

1080 La Avenida Street, Bldg B, Mountain View . Provisional Use Permit Application

Change of use from existing Metal Fabrication Shop (F-2)
to Fencing Club Studio (B) Use

Cover Sheet

Plan Check Number: City PL-2023-219

03-08-2024 PUP Resubmittal Package



Bayside Fencing Club

Bayside Fencing Club PUP Provisional Use Permit Application



Bayside Fencing Club
1080 La Avenida Street
Building B
Mountain View, CA 94043

Bayside Fencing Club
PUP Application
1080 La Avenida Street
Building B
Mountain View, CA 94043

Plan Check Number: City PL-2023-219
 # Date: Description:
 03-08-2024 PUP Resubmittal Package

Drawn by: HK
 Reviewed by: HK
 Approved by: HK
 DES Project No: 10362.001
 Authority Having Jurisdiction:

Engineer of Record Architect of Record

Project data and
General Information

G0.01
 SHEET NO.

DES
 San Francisco / One Sansome Street
 Redwood City / 399 Bradford Street
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SCOPE OF PUP APPLICATION	LOCATION MAP	SHEET INDEX	PROJECT DATA & ZONING CALCULATIONS
<ol style="list-style-type: none"> THE SCOPE OF THIS PUP APPLICATION IS TO CONVERT THE EXISTING METAL FABRICATION SHOP (F-2 OCCUPANCY) USE TO THIS NEW TENANT FENCING CLUB (B OCCUPANCY) USE AT 1080 LA AVENIDA #B BUILDING. THE INTENT OF THE NEW TENANT IS TO REUSE THE EXISTING BUILDING AS-IS FOR THEIR NEW FUNCTION WITHOUT ALTERING ANY EXISTING INTERIOR AND EXTERIOR FLOOR PLAN CONFIGURATION. THE NEW TENANT IS CONVERTING THE MAIN METAL SHOP ROOM USE INTO A FENCING CLUB EXERCISE SPACE. THE REMAINING OFFICES, STORAGE AND SUPPORT ROOM/SPACES USE ARE NO CHANGE TO EXISTING. THIS BUILDING'S FIRE ALARM SYSTEM HAS BEEN UPGRADED THIS YEAR AND OBTAINED RECENT FIRE DEPARTMENT INSPECTION APPROVAL. IN THE 2015 PUP APPROVAL, A NEW TRASH ENCLOSURE WITH A ROOF AND MATCHING FINISHES WITH EXISTING BUILDINGS WAS CONSTRUCTED TO SERVICE BOTH BUILDING ON SITE. THE ONLY PROPOSED SCOPE OF THIS PROJECT CONSISTS OF INTERIOR RENOVATION OF BUILDING 1080B REQUIRED CODE UPGRADE OF EXISTING RESTROOMS BECAUSE OF NEW USE TYPE PLUMBING COUNT PER 2022 CPC. THIS PROPERTY RECENT PUP APPROVED SITE UPGRADE WAS PERFORMED IN 2015-2016. INCLUDED THE FOLLOWING: <ol style="list-style-type: none"> SITE PARKING, SIDEWALK/DRIVEWAY ACCESSIBLE UPGRADE. ACCESSIBLE PATH CONNECTING PROPERTY TO PUBLIC WAY. NEW TRASH ENCLOSURE ON SITE COORDINATED AND APPROVED BY RECOLOGY OFFICE. ALL NEW CITY APPROVED LANDSCAPE AND IRRIGATION SYSTEM UPGRADE. <p>Note: There is no Propose Building Exterior and Site change in this PUP application. Interior changes are limited to required accessibility upgrade only.</p>		<p>COVER SHEET PROJECT AERIAL VIEW</p> <p>G0.01 PROJECT DATA AND GENERAL INFORMATION G0.02 EXISTING SITE PLAN & PARKING ANALYSIS G0.03 EXISTING SITE PLAN WITH TRUCK PATH AND TRASH ENCLOSURE INFORMATION G0.04 EXISTING LANDSCAPE PLAN & FURNISHING</p> <p>A2.01 LEVEL 1 EXISTING & PROPOSED PLAN A2.02 LEVEL 2 EXISTING & PROPOSED PLAN & BUILDING SECTIONS A2.03 PROPOSED NEW RESTROOM PLAN & PLUMBING COUNT ANALYSIS A2.04 TRANSPORTATION CONNECTION PLAN A4.01 SITE PHOTOS FOR REFERENCE</p> <p>PROJECT TEAM</p> <p>CLIENT: BAYSIDE FENCING CLUB 1080 LA AVENIDA ST. #B MOUNTAIN VIEW, CA. 94043 PHONE: [REDACTED] CONTACT: XIN ZHANG</p> <p>ARCHITECT: DES ARCHITECTS + ENGINEERS 399 BRADFORD STREET REDWOOD CITY, CA. 94063 PHONE: [REDACTED] CONTACT: HOWARD KWOK</p>	<p>LEGAL JURISDICTION: CITY OF MOUNTAIN VIEW, CA.</p> <p>ZONING DESIGNATION: P-PLANED COMMUNITY/PRECISE PLAN P-39 NORTH BAYSHORE(2014) EDGE ZONE</p> <p>FEMA FLOOD ZONE: ZONE X</p> <p>PROJECT ADDRESS: 1080 LA AVENIDA #B, MOUNTAIN VIEW, CA</p> <p>ASSESS. PARCEL NO.: 116-14-109</p> <p>CONSTRUCTION TYPE: TYPE 5B (BOTH BUILDINGS ON LOT)</p> <p>BUILDING OCCUPANCY: 1080A ADJACENT BUILDING = B OCCUPANCY (SOUTHERN BUILDING ON LOT) USE: LIGHT DUTY MEDICAL WELLNESS CENTER 1080B PROJECT BUILDING = B OCCUPANCY (NORTHERN BUILDING ON LOT) USE: FENCING CLUB STUDIO</p> <p>FIRE PROTECTION: UPGRADED FIRE ALARMED WITHOUT FIRE SPRINKLER SYSTEM</p> <p>SET BACK: 25'-0" ALONG LA AVENIDA STREET 1'-3" ALONG THE WEST SIDE OF PROPERTY 36'-7" ALONG THE EAST SIDE OF PROPERTY 72'-11" ALONG THE NORTH SIDE OF PROPERTY</p>
<p>AREA AND CODE ANALYSIS</p>		<p>SITE KEY PLAN</p>	
<p>(NO CHANGE TO ALL BUILDING AREA AND LOT AREA IN THIS PROJECT)</p> <p>ALLOWABLE BLDG. AREA: 1080A NEIGHBOR BUILDING = 31,500 SF 3 SIDES WITH 30 FT CLEARANCES (SOUTHERN BUILDING ON LOT)</p> <p>1080B PROJECT BUILDING = 31,500 SF 3 SIDES WITH 30 FT CLEARANCES (NORTHERN BUILDING ON LOT)</p> <p>GROSS BUILDING AREA: 1080A NEIGHBOR BUILDING = 6,070 SF 1080B PROJECT BUILDING = 8,890 SF TOTAL BUILDING AREA ON SITE = 14,960 SF</p> <p>TOTAL SITE AREA/ LOT AREA: 40,320 ST SF (0.925 ACRES)</p> <p>EXISTING FAR: 0.37 (NO CHANGE TO EXISTING) ALLOWABLE FAR: 0.45 (PER N. BAYSHORE PRECISE PLAN EDGE)</p> <p>LANDSCAPE AREA: 5,445 SF = 14% OF LOT AREA EXISTING LANDSCAPE AREA (PUP APPROVED 2015)</p> <p><u>ALLOWABLE AREA CALCULATION FOR 1080B LA AVENIDA BASED ON TYPE 5B BUILDING TYPE AND B OCCUPANCY</u></p> <p>ALLOWABLE AREA (WITH INCREASE) = {9,000 + [9,000 X 0.50]} + [9,000 X 2] = 9,000 + 4,500 + 18,000 = 31,500 SF</p> <p>EXISTING SQUARE FOOTAGE OF 1080B = 8,890 SF < ALLOWABLE AREA OF 9,000 SF WITHOUT AREA INCREASE (NO CHANGE /ADDITIONAL AREA TO EXISTING BUILDINGS ON SITE)</p> <p>FIRE SEPARATION ANALYSIS FOR 1080 LA AVENIDA BUILDING B</p> <p>ALL EXISTING CONDITIONS - NO ADDITIONAL SQUARE FOOTAGE ADDED TO THIS PROJECT.</p> <p>SOUTH ELEVATION EXTERIOR WALL IS 66' (>30') AWAY FROM ADJACENT BUILDING (ASSUMED PROPERTY LINE AT 33' SOUTH PARALLEL TO SOUTH SIDE OF BUILDING)</p> <p>EAST ELEVATION EXTERIOR WALL IS 36'-7" TO PROPERTY LINE (>30')</p> <p>NORTH ELEVATION EXTERIOR WALL IS 72'-11" AWAY FROM REAR PROPERTY LINE (>30')</p> <p>WEST ELEVATION EXTERIOR WALL IS 1'-3" TO PROPERTY LINE (NO OPENINGS IN 6" THICK CONCRETE WALL = 4 HOURS MIN FIRE RATING PER CBC TABLE 721.1 (> 1 HOUR REQUIRED FIRE RATING))</p>		<p>PROJECT BUILDING ON SITE</p>	
<p>OCCUPANCY RELEASE IF ANY CONSTRUCTION WORK IS REQUIRED BY THE CITY REVIEW OF THIS APPLICATION</p>	<p>RECOLOGY MOUNTAIN VIEW IF ANY CONSTRUCTION WORK IS REQUIRED BY THE CITY REVIEW OF THIS APPLICATION</p>	<p>EXISTING FAR: 14,960 SF/ 40,320 SF = 37% (0.37)</p> <p>ALLOWED FAR: 45% (0.45) (REQUIREMENT IN NORTH BAYSHORE PRECISE PLAN EDGE ZONE)</p> <p>EXISTING TOTAL BUILDING COVERAGE AREA: 14,960 SF = 37% OF LOT AREA (ALLOWED BUILDING COVERAGE AREA PER EDGE ZONE REQUIREMENT 35% MAXIMUM FOR NEW CONSTRUCTION ONLY)</p> <p>PAVEMENT PERCENTAGE AREA (ALL EXISTING WITH NO CHANGE) 21,774 SF = 54% OF LOT AREA (ALLOWED PAVEMENT PERCENTAGE AREA PER EDGE ZONE REQUIREMENT 50% MAXIMUM FOR NEW CONSTRUCTION ONLY)</p> <p>TOTAL EXISTING LANDSCAPE AREA: 5,445 SF = 14% OF LOT AREA (ALLOWED LANDSCAPE COVERAGE AREA PER EDGE ZONE REQUIREMENT 30% MINIMUM FOR NEW CONSTRUCTION ONLY)</p> <p>ACTUAL BUILDING HEIGHT: 18'-10" FROM FINISH FLOOR TO TOP OF PARAPET (<16'-0" FLOOR TO ROOF)</p> <p>TYPICAL STRUCTURE: EXISTING BUILDINGS ON SITE ARE CONCRETE TILT-UP BUILDINGS WITH LOW-SLOPE WOOD BUILD-UP ROOF SYSTEM.</p> <p>ACCESSORY STRUCTURE: CEMENT PLASTER FINISH CMU TRASH ENCLOSURE WITH METAL ROOF WITH LANDSCAPING SCREENING (UPGRADE IN 2015 PUP APPROVAL TO PLACE TWO 3 YARD BINS WITH CITY REQUIRED CLEARANCES AND STANDARDS)</p>	
<p>STREET CLEANING IF ANY CONSTRUCTION WORK IS REQUIRED BY THE CITY REVIEW OF THIS APPLICATION</p> <p>FOR COMMERCIAL AND OFFICE DEVELOPMENTS, NO BUILDINGS WILL BE RELEASED FOR OCCUPANCY UNTIL THE OFF-SITE IMPROVEMENTS TO BE CONSTRUCTED TO CITY PUBLIC WORKS STANDARDS AND/OR ACCEPTED FOR MAINTENANCE BY THE CITY ARE COMPLETE AND READY FOR ACCEPTANCE</p>		<p>RECOLOGY MOUNTAIN VIEW IS THE CITY'S EXCLUSIVE HAULER FOR RECYCLING AND DISPOSAL OF CONSTRUCTION AND DEMOLITION DEBRIS. FOR ALL DEBRIS BOXES, CONTACT RECOLOGY. USING ANOTHER HAULER MAY VIOLATE MOUNTAIN VIEW CODE SECTION 16.13 AND 16.17 AND RESULT IN CODE ENFORCEMENT ACTION.</p>	
<p>THE PRIME CONTRACTOR OR DEVELOPER IS TO HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES. THE STREET CLEANING CONTRACTOR IS TO HAVE THE CAPABILITY OF SWEEPING THE STREETS WITH BOTH A BROOM-TYPE SWEEPER AND A REGENERATIVE AIR VACUUM SWEEPER, AS DIRECTED BY THE PUBLIC WORKS DIRECTOR, OR HIS/HER DESIGNATES REPRESENTATIVE.</p>		<p>LA AVENIDA STREET</p>	
<p>SYMBOL LEGEND</p>		<p>CODE REVIEW REFERENCES</p>	
<p>ROOM SYMBOL ROOM NAME & NO.</p> <p>DOOR SYMBOL DOOR NUMBER</p> <p>WINDOW SYMBOL WINDOW NUMBER</p> <p>FINISH SYMBOL FINISH NUMBER</p> <p>NOTE SYMBOL KEYNOTE NUMBER</p> <p>ELEVATION MARK SUFFIX</p> <p>REVISION SYMBOL ADDENDUM LETTER S.I. NUMBER REVISION CLOUD</p> <p>INT. ELEV. SYMBOL ELEVATION ID SHEET NUMBER</p> <p>NORTH ARROW PROJECT NORTH</p> <p>VIEW NUMBER SHEET NUMBER CALLOUT TAG PLAN / SECTION</p> <p>VIEW NUMBER SHEET NUMBER CALLOUT TAG DETAIL</p> <p>SECTION CUT SYMBOL SECTION ID SHEET NUMBER</p> <p>DETAIL SYMBOL DETAIL ID SHEET NUMBER</p> <p>WALL SYMBOL WALLTYPE</p>		<p>2022 CA. ADMINISTRATIVE CODE PART1 TITLE 24</p> <p>2022 CA. MECHANICAL CODE (CMC) CCR TITLE 24, PART 4 (2021 UMC WITH CALIFORNIA AMENDMENTS)</p> <p>2022 CA. BUILDING CODE (CBC) CCR TITLE 24, PART 2, VOL 1 & 2, (2021 IBC WITH CALIFORNIA AMENDMENTS)</p> <p>2022 CA. PLUMBING CODE (CPC) CCR TITLE 24, PART 5 (2021 UPC WITH CALIFORNIA AMENDMENTS)</p> <p>2022 CA. GREEN BUILDING STANDARDS (CGBS) CCR TITLE 24, PART 11</p> <p>2022 CA. FIRE CODE (CFC) CCR TITLE 24, PART 9 (2021 IFC WITH CALIFORNIA AMENDMENTS)</p> <p>2022 CA. ELECTRICAL CODE (CEC) CCR TITLE 24, PART 3 (2020 NFPA WITH CALIFORNIA AMENDMENTS)</p> <p>2022 CA. ENERGY CODE (CEC) CCR TITLE 24, PART 6</p>	

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 PUP Application
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Drawn by: HK
 Reviewed by: HK
 Approved by: HK
 DES Project No: 10362.001

Authority Having Jurisdiction

Engineer of Record Architect of Record

Existing Site Plan & Parking Analysis

G0.02
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 Redwood City / 399 Bradford Street
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EXISTING PARKING ANALYSIS

PARKING REQUIRED: 58 SPACES
 INCLUDED 2 REGULAR ACCESSIBLE AND 1 VAN ACCESSIBLE STALLS
 (2022 CBC TABLE 11B-208.2)

1:150 PARKING RATIO (MEDICAL) FOR BUILDING 1080A = 6,070 SF/150 = 41 STALLS
 1:2 STUDENTS PARKING RATIO (STUDIO) FOR BUILDING 1080B = 30 STUDENT + 3 STAFFS
 = 33 / 2 = 17 STALLS

PARKING PROVIDED EXISTING: 53 SPACES
 INCLUDED 2 REGULAR ACCESSIBLE AND 1 VAN ACCESSIBLE STALLS

THIS SITE DESIGN HAS MAXIMIZED PARKING AREA OF THE EXISTING SITE AND BUILDING.

THE SITE PLAN DESIGN APPROVED DURING A 2015 PUP APPLICATION HAS BALANCED THE PARKING AREA WITH A NEW TRASH ENCLOSURE (PER CITY 2015 REQUIREMENT), UPGRADED LANDSCAPE AREAS AND NEW STAFF OUTDOOR PATIO AREA.

BIKE PARKING 1 PER 5,000 SF (LONG TERM BIKE PARKING) = 3
 REQUIRED: 1 PER 5,000 SF (SHORT TERM BIKE PARKING) = 3

BIKE PARKING LONG TERM BIKE PARKING = 4
 EXISTING: SHORT TERM BIKE PARKING = 4

6,070 SF + 8,890 SF = 14,960 SF
 14,960 SF / 5,000 SF = 3 BIKES REQUIREMENTS

CALGREEN SITE PARKING REQUIREMENTS:
 DESIGNATED PARKING FOR LOW EMITTING, FUEL EFFICIENT AND CARPOOL

LOW EMITTING STALLS REQUIRED: 0
 CARPOOL STALLS REQUIRED: 0

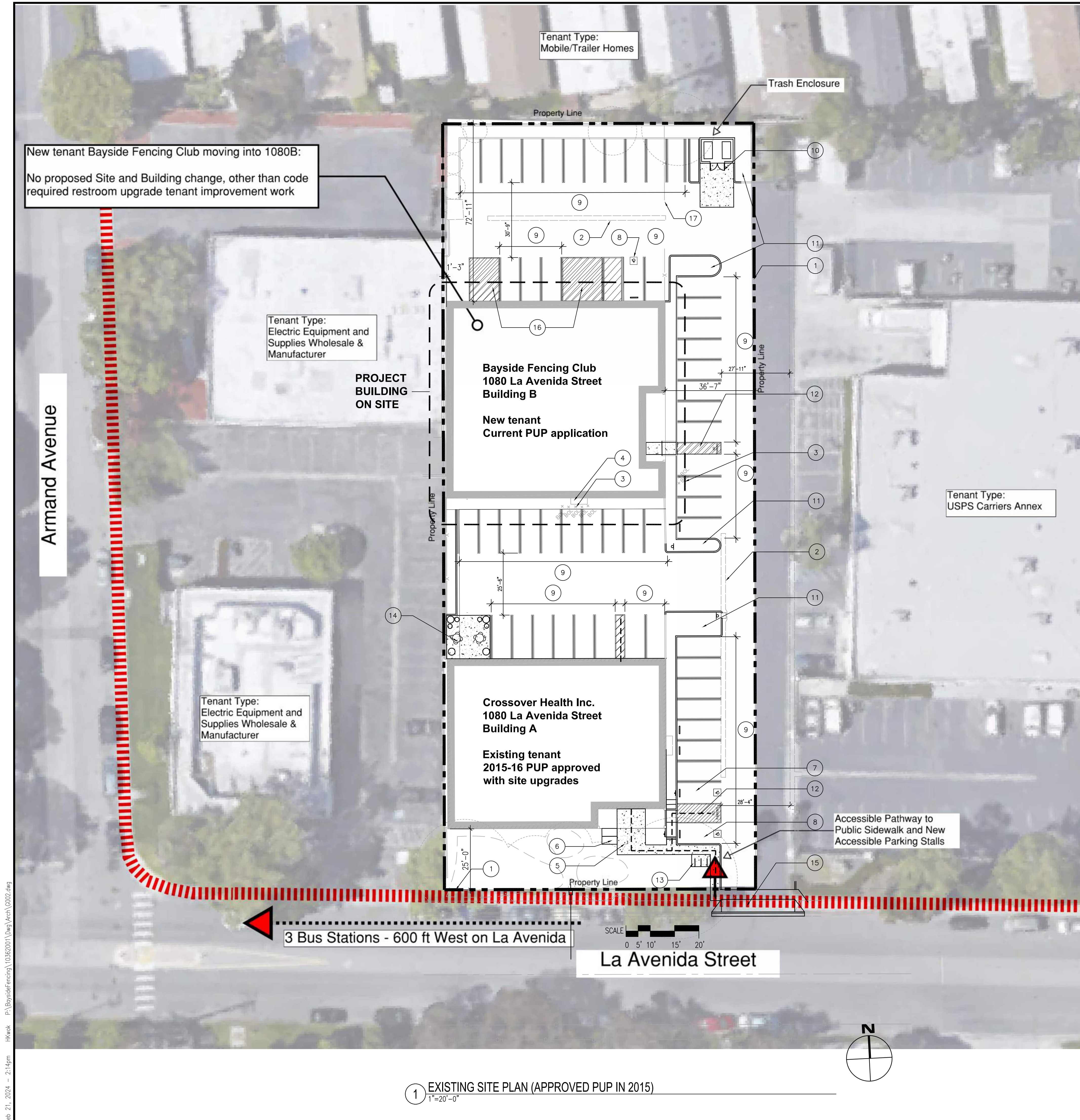
EXISTING PARKING LOT AND ADD LANDSCAPE AREA AND TRASH ENCLOSURE ON SITE WERE UPGRADED PER 2015 PUP APPROVAL AND REQUIREMENTS = NO ADDITIONAL PARKING STALL IN SCOPE OF THIS APPLICATION.

KEY NOTES

- 1 (E) PROPERTY LINE
- 2 (E) CONCRETE VALLEY GUTTER
- 3 (E) BOLLARDS
- 4 (E) ELECTRIC PANEL ON CONCRETE PAD
- 5 (E) ACCESSIBLE WALKWAY, SEE (E) LANDSCAPE PLAN G0.04
- 6 (E) BIKE LOCKERS (2015 PUP APPROVED UPGRADE)
- 7 (E) ACCESSIBLE PARKING STALL (2015 PUP APPROVED UPGRADE)
- 8 (E) ACCESSIBLE VAN PARKING STALL (2015 PUP APPROVED UPGRADE)
- 9 (E) PARKING STALLS, (2015 PUP APPROVED STRIPING UPGRADE)
- 10 (E) TRASH ENCLOSURE, (2015 PUP APPROVED UPGRADE AND COORDINATED WITH RECOLOGY OFFICE)
- 11 (E) HARDSCAPE AND LANDSCAPING (2015 PUP APPROVED UPGRADE)
- 12 (E) ACCESS AISLE AT DOOR WAYS (2015 PUP APPROVED UPGRADE)
- 13 (E) BIKE RACKS (2015 PUP APPROVED UPGRADE)
- 14 (E) STAFF PATIO FOR CROSSOVER HEALTH (TENANT OF BUILDING A)
- 15 (E) PROJECT DRIVEWAY UPGRADED IN 2015 ACCORDANCE WITH PUBLIC WORKS STANDARD DETAILS FOR CONSTRUCTION AND ACCESSIBILITY
- 16 (E) STRIPPED AREA IN FRONT OF (E) ROLL-UP DOOR (BASED ON 2015 PUP APPROVED UPGRADE REQUIREMENTS)
- 17 (E) FENCE AND GATE TO REMAIN, GATE REMAIN OPEN AT BUSINESS HOURS FOR PARKING ACCESS. (THIS IS AN EXISTING FENCE AND GATE DURING THE 2015 PUP UPGRADES)

LEGEND

- ACCESSIBLE PATH OF TRAVEL
- BUILDING OF PUP APPLICATION
- PROPERTY LINE
- PUBLIC SIDEWALK



1 EXISTING SITE PLAN (APPROVED PUP IN 2015)
 1"=20'-0"

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Existing Trash Enclosure (PUP approved in 2015)



TABLE A: MINIMUM SPACE FOR CONTAINERS

Land Use	Development Size	Minimum Space Required For Garbage and Recycling Containers
Multi-family Residential (3 or more units sharing one bin)	Each 15 Units	Space for one 3-yard bin and three recycling carts
Office/Commercial*	First 20,000 sf	Space for one additional 3-yard bin
	Each additional 20,000 sf	Space for two 3-yard bins

TABLE B: BINS & CLEARANCES

Bin Size	Bin Dimensions	Minimum Interior Clearances*
3-yard (X2)	6'9" W x 4'1" D x 4'11" H (X2)	1' between bin and enclosure walls & rear aisle between bins.
3-yard	6'9" W x 3'6" D x 4'2" H	

EXAMPLES OF BIN LAYOUTS*

- Layouts shown for typical 3-yard trash and 3-yard recycling bins. Dimensions are approximate.
- Provide 1-foot *interior* clearance between bins and other obstructions (walls, curbs, equipment, trees)*.
- Provide 4-foot aisle access to front of bin (6'9" width).
- Provide 9-foot vertical clearance to open lids (from ground to top of lid).
- Provide gate with offset hinges wide enough to easily remove bin for collection (1-foot clearance around bin).
- Provide paved, level surface inside trash area through gate to collection point (travelway).
- Tallow: add space for *drum* at rear of enclosure with rear access (see B); or provide separate enclosure (see A)

TABLE C: TRUCK ACCESS

Inside turning radius:	29'	Travelway vertical clearance:	14'0" (h)
Travelway minimum width: <td>12'</td> <td>Travelway minimum width:</td> <td>12'</td>	12'	Travelway minimum width:	12'
Outside turning radius: <td>41'</td> <td>Turning template or truck:</td> <td>Use "Garbage Truck" for commercial developments</td>	41'	Turning template or truck:	Use "Garbage Truck" for commercial developments
		Use "Recycling Truck" for multi-family developments	

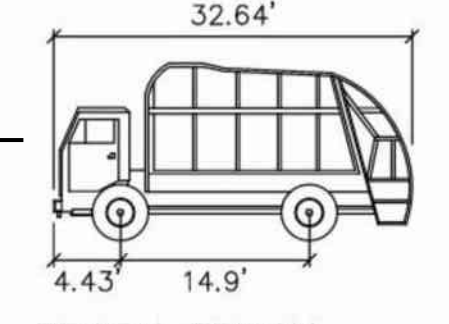
For safety reasons, a truck turnaround is required for any street, driveway or travelway if the collection truck has to back up more than 150 feet.

SCALE: 1" = 20'-0"

LEGEND:



TRASH VEHICLE PROFILE:



TRASH TRUCK

WIDTH : 8.2'

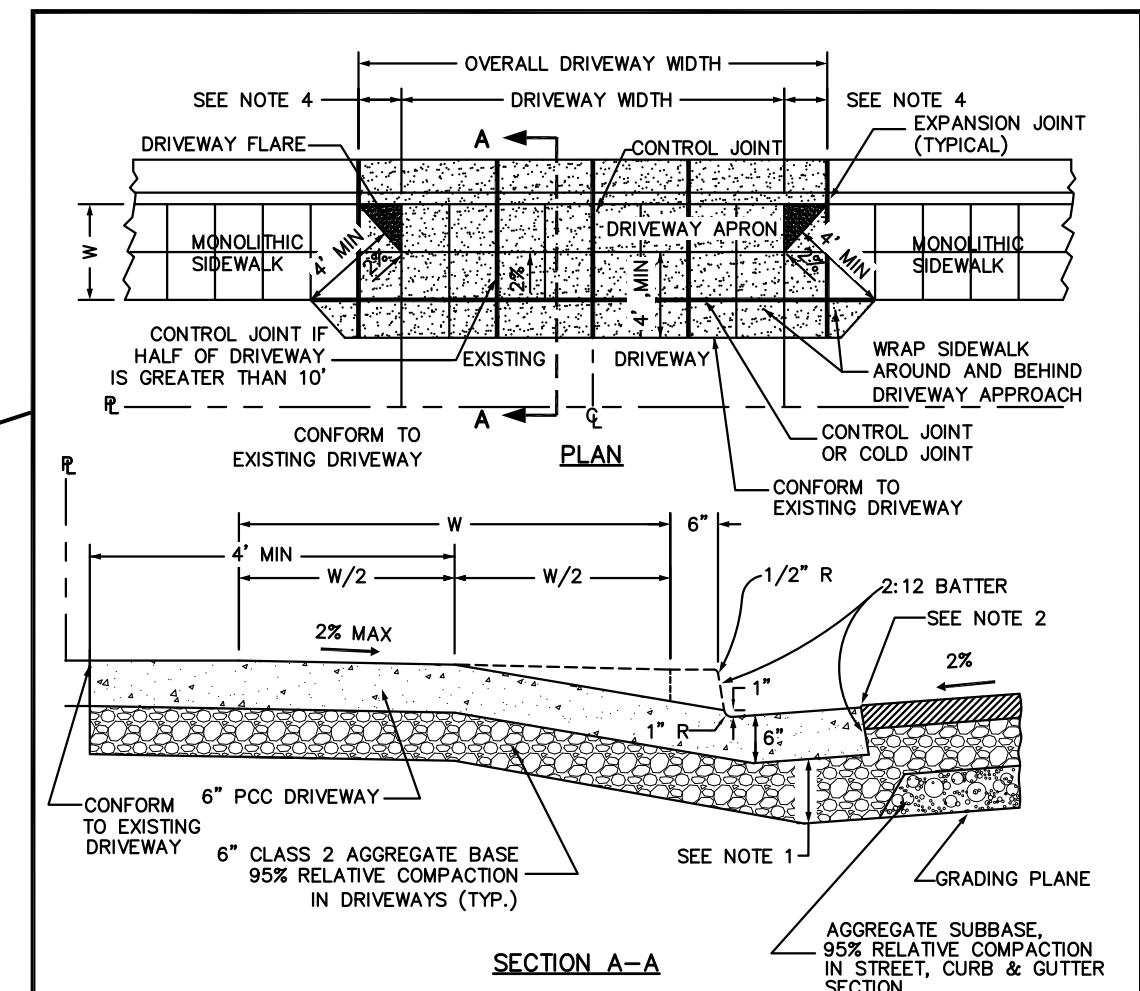
TRACK : 8.2'

LOCK TO LOCK TIME : 6.0 SECONDS

STEERING ANGLE : 35.0 DEGREE

No Change to Existing

The existing driveway approach area was upgraded per Public Work detail A7-A during the 2015 PUP approval requirement.



City of Mountain View Department of Public Works Standard Detail	MODIFIED DRIVEWAY APPROACH/LEVEL SIDEWALK CROSS-SECTION
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Reviewed by: HK
Approved by: HK
DES Project No: 10362.001
Authority Having Jurisdiction:

Engineer of Record Architect of Record

Existing Site Plan with Truck Path
Trash Enclosure
(Approved in 2015)

G0.03

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1 TRASH TRUCK PATH
1"=20'-0"

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Authority Having Jurisdiction

Engineer of Record Architect of Record

Existing Landscape Plan
& Furnishing photos
(Approved in 2015)

G0.04

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EXISTING LANDSCAPE PLAN NOTES:

- 1) All existing landscape installations, hard-scape work and irrigation system was designed and installed based on 2015 PUP review and requirements.
- 2) The existing water conserving automatic irrigation system in all landscape areas are designed and installed accordance with the City of Mountain View Model water efficient landscape ordinance, PUP 2015-2016 reviewed, approved and installed.

KEY NOTES OF EXISTING CONDITIONS:
(PUP APPROVED 2015-2016)

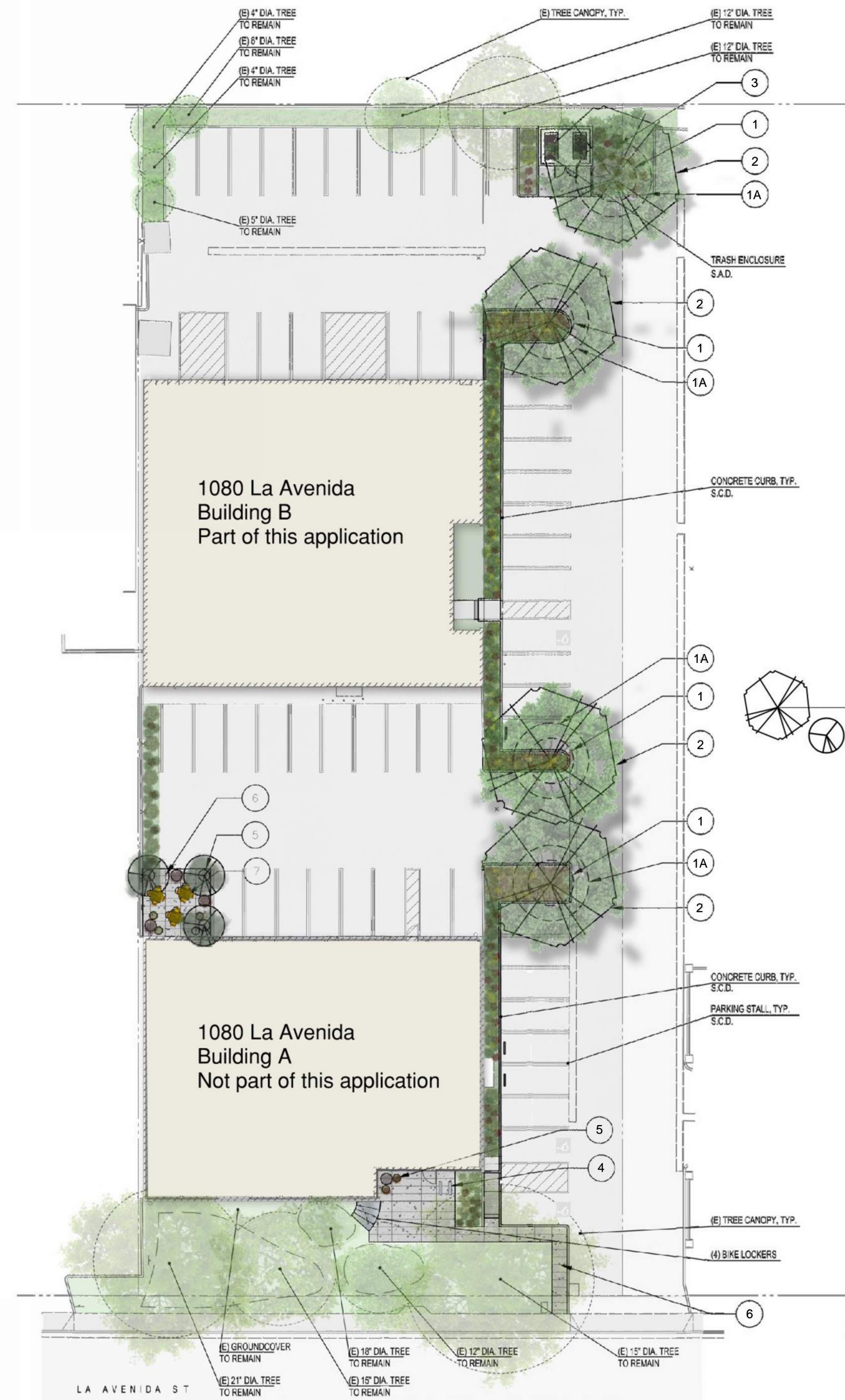
- 1 PARKING LOT TREE CANOPY AT INSTALLATION
- 1A PARKING LOT TREE CANOPY 5-10 YEARS
- 2 PARKING LOT TREE MATURITY
- 3 TALL SHRUBS AT TRASH ENCLOSURE
- 4 BIKE RACK
- 5 PRECAST PLANTERS
- 6 CONCRETE PAVING WITH SCORELINES, MEDIUM SANDBLAST FINISH, COLOR TBD.
- 7 OUTDOOR SEATING AREA

EXISTING PLANT LIST ON SITE:
(PUP APPROVED 2015-2016)

TREES		
Scientific Name	Common Name	COMMENTS
Arbutus 'Marino'	NCN	Multi-trunk accent
Olea Europaea 'Swan Hill'	Swan Hill Olive	Multi-trunk accent

SHRUBS AND GROUNDCOVERS			
Scientific Name	Common Name	Planting Size	WUCOLS*
Anigozanthus flavidus	Kangaroo Paw	5 gal	Low
Artemisia californica	California Sagebrush	5 gal	Low
Ceanothus gloriosus 'Diamond Heights'	Diamond Heights Carmel Creeper	5 gal	Low
Aloe Polyphylla	Spiral Aloe	1 gal	Moderate
Agave Attenuata	Foxtail Agave	5 gal	Low
Olea Europaea 'Montra' p.p #6,266	Little Ollie Dwarf Olive	5 gal	Low
Aloe Johnsons Hybrid	Aloe Johnsons Hybrid	5 gal	Low
Polystichum munitum	Western Sword Fern	5 gal	Low
Senecio mandraliscae	Kleinia	5 gal	Low
Loropetalum Chinensis 'Razzeberri'	Razzeberri Fringe Flower	15 gal	Low
Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	15 gal	Mod
Lantana montevidensis 'Alba'	White Trailing Lantana	5 gal	Low

GRASSES AND GRASS-LIKE			
Scientific Name	Common Name	Planting Size	WUCOLS*
Chondropetalum 'El Campo'	Small Cape Rush	5 gal	Low
Carex divulsa	Berkeley Sedge	1 gal	Low
Phormium 'Yellow Wave'	New Zealand Flax	5 gal	Low
Pennisetum 'Fairy tails'	Evergreen Fountain Grass	1 gal	Low
Festuca Glauca 'Elijah Blue'	Elijah Blue Fescue	1 gal	Low
Phormium 'Jester'	Fiesta New Zealand Flax	5 gal	Low



EXISTING LANDSCAPE PLAN
(PUP APPROVED 2015-2016)



EXISTING LANDSCAPE TYPE
(PUP APPROVED 2015-2016)



EXISTING BIKE RACK MODEL
(PUP APPROVED 2015-2016)



EXISTING BIKE LOCKER MODEL
(PUP APPROVED 2015-2016)



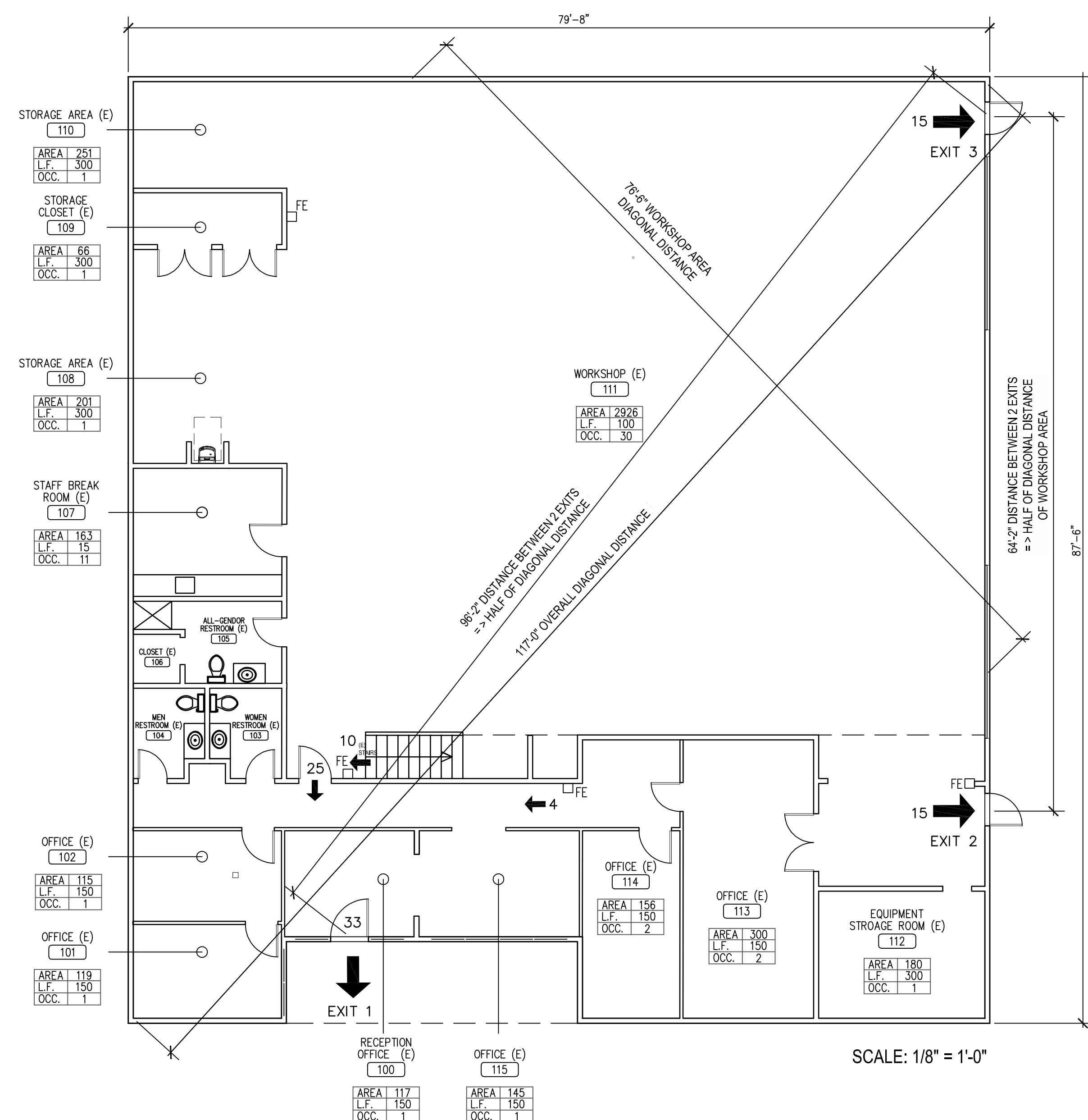
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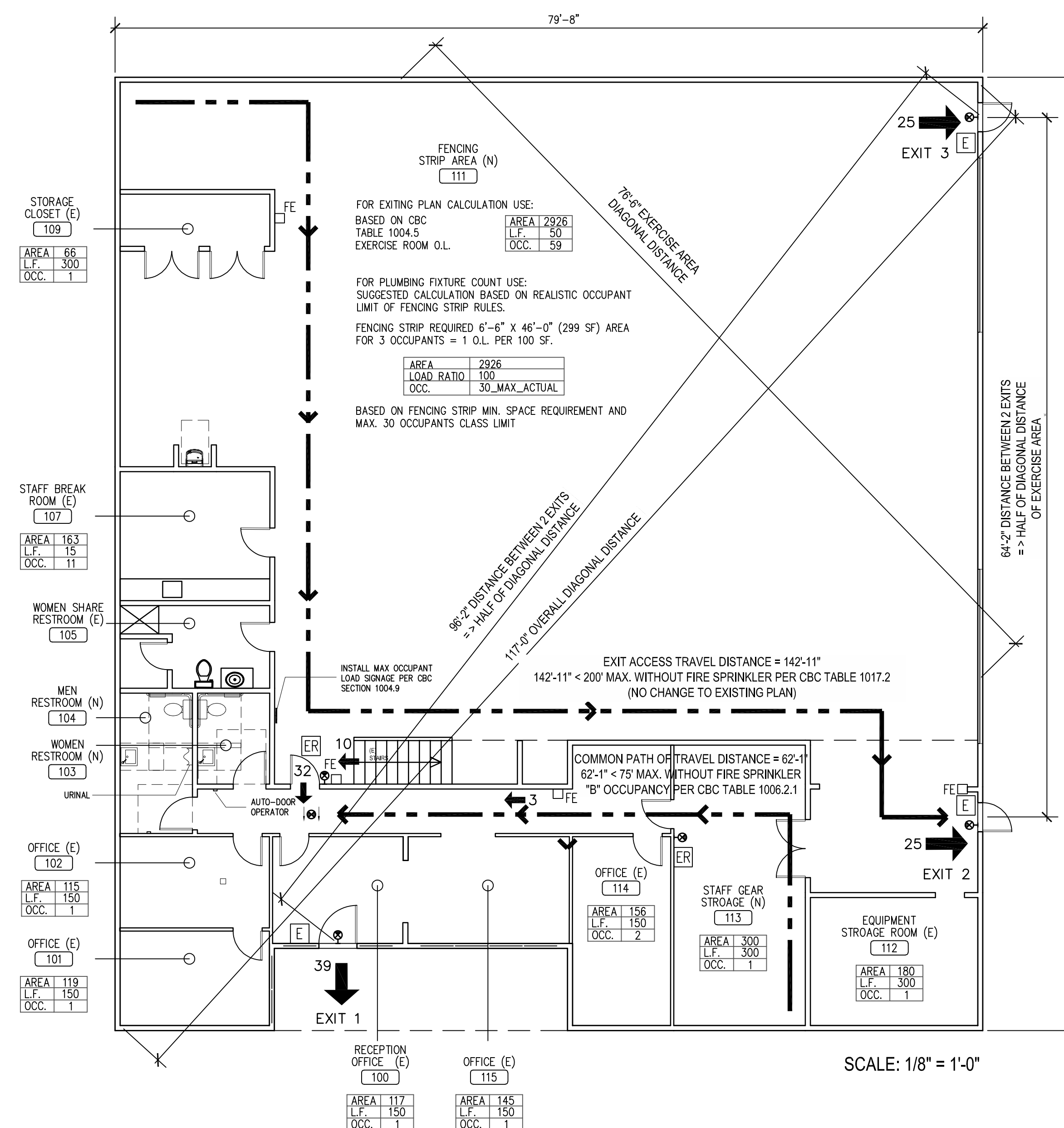
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Authority Having Jurisdiction



PREVIOUS USE FIRST FLOOR EXITING DIAGRAM



PROPOSED USE FIRST FLOOR EXITING DIAGRAM
(NO PLAN CHANGE FROM EXISTING)

EXISTING EXIT PLAN CALCULATIONS (NO CHANGE TO EXISTING TOTAL FLOOR AREA)					ALLOWABLE FLOOR AREA VS EXISTING FLOOR AREA		PROPOSED EXIT PLAN CALCULATIONS (NO CHANGE TO EXISTING TOTAL FLOOR AREA)					LEGEND																																																																							
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Level One Existing & Proposed floor plan

A2.01

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Feb 22, 2024 - 11:32am H:\work - BaysideFencing\10362001\Draw\Arch\A2.01.dwg



Bayside Fencing Club
1080 La Avenida Street
Building B
Mountain View, CA 94043

Bayside Fencing Club
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Plan Check Number: City PL-2023-219
Date: Description:
03-08-2024 PUP Resubmittal Package

Drawn by: HK
Reviewed by: HK
Approved by: HK
DES Project No: 10362.001

Authority Having Jurisdiction

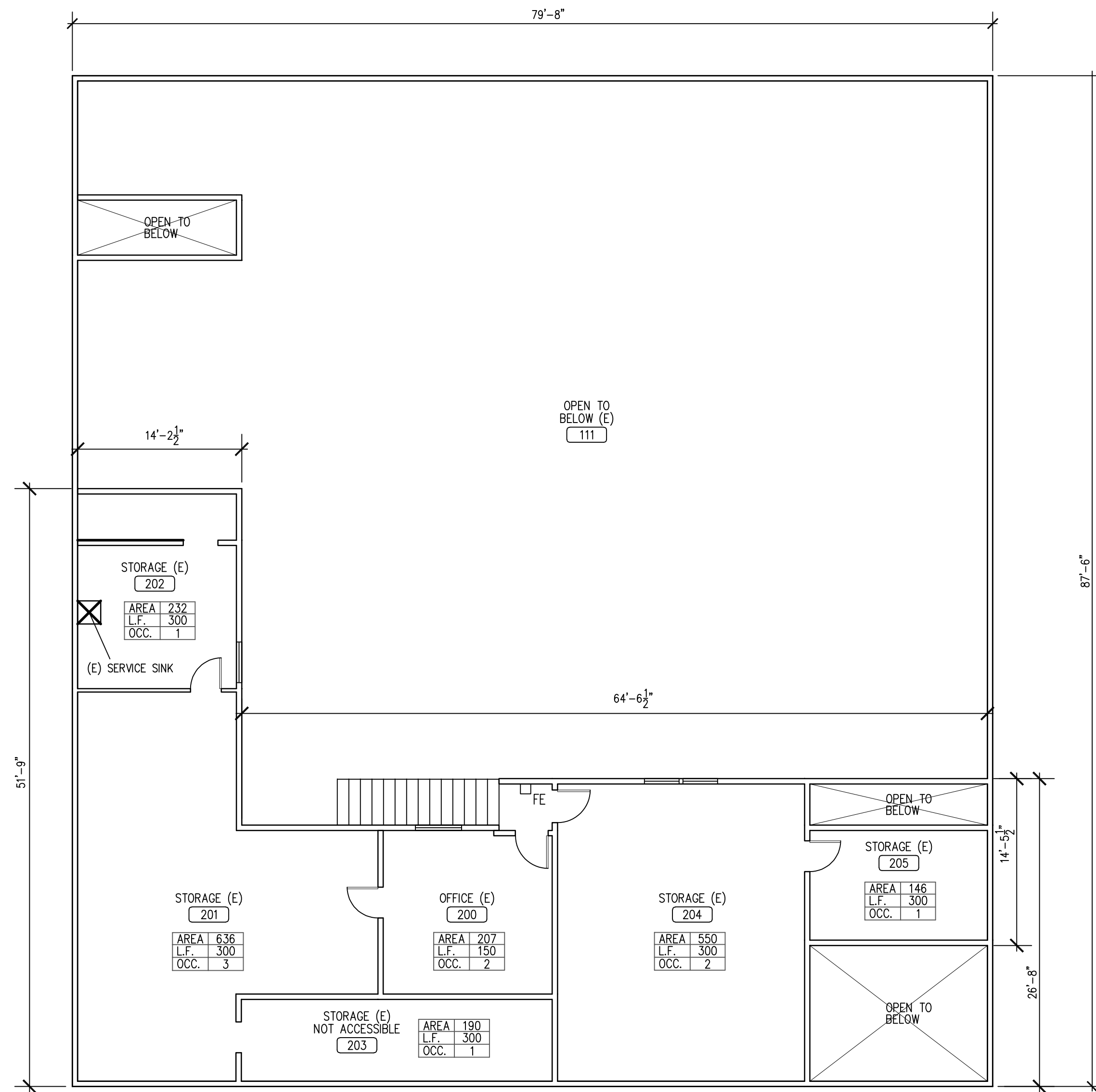
Engineer of Record Architect of Record

Level Two Existing,
Proposed Floor Plan
and Site-Building Section

A2.02

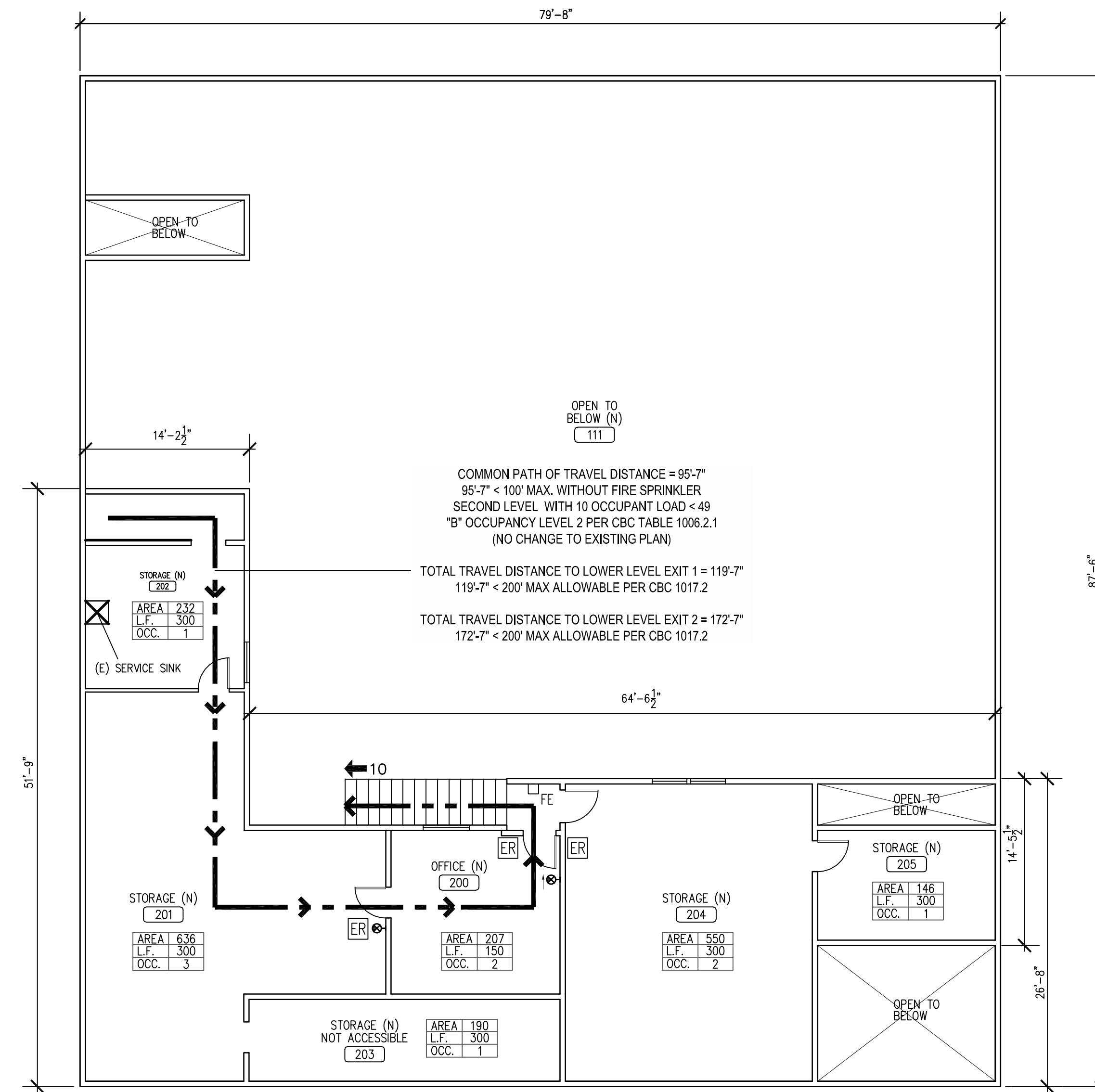
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SCALE: 1/8" = 1'-0"

PREVIOUS USE SECOND FLOOR EXITING DIAGRAM



SCALE: 1/8" = 1'-0"

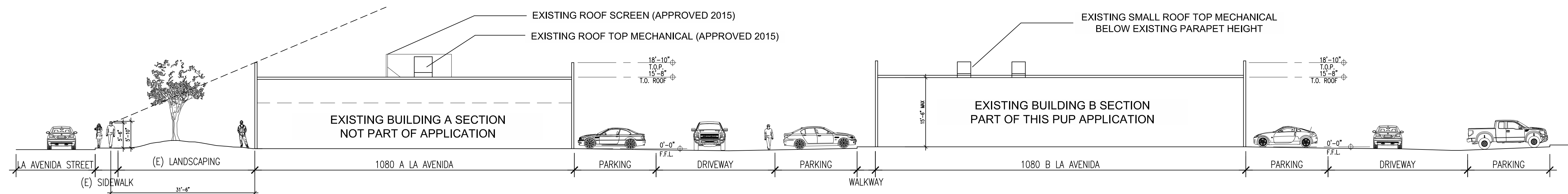
PROPOSED USE SECOND FLOOR EXITING
(NO CHANGE FROM EXISTING)

LEGEND

- NEW CEILING MOUNTED SELF LUMINOUS EXIT SIGN
- NEW WALL MOUNTED SELF LUMINOUS EXIT SIGN
- "EXIT" TACTILE EXIT SIGNAGE AT GRADE LEVEL EXTERIOR DOORS
- "EXIT ROUTE" TACTILE EXIT SIGNAGE AT INTERIOR EXIT ACCESS DOORS
- EXIT ACCESS TRAVEL DISTANCE
- COMMON PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL
- REQUIRED EXIT
- EXIT LOAD

AREA	98	AREA	146
L.F.	300	L.F.	300
OCC.	1	OCC.	1

FE FIRE EXTINGUISHER
WALL MOUNTED FIRE EXTINGUISHER AT CODE ACCESSIBLE HEIGHT OF 48" MAX A.F.F., 75' MAX. TRAVEL DISTANCE FROM ALL SIDES EXTINGUISHER MIN. SIZE = 2-A:10-BC



EXISTING SITE & BUILDING SECTION

Feb. 22, 2024 11:25am M:\work - PL\Projects\Bayside Fencing Club\03620013\Draw\Arch\A202.dwg



Actual occupant load of Bayside Fencing Club use

1080 La Avenida Street Building B PUP Application
PL-2023-219
2-14-2024

Building Department Official
City of Mountain View
500 Castro St.
Mountain View, CA 94041

Dear Building Department Official,

Thank you very much for your time and attention to review this letter about the actual occupant load count analysis of Bayside Fencing Club change of use application.

As a result of some helpful review with the city planner and reviewer about our concern of the wide difference between actual/realistic occupant load vs standard code load factor of our fencing area, the group suggestion is for us to submit this letter for the building official to review and consider.

Bayside Fencing Club (new tenant), as the very first fencing studio founded in Mountain View, is a privately funded small startup, intended to support, promote, and provide affordable training and instruction of fencing sport to the local community. Because Bayside Fencing Club is a limited budget small startup institution, the intent of the group is to move into this existing building without making any tenant improvement upgrade other than the needed accessibility code corrections.

One concerning item in our code analysis is how the current code occupant load differ from the realistic actual occupant load of the fencing class area:

- a) The existing open area for fencing club class use is approx. 2,926 sf
- b) Based on CBC 1004.5 "Exercise rooms" occupant load factor of 50 gross, the occupant load is 59.
- c) However, because of the low-density nature of fencing sport/training requirement, 3 occupants (1 coach/referee + 2 fencers are required to occupy a minimum floor area of 6'-6" width by 46'-0" long regulated fencing strip), the class limitation is always set at 20 to 30 students maximum.
- d) Therefore, the realistic actual occupant load of this 2,926-sf space is only at 30 occupants max. (at 1 occupant per 100 sf) and not 59 occupants.

Based on this realistic analysis of occupant load of a Fencing club, we would like the official to consider the following approach for review and approval.

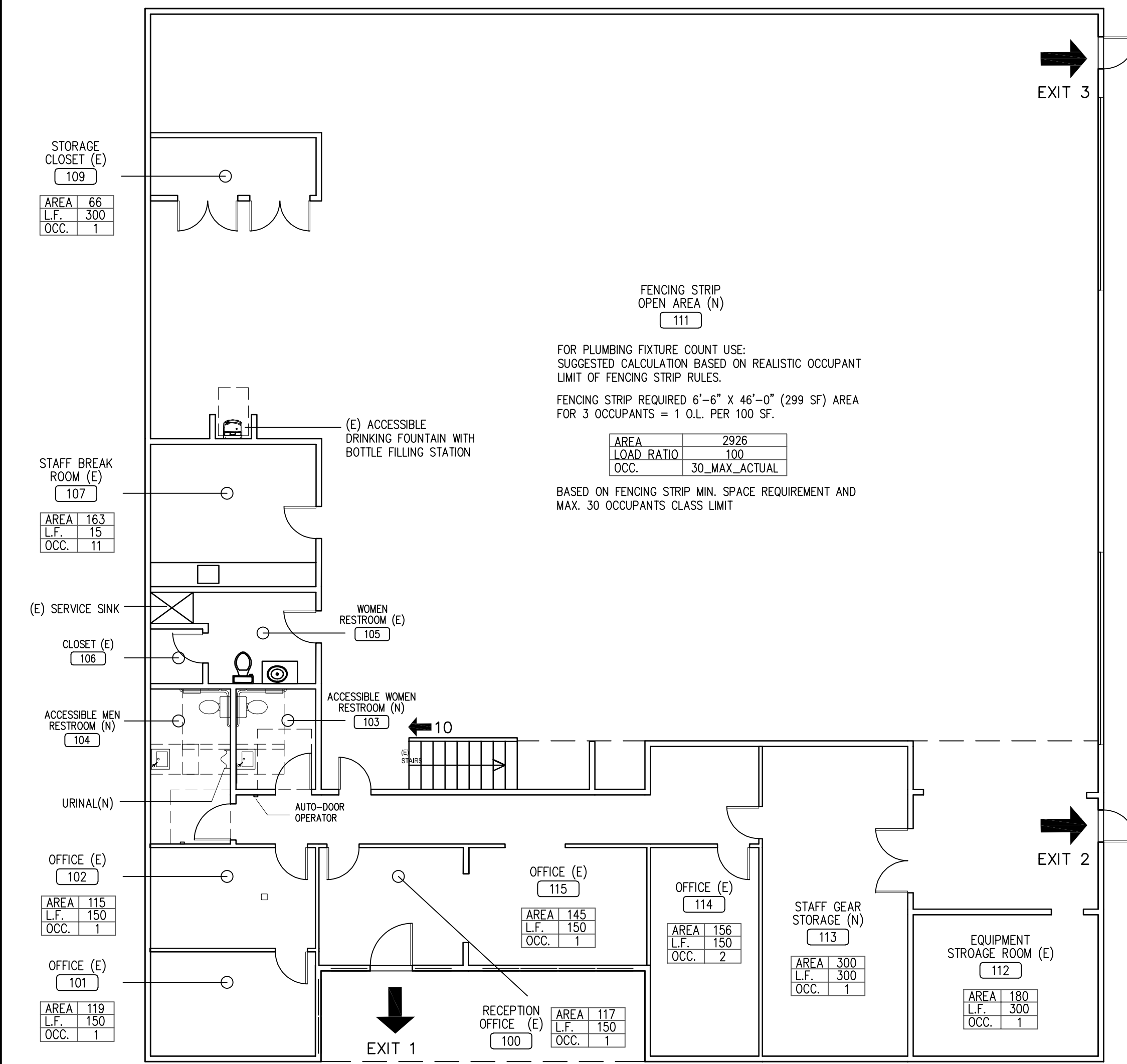
- For Life Safety Egress calculation reference, the design team remains using the CBC 1004.5 "Exercise rooms" occupant load factor of 50 gross, 59 occupant load for the fencing area = maximizing the egress requirements.
- For Plumbing Fixture calculation, the design team would like to use the realistic 30 maximum occupant load for the fencing area = helping this small business to avoid the cost hardship of adding new restrooms.
- Bayside Fencing Club is committed to still providing all the necessary code accessibility upgrades/correction to the existing 3 restrooms at this facility.

Please help to consider the realistic plumbing count needs of this limited fund tenant and let us know if you have any questions.

Thank you.

Sincerely,

Xin Zhang
Co-Owner
Bayside Fencing Club
Mobile: [REDACTED]



PROPOSED USE FIRST FLOOR PLUMBING FIXTURE LOAD CALCULATION DIAGRAM (NO PLAN CHANGE FROM EXISTING)

PLUMBING FIXTURE CALCULATIONS	
THIS PROPOSED TENANT IMPROVEMENT PROJECT IS NOT A NEW BUILDING/ADDITION TO A BUILDING, BUT A CHANGE OF OCCUPANCY FROM F-2 TO B IN THIS PORTION OF EXISTING BUILDING RESULTING IN INCREASED OCCUPANT LOAD. THIS PROPOSED PROJECT DOES FALL UNDER THE REQUIREMENT OF 2022 CPC TABLE 422.1.	
PROPOSE NEW B USE FIXTURE COUNT BASED ON TABLE 422.1	
A. MAX. OCCUPANT LOAD PER FLOOR USING CPC TABLE 422.1 UNDER "B", ROOM BY ROOM OCCUPANCY	60 OCCUPANTS BASED ON THE APPROVED 30 STUDENT MAXIMUM LOAD
B. MAX. OCCUPANT LOAD PER GENDER PER FLOOR:	60 / 2 = 30 OCCUPANTS
C. WATER CLOSET REQUIRED PER SECTION 422.1:	1 MALE WC 2 FEMALE WC
WATER CLOSET PROVIDED:	1 MALE ACCESSIBLE WC 1 FEMALE WC 1 FEMALE ACCESSIBLE WC
D. URINAL REQUIRED PER SECTION 422.1:	1
URINAL PROVIDED:	1
E. LAVATORIES REQUIRED PER SECTION 422.1:	1 WC FOR MAIL 1 WC FOR FEMALE
LAVATORIES PROVIDED:	1 WC FOR MALE 2 WC FOR FEMALE
F. DRINKING FOUNTAIN REQUIRED PER SECTION 422.1:	1
DRINKING FOUNTAIN PROVIDED:	1
G. SHOWER REQUIRED PER SECTION 422.1:	0
SHOWER PROVIDED:	0
H. SERVICE SINK REQUIRED PER SECTION 422.1:	1
SERVICE SINK PROVIDED:	2



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Engineer of Record Architect of Record

Proposed New Restrooms floor plan & Plumbing Count Table

A2.03

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ELKAY SPECIFICATIONS Elkay ezH2O Bottle Filling Station with Single ADA Cooler Hands Free Activation Filtered Refrigerated Light Gray Model LZO8WLSK

PRODUCT SPECIFICATIONS
Elkay ezH2O Bottle Filling Station with Single ADA Cooler Hands Free Activation Filtered Refrigerated Light Gray. Chilling Capacity of 8.0 GPH (gallons per hour) of 50° F drinking water, based on 80° F inlet water and 90° F ambient, per ASHRAE 18 testing. Features shall include Antimicrobial™, Filtered, Green Ticker™, Hands Free, Laminar Flow, Real Drain, Visual Filter Monitor. Furnished with Flexi-Guard® Safety Bubbler. Electronic Bottle Filler Sensor activation. Product shall be Wall Mount (On Wall), for indoor applications, serving 1 station(s). Unit shall be certified to UL 399 and CAN/CSA C22.2 No. 120.

Special Features:	Antimicrobial™, Filtered, Green Ticker™, Hands Free, Laminar Flow, Real Drain, Visual Filter Monitor
Finish:	Light Gray Granite
Power:	115V/60Hz
Bubbler Style:	Flexi-Guard® Safety Bubbler
Activation by:	Electronic Bottle Filler Sensor
Mounting Type:	Wall Mount (On Wall)
Chilling Capacity:	8.0 GPH
Full Load Amps:	8
Rated Watts:	370
Dimensions (L x W x H):	18-3/8" x 19" x 39-1/16"
Approx. Shipping Weight:	85 lbs.
Installation Location:	Indoor
No. of Stations Served:	1

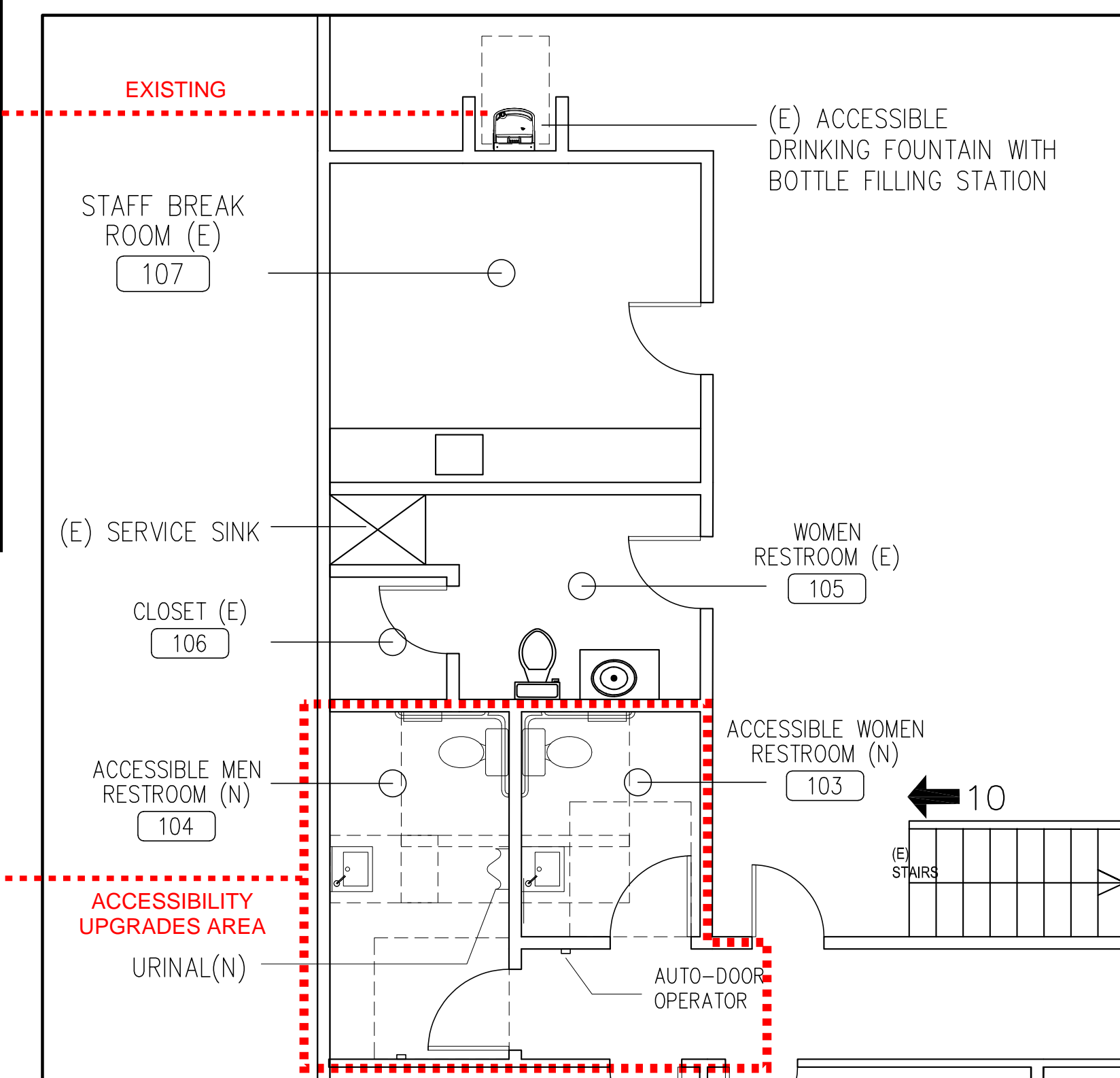
Included with Product: Water Cooler (LZO8WLS), Bottle Filler (LZWSR), Filter

Ships in multiple boxes. A Century of Tradition and Quality. For more than 100 years, Elkay has been making innovative products and providing exceptional customer care. We take pride in offering plumbing products that make life easier, inspire change and leave the world a better place.

PRODUCT COMPLIANCE
ADA & ICCA117.1

General Proposed Code Upgrade of Existing Restrooms

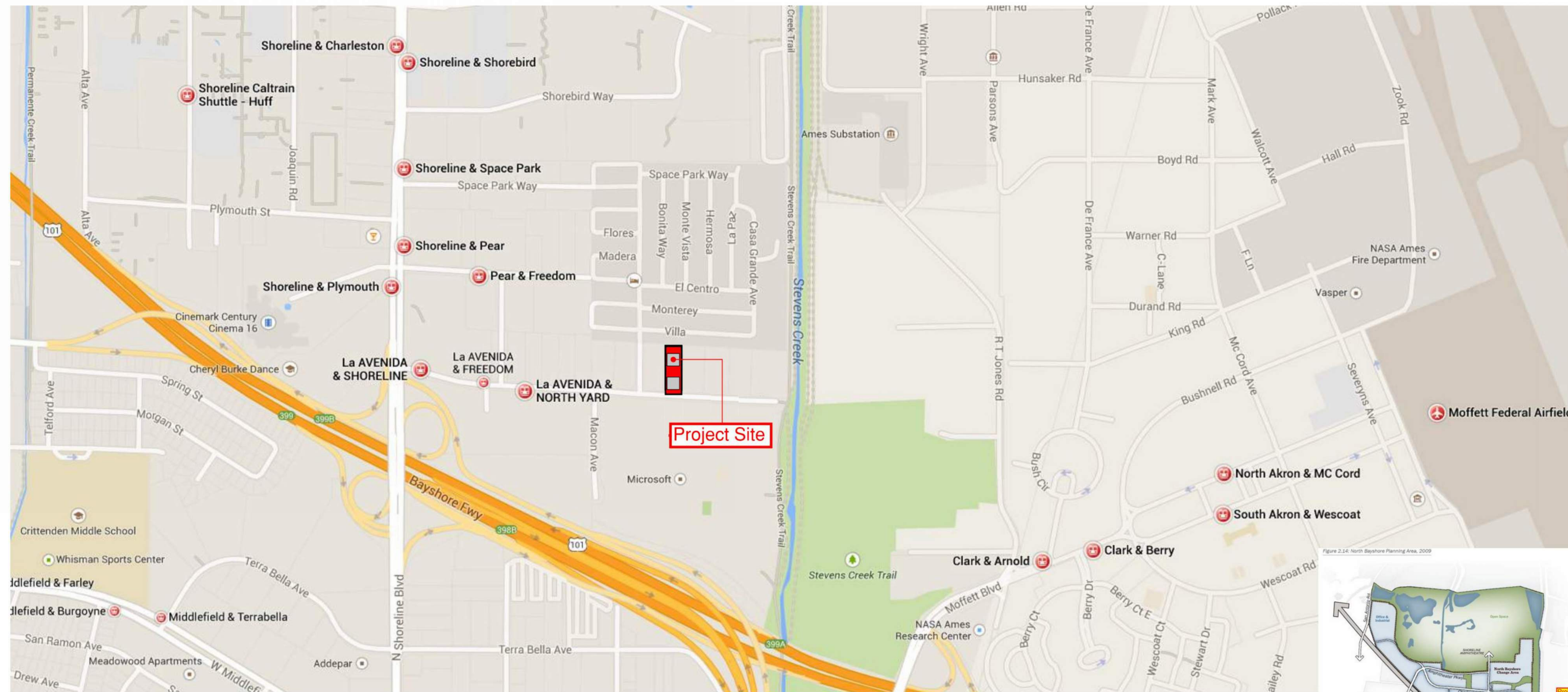
- Enlarge existing room width to accommodate required 60" min. clearance between WC and Lavatory in restroom 103 and 104.
- Relocate existing fixtures and accessories to provide all required code clearances and elevations.
- Install new power auto-door control to door of room 104 because of hallway clearance limitation.
- Install new urinal in restroom 104 to meet minimum fixture count requirement.




ENLARGED RESTROOM AREA

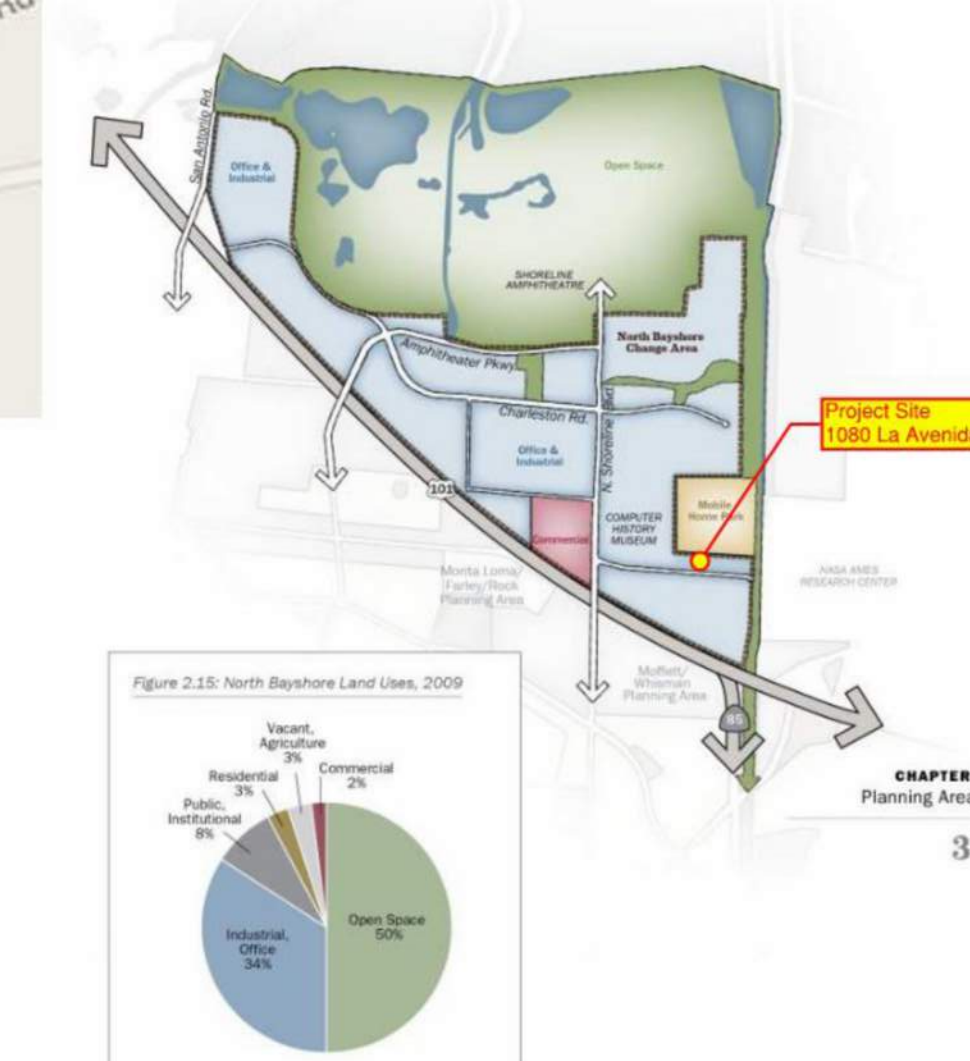
TABLE 422.1
MINIMUM PLUMBING FACILITIES¹ (continued)

TYPE OF OCCUPANCY ²	WATER CLOSETS (FIXTURES PER PERSON) ³		URINALS (FIXTURES PER PERSON) ⁴	LAVATORIES (FIXTURES PER PERSON) ⁵		BATHTUBS OR SHOWERS (FIXTURES PER PERSON)	DRINKING FOUNTAINS/FACILITIES (FIXTURES PER PERSON)	OTHER
	Male	Female	Male	Male	Female			
B Business occupancy (office, professional or service type transactions)-banks, vet clinics, hospitals, car wash, banks, beauty salons, ambulatory health care facilities, laundries and dry cleaning, educational institutions (above high school), or training facilities not located within school, post offices and printing shops	1: 1-50	1: 1-15	1: 1-100	1: 1-75	1: 1-50	—	1 per 150	1 service sink or laundry tray
	2: 51-100	2: 16-30	2: 101-200	2: 76-150	2: 51-100			
	3: 101-200	3: 31-50	3: 201-400	3: 151-200	3: 101-150			
	4: 201-400	4: 51-100	4: 401-600	4: 201-300	4: 151-200			
		8: 101-200		5: 201-300	5: 201-300			
	11: 201-400		6: 301-400	6: 301-400				
	Over 400, add 1 fixture for each additional 500 males and 1 fixture for each additional 150 females.	Over 600, add 1 fixture for each additional 300 males.		Over 400, add 1 fixture for each additional 250 males and 1 fixture for each additional 200 females.				



Bus Stations Map in Project Vicinity Area

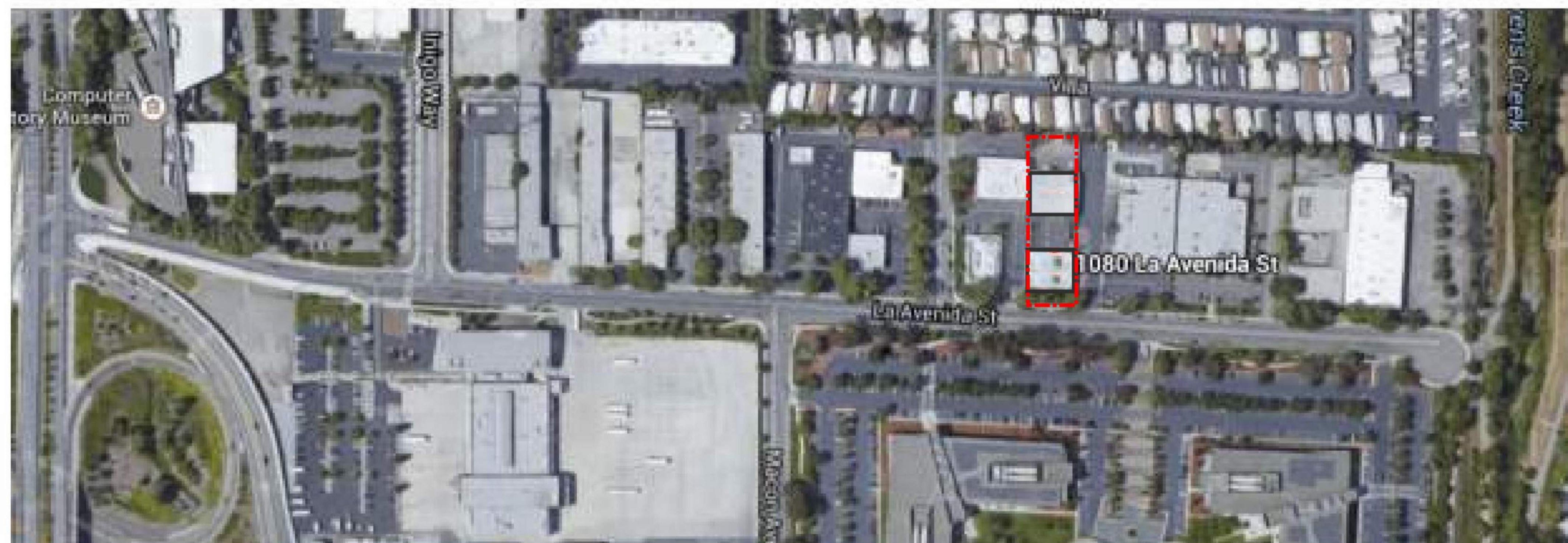
 = Bus Station Symbol on Map



1080 LA AVENIDA STREET on North Bayshore Planning Area



- Precise Plans**
- P(5) 460 N. Shoreline Blvd
 - P(6) San Ramon
 - P(7) Mayfield
 - P(8) San Antonio Station
 - P(13) California-Ortega
 - P(14) 2100 California St
 - P(17) Villa-Mariposa
 - P(18) Evelyn Ave Corridor
 - P(19) Downtown
 - P(23) Castro-Miramonte Triangle
 - P(24) El Camino Medical Park
 - P(25) Grant-Phyllis Triangle
 - P(26) Grant-Martens
 - P(27) Grant-Phyllis
 - P(28) 1101 Grant Road
 - P(29) 111 Ferry-Morse Wy
 - P(30) Sylvan-Dale
 - P(31) Mora-Ortega
 - P(32) Evansdale Area
 - P(33) L'Avenida South
 - P(34) North Bayshore (1994)
 - P(35) Whisman Station
 - P(37) South Whisman
 - P(38) El Camino Real
 - P(39) North Bayshore (2014)
 - P(40) San Antonio



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Transportation
Connection plan

A2.04

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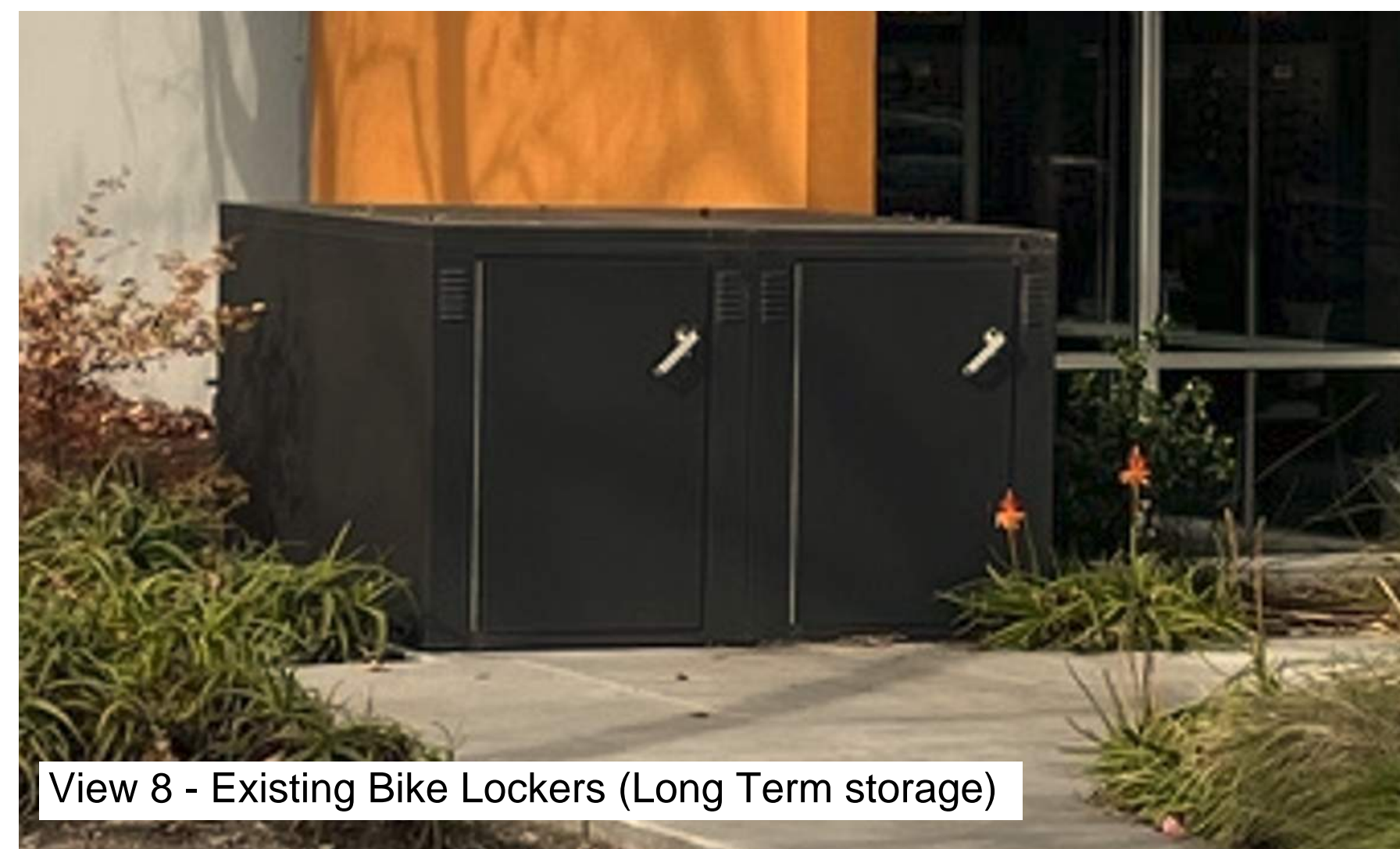
Note: There is no Propose Building Exterior and Site change in this PUP application.



View 6 - Looking South at Driveway - adjacent Post Office dock area and parking



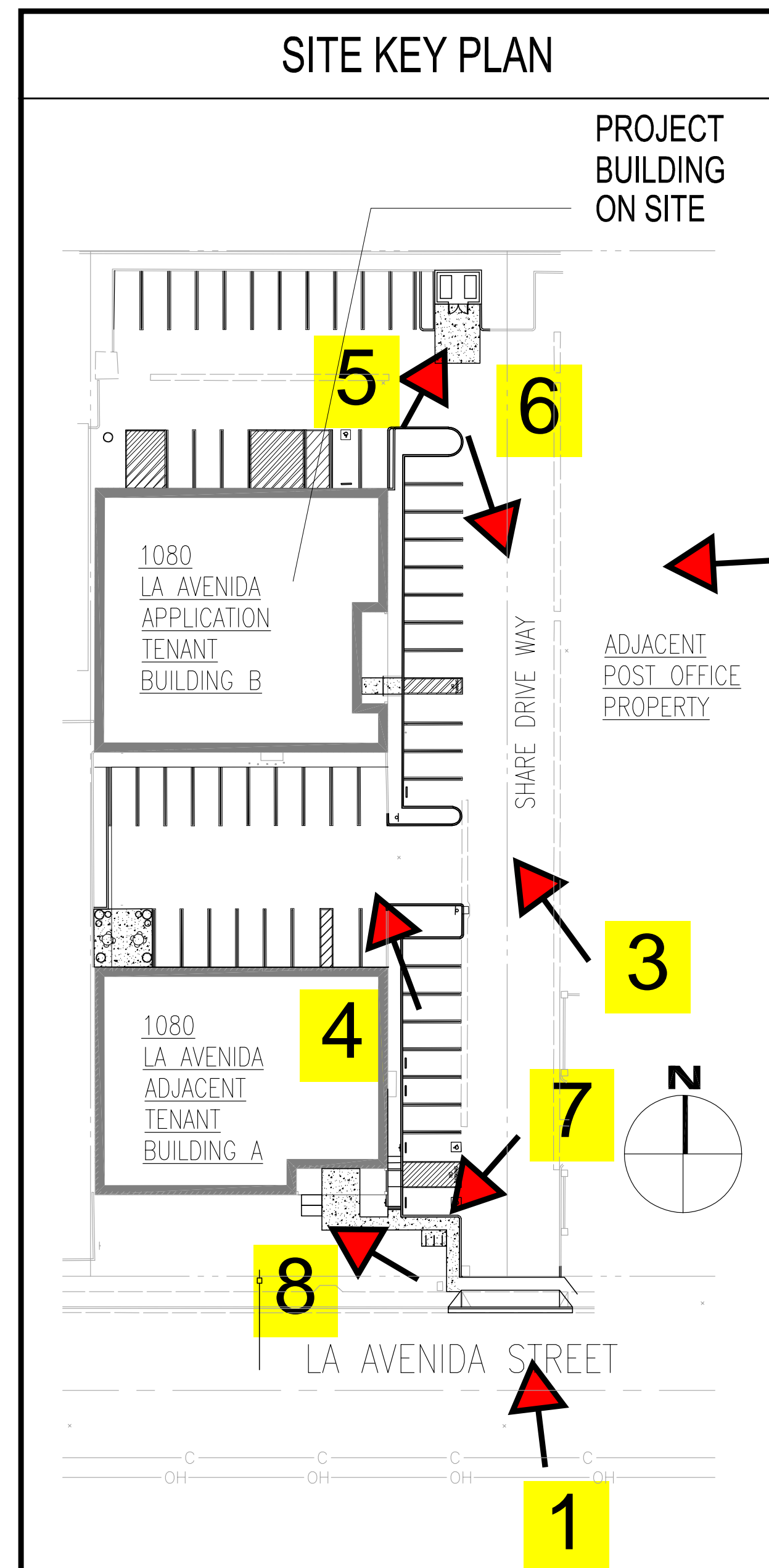
View 7 - Existing Bike Rack (Short Terms storage)



View 8 - Existing Bike Lockers (Long Term storage)



View 5 - Existing Trash Enclosure



View 1 - Looking North from street front



View 2 - Looking West to Building B entrance



View 3 - Looking Northwest at Building B



View 4 - South elevation of Building B



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EXISTING SITE
PHOTOS FOR
REFERENCE

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