VELUX EXPERIENCE CENTER

312-314 CASTRO STREET MOUNTAIN VIEW, CA 94041

ABV. ABC A/C AIR ACOUS. ADJ. ADJ. ADJ. ADJ. AL. ALT. AMP. AMF AVG. BD. BOA BLDG. BUI BLK'G. BLC BLT-IN BUI BM. BEA B.N. BOU BRG. BEA B.S. CABT. CALC. CAL CMBR. CAM C.H.C. CEI CHANGE C.I. CAS C.J. CEI CLR. CLE CNTR. COU CNTRTP. C.O. CAS CONC. CONC CONT. CONC CONC CONC CONC CONT. CONC CONC CONC CONC CONC CONC CONC CONC	UNDARY NAILING ARING R SINK BINET LCULATION MBER ILING HEIGHT ST IRON ILING JOIST NTER LINE ILING EAR UNTER COUNTER TOP SED OPENING NCRETE NTINUOUS RPET RTAIN ROD SEMENT WINDOW RAMIC TILE LTURED YER UBLE UGLAS FIR METER AGONAL MENSION SPOSAL EP OOR OP WNSPOUT TAIL SHWASHER AWING AWER CH ECTRICAL EVATION GE NAILING UAL	GA. GALV. G.B. G.D. G.D.O. OPERATOR G.F.I. CIRCUIT- G.I. GL. GRD. GRND. GYP. G.L.B. BEAM G.T. H.C. H.D. HDR. HHNGR. INSUL. INT. LAV. LAM. L.F. L.L. LUM. LVR. MAR. MAS. MAX. M.B. M.C. MFR. MIN. MIR. MIR. M.O. MTD. MTL. N.G. N.T.S. O/ O.A. OBS. O.C. O.H. OPG. OSA BOARD P.C.	GAUGE GALVANIZED GYPSUM BOARD GARBAGE DISPOSAL GARAGE DOOR GROUND-FAULT INTERRUPTER GALVANIZED IRON GLASS GRADE GROUND GYPSUM GLUED-LAMINATED GIRDER TRUSS HOLLOW CORE HOLD DOWN ANCHOR HEADER HEIGHT HANGER INSULATION INTERIOR LAVATORY LAMINATED LINEAL FEET/FOOT LOG LIGHTER LUMINOUS LOUVER MARBLE MASONRY MAXIMUM MACHINE BOLT MEDICINE CABINET MANUFACTURER MINIMUM MIRROR MICRO LAM MASONRY OPENING MOUNTED METAL NATURAL GRADE NOT IN CONTRACT NOMINAL NOT TO SCALE OVER OVERALL OBSCURE OR O/C ON CENTER OVERHEAD OPENING OUTSIDE AIR ORIENTED STRAND PUSH BUTTON PORTLAND	R. RAD. R.A.G. RECPT. REF. REFER. REINF. RE/S REQ'D REV. REV. R.J. RO-IN R.O. RO/S R.R. RWD. S. S.C. SCH. SCRND. SECT. SEL.STR. STRUCTURAL SER. S.H. SHT. SHTHG. SHWR. SL. SPL. SPN. S & P S.S. STD. S.V. STRUCT. SW. T. T & B T.C. TEMP.GL. T & G TJI T.O.C. T.O.M. T.O.S. T.O.W. T.V. UNFIN. U. U.N.O. OTHERWISE	RISER RADIAL/RADIUS RETURN AIR GRILLE RECEPTACLE REFERENCE REFRIGERATOR REINFORCING RE-SAWN REQUIRED REVERSE REVISION/REVISE ROOF JOIST ROUGH-IN ROUGH OPENING ROUGH SAWN ROOF RAFTER REDWOOD SINK SOLID CORE SCHEDULE SCREENED SECOND SECTION SELECT SELECT SELECT SELECT SELECT SHEATHING SHOWER SLIDING SPLASH SILL PLATE NAILING SHEET VINYL STRUCTURAL SWITCH TREAD TOP & BOTTOM TRASH COMPACTOR TEMPERED GLASS TONGUE & GROOVE TRUSS JOIST TOP OF CURB TOP OF MASONRY TOP OF SLAB TOP OF WALL TELEVISION UNFINISHED URINAL UNLESS NOTED	
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FTG. FOO	OTING	IOD OIT	E CONDITIONS			
TO PROVIDE A SAF CONSTRUCTION E) AND EQUIPMENT N DRAWINGS, SPECIF JOB SITE CONDITION PRIOR TO SUBMITTE EITHER THE PRIME CONTRACTOR'S, HA THE RESPONSIBLE ERRORS OR OMISS STORAGE, MATER	XECUTION, EACH CONT NECESSARY TO PERFOR FICATIONS AND CONTR ONS, EACH CONTRACTO TING REQUEST FOR PRO E CONTRACTOR OR ANY IAS BEEN REMOVED FRO E PARTY, EITHER THE POSIONS FOR CORRECTIO	MENT ON THE JO FRACTOR SHALL RM ALL WORK U RACTS. OR SHALL CLEA OGRESS PAYME Y SUB-CONTRAC OM THIS PROJE PROJECT OWNER ONS BEFORE PRO	FOR ALL SAFETY PRECAUTION SITE. L FURNISH ALL LABOR, MATINDER HIS TRADE IN FULL AS IN UP AND REMOVE ALL DEENT. IN NO CASE WILL FINANCTOR UNTIL ALL DEBRIS AND ECT SITE OR UNTIL OWNER OR THIS SIGNED DESIGNIOCEEDING WITH THE WOR	TERIALS, TOOLS ACCORDANCE W BRIS RESULTING AL PAYMENT BE ID EQUIPMENT G APPROVAL HAS ER, SHALL BE N K.	, TRANSPORTATION, //ITH THE WORKING G FROM HIS WORK DISPERSED TO DWNED BY SAID BE GRANTED. OTIFIED OF	
CHANGES, ANY MINOR OR REQUIRED CHANGES OR MODIFICATIONS TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AND ARCHITECT OR ENGINEER ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED. MATERIALS, ALL MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PER APPLICABLE CODES AND REQUIREMENTS. THE DESIGNER SHALL HAVE NO CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.						
		GENERAL	NOTES LEGEND			
	DETAIL	REFERENCE	1		KEY NOTE REFERENCE	

→ DETAIL NUMBER

SECTION REFERENCE

SHEET NUMBER - ELEVATION NUMBER

ROOM NAME AND

NUMBER

1 DETAIL NUMBER

A1.1.1 /── SHEET NUMBER

INTERIOR ELEVATION REFERENCE

DETAIL OR PLAN ENLARGEMENT

ULL CENTERLINE

COLUMN LINES

EXISTING FULL HEIGHT

DEMISING WALL

NEW FULL HEIGHT

DEMISING WALL

A6.1 SHEET NUMBER

1 SECTION NUMBER

PROJECT GENERAL NOTES	PROJECT DATA		
REGULATORY REQUIREMENTS:	LOCAL JURISDICTION:	CITY OF MOUTAIN VIEW, CA	
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, LAWS AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS, AND THE USE OF FACILITIES. THIS INCLUDES THE 2019 CALIFORNIA BUILDING CODE & ALL CODES, ORDINANCES AND LAWS ADOPTED BY THE CITY OF MOUNTAIN VIEW. CA.	ASSESSOR'S PARCEL NUMBER:	158-12-053	
2. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201 2023 EDITION, GOVERNS THIS WORK U.O.N. 3. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS AND SHALL BASE HIS BID ON EXISTING CONDITIONS.	PROJECT ADDRESS:	312-314 CASTRO STREET MOUNTAIN VIEW, CA 94041	
SUBMIT WRITTEN EXCEPTIONS OR OBJECTIONS, WITH ANALYSIS AND RECOMMENDATIONS TO THE OWNER PRIOR TO SUBMITTING BID COSTS. 4. ALL MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE OR OVERRIDING LOCAL MECHANICAL CODES. 5. ALL PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE OR OVERRIDING LOCAL PLUMBING CODES.	ZONING:	P(19) SAN ANTONIO PRECISE PLAN, SUB AREA H	
6. ALL ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE OR OVERRIDING LOCAL ELECTRICAL CODES. 7. ALL SHEET METAL WORK AND FLASHING SHALL CONFORM TO S.M.A.C.N.A. STANDARDS.	OCCUPANCY GROUP:	В, М	
8. <u>CITY AMENDMENTS</u> : CITY OF MOUNTAIN VIEW CODE 9. ALL BUILDING STANDARD CONSTRUCTION, MATERIALS AND PRODUCTS SHALL CONFORM TO THE MOST CURRENT STANDARDS AND DETAILS AS OUTLINED IN THE SPECIFICATIONS, EXCEPT AS EXPLICITLY SUPERSEDED HEREIN.	CONSTRUCTION TYPE:	V-B	
	NO. OF STORIES:	SINGLE STORY	
SUBSTITUTIONS: 1. REQUEST FOR SUBSTITUTION WILL BE RECEIVED FROM THE GENERAL CONTRACTOR ONLY. 2. PRODUCTS IN THE CONSTRUCTION DOCUMENTS IDENTIFIED BY NAME, BRAND OR MODEL OF A MANUFACTURER'S ARTICLE SHALL BE PROVIDED UNLESS A WRITTEN REQUEST FOR SUBSTITUTION IS ACCEPTED BY THE ARCHITECT. IN THE EVENT THAT THE CONTRACTOR MAKES A SUBSTITUTION WITHOUT PRIOR APPROVAL FROM THE ARCHITECT, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THE SUBSTITUTION AND REPLACE IT PER SPECIFICATIONS WITHOUT ANY ADJUSTMENT TO THE CONTRACT AMOUNT OR TIME.	FIRE SPRINKERS:	NO FIRE SPRINKLERS	
3. THE PRODUCTS DESCRIBED IN THE CONSTRUCTION DOCUMENTS ESTABLISH A STANDARD OF REQUIRED FUNCTION, DIMENSION, APPEARANCE AND QUALITY TO BE MET BY ANY PROPOSED SUBSTITUTION. THE BURDEN OF PROOF OF THE MERIT OF THE PROPOSED SUBSTITUTION IS UPON THE PROPOSER. THE OWNER'S DECISION OF THE APPROVAL OR DISAPPROVAL SHALL BE FINAL. 4. THE REQUEST SHALL INCLUDE ANY CHANGE REQUIRED IN OTHER ELEMENTS OF THE WORK DUE TO THE SUBSTITUTION.	BUILDING HEIGHT:	21'-2 3/8" ABOVE FINISH GRADE	
SUBMITTALS: 1. SCHEDULE SUBMITTALS TO EXPEDITE PROJECT, AS TO CAUSE NO DELAY IN THE WORK OR IN THE WORK OF THE OWNER OR ANY SEPARATE CONTRACTOR. SUBMITTALS NOT SPECIFICALLY REQUESTED SHALL BE RETURNED WITHOUT REVIEW. 2. SHOP DRAWINGS SHALL BE DRAWN AT A SCALE SUFFICIENT FOR CLARITY AND COORDINATION AND SHALL SHOW NECESSARY WORKING AND ERECTION DIMENSIONS.	PROPOSED FLOOR AREA: TENANT SUITE GROUND LEVEL RETAIL	<u>EXISTING</u> <u>PROPOSED</u> 4,789 SF 4,896 SF	
3. CIRCLE ALL DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND PROVIDE A BRIEF WRITTEN EXPLANATION TO CLARIFY AND SUPPORT REASONS FOR PROPOSED DEVIATION. 4. THE CONTRACTOR SHALL PROVIDE THE OWNER A PROJECT SCHEDULE OUTLINING THE WORK TO OCCUR, AND THE MATERIALS BEING ORDERED ON A WEEKLY	MEZZANINE LEVEL	1,473 SF 1,289 SF	
BASIS PRIOR TO BEGINNING THE PROJECT. 5. CONTRACTOR SHALL ALLOW 5 DAYS FOR ARCHITECT AND OWNER TO REVIEW SUBMITTALS.	ADJACENT TENANT SUITE RETAIL	6,091 SF 6,901 SF	
6. ALL SUBMITTALS SHALL HAVE CONTRACTORS STAMP INDICATING SUBMITTAL HAS BEEN REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO BEING SEND TO ARCHITECT AND OWNER FOR REVIEW. 7. SUBMITTALS SENT FOR ARCHITECT AND OWNER REVIEW THAT DO NOT HAVE THE STAMP OF THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW.	TOTAL BUILDING AREA:	12,353 SF 13,143 SF	
	TOTAL SITE AREA:	13,050 SF BUILDING COVERAGE 11,787 SF = 90.4%	
PROTECTIONS: 1. BY ACCEPTING THESE DRAWINGS THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS	MAX BUILDING COVERAGE 100%	BUILDING COVERAGE 11,707 St = 90.470	
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EGRESS NOTES					
ROOM NAME	<u>DESCRIPTION</u>	<u>AREA</u>	OCC. LOAD FACTOR	OCC. LOAD	
GROUND FLOOR LEVEL RETAIL SPACE (OVERALL)	M - MERCHANTILE	4,873 SF			
'VELUX CONVERSATION' ZONES					
ZONE A DAYLIGHT CONVERSATIONS ZONE B DEDICATED RETAIL ZONE C WELLBEING CONVERSATIONS ZONE D INFORMAL MEETING ZONE E INFORMAL MEETING ZONE F SUSTAINABILITY CONVERSATIONS ZONE G CONTROLLABILITY CONVERSATIONS ZONE H MEETING ZONE ZONE I HERITAGE CONVERSATIONS ZONE J INFORMAL LOUNGE	5	264 SF 271 SF 323 SF 319 SF 318 SF 311 SF 253 SF 311 SF 323 SF 319 SF	1:60 1:60 1:60 1:60 1:60 1:60 1:60 1:60	5 5 5 5 5 5 5 5 5 5	
WORKSHOP	B - BUSINESS (OFFICE)	400 SF	1:150	3	
HALL, BATHROOMS, STORAGE, STAIR LANDING	B - BUSINESS (OFFICE)	510 SF	1:150	3	
SOCIAL PRESENTATON ROOM	B - BUSINESS (ASSEMBLY)	495 SF	1:15	33	
MEZZANINE LEVEL					
OFFICES	B - BUSINESS (OFFICE)	1,102 SF	1:150	7	
CONFERENCE ROOM	B - BUSINESS (ASSEMBLY)	150 SF	1:15	10	
TOTAL OCCUPANT LOAD				106	
<u>EGRESS</u>					
NUMBER OF EXITS REQUIRED 2 NUMBER OF EXITS PROVIDED 2					
NOTE: ENCLOSED MEZZANINE MAX. OCCUPANCY LO	AD IS 50				

24. BUILDING ADDRESS: TO BE POSTED IN A CONSPICUOUS PLACE AND LIGHTED EXTERNALLY. NUMBERS SHALL BE OF CONTRASTING COLOR TO BACKGROUND

LOCAL JURISDICTION:	CITY OF MOUTAIN VIEW, CA		
ASSESSOR'S PARCEL NUMBER:	158-12-053	SHEET	NAME
PROJECT ADDRESS:	312-314 CASTRO STREET MOUNTAIN VIEW, CA 94041		DDO ISOT INISODIATION
		A0.1	PROJECT INFORMATION
ZONING:	P(19) SAN ANTONIO PRECISE PLAN, SUB AREA H	A0.2 A0.3	CA GREEN BUILDING REQUIREMENTS CA GREEN BUILDING REQUIREMENTS
	SUB AREA H	A0.3 A0.4	CA GREEN BUILDING REQUIREMENTS CA GREEN BUILDING REQUIREMENTS
OCCUPANCY GROUP:	B, M	A0.4 A0.5	CA GREEN BUILDING REQUIREMENTS
		A0.6	SITE TRANSIT MAP
CONSTRUCTION TYPE:	V-B	A0.7	SITE LOGISTICS PLAN
NO OF STORIES.	SINCLE STORY	A0.8	EXISTING SITE PHOTOGRAPHS
NO. OF STORIES:	SINGLE STORY	A1.1	EXISTING GROUND FLOOR BUILDING PLAN
		A1.2	EXISTING GROUND FLOOR PLAN
EIDE CODINIZEDO.	NO FIRE SPRINKLERS	A1.3	EXISTING MEZZANINE FLOOR PLAN
FIRE SPRINKERS:	NO FIRE SPRINKLERS	A1.4	EXISTING GROUND FLOOR REFLECTED CEILING PLAN
		A1.5	EXISTING MEZZANINE REFLECTED CEILING PLAN
		A1.6	EXISTING ROOF PLAN
DUIL DING LIFEGUE	OALO O/OILADOME EINIOLLODADE	A1.7	EXISTING EXTERIOR ELEVATIONS
BUILDING HEIGHT:	21'-2 3/8" ABOVE FINISH GRADE	A2.1	DEMOLITION GROUND FLOOR BUILDING PLAN
		A2.2	DEMOLITION GROUND FLOOR PLAN
		A2.3	DEMOLITION MEZZANINE FLOOR PLAN
		A2.4	DEMOLITION GROUND FLOOR REFLECTED CEILING PLAN
		A2.5	DEMOLITION MEZZANINE REFLECTED CEILING PLAN
PROPOSED FLOOR AREA:		A2.6	DEMOLITION ROOF PLAN
TENANT SUITE GROUND LEVEL	EXISTING PROPOSED	A2.7	DEMOLITION EXTERIOR ELEVATIONS
RETAIL	4,789 SF 4,896 SF	A2.8	DEMOLITION BUILDING SECTIONS
	, i	A3.1	PROPOSED SITE PLAN
MEZZANINE LEVEL	1,473 SF 1,289 SF	A3.2	PROPOSED GROUND FLOOR PLAN
AD IACENT TENANT CHITE		A3.3	PROPOSED MEZZANINE FLOOR PLAN
ADJACENT TENANT SUITE RETAIL	6,091 SF 6,901 SF	A3.4	PROPOSED EGRESS PLANS
TAE 17 ME	0,001 01	A4.1	PROPOSED REFLECTED CEILING PLAN - GROUND FLOOR
TOTAL BUILDING AREA:	12,353 SF 13,143 SF	A4.2	PROPOSED REFLECTED CEILING PLAN - MEZZANINE LEVEL
	40.050.05	A5.1	PROPOSED ROOF PLAN
TOTAL SITE AREA:	13,050 SF	A5.2	PROPOSED BUILDING SHADOW STUDIES
MAX BUILDING COVERAGE 100%	BUILDING COVERAGE 11,787 SF = 90.4%	A5.3	PROPOSED BUILDING SHADOW STUDIES
WAX BOILDING COVERAGE 10078		A6.1	PROPOSED STOREFRONT ELEVATION
CODE	DEFEDENCE	A6.2	PROPOSED STOREFRONT VIEWS
CODE	REFERENCE	A6.3	PROPOSED ALLEY EXTERIOR ELEVATION, WINDOW SCHEDULE, & DETAILS
		A6.4	PROPOSED ALLEY ENTRANCE VIEW
ALL CONSTRUCTION SHALL COMPL	Y WITH THE MINIMUM REQUIREMENTS OF	A7.1	PROPOSED BUILDING SECTIONS
THE FOLLOWING 2022 CALIFORNIA BUILDING STANDARDS CODE, CCR TITLE 24:		A7.2	PROPOSED STOREFRONT SECTIONS
		A7.3	PROPOSED HVAC W/ SIGHT LINES
APPLICABLE BUILDING CODES:		A8.1	PROPOSED TOILET ROOMS
		A9.1	PROPOSED INTERIOR MATERIALS
2022 CALIFORNIA BUILDING CODE (CBC)		
	•		
2022 CALIFORNIA MECHANICAL CO	DE (CIVIC)		

DOOR REQUIREMENTS

OCCUPANTS REQUIRED WIDTH PROVIDED

MÉANS OF EGRESS CAPACITY FACTOR OF 0.3 INCH PER OCCUPANT.

MEANS OF EGRESS CAPACITY FACTOR OF 0.3 INCH PER OCCUPANT.

MEANS OF EGRESS CAPACITY FACTOR OF 0.3 INCH PER OCCUPANT.

(N) 3'-0" (36" TOTAL) WIDE OPENING WIDTH PROVIDED

STAIR ACCESS 10

(CBC 1005.3.)

MAIN ENTRANCE / EXIT DOORS

ALLEY ENTRANCE / EXIT DOORS

(E) WIDTH / PROPOSED: 5'-0"

STAIR ACCESS / EXIT DOOR

PROPOSED: 44", MIN.

10 OCC. X 0.3-INCH = 3"

EXIT WIDTH:

(CBC 1005.3.)

98 OCC. X 1/ 2 OCC LOAD X 0.3-INCH = 24.5"

98 OCC. X 1/ 2 OCC LOAD X 0.3-INCH = 24.5"

3'-0" & 2'-0" (60" TOTAL) DOOR SET PROVIDED

(N) 6'-0" (72" TOTAL) WIDE OPENING WIDTH PROVIDED

(E) WIDTH / PROPOSED: 6'-0"

PAIR OF 3'-0" WIDE DOORS = 72"

3'-0" & 2'-0" WIDE DOORS = 60"

3'-0" WIDE DOOR = 36"

SHEET INDEX

DERN ARCHITECTURE + DEVELOPMENT, PC

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110 CASA GRANDE

(415) 307-1283

VELUX

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DERN PROJECT NUMBER 2411

PLANNING RESUMBITTAL

PROJECT INFORMATION

1 SITE TRANSIT MAP1

ARCHITECT
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EXPERIENC

312-314 CASTRO STREET MOUNTAIN VIEW, CA 9404

DERN PROJECT NUMBER

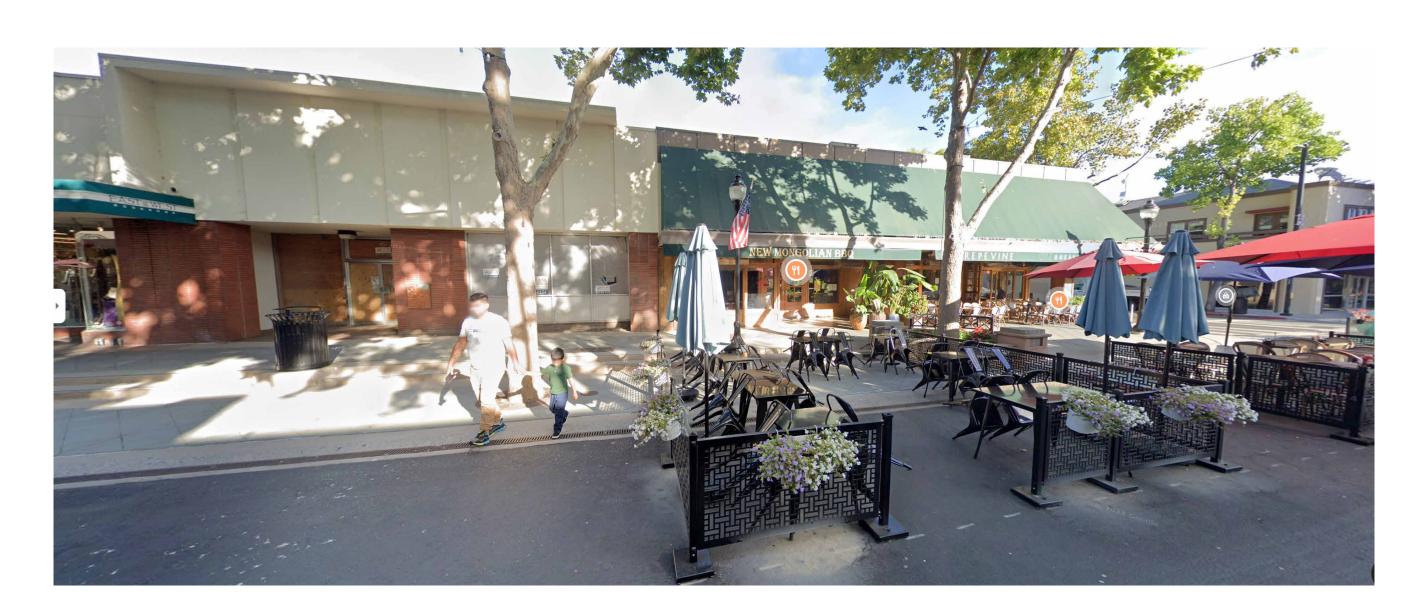
06/20/2025

2411

PLANNING

RESUMBITTAL SHEET TITLE SITE TRANSIT MAP

A0.6



ADJACENT PROPOERTIES NORTHEAST
OF PROJECT SITE1

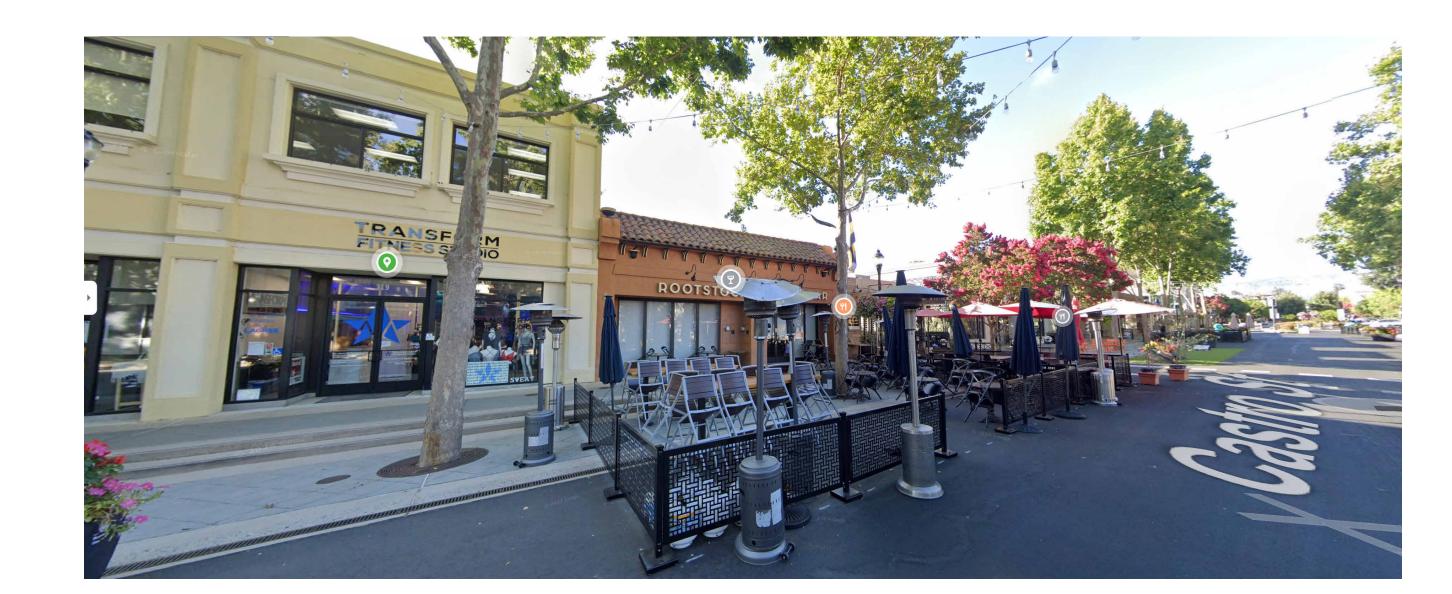


6 CASTRO ST FROM CASTRO & DANA1



PROPERTIES ACROSS CASTRO ST.

5 FROM PROJECT SITE1



CALIFORNIA & CASTRO ACROSS FROM PROJECT SITE1

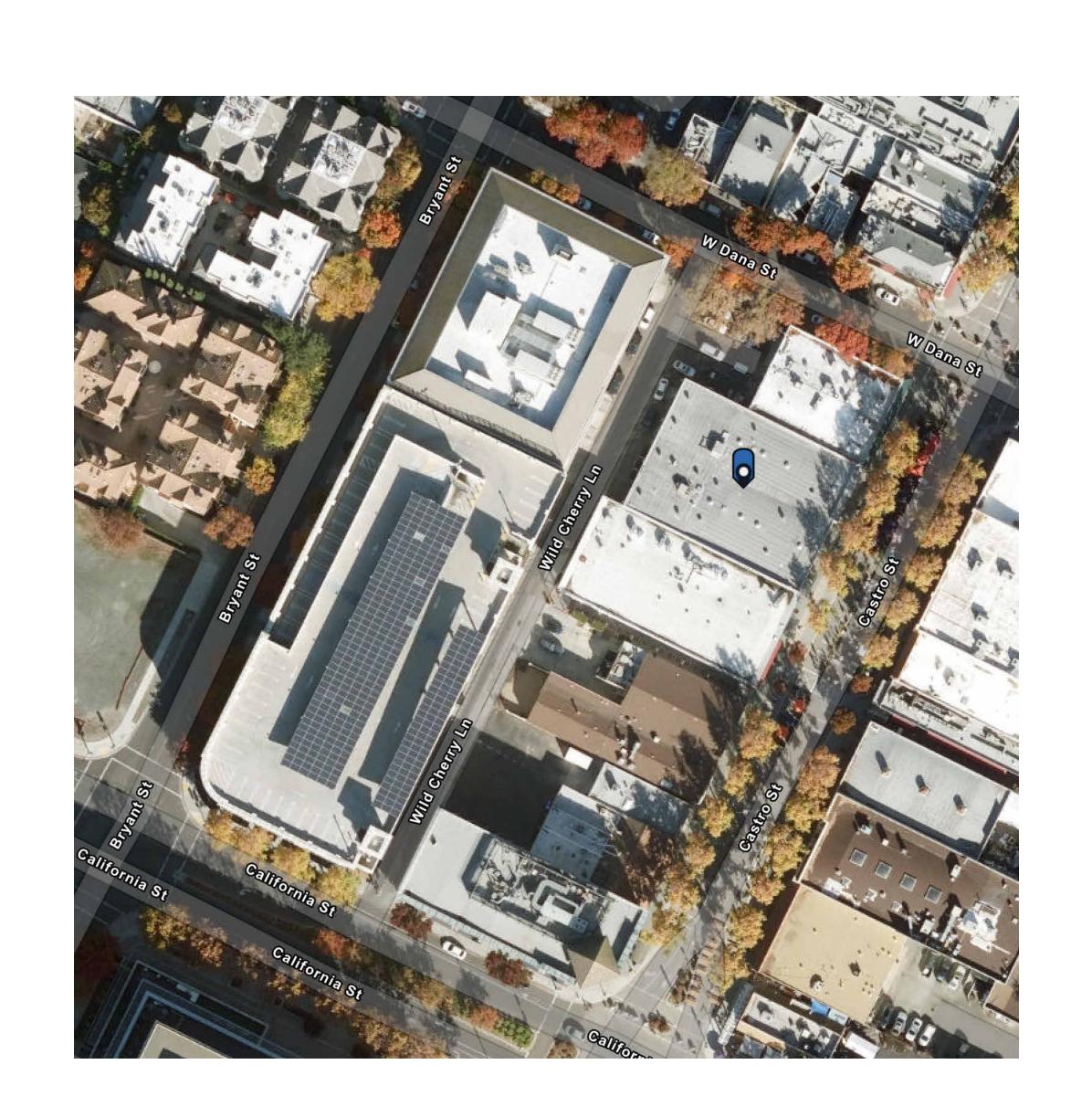


ADJACENT PROPERTIES SOUTHWEST

OF PROJECT SITE1



EXISTING PROJECT FACADE WITH 2 ADJACENT TENANTS1



1 SITE BLOCK ARIAL VIEW1

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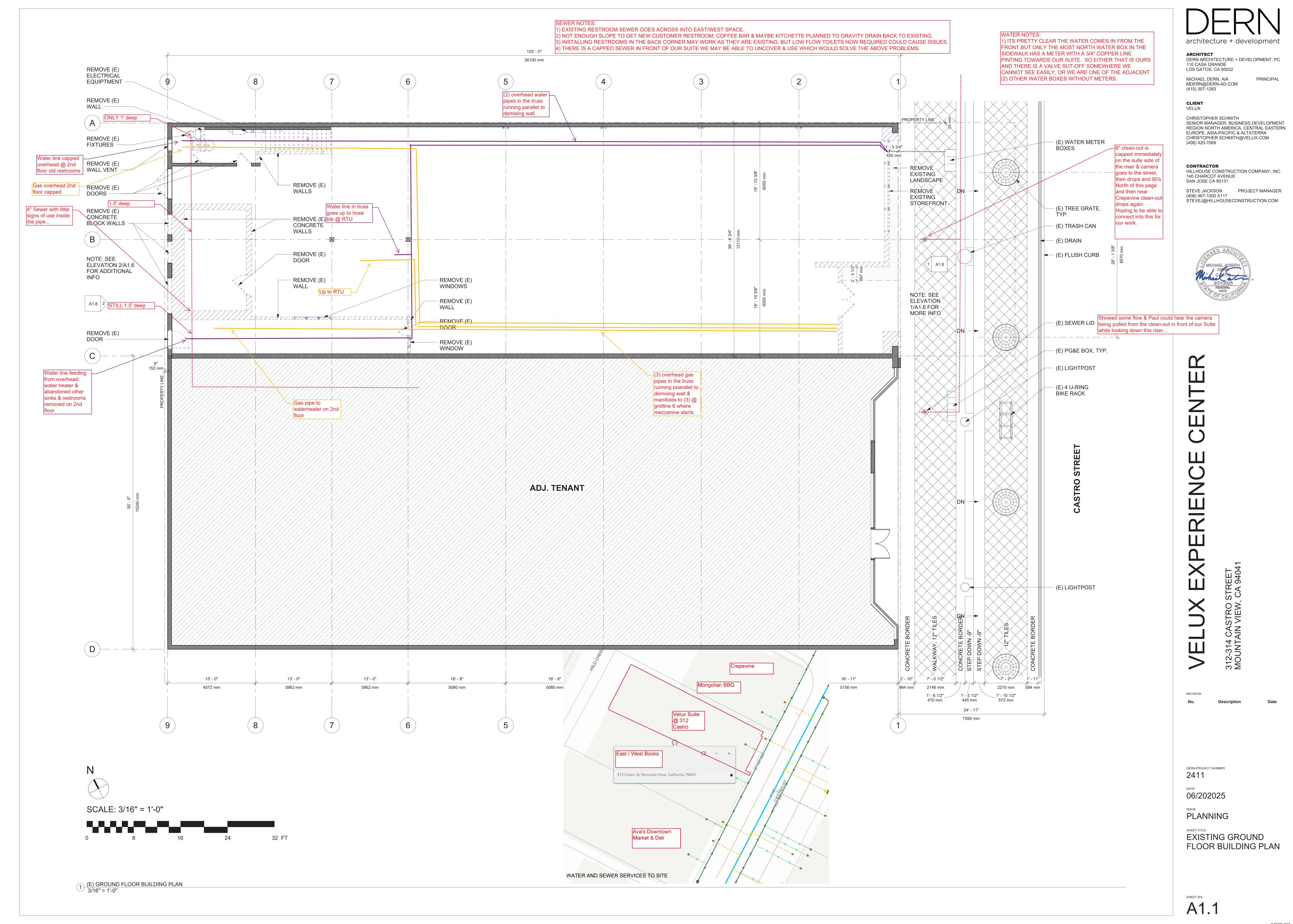
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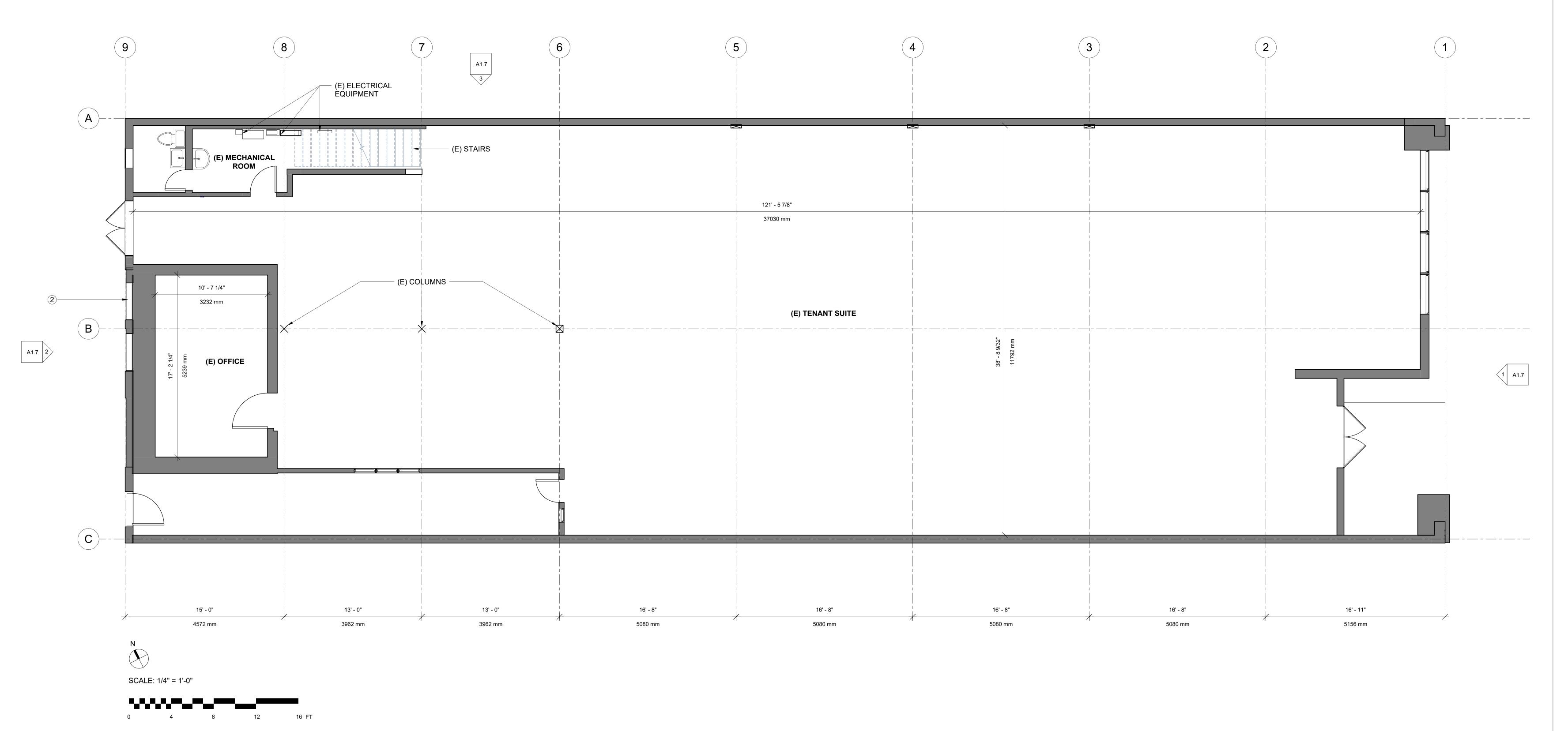
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PLANNING RESUMBITTAL SHEET TITLE

EXISTING SITE PHOTOGRAPHS

8.0A





(E) GROUND FLOOR PLAN 1/4" = 1'-0"

architecture + development

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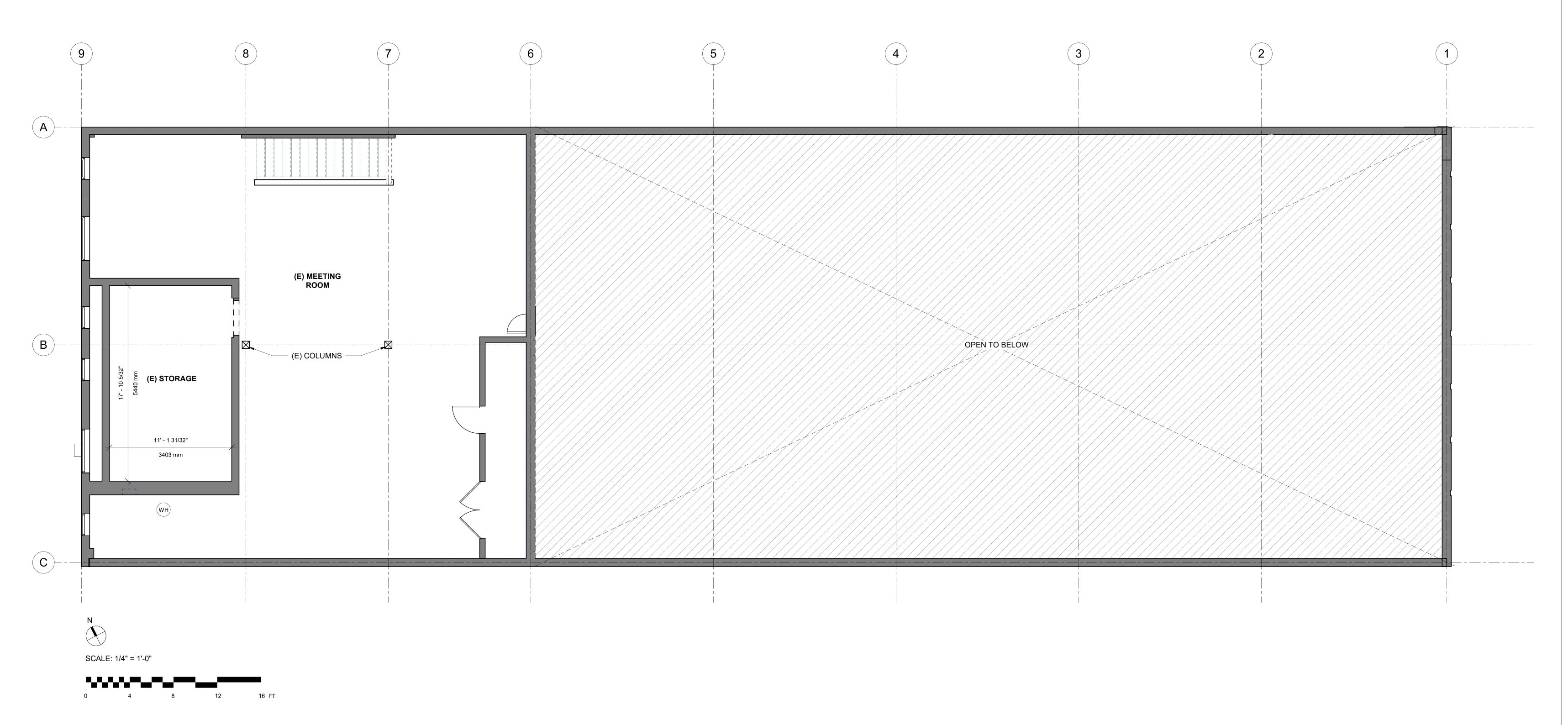


DERN PROJECT NUMBER 2411

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
EXISTING GROUND
FLOOR PLAN

A1.2



1 (E) MEZZANINE PLAN 1/4" = 1'-0"

architecture + development

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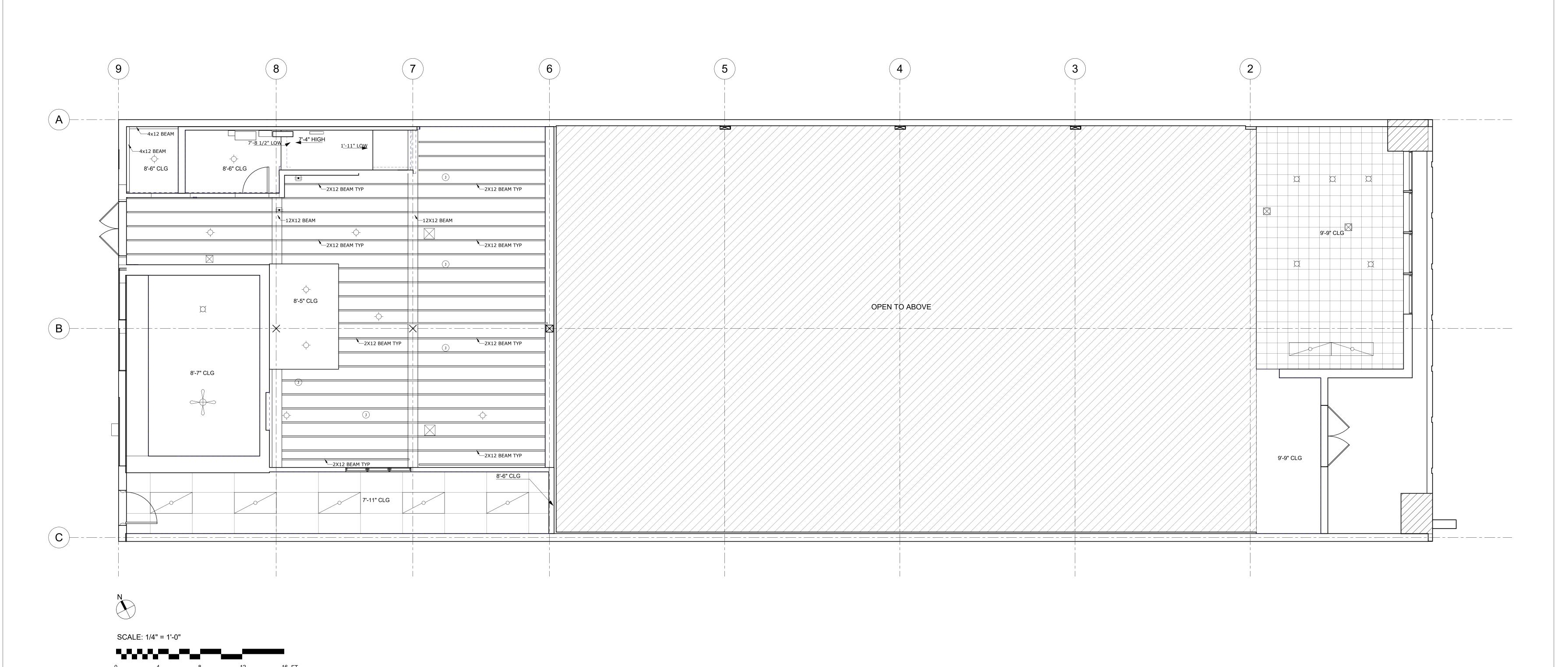


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PLANNING
RESUMBITTAL
SHEET TITLE
EXISTING MEZZANINE
FLOOR PLAN

SHEET NO. A1.3



(E) GROUND FLOOR CEILING 1/4" = 1'-0"

architecture + development **ARCHITECT**

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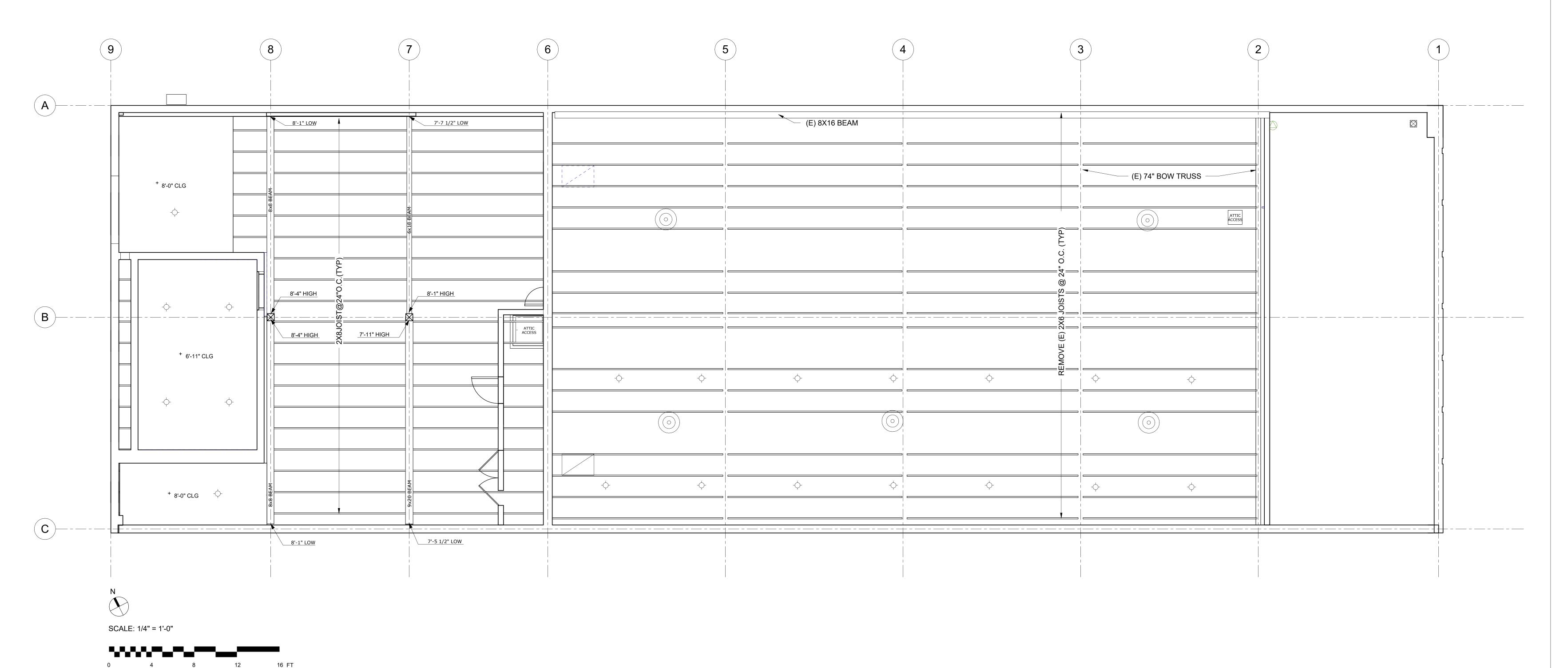


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PLANNING RESUMBITTAL SHEET TITLE EXISTING GROUND FLOOR REFLECTED **CEILING PLAN**

A1.4



(E) MEZZANINE CEILING 1/4" = 1'-0"

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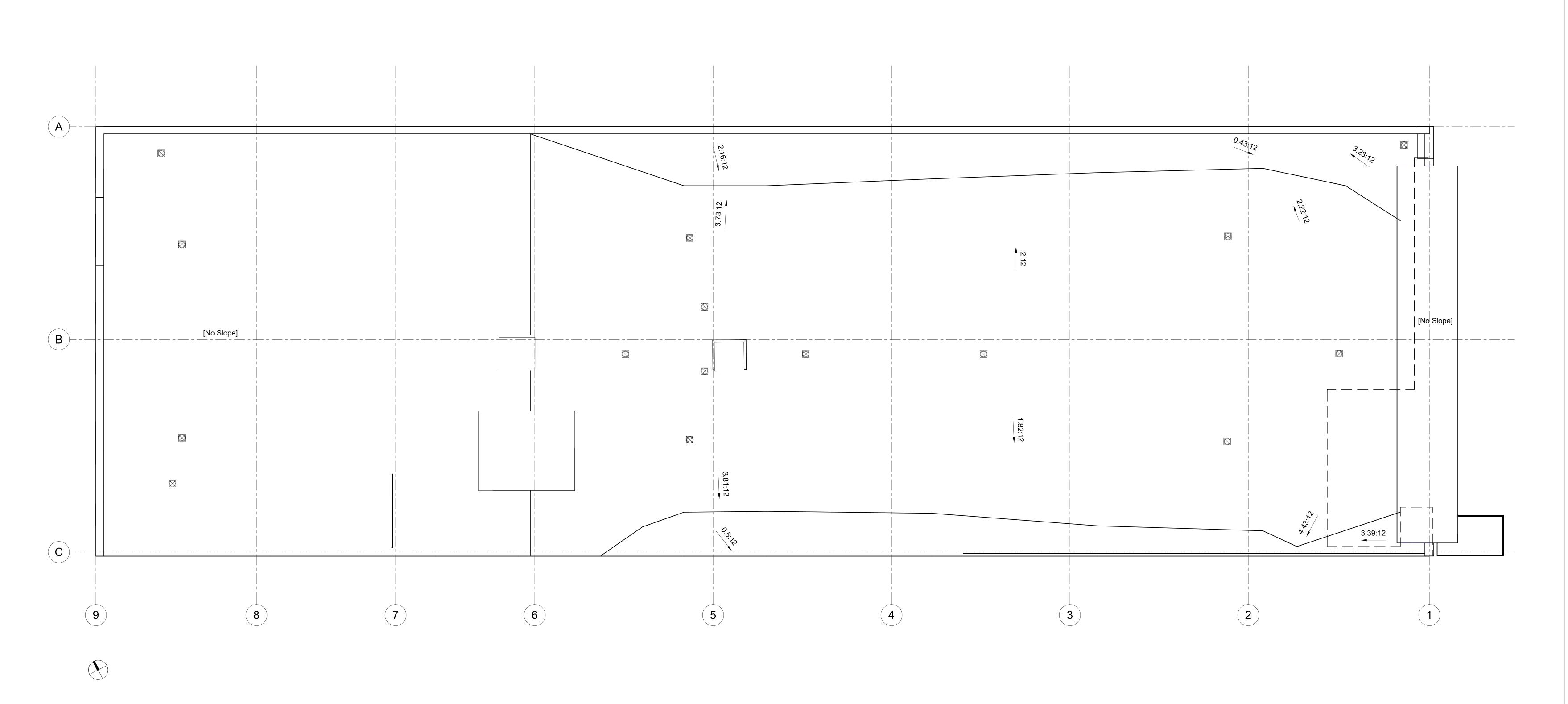
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PLANNING RESUMBITTAL SHEET TITLE

EXISTING MEZZANINE REFLECTED CEILING PLAN

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A1.5



1 (E) ROOF PLAN 1/4" = 1'-0"

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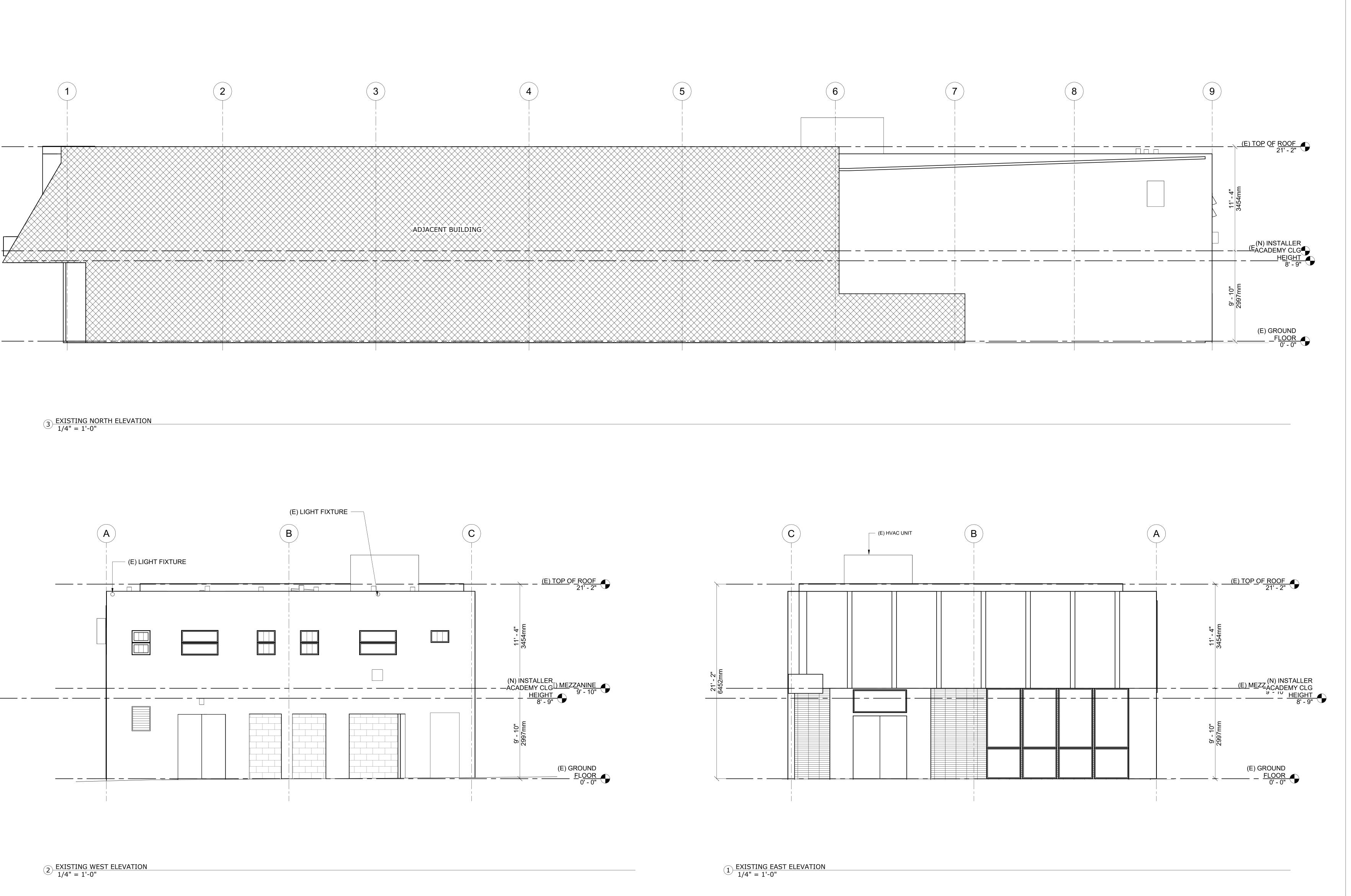
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PLANNING RESUMBITTAL SHEET TITLE EXISTING ROOF PLAN

A1.6



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PLANNING
RESUMBITTAL
SHEET TITLE
EXISTING EXTERIOR
ELEVATIONS

SHEET NO.

A1.7

DEMO GROUND FLOOR BUILDING PLAN
3/16" = 1'-0"

DERN
architecture + development

ARCHITECT
DERN ARCHITECTURE + DEVELOPMENT, PC
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PERIENCE CENTER

12-314 CASTRO STREE 10UNTAIN VIEW, CA 940

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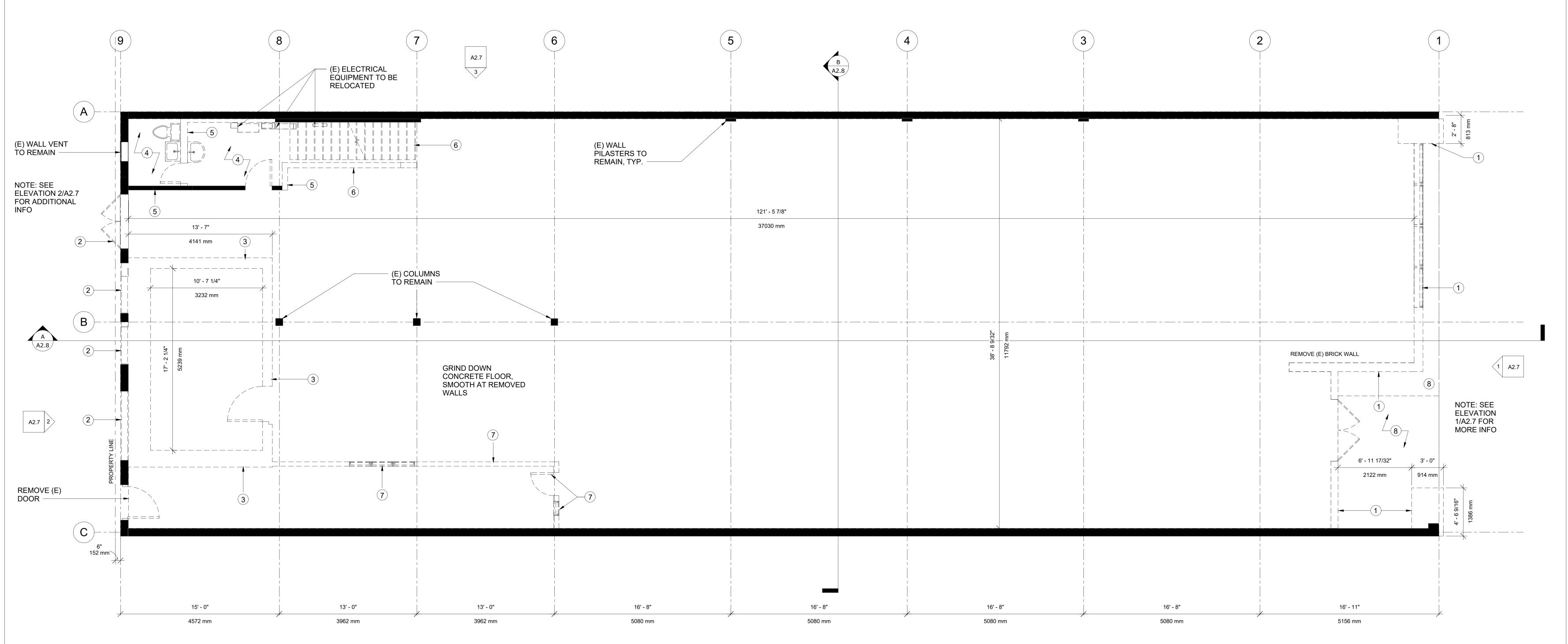
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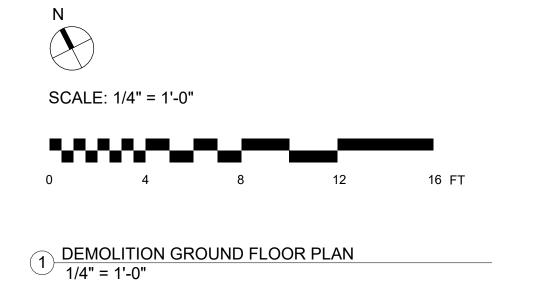
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PLANNING
RESUMBITTAL
SHEET TITLE
DEMOLITION GROUND
FLOOR BUILDING PLAN

SHEET NO.





DEMO GROUND FLOORPLAN KEYNOTES LEGEND

- 1 CASTRO STREET: REMOVE ALL STOREFRONT BRICK WORK, WALL FRAMING, DOORS, GLAZING AND FRAMES AS SHOWN DASHED. SEE DEMOLITION STOREFRONT ELEVATION ON 1/A2.7 FOR MORE INFORMATION.
- 2 THE ALLEY: THE CONCRETE IN-FILL BLOCK WALLS ARE TO BE REMOVED FOR THE NEW STOREFRONT WINDOWS. DOORS ARE TO BE REPLACED FOR NEW STOREFRONT DOORS. SEE DEMOLITION ALLEY ELEVATION ON 2/A2.7 FOR MORE INFORMATION.
- 3 REMOVE THE CONCRETE WALLS AND DOOR TO THE VAULT AT THE REAR OF THE TENANT SUITE.
- 4 REMOVE THE (E) TOILET ROOM AND JANITORIAL CLOSET FLOORING AND FIXTURES.
- 5 REMOVE (E) TOILET ROOM WALLS/DOORS AND CLOSET WALLS/DOORS.
- 6 REMOVE (E) STAIRS AND STAIR WALLS.
- 7 REMOVE (E) WINDOWS, DOORS, AND WALLS IN THE CORRIDOR.
- 8 REMOVE (E) LANDSCAPE AND BRICK PAVER FINISH AT (E) STOREFRONT.

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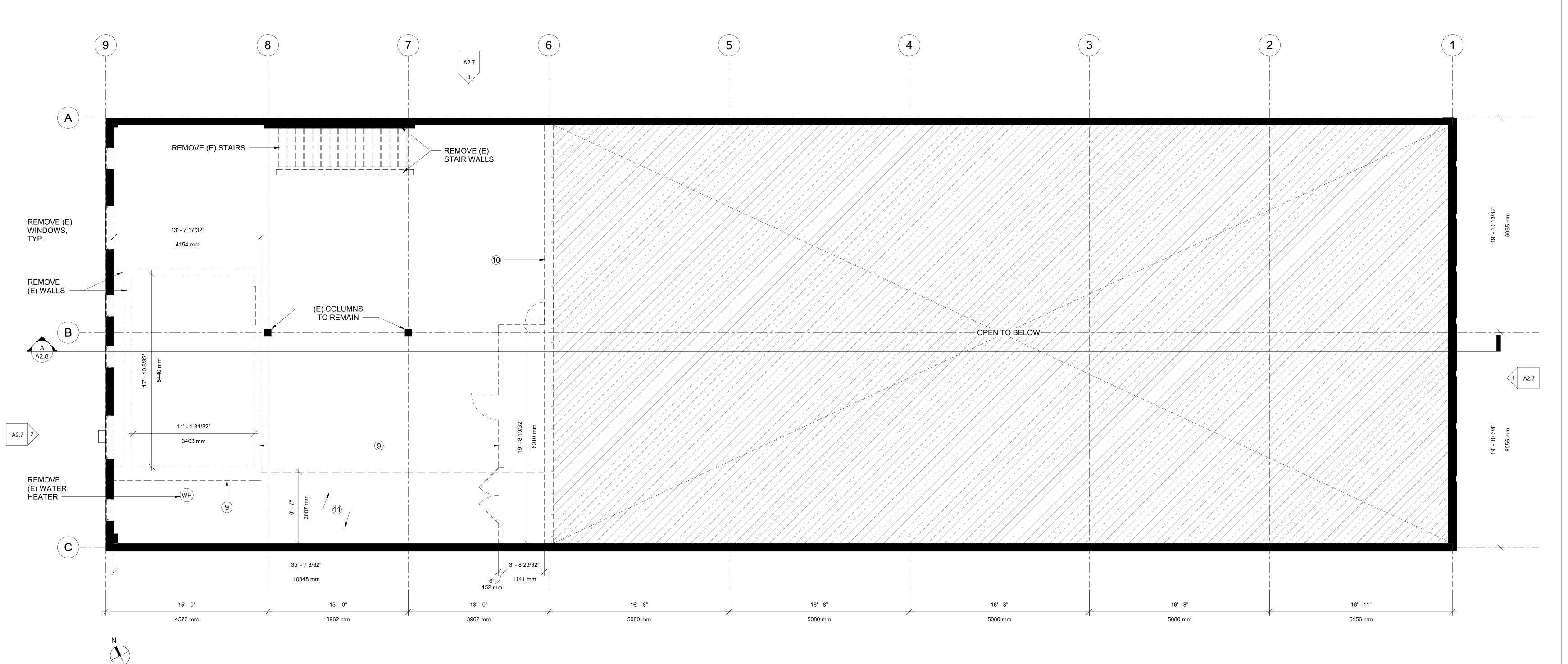


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PLANNING RESUMBITTAL **DEMOLITION GROUND FLOOR PLAN**

A2.2



EXISTING MEZZANINE PLAN KEYNOTES LEGEND

9 REMOVE (E) WALLS AND DOORS FOR THE MEZZANINE STORAGE AREAS.

11 REMOVE (E) FLOOR FRAMING AREA AT MEZZANINE FOR (N) LIGHT WELL.

10 REMOVE (E) PARTIAL HEIGHT WALL AND FINISHES AT GRIDLINE '6'; TRUSS ABOVE TO REMAIN

SCALE: 1/4" = 1'-0"

1) DEMOLITION MEZZANINE PLAN 1/4" = 1'-0"

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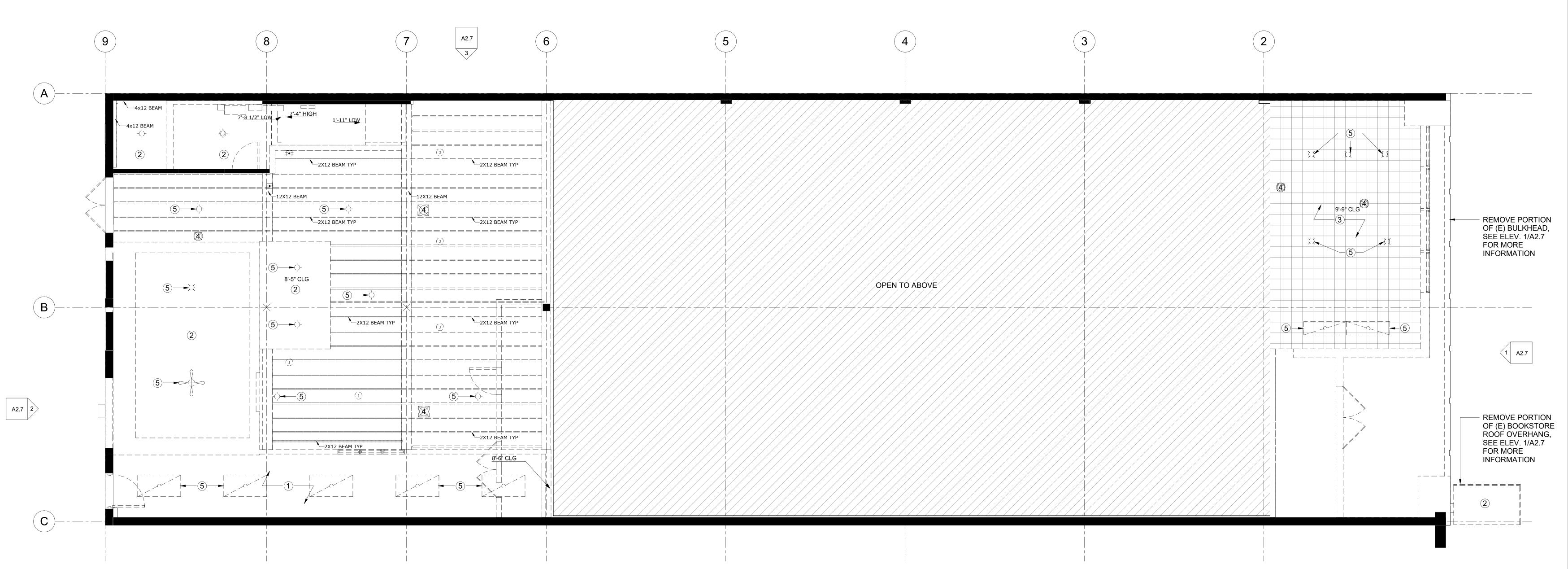


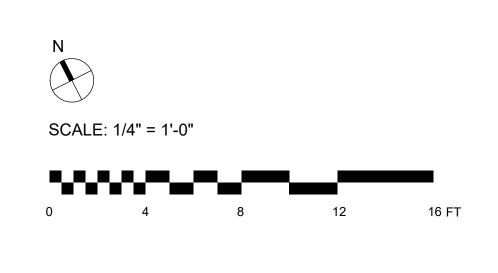
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PLANNING RESUMBITTAL SHEET TITLE DEMOLITION MEZZANINE FLOOR PLAN

A2.3





1 DEMOLITION GROUND FLOOR RCP 1/4" = 1'-0"

EXISTING REFLECTED CEILING PLANS KEYNOTES LEGEND

- 1 REMOVE (E) ACOUSTICAL CEILING GRID AND TILES, TYP.
- 2 REMOVE (E) GYP. BD. SOFFITS, TYP.
- (3) REMOVE (E) GLUED-ON TILES AND CEILING FINISHES, TYP.
- 4 REMOVE (E) MECHANICAL UNITS, EXHAUST FANS, DUCTWORK, LOUVERS AND GRILLES, TYP.
- 5 REMOVE (E) LIGHTING FIXTURES AND WIRING, TYP.
- (6) REMOVE (E) PLUMBING AND CAP BACK TO SOURCE, TYP.

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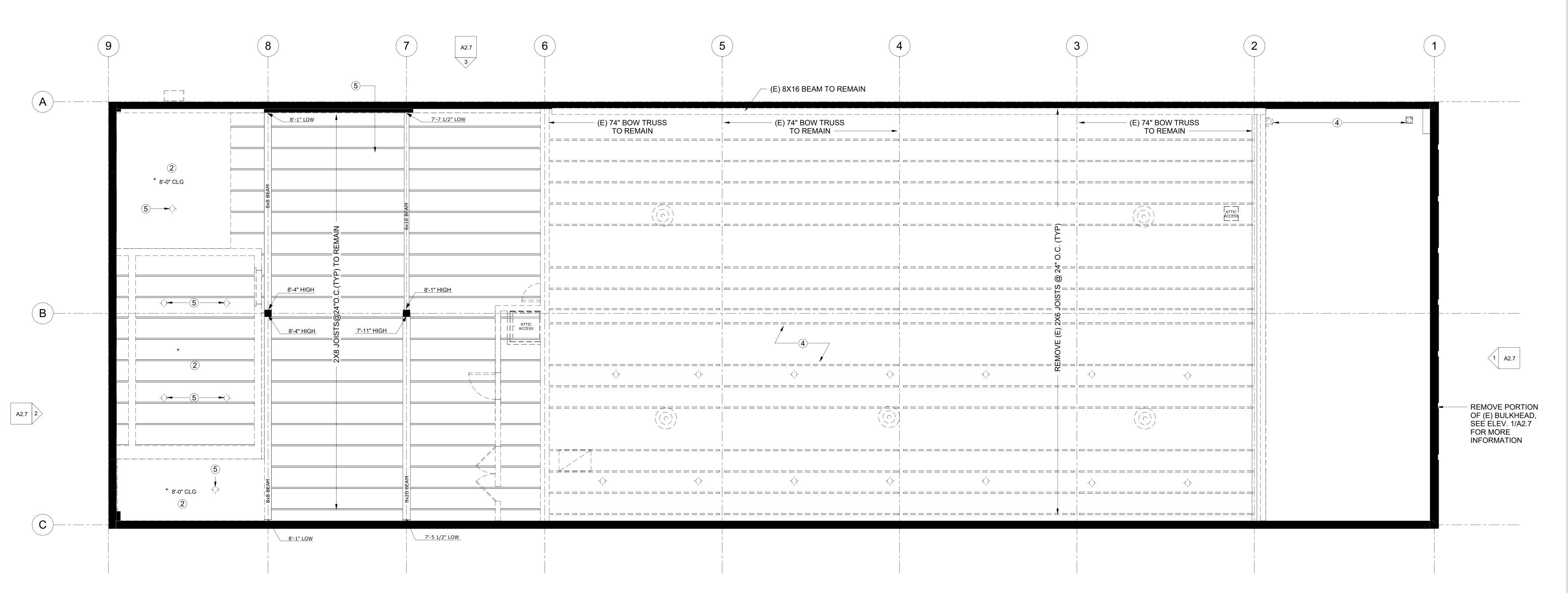


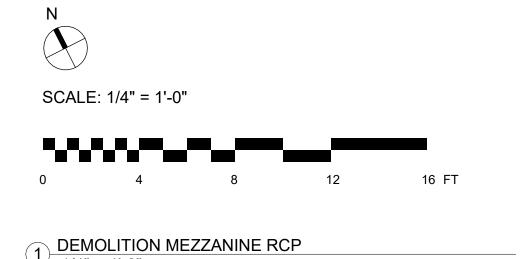
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PLANNING RESUMBITTAL DEMOLITION GROUND FLOOR REFLECTED **CEILING PLAN**

A2.4





EXISTING REFLECTED CEILING PLANS KEYNOTES LEGEND

- 1 REMOVE (E) ACOUSTICAL CEILING GRID AND TILES, TYP.
- 2 REMOVE (E) GYP. BD. SOFFITS, TYP.
- REMOVE (E) GLUED-ON TILES AND CEILING FINISHES, TYP.
- 4 REMOVE (E) MECHANICAL UNITS, EXHAUST FANS, DUCTWORK, LOUVERS AND GRILLES, TYP.
- 5 REMOVE (E) LIGHTING FIXTURES AND WIRING, TYP.
- (6) REMOVE (E) PLUMBING AND CAP BACK TO SOURCE, TYP.

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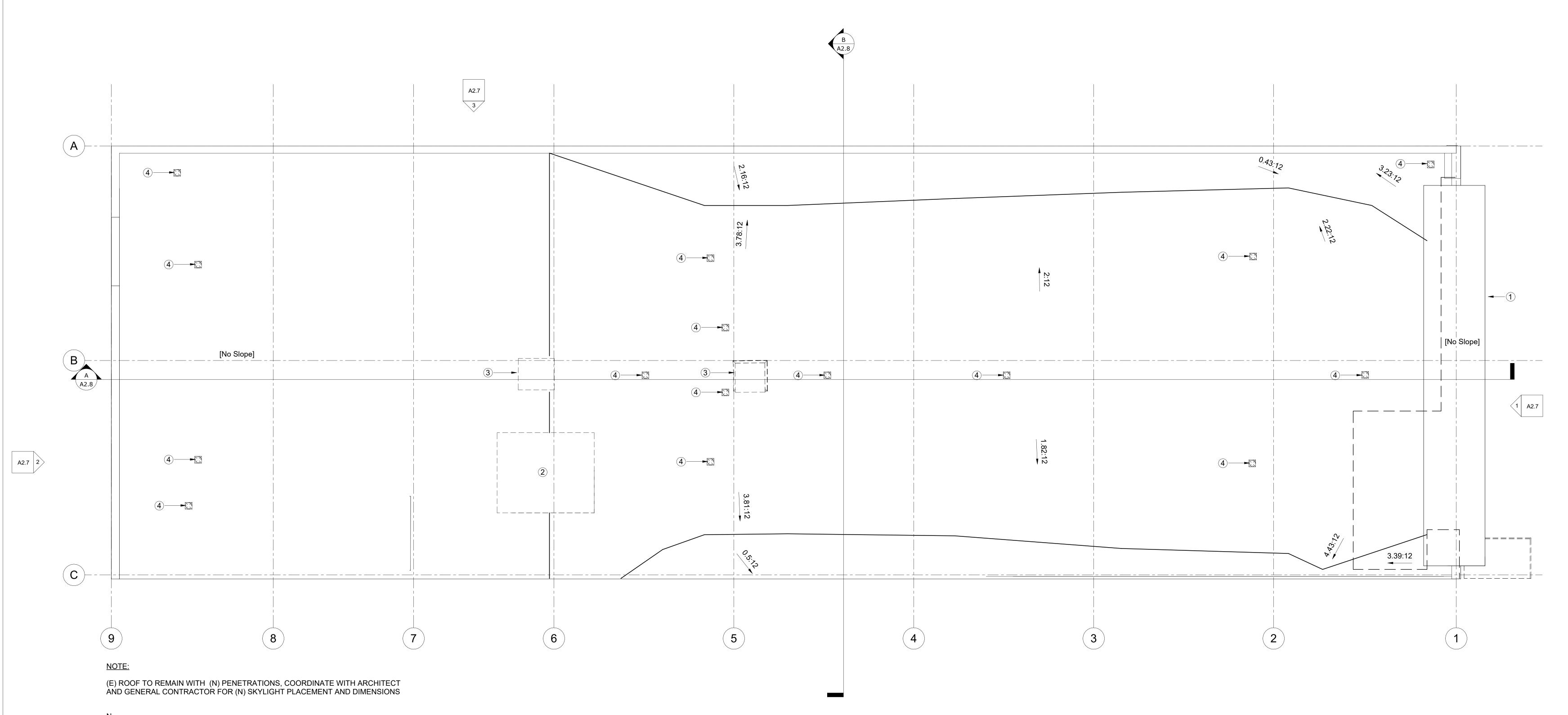
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PLANNING RESUMBITTAL **DEMOLITION** MEZZANINE REFLECTED **CEILING PLAN**

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A2.5



SCALE: 1/4" = 1'-0"

1 DEMOLITION ROOF PLAN 1/4" = 1'-0"

EXISTING ROOF PLAN KEYNOTES LEGEND

- 1 REMOVE (E) ROOF SOFFIT FRAMING AND FINISHES, TYP.
- 2 REMOVE (E) MECHANICAL UNIT
- 3 REMOVE (E) ROOF HATCH, TYP.
- (4) REMOVE (E) VENTS, TYP.

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PLANNING RESUMBITTAL SHEET TITLE DEMOLITION ROOF PLAN

A2.6

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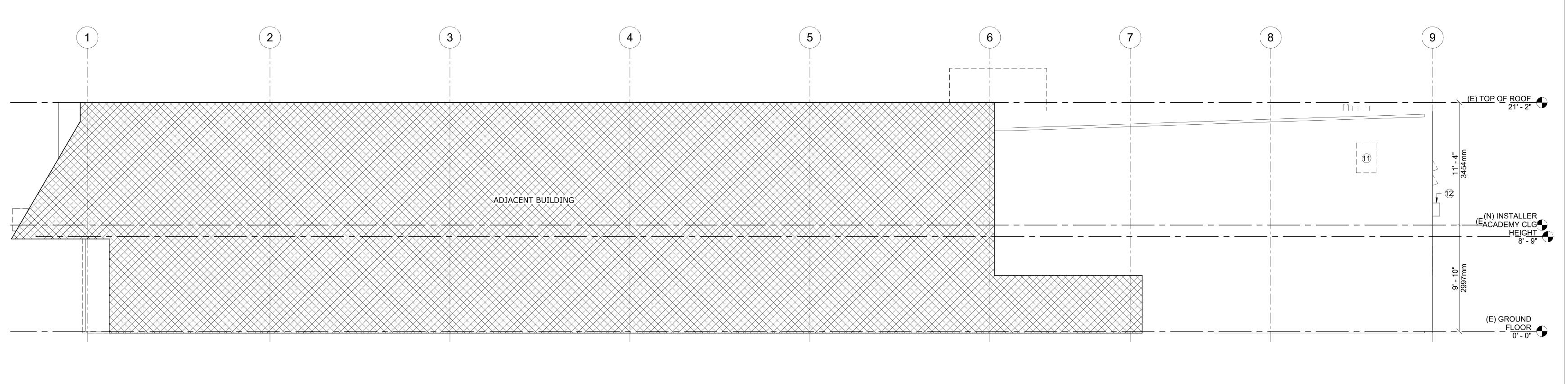
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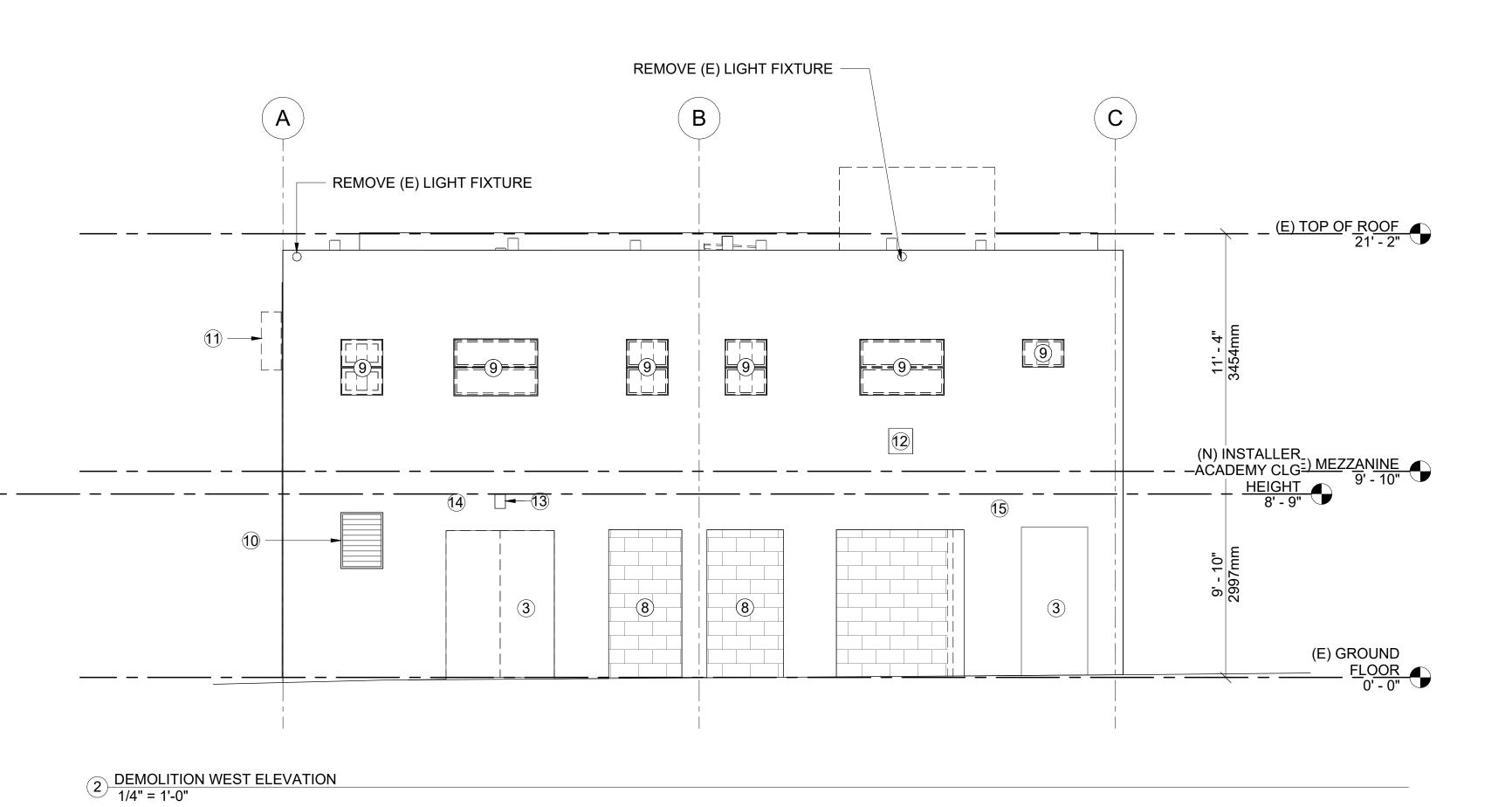
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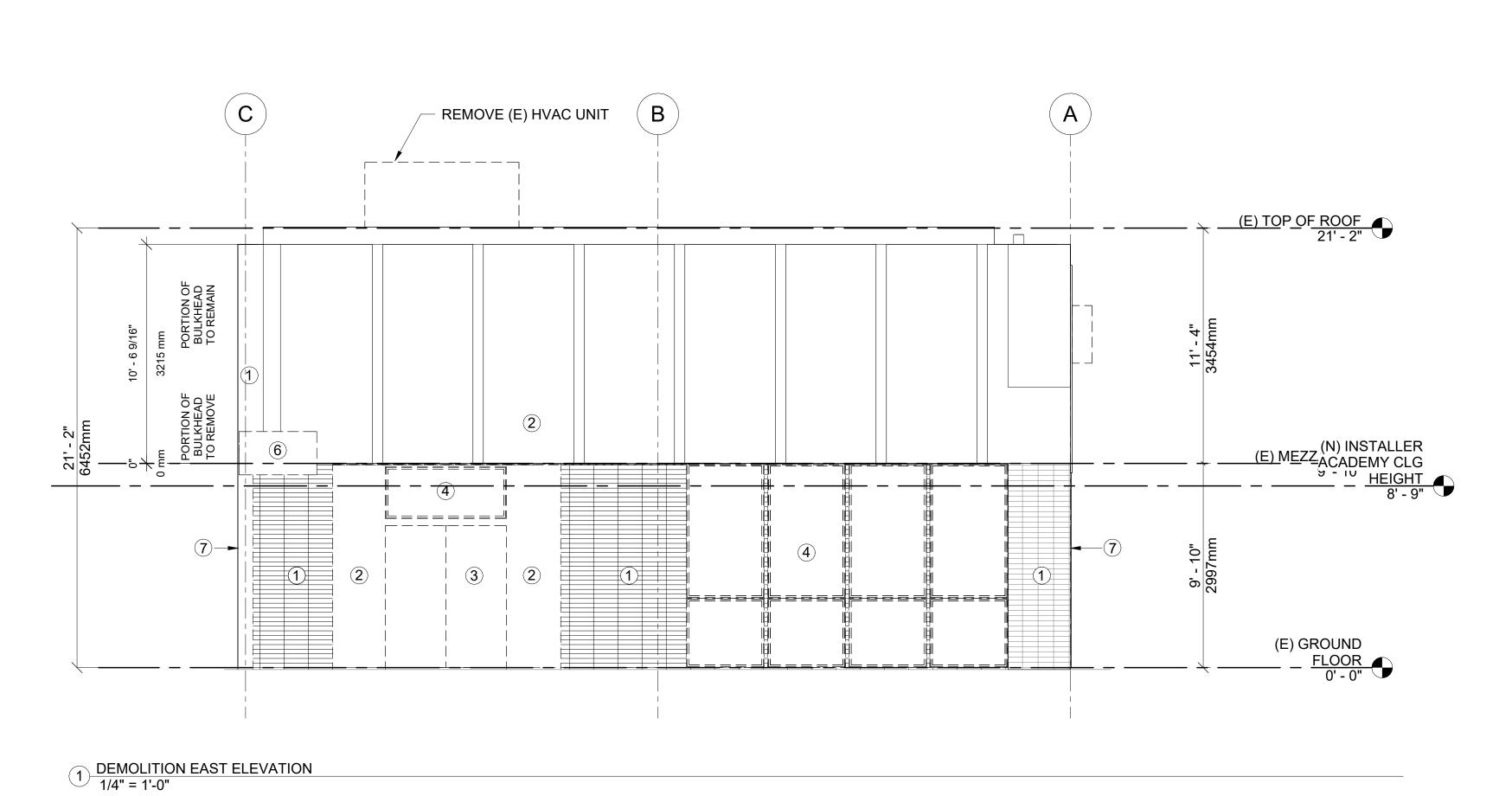
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EXTERIOR ELEVATIONS KEYNOTES LEGEND

- 1 REMOVE (E) BRICK FAÇADE AT STOREFRONT, TYP.
- 2 REMOVE (E) WALL FRAMING AND FINISHES AT THE STOREFRONT TYP.
- 3 REMOVE (E) STOREFRONT DOORS AND FRAMES, TYP.
- 4 REMOVE (E) STOREFRONTGLAZING AND FRAMES, TYP.
- 5 REMOVE (E) STOREFRONT SOFFIT AT ROOF PARAPET
- 6 REMOVE (E) STOREFRONT SOFFIT BEYOND GRIDLINE 'C' AND REBUILD PER NEW SCOPE OF WORK
- 7 REMOVE (E) STOREFRONT TO CENTER OF GRIDLINE 'A' AND 'C'. DO NOT REMOVE PAST GRIDLINES, U.O.N.
- 8 REMOVE (E) BLOCK WALL IN-FILL FOR (N) WINDOWS, TYP.
- REMOVE (E) WINDOWS FOR (N) WINDOWS, TYP.
- 10 REMOVE (E) LOUVER FORE (N) WINDOW
- 11 REMOVE (E) MECHANICAL UNIT ON SIDE WALL
- 12 REMOVE (E) ALARM BOX
- (13) REMOVE (E) LIGHTING AND EXPOSED CONDUIT, TYP.
- 14) PREPARE EXTERIOR FOR NEW SIGNAGE
- 15 PREPARE EXTERIOR WALL AT ALLEY FOR NEW ROOF ACCESS LADDER

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VELUX EXPERIENCE CENTER

312-31⁴ MOUN

No. Description

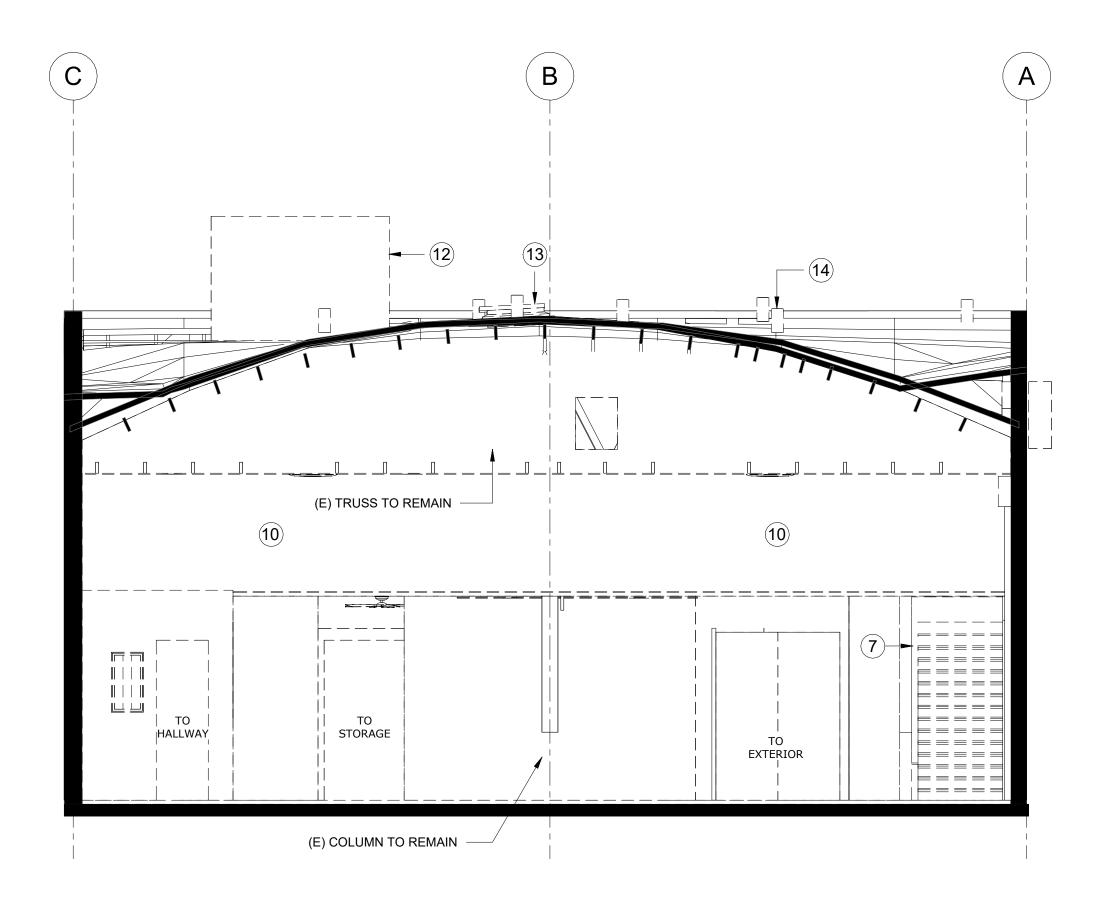
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PLANNING
RESUMBITTAL
SHEET TITLE
DEMOLITION EXTERIOR

ELEVATIONS

A2.7



B DEMOLITION TRANSVERSE SECTION 1/4" = 1'-0"

(E) COLUMNS TO REMAIN _____ (E) WORKROOM (E) COLUMNS TO REMAIN ──► (E) COLUMNS TO REMAIN ———

A DEMOLITION LONGITUDINAL SECTION 1/4" = 1'-0"

DEMO SECTIONS KEYNOTES LEGEND

- REMOVE ALL STOREFRONT BRICK WORK, WALL FRAMING, DOORS, GLAZING AND FRAMES AS SHOWN DASHED. SEE DEMOLITION STOREFRONT ELEVATION ON 1/A2.7 FOR MORE INFORMATION.
- 2 THE ALLEY: THE CONCRETE IN-FILL BLOCK WALLS ARE TO BE REMOVED FOR THE NEW STOREFRONT WINDOWS. DOORS ARE TO BE REPLACED FOR NEW STOREFRONT DOORS. SEE DEMOLITION ALLEY ELEVATION ON 2/A2.7 FOR MORE INFORMATION.
- (3) REMOVE THE CONCRETE WALLS AND DOOR TO THE VAULT AT THE REAR OF THE TENANT SUITE.
- 4 REMOVE THE (E) CEILING FRAMING, FINISHES, AND FIXTURES AT (E) ENTRY.
- 5 REMOVE (E) SOFFIT WALL IN ENTRY AREA.
- 6 REMOVE (E) CEILING JOISTS IN (E) WORKROOM, TYP.
- 7 REMOVE (E) STAIRS AND STAIR WALLS.
- 8 REMOVE (E) LANDSCAPE AND BRICK PAVER FINISH AT (E) STOREFRONT.
- 9 REMOVE (E) WALLS AND DOORS FOR THE MEZZANINE STORAGE AREAS.
- 10 REMOVE (E) WALL AND FINISHES AT GRIDLINE '6'; TRUSS ABOVE TO REMAIN
- 11) REMOVE (E) ROOF SOFFIT FRAMING AND FINISHES, TYP.
- 12 REMOVE (E) MECHANICAL UNIT
- 13 REMOVE (E) ROOF HATCH, TYP.
- 14 REMOVE (E) ROOF VENTS, TYP.

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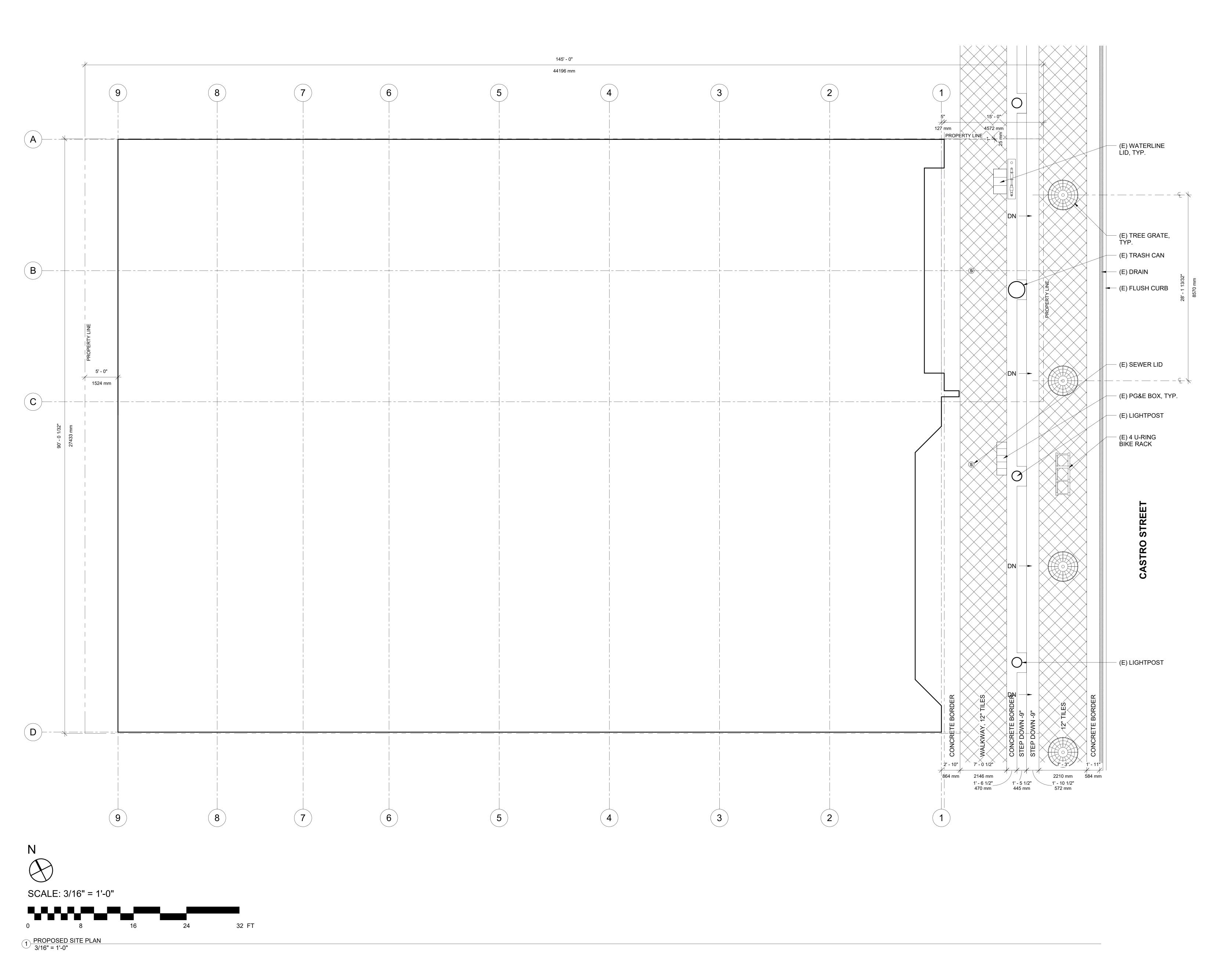


DERN PROJECT NUMBER 2411

06/20/2025

PLANNING RESUMBITTAL **DEMOLITION BUILDING** SECTIONS

A2.8



ARCHITECT DERN ARCHITECTURE + DEVELOPMENT, PC 110 CASA GRANDE LOS GATOS, CA 95032

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DERN PROJECT NUMBER

2411

06/20/2025

PLANNING RESUMBITTAL SHEET TITLE PROPOSED SITE PLAN

SHEET NO. A3.1

PROPOSED FLOORPLANS KEYNOTES LEGEND

- (1) STOREFRONT, SEE STOREFRONT ELEVATION.
- (2) FRAMING FOR (N) FINSHES AND STOREFRONT PROFILE, TYP.
- (3) CONCRETE FOUNDATION SLAB IN-FILL AT NEW STOREFRONT AND ZONE 'B'
- (4) WALL PARTITION, TYP.
- (5) EXISTING POST TO REMAIN, TYP.
- (6) POS STATION COUNTER AND CABINETRY
- (7) MEZZANINE STRUCTURE WITH STAIRS.
- (8) VERTICAL WALL PILASTER, TYP.
- (9) DEMISING WALL AND WINDOW SYSTEM.
- ① FIXTURES, FINISHES AND EQUIPMENT TO BE COORDINATED WITH GENERAL CONTRACTOR AND VELUX.
- 11 WHERE WALL MOUNTED SCREENS AND MONITORS ARE LOCATED, COORDINATE ELECTRICAL REQUIREMENTS, TYP.
- (2) KITCHENETTE CABINETRY
- 13 PLANTER, TYP.

VELUX CONVERSATION ZONES

ZONE A DAYLIGHT CONVERSATIONS

ZONE B DEDICATED RETAIL

ZONE C WELLBEING CONVERSATIONS

ZONE D INFORMAL MEETING

ZONE E INFORMAL MEETING

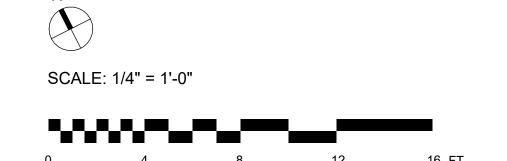
ZONE F SUSTAINABILITY CONVERSATIONS

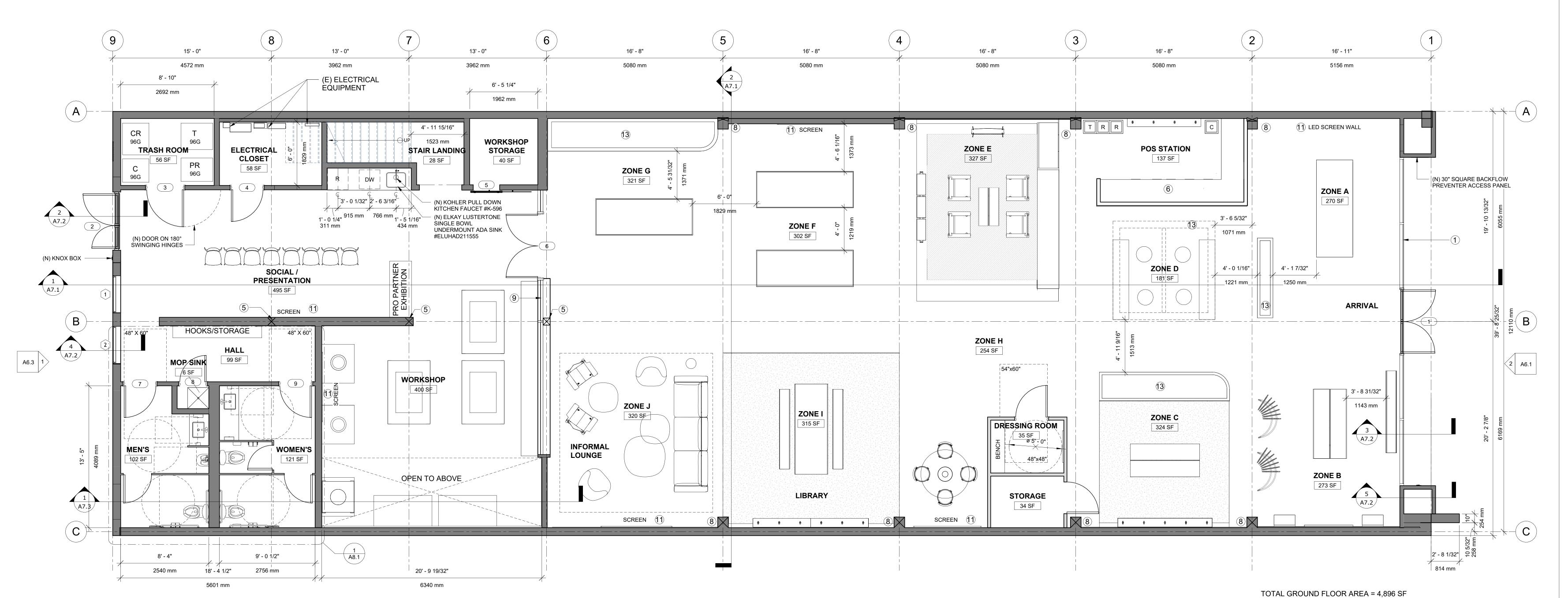
ZONE G CONTROLLABILITY CONVERSATIONS

ZONE H MEETING ZONE

ZONE I HERITAGE CONVERSATIONS

ZONE J INFORMAL LOUNGE





NOTES

1. SEE SHEET A8.2 FOR (N) INTERIOR FINISHES

1) PROPOSED GROUND FLOOR 1/4" = 1'-0"

architecture + development

ARCHITECT

DERN ARCHITECTURE + DEVELOPMENT, PC

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SE CENTER

2-314 CASTRO STREET

ON

2411

DERN PROJECT NUMBER

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED GROUND
FLOOR PLAN

A3.2

PROPOSED FLOORPLANS KEYNOTES LEGEND

- 1) STOREFRONT, SEE STOREFRONT ELEVATION.
- 2 FRAMING FOR (N) FINSHES AND STOREFRONT PROFILE, TYP.
- (3) CONCRETE FOUNDATION SLAB IN-FILL AT NEW STOREFRONT AND ZONE 'B'
- (4) WALL PARTITION, TYP.
- (5) EXISTING POST TO REMAIN, TYP.
- (6) POS STATION COUNTER AND CABINETRY
- 7 MEZZANINE STRUCTURE WITH STAIRS.
- 8 VERTICAL WALL PILASTER, TYP.
- 9 DEMISING WALL AND WINDOW SYSTEM.
- 10 FIXTURES, FINISHES AND EQUIPMENT TO BE COORDINATED WITH GENERAL CONTRACTOR AND VELUX.
- 11) WHERE WALL MOUNTED SCREENS AND MONITORS ARE LOCATED, COORDINATE ELECTRICAL REQUIREMENTS, TYP.
- (2) KITCHENETTE CABINETRY
- 13 PLANTER, TYP.

VELUX CONVERSATION ZONES

ZONE A DAYLIGHT CONVERSATIONS

ZONE B DEDICATED RETAIL

ZONE C WELLBEING CONVERSATIONS

ZONE D INFORMAL MEETING

ZONE E INFORMAL MEETING

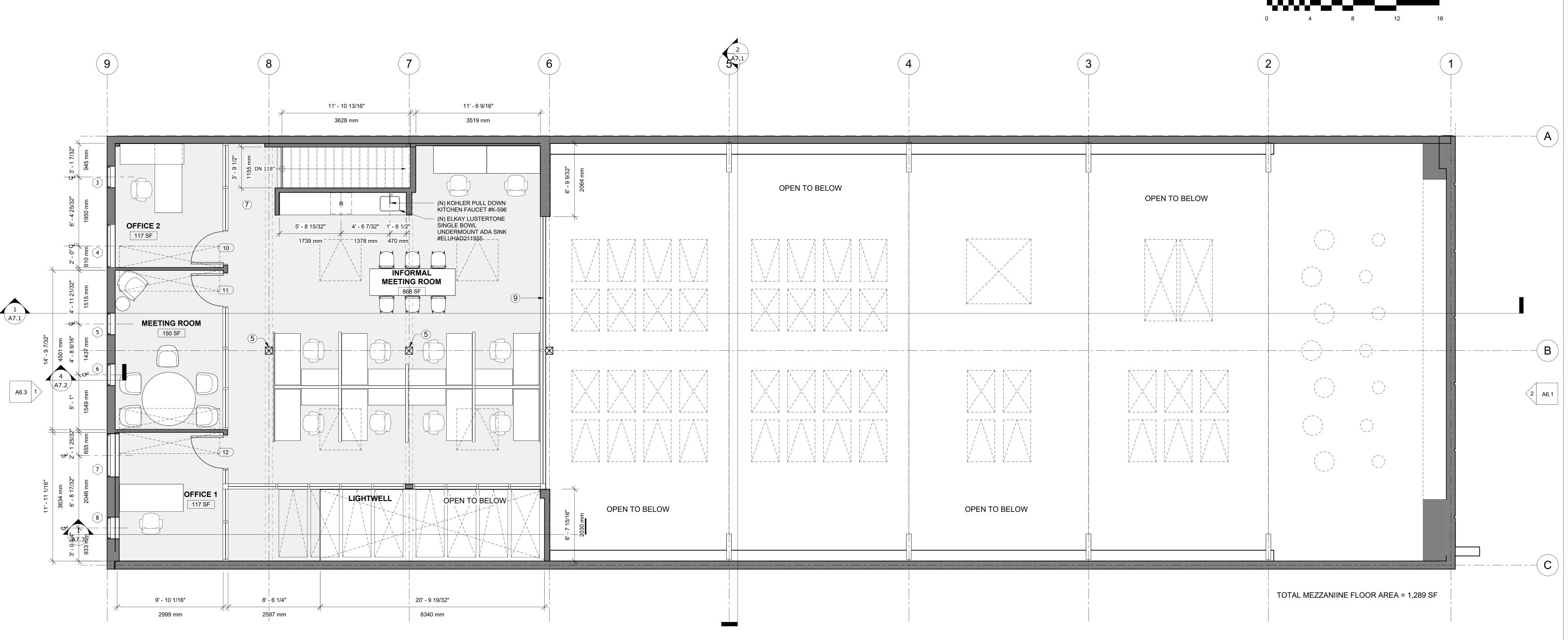
ZONE F SUSTAINABILITY CONVERSATIONS

ZONE G CONTROLLABILITY CONVERSATIONS

ZONE H MEETING ZONE

ZONE I HERITAGE CONVERSATIONS

ZONE J INFORMAL LOUNGE



1 PROPOSED MEZZANINE LEVEL 1/4" = 1'-0"

DEHIN

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UX EXPERIENCE CENTER

SCALE: 1/4" = 1'-0"

312-314 CASTRO MOUNTAIN VIEW,

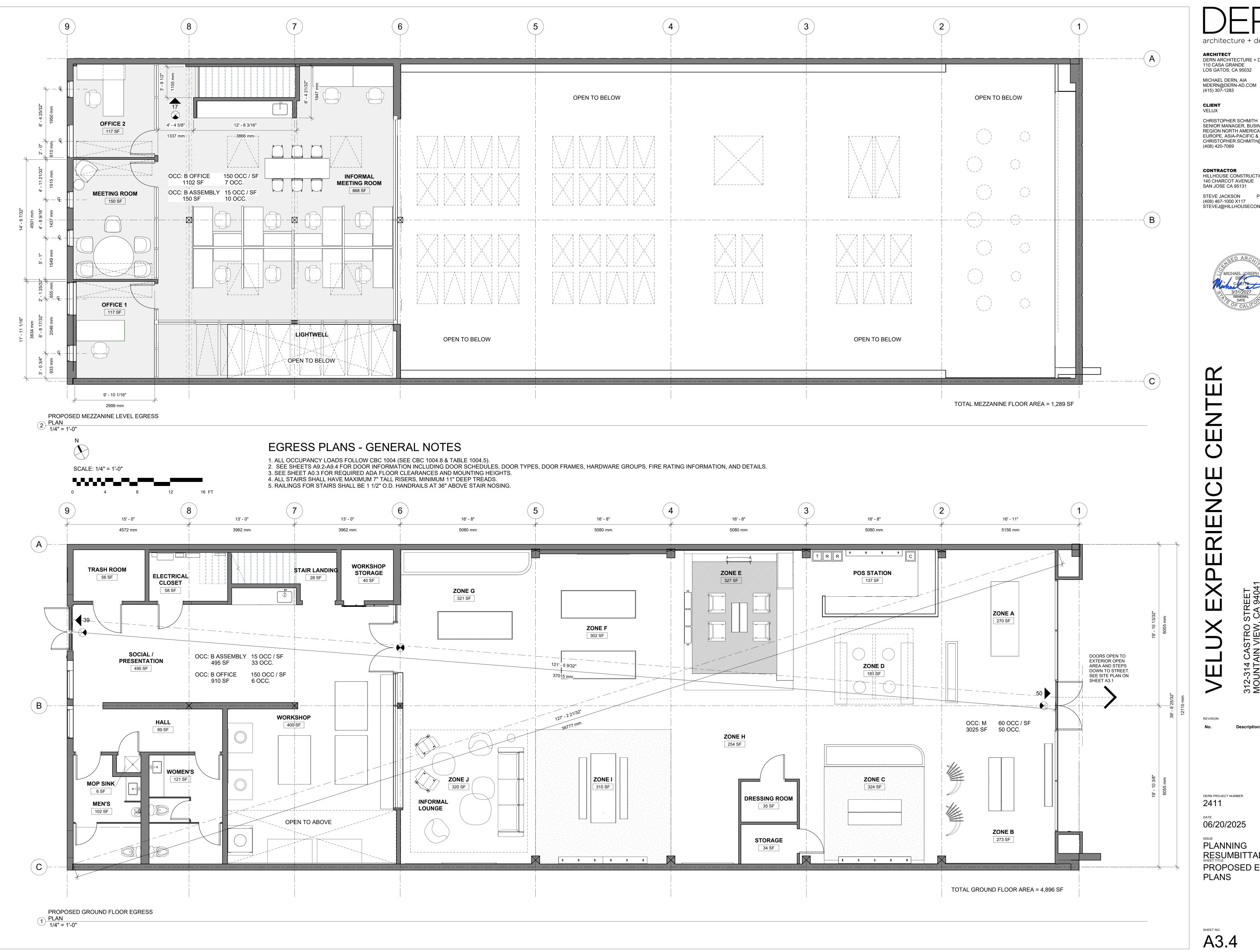
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DERN PROJECT NUMBER

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED MEZZANINE
FLOOR PLAN

A3.3



ARCHITECT DERN ARCHITECTURE + DEVELOPMENT, PC 110 CASA GRANDE LOS GATOS, CA 95032

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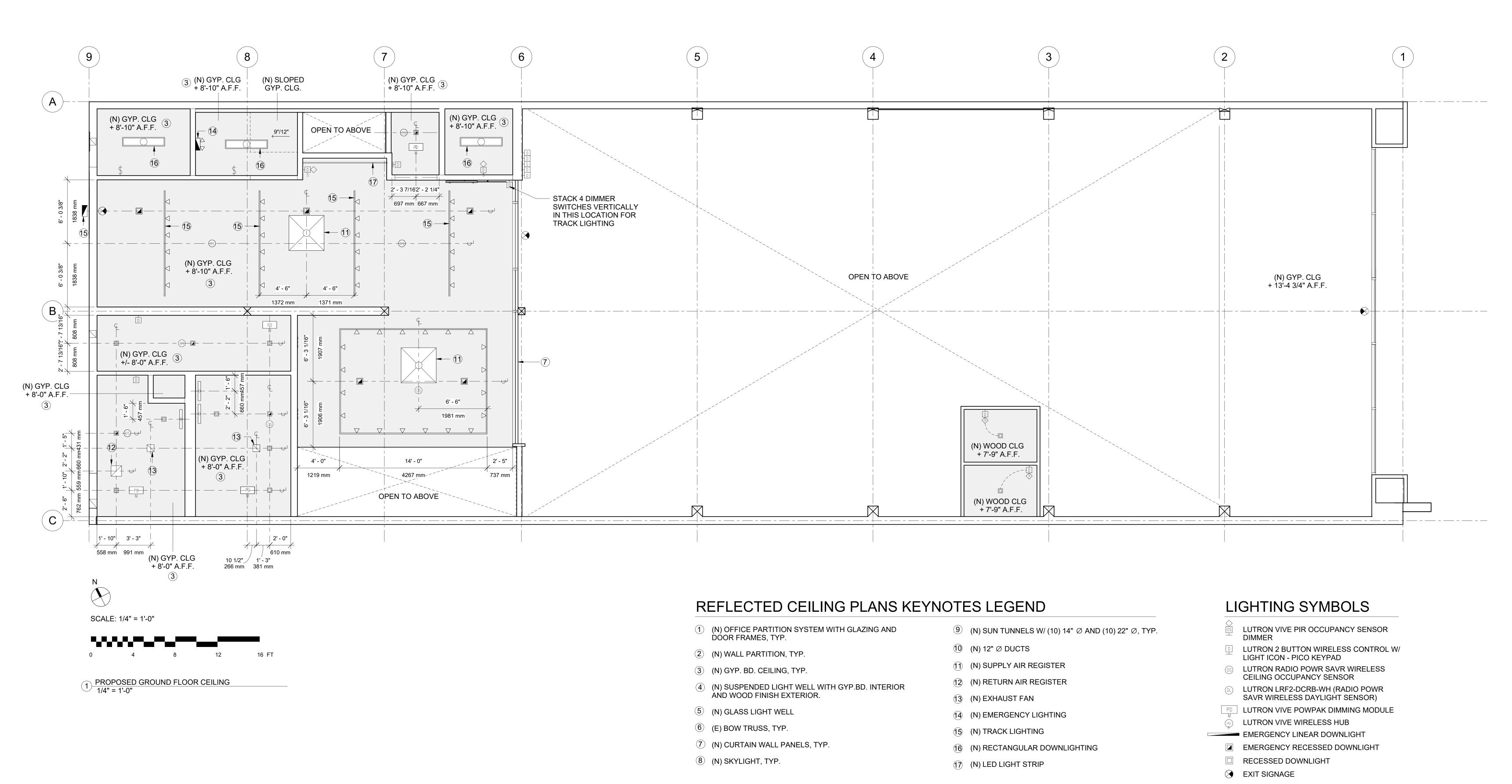


DERN PROJECT NUMBER 2411

06/20/2025

PLANNING RESUMBITTAL SHEET TITLE PROPOSED EGRESS **PLANS**

A3.4



architecture + development

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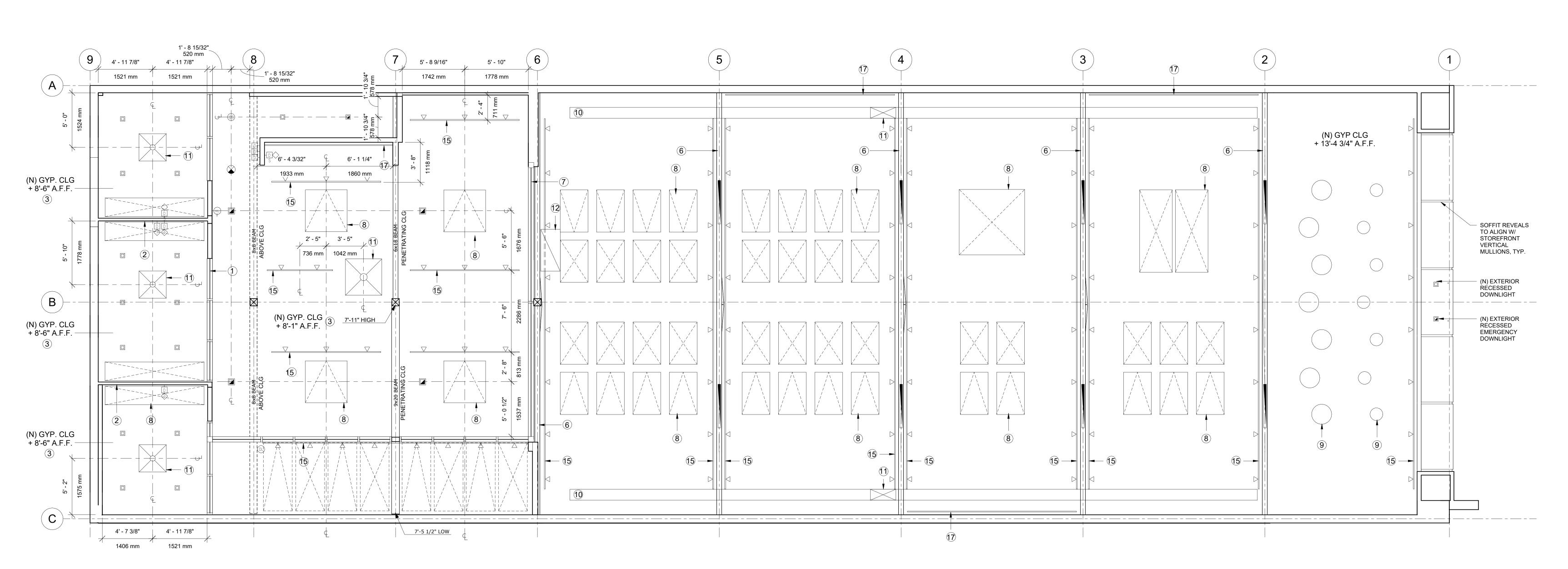


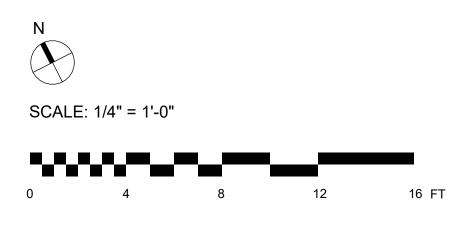
DERN PROJECT NUMBER 2411

06/20/2025

PLANNING RESUMBITTAL PROPOSED REFLECTED **CEILING PLAN -GROUND FLOOR**

A4.1





1) PROPOSED MEZZANINE LEVEL CEILING 1/4" = 1'-0"

REFLECTED CEILING PLANS KEYNOTES LEGEND

- (N) OFFICE PARTITION SYSTEM WITH GLAZING AND DOOR FRAMES, TYP.
- (N) WALL PARTITION, TYP.
- (N) GYP. BD. CEILING, TYP.
- (N) SUSPENDED LIGHT WELL WITH GYP.BD. INTERIOR AND WOOD FINISH EXTERIOR.
- (N) GLASS LIGHT WELL
- 6 (E) BOW TRUSS, TYP. (N) CURTAIN WALL PANELS, TYP.
- 8 (N) SKYLIGHT, TYP.

- (N) SUN TUNNELS W/ (10) 14" Ø AND (10) 22" Ø, TYP.
- ① (N) 12" Ø DUCTS
- (1) (N) SUPPLY AIR REGISTER
- (N) RETURN AIR REGISTER
- (N) EXHAUST FAN
- (14) (N) EMERGENCY LIGHTING
- (N) TRACK LIGHTING
- (N) RECTANGULAR DOWNLIGHTING
- (N) LED LIGHT STRIP

LIGHTING SYMBOLS

- LUTRON VIVE PIR OCCUPANCY SENSOR
- LUTRON 2 BUTTON WIRELESS CONTROL W/ LIGHT ICON PICO KEYPAD
- OS LUTRON RADIO POWR SAVR WIRELESS CEILING OCCUPANCY SENSOR
- LUTRON LRF2-DCRB-WH (RADIO POWR SAVR WIRELESS DAYLIGHT SENSOR)
- LUTRON VIVE POWPAK DIMMING MODULE
- LUTRON VIVE WIRELESS HUB
- EMERGENCY LINEAR DOWNLIGHT EMERGENCY RECESSED DOWNLIGHT
- ☐ RECESSED DOWNLIGHT
- **EXIT SIGNAGE**

architecture + development

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312-314 CASTRO MOUNTAIN VIEW,

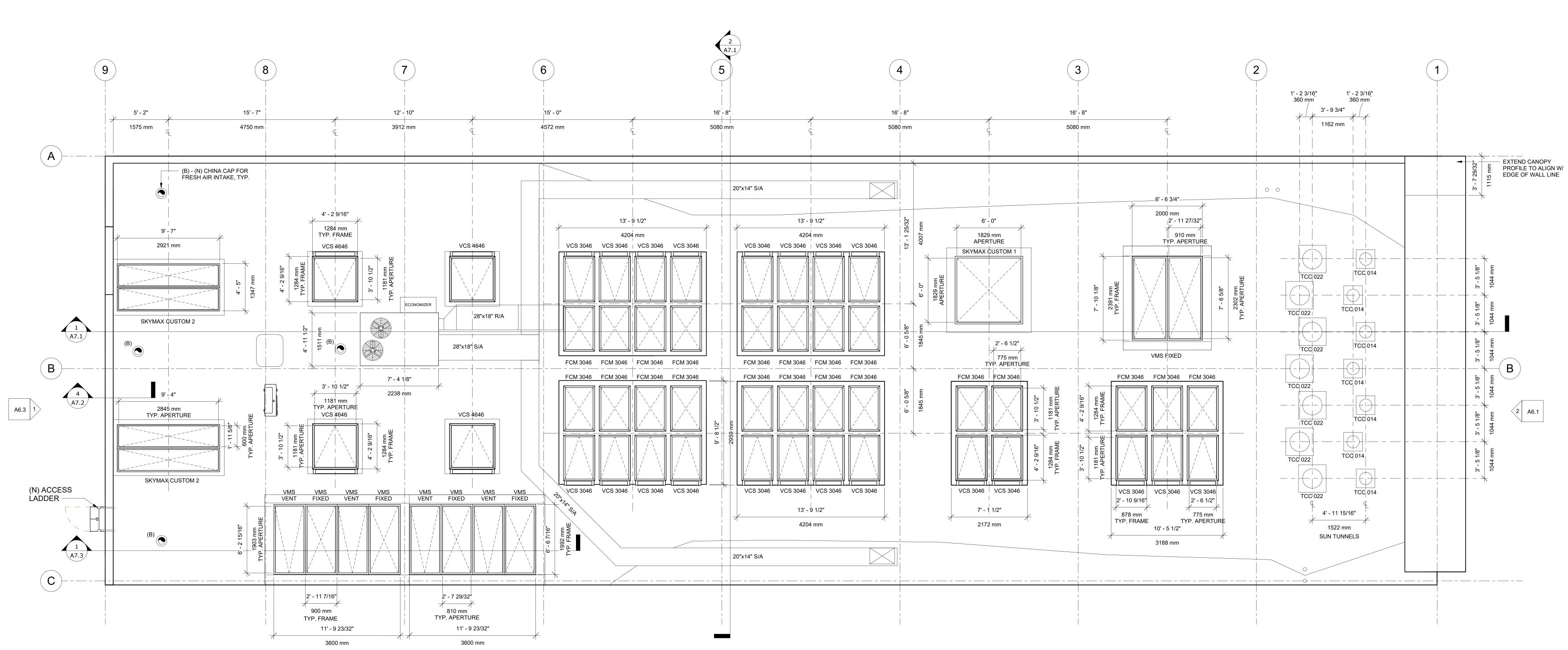
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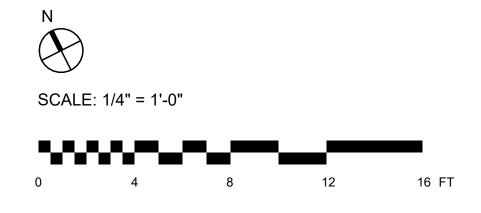
06/20/2025

PLANNING RESUMBITTAL

PROPOSED REFLECTED **CEILING PLAN -**MEZZANINE LEVEL

A4.2





1 PROPOSED ROOF PLAN 1/4" = 1'-0"

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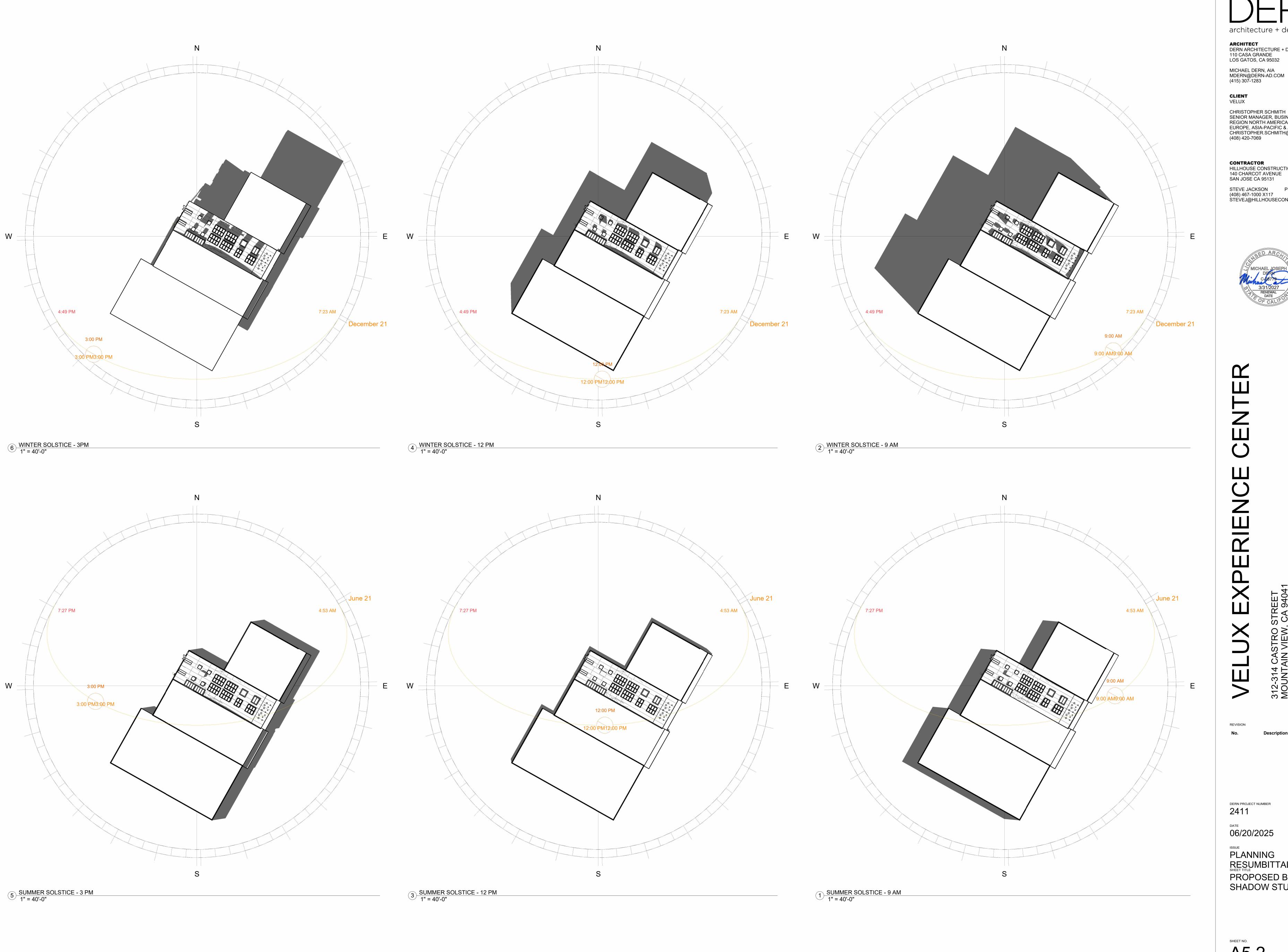


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06/20/2025

PLANNING RESUMBITTAL SHEET TITLE PROPOSED ROOF PLAN

A5.1



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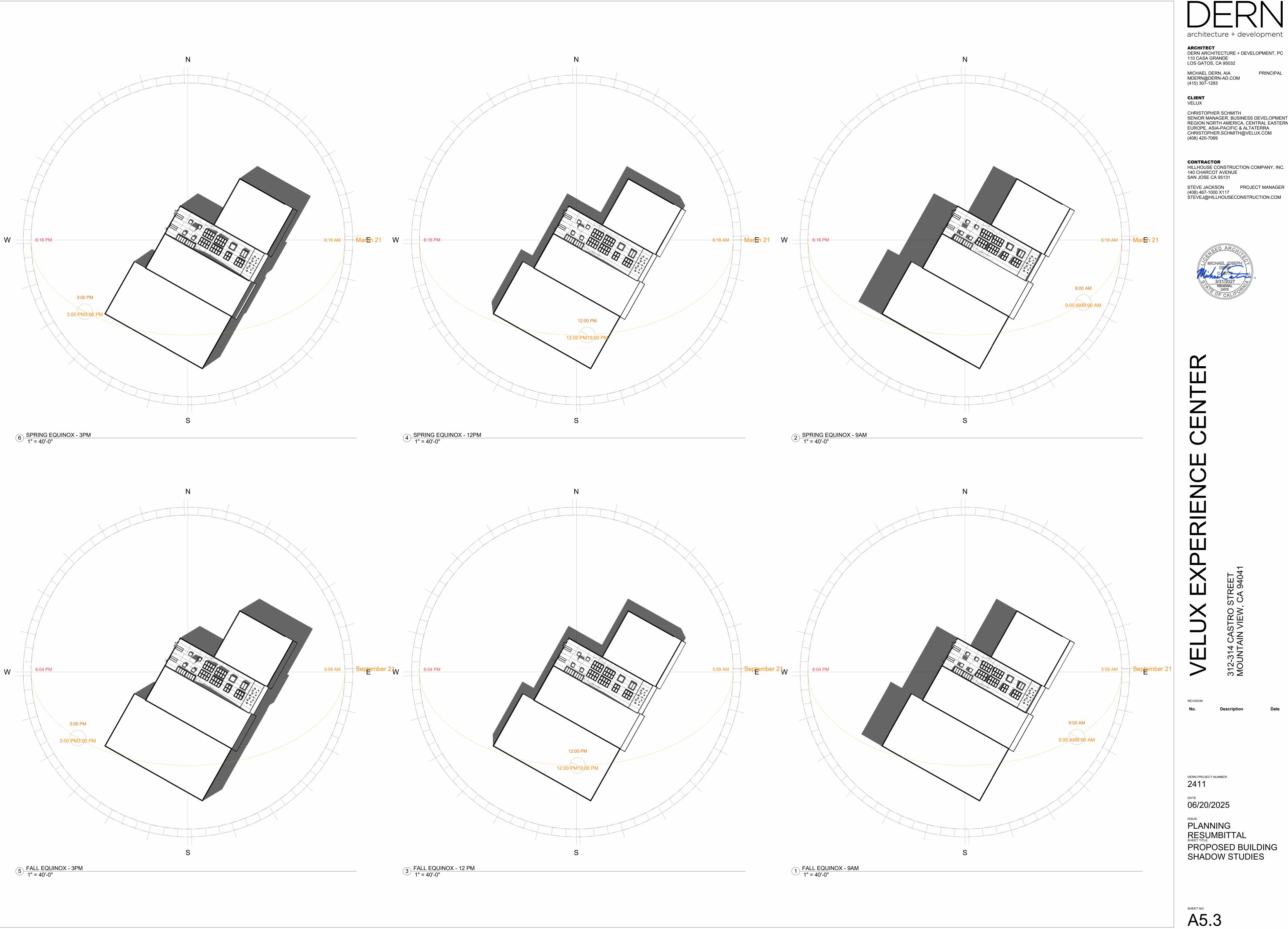


DERN PROJECT NUMBER 2411

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED BUILDING
SHADOW STUDIES

A5.2



architecture + development

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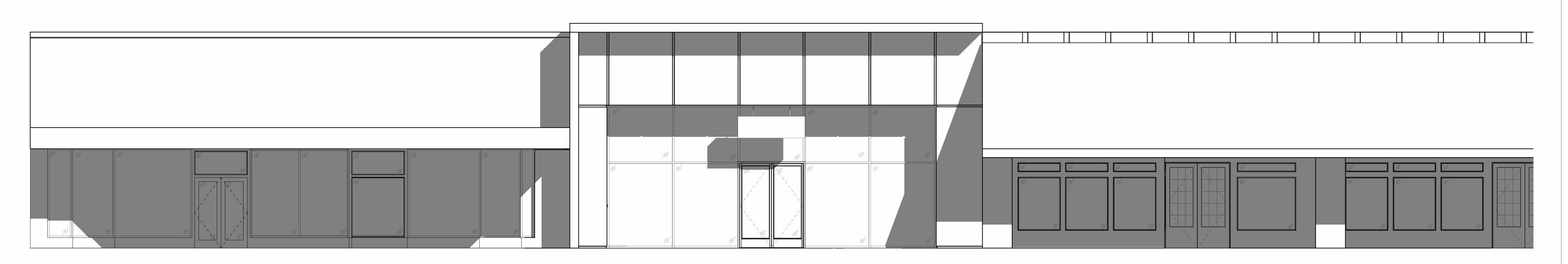
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PROPOSED BUILDING SHADOW STUDIES

MATERIAL DIRECTION DELTA MILLWORKS 1X8 ACCOYA CLADDING W/ BARNWOOD FINISH IN COLOR LIGHT IVORY CEMENT PLASTER SYSTEM, 2-1/4" REVEALS TO ALIGN EXTEND (E) ROOF OVERHANG & REFINISH w/ STOREFRONT FRAME, TYP. BENJAMIN MOORE #2141-70 PAINT FINISH PATCH, REPAIR, & REPAINT (E) CEMENT PLASTER -PATCH & REPAIR (E) VERTICAL REVEALS, BUILD (N) REVEALS KAWNEER 451T STOREFRONT FRAMING SYSTEM 2-1/4" X 4", CLEAR ANODIZED ALUMINUM FINISH (N) SIGNAGE -(E) CANOPY TO BE RÉMOVED TO ALLOW FOR CENTER GLAZED w/ 1" GLASS (N) VERTICAL FIN-WALL EXTEND (E) VERTICAL FIN WALL — (N) KNOX BOX — (E) BRICK TO REMAIN -NOTE: ALL SIGNAGE TO BE UNDER SEPERATE PERMIT. 2' - 7 3/4" 6' - 0" 6' - 0" 4' - 4 1/8" 10 5/32" 10" 258 mm 254 mm 1324 mm 1829 mm 1 31/32" 50 mm 51 mm 51 mm



PROPOSED FRONT ELEVATION SHADOW STUDY
1/4" = 1'-0"

PROPOSED FRONT ELEVATION -

2 OPTION 1 1/4" = 1'-0"

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312-314 CASTRO STREET MOUNTAIN VIEW, CA 9404

DERN PROJECT NUMBER 2411

06/20/2025

PLANNING RESUMBITTAL SHEET TITLE PROPOSED STOREFRONT **ELEVATION**

SHEET NO.

A6.1



PROPOSED STOREFRONT VIEW FROM ADJACENT BOOKSTORE



1 PROPOSED STOREFRONT VIEW

DERN

ARCHITECTURE + DEVELOPMENT, PC
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C-28779

3/31/2027

RENEWAL
DATE
OF CALIFORNIA

VELUX EXPERIENC

C ,

Description

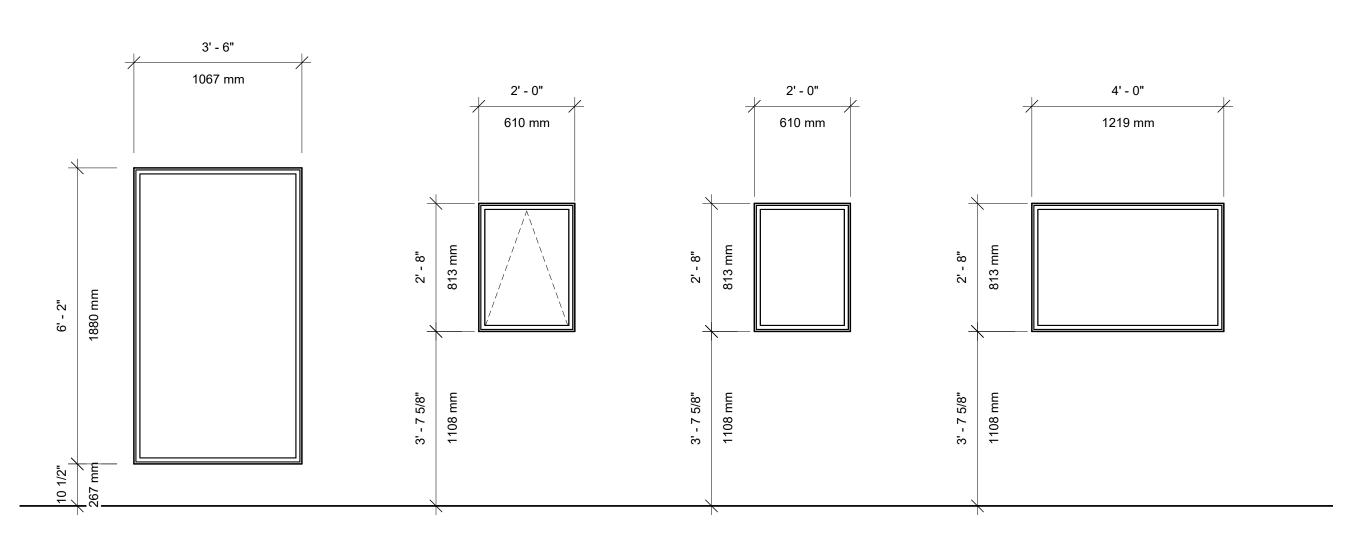
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DERN PROJECT NUMBER

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED
STOREFRONT VIEWS

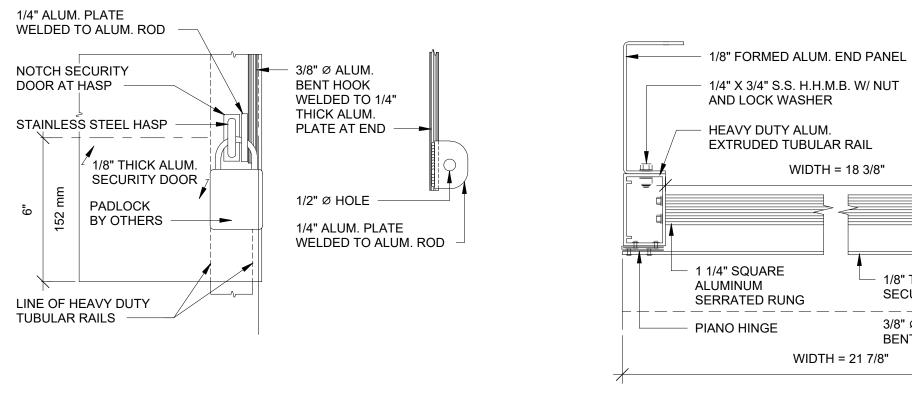
A6.2



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A	В	C	U

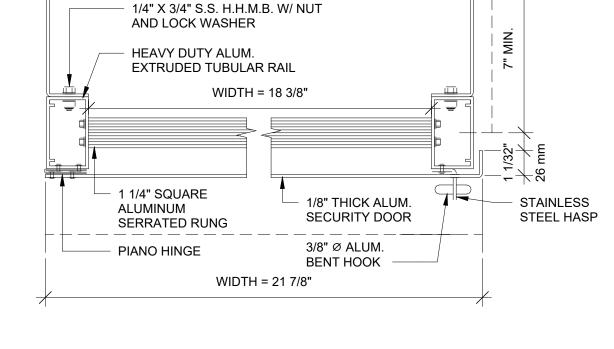
WINDOW SCHEDULE

	NDOW JMBER	<u>TYPE</u>	<u>MATERIAL</u>	WIDTH & HEIGHT_	FRAME THICKNESS	MATERIAL_	FINISH	NOTES
1		Α	GLASS	3'-6" X 6'-1 1/2"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
2		Α	GLASS	3'-6" X 6'-1 1/2"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
3		В	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER AWNING WINDOW
4		D	GLASS	4'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
5		В	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER AWNING WINDOW
6		С	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
7		D	GLASS	4'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER PICTURE WINDOW
8		В	GLASS	2'-0" X 2'-8"	1"	ALUMINUM	-	(N) KAWNEER AWNING WINDOW

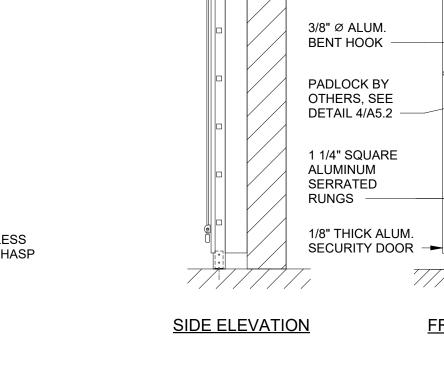


LOCK AT ACCESS LADDER SECURITY

4 DOOR 3" = 1'-0"



3 SECTION B 3" = 1'-0"



2 SECURITY DOOR AT ACCESS LADDER 1/2" = 1'-0"

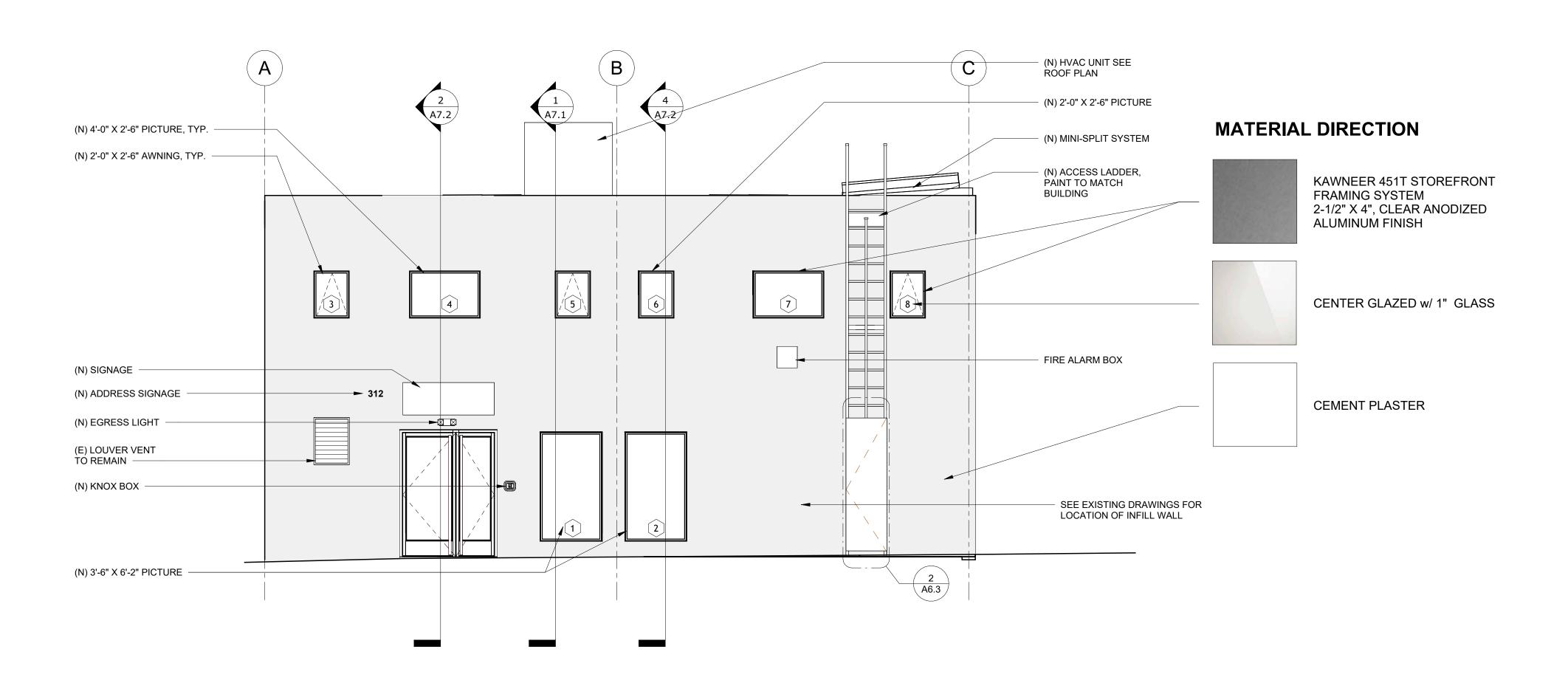
HEAVY DUTY

STAINLESS STEEL HASP

- SIDE/END PANEL CONTINUOUS AT BACK SIDE

FRONT ELEVATION

TUBULAR RAILS ---



PROPOSED ALLEY EXTERIOR 1 ELEVATION 1/4" = 1'-0"

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DERN PROJECT NUMBER

06/20/2025

PLANNING RESUMBITTAL SHEET TITLE PROPOSED ALLEY EXTERIOR ELEVATION, WINDOW SCHEDULE, & **DETAILS**

A6.3



1 PROPOSED ALLEY ENTRANCE

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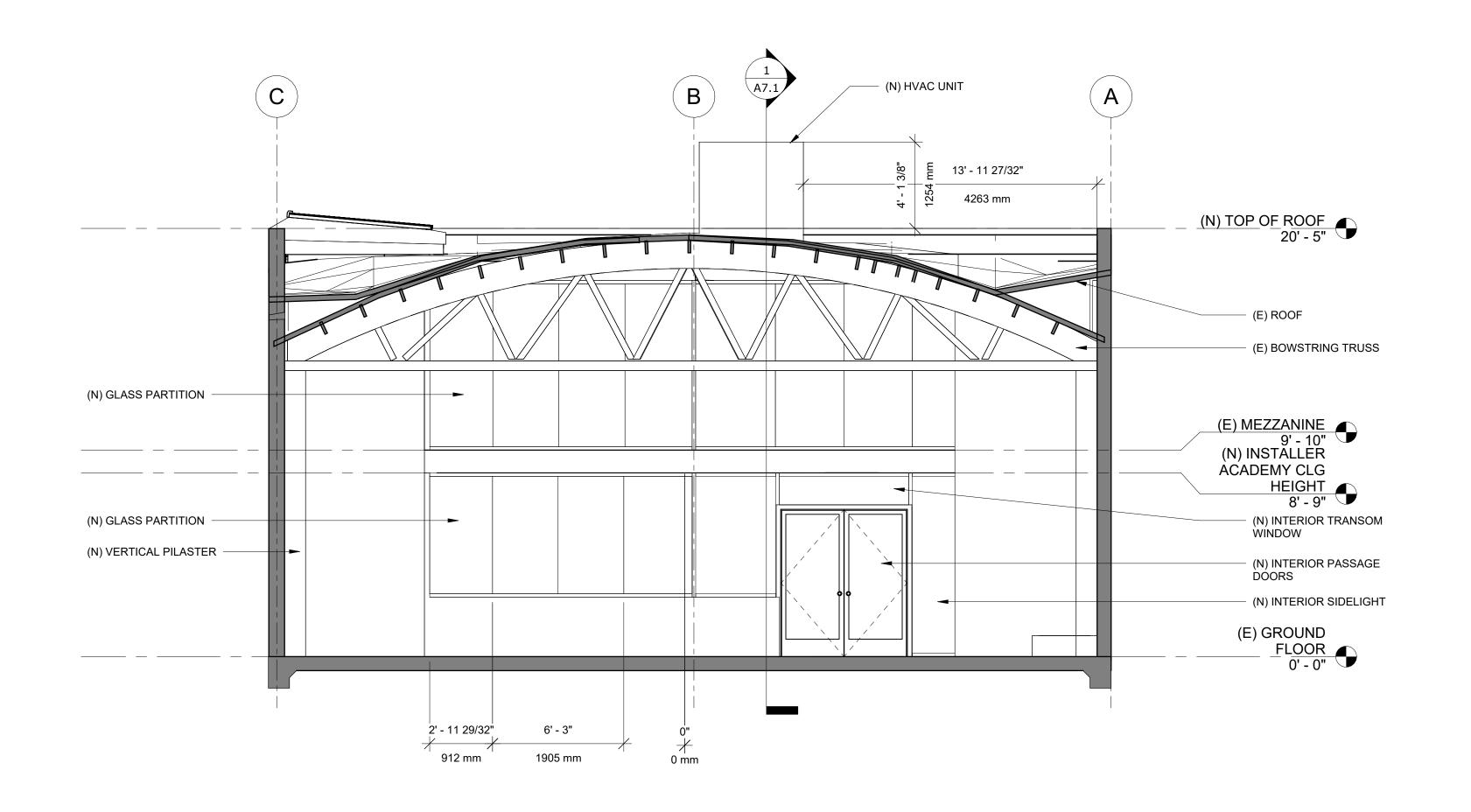
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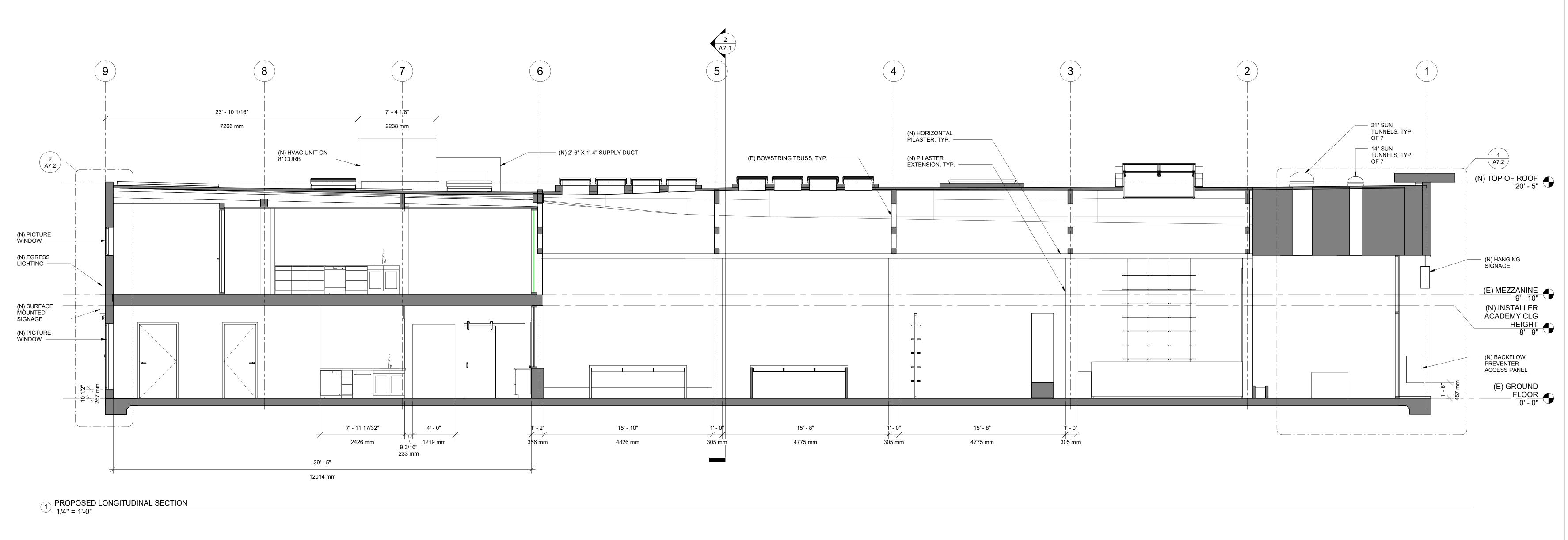
06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED ALLEY
ENTRANCE VIEW

A6.4



2 PROPOSED TRANSVERSE SECTION 1/4" = 1'-0"



architecture + development

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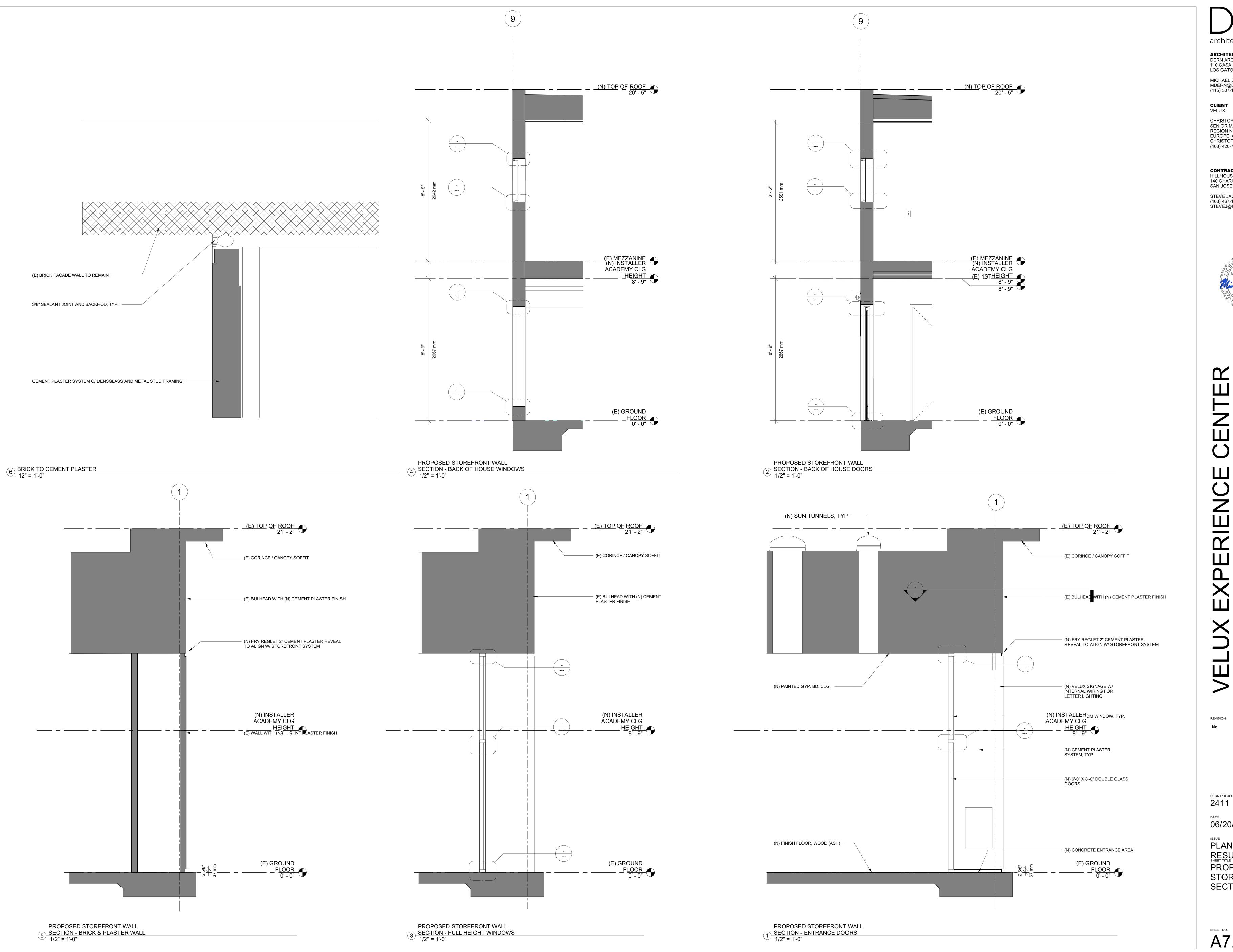
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PLANNING RESUMBITTAL SHEET TITLE PROPOSED BUILDING SECTIONS

SHEET NO.

A7.1



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VELUX

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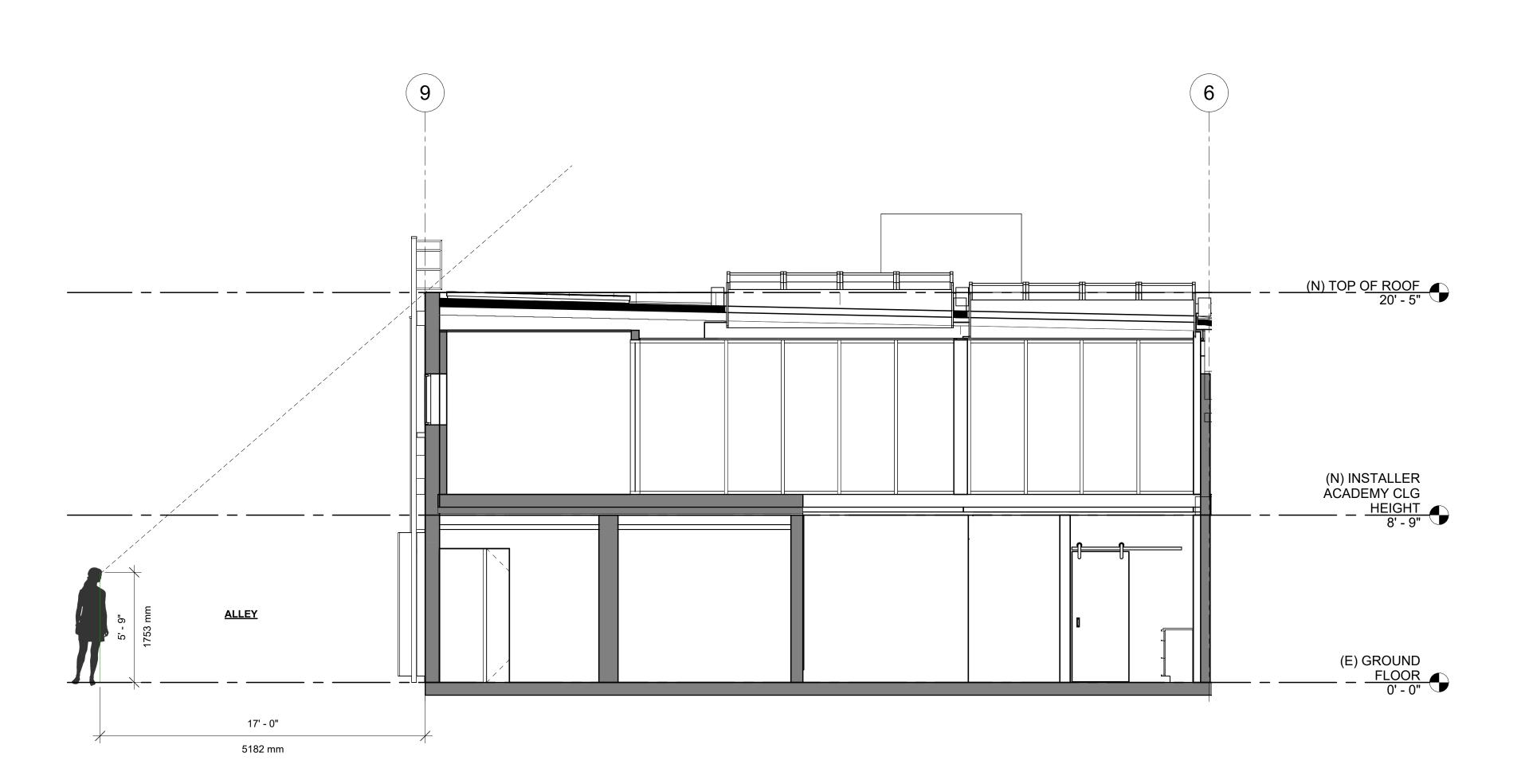


DERN PROJECT NUMBER

06/20/2025 ISSUE

PLANNING RESUMBITTAL SHEET TITLE PROPOSED STOREFRONT SECTIONS

SHEET NO. A7.2



1) PROPOSED HVAC W/ SIGHTLINES 1/4" = 1'-0"

architecture + development

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DERN PROJECT NUMBER 2411

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED HVAC W/
SIGHT LINES

A7.3

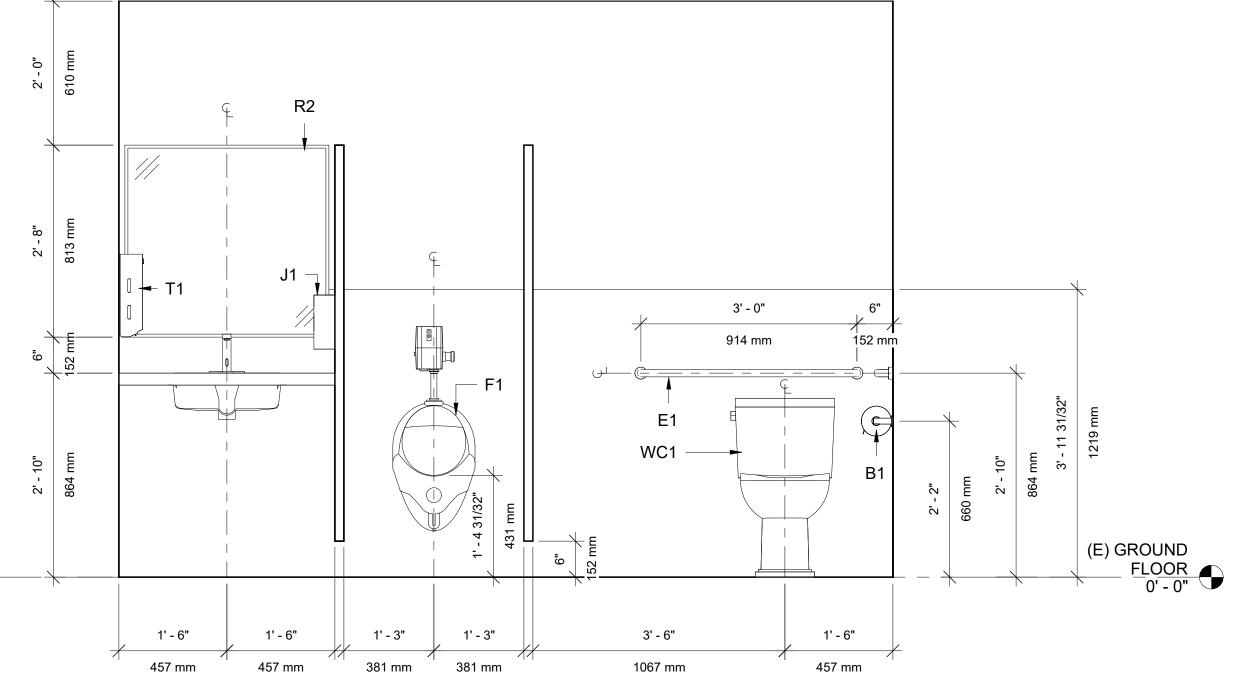
PROPOSED TOILET ROOMS - KEYNOTES

- (B1) DOUBLE TOILET TISSUE DISPENSER
- (E1) 36" INDIVIDUAL GRAB BAR ON BACK WALL
- (E2) 48" INDIVIDUAL GRAB BAR ON SIDE WALL
- (F1) URINA
- G1 FEMININE PRODUCT DISPOSAL
- J1 SOAP DISPENSER
- K1 TOILET SEAT COVER DISPENSER
- R1) FRAMELESS GLASS MIRROR, 60" X 32"
- (R2) STAINLESS STEEL FRAMED MIRROR, 34" X 32"
- (S1) CERAMIC UNDER-COUNTER SINK W/ SENSOR FAUCET
- (T1) PAPER TOWEL DISPENSER
- WC) WATER CLOSET

PROPOSED TOILET ROOMS - GENERAL NOTES

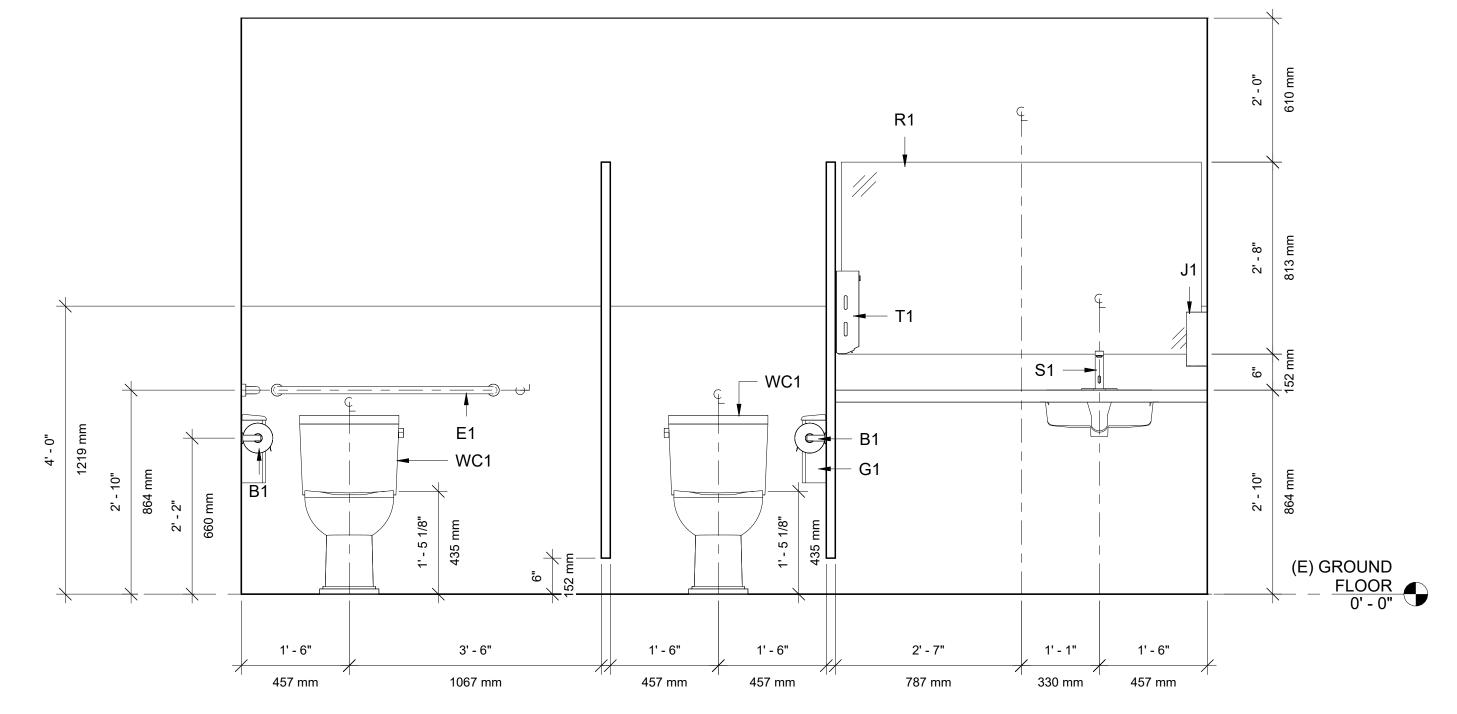
- SEE DETAIL 14/A0.3 FOR BATHROOM ACCESSORY MOUNTING DIAGRAMS AND LEGEND.
 (N) DOOR CLEARANCES ARE ANNOTATED ON ENLARGED TOILET ROOM PLAN 1/A8.3
- AND ARE COMPLIANT WITH ADA 404.2.4 AND CBC 2022.

 3. (N) DOOR THRESHOLDS ARE NO MORE THAN 1/2" ABOVE THE FINISH FLOOR.
- 4. (N) TACTICLE ACCESSIBLE SIGNAGE IS MOUNTED 5'-0" O.C. A.F.F. ON TOILET ROOM DOORS AND ADJACENT WALL.



5 MEN'S PLUMBING WALL
3/4" = 1'-0"

(E) GROUND



48" X 60"

WOMEN'S PLUMBING WALL
3/4" = 1'-0"

48" X 60"

MICHAEL JOSEPH A DERN C-28779 3/31/2027 RENEWAL DATE OF CALIFORNIA

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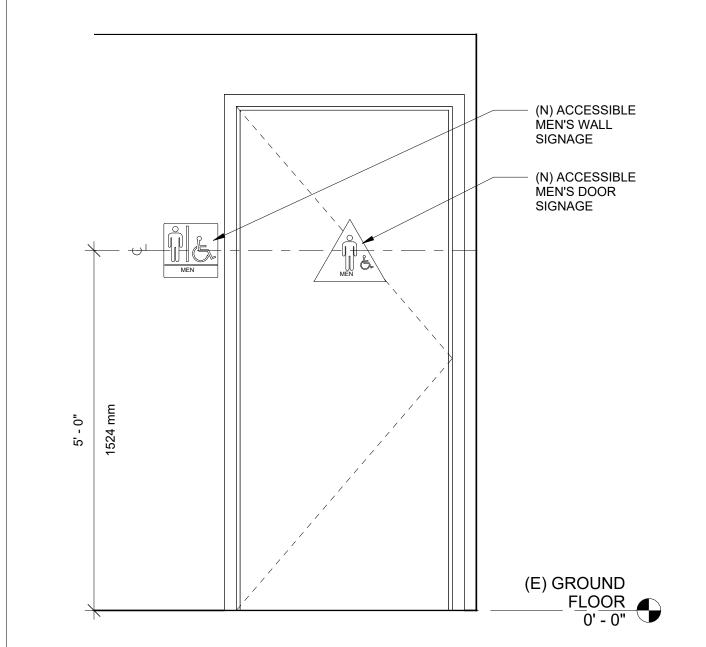
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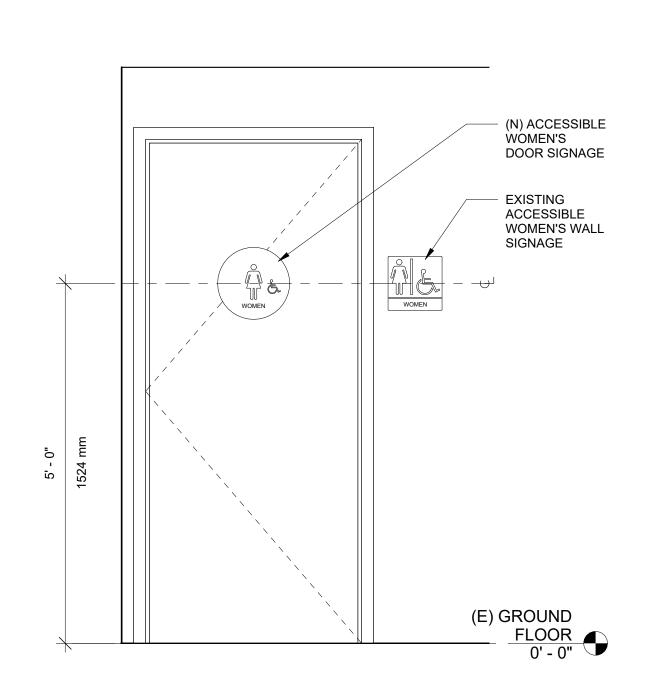
EUROPE, ASIA-PACIFIC & ALTATERRA CHRISTOPHER.SCHMITH@VELUX.COM



MEN'S ACCESSIBLE TOILET ROOM

OOR

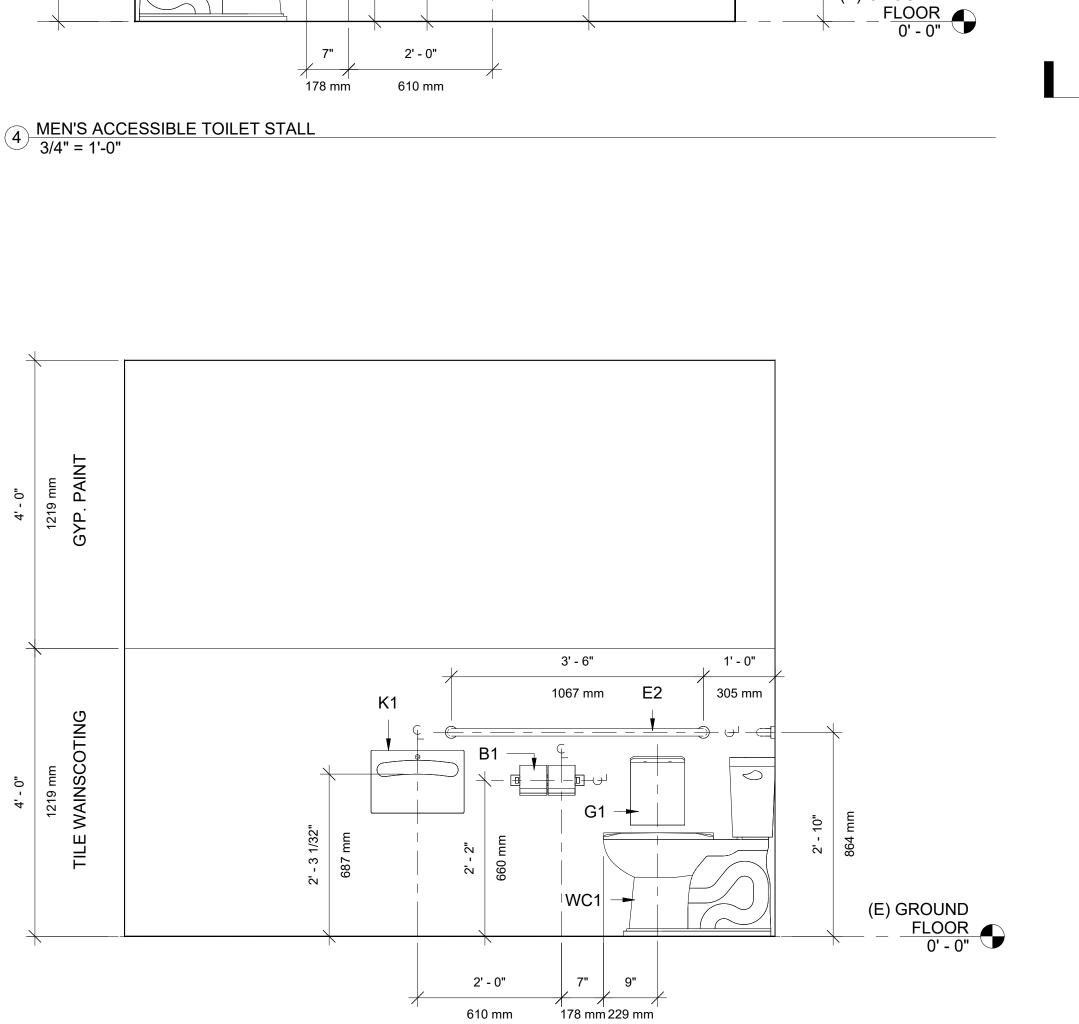
3/4" = 1'-0"



WOMEN'S ACCESSIBLE TOILET ROOM

DOOR

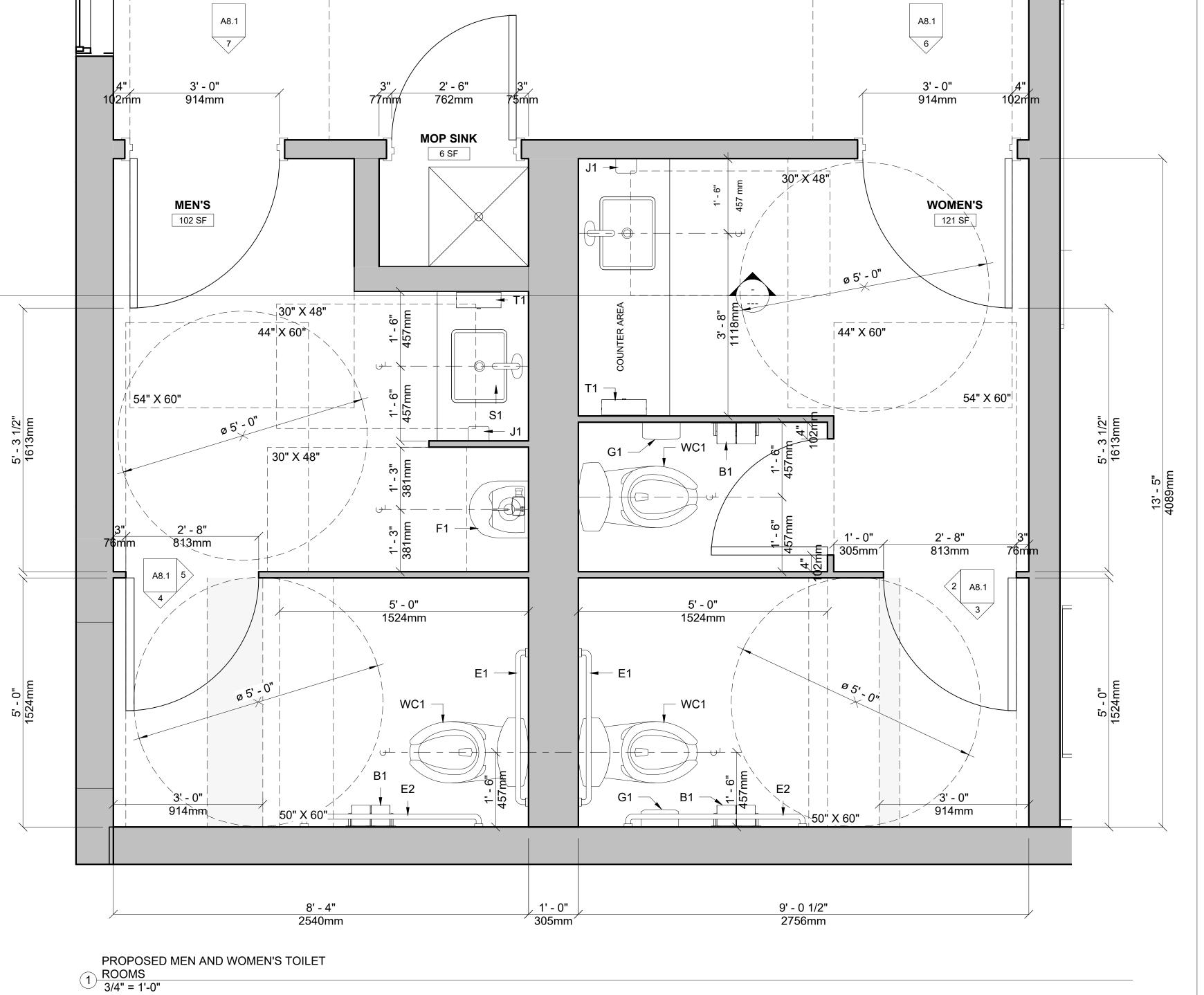
3/4" = 1'-0"



3' - 6"

305 mm

3 WOMEN'S ACCESSIBLE TOILET STALL
3/4" = 1'-0"



VELUX EXPERIENCE CENTER

312-314 CASTRO STRE MOUNTAIN VIEW, CA §

n Description Dat

DERN PROJECT NUMBER 2411

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED TOILET
ROOMS

SHEET NO. **A8.1**

IMAGE © OEO STUDIO, 2025

1 INTERIOR DESIGN FINISH SELECTIONS1

DERIVE + development

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VELUX EXPERIENCE CENTER

No.

DERN PROJECT NUMBER

06/20/2025

PLANNING
RESUMBITTAL
SHEET TITLE
PROPOSED INTERIOR
MATERIALS

A9.1