

GENERAL NOTES

1. ALL CONSTRUCTION WORK AND ITS FINISHED PRODUCT SHALL CONFORM TO THE LATEST EDITION OF CODES ADOPTED BY LOCAL GOVERNING AGENCIES. THESE SHALL INCLUDE (BUT NOT LIMITED TO) THE APPLICABLE CODES, LAWS, AND REGULATIONS LISTED UNDER "CODE INFORMATION" ON THIS SHEET, AS WELL AS ALL HEALTH AND SAFETY CODES AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES.
2. THE ISSUANCE OF A BUILDING PERMIT SHALL NOT NOT BE CONSTRUED AS A GUARANTEE THAT ALL CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENTS. NO GUARANTEE OF CONSTRUCTION QUALITY IS IMPLIED OR INTENDED BY THIS ARCHITECTURAL DOCUMENTS. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ALL CONSTRUCTION PROCESS.
3. **BUILDER SET DEFINITION:** THESE PLANS ARE A "BUILDER SET". IT CONTAINS INFORMATION NECESSARY FOR PERMITTING AND GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR ARE FULLY SPECIFIED. THIS HAVE BEEN PRODUCED FOR THE USE OF A KNOWLEDGEABLE AND EXPERIENCED CONTRACTOR, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, SELECT, SOLVE, AND INSTALL ALL MATERIALS & EQUIPMENT CORRECTLY.
4. BY EXECUTING CONTRACTS, PRIOR TO COMMENCING ANY WORK OR ORDERING ANY MATERIAL, CONTRACTOR REPRESENT THAT THEY HAVE:
 - 4.1. VERIFIED EXISTING JOB SITE CONDITIONS AND SURROUNDINGS, LOCATIONS OF ALL UTILITY LINES, CONDUITS, SURFACE OR SUBSURFACE STRUCTURES, ETC. AND OF ANY NATURE THAT MAY BE AFFECTED BY THE WORK AND MADE DUE ALLOWANCES FOR DIFFICULTIES.
 - 4.2. CONTRACTOR TO VERIFY ALL MEASUREMENTS SHOWN ON THESE DRAWINGS WHICH SUPERCEDES SCALE OF DRAWINGS.
5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, ENGINEER OR OWNER OF ANY DISCREPANCIES THEY DISCOVER WITHIN THE DRAWINGS AND EXISTING FIELD CONDITIONS PRIOR TO CONTINUE THE WORK. IF CONTRACTOR CHOOSE TO CONTINUE WITHOUT ARCHITECT/ENGINEER CLARIFICATION/INSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CHANGES.
6. THE CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT AND HIS/HER CONSULTANTS FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT AND ITS ASSOCIATES CONSULTANT.
7. CONTRACTOR SHALL ACCEPT AND MAINTAIN THE EXISTING SITE, SURROUNDING, CONDITION, AND PROTECT NEW AND EXISTING WORK, EQUIPMENT, MATERIALS, DAMAGES CAUSED BY CONTRACTOR NEGLIGENCE, SHALL BE REPAIRED, REPLACE AS GOOD CONDITION AS BEFORE, AT THE EXPENSE OF THE CONTRACTOR.
8. THE ARCHITECT SHALL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY, SECURITY, QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
9. DEMOLITION SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGING TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES. ALL DEMOLISHED/REMOVED ITEMS SHALL BE DISPOSED OFF BY THE CONTRACTOR PER CITY/ COUNTY CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, AND VERIFY WITH THE OWNER ON ITEMS TO BE SAVED AND STORED. ALL REMOVED ITEMS TO BE SAVED FOR REUSE SHALL BE HANDLED WITH CARE.

PROJECT DATA		
A.P.N. NO	:	158-30-047
ZONING	:	R-1
OCCUPANCY GROUP	:	R3-U
TYPE OF CONSTRUCTION	:	V-B
LOT AREA	:	5,000 S.F.
LOT COVERAGE	:	(908 + 640 + 54 + 178) / 5,000 SF x 100% : 35.62%
F.A.R. (MAX)	:	45% x 5,000 S.F. = 2,250 S.F.
F.A.R. (PROPOSED)	:	1,722 / 5,000 x 100% = 34.44 %
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A. HABITABLE AREA:		
(E) HABITABLE AREA TO REMAIN	:	1,125 S.F.
(N) UPPER FL. AREA	:	415 S.F.
(N) LOWER FL. AREA	:	708 S.F.
TOTAL AREA	:	2,248 S.F.
B. NON HABITABLE AREA:		
(E) PORCH	:	54 S.F.
(E) DETACHED GARAGE	:	182 S.F.
FIRE SPRINKLER : NOT INSTALLED		
<hr/>		
<u>SCOPE OF WORK:</u>		
• NEW ADDITION TO THE (E) 1 STORY HOUSE. CREATE NEW BASEMENT AND UPPER FLOOR AREA TO ADD NEW BEDROOMS AND BATHROOMS. TOTAL WILL BE 5 BEDROOMS AND 3 BATHROOMS AFTER THE ADDITION AND REMODEL.		

SINGLE FAMILY RESIDENCE
302 LORETO ST.
MOUNTAIN VIEW, CA 94041

LEGEND

EXISTING STRUCTURE

NEW ADDITION

(E) LANDSCAPE AREA AT FRONT (APPROX. 65% OF TOTAL FRONT YARD AREA)

ELECTRICAL METER
GAS METER
TELEPHONE

CALGREEN 2022 MEASURES

CS 4.106.2
CONTRACTOR TO IMPLEMENT STORMWATER DRAINAGE DURING CONSTRUCTION

CS 4.106.3
FINISH GRADE TO SLOPE 5% WITHIN 5' AWAY FROM FOUNDATION

EXISTING FINISH GROUND SURFACES AND LOT GRADING TO REMAIN AS IS

GRAPHIC SCALE

(IN FEET)

PROPOSED SITE PLAN
SCALE 1/8"=1'-0"

CALIFORNIA

Explore damage prevention information, local contacts and rules for safe digging in California.

USA North 811
Call Before You Dig

DIGALERT
Underground Service Alert
Of Southern California
811 or 800-422-4133
Visit Website

16 SHEETS

APPLIED CODES

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA FIRE CODE

ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS, CITY OF MOUNTAIN VIEW ORDINANCE AND STANDARDS

ALL CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE FOLLOWING HOURS :

MON - FRI	: 7:00 AM - 5:30 PM
SAT	: 9:00 AM - 3:00 PM

SUNDAYS & HOLIDAYS : NO CONSTRUCTION ACTIVITIES ALLOWED

ALL CONTRACTORS, SUBCONTRACTORS, AND VENDORS SHALL BE LICENSED TO DO BUSINESS IN THE CITY OF MOUNTAIN VIEW

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A 4	PROPOSED ROOF PLAN + SECTION
A 5	ELEVATIONS
A 6	ELEVATIONS
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A 8	PROPOSED RCP + ME PLANS
A 9	ARCHITECTURAL STANDARD DETAILS
EN 1	TITLE 24 REPORTS
EN 2	TITLE 24 REPORTS
T 1	BOUNDARY SURVEY
C 1	GRADING & DRAINAGE PLAN
S 1	GENERAL NOTES
S 2	FOUNDATION + FLOOR FRAMING PLAN
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S 4	STRUCTURAL DETAILS
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S 6	STRUCTURAL DETAILS

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PROJECT TEAM

DESIGNER:
ALEXANDER ANGKAWIJAYA
AA HOME DESIGN & BUILD LLC
372 PARAISO DR., DANVILLE, CA 94526
408-431-2952
AA.HOMEDESIGNBUILD@GMAIL.COM

STRUCTURE ENGINEER:
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510-579-8230
DAN_CHEN@COMCAST.NET

TITLE 24/ MECHANICAL DESIGN:
CARSTAIRS ENERGY
P.O. BOX 4738
SAN LUIS OBISPO, CA 93403
805-904-9048
TITLE24@YAHOO.COM

ANY ALTERATIONS, ADDITIONS OR IMPROVEMENT SHALL REQUIRE ALL
NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED WITH
WATER-CONSERVING PLUMBING FIXTURES. NON-COMPLIANT FIXTURES SHALL BE
REPLACED PRIOR TO FINAL PERMIT APPROVAL OR ISSUANCE OF CERTIFICATE OF
OCCUPANCY BY THE CITY (SB 407)

SINGLE
FAMILY
HOUSE

302 LORETO ST.,
MOUNTAIN VIEW, CA
94041

PROJECT

ADDITION/
REMODEL



SHEET TITLE

EXISTING
FLOOR &
ROOF PLANS

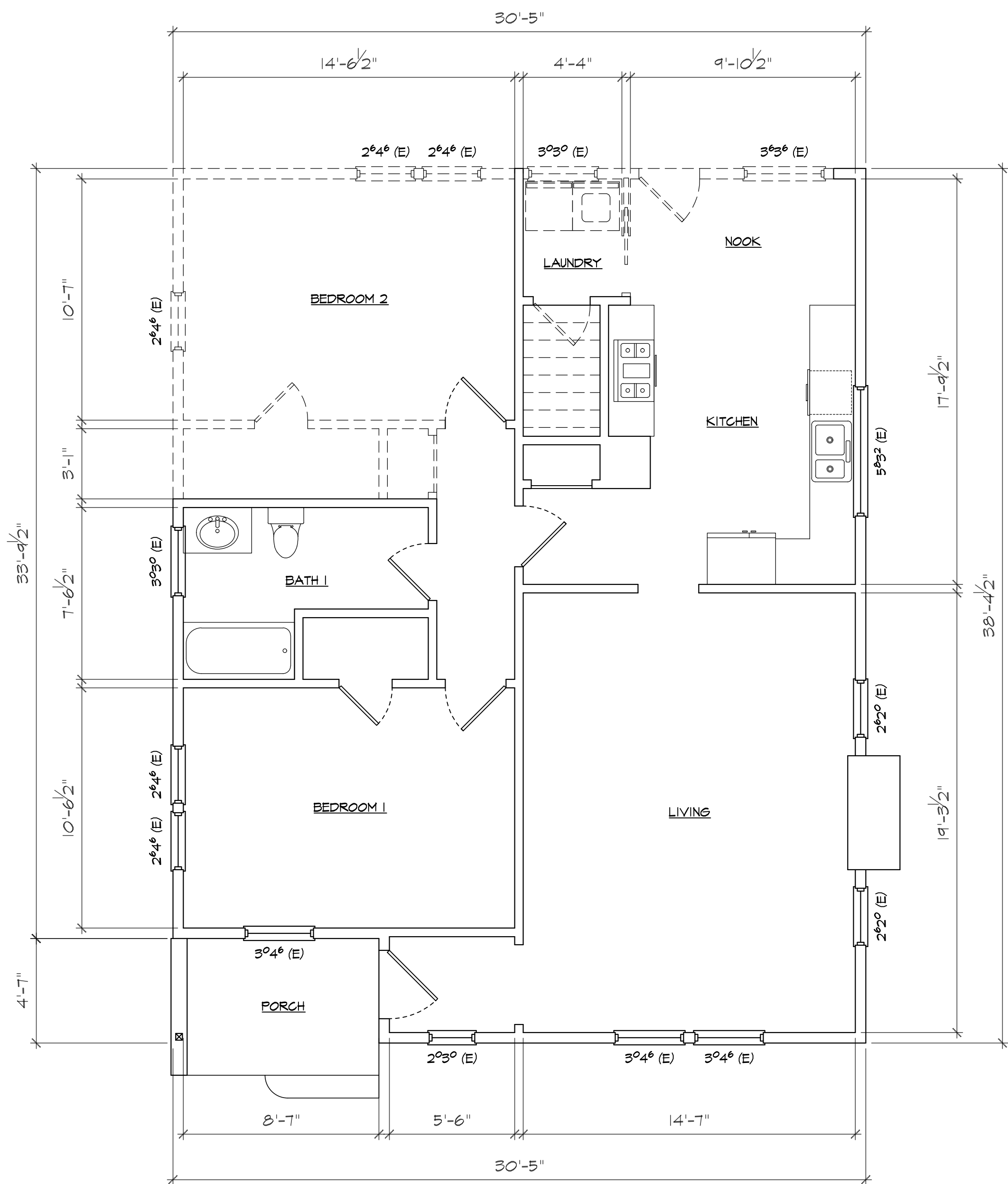
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OF 16 SHEETS

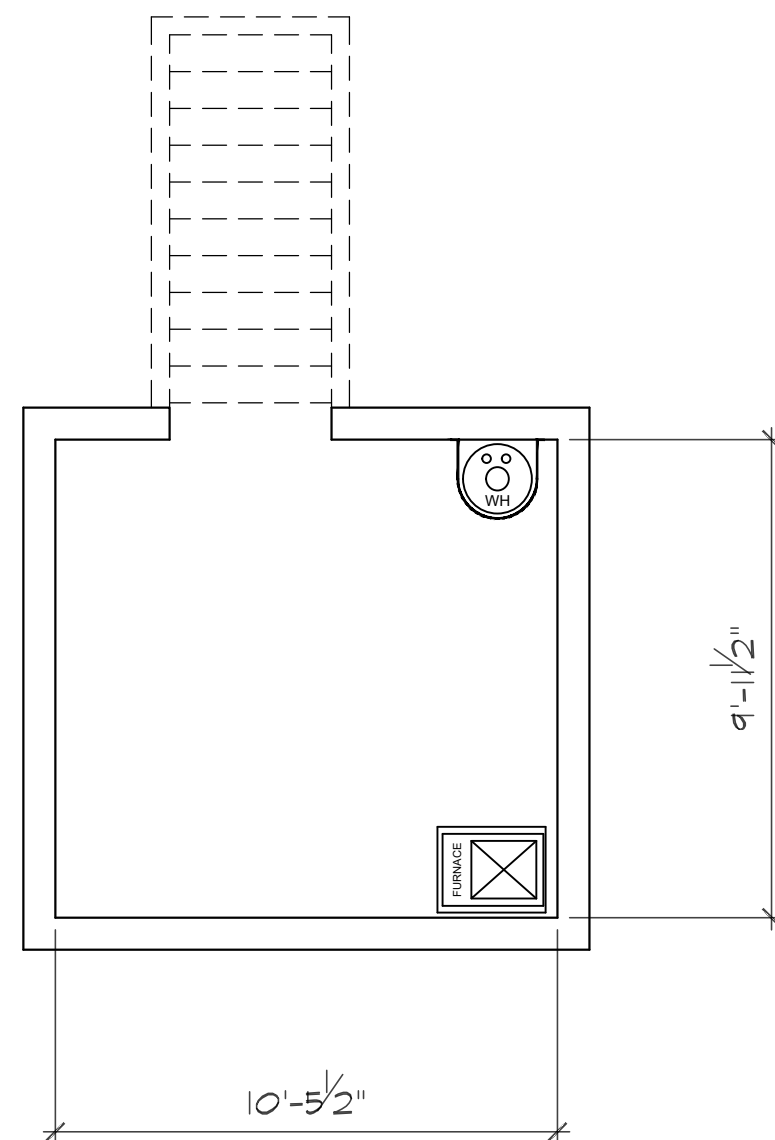


EXISTING FLOOR PLAN

SCALE 1/4" = 1'-0"

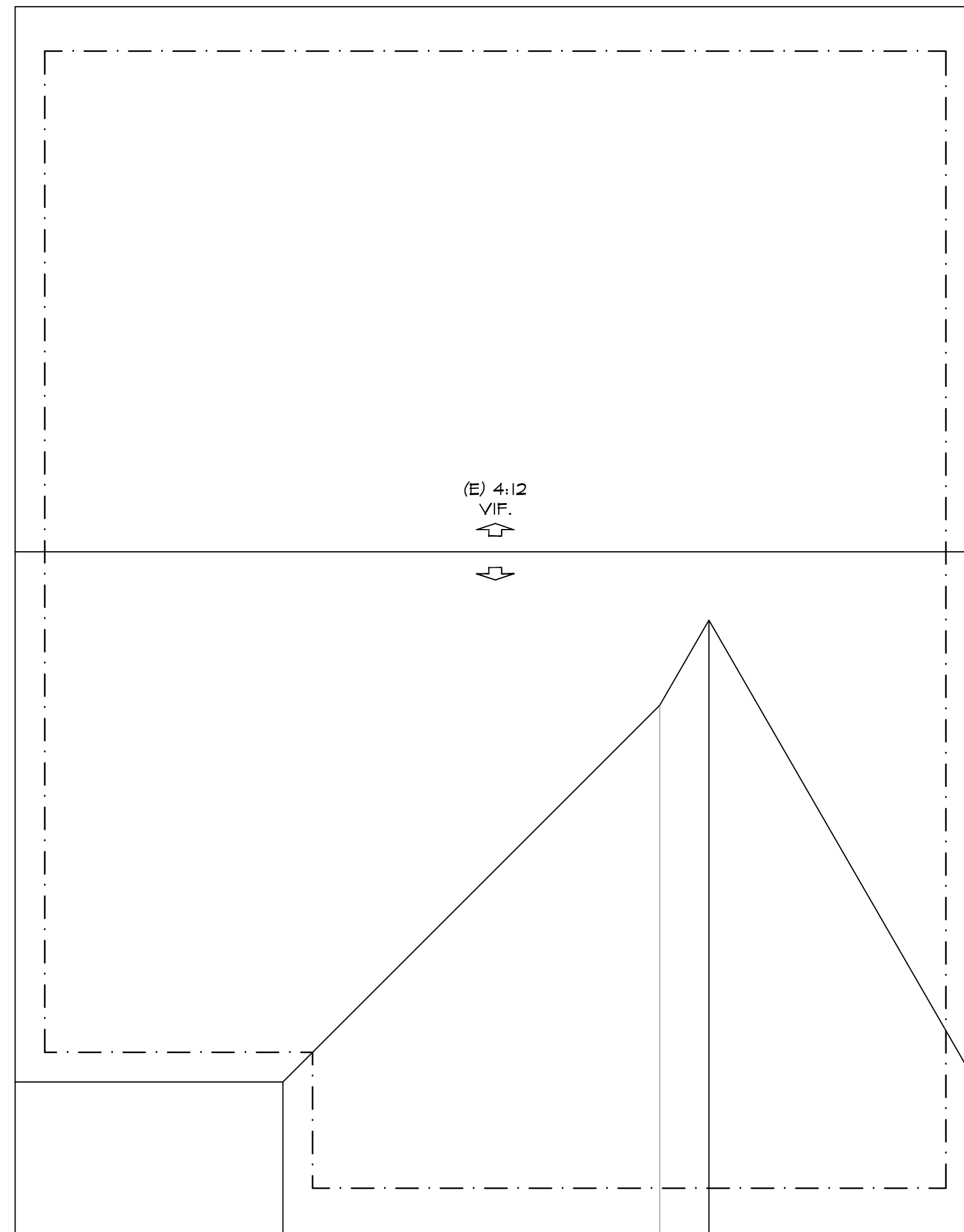
LEGEND:

- (E) WALL & WINDOW TO REMAIN
- (E) WALL & WINDOW TO BE REMOVED



EXISTING BASEMENT PLAN

SCALE 1/4" = 1'-0"



EXISTING ROOF PLAN

SCALE 1/4" = 1'-0"

SINGLE
FAMILY
HOUSE

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94041

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REMODEL



SHEET TITLE

PROPOSED
UPPER FLOOR
PLAN

REVISION

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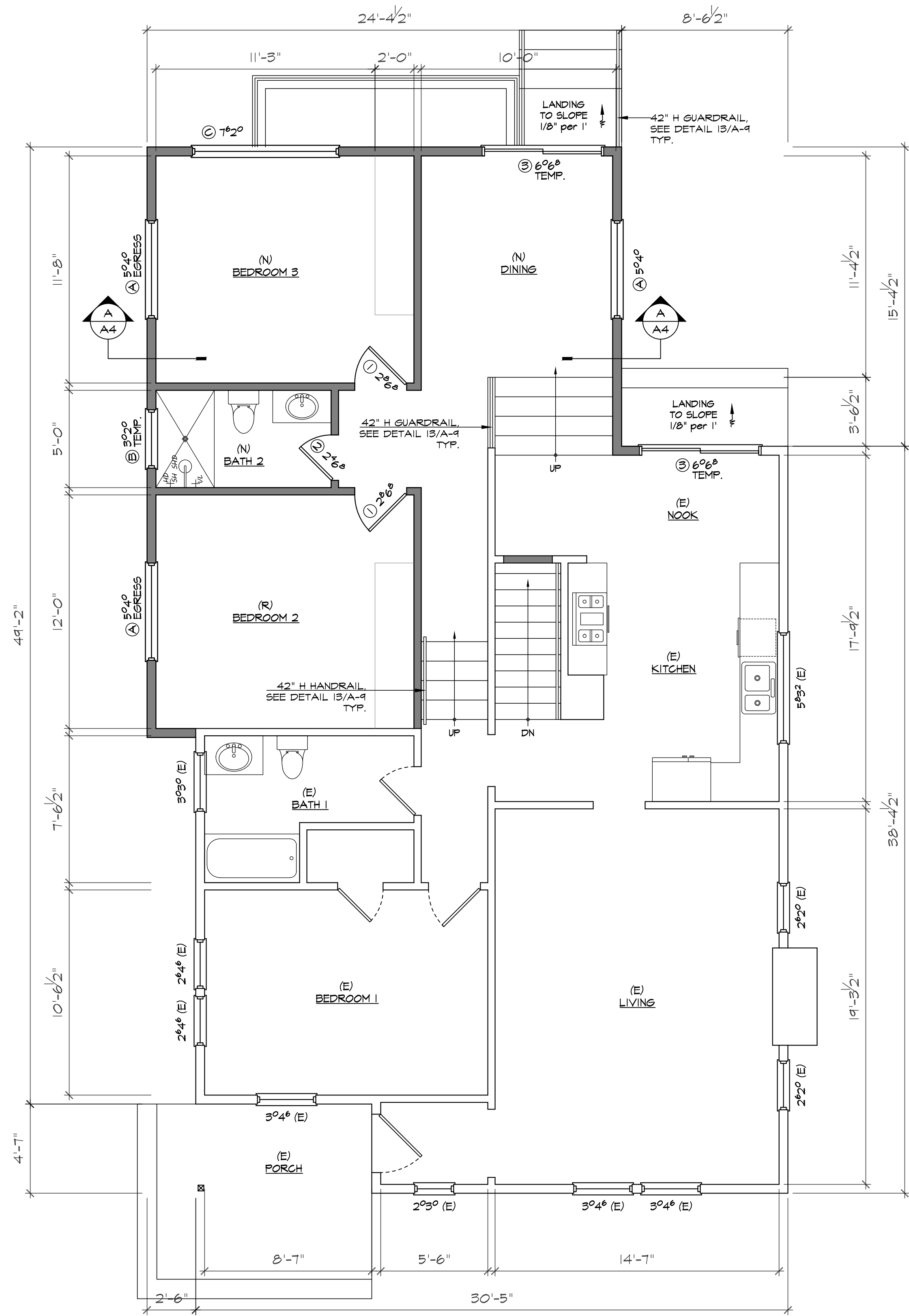
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SCALE AS SHOWN

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OF 16 SHEETS



PROPOSED UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

LEGEND & NOTES :

EXISTING WALL	NEW WALL
1 HR. FIRE RESISTIVE WALL, 5/8" TYPE 'X' GYP. BD. & GARAGE SIDE	ABBREVIATIONS: SH D : SHOWER HEAD VL : VALVE (E) : EXISTING (N) : NEW
(A) 2020 DOOR + WINDOW CALL-OUT	

SECTION 4.504.3 CG
2022 CARPET AND PAD

DOOR & WINDOW SCHEDULE

DOOR CALL-OUT, 2 RAISED PANEL, SOLID CORE DR U.N.O.	WINDOW CALL-OUT U FACTOR & SHGC PER T24, U.N.O.
DOOR HEADER AT 6'-8" ABOVE F.F., U.N.O.	WINDOW HEADER AT 6'-8" ABOVE F.F., U.N.O.

① 2868 HINGED INT.	5 EA	ALL (N) DOORS, U.N.O.	(A) 5040 SLD	3 EA	(N) DINING, BEDROOM 2 & 3
② 2468 HINGED INT.	2 EA	(N) BATHROOMS	(B) 3020 SLD	1 EA	(N) BATH 2
③ 6068 SLD EXT.	* 2 EA	(R) FAMILY	(C) 3-2620 SH	1 EA	(N) BEDROOM 3
			(D) 2610 AWNING	1 EA	(N) BATH 3
			(E) 5010 SLD	2 EA	(N) BEDROOM 4 & 5
			(F) 5046 SLD	2 EA	(N) BEDROOM 4 & 5

* THRESHOLD AT ALL DOORWAY IS 3/4" MAX.

GENERAL CONTRACTOR TO MEASURE & FIELD VERIFY ALL DIMENSIONS OF ROUGH FRAMING PRIOR TO ORDERING ANY WINDOWS AND DOORS. NOTIFY THE DESIGNER/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING.

AT LEAST ONE EGRESS DOOR SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (CFC R311.2)

TEMPORARY NFRC LABELS ON NEW WINDOWS & EXTERIOR DOORS SHALL NOT BE REMOVED BEFORE INSPECTION BY ENFORCEMENT AUTHORITY (CFC 110.6.3.A)

CAL GREEN 2022 MANDATORY MEASURES :

- 4.305.1 INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20 PERCENT USING WATER SAVING FIXTURES OR FLOW RESTRICTORS.
- 4.305.2 WHEN USING CALCULATION METHOD SPECIFIED IN SECTION 4.303.1, MULTIPLE SHOWER HEADS SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENT.
- 4.305.3 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.
- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. CITY WILL VERIFY MOISTURE CONTENT, MAX 19%.
- 4.406.1 JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC, CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY

PLAN NOTES

1. ALL BEDROOM WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR
2. ALL WINDOWS AND DOORS GLASS SHALL BE DOUBLE GLAZED
3. 1 HOUR FIRE RATED ASSEMBLY SHALL BE PROVIDED ALONG WALL/CEILING BETWEEN GARAGE AND HABITABLE AREA.
4. SHOWER & SHOWER TUB UNITS TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PROVIDE 1/8" GAL/MIN SHOWER HEADS AND 1/2 GAL/MIN FAUCETS
5. ALL SHOWER ENCLOSURE & DOOR SHALL BE TEMPERED GLASS. DOOR OPENING SHALL HAVE A MIN 22" NET OPENING AND TO SWING OUT.
6. FIBERGLASS TUB SHOWER WALLS SHALL BE INSTALLED OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET
7. SAFETY GLAZING IS REQUIRED ON WINDOWS WITHIN TUB OR SHOWER AREA WHEN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET (CBC 2406.4)
8. SHOWER COMPARTMENT MUST HAVE A FINISHED INTERIOR NO LESS THAN 1024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30 INCHES CIRCLE (CFC 411.7)
9. PROVIDE 'DUROCK' OR WONDERBOARD FROM FLOOR TO CEILING ON ALL SHOWER AND TUB AREAS. NO GYPSUM PRODUCTS BEHIND TILE ASSEMBLIES IN WET ENVIRONMENTS PER CFC R102.3.8.1.
10. ALL PLUMBING FIXTURES FOR BATHROOMS AND KITCHEN SHALL BE I.A.P.M.O. APPROVED.
11. ALL WATER CLOSETS SHALL BE ULTRA FLUSH TOILET. TANKS SHALL HAVE A MAXIMUM CAPACITY OF 1.28 GALLON PER FLUSH (ASSEMBLY BILL #2355)
12. TOILET CLEARANCE MIN 24" IN FRONT OF TOILET AND 15" MINIMUM CENTER OF TOILET TO EACH SIDE (CBC 2904)
13. SOLDER USED IN POTABLE PIPING SHALL NOT CONTAIN MORE THAN 2/10 % LEAD.
14. HOSE BIBS AND FAUCETS SHALL BE EQUIPPED WITH NON REMOVABLE BACKFLOW PREVENTION DEVICE.
15. PROVIDE 18" PLATFORM FOR WATER HEATER AND FURNACE LOCATED IN THE GARAGE. WATER HEATER SHALL BE SECURED IN PLACE WITH 2 SEISMIC STRAPS. STRAPS SHALL BE ANCHORED AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE CONTROLS.
16. PROVIDE WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE TERMINATION TO OUTSIDE OF BUILDING (CFC 608.5)
17. NO GAS WATER HEATER OR GAS FURNACE SHALL BE INSTALLED IN BEDROOM, BATHROOM, OR CLOTHES CLOSET (CFC 504.1)
18. PROVIDE CLOTHES DRYER VENT TO OUTSIDE WITH A MAX. LENGTH OF 14' EQUIPPED WITH A BACK-DRAFT DAMPER INCLUDING TWO 90E ELBOWS AND A MINIMUM DIAMETER OF 4" (CMC 504.3)
19. SKYLIGHTS - OPENABLE SKYLIGHTS NEED TO BE 10 FT FROM PLUMBING VENTS OR 3 FT BELOW THE VENT TERMINATION
20. VENTILATION REQUIRED IN THE BATHROOM AND LAUNDRY ROOM. PROVIDE OPENABLE WINDOW AREA W/ 5% OF FLOOR AREA (1.5 SF MIN) OR MECHANICAL VENTILATION (5 AIR CHANGES PER HOUR). THE POINT OF DISCHARGE OF EX-AIR SHALL BE AT LEAST 3FT FROM ANY OPENING INTO THE BUILDING. THE EXHAUST FAN SHALL BE EQUIPPED BACKDRAFT DAMPER TO COMPLY W/ ENERGY REGULATIONS
21. A SECURITY AUTOMATIC SHUT OFF VALVE SHALL BE INSTALLED BETWEEN THE GAS METER AND THE DWELLING AREA.
22. A 30" VERTICAL CLEARANCE IS REQUIRED FROM THE TOP OF A COOKING APPLIANCE TO COMBUSTIBLE MATERIALS OR METAL CABINETS. THE MINIMUM HORIZONTAL OR SIDE CLEARANCES SHALL BE SPECIFIED BY A PERMANENT MARKING ON THE COOKING APPLIANCE
23. RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL.

PROVIDE 2x6 STUDS IN PLUMBING WALL AT WATER CLOSET TO PREVENT EXCESSIVE NOTCHING OR BORING OF STUDS. (CFC 602.6)

BATHROOM VENT TO TERMINATE AT LEAST 3-FEET ABOVE THE HIGHEST POINT WHERE IT PASS THROUGH A ROOF, AND AT LEAST 2-FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN A HORIZONTAL DISTANCE OF 10-FEET (CFC 504.3.4).

A LANDING OR FLOOR IS REQUIRED ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL BE LESS THAN THE DOOR WIDTH AND 36" MINIMUM IN DEPTH. LANDINGS AT REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1-1/2' LOWER THAN THE TOP OF THE THRESHOLD.

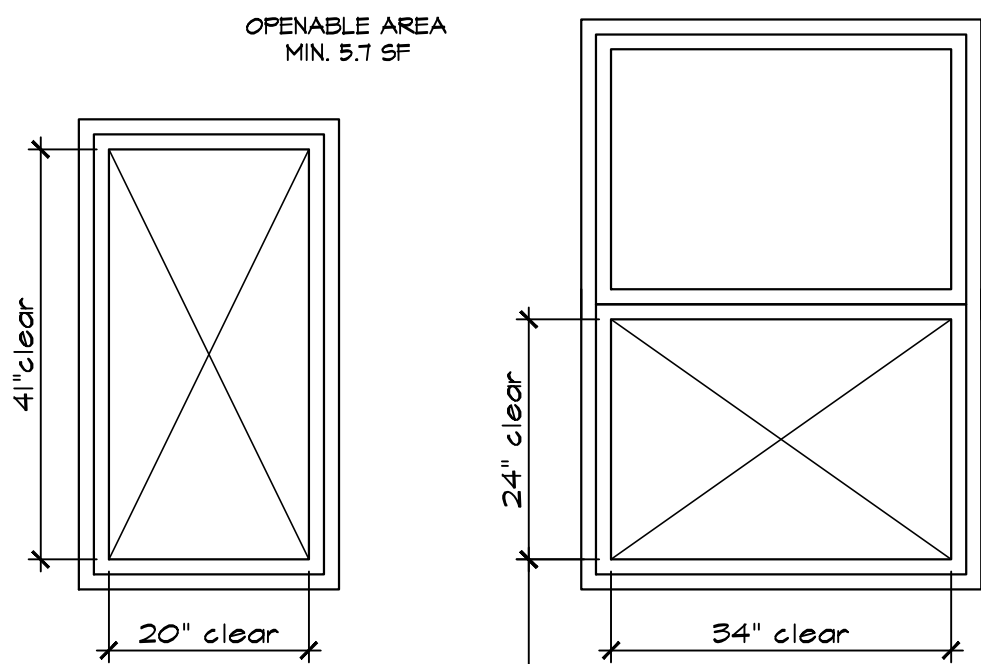
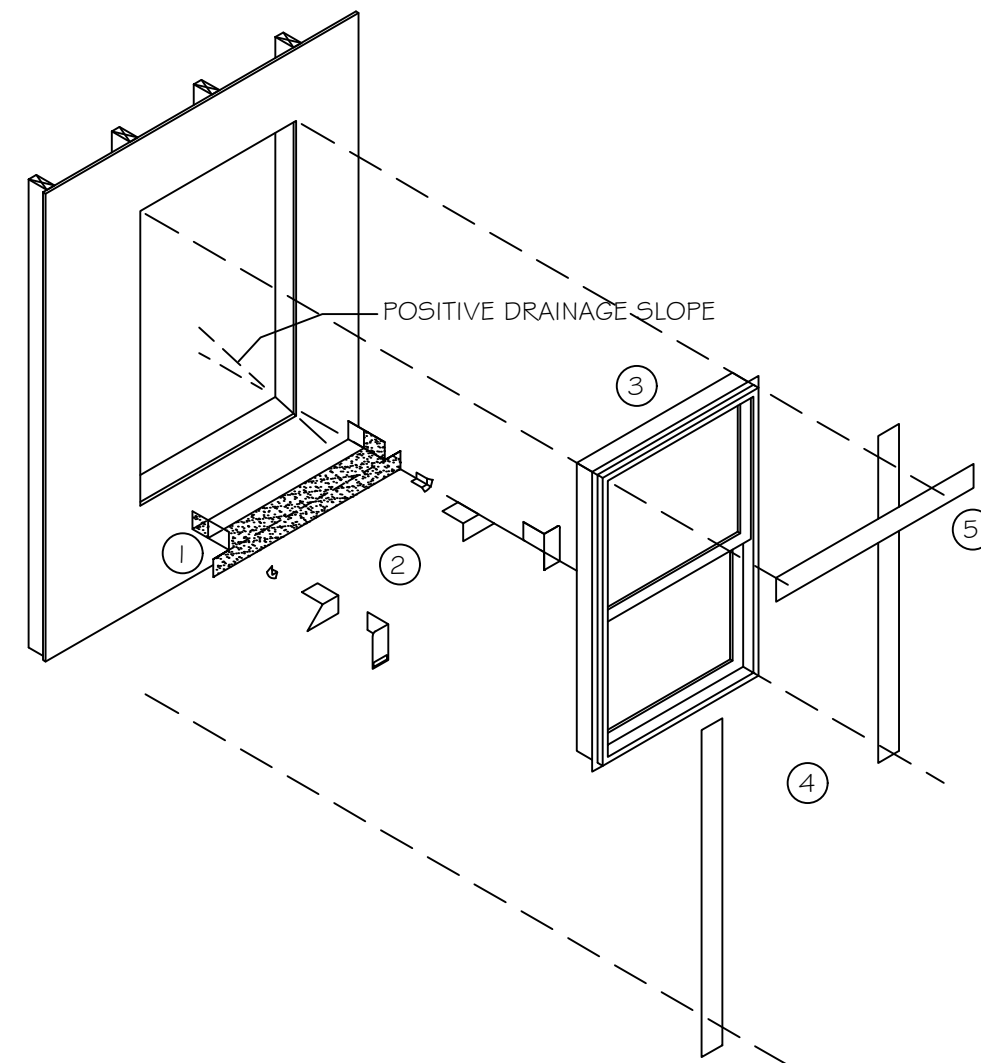
EXCEPTION: A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7-3/4' LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING OVER THE LANDING. (CFC R311.3.1 & R311.3.2)

APPLIANCES INSTALLED IN GARAGES SHALL BE GUARDED AGAINST DAMAGE BY BEING INSTALLED BEHIND PROTECTIVE BARRIERS BY BEING ELEVATED, OR BY BEING LOCATED OUT OF THE NORMAL PATH OF VEHICLES. (CFC 507.13.1)

PAN FLASHING INSTALLATION

1. INSTALL FLEXIBLE PAN FLASHING TO COVER THE SLOPED SILL/THRESHOLD, 3-INCHES OF FACE OF WALL, AND 3-INCHES OF EACH JAMB.
2. INSTALL CORNER FLASHINGS
3. INSTALL WINDOW/DOOR UNIT
4. INSTALL FLASHING COVERING FLANGE AND WALL ALONG EACH JAMB AND 3-INCHES ABOVE THE HEAD AND BELOW THE SILL/THRESHOLD
5. INSTALL FLASHING COVERING A MINIMUM OF 3-INCHES OF THE WALL FACE AT THE HEAD AND JAMBS.
6. FOLD AND ADHERE SILL/THRESHOLD PAN LEG ONTO INTERIOR FACE OF FRAME, NOT SHOWN. PROTECT LEG FROM DAMAGE UNTIL THE INTERIOR TRIM OR FINISH IS INSTALLED.

NOTE: SURFACES RECEIVING FLASHING SHALL BE FREE OF IRREGULARITIES. APPLY SEALANT/ADHESIVE TO CLEAN AND DRY SURFACES RECEIVING FLASHING. LIQUID ADJESIVE SHALL BE COMPATIBLE WITH SUBSTRATE AND MEET CALGREEN VOC REQUIREMENTS.



EGRESS WINDOWS

- ALL BEDROOM WINDOWS SHALL HAVE EGRESS WINDOW
- HAVE A MAXIMUM OPENING HEIGHT OF 44" ABOVE FINISH FLOOR
 - 5.7 SQ.FT. MINIMUM OPENABLE AREA
 - WINDOW CLEAR OPENING MIN. 20" W X 41" H OR 34" W X 24" H

EMERGENCY ESCAPE AND RESCUE OPENING SHALL MEET THE CALIFORNIA FIRE CODE CHAPTER 10 SECTION 1030. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. MINIMUM SIZE IS 5.7 SQUARE FEET OF NET CLEAR OPENING WITH A MINIMUM DIMENSION OF 24 INCHES IN HEIGHT AND 20 INCHES IN WIDTH. THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

SINGLE
FAMILY
HOUSE

302 LORETO ST.,
MOUNTAIN VIEW, CA
94041

PROJECT

ADDITION/
REMODEL



SHEET TITLE

PROPOSED
LOWER FLOOR
PLAN

REVISION

1C PC COM RES - 02.02.25

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4

DATE 03.24.24

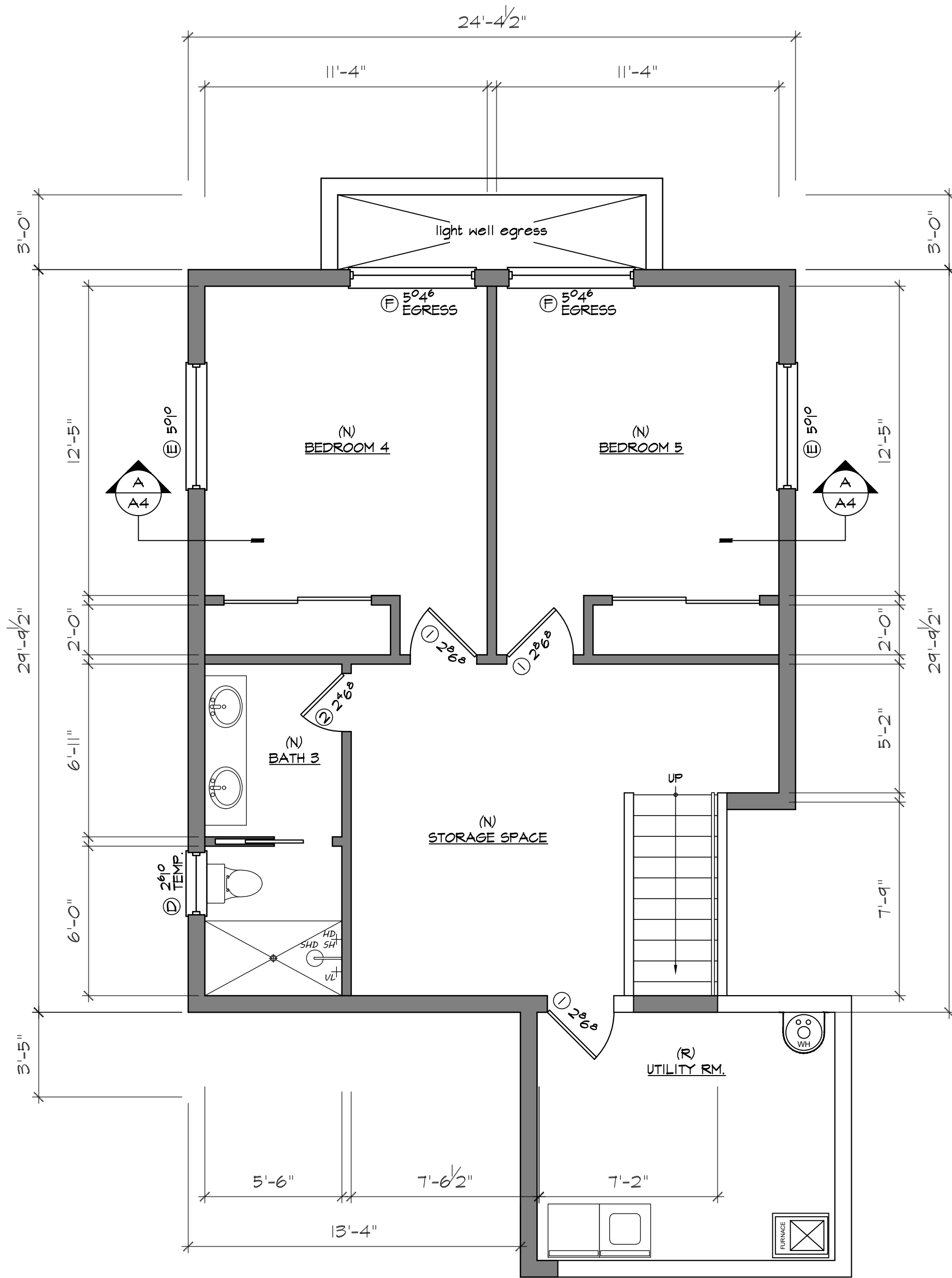
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SCALE AS SHOWN

SHEET

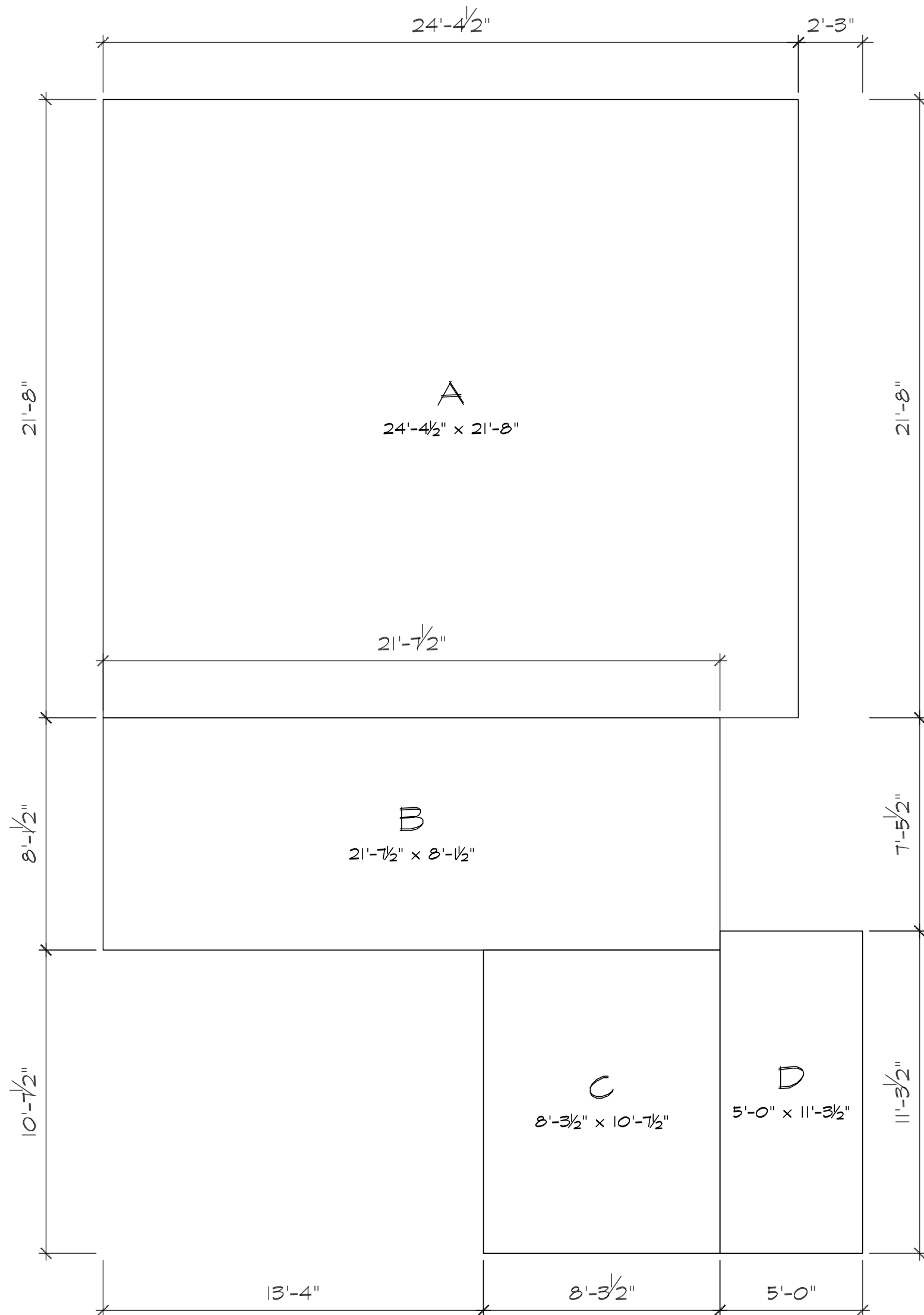
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OF 16 SHEETS



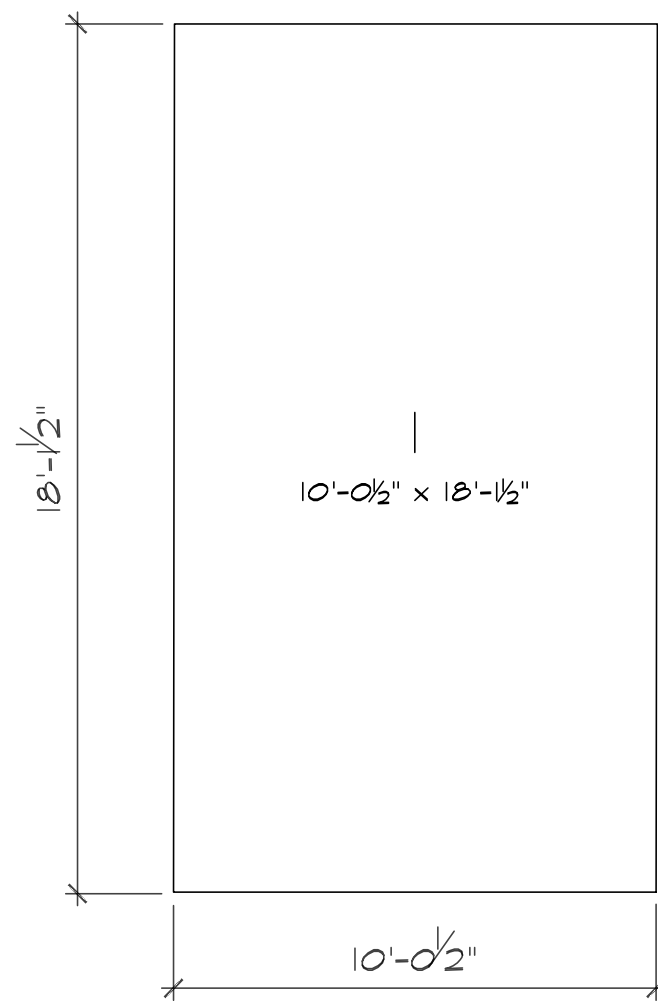
PROPOSED LOWER FLOOR PLAN
(BASEMENT)

SCALE 1/4" = 1'-0"



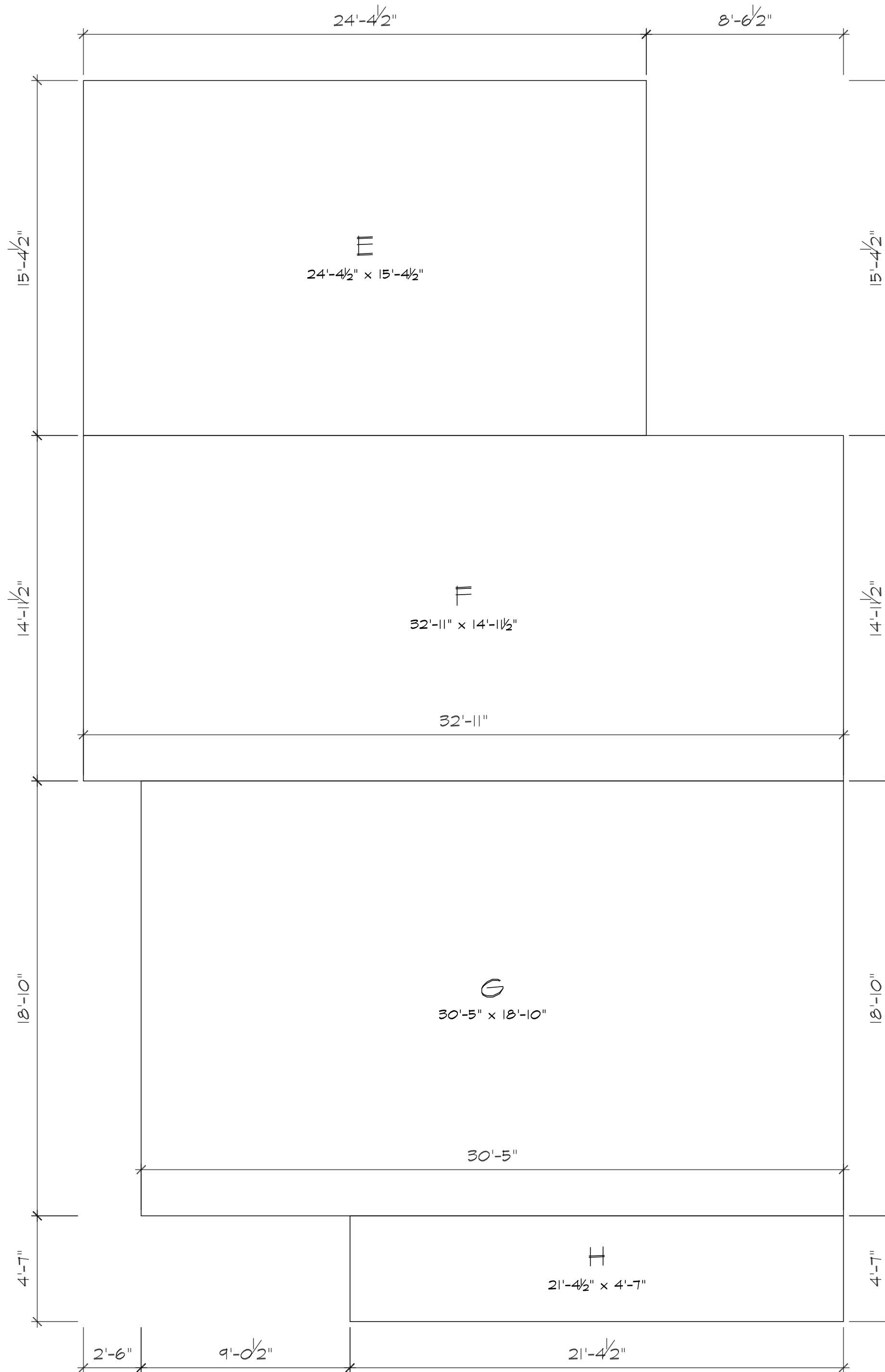
F.A.R. CALCS - LOWER FLOOR PLAN

SCALE 1/4" = 1'-0"



F.A.R. CALCS -
DETACHED GARAGE

SCALE 1/4" = 1'-0"



F.A.R. CALCS - UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

FAR CALCULATIONS:

A : 24'-6 1/2" x 21'-8" = 528.13 S.F.
B : 21'-7 1/2" x 8'-1 1/2" = 176.06 S.F.
C : 8'-3 1/2" x 10'-7 1/2" = 88.09 S.F.
D : 5'-0" x 11'-3 1/2" = 56.46 S.F.
TOTAL AREA = 848.74 S.F.
(NOT INCLUDED IN THE FAR CALCS.)

E : 24'-6 1/2" x 15'-4 1/2" = 374.77 S.F.
F : 32'-11" x 14'-1 1/2" = 492.38 S.F.
G : 30'-5" x 18'-10" = 572.85 S.F.
H : 21'-4 1/2" x 4'-7" = 97.97 S.F.
TOTAL AREA = 1,537.97 S.F.

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PROJECT

ADDITION/
REMODEL



SHEET TITLE

PROPOSED
ROOF PLAN
+ SECTION

REVISION

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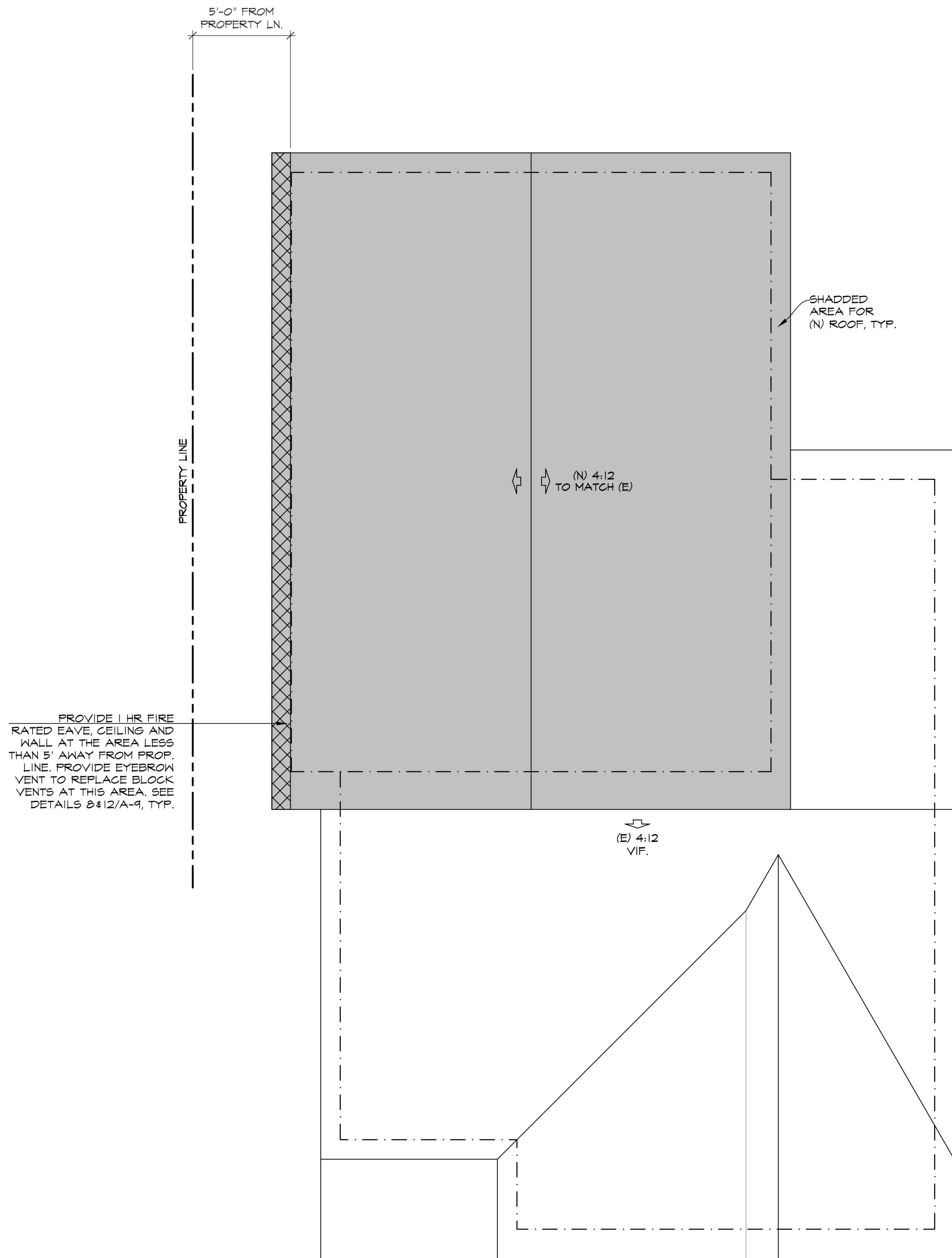
DRAWN

SCALE AS SHOWN

SHEET

A-4

OF 16 SHEETS



PROPOSED ROOF PLAN

SCALE 1/4" = 1'-0"

A CRICKET OR SADDLE SHALL BE INSTALLED AT THE JUNCTION OF ROOFS AND WALLS. TYPICAL, CRICKET OR SADDLE COVERINGS SHALL BE CORROSION-RESISTIVE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING. (CRC R403.2.2)

EXISTING AND NEW ROOF WILL BE CLASS A COMPOSITION SHINGLES

FOR ROOF SLOPES FROM 2:12 TO 4:12, DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED. CRC R405.2.2

ALL DOWN SPOUT TO BE CONNECTED TO UNDERGROUND PERFORATED PIPE TO BUBBLE UP ON THE LANDSCAPE AREA.

LEGEND & NOTES :

D.S.
DOWN SPOUT

SPLASH BLOCK & COBBLESTONES TYP. FOR ALL DOWN SPOUTS TO REDUCE VELOCITY OF ROOF WATERS TO PREVENT EROSION LANDSCAPE AREAS.

RAINWATER LEADERS FROM ROOF GUTTERS SHALL NOT BE PIPED DIRECTLY TO THE STORM DRAIN. THEY SHALL BE CONNECTED TO AN EARTHEN SHALES AND AREA DRAIN(S) CONNECTED TO THE STORM DRAIN SYSTEM, OR A COMPARABLE METHOD TO EFFECTIVELY REDUCE THE ENTRY OF POLLUTANTS INTO STORM WATER RUNOFF

VENTING NOTES:

USE 4 - 2-1/2" DRILLED SCREEDED VENT HOLES AT EACH EAVE BLOCK TO PROVIDE LOW VENTING.

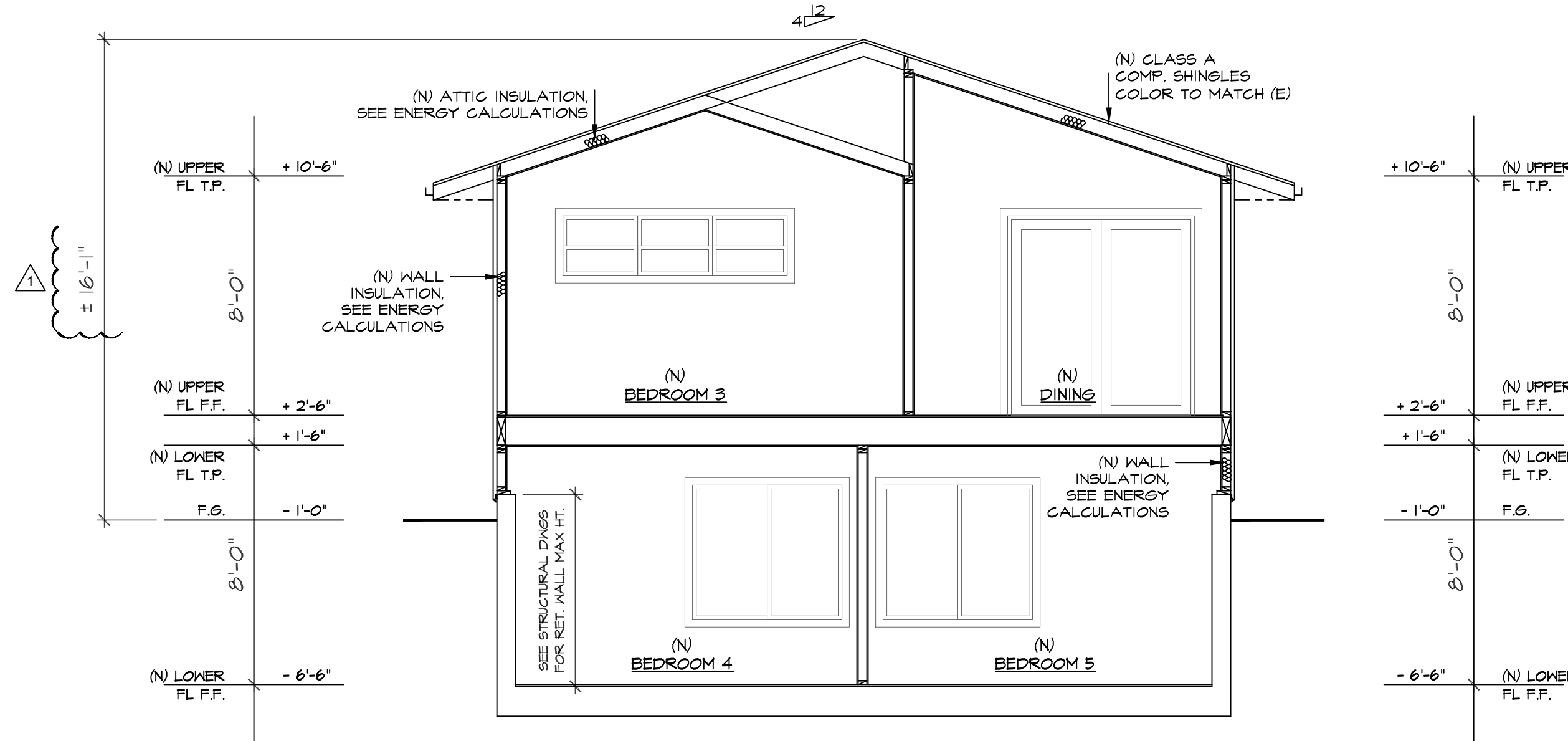
BAFFLE BATT INSULATION TO ALLOW FREE FLOW OF AIR.

ROOF NOTES:

FRAMING : CONVENTIONAL ROOF FRAMING
ROOF PITCH : 4:12 V/F.
ROOFING : CLASS A COMP. SHINGLES
DECKING : OSB ROOF SHEETING (SEE SHEAR SCHEDULE)
FASCIA : 2x8 WOOD FASCIA BOARD TYP AT EAVES, PAINTED
GUTTER & DS: ALUMINUM
SOFFITS : CLOSED WOOD SOFFIT W/ GALV. METAL SCREENED VENT

CAL GREEN 2022 REQUIREMENTS - MATERIAL FINISH

- F MDF, PARTICLE BOARD, MDF AND HARDWOOD PLYWOOD SEE TABLE 4.504.5 CG 2022.
- P PAINTS, STAINS AND OTHER COATINGS PER SECTION 4.504.2.2 and 4.504.2.3 CG 2022.
- S ADHESIVES, SEALANTS AND CAULKS PER SECTION 4.504.2.1 CG 2022.
- IN THERMAL INSULATION SHALL BE IN COMPLIANCE WITH VOC LIMITS



SECTION A-A

SCALE 1/4" = 1'-0"

VENT CALCULATIONS

NEW ATTIC VENT

REQUIREMENT 1 SF/150 SF
1 ATTIC VENT 3' x 22' = 19.6 SQ IN
1 EYEBROW VENT = 66 SQ IN MIN NET FREE OPENING AREA.

(N) ATTIC AREA (FLAT CEILING): 2,122 SF
2,122 : 150 = 14.15
14.15 : 136 = 104.02 ->
USE MIN. 106 BLOCK VENTS

(N) ATTIC AREA (GATHEDRAL): 529 SF
529 : 150 = 3.53
3.53 : 136 = 25.93 ->
USE MIN. 26 BLOCK VENTS

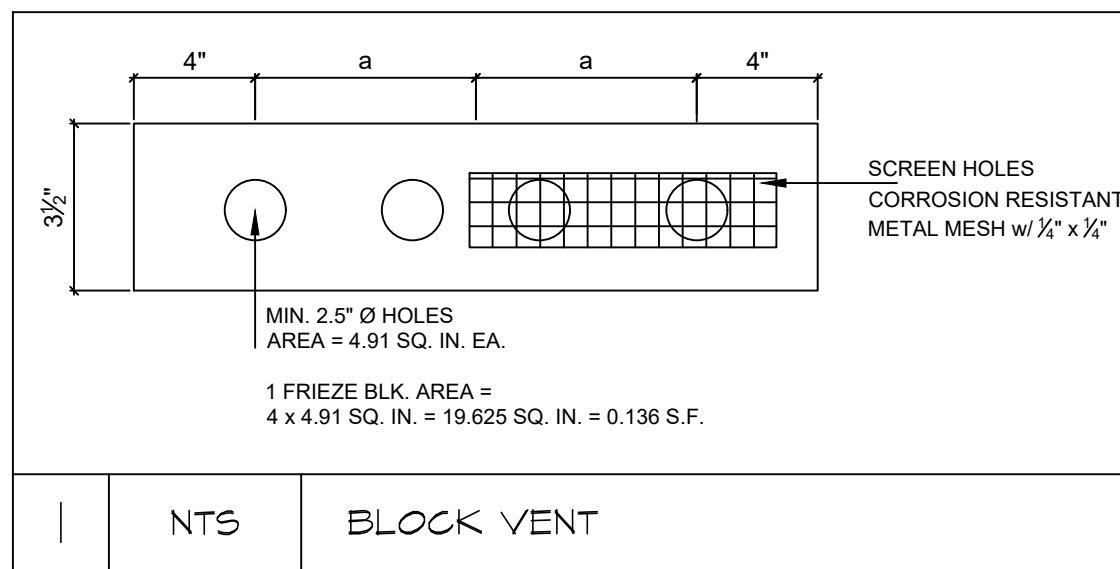
OPTIONAL:
USE 3" WIDE CEILING VENT
ALONG OVERHANG PERIMETER

VENT NOTES:

CONTRACTOR TO INSTALL ADDITIONAL VENTS TO COMPENSATE FOR ANY EXISTING VENTS OBSTRUCTED BY THE NEW WORK.

VENT PLACEMENTS SHALL BE EVENLY DISTRIBUTED TO ENCOURAGE CROSS VENTILATION THROUGHOUT.

VENTS OPENING SHALL BE BASED ON NET FREE VENTILATION AREA (NFVA) OF THE OPENING AND NOT ON THE ROUGH FRAMING OPENING PER CBC 107.2.



SINGLE
FAMILY
HOUSE

302 LORETO ST.,
MOUNTAIN VIEW, CA
94041

PROJECT

ADDITION/
REMODEL



SHEET TITLE

ELEVATIONS

REVISION

1. 1C PC COM RES - 02.02.25

2.

3.

4.

DATE 03.24.24

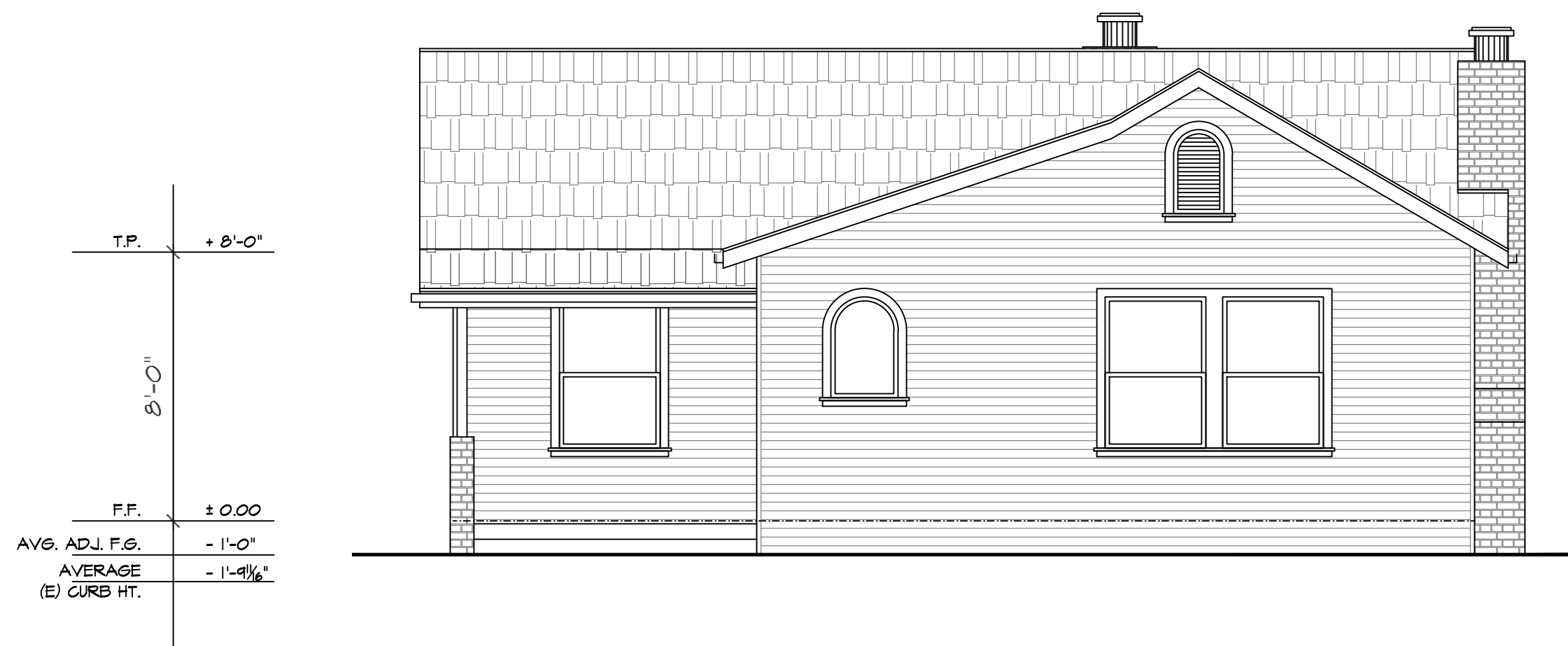
DRAWN

SCALE AS SHOWN

SHEET

A-5

OF 16 SHEETS



EXISTING FRONT ELEVATION

SCALE 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED FRONT ELEVATION

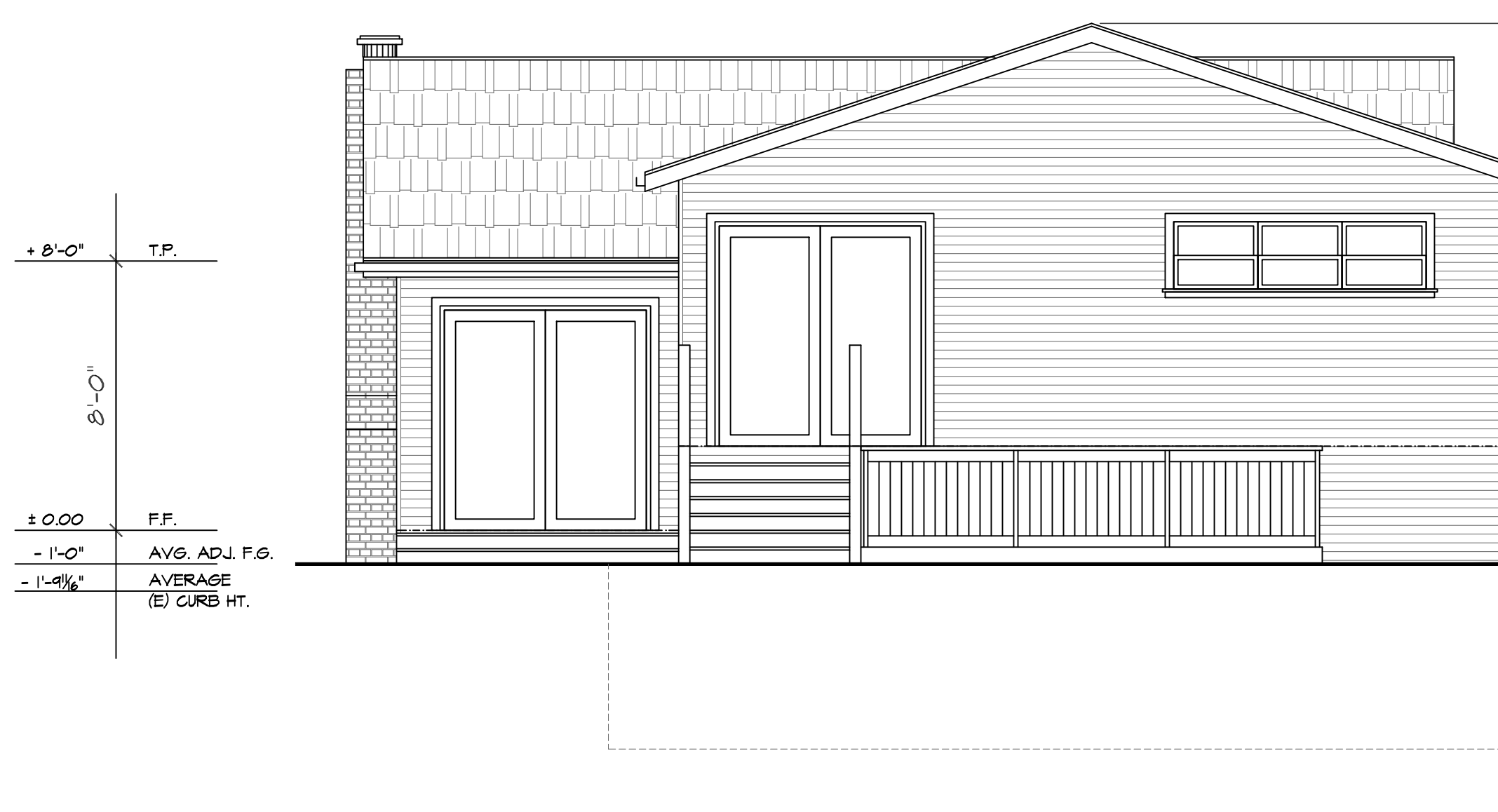
SCALE 1/4" = 1'-0"

NOTES :

803

IF NOT EXISTING, CONTRACTOR MUST INSTALL ADDRESS NUMBERS MEETING THE FOLLOWING STANDARDS.

- ADDRESS NUMBERS SHALL BE INTERNALLY OR EXTERNALLY LIT DURING NON DAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME (TYPICAL OF LOW VOLTAGE UNITS) OR IF LIT ONLY DURING NON DAYLIGHT HOURS. SWITCHING SHALL BE CONTROLLED BY A TIME CLOCK OR A PHOTO SENSOR. BATTERY OR PHOTO CELL POWERED UNITS CANNOT BE USED FOR REQUIRED ADDRESSING.
- ADDRESS NUMBERS SHALL BE AT LEAST FOUR INCHES HIGH AND INSTALLED ON A CONTRASTING BACKGROUND.
- ADDRESS NUMBERS SHALL READ FROM LEFT TO RIGHT. VERTICALLY POSITIONED NUMBERS CANNOT BE USED.
- ADDRESS NUMBERS SHALL BE PLACED IN SUCH A LOCATION THAT EMERGENCY CREWS CAN READ THE ADDRESS FROM THE STREET FRONTING THE DWELLING.



PROPOSED REAR ELEVATION

SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION AND SITE NOTES

- EXTERIOR WALL: WOOD LAP SIDING 0/ 2 LAYERS TYPE D' PAPER 0/ PLYWOOD SHEATHING (COLOR & SIZE TO MATCH EXISTING)
- ROOFING: CLASS A COMP. SHINGLES (NATURAL COLOR)
- WINDOWS: MILGARD VINYL DUAL PANE WHITE OR SIM. (SEE SCHEDULE)
- WINDOW TRIM: 2x WOOD-SMOOTH (COLOR TO MATCH EXISTING)
- GUTTER: ALUMINUM FASCIA (COLOR TO MATCH EXISTING)
- FASCIA BOARD: PAINTED (COLOR TO MATCH EXISTING)
- WALL TO ROOF FLASHING: GALV. METAL PAINTED TO MATCH EXISTING

SINGLE
FAMILY
HOUSE

302 LORETO ST.,
MOUNTAIN VIEW, CA
94041

PROJECT

ADDITION/
REMODEL



SHEET TITLE

ELEVATIONS

REVISION

1 1C PC COM RES - 02.02.25

2

3

4

DATE 03.24.24

DRAWN

SCALE AS SHOWN

SHEET

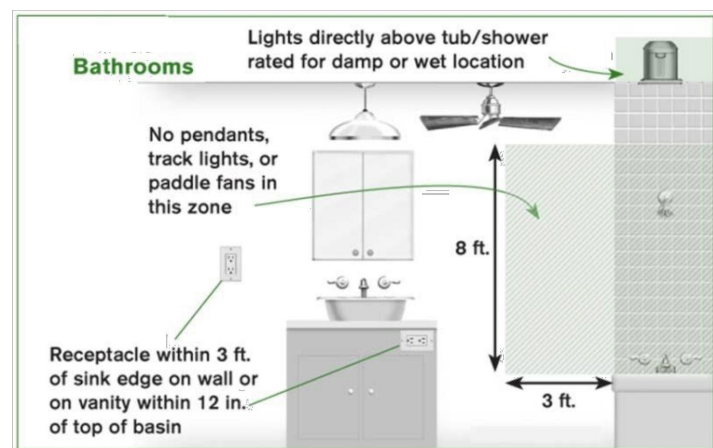
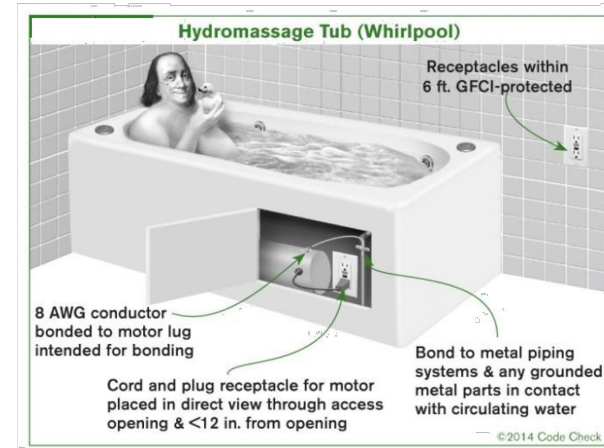
A-6

OF 16 SHEETS

BATHROOMS

Bathroom Electrical:

- All installed lighting shall be high efficacy [CNC 150.0(k)1A].
- At least one light shall be controlled by a vacancy sensor (a manual-on, automatic-off occupancy sensor) [CNC 150.0(k)2AJ].
- Exhaust fans must be switched separate from lighting, with the exception that lighting integral to an exhaust fan can be on the same switch if fan is controlled by a humidistat that continues its operation after light is off.
- All receptacle outlets in bathrooms shall be GFCI protected [CEC 210.8(A)(1)].
- All receptacle outlets in bathrooms shall be tamper resistant [CEC 406.12(A)].
- When a bathtub or shower stall is in an area not technically considered a bathroom (by the definitions in the electrical code), receptacles within 6 ft. of the tub/shower stall must be GFCI- protected [CEC210.8(A)(9)].
- A receptacle outlet is required within 3 feet of each wash basin location. It may be on the wall, or an adjacent partition, or on the face or side of the cabinet not more than 12 inches below the top of the basin [CEC 210.52(D)].
- Receptacles cannot be face-up in a vanity surface; listed pop-up receptacles are allowed [CEC 406.5(E) & 210.52(D)].
- A minimum of one 120-volt, 20-amp circuit is required for the receptacle outlet(s) within 3 ft of the outside edge of the sink basin in the bathroom(s). This circuit can share multiple bathroom receptacles within 3 ft of edge of sink basin or countertops and similar work surfaces but can have no other outlets, including lights [CEC 210.11(C)(3), 210.52(D)]. However, if a 20-amp circuit serves only one
- Bathroom, lights and fans can be on the same circuit with the receptacles in that bathroom [CEC 210.11(C)(3) exception].
- Hydro-massage tubs require an individual (dedicated) branch circuit and readily accessible GFCI protection [CEC 680.7.1]. An access door is required and must be large enough to remove the motor and pump. Cord-connected equipment must have the receptacle facing the opening and be no more than one foot behind the access hatch [CEC 680.7.3].



- Recessed light fixtures in shower enclosures must be listed for a damp or wet location [CEC 410.10(A)].
- Pendant light fixtures, track lights, and paddle fans shall not be installed lower than 8 feet above the flood-level rim of a tub, including the area 3 feet past the edge of the tub [CEC 410.10(D)].
- Electrical panels shall not be installed in bathrooms [CEC 240.24(E)].
- All 125-volt through 250-volt receptacles installed in bathrooms, within 6 ft of bathtub or shower enclosure, within 6 ft of any sink, and indoor damp locations shall have ground-fault circuit-interrupter protection for personnel [CEC210.8(A)].
- Switches and receptacles are not allowed in bathtub or shower spaces. Receptacles shall not be installed within a zone measured 3 ft horizontally and 8 ft vertically from the top of the bathtub rim or shower stall threshold. This zone includes the space directly over the tub or shower stall [CEC 404.4(C) & 406.9(C)].

BATHROOMS (Continued)

Bathroom Plumbing, General:

- All hot water pipes require insulation thickness to be at least equal to pipe diameter [CPC 609.12, 609.12.2].
- Newly installed plumbing fixtures shall be water-conserving in compliance with the California Plumbing Code and Green Building Standards.
 - Water closets shall not exceed 1.28 gallons per flush [CPC 411.2, CGBSC 4.303.1.1].
 - Showerheads shall not exceed 1.8 GPM at 80 PSI [CPC 408.2.1, CGBSC 4.303.1.3].
 - Lavatory faucets shall not exceed 1.2 GPM at 60 PSI [CPC 407.2.2].
 - All existing plumbing fixtures not included in the scope of new work shall be replaced if necessary, to comply with SB407 Plumbing Fixtures Replacement requirements – See Water Conservation Certification Form.

Bathroom Plumbing, Shower:

- Shower stalls require a minimum of 1024 sq. inches and a 30" circle must fit from the back of the finished shower wall to middle of the dam. Shower doors must swing out and must be at least 22" wide [CPC 408.5, 408.6]. The curb may encroach on these size requirements. All surfaces shall be waterproof up to 72 inches above the drain inlet [CRC R307.2].
- Safety glass (tempered or laminated) is required for all glass shower doors and partitions and for windows in walls facing the tub or shower and located less than 60 inches above the standing surface of the tub/shower and within 60 inches horizontally [CRC R308.4.(1)&(5)].
- Showers require a minimum 2-inch drain and trap [CPC Table 702.1].

Bathroom Plumbing, Toilets & Bidets:

- Toilets and bidets require a minimum 15 inches of clearance from the center line of the bowl to each side, and 24 inches of clearance from the front edge of the bowl [CPC 402.5].
- Lavatory sinks require a minimum of 24 inches front clearance [CPC 402.5].
- The maximum water temperature to a shower or tub/shower combination is 120°F. The water heater thermostat cannot be used as the control for this temperature. Valves shall provide scald and thermal shock protection, and be pressure-balanced, thermostatic, or combination pressure-balanced/thermostatic mixing in accordance with ASSE 1016 or ASME A112.18.1/CSA B125.1 [CPC 408.3.2].

Bathroom Mechanical:

- Mechanical ventilation is required in all bathrooms with tubs or showers. Operable window is not an accepted way of providing bathroom exhaust for humidity control [CMC 405.3, CGBSC 4.506.1, CRC 303.3.1]. The fan must move minimum 50 CFM of air and be separately switched from the lighting. Fans that operate continuously can be 20 CFM [CMC 405.3, 405.3.1]. The duct must terminate on the exterior not less than 3 feet from openings into the building, 3 ft from a property line or 10 ft from a forced air inlet [CMC 502.2.1].
- Bathrooms with no tub or shower (half baths) do not require mechanical ventilation if they are provided with a window at least 3 sq. ft. half of which is operable [CRC R303.3].

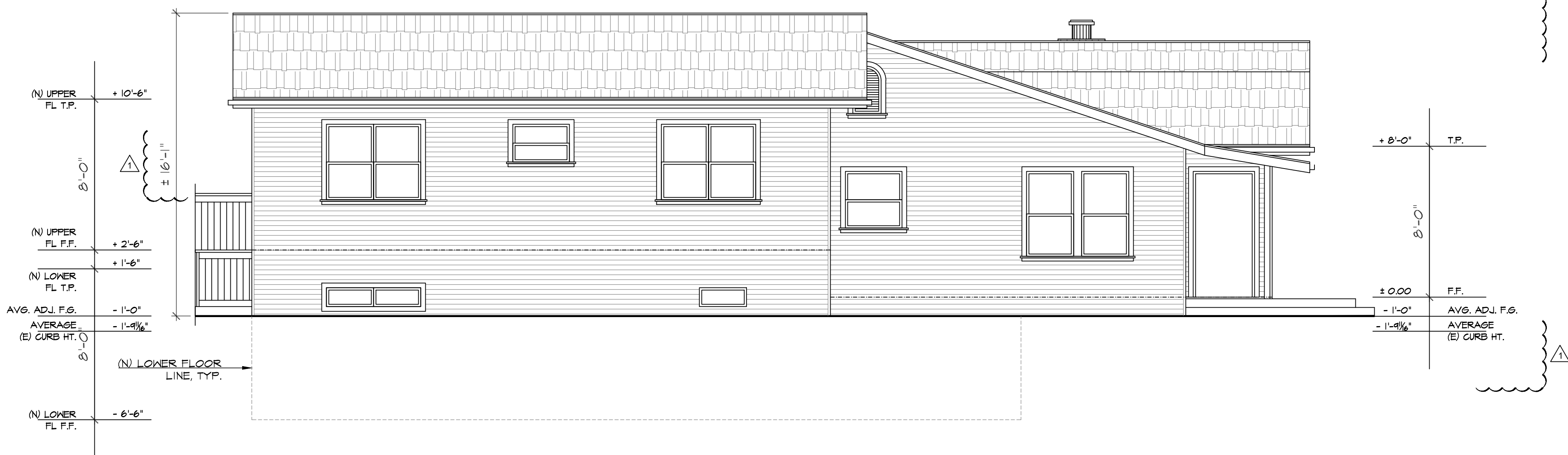
Bathroom, Tile & Backing:

- Water-resistant gypsum board (purple board) can be used as a tile backer board in areas that are not subject to direct exposure to water or high humidity [CRC R702.3.7.1]. Examples would be a wall behind a toilet or above a vanity countertop. Purple board cannot be used in a shower for direct application of tile. It can be used in showers behind a water-resistive membrane with mortar bed and lath. Other acceptable materials for application of tile in showers include cement board, fiber-cement or glass mat gypsum backers [CRC R702.4.2].
- Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor [CRC R307.2].
- See CPC 408.7 for information on lining for shower and receptors.



EXISTING LEFT ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION AND SITE NOTES

- EXTERIOR WALL: WOOD LAP SIDING O/ 2 LAYERS TYPE D' PAPER O/ PLYWOOD SHEATHING (COLOR & SIZE TO MATCH EXISTING)
- ROOFING: CLASS A COMP. SHINGLES (NATURAL COLOR)
- WINDOWS: MILGARD VINYL DUAL PANE WHITE OR SIM. (SEE SCHEDULE)
- WINDOW TRIM: 2x WOOD-SMOOTH (COLOR TO MATCH EXISTING)
- GUTTER: ALUMINUM FASCIA (COLOR TO MATCH EXISTING)
- FASCIA BOARD: PAINTED (COLOR TO MATCH EXISTING)
- WALL TO ROOF FLASHING: GALV. METAL PAINTED TO MATCH EXISTING

SINGLE
FAMILY
HOUSE

302 LORETO ST.,
MOUNTAIN VIEW, CA
94041

PROJECT

ADDITION/
REMODEL



SHEET TITLE

ELEVATIONS

REVISION

1. 1C PC COM RES - 02.02.25
- 2.
- 3.
- 4.

DATE 03.24.24

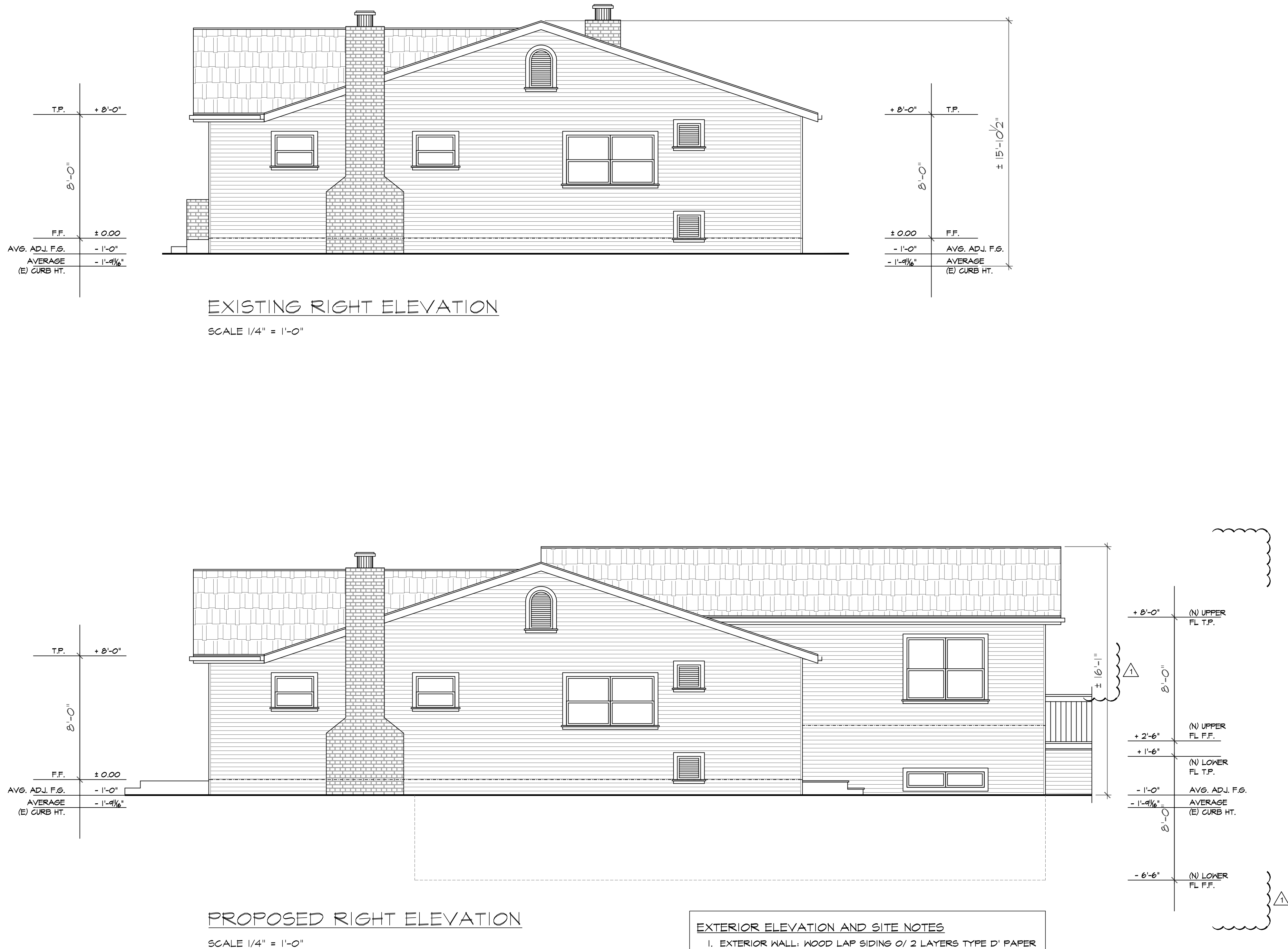
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SCALE AS SHOWN

SHEET

A-7

OF 16 SHEETS



Laundry Rooms

Laundry Electrical:

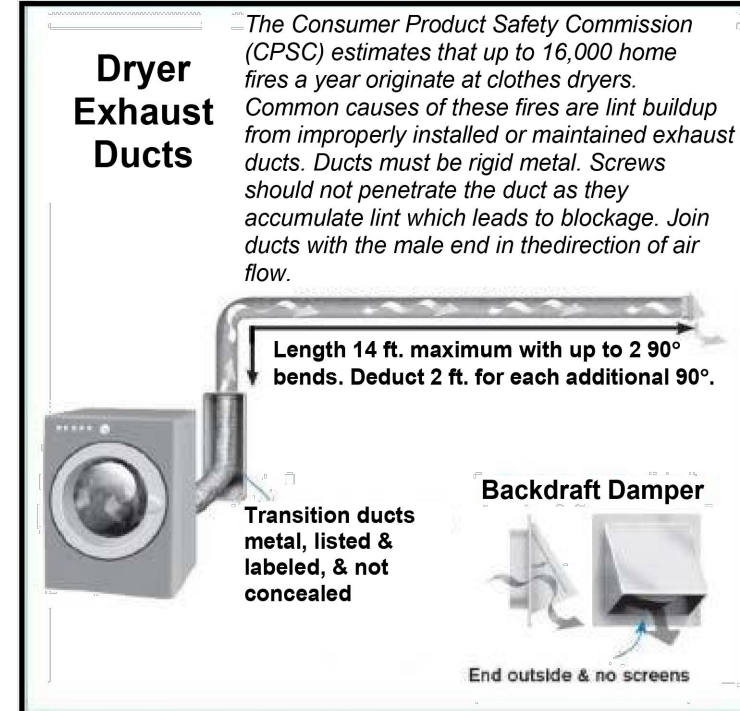
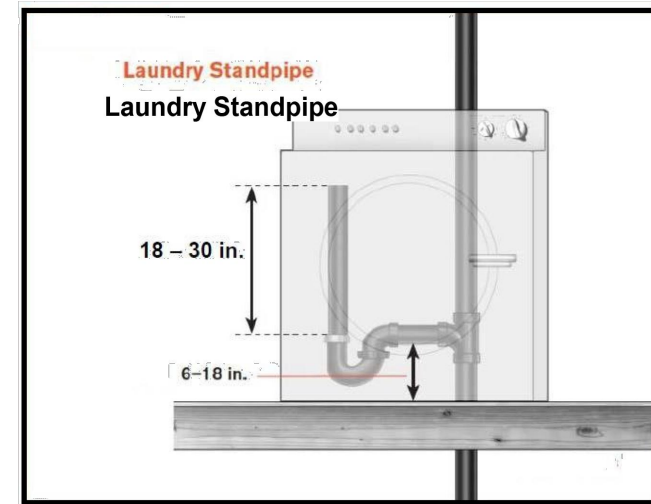
- All new or altered lighting shall be high efficacy [CNC 150.0(k)1A].
- At least one light shall be controlled by a vacancy sensor (a manual-on, automatic-off occupancy sensor) [CNC 150.0(k)2A].
- All 125-volt through 250-volt receptacles in laundry areas require GFCI protection, including but not limited to the clothes washer and dryer receptacle [CEC 210.8(A)(10)].
- All non-locking type 125-volt, 15- and 20-ampere receptacle outlets shall be listed tamper-resistant, except those within dedicated space for an appliance not easily moved from one place to another (behind clothes washer) [CEC 406.12(A)].
- A separate 20-amp circuit is required for the laundry equipment. The lights and other receptacles in the room cannot be on that circuit [CEC 210(C)(2)].
- All circuits supplying outlets or devices in the laundry area (including laundry areas in garages) must be AFCI protected [CEC 210.12(A)].

Laundry Plumbing:

- Clothes washer standpipes must be 2-inch diameter. The weir of the trap must be roughed in 6 – 18 inches above the floor; the standpipe must be a minimum of 18 and a maximum of 30 inches above the trap [CPC 804.1].

Laundry Mechanical:

- Clothes dryers in closets require a minimum of 100 sq. in. of opening for makeup air, which can be supplied by louvers or undercutting the door [CMC 504.4.1].
- Dryer ducts must be smooth-walled rigid metal at least 4-inch diameter and not more than 14 feet in length. Two 90° bends are allowed within the 14 ft. For 90° bend in excess of two, deduct 2 ft from allowed 14 ft length for each additional bend [CMC 504.4.2.1].
- Ducts may not pass through plenums or be shared with other systems or vents. They cannot be connected with screws that penetrate the duct interior [CMC 504.4].
- Dryer ducts must terminate on the building exterior in a backdraft damper. Screens or louvers cannot be installed [CMC 504.4].
- Flexible transition ducts (connectors) between the dryer and metal duct are allowed in lengths up to 6 feet and cannot be concealed within construction [CMC 504.4.2.2 exception]. They must be UL listed and labeled (L&L) as dryer transition ducts, and, cannot be plastic.



Construction Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property. That this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

LEGEND

BOUNDARY _____

CENTERLINE _____

EASEMENT _____

SETBACK _____

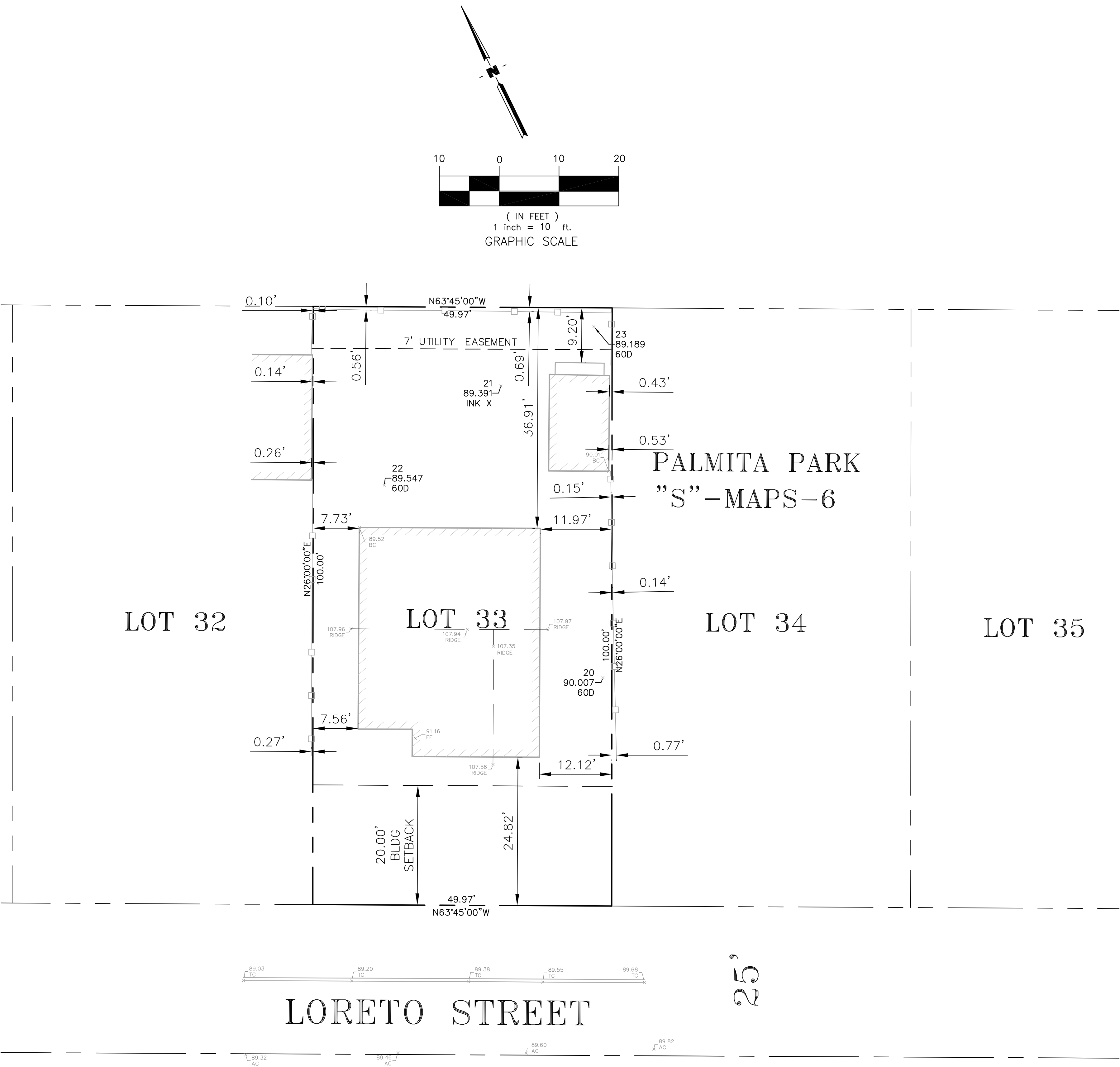
WOOD FENCE _____

BASIS OF BEARINGS:

THE BEARING NORTH 26°00'00" EAST, OF THE CENTERLINE OF CALDERON AVENUE, AS SHOWN ON THAT RECORD OF SURVEY FILED IN BOOK 935 AT PAGE 28, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK:

AN ELEVATION OF 97.020', OF A BRONZE DISK STAMPED "IV-29" SET IN
THE TOP OF CURB AT THE NORTHWEST RETURN OF CALDERON AVENUE
AND MERCY STREET WAS USED AS THE BENCHMARK FOR THIS SURVEY.
NGVD88 DATUM



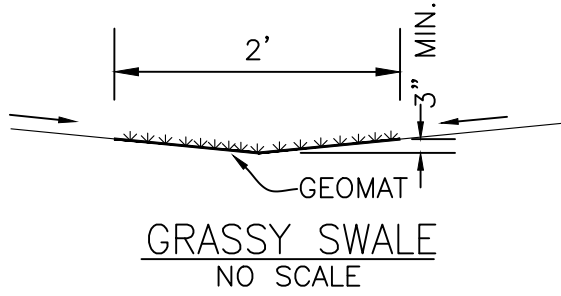
<div><div>ARROLL</div><div>ENGINEERING</div><div><i>engineers and surveyors</i></div></div>	<div>1101 S. WINCHESTER BLVD. SAN JOSE, CA 95128 PHONE: 408-281-0555 FAX: 408-281-0595 E-MAIL: Robert@arroll-engineering.com</div>	DATE:	11/07/2023	<div><div>LICENSED LAND SURVEYOR PHILIP C WOODRUFF No. 8398 STATE OF CALIFORNIA</div></div>	<div><div>BOUNDARY SURVEY</div><div>302 Loreto Street</div><div>Mountain View</div><div>California</div></div>
		SCALE:	1"=10'		
		DRAWN BY:	WAK		
		DESIGNED BY:			
		CHECKED BY:	PCW		
		COPYRIGHT 2022, CARROLL ENGINEERING ALL RIGHTS RESERVED			
SHEET	1				
JOB NO. 2927					

GRADING NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD & SPECIFICATIONS AND THE SOILS REPORT FOR THIS SITE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES TO HIS SATISFACTION.
3. CONTRACTOR SHALL CONFIRM THE GROUND ELEVATIONS AND OVERALL TOGRAPHY OF THE SITE PRIOR TO START OF WORK.
4. CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGES ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN.
5. ALL RAINWATER LEADERS SHALL BE DIRECTED TO SPASH BLOCK.
6. ALL DRAINAGE SHALL BE DIRECTED TO LANDSCAPE AREA.
7. ALL CONSTRUCTION ACTIVITIES SHALL ADHERE TO NEW DEVELOPMENT AND CONSTRUCTION BEST MANAGEMENT PRACTICES AS ADOPTED BY THE CITY FOR THE PURPOSES OF PREVENTING STORM WATER POLLUTION.

STORM WATER MANAGMENT NOTES

- ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPE AREAS.
- ALL CONSTRUCTION SHALL COMPLY WITH CITY'S URBAN RUNOFF POLLUTION PREVENTION PROGRAM.



ESTIMATED EARTHWORK QUANTITIES

CUT: 250 CU. YD.
FILL: 0 CU. YD.
NET: 250 CU. YD.

LEGEND

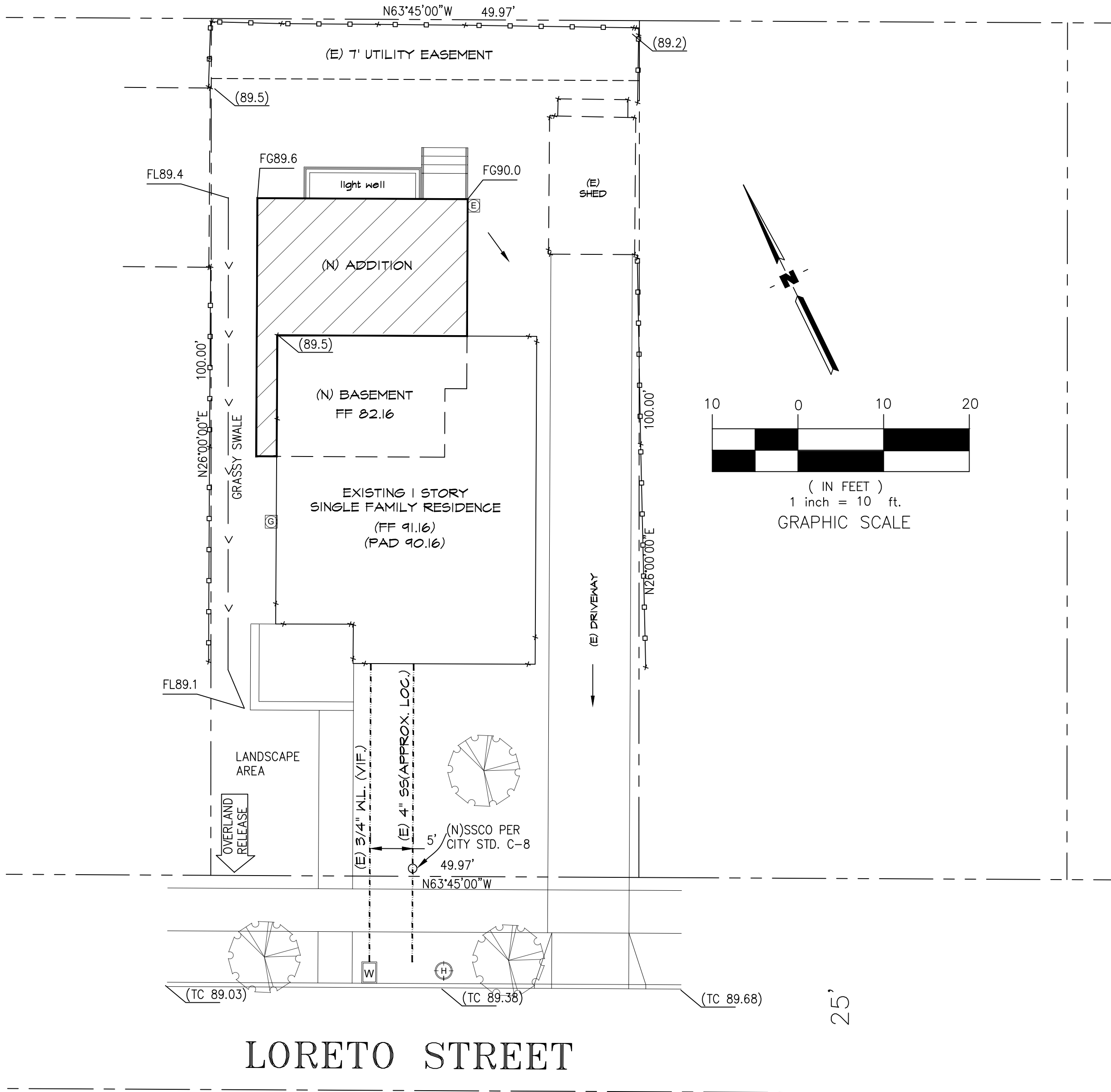
- PROPERTY LINE --- --
- DIRECTION OF FLOW -->
- FINISHED GRADE FG XX
- EXISTING GRADE (XX.X)
- FLOW LINE FL
- FINISHED FLOOR FF

STREET CLEANING NOTE

THE PRIME CONTRACTOR OR DEVELOPER IS TO HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES. THE STREET CLEANING CONTRACTOR IS TO HAVE THE CAPABILITY OF SWEEPING THE STREETS WITH BOTH A BROOM-TYPE SWEEPER AND A REGENERATIVE AIR VACUUM SWEEPER, AS DIRECTED BY THE PUBLIC WORKS DIRECTOR OR DESIGNATED REPRESENTATIVE.

OCCUPANCY RELEASE NOTE

NO RESIDENTIAL UNITS WILL BE RELEASED FOR OCCUPANCY UNLESS THE IMPROVEMENTS TO BE CONSTRUCTED TO CITY STANDARDS AND/OR TO BE ACCEPTED FOR MAINTENANCE BY THE CITY, INCLUDING WATER METERS AND SANITARY SEWER CLEANOUTS AS WELL AS TRASH ROOMS AND/OR ENCLOSURES, ARE SUBSTANTIALLY COMPLETE PER THE CITY OF MOUNTAIN VIEW STANDARD PROVISIONS FOR PUBLIC WORKS CONSTRUCTION. THE PUBLIC WORKS DIRECTOR SHALL MAKE THE DETERMINATION OF WHAT PUBLIC IMPROVEMENTS ARE SUBSTANTIALLY COMPLETE.



LORETO STREET

BENCHMARK:
AN ELEVATION OF 247.32', OF AN X SCRIBED IN THE SIDEWALK ALONG THE EASTERN ENTRANCE OF THE PROPERTY WAS USED AS THE BENCHMARK FOR THIS SURVEY.
NGVD88 DATUM



SINGLE FAMILY HOUSE

302 LORETO STREET,
MOUNTAIN VIEW,
CA 94041

PROJECT

REMODEL/
ADDITION

AA HOME
DESIGN &
BUILD LLC

DESIGN
SERVICES

T: 408.431.2952
AA.HomeDesignBuild@gmail.com

SHEET TITLE

GRADING &
DRAINAGE
PLAN

REVISION

- △
- △
- △
- △

DATE 11.29.24

DRAWN PL

SCALE 1"=10'

SHEET C1