

DERN
architecture + development

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 3/31/2027
 RENEWAL
 DATE
 STATE OF CALIFORNIA

VELUX EXPERIENCE CENTER
312-314 CASTRO STREET
MOUNTAIN VIEW, CA 94041

REVISION		
No.	Description	Date

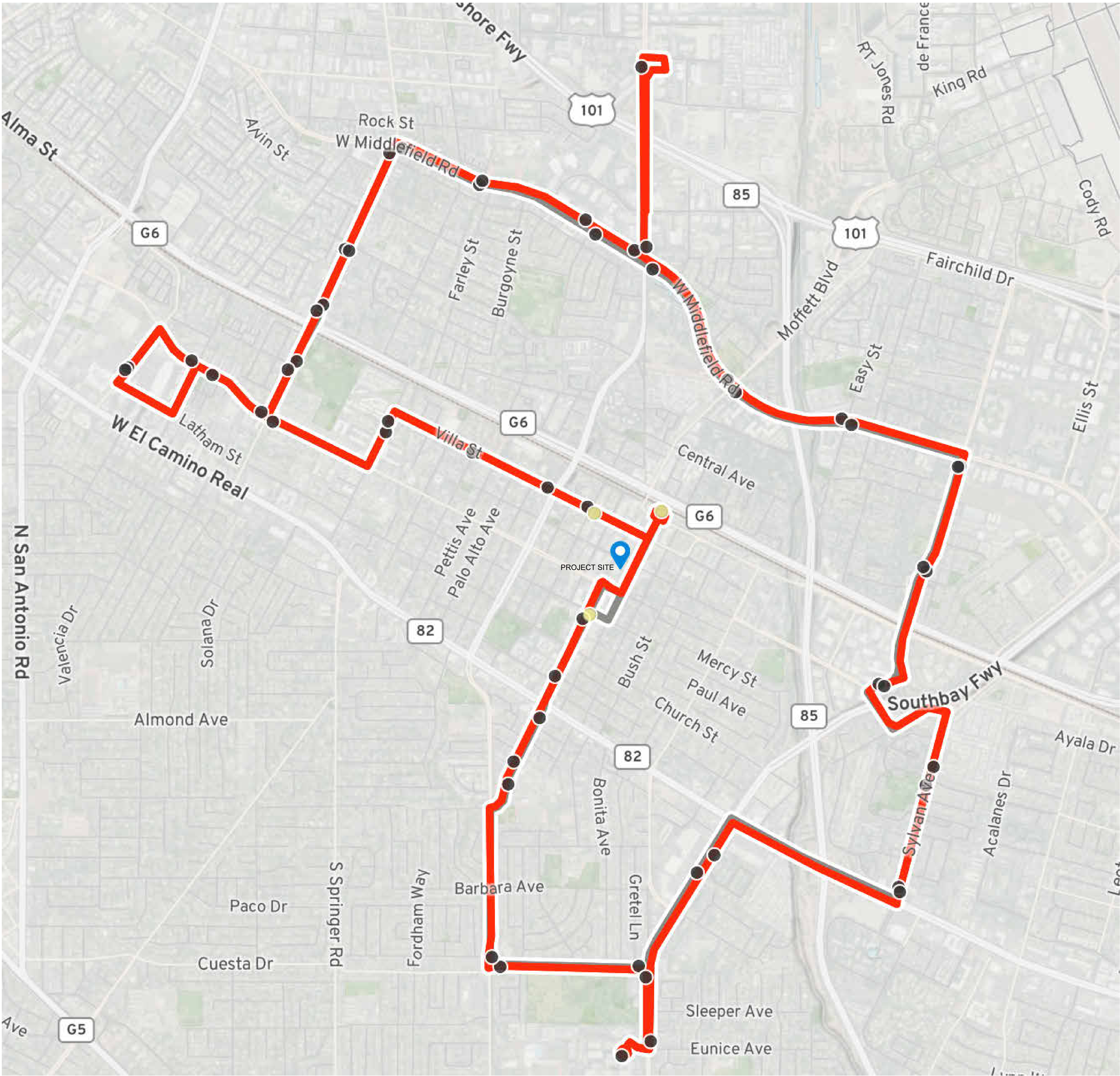
DERN PROJECT NUMBER
2411

DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
SHEET TITLE
PROJECT INFORMATION

SHEET NO.

A0.1



① SITE TRANSIT MAP1



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ISSUE
PLANNING
RESUBMITTAL
SITE TRANSIT MAP



7 ADJACENT PROPOERTIES NORTHEAST OF PROJECT SITE1



3 ADJACENT PROPERTIES SOUTHWEST OF PROJECT SITE1



6 CASTRO ST FROM CASTRO & DANA1



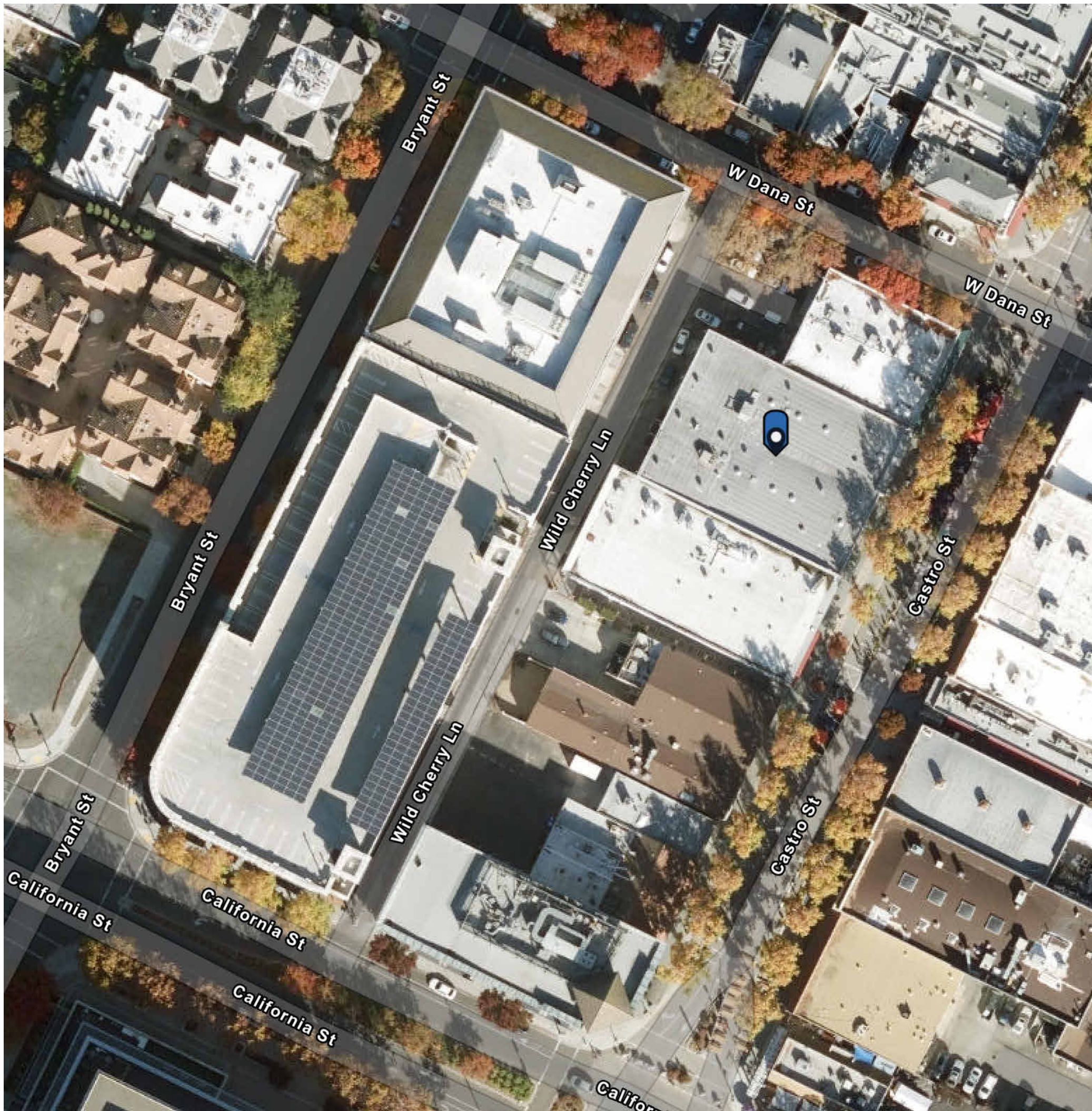
2 EXISTING PROJECT FACADE WITH ADJACENT TENANTS1



5 PROPERTIES ACROSS CASTRO ST. FROM PROJECT SITE1



4 CALIFORNIA & CASTRO ACROSS FROM PROJECT SITE1



1 SITE BLOCK ARIAL VIEW1



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ISSUE PLANNING RESUBMITTAL EXISTING SITE PHOTOGRAPHS		



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ISSUE
PLANNING

SHEET TITLE
EXISTING GROUND
FLOOR BUILDING PLAN

SHEET NO.

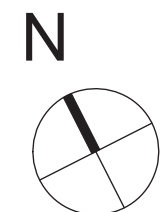
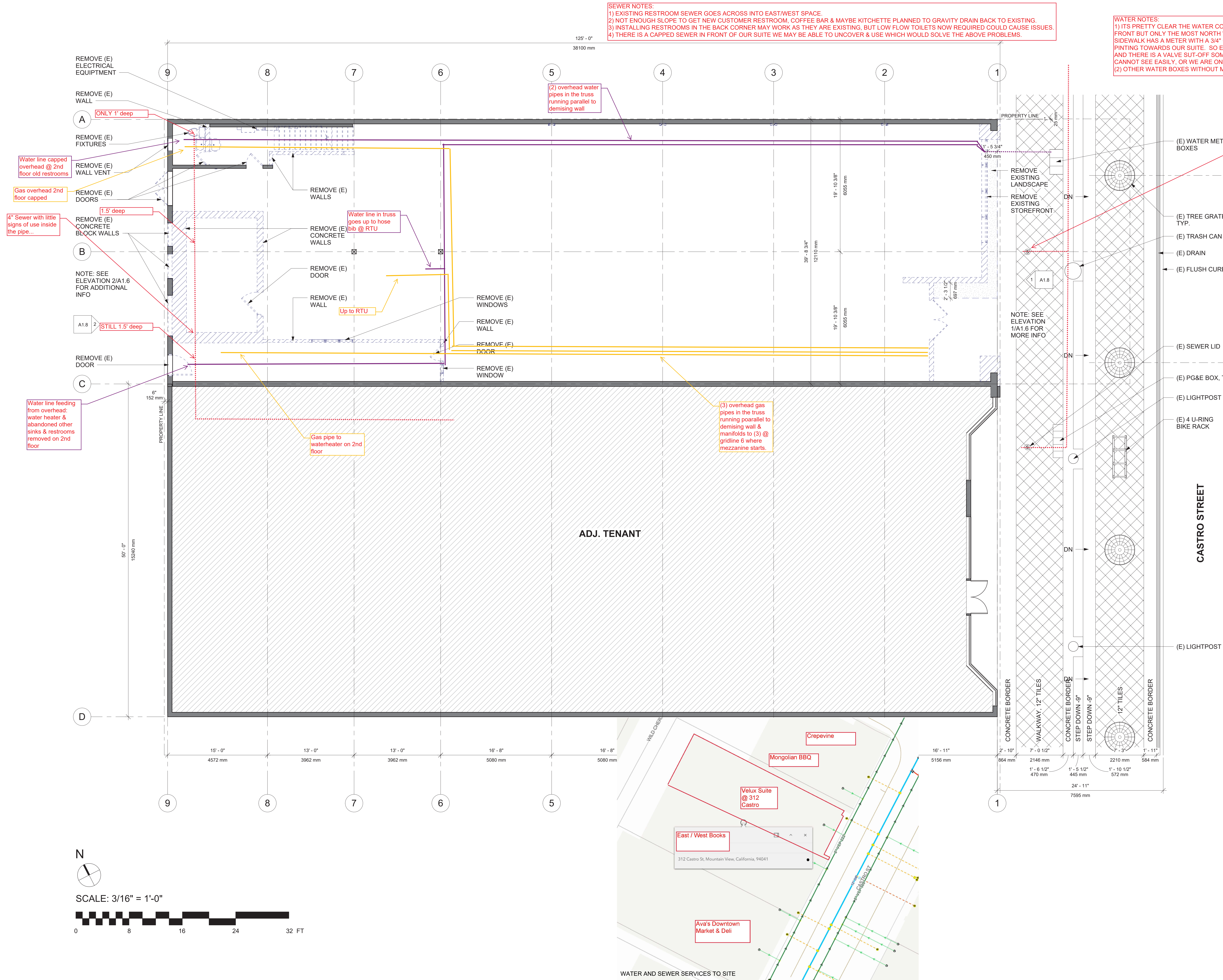
A1.1

SEWER NOTES:
1) EXISTING RESTROOM SEWER GOES ACROSS INTO EAST/WEST SPACE.
2) NOT ENOUGH SLOPE TO GET NEW CUSTOMER RESTROOM, COFFEE BAR & MAYBE KITCHETTE PLANNED TO GRAVITY DRAIN BACK TO EXISTING.
3) INSTALLING RESTROOMS IN THE BACK CORNER MAY WORK AS THEY ARE EXISTING, BUT LOW FLOW TOILETS NOW REQUIRED COULD CAUSE ISSUES.
4) THERE IS A CAPPED SEWER IN FRONT OF OUR SUITE WE MAY BE ABLE TO UNCOVER & USE WHICH WOULD SOLVE THE ABOVE PROBLEMS.

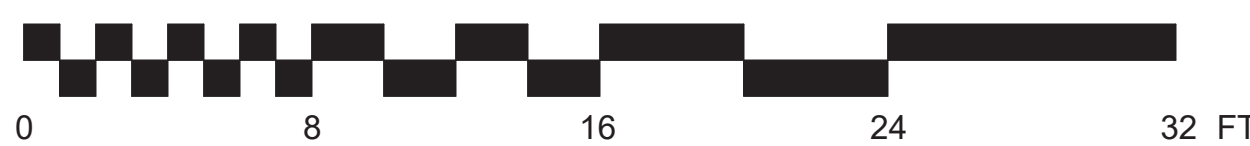
WATER NOTES:
1) ITS PRETTY CLEAR THE WATER COMES IN FROM THE FRONT BUT ONLY THE MOST NORTH WATER BOX IN THE SIDEWALK HAS A METER WITH A 3/4" COPPER LINE PINTING TOWARDS OUR SUITE. SO EITHER THAT IS OURS AND THERE IS A VALVE SUT-OFF SOMEWHERE WE CANNOT SEE EASILY, OR WE ARE ONE OF THE ADJACENT (2) OTHER WATER BOXES WITHOUT METERS.

8" clean-out is capped immediately on the suite side of the riser & camera goes to the street, then drops and 90's North of this page and then near Crepevine clean-out drops again. Hoping to be able to connect into this for our work.

Showed some flow & Paul could hear the camera being pulled from the clean-out in front of our Suite while looking down this riser...



SCALE: 3/16" = 1'-0"



1 (E) GROUND FLOOR BUILDING PLAN
3/16" = 1'-0"

WATER AND SEWER SERVICES TO SITE



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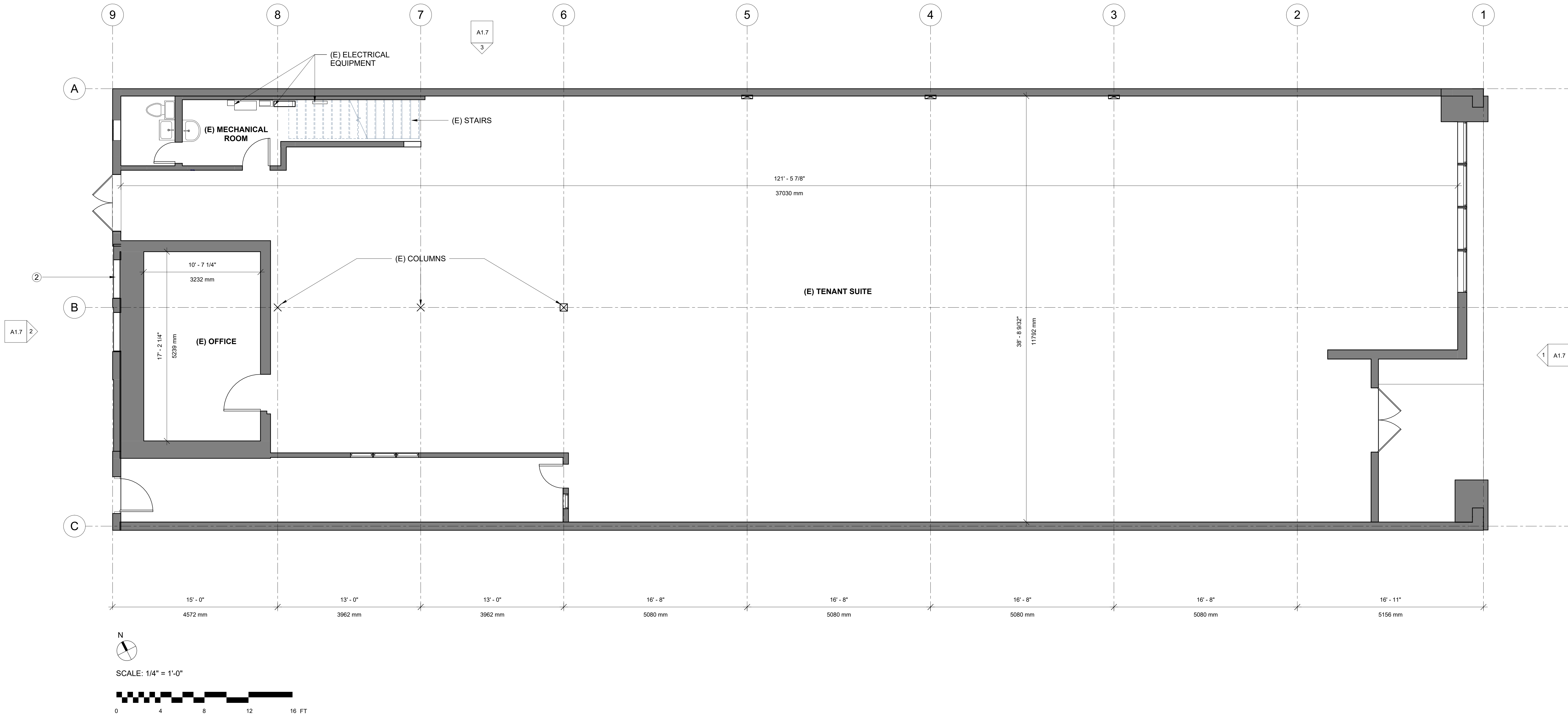
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2411

DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
EXISTING GROUND
FLOOR PLAN

SHEET NO.

A1.2



1 (E) GROUND FLOOR PLAN
1/4" = 1'-0"



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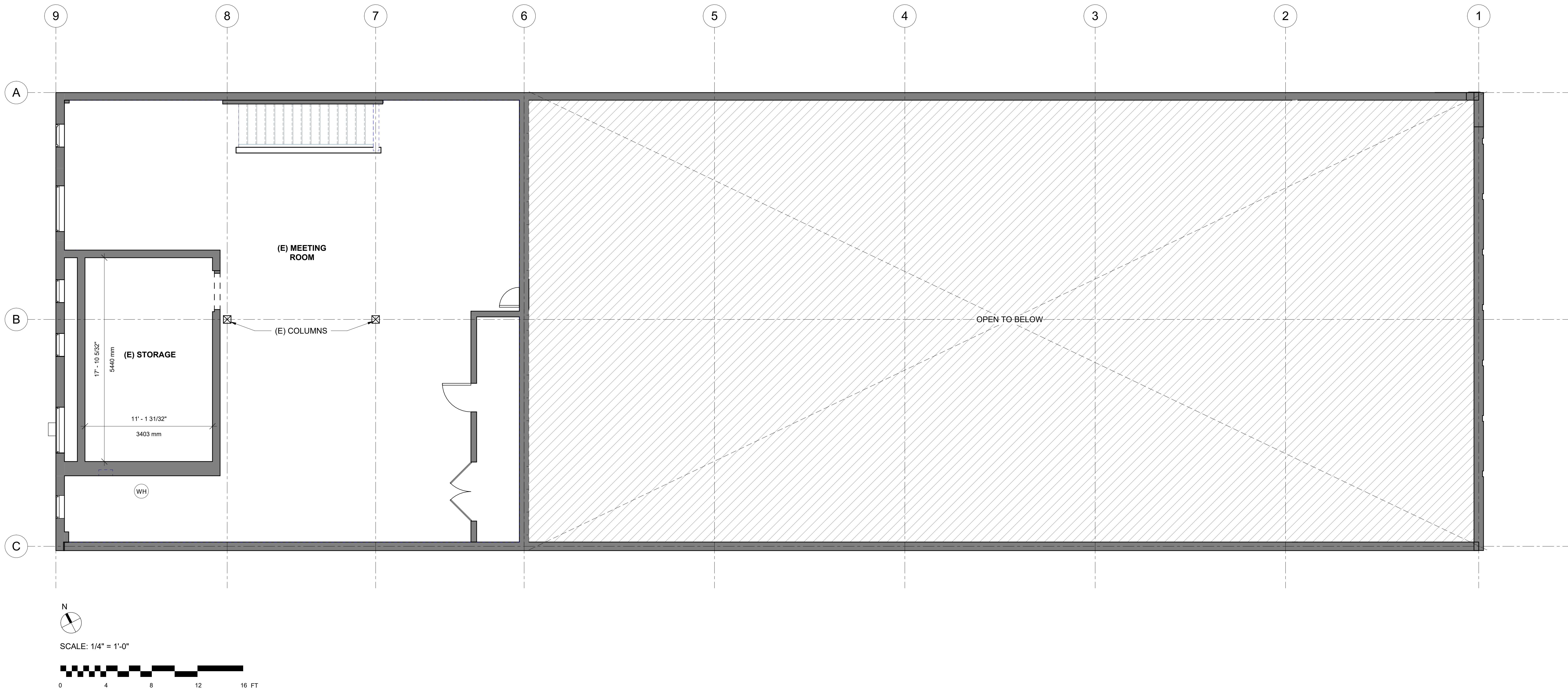
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DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
EXISTING MEZZANINE
FLOOR PLAN

SHEET NO.

A1.3



1 (E) MEZZANINE PLAN
1/4" = 1'-0"



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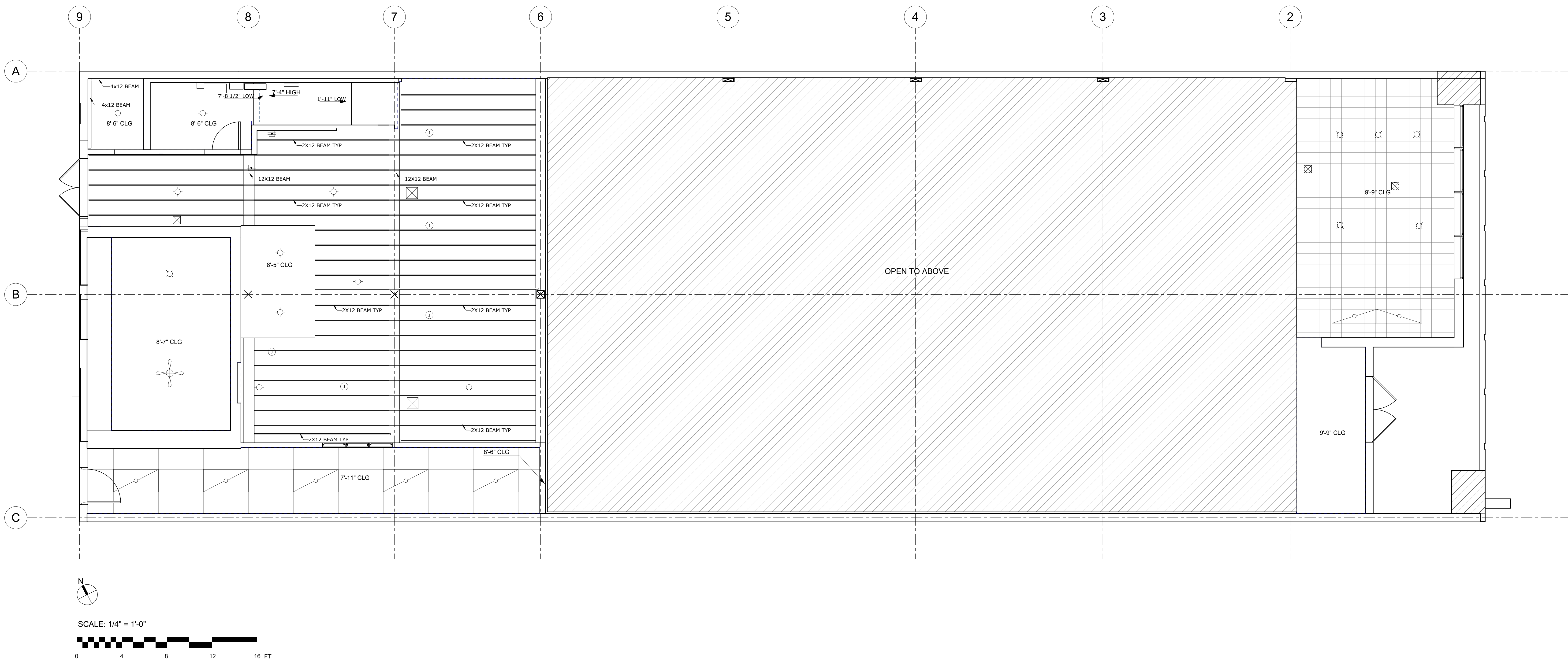
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ISSUE
PLANNING
RESUBMITTAL
EXISTING GROUND
FLOOR REFLECTED
CEILING PLAN

SHEET NO.

A1.4



1 (E) GROUND FLOOR CEILING
1/4" = 1'-0"



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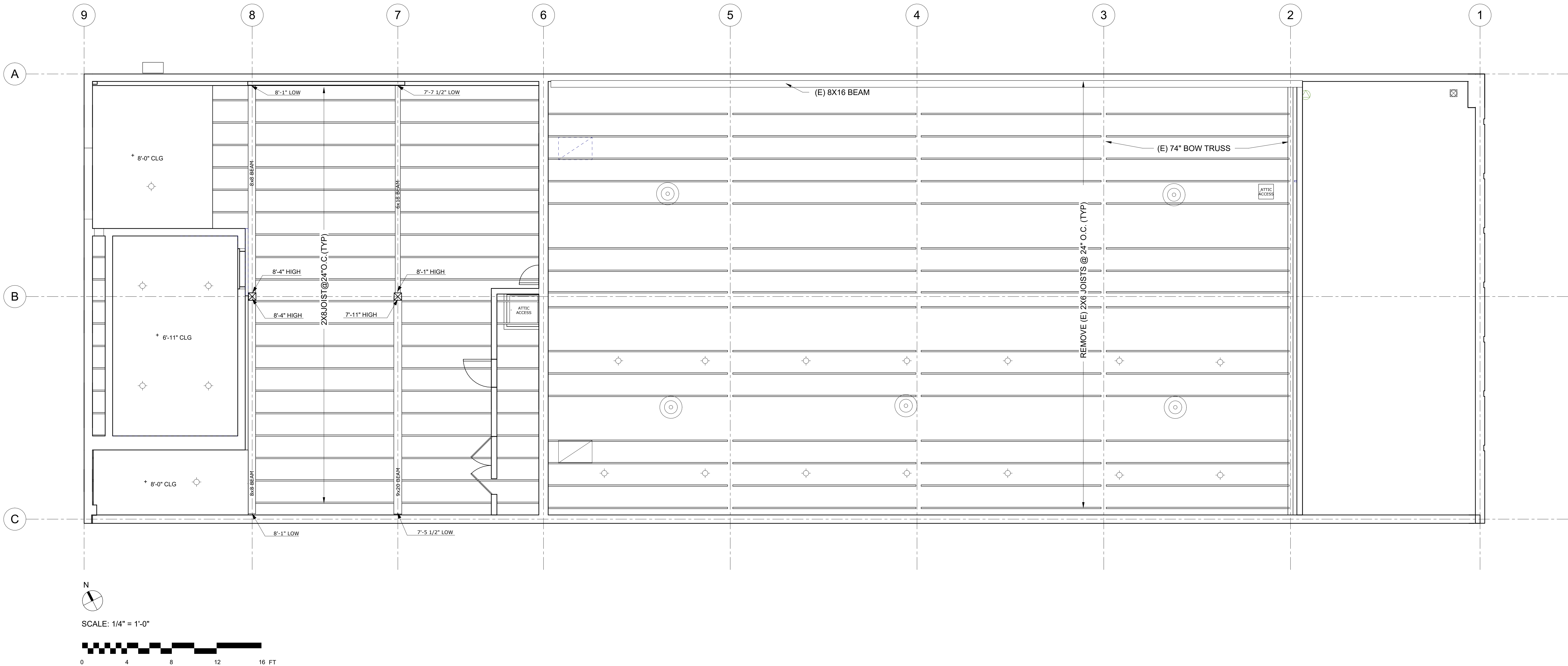
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DATE
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ISSUE
PLANNING
RESUBMITTAL
EXISTING MEZZANINE
REFLECTED CEILING
PLAN

SHEET NO.

A1.5



1 (E) MEZZANINE CEILING
1/4\" = 1'-0"



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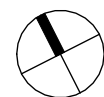
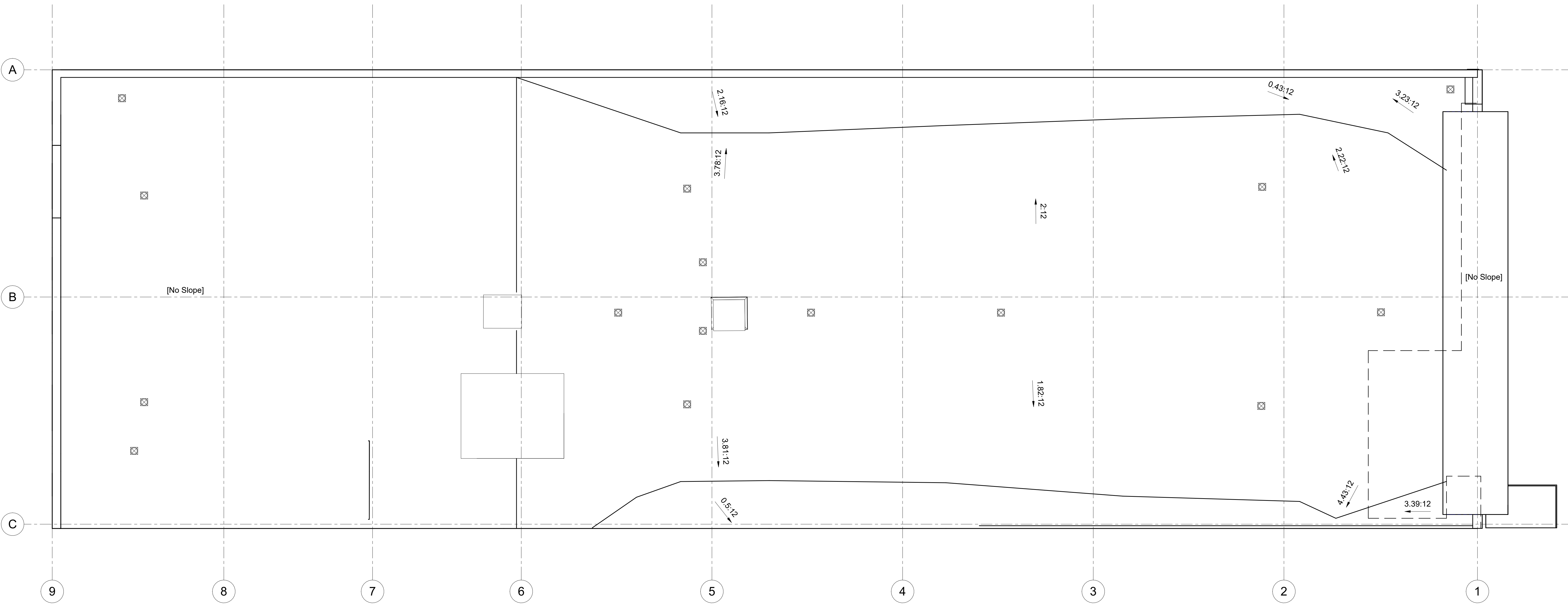
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DERN PROJECT NUMBER
2411

DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
EXISTING ROOF PLAN

SHEET NO.
A1.6



1 (E) ROOF PLAN
1/4" = 1'-0"

CLIENT

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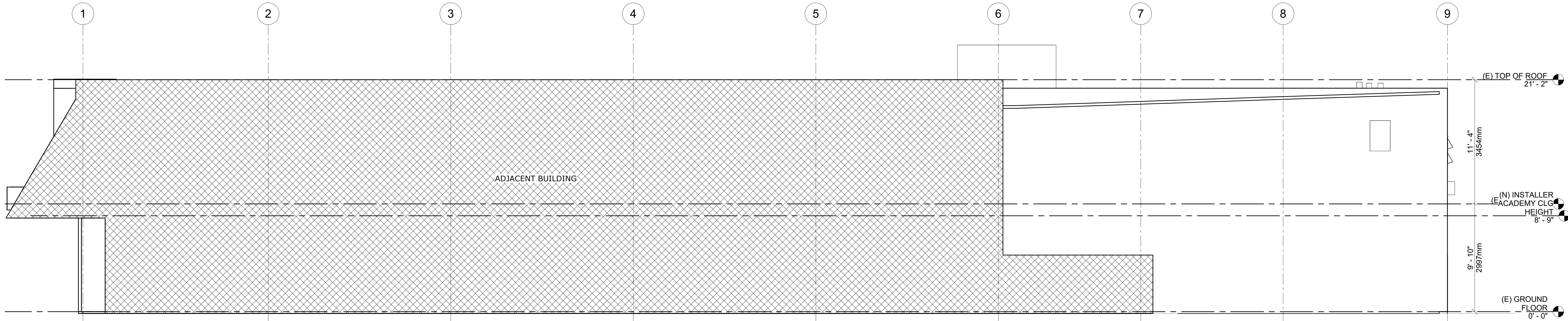
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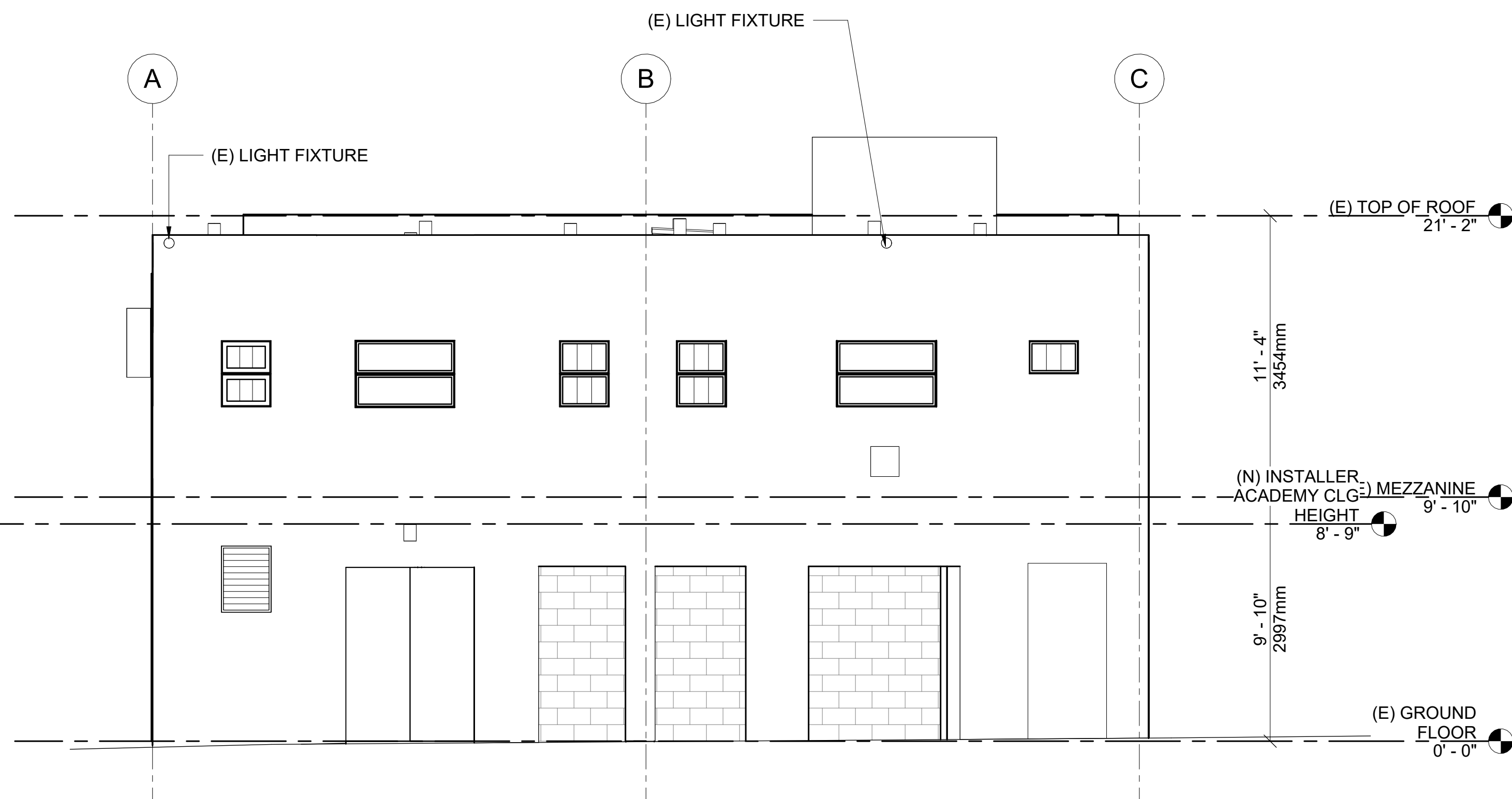
ISSUE
PLANNING
RESUBMITTAL
EXISTING EXTERIOR
ELEVATIONS

SHEET NO.

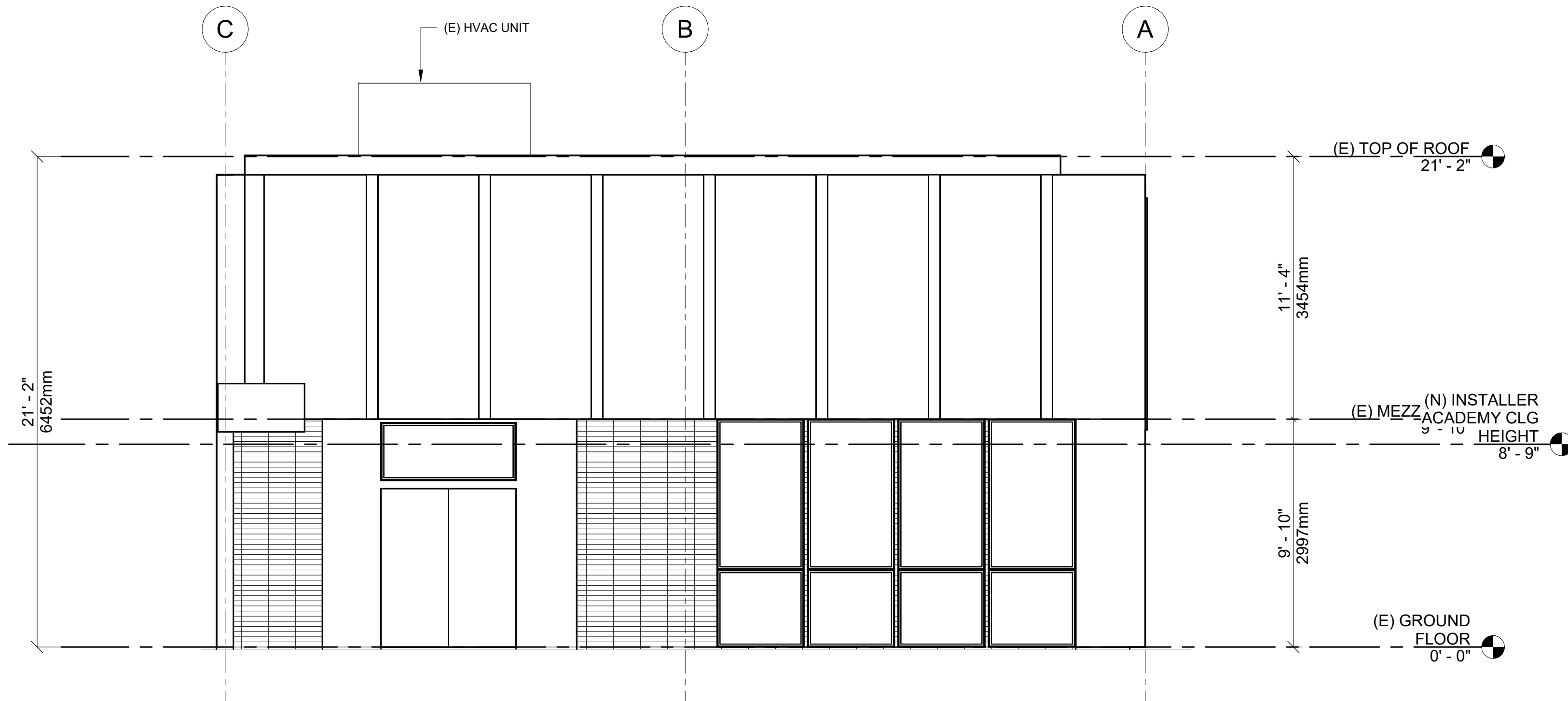
A1.7



③ EXISTING NORTH ELEVATION
1/4" = 1'-0"



② EXISTING WEST ELEVATION
1/4" = 1'-0"



① EXISTING EAST ELEVATION
1/4" = 1'-0"



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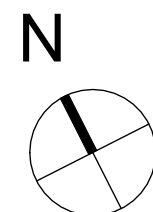
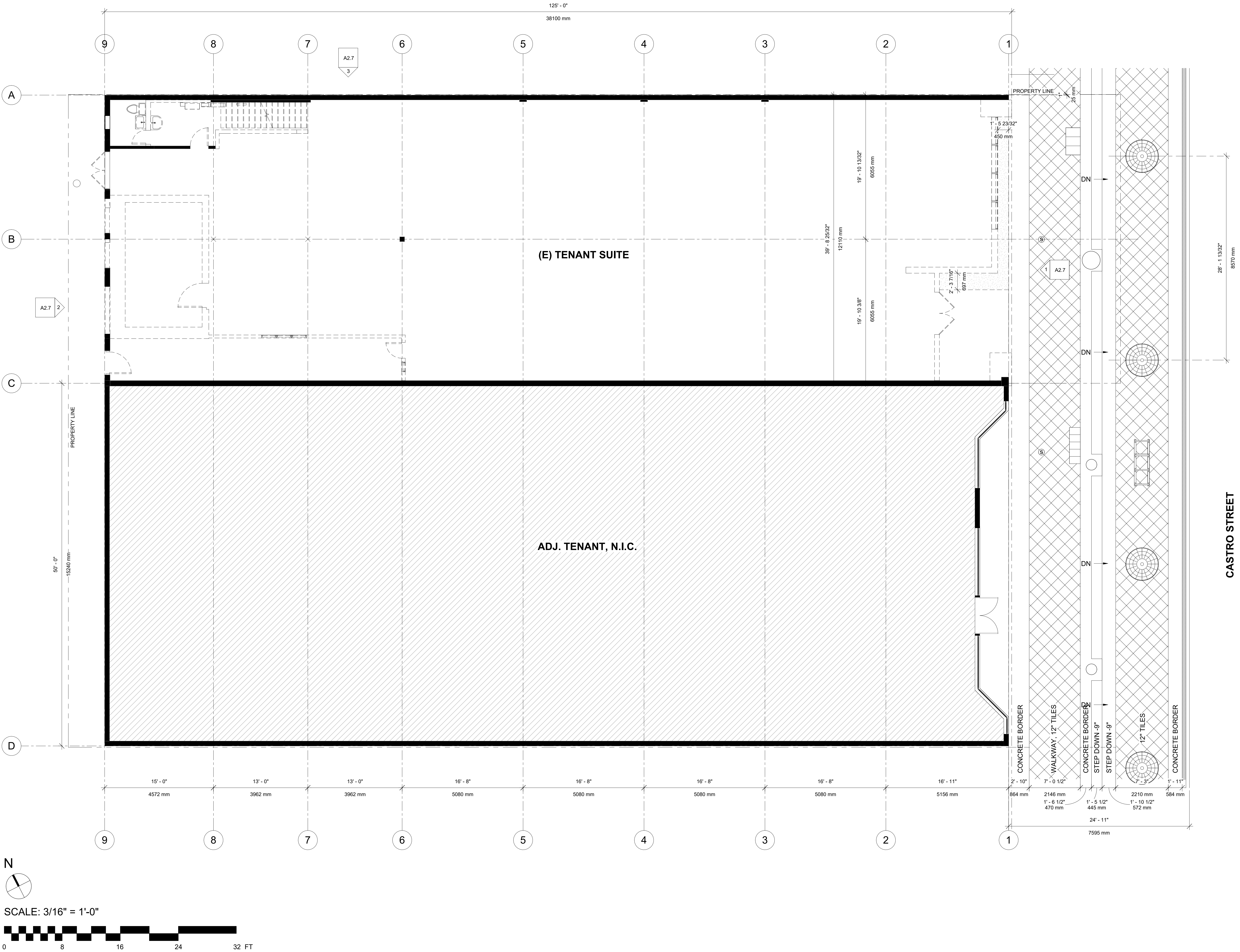
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ISSUE
PLANNING
RESUBMITTAL
DEMOLITION GROUND
FLOOR BUILDING PLAN

SHEET NO.

A2.1



SCALE: 3/16" = 1'-0"





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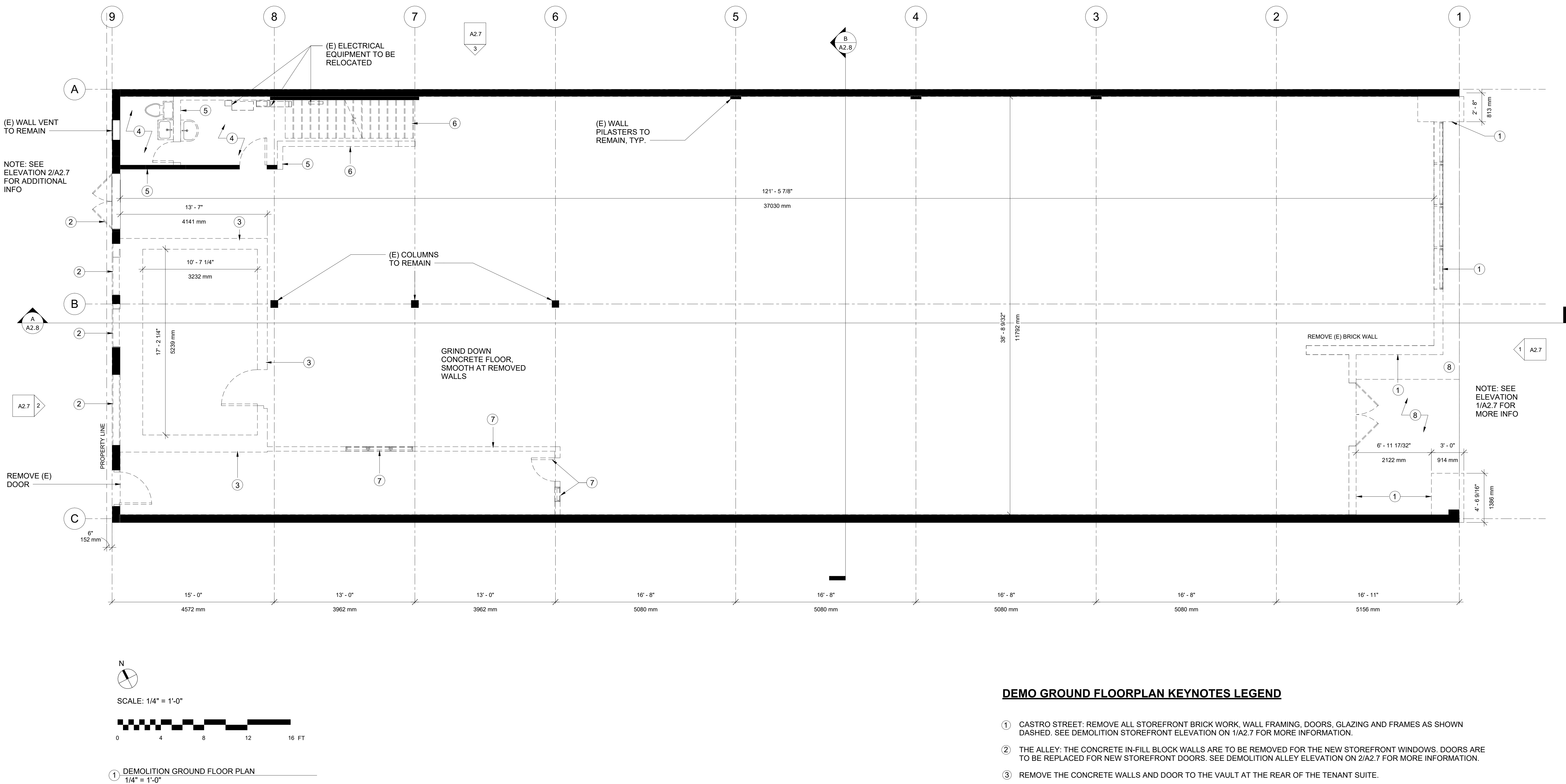
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PLANNING
RESUBMITTAL
DEMOLITION GROUND
FLOOR PLAN

SHEET NO.

A2.2



DEMOLITION GROUND FLOORPLAN KEYNOTES LEGEND

- CASTRO STREET: REMOVE ALL STOREFRONT BRICK WORK, WALL FRAMING, DOORS, GLAZING AND FRAMES AS SHOWN DASHED. SEE DEMOLITION STOREFRONT ELEVATION ON 1/A2.7 FOR MORE INFORMATION.
- THE ALLEY: THE CONCRETE IN-FILL BLOCK WALLS ARE TO BE REMOVED FOR THE NEW STOREFRONT WINDOWS. DOORS ARE TO BE REPLACED FOR NEW STOREFRONT DOORS. SEE DEMOLITION ALLEY ELEVATION ON 2/A2.7 FOR MORE INFORMATION.
- REMOVE THE CONCRETE WALLS AND DOOR TO THE VAULT AT THE REAR OF THE TENANT SUITE.
- REMOVE THE (E) TOILET ROOM AND JANITORIAL CLOSET FLOORING AND FIXTURES.
- REMOVE (E) TOILET ROOM WALLS/DOORS AND CLOSET WALLS/DOORS.
- REMOVE (E) STAIRS AND STAIR WALLS.
- REMOVE (E) WINDOWS, DOORS, AND WALLS IN THE CORRIDOR.
- REMOVE (E) LANDSCAPE AND BRICK PAVER FINISH AT (E) STOREFRONT.



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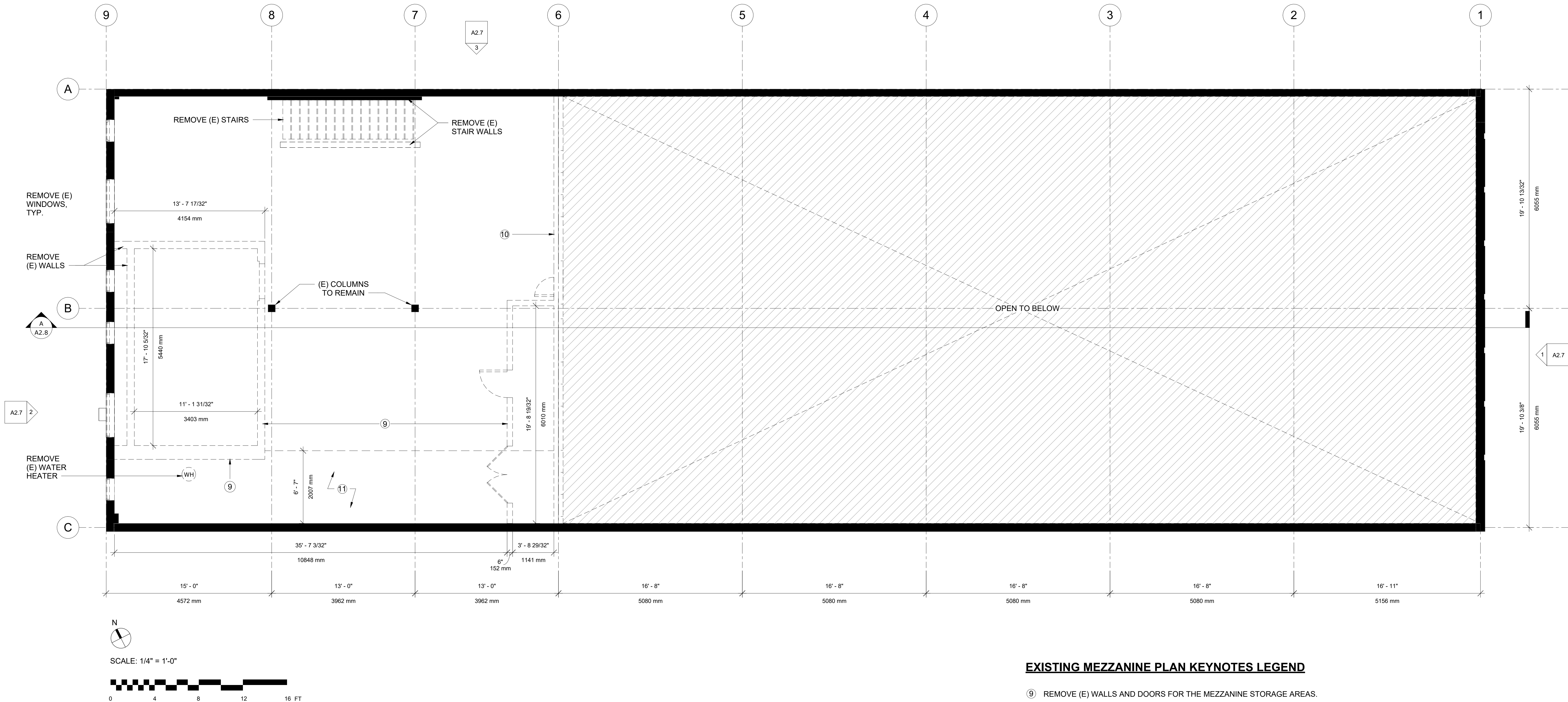
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ISSUE
PLANNING
RESUBMITTAL
DEMOLITION
MEZZANINE FLOOR
PLAN

SHEET NO.

A2.3



EXISTING MEZZANINE PLAN KEYNOTES LEGEND

- ⑨ REMOVE (E) WALLS AND DOORS FOR THE MEZZANINE STORAGE AREAS.
⑩ REMOVE (E) PARTIAL HEIGHT WALL AND FINISHES AT GRIDLINE '6'; TRUSS ABOVE TO REMAIN
⑪ REMOVE (E) FLOOR FRAMING AREA AT MEZZANINE FOR (N) LIGHT WELL.

① DEMOLITION MEZZANINE PLAN
1/4" = 1'-0"



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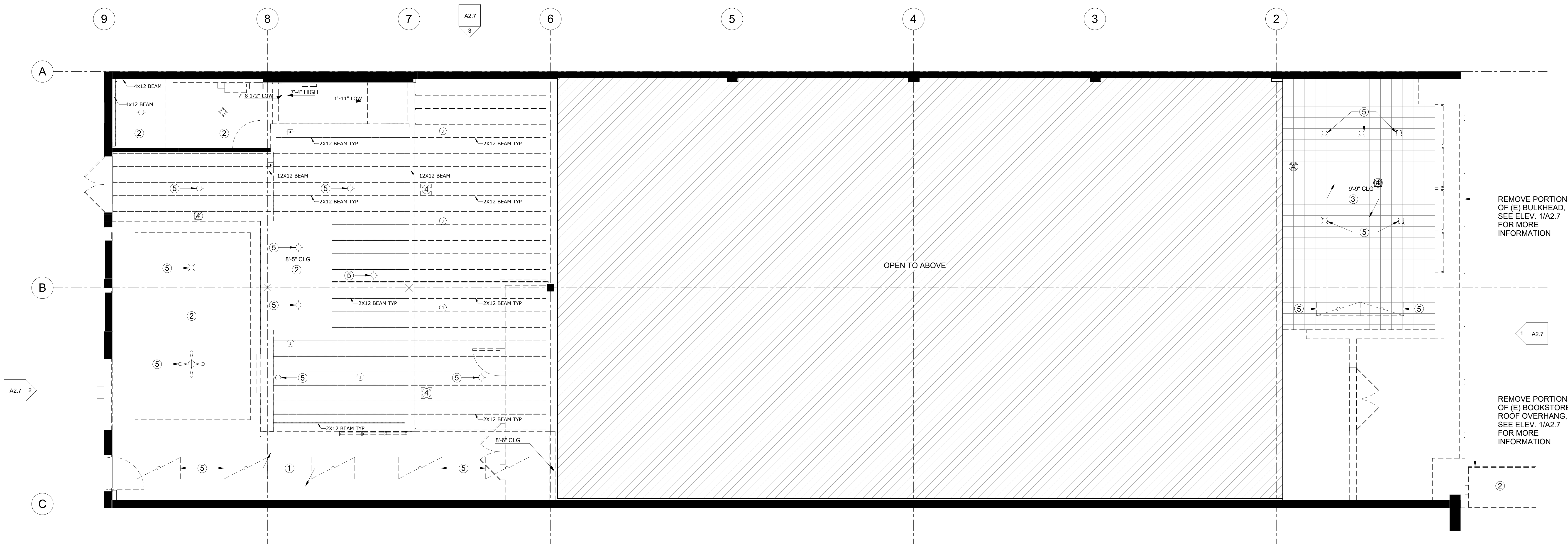
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ISSUE
PLANNING
RESUBMITTAL
DEMOLITION GROUND
FLOOR REFLECTED
CEILING PLAN

SHEET NO.

A2.4

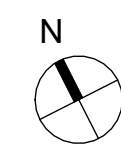


REMOVE PORTION
OF (E) BULKHEAD,
SEE ELEV. 1/A2.7
FOR MORE
INFORMATION

REMOVE PORTION
OF (E) BOOKSTORE
ROOF OVERHANG,
SEE ELEV. 1/A2.7
FOR MORE
INFORMATION

EXISTING REFLECTED CEILING PLANS KEYNOTES LEGEND

- 1 REMOVE (E) ACOUSTICAL CEILING GRID AND TILES, TYP.
- 2 REMOVE (E) GYP. BD. SOFFITS, TYP.
- 3 REMOVE (E) GLUED-ON TILES AND CEILING FINISHES, TYP.
- 4 REMOVE (E) MECHANICAL UNITS, EXHAUST FANS, DUCTWORK, LOUVERS AND GRILLES, TYP.
- 5 REMOVE (E) LIGHTING FIXTURES AND WIRING, TYP.
- 6 REMOVE (E) PLUMBING AND CAP BACK TO SOURCE, TYP.



SCALE: 1/4" = 1'-0"



- 1 DEMOLITION GROUND FLOOR RCP
1/4" = 1'-0"



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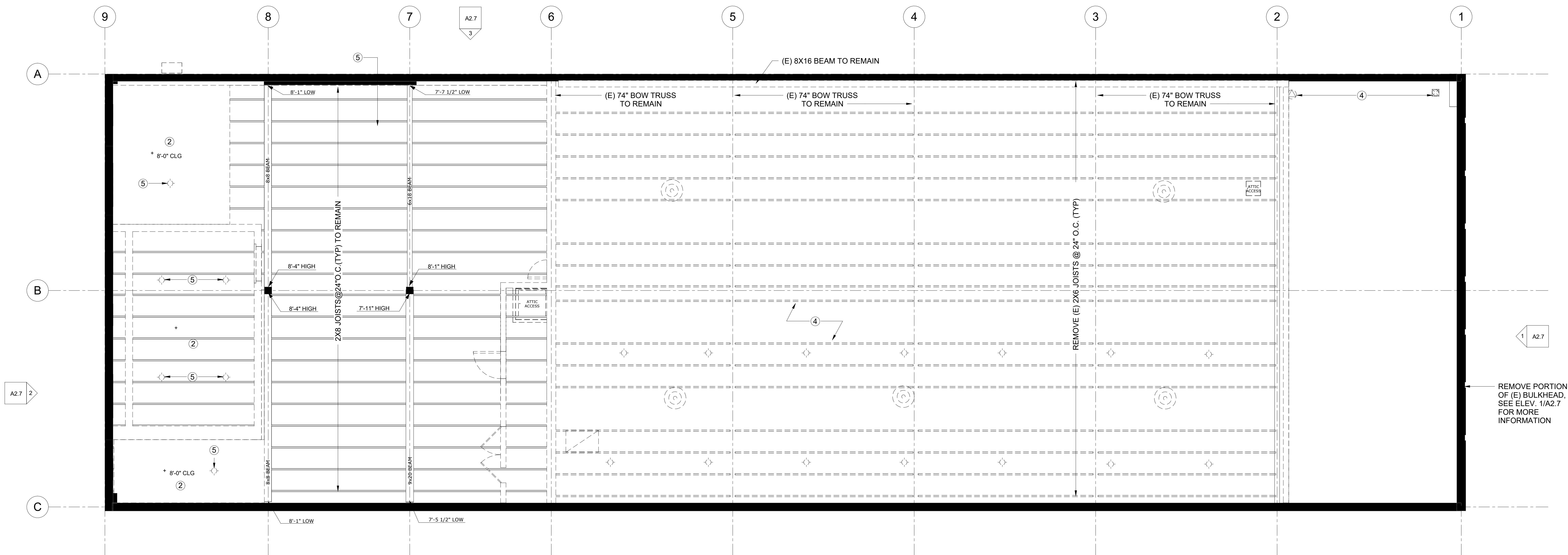
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ISSUE
PLANNING
RESUBMITTAL
DEMOLITION
MEZZANINE REFLECTED
CEILING PLAN

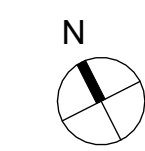
SHEET NO.

A2.5



EXISTING REFLECTED CEILING PLANS KEYNOTES LEGEND

- 1 REMOVE (E) ACOUSTICAL CEILING GRID AND TILES, TYP.
- 2 REMOVE (E) GYP. BD. SOFFITS, TYP.
- 3 REMOVE (E) GLUED-ON TILES AND CEILING FINISHES, TYP.
- 4 REMOVE (E) MECHANICAL UNITS, EXHAUST FANS, DUCTWORK, LOUVERS AND GRILLES, TYP.
- 5 REMOVE (E) LIGHTING FIXTURES AND WIRING, TYP.
- 6 REMOVE (E) PLUMBING AND CAP BACK TO SOURCE, TYP.



SCALE: 1/4" = 1'-0"



- 1 DEMOLITION MEZZANINE RCP
1/4" = 1'-0"



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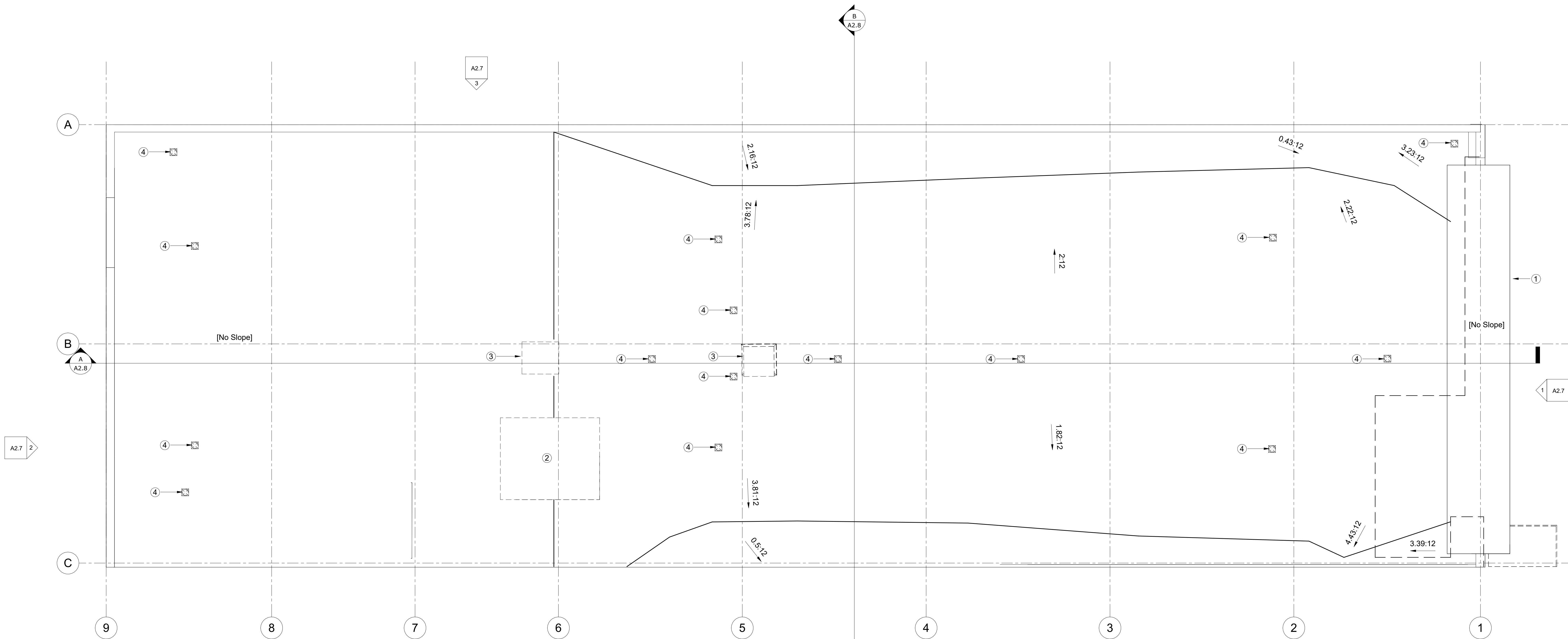
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ISSUE
PLANNING
RESUBMITTAL
DEMOLITION ROOF
PLAN

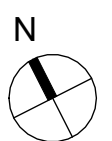
SHEET NO.

A2.6



NOTE:

(E) ROOF TO REMAIN WITH (N) PENETRATIONS, COORDINATE WITH ARCHITECT
AND GENERAL CONTRACTOR FOR (N) SKYLIGHT PLACEMENT AND DIMENSIONS



SCALE: 1/4" = 1'-0"



EXISTING ROOF PLAN KEYNOTES LEGEND

- ① REMOVE (E) ROOF SOFFIT FRAMING AND FINISHES, TYP.
- ② REMOVE (E) MECHANICAL UNIT
- ③ REMOVE (E) ROOF HATCH, TYP.
- ④ REMOVE (E) VENTS, TYP.

① DEMOLITION ROOF PLAN
1/4" = 1'-0"



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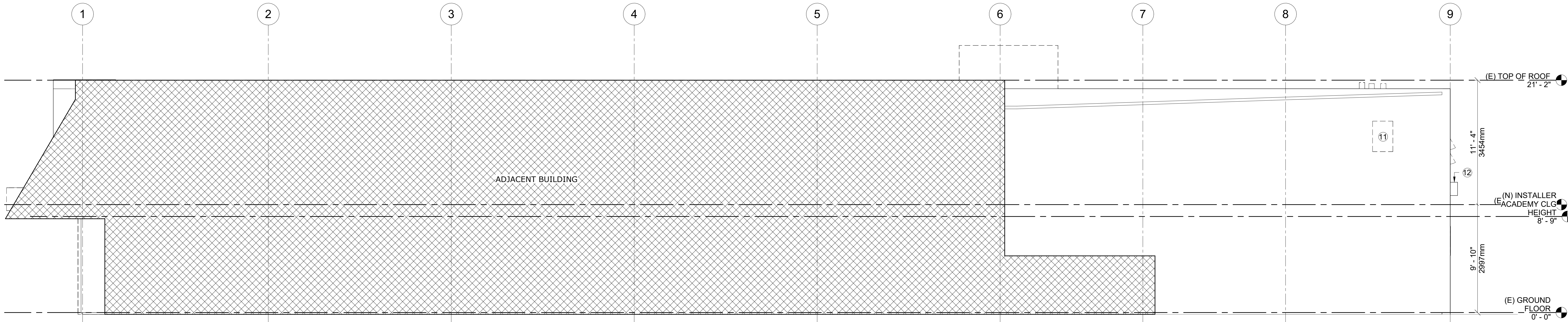
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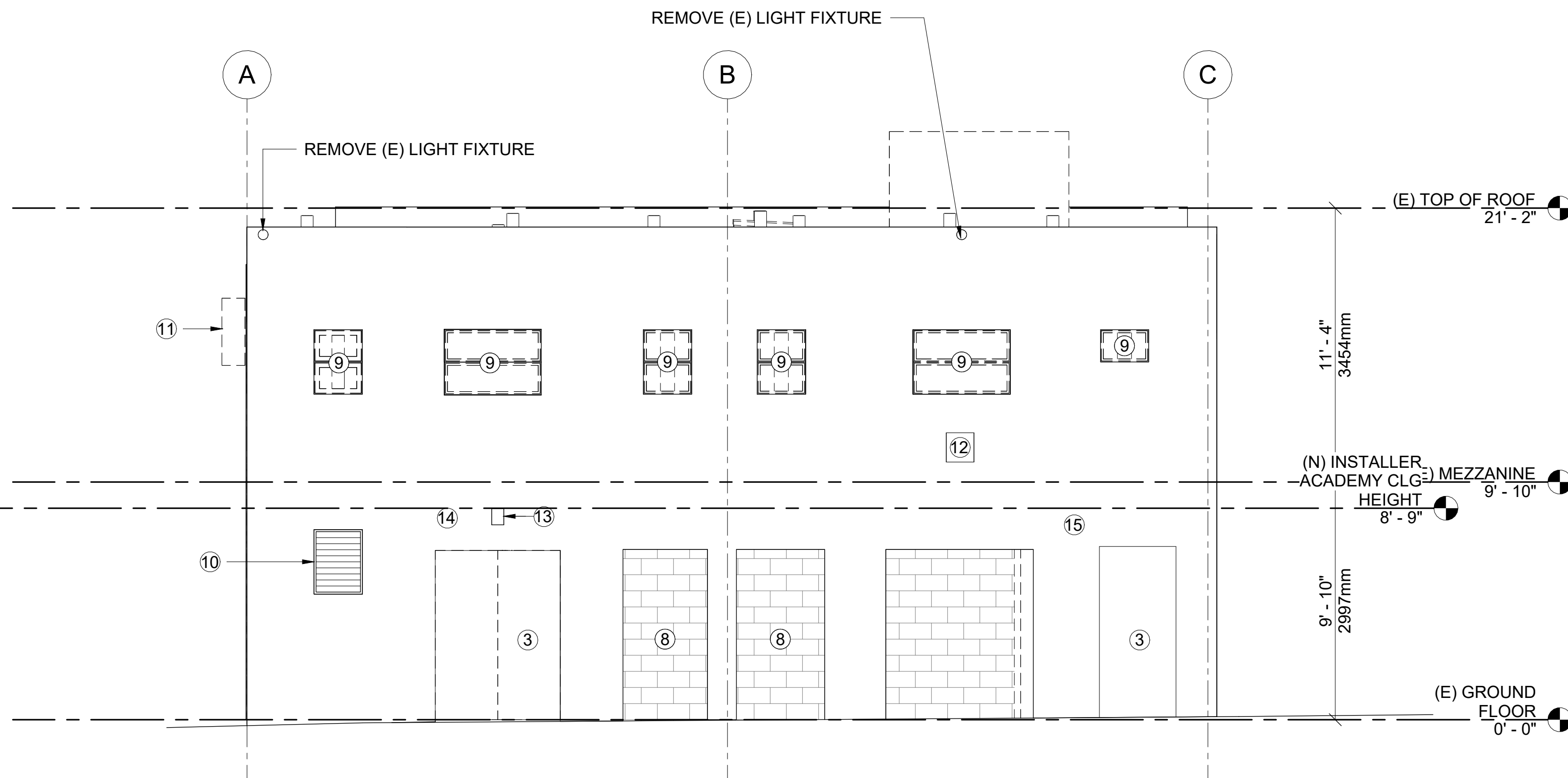
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ISSUE
PLANNING
RESUBMITTAL
DEMOLITION EXTERIOR
ELEVATIONS

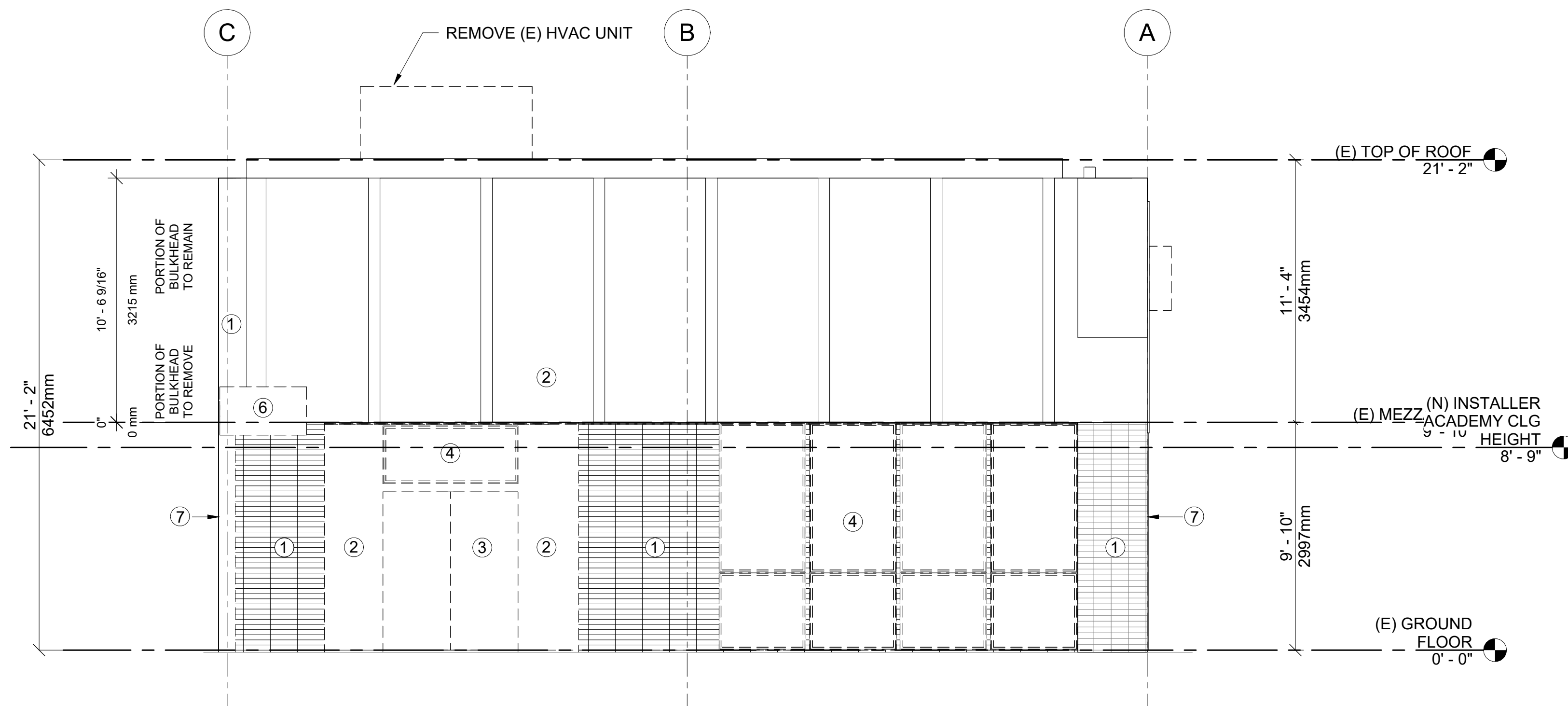
SHEET NO.
A2.7



3 DEMOLITION NORTH ELEVATION
1/4" = 1'-0"



2 DEMOLITION WEST ELEVATION
1/4" = 1'-0"



1 DEMOLITION EAST ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATIONS KEYNOTES LEGEND

- 1 REMOVE (E) BRICK FAÇADE AT STOREFRONT, TYP.
- 2 REMOVE (E) WALL FRAMING AND FINISHES AT THE STOREFRONT TYP.
- 3 REMOVE (E) STOREFRONT DOORS AND FRAMES, TYP.
- 4 REMOVE (E) STOREFRONT GLAZING AND FRAMES, TYP.
- 5 REMOVE (E) STOREFRONT SOFFIT AT ROOF PARAPET
- 6 REMOVE (E) STOREFRONT SOFFIT BEYOND GRIDLINE 'C' AND REBUILD PER NEW SCOPE OF WORK
- 7 REMOVE (E) STOREFRONT TO CENTER OF GRIDLINE 'A' AND 'C'. DO NOT REMOVE PAST GRIDLINES, U.O.N.
- 8 REMOVE (E) BLOCK WALL IN-FILL FOR (N) WINDOWS, TYP.
- 9 REMOVE (E) WINDOWS FOR (N) WINDOWS, TYP.
- 10 REMOVE (E) LOUVER FORE (N) WINDOW
- 11 REMOVE (E) MECHANICAL UNIT ON SIDE WALL
- 12 REMOVE (E) ALARM BOX
- 13 REMOVE (E) LIGHTING AND EXPOSED CONDUIT, TYP.
- 14 PREPARE EXTERIOR FOR NEW SIGNAGE
- 15 PREPARE EXTERIOR WALL AT ALLEY FOR NEW ROOF ACCESS LADDER



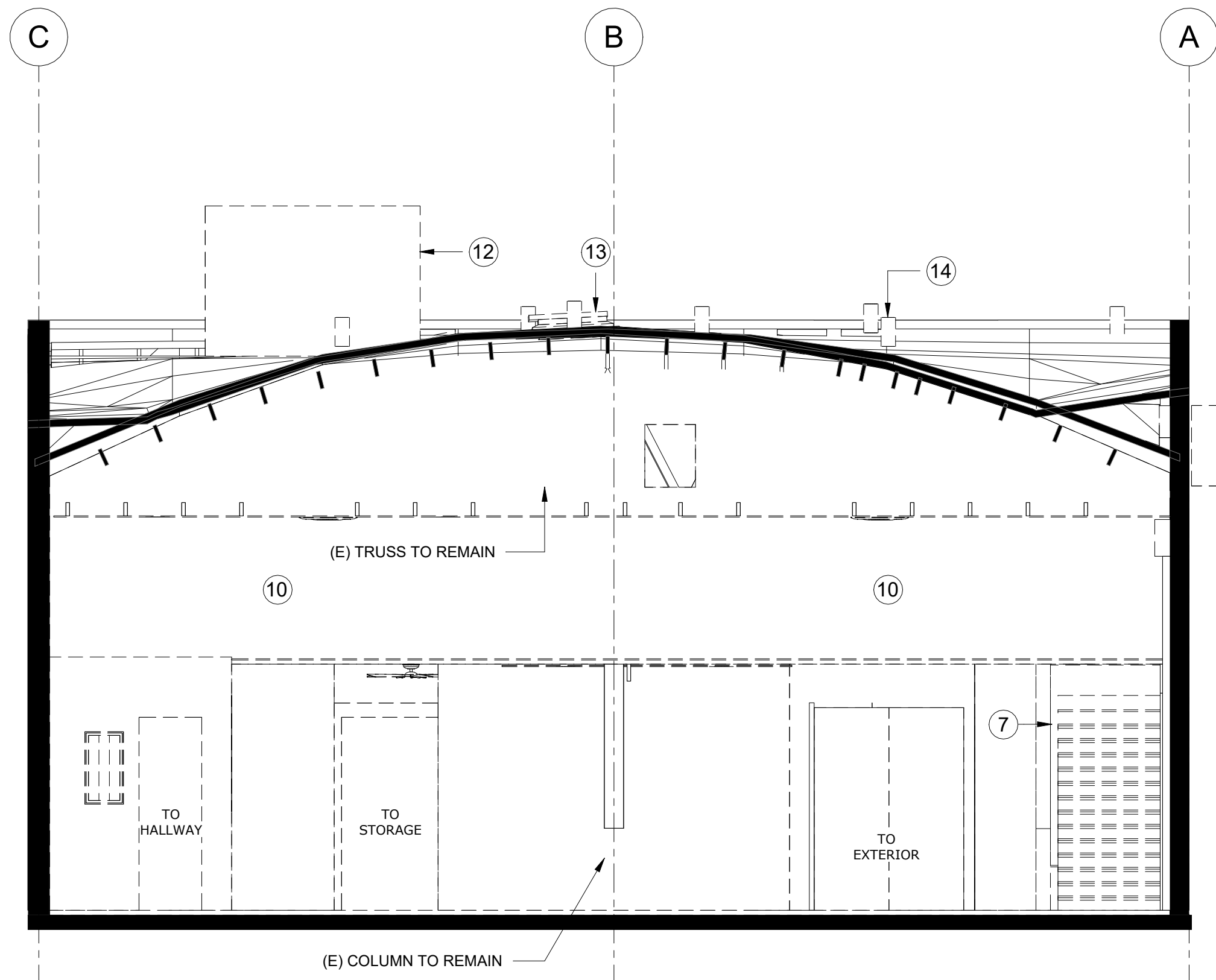
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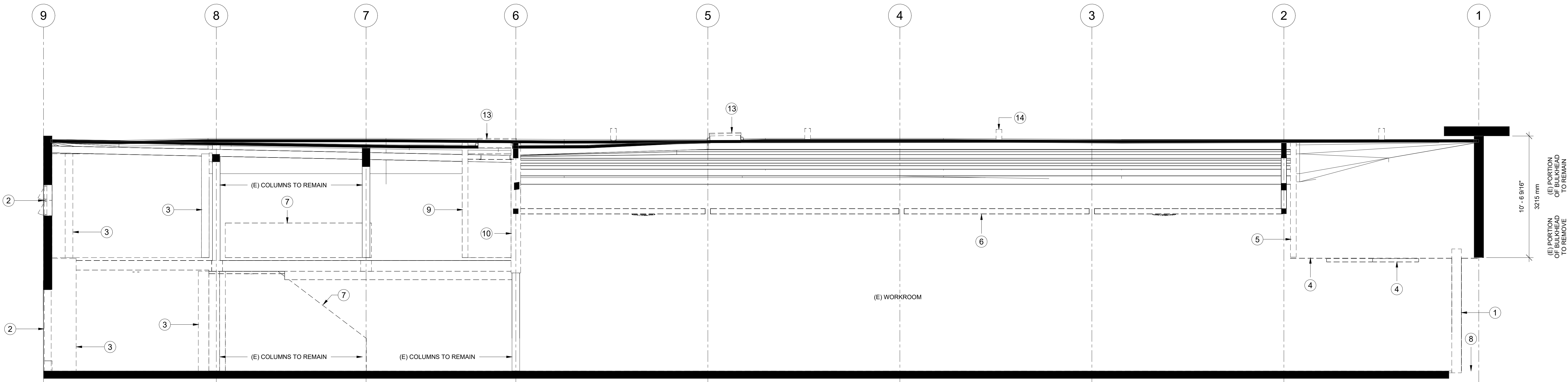
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PLANNING
RESUBMITTAL
SHEET TITLE
DEMOLITION BUILDING
SECTIONS

SHEET NO.
A2.8



B DEMOLITION TRANSVERSE SECTION
1/4" = 1'-0"



A DEMOLITION LONGITUDINAL SECTION
1/4" = 1'-0"



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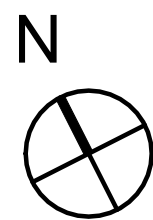
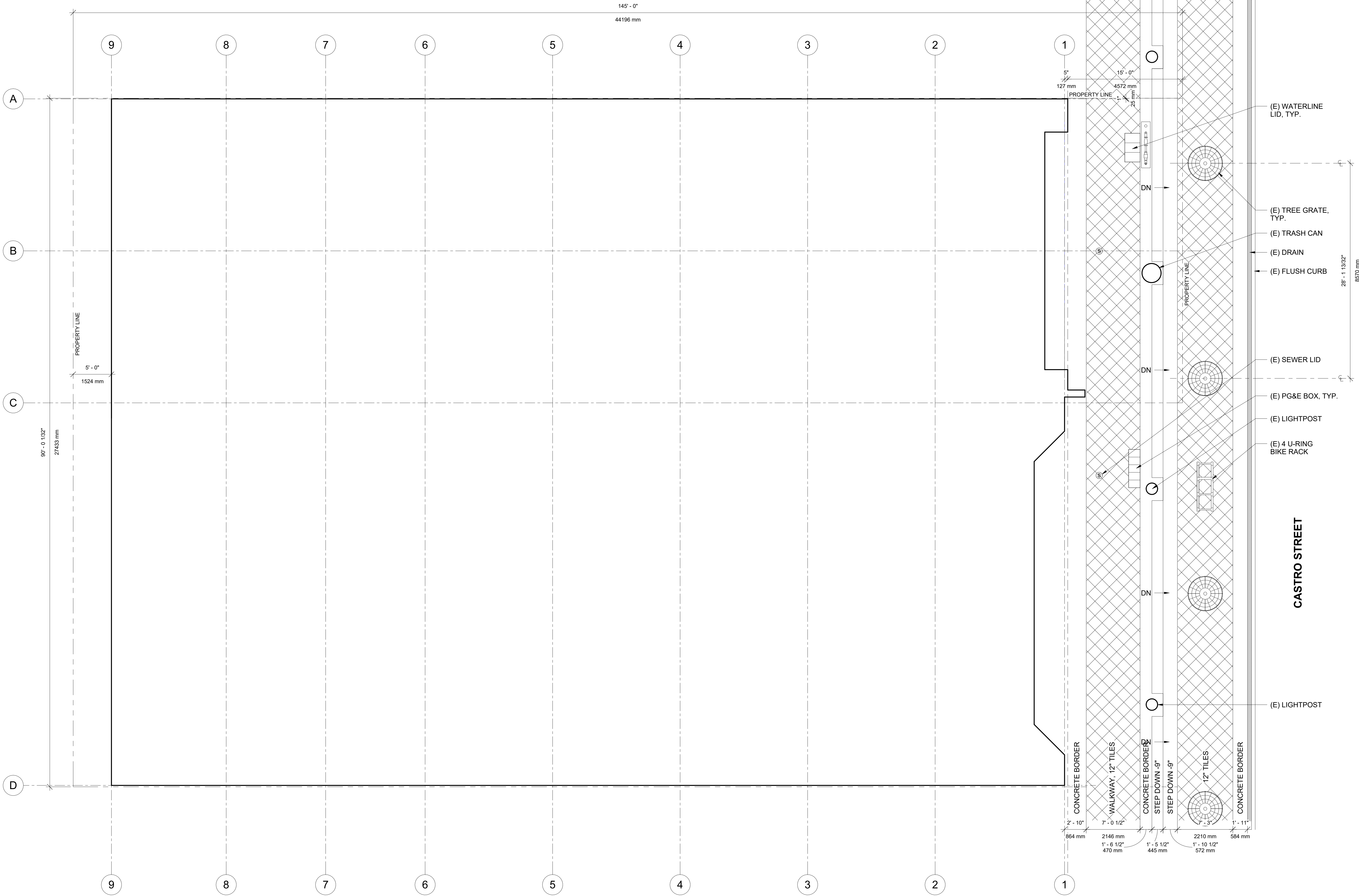
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ISSUE
PLANNING
RESUBMITTAL
PROPOSED SITE PLAN

SHEET NO.
A3.1



SCALE: 3/16" = 1'-0"

0 8 16 24 32 FT

1 PROPOSED SITE PLAN
3/16" = 1'-0"



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RESUBMITTAL
PROPOSED GROUND
FLOOR PLAN

SHEET NO.

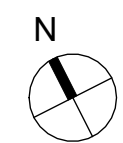
A3.2

PROPOSED FLOORPLANS KEYNOTES LEGEND

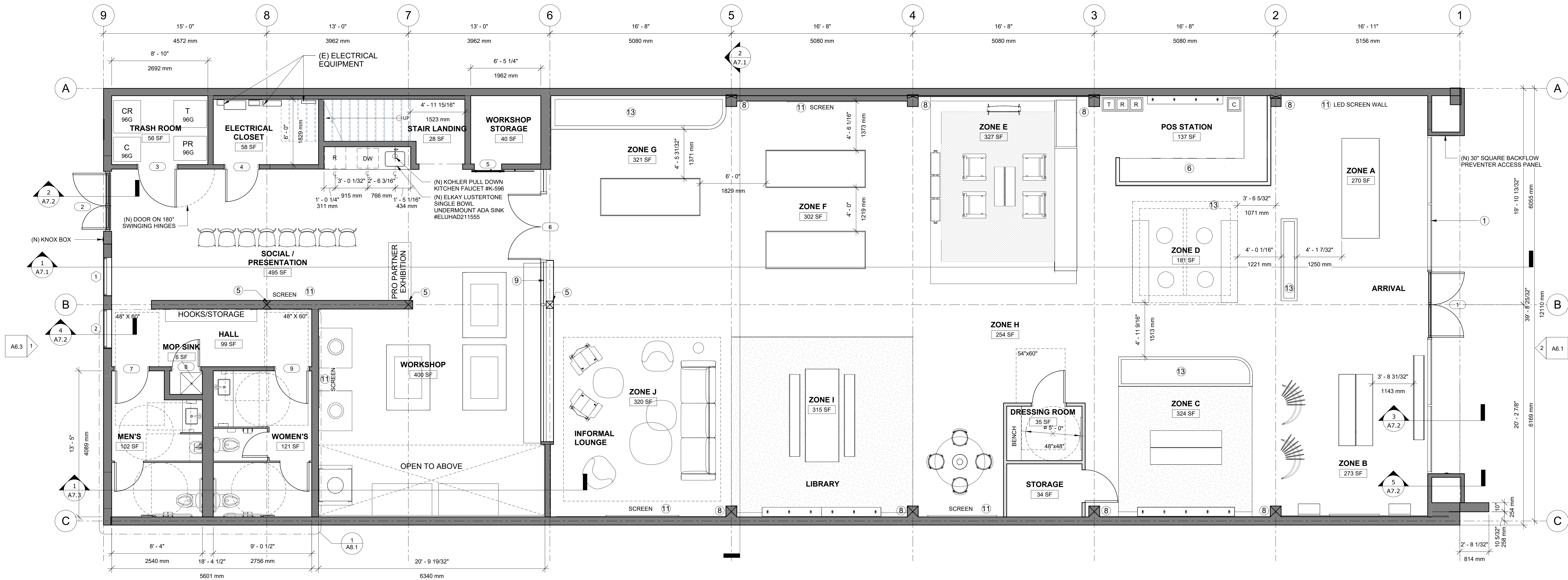
- 1 STOREFRONT, SEE STOREFRONT ELEVATION.
- 2 FRAMING FOR (N) FINISHES AND STOREFRONT PROFILE, TYP.
- 3 CONCRETE FOUNDATION SLAB IN-FILL AT NEW STOREFRONT AND ZONE 'B'
- 4 WALL PARTITION, TYP.
- 5 EXISTING POST TO REMAIN, TYP.
- 6 POS STATION COUNTER AND CABINETRY
- 7 MEZZANINE STRUCTURE WITH STAIRS.
- 8 VERTICAL WALL PILASTER, TYP.
- 9 DEMISING WALL AND WINDOW SYSTEM.
- 10 FIXTURES, FINISHES AND EQUIPMENT TO BE COORDINATED WITH GENERAL CONTRACTOR AND VELUX.
- 11 WHERE WALL MOUNTED SCREENS AND MONITORS ARE LOCATED, COORDINATE ELECTRICAL REQUIREMENTS, TYP.
- 12 KITCHENETTE CABINETRY
- 13 PLANTER, TYP.

VELUX CONVERSATION ZONES

- ZONE A DAYLIGHT CONVERSATIONS
ZONE B DEDICATED RETAIL
ZONE C WELLBEING CONVERSATIONS
ZONE D INFORMAL MEETING
ZONE E INFORMAL MEETING
ZONE F SUSTAINABILITY CONVERSATIONS
ZONE G CONTROLLABILITY CONVERSATIONS
ZONE H MEETING ZONE
ZONE I HERITAGE CONVERSATIONS
ZONE J INFORMAL LOUNGE



SCALE: 1/4" = 1'-0"



NOTES:

1. SEE SHEET A8.2 FOR (N) INTERIOR FINISHES

- 1 PROPOSED GROUND FLOOR
1/4" = 1'-0"

TOTAL GROUND FLOOR AREA = 4,896 SF



VELUX EXPERIENCE CENTER

312-314 CASTRO STREET
MOUNTAIN VIEW, CA 94041

REVISION		
No.	Description	Date

DERN PROJECT NUMBER
2411
DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
PROPOSED MEZZANINE
FLOOR PLAN

SHEET NO.

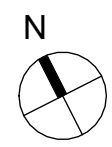
A3.3

PROPOSED FLOORPLANS KEYNOTES LEGEND

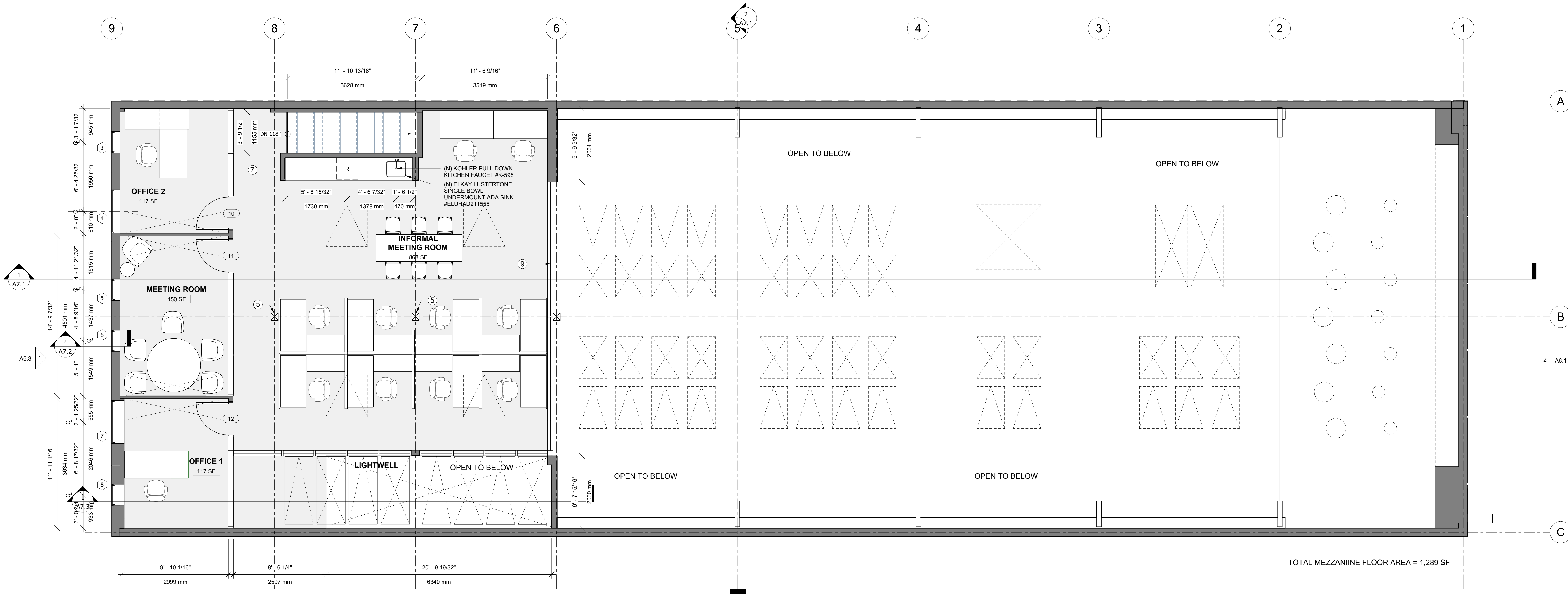
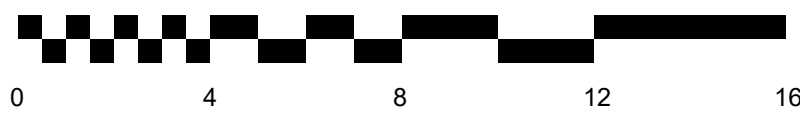
- STOREFRONT, SEE STOREFRONT ELEVATION.
- FRAMING FOR (N) FINISHES AND STOREFRONT PROFILE, TYP.
- CONCRETE FOUNDATION SLAB IN-FILL AT NEW STOREFRONT AND ZONE 'B'
- WALL PARTITION, TYP.
- EXISTING POST TO REMAIN, TYP.
- POS STATION COUNTER AND CABINETRY
- MEZZANINE STRUCTURE WITH STAIRS.
- VERTICAL WALL PILASTER, TYP.
- DEMISING WALL AND WINDOW SYSTEM.
- FIXTURES, FINISHES AND EQUIPMENT TO BE COORDINATED WITH GENERAL CONTRACTOR AND VELUX.
- WHERE WALL MOUNTED SCREENS AND MONITORS ARE LOCATED, COORDINATE ELECTRICAL REQUIREMENTS, TYP.
- KITCHENETTE CABINETRY
- PLANTER, TYP.

VELUX CONVERSATION ZONES

- ZONE A DAYLIGHT CONVERSATIONS
ZONE B DEDICATED RETAIL
ZONE C WELLBEING CONVERSATIONS
ZONE D INFORMAL MEETING
ZONE E INFORMAL MEETING
ZONE F SUSTAINABILITY CONVERSATIONS
ZONE G CONTROLLABILITY CONVERSATIONS
ZONE H MEETING ZONE
ZONE I HERITAGE CONVERSATIONS
ZONE J INFORMAL LOUNGE



SCALE: 1/4" = 1'-0"



1 PROPOSED MEZZANINE LEVEL
1/4" = 1'-0"



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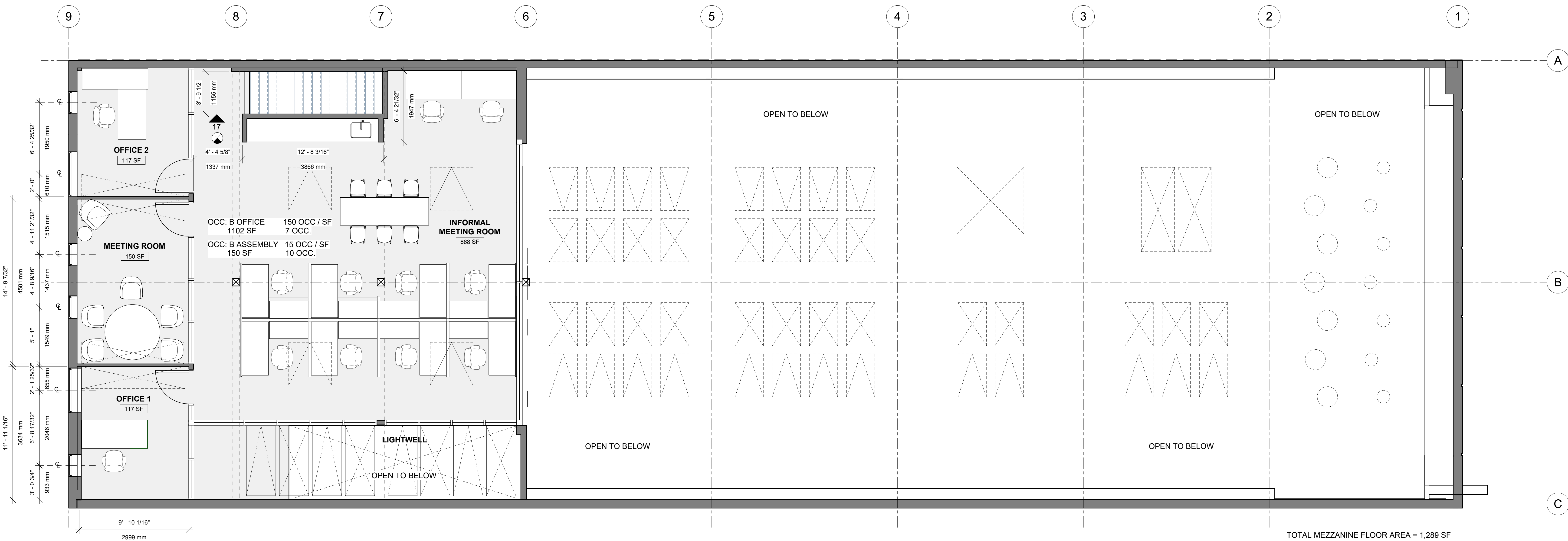
DERN PROJECT NUMBER
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RESUBMITTAL
PROPOSED EGRESS
PLANS

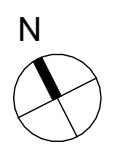
SHEET NO.

A3.4



PROPOSED MEZZANINE LEVEL EGRESS

PLAN
1/4" = 1'-0"

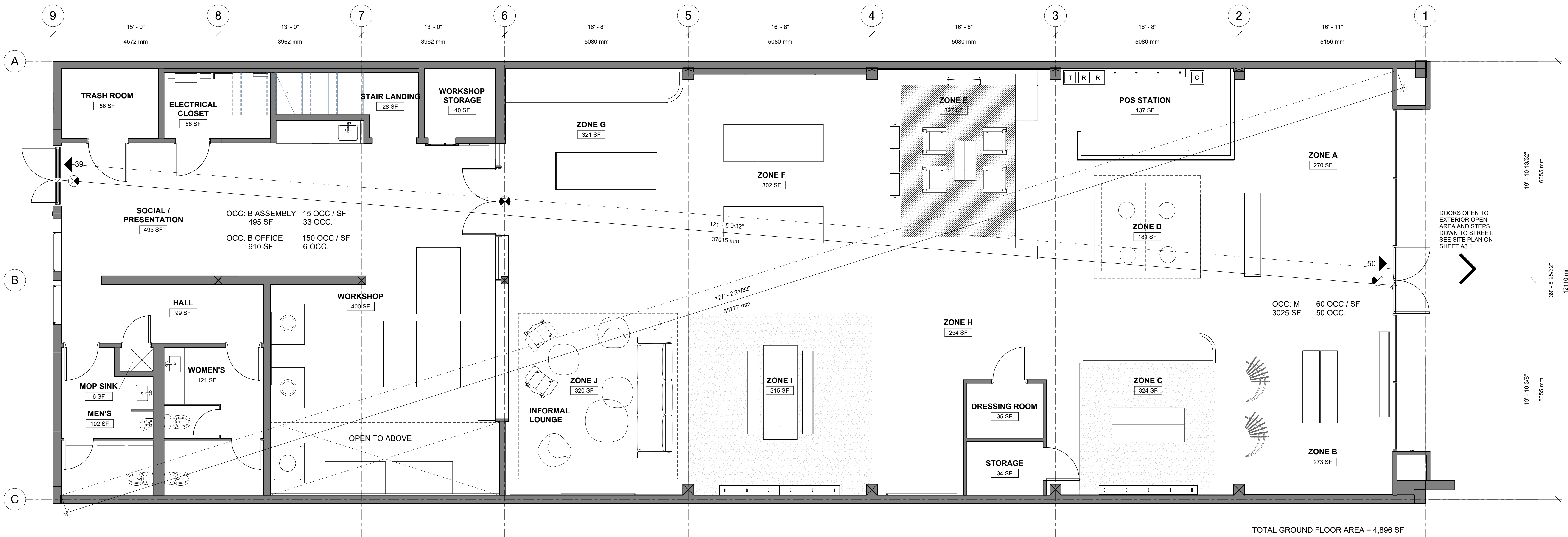


SCALE: 1/4" = 1'-0"



EGRESS PLANS - GENERAL NOTES

1. ALL OCCUPANCY LOADS FOLLOW CBC 1004 (SEE CBC 1004.8 & TABLE 1004.5).
2. SEE SHEETS A9.2-A9.4 FOR DOOR INFORMATION INCLUDING DOOR SCHEDULES, DOOR TYPES, DOOR FRAMES, HARDWARE GROUPS, FIRE RATING INFORMATION, AND DETAILS.
3. SEE SHEET A0.3 FOR REQUIRED ADA FLOOR CLEARANCES AND MOUNTING HEIGHTS.
4. ALL STAIRS SHALL HAVE MAXIMUM 7" TALL RISERS, MINIMUM 11" DEEP TREADS.
5. RAILINGS FOR STAIRS SHALL BE 1 1/2" O.D. HANDRAILS AT 36" ABOVE STAIR NOSING.



PROPOSED GROUND FLOOR EGRESS

PLAN
1/4" = 1'-0"



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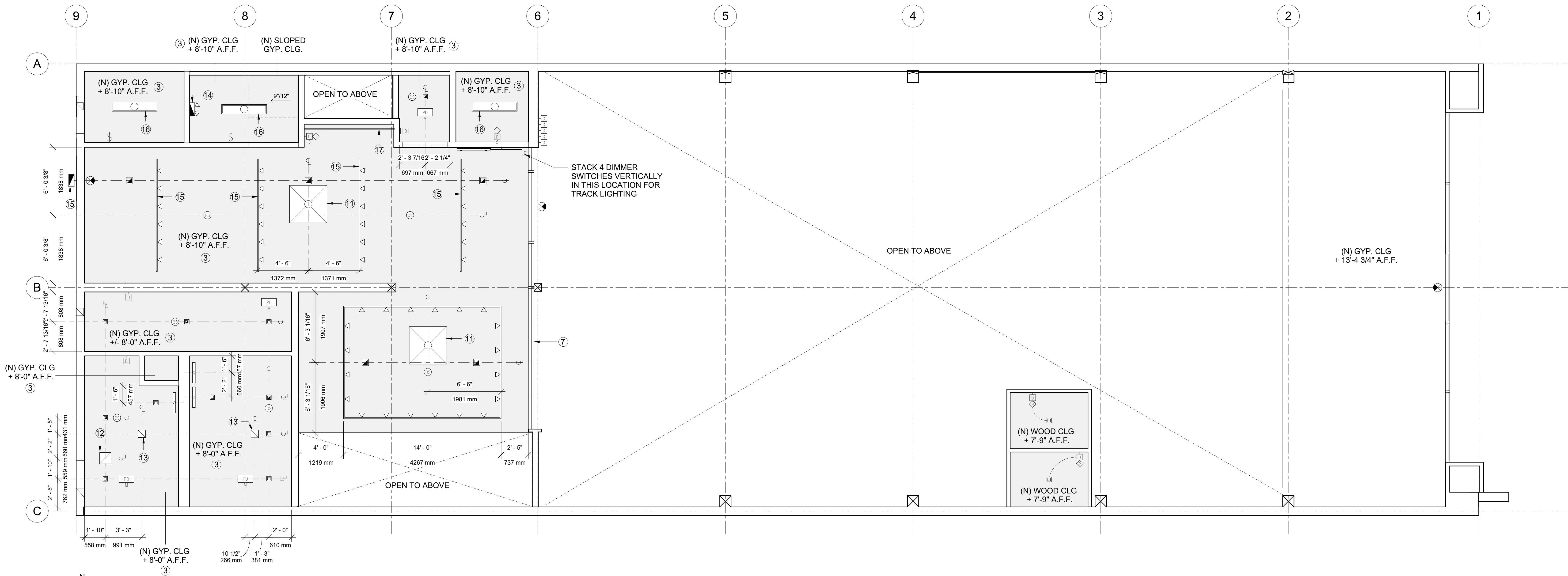
DERN PROJECT NUMBER
2411

DATE
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ISSUE
PLANNING
RESUBMITTAL
PROPOSED REFLECTED
CEILING PLAN -
GROUND FLOOR

SHEET NO.

A4.1



REFLECTED CEILING PLANS KEYNOTES LEGEND

- | | |
|--|--|
| ① (N) OFFICE PARTITION SYSTEM WITH GLAZING AND DOOR FRAMES, TYP. | ⑨ (N) SUN TUNNELS W/ (10) 14" Ø AND (10) 22" Ø, TYP. |
| ② (N) WALL PARTITION, TYP. | ⑩ (N) 12" Ø DUCTS |
| ③ (N) GYP. BD. CEILING, TYP. | ⑪ (N) SUPPLY AIR REGISTER |
| ④ (N) SUSPENDED LIGHT WELL WITH GYP.BD. INTERIOR AND WOOD FINISH EXTERIOR. | ⑫ (N) RETURN AIR REGISTER |
| ⑤ (N) GLASS LIGHT WELL | ⑬ (N) EXHAUST FAN |
| ⑥ (E) BOW TRUSS, TYP. | ⑭ (N) EMERGENCY LIGHTING |
| ⑦ (N) CURTAIN WALL PANELS, TYP. | ⑮ (N) TRACK LIGHTING |
| ⑧ (N) SKYLIGHT, TYP. | ⑯ (N) RECTANGULAR DOWNLIGHTING |
| | ⑰ (N) LED LIGHT STRIP |

LIGHTING SYMBOLS

- | | |
|--|--|
| | LUTRON VIVE PIR OCCUPANCY SENSOR DIMMER |
| | LUTRON 2 BUTTON WIRELESS CONTROL W/ LIGHT ICON - PICO KEYPAD |
| | LUTRON RADIO POWR SAVR WIRELESS CEILING OCCUPANCY SENSOR |
| | LUTRON LRF2-DCRB-WH (RADIO POWR SAVR WIRELESS DAYLIGHT SENSOR) |
| | LUTRON VIVE POWPAK DIMMING MODULE |
| | LUTRON VIVE WIRELESS HUB |
| | EMERGENCY LINEAR DOWNLIGHT |
| | EMERGENCY RECESSED DOWNLIGHT |
| | RECESSED DOWNLIGHT |
| | EXIT SIGNAGE |

CLIENT

VELUX

CHRISTOPHER SCHMITH
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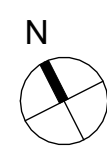
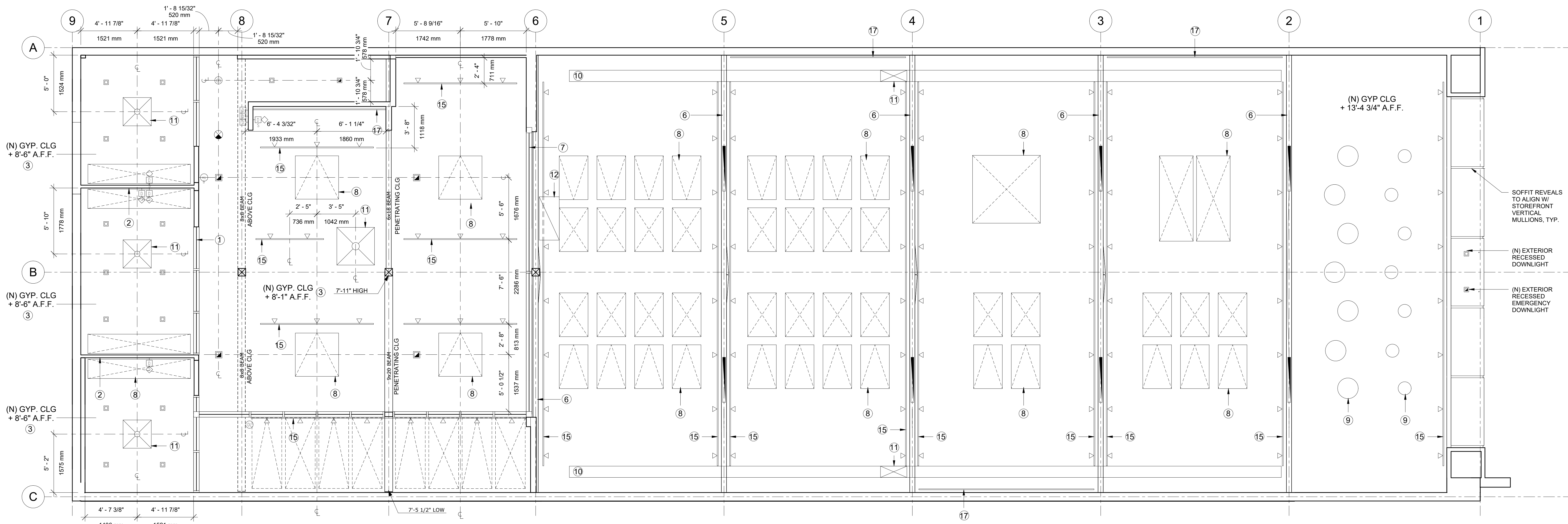
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ISSUE
PLANNING
RESUBMITTAL
PROPOSED REFLECTED
CEILING PLAN -
MEZZANINE LEVEL

SHEET NO.

A4.2



SCALE: 1/4" = 1'-0"



1 PROPOSED MEZZANINE LEVEL CEILING
1/4" = 1'-0"

REFLECTED CEILING PLANS KEYNOTES LEGEND

- | | |
|--|--|
| 1 (N) OFFICE PARTITION SYSTEM WITH GLAZING AND DOOR FRAMES, TYP. | 9 (N) SUN TUNNELS W/ (10) 14" Ø AND (10) 22" Ø, TYP. |
| 2 (N) WALL PARTITION, TYP. | 10 (N) 12" Ø DUCTS |
| 3 (N) GYP. BD. CEILING, TYP. | 11 (N) SUPPLY AIR REGISTER |
| 4 (N) SUSPENDED LIGHT WELL WITH GYP.BD. INTERIOR AND WOOD FINISH EXTERIOR. | 12 (N) RETURN AIR REGISTER |
| 5 (N) GLASS LIGHT WELL | 13 (N) EXHAUST FAN |
| 6 (E) BOW TRUSS, TYP. | 14 (N) EMERGENCY LIGHTING |
| 7 (N) CURTAIN WALL PANELS, TYP. | 15 (N) TRACK LIGHTING |
| 8 (N) SKYLIGHT, TYP. | 16 (N) RECTANGULAR DOWNLIGHTING |
| | 17 (N) LED LIGHT STRIP |

LIGHTING SYMBOLS

- | | |
|--|--|
| | LUTRON VIVE PIR OCCUPANCY SENSOR DIMMER |
| | LUTRON 2 BUTTON WIRELESS CONTROL W/ LIGHT ICON - PICO KEYPAD |
| | LUTRON RADIO POWR SAVR WIRELESS CEILING OCCUPANCY SENSOR |
| | LUTRON LRF2-DCRB-WH (RADIO POWR SAVR WIRELESS DAYLIGHT SENSOR) |
| | LUTRON VIVE POWPAK DIMMING MODULE |
| | LUTRON VIVE WIRELESS HUB |
| | EMERGENCY LINEAR DOWNLIGHT |
| | EMERGENCY RECESSED DOWNLIGHT |
| | RECESSED DOWNLIGHT |
| | EXIT SIGNAGE |

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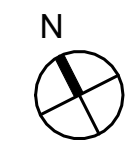
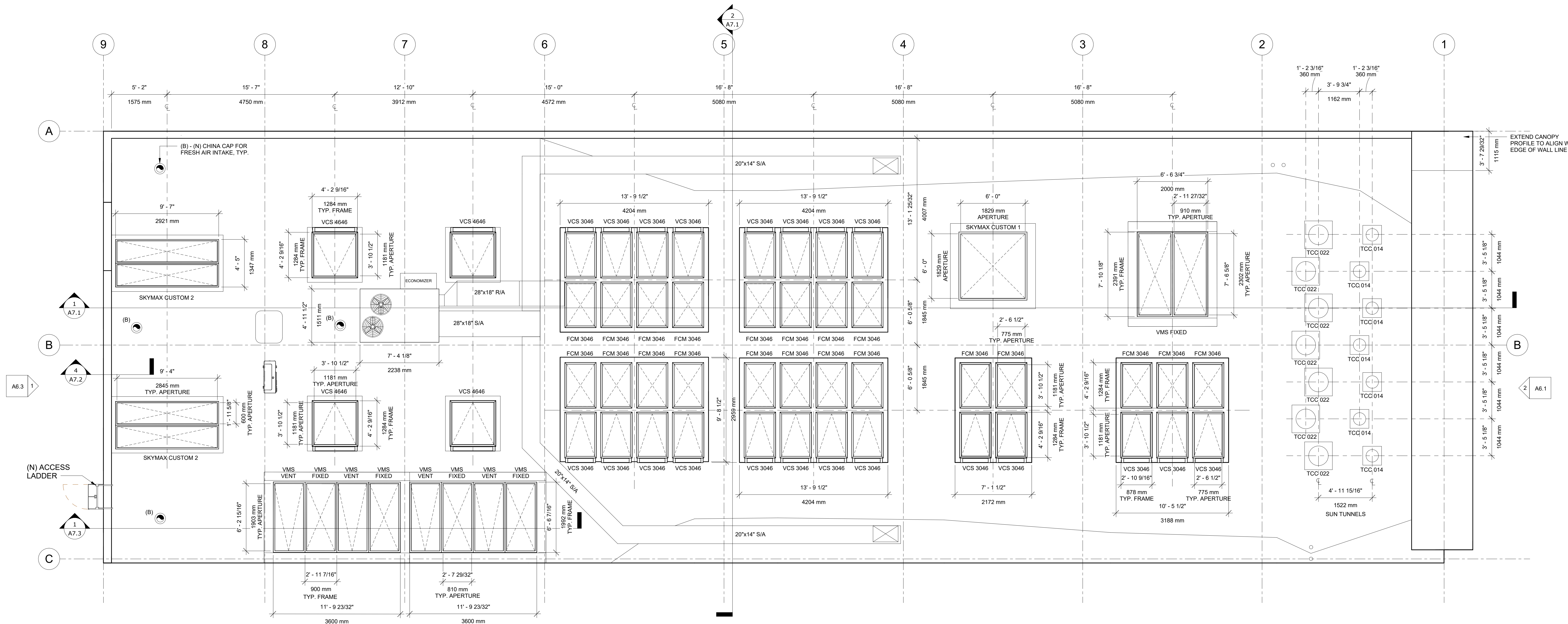
DERN PROJECT NUMBER
2411

DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
PROPOSED ROOF PLAN

SHEET NO.

A5.1



SCALE: 1/4" = 1'-0"



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



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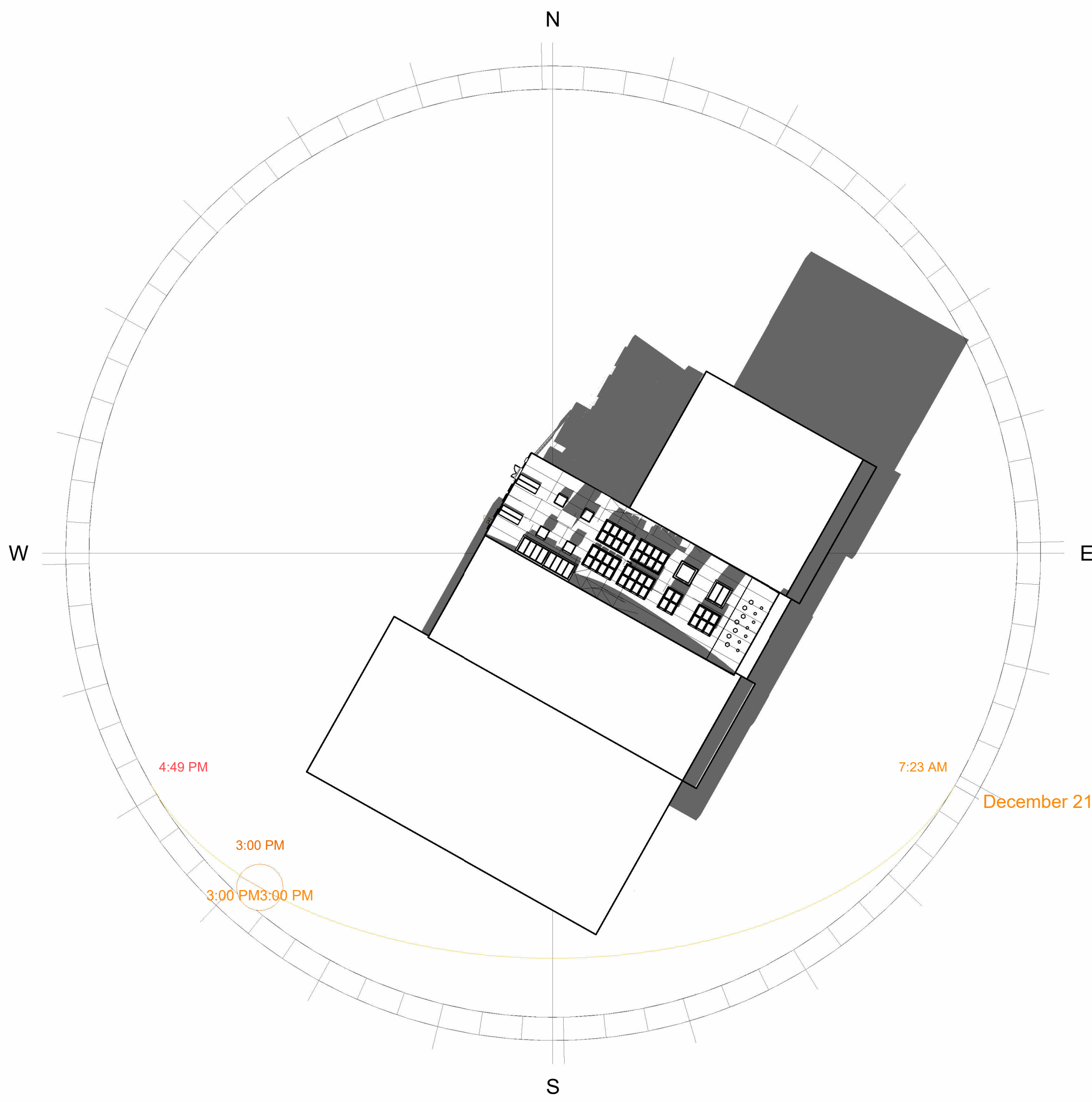
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No.	Description	Date

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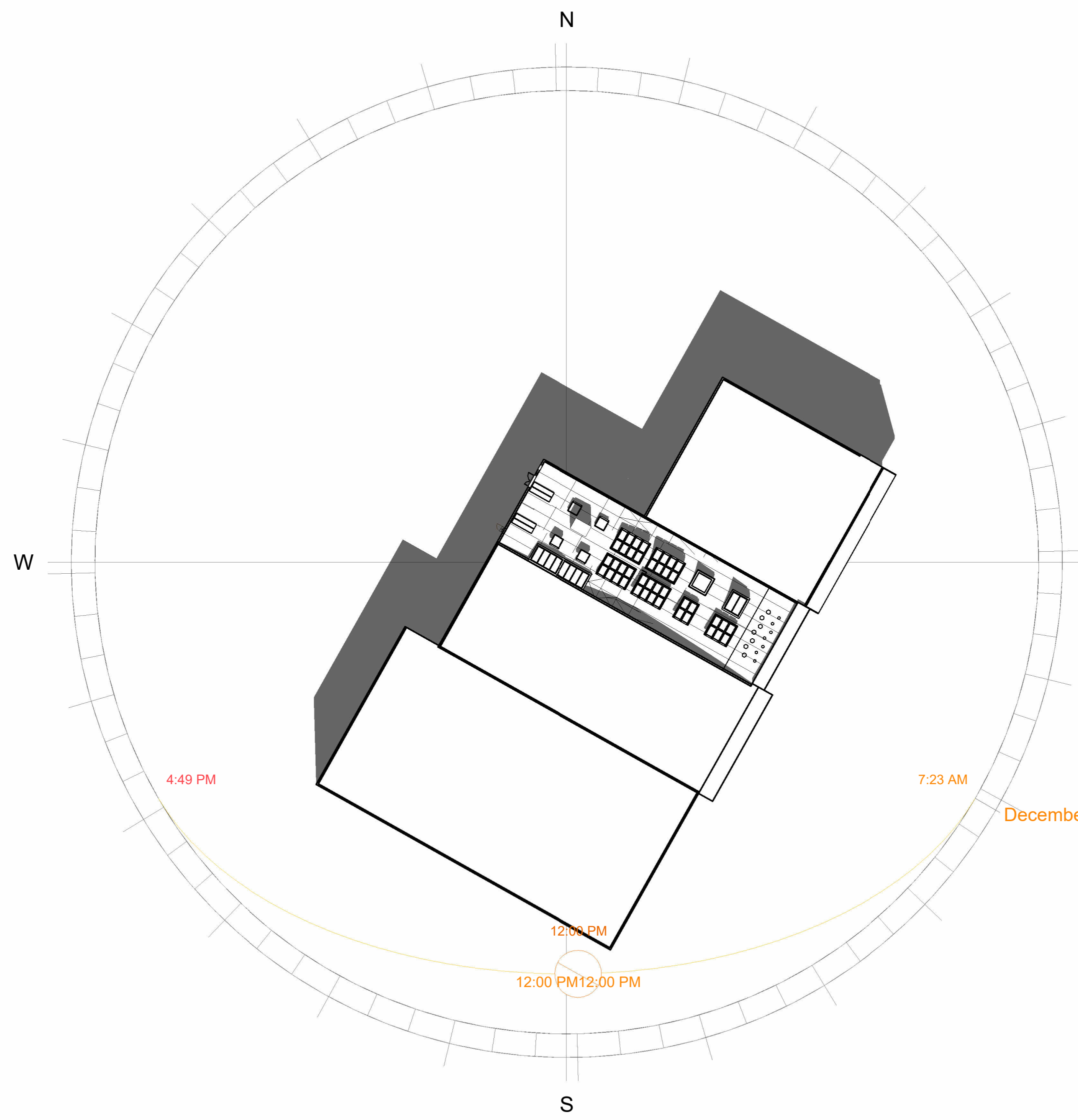
DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
PROPOSED BUILDING
SHADOW STUDIES

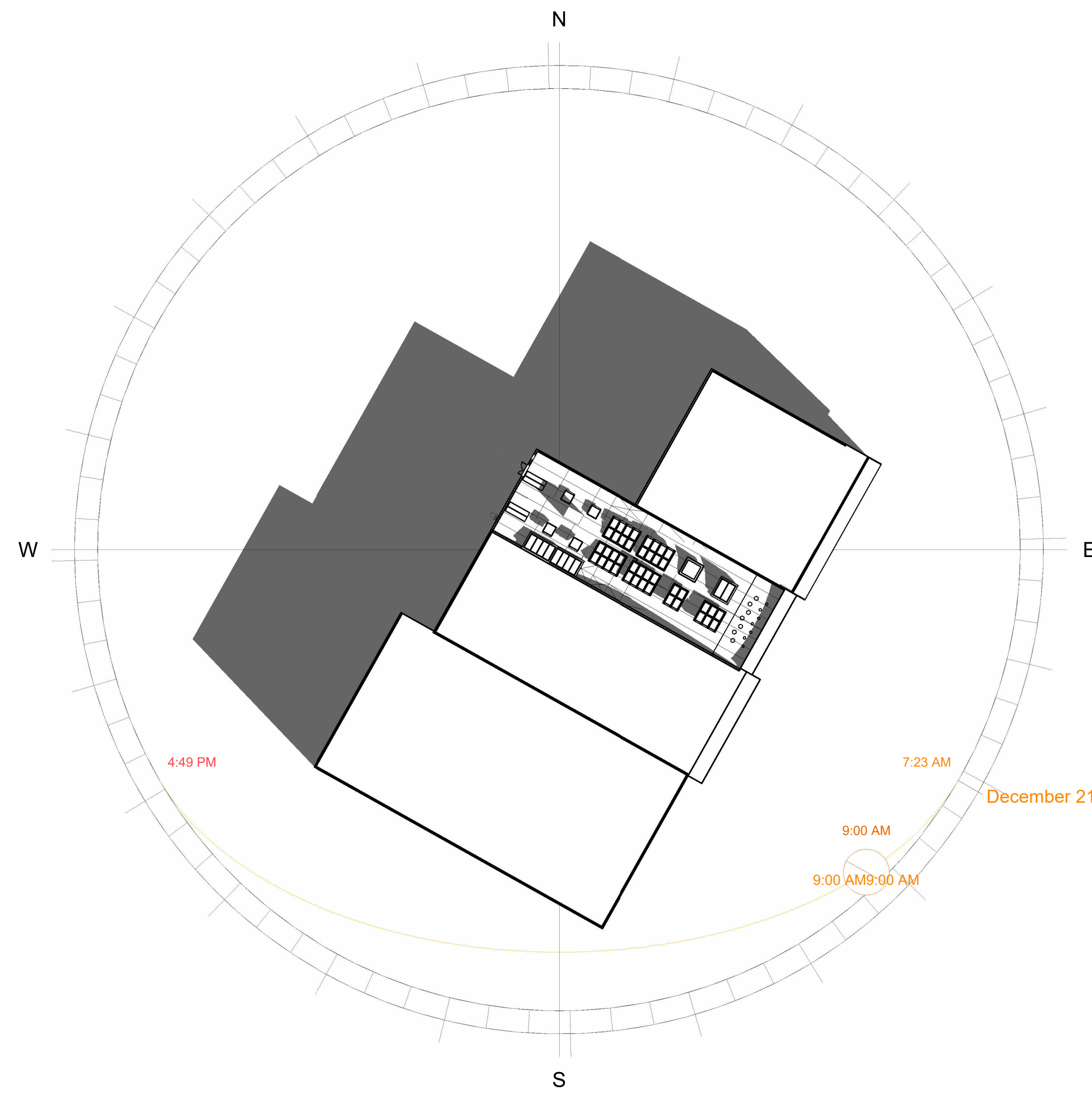
SHEET NO.
A5.2



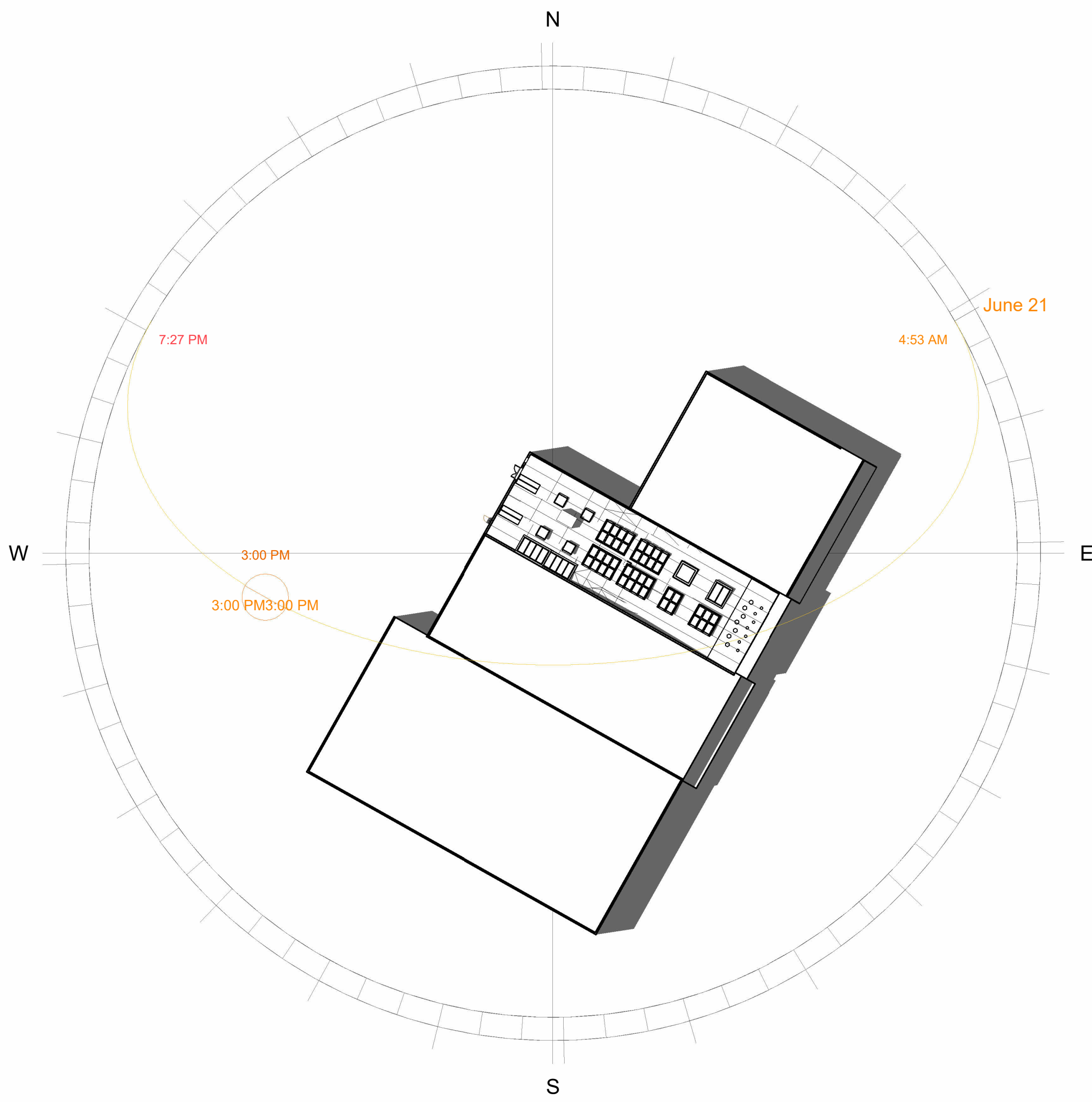
⑥ WINTER SOLSTICE - 3 PM
1" = 40'-0"



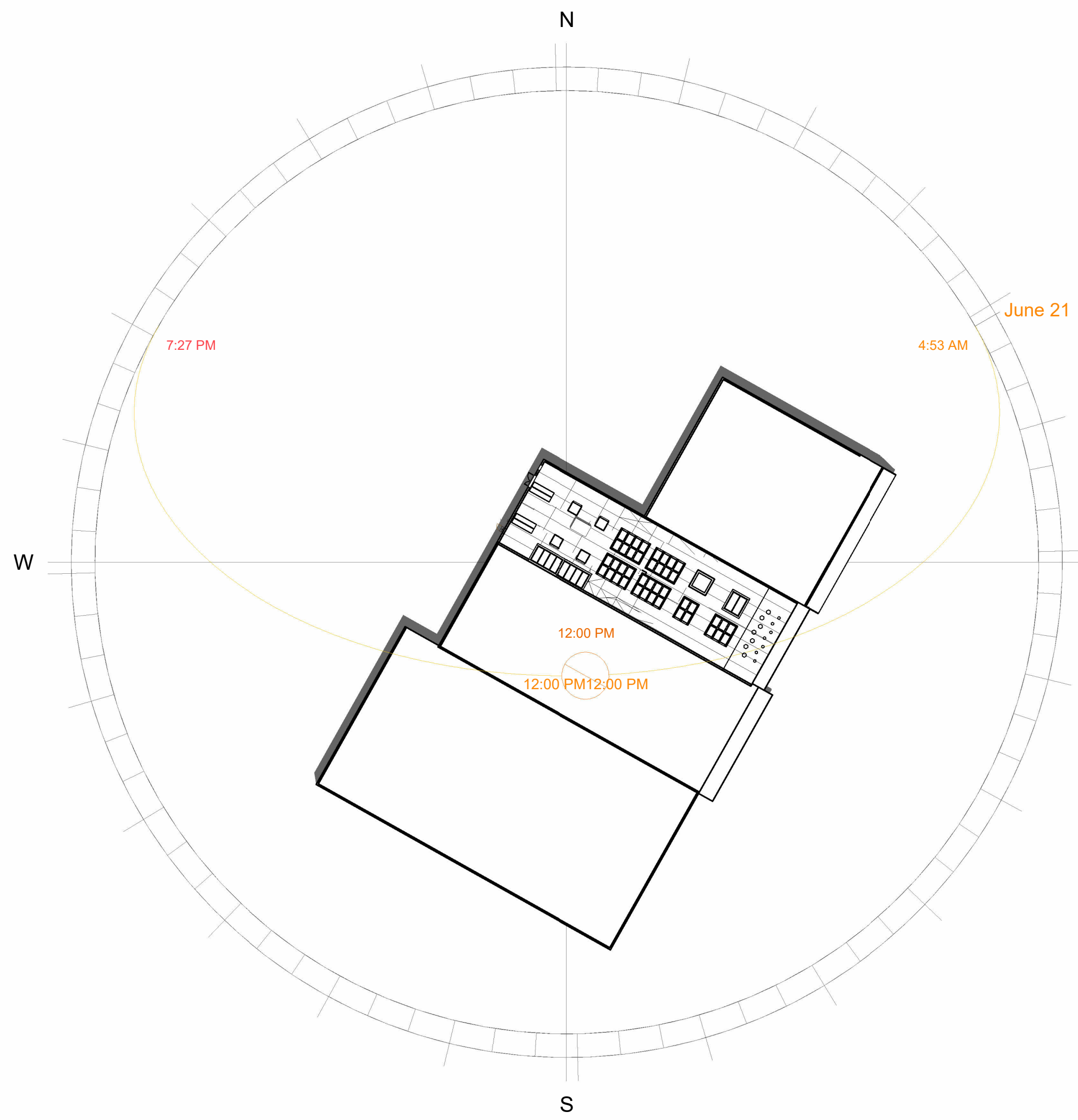
④ WINTER SOLSTICE - 12 PM
1" = 40'-0"



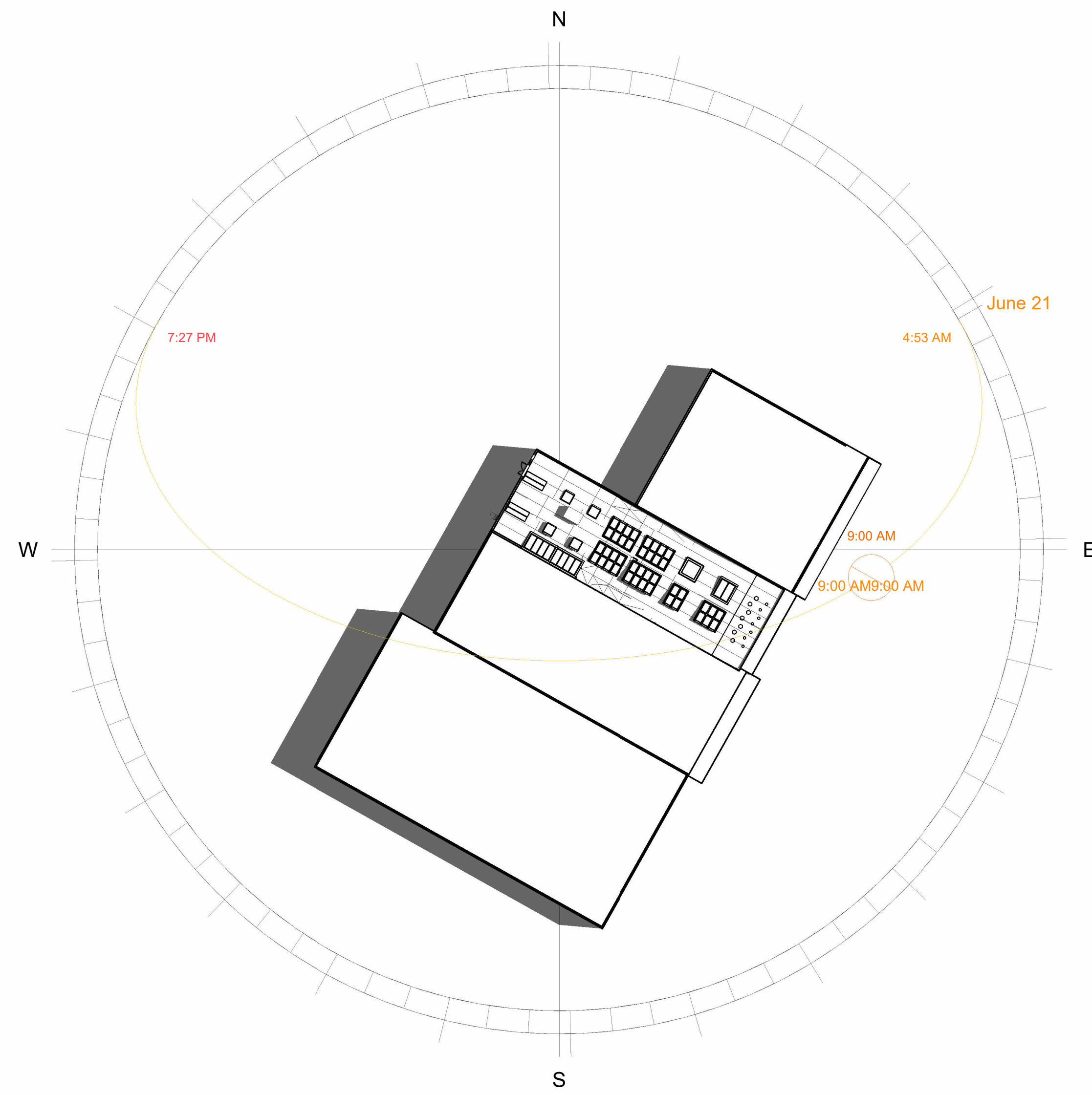
② WINTER SOLSTICE - 9 AM
1" = 40'-0"



⑤ SUMMER SOLSTICE - 3 PM
1" = 40'-0"



③ SUMMER SOLSTICE - 12 PM
1" = 40'-0"



① SUMMER SOLSTICE - 9 AM
1" = 40'-0"



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312-314 CASTRO STREET
MOUNTAIN VIEW, CA 94041

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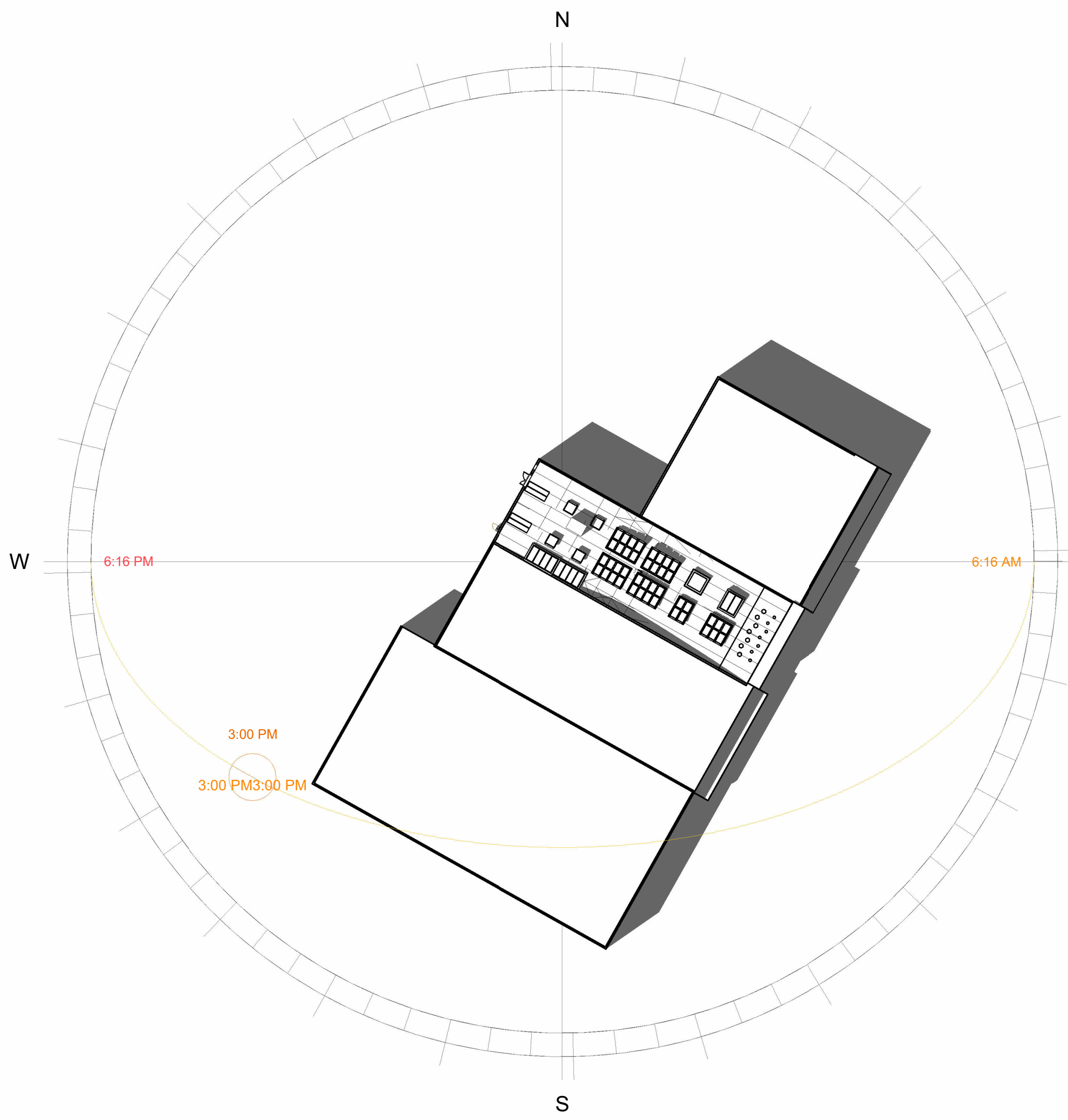
DERN PROJECT NUMBER
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DATE
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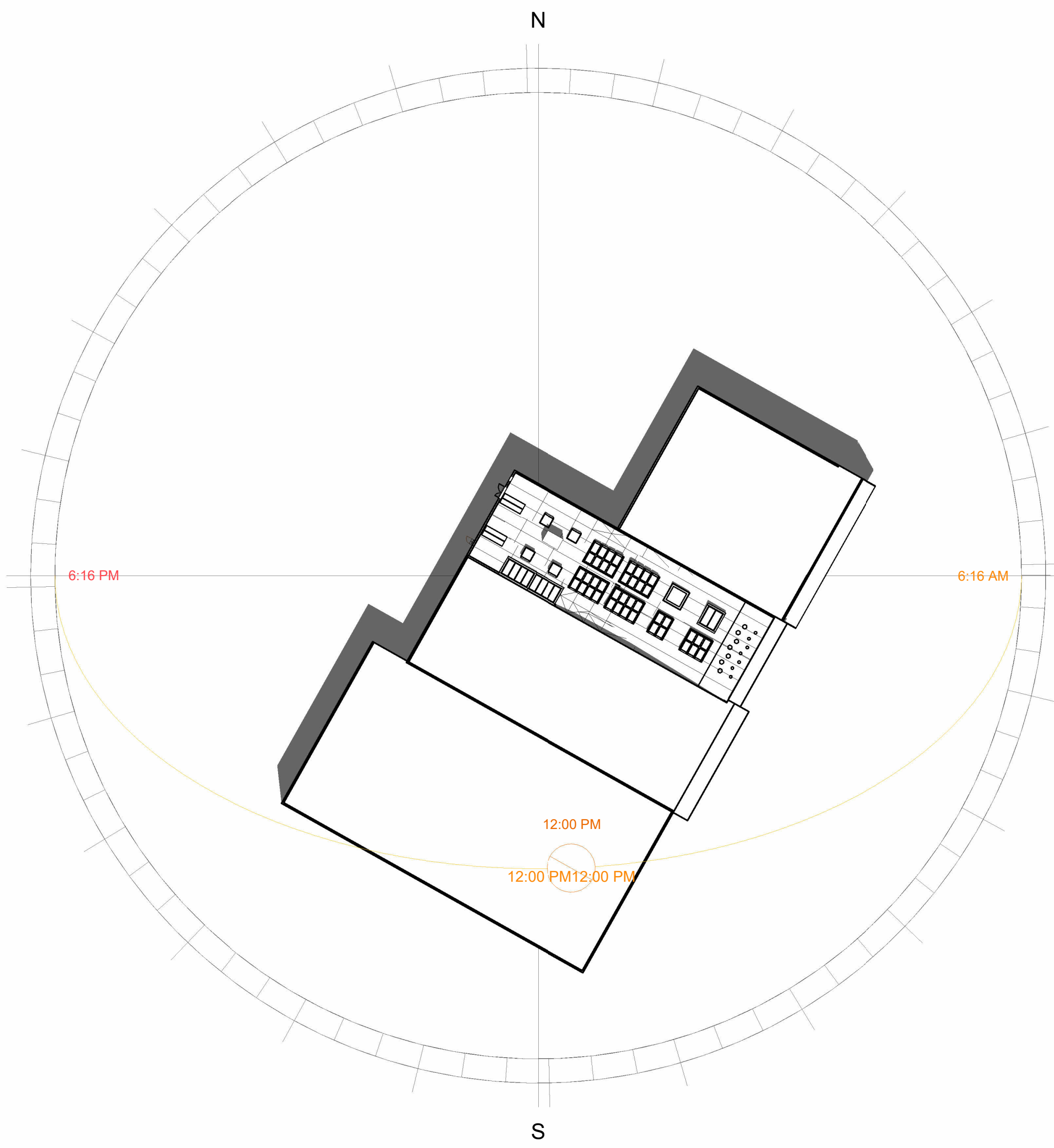
ISSUE
PLANNING
RESUBMITTAL
PROPOSED BUILDING
SHADOW STUDIES

SHEET NO.

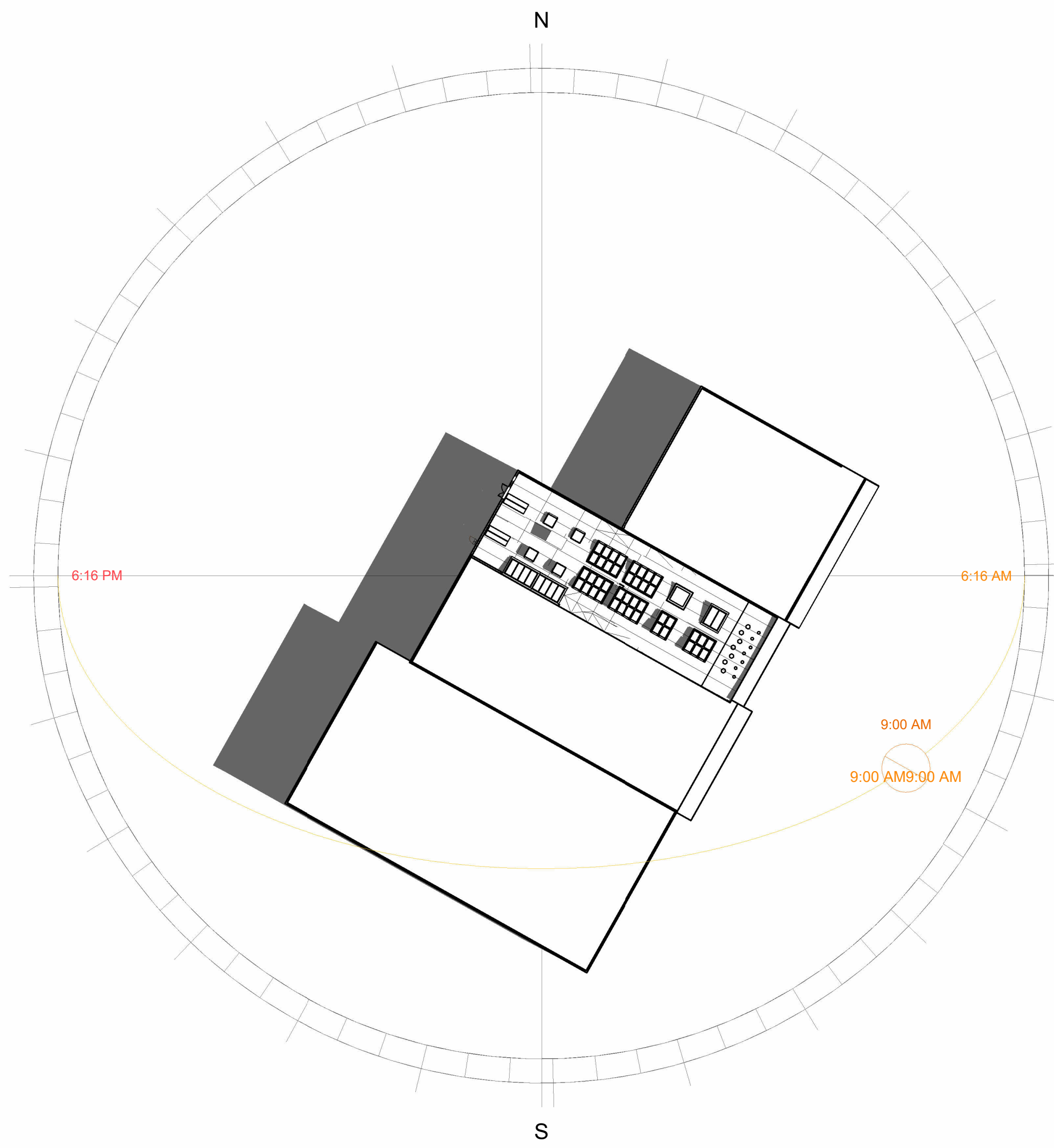
A5.3



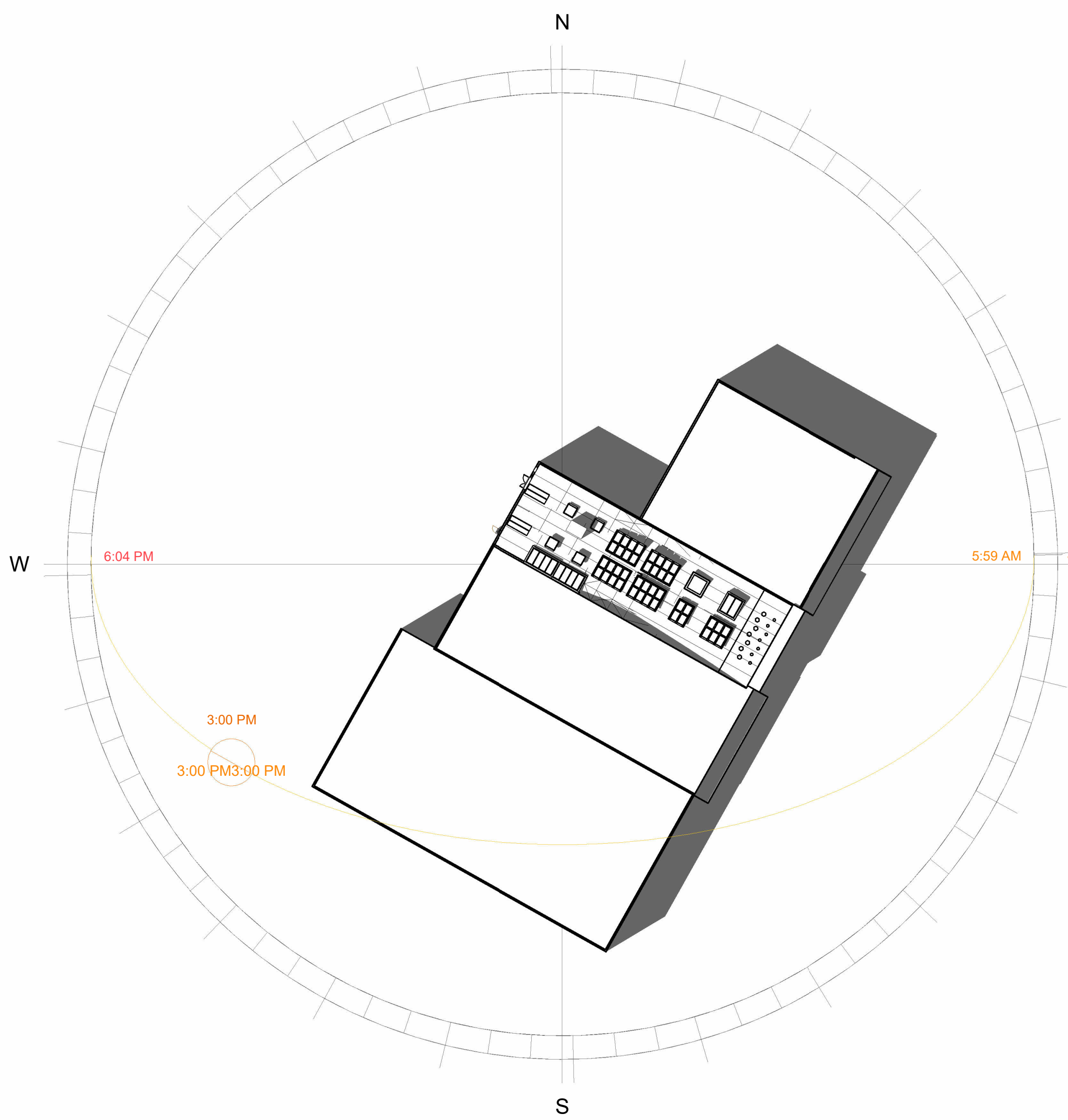
6 SPRING EQUINOX - 3PM
1" = 40'-0"



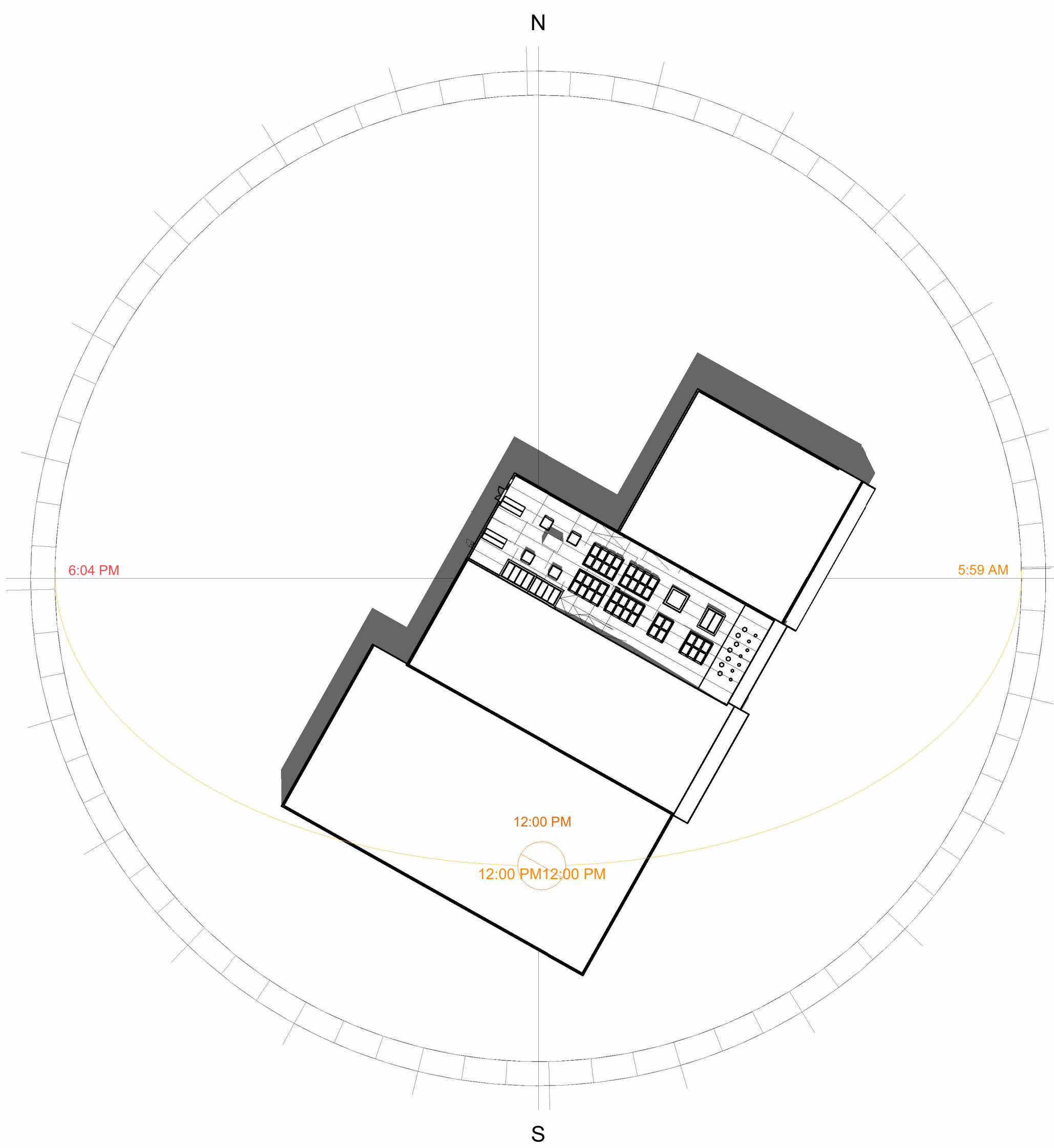
4 SPRING EQUINOX - 12PM
1" = 40'-0"



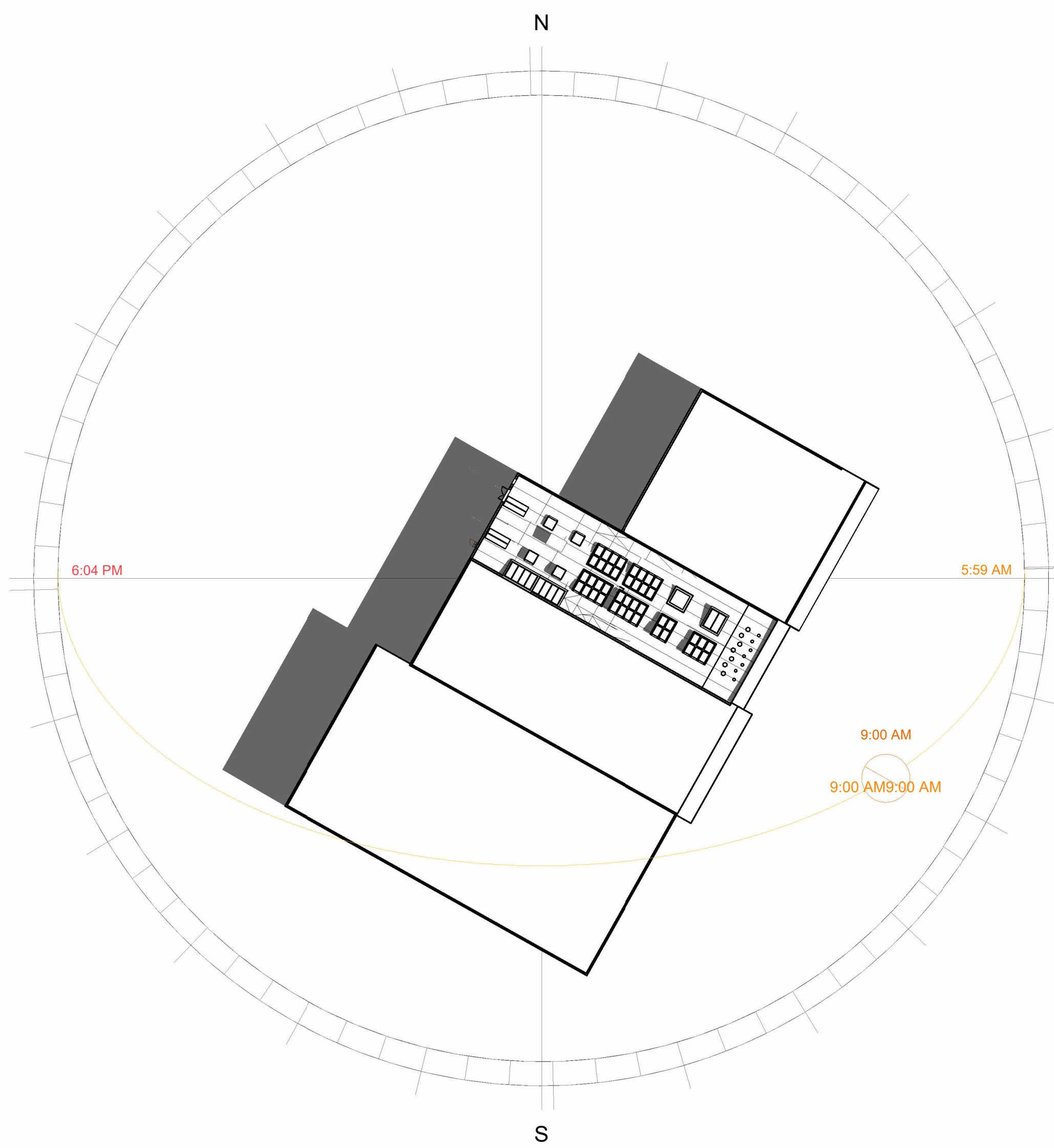
2 SPRING EQUINOX - 9AM
1" = 40'-0"



6 FALL EQUINOX - 3PM
1" = 40'-0"



3 FALL EQUINOX - 12 PM
1" = 40'-0"



1 FALL EQUINOX - 9AM
1" = 40'-0"



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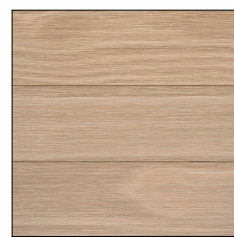
DATE
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ISSUE
PLANNING
RESUBMITTAL
PROPOSED
STOREFRONT
ELEVATION

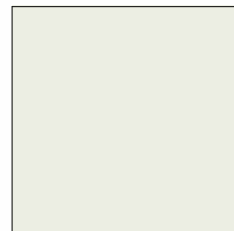
SHEET NO.

A6.1

MATERIAL DIRECTION



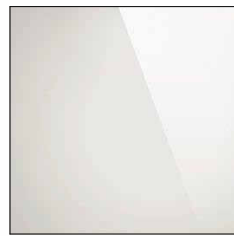
DELTA MILLWORKS 1X8 ACCOYA CLADDING W/
BARNWOOD FINISH IN COLOR LIGHT IVORY



CEMENT PLASTER SYSTEM, 2-1/4" REVEALS TO ALIGN
W/ STOREFRONT FRAME, TYP.
BENJAMIN MOORE #2141-70 PAINT FINISH



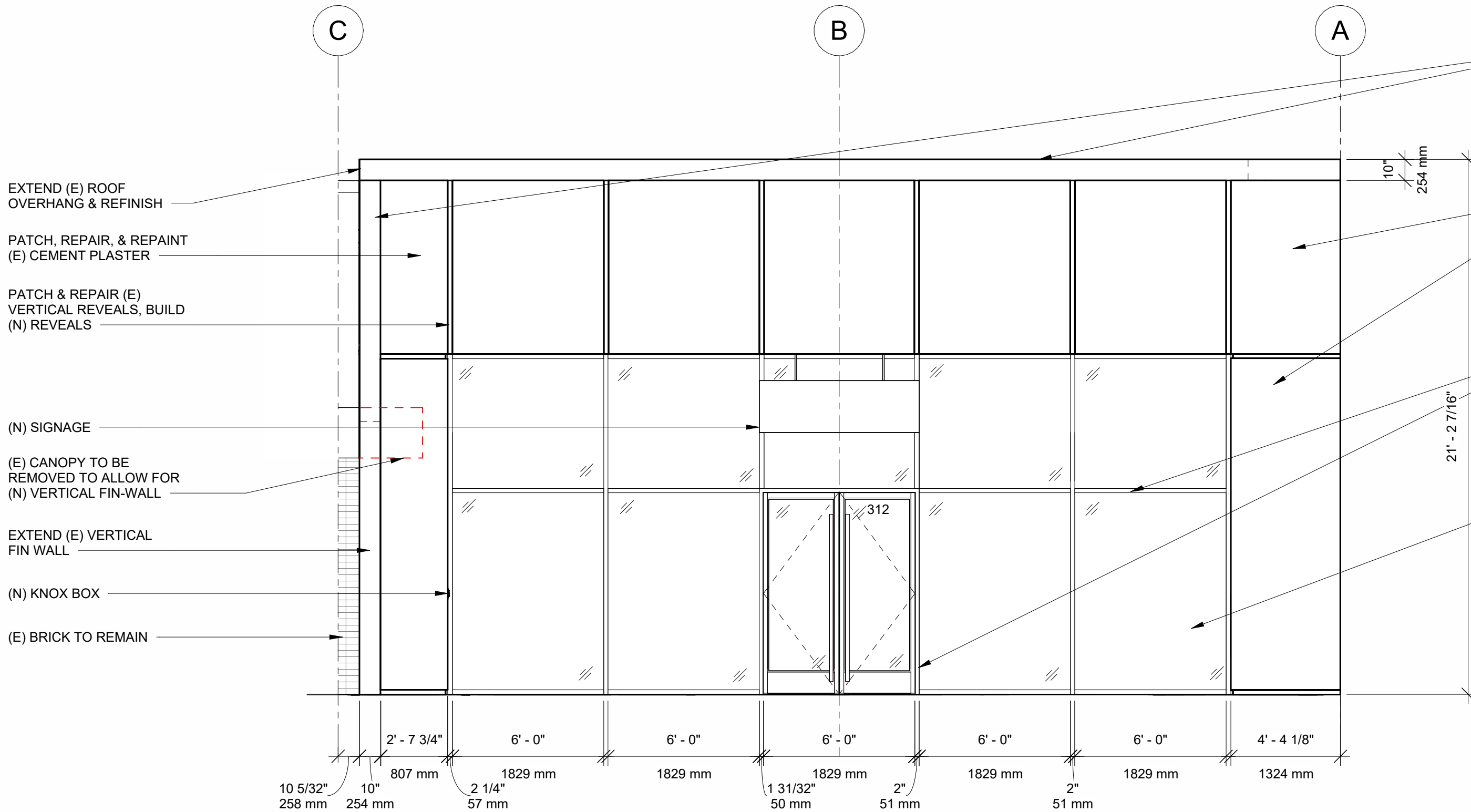
KAWNEER 451T STOREFRONT FRAMING SYSTEM
2-1/4" X 4", CLEAR ANODIZED ALUMINUM FINISH



CENTER GLAZED W/ 1" GLASS

NOTE:

ALL SIGNAGE TO BE UNDER SEPERATE PERMIT.



PROPOSED FRONT ELEVATION -
OPTION 1
1/4\" = 1'-0"



PROPOSED FRONT ELEVATION -
SHADOW STUDY
1/4\" = 1'-0"



PROPOSED STOREFRONT VIEW FROM
② ADJACENT BOOKSTORE



① PROPOSED STOREFRONT VIEW



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PROPOSED
STOREFRONT VIEWS



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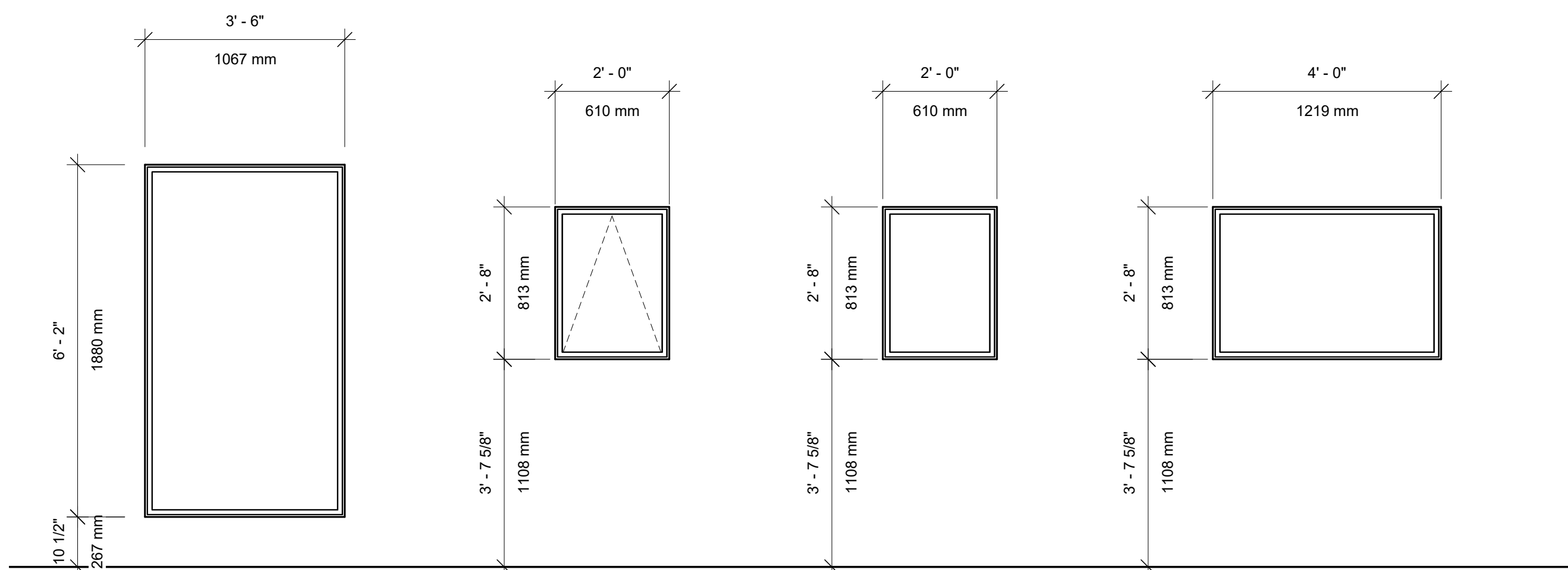
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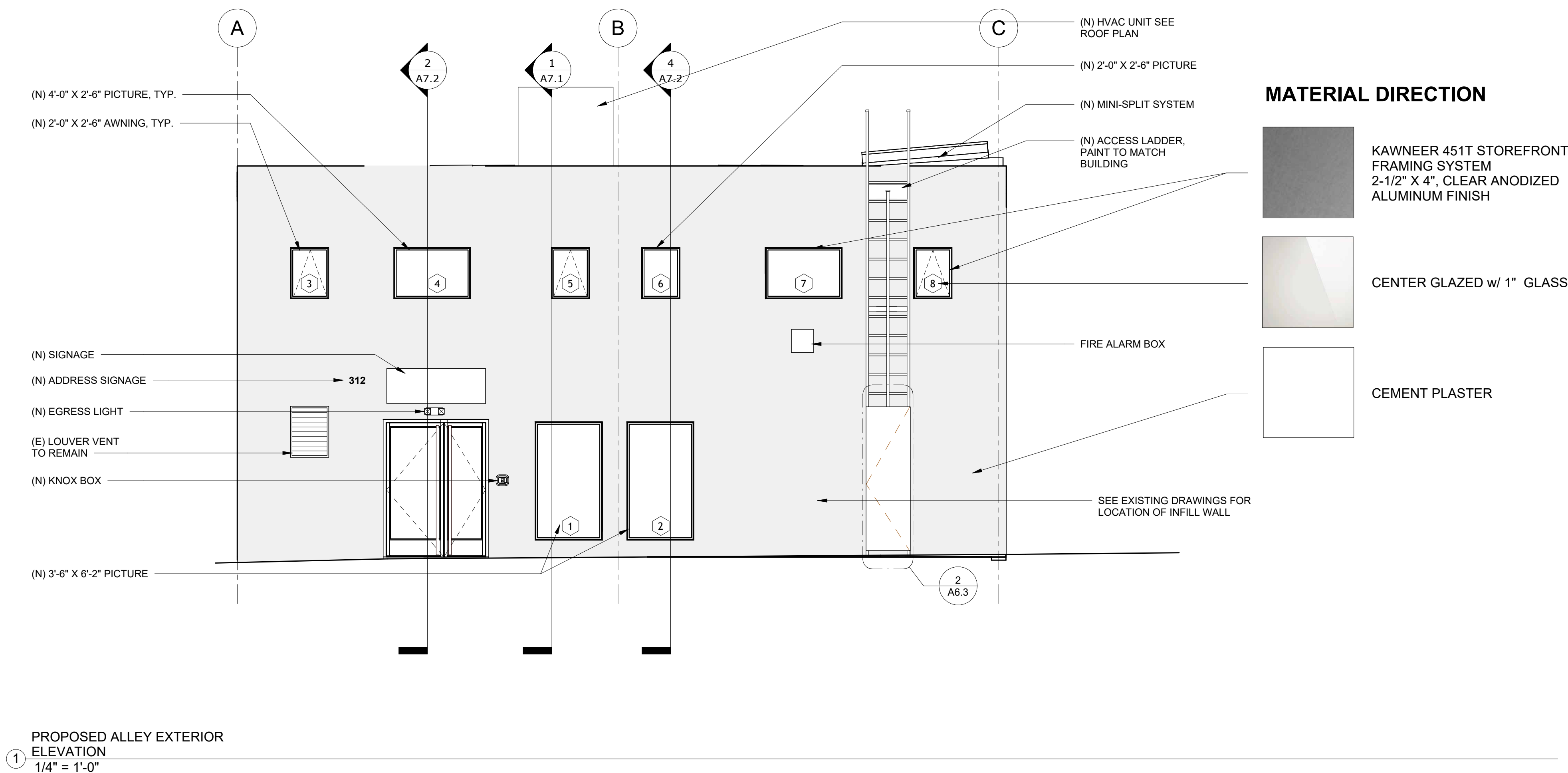
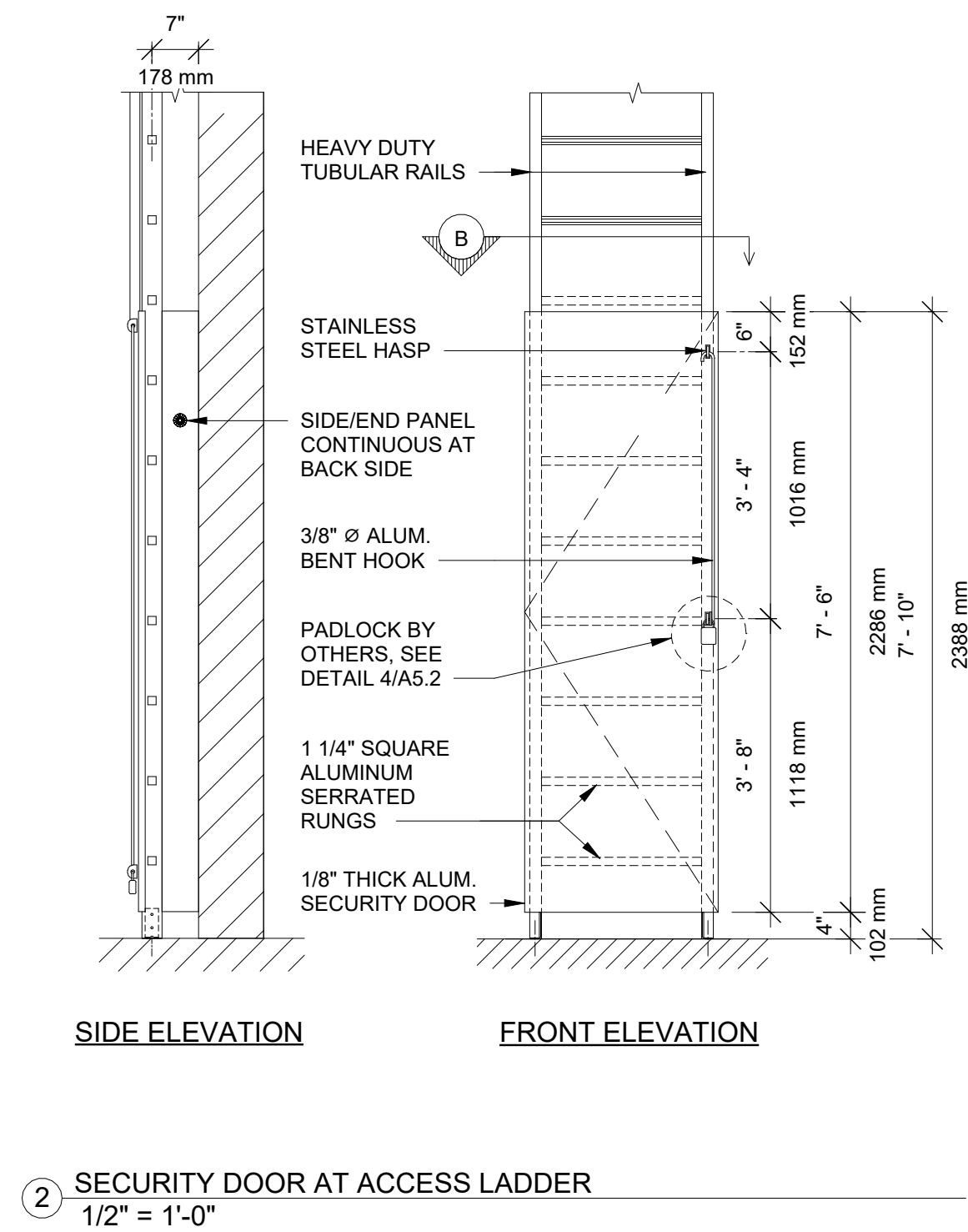
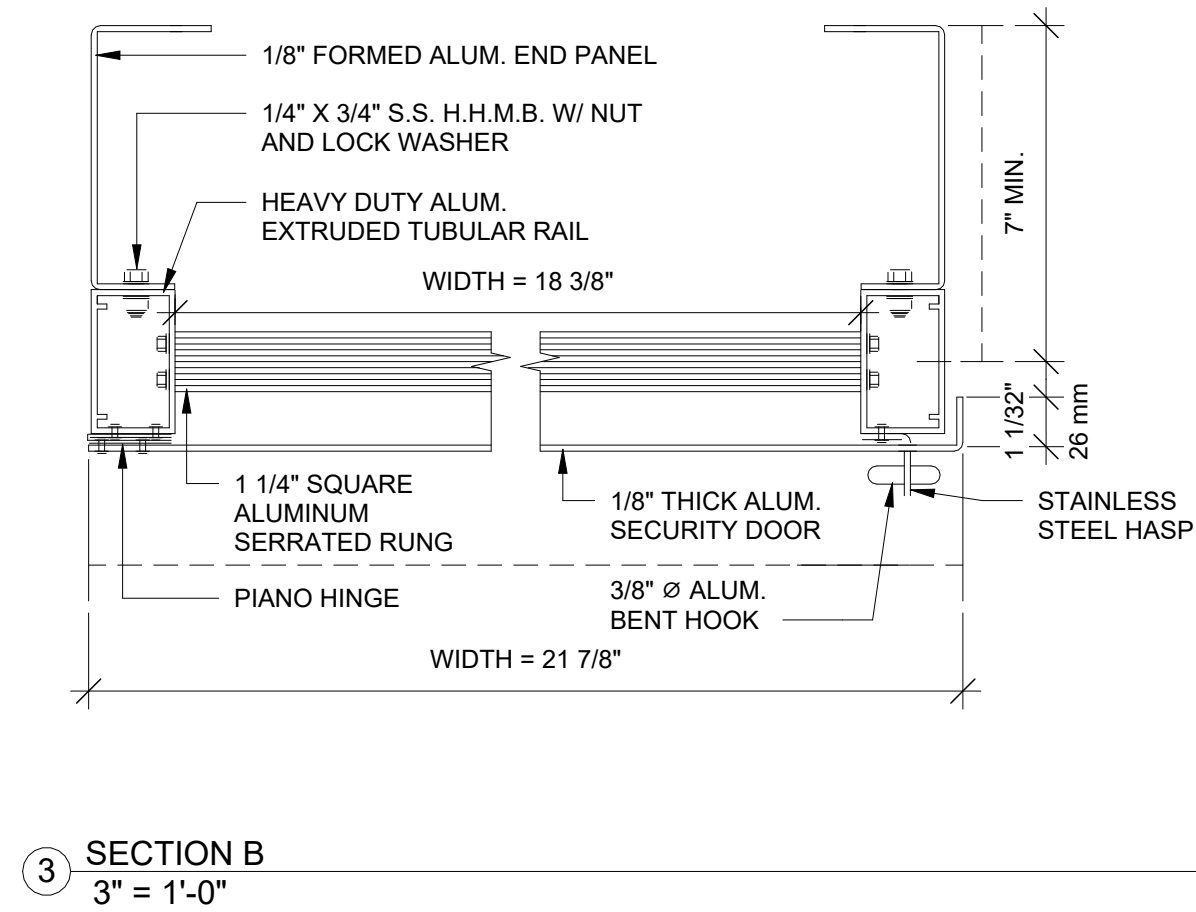
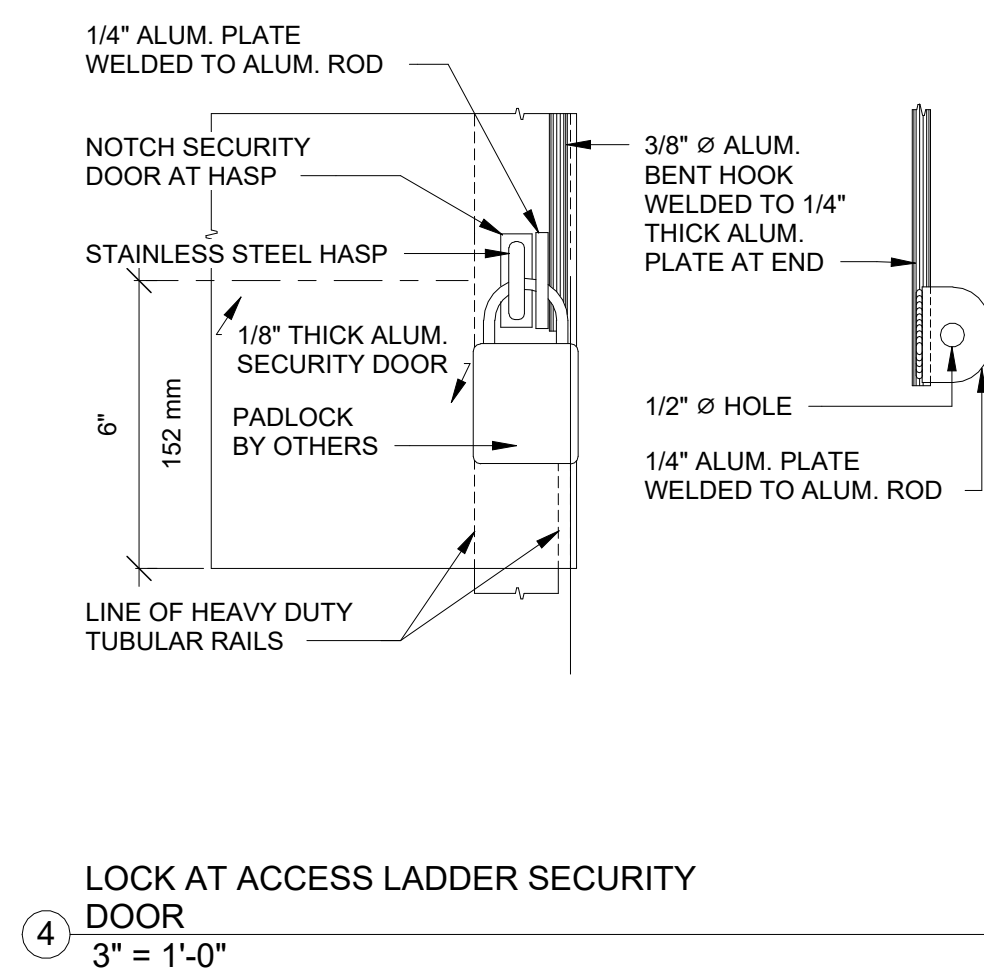
ISSUE
PLANNING
RESUBMITTAL
PROPOSED ALLEY
EXTERIOR ELEVATION,
WINDOW SCHEDULE, &
DETAILS

SHEET NO.

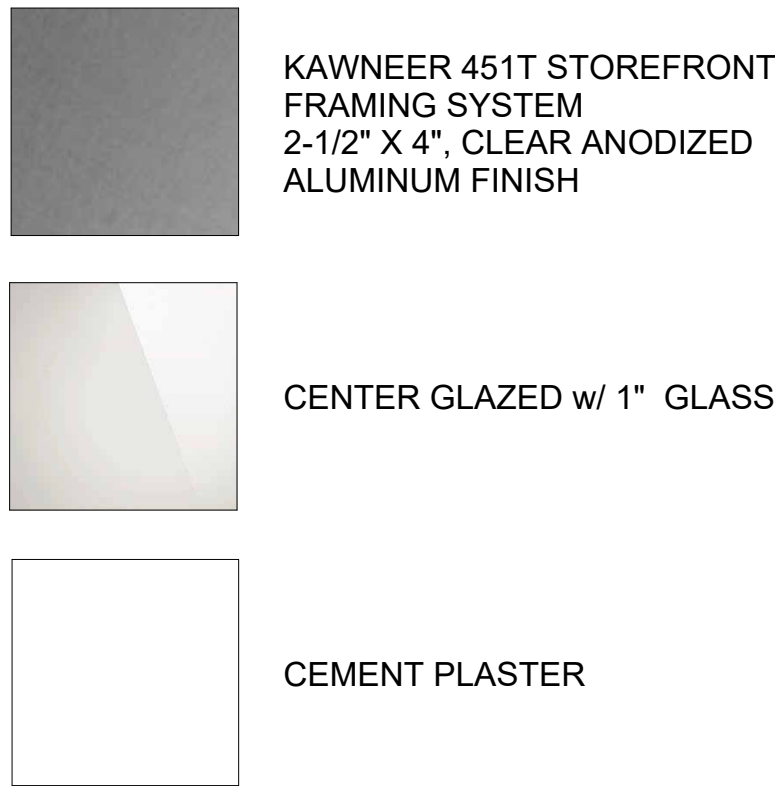
A6.3



WINDOW SCHEDULE							
WINDOW NUMBER	TYPE	MATERIAL	WIDTH & HEIGHT	FRAME THICKNESS	MATERIAL	FINISH	NOTES
1	A	GLASS	3'-6" X 6'-1 1/2"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
2	A	GLASS	3'-6" X 6'-1 1/2"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
3	B	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER AWNING WINDOW
4	D	GLASS	4'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
5	B	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER AWNING WINDOW
6	C	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
7	D	GLASS	4'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
8	B	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER AWNING WINDOW



MATERIAL DIRECTION





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1 PROPOSED ALLEY ENTRANCE

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PROPOSED ALLEY
ENTRANCE VIEW



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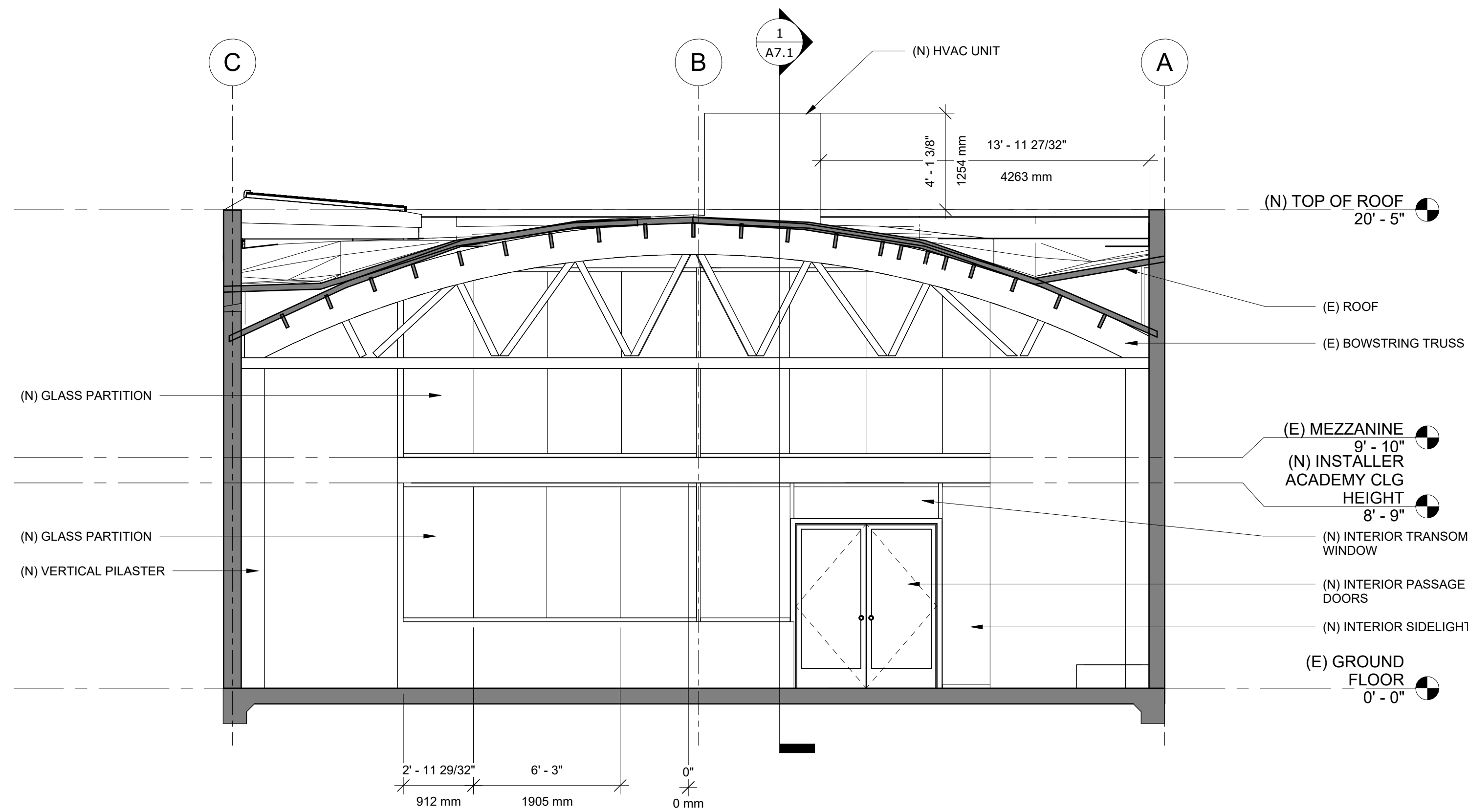
DERN PROJECT NUMBER
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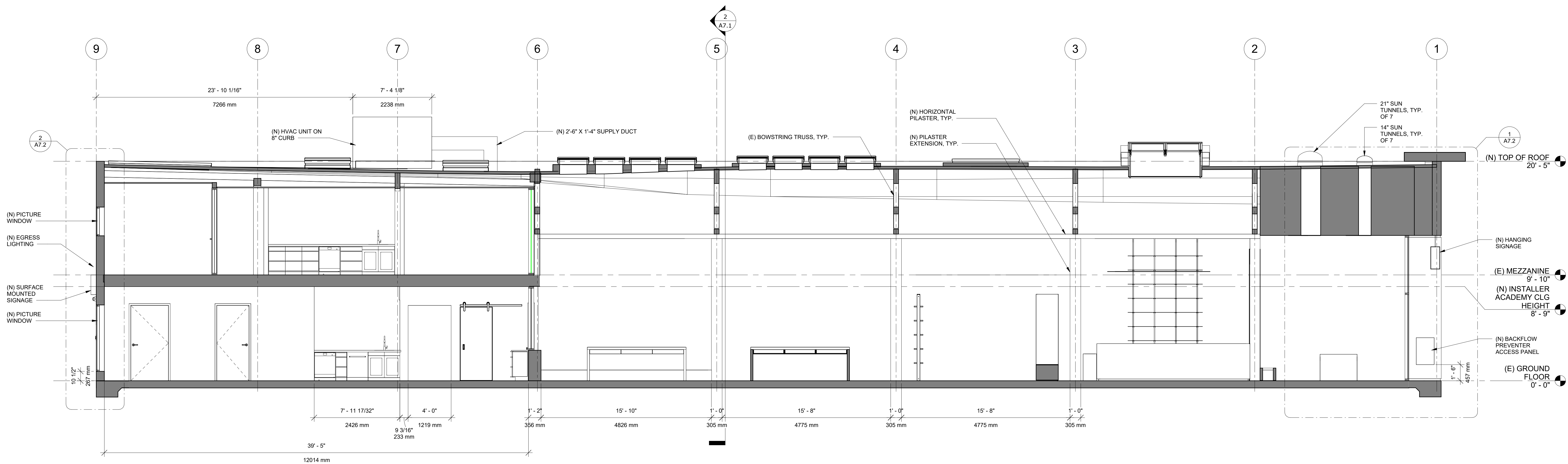
ISSUE
PLANNING
RESUBMITTAL
PROPOSED BUILDING
SECTIONS

SHEET NO.

A7.1



2 PROPOSED TRANSVERSE SECTION
1/4" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION
1/4" = 1'-0"

CLIENT

VELUX

CHRISTOPHER SCHMITH
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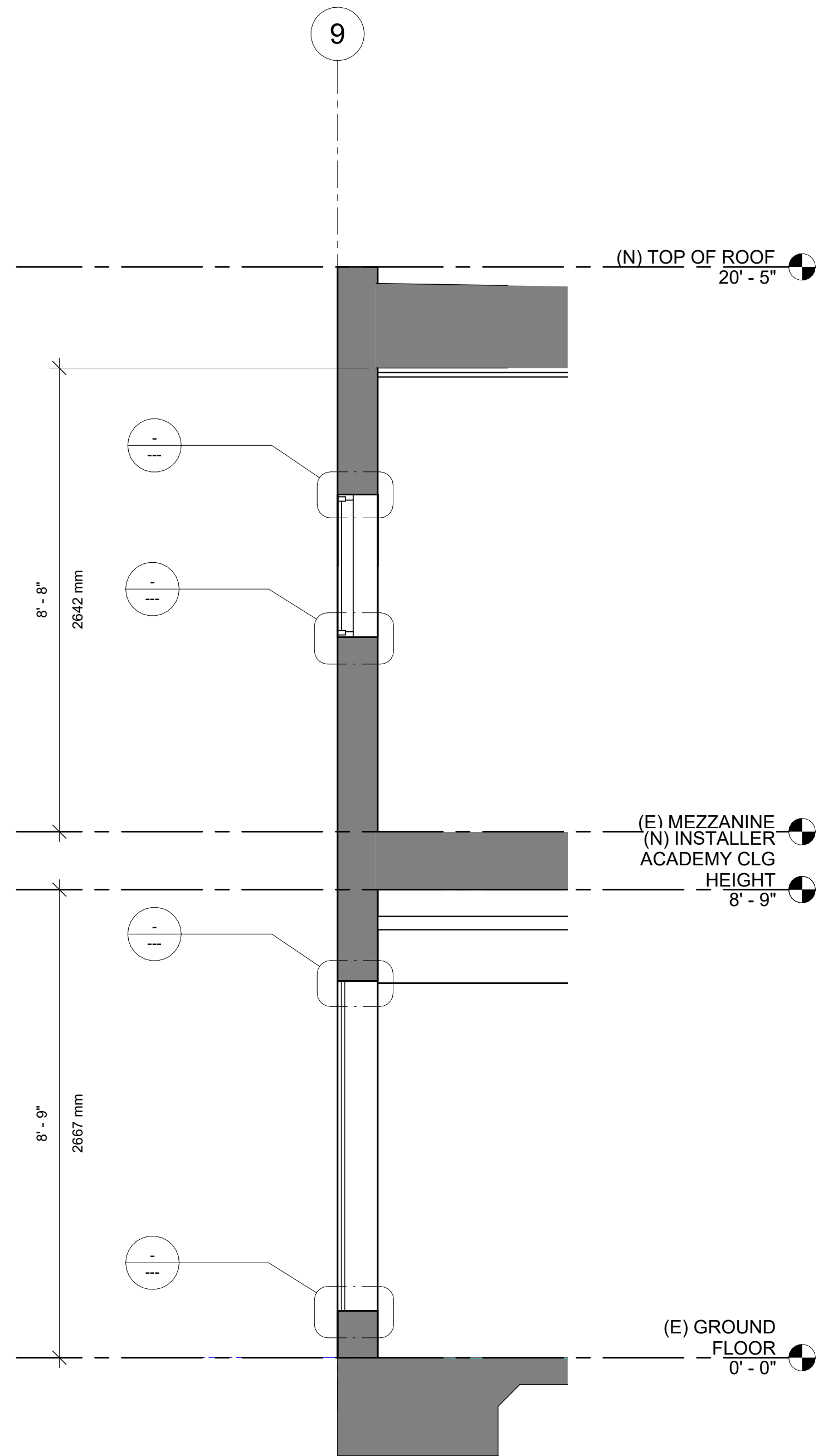
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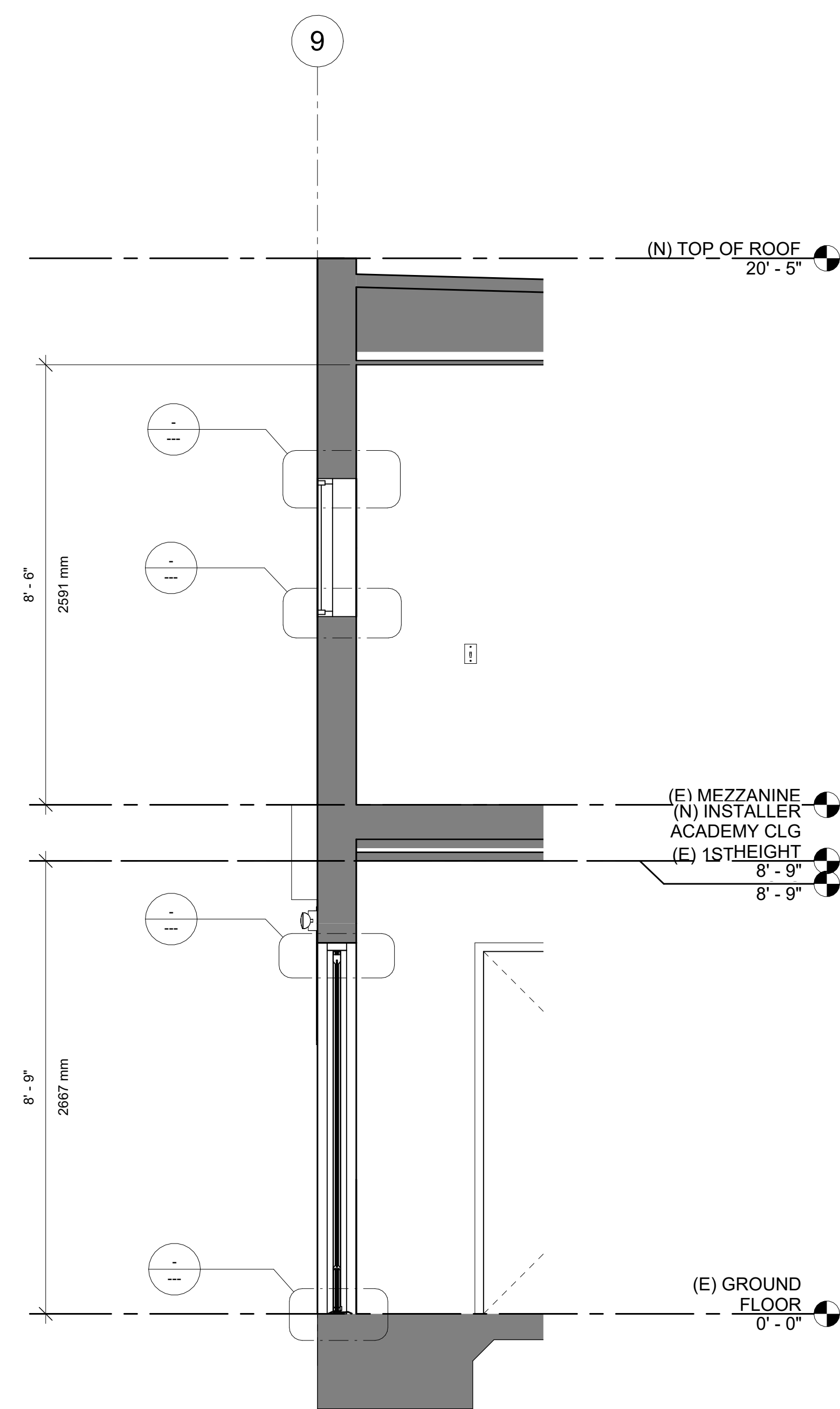
ISSUE
PLANNING
RESUBMITTAL
PROPOSED
STOREFRONT
SECTIONS

SHEET NO.

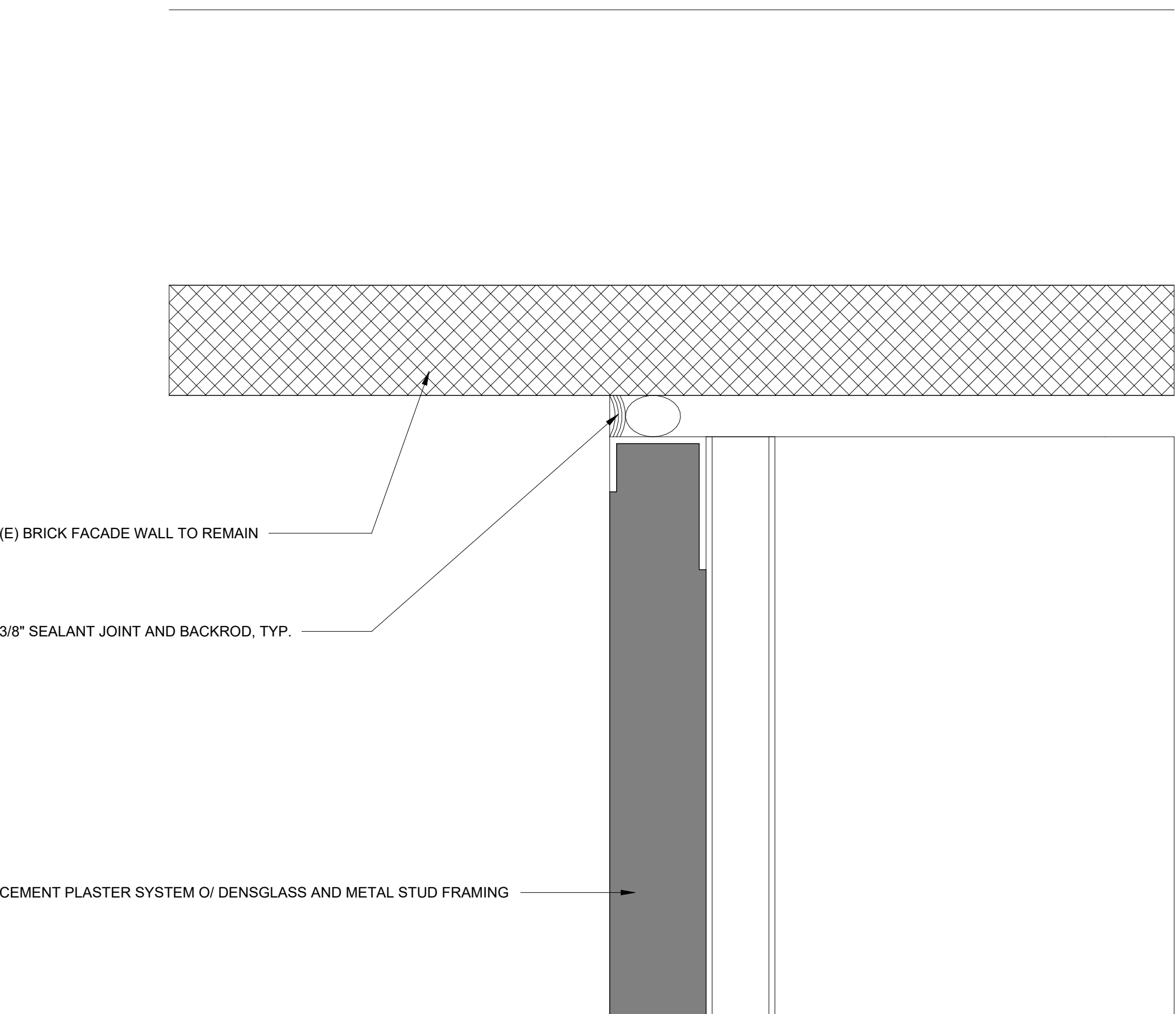
A7.2



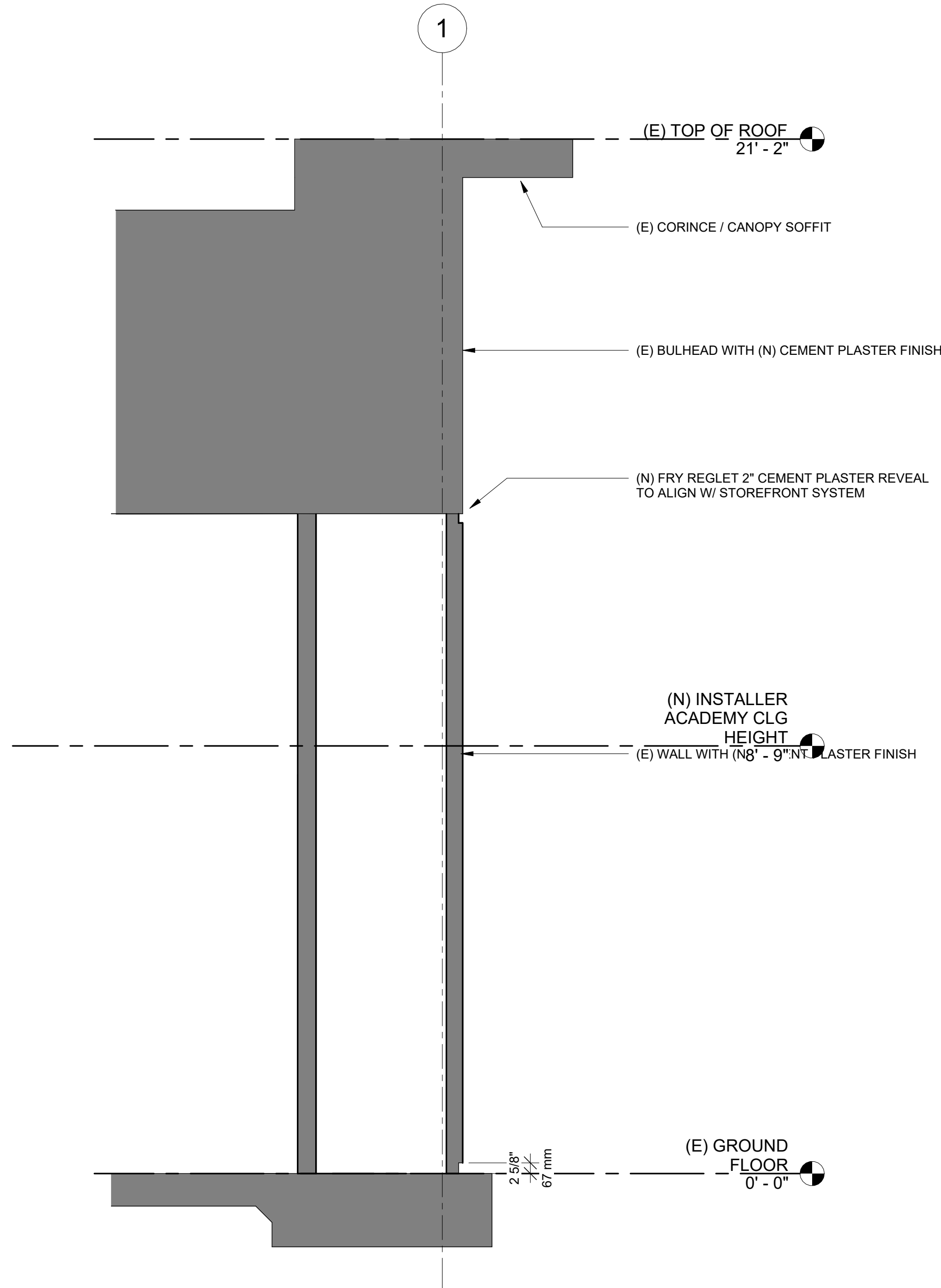
PROPOSED STOREFRONT WALL
SECTION - BACK OF HOUSE WINDOWS
1/2" = 1'-0"



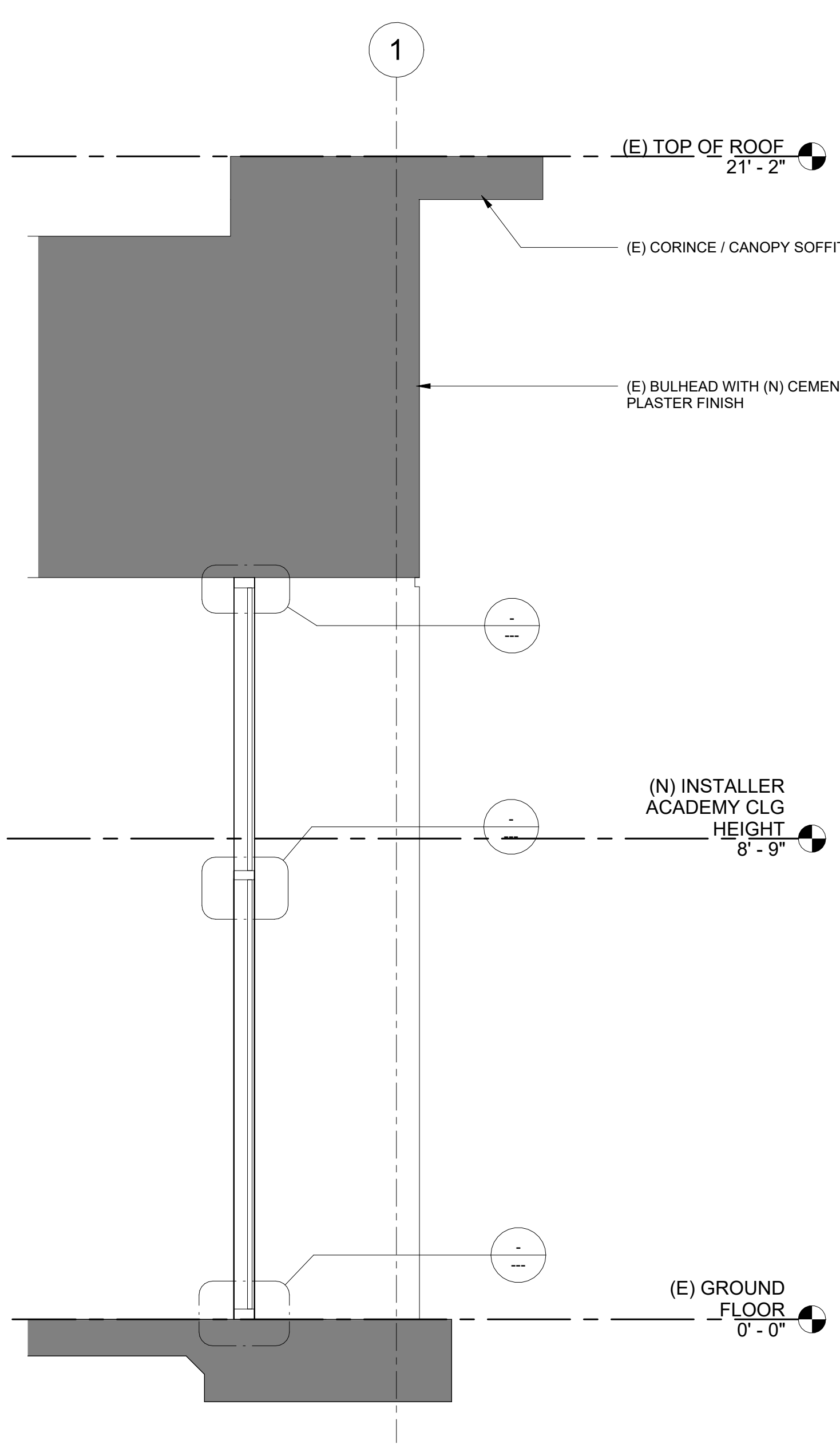
PROPOSED STOREFRONT WALL
SECTION - BACK OF HOUSE DOORS
1/2" = 1'-0"



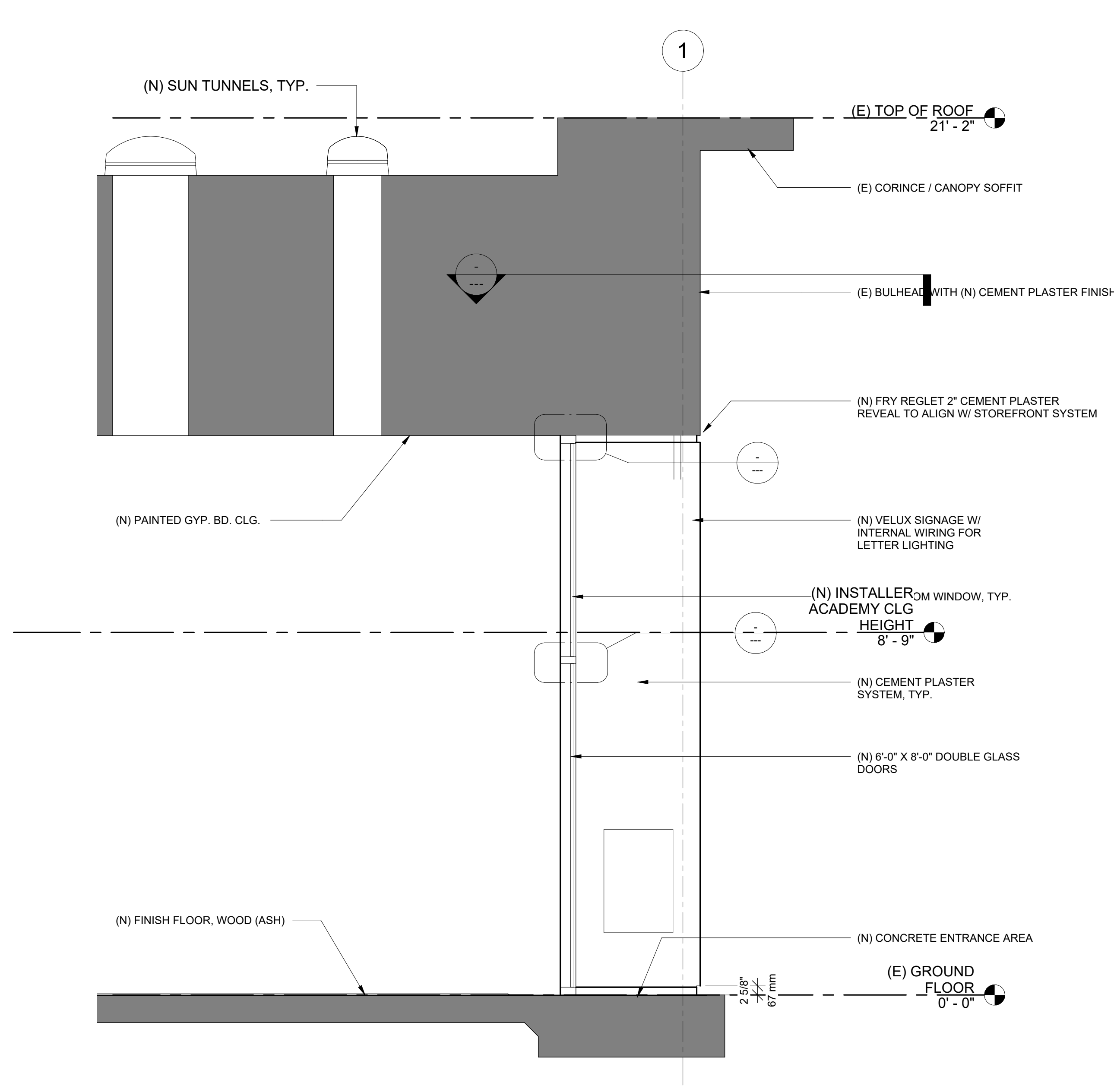
6/ BRICK TO CEMENT PLASTER
1/2" = 1'-0"



PROPOSED STOREFRONT WALL
SECTION - BRICK & PLASTER WALL
1/2" = 1'-0"



PROPOSED STOREFRONT WALL
SECTION - FULL HEIGHT WINDOWS
1/2" = 1'-0"

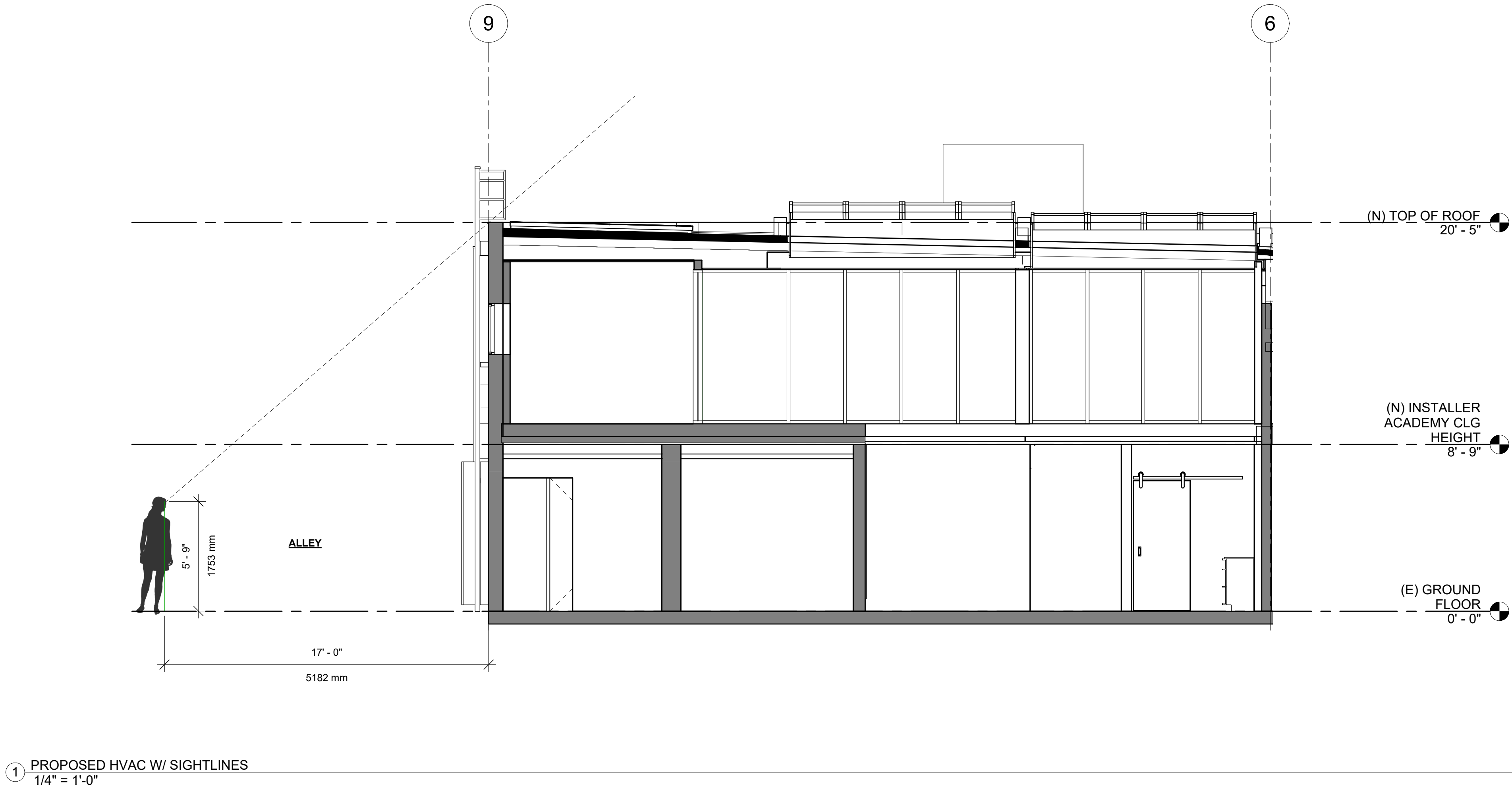


PROPOSED STOREFRONT WALL
SECTION - ENTRANCE DOORS
1/2" = 1'-0"



VELUX EXPERIENCE CENTER

312-314 CASTRO STREET
MOUNTAIN VIEW, CA 94041



REVISION		
No.	Description	Date

DERN PROJECT NUMBER
2411

DATE
06/20/2025

ISSUE
PLANNING
RESUBMITTAL
SHEET TITLE
PROPOSED HVAC W/
SIGHT LINES

SHEET NO.

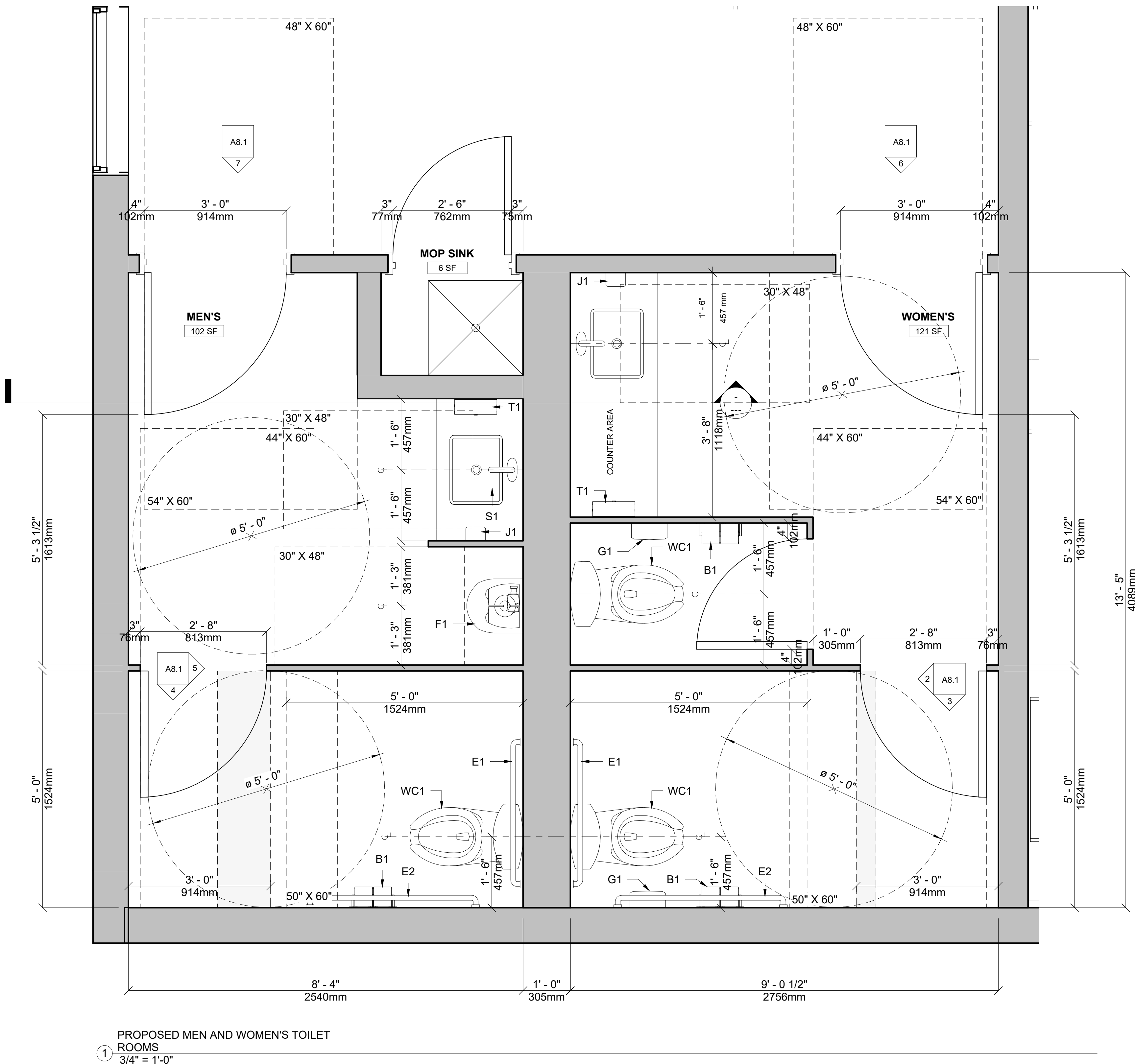
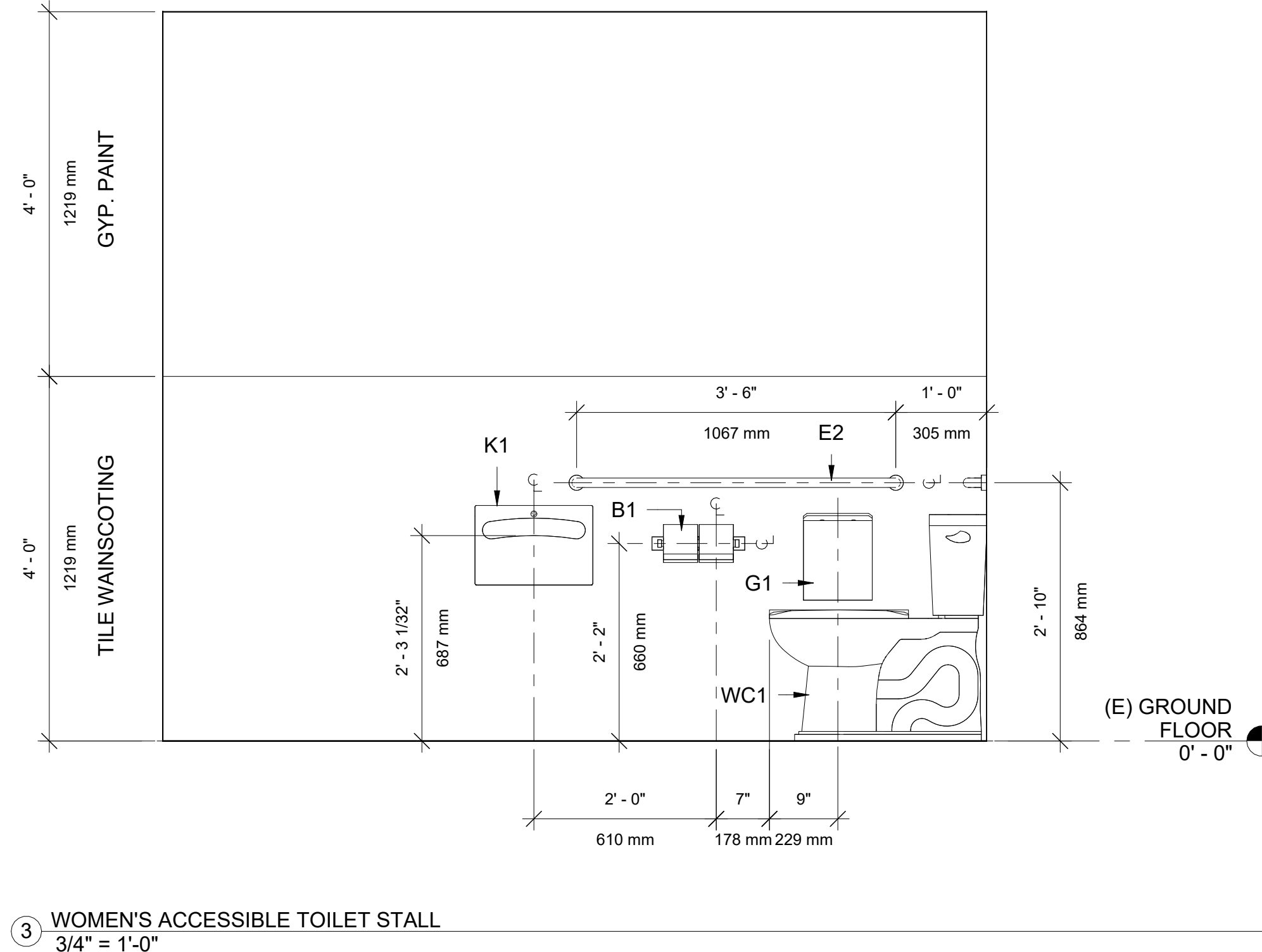
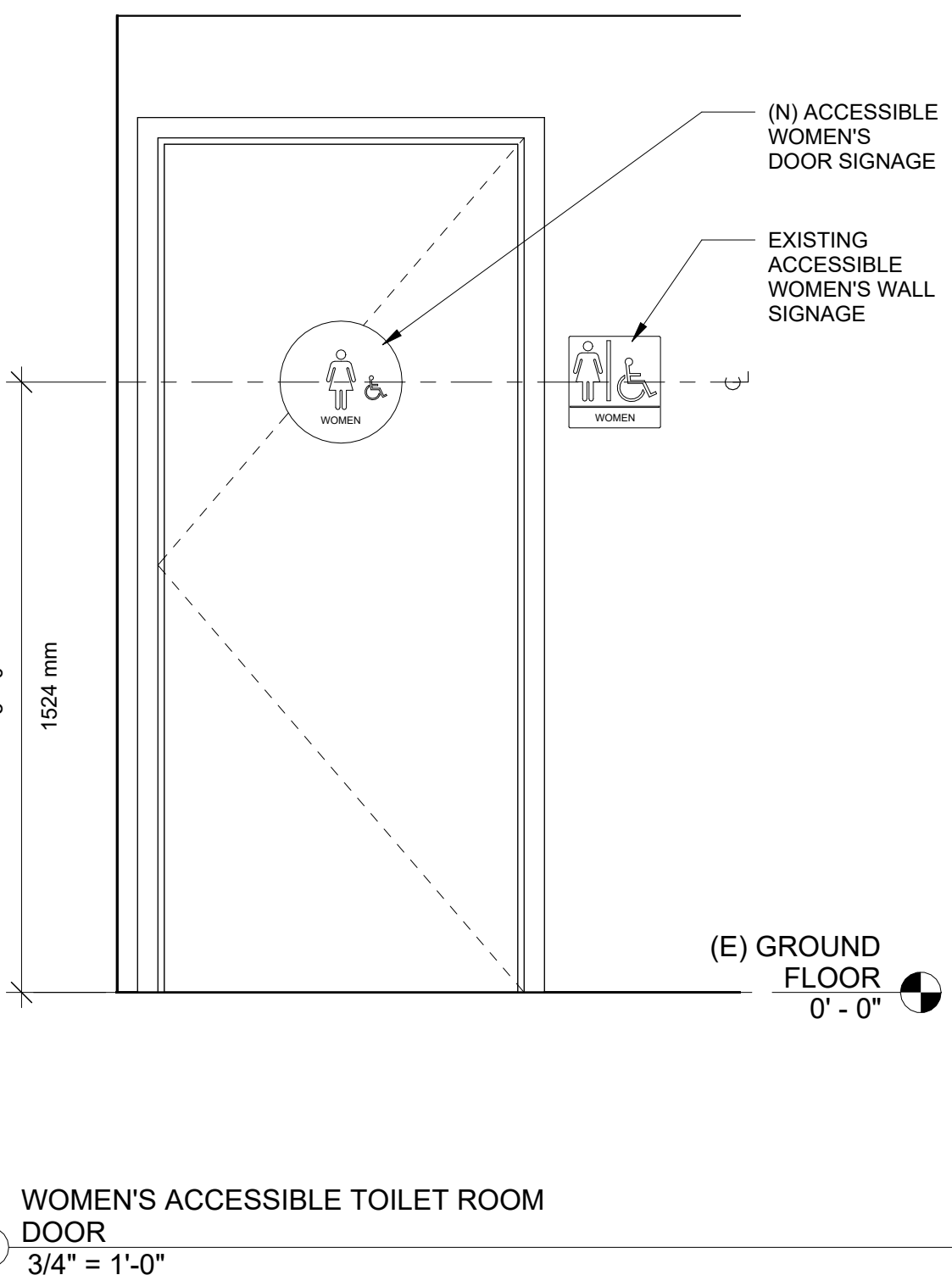
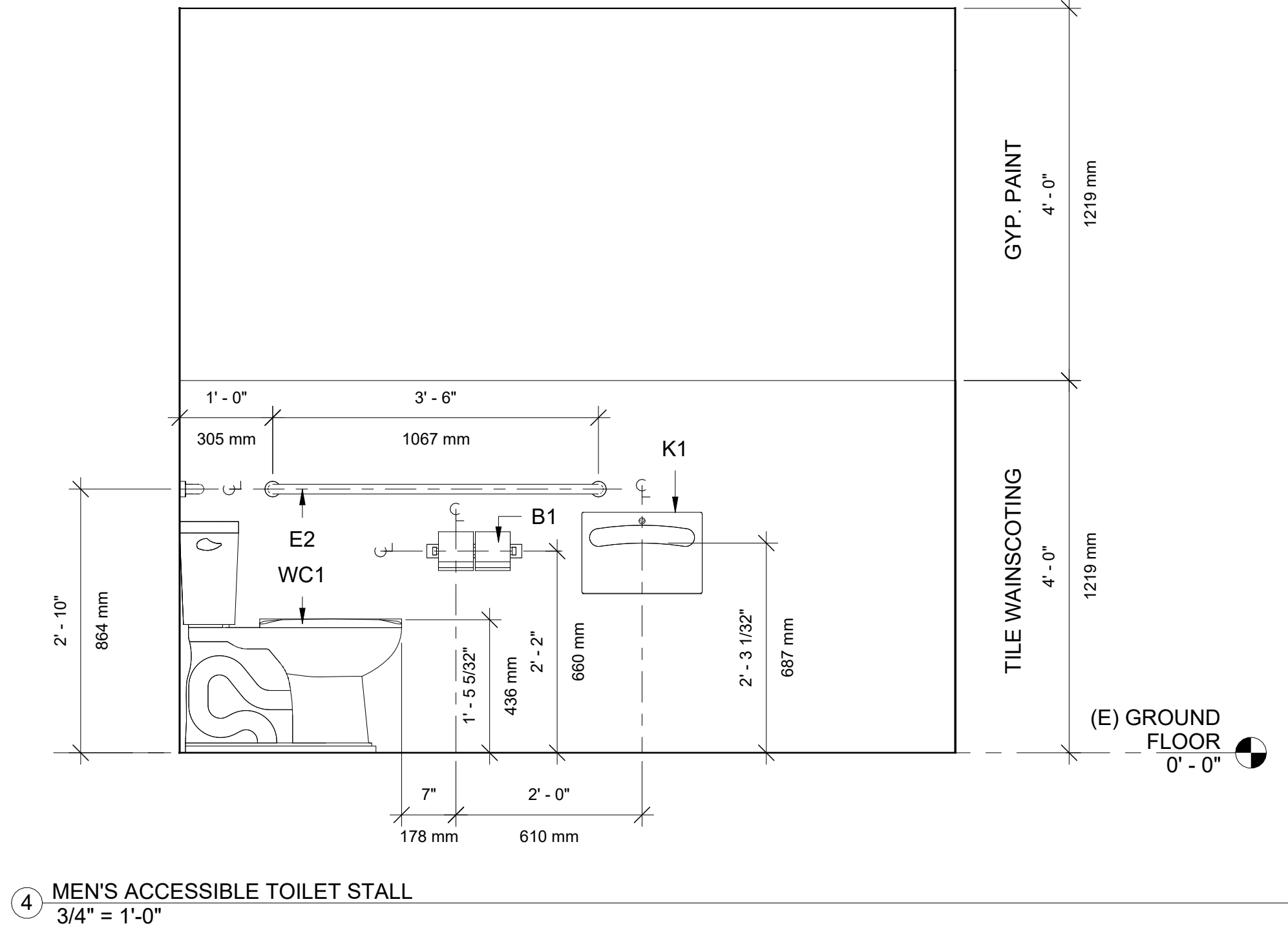
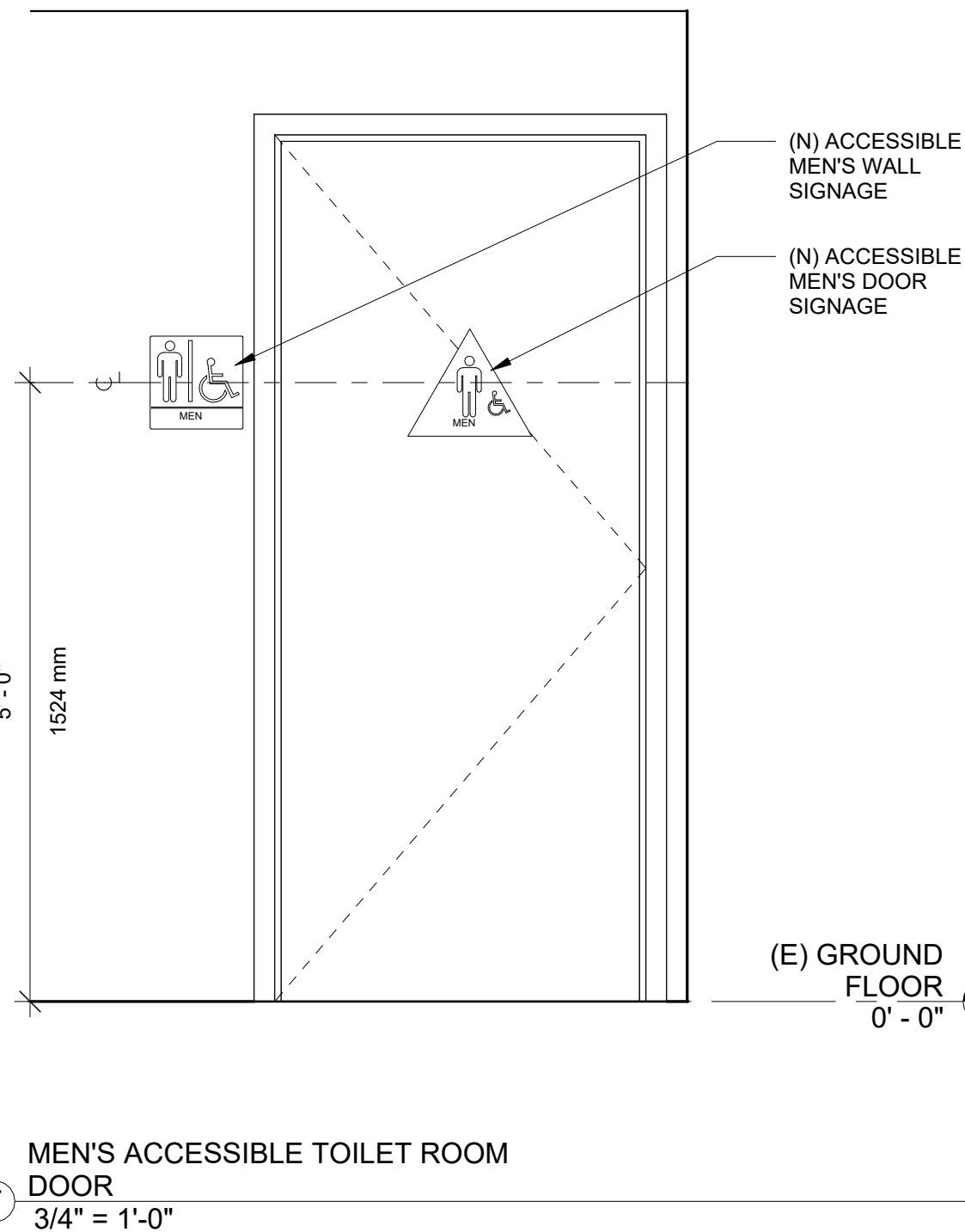
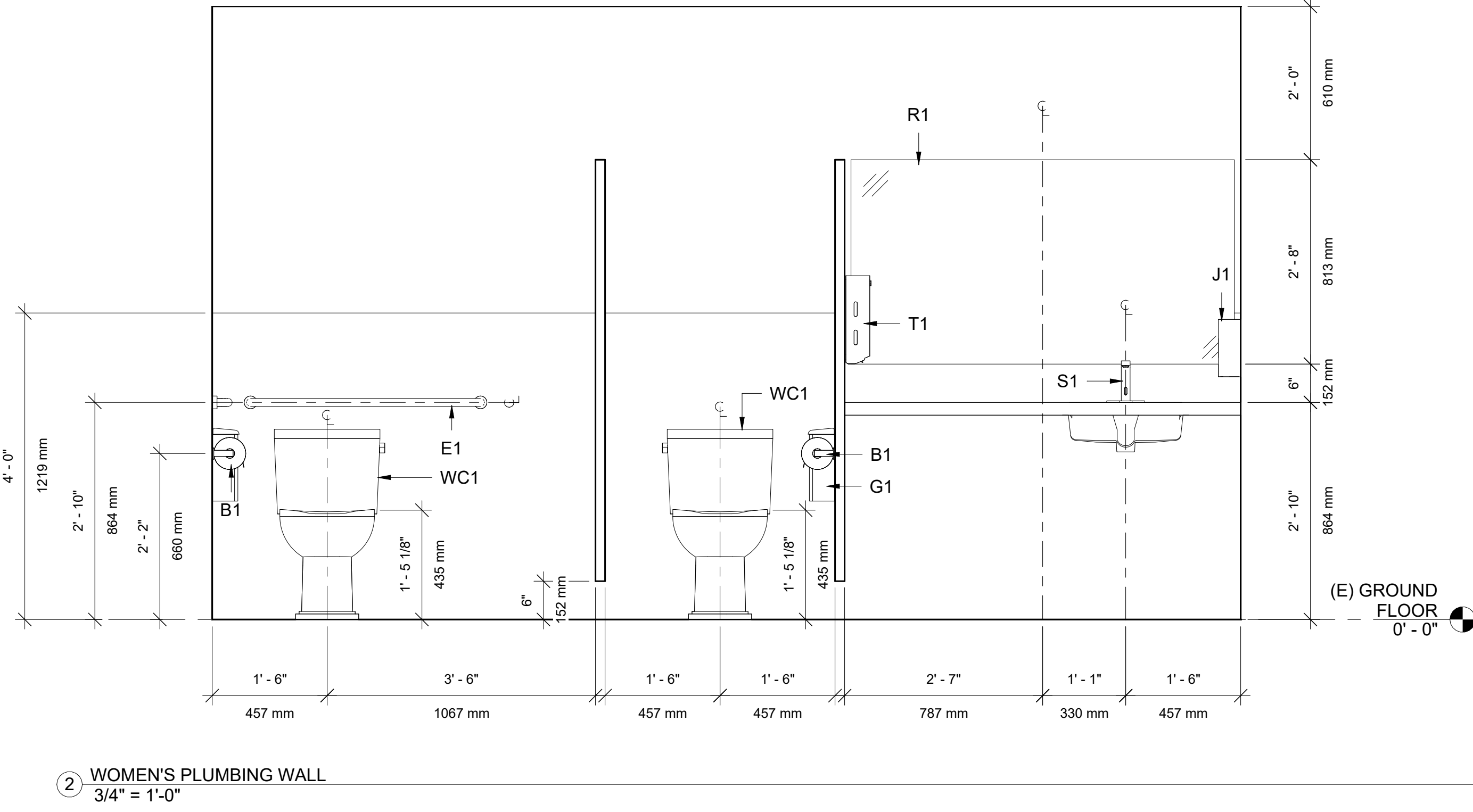
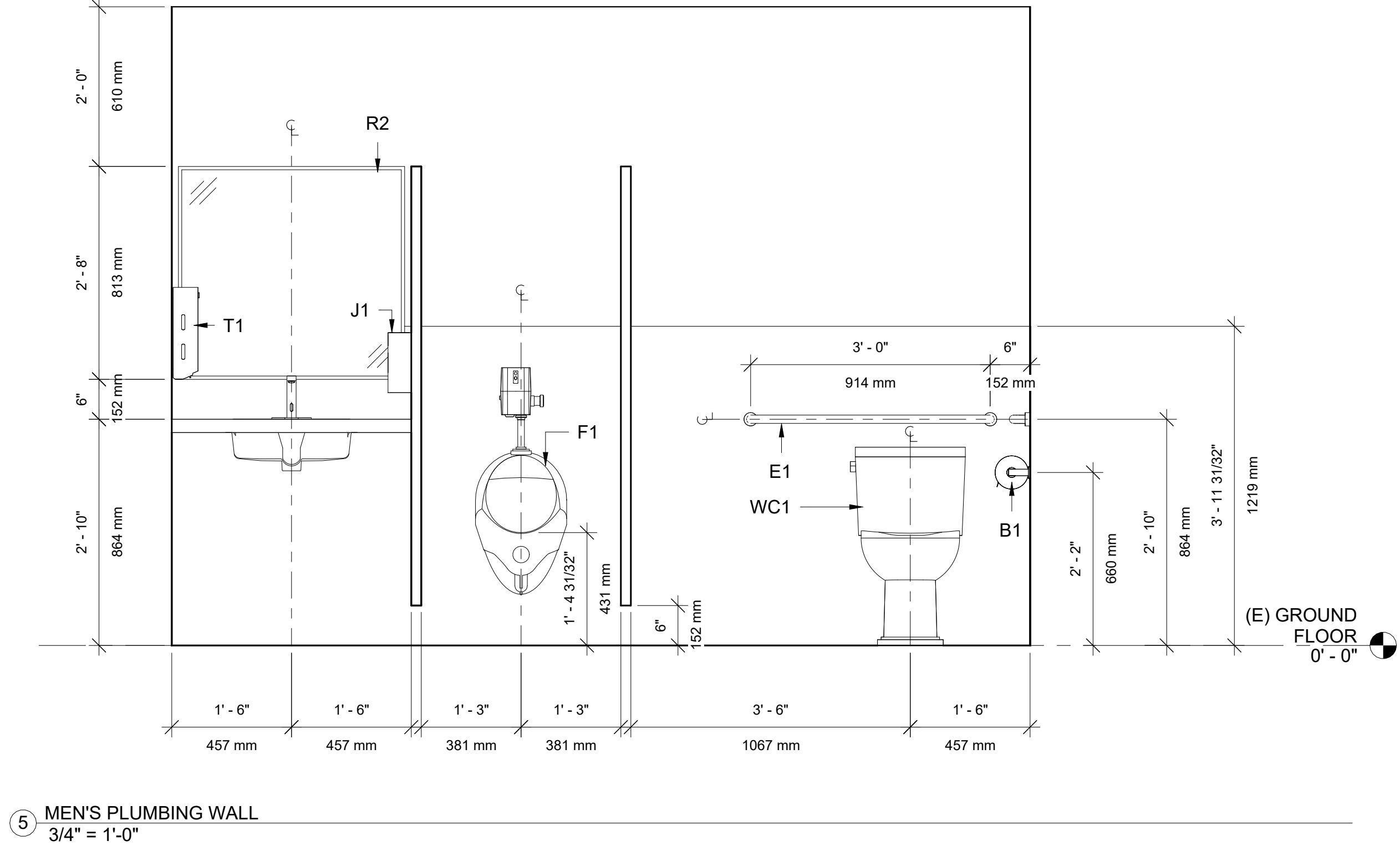
A7.3

PROPOSED TOILET ROOMS - KEYNOTES

- B1) DOUBLE TOILET TISSUE DISPENSER
E1) 36" INDIVIDUAL GRAB BAR ON BACK WALL
E2) 48" INDIVIDUAL GRAB BAR ON SIDE WALL
F1) URINAL
G1) FEMININE PRODUCT DISPOSAL
J1) SOAP DISPENSER
K1) TOILET SEAT COVER DISPENSER
R1) FRAMELESS GLASS MIRROR, 60" X 32"
R2) STAINLESS STEEL FRAMED MIRROR, 34" X 32"
S1) CERAMIC UNDER-COUNTER SINK W/ SENSOR FAUCET
T1) PAPER TOWEL DISPENSER
WC1) WATER CLOSET

PROPOSED TOILET ROOMS - GENERAL NOTES

1. SEE DETAIL 14/A0.3 FOR BATHROOM ACCESSORY MOUNTING DIAGRAMS AND LEGEND.
2. (N) DOOR CLEARANCES ARE ANNOTATED ON ENLARGED TOILET ROOM PLAN 1/A8.3 AND ARE COMPLIANT WITH ADA 404.2.4 AND CBC 2022.
3. (N) DOOR THRESHOLDS ARE NO MORE THAN 1/2" ABOVE THE FINISH FLOOR.
4. (N) TACTILE ACCESSIBLE SIGNAGE IS MOUNTED 5'-0" O.C. A.F.F. ON TOILET ROOM DOORS AND ADJACENT WALL.



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RESUBMITTAL
PROPOSED TOILET
ROOMS

SHEET NO.

A8.1



MATERIAL FINISHES OVERVIEW

Floor Finishes

Concrete Flooring

 Polished Concrete - Honed

Timber Flooring

 Dinesen Ash Layer
300mm width
Finish: Invisible Oil

Wall Finishes

Timber Cladding

 Dinesen Ash Layer
300mm width
Finish: Invisible Oil

Painted Walls

 Detale CPH
KC14
Finish TBC

Existing Columns

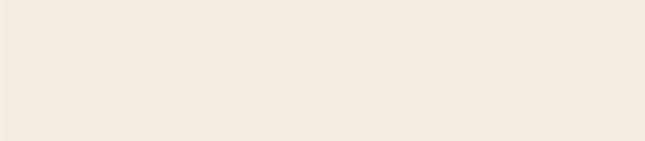
 Detale CPH
KC14
Finish TBC

Workshop Wall

 Detale CPH
KC14
Finish TBC

Ceiling and Beams

Ceiling Paint

 Matt
RAL 9010

Exsiting roof beams

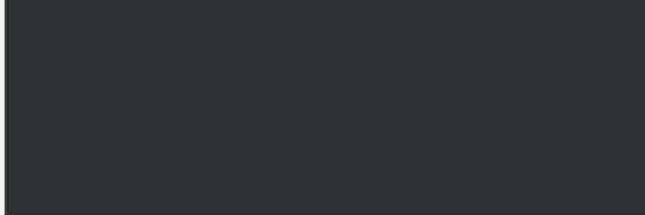
 Matt
RAL 9010

Metal Shelving

Hot rolled Steel

 Hot Rolled Steel

Powder coated Steel

 RAL 7016

Joinery & Timber Shelving

Solid Ash

 Oil Finish to match Dinesen

Ash Veneer

 Oil Finish to match Dinesen