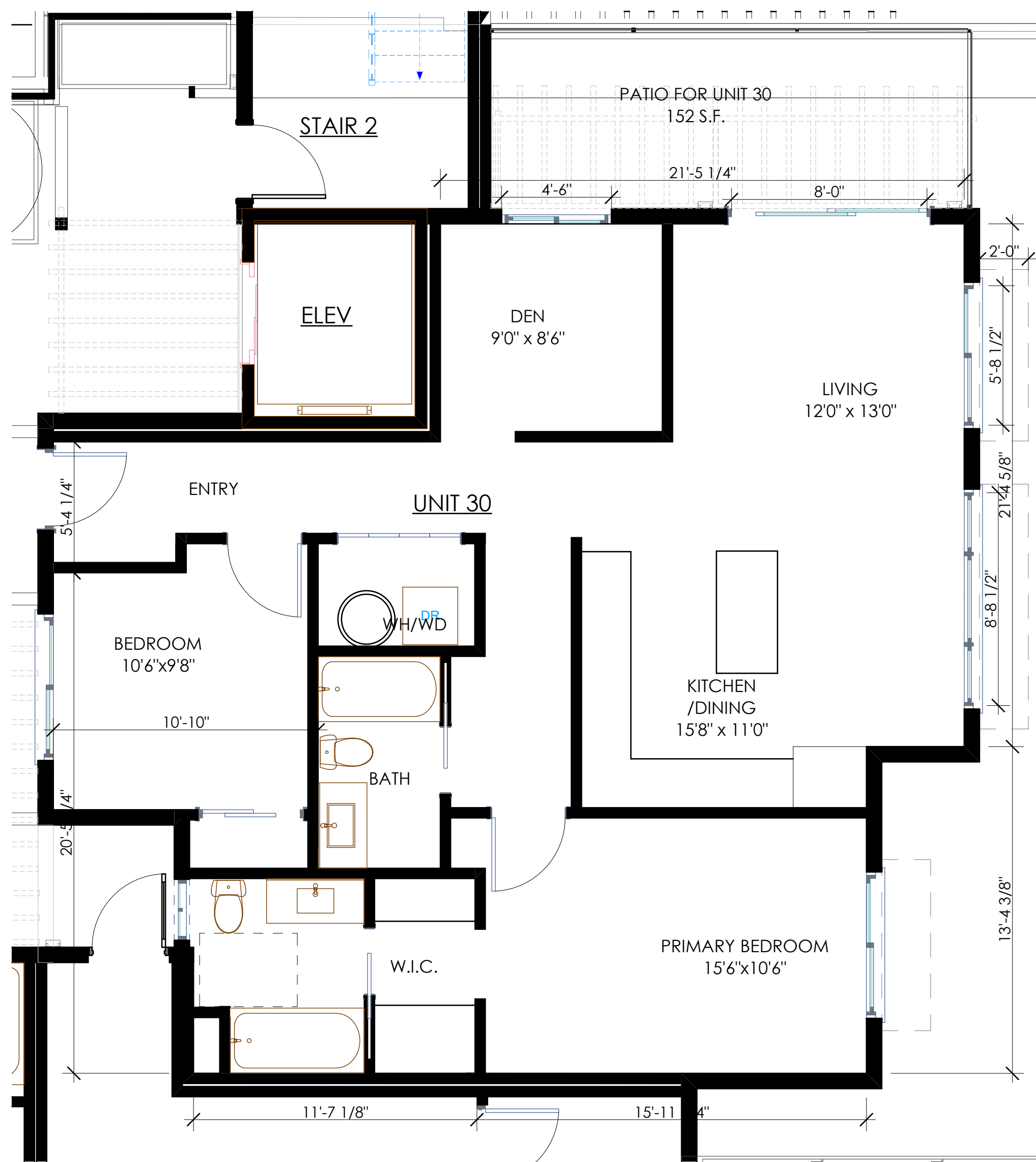
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20103

DATE
05/15/2023

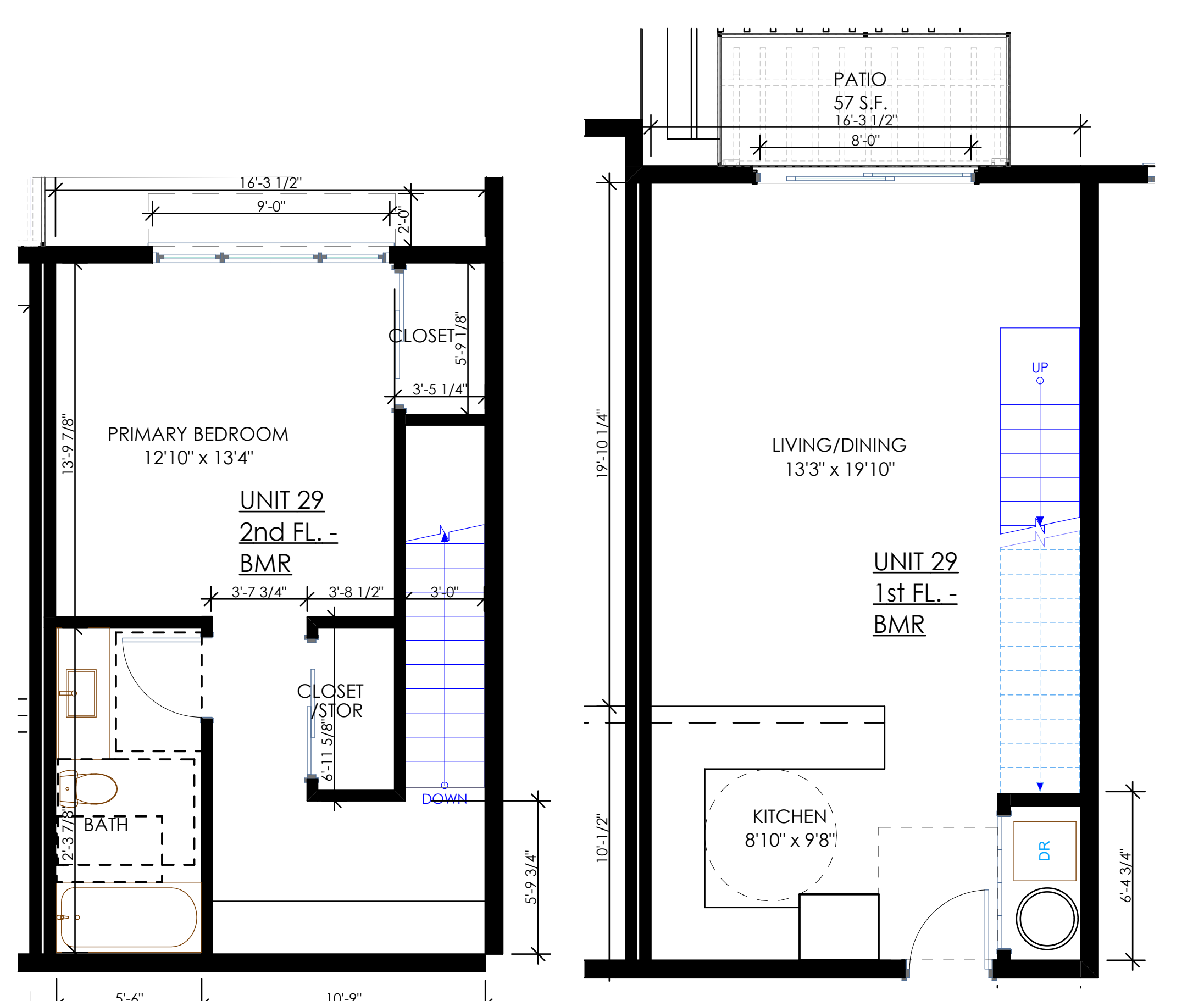
SHEET

A31



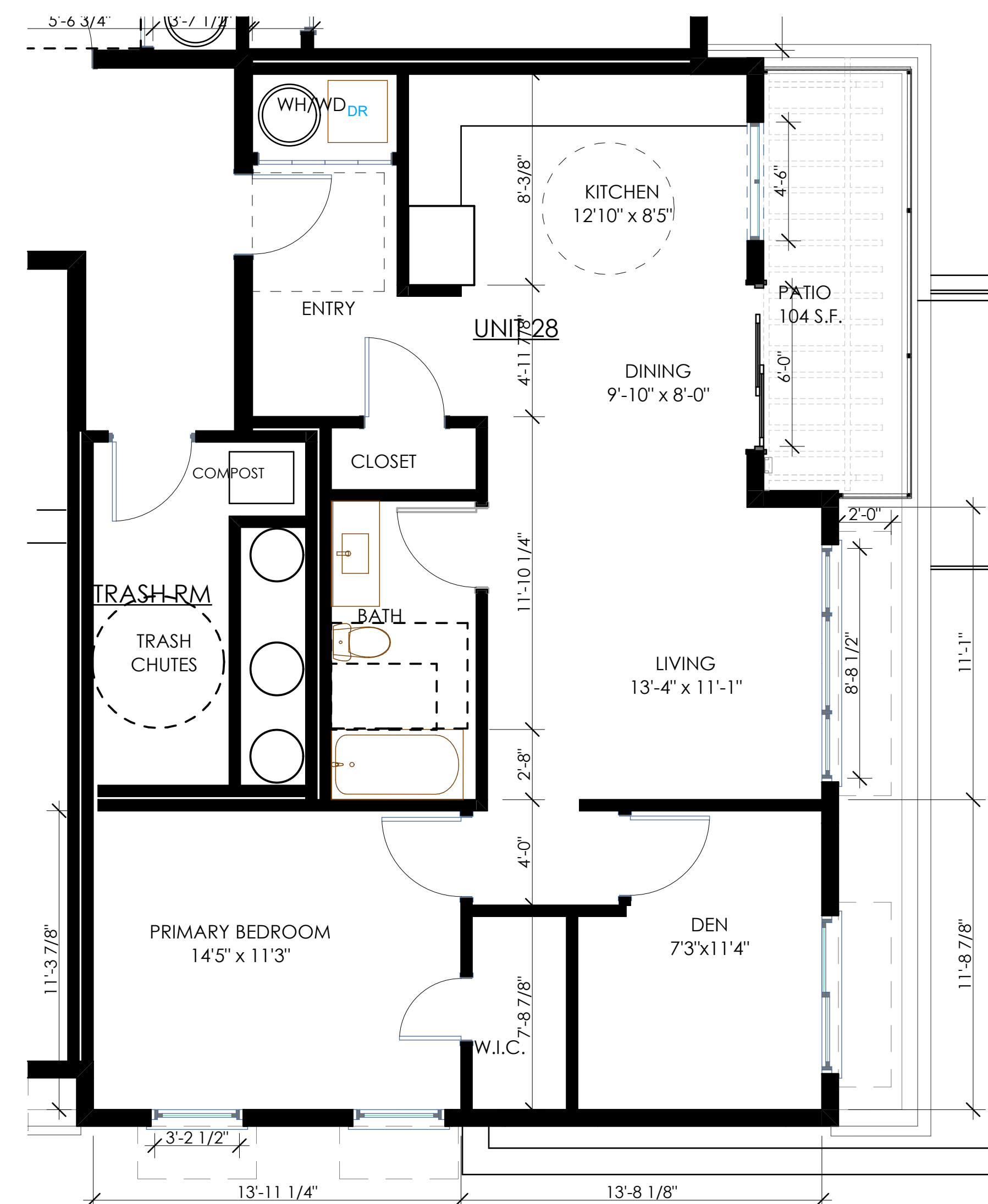


4 TYPE 10 - UNIT 30
SCALE: 1/4" = 1'-0"

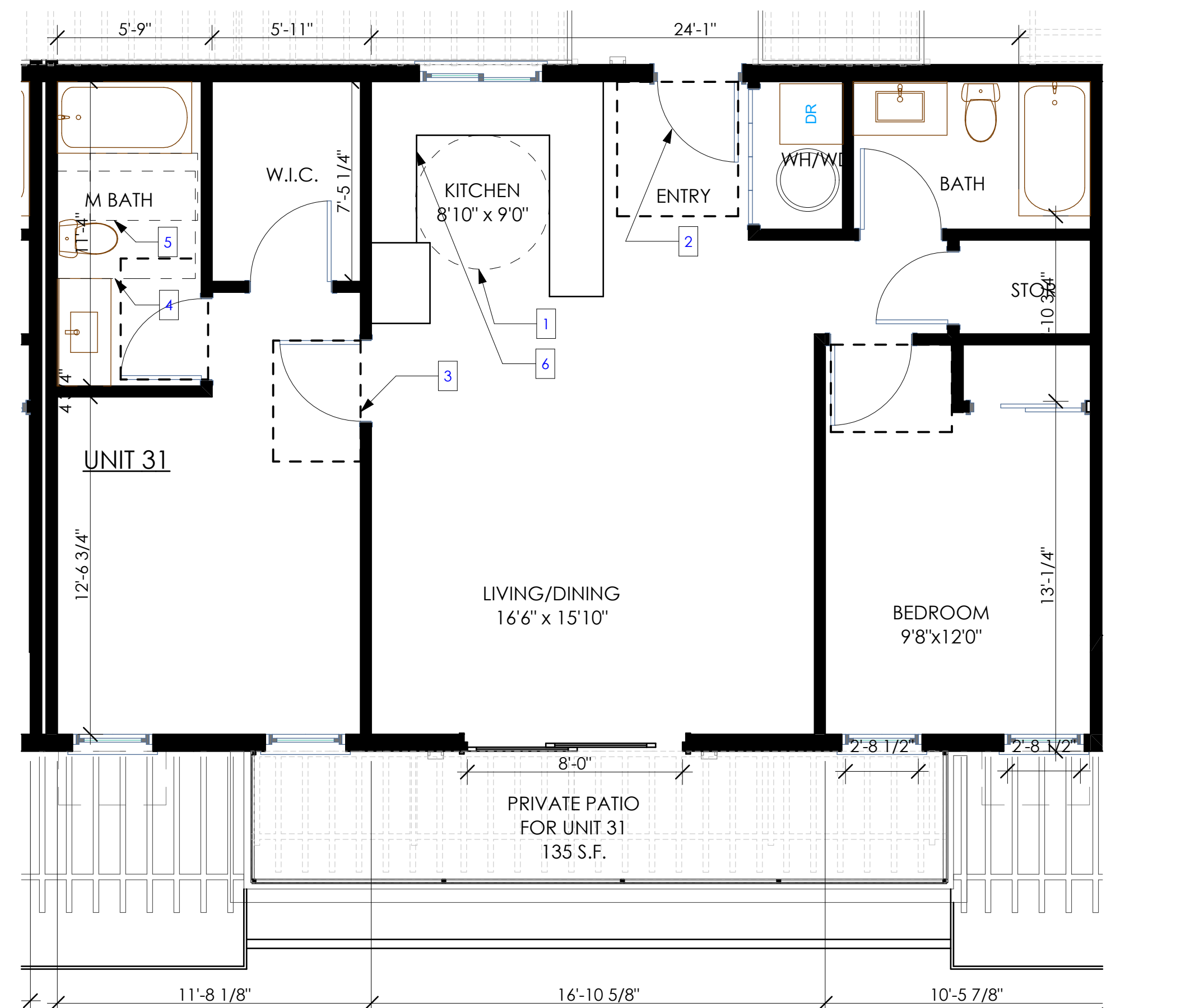


3 TYPE 9 - UNIT 29 2ND LEVEL
SCALE: 1/4" = 1'-0"

2 TYPE 9 - UNIT 29 1ST LEVEL
SCALE: 1/4" = 1'-0"



1 TYPE 8 - UNIT 28
SCALE: 1/4" = 1'-0"



5 TYPE 11 - UNITS 31 32
SCALE: 1/4" = 1'-0"

REVISIONS	DATE
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FLOOR PLAN KEY NOTES

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- DWELLING UNIT INTERIOR DOOR CLEARANCE PER CBC SECTION 1132A.5.1 & 2.
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- DWELLING UNIT BATHTUB CLEARANCE PER CBC SECTION 1134A.5.
- DWELLING UNIT 15" WIDE BREADBOARD x2 AT KITCHEN PER CBC 1133A.4.1.

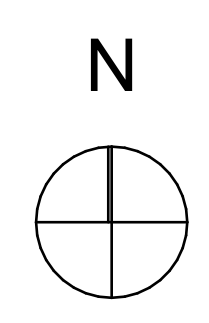
Rich Avenue Condominiums
918 Rich Avenue
Mountain View, CA 94040

SHEET TITLE
UNIT FLOOR PLANS
TYPES 8-11

SCALE
AS SHOWN
DRAWN BY

JOB NO.
20103
DATE
05/15/2023
SHEET

A32



REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
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1 PROPOSED EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"

Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
 EAST WEST ELEVATIONS

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A34

REVISIONS	DATE
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EXTERIOR CEMENT PLASTER

FINE SAND FLOAT FINISHPAINT COLORS:
 SHERWIN WILLIAMS "ANALYTICAL GRAY" SW7051 (1ST THROUGH 4TH FLOORS)
 SHERWIN WILLIAMS "EGRET WHITE" SW7570 (5TH FLOOR, RECESSED WALLS IN SAME PLANE ON LOWER FLOORS & STAIRWELL ENCLOSURE)

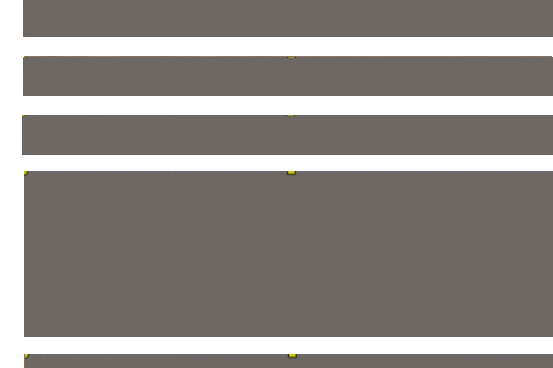


SW 7570
Egret White
 Interior / Exterior
 Location Number: 255-C4

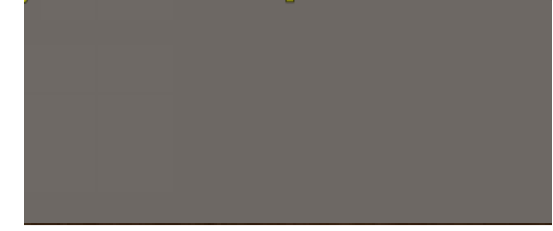
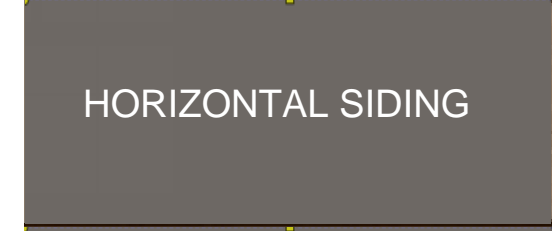
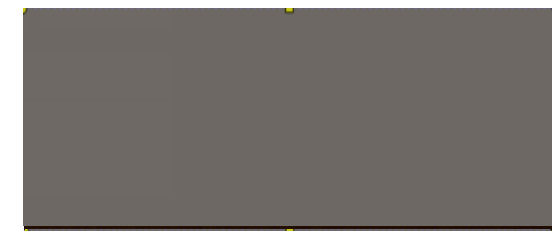
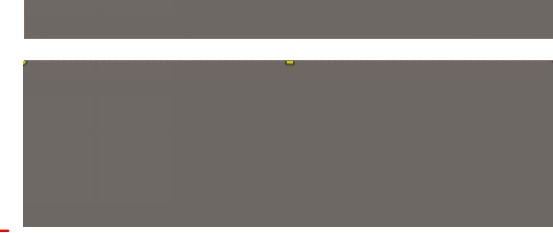
SW 7051
Analytical Gray
 Interior / Exterior
 Location Number: 246-C2

SIDING & SLAT ELEMENTS

1x1-1/2" BOARDS
 W/1-1/2" GAPS



1x5-1/2" BOARDS
 W/1-3/4" +/- GAPS



HORIZONTAL SLAT GUARDRAILS

JAMES HARDIE BOARDS, PRIMED FOR PAINT

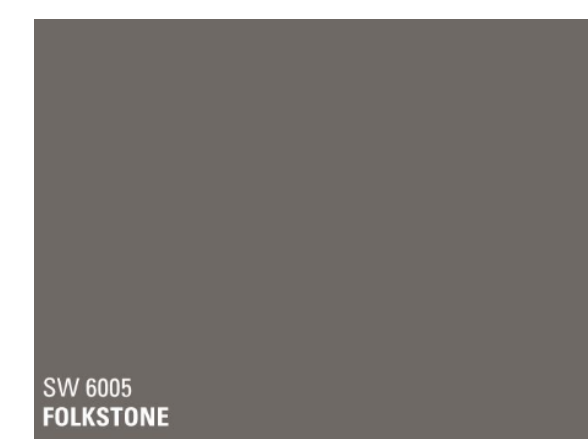
PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.

AVAILABLE SIZES	
THICKNESS:	1"
LENGTH:	144" boards
WIDTHS:	3.5" 11.25"
	5.5" 7.25"
	9.25"

HORIZONTAL SIDING

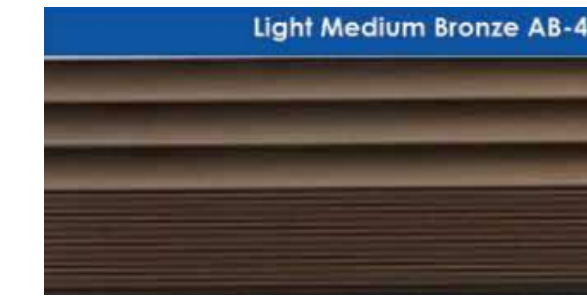
JAMES HARDIE ARTISAN SHIPLAP SIDING
 9" EXPOSURE
 PAINT COLOR: SHERWIN WILLIAMS "FOLKSTONE" SW6005



SW 6005
FOLKSTONE
SIDING PAINT COLOR
 SHERWIN WILLIAMS
 FOLKSTONE SW6005



ALUMINUM WINDOWS AND DOORS
 ARCADIA 5000 SERIES DOORS OR SIMILAR
 ARCADIA C3800 SERIES WINDOWS OR SIMILAR
 FINISH:
 LIGHT MEDIUM BRONZE

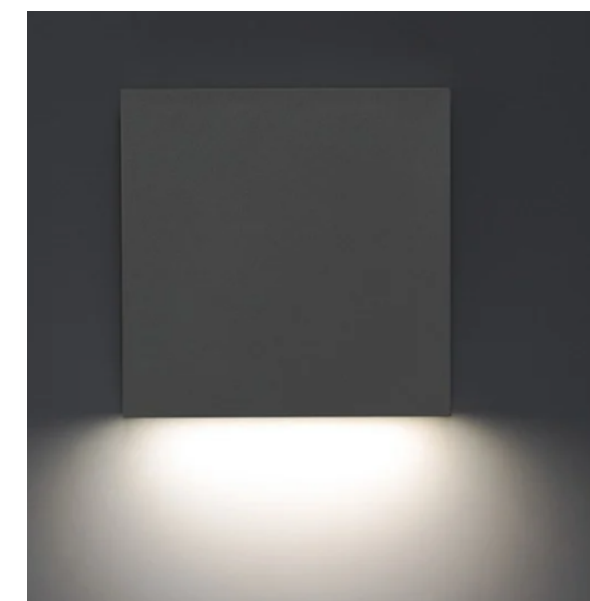


METAL TRELLIS MEMBERS AND HORIZONTAL SHADING FINS/CANOPIES
 POWDER COAT FINISH
 MEDIUM BRONZE METALLIC



LIGHT FIXTURES

EXTERIOR WALL MOUNTED LIGHT FIXTURE
 PERFORMANCE LIGHTING "MIMIK 10 FLAT"
 COLOR: ANTHRACITE GRAY



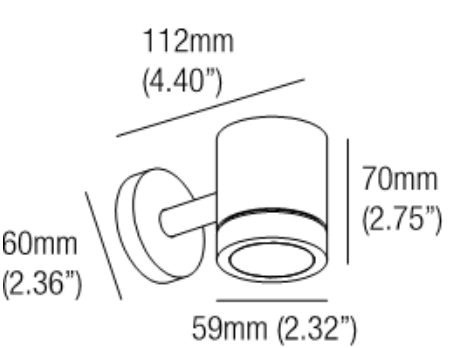
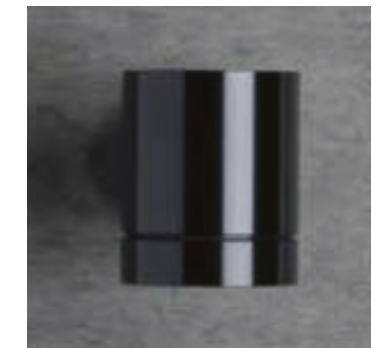
RECESSED WALL LIGHT
 WE-EF LIGHTING
 ST-1279 LED
 FINISH: GRAY METALLIC



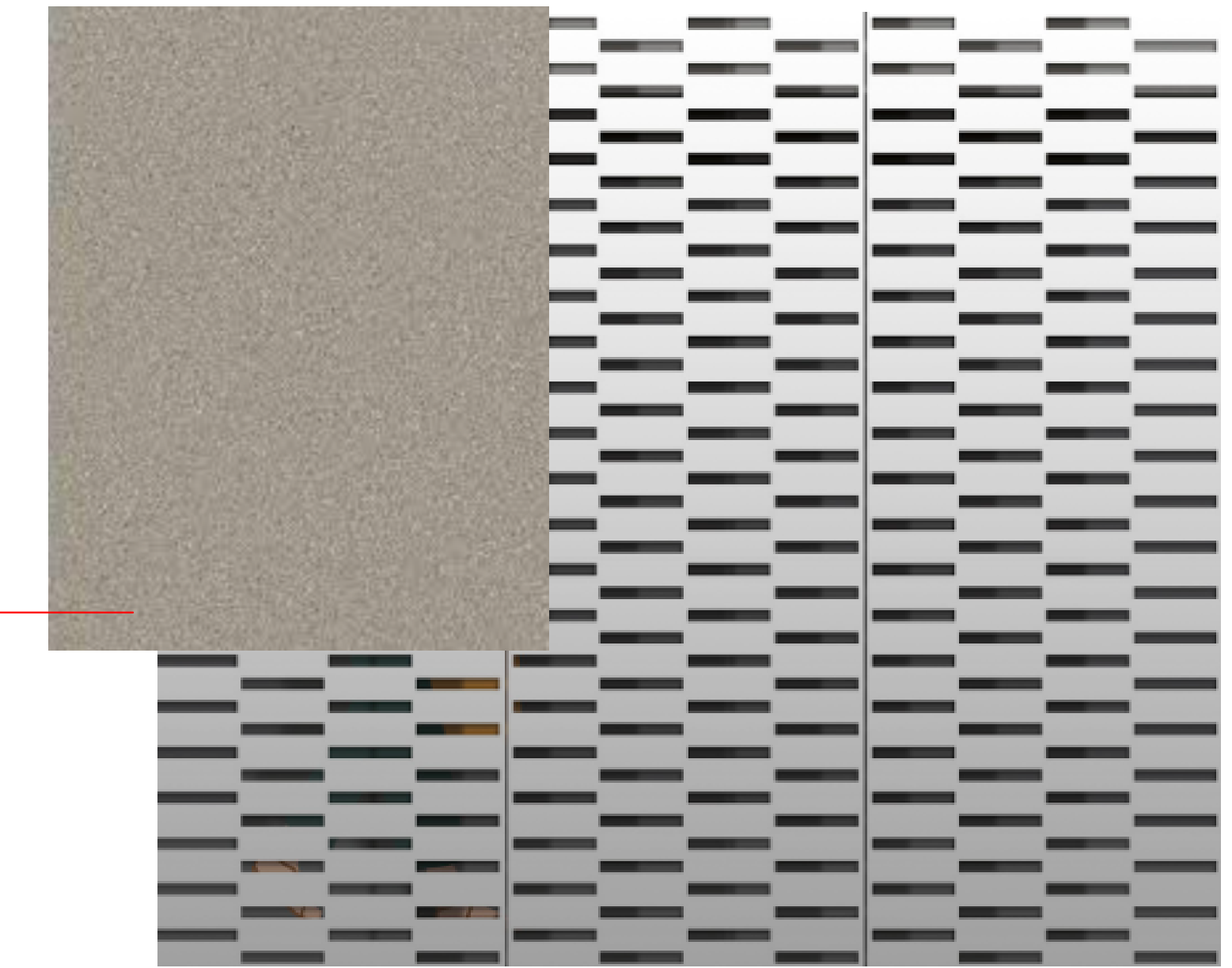
POLE MOUNTED SITE LIGHTING
 WE-EF LIGHTING
 VFL530 LED
 FINISH: GRAY METALLIC



FIFTH FLOOR PATH LIGHTING ON TRELLIS
 FLEXALIGHT KELLERS ST SERIES



METAL RAILING AND WALL SCREEN:
 BOK MODERN A04 PATTERN



BOK MODERN FINISH:
 DRYLAC POWDER COATING
 ARGENTO 308 METALLIC

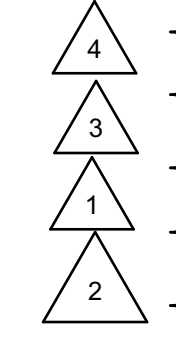
Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
MATERIALS PALETTE

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 09/06/2023
 SHEET

A41

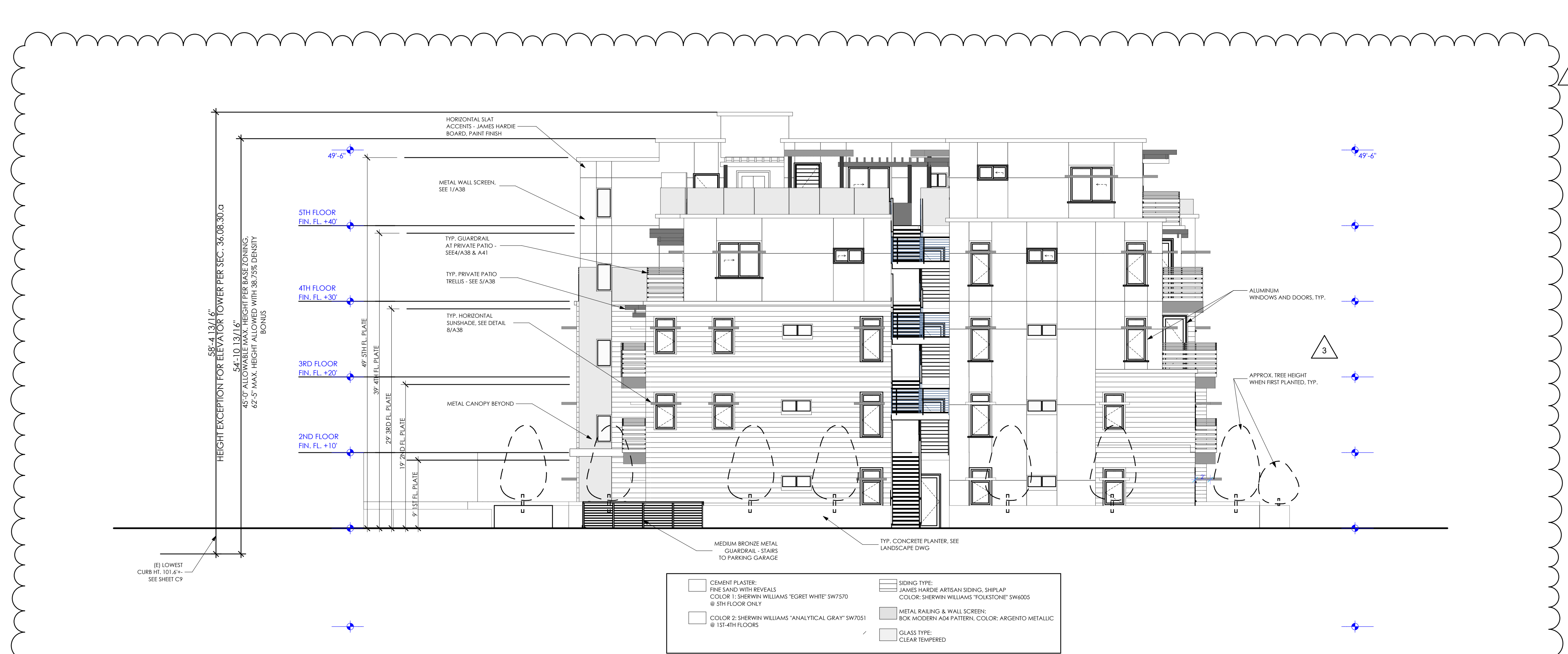


REVISIONS	DATE
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FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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4633 Old Ironsides Dr., Ste. 130
 Santa Clara, CA 95054
 650.965.3500
 www.stoeckerandnorthway.com



1 PROPOSED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
NORTH SOUTH ELEVATIONS

SCALE
AS SHOWN
 DRAWN BY

JOB NO.
20103
 DATE
05/15/2023
 SHEET

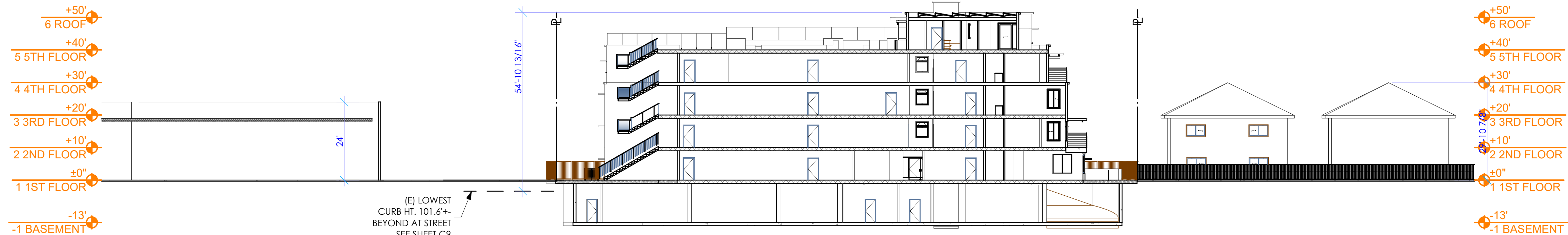
A35

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

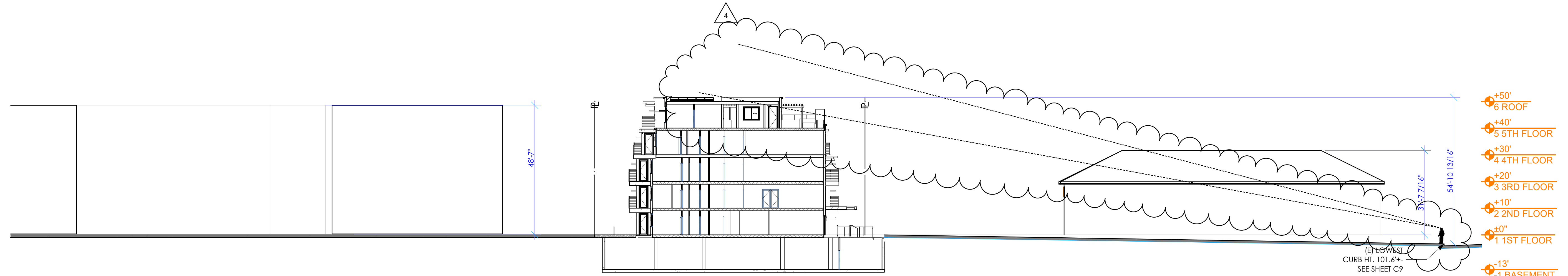
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650.965.3500
www.stoekernorthway.com



1 SITE SECTION A
SCALE: 1" = 20'



2 SITE SECTION B
SCALE: 1" = 20'



3 SECTION AT PARKING GARAGE RAMP
SCALE: 1/8" = 1'-0"

Rich Avenue Condominiums
918 Rich Avenue
Mountain View, CA 94040

SHEET TITLE
SITE SECTIONS

SCALE
AS SHOWN
DRAWN BY

JOB NO.
20103
DATE
05/15/2023
SHEET

A36

REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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 www.steckerandnorthway.com

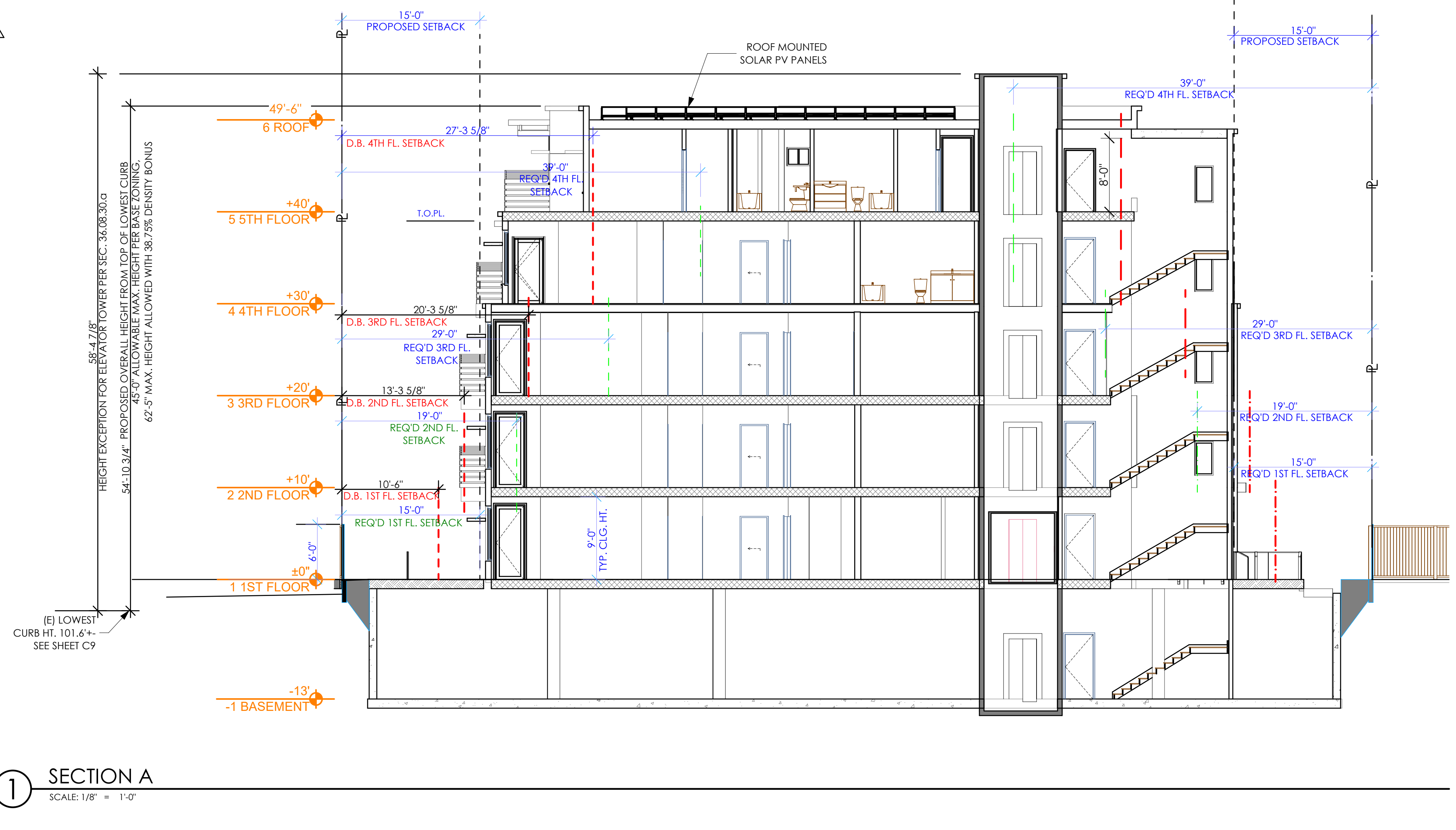
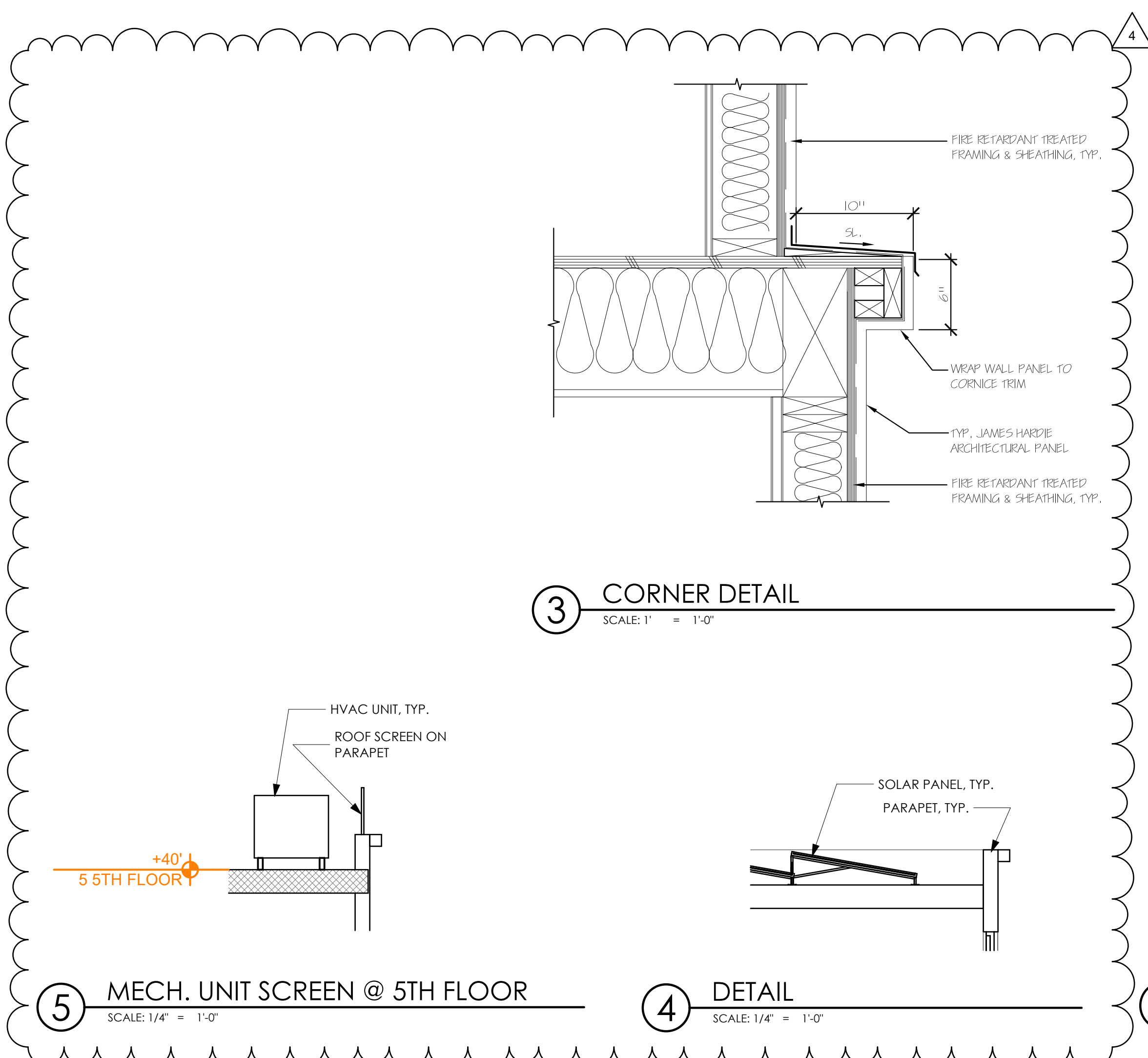
Rich Avenue Condominiums
 918 Rich Avenue
 Mountain View, CA 94040

SHEET TITLE
 SECTIONS 1 & 2

SCALE
 AS SHOWN
 DRAWN BY

JOB NO.
 20103
 DATE
 05/15/2023
 SHEET

A37



REVISIONS	DATE
FORMAL SUBMITTAL #2	05/04/2022
FORMAL SUBMITTAL #3	10/28/2022
FORMAL SUBMITTAL #4	02/28/2023
FORMAL SUBMITTAL #5	05/15/2023

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Santa Clara, CA 95054
650.965.3500
www.steckerandnorthway.com

BUILDING LOT COVERAGE:
% OF SITE COVERAGE = 10,721.34 ÷ 30,956 = 34.63%

AREA COVERAGE - BUILDING	
ID	Area (sq ft)
BUILDING FOOTPRINT	
A	301.21
A1	55.29
A2	79.97
A3	144.23
A4	65.24
B	991.51
B1	180.15
C	1,434.93
D	230.90
E	239.48
F	113.23
G	1,031.89
H	2,692.44
I	67.92
J	139.78
K	139.57
L	21.44
M	16.64
N	UPPER FLOOR UNIT PATIO 3.18
O	UPPER FLOOR UNIT PATIO 4.54
P	UPPER FLOOR UNIT PATIO 73.60
Q	UPPER FLOOR UNIT PATIO 80.99
R	UPPER FLOOR UNIT PATIO 80.98
S	UPPER FLOOR UNIT PATIO 80.93
U	UPPER FLOOR UNIT PATIO 81.78
V	UPPER FLOOR UNIT PATIO 81.64
W	UPPER FLOOR UNIT PATIO 57.17
X	5th FLOOR ROOF DECK 1,495.01
Y	5th FLOOR ROOF DECK 136.49
Z	5th FLOOR ROOF DECK 598.37
	10,720.50 sq ft

AREA CALCULATION LEGEND

- STREET DEDICATION AREA (500 S.F.)
- BUILDING ENCLOSED SPACE
- PROJECTED PRIVATE UNIT OPEN PATIOS ON UPPER FLOORS
- BUILDING LOT COVERAGE / PUBLIC USABLE OPEN AREAS - ROOF DECKS AT 5TH FLOOR
- GROUND FLOOR USABLE COMMON RECREATION OPEN SPACE
- GROUND FLOOR GENERAL OPEN SPACE
- GROUND FLOOR PRIVATE OPEN AREAS. SEE NEXT SHEET FOR ALL PRIVATE OPEN AREA
- PAVING: DRIVEWAY, OFF STREET PARKING, AND RAMP INTO PARKING GARAGE

TOTAL LOT AREA AFTER STREET DEDICATION:
31,456 S.F. - 500 S.F. = 30,956 S.F.

PUBLIC OPEN AREA - ROOF DECKS

ID	Area (sq ft)
X	5th FLOOR ROOF DECK 1,495.01
Y	5th FLOOR ROOF DECK 136.49
Z	5th FLOOR ROOF DECK 598.37
	2,229.87 sq ft

GROUND FLOOR COMMON RECREATION OPEN

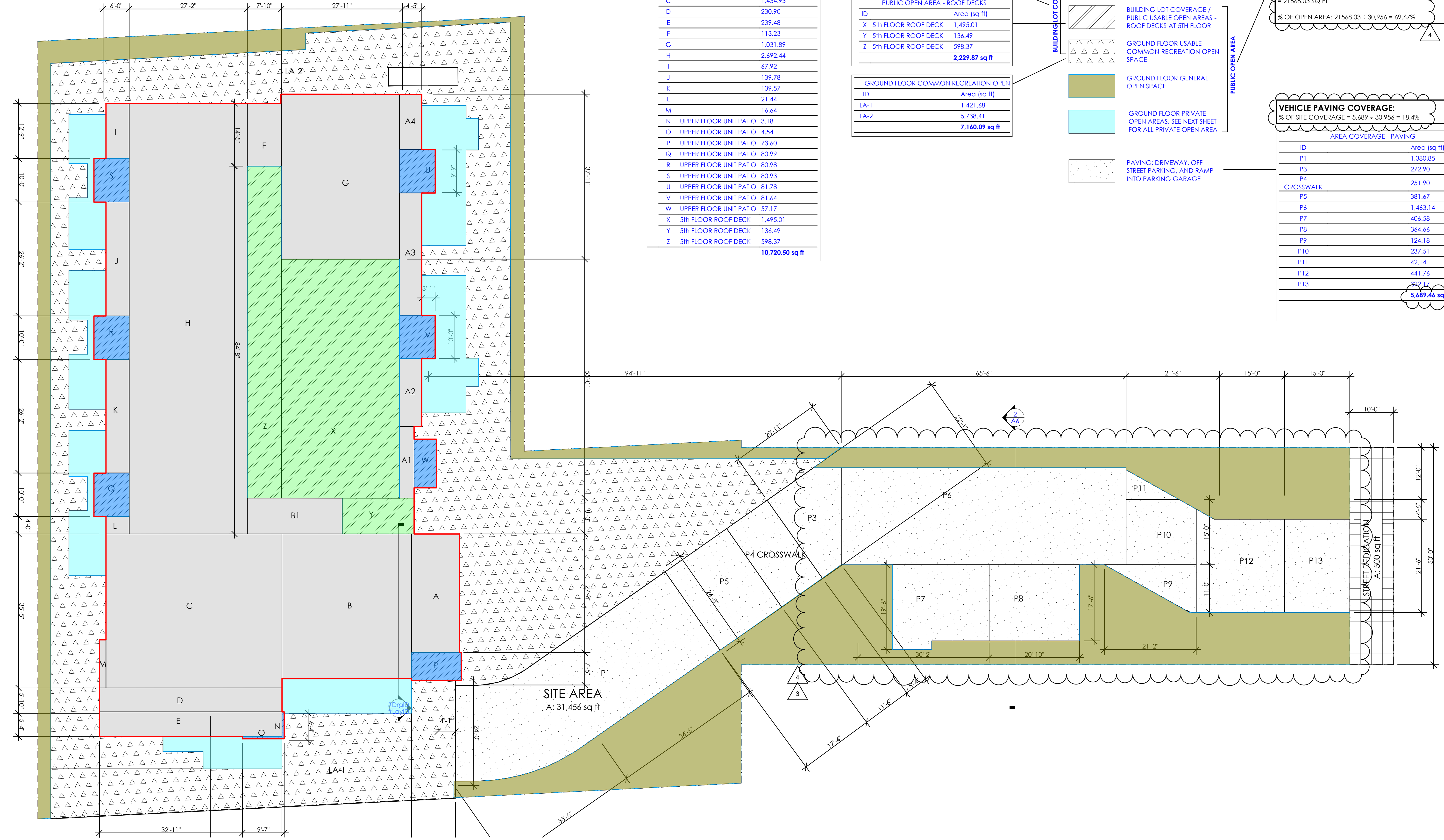
ID	Area (sq ft)
LA-1	1,421.68
LA-2	5,738.41
	7,160.09 sq ft

TOTAL OPEN AREA = LOT - STREET DEDICATION - BUILDING LOT COV. - VEHICLE PAVING + ROOF DECK + PRIVATE OPEN AREA PER UNIT (SEE NEXT SHEET):
31,456 - 500 - 10,721.34 - 5,689 + 2,299.87 + 4,722.5 = 21,568.03 SQ FT
% OF OPEN AREA: 21,568.03 ÷ 30,956 = 69.67%

VEHICLE PAVING COVERAGE:
% OF SITE COVERAGE = 5,689 ÷ 30,956 = 18.4%

AREA COVERAGE - PAVING

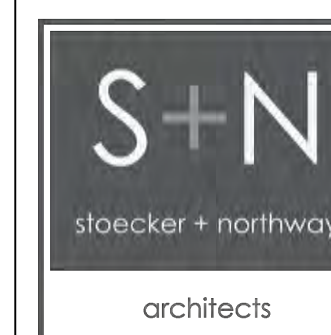
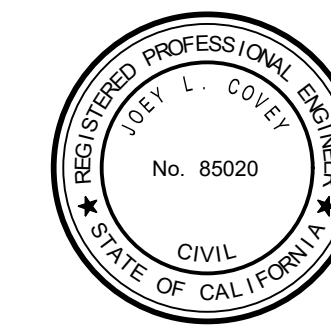
ID	Area (sq ft)
P1	1,380.85
P3	272.90
P4	251.90
CROSSWALK	
P5	381.67
P6	1,463.14
P7	406.58
P8	364.66
P9	124.18
P10	237.51
P11	42.14
P12	441.76
P13	352.17
	5,689.46 sq ft



1 OPEN SPACE DIAGRAM
SCALE: 3/32" = 1'-0"

Rich Avenue Condominiums
918 Rich Avenue
Mountain View, CA 94040

SHEET TITLE
BLDG COVERAGE & OPEN SPACE CALCULATIONS
SCALE
AS SHOWN
DRAWN BY
JOB NO.
20103
DATE
08/04/2023
SHEET



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ARDENVIEW HOMES
918 RICH AVENUE
IMPROVEMENT PLANS
MOUNTAIN VIEW, CALIFORNIA

5/4/22	3RD CITY SUBMITTAL
10/28/22	4TH CITY SUBMITTAL
02/24/23	5TH CITY SUBMITTAL
05/15/23	6TH CITY SUBMITTAL

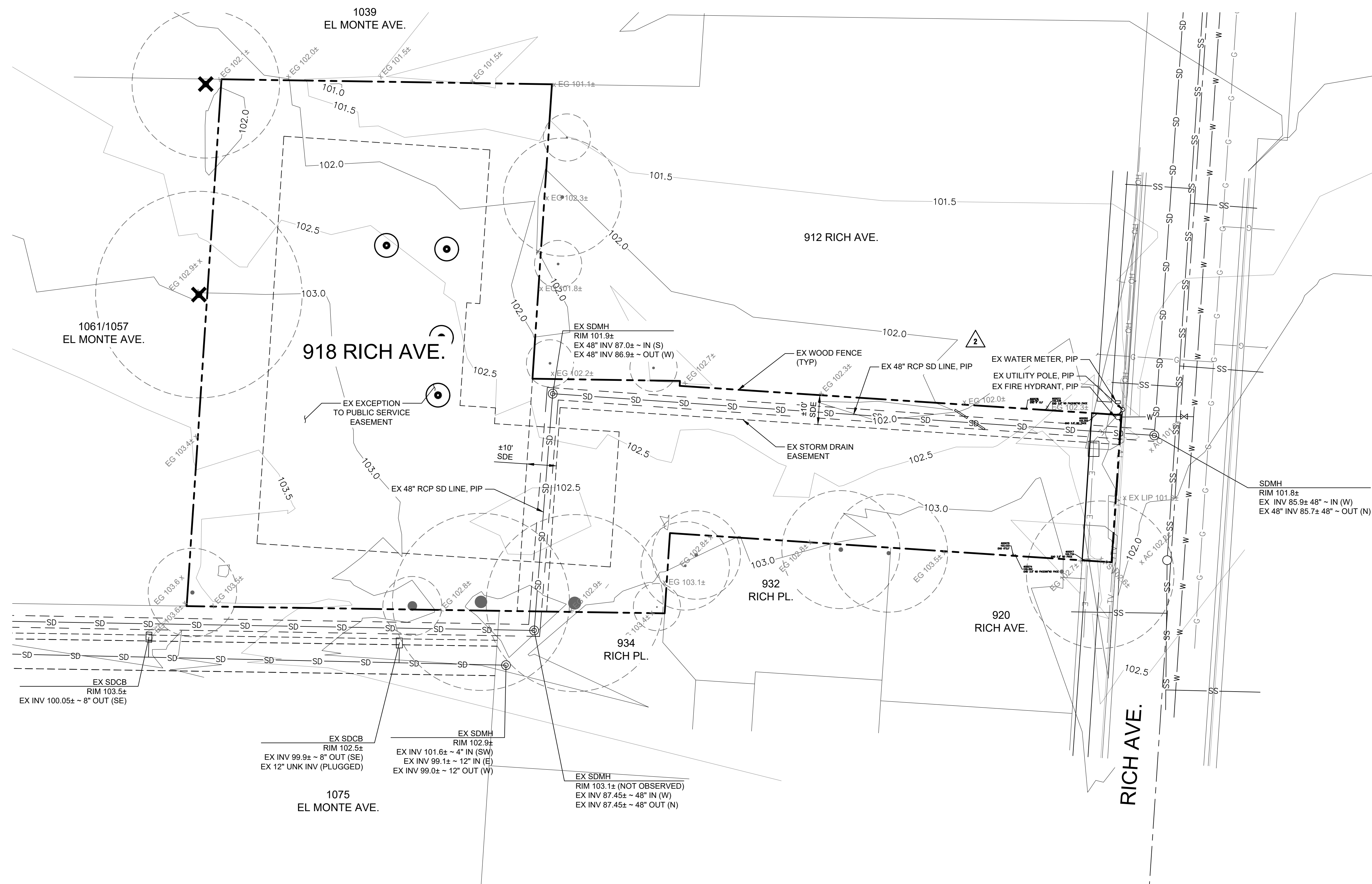
NO	DATE	DESCRIPTION
PROJECT NO.	5817.00	
CAD DWG FILE:	581700GP02-EX.DWG	
DESIGNED BY:	RCH	
DRAWN BY:	NT	
CHECKED BY:	JLC	
DATE:	05.15.2023	
SCALE:	1" = 20'	
© HMMH		

**EXISTING
 CONDITIONS**

C4

5 OF 16

**PLANNING SUBMITTAL
 NOT FOR CONSTRUCTION**



LEGEND:

- SD — EXISTING STORM DRAIN LINE
- SS — EXISTING SANITARY SEWER LINE
- G — EXISTING GAS LINE
- W — EXISTING WATER LINE
- TV — EXISTING TELECOM LINE
- — PROPERTY LINE
- - - - EASEMENT LINE
- — MAJOR CONTOUR
- — MINOR CONTOUR
- — EXISTING TREE

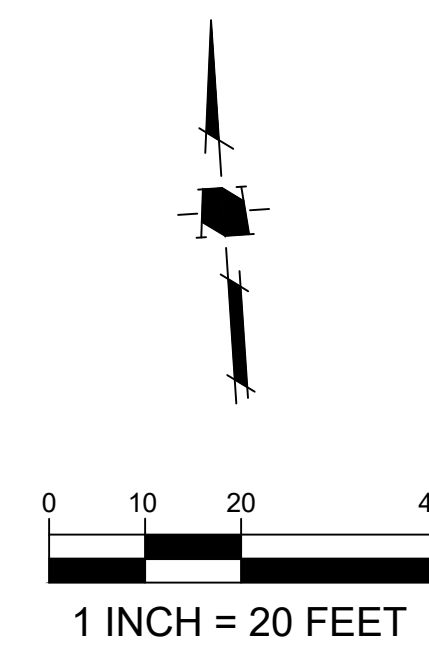
PROTECT ALL UTILITIES IN PLACE
 UNLESS OTHERWISE NOTED

REFER TO LANDSCAPE PLANS FOR
 TREE REMOVAL AND MITIGATION
 MEASURES

ADDITIONAL LANDSCAPE
 DEMOLITION MAY BE REQUIRED
 FOR REPLANTING. SEE LANDSCAPE
 PLANS FOR PLANTING LIMITS

DEMOLITION PLAN NOT APPROVED
 BY PUBLIC WORKS

CLEAR AND GRUB ENTIRE SITE



S:\PROJECTS\9181700PL IMPROVEMENT PLANS\LOT DRAWINGS\9181700GP02-EX.DWG

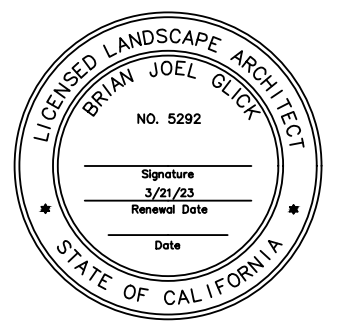
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LANDSCAPE ARCHITECTURAL PLANNING

918 RICH AVENUE

MOUNTAIN VIEW, CALIFORNIA

HMH
 Land Use Entitlements
 Land Planning
 Landscape Architecture
 Civil Engineering
 Utility Design
 Land Surveying
 Stormwater Compliance
 1570 Oakland Road (408) 487-2200
 San Jose, CA 95131 HMHca.com

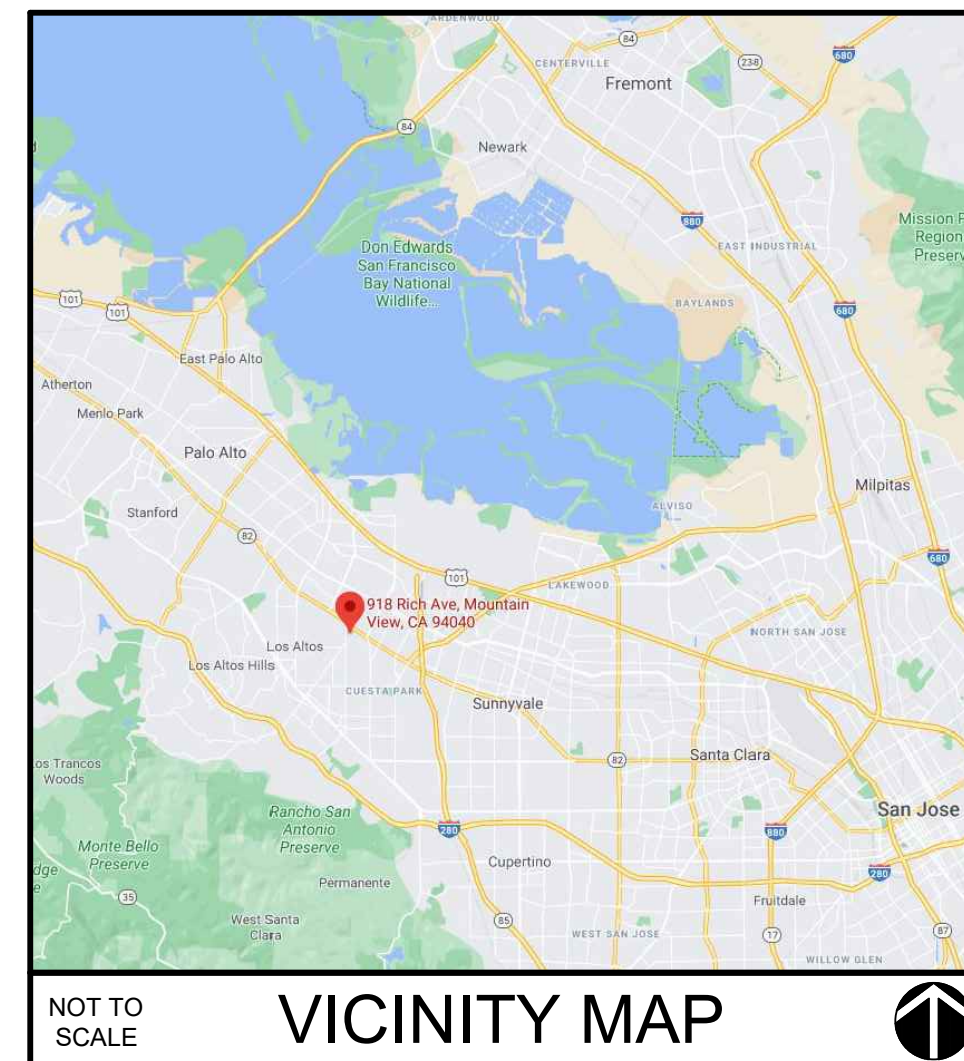


NOTES

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THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AT THE TIME THE PLANS WERE DRAFTED AND DO NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NONEXISTENCE OF SUCH UTILITIES.

LANDSCAPE STATEMENT: "I HAVE COMPLIED WITH THE CRITERIA OF CITY OF MOUNTAIN VIEW BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN."



INDEX OF DRAWINGS

SHEET	TITLE
L00	TITLE SHEET
L01	SITE CONTEXT AND EXISTING SITE CONDITIONS
L02	TREE PROTECTION AND MITIGATION PLAN
L03	TREE PROTECTION DETAIL
L04	LANDSCAPE PLAN
L05	5TH FLOOR ROOF DECK
L06	ENTRY PLAZA AND EMERGENCY VEHICULAR ACCESS ROAD
L07	ENTRY WAY
L08	GROUND LEVEL NORTH
L09	GROUND LEVEL SOUTH
L10	CONCEPT DETAILS
L11	CONCEPT DETAILS
L12	CONCEPT DETAILS
L13	CONCEPT DETAILS
L14	CONCEPT DETAILS
L15	HYDROZONE PLAN
L16	PLANTING PLAN
L17	PLANT PALETTE
L18	PLANTING DETAILS
L19	TREE CANOPY PLAN
L20	HARDSCAPE PLAN



GOVERNING AGENCY

CITY OF MOUNTAIN VIEW:

PLANNING DIVISION
 500 CASTRO STREET
 MOUNTAIN VIEW, CA 94039
 (650) 903-6306

DESIGN TEAM

LANDSCAPE ARCHITECT:

HMH LANDSCAPE ARCHITECTURE
 1570 OAKLAND ROAD
 SAN JOSE, CA 95131
 (408) 487-2200

CIVIL ENGINEER:

HMH CIVIL ENGINEERS
 1570 OAKLAND ROAD
 SAN JOSE, CA 95131
 (408) 487-2200

ARCHITECT:

STOECKER AND NORTHWAY ARCHITECTS, INC
 4633 OLD IRONSIDES DR. STE. 130
 SANTA CLARA, CA 95054
 (650) 965-3500



LANDSCAPE ARCHITECTURE SCOPE

THIS PROJECT INCLUDES LANDSCAPE DESIGNS FOR THE ON GRADE AND ROOF DECK AREAS OF THE PROPOSED BUILDING AT 918 RICH AVE, MOUNTAIN VIEW, CALIFORNIA. PROPOSED DESIGNS INCLUDE PAVING, FENCING, RAISED PLANTERS AND BIOTREATMENT PLANTERS, DROUGHT TOLERANT PLANTINGS, AND IRRIGATION.



ARDENVIEW HOMES
918 RICH AVENUE
MOUNTAIN VIEW, CA 94040

NO	DATE	DESCRIPTION
△	5/4/22	3RD CITY SUBMITTAL
△	10/28/22	4TH CITY SUBMITTAL
△	2/24/23	5TH CITY SUBMITTAL
△	5/15/23	6TH CITY SUBMITTAL
△		

PROJECT NO: 5817.00
 CAD DWG FILE: L0-L3 581700CL.DWG
 DESIGNED BY: KM, BG
 DRAWN BY: KM
 CHECKED BY: BG
 DATE: FEBRUARY 28, 2023
 SCALE: AS SHOWN
 © HMH

TITLE SHEET

L0

PLANNING SUBMITTAL
 NOT FOR CONSTRUCTION

SITE CONTEXT AND EXISTING SITE CONDITIONS



VIEW 1



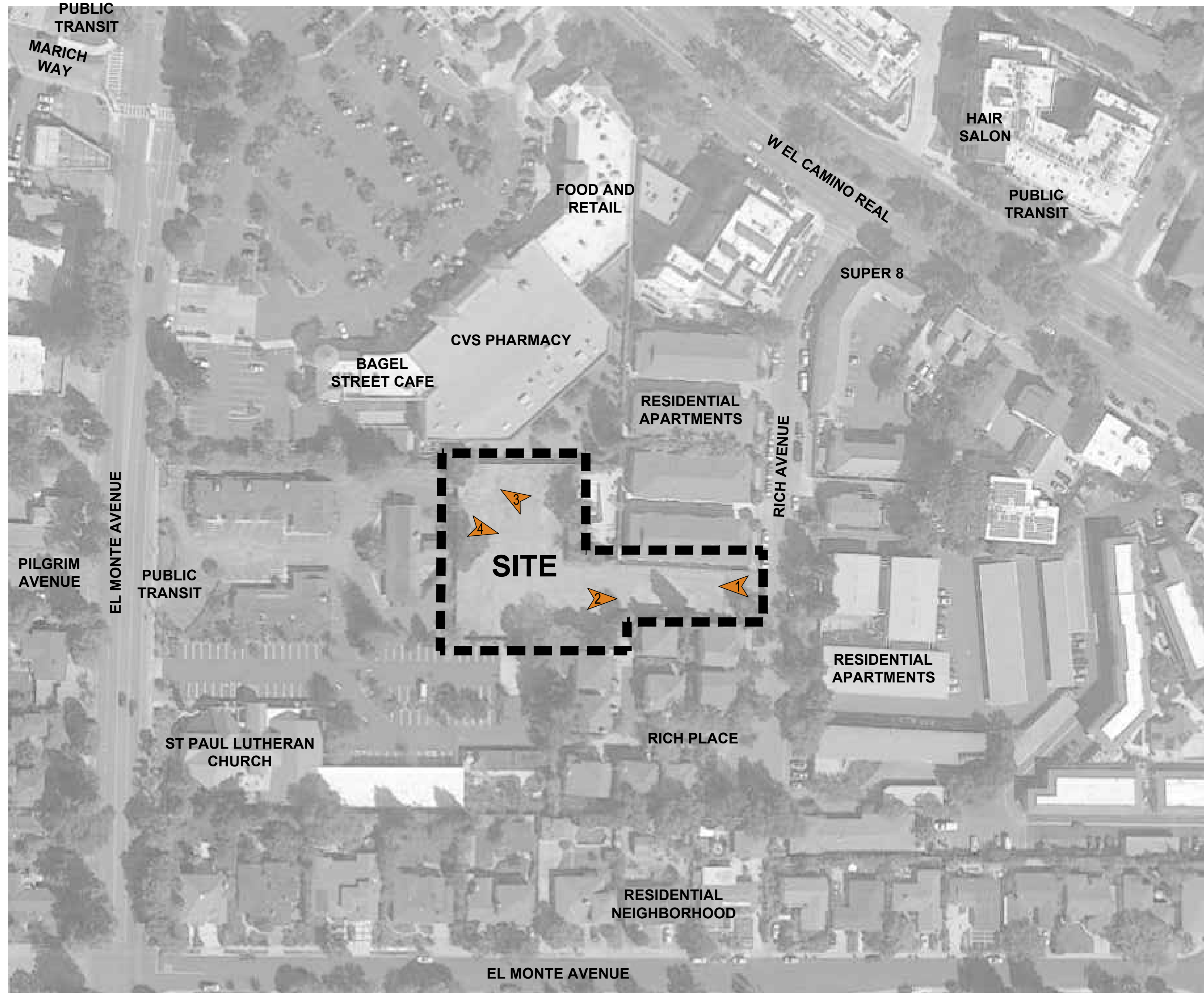
VIEW 2



VIEW 3

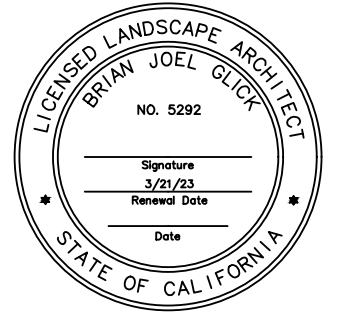


VIEW 4



SITE CONTEXT
N.T.S.

HMH
Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMHca.com



ARDENVIEW HOMES
918 RICH AVENUE
MOUNTAIN VIEW, CA 94040

5/4/22	3RD CITY SUBMITTAL
10/28/22	4TH CITY SUBMITTAL
2/24/23	5TH CITY SUBMITTAL
5/15/23	6TH CITY SUBMITTAL

NO	DATE	DESCRIPTION
PROJECT NO:	5817.00	
CAD DWG FILE:	L0-L3 581700CL.DWG	
DESIGNED BY:	KM, BG	
DRAWN BY:	SS	
CHECKED BY:	BG	
DATE:	FEBRUARY 28, 2023	
SCALE:	NOT TO SCALE	

SITE CONTEXT AND EXISTING SITE CONDITIONS

L1

LANDSCAPE PLAN

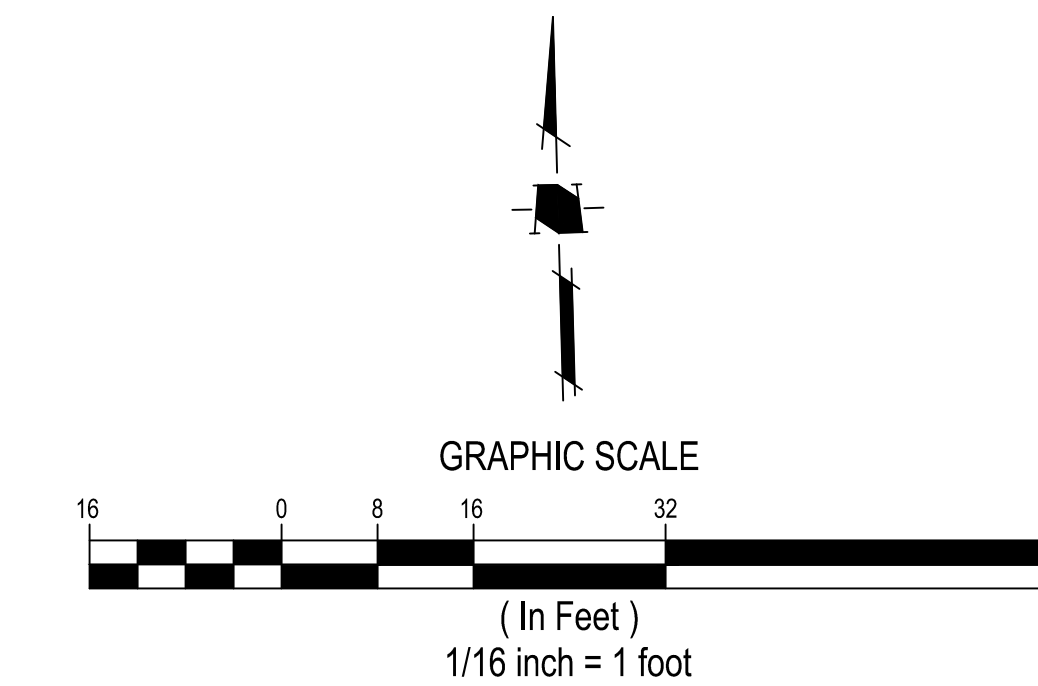
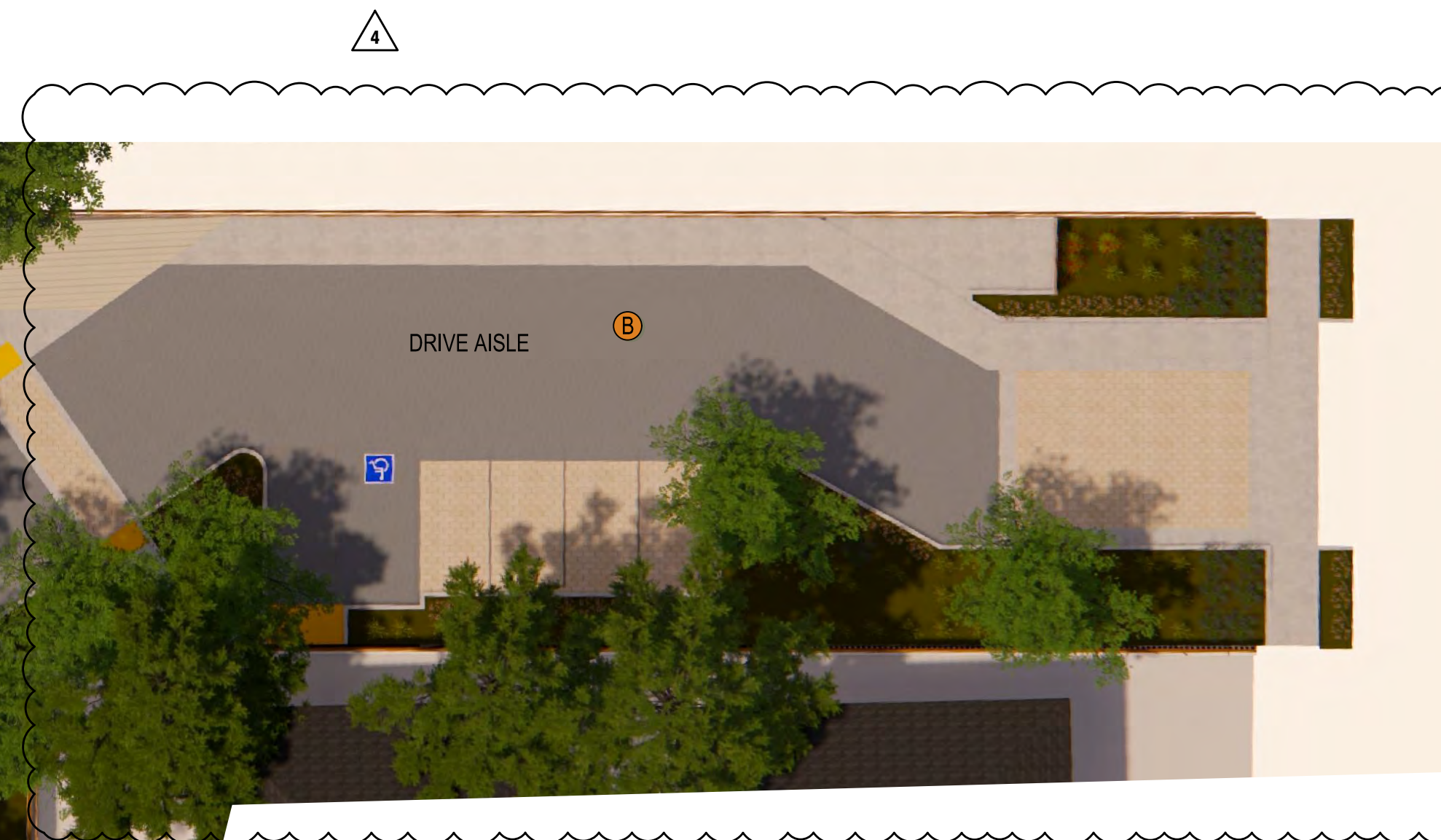
THE ON-GRADE LANDSCAPE PROVIDES AREAS WITH OPEN SPACE RECREATION THAT UTILIZE LUSH, DROUGHT TOLERANT PLANTING AND LARGE TREES THAT BORDER THE SITE.

ENLARGED EXCLUSIVE USE PRIVATE PATIOS BRINGS OPPORTUNITY FOR OUTDOOR DINING AND LOUNGE ROOMS FOR THE RESIDENTS, ADDING TO THEIR LIVABLE SPACE.

THE ROOF DECK AMENITY SPACE OFFERS AREA FOR LOUNGING AND DINING, ENCLOSED IN THE COMFORT OF LUSH RAISED PLANTERS.

ENLARGEMENTS

- A ENTRY PLAZA AND EVA [L6]
- B ENTRY WAY [L7]
- C 5TH FLOOR ROOF DECK [L5]
- D GROUND FLOOR NORTH [L8]
- E GROUND FLOOR SOUTH [L9]



HMH
 Land Use Entitlements
 Land Planning
 Landscape Architecture
 Civil Engineering
 Utility Design
 Land Surveying
 Stormwater Compliance

1570 Oakland Road (408) 487-2200
 San Jose, CA 95131 HMHca.com

LICENSED LANDSCAPE ARCHITECT
 JOEL BLICK
 NO. 5292
 Signature: [Signature]
 7/20/23
 Permit Date: [Blank]
 Date: [Blank]
 STATE OF CALIFORNIA

ARDENVIEW HOMES
 918 RICH AVENUE
 MOUNTAIN VIEW, CA 94040

NO	DATE	DESCRIPTION
△	5/4/22	3RD CITY SUBMITTAL
△	10/28/22	4TH CITY SUBMITTAL
△	2/24/23	5TH CITY SUBMITTAL
△	5/16/23	6TH CITY SUBMITTAL
△		

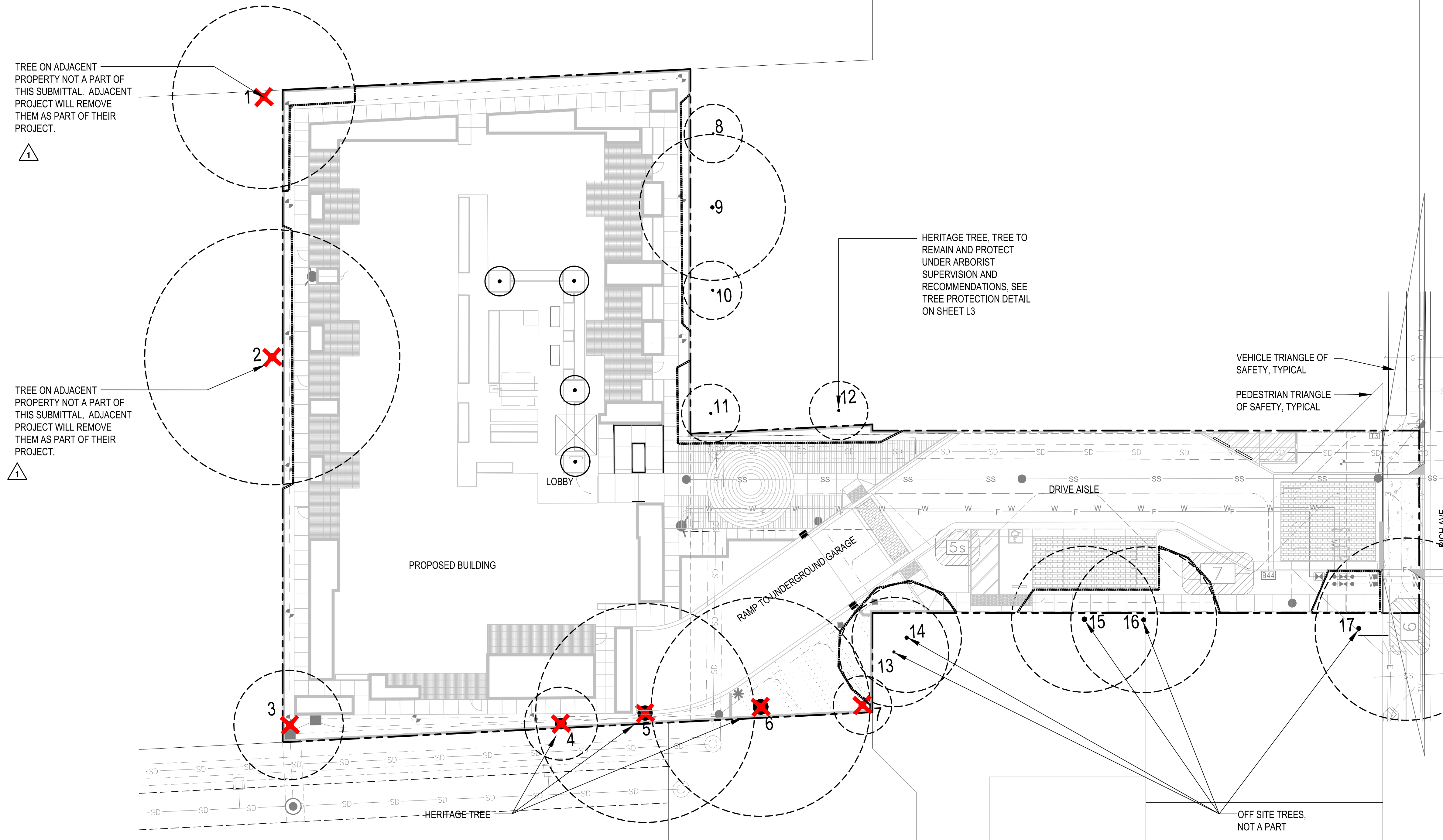
PROJECT NO:	5817.00
CAD DWG FILE:	L4-L9 581700CL.DWG
DESIGNED BY:	KM, BG
DRAWN BY:	KM
CHECKED BY:	BG
DATE:	JULY 13, 2023
SCALE:	1/16" = 1'-0"
©	HMH

LANDSCAPE PLAN

L4

PLANNING SUBMITTAL

TREE PROTECTION AND MITIGATION PLAN



TREE REMOVAL TABLE			
DESCRIPTION	DIAMETER	QTY	SPECIES
TOTAL NUMBER OF NON-HERITAGE TREES TO BE REMOVED	DBH < 12"	1	PER ARBORIST REPORT
TOTAL NUMBER OF HERITAGE TREES TO BE REMOVED	DBH > 12"	4	PER TREE INVENTORY

TREE PROTECTION LEGEND	
DESCRIPTION	SYMBOL
TREE TO BE REMOVED	✗ #
TREE TO REMAIN / PROTECT	• #

TREE SUMMARY	
TREES TO BE REMOVED / MITIGATED	5
TREES TO REMAIN	0
TOTAL EXISTING TREES ON SITE	5

TREE MITIGATION SUMMARY TABLE		
TOTAL TREES REQUIRED TO MEET MITIGATION REQUIREMENTS	QUANTITY	SIZE
TOTAL PROPOSED TREES (NOT INCLUDING STREET TREES)	49	24" BOX

NOTES:

- SEE ONSITE ARBORIST REPORT BY WILLIAM SOWA ISA CERTIFIED ARBORIST #WE-12270A DATED: MAY 3, 2022 AND OFFSITE ARBORIST REPORT BY WILLIAM SOWA ISA CERTIFIED ARBORIST #WE-12270A DATED: JANUARY 17, 2023.
- SEE TREE PROTECTION DETAIL ON SHEET L3.
- TREE REPLACEMENTS WILL NEED TO MET A 2:1 RATIO FOR HERITAGE TREES.

GRAPHIC SCALE
1 inch = 20 feet

SECTION I
SITE PREPARATION: ALL EXISTING TREES SHALL BE FENCED OFF WITHIN, AT OR OUTSIDE THE DRIP LINE (FOLIAR SPREAD) OF THE TREE USING THE FOLLOWING FORMULA: TWELVE INCHES IN DISTANCE FROM THE TRUNK FOR EVERY INCH IN TRUNK DIAMETER, MEASURED 2.0 FEET ABOVE THE AVERAGE GROUND LEVEL. EXAMPLE: A 24 INCH DIAMETER TREE WOULD HAVE A FENCE ERECTED 24 FEET FROM THE BASE OF THE TREE (24 X 12 = 288 / 12 = 24). THE FENCE SHOULD BE A MINIMUM OF SIX FEET HIGH, MADE OF WIRE WITH STEEL STAKES, SUCH AS CYCLONE FENCING. IF THE FENCE IS WITHIN THE DRIP LINE OF THE TREES, EVERY ATTEMPT SHOULD BE MADE TO RELOCATE THE FENCE OUTSIDE THE DRIP LINE OF THE TREE. IF NOT POSSIBLE, THE TREE SHALL BE PRUNED TO REDUCE THE CHANCE OF LIMB BREAKAGE FROM CONSTRUCTION EQUIPMENT ENCRDACHING WITHIN THE DRIP LINE. ALL CONTRACTORS, SUBCONTRACTORS AND OTHER PERSONNEL SHALL BE WARNED THAT ENCRDACHMENT WITHIN THE FENCED AREA IS FORBIDDEN WITHOUT THE CONSENT OF THE CERTIFIED ARBORIST ON THE JOB. THIS INCLUDES, BUT IS NOT LIMITED TO, STORAGE OF LUMBER AND OTHER MATERIALS, DISPOSAL OF PAINTS, SOLVENTS OR OTHER NOXIOUS MATERIALS, PARKED CARS, GRADING EQUIPMENT OR OTHER HEAVY EQUIPMENT. PENALTIES, BASED ON THE COST OF REMEDIAL REPAIRS AND THE EVALUATION GUIDE PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE ASSESSED FOR DAMAGES TO THE TREES.

SECTION II
GRADING/EXCAVATING: ALL GRADING PLANS THAT SPECIFY GRADING WITHIN THE DRIP LINE OF ANY TREE, OR WITHIN THE DISTANCE FROM THE TRUNK AS OUTLINED IN SECTION I WHEN SAID DISTANCE IS OUTSIDE THE DRIP LINE, SHALL FIRST BE REVIEWED BY THE CERTIFIED ARBORIST. PROVISIONS FOR AERATION, DRAINAGE, PRUNING, TUNNELING BENEATH ROOTS, ROOT PRUNING OR OTHER NECESSARY ACTIONS TO PROTECT THE TREES SHALL BE OUTLINED BY THE ARBORIST. IF TRENCHING IS NECESSARY WITHIN THE AREA AS DESCRIBED ABOVE, SAID TRENCHING SHALL BE UNDERTAKEN BY HAND LABOR. ALL ROOTS 2 INCHES OR LARGER SHALL BE TUNNELED UNDER AND OTHER ROOTS SHALL BE CUT SMOOTHLY TO THE TRUNK SIDE OF THE TRENCH. THE TRUNK SIDE SHOULD BE DRAPED IMMEDIATELY WITH TWO LAYERS OF UNTREATED BURLAP TO A DEPTH OF 3 FEET FROM THE SURFACE. THE BURLAP SHALL BE SOAKED NIGHTLY AND LEFT IN PLACE UNTIL THE TRENCH IS BACK FILLED TO THE ORIGINAL LEVEL. THE ARBORIST SHALL EXAMINE THE TRENCH PRIOR TO BACK FILLING TO ASCERTAIN THE NUMBER AND SIZE OF ROOTS CUT, SO AS TO SUGGEST THE NECESSARY REMEDIAL REPAIRS.

SECTION III
REMEDIAL REPAIRS: THE ARBORIST ON THE JOB SHALL HAVE THE RESPONSIBILITY OF OBSERVING ALL ONGOING ACTIVITIES THAT MAY AFFECT THE TREES, AND PRESCRIBING NECESSARY REMEDIAL WORK TO INSURE THE HEALTH AND STABILITY OF SAID TREES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL ARBORIST ACTIVITIES BROUGHT OUT IN SECTIONS I AND II. IN ADDITION, PRUNING SHALL BE PRESCRIBED AS NECESSARY AND FOLLOW THE STANDARDS OUTLINED IN ANSI A300 PART1. FERTILIZING, AERATION, IRRIGATION, PEST CONTROL AND OTHER ACTIVITIES SHALL BE PRESCRIBED ACCORDING TO THE TREE NEEDS, LOCAL SITE REQUIREMENTS, AND STATE AGRICULTURAL PEST CONTROL LAWS. ALL SPECIFICATIONS SHALL BE IN WRITING. FOR PEST CONTROL OPERATIONS, CONSULT THE LOCAL COUNTY AGRICULTURAL COMMISSIONERS OFFICE FOR INDIVIDUALS LICENSED AS PEST CONTROL ADVISORS OR PEST CONTROL OPERATORS.

SECTION IV
FINAL INSPECTION: UPON COMPLETION OF THE PROJECT, THE ARBORIST SHALL REVIEW ALL WORK UNDERTAKEN THAT MAY IMPACT THE EXISTING TREES. SPECIAL ATTENTION SHALL BE GIVEN TO CUTS AND FILLS, COMPACTING, DRAINAGE, PRUNING AND FUTURE REMEDIAL WORK. THE ARBORIST SHOULD SUBMIT A FINAL REPORT IN WRITING OUTLINING THE ONGOING REMEDIAL CARE FOLLOWING THE FINAL INSPECTION.

TREE #	BOTANICAL NAME	COMMON NAME	CANOPY (FEET)	DBH (INCHES)	CIRCUMFERENCE (INCHES)	HERITAGE TREE	HEALTH	PRESERVATION SUITABILITY	NOTES	REMAIN / REMOVE	ONSITE / OFFSITE
1	<i>Quercus agrifolia</i>	Coast Live Oak	24	22.0	69	YES	3	Moderate	CDB, SD, IB, CD	REMOVE (WITH ADJACENT PROJECT)	OFFSITE/NOT A PART
2	<i>Quercus agrifolia</i>	Coast Live Oak	40	26.5	83	YES	3	Moderate	CDB, SD, SEVERE LN	REMOVE (WITH ADJACENT PROJECT)	OFFSITE/NOT A PART
3	<i>Ulmus parvifolia</i>	Chinese Elm	16	13.0	41	NO	2	Poor	MULTI-TRUNK, VOLUNTEER	REMOVE	ONSITE
4	<i>Quercus agrifolia</i>	Coast Live Oak	24	36.0	113	YES	3	Poor	CD, SD, CDB	REMOVE	ONSITE
5	<i>Quercus agrifolia</i>	Coast Live Oak	32	57.0	179	YES	2	Poor	MULTI-TRUNK, CD, SD, CDB	REMOVE	ONSITE
6	<i>Quercus agrifolia</i>	Coast Live Oak	32	50.0	157	YES	2	Poor	MULTI-TRUNK, CD, SD, CDB	REMOVE	ONSITE
7	<i>Platanus x hispanica</i>	London Plane Tree	8	4.0	13	NO	3	Moderate		REMOVE	ONSITE
8	<i>Syzygium paniculatum</i>	Brush Cherry	12	6.0	19	NO	2	Moderate	OFFSITE	REMAIN	OFFSITE/NOT A PART
9	<i>Magnolia grandiflora</i>	Southern Magnolia	20	12.0	38	NO	3	Moderate	OFFSITE	REMAIN	OFFSITE/NOT A PART
10	<i>Syzygium paniculatum</i>	Brush Cherry	12	8.0	25	NO	3	Moderate	OFFSITE	REMAIN	OFFSITE/NOT A PART
11	<i>Pyrus calleryana</i>	Callery Pear	15	8.0	25	NO	2	Poor	OFFSITE	REMAIN	OFFSITE/NOT A PART
12	<i>Eriobotrya deflexa</i>	Bronze Loquat	18	7.0	22	NO	4	Good	OFFSITE	REMAIN	OFFSITE/NOT A PART
13	<i>Sequoia sempervirens</i>	Coast Redwood	15	8.0	25	YES	4	Good	OFFSITE	REMAIN	OFFSITE/NOT A PART
14	<i>Sequoia sempervirens</i>	Coast Redwood	17	12.0	38	YES	4	Good	OFFSITE	REMAIN	OFFSITE/NOT A PART
15	<i>Sequoia sempervirens</i>	Coast Redwood	20	16.0	50	YES	4	Good	OFFSITE	REMAIN	OFFSITE/NOT A PART
16	<i>Sequoia sempervirens</i>	Coast Redwood	22	14.0	44	YES	4	Good	OFFSITE	REMAIN	OFFSITE/NOT A PART
17	<i>Ulmus parvifolia</i>	Chinese Elm	26	13.0	41	NO	2	Moderate	OFFSITE	REMAIN	OFFSITE/NOT A PART

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LICENSED LANDSCAPE ARCHITECT
JOEL GIBSON
NO. 5292
Expires 3/31/23
Renewal Date
Date
STATE OF CALIFORNIA

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5/4/22 3RD CITY SUBMITTAL
10/28/22 4TH CITY SUBMITTAL
2/24/23 5TH CITY SUBMITTAL
5/15/23 6TH CITY SUBMITTAL

PROJECT NO: 5817.00
CAD DWG FILE: LG-L3-581700CL.DWG
DESIGNED BY: KM, BG
DRAWN BY: JH, SS
CHECKED BY: BG
DATE: FEBRUARY 28, 2023
SCALE: 1" = 20'

TREE PROTECTION AND MITIGATION PLAN

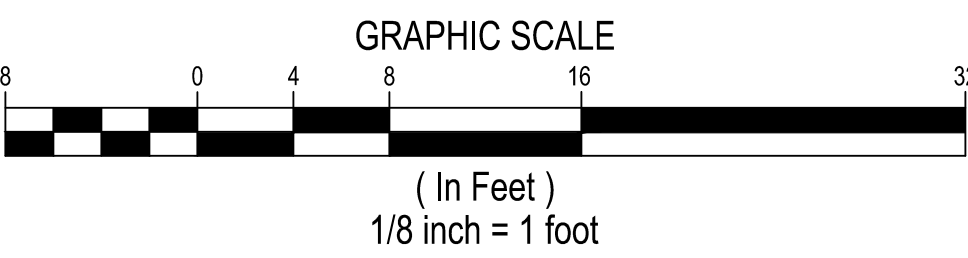
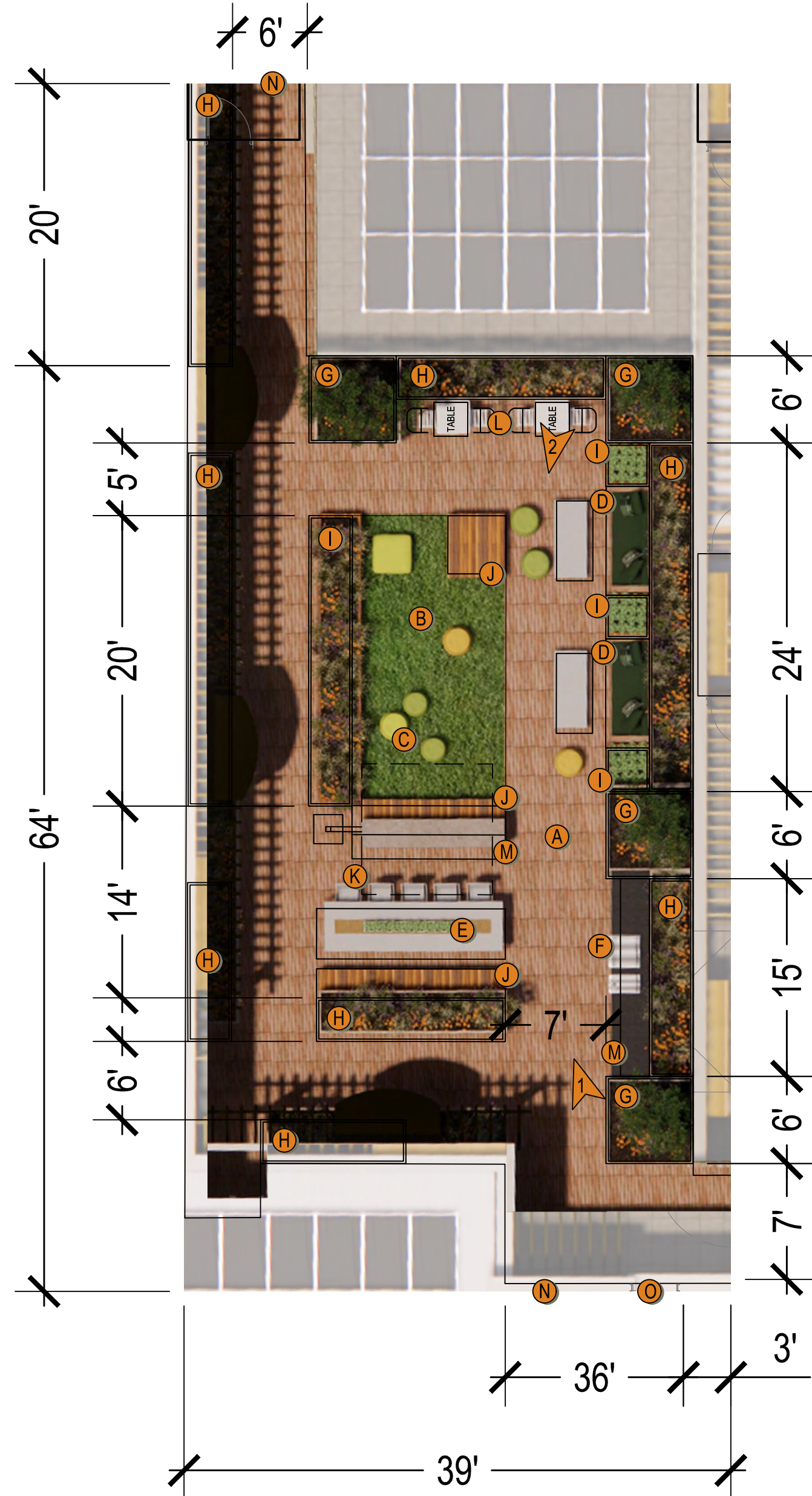
L2

5TH FLOOR ROOF DECK

THE ROOF DECK COMMON USABLE OPEN SPACE OFFERS BOTH LOUNGE AND DINING AREAS ENCLOSED WITHIN LUSH, TIERED PLANTERS. THE 200+ SQUARE FEET OF SYNTHETIC TURF WITH PLAYFUL, MOVEABLE SEATING ACTS AS A FLEXIBLE ACTIVITY SPACE WITH VARIOUS MEDIUMS OF SEATING ALL AROUND. THE DINING AREA IS EQUIPPED WITH AN ELECTRIC BBQ, MULTIPLE COOKING PREP SURFACES, AND A LARGE DINING TABLE. FOR HOT AND SUNNY DAYS, A CENTRAL, ADJUSTABLE UMBRELLA IS ABLE TO CAST SHADE IN EITHER AREA OF THE ROOF DECK.

SQUARE FEET: 2,260'

- LEGEND**
- A STRUCTURAL WOOD TILES [A/L12]
 - B SYNTHETIC TURF [G/L11]
 - C PLAY SEATING POUFFE [F/L11]
 - D LOUNGE SOFA [D/L11]
 - E DINING TABLE SET [A/L14]
 - F ELECTRIC GRILL [F/L10]
 - G 42" RAISED FIBERGLASS PLANTER [B/L13]
 - H 36" RAISED FIBERGLASS PLANTER [B/L13]
 - I 18" RAISED FIBERGLASS PLANTER [B/L13]
 - J TOPPED WOOD CUBE [A/L11]
 - K WEIGHTED PATIO UMBRELLA [B/L11]
 - L BISTRO TABLE SET [D/L13]
 - M KITCHEN COUNTER [E/L11]
 - N STAIRWELL ACCESS PER ARCHITECT
 - O ELEVATOR ACCESS PER ARCHITECT



PERSPECTIVE 1

THE ROOF TOP LOUNGE AREAS ARE DESIGNED WITH THE INTENT TO OFFER SEATING OPTIONS FOR INTIMATE GATHERINGS WHILE SIMULTANEOUSLY CONNECTING TO THE OPEN ACTIVE SYNTHETIC TURF SPACE. FAMILY AND FRIENDS CAN HANG OUT IN THE COMFORTABLE SOFAS UNDER THE TREES, WHILE ALSO ENJOYING ACTIVITIES AND GAMES ON THE OPEN FLEX SPACE. THE PLANTING BUFFER AROUND THE PERIMETER UTILIZES LUSH PLANTING WITHIN VARYING PLANTER HEIGHTS AND SIZES, CREATING A NATURALISTIC ATMOSPHERE.



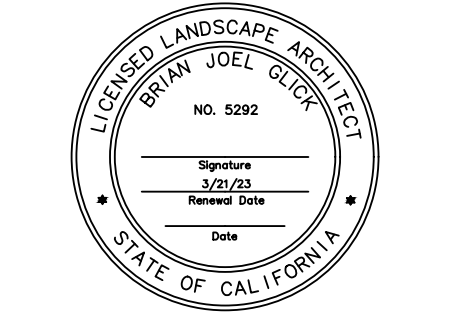
PERSPECTIVE 2

THE OPEN DESIGN EFFORTLESSLY COMBINES MULTIPLE USE AREAS INTO ONE SPACE WITH A LARGE PATIO UMBRELLA THAT ANCHORS THE DINING AREA. MULTIPLE HEIGHT DECORATIVE PLANTERS WITH TREES AND LUSH PLANTING HELPS DEFINE THE ROOF DECK AND ITS MICRO GATHERING AREAS, WHILE PROVIDING PRIVACY AND SEPARATION BETWEEN THE RESIDENTIAL UNITS AND THE ROOF DECK AMENITY SPACE.



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		DRAWN BY: KM
		CHECKED BY: BG
		DATE: FEBRUARY 28, 2023
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5TH FLOOR ROOF DECK

L5

ENTRY PLAZA AND EMERGENCY VEHICULAR ACCESS

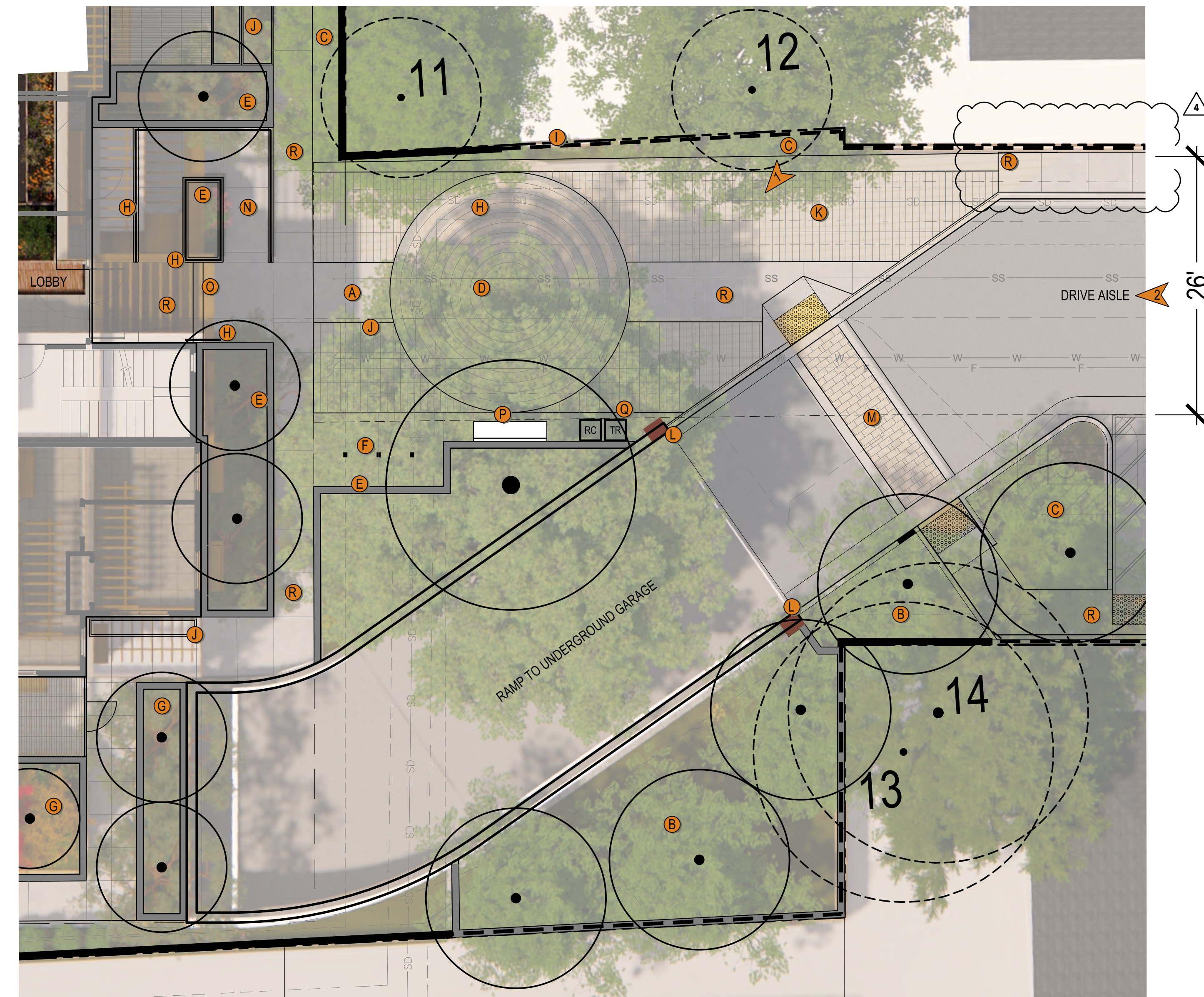
THE DECORATIVE PAVING CROSS-WALK TIES INTO THE LARGE ENTRY PLAZA COMMON USABLE OPEN SPACE WHERE RESIDENTS CAN SPENDTIME OUTDOORS WANDERING THROUGH THE LABYRINTH PAVING OR ENJOYING THE OPEN SPACE SHADED BY NUMEROUS TREES. ALSO FEATURES DECORATIVE LOW WALLS WITH WOODEN BENCHES.

LEGEND

- A EVA PASEO AND ENTRY PLAZA WITH DECORATIVE PAVING [C/L12]
- B BIOTREATMENT PLANTER
- C ON-GRADE PLANTING AREA
- D LABYRINTH PAVING INLAY [E/L12]
- E 42" BOARD FORM PLANTER [B/L10]
- F BIKE RACKS (4 SPACES) [D/L10]
- G CMU PLANTER [A/L10]
- H HANDRAIL [G/L10]
- I 6' HIGH WOOD FENCE ON RETAINING WALL [A/L13]
- J 42"x36"x12" RAISED FIBERGLASS PLANTER [B/L13]
- K LARGE SCALE PERVIOUS PAVERS [C/L12]
- L FRAMING PILASTER [H/L11]
- M IMPERVIOUS DECORATIVE PAVERS [B/L12]
- N RAMP
- O ENTRY STEPS
- P BENCH [C/L11]
- Q TRASH AND RECYCLING RECEPTACLES [E/L10]
- R CONCRETE PAVING [D/L12]



LABYRINTH PAVING



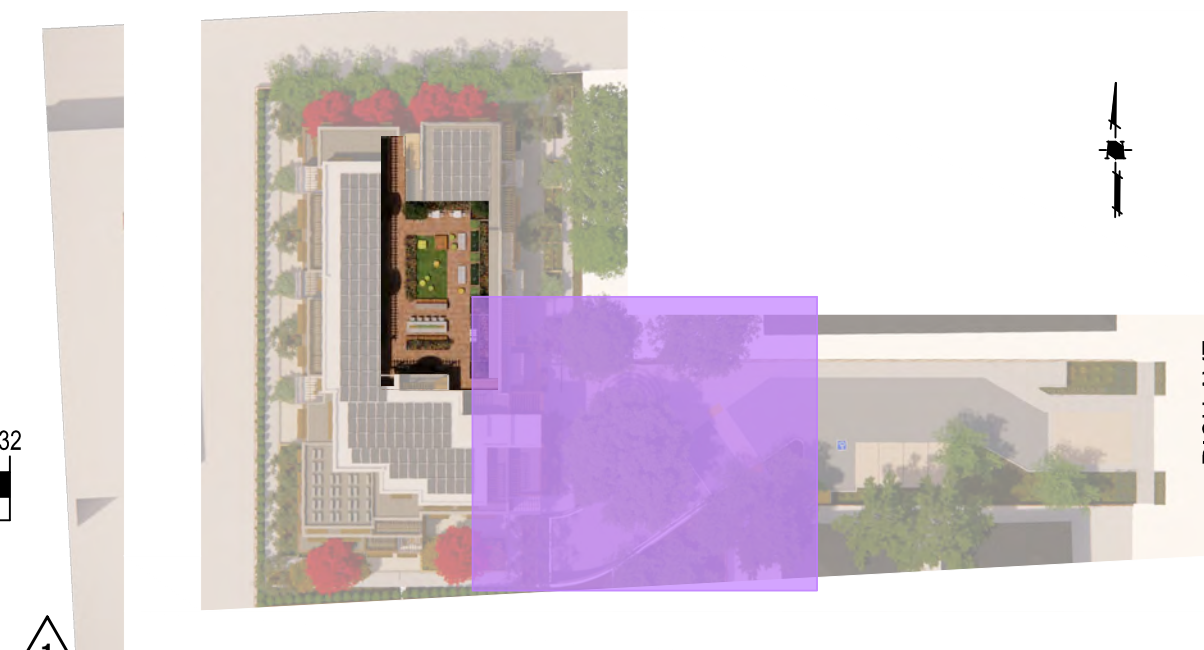
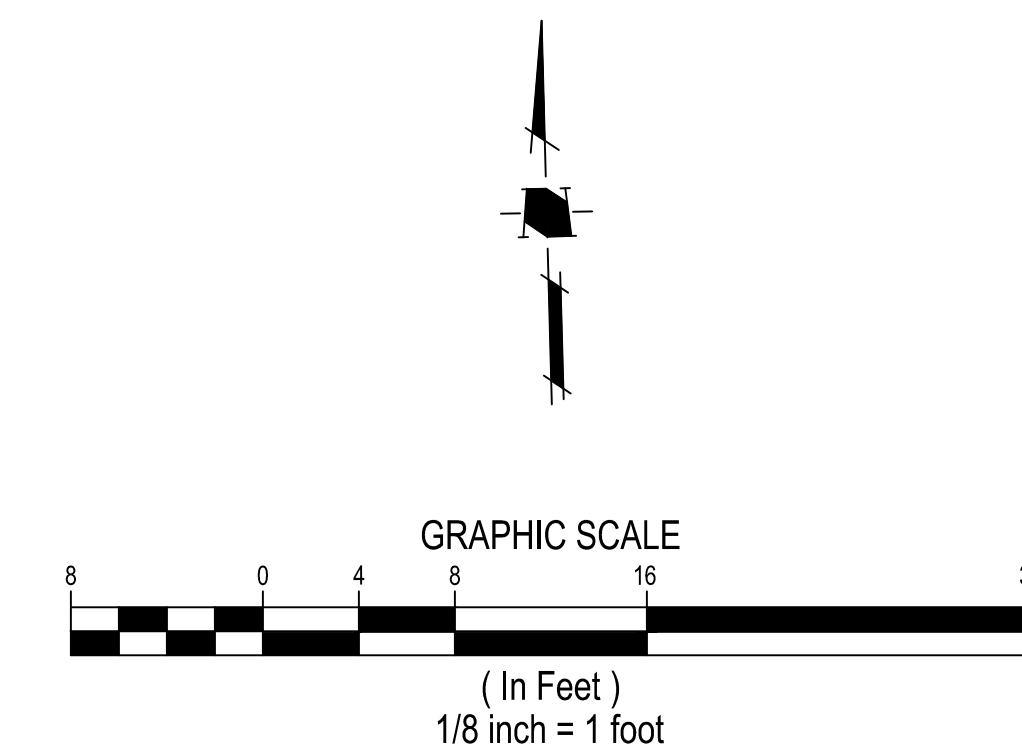
PERSPECTIVE 1

THE OPEN ENTRY PLAZA PROVIDES A GRAND ENTRANCE TO THE BUILDING WHILE ALSO ALLOWING EMERGENCY VEHICLE ACCESS TO THE FRONT OF THE BUILDING. RAISED BOARD FORMED CONCRETE PLANTERS SURROUND THE PLAZA WITH LARGE TREES AND LUSH PLANTING. THE PLAZA'S LARGE LABYRINTH PAVING PROVIDES A SPACE FOR FAMILY AND FRIENDS TO GATHER AND INTERACT ON A PLEASANT DAY.

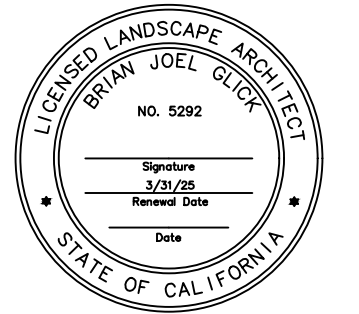


PERSPECTIVE 2

A DECORATIVE CROSSWALK LEADS INTO THE ENTRY PLAZA, AND FRAMING PILASTERS PROVIDE A GATEWAY INTO THE UNDERGROUND GARAGE.



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CHECKED BY:	BG	
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ACTIVE AREA AND EMERGENCY VEHICULAR ACCESS ROAD

L6

ENTRY WAY

RESIDENTS AND VISITORS ARE WELCOMED BY BEAUTIFUL PLANTING THAT DOUBLES AS SCREENING OF THE TRASH BIN STORAGE AREA. THE VISIBILITY OF THE CROSS WALK IS ENHANCED BY DECORATIVE PAVING.

LEGEND

- A PERVIOUS DECORATIVE PAVERS [B/L12]
- B TRASH BIN STORAGE AREA
- C LARGE SCALE PERVIOUS PAVERS [C/L12]
- D BIOTREATMENT PLANTER
- E CONCRETE PAVING [D/L12]
- F 6' HIGH WOOD FENCE ON RETAINING WALL [A/L13]
- G 3' HIGH WOOD FENCE ON RETAINING WALL [A/L13]
- H IMPERVIOUS DECORATIVE PAVERS [B/L12]
- I ON-GRADE PLANTER
- J 6' HIGH WOOD SCREEN FENCE [B/L13]

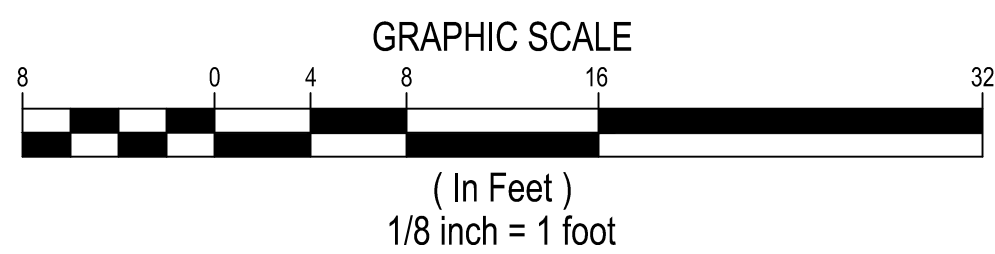
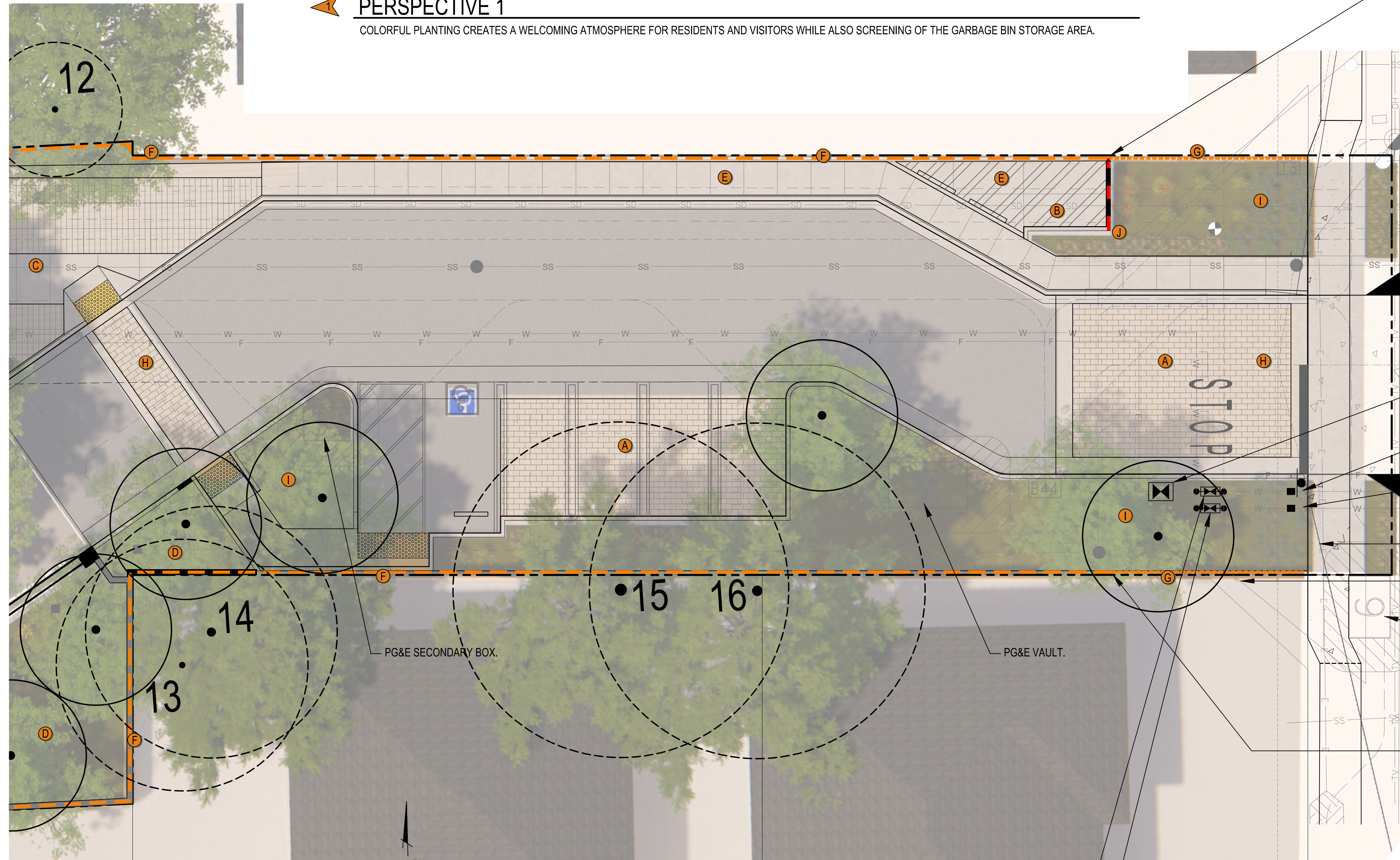


PERSPECTIVE 1

COLORFUL PLANTING CREATES A WELCOMING ATMOSPHERE FOR RESIDENTS AND VISITORS WHILE ALSO SCREENING OF THE GARBAGE BIN STORAGE AREA.



COLORFUL DROUGHT TOLERANT MEDITERRANEAN PLANTING SCHEME



FENCE CHANGES FROM 6' HIGH DOWN TO 3' HIGH AT THIS POINT

- FIRE BACKFLOW. SEE CIVIL ENGINEERS PLANS.
- DOMESTIC WATER METER. SEE CIVIL ENGINEERS PLANS.
- IRRIGATION WATER METER. SEE CIVIL ENGINEERS PLANS.
- VEHICLE TRIANGLE OF SAFETY, TYPICAL
- PEDESTRIAN TRIANGLE OF SAFETY, TYPICAL
- PG&E SPLICE BOX.

FENCE CHANGES FROM 6' HIGH DOWN TO 3' HIGH AT THIS POINT

- DOMESTIC BACKFLOW. SEE CIVIL ENGINEERS PLANS.
- IRRIGATION BACKFLOW. SEE CIVIL ENGINEERS PLANS.



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CHECKED BY:	BG	
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SCALE:	1/8"=1'-0"	
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ENTRY WAY

L7

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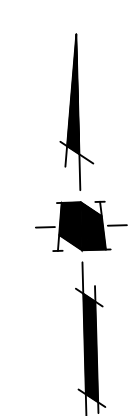
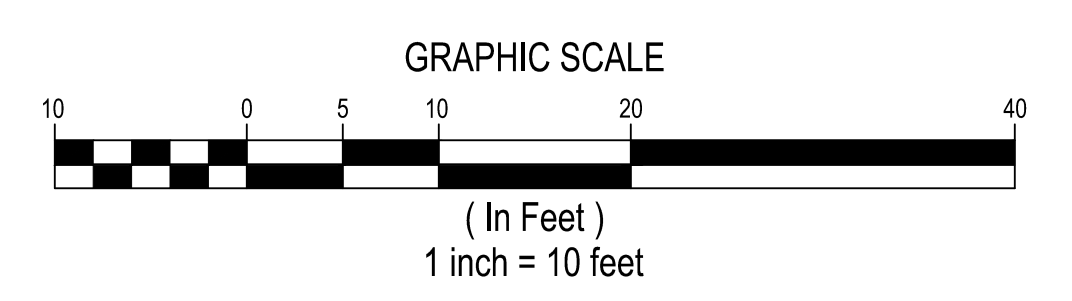
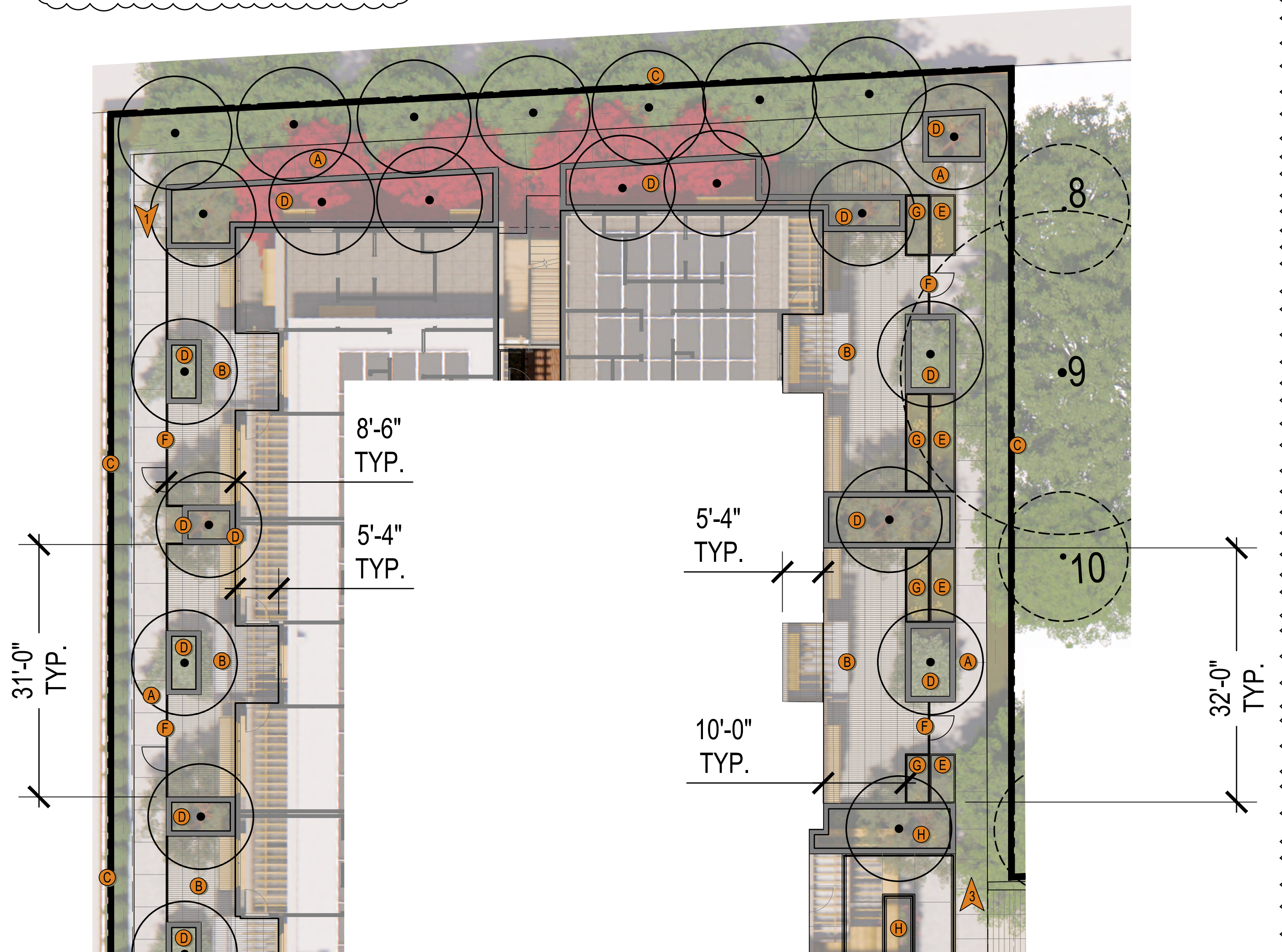
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GROUND LEVEL NORTH

A SERIES OF LARGE PRIVATE USE PATIOS WRAP AROUND THE BUILDING. WALKABLE SURFACES SURROUND THE BUILDING FOR EASE OF ACCESS AND A VARIETY OF PLANT MATERIALS CREATE A LANDSCAPE BUFFER BETWEEN THE SITE AND ADJACENT PROPERTIES.

LEGEND

- A CONCRETE PAVING [D/L12]
- B PRIVATE PATIO
- C 6' HIGH WOOD FENCE ON RETAINING WALL [A/L13]
- D 42" CMU PLANTER [A/L10]
- E 12" RAISED FIBERGLASS PLANTER [B/L13]
- F LOW FENCE WITH GATE [C/L10]
- G 36" RAISED FIBERGLASS PLANTER [B/L13]
- H 42" BOARD FORM CONCRETE PLANTER [B/L13]



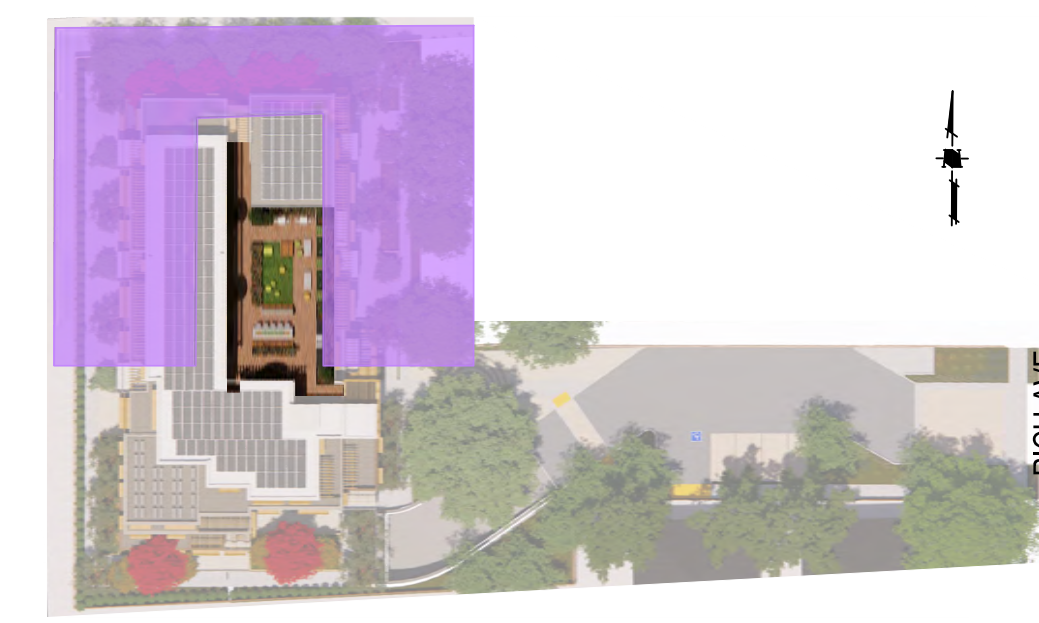
PERSPECTIVE 1
THE EXCLUSIVE USE LARGE PRIVATE PATIOS BRINGS ADDITIONAL LIVING SPACE FOR RESIDENTS TO ENJOY SUN BATHING, LOUNGING, DINING, AND RELAXING. RAISED PLANTERS WITH LARGE TREES PROVIDE A PLANTING BUFFER BETWEEN THE PATIOS AND PUBLIC WALKWAY.



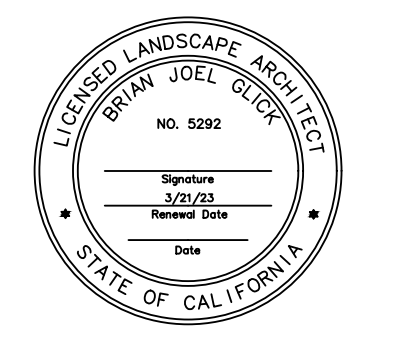
PERSPECTIVE 2
THE NORTH SIDE OF THE BUILDING HOLDS ACCESS TO THE UNDERGROUND PARKING STRUCTURE AS WELL AS AN EXTERNAL BUILDING STAIRWELL. THE CONCRETE WALKWAY IS ENRICHED WITH DECORATIVE PLANTERS, BUFFER TREES, AND FENCE-CLIMBING VINES.



PERSPECTIVE 3
THE EASTERN PRIVATE PATIOS ARE ENCLOSED BY RAISED PLANTERS OF VARYING HEIGHTS AND MATERIALS, ADDING TO THE IDENTITY OF PLACE. THE LOW FENCES AT THE PATIOS USE THE SAME MATERIALS AS THE UPPER LEVEL BALCONIES TYING TOGETHER ARCHITECTURAL ELEMENTS WITH THE LANDSCAPE.



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NO	DATE	DESCRIPTION
		PROJECT NO: 5817.00
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		DESIGNED BY: KM, BG
		DRAWN BY: KM
		CHECKED BY: BG
		DATE: FEBRUARY 28, 2023
		SCALE: 1/8"=1'-0"
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GROUND LEVEL

L8

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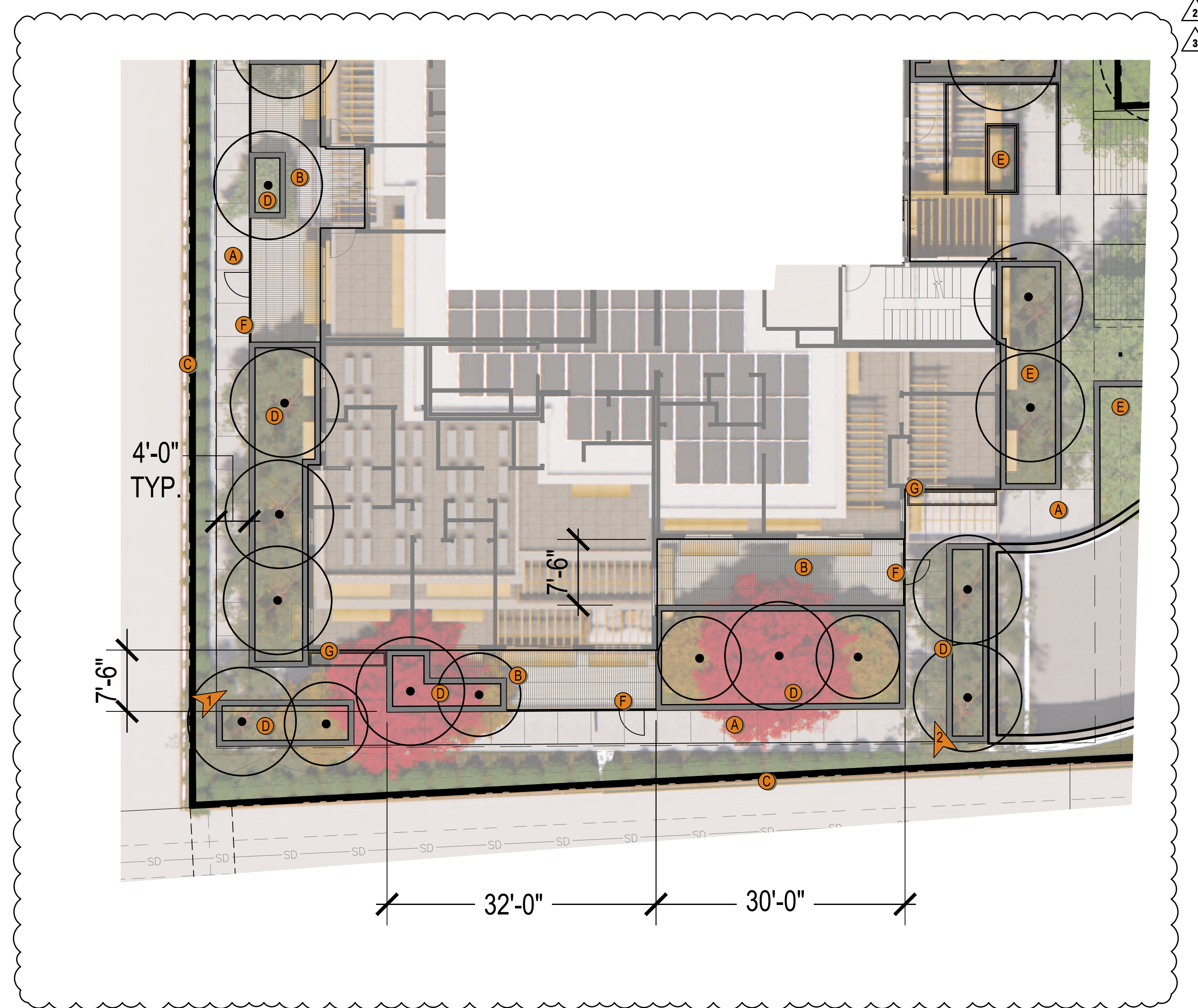
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GROUND LEVEL SOUTH

A SERIES OF LARGE PRIVATE USE PATIOS WRAP AROUND THE BUILDING. WALKABLE SURFACES SURROUND THE BUILDING FOR EASE OF ACCESS AND A VARIETY OF PLANT MATERIALS CREATE A LANDSCAPE BUFFER BETWEEN THE SITE AND ADJACENT PROPERTIES.

LEGEND

- A CONCRETE PAVING [D/L12]
- B PRIVATE PATIO
- C 6' HIGH WOOD FENCE ON RETAINING WALL [A/L13]
- D 42" CMU PLANTER [A/L10]
- E 42" BOARD FORM PLANTER [B/L10]
- F LOW FENCE WITH GATE [C/L10]
- G 18" RAISED FIBERGLASS PLANTER [B/L13]



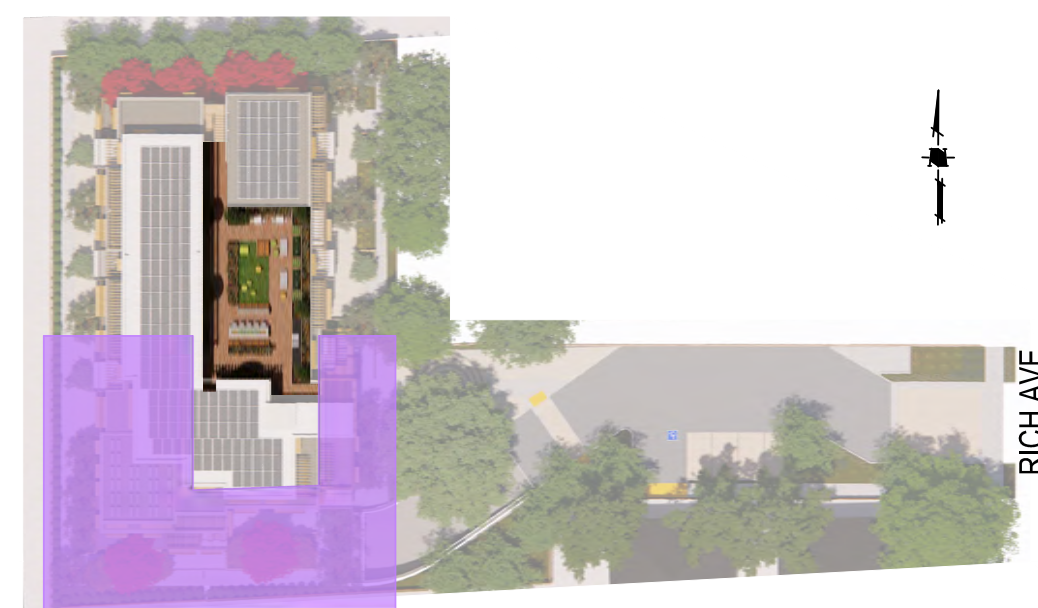
PERSPECTIVE 1

EXCLUSIVE USE PRIVATE PATIOS ON THE GROUND LEVEL GIVES RESIDENTS THE OPPORTUNITY FOR INTIMATE GATHERINGS, AN OUTDOOR DINING AREA, OR A SPACE TO RELAX AND ENJOY THE OUTDOORS. THE PATIOS ARE SEPARATED BY PLANTERS, ADDING TO THE IDENTITY OF PLACE. THE LOW FENCES AT THE PATIOS USE THE SAME MATERIALS AS THE UPPER LEVEL BALCONIES TYING TOGETHER ARCHITECTURAL ELEMENTS WITH THE LANDSCAPE.



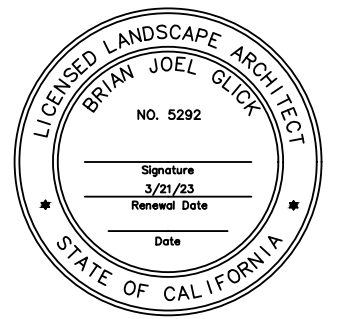
PERSPECTIVE 2

THE SOUTH SIDE OF THE BUILDING IS ACCENTED WITH VIBRANT COLUMNAR MAPLES, STRAWBERRY TREES, AND LARGE NATURALISTIC PLANTERS. RAISED PLANTERS WITH LARGE TREES PROVIDE A PLANTING BUFFER BETWEEN THE PATIOS AND PUBLIC WALKWAY.



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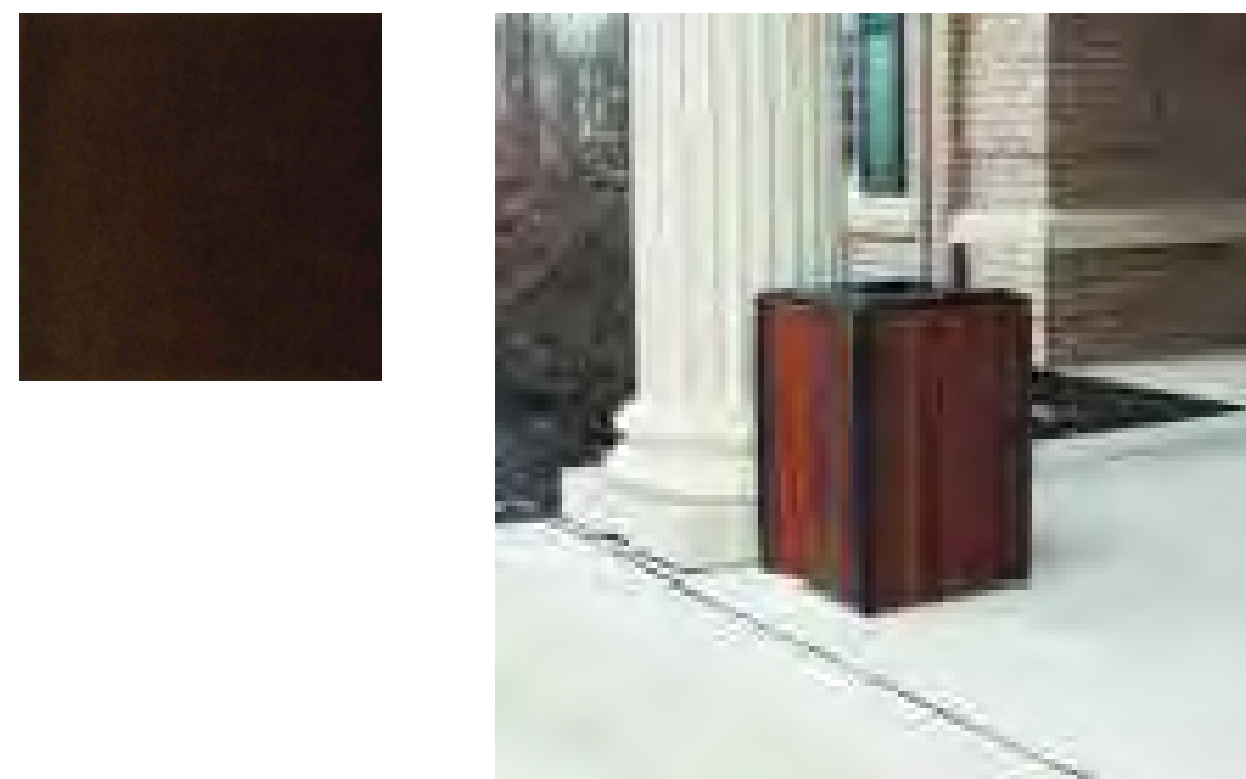
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PROJECT NO:	5817.00
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DESIGNED BY:	KM, BG
DRAWN BY:	KM
CHECKED BY:	BG
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GROUND LEVEL

L9

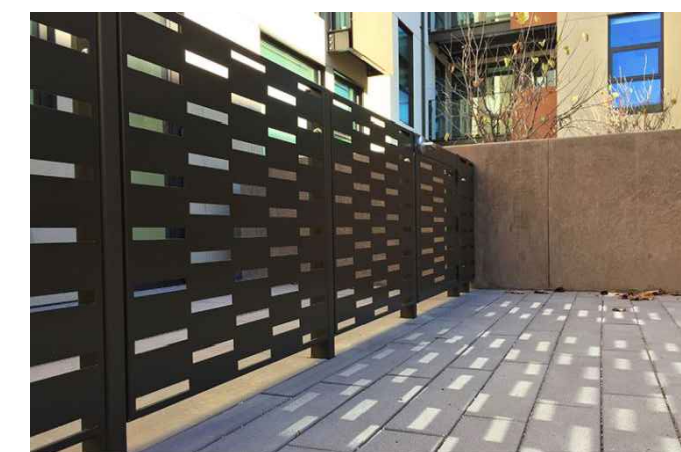
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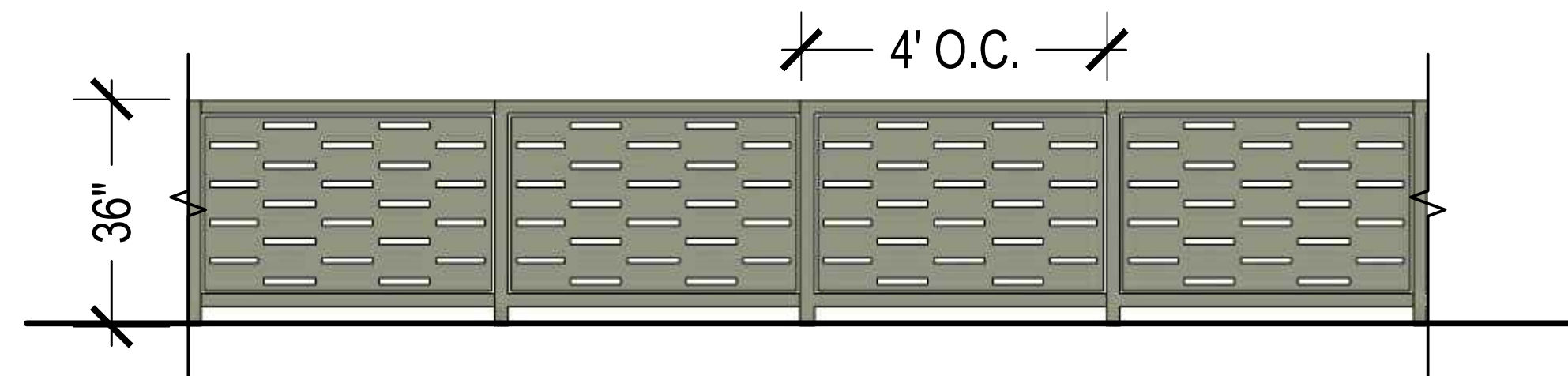
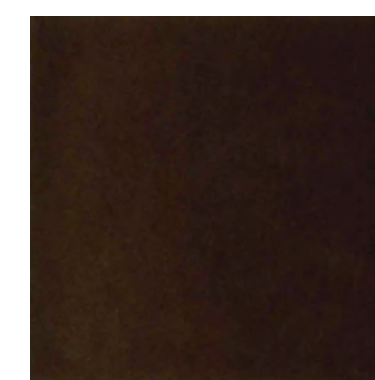
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E TRASH/RECYCLING RECEPTACLE
SCALE: NONE

MATERIAL: BOK MODERN LASER CUT ALUMINUM (OR APPROVED EQUAL)

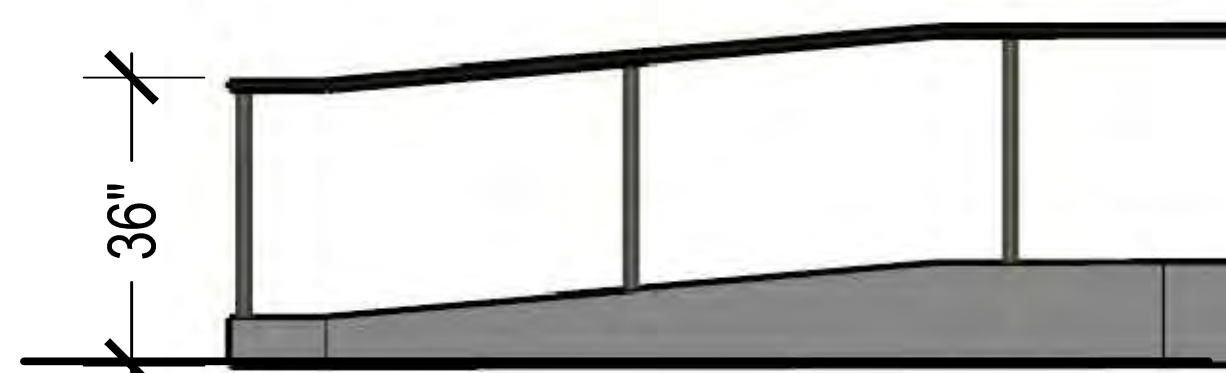
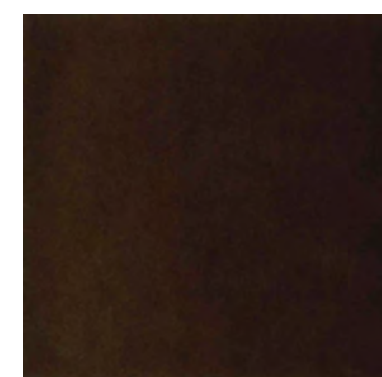


COLOR: DARK BRONZE



C LOW FENCE AND GATE
SCALE: 1/2" = 1'-0"

MATERIAL: GALVANIZED FLATBAR
COLOR: DARK BRONZE

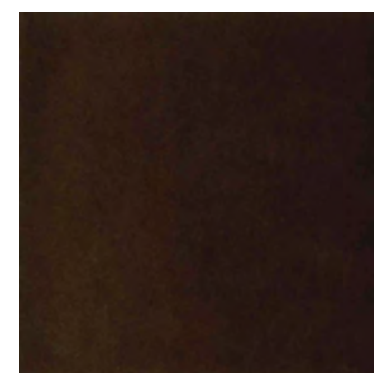


G HANDRAIL
SCALE: 1/2" = 1'-0"

MATERIAL: SOLID CAST ALUMINUM WITH POWDERCOAT FINISH



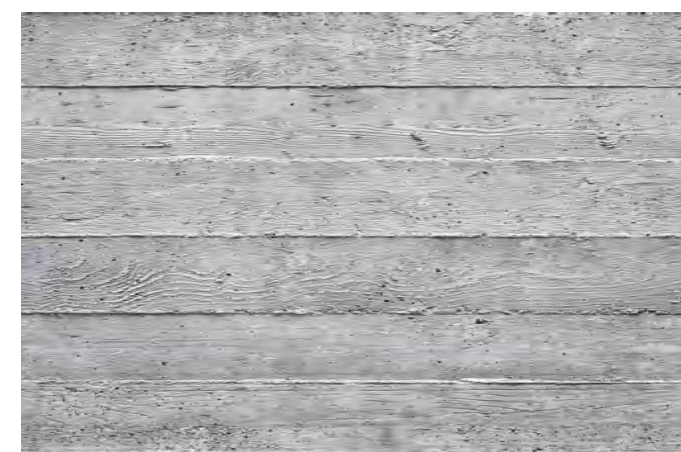
COLOR: DARK BRONZE



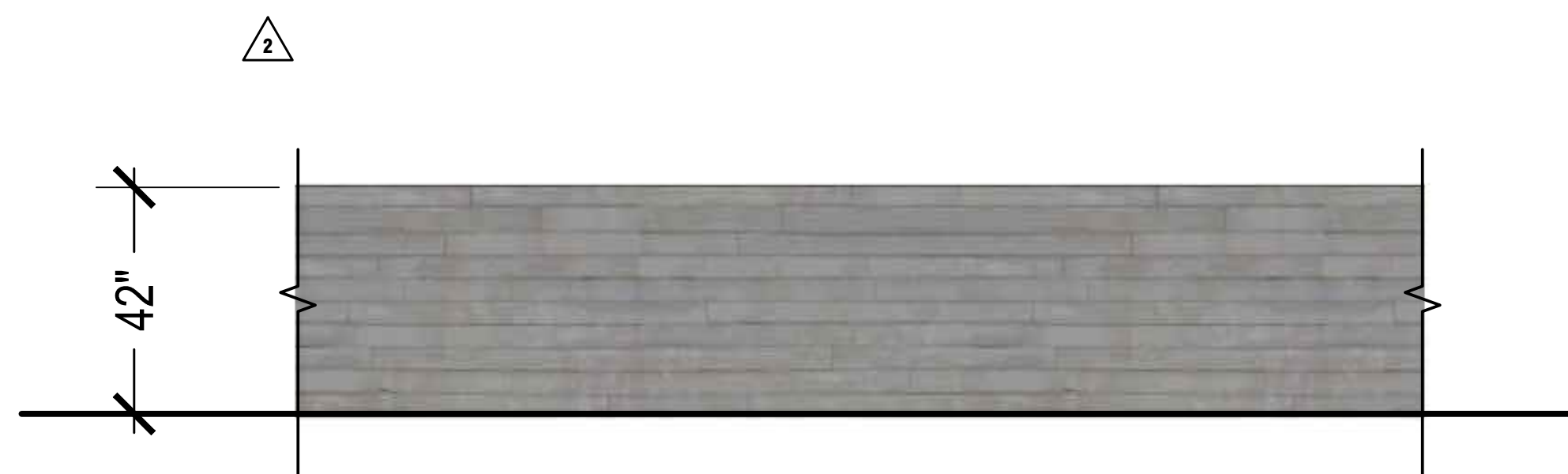
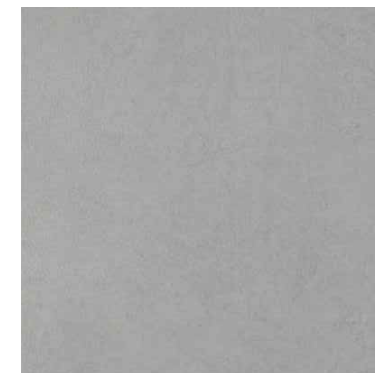
AVAILABLE FROM FORMS AND SURFACES CAPITOL BIKE RACK OR APPROVED EQUAL.

D BIKE RACK
SCALE: 1/2" = 1'-0"

MATERIAL: CONCRETE BOARD FORM FINISH



COLOR: NATURAL GREY



B BOARD FORM CONCRETE PLANTER WALL
SCALE: 1/2" = 1'-0"

AVAILABLE FROM BBQGUYS.COM OR APPROVED EQUAL.
(ELECTRI-CHEF DIAMOND GRILL)



F ELECTRIC GRILL
SCALE: NONE

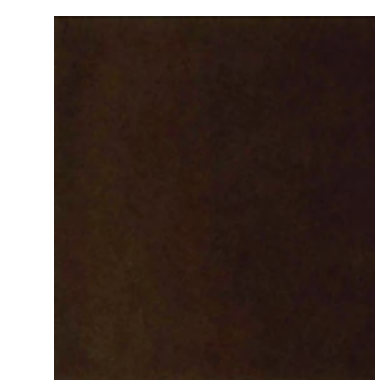
MATERIAL: CMU BLOCK WITH CAP



COLOR: SANDSTONE



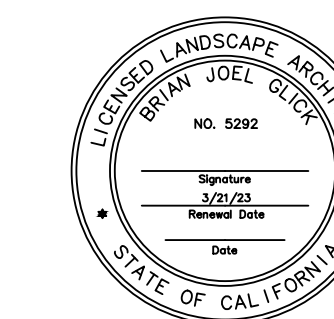
CAP COLOR: DARK BRONZE



A CMU PLANTER WALL
SCALE: 1/2" = 1'-0"



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Land Surveying
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San Jose, CA 95131 HMHca.com



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MOUNTAIN VIEW, CA 94040

5/4/22	3RD CITY SUBMITTAL	
10/28/22	4TH CITY SUBMITTAL	
2/24/23	5TH CITY SUBMITTAL	
5/15/23	6TH CITY SUBMITTAL	
NO	DATE	DESCRIPTION
PROJECT NO: 5817.00		
CAD DWG FILE: L10-L13 581700CL.DWG		
DESIGNED BY: KM, BG		
DRAWN BY: KM		
CHECKED BY: BG		
DATE: FEBRUARY 28, 2023		
SCALE: AS SHOWN		
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CONCEPT DETAILS

L10

MATERIAL: SYNLAWN SYNPRO 100 OR APPROVED
EQUAL ARTIFICIAL TURF
COLOR: NATURAL GREEN



G SYNTHETIC TURF
 SCALE: NONE

MATERIAL: ARDENZA ROPE
COLOR: GREEN, LIME GREEN, YELLOW

AVAILABLE FROM BOREK OR APPROVED EQUAL.
 (CROCHETTE SEATING POUFFE LARGE)



F PLAY SEATING POUFFE
 SCALE: NONE

MATERIAL: OUTTRA RECYCLED FABRIC, ALUMINUM
 FRAME
COLOR: CREAM

AVAILABLE FROM BLUU OR APPROVED EQUAL.
 (9' X 9' SEQUOIA PRO CANTILEVER UMBRELLA
 SQUARE)

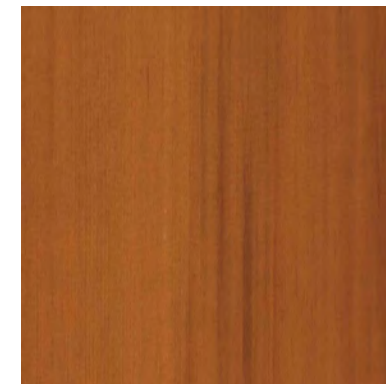


B WEIGHTED PATIO UMBRELLA
 SCALE: NONE

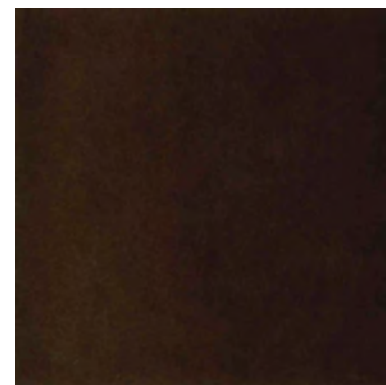
MATERIAL: WOOD WITH METAL CAP



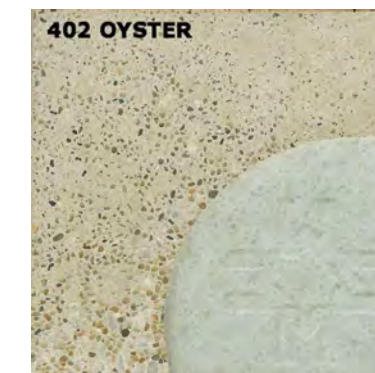
COLOR: NATURAL WOOD



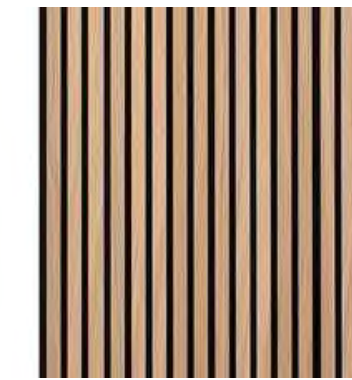
COLOR: DARK BRONZE



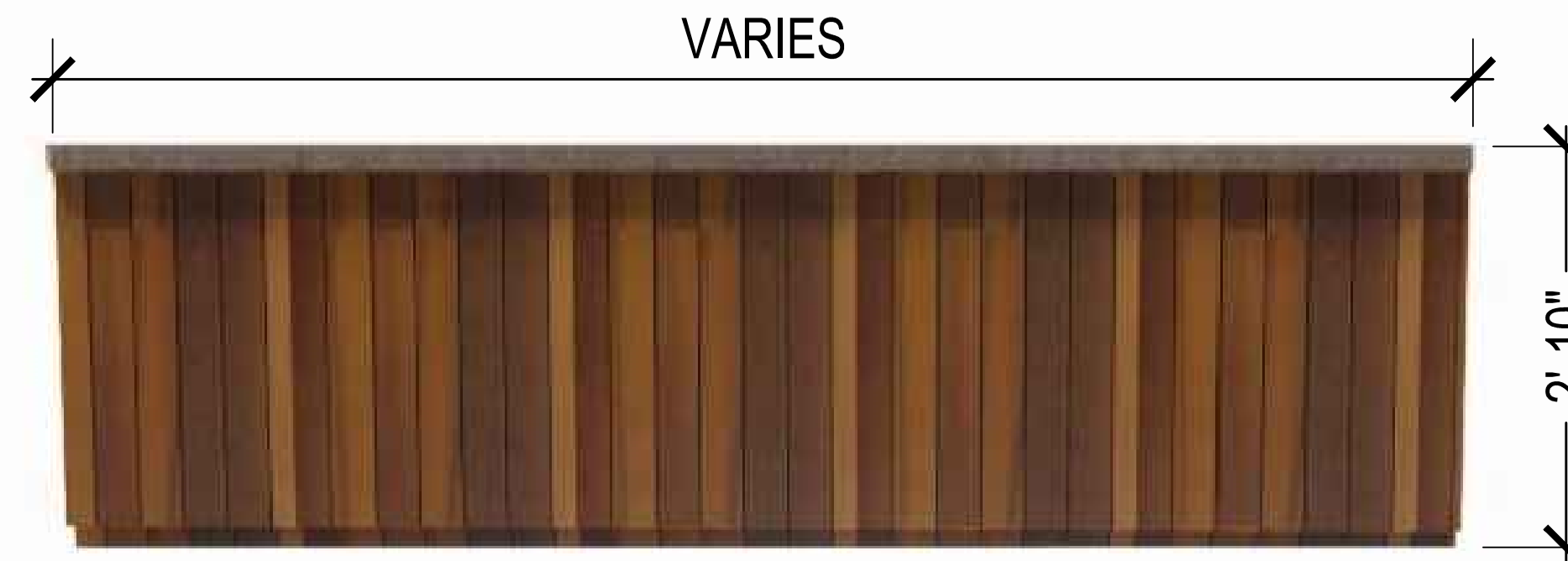
MATERIAL: ALUMINUM FRAME, STRUCTURAL CONCRETE COUNTERTOP, WOOD VENEER TILING
COLOR: 402 OYSTER COUNTERTOP, WALNUT STAINED WOOD



STRUCTURAL CONCRETE AVAILABLE
 FROM MARK CONCRETE (03 31 00)



WOOD VENEER TILING
 AVAILABLE FROM THE
 WOOD VENEER HUB USA
 OR APPROVED EQUAL



E KITCHEN COUNTER
 SCALE: 1/2" = 1'-0"

MATERIAL: RECLAIMED TEAK, OUTDOOR CUSHION
COLOR: NATURAL WOOD, GREEN

AVAILABLE FROM BOREK OR APPROVED EQUAL.
 (CADIZ COLLECTION)



D LOUNGE SOFA
 SCALE: NONE

MATERIAL: NATURAL WOOD WITH METAL ACCENTS
COLOR: NATURAL WOOD

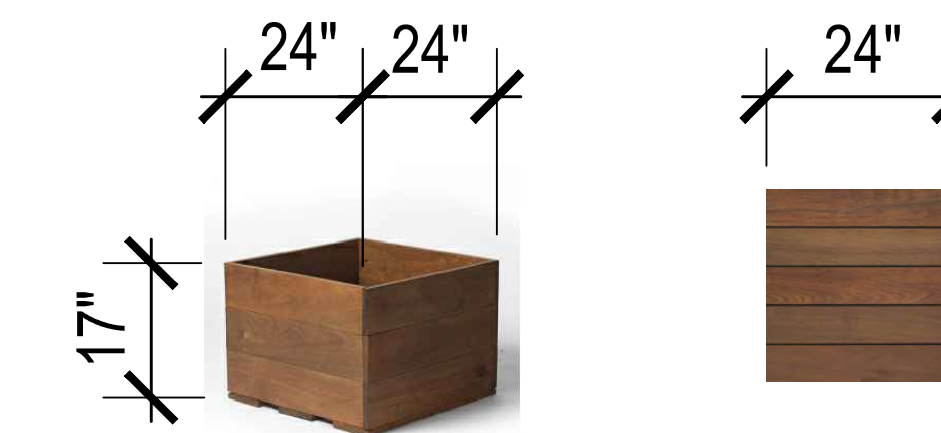
AVAILABLE FROM LANDSCAPE FORMS OR
 APPROVED EQUAL. (LINK BENCH)



C BENCH
 SCALE: NONE

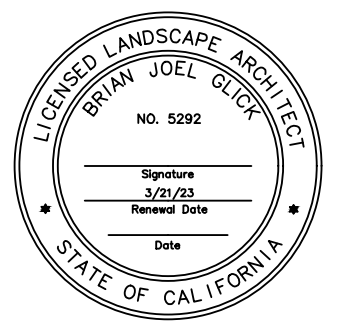
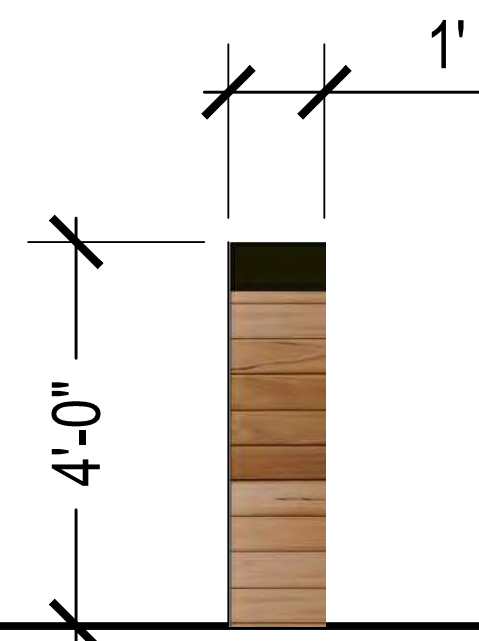
MATERIAL: NATURAL WOOD
COLOR: NATURAL WOOD

AVAILABLE FROM BISON INNOVATIVE PRODUCTS
 OR APPROVED EQUAL. (IPE WOOD CUBE AND
 CUBE TOP.)



A WOOD CUBE AND CUBE TOP
 SCALE: 1/2" = 1'-0"

H UNDERGROUND GARAGE RAMP
 FRAMING PILASTER
 SCALE: 1/2" = 1'-0"



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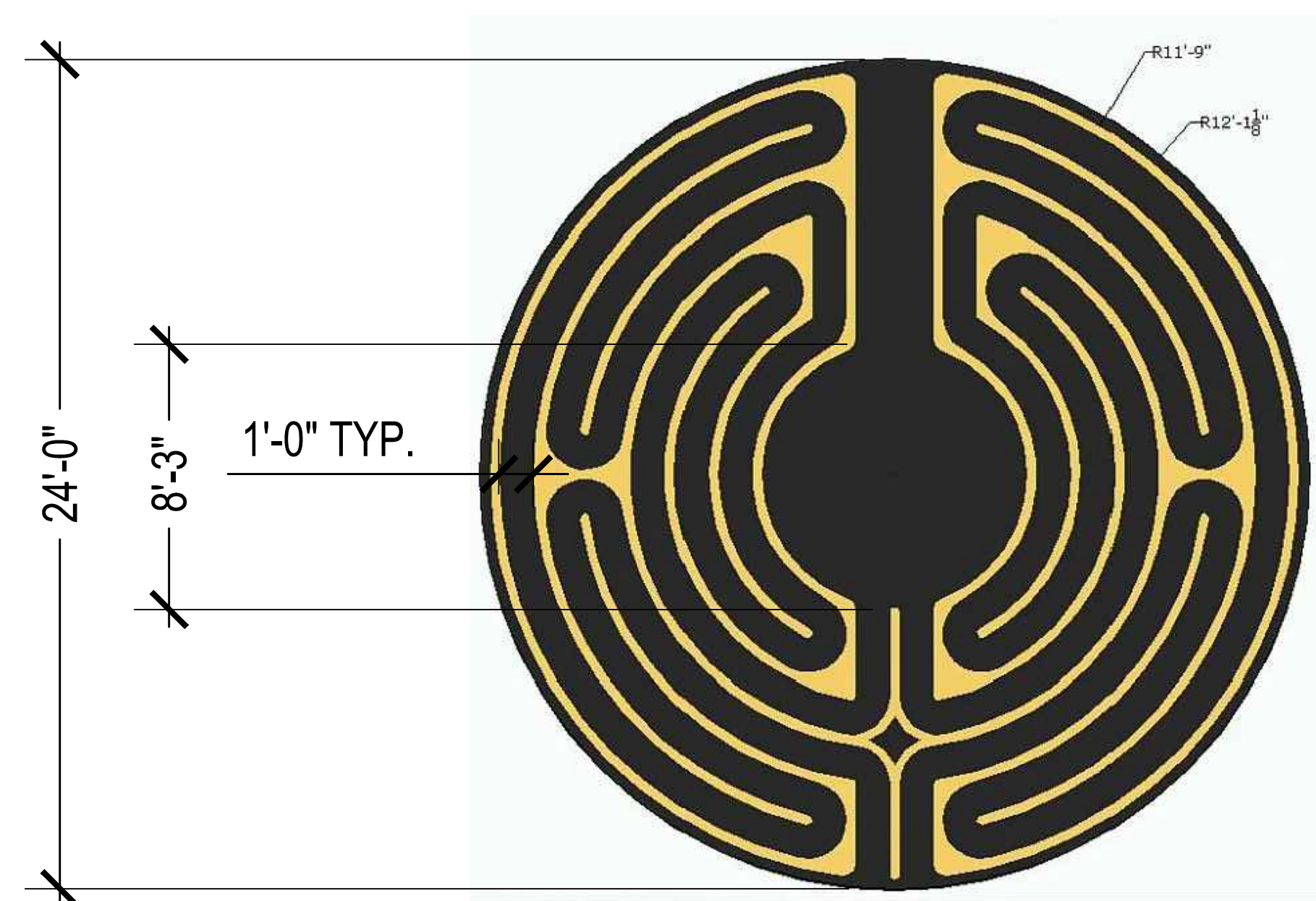
NO.	DATE	DESCRIPTION
△	5/4/22	3RD CITY SUBMITTAL
△	10/28/22	4TH CITY SUBMITTAL
△	2/24/23	5TH CITY SUBMITTAL
△	5/15/23	6TH CITY SUBMITTAL
△		

PROJECT NO: 5817.00
 CAD DWG FILE: L10-L13 581700CL.DWG
 DESIGNED BY: KM, BG
 DRAWN BY: KM
 CHECKED BY: BG
 DATE: FEBRUARY 28, 2023
 SCALE: AS SHOWN
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CONCEPT DETAILS

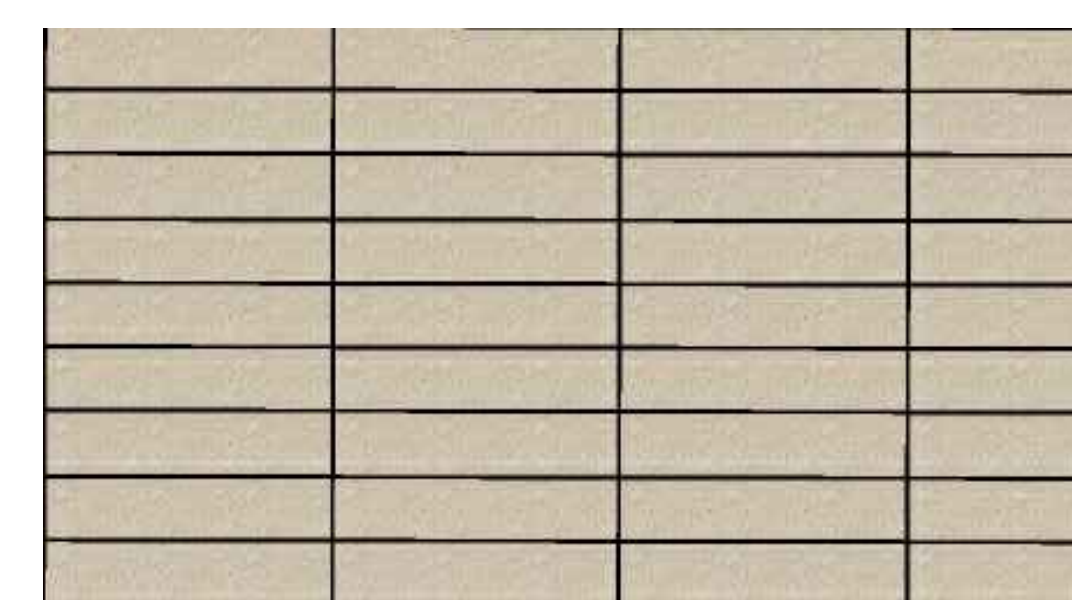
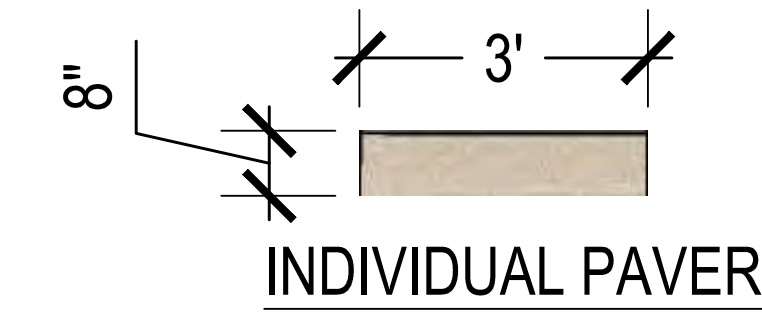
L11

MATERIAL: CONCRETE PAVER BRICKS
 AVAILABLE FROM LABYRINTH
 COMPANY OR APPROVED EQUAL.
COLOR: BLUFF FIELD WITH CHARCOAL
 LINES



E LABYRINTH PAVING INLAY
 SCALE: 1/4" = 1'-0"

MATERIAL: SANDBLASTED CONCRETE
COLOR: GRANADA WHITE, BY STEPSTONE INC. OR
 APPROVED EQUAL.



LAYOUT

C LARGE SCALE PERVIOUS PAVERS
 SCALE: 1/2" = 1'-0"

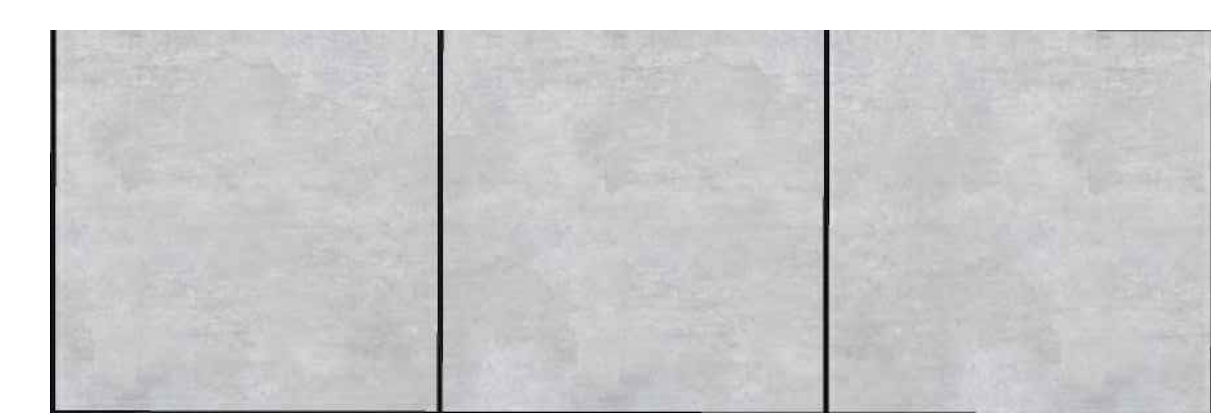
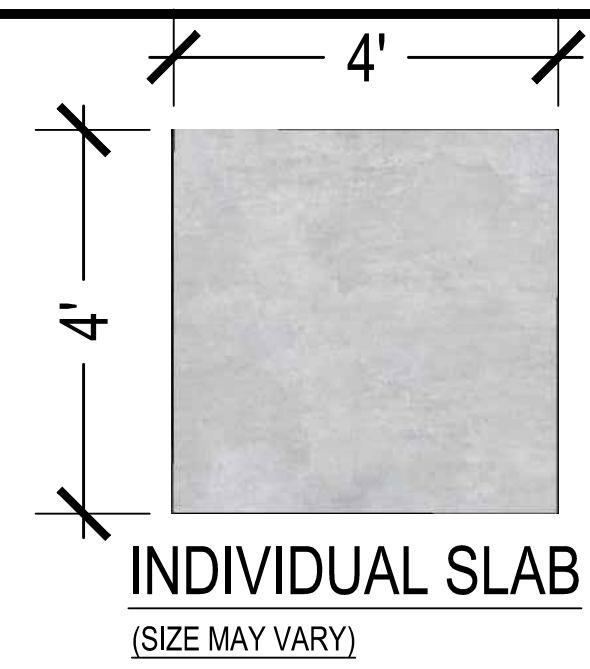
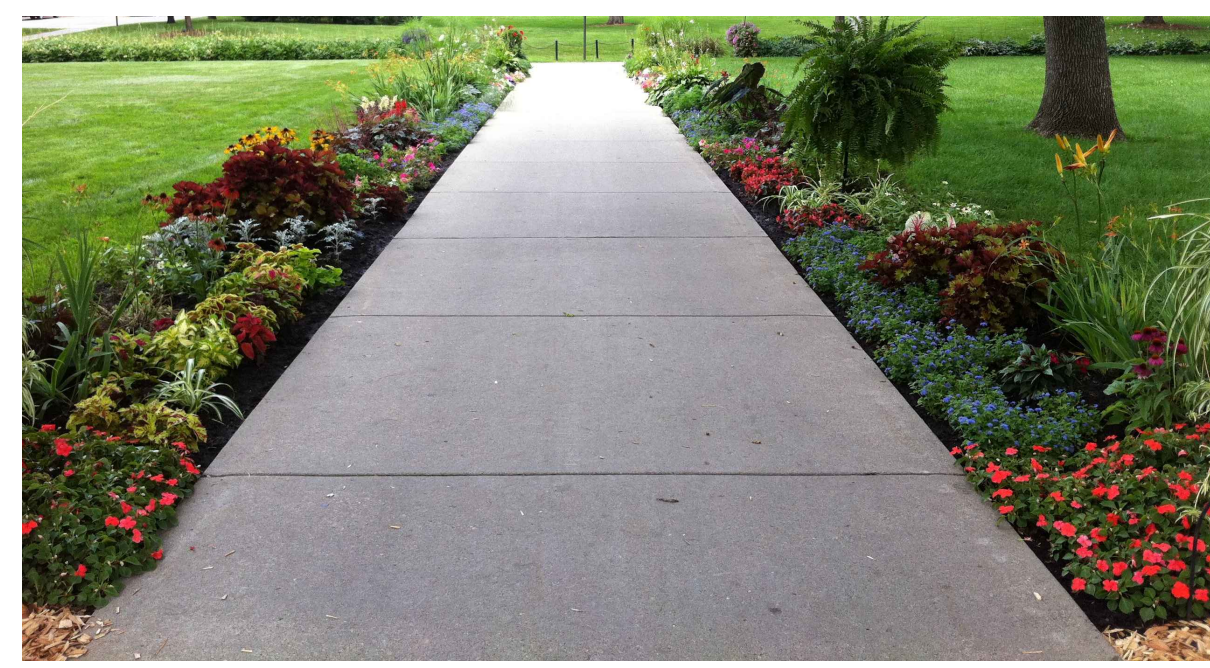
MATERIAL: ANTIQUE KOBBLE 2 PC CONCRETE PAVER
COLOR: LIGHT BROWN/MUTED EARTH TONES
 AVAILABLE FROM ACKERSTONE OR APPROVED EQUAL.



LAYOUT

B DECORATIVE PAVING (PERVIOUS AND IMPERVIOUS)
 SCALE: 1/2" = 1'-0"

MATERIAL: POURED-IN-PLACE CONCRETE
COLOR: NATURAL GREY

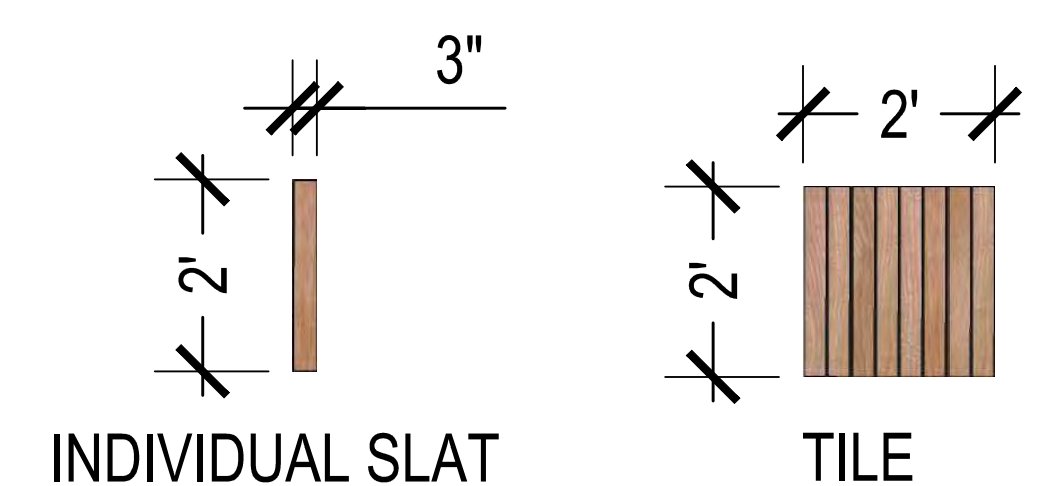
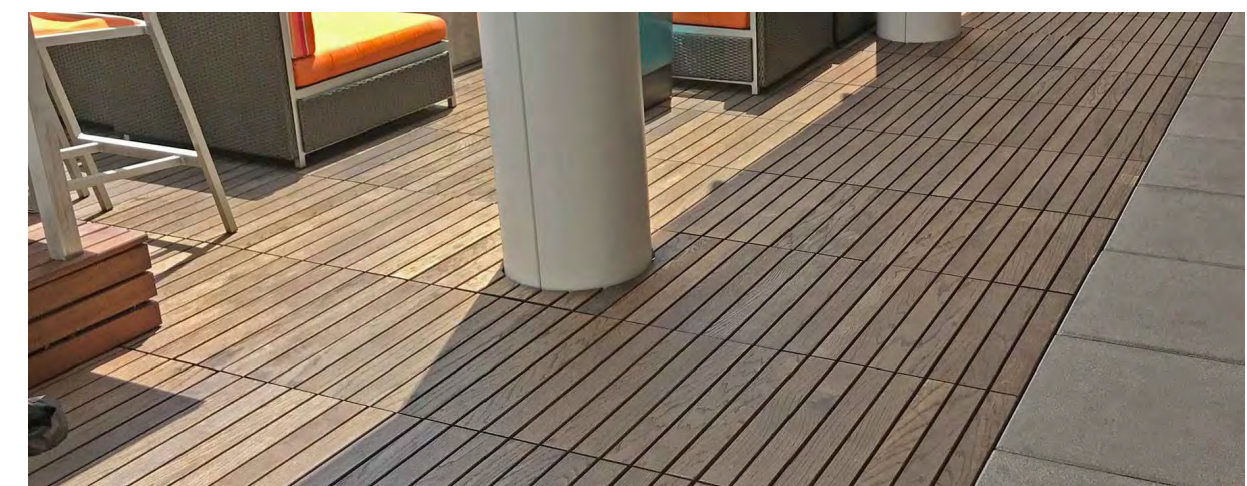


LAYOUT

D CONCRETE PAVING
 SCALE: 1/2" = 1'-0"

MATERIAL: THERMALLY MODIFIED HARDWOOD
 TILES
COLOR: NATURAL WOOD

AVAILABLE FROM BISON INNOVATIVE PRODUCTS
 OR APPROVED EQUAL.



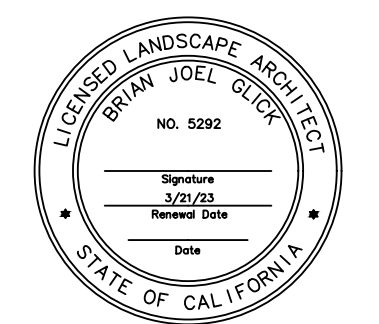
INDIVIDUAL SLAT

TILE



LAYOUT

A STRUCTURAL WOOD TILES
 SCALE: 1/2" = 1'-0"



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△	2/24/23	5TH CITY SUBMITTAL
△	5/15/23	6TH CITY SUBMITTAL
△		

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 DESIGNED BY: KM, BG
 DRAWN BY: KM
 CHECKED BY: BG
 DATE: FEBRUARY 28, 2023
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CONCEPT DETAILS

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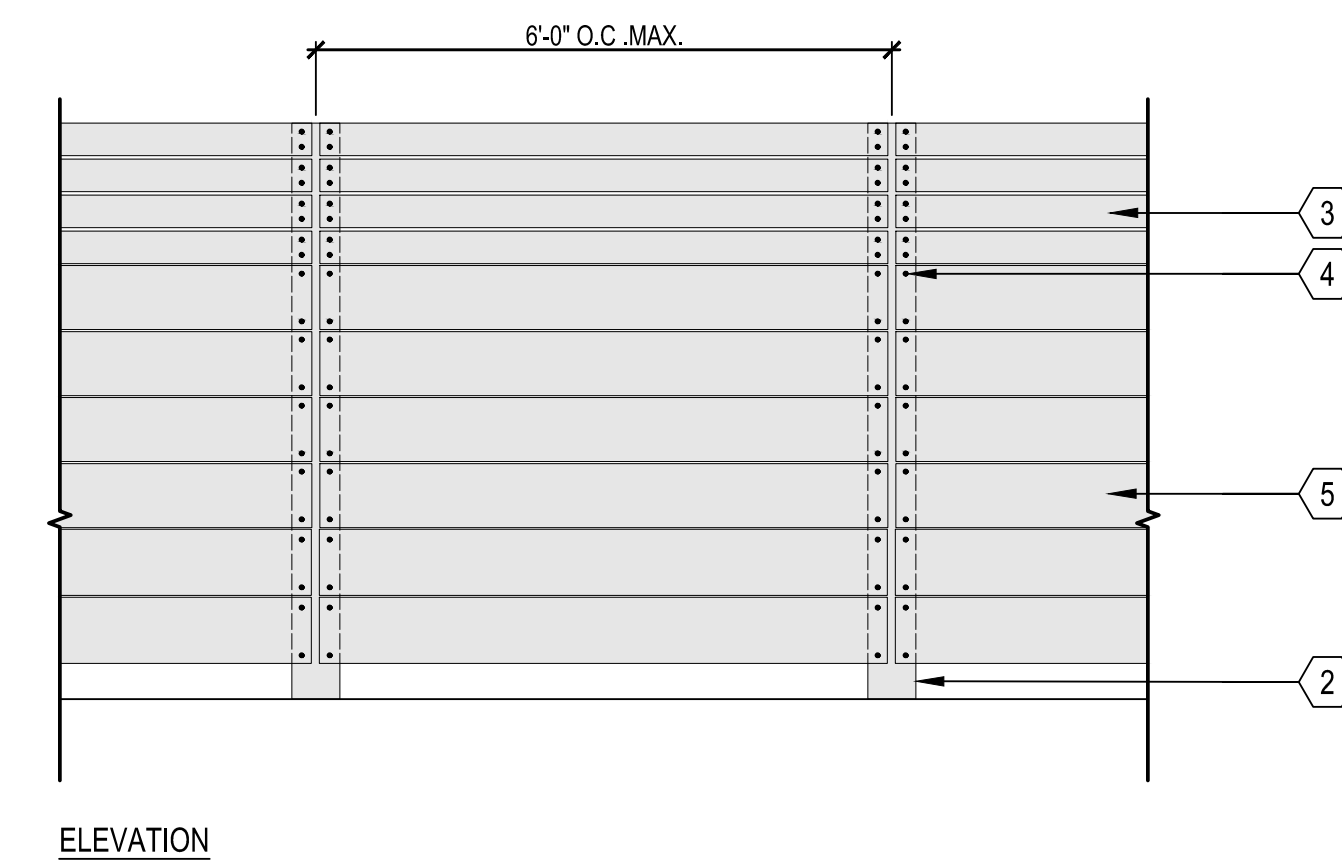
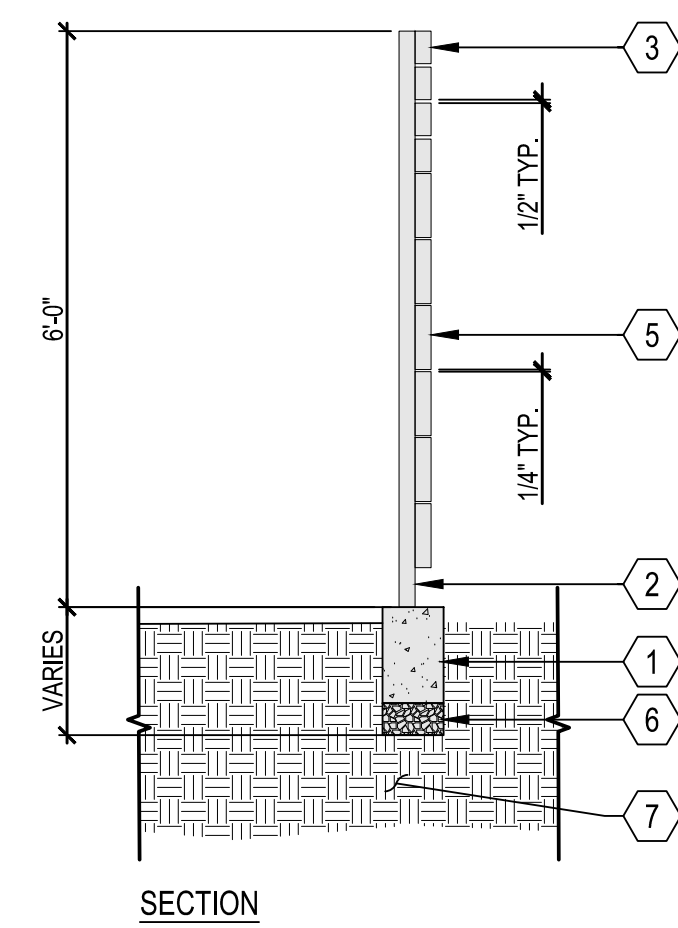
MATERIAL: STEEL
COLOR: COTTON WHITE

TABLE 71 X 71 CM AND METAL CHAIR BISTRO
AVAILABLE FROM FERMOB OR APPROVED
EQUAL



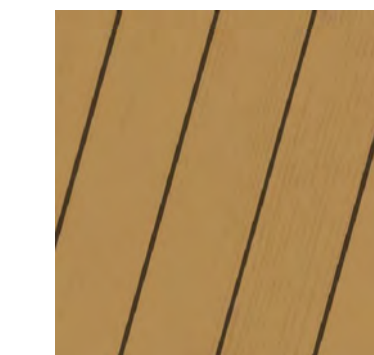
D BISTRO TABLE SET
SCALE: NONE

NOTES:
1. WOOD SHALL BE CONSTRUCTION GRADE REDWOOD,
APPLY 2 COATS OLYMPIC CEDAR SOLID STAIN COLOR.



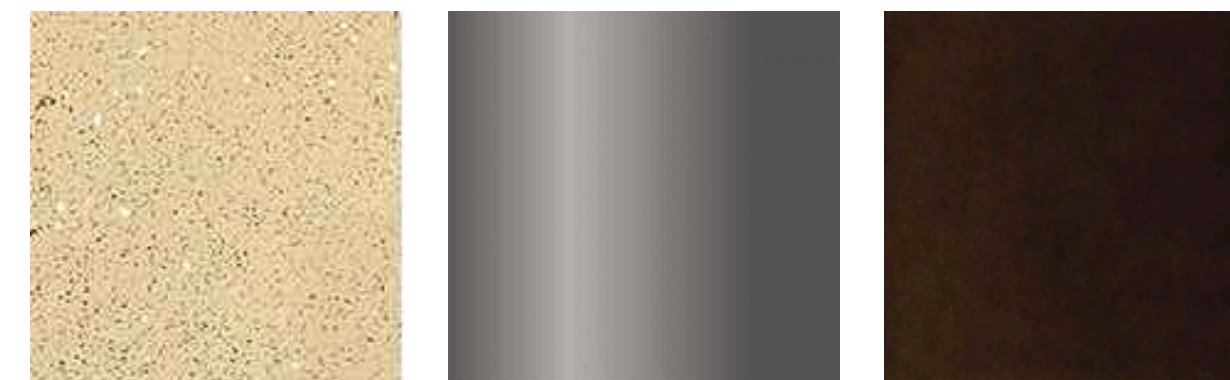
- 1 CONCRETE FOOTING
- 2 2x6x.120 TS POST, EQUALLY SPACE, 6'-0" O.C. MAX
- 3 2x4 HORIZONTAL BOARDS, TYP.
- 4 #14x2-3/4" REAMER TEK TORX/STAR HEAD SELF DRILLING T-30 SCREW
- 5 2x8 HORIZONTAL BOARDS, TYP.
- 6 AGGREGATE BASE
- 7 NATIVE GRADE

**STAIN COLOR:
CEDAR**

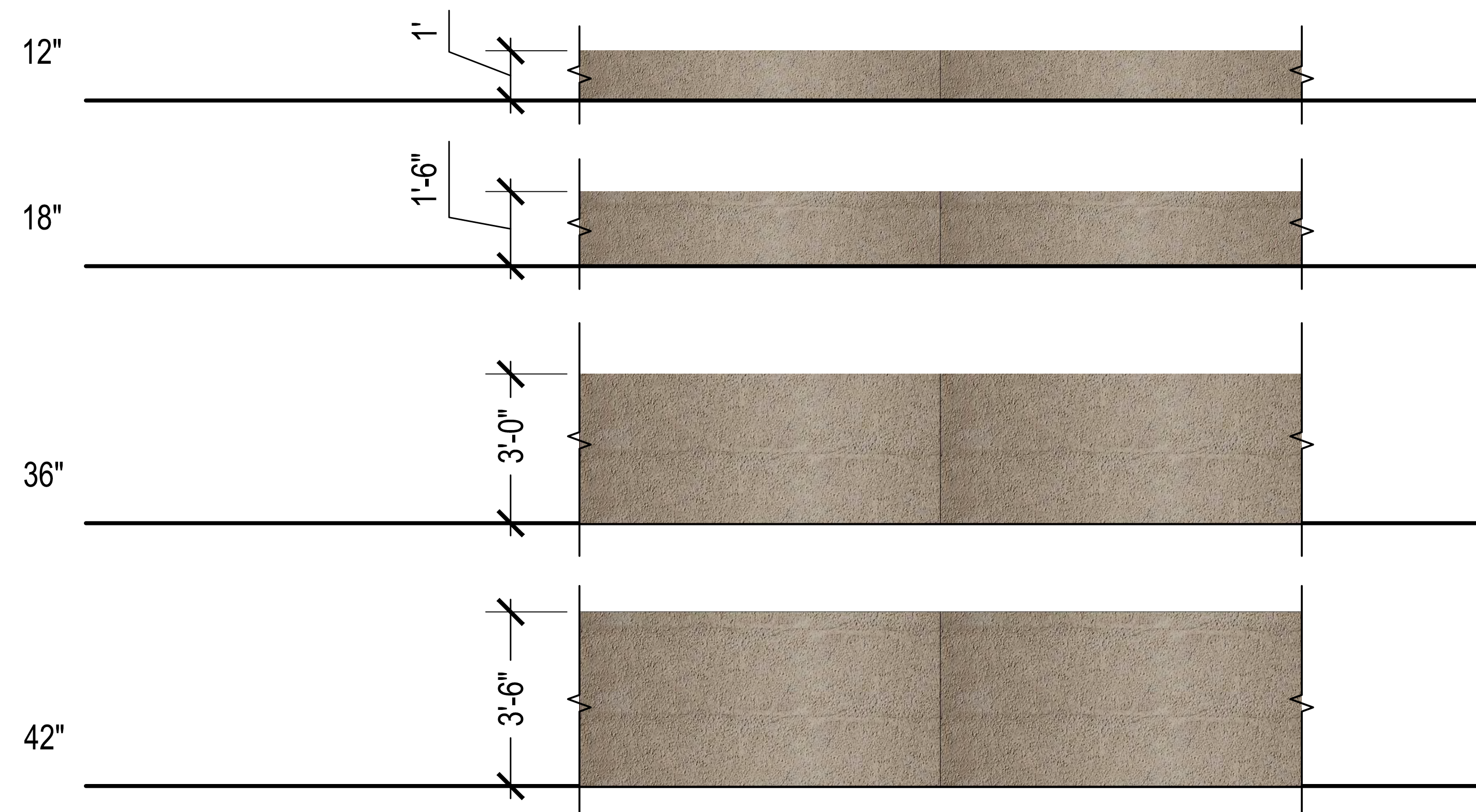


B 6' HIGH WOOD SCREEN FENCE
SCALE: 1/2" = 1'-0"

MATERIAL: FIBERGLASS WITH SANDBLAST SHARK FINISH **COLOR: SANDBOX, IRON, DARK BRONZE**

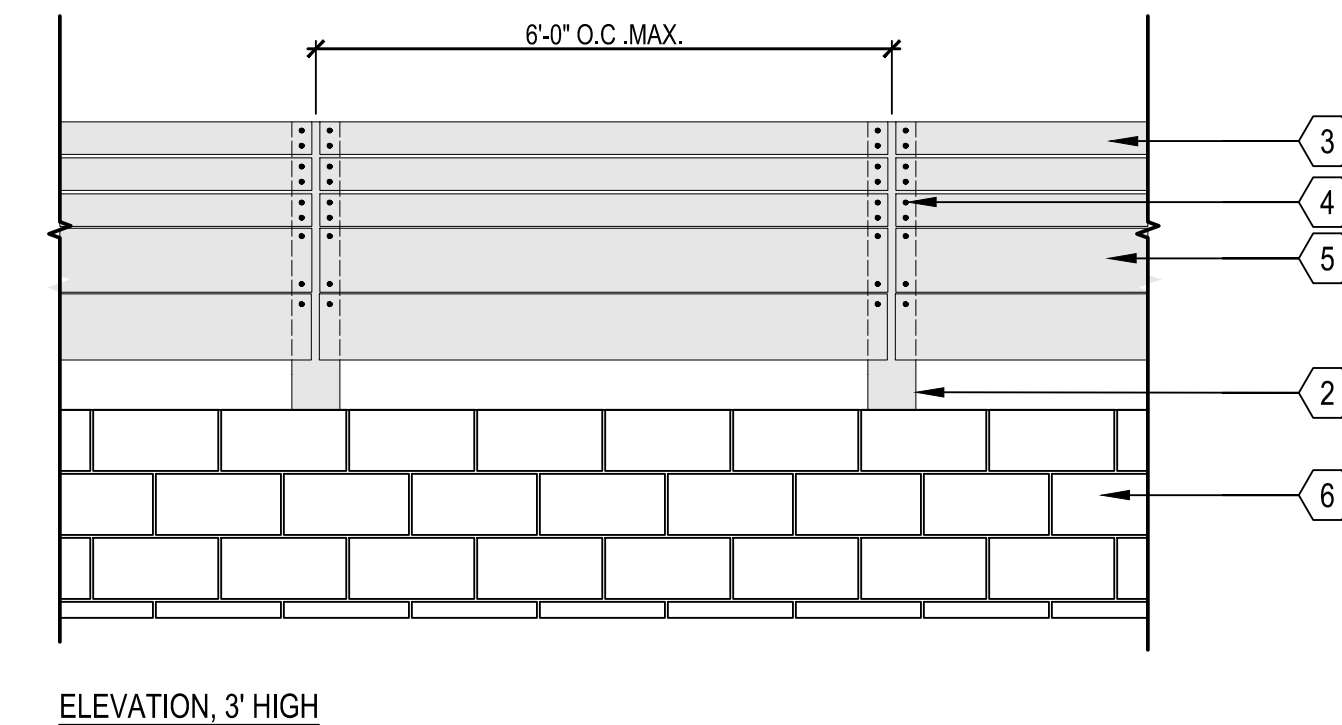
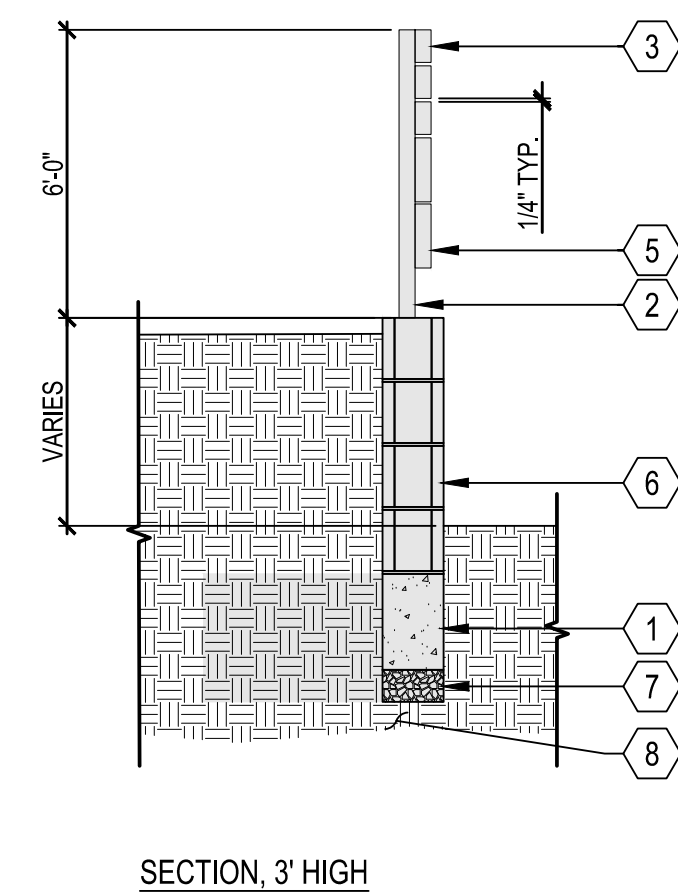


AVAILABLE FROM TOURNESOL OR APPROVED EQUAL.



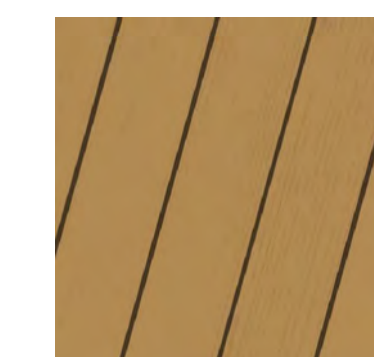
C MODULAR RAISED PLANTERS
SCALE: 1/2" = 1'-0"

NOTES:
1. WOOD SHALL BE CONSTRUCTION GRADE REDWOOD,
APPLY 2 COATS OLYMPIC CEDAR SOLID STAIN COLOR.

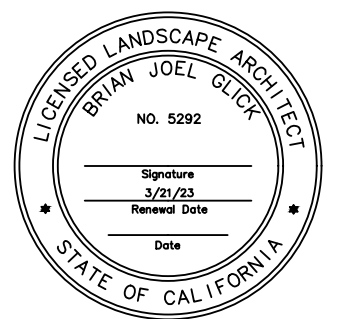


- 1 CONCRETE FOOTING
- 2 2x6x.120 TS POST, EQUALLY SPACE, 6'-0" O.C. MAX
- 3 2x4 HORIZONTAL BOARDS, TYP.
- 4 #14x2-3/4" REAMER TEK TORX/STAR HEAD SELF DRILLING T-30 SCREW
- 5 2x8 HORIZONTAL BOARDS, TYP.
- 6 8x8x16 CONCRETE BLOCK, GROUT ALL CELLS SOLID
- 7 AGGREGATE BASE
- 8 NATIVE GRADE

**STAIN COLOR:
CEDAR**



A WOOD FENCE ON RETAINING WALL (6' HIGH AND 3' HIGH)
SCALE: 1/2" = 1'-0"



NO	DATE	DESCRIPTION
△	5/4/22	3RD CITY SUBMITTAL
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△	2/24/23	5TH CITY SUBMITTAL
△	5/15/23	6TH CITY SUBMITTAL

PROJECT NO:	5817.00
CAD DWG FILE:	L10-L13 581700CL.DWG
DESIGNED BY:	KM, BG
DRAWN BY:	KM
CHECKED BY:	BG
DATE:	FEBRUARY 28, 2023
SCALE:	AS SHOWN

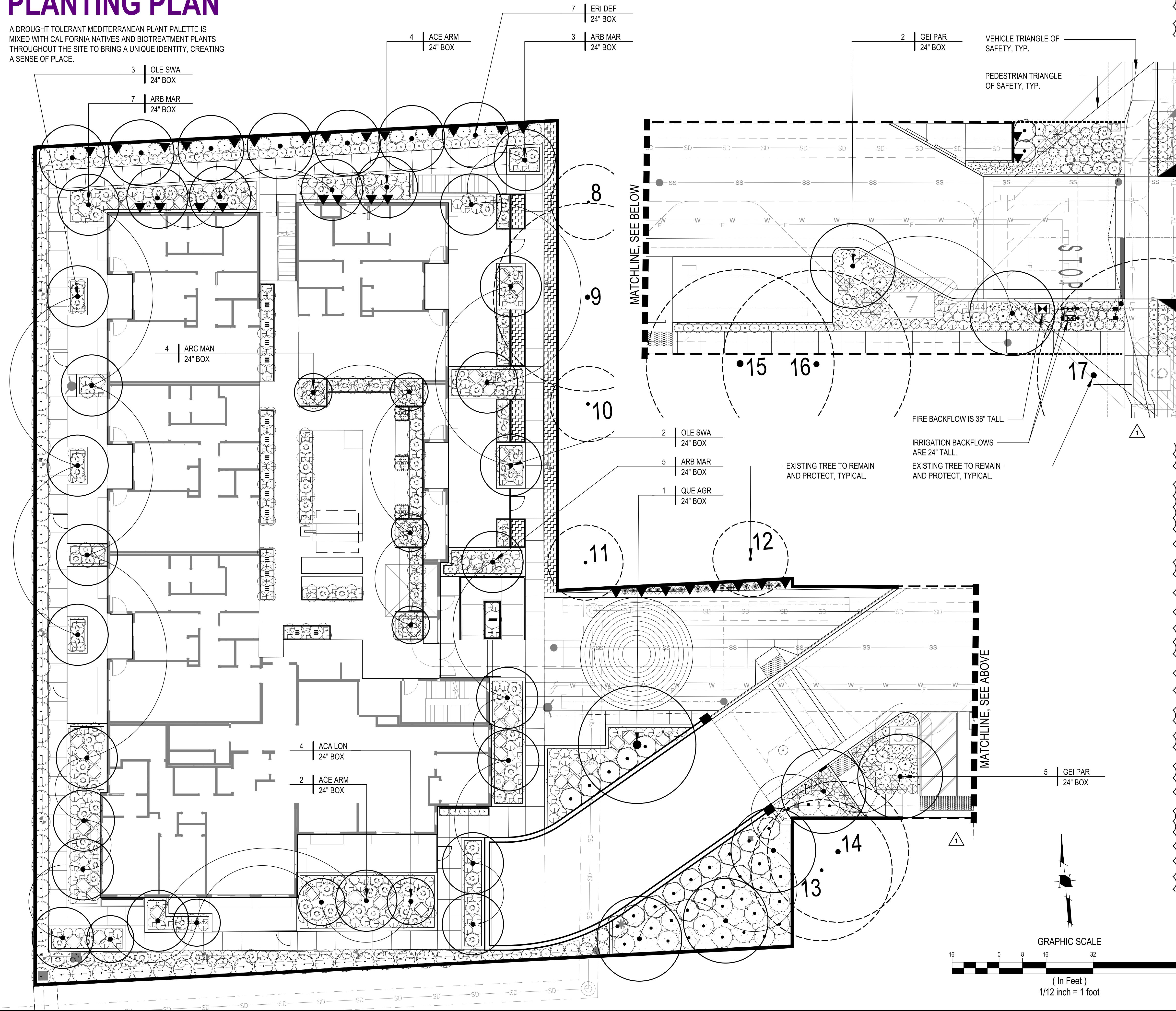
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CONCEPT DETAILS

L13

PLANTING PLAN

A DROUGHT TOLERANT MEDITERRANEAN PLANT PALETTE IS MIXED WITH CALIFORNIA NATIVES AND BIOTREATMENT PLANTS THROUGHOUT THE SITE TO BRING A UNIQUE IDENTITY, CREATING A SENSE OF PLACE.



PLANTING LEGEND

TREE LEGEND

SYMBOL	BOTANICAL NAME	
	ACA LON ACACIA LONGIFOLIA	3
	ACE ARM ACER RUBRUM 'ARMSTRONG' X FREEMANII	
	ARB MEN ARBUTUS MENZIESII	
	ARC MAN ARCTOSTAPHYLOS MANZANITA	
	ERI DEF ERIBOTRYA DEFLEXA	
	GEI PAR GEIJERA PARVIFLORA	
	OLE SWA OLEA EUROPAEA 'SWAN HILL'	
	QUE AGR QUERCUS AGRIFOLIA	

SHRUB/GRASS LEGEND

SYMBOL	BOTANICAL NAME	
	CALAMAGROSTIS 'KARL FORESTER'	
	CAREX TUMULICOLA	
	HESPERALOE PARVIFLORA 'PERPA' PLANT PATENT #21,729	
	LOMANDRA LONGIFOLIA 'BREEZE'	
	LOROPETALUM CHINESE 'MONRAZ'	3
	MIMULUS AURANTIACUS	
	MYRICA CALIFORNICA	
	NASSELLA PULCHRA	
	POLYSTICHUM MUNITUM	
	SALVIA GREGGII	
	VERBENA LILACINA 'DE LA MINA'	

VINE LEGEND

SYMBOL	BOTANICAL NAME
	CAMPSIS GRANIFLORA

GROUNDCOVER LEGEND

SYMBOL	BOTANICAL NAME
	ERIGERON GLAUCUS
	SALVIA SONOMENSIS
	ERIGERON KARVINSKIANUS 'PROFUSION'

BIOTREATMENT LEGEND

SYMBOL	BOTANICAL NAME
	CHONDROPETALUM ELEPHANTINUM
	JUNCUS PATENS
	MUHLENBERGIA RIGENS

NOTES:
 1. TREES TO BE PLANTED MINIMUM 5' FROM UNDERGROUND UTILITIES.
 2. SEE SHEET L17 FOR PLANTING LEGEND AND NOTES.

Land Use Entitlements
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 Civil Engineering
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 Land Surveying
 Stormwater Compliance

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 San Jose, CA 95131 HWHca.com

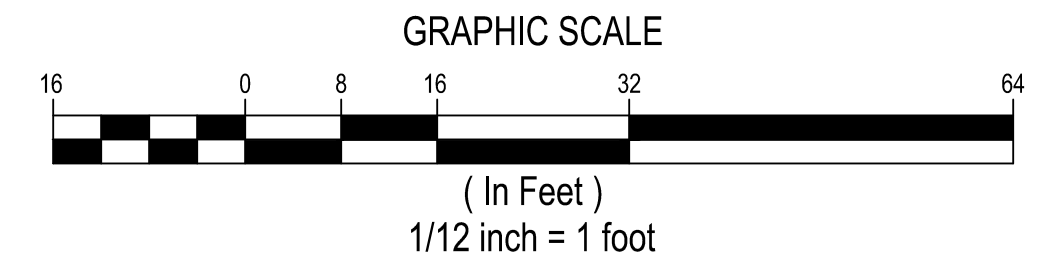
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 MOUNTAIN VIEW, CA 94040

NO	DATE	DESCRIPTION
5/4/22		3RD CITY SUBMITTAL
10/28/22		4TH CITY SUBMITTAL
2/24/23		5TH CITY SUBMITTAL
5/15/23		6TH CITY SUBMITTAL

PROJECT NO: 5817.00
 CAD DWG FILE: L14-L18 581700CL.DWG
 DESIGNED BY: KM, BG
 DRAWN BY: KM
 CHECKED BY: BG
 DATE: FEBRUARY 28, 2023
 SCALE: 1/12" = 1'-0"
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PLANTING PLAN

L16



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PLANTING NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT. PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) OR LOCAL AGENCY ADOPTED WELO. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR MUST CONTACT THE CITY ARBORIST TO VERIFY SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS, AND QUANTITIES OF ALL STREET TREES PRIOR TO ORDERING MATERIAL. IF STREET TREES ARE TO BE PLANTED IN TREE WELLS, FINAL LOCATION OF TREE WELLS SHALL BE DETERMINED BY THE ARBORIST PRIOR TO INSTALLATION OF SIDEWALK.

ALL PLANTING AREAS TO RECEIVE 3" THICK BARK MULCH LAYER. CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED BARK MULCH FOR APPROVAL. BARK MULCH SHALL BE LYNOSO SMALL FIR BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)

FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4", CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS.

CALIPER IS MEASURED 6" ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.



WATER-EFFICIENT DESIGN AND MAINTENANCE CHECKLIST

Project Site Address: 918 RICH AVE, MOUNTAIN VIEW, CA 94040

Required Submittals (check if completed)

- 1. Water-Efficient Design and Maintenance Checklist
- 2. Landscape Design Plan
- 3. Irrigation Design Plan (SEE HYDROZONE PLAN L14)
- 4. Water Budget Calculation Worksheet (NOT needed if Plant-Type Restriction Option is chosen)
- 5. Certification of Installation (Within 60 days of installation)

Landscape Design Plan Requirements

Parameter	Requirements	Completed
Plantings	Plant Table included in plan with plant symbol, common name, botanical name, container size, quantity, type (e.g., grass, succulent, vine, shrub, tree), water-efficient species identification (low, moderate, high), and unique physical specifications of plants, if applicable. Plant types are assigned appropriate water-use levels based on the WUCOLS species evaluation list (i.e., "turf" is not assigned a "low"-water use). Avoid invasive plants in plan, such as those listed by the California Invasive Plant Council. Square footages of planted areas and water features (i.e., fountains and pools) noted on the Landscape Design Plan and match areas listed in Compliance Option 1 calculations on Page 2, if applicable.	<input checked="" type="checkbox"/>
Turf	Turf areas are at least 10' wide, unless watered with subsurface drip irrigation. Turf is not planted on slopes of 25 percent grade or more. Turf is at least 24" away from nonpermeable hardscape (except internal pathways), unless watered with subsurface drip irrigation.	<input checked="" type="checkbox"/>
Special Landscape Areas	Areas identified as SLAs meet the definition of a Special Landscape Area: An area of landscape dedicated solely to edible plants, areas irrigated with nonpotable water, water features using nonpotable water, and areas dedicated to active play (parks, sports fields, golf courses). SLAs DO NOT INCLUDE front-yard and backyard lawns of private residences or water features that use potable water.	<input type="checkbox"/>
Hydrozones	Plants are grouped by hydrozone (similar water needs, sun exposure, slope, soil). Hydrozones, including SLAs, are delineated and labeled with square footages. Hydrozones are labeled as low, moderate, high, or mixed (low/moderate) water use. High-water-use plants are confined to their own hydrozones (not mixed with plants with low- or moderate-water needs). Single hydrozones with both low- and moderate-water-use plants are labeled "mixed." Hardscapes are identified. Square footages for hydrozones, water features, and SLAs on plan match those listed on the Water Budget Calculation Worksheets (if Compliance Option 2 is chosen).	<input checked="" type="checkbox"/>
Mulch	Mulch is at least 3" deep on exposed soil surfaces. Depth and type of mulch are noted in plan.	<input checked="" type="checkbox"/>
Water Features	Recirculating (if water features are included in plan). Pool/spa cover (if pool/spa is included in plan).	<input type="checkbox"/>
Grading and Stormwater Management	Grading contours and quantities shown on Landscape Design and/or Irrigation Design Plan. Grading meets applicable requirements of City Standard Design Criteria. Stormwater management practices are incorporated appropriately.	<input checked="" type="checkbox"/>

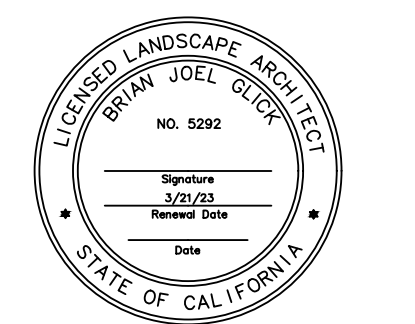
PLANTING LEGEND

TREE LEGEND									
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	NATIVE	MINIMUM CONTAINER SIZE	HxW	WUCOLS	NOTES	
ACA LON	ACACIA LONGIFOLIA	GOLDEN WATTLE	4	YES	24" BOX	20'x10'	L	NA	
ACE ARM	ACER RUBRUM 'ARMSTRONG' X FREEMANII	COLUMNAR RED MAPLE	6	NO	24" BOX	40'x20'	M	NA	
ARB MAR	ARBUTUS MARINA	MARINA STRAWBERRY TREE	15	NO	24" BOX	40'x20'	L	NA	
ARC MAN	ARCTOSTAPHYLOS MANZANITA	COMMON MANZANITA	4	YES	24" BOX	20'x10'	L	NA	
ERI DEF	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	7	NO	24" BOX	20'x20'	M	NA	
GEI PAR	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	7	NO	24" BOX	30'x20'	M	NA	
OLE SWA	OLEA EUROPAEA 'SWAN HILL'	OLIVE TREE	5	NO	24" BOX	20'x20'	VL	NA	
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	1	YES	24" BOX	50'x35'	VL	NA	
SHRUB/GRASS LEGEND									
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	NATIVE	MINIMUM CONTAINER SIZE	HxW	WUCOLS	NOTES	
	CALAMAGROSTIS 'KARL FORESTER'	FEATHER REED GRASS	16	NO	5 GALLON	5'x2'	M	NA	
	CAREX TUMULICOLA	FOOTHILL SEDGE	56	YES	5 GALLON	1'x2'	L	NA	
	HESPERALOE PARVIFLORA 'PERPA' PLANT PATENT #21,729	BRAKELIGHTS® RED YUCCA	12	NO	5 GALLON	3'x3'	L	NA	
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	30	NO	5 GALLON	3'x3'	L	NA	
	LOROPETALUM CHINESE 'MONRAZ'	RAZZLEBERRY FRINGE FLOWER	1	NO	15 GALLON	5'x4'	L	PATIO TREE FORM	
	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	69	YES	5 GALLON	3'x3'	VL	NA	
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	60	YES	5 GALLON	15'x8'	M	NA	
	NASSELLA PULCHRA	PURPLE NEEDLE GRASS	352	YES	5 GALLON	3'x2'	VL	NA	
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	17	YES	5 GALLON	4'x4'	M	NA	
	SALVIA GREGGII	RED SAGE	42	YES	5 GALLON	3'x3'	L	NA	
	VERBENA LILACINA 'DE LA MINA'	DE LA MINA VERBENA	145	YES	5 GALLON	3'x3'	L	NA	
VINE LEGEND									
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	NATIVE	MINIMUM CONTAINER SIZE	HxW	WUCOLS	NOTES	
	CAMPISIS GRANIFLORA	CHINESE TRUMPET VINE	34	NO	5 GALLON	3'x3'	L	NA	
GROUNDCOVER LEGEND									
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	NATIVE	MINIMUM CONTAINER SIZE	HxW	WUCOLS	NOTES	
	ERIGERON GLAUCUS	SEASIDE DAISY	154	YES	5 GALLON	SPREADING	L	NA	
	SALVIA SONOMENSIS	SONOMA SAGE	44	YES	5 GALLON	SPREADING	L	NA	
	ERIGERON KARVINSKIANUS 'PROFUSION'	PROFUSION SANTA BARBARA DAISY	NA	YES	5 GALLON	SPREADING	L	NA	
BIOTREATMENT LEGEND									
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	NATIVE	MINIMUM CONTAINER SIZE	HxW	WUCOLS	NOTES	
	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	21	NO	5 GALLON	4'x5'	L	NA	
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	45	YES	5 GALLON	2'x2'	L	NA	
	MUHLENBERGIA RIGENS	DEER GRASS	23	YES	5 GALLON	5'x5'	L	NA	

*PROJECT WILL 80% NATIVE PLANTS PER CITY REQUIREMENT.



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com



ARDENVIEW HOMES
918 RICH AVENUE
MOUNTAIN VIEW, CA 94040

NO	DATE	DESCRIPTION
△	5/4/22	3RD CITY SUBMITTAL
△	10/28/22	4TH CITY SUBMITTAL
△	2/24/23	5TH CITY SUBMITTAL
△	5/15/23	6TH CITY SUBMITTAL

PROJECT NO: 5817.00
CAD DWG FILE: L14-L18 581700CL.DWG
DESIGNED BY: KM, BG
DRAWN BY: KM
CHECKED BY: BG
DATE: FEBRUARY 28, 2023
SCALE: NONE

PLANT PALETTE

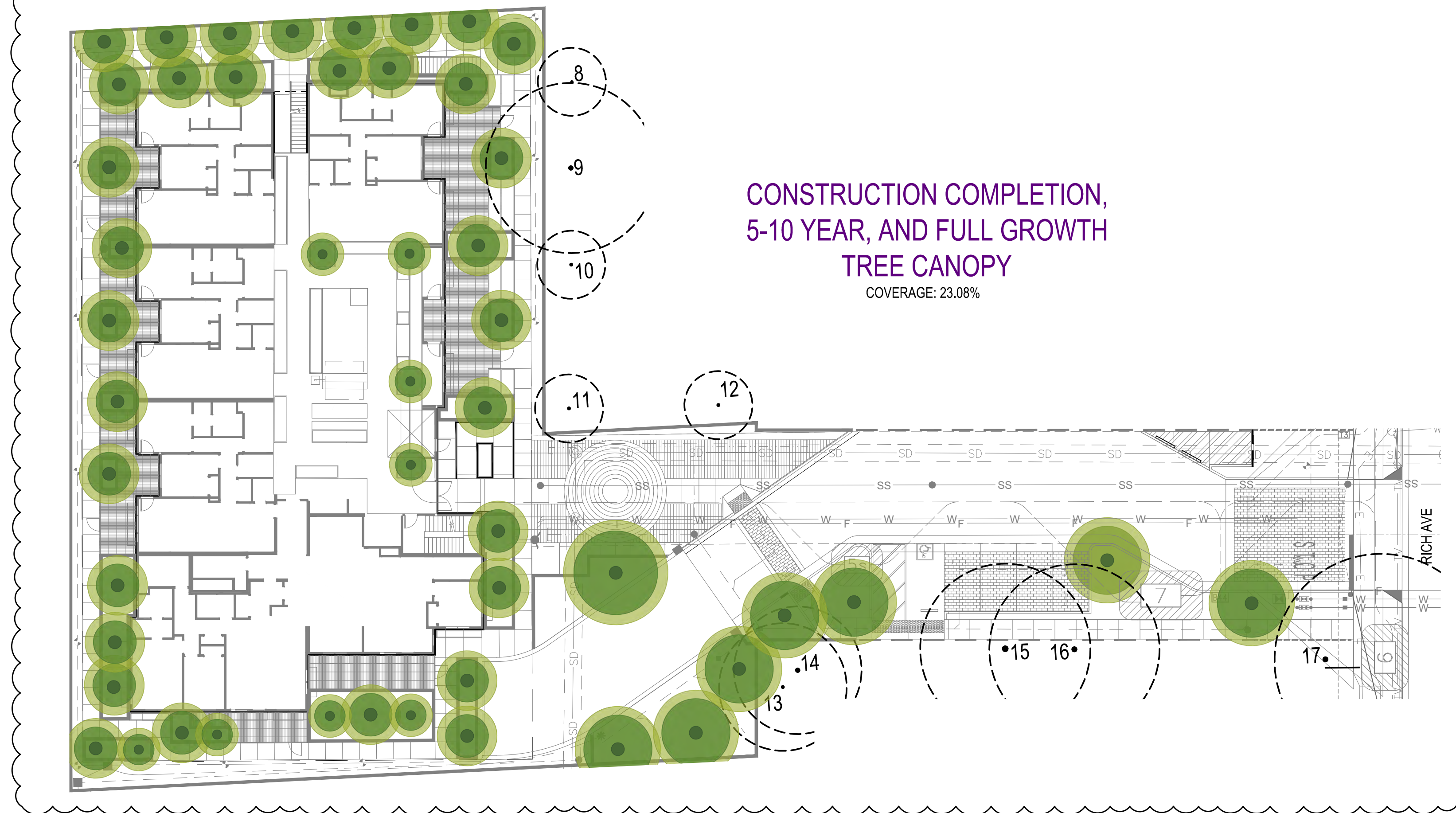
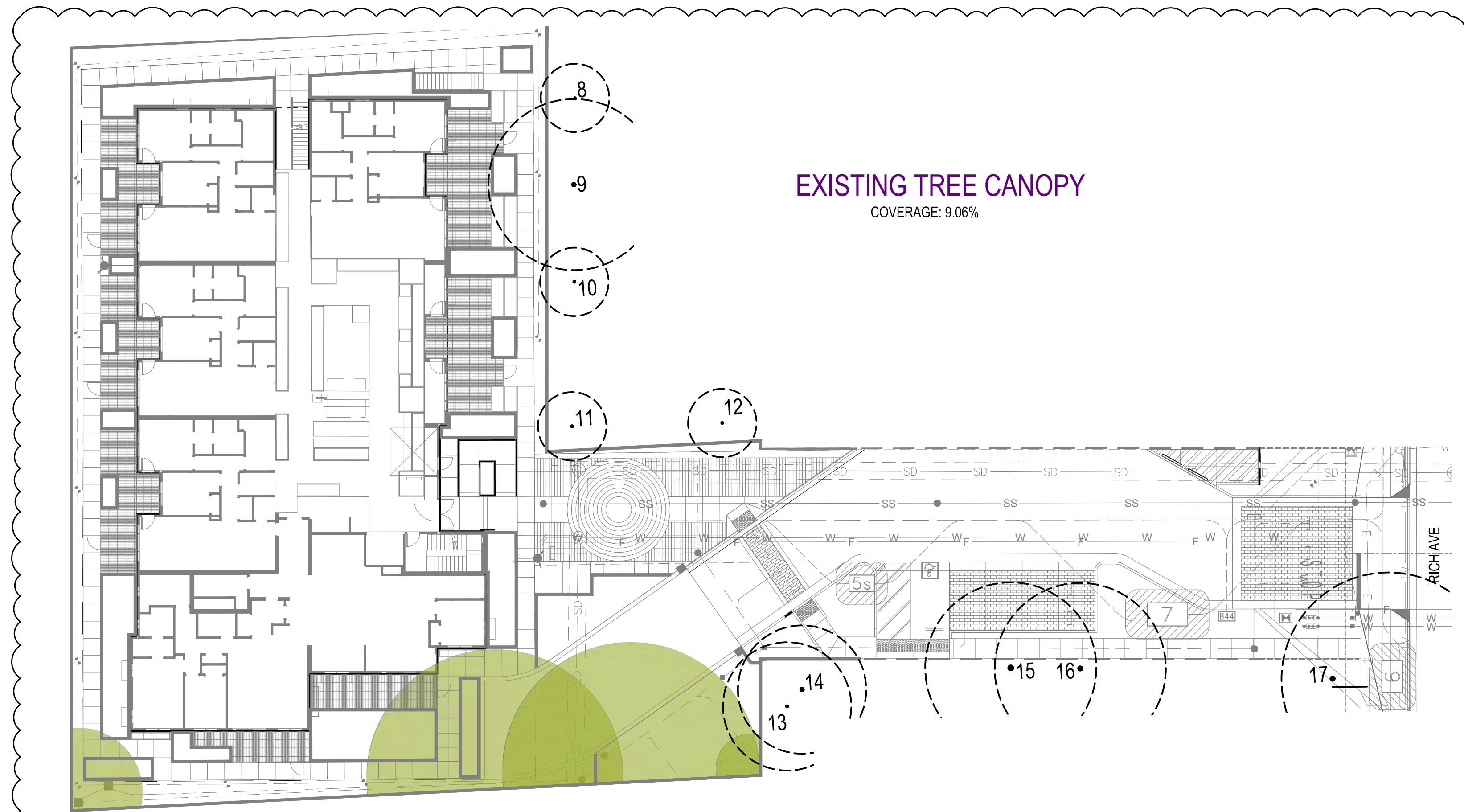
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TREE CANOPY PLAN



TREE CANOPY LEGEND		
DESCRIPTION	SYMBOL	
CONSTRUCTION COMPLETION	●	
5-10 YEARS	●	
FULL GROWTH	●	

PERCENTAGE OF SITE COVER BY TREE CANOPY		
DESCRIPTION	AREA	PERCENTAGE
EXISTING CONDITIONS	2,851 / 31,455 SF	9.06%
CONSTRUCTION COMPLETION	343 / 31,455 SF	1.09%
5-10 YEARS	4,603 / 31,455 SF	14.63%
FULL GROWTH	7,259 / 31,455 SF	23.08%

*CALCULATIONS DO NOT INCLUDE OFFSITE TREE CANOPY

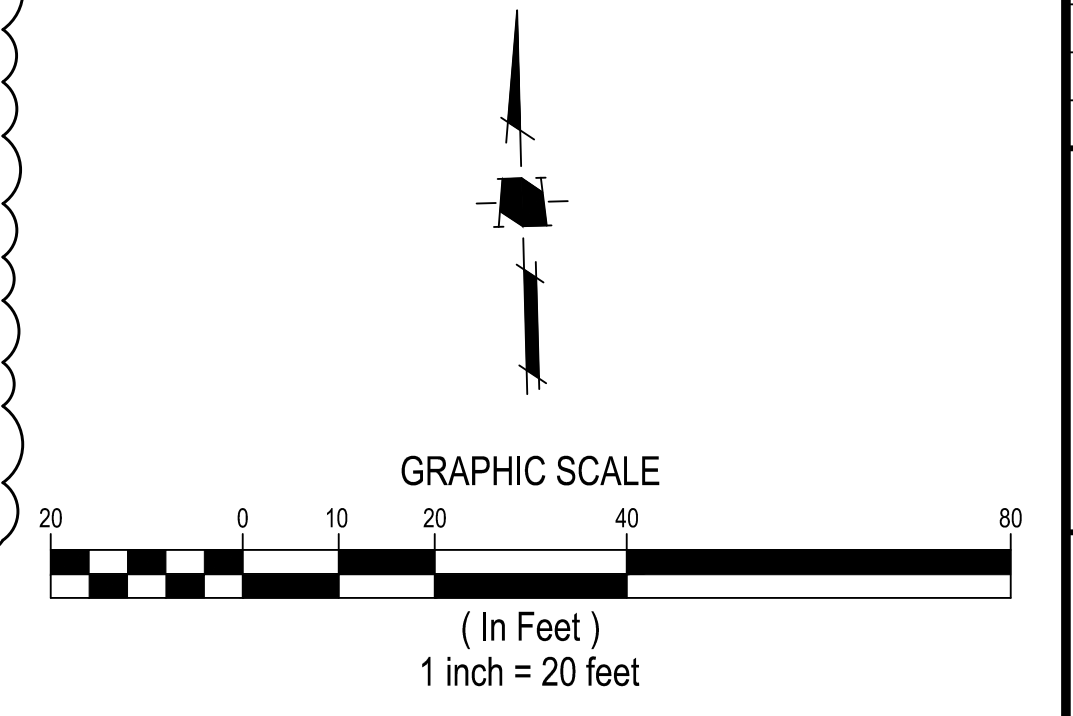
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NO	DATE	DESCRIPTION
1	5/4/22	3RD CITY SUBMITTAL
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3	2/24/23	5TH CITY SUBMITTAL
4	5/15/23	6TH CITY SUBMITTAL

PROJECT NO:	5817.00
CAD DWG FILE:	L14-L18 581700CL.DWG
DESIGNED BY:	KM, BG
DRAWN BY:	KM
CHECKED BY:	BG
DATE:	FEBRUARY 28, 2023
SCALE:	1" = 20'
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TREE CANOPY PLAN

L19

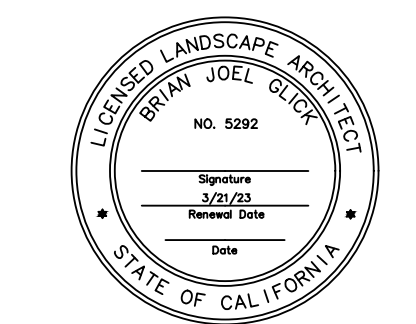
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HARDSCAPE PLAN



Land Use Entitlements
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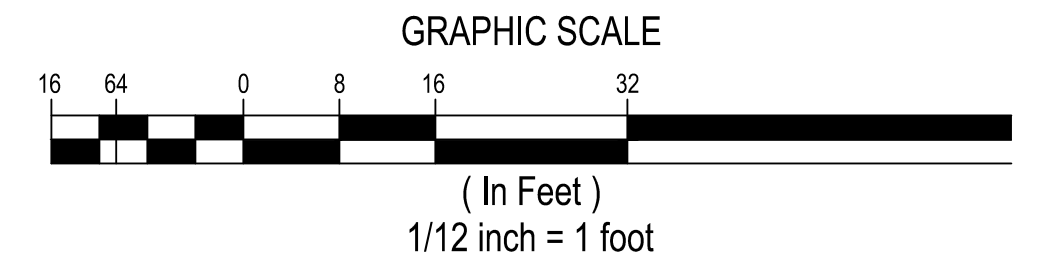
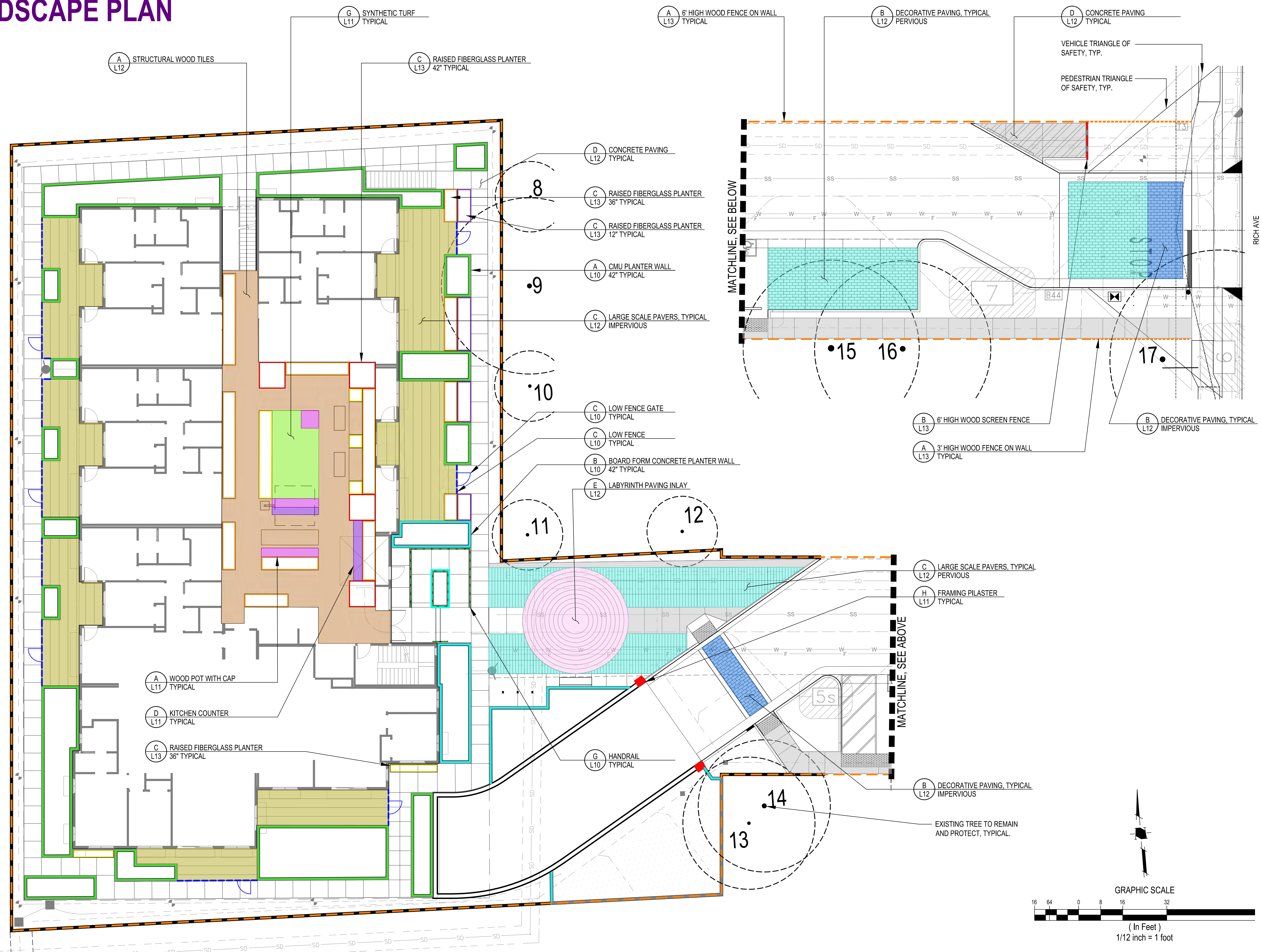
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▲	10/28/22	4TH CITY SUBMITTAL
▲	2/24/23	5TH CITY SUBMITTAL
▲	5/15/23	6TH CITY SUBMITTAL
▲		

PROJECT NO:	5817.00
CAD DWG FILE:	L14-L18 581700CL.DWG
DESIGNED BY:	KM, BG
DRAWN BY:	KM
CHECKED BY:	BG
DATE:	FEBRUARY 28, 2023
SCALE:	1/12" = 1'-0"
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HARDSCAPE PLAN

L20

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