



MEMORANDUM

DATE	July 18, 2024	PROJECT NO.	23225
TO	Jeffrey Tsumura, Senior Planner	PROJECT	194-198 Castro Street, Mountain View
OF	City of Mountain View, Community Development Department	FROM	Hannah Simonson, Project Manager, Cultural Resource Planner
CC	Christina Dikas, Principal, Page & Turnbull	VIA	Email

REGARDING 194-198 Castro Street, Mountain View Project Evaluation: HRA Peer Review & SOI Standards Compliance Analysis Memorandum

INTRODUCTION

The City of Mountain View has requested this memorandum which has two parts: (1) a peer review of a Historic Resource Assessment (HRA) prepared by Archives & Architecture in June 2023, and (2) a *Secretary of the Interior's Standards for Rehabilitation* compliance analysis for a proposed project located at 194-198 Castro Street (APN 158-15-013), also known as the Jurian Building (**Figure 1** and **Figure 2**). The building will be referred to as 194 Castro Street throughout this report. This memorandum was prepared by Page & Turnbull in anticipation of a proposed three-story commercial addition on the west (rear) portion of the 6,150-square-foot property, located on the northwest corner of the intersection of Castro Street and Villa Street in downtown Mountain View. The property currently contains a historic two-story commercial building with a one-story rear addition, a non-historic paved rear patio with stucco and metal perimeter fencing, and a non-historic garbage bin shed.

The historic commercial building was constructed in 1913, designed by San José-based architect Frank Delos Wolfe in the Mission Revival style. It features painted stucco siding and a low-slope front-gable roof behind a Mission-style parapet. Other exterior ornamentation includes geometric Southwestern-inspired ornamentation along the second floor of the east and south façades. The primary (east) façade of the ground floor features a storefront composition with a tile bulkhead and a transom band, while the second floor is highlighted with a row of symmetrical windows and stucco panels that exhibit raised geometric patterns.

Imagining change in historic environments through design, research, and technology



Figure 1: Aerial view of 194 Castro Street. Source: Google Maps, 2024. Edited Page & Turnbull.



Figure 2: View of primary (east) and secondary (south) facades of 194 Castro Street, looking north.
Source: Page & Turnbull, March 2023.

The original storefront configuration featured dual entrances to access Odell & Jurian's dry goods store, which operated from the 194 Castro Street storefront, and Doc Johnson's pharmacy, which operated from the 198 Castro Street storefront. The second floor was originally designed as a theater and dance hall and was also used by Mountain View's volunteer fire department and the Fraternal Order of the Eagles as a meeting hall. Aside from the reconfiguration of the storefront in 1981, replacement of storefront materials in 1999, and replacement of second story windows, the Jurian Building retains its original materials and features.

In June 2023, Archives & Architecture prepared a Historic Resource Assessment report ("2023 HRA") for the property at 194 Castro Street, which evaluated the property's historic significance and eligibility for listing on the California Register of Historical Resources (California Register) and Mountain View Register of Historical Resources (Mountain View Register). The report includes California Department of Parks and Recreation (DPR) 523 forms for the property in the Appendix. The 2023 HRA found the property eligible for listing in the California Register under Criteria 1 (Events), 2 (Persons), and 3 (Design), and eligible for local listing in the Mountain View Register under Criterion a (Persons), b (Events), and c (Design).¹ The HRA did not evaluate the property for eligibility for listing in the National Register of Historic Places (National Register).

Methodology

Page & Turnbull reviewed the following documents for this memorandum:

- Archives & Architecture, LLC, "Historical Resource Assessment: Jurian Building, 194-198 Castro Street," prepared for Chee-Yee Chong, Hanson America LLC, submitted to City of Mountain View, June 2023. **(Exhibit A)**
- Strata Design Studio, "194-198 Castro Street, Historic Jurian Building, Addition & Historic Rehabilitation," drawing set, July 17, 2024. **(Exhibit B)**

Page & Turnbull conducted a site visit to the Jurian Building at 194 Castro Street on March 15, 2023 to photograph and observe existing site conditions.

Existing Historic Status

The Jurian Building at 194 Castro Street was previously listed in the local Mountain View Register, but was later removed at the request of the property owner at the time. At present, the building is not listed in the National Register, California Register, or Mountain View Register.

¹ Archives & Architecture, "Historical Resource Assessment: Jurian Building, 194-198 Castro Street" (prepared for Chee-Yee Chong, Hanson America LLC, submitted to City of Mountain View, June 2023), 4-6.

In 2021, Page & Turnbull was hired by the City of Mountain View to update the City's Historic Context Statement and Historic Preservation Ordinance, which has several tasks including preparation of a citywide historic context statement, citywide historic survey, and several National Register nominations for properties along Castro Street. Within these scopes, Page & Turnbull evaluated the Jurian Building for National Register, California Register, and Mountain View Register eligibility, finding the building eligible for listing in all three registers. Page & Turnbull, under contract with the City of Mountain View, is currently preparing a nomination to designate 194 Castro Street in the National Register under Criterion C (Design/Construction).

Memorandum Preparer Qualifications

This HRA Peer Review & SOI Standards Compliance Analysis Memorandum was prepared by Page & Turnbull of San Francisco, California. Page & Turnbull has over 50 years of experience in historic preservation planning and architecture in California, with offices in San Francisco, Los Angeles, Sacramento, and San Jose. Page & Turnbull staff responsible for this report include: Christina Dikas, Principal-in-charge; Hannah Simonson, Senior Associate, Cultural Resources Planner, project manager; and Maggie Nicholson, Cultural Resources Planner, all of whom meet the Secretary of the Interior's Professional Qualification Standards for Historic Architecture and/or Architectural History.

2023 HRA PEER REVIEW

The following peer review of the Historical Resource Assessment report (June 2023), prepared by Archives & Architecture, is organized based on the sections and subsections in that report. Page & Turnbull's general comments on the 2023 HRA are provided at the end of this discussion. The 2023 HRA report includes an introduction, summary evaluation of historic significance, summary of alterations, and preparer qualifications; the property history is contained within the appended DPR 523 forms.

Introduction

The 2023 HRA was submitted to the City of Mountain View as part of the application for a Historic Preservation Permit related to a proposed rehabilitation and addition project at 194 Castro Street. The 2023 HRA primarily focuses on the history of the property and an evaluation of historic significance, but also makes note of the proposed project (which has been revised since the HRA was prepared in June 2023).

Evaluation for Historical Significance

Mountain View Register of Historical Resources Eligibility

In the summary of the significance evaluation for the Mountain View Register of Historical Resources, Archives & Architecture finds that the Jurian Building is significant under three criteria: Criterion a (Persons) for its association with local businessman and civic leader, Andrew Jurian; Criterion b (Events) for its establishment on a prominent corner within downtown Mountain View during a burgeoning period of the city's commercial development; and Criterion c (Architecture) for its Mission Revival style as applied to an early twentieth-century commercial building, designed by master architect Frank Delos Wolfe. The evaluation for Mountain View Register eligibility provides adequate reasoning and justification to support the finding of eligibility under these criteria.

The 2023 HRA evaluation summary does not note that the Jurian Building was once listed on the Mountain View Register, but was voluntarily removed by the property owner prior to April 12, 2005.²

California Register of Historical Resources Eligibility

In the summary of the significance evaluation for the California Register, Archives & Architecture finds that the Jurian Building is significant under three criteria: Criterion 1 (Events) for its contribution to the commercial development of downtown Mountain View, Criterion 2 (Persons) for its association with Andrew Jurian, and Criterion 3 (Architecture) as the work of master architect Frank Delos Wolfe and as a unique interpretation of the Mission Revival style and its reinforced concrete construction. This summary does not provide a detailed discussion of California Register eligibility, but appears to rely on the same reasons of significance under the Mountain View Register criteria which are discussed in more detail.

National Register Eligibility

Archives & Architecture did not evaluate the Jurian Building for National Register eligibility, stating that the National Register evaluation is not required as the proposed project is not subject to federal Section 106 review.

Page & Turnbull notes that properties eligible for listing in the California Register that are seeking a discretionary permit are subject to review under the California Environmental Quality Act (CEQA), and alterations to properties eligible for listing in the National Register or California Register are also

² City of Mountain View, "Mountain View Register of Historic Resources" (updated September 28, 2022), accessed June 14, 2024, <https://www.mountainview.gov/home/showpublisheddocument/7915/638346084894870000>.

subject to the City of Mountain View's "historic preservation permit" process per City of Mountain View Municipal Code Sec. 36.54.90 – National and California Register properties.³

Alterations

This section directs readers to the appended DPR 523 forms for a complete listing of previous alterations to 194 Castro Street, but states that the most substantial alterations to the Jurian Building are found on the west (rear) elevation. These rear alterations include a one-story reinforced concrete addition (still extant), which was constructed around or before 1943, and replacement windows and filled-in window openings at the rear facade. Despite these changes to the rear façade, Archives & Architecture notes that these alterations do not "invalidate" the building's architectural significance or eligibility as a historical resource.

Page & Turnbull agrees that these rear alterations do not diminish the building's historic integrity or ability to convey its significance. While this section directs the reader to the appended DPR forms for a full account of alterations, this summary should also address the alterations to the primary (east) and secondary (south) facades, which include: replacement metal windows at the second story on both facades and alterations to the original storefront configuration and materials at the primary façade. Storefront alterations are typical for downtown commercial buildings, and the replacement windows are located within original openings. It is Page & Turnbull's professional opinion that, despite these additional exterior modifications, the Jurian Building retains historic integrity for California Register and Mountain View Register eligibility.

Qualifications of the Consultant

The preparer of the 2023 HRA and DPR forms, Krista Van Laan of Archives & Architecture, meets the Secretary of the Interior Professional Qualifications Standards for architectural history, and is a subject matter expert on architect Frank Delos Wolfe.

Appendix: DPR 523 Forms

In April 2023, Archives & Architecture prepared DPR 523 forms, including a 523A Primary Record; 523B Building, Structure, and Object Record; 523J Location Map; 523K Sketch Map and 523L Continuation Sheets, totaling 24 pages. These DPR 523 forms ("2023 DPR forms") are appended to the 2023 HRA. The following sections mirror the primary fields and headings within each form. Minor fields, including headers and checkboxes, were not peer-reviewed, unless otherwise noted.

³ Mountain View Municipal Code, accessed June 14, 2024,
https://library.municode.com/ca/mountain_view/codes/code_of_ordinances?nodeId=MOUNTAIN_VIEWCICO.

DPR 523A PRIMARY RECORD & 523L CONTINUATION SHEETS

The building description and discussion of character-defining features on the DPR 523A form extends onto DPR 523L Continuation Sheets.

Description (P3a)

The DPR 523A forms adequately and accurately describe the existing building at 194 Castro Street. However, most of the current physical description of the building is under a "Character-Defining Features" sub-heading. This description would be clarified if the "Character-Defining Features" sub-heading was removed, and the section focused on a description of the building as it currently stands, with specific reference to original versus non-original features. Page & Turnbull would recommend including a summary bullet list of character-defining features in the DPR 523B form (following the evaluation of historic significance, as the finding and reasons for historic significance should inform the identification of character-defining features), which are the essential physical features that convey a building's reason for significance.

DPR 523J LOCATION MAP

The location map adequately indicates the location of the subject property on a U.S.G.S. quad map.

DPR 523B BUILDING, STRUCTURE AND OBJECT RECORD & 523L CONTINUATION SHEETS

Construction History (B6)

The construction history refers to the "Alterations" sub-section which has been included on the DPR 523L forms following the Significance (B10) section.

Significance (B10)

The significance section of the DPR 523B form provides sufficient context on the early history of Mountain View, including commercial development along Castro Street, and on the biography of original owner Andrew Ivan Jurian, including his ties to early agriculture around Mountain View and his role as a social and civic leader in Mountain View, including with the Yugoslav community.

On DPR form page 10, within section B10. Significance, the period of significance is noted as 1913 to 1943. However, nowhere in the DPR forms or the 2023 HRA is the period of significance explained or justified. As such, the determination of 1943 as the end of the period of significance is not made clear. Jurian, the original and long-time owner of the building, died in 1943 and the 2023 HRA finds that the property is eligible for listing in the Mountain View Register and California Register for association with Jurian as a significant local civic leader and businessman in Mountain View. It is

possible that this connection is the reason that the year 1943 was selected as the end of the period of significance. However, the report does also note that Jurian closed his dry goods store A. Jurian & Co. in April 1914, not long after the building's completion, and only remained the property owner and landlord. The 2023 HRA also finds the property eligible for listing under California Register 2 and Mountain View Criterion b (Events) for the fact that, among other associations, the second-story events hall "was the main gather place for the city and the site of important events for local organizations."⁴ The DPR forms further note that "From 1913 through the 1940s, the hall on the upper story held many events important to the city of Mountain View, including concerts, dances, visiting lecturers, and parties and ceremonies hosted by social and civic organizations such as churches, the high school graduating classes, Woman's Club, Boy Scouts, Navy Club, American Legion, the Moffett Field Noncommissioned Officers Club, the Townsend Club, the Jugoslav-Adriatic Club, Ladies Aid, and Native Daughters. After that period, the hall was used by the Fraternal Order of the Eagles between 1945 and 1961. As such, the significance of the property as related its use as an events hall could, arguably, be demonstrated through c.1945."⁵ In summary, it is Page & Turnbull's professional opinion that a 1913 to c.1945 period of significance covers the various significant associations under the three California Register and Mountain View Register criteria, but that the report would benefit from an explicit statement and justification of the period of significance.

Architect Frank Delos Wolfe

This section focuses on Wolfe's private life and partnership history as an architect. The section establishes Wolfe as a prolific and significant architect regionally, responsible for over 1,100 projects, including eight that are currently National Register-listed and "dozens that are San Jose City Landmarks."⁶ This section also lists other buildings in Mountain View designed by Wolfe. While the biography of Wolfe could have benefited from additional details related to Wolfe's architectural influences and signature styles—which are well-documented in books by the author of the DPR forms—Wolfe is established in the DPR forms as a master architect.

Owner History

The 2023 DPR forms lists the ownership of the building, which remained in the possession of the Jurian family until approximately 1982.

⁴Archives & Architecture, Historical Resource Assessment: Jurian Building, 194-198 Castro Street" (2023), DPR 523, page 21.

⁵ More information would be required about the Fraternal Order of the Eagles and their role, if any, in shaping Mountain View history to determine whether this fraternal society would rise to the level of significance to justify further extending the period of significance to 1961.

⁶ Archives & Architecture, Historical Resource Assessment: Jurian Building, 194-198 Castro Street" (2023), DPR 523, page 19.

Survey Status

The DPR form page 19 states that the Jurian Building is listed on the Mountain View Historic Register. However, it was voluntarily removed by the then-property owner prior April 12, 2005, and therefore is not currently listed on any register (local, state, or national).⁷

Alterations

This section notes that “Despite modifications to the building’s exterior, it retains its form, materials, and characteristic features on the eastern and southern facades and retains its eligibility as a historical resource.” Page & Turnbull agrees with this finding but would note that a full integrity analysis is not provided within the 2023 HRA, and that a more detailed discussion with specific reference to each of the seven aspects of integrity is best practice for historic evaluations.

This section also provides a chronological list of known alterations to the subject building. Several clarifications and additional alterations are noted by Page & Turnbull, based on Sanborn maps, historic newspapers, and building permits:

- Circa 1956: Demolition of the detached wood-frame garage at the rear of the property (shown in the 1950 Sanborn).
- Circa 1960: Reduction in the size of the property boundary to accommodate the construction of Wild Cherry Lane alley behind the building.
- 1981: Replacement storefront glazing and door system on the first floor and replacement aluminum-sash windows on second floor (originally wood-framed one-over-one windows).
- 1981: Repair to trusses, valued at \$9,000.
- 1999: Replacement bulkheads with granite tile, replacement transom (removing prism glass), and repair to spalling cement plaster cladding.
- 1999: Exterior painting and retouching/repainting façade ornamentation.
- 1999: Cleaned and repaired canvas canopy over storefront glazing on east and south façades.
- 2012: Interior reconfiguration and improvements.
- 2012: Interior and exterior accessibility improvements for Agave restaurant.
- 2014: Exterior painting and signage installation.

Significance

This “Significance” sub-section includes an evaluation discussion for Mountain View Register eligibility. As stated in the “Evaluation for Historical Significance” of the 2023 HRA, Archives & Architecture found the property eligible under three criteria: Criterion a (Persons) for its association with local businessman and civic leader, Andrew Jurian; Criterion b (Events) for its establishment on

⁷ City of Mountain View, “Mountain View Register of Historic Resources” (updated September 28, 2022).

a prominent corner within downtown Mountain View' during a burgeoning period of the city's commercial development; and Criterion c (Architecture) for its Mission Revival style as applied to an early twentieth-century commercial building, designed by master architect Frank Delos Wolfe. The evaluation for Mountain View Register eligibility provides adequate reasoning and justification to support the finding of eligibility under these criteria.

A minor point of clarification is that, in several instances, the report notes that the former Haverty Saloon building that occupied the site was "demolished." The photograph included on DPR form page 12, as well as the January 24, 1913 *Mountain View Register-Leader* article cited indicate that the building was relocated—not demolished—to make room for the Jurian Building.

California Register of Historical Resources Eligibility

As stated in the "Evaluation for Historical Significance" of the 2023 HRA, Archives & Architecture found the property significant under three criteria: Criterion 1 (Events) for its contribution to the commercial development of downtown Mountain View, Criterion 2 (Persons) for its association with Andrew Jurian, and Criterion 3 (Architecture) as the work of master architect Frank Delos Wolfe and as a unique interpretation of the Mission Revival style and its reinforced concrete construction. This summary does not provide a detailed discussion of California Register eligibility under each criterion, but appears to rely on the same reasons of significance under the Mountain View Register criteria which are discussed in more detail.

National Register Eligibility

As stated in the "Evaluation for Historical Significance" of the 2023 HRA, National Register evaluation is not required as the proposed project is not subject to federal Section 106 review.

References

The reference section indicates that a range of primary and secondary sources were consulted. The DPR forms, however, would benefit from footnotes to provide citations for direct quotes and to clarify the sources of various historical facts and building alterations.

DPR 523K SKETCH MAP

The sketch map adequately indicates the portion of the building footprint that is original, and the portion that was built as an addition c.1921-1943.

2023 HRA Peer Review – General Comments

Overall, the 2023 HRA provides sufficient documentation regarding the historic context and development history of 194 Castro Street, provides a reasoned evaluation of historic significance based on California Register and Mountain View Register criteria, and is generally consistent with current preservation best practices regarding research and evaluation methodologies. Page & Turnbull has provided several minor comments, corrections, or additional information in the above peer review, none of which would substantively affect the evaluation findings. As such, a revised HRA is not necessary for the purposes of the current proposed project review. As a summary list of character-defining features and detailed integrity discussion was not provided in the 2023 HRA, Page & Turnbull has provided a list in the Proposed Project SOI Standards Analysis, which follows, based on the existing historic documentation.

Based on professional opinion, Page & Turnbull concurs with the conclusions of the 2023 HRA that the Jurian Building at 194-198 Castro Street is eligible for listing in the California Register under Criterion 1 (Events), Criterion 2 (Persons), and Criterion 3 (Design), and for listing in the Mountain View Register under local Criterion a (Persons), Criterion b (Events), and Criterion 3 (Design), with a period of significance of 1913 to c.1945.

PROPOSED PROJECT SOI STANDARDS ANALYSIS

This section analyzes the potential project-specific impacts of the proposed project at 194 Castro Street on the environment, as required by CEQA and City of Mountain View regulations and guidelines. The following analysis describes the proposed project, assesses its compliance with the Secretary of the Interior's Standards for Rehabilitation and identifies whether the project will result in any project-specific impact under CEQA.

Character Defining Features & Historic Integrity

Character-Defining Features

For a property to be eligible for historic designation, the essential physical features (or character-defining features) that enable the property to convey its historic identity and reason for significance must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles, or that convey an association with significant persons or patterns of events. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, materials, and spatial relationships. To be eligible, a property must clearly contain enough of those characteristics, and these features must also retain a sufficient degree of integrity.

The **character-defining features** of 194 Castro Street include:

- Two-story, rectilinear massing
- Reinforced concrete construction with stucco cladding
- Shaped parapet and corner merlons at the primary (east) and south facades
- Quatrefoil ornaments at the east and south parapets
- Gabled parapet and coping at the rear (west) facade
- Decorative window surrounds and ornate precast concrete medallions between the second story windows
- Ornamental features at the corners and center column of the primary façade.
- Pattern of original window and storefront openings, including:
 - Two large openings at the ground floor of the primary façade with transom openings above
 - Punched window openings evenly arranged at the second floor of the primary and west facades.

No interior features have been identified as character-defining features. Other features and materials which are altered or non-original and are considered **non-contributing** include:

- All window sashes
- All window openings on the rear (west) facade
- Storefront windows and tile bulkheads, including recessed configuration of the storefronts
- Exterior signage and light fixtures
- Side door on south façade (facing Villa Street)
- One-story rear addition
- Rear fence, gate, and garbage bin shed.

Historic Integrity Discussion

194-198 Castro Street remains in its original location and context within a commercial setting in downtown Mountain View. While many of the commercial buildings along Castro Street have changed or evolved over time, the street wall and commercial nature of the street remains, with buildings typically built out to the front and side lot lines. The building has had some exterior alterations, including a rear (west) addition, alterations to the windows and window opening configuration on the west façade's first floor, and replacement storefront glazing and door system on the east facade, which are to be expected of a building of this age. The building's second floor and roof are original and intact with the exception of replacement metal-framed windows. The second-floor wood window frames appear to be original. The storefront openings are original, but the storefront and bulkhead materials, including their recessed configuration, is not original. The distinctive parapet and Mission Revival style façade ornamentation are character-defining

architectural elements for the building, contributing to integrity of design, materials, and workmanship. The building continues to be used in a commercial capacity, retaining integrity of feeling and association with Mountain View's early twentieth century commercial development. The building retains all seven aspects of integrity and, as such, continues to communicate its significance for listing in the Mountain View Register and California Register.

California Environmental Quality Act (CEQA)

The California Environmental Quality Act (CEQA) is state legislation (Pub. Res. Code §21000 et seq.) that provides for the development and maintenance of a high-quality environment for the present-day and future through the identification of significant environmental effects.⁸ CEQA applies to "projects" proposed to be undertaken or requiring approval from state or local government agencies.⁹ "Projects" are defined as "...activities which have the potential to have a physical impact on the environment and may include the enactment of zoning ordinances, the issuance of conditional use permits and the approval of tentative subdivision maps."¹⁰ Historic and cultural resources are considered to be part of the environment. In general, the lead agency must complete the environmental review process as required by CEQA.

In general, a resource that meets any of the four criteria listed in CEQA Guidelines Section 15064.5(a)(2) is considered to be a historical resource unless "the preponderance of evidence demonstrates" that the resource "is not historically or culturally significant."¹¹

The subject property at 194 Castro Street is eligible for listing in the California Register, and is therefore considered a historical resource under CEQA.

Threshold for Substantial Adverse Change

According to CEQA, a "project with an effect that may cause a substantial adverse change in the significance of an historic resource is a project that may have a significant effect on the environment."¹² Substantial adverse change is defined as: "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of

⁸ California Environmental Quality Act (CEQA), Public Resources Code (PRC), §21000 et seq., accessed online, June 14, 2024, https://leginfo.ca.gov/faces/codes_displaySection.xhtml?lawCode=PRC§ionNum=21000.

⁹ Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines), California Code of Regulations (CCR), Title 14 § 15000 et seq., Thomson Reuters Westlaw, accessed online June 14, 2024, [https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=I95DAAA70D48811DEBC02831C6D6C108E&originationContext=documenttoc&transitionType=Default&contextData=\(sc.Default\)&bhcp=1](https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=I95DAAA70D48811DEBC02831C6D6C108E&originationContext=documenttoc&transitionType=Default&contextData=(sc.Default)&bhcp=1).

¹⁰ 14 CCR § 15378: Project.

¹¹ 14 CCR § 15064.5(a)(2).

¹² 14 CCR § 15064.5(b).

an historic resource would be materially impaired.”¹³ The historic significance of an historical resource is materially impaired when a project “demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance” and that justify or account for its inclusion in, or eligibility for inclusion in, the California Register.¹⁴ Thus, a project may cause an adverse change in a historic resource but still not have a significant effect on the environment as defined by CEQA as long as the impact of the change on the historic resource is determined to be less-than-significant, negligible, neutral, or even beneficial.

In other words, a project may have an impact on a historic resource, and that impact may or may not impair the resource’s eligibility for inclusion in the California Register. If an identified impact would result in a resource that is no longer able to convey its historic significance and is therefore no longer eligible for listing in the California Register, then it would be considered a significant effect. Per CEQA Guidelines Section 15331, projects that are consistent with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines of Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* are categorically exempt from CEQA.¹⁵

Proposed Project Description

The proposed project at 194 Castro Street includes a rear three-story addition and interior tenant improvements (**Figure 3 - Figure 6**). The addition will be connected at the interior, necessitating demolition of large portions of the rear wall of the historic building; however, the parapet at the rear façade will be retained and the new addition will read as a separate building from the outside. The proposed addition will have an inset alcove where it connects to the rear façade of the historic building, along Villa Street, which will provide a visual distinction from the historic building and allow the historic building to retain its massing and corner parapet features.

No exterior alterations are currently proposed at the primary (east), secondary (south), or north facades of the historic building. Repair and rehabilitation scope, which may include replacing the non-original second story window sashes, the non-original storefront windows and/or bulkheads, and other repairs, will be completed as part of a “Phase 2” of the project under a separate permit.

The project, as currently proposed, includes the following exterior and site alterations:

- Removal of an existing, non-historic rear addition
- Removal of an existing, non-historic rear patio, site wall, and garbage bin shed
- Alterations to the exterior of the existing historic building include:

¹³ 14 CCR § 15064.5(b)(1).

¹⁴ 14 CCR § 15064.5(b)(2).

¹⁵ 14 CCR § 15331, 15300.

- Addition of solar panels on the south roof slope, which will not be visible from the street
- Addition of mechanical equipment within the attic of the historic building will require the installation of several raised roof vents, parallel with the slope of the roof.
- Removal or covering of features on the rear (east) façade, except for the gabled parapet and coping.
- Construction of a new three-story, steel-frame addition with a flat roof at the rear of the existing building:
 - The addition will be built out to the south and rear (east) lot lines.
 - The third story of the addition will be set back from the rear (east) and south facades, with a roof deck behind the flat, second-story parapet
 - The first and second floors of the addition will primarily be clad in smooth stucco, with pebbledash finished stucco (similar in texture to the historic building) located between the window bands at the second story. The set back third story will be clad in wood tongue-and-groove siding.
 - The lower two stories of the addition will be aligned with those of the historic building, and the punched window openings at the second story of the addition will pick up on the proportion and rhythm of the fenestration pattern on the historic building.
 - The ground floor storefront windows and transoms at the proposed addition are also proportional to the openings at the historic building.
 - The addition will have an inset alcove immediately to the west of the existing historic building to provide a visual and physically delineate the addition from the historic building.
 - The west parapet of the historic building will be retained, and the board-formed concrete construction will be left exposed at the third-floor addition interior and roof deck.

The project includes various interior tenant improvements which are not the subject of this SOI Standards analysis. At the interior, the historic building will continue to have two retail storefronts, although the ground floor space will be built out for one restaurant tenant, and the second story will continue to be used for offices. The addition will have a separate ground floor retail storefront, and the upper two floors will be used for offices.



Figure 3: Rendering of the proposed project, looking at the front façade of the historic Jurian Building from Castro and Villa streets. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.



Figure 4: Rendering of the west (left) and south (right) facades of the proposed addition, looking northeast from Villa Street. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.



Figure 5: Rendering of the north façade of the proposed project, looking southeast. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.



Figure 6: Conceptual site plan of the proposed project. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.

Analysis of Project-Specific Impacts Under CEQA

As stated previously, the project site includes an eligible historic resource for the purposes of CEQA and must substantially meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the Standards) in order to avoid significant adverse impacts to the historic resource.¹⁶ The Standards provide guidance for reviewing proposed work on historic properties and are a useful analytic tool for understanding and describing the potential impacts of substantial changes to historic resources.

The Secretary of the Interior offers four sets of standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. Typically, one set of standards is chosen for a project based on the project scope. For the purposes of the proposed project at 194 Castro Street, the Standards for Rehabilitation, which “acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building’s historic character,” are the appropriate Standards for the proposed project’s scope.¹⁷

Standards for Rehabilitation Analysis

The following analysis applies each of the ten Standards for Rehabilitation to the proposed project at 194 Castro Street.

Rehabilitation Standard 1: *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Discussion: The building at 194 Castro Street was constructed as a two-story commercial building with two retail storefronts at the ground floor and an event/gathering space at the second floor. The property currently has a restaurant at the ground floor and offices at the second floor. The proposed project would retain the current uses in the historic building and have ground floor retail and upper level offices in the proposed addition. In sum, the use of the building will remain commercial.

The proposed project is consistent with Rehabilitation Standard 1.

¹⁶ Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, (U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017).

¹⁷ Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Rehabilitation Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.*

Discussion: This historic character of the property will be retained and preserved as evidenced through the retention and preservation of the building's character-defining features. Specifically, the overall massing and footprint will be preserved, as well as all decorative features and all historic window and storefront openings. The building's decorative shaped parapet will also be retained at the primary (east) and secondary (south) facades, as well as the more modest gabled parapet at the rear (west) façade.

No character defining interior features or spaces have been identified and no interior alterations to the space will affect the exterior features that characterize the property. The proposed addition will not impact the spatial relationship of the historic building to the Castro Street commercial corridor, and it will be consistent with the dense commercial development along the blocks fronting Castro Street and the side streets.

Rooftop solar panels and new mechanical equipment vents will not be visible to the street and, thus, will not impair the historic character of the building. New mechanical equipment installed in the attic at the northwest corner of the historic building will require several new vents; these vents will extend above the roofline only several inches and be parallel with the roof slope. The overall roofline and form of the building would be retained.

The overall historic character of the building as a Mission Revival style building along the main Mountain View commercial corridor will be retained and preserved. Therefore, the proposed project is consistent with Rehabilitation Standard 2.

Rehabilitation Standard 3: *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.*

Discussion: The proposed project will not create a false sense of historical development. The proposed addition is designed to be compatible yet differentiated with the historic building, as further discussed under Standard 9. The proposed project will not add conjectural features or elements from other historic properties. Therefore, the proposed project is consistent with Rehabilitation Standard 3.

Rehabilitation Standard 4: *Changes to a property that have acquired significance in their own right will be retained and preserved.*

Discussion: The subject building has been minimally altered at the exterior since original construction. The rear, one-story addition, constructed c.1921-1943, was built during the building's period of significance, but is utilitarian in design and served an ancillary function. As such, it has not gained significance in its own right and is not a character-defining feature. No other changes to the property have acquired historic significance. Therefore, the proposed project is consistent with Rehabilitation Standard 4.

Rehabilitation Standard 5: *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Discussion: The materials, features, finishes, and construction techniques that characterize the Mission Revival style building will be retained with no substantial change to the resource's historic character-defining features. The building's historic exterior materials such as the stucco siding and concrete ornamental features are to be retained. The building's prominent features evidencing its Mission Revival style will be preserved, including shaped parapets, merlons, and decorative detailing at the second story windows and parapets. The overall fenestration pattern, featuring punched second story windows and ground floor storefront openings that turn the southeast corner, will also be preserved. The only exterior materials that will be removed are at the rear façade, which is a plain concrete wall with no decorative detailing. The rear façade does not exhibit the level of craftsmanship evident at the primary (east) and secondary (south) facades, and the only notable features—the gabled parapet and southwest corner parapet merlon—at the rear will be retained.

Therefore, the proposed project is consistent with Rehabilitation Standard 5.

Rehabilitation Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Discussion: The proposed project does not include replacement of any historic materials or historic features under this Phase 1 permit package. Any proposed repair or in-kind replacement of historic materials or character-defining features as part of a Phase 2 scope will need to meet the Secretary of the Interior's Standards for Rehabilitation and be reviewed by a qualified professional prior to permitting. Therefore, Phase 1 of the proposed project as currently proposed is consistent with Rehabilitation Standard 6.

Rehabilitation Standard 7: *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Discussion: As currently planned, the project does not involve chemical or other physical treatments of historic materials. Therefore, the proposed project is consistent with Rehabilitation Standard 7.

Rehabilitation Standard 8: *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

Discussion: So long as standard procedures are followed in the case of an encounter with archaeological material, the proposed project will comply with Rehabilitation Standard 8.

Rehabilitation Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and environment.*

Discussion: The proposed project includes a three-story rear addition that is both differentiated and compatible with the historic building. The addition has a rectilinear footprint that is consistent with the pattern of commercial development along and just off downtown Castro Street, where buildings have typically been built out to their front and side lot lines. The massing of the addition includes a third story that is set back from the south (Villa Street) and rear facades so that it will be minimally visible from the street. The height and proportion of the lower two stories of the addition are designed to match the height and proportion of the historic building. The second story of the addition picks up on cues from the historic building, including bands above and below a row of punched window openings, as well as in the proportion of the storefront openings with upper transoms. The addition features a flat parapet, which is compatible with the adjacent historic building without introducing any false historicist Mission Revival style features.

The overall character of the addition is that of a contemporary twenty-first century commercial building, but the scale, proportion, and exterior materials are compatible with the historic building. The addition will have smooth stucco siding, distinct from the historic building, with textured (pebbledash) stucco more closely referencing the historic building's exterior material only at the second story window band. The tongue-and-groove siding of the addition's third story will be minimally visible from the street. As discussed under Standards 2 and 5, no historic materials, features, or spatial relationships will be destroyed by the proposed addition, which is located at the rear of the historic building. A recessed alcove along the south (Villa Street) façade of the addition

will provide a visual break between the historic building and the addition, and will allow the southwest corner of the historic building, including the parapet merlon, to remain intact. As such, the proposed addition largely reads as a separate new downtown commercial building that could be abutting the historic building.

Therefore, the proposed project is consistent with Rehabilitation Standard 9.

Rehabilitation Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Discussion: The proposed project includes a large three-story rear addition. However, the proposed addition is designed such that it only requires the demolition of portions of the rear wall of the historic building, which has already previously been altered. Additionally, except for the gabled parapet at the top of the rear wall—which is being retained—the rear wall does not contain any character-defining features. If, hypothetically, the proposed addition was removed in the future, the rear wall could be reconstructed with no impact to the essential form and integrity of the historic property. The rooftop solar panels and mechanical equipment vents could also be removed in the future without damage to the overall form and character of the building. Therefore, the proposed project is consistent with Rehabilitation Standard 10.

Summary of SOI Standards Compliance

As the above analysis illustrates, the proposed project at 194 Castro Street, as currently designed, is in compliance with all ten of the Secretary of the Interior's Standards for Rehabilitation. The historic building will continue to be able to express the features, design, and context that make it significant for its Mission Revival architecture, association with architect Frank Wolfe, association with early downtown Mountain View commercial development, and original owner Andrew Jurian. According to CEQA Guidelines Section 15126.4(b)(1), if a project complies with the Secretary of the Interior's Standards for Rehabilitation, the project's impact "will generally be considered mitigated below a level of significance and thus is not significant." Furthermore, according to CEQA Guidelines Section 15331, projects that comply with the Secretary of the Interior's Standards are categorically exempt from CEQA. As the proposed project is in compliance with Secretary of the Interior's Standards for Rehabilitation, 194 Castro Street will continue to be eligible for historical designation on local, state, and/or national registers, and the proposed project will not cause a significant adverse impact.

Analysis of Cumulative Impacts Under CEQA

The California Environmental Quality Act defines cumulative impacts as follows:

“Cumulative impacts” refers to two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.

- a) The individual effects may be changes resulting from a single project or a number of separate projects.
- b) The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable probable future projects. Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.¹⁸

As the project meets the Secretary of the Interior’s Standards, it will not have a significant effect on the environment and is, therefore, considered categorically exempt from CEQA. Thus, the project will not have any individual effects that contribute to cumulative impacts on the environment.

Assessment of other potential environmental impacts such as aesthetics, air quality, noise, pollution, etc. are outside the scope of this report.

CONCLUSION & RECOMMENDATIONS

As stated above, the project—as proposed in Phase 1—is consistent with all ten of the Secretary of the Interior’s Standards for Rehabilitation, and the property will remain individually eligible for historic designation on local, state, and/or federal registers. As the project is compliant with the Secretary of the Interior’s Standards.

Page & Turnbull has noted that a future “Phase 2” scope of work is noted on the proposed project drawings that would include rehabilitation of the exterior facades of the historic building. The Phase 2 work, which is planned under a separate permit, will need to be reviewed by a professional meeting the Secretary of the Interior’s Professional Qualification Standards and compliant with the Secretary of the Interior’s Standards for Rehabilitation.

¹⁸ 14 CCR § 15355.

Based on the potential rehabilitation scopes indicated in the proposed project drawings, Page & Turnbull has the following preliminary recommendations for Phase 2:

- A qualified historic architect or architectural historian should review the “Phase 2” preservation scope, including any proposed replacement or repair of historic materials and features.
- Non-historic aluminum windows and storefronts, including non-historic tile bulkheads, may be removed and replaced.
- Character-defining window openings should not be altered in size or proportion.
- Any proposed new window sashes should be reviewed for compatibility of material, operability, and configuration. One-over-one hung wood or wood-clad-aluminum windows would be most appropriate based on archival documentation of the original windows.
- Original and character-defining materials and features should be repaired, rather than replaced, to the extent feasible. If a material or feature is deteriorated beyond repair, as confirmed by a qualified professional, then in-kind replacement may be undertaken.
- Cleaning and/or paint removal should be undertaken with the gentlest means feasible, so as to avoid damage to historic materials and features.

EXHIBITS

Exhibit A: Historic Resource Assessment (June 2023)

Historical Resource Assessment (HRA), including DPR 523 forms, prepared by Archives & Architecture in June 2023.

Exhibit B: Proposed Project Drawings (July 2024)

Proposed project drawings for 194-198 Castro Street prepared by Strata Design Studio, dated July 17, 2024.

HISTORICAL RESOURCE ASSESSMENT

Jurian Building
194-198 Castro Street
Mountain View, Santa Clara County, California
APN #158-15-013



*The Jurian Building at 194-198 Castro Street,
Mountain View, CA*

Prepared for:

Chee-Yee Chong
Hanson America LLC
P.O. Box 4631
Mountain View, CA 94041



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Introduction

This report constitutes a historical resource assessment for the historic property known as the Jurian Building at 194-198 Castro Street in Mountain View, California. The subject property is located on the northwest corner of the intersection of Castro and Villa Streets in Mountain View.

This historical resource assessment has been required by the City of Mountain View as part of the application for a Historic Preservation Permit to determine the significance of the subject property and how a proposed project will affect its significance. The proposed project is to remove the one-story addition on the rear of the Jurian Building and construct a three-story addition.

This City of Mountain View sometimes requires an applicant to hire a qualified historical consultant to prepare a historical evaluation, in the form of a report, in conjunction with the recording of DPR 523 series forms, when a project has the potential to affect a historic resource which is (1) either listed, or eligible for listing, on the National Register or the California Register, or is eligible for designation as a Historic Resource under City of Mountain View criteria under Section 36.54.65 of Division 15, as embedded in the City's municipal code.

This assessment presents a summary of findings extracted from DPR 523 forms prepared for the property by the firm of Archives & Architecture LLC. The attached DPR 523 forms prepared by us dated May 1, 2023 document the historical and architectural aspects of the property at 194-198 Castro Street, a brief historical context of the study area, and facts regarding ownership and use of the property since it was built. The forms also include a technical description of the property, including style, defining features, exterior photographs, and historical views.

The evaluation within this report is based on specific historic evaluation criteria that have been developed for the City of Mountain View under Section 36.54.65, the California Register of Historical Resources, and the National Register of Historic Places.

Section 36.54.65 defines the designation criteria for a historic resource as any building, structure, object or site that the city council finds meets one or more of the following criteria.

- Criterion A Is strongly identified with a person who, or an organization which, significantly contributed to the culture, history or development of the City of Mountain View;
- Criterion B Is the site of a significant historic event in the city's past;
- Criterion C Embodies distinctive characteristics significant to the city in terms of a type, period, region or method of construction or representative of the work of a master or possession of high artistic value; or

Criterion D Has yielded, or may be likely to yield, information important to the city's prehistory or history.

A property is also identified as a historic resource if it is listed on the Mountain View Register of Historical Resources.

Evaluation for Historical Significance

Mountain View Register of Historical Resources Eligibility

The subject property retains its significance as a Mountain View historic resource, meeting the following criteria for the Mountain View Register of Historic Resources per SEC 36.54.65 in Division 15, Mountain View's Designation and Preservation of Historic Resources.:

Criterion A Is strongly identified with a person who, or an organization which, significantly contributed to the culture, history, or development of the City of Mountain View;

The building is associated with Andrew Jurian, who was influential in the agriculture and retail development of Mountain View in the early twentieth century. Andrew Jurian was active in Mountain View civic affairs and an important supporter and organizer of those of Yugoslavian descent.

Criterion B Is the site of a significant historic event in the city's past:

The Jurian Building has a significant place in the history of the development of the city of Mountain View's downtown and its commercial development. The building stands at the intersection of Castro and Villa Streets on a lot once called the most valuable business block in Mountain View in an intersection in which its neighboring corner buildings are noted for their significance to Mountain View's business development—the Farmers' and Merchants Bank (1905), the Mockbee Building (1906), and the First National Bank (1913). The Jurian Building was the first major commercial building to be constructed after Mountain View went dry, replacing one of the city's newly banned saloons and being hailed as an example of how the local prohibition did not halt business development. For many decades, the events hall on the second floor of the Jurian Building was the main gathering place for the city and the site of important events for local organizations.

Criterion C Embodies distinctive characteristics significant to the city in terms of a type, period, region or method of construction or representative of the work of a master or possession of high artistic value;

The building possesses architectural distinction as an example of Mission Revival style as applied to early twentieth-century commercial buildings, with Mission Revival features including a high central curvilinear parapet and square capped corners. It was built of reinforced concrete with distinctive unique ornamentation made of cast concrete.

The Jurian Building was designed by San José master architect Frank Delos Wolfe. Wolfe was responsible for important buildings in Mountain View and across Northern California, eight of which are today on the National Register of Historic Places.

California Register of Historical Resources Eligibility

Properties in the City of Mountain View are also evaluated for significance at the state level under the criteria of the California Register of Historical Resources. The types of resources and the criteria for listing in the California Register are consistent with those developed by the National Park Service for listing historical resources in the National Register, but have been modified for state use in order to include a range of historical resources which better reflect the history of California. Under California Code of Regulation Section 4852(b) and Public Resources Code Section 5024.1, a historical resource generally must be greater than 50 years old and must be significant at the local, state, or national level under one or more of the following four criteria:

- Criterion 1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- Criterion 2. It is associated with the lives of persons important to local, California, or national history.
- Criterion 3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or important creative individual, or possesses high artistic values.
- Criterion 4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

The subject property appears to be eligible for the California Register, by meeting the following criteria:

- Criterion 1. The subject property is associated with events that have made a significant contribution to the broad patterns of local or regional

history or the cultural heritage of California or the United States, in terms of its significant place in the history of the development of the city of Mountain View's downtown and its commercial development.

- Criterion 2. The subject property is associated with Andrew Jurian, who was important to Mountain View history.
- Criterion 3. The subject property embodies the distinctive characteristics of a type, period, and region with its unique interpretation of Mission Revival architecture and reinforced concrete construction. The building is the work of Frank Delos Wolfe, a local master architect.

National Register Eligibility

The subject property has not been evaluated for National Register eligibility because it is not undergoing a Section 106 review. Section 106 of the National Historic Preservation Act of 1966 (NHPA) requires federal agencies to consider the effects on historic properties of projects they carry out, assist, fund, permit, license, or approve throughout the country. If a federal or federally assisted project has the potential to affect historic properties, a Section 106 review will take place.

Alterations

Alterations are documented in the attached DPR 523 forms and can be seen on the Sanborn maps included in the forms. The most significant alterations are found on the western (rear) elevation, which can be summarized as follows:

- A one-story addition made of reinforced concrete, still standing today, was constructed on the rear of the building around or before 1943.
- Original windows were filled in or replaced with noncompatible newer windows in an ad-hoc arrangement.

These alterations do not invalidate the Jurian Building's architectural significance and eligibility as a historical resource. The eastern and southern facades retain their characteristic features including the decorative moldings and Mission Revival style parapets. Despite the modifications to the western façade and windows and storefronts, the Jurian Building retains its form, characteristic features, and most of its materials on the eastern and southern facades.

Qualifications of the Consultant

The principal author of this report is Krista Van Laan, Architectural Historian, who consults in the field of historic architecture. Ms. Van Laan has a BFA from Pratt Institute and a graduate certificate in Preservation from the University of Kentucky. She is the

author of many articles on Bay Area architectural history and five books, including *Frank Delos Wolfe: California Prairie Architecture*, *Wolfe & Higgins: Master Architects of the Spanish Revival*, *Schiele Subdivision and Alameda Park*, and *The Insider's Guide to Technical Writing*.

Ms. Van Laan meets the Secretary of the Interior's qualifications to perform identification, evaluation, registration, and treatment activities within the field of Architectural History in compliance with state and federal environmental laws.

Appendix: DPR 523 Forms

DPR523a forms for 194-198 Castro Street.

Other Listings
Review Code

Reviewer

Date

Page 1 of 24

*Resource Name or #: (Assigned by recorder) Jurian Building

P1. Other Identifier: Odell & Jurian Building, 194-198 Castro Street

*P2. Location: Not for Publication Unrestricted

*a. County Santa Clara and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Mountain View Date 1980 photorevised T. 6S.: R.2W.; B.M. Mount Diablo

c. Address 194-198 Castro Street City Mountain View Zip 94041

d. UTM: (Give more than one for large and/or linear resources) Zone 10S.; 581367mE/ 4138614mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 158-15-013,
northwest corner of Castro and Villa Streets.

*P3a Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Jurian Building is located at 194-198 Castro Street in Mountain View, California, on the northwest corner of the intersection of Castro and Villa Streets. The Mission Revival-style building, constructed in 1912-1913, stands two stories tall and is made of reinforced concrete with a rough-textured stucco exterior and a shallowly pitched ridged roof with high parapet walls. The building is roughly rectangular, with fifty feet of frontage on Castro Street and 123 feet on Villa Street. Castro Street runs northeast to southwest, so the property faces east-southeast; for ease of reading, the property will be considered as facing nominally east on the Castro Street side.

Two storefronts and an L-shaped extension on the rear (western) façade comprise the lower story. The upper story, originally an events hall built with no interior posts or other obstructions, is today divided into offices.

(Continued on next page)

*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)

P5b. Description of Photo: (View, date, accession #)

Front façade viewed with camera facing northwest. April, 2023.

*P6. Date Constructed/Age and Sources:

Historic Prehistoric Both

1913, 110 years. *Building and Industrial News*, January 7, 1913.

*P7. Owner and Address:

Hanson America LLC
P.O. Box 4631
Mountain View, CA 94041

*P8. Recorded by: (Name, affiliation, and address)

Krista Van Laan
Archives & Architecture, LLC
PO Box 1332
San José, CA 95109

*P9. Date Recorded: May 1, 2023

*P10. Survey Type: Intensive



*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Downtown Mountain View Precise Plan Areas A-J Historic Resources Survey*, August 5, 2003; Mountain View Register of Historic Resources

*Attachments: NONE Location Map Continuation Sheet Building, Structure and Object Record Archaeological Record District Record Linear Feature Record Milling State Record Rock Art Record Artifact Record Photograph Record Other (List)

Page 2 of 24 *Resource Name or #: (Assigned by recorder) Jurian Building

*Recorded by Krista Van Laan

*Date May 1, 2023

Continuation

Update

(Continued from previous page)

The building was designed by San José master architect Frank Delos Wolfe (1862-1926). At the time he was commissioned to design the Jurian building in 1912, Wolfe had already been responsible for many important buildings in Mountain View, including the 1903 high school, the Farmers' and Merchants' Bank at 201 Castro Street, the 1906 post office, and homes for many of the city's most prominent citizens. In 1912, Wolfe, as a sole practitioner, was working primarily in the Mission Revival and Craftsman styles. He was also becoming known nationally for designing buildings influenced by Frank Lloyd Wright, pioneer of the Prairie School of American architecture.

Character-Defining Features

The building is notable for its distinctive ornate cast concrete moldings on the eastern (front) and southern facades. A high central curvilinear Mission-Revival-style parapet extends above the roofline on each of these two sides. High crenelated square posts rise from the parapet corners. The parapet and corners are topped with wide caps; matching trim follows the edge of the curved parapet and ends in a raised decorative block at the center top of the corner posts. An elongated quatrefoil frame is centered in the upper part of the wall near the curving top of each parapet. Within the frame is a painted date "1913," representing the year the building was completed.



Front (eastern) facade of the Jurian building. Viewed with camera facing northwest.

(Continued on next page)

Page 3 of 24 *Resource Name or #: (Assigned by recorder) Jurian Building

*Recorded by Krista Van Laan

*Date May 1, 2023

Continuation

Update

(Continued from previous page)

A row of nine high vertical windows wraps around the upper-story walls on the eastern and southern facades—four windows spanning the eastern side and five on the southern side. The windows were installed around 2000 and are aluminum-framed sliders set into the original frames.

Bands of vertical ribs edged with flat strips line the row of windows above and below, extending across the full width of the building. Vertical concrete strips frame each window, with all window corners punctuated with a diamond-shaped accent. Ornate prominent cast concrete medallions hang from the upper band between each window and beside the outer corners of the building. The design of these ornaments has been referred to as “Egyptian” in a 2002 City of Mountain View *Register of Historic Resources* description, but the design appears to have no discernable origin, with elements of Craftsman and Mission Revival design, early Art Deco, and a passing reference to some of the geometric motifs used by Frank Lloyd Wright. Architect Frank Delos Wolfe was strongly influenced by Frank Lloyd Wright at the time the Jurian Building was designed and built, so the Wright reference may have been deliberate.

The prominent corner medallion elements are cast concrete, consisting of a round shield overlapping the horizontal ribbed band and extending below to a tapering panel with stepped edges. Centered in the shield is a decorative element resembling a cornice and frieze above flared dentils; below is a group of five vertical rods that each end in a triangular shape and give the appearance of hanging tassels. Between each window is an abbreviated form of the corner design element, with a projecting rectangular paneled block above a coved base on which lies three vertical rods with tasseled ends. The building corners on the lower floor retain some of the horizontal bands and diamond accents of the upper story.



Closeup of window and decorative moldings.

The lower story on the eastern façade consists of two storefronts with entrance doors recessed within the overhanging upper floor. A central entrance door, installed in 1982, leads to the upper story.

The storefronts have been reconstructed in and since 1983, with six recently replaced horizontal single-pane windows spanning the building width across the overhang and a seventh wrapping around to the Villa Street side. A sign for the Agave restaurant is installed above the horizontal windows. (Agave Restaurant signs are also installed

(Continued on next page)

Page 4 of 24 *Resource Name or #: (Assigned by recorder) Jurian Building

*Recorded by Krista Van Laan

*Date May 1, 2023

Continuation

Update

(Continued from previous page)

on the southern and western sides.) The storefront windows start approximately two feet above the sidewalk level and the lower wall is covered with recently installed tile.



Storefront windows at 194 Castro Street.



Corner detail.

(Continued on next page)

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*Recorded by Krista Van Laan

*Date May 1, 2023

Continuation

Update

(Continued from previous page)

Fenestration on the southern (Villa Street) façade of the lower story consists of three hopper windows and two entrance doors flanking a narrow vertical window.



Southern elevation. Viewed with camera facing north.

Page 6 of 24 *Resource Name or #: (Assigned by recorder) Jurian Building

*Recorded by Krista Van Laan

*Date May 1, 2023

Continuation

Update

(Continued from previous page)



Southwest corner of Jurian Building showing the southern and western elevations, wall built ca. 2000, and part of the lower-story extension that was added between 1921-1943. Viewed with camera facing east.

The western (rear) elevation has undergone the most changes, with original windows filled in and an ad hoc placement of fixed-pane and slider windows. A one-story extension with a door and several small windows projects from the rear wall. (The rear addition was built between 1921 and 1943.) The western wall has no decorative molding such as that found on the southern and eastern facades, but the upper story has retained its original board form concrete pattern. Board form concrete possesses a wood-grained texture caused by casting the concrete onto wood.

The rear courtyard is surrounded by a crenelated stucco wall (built ca. 2000) with a decorative spiraled metal railing between the posts and metal column light fixtures. There is a double wooden gate on the westernmost corner and a shed on the northwest corner.

The northern wall of the Jurian building is windowless, the lower half obscured by the attached neighboring building and the upper half exhibiting the original board form concrete.

The building interior retains a few of its original features, with original stamped metal ceilings, board form pattern on some of the interior walls, and the rear staircase up to the second floor.

(Continued on next page)

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*Recorded by Krista Van Laan

*Date May 1, 2023

Continuation

Update

(Continued from previous page)



Rear facade showing pointed parapet and board form at top and addition on first floor. The original windows are gone.



Shed at northwest corner added ca. 1983.

(Continued on next page)

Page 8 of 24 *Resource Name or #: (Assigned by recorder) Jurian Building

*Recorded by Krista Van Laan

*Date May 1, 2023

Continuation

Update

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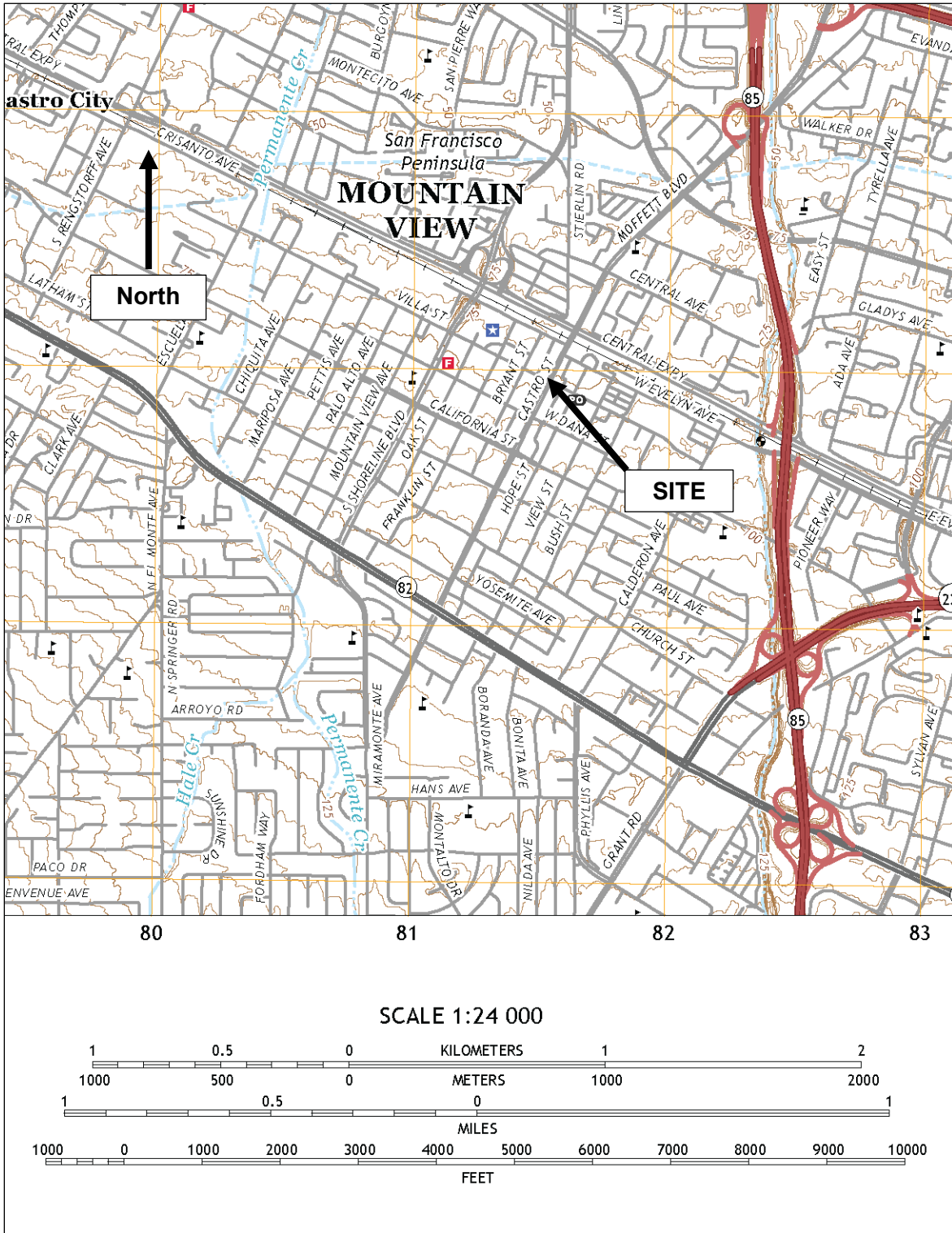


Rear facade viewed with camera facing southeast. The roof of the L-shaped addition is visible as are the modified rear windows.



Northern facade of Jurian Building.

(Continued on next page)



BUILDING, STRUCTURE, AND OBJECT RECORD

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*NRHP Status Code 3CS

*Resource Name or # (Assigned by recorder) Jurian Building

B1. Historic Name: Odell & Jurian Building

B2. Common Name: None

B3. Original use: Commercial

B4. Present Use: Commercial

*B5. Architectural Style: Mission Revival

*B6. Construction History: (Construction date, alterations, and date of alterations)

Construction date: 1912-1913.

See full list of alterations on page 19.

*B7. Moved? No Yes Unknown

Date: N/A

Original Location: N/A

*B8. Related Features: None

B9a Architect: Frank Delos Wolfe

b. Builder: Herman A. Spreen and William H. Bates

*B10. Significance: Theme Architectural Resources and Styles

Area Mountain View, Santa Clara County

Period of Significance 1913-1943

Property Type Commercial

Applicable Criteria 1, 2, 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property known as the Jurian Building was constructed in 1912-1913 as a two-story, two-storefront commercial property to house the dry goods business owned by orchardists George W. Odell and Andrew Jurian. The building was designed by San José master architect Frank Delos Wolfe, according to the January 7, 1913 issue of *Building and Industrial News* and subsequent articles in the *San Jose Mercury News* and *Mountain View Register-Leader*.

The Jurian Building played a major role in the development of downtown Mountain View. Established as Mountain View Station in the late 1860s following the construction of the San Francisco-San Jose Railroad through the northern portions of the Santa Clara Valley, the city had continued to grow and incorporated on November 7, 1902. Mountain View was going through major changes the year the Jurian Building began construction. In April of 1912, the city had enacted prohibition and banned the many saloons that had until then been part of the city. The Jurian Building was the first significant commercial building constructed after the city went dry and was considered to be an indicator that Mountain View's downtown was still an important commercial center and that the decision to go dry would not hurt its progress.

(Continued on next page, DPR523L)

B11. Additional Resource Attributes: (List attributes and codes) N/A

***B12. References:**

Advisory Council on Historic Preservation, <https://www.achp.gov>.

Ancestry.com: Census reports, Santa Clara County directory listings, voter records, and birth, marriage, and death records.

Architectural plans: 1982, 2022.

“Big Rebuilding Sale at Odell & Jurian’s,” *Mountain View Register-Leader*, May 23, 1913, 1.

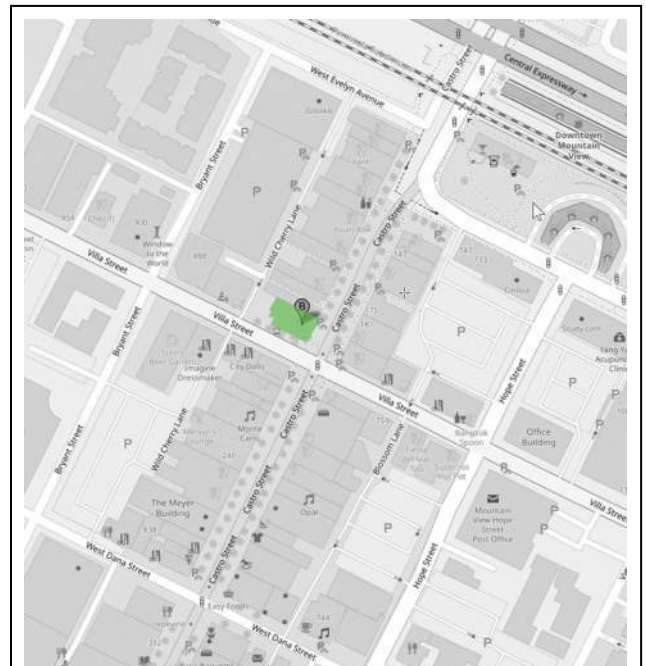
(See References continued on page 23)

B13. Remarks: Proposed architectural alterations

*B14. Evaluator: Krista Van Laan

*Date of Evaluation: May 1, 2023.

(This space reserved for official comments.)



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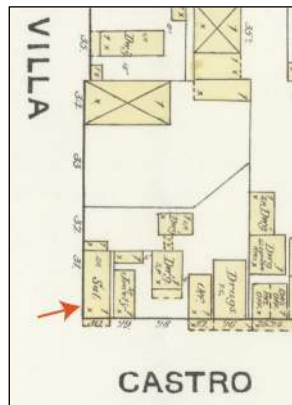
Before the establishment of Mountain View Station, land surrounding and including the subject property was part of *Rancho Pastoria de las Borregas* (in English, the ewe lambs pasture), almost 8,800 acres of land granted to Francisco Estrada by the Mexican government in 1842. Francesco Estrada and his wife Inez died and the title passed to Inez's father Mariano Castro, who called on his son Crisanto to manage the rancho. When the Mexican War ended in 1848, the Mexican government ceded California to the United States. California became a state in 1850 and at that time, the area that became known as Mountain View began to grow.

A stage stop was located near where Grant Road and El Camino Real intersect today. The stage stop was later referred to as "Old Mountain View," and a hostelry, post office, store, and a few shops grew up around it. When the railway was built in 1864 about a mile north, some of the merchants at the stage station moved closer to it, creating the beginning of downtown Mountain View. The block on which the subject property sits was the first block built in what became downtown Mountain View. By the late 1800s, thanks to the railroad and the agricultural bounty of the surrounding land, Mountain View was a thriving town.

In 1904, concrete gutters and curbs were installed on the first two blocks of Castro Street. The Pacific Press Publishing Company moved its plant from Oakland, where it had originated in 1874, to Mountain View. The Pacific Press was owned and operated by the Seventh-Day Adventist Church, 200 of whose members moved to Mountain View, swelling its population to about 800. Real estate values were said to increase and business flourish, slowed down only temporarily by the April 1906 San Francisco Earthquake, which nonetheless brought many displaced persons to Mountain View. The population of Mountain View grew to reach 1,161 by the 1910 census.

The religious practices of the members of the church, including abstinence from alcohol, influenced the city. On April 30, 1912, the citizens of Mountain View voted by a majority of about fifty to prohibit the sale and dispensation of intoxicating liquors and to close all of the seven saloons in the city limits.

In August of 1912, orchardists George W. Odell and Andrew Jurian bought from Margaretta H. Moore a fifty- by 150-foot lot known as "Haverty Corner," considered to be the most valuable business block in Mountain View, at the corner of Castro and Villa Streets. The lot housed a saloon which was said to have stood there for many years and appears on the 1888 Sanborn fire insurance map. Odell and Jurian paid \$6500 for the lot upon which they would demolish the old saloon and launch a dry goods business called Odell & Jurian. The August 23, 1912 issue of the *Mountain View Register-Leader* reported favorably on the transaction, stating that it indicated a "further advancement in the town's importance as a business place, and also evidence that the action of the citizens last April in voting the town 'dry' has not injured its prospects."



1888 Sanborn map excerpt shows the saloon that was demolished to make way for the Jurian Building.
Sanborn Fire Insurance Map from Mountain View, Santa Clara County, California. Sanborn Map Company, May, 1888. Map.
https://www.loc.gov/item/sanborn00706_001/.

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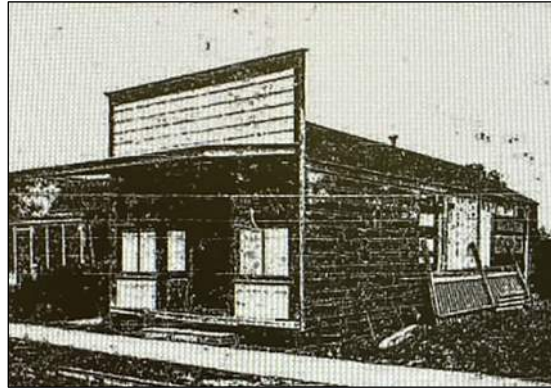
*Recorded by Krista Van Laan

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*Haverty Saloon (later called the Palm Saloon) was demolished to make way for the Jurian Building.
Mountain View Register-Leader, January 24, 1913.*

Andrew Ivan Jurian (1864-1943) was a native of the Austro-Hungarian Empire, which became part of Yugoslavia in 1918. (The area he came from is today Slovenia and Croatia). Jurian had moved to the United States in 1891, first living in Virginia City, where he worked on the Comstock Lode, before arriving in Santa Clara County in 1908. He married Elizabeth Booker and they owned thirteen acres of orchard a mile outside of Mountain View where they grew prunes. The Jurian prunes were award-winners at the Prune and Apricot exposition. In Jurian's thirty-five years in Mountain View, he was an active civic and social leader, especially as it related to Yugoslavian affairs. He was president and founder of the American Yugoslav Defense League, first president of the Napredak Club, and a member of the Chamber of Commerce and chairman in the Kiwanis Club. In 1936, he ran a corporation that owned the Yugoslav newspaper *Narodni Glasnik*.

Less is known about George Odell (1871-1929), who did not stay in Mountain View after 1914. He was born in Indiana and came to Santa Clara County sometime around 1910 where he and his wife Margaret ran an orchard near Mountain View before going into the mercantile business with Andrew Jurian.

In 1912, the pair hired San José architect Frank Wolfe to design their new commercial building. Wolfe was well-known in Mountain View, where he, with partner Charles McKenzie, had designed many of the city's important buildings including the 1902 high school, the Farmers' and Merchants' Bank diagonally across the street from Odell and Jurian's property, the 1906 post office, and the 1910 home for Crisanto Castro as well as homes for many of the city's most prominent citizens. Wolfe was now a sole practitioner, generating much publicity with his Frank Lloyd Wright-inspired Prairie-style buildings.

Odell and Jurian's new building was described as a "modern store building in which they intend to establish a very modern and high-grade cash grocery business, to handle the very best of all kinds of goods in that line..." The pair promised to make their new store the "equal of any dry goods emporium in the country so that never will it be necessary for any man or woman to go from Mountain View to another town to buy dry goods."

On September 23, 1912, the partners contracted with builder Herman A. Spreen, a German-born resident of Sunnyvale, to build the new commercial building for a contracted price of \$5,260. Spreen was to work under the supervision of architect Wolfe, who would certify his work in four installments. Work was begun in the middle of October. The building, originally planned to be a single story with two storefronts, was to be constructed of reinforced concrete, likely a response to the damage caused by the 1906 San Francisco Earthquake, which had caused destruction to many Mountain View buildings. The foundation and walls were built so that a second story could be added later if the owners wanted it.

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The construction of the new building was followed closely. "It is going to be one of the finest business blocks in the county when it is completed..." said one article in the *Register-Leader*. "The community owes Messrs. Odell & Jurian a deep debt of gratitude for their enterprise in locating here and investing so much money in the town," read another.

On December 10, Odell and Jurian decided they wanted a second story added to the building, one that would hold social events such as dances and concerts and theater productions. They negotiated with Spreen to add the second story, again agreeing to pay in four installments the sum of \$3,600. On March 1, 1913, after receiving the second payment but without doing the second stage of the work, Spreen abandoned the project. Builder William H. Bates, who had worked with Wolfe on many buildings, was hired to complete the job with day laborers. The upper story was said to be built with no posts nor obstructions and was accessed by a staircase leading from the rear end of the Villa Street side. Frank Wolfe continued to supervise the construction and guarantee its soundness.

Spreen's abandonment of the project resulted in a number of liens and lawsuits. Five plaintiffs, including Walter G. Matheson, secretary of the Building Trades Commission, who represented fifty workers who subcontracted for Spreen, filed claims against Odell and Jurian and the Maryland Casualty Company, the insurer. Odell and Jurian in turn sued Spreen and the Maryland Casualty Company for the recovery of \$4430 which they said they spent when they had to continue the building themselves. The court case and appeals continued until 1920.



Jurian Building ca. 1913. This may be a photograph of the grand opening of the building. The bunting over 194 Castro reads "Odell & Jurian," which changed its name by 1914. Courtesy of Mountain View Historical Association.

Despite the delays, the building had a grand opening on June 8, 1913, just shy of a few finishing details that were done on June 15. E.T. Johnson's drug store occupied the store addressed 198 Castro and the Odell & Jurian dry

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goods business occupied 194 Castro. The occasion was marked with a band and other forms of entertainment. The June 13, 1913 issue of the *Mountain View Register-Leader* described the event:

The most beautiful and attractive show windows ever seen in Mountain View were those in the Odell & Jurian block on the Opening Day, last Saturday, both in the pharmacy and the dry goods store.

Odell & Jurian's windows were dressed with flowers and draperies. One window contained pure white St. Joseph lilies with white draperies and the other window contained pink carnations and pink draperies. No goods were displayed in either window, a delicate touch of excellent taste and judgement that is as refreshing as it is rare in suburban towns...

Before the month ended, George Odell and his wife sold their half interest in the building to Andrew Jurian. The Odells moved to San Francisco and later to Burlingame where George worked as an auto mechanic. On January 26, 1914, Odell and Jurian dissolved their mercantile business and Jurian bought out Odell's share. Andrew Jurian changed the name of the dry goods store to A. Jurian & Co. but in April 1914, sold the business while retaining ownership of the building.



The intersection of Castro and Villa Streets ca. 1913. The Jurian Building is on the right. Lower-story signs show Odell & Jurian on the 194 storefront and E.T. Johnson's Drug Store on the 198 storefront. Courtesy of Mountain View Historical Association.

The 1921 Sanborn Fire Insurance Map (see page 15) shows that there was originally a large L-shaped storage building, roofed with wooden shingles and featuring a terra cotta chimney, on the lot behind the building on what is today Wild Cherry Lane. The storage building opened onto Villa Street with an open covered entrance extending over the street. The storage building appeared to have been used commercially for at least the first two years of its

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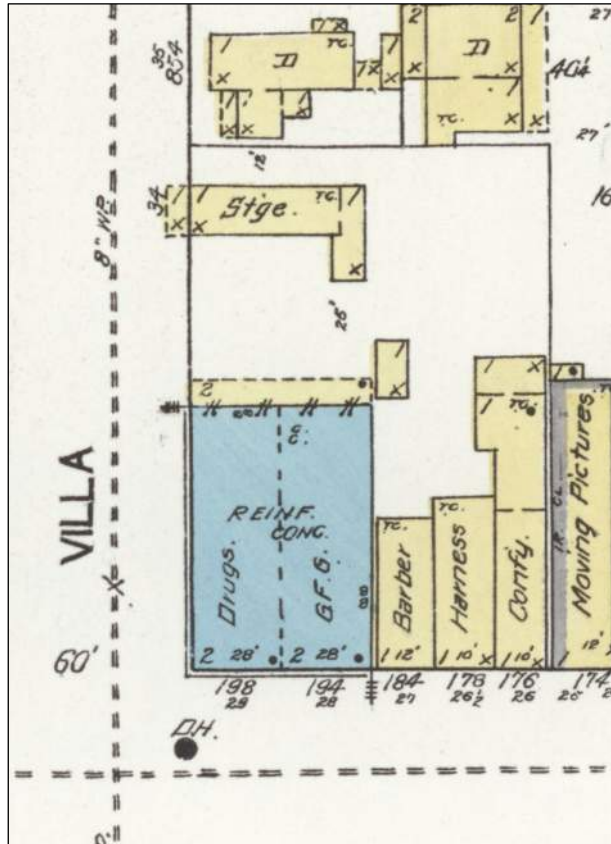
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existence. Until May of 1914, when he moved to Sunnyvale, rugmaker Thomas H. Peebles advertised “first-class carpet and rug weaving done to order, and for sale,” from the ‘room back of Odell & Jurian Building on Villa Street.’”



The 1921 Sanborn map excerpt. There was a separate frame storage facility on the rear (western) edge of the lot. Sanborn Fire Insurance Map from Mountain View, Santa Clara County, California. Sanborn Map Company, Apr, 1921. Map. <https://www.loc.gov/item/sanborn00706>

The mercantile business at 194 Castro Street changed owners several times before 1917, when the Kennedy & Henderson dry goods store was established, two years later to be replaced by Paulding & Kimball Dry Goods. Paulding & Kimball moved in 1928 and was replaced by a dry goods store owned by F. Berman of San Francisco. The side at 198 Castro Street was a drug store, with various owners, from 1913 until 1960.

The Jurian family owned the building until approximately 1982. Over the years, the building has housed different stores and businesses, including State Market & Delicatessen from 1956 to 1968, a Jujitsu school in the 1960s, and an interior decorating business in the 1980s. In 1983, the upper floor was converted to office space in which a variety of companies do business. The lower floor has housed restaurants, currently the Agave Restaurant, which has been there since 2012.

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Jurian building c. 1961, with the State Market and Delicatessen in the storefront addressed as 194 Castro. The covers on the upper story windows and the attached awning wrapping around the front and southern façade were removed in 1983 when the building was restored more closely to its original appearance. Courtesy of Mountain View Historical Association.



Jurian building ca. 1974. Courtesy of Mountain View Historical Association.

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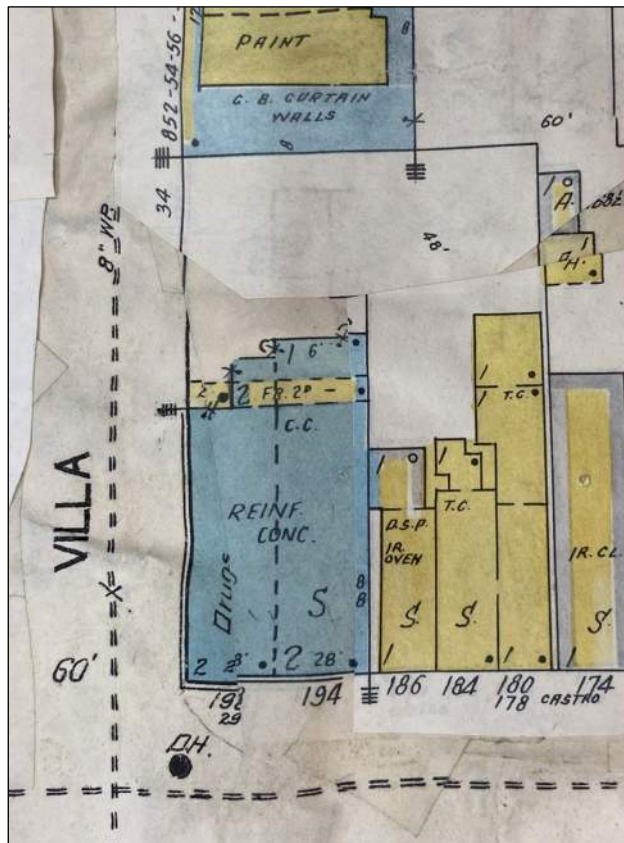
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From 1913 through the 1940s, the hall on the upper story held many events important to the city of Mountain View, including concerts, dances, visiting lecturers, and parties and ceremonies hosted by social and civic organizations such as churches, the high school graduating classes, Woman's Club, Boy Scouts, Navy Club, American Legion, the Moffett Field Noncommissioned Officers Club, the Townsend Club, the Jugoslav-Adriatic Club, Ladies Aid, and Native Daughters. The hall was used by the Fraternal Order of the Eagles between 1945 and 1961.

Between 1921 and 1943, based on Sanborn maps updated those years, the freestanding rear storage building was removed and a one-story addition was constructed on the rear of the building. By 1950, a garage was added to the lot. The garage was removed around the time Wild Cherry Lane was created. This is believed to be ca. 1960 according to *Downtown Mountain View Precise Plan Areas A-J Historic Resources Survey*, August 5, 2003.



Sanborn map excerpt, updated in 1943. By 1943, the freestanding rear storage building had been demolished and an addition, still in place today, had been constructed on the rear of the building. Courtesy of the Mountain View Historical Association.

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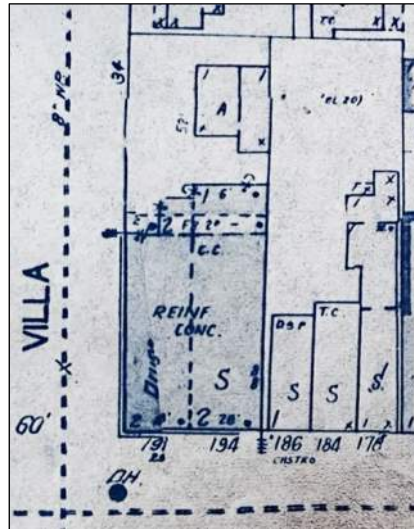
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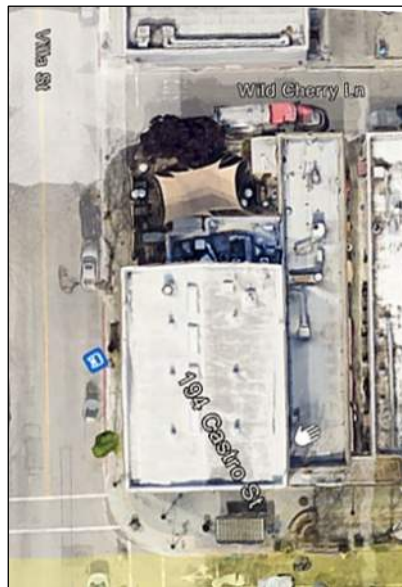
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Sanborn map excerpt (inverted from a negative print), updated ca. 1950. A large garage stands on the northwestern part of the lot. Courtesy of Mountain View Historical Association.



Google earth aerial view shows the 1943 addition at the building rear.

In 1983, the building was restored; the signature concrete moldings were cleaned and painted and the windows, which had been boarded up, were replaced. The building's owner had the date "1913" painted on the quatrefoils centered on the high parapet. Its upper floor, no longer used as an events hall, was converted into office space and a new entry to the upstairs was installed on the Castro Street side between the two storefront doors. Further renovations and maintenance were made starting around 2000 by the current owner, Chee-Yee Chong and Hanson America LLC.

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Today the building remains a recognizable landmark structure in downtown Mountain View, its original Mission Revival-style features and ornamentation intact.

Architect Frank Delos Wolfe

Frank Wolfe (1862-1926) was one of San José's most prolific and best-known architects. Son of a carpenter, Wolfe was born and raised in Ohio. In 1886, he married Nellie Crockett and the couple moved to Newton, Kansas where Wolfe learned the architectural trade and son Carl was born. In 1888, the entire Wolfe family moved to San José, where Wolfe established himself as a builder and then an architect, and his father and brother worked as contractors. In 1899, Wolfe partnered with young architect Charles McKenzie in a very successful business that lasted eleven years. He then worked alone until 1917, when he established a partnership with William Higgins. Carl Wolfe joined the business and became a partner in 1926 upon the senior Wolfe's death, helping to produce some of the firm's best-known works. The Wolfe architectural legacy lasted forty-three years, with Frank Wolfe and his son Carl responsible for more than 1,100 works, including eight that are today on the National Register of Historic Places and dozens that are San José City Landmarks.

Frank Wolfe, both alone and with partners Charles McKenzie and William Higgins, designed a number of important buildings in Mountain View, including the 1902 high school, the Farmers' and Merchants' Bank at 201 Castro Street, the 1906 post office, and the 1910 home for Crisanto Castro as well as homes for many of the city's most prominent citizens.

Owner History

The Jurian family owned the building until approximately 1982.

Max Woo: ca. 1983-1993

Ron Pritchard: 1994-1998

1999-present: Hanson America LLC

Survey Status

The Jurian Building is on the Mountain View Register of Historic Places.

The property was recorded in *Downtown Mountain View Precise Plan Areas A-J Historic Resources Survey* prepared by Carey & Co. Inc. Architecture April 5, 2003.

The California Office of Historic Preservations recommends that local surveys be updated after five years to "ensure that local planning and preservation decisions are based on the most current information available." This DPR form incorporates additional information concerning the Jurian Building that has been discovered since the 2003 survey.

Alterations

The building has been well-maintained with respect to its historical eastern and southern façades. The rear (western) façade has undergone many changes since original construction. Despite modifications to the building's exterior, it retains its form, materials, and characteristic features on the eastern and southern facades and retains its eligibility as a historical resource.

Exterior alterations since the building was completed in 1913 are as follows:

1917:

The March 2, 1917 issue of the *Mountain View Register-Leader* indicates that a storm knocked out a big plate glass window on the Villa Street side. The window was filled in with solid wall.

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Ca 1943:

- A single-story frame storage building with a wooden shingle roof on the rear property line was demolished.
- A frame structure with wooden shingle roof on the northwest corner of the Jurian Building was removed.
- A two-story open frame addition with composite roofing was originally on the rear of the building. A single-story concrete L-shaped addition, most of which is retained today, was built onto the rear by 1943. Over the years, new doors and windows have been installed in the walls of the addition.
- Fenestration has been greatly modified on the rear (western) façade. The Sanborn map on page 15 shows that this side of the Jurian Building originally contained four window openings on the first and second story. All windows on this side have been filled and/or modified on the upper story and are modified or obscured due to the lower-story extension. The upper story today contains two small fixed-pane openings and a narrow horizontal slider above a fixed pane, all of which are post-1921 modifications.

Ca. 1983:

- The original and only entrance to the upstairs events hall was on Villa Street. An entrance (now used as the primary entrance) was created on the Castro Street side between the two storefronts.
- The 1913 date was added to the quatrefoil frame on the parapets on the eastern and southern sides.
- Redwood board and batten enclosure for trash built into the northwest corner of the lot on the northern property line.
- Redwood board and batten enclosures for gas meters on western façade.
- Altered doors flanking narrow window on the western end of the Villa Street façade.

Ca. 2000-2003:

- Photographs show that the original upper-story windows were 1/1 sash wood-framed windows. At some time between 1937-1961, the upper-story windows were covered with metal grates. The windows and glass were replaced in 1983 and again in 2000. Today they consist of aluminum-framed slider windows with simulated divided lights.
- The storefront windows had originally reached nearly the full height of the first story. Today, the windows start approximately two feet above the sidewalk level and the wall below is covered with tile.
- Crenelated stucco fence with decorative metal railing and corner double gate surrounding the perimeter of the property.
- Original panels of prism glass above the storefront windows replaced with divided fixed panes of solid glass.

As well, a number of signs have been added to or removed from the building in the years since the building has housed various restaurants. The Agave Restaurant is currently leasing the first floor of the building; its installed signs are documented in permits granted in 2012 and 2014.

In addition to the exterior changes, the interior of the building has undergone major renovation by converting the second-story events hall to office space.

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Significance

The subject property retains its significance as a Mountain View historic resource, meeting the following criteria for the Mountain View Register of Historic Resources per SEC 36.54.65 in Division 15, Mountain View's Designation and Preservation of Historic Resources.

Criterion a: Is strongly identified with a person who, or an organization which, significantly contributed to the culture, history, or development of the City of Mountain View;

The building is associated with the Jurian family, who were influential in the agriculture and retail development of Mountain View in the early twentieth century. Andrew Jurian also was an important supporter and organizer of those of Yugoslavian descent.

Criterion b: Is the site of a significant historic event in the city's past:

The Jurian Building has a significant place in the history of the development of the city of Mountain View's downtown and its commercial development. The building stands at the intersection of Castro and Villa Streets on a lot once called the most valuable business block in Mountain View in an intersection in which its neighboring corner buildings are noted for their significance to Mountain View's business development—the Farmers' and Merchants Bank (1905), the Mockbee Building (1906), and the First National Bank (1913). The Jurian Building was the first major commercial building to be constructed after Mountain View went dry, replacing one of the city's newly banned saloons and being hailed as an example of how the local prohibition did not halt business development. For many decades, the events hall on the second floor of the Jurian Building was the main gathering place for the city and the site of important events for local organizations.

Criterion c: Embodies distinctive characteristics significant to the city in terms of a type, period, region or method of construction or representative of the work of a master or possession of high artistic value;

The building possesses architectural distinction as an example of Mission Revival style as applied to early twentieth-century commercial buildings, with Mission Revival features including a high central curvilinear parapet and square capped corners. It was built of reinforced concrete with distinctive unique ornamentation made of cast concrete.

The Jurian Building was designed by San José master architect Frank Delos Wolfe. Wolfe was responsible for important buildings in Mountain View and across Northern California, eight of which are today on the National Register of Historic Places.

California Register of Historical Resources Eligibility

Properties in the City of Mountain View are also evaluated for significance at the state level under the criteria of the California Register of Historical Resources. The significance criteria are similar to those used by the National Register of Historic Places, but oriented to document the unique history of California. The California Register is a guide used by state and local agencies, private groups and citizens to identify historical resources in the state, and is also used as a planning tool within the California Environmental Quality Act to help indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change within government regulatory programs. [Public Resources Code Section 5024.1]

Under CEQA, a, "historical resource" includes, but is not limited to, any object, building, structure, site, area, place, record or manuscript, which is historical or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, education, social, political, military, or cultural annals of California." [Public Resources Code Section 5020.1(j)] The types of historical resources eligible for listing in the California

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Register include buildings, sites, structures, objects, and historical districts. [California Code of Regulations Section 48542(a)]

The types of resources and the criteria for listing in the California Register are consistent with those developed by the National Park Service for listing historical resources in the National Register, but have been modified for state use in order to include a range of historical resources which better reflect the history of California. Under California Code of Regulation Section 4852(b) and Public Resources Code Section 5024.1, a historical resource generally must be greater than 50 years old and must be significant at the local, state, or national level under one or more of the following four criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
2. It is associated with the lives of persons important to local, California, or national history.
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or important creative individual, or possesses high artistic values.
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

California Code of Regulations Section 4852(c) addresses the issue of “integrity” which is necessary for eligibility for the California Register. Integrity is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance.” Section 4852(c) provides that historical resources eligible for listing in the California Register must meet one of the criteria for significance defined by 4852(b)(1 through 4), and retain enough of their historic character of appearance to be recognizable as historical resources and to convey the reasons for their significance. Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association. It must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance.

The subject property appears to be eligible for the California Register, by meeting the following criteria:

Criterion 1. The subject property is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States, in terms of its significant place in the history of the development of the city of Mountain View’s downtown and its commercial development.

Criterion 2. The subject property is associated with Andrew Jurian, who was important to Mountain View history.

Criterion 3. The subject property embodies the distinctive characteristics of a type, period, and region with its unique interpretation of Mission Revival architecture and reinforced concrete construction. The building is the work of Frank Delos Wolfe, a local master architect.

National Register Eligibility

The subject property has not been evaluated for National Register eligibility because it is not undergoing a Section 106 review. Section 106 of the National Historic Preservation Act of 1966 (NHPA) requires federal agencies to consider the effects on historic properties of projects they carry out, assist, fund, permit, license, or approve throughout the country. If a federal or federally assisted project has the potential to affect historic properties, a Section 106 review will take place.

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Mountain View (City of), Permits, <https://permits.mountainview.gov/h.aspx>.

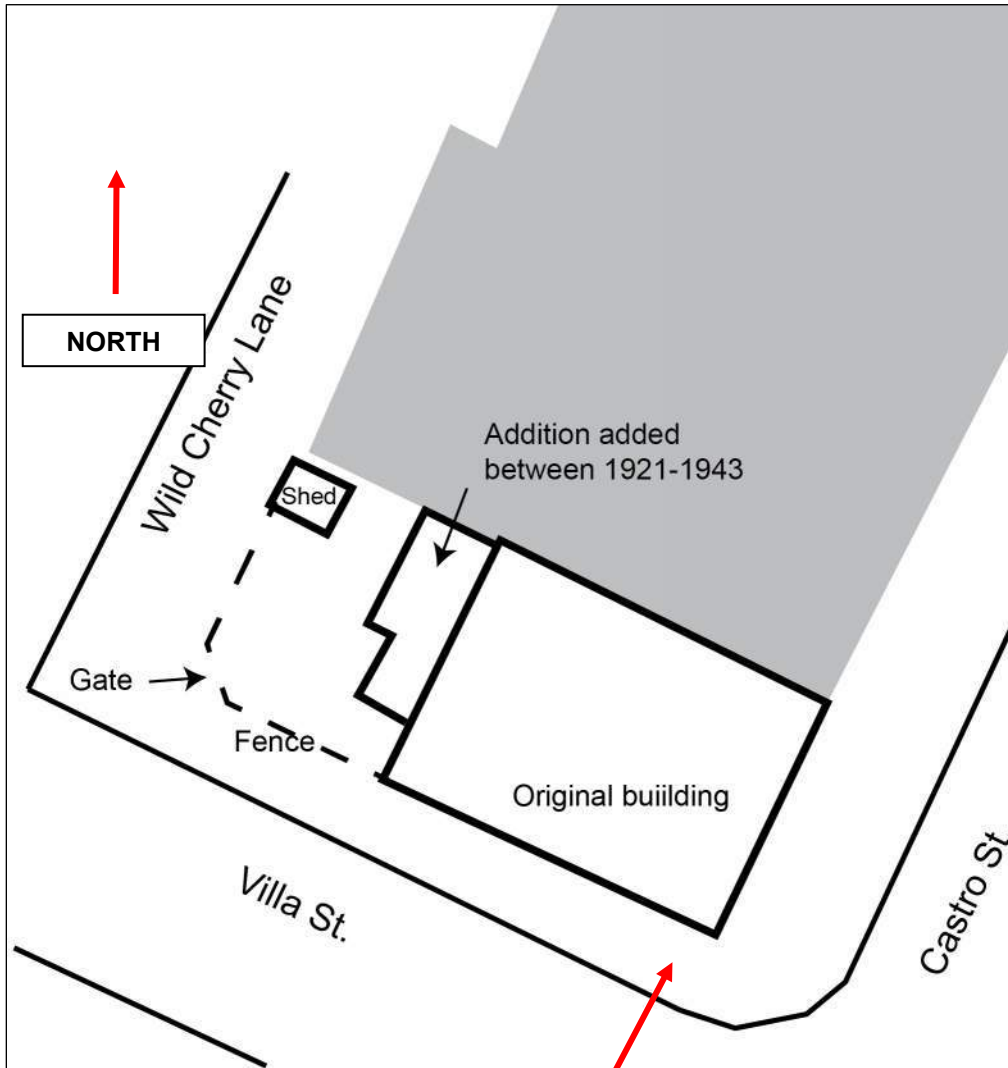
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194-198 Castro St.
APN #158-15-013

194-198 CASTRO STREET HISTORIC JURIAN BUILDING ADDITION & HISTORIC REHABILITATION

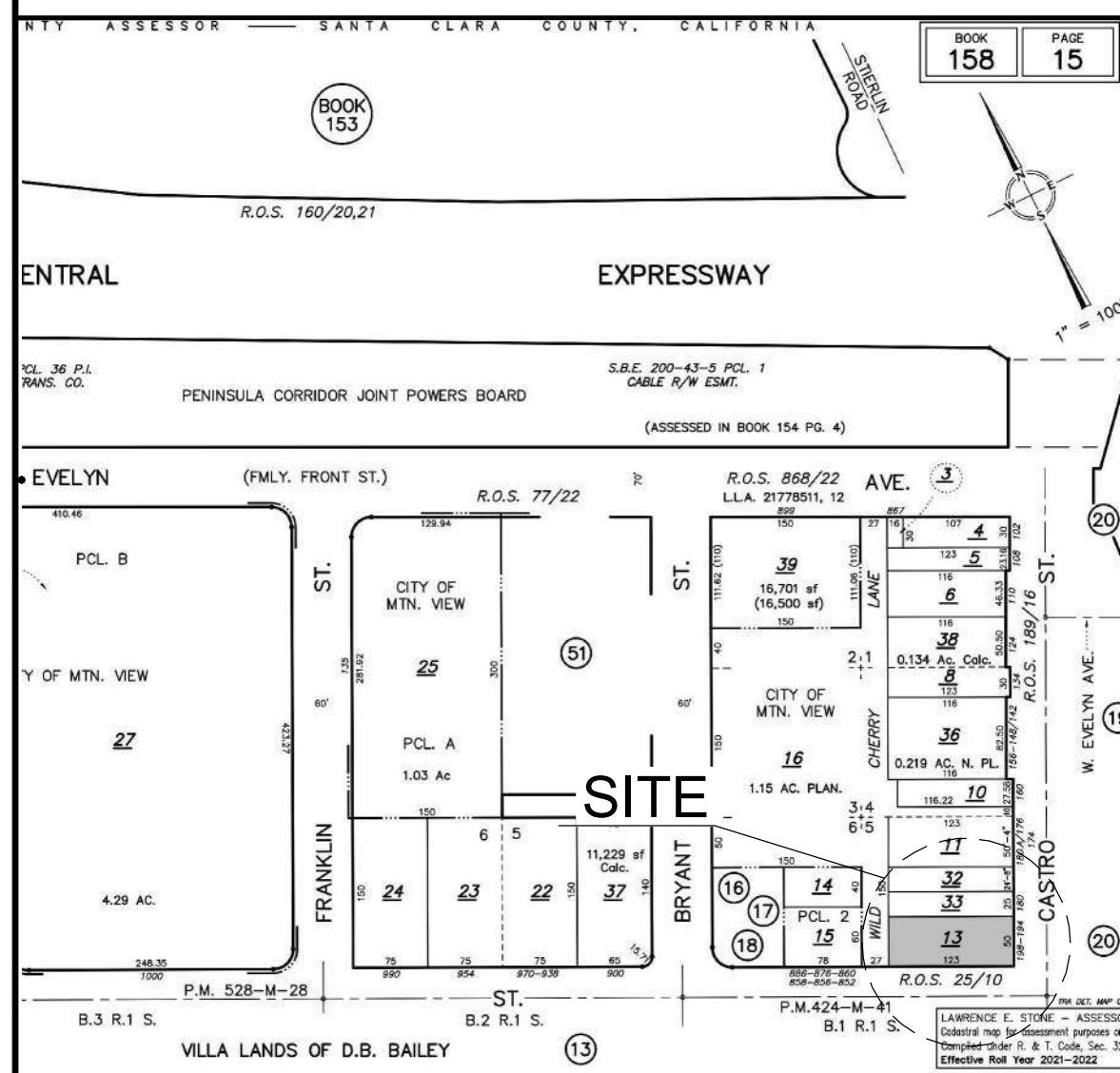


PROPOSED REAR ADDITION- HISTORIC JURIAN BLDG.

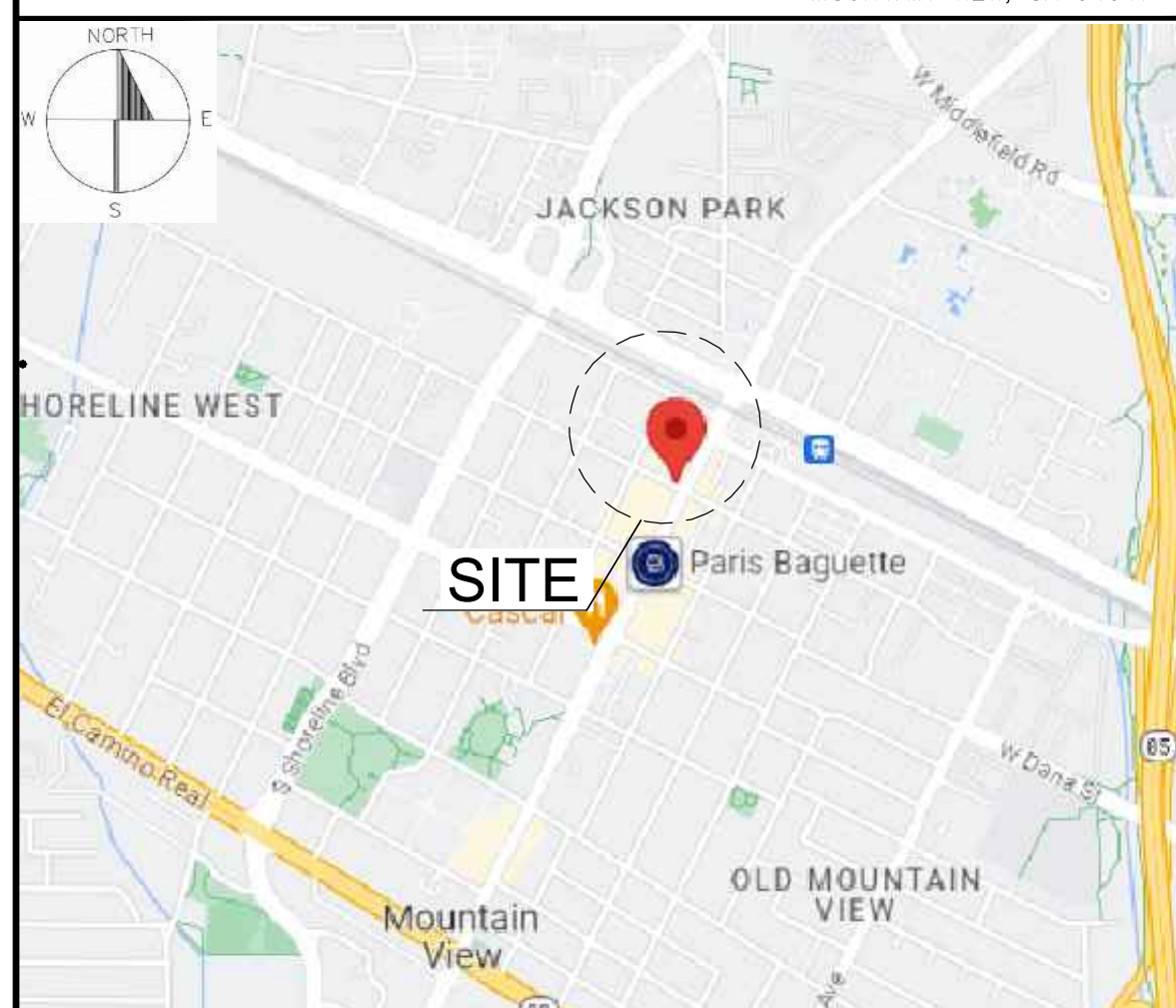


PROPOSED REAR ADDITION- HISTORIC JURIAN BLDG.
VIEW OF FRONT ELEV. FROM CASTRO AND VILLA STREETS

ASSESSOR'S MAP



VICINITY MAP



SITE TENANT INFORMATION

BUSINESS TYPE, STORY: RETAIL, 1ST FLR.
TYPICAL BUSINESS HRS.: MON-SUN, 10AM-10PM
BUSINESS OFFICE, 2ND/3RD FLRS: MON-FRI 8AM-6PM

GENERAL PROJECT DESCRIPTION

- THIS PROPOSED BUILDING IS A 3-STORY COMMERCIAL RETAIL/OFFICE WITH A THIRD FLOOR OFFICE WITH ROOF DECK. THE ROOF DECK WILL ONLY BE OCCUPIED DURING NORMAL BUSINESS HOURS (8AM-6PM) AND WILL NOT INCLUDE ANY AMPLIFIED NOISE OR MUSIC.
- FOR BUILDING CODE PURPOSES THE EXISTING AND NEW BUILDING IS CONSIDERED A 3-STORY BUILDING-CONSTRUCTION TYPE II-B.

GENERAL PROJECT DATA

ALLOWABLE # OF STORIES:	4 STORIES	TABLE 504.4
STORIES PROPOSED:	3 STORIES	SEC 503.1.4
ALLOWABLE HEIGHT:	55' HT.	TABLE 504.3
TOTAL BUILDING HEIGHT:	31'-2" HT.	
SPRINKLER SYSTEM:	YES	SEC. 503 & 504.2
ALLOWABLE AREA:	FOR A-2 (5M) 28,500 S.F. FOR B (5M) 69,000 S.F.	TABLE 506.2
TOTAL BUILDING ALLOWABLE AREA =	3 x 28,500 S.F. = 85,500 S.F.	
TOTAL BUILDING AREA =	5,675 + 5,675 + 2,195 = 13,545 S.F. PER CBC 503.1	
FEMA FLOOD ZONE, ZONE X (AREA W/ REDUCED RISK DUE TO LEVEE)		REFER TO SHT. A05.0 FOR ADDITIONAL PROJECT DATA

PROJECT TEAM

OWNER CHEE-YEE CHONG dba HANSON AMERICA, LLC PO BOX 4631 MTN. VIEW, CA 94040 PH: 650.249.5915 EM: cychong@pacbell.net	HISTORIC/PRIME ARCHITECT STRATA DESIGN STUDIO P.O. BOX 1127 SAN JOSE, CA 95108 JOHN TABUENA-FROLLI, AIA HISTORIC ARCHITECT 408.705.3148 jtrolli@gmail.com
ASSOC. ARCHITECT LPM ARCHITECTS 1285 KIFER RD, STE 206 SUNNYVALE, CA 94086 ANTHONY HO PH: 408.259.2845 EM: anthony@lpm-architects.com	CIVIL ENGINEERING LE ENGINEERING 548 E. SANTA CLARA ST., #270 SAN JOSE, CA 95112 H.W. CHUI OFC: 408.806.1181 EM: info@leengineering.net
LANDSCAPE ARCHITECT KAREN AITKEN & ASSOC. 8262 RANCHO REAL GILROY, CA 95020 PAM JONES PH: 408.476.2060 EM: pam@kaa.design	ARCHITECTURAL HISTORIAN ARCHIVES & ARCHITECTURE, LLC P.O. BOX 1332 SAN JOSE CA 95109 KRISTA VAN LAAN PH: 408.476.2060 EM: kvl@kvanlaan.com
LIGHTING CONSULTANT MR ENGINEERING CONSULTANTS 34210 STATE ST., STE. 106 FREMONT, CA 94538 ROMMEL ATILLO, ELECT. ENG. PH: 510.509.2362 x107 EM: rommel@mrengcon.com	ARBORIST ALPINE LANDSCAPES 8787 MONTEREY HWY GILROY, CA 95020 SCOTT MONCRIEFF PH: 408.846.9511 EM: smoncrieff@youralpine.com
	TRANSPORTATION CONSULTANT HEXAGON TRANSP. CONSULT., INC. 100 CENTURY COURT, SUITE 501 SAN JOSE, CA 95112 PH: 408.911.6100 WEBSITE: www.hextrans.com

PROJECT NARRATIVE

THE HISTORIC 1913 JURIAN BUILDING, AT 194-198 CASTRO STREET, IS LISTED AS A MOUNTAIN VIEW HISTORIC RESOURCE, AND IS LOCATED WITHIN THE HISTORIC DOWNTOWN DISTRICT (AREA H) OF THE CITY OF MOUNTAIN VIEW DOWNTOWN PRECISE PLAN. THE EXISTING 2-STORY COMMERCIAL BUILDING RETAINS MUCH OF ITS ORIGINAL CHARACTER-DEFINING FEATURES AND DISTINCT IDENTITY AS A MISSION REVIVAL-STYLE BUILDING, DESIGNED BY WELL-KNOWN LOCAL ARCHITECT FRANK DELOS WOLFE. THE BUILDING'S PRIMARY FACADES THAT FACE CASTRO AND VILLA STREETS, ON THE EAST AND SOUTH, RETAIN THEIR ORIGINAL PENETRATION OPENINGS, DECORATIVE TRIM, MOLDING, PARAPET COPING. THE EXISTING BUILDING HAS PEBBLE-DASHED STUCCO TEXTURE APPLIED TO THE EXTERIOR WALLS.

THE LOWER FLOOR OF THE BUILDING HAS SERVED PRIMARILY AS RETAIL AND SERVICE SPACES, WITH THE SECOND FLOOR MODIFIED FROM ITS ORIGINAL USE AS A MEETING HALL AND DANCE FLOOR INTO CURRENT OFFICE SPACES. THE BUILDING'S EXTERIOR HAS ALSO BEEN MODIFIED OVER THE YEARS. A SOUTH FACING STOREFRONT OPENING WAS REMOVED AND WALLED-IN AFTER THE WINDOW WAS DAMAGED IN A 1917 STORM. A ONE-STORY ADDITION WITH MODIFICATIONS TO THE REAR WEST FACING FACADE WERE CONSTRUCTED IN 1943. MORE CURRENTLY A CONCRETE BLOCK TRASH ENCLOSURE AND PATIO WALLS SURROUNDING THE OUTDOOR DINING PATIO WERE BUILT TO THE REAR OF THE BUILDING FOR RESTAURANT USE.

THE PROPOSED PROJECT INCLUDES COMMERCIAL TENANT IMPROVEMENTS & A REAR ADDITION, REMOVING THE EXISTING OUTDOOR DINING PATIO. THE PROPOSED NEW STEEL-FRAMED 3-STORY ADDITION IS DESIGNED TO BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE ORIGINAL 1913 JURIAN BUILDING AND TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION OF HISTORIC RESOURCES. THIS WILL BE ACHIEVED IN PART BY KEEPING SIMILAR PROPORTIONS IN MASSING AND OPENINGS, AS WELL AS FEATURING ARCHITECTURAL COMPONENTS THAT ECHO THOSE OF THE HISTORIC BUILDING.

CHARACTERISTICS OF THE NEW BUILDING ARE DESIGNED TO BALANCE ITS COMPATIBILITY YET PROVIDE DIFFERENTIATION TO THE HISTORIC JURIAN BUILDING, INCLUDING A VISUAL SEPARATION BETWEEN NEW AND OLD BY A WIDE VERTICAL PILASTER AT THE ADJOINING WALLS. THE PILASTER AND NEW WALL IS SLIGHTLY INSET FROM THE SURFACE OF ORIGINAL WALL TO HELP DELINEATE THE START OF THE NEW ADDITION. STOREFRONT WINDOWS, ALCOVES, AND UPPER STORY WINDOWS ARE PROPORTIONALLY SIZED TO COMPLEMENT THOSE OF THE HISTORIC JURIAN BUILDING WITHOUT MIMICKING THEM DIRECTLY OR OVERSHADOWING THEM BY THEIR OVERALL VISUAL IMPACT. WHILE DEPARTING FROM THE ORIGINAL WOOD WINDOW MATERIALS, COMPATIBILITY WILL BE ACHIEVED THROUGH PENETRATION MASSING AND RHYTHM, WHILE MAINTAINING A DESIGN THAT WILL BE SUBORDINATE TO THE HISTORIC BUILDING, AS THE STANDARDS GUIDELINES RECOMMEND.

WALLS OF THE NEW ADDITION WILL BE CLAD WITH A SMOOTH STUCCO FINISH OVER ITS PRIMARY WALLS, WITH SOME PEBBLE-DASH FINISH SIMILAR TO THE HISTORIC BUILDING; THIS ROUGH SURFACE WILL BE ISOLATED TO THE AREA BETWEEN TWO HORIZONTAL BANDS AT THE SECOND STORY WINDOWS. THE THIRD STORY EXTERIOR WALLS WILL BE CLAD IN BEADED T&G HORIZONTAL CLADDING TO RESEMBLE THE APPEARANCE OF THE ORIGINAL BOARD-FORMED CONCRETE SURFACE AT THE EXISTING PARAPET WALLS. THE WEST FACING PARAPET COPING AND MEDALLION TRIM WILL BE RETAINED AT THE ROOF DECK LEVEL AND TEXTURE OF THIS BOARD FORMED WALL WILL BE LEFT EXPOSED ON THE INTERIOR OF THE THIRD FLOOR SPACE TO PAY HOMAGE TO THE ORIGINAL STRUCTURE. AT STREET-LEVEL, THE WALLS BELOW THE STOREFRONT WINDOWS AND ENTRY ALCOVE WILL BE CLAD WITH SQUARE TILE SIMILAR TO THE EXISTING STOREFRONT FACING CASTRO STREET. THE HISTORIC JURIAN BUILDING WILL RECEIVE REPAIRS AS REQUIRED WITH IN-KIND REPLICA MATERIALS TO PRESERVE AND ENHANCE ITS ORIGINAL CHARACTER-DEFINING FEATURES. MORE EXTENSIVE PRESERVATION TREATMENTS ARE BEING PROPOSED TO TAKE PLACE IN PHASE 2 OF THE PROJECT UNDER A SEPARATE PERMIT.

THE GOAL OF THIS PROJECT IS TO MEET OR EXCEED THE CITY OF MOUNTAIN VIEW DOWNTOWN PRECISE PLAN'S DESIGN GUIDELINES, HISTORIC PERMITTING CONDITIONS OF APPROVAL, AND PRESERVING THE EXISTING STRUCTURE IN DOING SO IT IS OUR HOPE THAT THE JURIAN BUILDING AND NEW ADDITION WILL REMAIN A LASTING LEGACY BUILDING AND ASSET TO THE HISTORIC DOWNTOWN DISTRICT.

SHEET INDEX

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A0.3	SHADOW STUDY
A0.4	SITE CIRCULATION & CONSTR. LOGISTICS PLAN
A0.4.1	EGRESS, ACCESSIBLE ROUTES, & ADA INFO.
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C4	GRADING & DRAINAGE PLAN
C5	STREET IMPROVEMENT PLAN
C6	EROSION CONTROL PLAN
C7	EROSION CONTROL DETAILS
C8	BLUEPRINT FOR A CLEAN BAY

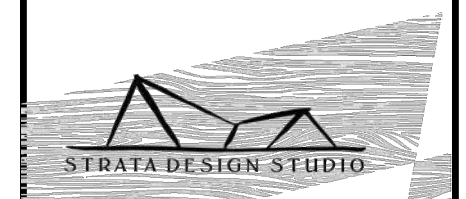
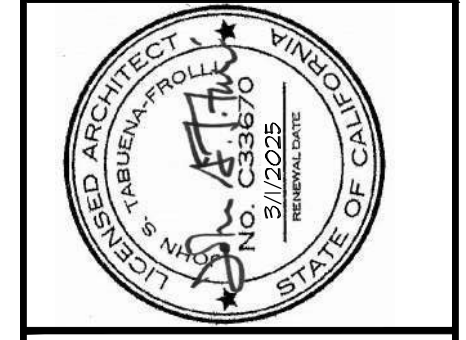
PROJECT INFORMATION

ADDRESS: 194-198 CASTRO STREET, MTN. VIEW, CA 94041	
A.P.N.: 158-15-013	
MTN. VIEW DOWNTOWN PRECISE PLAN DESIGNATION: HISTORIC RETAIL DISTRICT, AREA H	
ZONING: P(19) DOWNTOWN HIST./PRECISE PLAN (ORD. SEC 36.22)	
BUILDING TYPE: II-B (W/SPRINK. & ALARM)	
OCCUPANCY: A-2, B	
LOT SIZE: 6,150 SQ. FT.	
BUILDING AREA SUMMARY (Ref. to Sht. A05.0 AREA DATA):	
TOTAL FIRST FLR COVERAGE (W/ (N) ADDTN):	5,675 SQ. FT.
BUILDING COVERAGE (ALLOWABLE = 100%):	92.5%
EXISTING FIRST FLOOR (RESTAURANT)	4,124 SQ. FT.
EXISTING SECOND FLOOR (OFFICE)	3,504 SQ. FT.
PROPOSED DEMO FIRST FLR (Rear Bldgs):	-620 SQ. FT.
NET EXISTING BLDG. AREA TO REMAIN:	7,008 SQ. FT.
NEW FIRST FLR ADDTN (RETAIL)	2,128 SQ. FT.
NEW SECOND FLR ADDTN: (OFFICE)	2,234 SQ. FT.
NEW THIRD FLR. (OPEN OFFICE SPACE):	1,371 SQ. FT.
NEW THIRD FLR. OUTDR. ROOF DECK	889 SQ. FT.
TOTAL NEW AREA:	6,535 SQ. FT.
EXISTING BLDG. AREA (TO REMAIN):	7,008 SQ. FT.
NEW ADDTN AREA:	6,535 SQ. FT.
TOTAL PROPOSED NEW BLDG AREA:	13,543 SQ. FT.
FAR: 7,109 / 6,150 (From Sht. A05.0):	1.15 FAR
MAX FAR:	2.75 FAR
RESTAURANT/RETAIL, 1ST FLR. (A-2, M)	5,632 SQ. FT.
BUSINESS OFFICE 2ND & 3RD FLRS (B)	7,109 SQ. FT.
ROOF DECK- 3RD FLR	889 SQ. FT.

CITY OF MOUNTAIN VIEW APPROVAL STAMP AREA

PLANNING #: _____
BLDG. P.C.#: _____

HISTORIC JURIAN BLDG
ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMITL
03/20/23 FORMAL PLANG SUBMITL
06/20/23 FORMAL PLANG RESUBMITL
09/01/23 FORMAL PC REVS
10/16/23 FORMAL PC REVS 2
11/20/23 DRC SUBMITL
01/16/24 DRC RESP- ELEVS: OPTS A & B
05/03/24 PLANG RESUBMITL SUBMITL
07/17/24 PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION
JOHN S. TABUENA-FROLLI, AIA
P.O. BOX 1127
SAN JOSE, CA 95108
408.705.3148 - jfrolli@gmail.com

OWNER:
CHEE-YEE CHONG,
DBA HANSON AMERICA LLC
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MOUNTAIN VIEW, CA 94041
ph: 408.859.2845
em: cychong@pacbell.net

HISTORIC JURIAN BLDG. ADDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

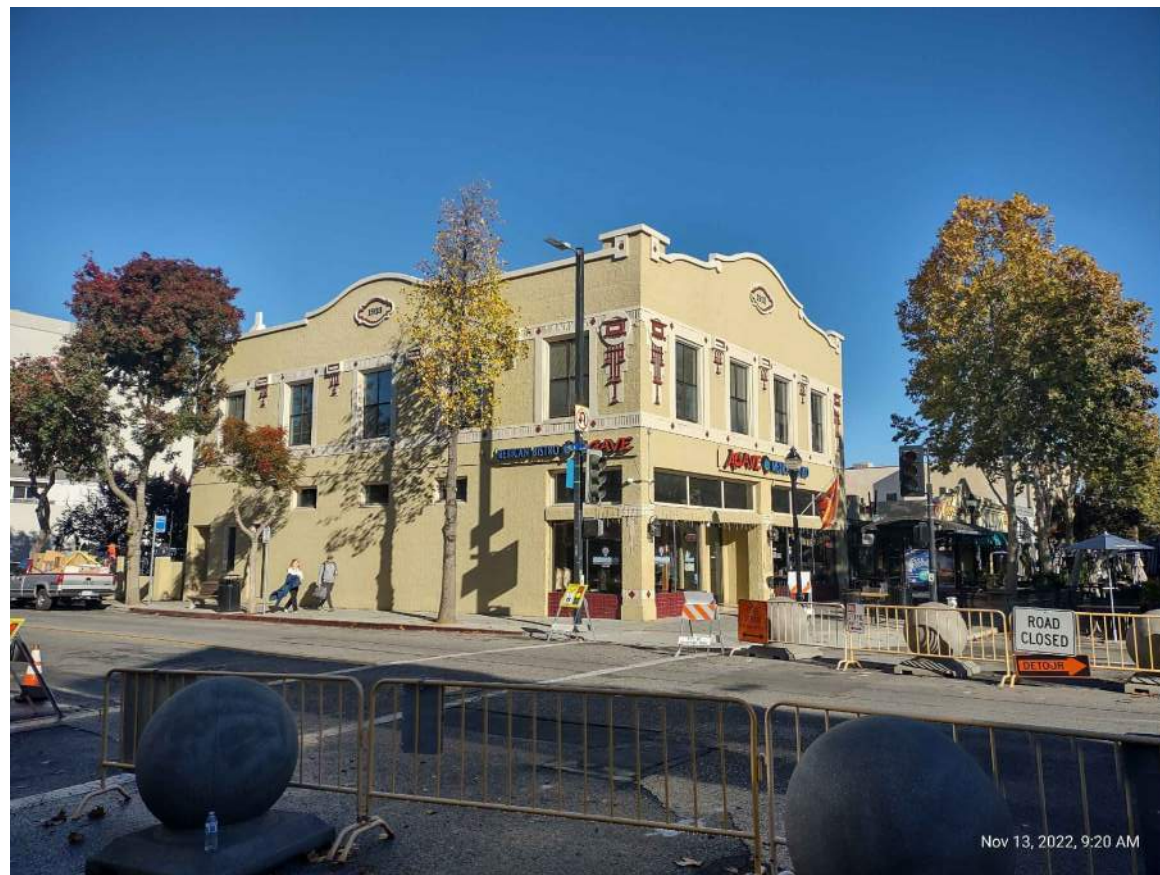
DRAWN
SAE/GTF/JTF
DATE
07/17/24
SCALE
AS NOTED
PROJECT NO.
21.26

TITLE SHEET
SHEET NO.
A0.0

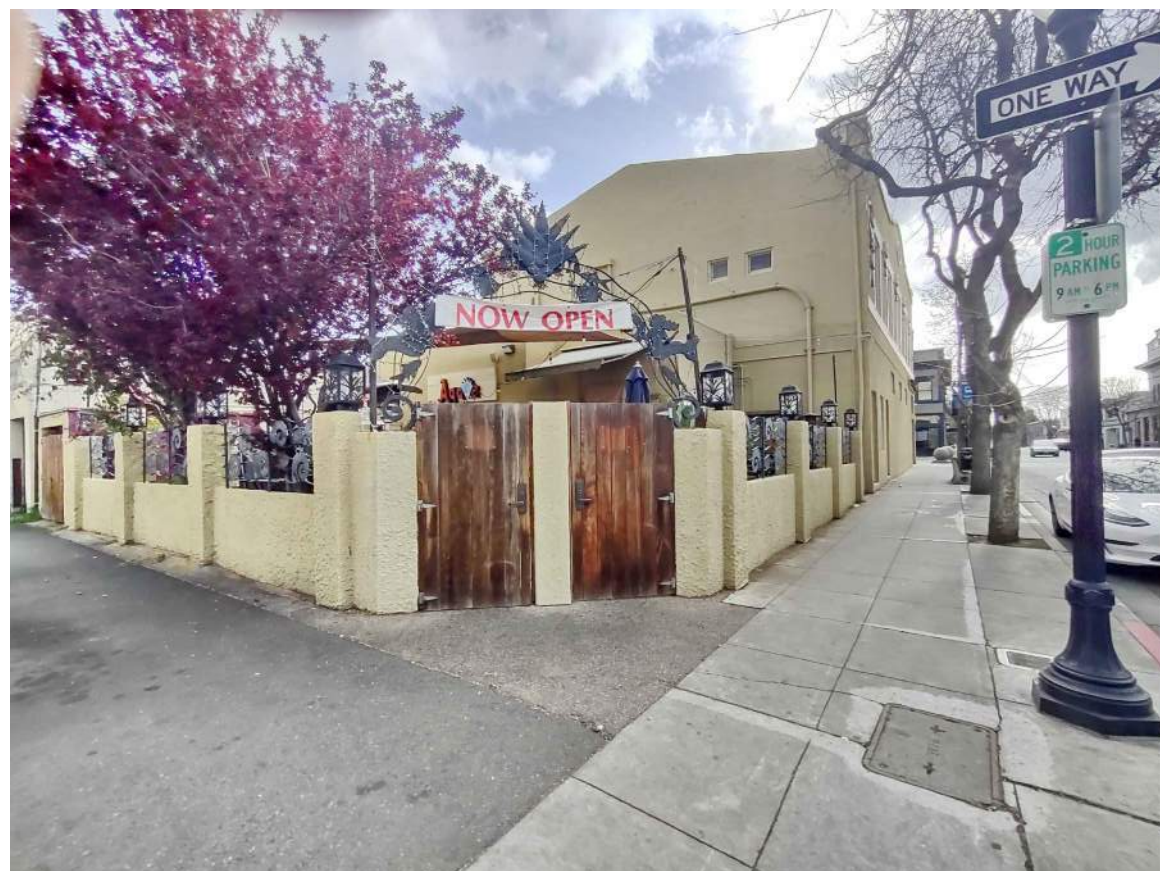
PHOTOS- EXISTING CONDITIONS



1 PHOTO FROM CASTRO ST., LOOKING WEST



2 PHOTO FROM CASTRO ST., LOOKING NORTHWEST



3 PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST



4 PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST



A HISTORIC JURIAN BUILDING STREET LEVEL VIEW FROM CASTRO STREET (NEW ADDITION BEYOND)



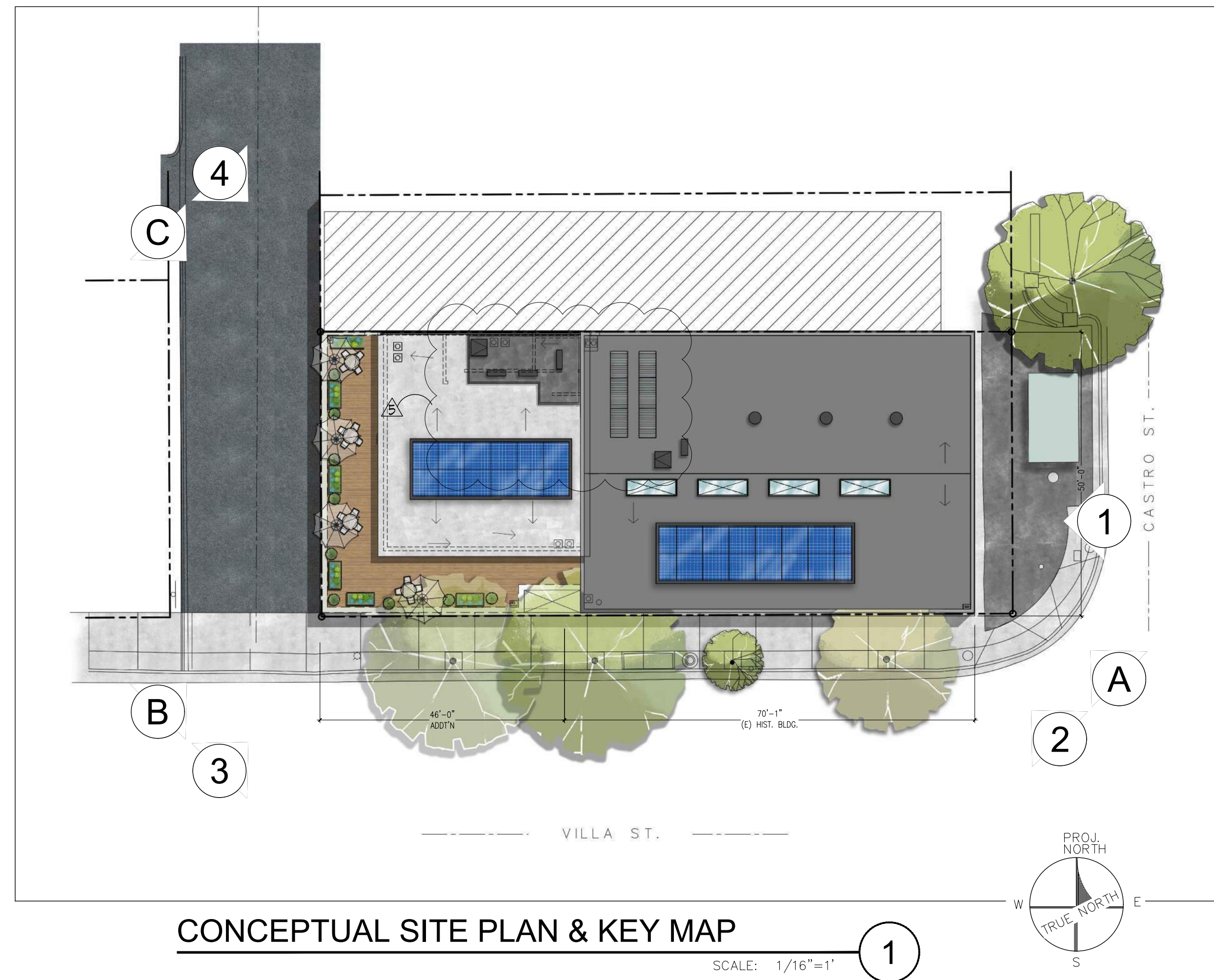
B THREE-QUARTER VIEW FROM CORNER OF CASTRO & VILLA STREETS



B VIEW FROM VILLA STREET LOOKING NORTHEAST



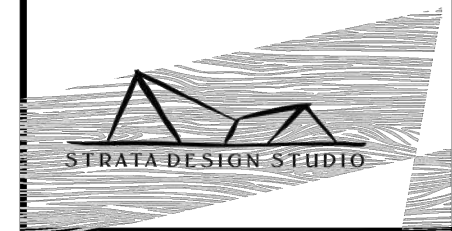
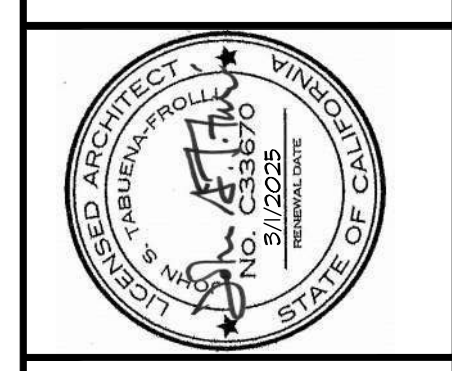
C VIEW OF REAR ELEV.: FROM ABOVE, AT WILD CHERRY LN. LOOKING SOUTHEAST



PROPOSED ELEVATIONS- RENDERINGS

HISTORIC JURIAN BLDG

ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMITL
03/20/23 FORMAL PLANG SUBMITL
06/20/23 FORMAL PLANG RESUBMITL
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05/03/24 PLANG RESUBMITL SUBMITL
07/17/24 PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

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HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF

DATE
07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

PROPOSED 3-D
RENDERINGS &
EXISTING COND.
PHOTOS

SHEET NO.

A0.1

STREETSCAPE ELEVATIONS



① FRONT (EAST) STREETSCAPE ELEVATION



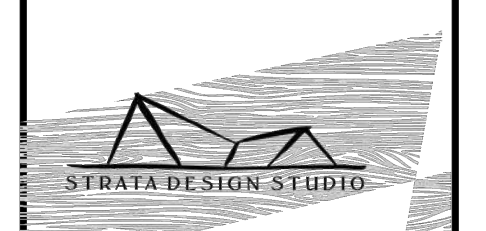
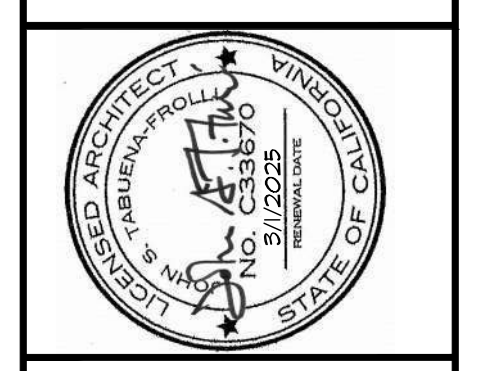
② SIDE (SOUTH) STREETSCAPE ELEVATION



③ REAR (WEST) STREETSCAPE ELEVATION

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG	
ISSUE DATE	
11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANG SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
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07/17/24	PLANG - MECH. WELL REVS.



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PROJECT NO.
21.26

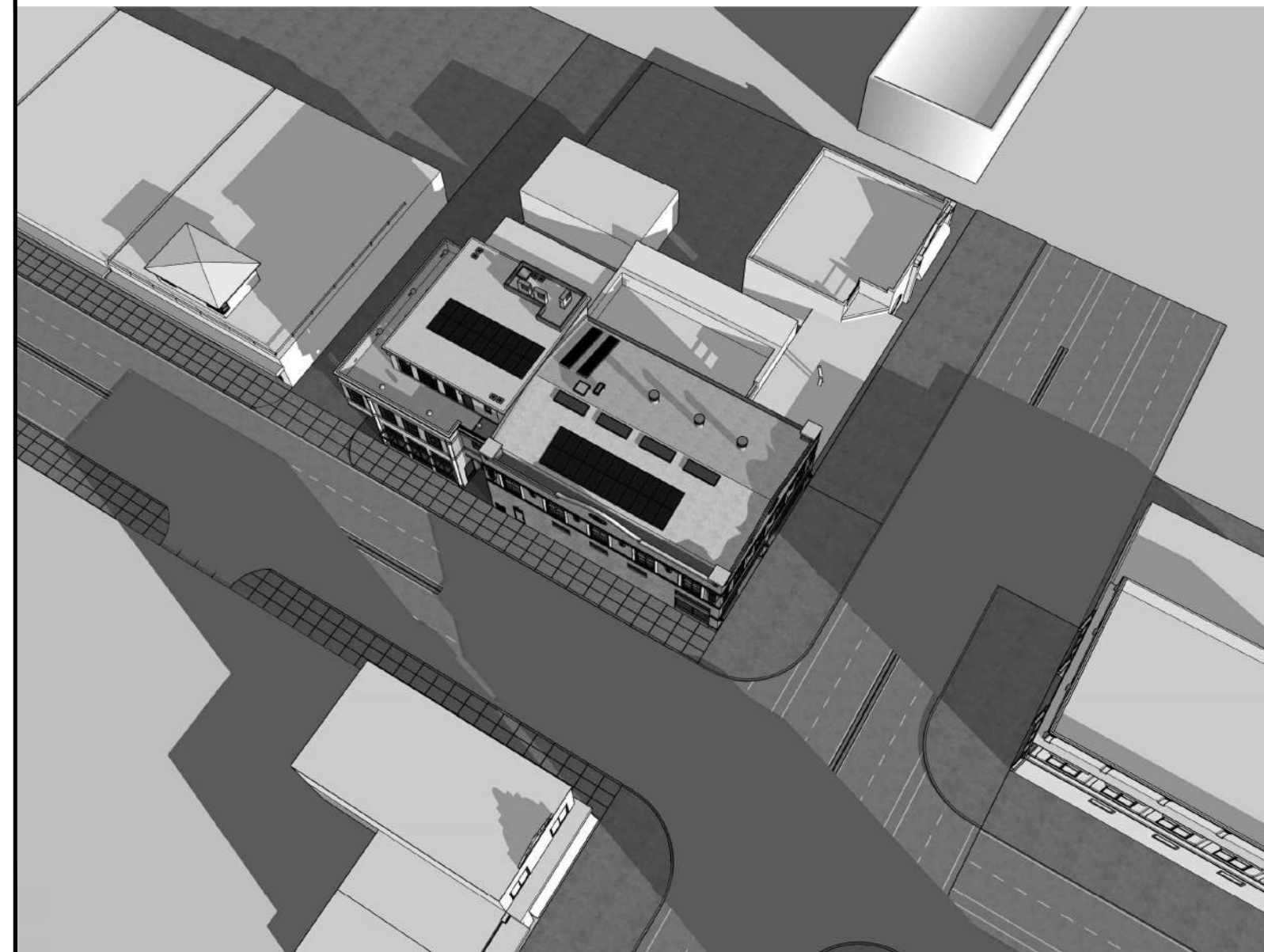
STREETSCAPE
ELEVATIONS

SHEET NO.
A0.2

WINTER SOLSTICE

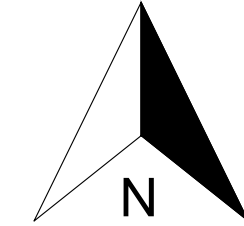
SITE SHADOW STUDY

SUMMER SOLSTICE

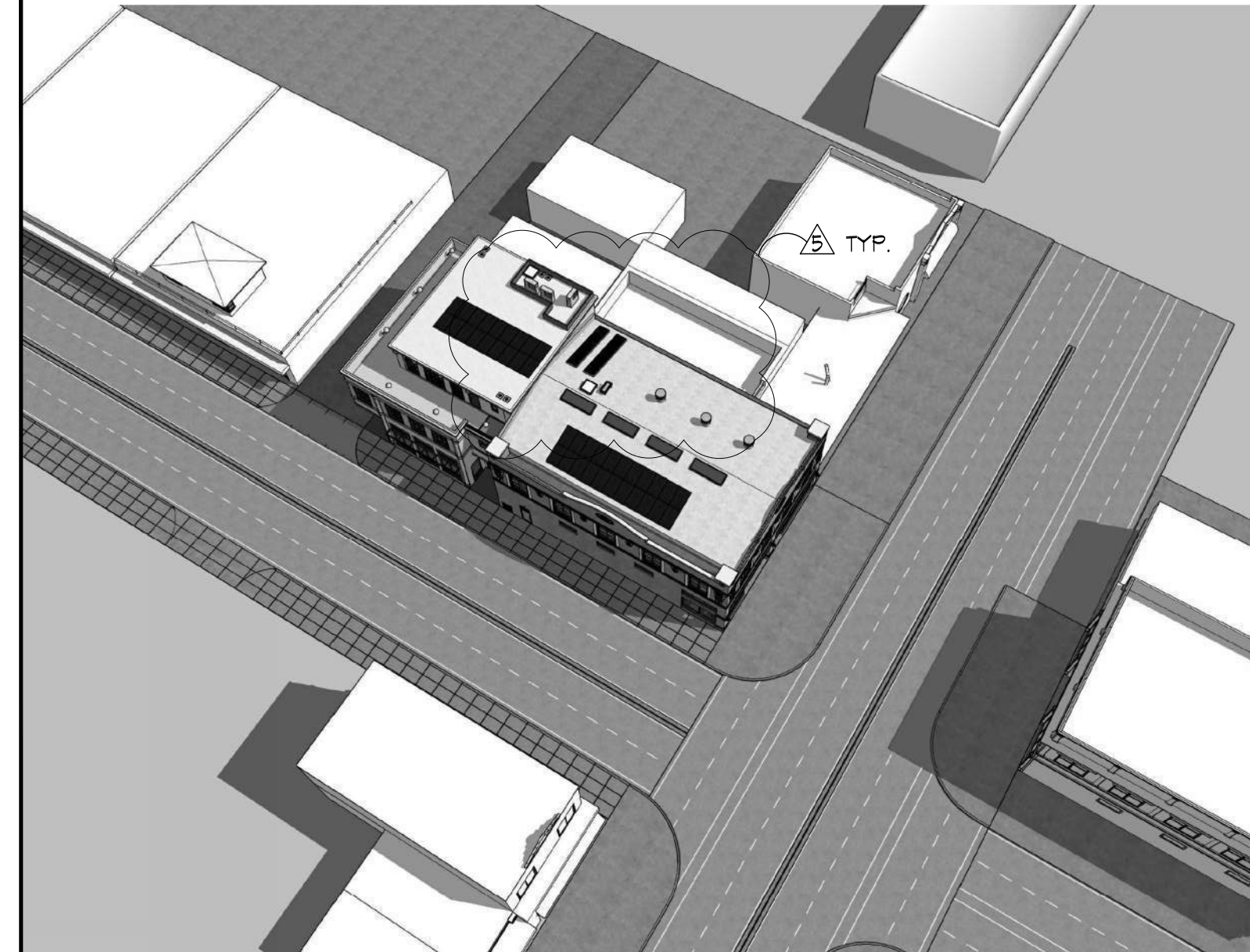


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Winter Solstice
December 21, 2023
9:00 AM

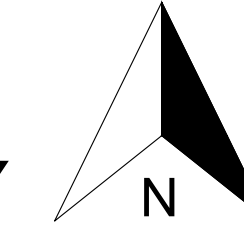


SHADOW STUDY

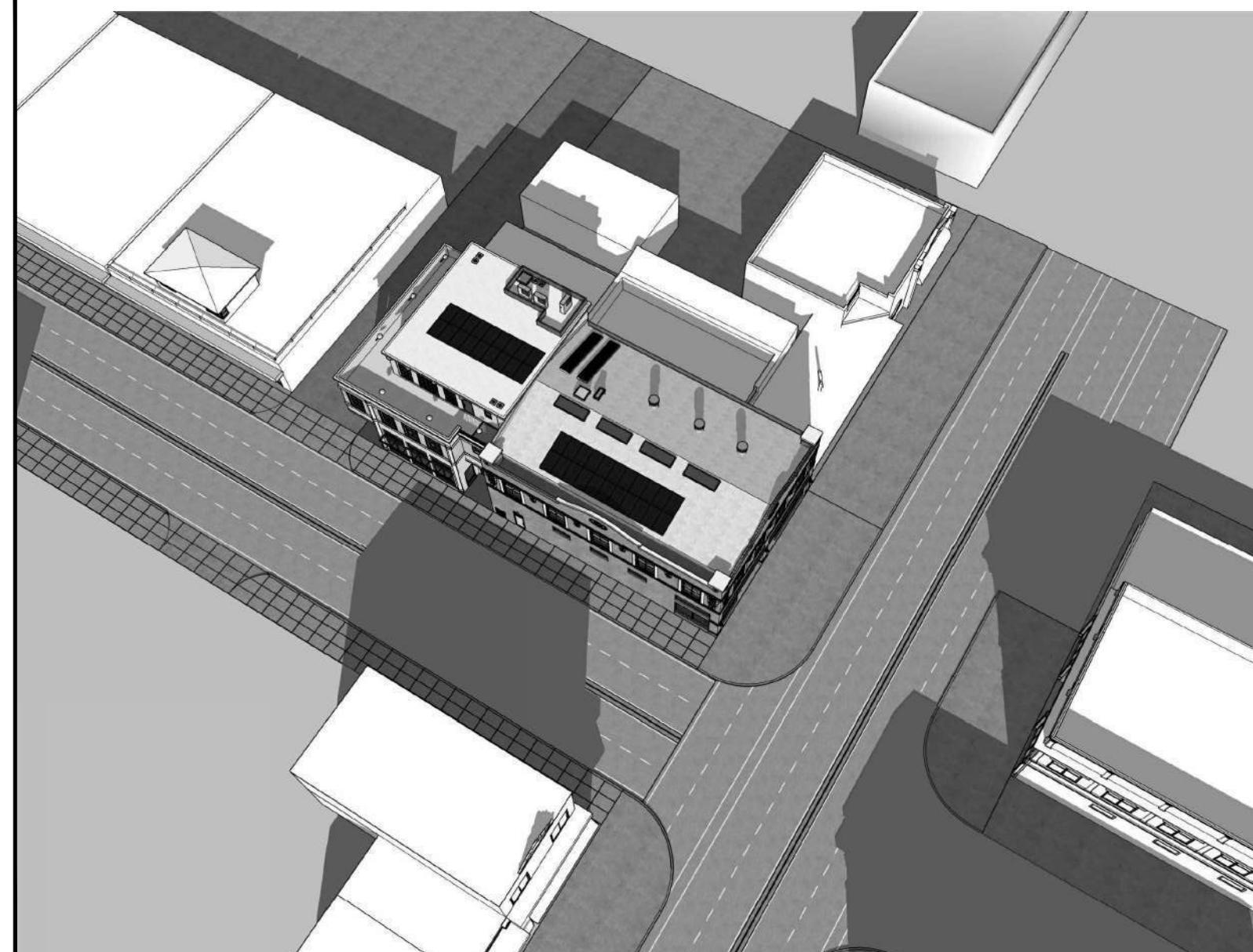


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Summer Solstice
June 21, 2023
9:00 AM

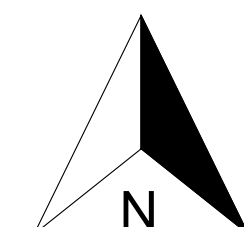


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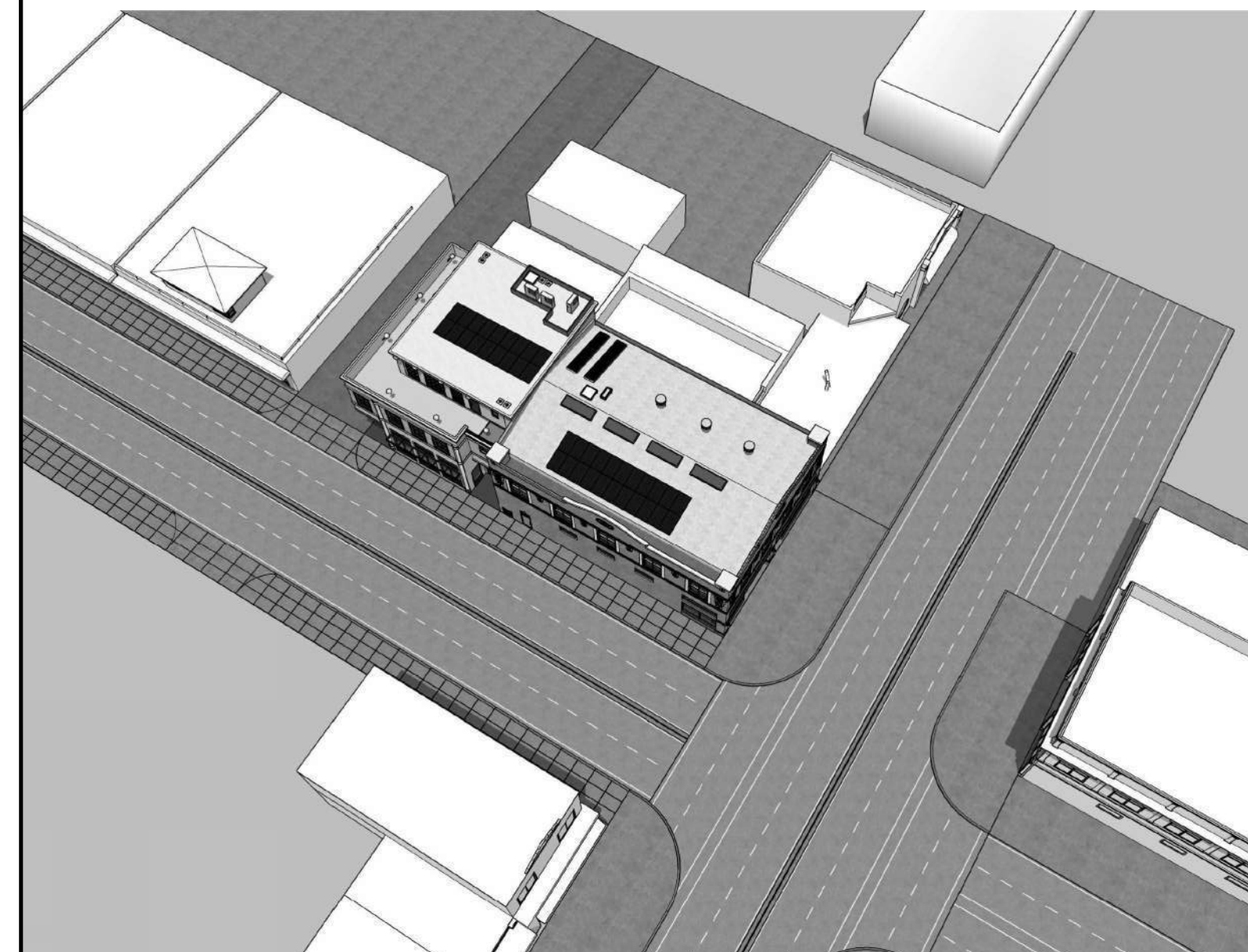


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Winter Solstice
December 21, 2023
9:00 AM



SHADOW STUDY

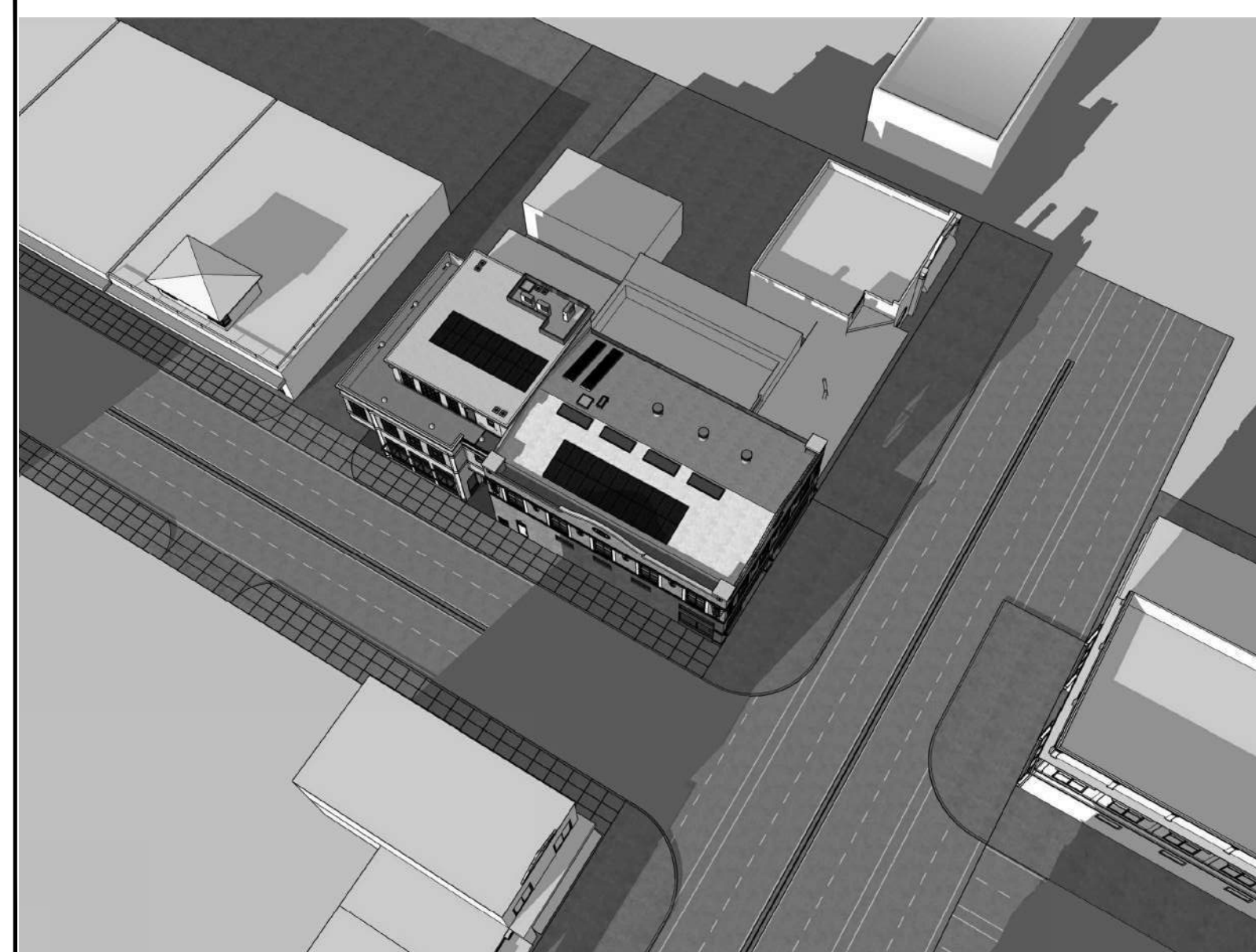


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Summer Solstice
June 21, 2023
12:00 PM

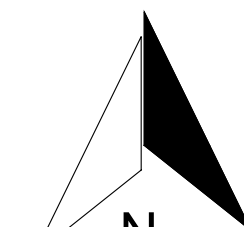


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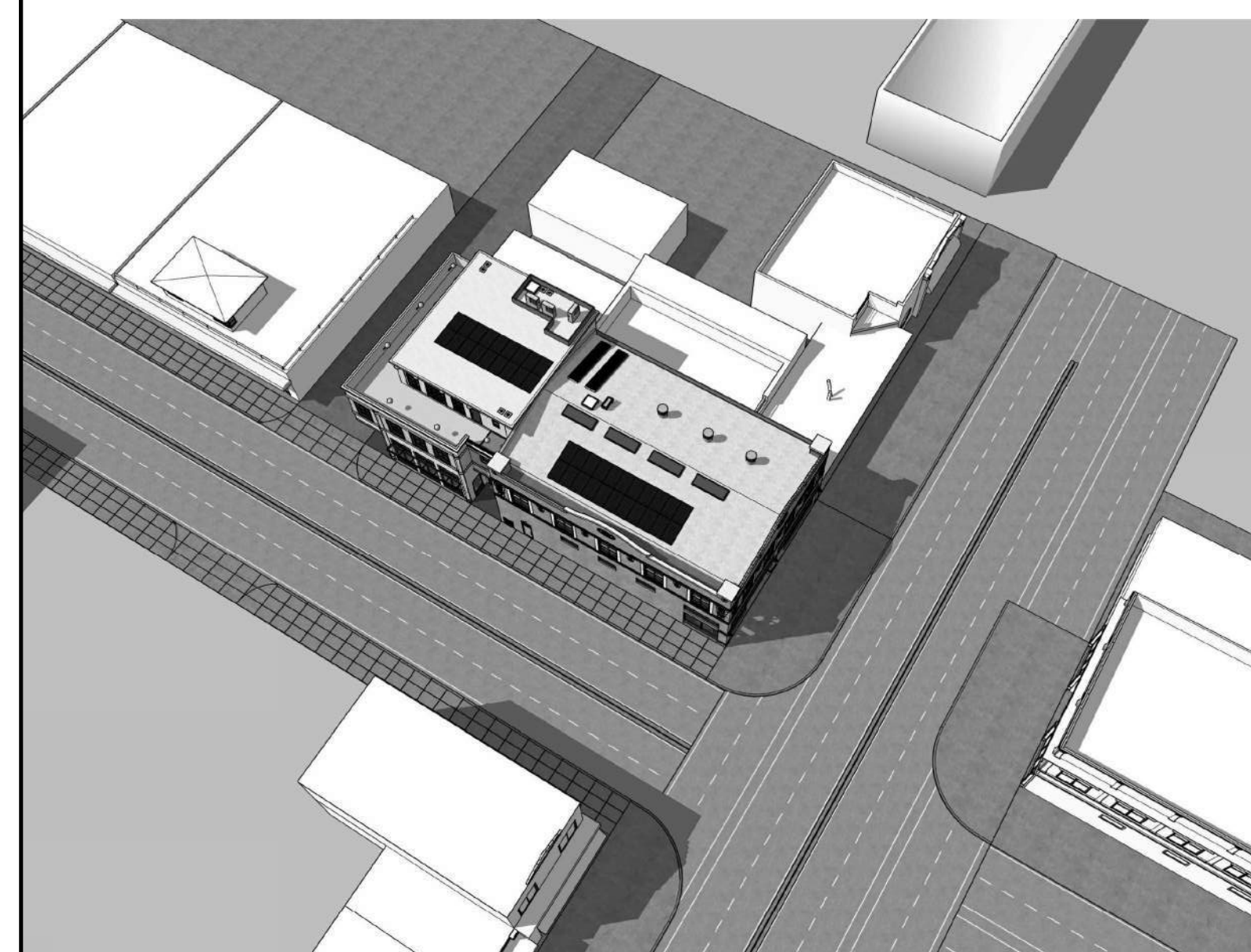


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Winter Solstice
December 21, 2023
9:00 AM



SHADOW STUDY



194-198 CASTRO ST.
MTN. VIEW, CA 94041

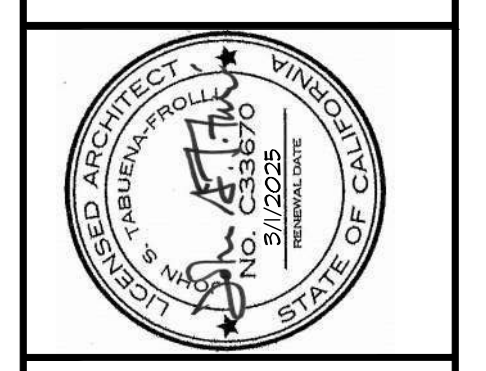
Summer Solstice
June 21, 2023
3:00 PM



SHADOW STUDY

APPROVAL STAMP AREA

- HISTORIC JURIAN BLDG ISSUE DATE
- 11/21/22 PRELIM. PLANNING SUBMITL
- 03/20/23 FORMAL PLANG SUBMITL
- 06/20/23 FORMAL PLANG RESUBMITL
- 09/01/23 FORMAL PC REVS
- 10/16/23 FORMAL PC REVS 2
- 11/20/23 DRC SUBMITL
- 01/16/24 DRC RESP- ELEVS: OPTS A & B
- 05/03/24 PLANG RESUBMITL SUBMITL
- 07/17/24 PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

JOHN S. TARGUENA-FROLLI, AIA
P.O. BOX 1127
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408.705.3148 - jfrolli@gmail.com

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CHEE-YEE CHONG,
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MOUNTAIN VIEW, CA, 94041
ph: 408.859.2845
em: cychong@pacbell.net

HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF

DATE
07/17/24

SCALE
AS NOTED

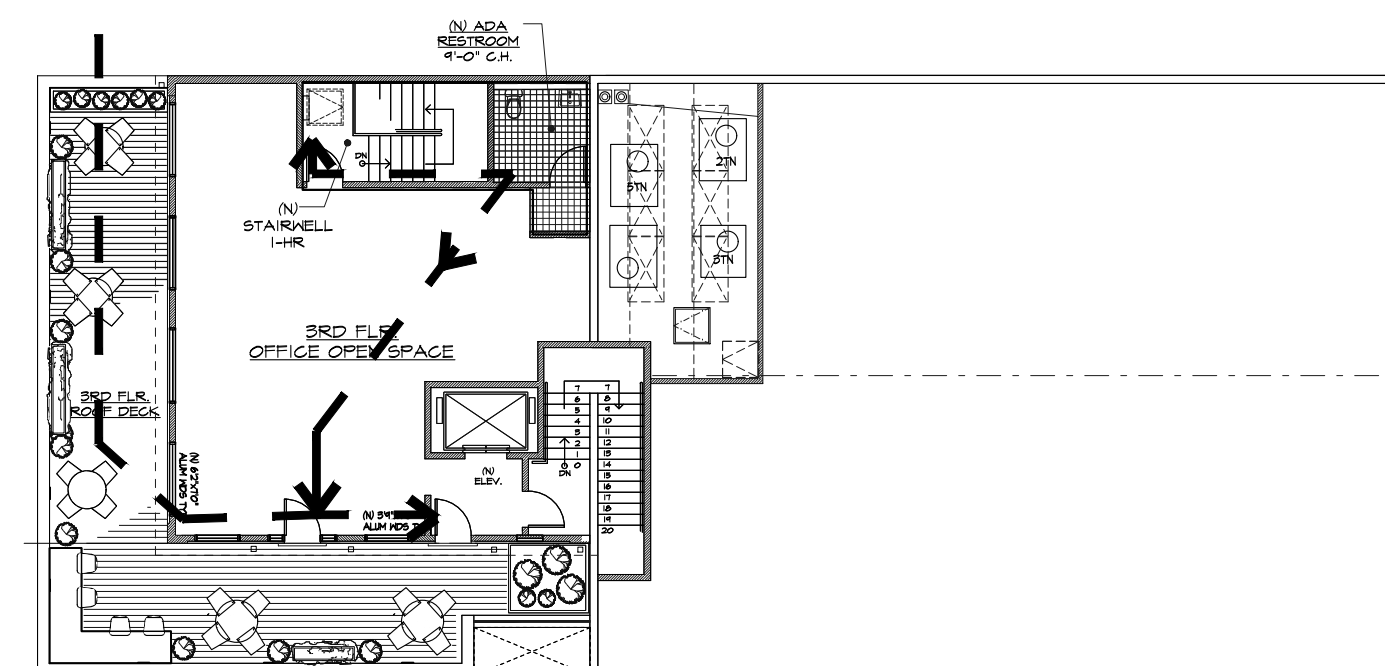
PROJECT NO.
21.26

SITE SHADOW STUDY

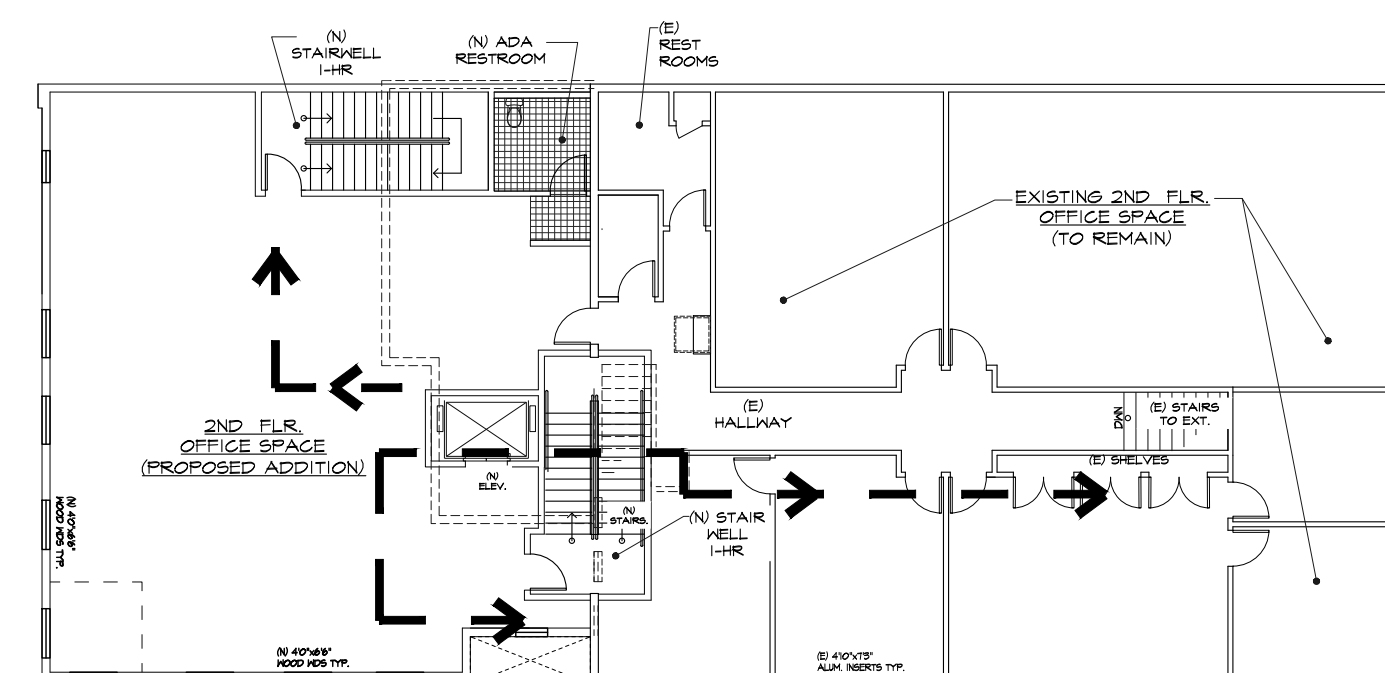
SHEET NO.
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2 ACCESSIBILITY DETAILS

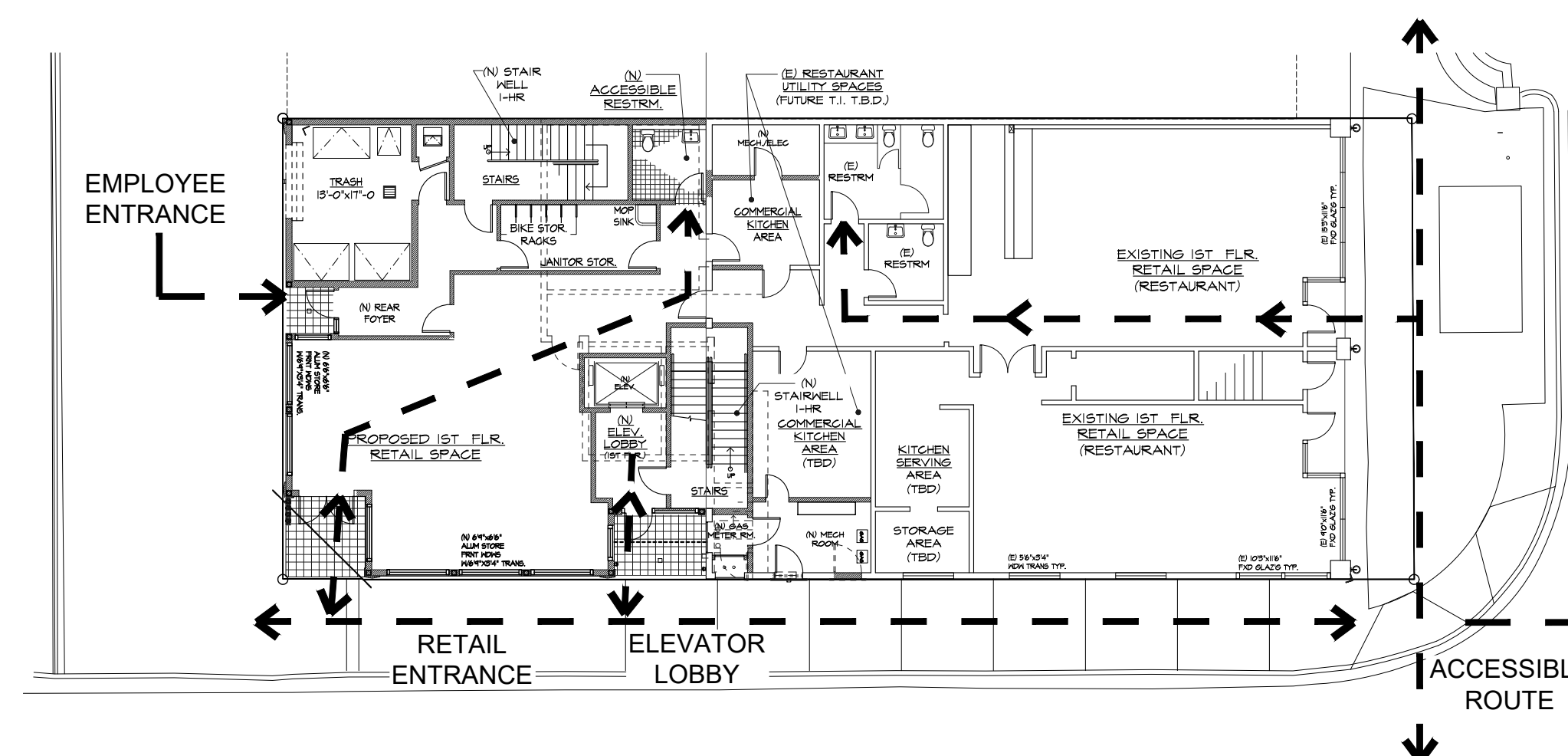
1 EXITING AND ACCESSIBILITY DIAGRAMS



A THIRD FLOOR EXIT ROUTES

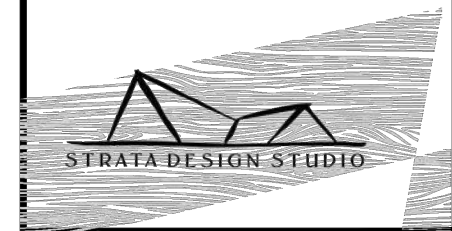


B SECOND FLOOR EXIT ROUTES



C FIRST FLOOR ACCESSIBLE ROUTE
SCALE: 1/16" = 1'-0"

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SITE CIRCULATION-
EGRESS &
ACCESSIBILITY

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CITY OF MOUNTAIN VIEW GREEN BUILDING CHECKLIST

CGBCS Division 5.5 Section 5.506	ENVIRONMENTAL QUALITY (Indoor Air Quality):	Details/Notes on plans	Field Insp
55	CGBCS Section 5.506.1 Outside air delivery. Mechanically or naturally ventilated spaces in buildings shall meet the CEnErc requirements.	Details/Notes on plans	Field Inspection
56	CGBCS Section 5.506.2 Carbon dioxide (CO2) monitoring. For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation control shall be specified and installed in accordance with the requirements of the CEnErc.	Details/Notes on plans	Field Inspection
CGBCS Division 5.5 Section 5.507	ENVIRONMENTAL QUALITY (Environmental Comfort):	Details/Notes on plans	Field Insp
57	CGBCS Section 5.507.4 Acoustical control employ building assemblies & components w/ sound transmission class (STC) values determined with ASTM, etc.	Details/Notes on plans	Field Inspection
58	CGBCS Section 5.507.4.1 Exterior noise transmission, prescriptive method. Walls & roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50, etc.	Details/Notes on plans	Field Inspection
59	CGBCS Section 5.507.4.2 Exterior noise transmission, performance method. Walls & roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level of 50 dBA in occupied areas during operation.	Details/Notes on plans	Field Insp
60	CGBCS Section 5.507.4.3 Interior sound transmission. Wall and floor ceilings assemblies separating tenant spaces and public places shall have an STC of at least 40.	Details/Notes on plans	Field Insp
CGBCS Division 5.5 Section 5.508	ENVIRONMENTAL QUALITY (Outdoor Air Quality):	Details/Notes on plans	Field Inspection
61	CGBCS Section 5.508.1 Ozone depletion and greenhouse gas reductions. Installation of HVAC, refrigeration and fire suppression equipment shall comply w/ section 5.508.1.1 and 5.508.1.2.	Details/Notes on plans	Field Inspection
61	CGBCS Section 5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions when installed in retail food stores with 2,000 square feet of conditioned area.	Details/Notes on plans	Field Inspection

Foot/Notes
[1] Only within area of alteration
[2] All non-compliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures, only within the area of alteration
[3] See "SECTION TO BE COMPLETED AFTER CONSTRUCTION" below
[4] Regulated by Other Mountain View City Code (MVCC)
[N] New 2022 California Green Building Standards Code - CGBCS & Mountain View City Code - MVCC - Green Code / Reach Codes - Adopted
[R] Revised 2022 Mountain View City Code - MVCC - Green Code / Reach Codes - Adopted
[*] Not required
[•] Mandatory requirements

OWNER ACKNOWLEDGEMENT

This project is required to comply with the California Green Building Standards Code (T24, Part 11) and the Mountain View City Code (MVCC) Green Building Code Amendments. I, the property owner/legal representative, acknowledge and understand the requirements and penalties for non-compliance. I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements. I also understand that my project may be subject to an energy or water performance review to assess compliance with the program after construction and during operation.

Signature (Owner) _____ Date _____
 Print Full Name _____ Phone or Email _____

SECTION TO BE COMPLETED AFTER CONSTRUCTION

In order to schedule a final building inspection with the Building Department, follow the procedures below:
 All final building inspection prepare to be submitted the following items: (initial for each applicable item is required below)
 _____ For the California Energy Code & energy reports, provide the completed forms (Certificate of Installation & Certificate of Verification, etc.)
 _____ Cut sheets or proof of installation of products and materials that meet the required VOC and formaldehyde limits
 _____ Provide Proof of Construction Waste Diversion, contact Public Works at (950) 900-9311

I certify that:
 _____ There have been no alterations that have impacted the energy report for the project, unless the new report is provided;
 _____ All mandatory CALGreen measures noted in the checklist have been implemented unless a new checklist is provided

Signature (Owner) and Date _____ Signature (Contractor) and Date _____
 Print Name _____ Print Name _____



**COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION**
 500 Castro Street, P.O. Box 7540
 Mountain View, CA 94039-7540
 650-903-6313
www.mountainview.gov/building
 Email: building@mountainview.gov

Weblinks:
 Planning: www.mountainview.gov/planning
 Public Works: www.mountainview.gov/publicworks
 Building Code: [Click here](#)

May-23

City of Mountain View Green Building Code 2022

Commercial

Commercial 2022 Mountain View Green Building Code (based on the 2022 California Green Building Standards Code & City Code)

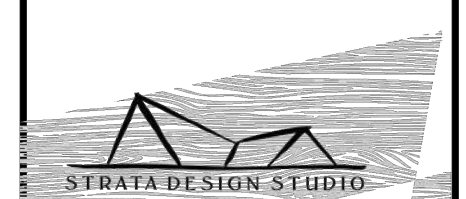
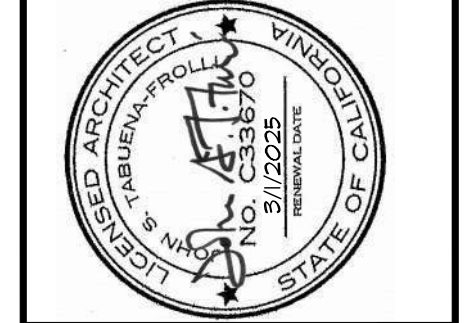
Check Box	#	1	2	Non-Residential Alterations ≥ 2,000,000 and/or Additions ≥ 1,000, s.f. [1, 2]	New Non-Residential Construction	Project Number: _____ Permit Address: _____	City of Mountain View		
							Plan requirements	Location on Plans	Verification [3]
MOUNTAIN VIEW GREEN BUILDING CODE (Green Building Code - Adopted):									
				Mountain View City Code (MVCC) Division III Sect. 8.20.11 & 8.20.14	Nonresidential new construction shall meet mandatory CalGreen and the Mountain View Amendments	Notes on plans		Field Insp	
				MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall meet the intent of LEED Gold Certified	LEED doc. on plans		LEED Proof	
				MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall demonstrate energy compliance to meet or exceed Title 24, Part 6	Notes on plans		LEED Proof	
				MVCC 8.20.13 & Table 101.10	All new mixed-use projects must comply with Mountain View's green building requirements and meet the requirements applicable to each primary occupancy	LEED doc. and notes on plans		LEED Proof	
				MVCC Div. III Section 8.20.12 - 8.20.14	WILDLIFE PROTECTION AND CONSERVATION (Green Building Code - Adopted):				
				MVCC 8.20.11 - 8.20.13 & Table 101.10	Bird-safe glass shall be installed on the exterior of the structure where the structure is ≥ 2,000 square feet or when required by the applicable precise plan	Details/Notes on plans		Field Inspection	
				CGBCS Div. 5.1 Section 5.106 & MVCC Division III Section 8.20	PLANNING AND DESIGN (Site Development CalGreen section):				
				MVCC 8.20.36	Stormwater sediment and erosion control plan for newly constructed projects of less than 1 acre	Details/Notes on plans		Field Insp	
				MVCC 8.20.37	Stormwater pollution prevention for projects that disturb 1 or more acres of land	Details/Notes on plans		Field Insp	
				MVCC 8.20.38	Post-construction stormwater control requirements [4]	Details/Notes on plans		Env Safety	
				CGBCS Section 5.106.4.1.1	Short Term Bicycle parking if anticipated to generate visitor traffic	Details/Notes on plans		Field Insp	
				CGBCS Section 5.106.4.1.2 - 5.106.4.1.5	Long Term Bicycle parking for new buildings ≥ 10 tenant-occupants, for additions or alterations ≥ 10 tenant vehicular parking spaces and for new shell buildings	Details/Notes on plans		Field Inspection	
				CGBCS Section 5.106.10	Grading and paving [4]	Details/Notes on plans		Env Safety	
				MVCC 8.20.39	Designated Parking For Clean-Air Vehicles new projects, or additions or alterations that add ≥ 10 vehicular parking spaces for low-smitting, fuel-efficient and carpool / van pool vehicles shall comply with Table 5.108.5.2	Details/Notes on plans		Field Inspection	
				MVCC 8.20.12 - 8.20.14 & Table 101.10 & 8.20.40 - 8.20.44	Electric Vehicle (EV) Charging, new construction shall meet the parking requirements per Table 101.10 and the requirements per Table AS.106.5.3.2	Details/Notes on plans		Field Inspection	
				MVCC 8.20.43 (1 & 3)	Parking Addition in existing nonresidential buildings per occupancy when parking facilities are added, or electrical systems/lighting are added/abandoned and the work requires a building permit. 10% of the total number of parking spaces added or altered shall be EVCS with level 2 EV Ready [N]	Details/Notes on plans		Field Inspection	
				MVCC 8.20.12 - 8.20.18 & Table 101.10	Installation of photovoltaics (PV) on roof area to accommodate an all-electric building to 100% of annual NoLoad hour [N]	Details/Notes on plans		Field Insp	
				CGBCS Section 5.106.8	Light pollution reduction outdoor lighting shall be design and installed to comply w/CGBCS & Table 5.106.5 [R]	Details/Notes on plans		Field Insp	
				California Green Build. Standards Code (CGBCS) Div. 5.3 Sect. 5.303.1	WATER EFFICIENCY AND CONSERVATION (Indoor Water Use):				
				CGBCS Section 5.303.1.1	Meters for new buildings or additions in excess of 50,000 square feet separate submeters shall be installed	Details/Notes on plans		Field Insp	
				CGBCS Section 5.303.1.2	Meters excess consumption separate submeter shall be provided for tenants consuming more than 1,000 gal/day	Details/Notes on plans		Field Insp	
				CGBCS AS.303.5	Indoor water use, dual plumbing; all new commercial buildings or groups of new commercial buildings submitting for a building permit, where the total square footage of the building(s) is greater than 25,000 square feet, shall incorporate dual plumbing in the design of the building to allow the use of recycled water, when it becomes available, for flushing toilets [N]	Details/Notes on plans		Public Works	
				CGBCS Division 5.3 Section 5.303.3	WATER EFFICIENCY AND CONSERVATION (Water Conserving Plumbing Fixtures):				
				CGBCS Section 5.303.3.1	Water closets shall not exceed 1.28 gallons per flush	Notes on plans		Field Insp	
				CGBCS Section 5.303.3.2.1	Wall mounted Urinals shall not exceed 0.125 gallons per flush	Notes on plans		Field Insp	
				CGBCS Section 5.303.3.2.2	Floor mounted Urinals shall not exceed 0.35 gallons per flush	Notes on plans		Field Insp	
				CGBCS Section 5.303.3.3.1	Single showerhead shall have a maximum flow of 1.8 gpm at 80 psi	Notes on plans		Field Insp	
				CGBCS Section 5.303.3.3.2	Multiple showerheads > than 1 shower shall have combined flow of 1.8 gpm at 80 psi or 1 operating at a time	Notes on plans		Field Insp	
				CGBCS Section 5.303.3.4.1	Lavatory faucets shall have a maximum flow rate of not more than 0.5 gpm at 60 psi	Notes on plans		Field Insp	
				CGBCS Section 5.303.3.4.2	Kitchen faucets shall have a maximum flow rate of not more than 1.8 gpm at 60 psi	Notes on plans		Field Insp	
				CGBCS Section 5.303.4.1	Commercial Kitchen Equipment food waste disposers shall comply with Section 5.303.4.1	Notes on plans		Field Insp	

Water Conservation in Landscaping Regulations & CGBCS		WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use):	
28	Water Conservation in Landscaping Regulations (Chapter 2) by Planning	Project shall comply with the water conservation in landscaping regulations where the affected landscape area (new or rehabilitated) is ≥ 800 square feet [4]	Notes on plans
29	Water Efficient Design and Maintenance Checklist by Planning	Project shall comply with the water efficient and maintenance checklist [4]	Checklist form
30	Water Conservation in Landscaping Regulations (Chapter 10) by Planning	Water budget. When a water budget is prepared for a landscaping area ≥ 2,500 square feet, it must be completed by a certified or authorized professional [4]	Notes on plans
31	CGBCS Section 5.304.1	Outdoor potable water use in landscape areas for nonresidential developments	Notes on plans
32	CGBCS Section 5.407.1	Weather protection. Provide a weather-resistant exterior wall and foundation envelope	Details on plans
33	CGBCS Section 5.407.2	Moisture Control. Employ moisture control measures	Details on plans
Construction and Demolition Waste & CGBCS Division 5.4 Section 5.408		MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling):	
34	Construction and demolition waste tracking & diversion requirements form	Construction Waste Diversion 65% reduction [4]	Mountain View waste tracking form
35	Construction and demolition waste tracking & diversion requirements form	Construction Waste Management Plan / Diversion is required when demolitions [4]	Mountain View waste tracking form
36	CGBCS Section 5.408.3	Excavated soil and land clearing debris. 100% shall be reused or recycled [4]	MV waste tracking form
CGBCS Division 5.4 Section 5.410		MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Building Maintenance and Operation):	
37	CGBCS Section 5.410.1	Recycling by Occupants applies to new buildings and additions that exceed a 30% in floor area within 12 month period	Details/Notes on plans
38	CGBCS Section 5.410.2 & 5.410.2.6	Commissioning for new buildings 10,000 square feet and over shall be included in design & construction process of the building project and comply with the commissioning requirements	Details/Notes on plans
39	CGBCS Section 5.410.4 to 5.410.4.5.1	Testing and Adjusting shall be required for new buildings less than 10,000 square feet or new systems serving additions or alterations subject to section 303.1	Details/Notes on plans
MVCC Division III Section 8.20.11 - 8.20.13		ENVIRONMENTAL QUALITY (No gas allowed, all electric installation):	
40	Nonresidential new construction projects MVCC Section 8.20.11 - 8.20.12 & Table 101.10	Natural gas shall not be allowed. The following list of items shall be electric installation: Heatcooling equipment, clothes dryers and fireplaces and/or fire pits	Details/Notes on plans
		Cooking appliances shall be electric, see exception	Details/Notes on plans
		Water-heating systems and equipment shall be electric or solar	Details/Notes on plans
CGBCS Division 5.5 Section 5.503		ENVIRONMENTAL QUALITY (Fireplaces):	
41	MVCC 8.20.35	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA	Details/Notes on plans
42	MVCC 8.25, 8.25.3 - 8.25.7	All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply with Section 5.504.1	Details/Notes on plans
CGBCS Division 5.5 Section 5.504		ENVIRONMENTAL QUALITY (Pollutant Control):	
43	CGBCS Section 5.504.1	Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8	Notes on plans
44	CGBCS Section 5.504.3	Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable.	Notes on plans
45	CGBCS Section 5.504.4.1	Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)	Notes on plans
46	CGBCS Section 5.504.4.3 to 5.504.4.3.2	Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification	Notes on plans
47	CGBCS Section 5.504.4.4	Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive	Notes on plans
48	CGBCS Section 5.504.4.5	Finish material pollutant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 & documentation	Notes on plans
49	CGBCS Section 5.504.4.6 & 5.504.4.6.1	Finish material pollutant control for resilient flooring systems shall comply with VOC emission limits (80%) & verification of compliance	Notes on plans
50	CGBCS Section 5.504.4.7 & 5.504.4.7.1	Finish material pollutant control for thermal insulation shall comply with VOC emissions & verification of compliance [N]	Notes on plans
51	CGBCS Section 5.504.4.8 & 5.504.4.8.1	Finish material pollutant control for acoustical ceilings and wall panels shall comply with VOC emissions & verification of compliance [N]	Notes on plans
52	CGBCS Section 5.504.5.3	Finish material pollutant control for filters. In mechanically ventilated buildings, provide air filtration for outside and return air per MERV of 13 (limits & labeling [N])	Notes on plans
53	CGBCS Section 5.504.7	Environmental Tobacco Smoke (ETS) Control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows, etc.	Notes on plans
CGBCS Division 5.5 Section 5.505		ENVIRONMENTAL QUALITY (Indoor Moisture Control):	
54	CGBCS Section 5.505.1	Indoor moisture control. Buildings shall meet or exceed the provisions of CBC, etc.	Details/Notes on plans

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TO BE COMPLETED AND SIGNED BEFORE FINAL INSPECTION

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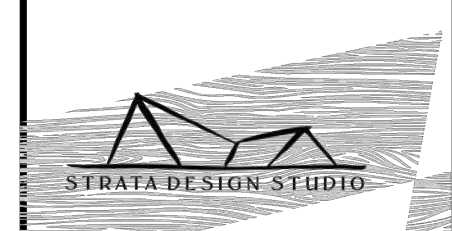
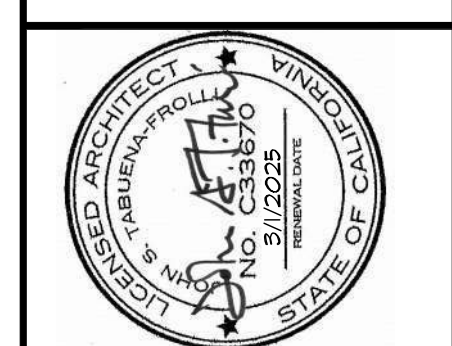
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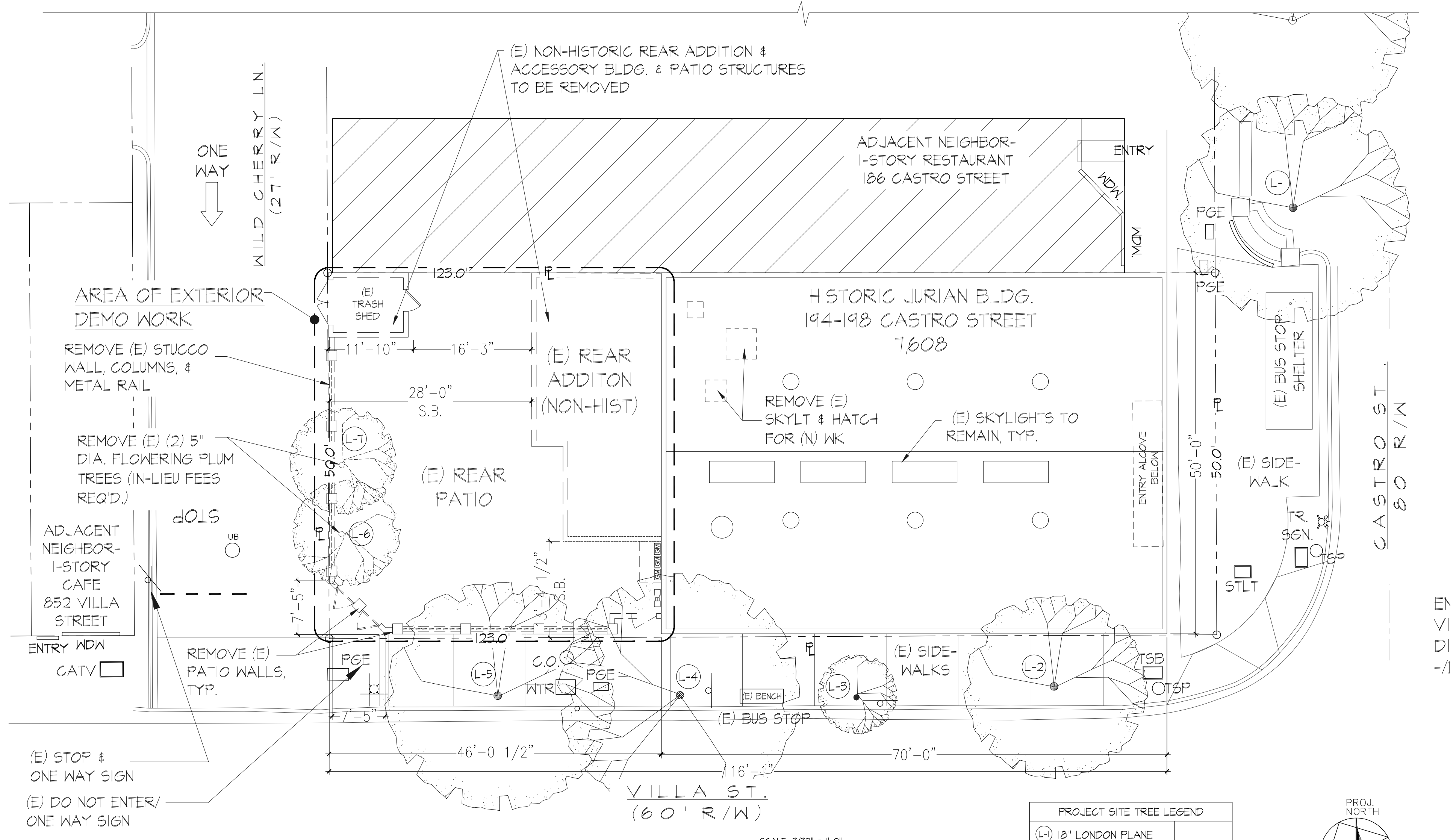
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JURIAN BUILDING NOTES

- (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- (2A) REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- (2B) REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB [§303] REQ'S.
- (3) (E) EXTERIOR DR'S., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
- (4) PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D. REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- (5) PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
- (6) PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
- (7) PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- (8) (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW'S. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW'S, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

KEYED DEMO NOTES (AREA OF (N) ADDITION)

- (A) REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWG. A0.1 & CIVIL ENG. DWGS.
- (B) SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- (C) SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK. INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
- (D) - DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY-APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MATLS AS APPROVED BY OWNER
- (E) CAREFULLY REMOVE (E) WDW'S. & DR'S. PER DEMO PLAN. PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOC'S.
- (F) AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) STUCCO CLADDING TO MATCH (E), OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK. INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- (G) CAREFULLY REM. & SALVAGE (E) CABS, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT 'S. STORE FOR POSS. REUSE, DONATION OR RESALE. VERIFY W/ HIST. ARCH. & OWN'R., TYP.
- (H) REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV., PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS, TYP.
- (I) PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN. SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDW'S & DR'S. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED- MILLED TO MATCH (E). VERIFY (N) & (E) OPENINGS TO REMAIN, PER (N) PLAN, TYP.
- (J) PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING. REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- (K) PROTECT (E) SUB-FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRNG. FOR REFINISHING. VERIFY W/ OWNER.
- (L) (E) ROOF SURFACE TO BE INSPECTED. VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D. PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING. REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E). VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- (M) REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.



- GENERAL SITE IMPROVEMENT NOTES: REFER TO CIVIL DRAWINGS**
- RELOCATE (E) UTILITY VAULTS/BOXES TO (N) SIDEWALK CURBS OR L.S. STRIPS
 - PROVIDE NEW CURB, GUTTER, AND SIDEWALK ALONG VILLA STREET
 - GRIND AND OVERLAY STREET ALONG PROJECT FRONTAGE
 - REPLACE (E) VILLA ST./MILD CHERRY LANE DRIVEWAY
 - REPAINT (E) RED CURB ALONG VILLA ST. & (N) RED CURB ALONG WILD CHERRY LANE FROM BACK OF SIDEWALK AND 25 FT. NORTH

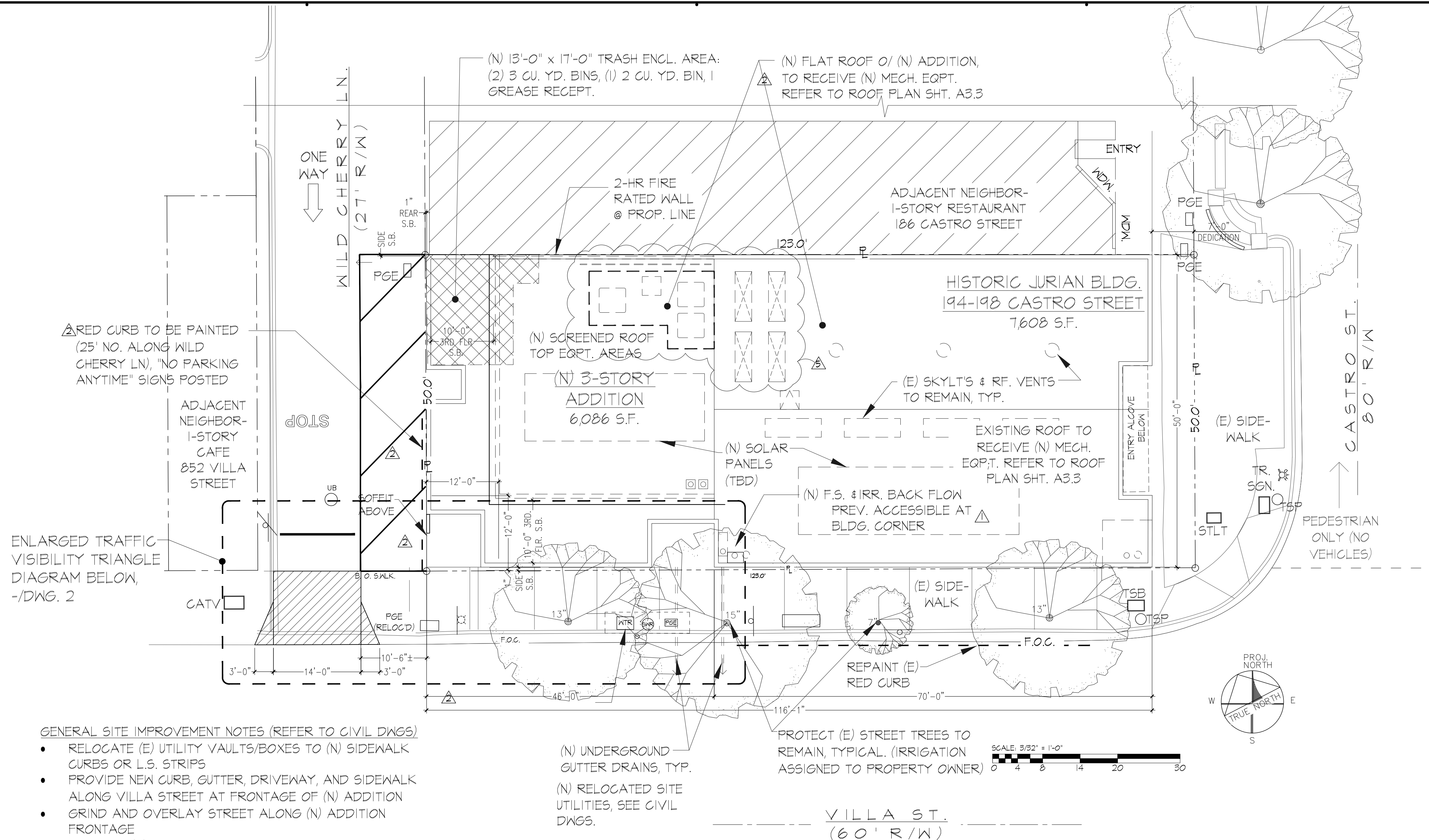
EXISTING CONDITIONS & DEMO SITE PLAN
SCALE: 1"=10'

ABBREVIATIONS

&	AND	CLKG.	CAULKING	F.D.	FLOOR DRAIN	INSUL.	INSULATION	PR.	PAIR	S.Q.	SQUARE	WD.	WOOD
<	ANGLE	CONC.	CONCRETE	FDN.	FOUNDATION	I.C.	IRRIGATION CTRL.	PNTD	PAINTED	S.S.D.	SEE STRUCT. DWGS	WDW	WINDOW
@	AT	C.M.U.	CONC. MASONRY UNIT	FIN.	FLOOR FINISH	LOC.	LOCATION	PTDF	PRES. TREATED DF	S.S.TL.	STAINLESS STEEL	W/O	WITHOUT
⊕	CENTERLINE	CONT.	CONTINUOUS	FLR.	FLOOR	L.S.	LANDSCAPING	Q.T.	QUARRY TILE	STD.	STANDARD	WT.	WEIGHT
⊖	DIAMETER OR ROUND PLUS OR MINUS	CTR.	CENTER	F.L.C.	FACE OF CONC. (OR CURB)	LT.	LIGHT OR LIGHTING	QTR.	QUARTER	STL.	STEEL	WTR.	WATER
(N)	NEW	DBL	DOUBLE	F.O.F.	FACE OF FINISH	MAX.	MAXIMUM	R.	RISER	STOR.	STORAGE		
(E)	EXISTING	DBL	DOUBLE	F.O.S.	FACE OF STUDS	MECH.	MECHANICAL	RD.	ROOF DRAIN	SURF.	SURFACE		
ADJ.	ADJUSTABLE	DET.	DETAIL	F.S.	FULL SIZE	MEMB.	MEMBRANE	R.D.	ROUGH OPENING	TEL.	TELEPHONE		
A.F.F.	ABOVE FINISHED FLOOR	DF	DIAPHRAGM	FT.	FOOT OR FEET	MEP	MECHANICAL/ELECT.&PLUMB'G	REF.	REFERENCE	T.&G.	TONGUE AND GROOVE		
APPROX.	APPROXIMATE	DM.	DIMENSION	FTG.	FOOTING	MFR.	MANUFACTURER	REIN.	REINFORCED	THK.	THICK		
ASPH.	ASPHALT	DR.	DOWN DOOR	FURR.	FURRING	MIN.	MINIMUM	REQ.	REQUIRED	THSHLD	THRESHOLD		
BITUM.	BITUMINOUS	DN.	DOWN	GA.	GAUGE	MISC.	MISCELLANEOUS	RM.	ROOM	TOC.	TOP OF CURB		
BLDG.	BUILDING	DS.	DOWNSPOUT	GALV.	GALVANIZED	MTD.	MOUNTED	RND.	ROUND	TOP.	TOP OF PAVEMENT		
BLK.	BLOCK	D.V.	DRYER VENT	GL.	GLASS	N.I.C.	NOT IN CONTRACT	R.O.	ROUGH OPENING	TOS.	TOP OF SLAB		
BLKG.	BLOCKING	DWG.	DRAWING	GLB.	GLULAM BEAM	N.O.	NOT OR	RWD.	REDWOOD	TOW.	TOP OF WALL		
BM.	BEAM	DWH.	DWYER WATER	GND.	GROUND	NOM.	NOMINAL	RWL.	RAIN WTR LEADER	T.PLT.	TOP PLATE		
BTM.	BOTTOM	E.A.	EACH	GSM	GALV. SHEET METAL	N.T.S.	NOT TO SCALE	SCHED.	SCHEDULE	TV.	TELEVISION		
CAB.	CABINET	E.F.	EXHAUST FAN	HT.	HEIGHT	O.A.	OVERALL	SECT.	SECTION	U.O.N.	UNLESS OTHERWISE NOTED		
C.B.	CATCH BASIN	E.L.	EXPANSION JOINT	H.B.	HOSE BIBB	O/O	OVER	SQR.	SQUARING	VERT.	VERTICAL		
C.I.	CAST IRON	ELEC.	ELECTRICAL	H.D.	HOT DIP (GALV.) (or HOLD/DOWN)	O.D.	OUTSIDE DIA. DIM.	SHT.	SHEET	V.I.F.	VERIFY IN FIELD		
C.J.	CONTROL JOINT	E.N.	ELECTRICAL NAIL	HDR.	HEADER BEAM	OPP.	OPPOSITE	SHR.	SHOWER	W.	WIDTH		
C.L.O.	CLOSET	EQ.	EQUAL	HORIZ.	HORIZONTAL	PLT.	PLATE	SHT.	SHEET	W/W.	WITH		
CLG.	CEILING	EXH.	EXHAUST	HR.	HOUR	PLAS.	PLASTER	SHT.	SHEET	W.C.	WATER CLOSET		
		EXT.	EXTERIOR			PLYWD.	PLYWOOD	SPEC.	SPECIFICATION				

SITE LEGEND

- PROPERTY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- NEW ELECT. POLE
- ⊕ NEW GAS METER
- EL. ELECT. SERV. & METER
- ⊕ WATER METER
- ⊕ SEWER ACCESS



PROPOSED SITE PLAN NOTES

- EXISTING JURIAN BUILDING**
- EXISTING STRUCTURE TO BE REPAIRED AS REQ'D - PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF PROJECT.
 - REPAIR FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E) AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §3033 REQ'S.
 - (E) EXTERIOR DR'S, SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 - PRESERVE & PROTECT (E) RUNNING TRIM, MOLDING, DECORATIVE MOLDINGS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOLDING PROFILES.
 - PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAIRED PER SPECS.
 - PRESERVE (E) INTERIOR TRIM, CASING, W/O.W. & DOOR TRIM. REPAIR AS REQ'D.
 - PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - (E) WINDOWS - UNLESS SCHEDULED FOR REMOVAL, ALL WDW'S. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW'S, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.
- NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)**
- VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
 - INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
 - INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
 - INSTALL (N) GYPBD NAILED W/ DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP. BD. TYP.
 - INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512. WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING. TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
 - PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP.
- WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
- FLOORS R-XX(TBD) MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
 - COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/ OWNER.
 - PROVIDE (N) LOW-SLOPED ROOF @ (N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER COND'S. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RFD. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
 - INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
 - WINDOWS:
(N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS. PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
 - PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
 - PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR'S. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE. R.W. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE. PROVIDE AT LEAST MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1128A.3.3, FIG. 11A-8(A) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR'S. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
 - INSTALL (N) FLR. FINISHES W/ MATL. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC. BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG. S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
 - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/ OWNER.
 - PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.
 - @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/ BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL L.O.C.S. AND MEP ROOMS IN FIELD W/ OWNER, TYP.
 - PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/ 5/8" TYPE X 1-HR RATED GYP. BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS. TYP. REFER TO FLOOR PLAN & SECTIONS (btd).
 - PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
 - PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION. W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
 - PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL. MIN. READ LEFT-RIGHT (NOT ARRANGMT. NOT ALL REQ'D). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
 - PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
 - AT 2ND STORY PROVIDE ATTIC LADDER W/ MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
 - REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

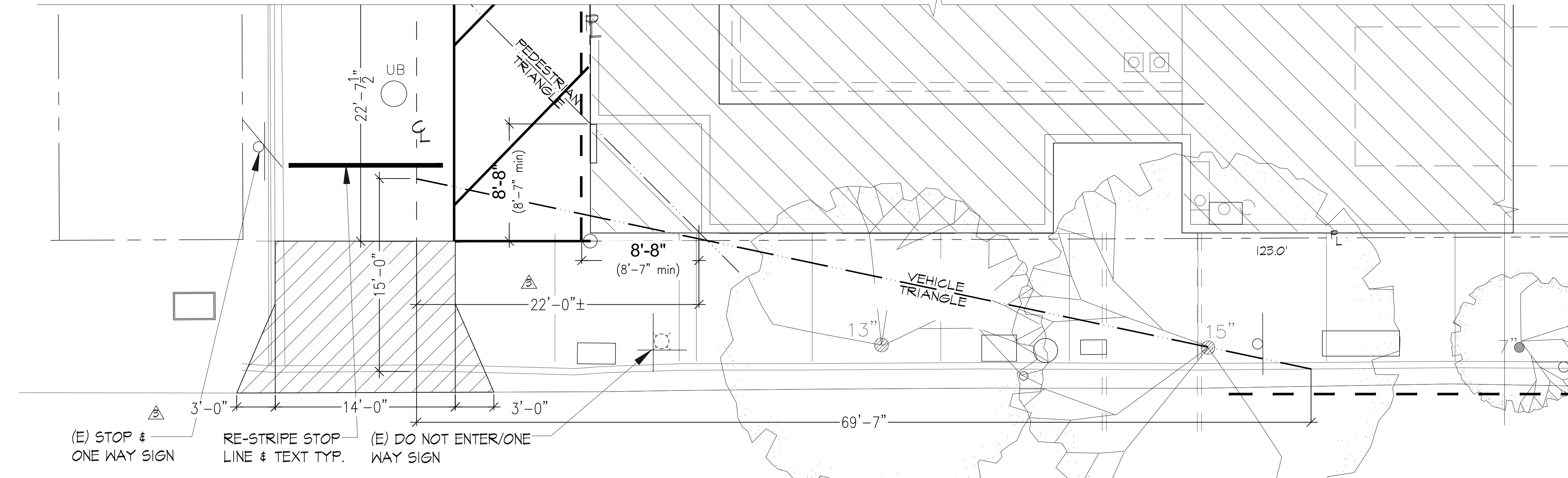
SITE LEGEND

— P —	PROPERTY LINE	⊕	NEW GAS METER
— W —	UNDERGROUND WATER LINE	EL	ELECT. SERV. & METER
— G —	UNDERGROUND GAS LINE	WM	WATER METER
●	NEW ELECT. POLE	⊙	SEWER ACCESS

- GENERAL SITE IMPROVEMENT NOTES (REFER TO CIVIL DWGS)**
- RELOCATE (E) UTILITY VAULTS/BOXES TO (N) SIDEWALK CURBS OR L.S. STRIPS
 - PROVIDE NEW CURB, GUTTER, DRIVEWAY, AND SIDEWALK ALONG VILLA STREET AT FRONTAGE OF (N) ADDITION
 - GRIND AND OVERLAY STREET ALONG (N) ADDITION FRONTAGE
 - REPLACE (E) VILLA ST./WILD CHERRY LANE DRIVEWAY
 - REPAINT (E) RED CURB ALONG VILLA ST. & (N) RED CURB ALONG WILD CHERRY LANE FROM BACK OF SIDEWALK AND 25 FT. NORTH

PROPOSED SITE PLAN

SCALE: 1"=20' 1



TRAFFIC VISIBILITY DIAGRAM

REFER TO CIVIL ENG. GRADING PLAN SHT. C3 SCALE: 3/16"=1' 2

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22 PRELIM. PLANNING SUBMIT.
03/20/23 FORMAL PLANNING SUBMIT.
06/20/23 FORMAL PLANNING RESUBMIT.
09/01/23 FORMAL PC REVIS
10/16/23 FORMAL PC REVIS 2
11/20/23 DRC SUBMIT.
01/16/24 DRC RESP. ELEV'S. OPTS A & B
05/03/24 PLANNING RESUBMIT. SUBMIT.
07/17/24 PLANNING - MECH. WELL REVIS.

STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

JOHN S. TARBUENA-FROLLI, AIA
FO. BOX 1127
SAN JOSE, CA 95108
408.705.3148 - jfrolli@gmail.com

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CHEE-YEE CHONG,
(DBA HANSON AMERIC LLO)
PO BOX 4631
MOUNTAIN VIEW, CA 94041
ph: 408.859.2845
em: cychong@pacbell.net

HISTORIC JURIAN BLDG. ADDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

PROJECT SITE PLANS-PROPOSED

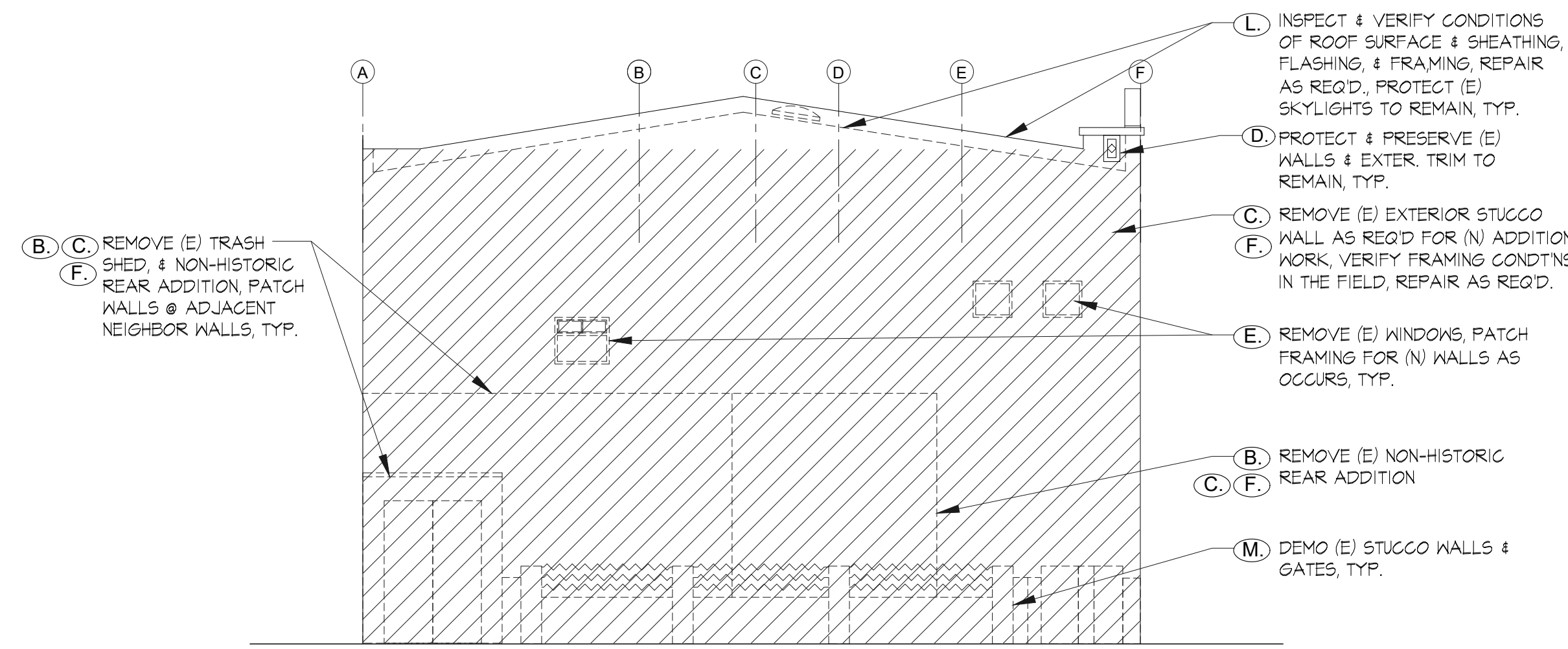
DRAWN
SAE/GTF/JTF

DATE
07/17/24

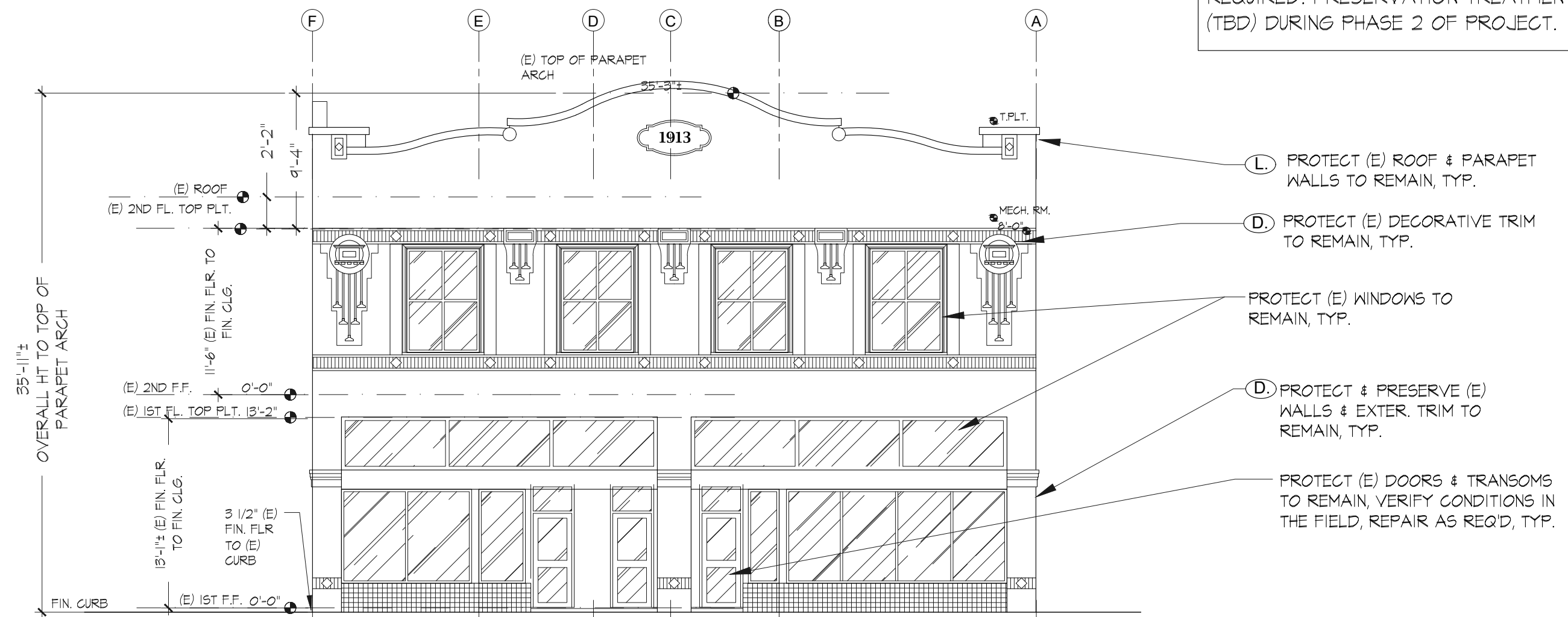
SCALE
AS NOTED

PROJECT NO.
21.26

SHEET NO.
A1.1



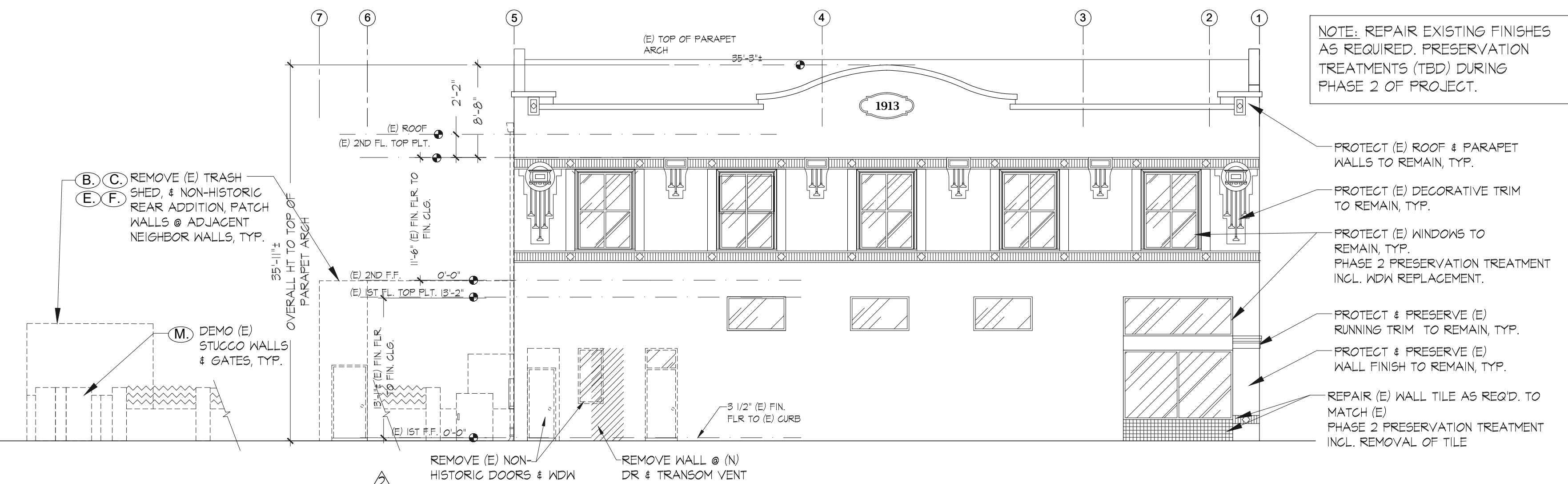
(E) REAR ELEVATION (WILD CHERRY LN.) 3
SCALE: 1/8"=1'



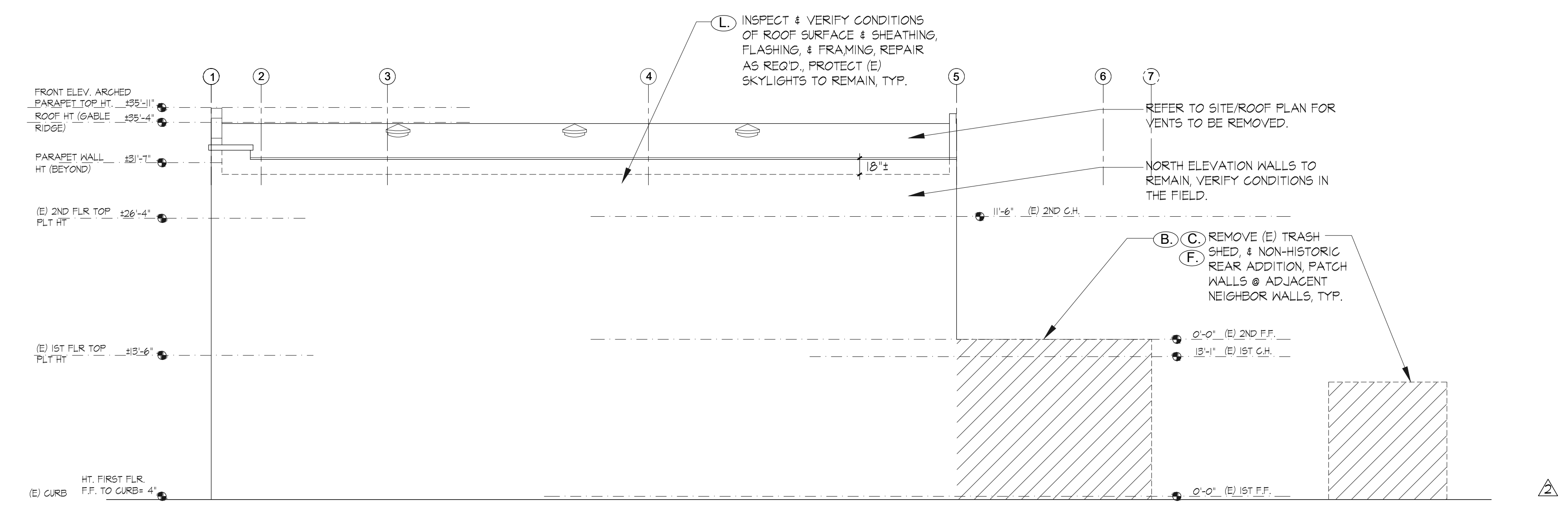
(E) FRONT ELEVATION (CASTRO ST.) 1
SCALE: 1/8"=1'

1. NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.

NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.



(E) LEFT ELEVATION (VILLA ST.) 2
SCALE: 1/8"=1'



(E) RIGHT ELEVATION 4
SCALE: 1/8"=1'

KEYED DEMO NOTES (AREA OF (N) ADDITION)

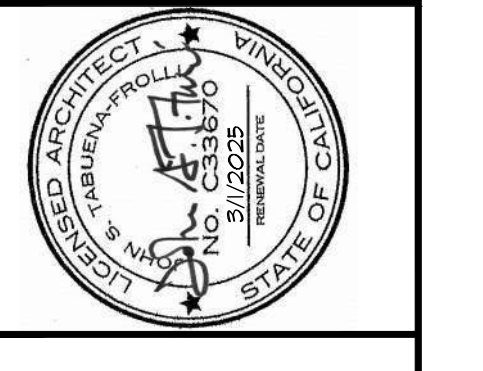
- A. REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWG. A0.1 & CIVIL ENG. DWGS.
- B. SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- C. SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK, INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
- D. - DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY-APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT. - PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MATLS AS APPROVED BY OWNER
- E. CAREFULLY REMOVE (E) WDWs. & DRs. PER DEMO PLAN. PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOCs.
- F. AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) STUCCO CLADDING TO MATCH (E). OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK, INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- G. CAREFULLY REM. & SALVAGE (E) CABS, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT. S. STORE FOR POSs. REUSE. DONATION OR RESALE. VERIFY W/ HIST. ARCH. & OWN'R. TYP.
- H. REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV. PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS. TYP.
- I. PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN. SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDWs & DRs. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED- MILLED TO MATCH (E). VERIFY (N) & (E) OPENINGS TO REMAIN, PER (N) PLAN, TYP.
- J. PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING. REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- K. PROTECT (E) SUB-FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRNG. FOR REFINISHING. VERIFY W/ OWNER.
- L. (E) ROOF SURFACE TO BE INSPECTED. VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D. PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING. REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E). VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- M. REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.

JURIAN BUILDING NOTES

- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D- PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §3033 REQ'S.
 - 3. (E) EXTERIOR DRs., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS. REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER. IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWs. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDWs, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG	
ISSUE DATE	
11/21/22	PRELIM. PLANNING SUBMIT.
03/20/23	FORMAL PLANG SUBMIT.
06/20/23	FORMAL PLANG RESUBMIT.
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMIT.
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANG RESUBMIT. SUBMIT.
07/17/24	PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041

APN: 158-15-013

DRAWN
SAE/GTF/JTF

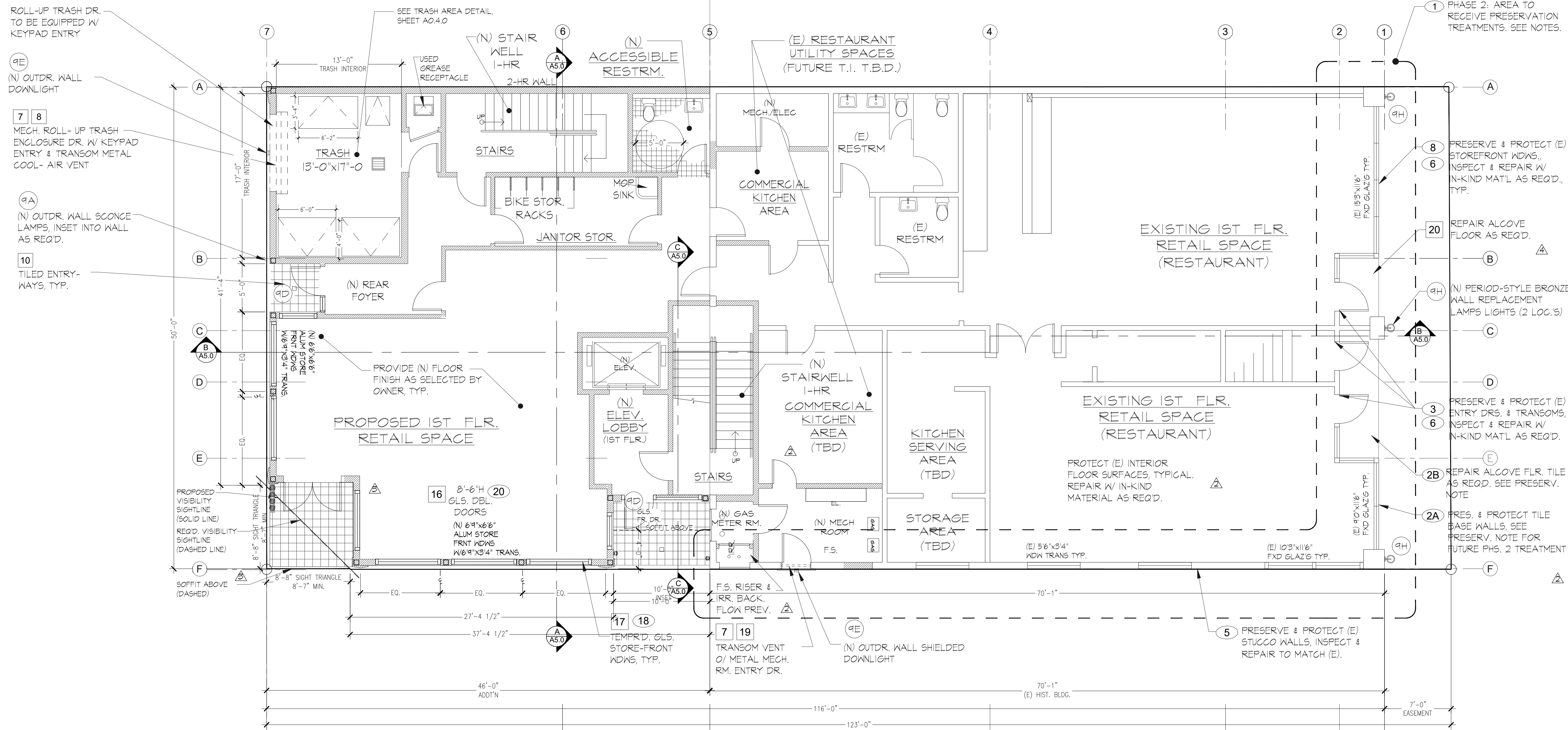
DATE
07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

EXISTING/ DEMO ELEVATIONS

SHEET NO.
A2.1



(N) FIRST FLOOR PLAN

SCALE: 3/16"=1'

1

NEW CONSTRUCTION KEYED NOTES

NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYPBD NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP BD. AT ALL WET WALLS. REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD. TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512. WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP.
- WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
- FLOORS R-XX(TBD) MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE. DIRECT TO YARD. SEE SITE PLAN.

- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS. WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
- 19. PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE. PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3. FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT. 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 21. INSTALL (N) FLR. FINISHES W/ MATL. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG'S SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE. VERIFY COLOR W/OWNER
- 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.

- 24. @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LCLS. AND MEP REQ'MTS. IN FIELD W/OWNER, TYP.
- 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (tbd).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASH'G. AND 4" DIA. DOWNSPOUTS TYP. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL, MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2.
- 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
- 30. AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
- 31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

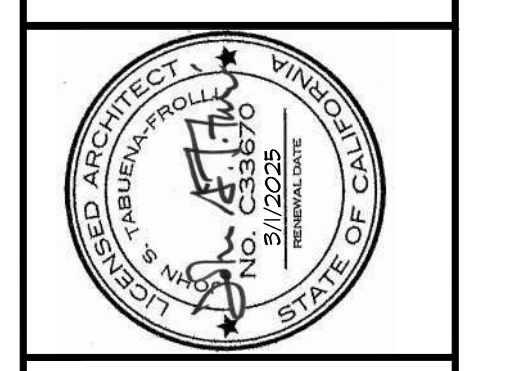
JURIAN BUILDING NOTES

- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D, VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
 - 3. (E) EXTERIOR DR. S, SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF. MATL. @ (E) PARAPET WALLS, REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - 8. (E) WINDOWS: UNLESS SCHEDULED FOR REMOVAL, ALL WDW. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANG SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEVS. OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041

APN: 158-15-013

DRAWN
SAE/GTF/JTF

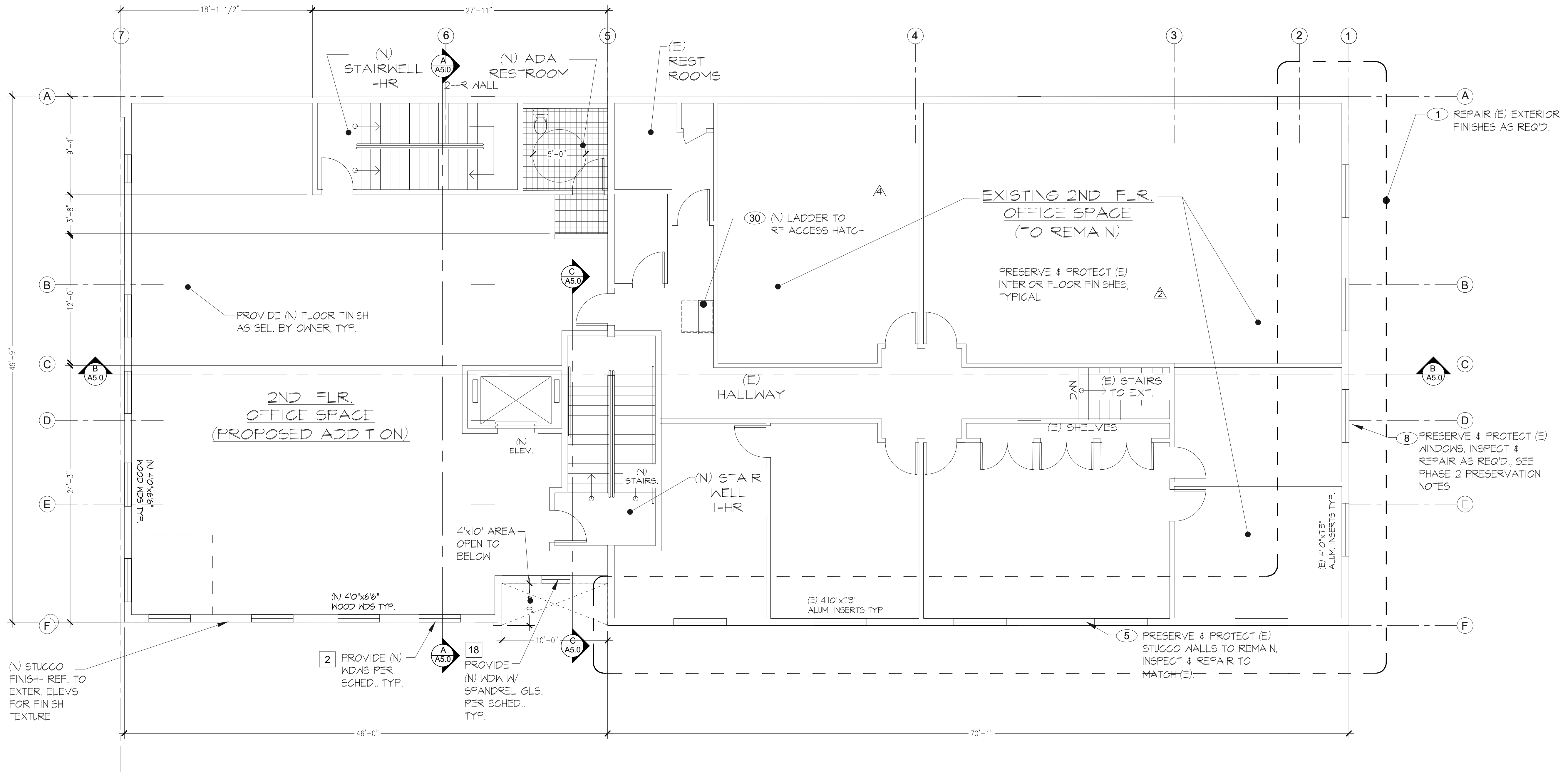
DATE
07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

PROPOSED FIRST FLOOR PLAN

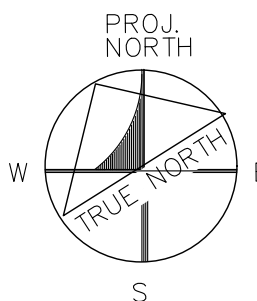
SHEET NO.
A3.0



(N) SECOND FLOOR PLAN

SCALE: 3/16"=1'

1



NEW CONSTRUCTION KEYED NOTES

NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION, COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION, REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYPBD NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN, FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD., TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN, OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED: (NOTE: USE FORMALDEHYDE FREE) - CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP. - WALLS R-XX(TBD) MIN. BATT INSUL. TYP. - FLOORS R-XX(TBD) MIN. BATT INSUL. TYP. - PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQS. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D, VERIFY FINAL LOC. IN FIELD W/OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF O(N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF, REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.

- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK, PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC., PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP. (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CBC SECT. 308.4.5
- 19. PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRS. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES, REFER TO DOOR SCHEDULE, RVV. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE, PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DRS. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 21. INSTALL (N) FLR. FINISHES W/ MAT'L. AS SEL. BY OWNER, VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MAT'L. AS SPEC. BY OWNER, PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG. & SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/OWNER.
- 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.

- 24. @ (N) RESTROOMS, INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK, VERIFY FINAL LCLS. AND MEP REQ'MTS. IN FIELD W/OWNER, TYP.
- 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (btd).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE, PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN., READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED), NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
- 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT, PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
- 30. AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
- 31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

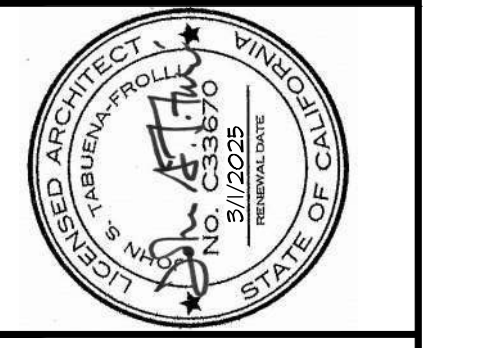
JURIAN BUILDING NOTES

EXISTING JURIAN BUILDING

- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL, ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
- 3. (E) EXTERIOR DRS., SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
- 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, PARAPET WALLS, REPAIRS AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
- 6. PRESERVE (E) INTERIOR TRIM, CASING, W.D.W. & DOOR TRIM, REPAIR AS REQ'D.
- 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF, MAT'L @ (E) PARAPET WALLS, REPAIR AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL W.D.WS. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE W.D.W. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD W.D.WS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG	
ISSUE DATE	
11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANG SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP- ELEVS: OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



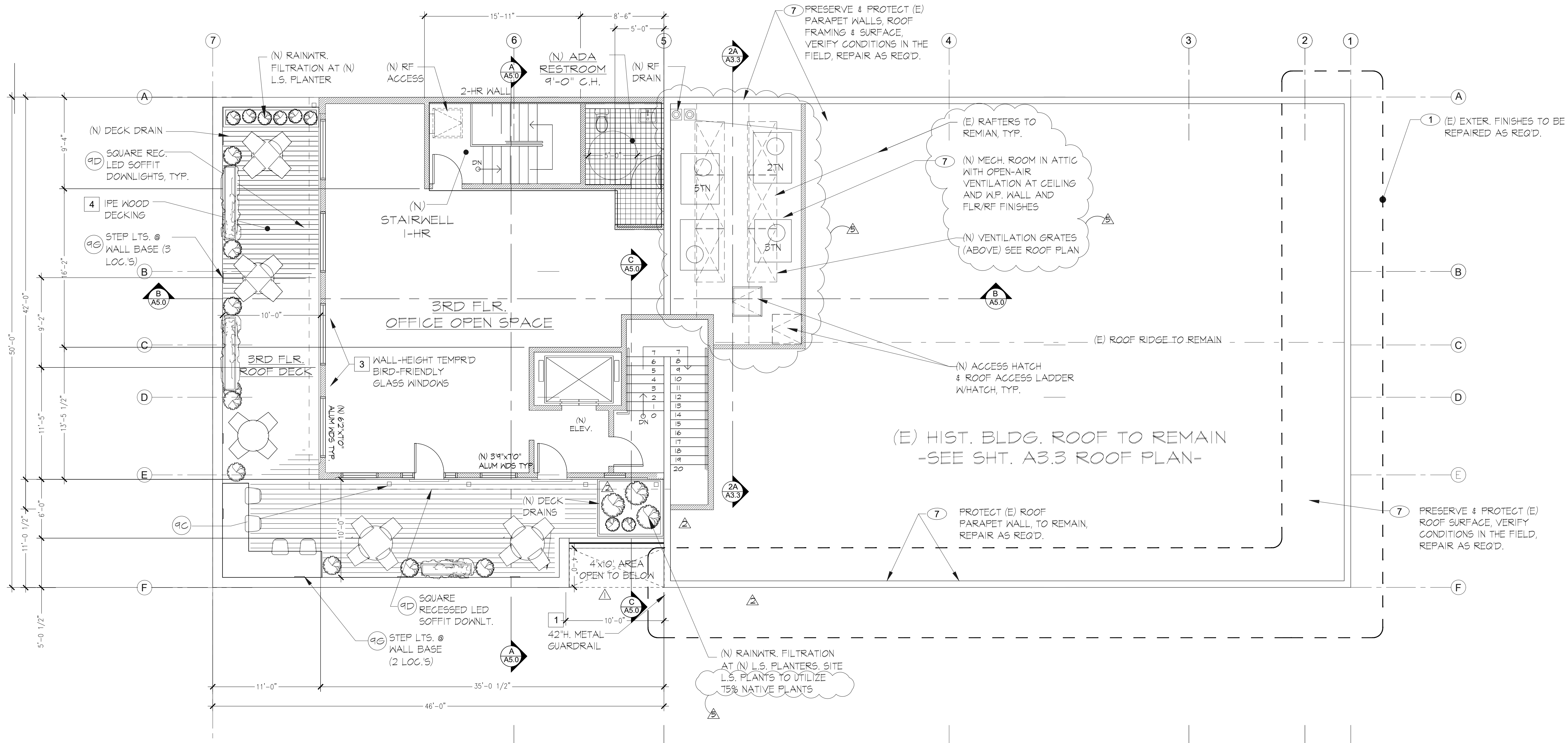
STRATA DESIGN STUDIO
 DESIGN - CONSULTING - PRESERVATION
 JOHN S. TARQUENA-FROLLI, AIA
 P.O. BOX 11127
 SAN JOSE, CA 95108
 408.705.3148 - jfrolli@gmail.com

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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION
PROJECT SITE:
 194-198 CASTRO STREET,
 MOUNTAIN VIEW, CA 94041
 APN: 158-15-013

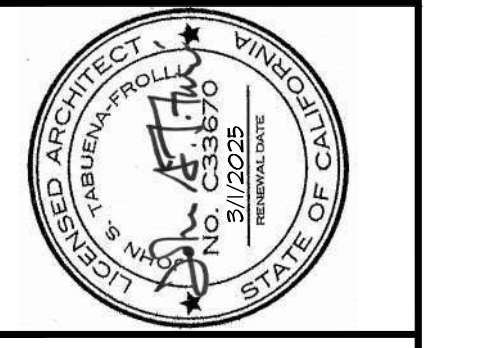
DRAWN
 SAE/GTF/JTF
 DATE
 07/17/24
 SCALE
 AS NOTED
 PROJECT NO.
 21.26

PROPOSED SECOND FLOOR PLAN
 SHEET NO.
A3.1



(N) 3RD FLOOR PLAN & (E) JURIAN ATTIC
 SCALE: 3/16"=1'
 1

11/21/22	PRELIM. PLANNING SUBMIT
03/20/23	FORMAL PLANNING SUBMIT
06/20/23	FORMAL PLANNING RESUBMIT
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMIT
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANNING RESUBMIT SUBMIT
07/17/24	PLANNING - MECH. WELL REVS.



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PROJECT SITE:
 194-198 CASTRO STREET,
 MOUNTAIN VIEW, CA 94041
 APN: 158-15-013

DRAWN	SAE/GTF/JTF
DATE	07/17/24
SCALE	AS NOTED
PROJECT NO.	21.26

PROPOSED THIRD FLOOR PLAN

SHEET NO.
A3.2

NEW CONSTRUCTION KEYED NOTES

- 24. @ (N) RESTROOMS. INSTALL BATHRM VANTY, COUNTER TOP W/BACKSPASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK, VERIFY FINAL LOGS, AND MEP REQMENTS. IN FIELD W/OWNER, TYP.
- 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (ibid).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE, PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED), NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
- 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT, PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
- 30. AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
- 31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK, PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC., PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP. (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
- 19. PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES, REFER TO DOOR SCHEDULE, RWV, DR. MODEL CHOICES W/ HIST. ARCH. PRIOR TO PURCHASE, PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT. 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 21. INSTALL (N) FLR. FINISHES W/ MATL. AS SEL. BY OWNER, VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION, CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM, INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC'D BY OWNER, PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG'S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D, PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/OWNER
- 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.

NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

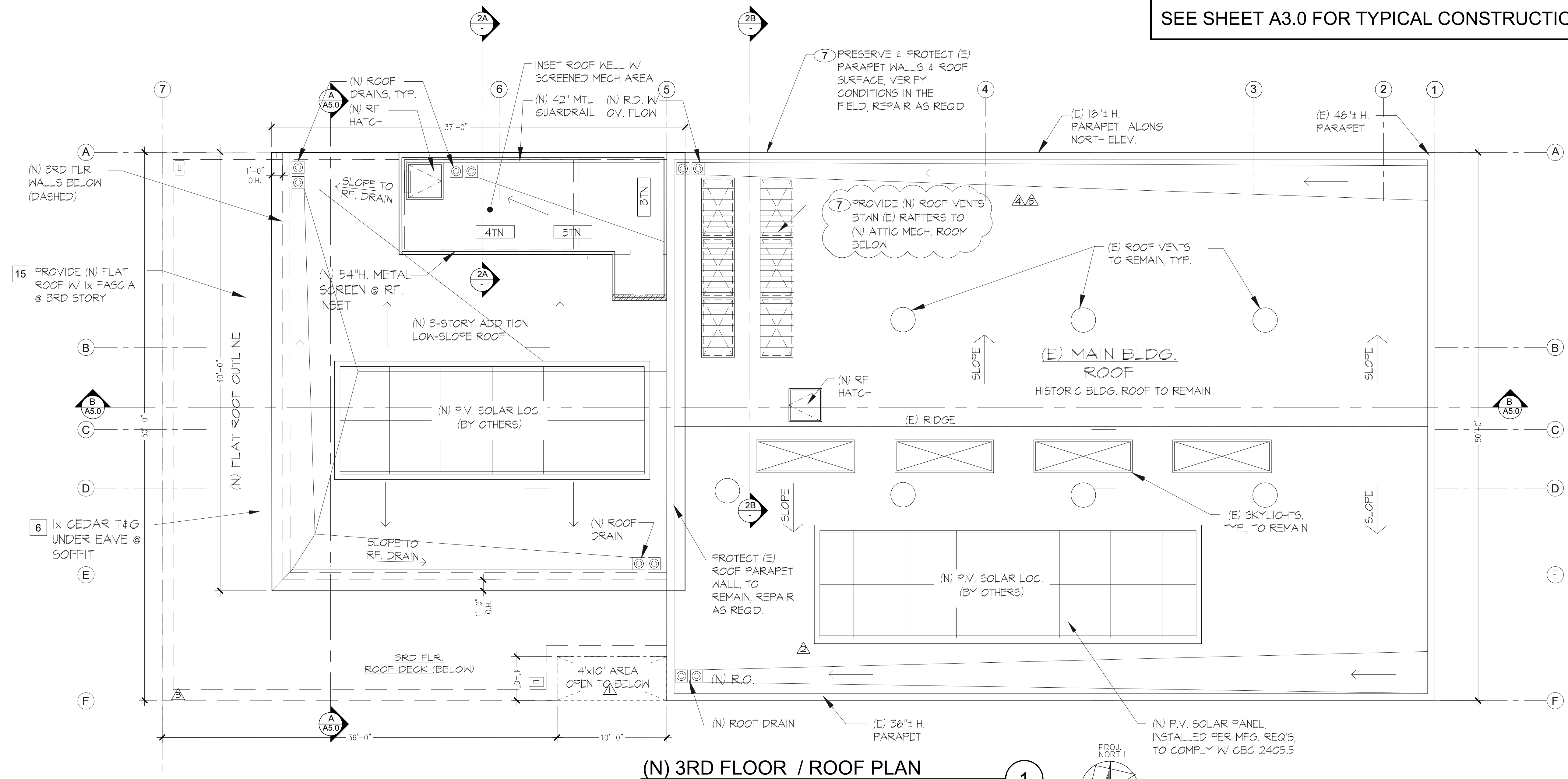
- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION, COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION, REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYPBD NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP., PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN, FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP. BD., TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN, OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED: (NOTE: USE FORMALDEHYDE FREE) - CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP. - WALLS R-XX(TBD) MIN. BATT INSUL. TYP. - FLOORS R-XX(TBD) MIN. BATT INSUL. TYP. - PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES, (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D, VERIFY FINAL LOC. IN FIELD W/OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF, REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA. GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA. GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.

JURIAN BUILDING NOTES

- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D - PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D, VERIFY W/ OWNER PRIOR TO WORK, PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL, ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D, PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES, RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQS.
 - 3. (E) EXTERIOR DR. S., SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF. MATL. @ (E) PARAPET WALLS, REPAIR AS REQ'D, PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - 8. (E) WINDOWS - UNLESS SCHEDULED FOR REMOVAL, ALL WDW. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

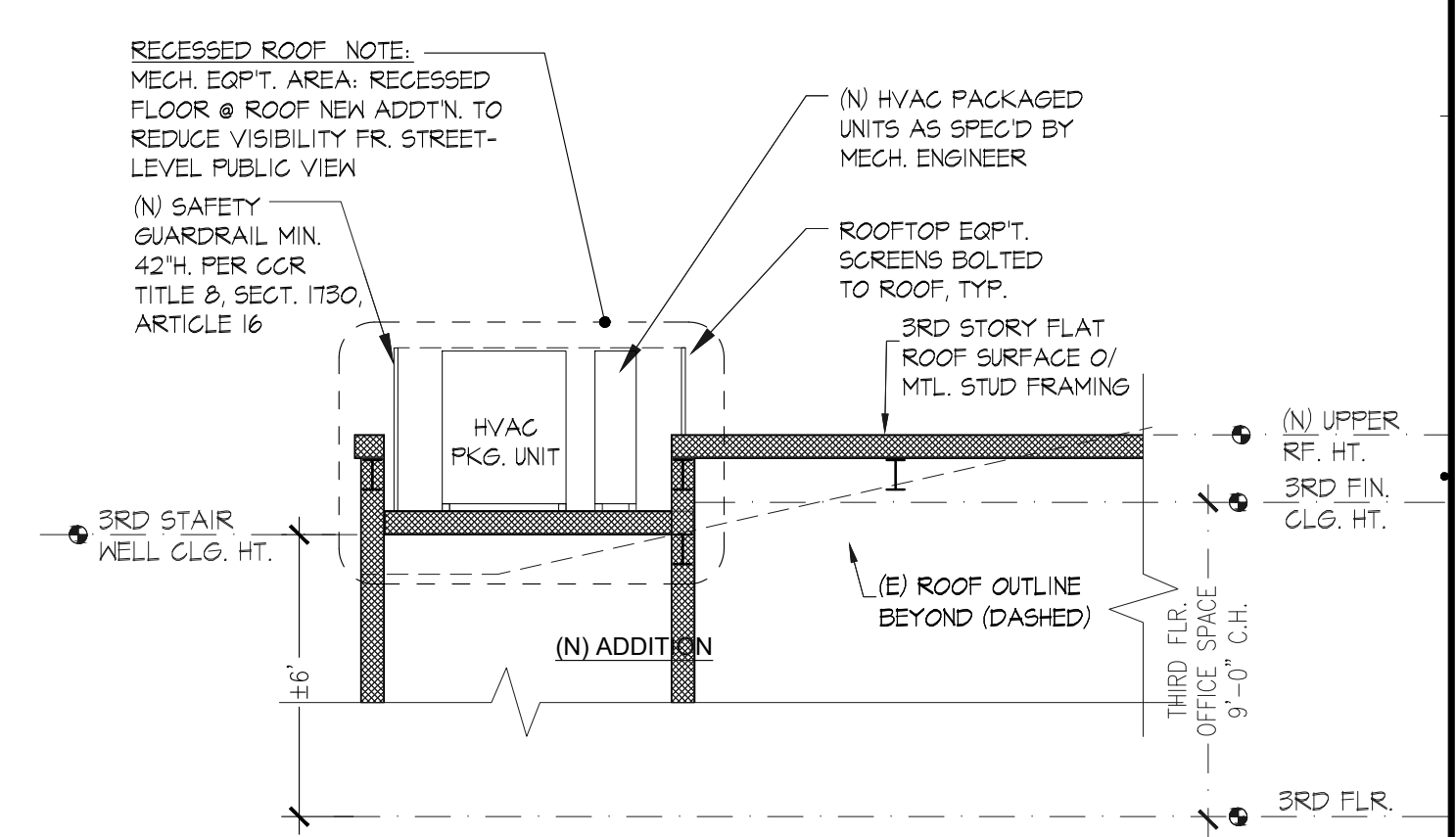
SEE SHEET A3.0 FOR TYPICAL CONSTRUCTION NOTES



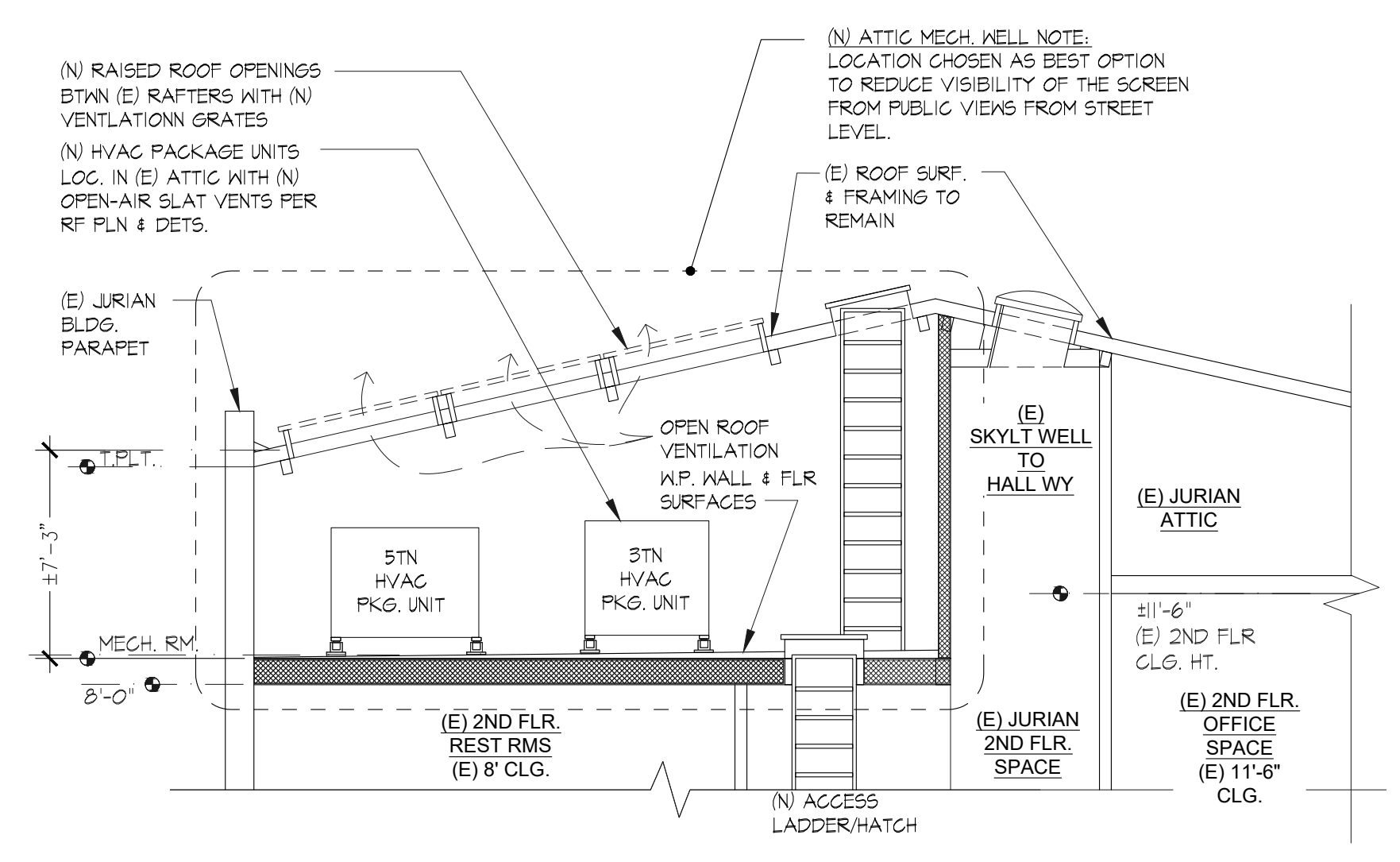
(N) 3RD FLOOR / ROOF PLAN
SCALE: 3/16"=1" 1

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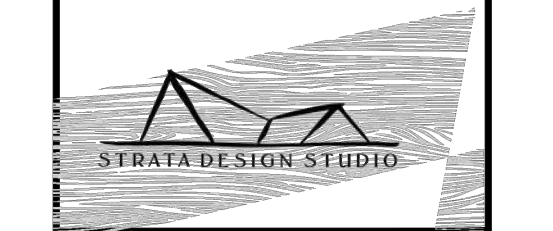
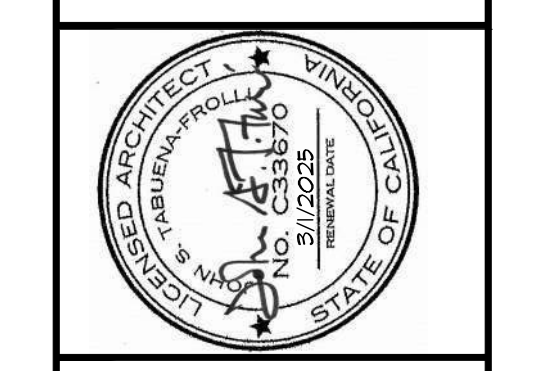
(N) ROOF MECH. AREA SECT.
SCALE: 3/16"=1" 2A



SECT.: (E) HIST. ATTIC MECH. AREA
SCALE: 3/16"=1" 2B

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMITL
03/20/23 FORMAL PLANG SUBMITL
06/20/23 FORMAL PLANG RESUBMITL
09/01/23 FORMAL PC REVS
10/16/23 FORMAL PC REVS 2
11/20/23 DRC SUBMITL
01/16/24 DRC RESP. ELEV. OPTS A & B
05/03/24 PLANG RESUBMITL SUBMITL
07/17/24 PLANG - MECH. WELL REVS



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION
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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF
DATE
07/17/24
SCALE
AS NOTED
PROJECT NO.
21.26

ROOF PLAN & ROOF SECTIONS

SHEET NO.
A3.3

NEW CONSTRUCTION KEYED NOTES

NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

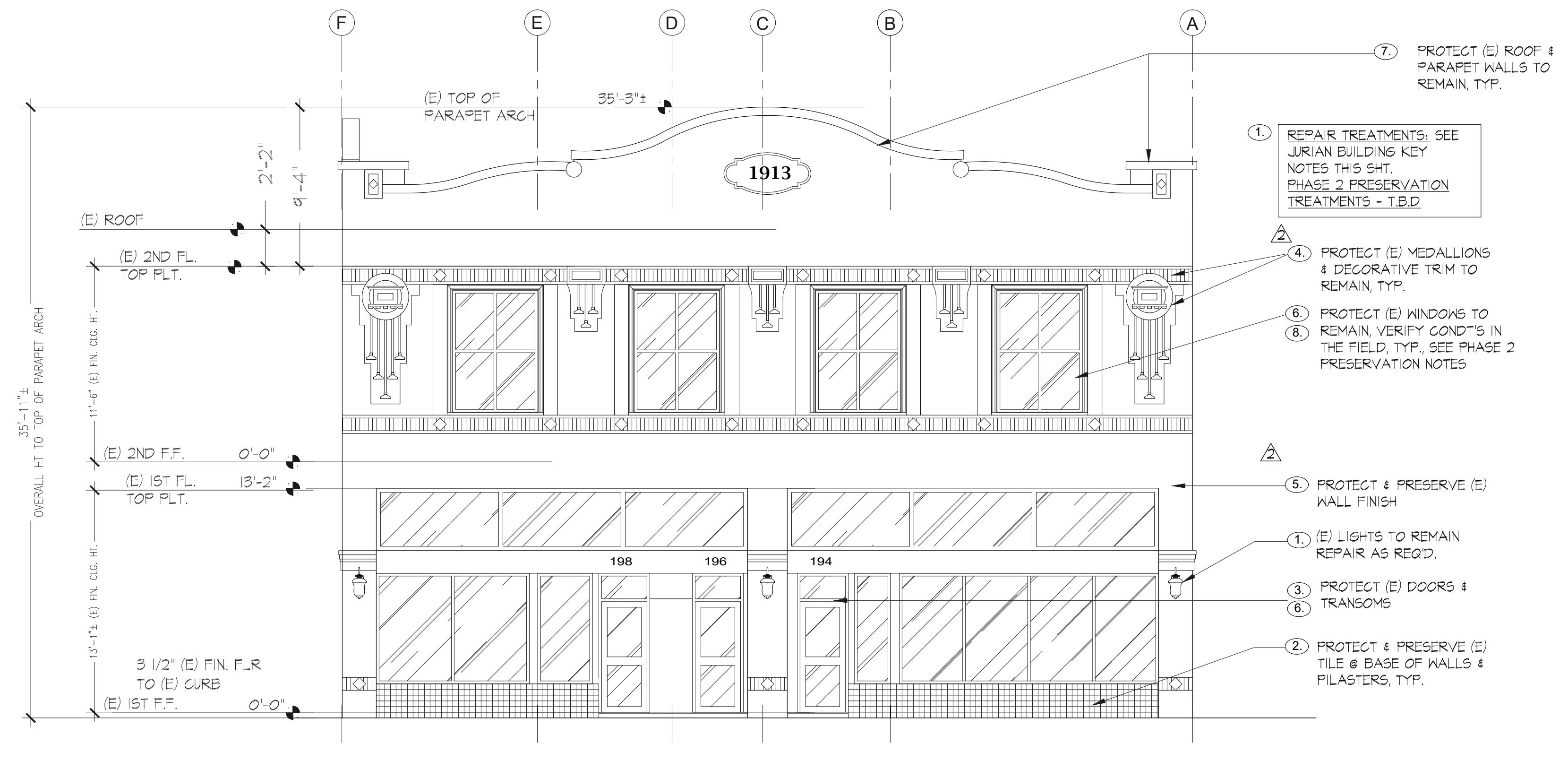
9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
11. INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL. ADDITION. REFER TO DETAILS & STRUCT. DWGS.
12. INSTALL (N) GYPBD NALLED W/DRYWALL SCREWS @ 8" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP. BD. TYP.
13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING. TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
14. PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP.
- WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
- FLOORS R-XX(TBD) MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
16. PROVIDE (N) LOW-SLOPED ROOF O(N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED. REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER. TYP.
18. WINDOWS:
(N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS. PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING. TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
19. PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEV. INSTALL PER MFG. INSTRUCTIONS.
20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE, R.V.W. DR. MODEL CHOICES W/ HIST. ARCH. PRIOR TO PURCHASE. PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-6(A-C) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
21. INSTALL (N) FLR. FINISHES W/ MAT'L. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MAT'L. AS SPEC. BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG.S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRAD. VERIFY COLOR W/OWNER.

23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS. PER CBC SECT. 3002.4
24. @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LACS. AND MEP REQMTS. IN FIELD W/OWNER. TYP.
25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP. BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS. TYP. REFER TO FLOOR PLAN & SECTIONS (tbd).
26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
28. PROVIDE: (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL. MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
30. AT 2ND STORY PROVIDE ATTIC LADDER W/ MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

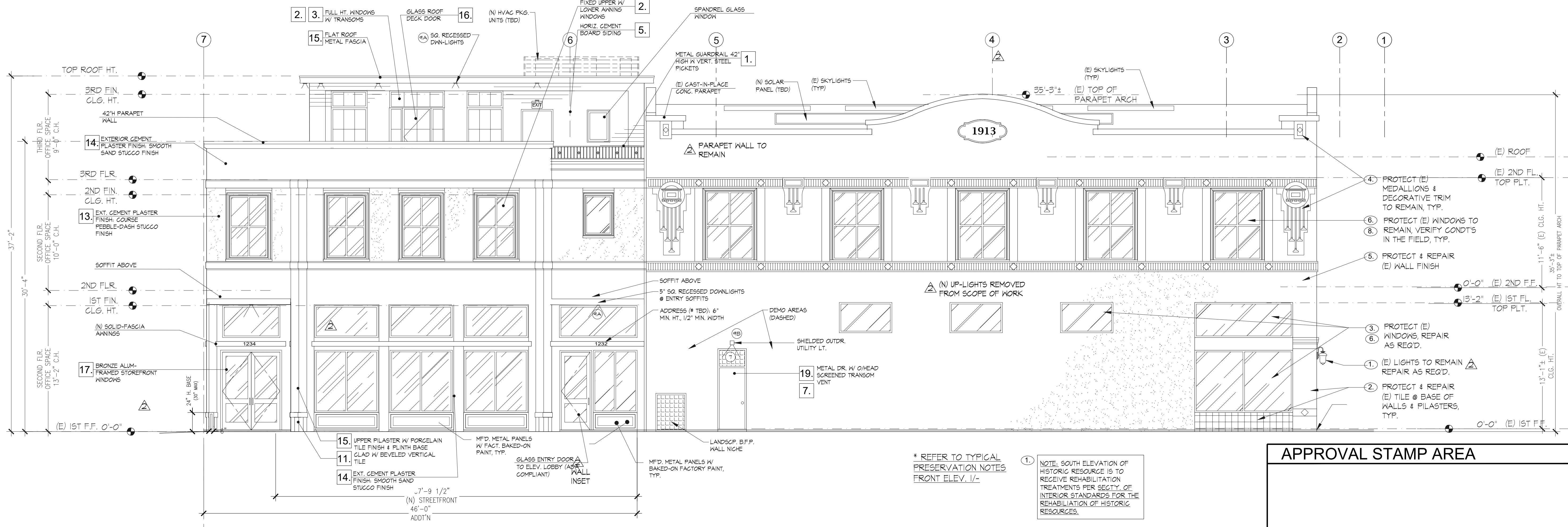
JURIAN BUILDING REPAIR NOTES

- EXISTING JURIAN BUILDING**
1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S
 3. (E) EXTERIOR DR. SIDELIGHT, AND TRANSOM TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D. REPAIR TO MATCH THE (E) HIST. MOULDING PROFILES.
 5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MAT'L @ (E) PARAPET WALLS. REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

TYP. CODE NOTES- SEE SHT A0.2.4



(E) NORTH ELEVATION (CASTRO ST.)
SCALE: 3/16"=1'



(N) SOUTH ELEVATION (VILLA ST.)
SCALE: 3/16"=1'

APPROVAL STAMP AREA

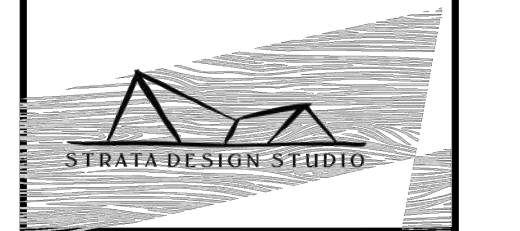
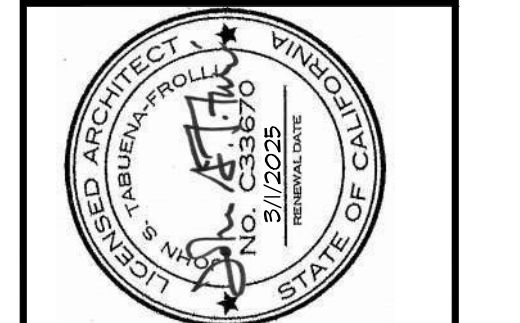
DRAWN: SAE/GTF/JTF
DATE: 07/17/24
SCALE: AS NOTED
PROJECT NO: 21.26

PROPOSED ELEVATIONS- FRONT & SOUTH SIDE

SHEET NO. **A4.0**

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANNING SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



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APN: 158-15-013

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HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION

PROJECT SITE:
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DRAWN:
SAE/GTF/JTF

DATE:
07/17/24

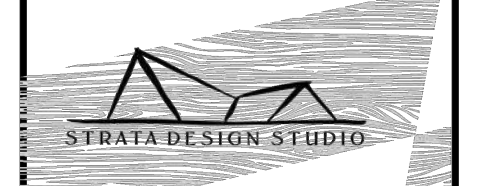
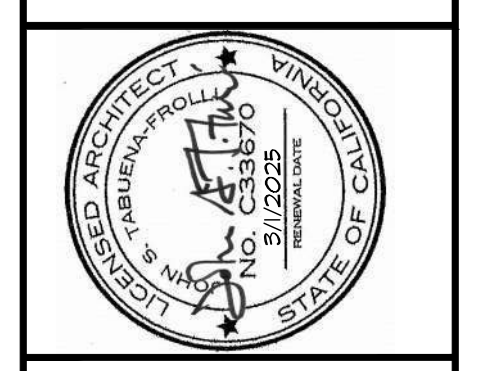
SCALE:
AS NOTED

PROJECT NO:
21.26

PROPOSED ELEVATIONS- FRONT & SOUTH SIDE

SHEET NO.
A4.0

HISTORIC JURIAN BLDG
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10/16/23 FORMAL PC REV 2
11/20/23 DRC SUBMIT.
01/16/24 DRC RESP. ELEV. OPTS A & B
05/03/24 PLANNING RESUBMIT. SUBMIT.
07/17/24 PLANNING - MECH. WELL REVS.



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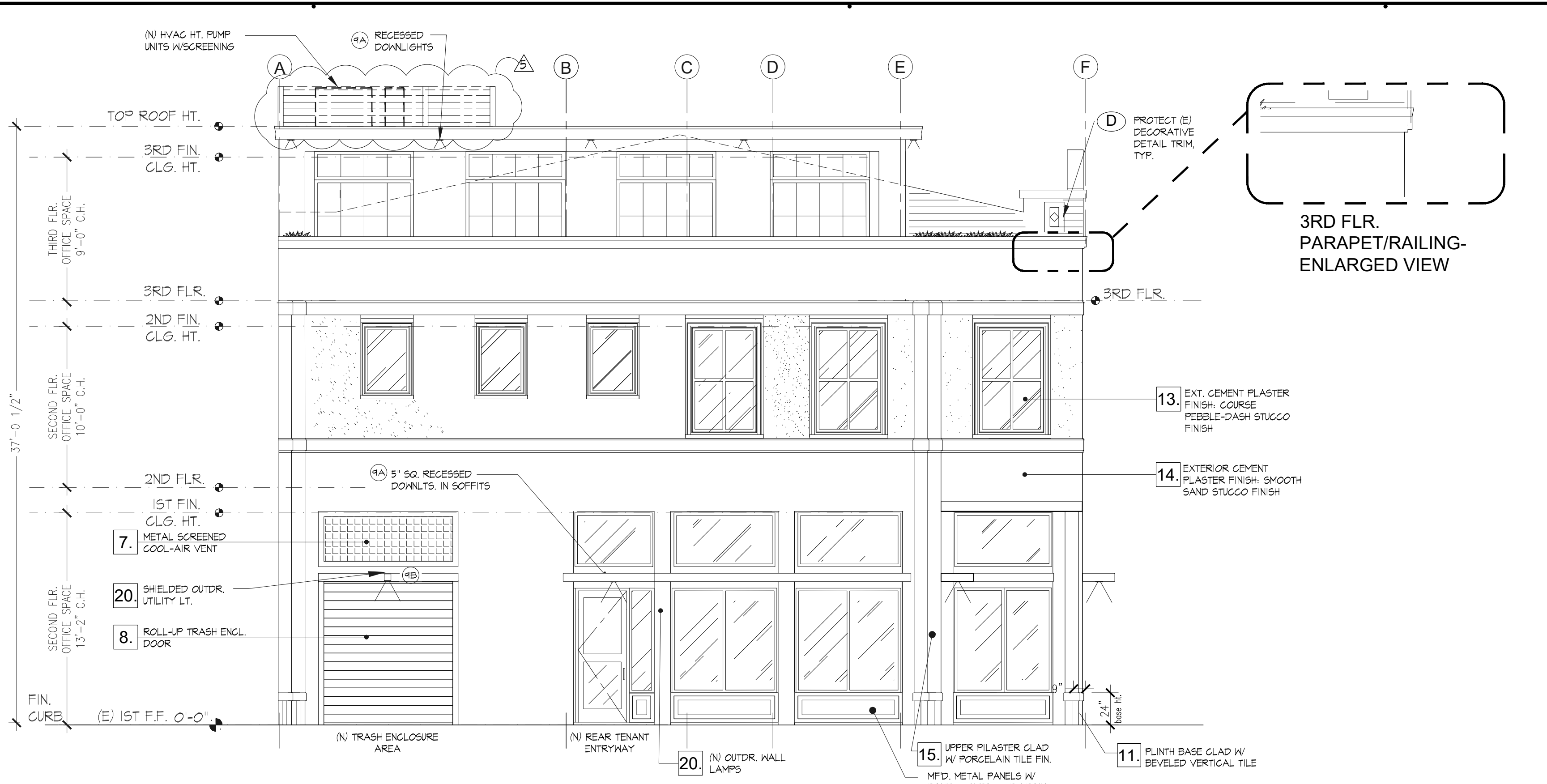
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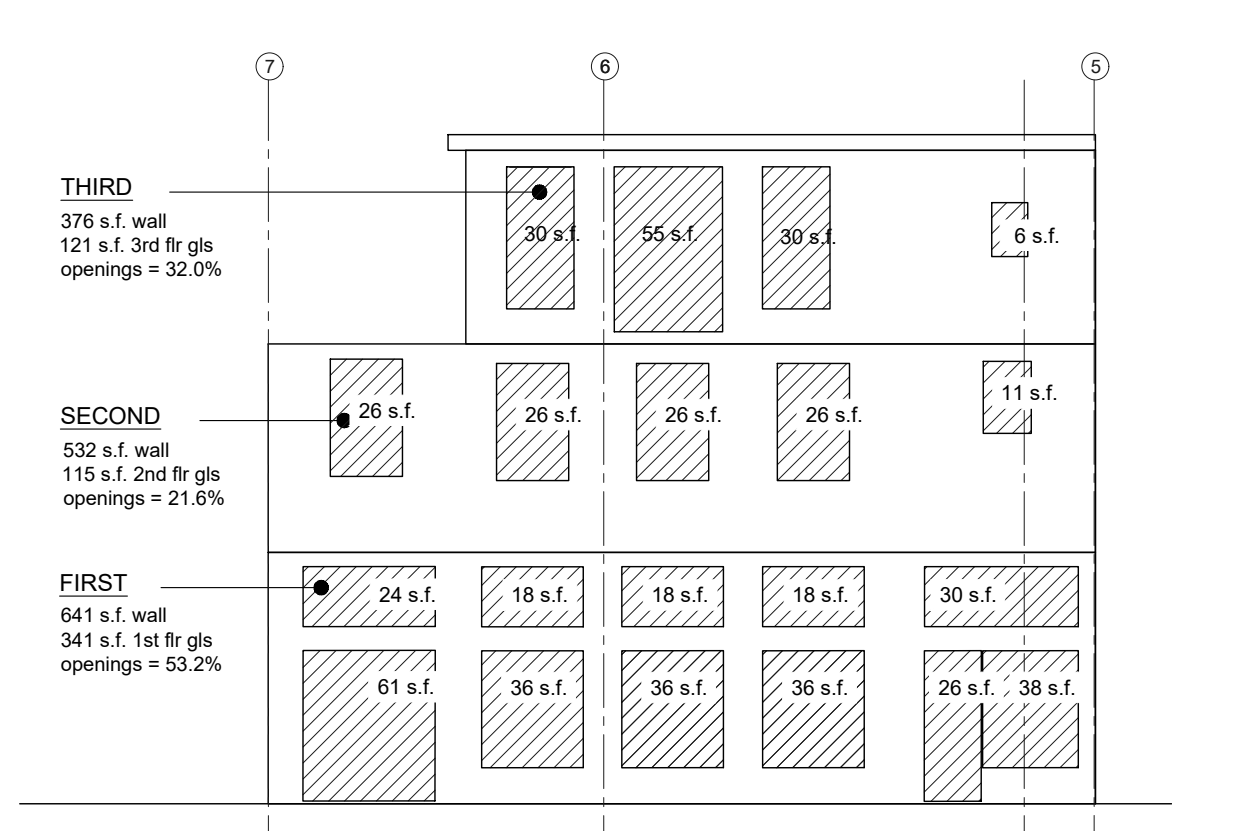
PROPOSED
ELEVATIONS-
REAR & NORTH
SIDE

SHEET NO.
A4.1

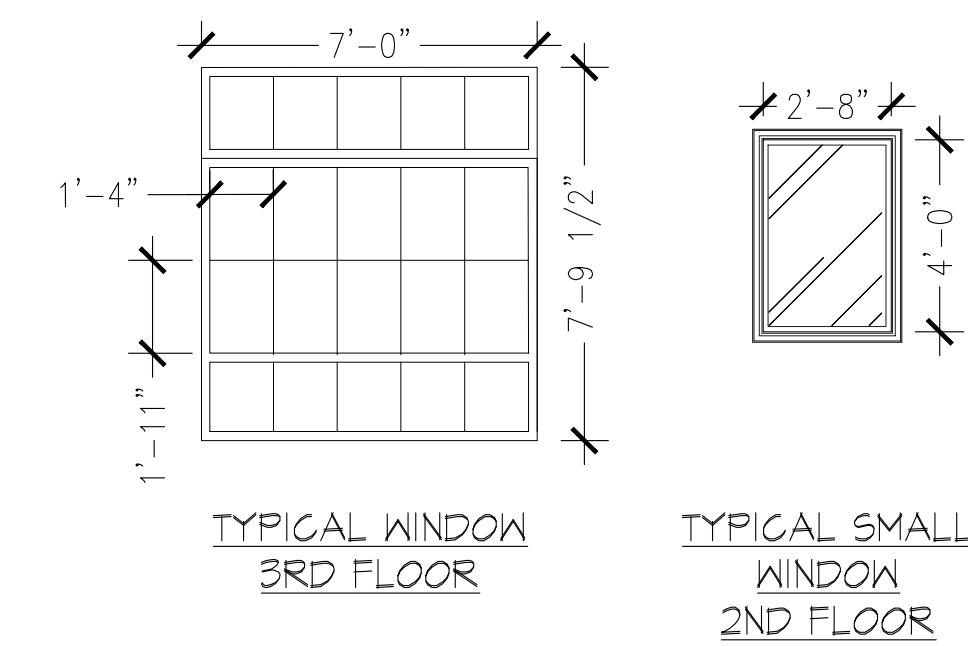
--- TYP. CODE NOTES- SEE SHT A0.2.4
--- TYP. KEYED NOTES- SEE SHT. A4.0



**(N) REAR (WEST) ELEVATION
@ WILD CHERRY LANE**
SCALE: 3/16"=1' **3**



**VILLA ST. GLAZING CALCULATION
DIAGRAM**
N.T.S.



**TYPICAL WINDOWS @ 2ND &
3RD FLOORS**
SCALE: 1/4"=1'

Traditional Double Hungs

Robbie's traditional double hungs are a beautifully modern version of a classic style. The stacked sill creates a traditional appearance and helps guard against water damage. Robbie's traditional double hungs open and close smoothly and effortlessly, and the sash can be tilted in or removed for easy cleaning.

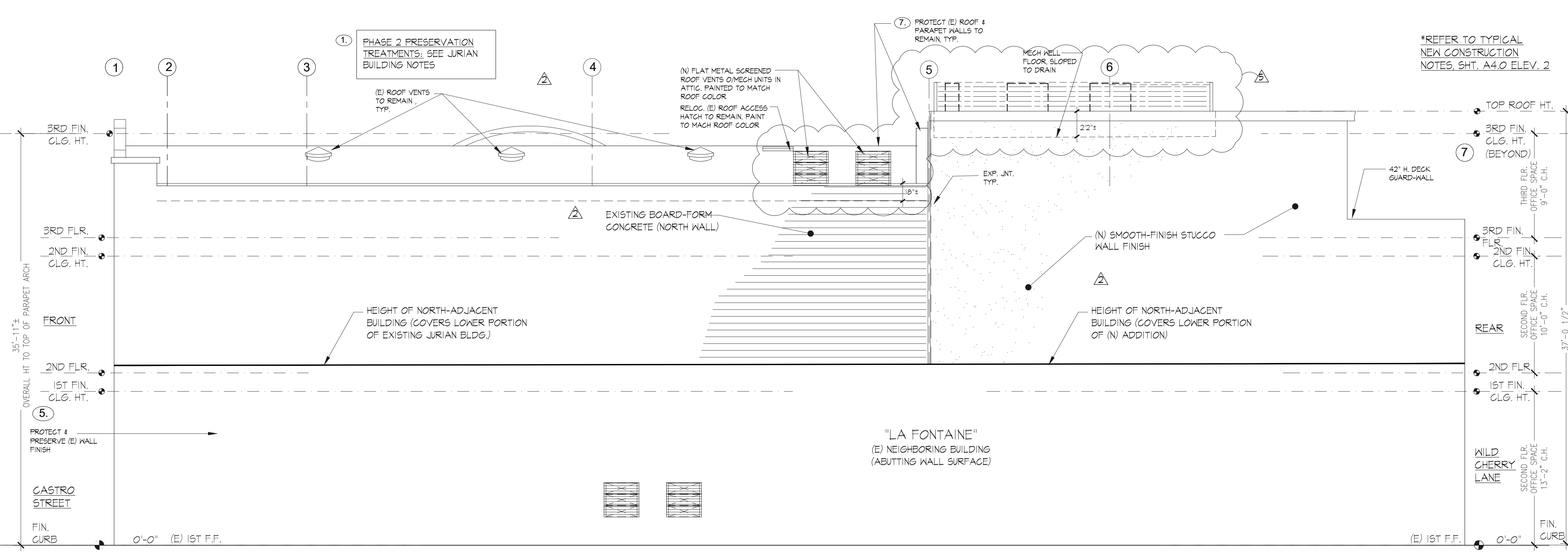
Traditional Double Hung Standard Features:

- 1 3/8" thick sash
- Overall sash width is 4 9/16" less than sash case
- Fully weatherstripped for a tight seal
- Sash thickness is 1 5/8" deep x 1 1/2"
- Constructed of pine, with pine interior strips and wood rail channels on mullion ends
- Energy efficient, insulating L67-270 glass
- Gasket to the interior with beaded neoprene gasketing
- 1 1/2" PVC exterior double-hung sash
- All exterior wood parts are preservative treated
- Exterior frames and sash are sash primed
- 1 1/2" PVC head parting strip with beaded line and recessed at the sill
- Fully weatherstripped for a tight seal
- Clay colored heavy duty sash lock
- Machined finger grooves on the top rail of the upper sash and bottom rail of the lower sash
- Spring loaded track and buckle mechanical balances to carry the sash weight
- Beige PVC jambline with compression foam backing to carry the sash weight
- Pre-wired head and sash tracks, unique sash, mullion and cable support system on day units

Hardware:
Clay-colored cam locks are factory-applied to Traditional double hung units as standard. Other finishes available are White, Bronze, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Linen, Oil Rubbed Iron, Matte Black. For units without finger grooves, sash fit handles in Clay, White, Bronze, Antique Brass, Satin Nickel, Antique Nickel, Rustic Linen, and Matte Black finishes are available.

*The Double Hung is a large unit, which means that it will require professional installation.

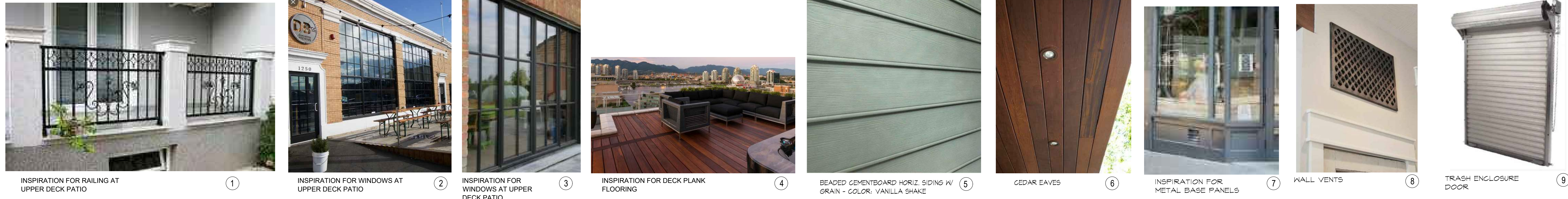
WINDOW CUT SHEET



(N) RIGHT (NORTH) ELEVATION
SCALE: 3/16"=1' **5**

APPROVAL STAMP AREA

MATERIALS & FINISHES



EXTERIOR FINISH NOTES

1. 42" H. PARAPET WALL GUARDRAIL W/ DECORATIVE METAL FRAME GUARDRAIL
2. SECOND STORY WINDOWS W/ BIRD-PROOF GLASS: UPPER FIXED W/ LOWER AWNINGS
3. WALL HEIGHT BRONZE ALUM. FRAMED CLEAR TEMPERED GLASS WINDOWS AT UPPER DECK PATIO, WITH TRANSOMS WHERE OCCURS.
4. IPE WOOD DECKING AT UPPER DECK PATIO.
5. PAINTED HARDI-BEARD HORIZONTAL CEDARWOOD GRAIN BEADED SIDING (7" EXPOSURE)
6. 1x6 FINELINE T&G CEDAR SOFFIT PANELS AT UPPER DECK PATIO ROOF.
7. BRONZE METAL TRANSOM COOL-AIR VENT COVER OVER TRASH ENCLOSURE DOOR.
8. 8'W x 9'H AUTOMATED ROLLING GARAGE DOOR AT NEW TRASH ENCLOSURE.
9. UTILITY DOWNLIGHTS AT (N) ENTRY ALCOVES AND EXTERIOR SERVICE DOORS.
10. 2x2 MATTE TERRACOTTA MOSAIC FIELD TILE AT ENTRY ALCOVES W/ 2x4 DARK BROWN TILE ACCENT BORDER.
11. PILASTERS & HORIZ. BANDING TO RECEIVE 18" x 6" TILE, DAL TILE ANNAPOLIS REMIX SAND MATTE AP11.
12. METAL WALL PANEL BASE W/MFG. FINISH
13. EXTERIOR PLASTER- COURSE PEBBLE-DASH FINISH, PRIMED AND PAINTED
14. EXTERIOR PLASTER- SMOOTH SAND FINISH, PRIMED AND PAINTED
15. FLAT ROOF W/ METAL FASCIA ROOF EDGE TRIM. PPSAND PAINTED
16. DK. BRONZE ALUM.-FRAMED ENTRY DRs W/ TEMPRD. GLASS.
17. BRONZE ALUM.-FRAMED TEMPR / BIRD-PRF. GLASS STOREFRONT WINDOWS WITH FIXED TRANSOMS.
18. SPANDREL BIRD-PRF. GLASS OPAQUE WINDOWS AT ALCOVE LOCATIONS (REFER TO PLANS).
19. METAL DOOR TO NEW MECH. ROOM W/ SCREENED METAL COLD-AIR TRANSOM VENT COVER
20. GFRC PRECAST WINDOW SILLS & SMOOTH TILE HORIZ. CONT. BAND TRIM
21. CONT. METAL AWNING / TRIM W/ MFG. PAINT.

EXTERIOR LIGHTING



9A. SQUARE RECESSED LED DOWNLIGHT 5 1/4" x 5 1/4" x 2"D
LOTUS LL4SR-2TK-K 14.5 WATT 4_SQR. RECESSED

9B. GRAY METAL LED OUTDR. DOWNLIGHT 5 1/4" x 5 1/4" x 3.9"D
TECH LTG. 700MBPITSI-LED830 PITCH SINGLE LT.

9C. WHITE LED DOWNLIGHT, 12"W x 4 1/2"H x 1"D
KUZCO LTG. ENT1412-GY CASA 12_WIDE LED

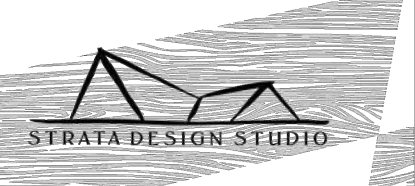
DUNNE-EDWARDS EXTERIOR PAINT COLORS

<p>PAINT COLOR A: COOKIE DOUGH DE5435</p> <p>COOKIE DOUGH</p> <p>APPLICATION: APPLY ON COURSE PEBBLE-DASH FIN. (STUCCO AREA BETHN. 2ND STORY WINDOWS)</p>	<p>PAINT COLOR B: TORTILLA DE5436</p> <p>TORTILLA</p> <p>APPLICATION: (E) JURIAN BLDG. COLOR: APPLIED ON FIELD OF PEBBLE-DASH STUCCO FINISH</p>	<p>PAINT COLOR C: VANILLA SHAKE DEK325</p> <p>VANILLA SHAKE</p> <p>APPLICATION: APPLY ON PILASTERS, & UPPER FLR. HORIZONTAL STUCCO BANDING (SMOOTH SAND STUCCO FINISH ALT.: VERT. TILE OF SIM. COLOR)</p>	<p>PAINT COLOR D: WHITE SAND DEK336</p> <p>WHITE SAND</p> <p>APPLICATION: APPLY ON SMOOTH SAND STUCCO FIN. (FIELD STUCCO & ROOF FASCIA BOARDS)</p>
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APPROVAL STAMP AREA

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11/20/23 DRC SUBMITL
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05/03/24 PLANG RESUBMITL SUBMITL
07/17/24 PLANG - MECH. WELL REVS.



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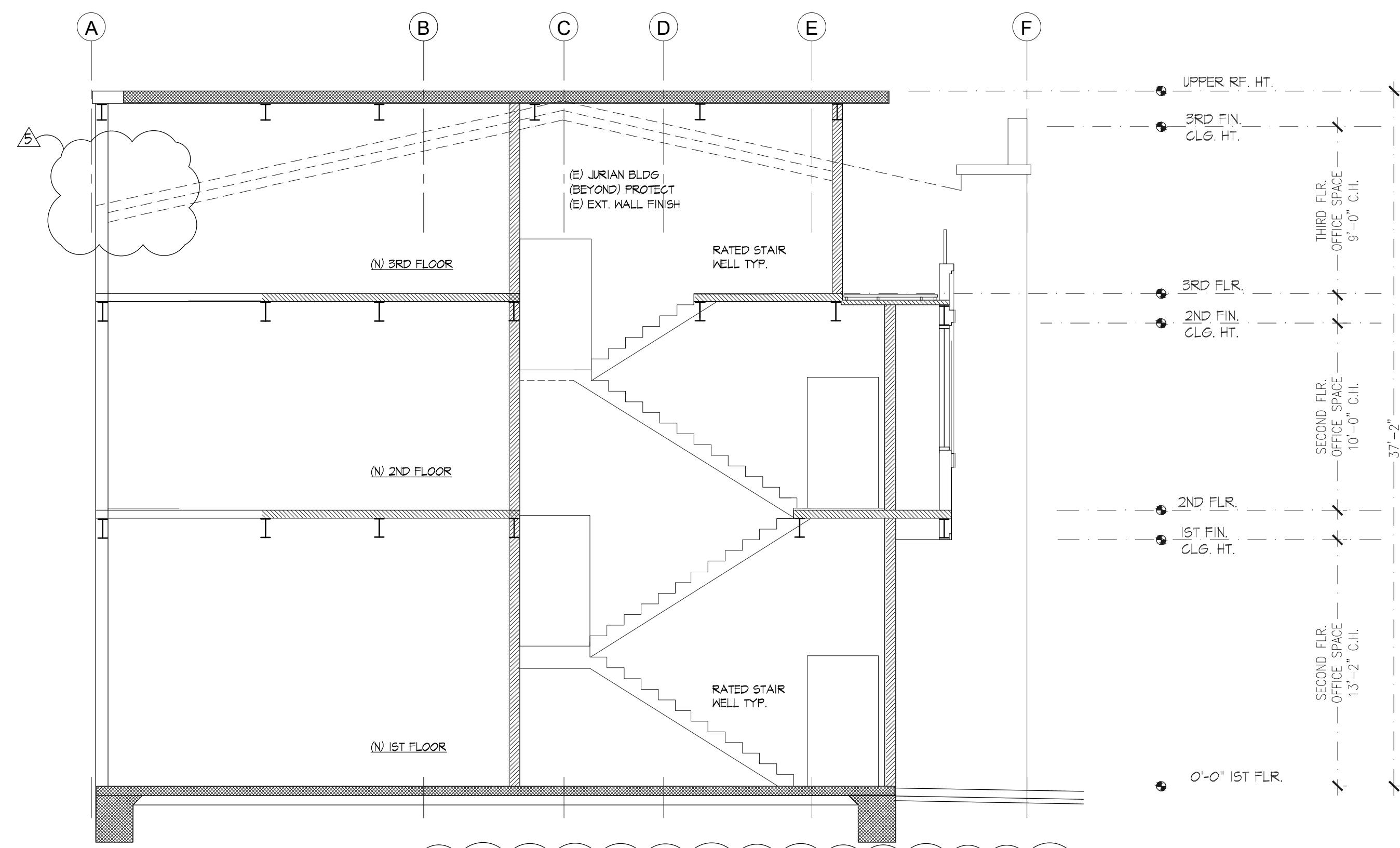
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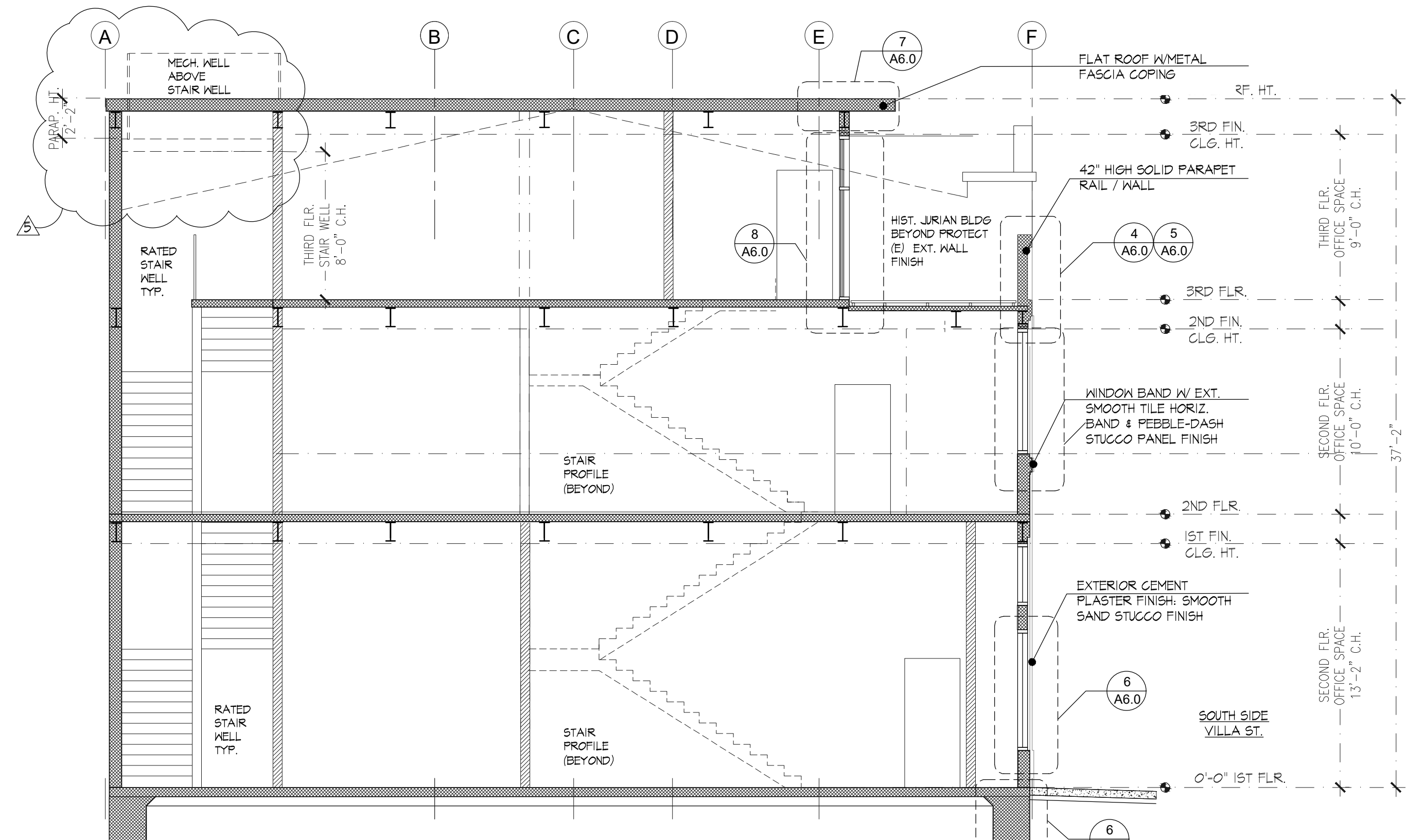
MATERIALS
AND FINISHES

SHEET NO.

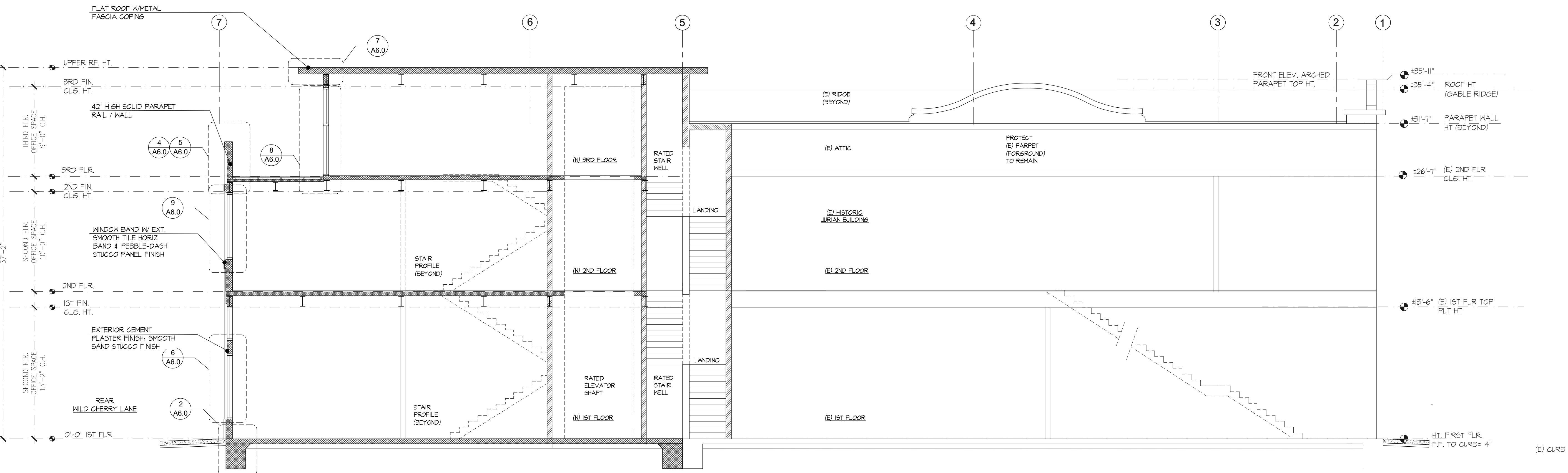
A4.2



(N) BUILDING SECTION
SCALE: 3/16"=1'
CC



(N) BUILDING SECTION
SCALE: 3/16"=1'
AA



(N) BUILDING SECTION
SCALE: 3/16"=1'
BB

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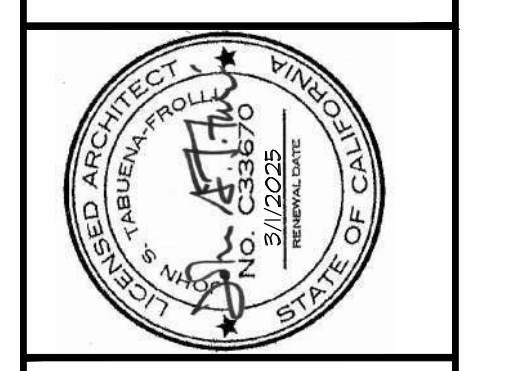
SCALE
AS NOTED

PROJECT NO.
21.26

SECTIONS

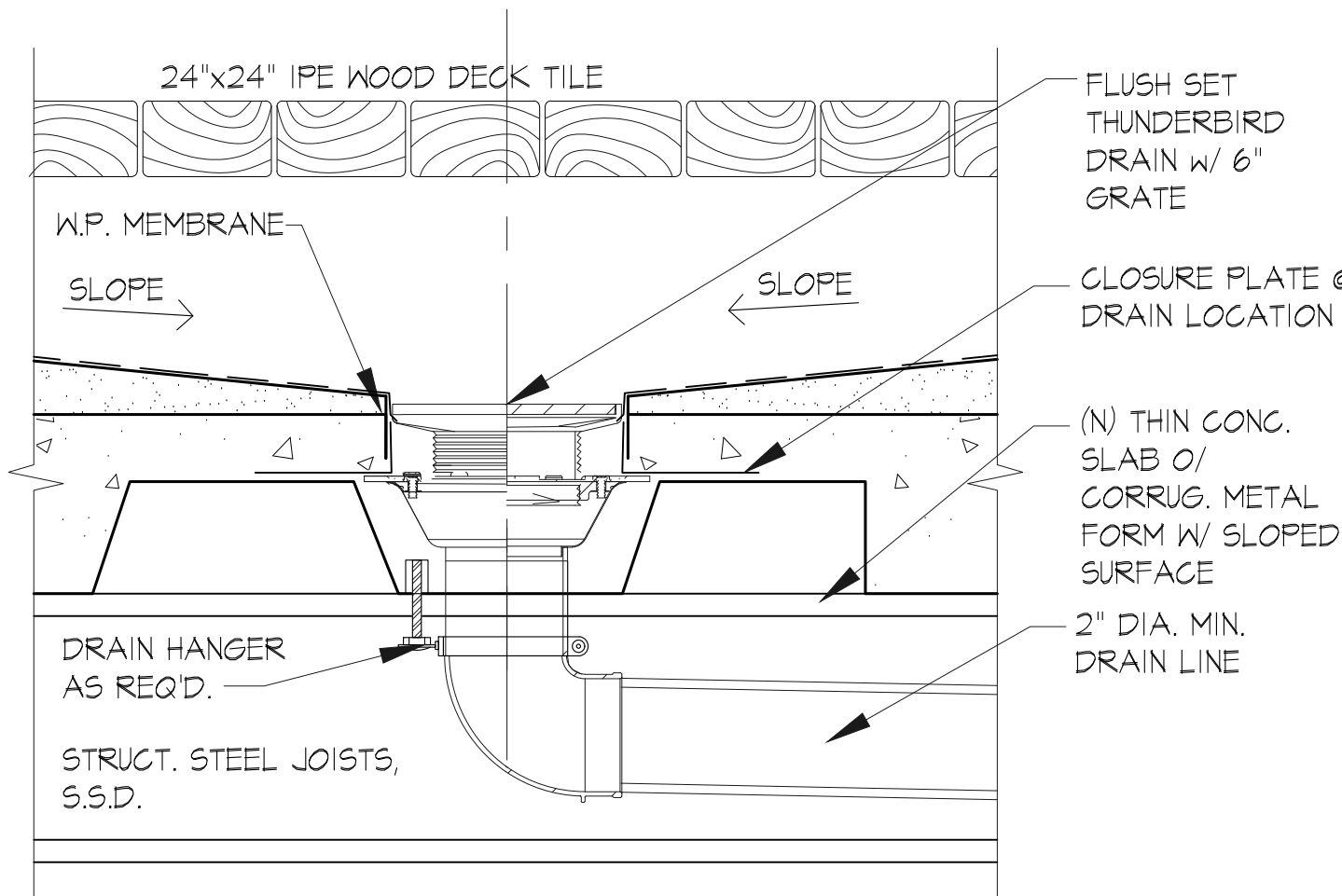
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HISTORIC JURIAN BLDG
ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMITL
03/20/23 FORMAL PLANG SUBMITL
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05/03/24 PLANG RESUBMITL SUBMITL
07/17/24 PLANG - MECH. WELL REVS.



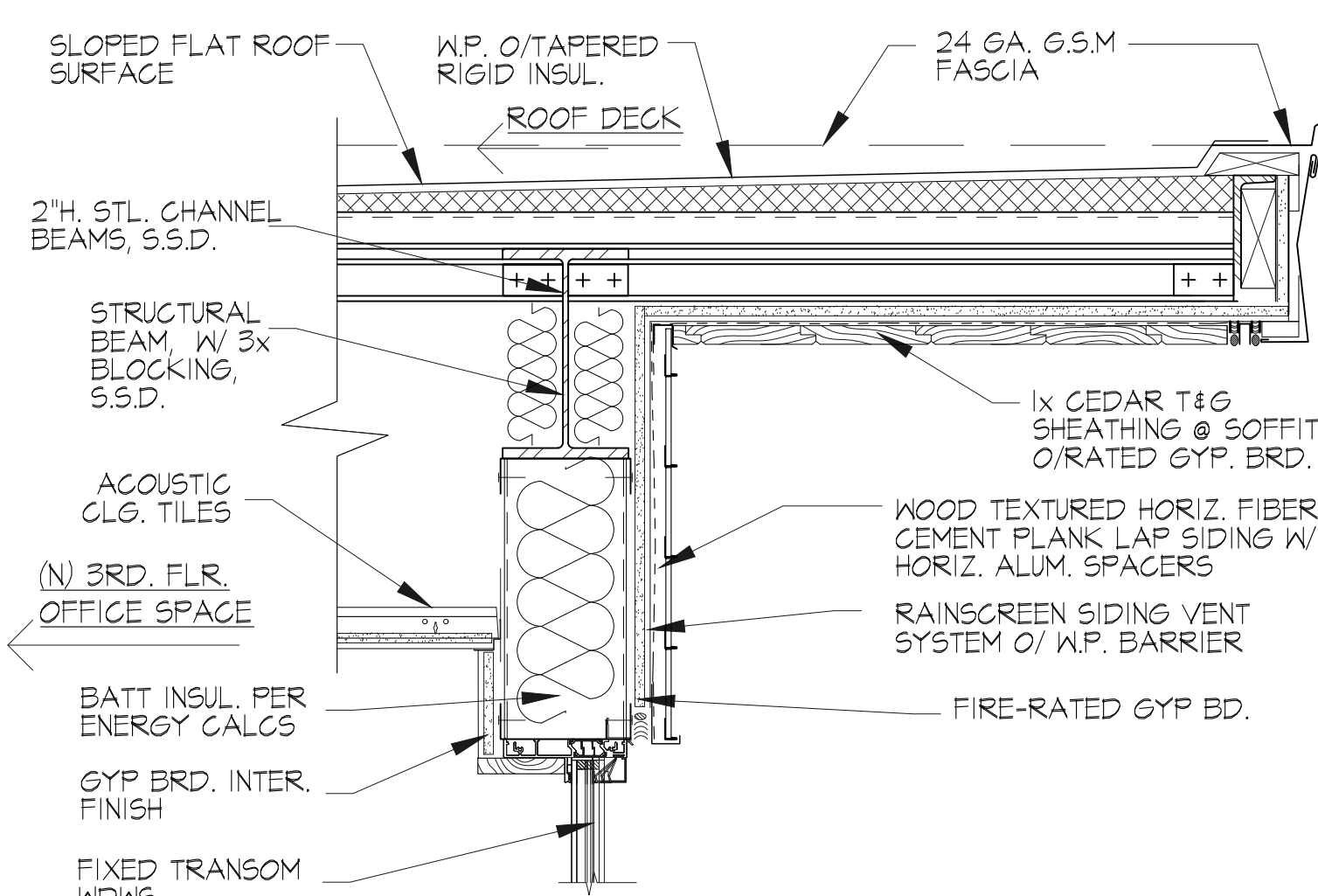
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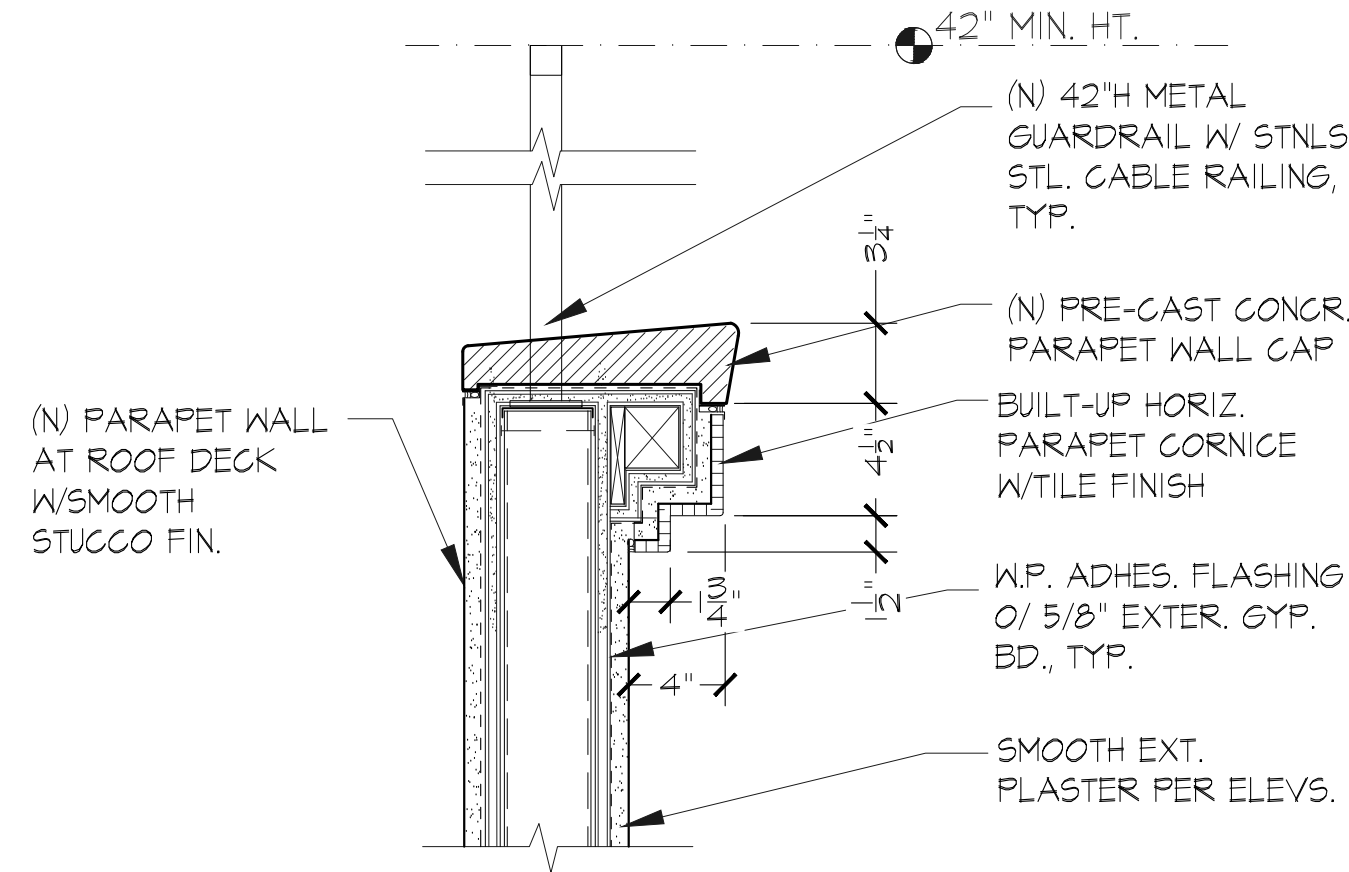
FLOOR DRAIN @ ROOF DECK

3" = 1'-0" 10



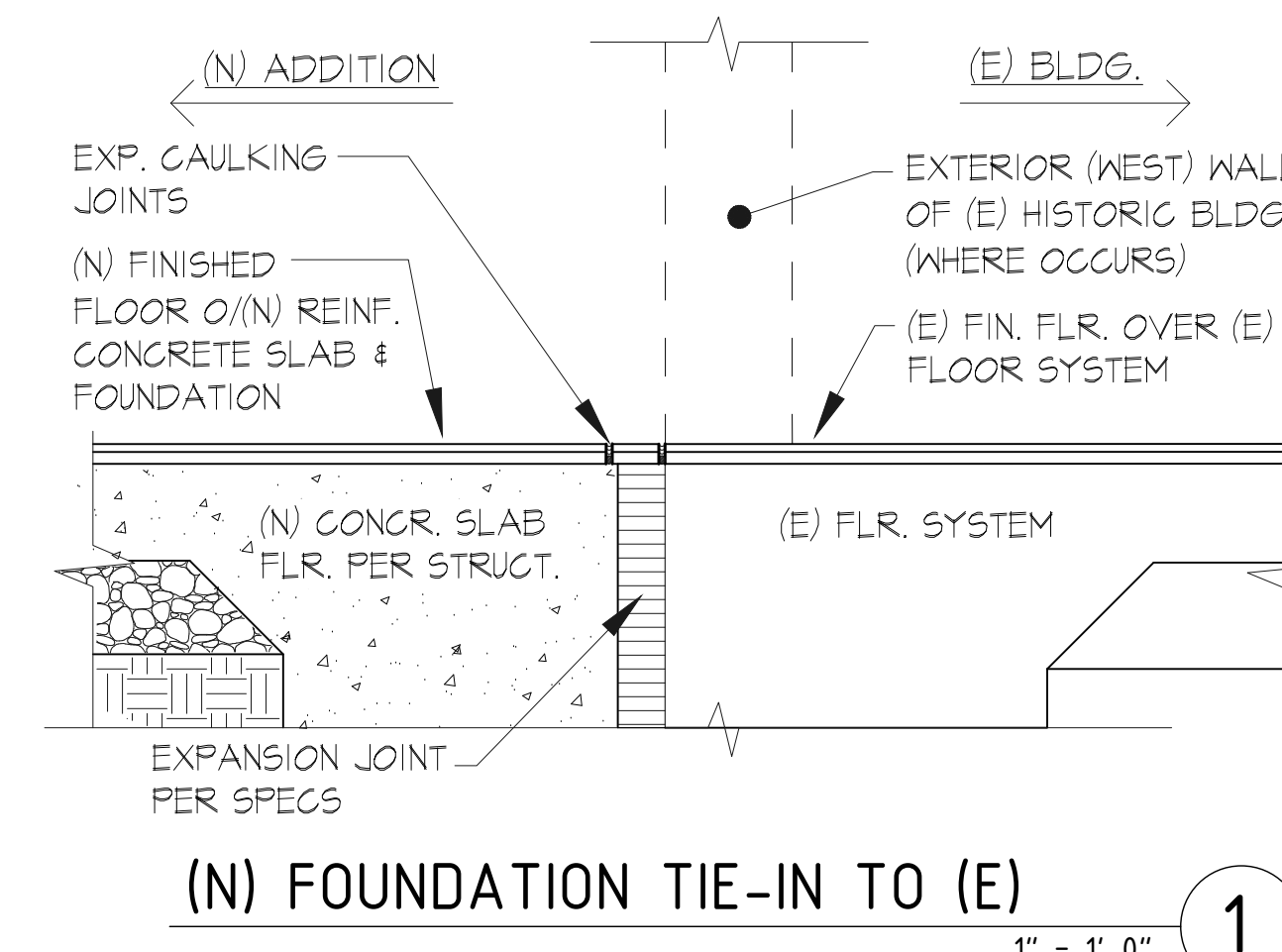
(N) ROOF EAVE

1 1/2" = 1'-0" 7



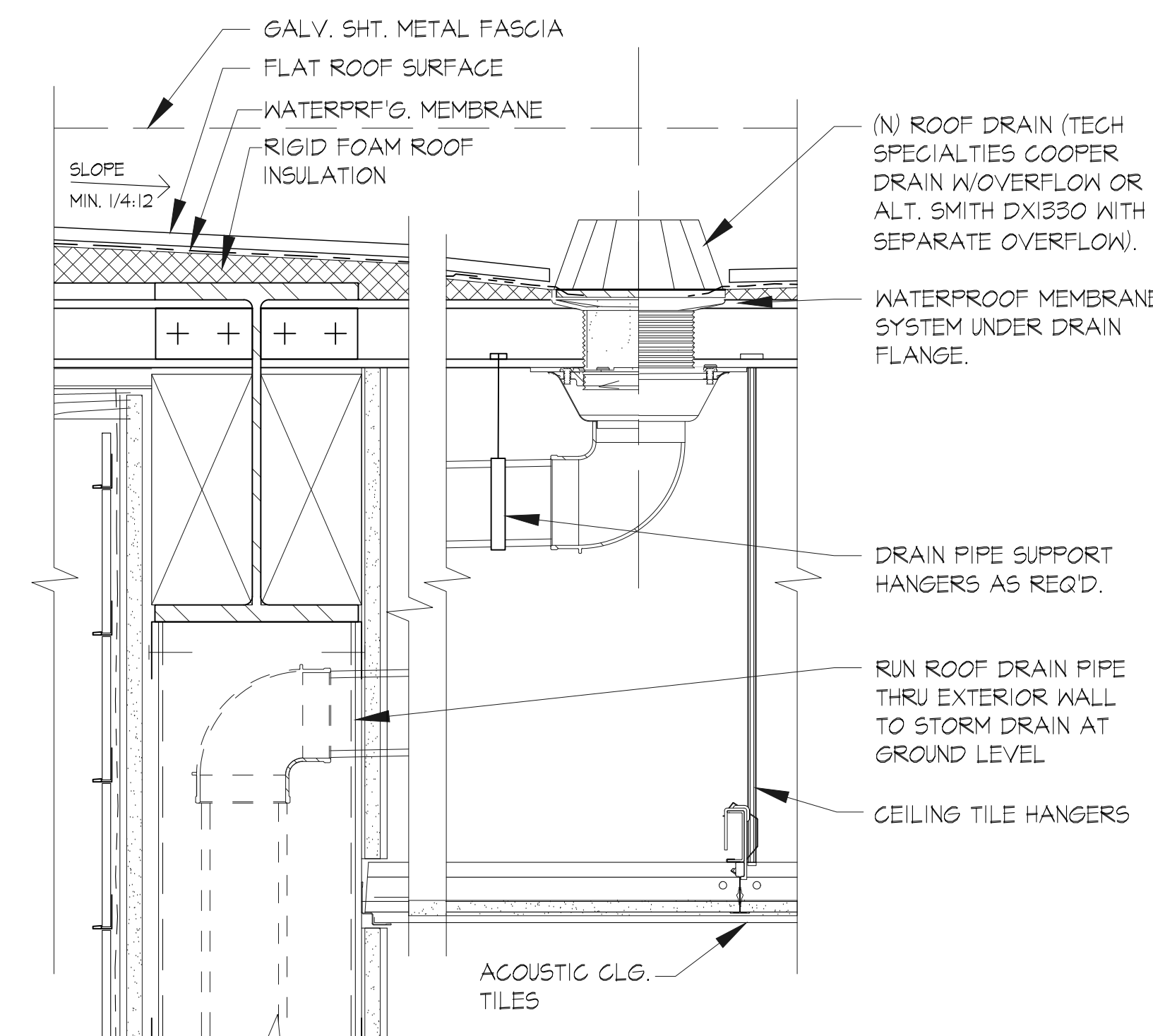
PARAPET CAP & GUARDRAIL @ 3RD STORY ROOF DECK

1 1/2" = 1'-0" 4



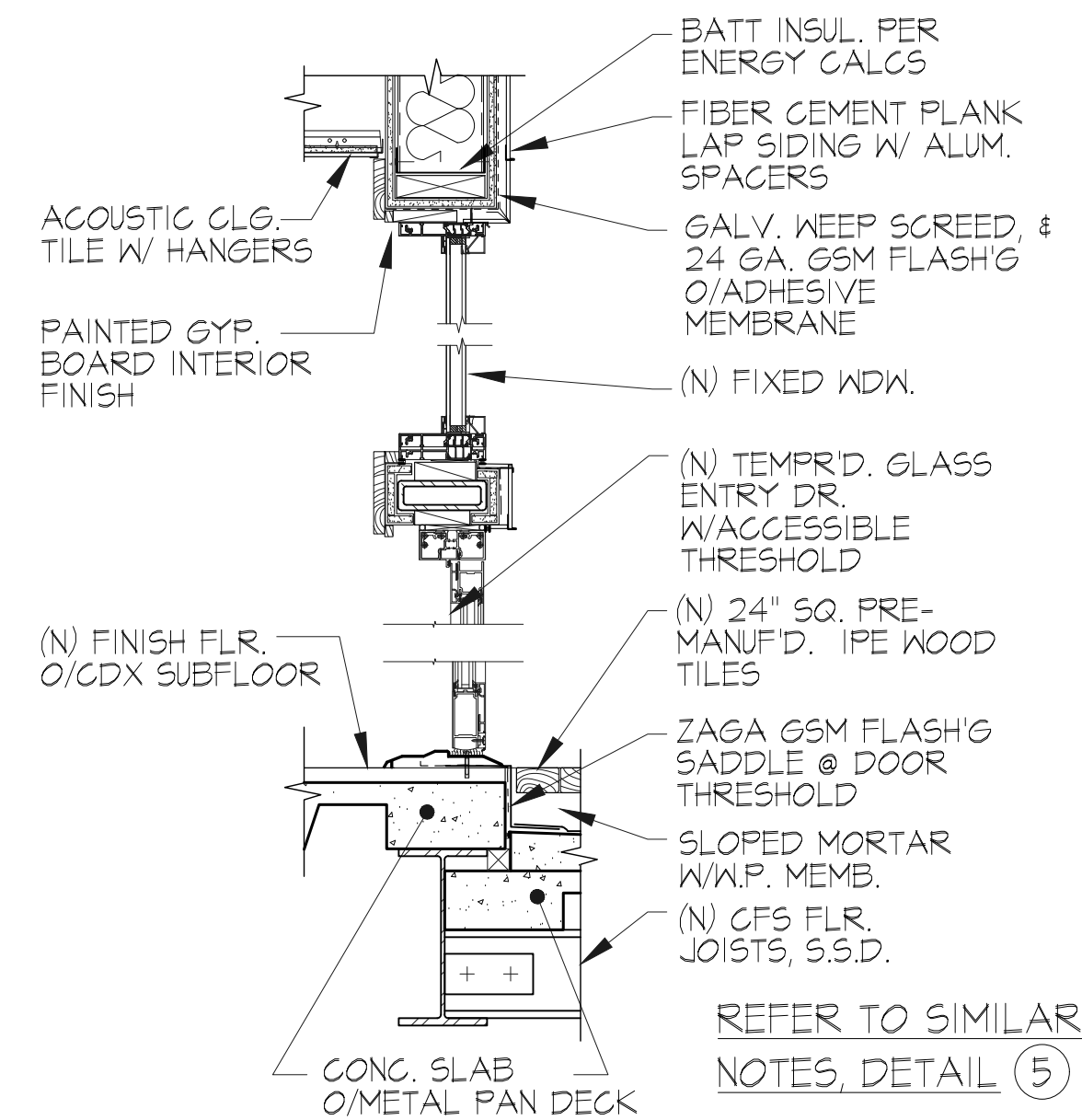
(N) FOUNDATION TIE-IN TO (E)

1" = 1'-0" 1



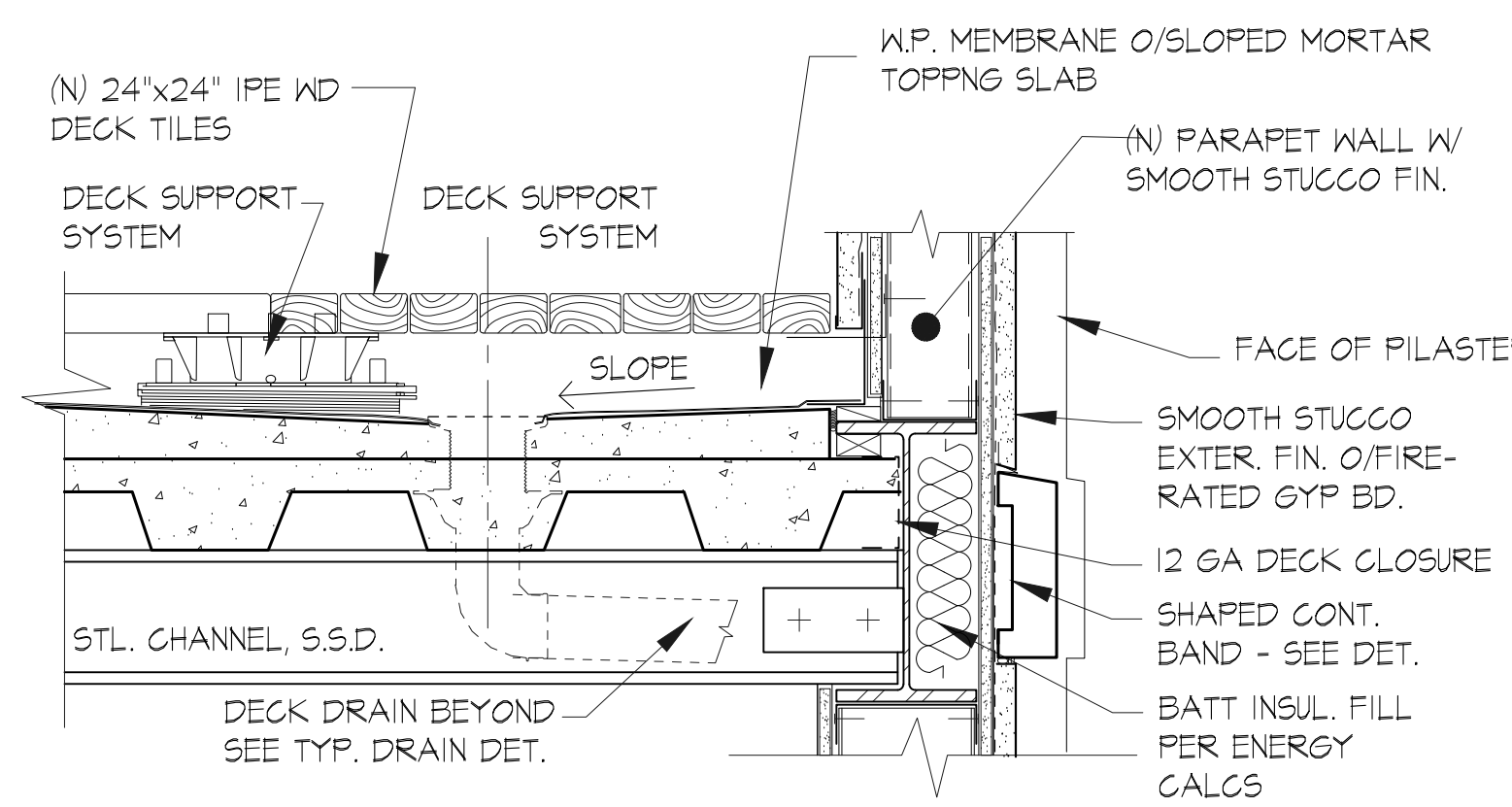
ROOF DRAIN

3" = 1'-0" 11



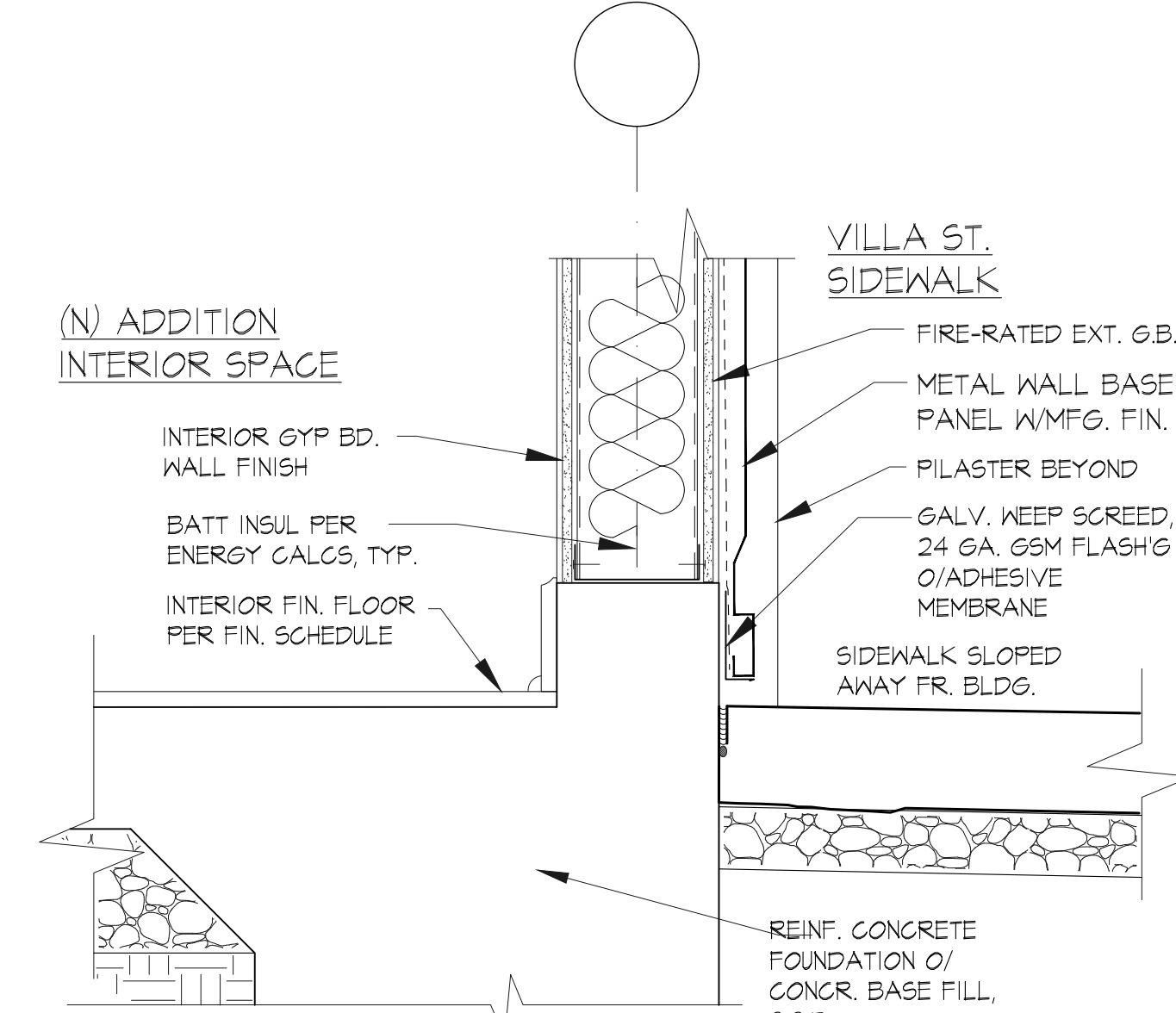
3RD STORY ENTRY DOOR @ ROOF DECK

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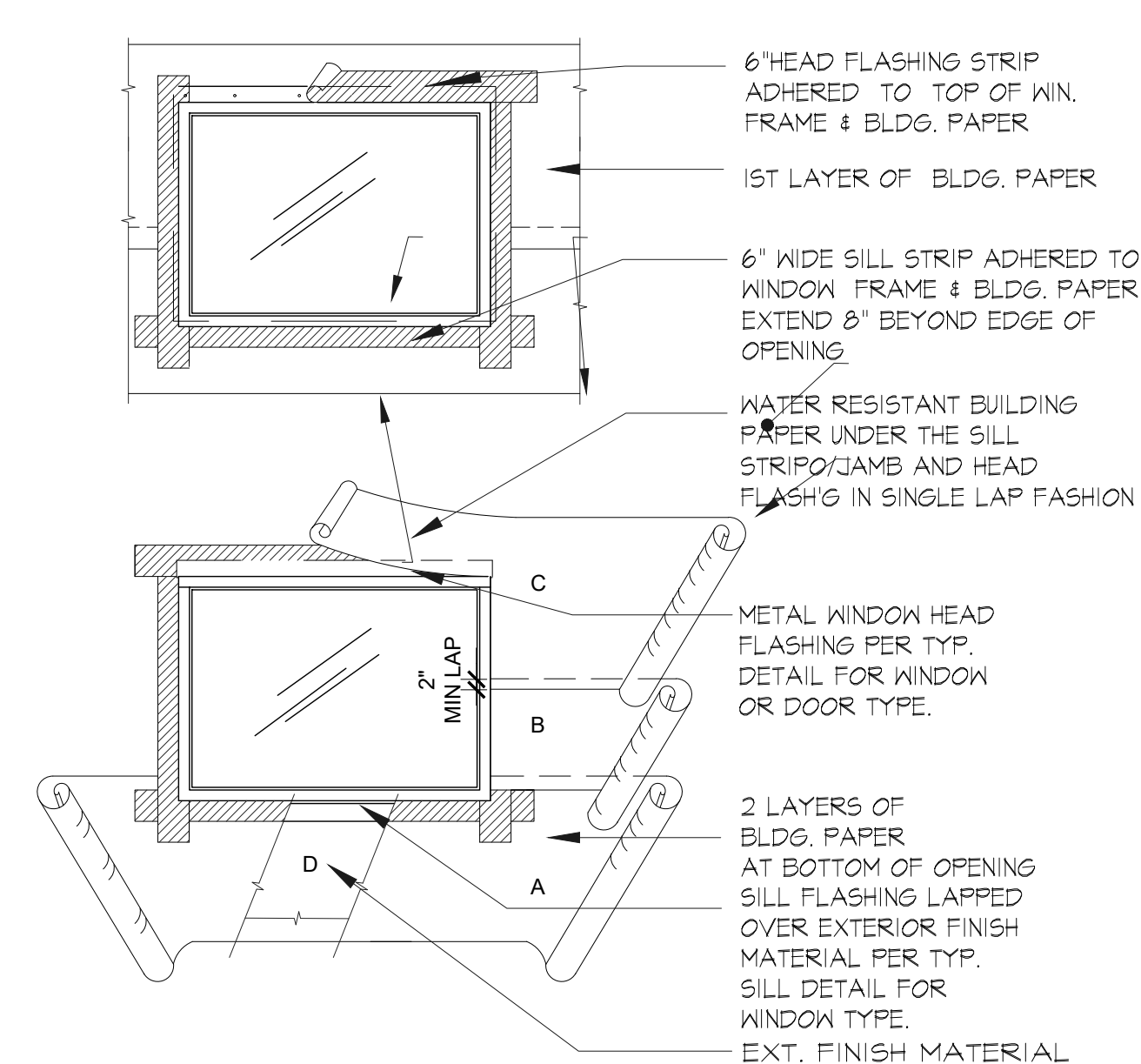
FLOOR & PARAPET WALL BASE @ 3RD STORY ROOF DECK

1 1/2" = 1'-0" 5



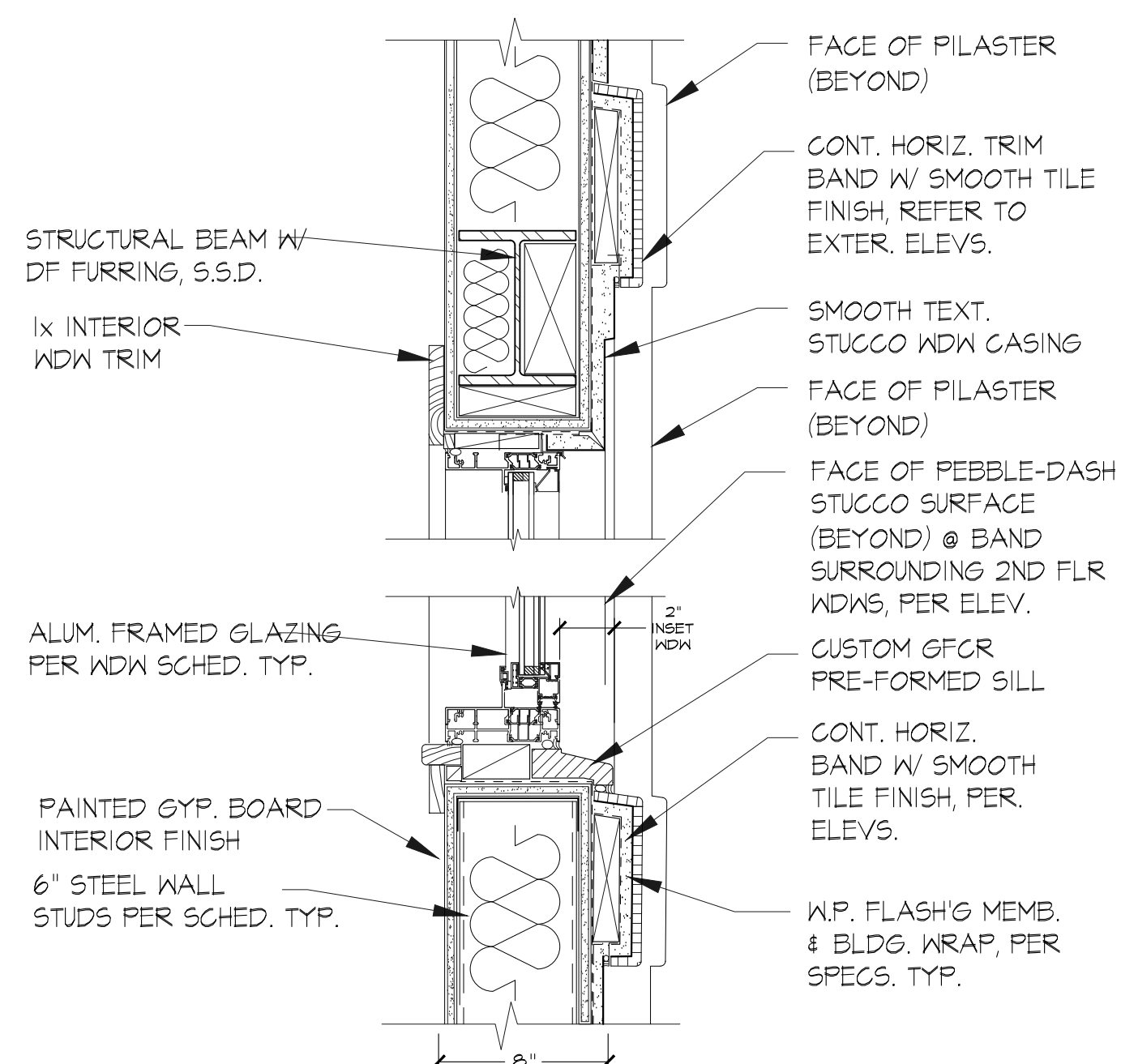
(N) WALL BASE @ GROUND FLR.

1 1/2" = 1'-0" 2



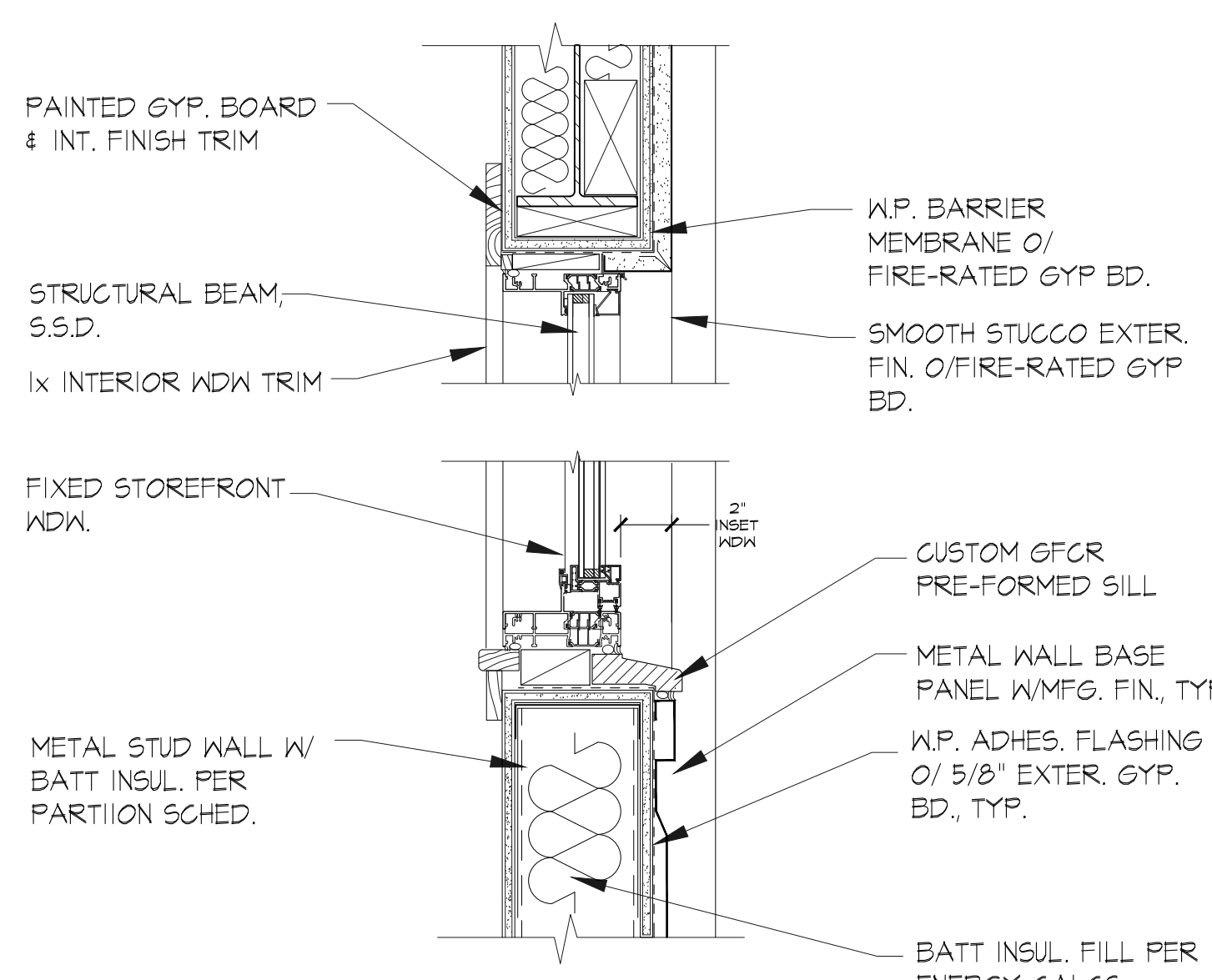
TYP. WINDOW FLASHING

12



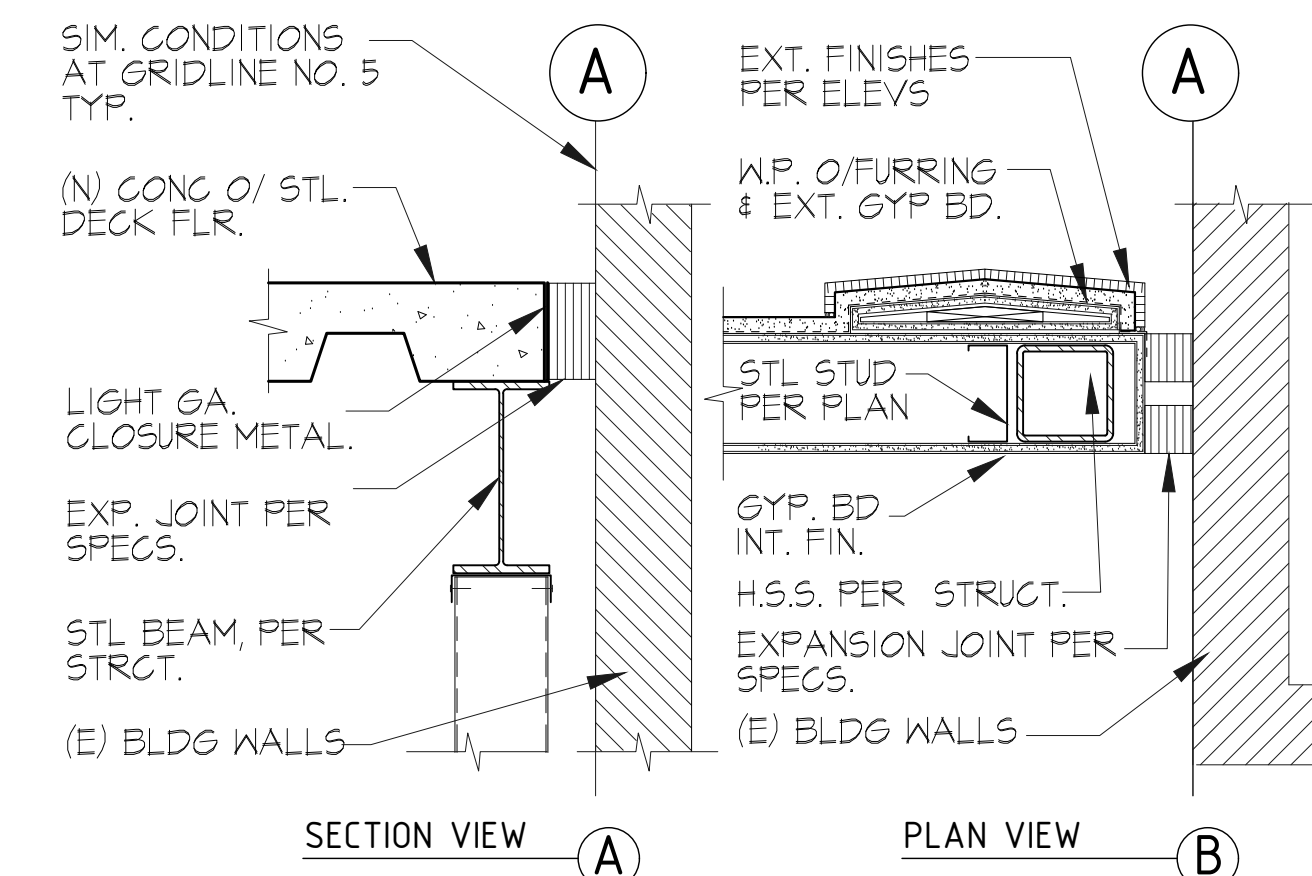
WINDOW DETAIL (2ND STORY)

1 1/2" = 1'-0" 9



STOREFRONT WDW. @ GROUND FLOOR

1 1/2" = 1'-0" 6



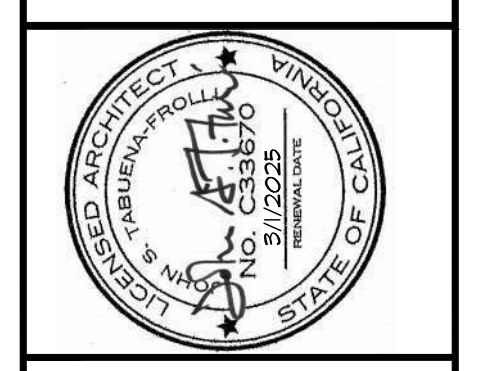
NEW WALL @ (E) BLDGS.

1 1/2" = 1'-0" 3

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANNING SUBMITL
06/20/23	FORMAL PLANNING RESUBMITL
09/01/23	FORMAL PC REV 1
10/16/23	FORMAL PC REV 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANNING RESUBMITL SUBMITL
07/17/24	PLANNING - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

JOHN S. TARBENA-FROLLI, AIA
P.O. BOX 1127
SAN JOSE, CA 95108
408.705.3148 - jfrolli@gmail.com

OWNER:
CHEE-YEE CHONG,
(DBA HANSON AMERIC LLO)
PO BOX 4631
MOUNTAIN VIEW, CA 94041
ph: 408.859.2845
em: cychong@pacbell.net

HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF

DATE
07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

ARCHITECTURAL
DETAILS

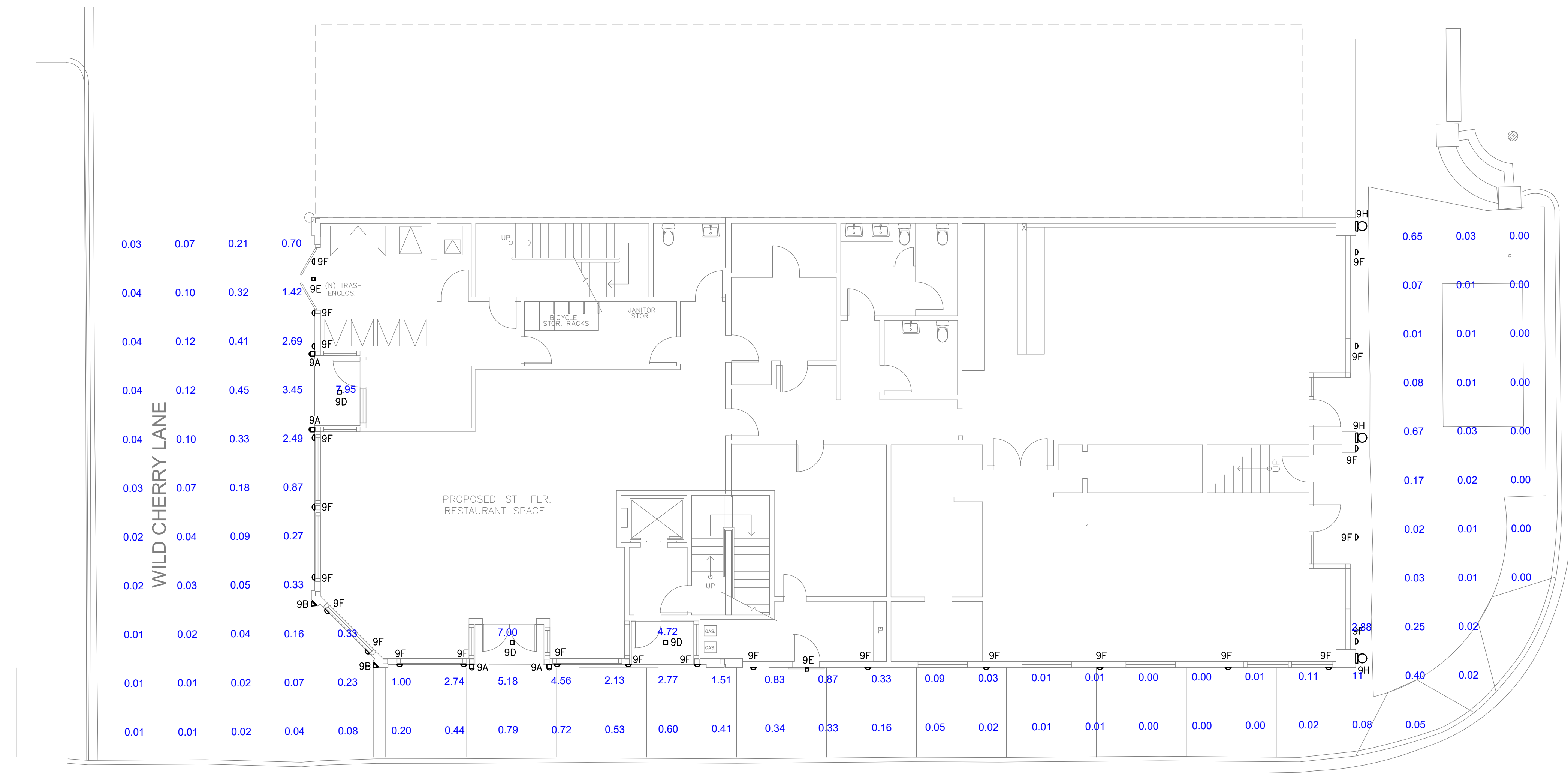
SHEET NO.

A6.0

REV	DESCRIPTION	DATE

GENERAL NOTES:

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- PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON THE ACTUAL LAMP, BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.



1 ELECTRICAL SITE PHOTOMETRIC PLAN
SCALE: 1/8"=1'-0"

LIGHTING FIXTURE SCHEDULE											
FIXTURE SYMBOL	FIXTURE TYPE	DESCRIPTION	MANUFACTURER'S CATALOG NO.	NUMBER OF LAMPS	LAMPS TYPE	LUMEN OUTPUT	KELVIN RATING	VOLT	WATTS	MOUNTING	MOUNTING HEIGHT
9A	9A	CARBON BRONZE LED SCONCE	VAXEL LIGHTING T0376 OR APPROVED EQUAL	1	LED	500 lm	3000K	120	10	WALL MOUNTED	8 ft.
9B	9B	LED WALL SCONCE WHITE METAL	ELEGANT LIGHTING LD0D4022S OR APPROVED EQUAL	1	LED	240 lm	3000K	120	16	WALL MOUNTED	8 ft.
9D	9D	RECESSED LED DOWNLIGHT SQUARE	LOTUS LL4SR-27K-K OR APPROVED EQUAL	1	LED	850 lm	2700K	120	14.5	RECESSED MOUNTED	8 ft.
9E	9E	LED OUTDOOR WALL SCONCE GRAY METAL	TECH LIGHTING 700WSPITSL-LED830 OR APPROVED EQUAL	1	LED	823 lm	3000K	120	26.1	WALL MOUNTED	8 ft.
9F	9F	LANDSCAPE ACCENT LIGHT	KICHLER LIGHTING 15491CBR BULB: VOLT LIGHTING MR8-15-27-38C-R1 OR APPROVED EQUAL	1	MR8	175 lm	2700K	12	2	SURFACE MOUNTED	18 ft. (ledge)
9H	9H	BRONZE OUTDOOR WALL LIGHT	LAMP PLUS, PARK SIENNA 75G70 BULB: GE REFRESH HD 00043168317412 OR APPROVED EQUAL	3	LED	960 lm	5000K	120	12	WALL MOUNTED	8 ft.

PHOTOMETRIC CALCULATION SUMMARY									
DESIGNATION	CALC TYPE	UNITS	Fc REQUIREMENT	AVG	MAX	MIN	AVG/MIN	MIN/MAX	
EXTERIOR	ILLUMINANCE	Fc	1	1.11	54	0.00	0.001	0.000	

HISTORIC JURIAN BUILDING
194-198 CASTRO STREET
MOUNTAIN VIEW, CA 94041



TITLE:
ELECTRICAL SITE PHOTOMETRIC PLAN

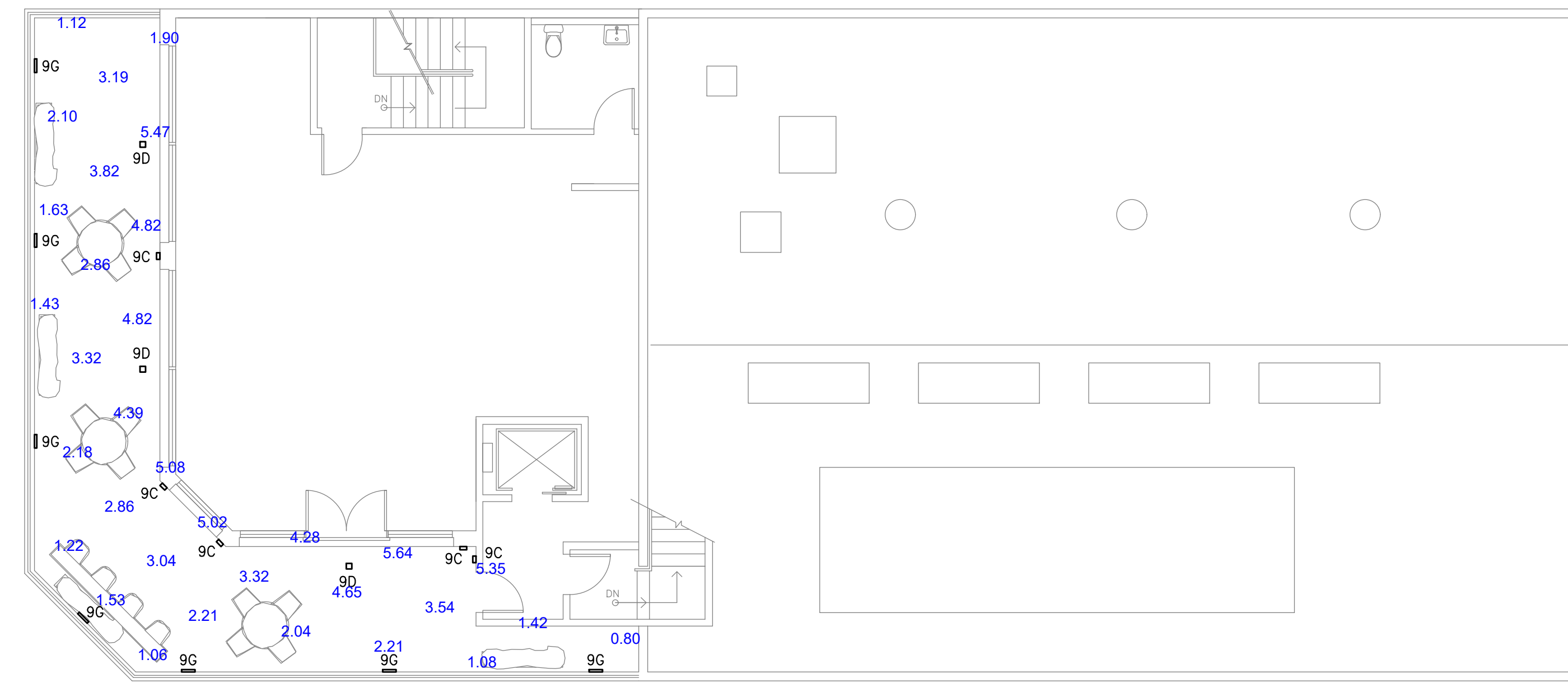
JOB NO: E2306-AA284
DRAWN: BC
CHECKED: RA
SCALE: AS SHOWN
DATE: 06.19.2023

E1.0

REV	DESCRIPTION	DATE

GENERAL NOTES:

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1 ELECTRICAL PHOTOMETRIC PLAN - THIRD FLR. ROOF DECK
E.1.1 SCALE: 1/8"=1'-0"

LIGHTING FIXTURE SCHEDULE											
FIXTURE SYMBOL	FIXTURE TYPE	DESCRIPTION	MANUFACTURER'S CATALOG NO.	NUMBER OF LAMPS	LAMPS TYPE	LUMEN OUTPUT	KELVIN RATING	VOLT	WATTS	MOUNTING	MOUNTING HEIGHT
□ 9C	9C	BLACK LED WALL SCONCE	MAXIM 56190BGBK OR APPROVED EQUAL	1	LED	600 lm	3000K	120	7	WALL MOUNTED	8 ft.
○ 9D	9D	RECESSED LED DOWNLIGHT SQUARE	LOTUS LL4SR-27K-K OR APPROVED EQUAL	1	LED	850 lm	2700K	120	14.5	RECESSED MOUNTED	8 ft.
— 9C	9C	LED OUTDOOR WALL SCONCE	KUZCO LIGHTING EW71412-GY, GRAY OR APPROVED EQUAL	1	LED	369 lm	3000K	120	23	WALL MOUNTED	8 ft.

PHOTOMETRIC CALCULATION SUMMARY									
DESIGNATION	CALC TYPE	UNITS	Fc REQUIREMENT	AVG	MAX	MIN	AVG/MIN	MIN/MAX	
3RD FLR. ROOF DECK	ILLUMINANCE	Fc	1	3.13	6.78	0.47	0.151	0.070	

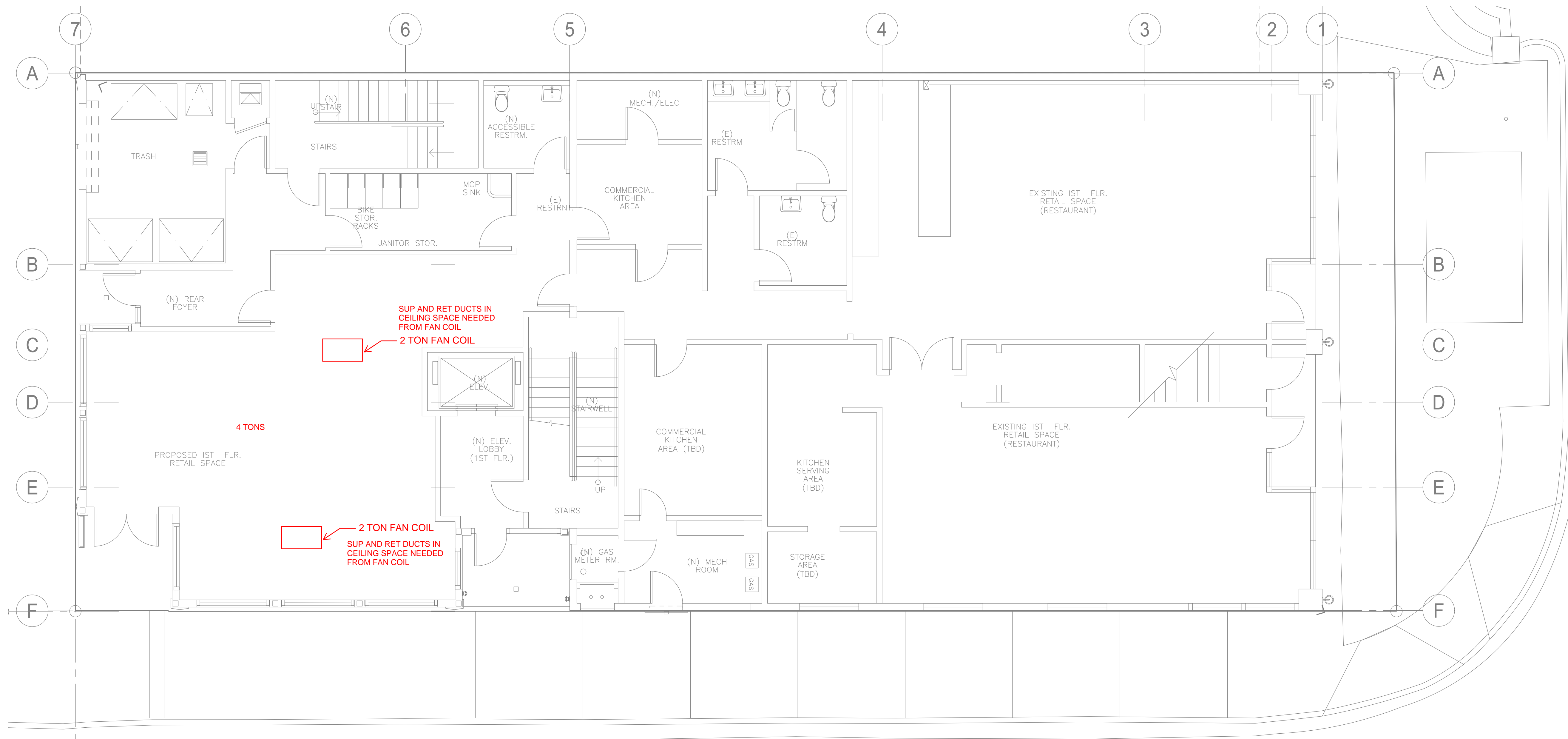
HISTORIC JURIAN BUILDING
194-198 CASTRO STREET
MOUNTAIN VIEW, CA 94041



TITLE:
ELECTRICAL PHOTOMETRIC PLAN - THIRD FLR. ROOF DECK

JOB NO: E2306-AA284
DRAWN: BC
CHECKED: RA
SCALE: AS SHOWN
DATE: 06.19.2023

E1.1



1 MECHANICAL FIRST FLOOR PLAN
 M2.1 SCALE: 3/16"=1'-0" 

REV	DESCRIPTION	DATE

HISTORIC JURIAN BUILDING
 194-198 CASTRO STREET
 MOUNTAIN VIEW, CA 94041

42500 Parkway Dr., Ste. 217
 Fremont, CA 94538
 Phone: (510) 484-4882
 Fax: (510) 484-2822
 www.mveng.com

ENGINEERING CONSULTANTS INC.

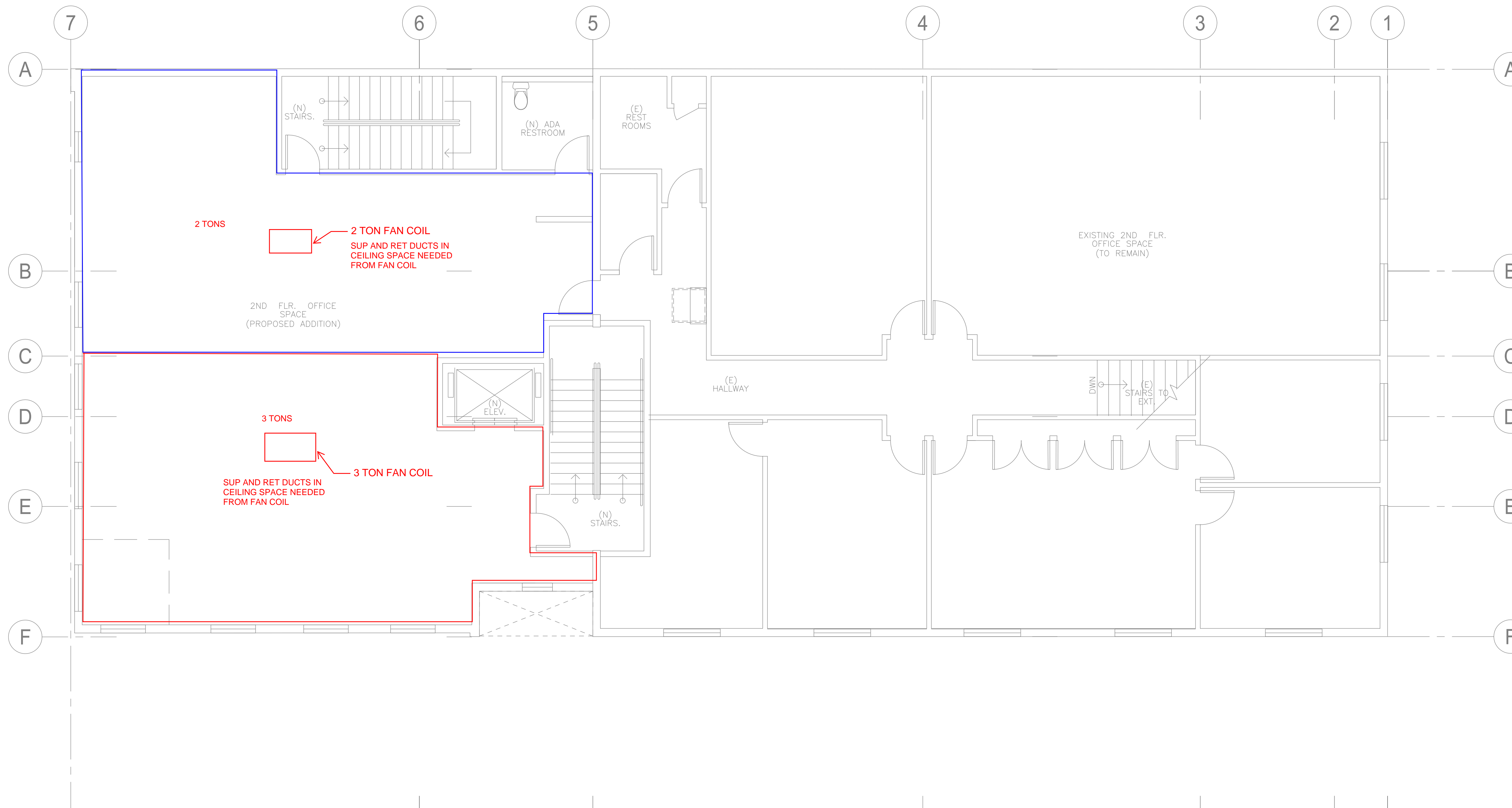


TITLE:

MECHANICAL FIRST FLOOR PLAN

JOB NO: E2306-AA284
DRAWN: CL
CHECKED: LM
SCALE: AS SHOWN
DATE: 07.16.2024

M2.1



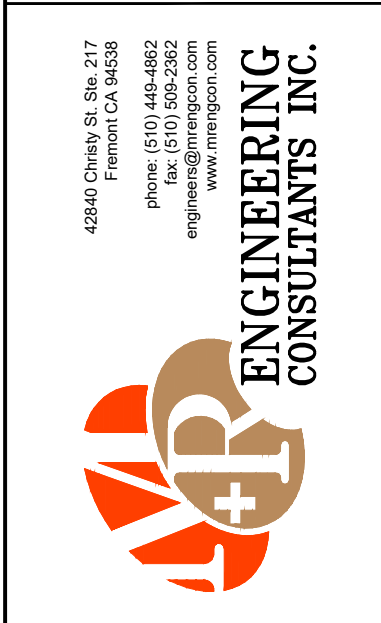
1 MECHANICAL SECOND FLOOR PLAN
 M2.2 SCALE: 3/16"=1'-0"

REV	DESCRIPTION	DATE

HISTORIC JURIAN BUILDING
 194-198 CASTRO STREET
 MOUNTAIN VIEW, CA 94041

42500 Parkway Dr., Ste. 217
 Fremont, CA 94538
 Phone: (510) 494-4882
 Fax: (510) 494-2022
 email: info@mtmgroup.com
 www.mtmgroup.com

ENGINEERING CONSULTANTS INC.

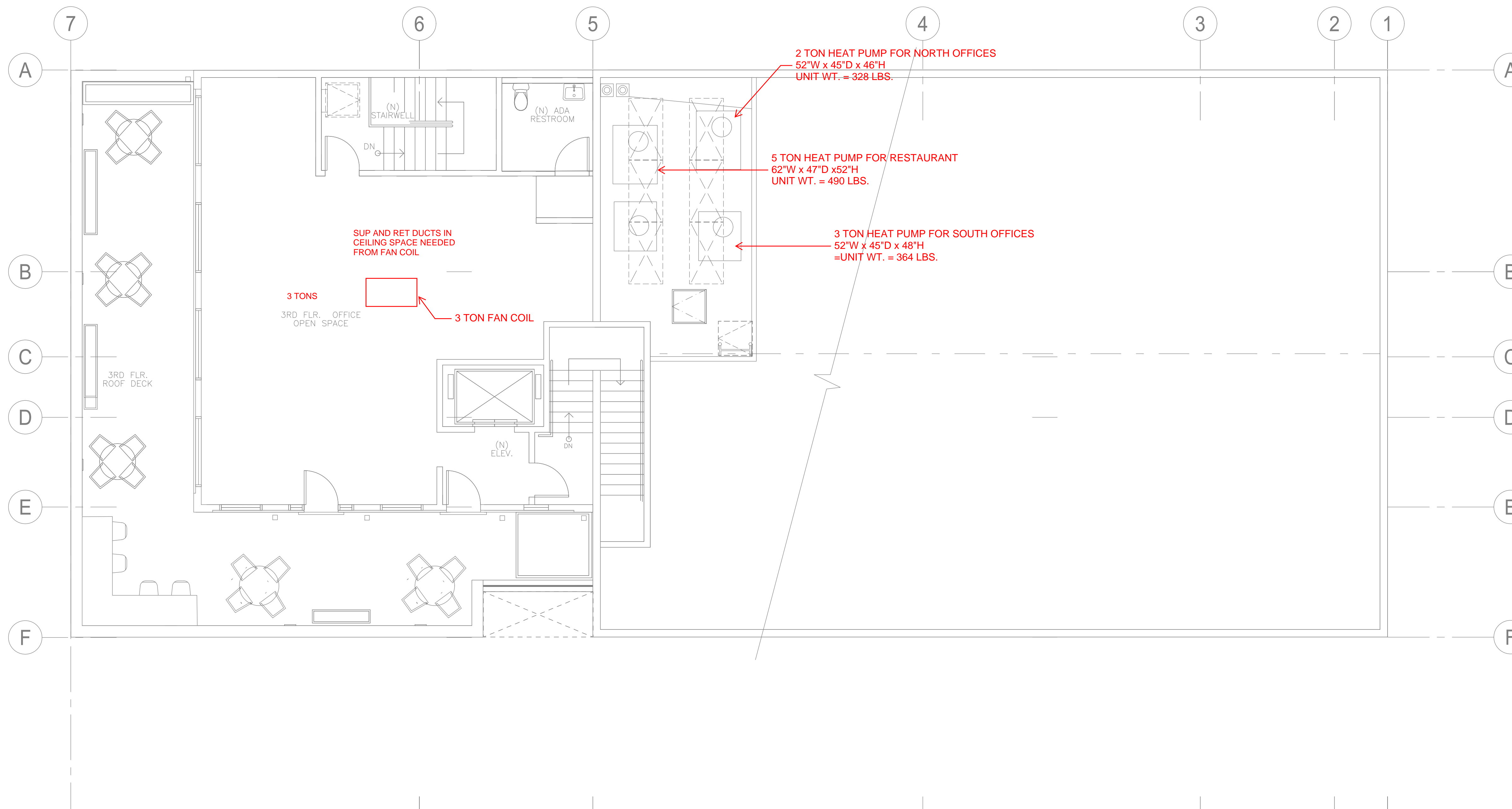


TITLE:

MECHANICAL SECOND FLOOR PLAN

JOB NO: E2306-AA284
DRAWN: CL
CHECKED: LM
SCALE: AS SHOWN
DATE: 07.16.2024

M2.2




1 MECHANICAL THIRD FLOOR PLAN
 M2.3 SCALE: 3/16"=1'-0" 

REV	DESCRIPTION	DATE

HISTORIC JURIAN BUILDING
 194-198 CASTRO STREET
 MOUNTAIN VIEW, CA 94041

42500 Parkway Dr., Ste. 217
 Fremont, CA 94538
 Phone: (510) 444-4482
 Fax: (510) 444-2022
 Email: info@mtip.com
 www.mtip.com

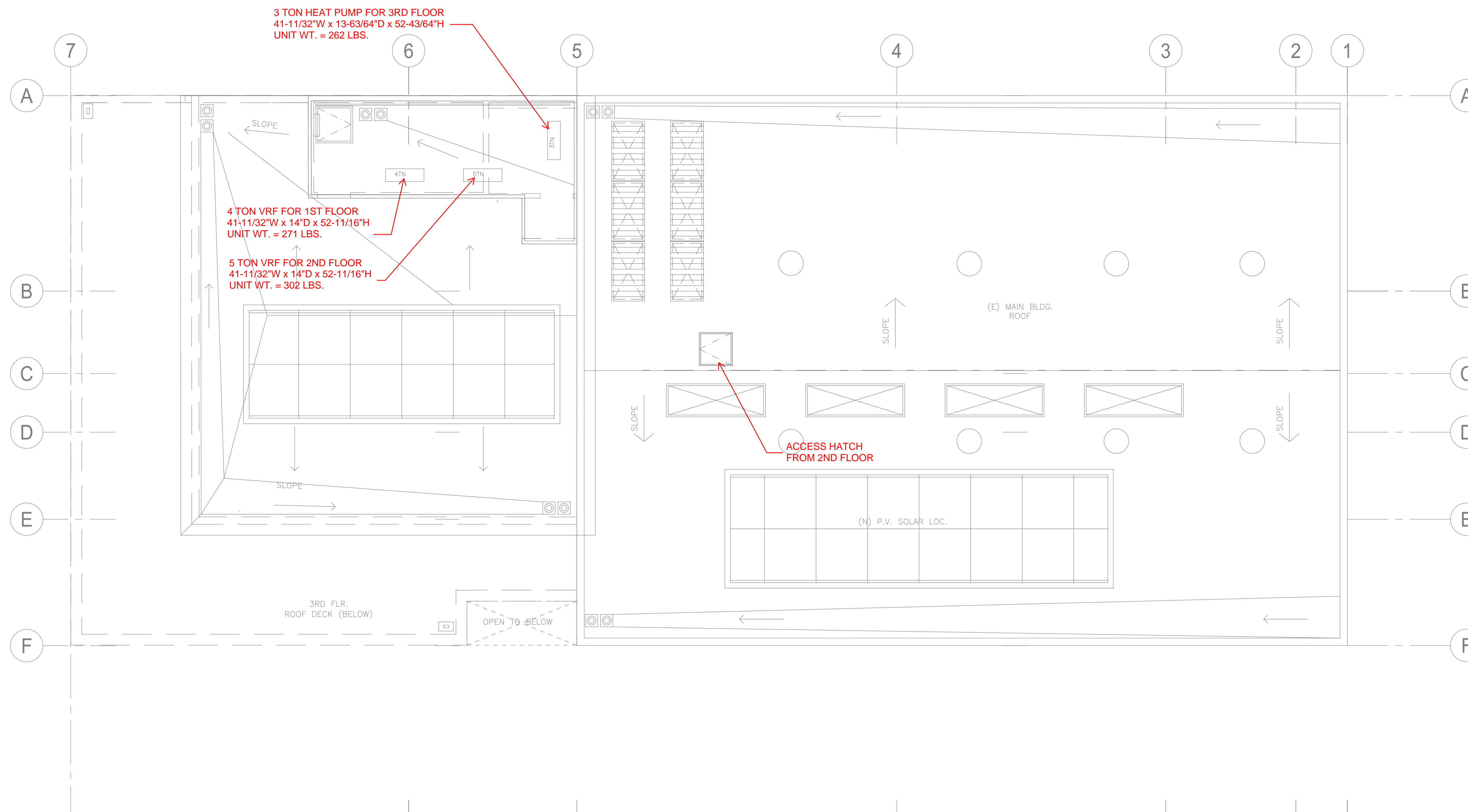
ENGINEERING CONSULTANTS INC.



TITLE:
 MECHANICAL
 THIRD FLOOR
 PLAN

JOB NO: E2306-AA284
DRAWN: CL
CHECKED: LM
SCALE: AS SHOWN
DATE: 07.16.2024

M2.3



1 MECHANICAL ROOF PLAN
M2.4 SCALE: 3/16"=1'-0"

REV	DESCRIPTION	DATE

HISTORIC JURIAN BUILDING
194-198 CASTRO STREET
MOUNTAIN VIEW, CA 94041

42500 California Blvd., Ste. 217
Fremont, CA 94538
Phone: (510) 494-4882
Fax: (510) 494-2922
engr www.mreng.com

ENGINEERING CONSULTANTS INC.



TITLE:

MECHANICAL ROOF PLAN

JOB NO: E2306-AA284
DRAWN: CL
CHECKED: LM
SCALE: AS SHOWN
DATE: 07.16.2024

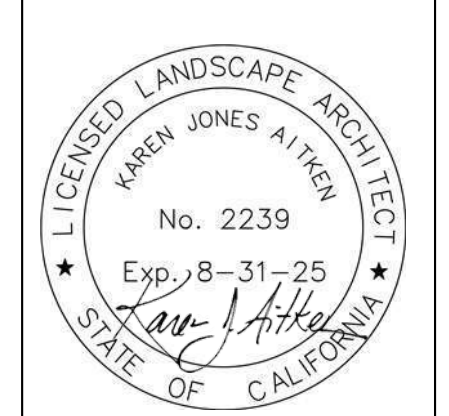
M2.4

REVISIONS	BY
1	8-31-23 KAA



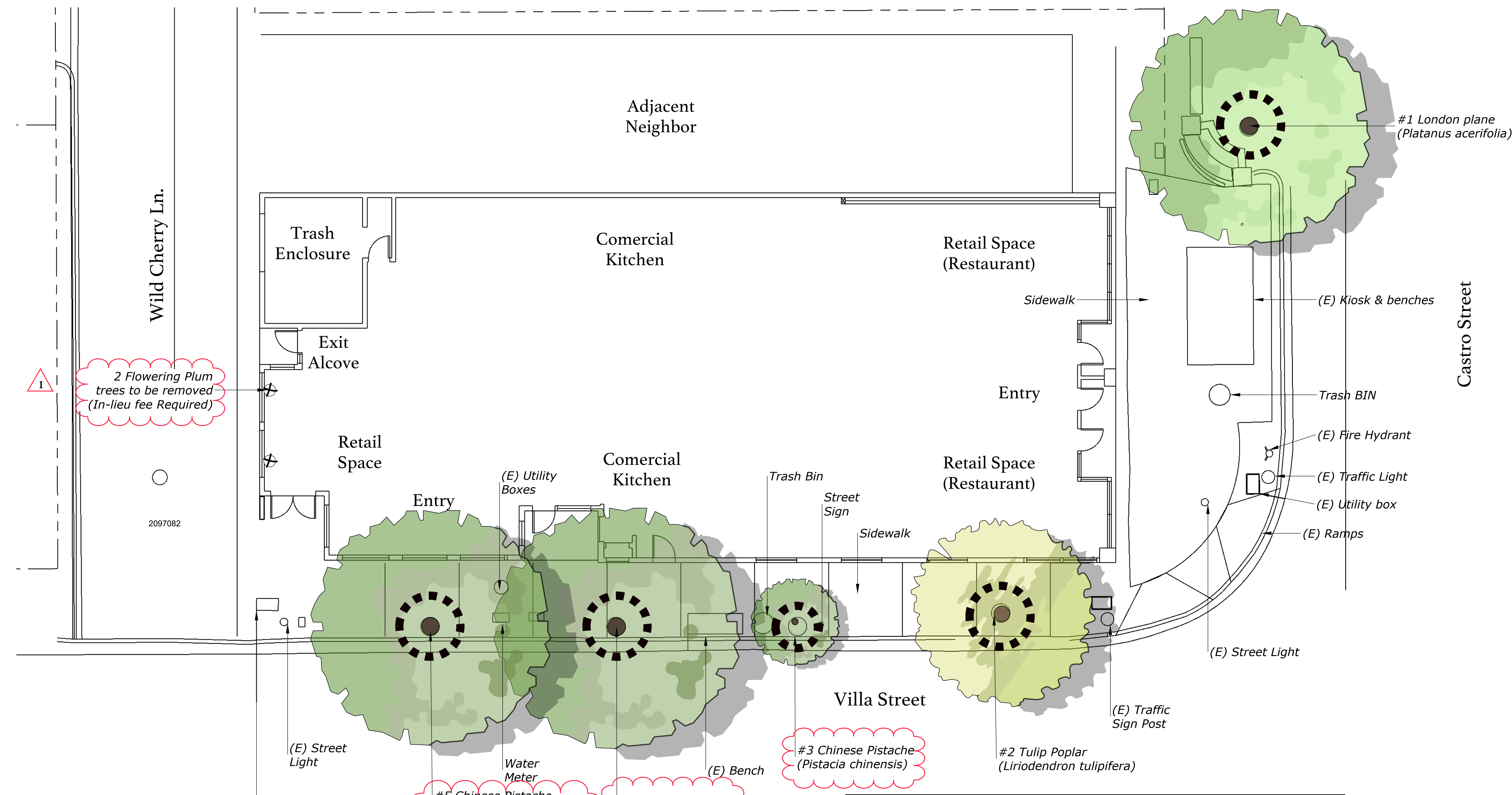
KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS
 8262 Rancho Real Gilroy Ca. 95020
 Calif. Reg. #2239 (408) 842-0245
 karen@KAA.Design

HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
GROUND LEVEL LANDSCAPE PLAN



DATE 04-10-24
 SCALE 1/8"=1'-0"
 DRAWN IN
 JOB CASTRO BLDG.

L-1



2 Flowering Plum trees to be removed (In-lieu fee Required)

#5 Chinese Pistache (Pistacia chinensis) To be Removed and replaced with 24" Box Pistache chinensis

#4 Chinese Pistache (Pistacia chinensis)

#3 Chinese Pistache (Pistacia chinensis)

#2 Tulip Poplar (Liriodendron tulipifera)



Tree Preservation Guidelines

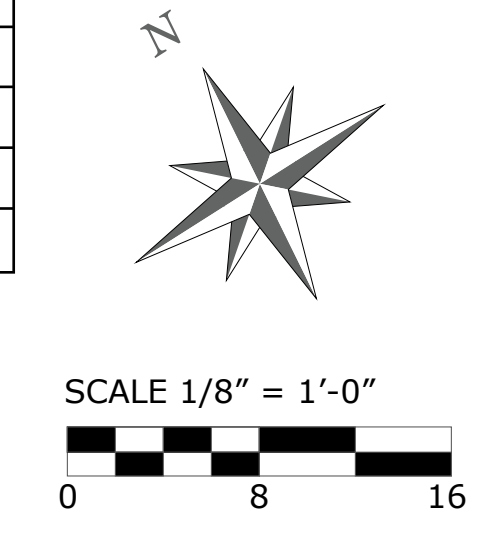
Protective fencing for the street trees in 3x3 tree wells is most likely not feasible. Where demolition must occur close to trees, such as removing curb and pavement, install temporary trunk protection devices such as winding silt sock wattle or wood planks around trunks (see photos below). Any low branches that are within the work zone should also be protected. Remove trunk protection after demolition is completed and install a protective fence at the limits of the tree protection zone. Do not retain wattling around tree trunks for more than 2-3 weeks to avoid damaging trunks from excess moisture.

Temporary trunk protection devices:
 Winding silt sock wattle or Wood planks around trunks

STREET TREE IDENTIFICATION				
#	Common / Botanical	Trunk Diameter	Condition	Status
1	London plane - Platanus acerifolia	18" DBH	Good	Remain
2	Tulip Poplar - Liriodendron tulipifera	13" DBH	Fair	Remain
3	Chinese Pistache - Pistachia chinensis	8" DBH	Fair	Remain
4	Chinese Pistache - Pistachia chinensis	12" DBH	Fair	Remain
5	Chinese Pistache - Pistachia chinensis	10" DBH	Poor	To be replaced

1st Floor Plant Legend					
BOTANICAL	COMMON	QTY	SIZE	WATER	REMARKS
Tree					
Pistacia chinensis	Chinese Pistache	1	24" Box	Low	1st Floor Replacement Tree

NOTE: Refer to arborist report by Alpine Landscape for Street trees information & recommendations.



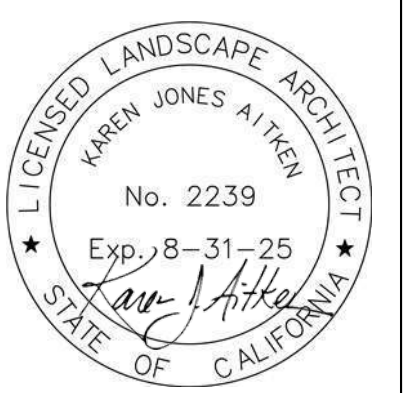
* NOTES (E) = Existing

REVISIONS	BY

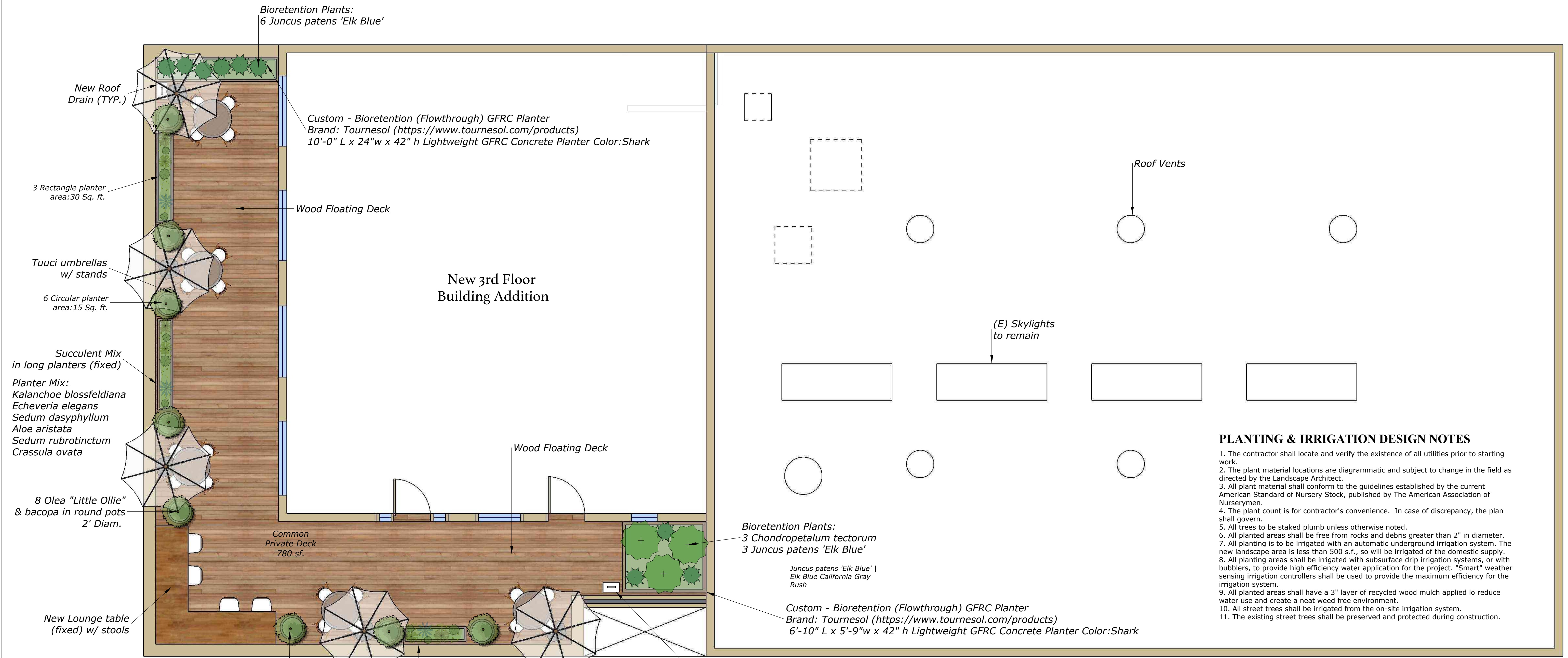


KAREN AITKEN & ASSOCIATES
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 karen@KAA.Design

HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
ROOF LANDSCAPE PLAN & DESIGN NOTES

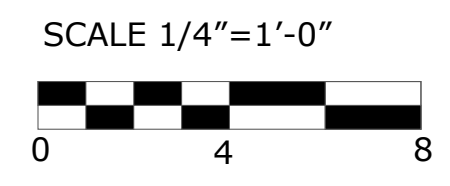
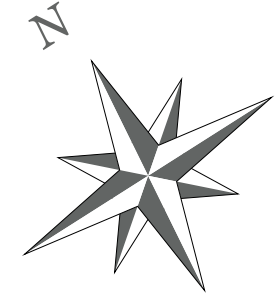


DATE 04-10-24
 SCALE 1/8"=1'-0"
 DRAWN IN
 JOB CASTRO BLDG.



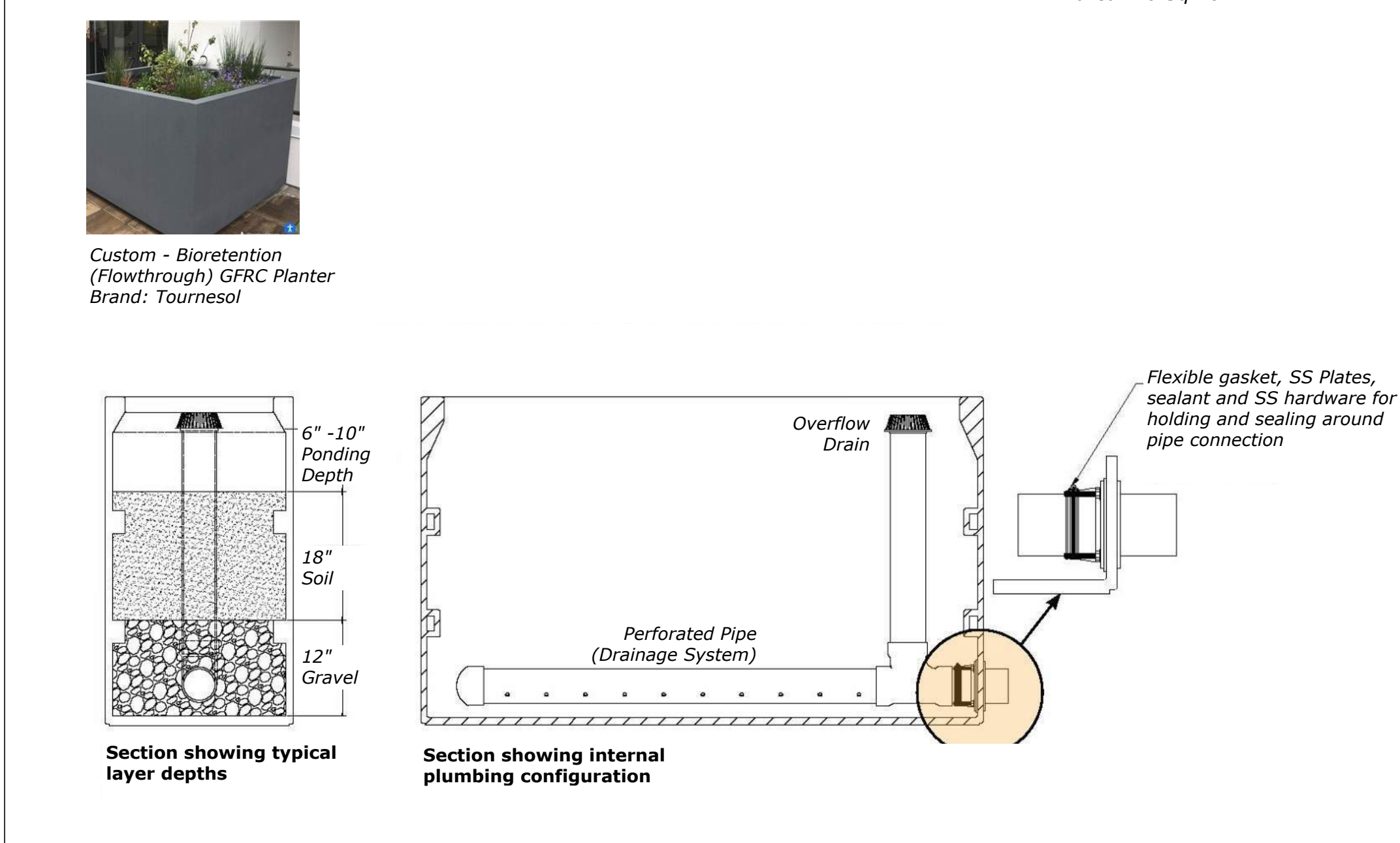
- PLANTING & IRRIGATION DESIGN NOTES**
- The contractor shall locate and verify the existence of all utilities prior to starting work.
 - The plant material locations are diagrammatic and subject to change in the field as directed by the Landscape Architect.
 - All plant material shall conform to the guidelines established by the current American Standard of Nursery Stock, published by The American Association of Nurserymen.
 - The plant count is for contractor's convenience. In case of discrepancy, the plan shall govern.
 - All trees to be staked plumb unless otherwise noted.
 - All planted areas shall be free from rocks and debris greater than 2" in diameter.
 - All planting is to be irrigated with an automatic underground irrigation system. The new landscape area is less than 500 s.f., so will be irrigated of the domestic supply.
 - All planting areas shall be irrigated with subsurface drip irrigation systems, or with bubblers, to provide high efficiency water application for the project. "Smart" weather sensing irrigation controllers shall be used to provide the maximum efficiency for the irrigation system.
 - All planted areas shall have a 3" layer of recycled wood mulch applied to reduce water use and create a neat weed free environment.
 - All street trees shall be irrigated from the on-site irrigation system.
 - The existing street trees shall be preserved and protected during construction.

PLANT LEGEND			
BOTANICAL	COMMON	SIZE	WATER
Shrub			
Crassula ovata	Jade Plant	1 Gallon	Low
Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive	5 Gallon	Very Low
Ground cover			
Sedum dasyphyllum 'Major'	Blue Tears Sedum	1 Gallon	Low
Sedum rubrotinctum 'Aurora'	Pink Jelly Bean	5 Gallon	Low
Sutera cordata	White Bacopa	1 Gallon	High
Perennial			
Kalanchoe blossfeldiana	Kalanchoe	1 Gallon	Low
Succulent			
Aloe aristata	Torch Plant	1 Gallon	Low
Echeveria elegans	Mexican Snowball	1 Gallon	Very Low, Low
Tree			
Pistacia chinensis	Chinese Pistache	1 24" Box	Low 1st Floor Replacement Tree



All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California. An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient landscape Ordinance. The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials, and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

* NOTES (E) = Existing

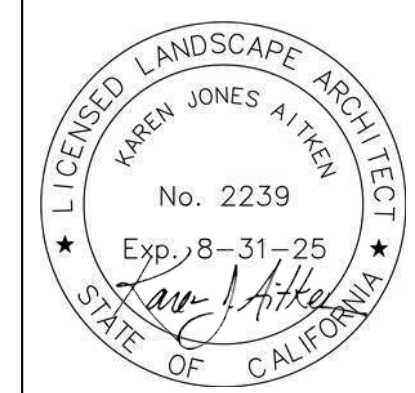


REVISIONS	BY



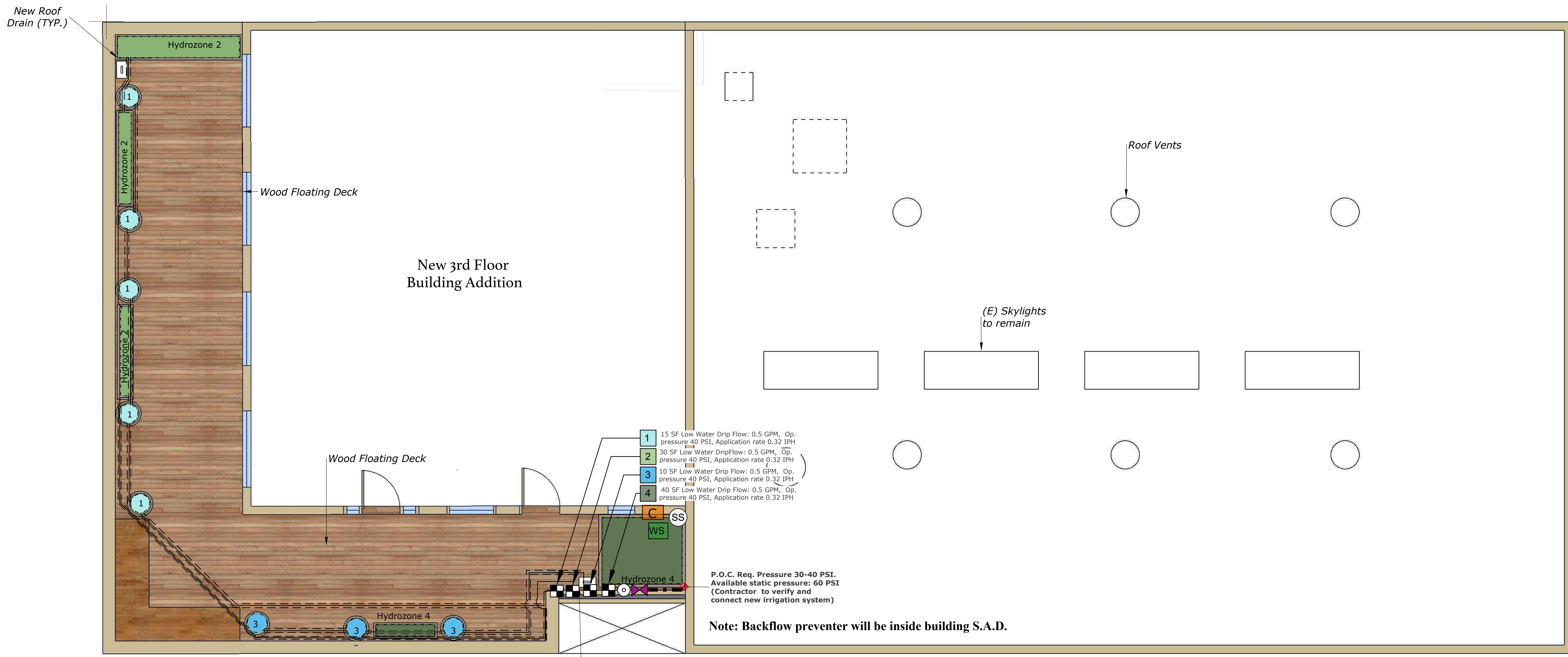
KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS
 8262 Rancho Real Giltroy Ca. 95020
 Calif. Reg. #2239 (408) 842-0245
 karen@KAA.Design

HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
ROOF IRRIGATION PLAN & DESIGN NOTES



DATE	04-10-24
SCALE	1/8"=1'-0"
DRAWN	IN
JOB	CASTRO BLDG.

L-3



Connect Planter drain system to New Roof Drain (TYP.)

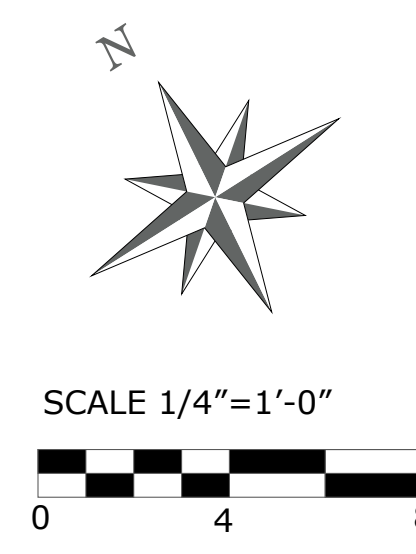
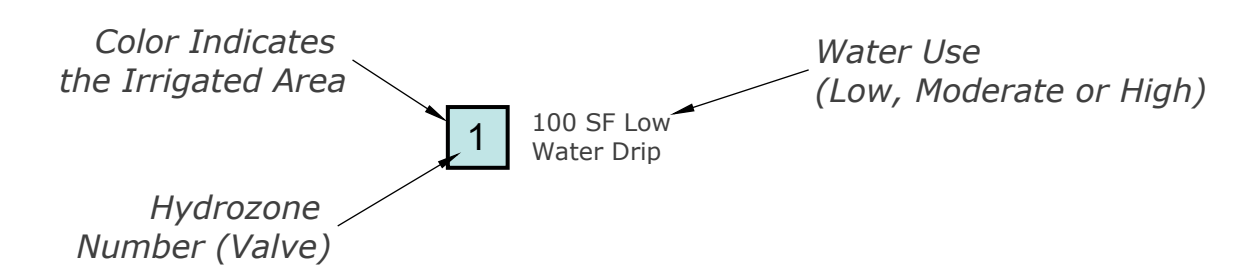
Irrigation Schedule				
Valve #	Hydrozone/Water Use	Days of the Week	Run Time	Gal. Per Day
1	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	5 Gal.
2	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	7 Gal.
3	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	4 Gal.
4	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	8 Gal.

System only operates between 8:00 p.m. and 10:00 a.m.
 Uses Rain Sensor & Automatically Adjusts for the time of year.

IRRIGATION KEY	
	Irrigation Lateral Line: 1 in. PVC Class 200
	Irrigation Mainline: 2 in. PVC Schedule 40
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
	Hunter ICZ-101-25-LF Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
	Hunter Dripline HDL-06-12-CV Hunter Dripline w/ 0.9 GPH emitters every 12 in. Dripline laterals spaced at 12" apart. Install with Hunter PLD barbed or PLD-LOC fittings.
	Tree Ring Irrigation Dripline w/ 0.9 drip emitters placed every 12 in. Inner ring 12" from plant. Outer ring 30" from plant. Place tie down every 4" in loam and 5' in clay.
	Hunter ACC-1200 12 to 42 Station Outdoor Modular Controller. No Module Required. High-End Commercial Use. Metal Cabinet.

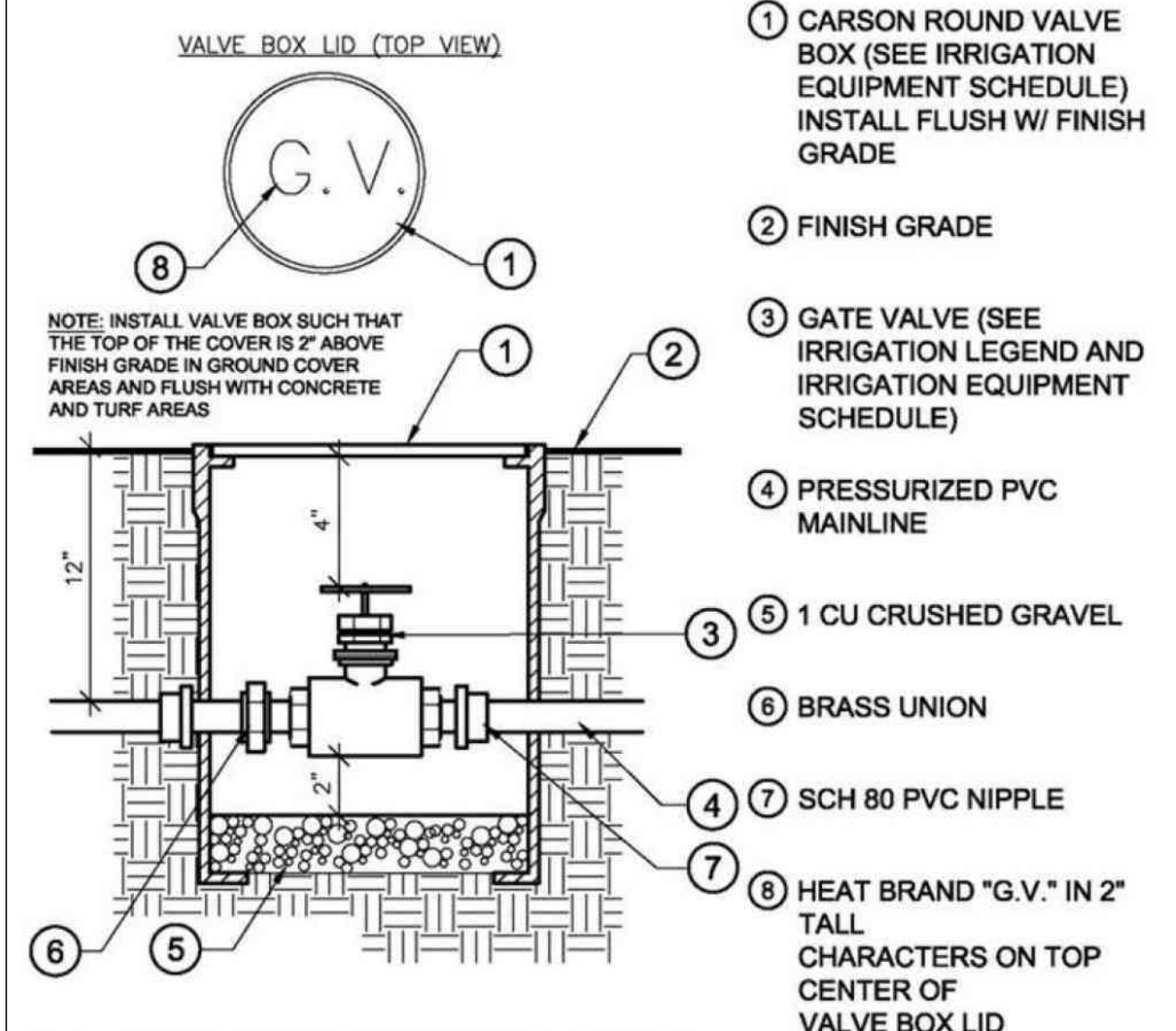
	Hunter SOIL-CLIK The Soil-Clk probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
	Hunter HFS-150 Flow Sensor for use with ACC controller, 1-1/2" Schedule 40 Sensor Body, 24 VAC, 2 amp.
	FEBCO Backflow Preventer 1" 825Y
	Master Shut Off Valve behind meter
	Medium Flow Inline Pressure Regulator 40 PSI

Refer to sheet L-4, L-5 & L-6 for MWELC Calcs & Details

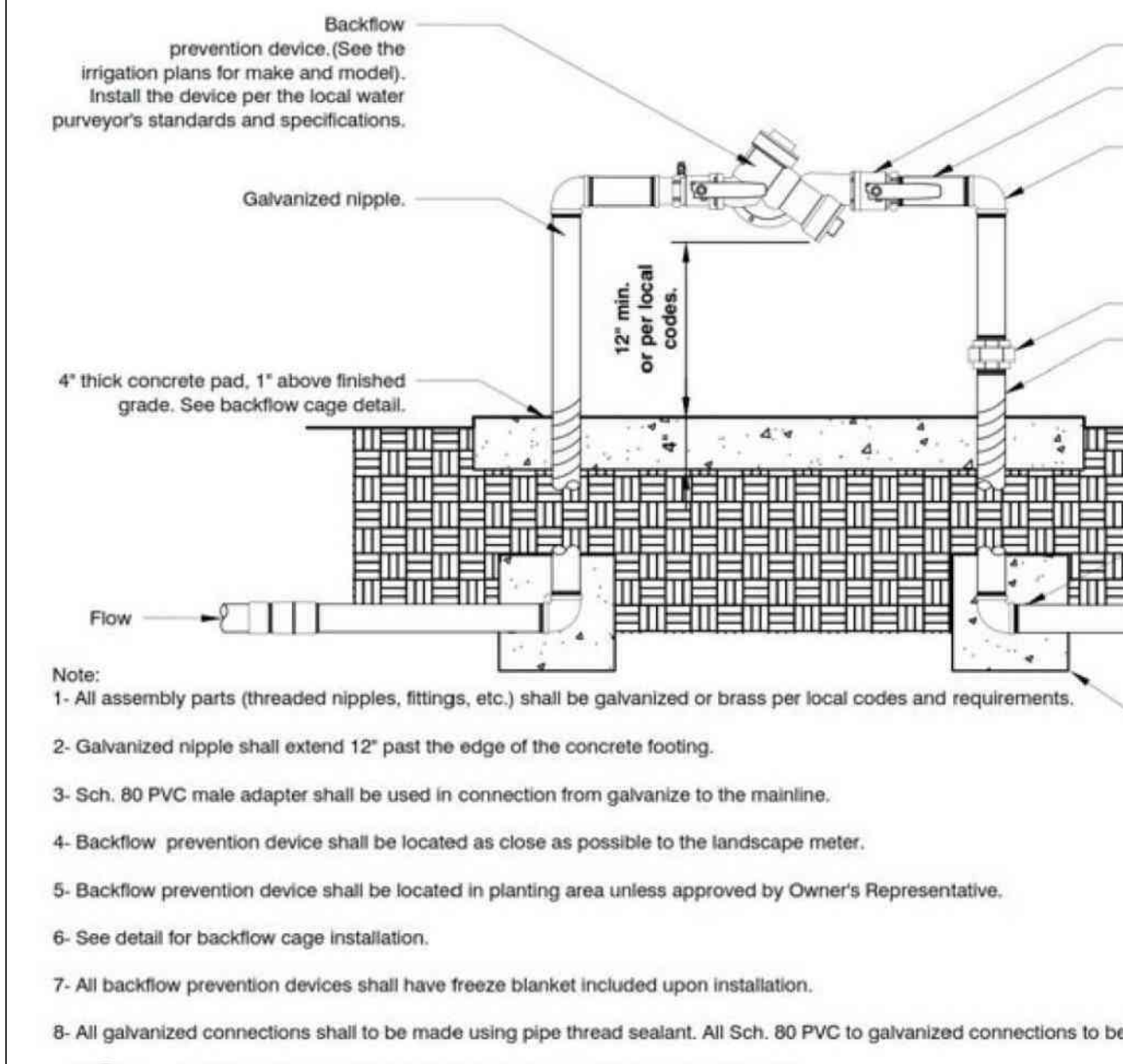


* NOTES (E) = Existing
Total Irrigated Landscape Area (Planters & Bioretention Planters) Represent 95 sf.

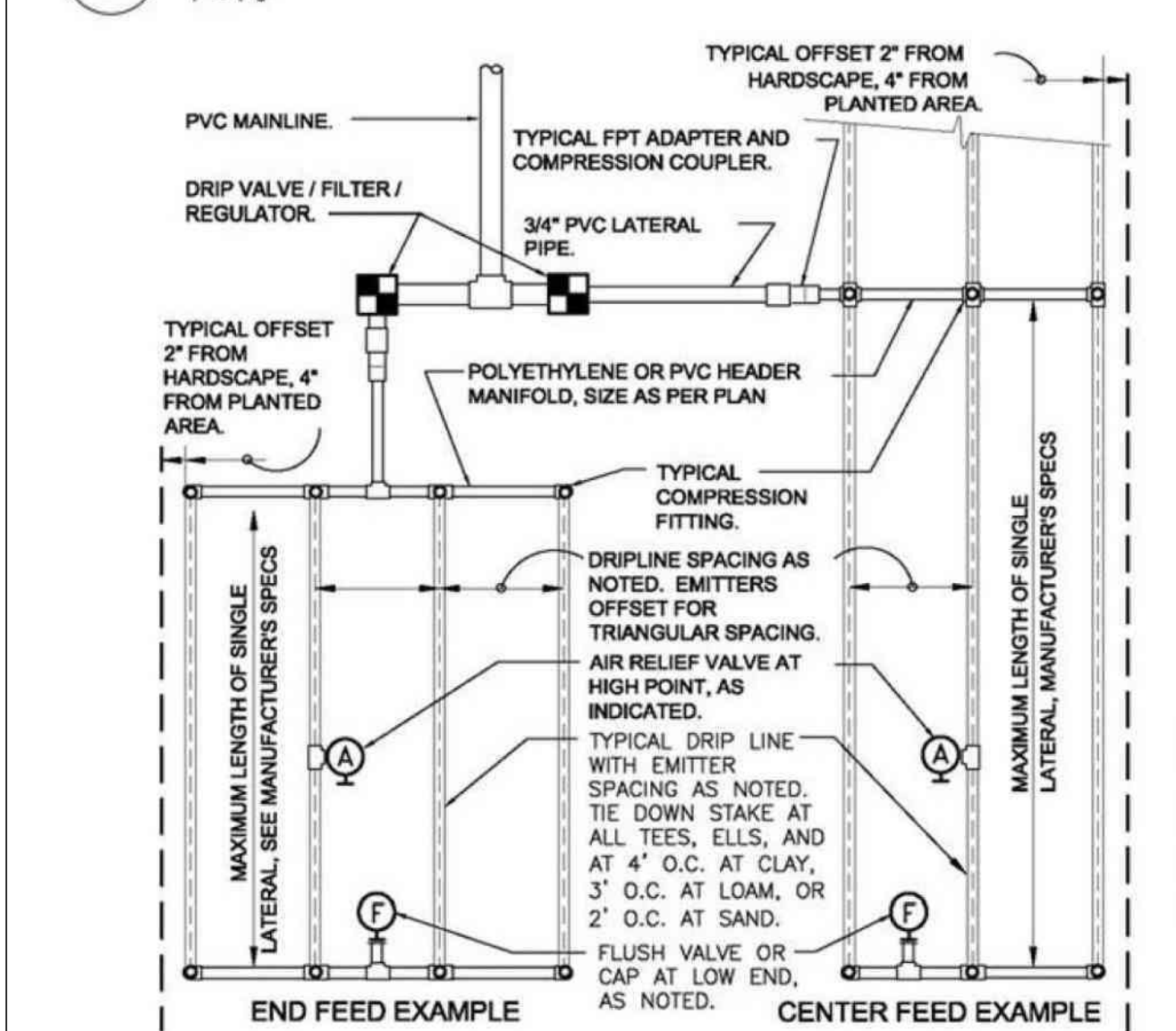
Karen Aitken & Associates - These drawings are instruments of service, issued for a one-time single use by the owner. The entire contents of these drawings is copyright Karen Aitken & Associates. Landscape Architect retains all rights and title. No part may be reproduced in any fashion or medium without the express written approval of the landscape architect. The proper electronic transfer of data shall be the user's responsibility without liability to the landscape architect. Owner shall assume responsibility for compliance with all easements, setback requirements and property lines. Owner shall acquire all necessary permits required to perform work shown on plans. Base information has been provided by the owner. Karen Aitken & Associates assumes no liability for the accuracy of said property line boundaries, fence lines or property corners.



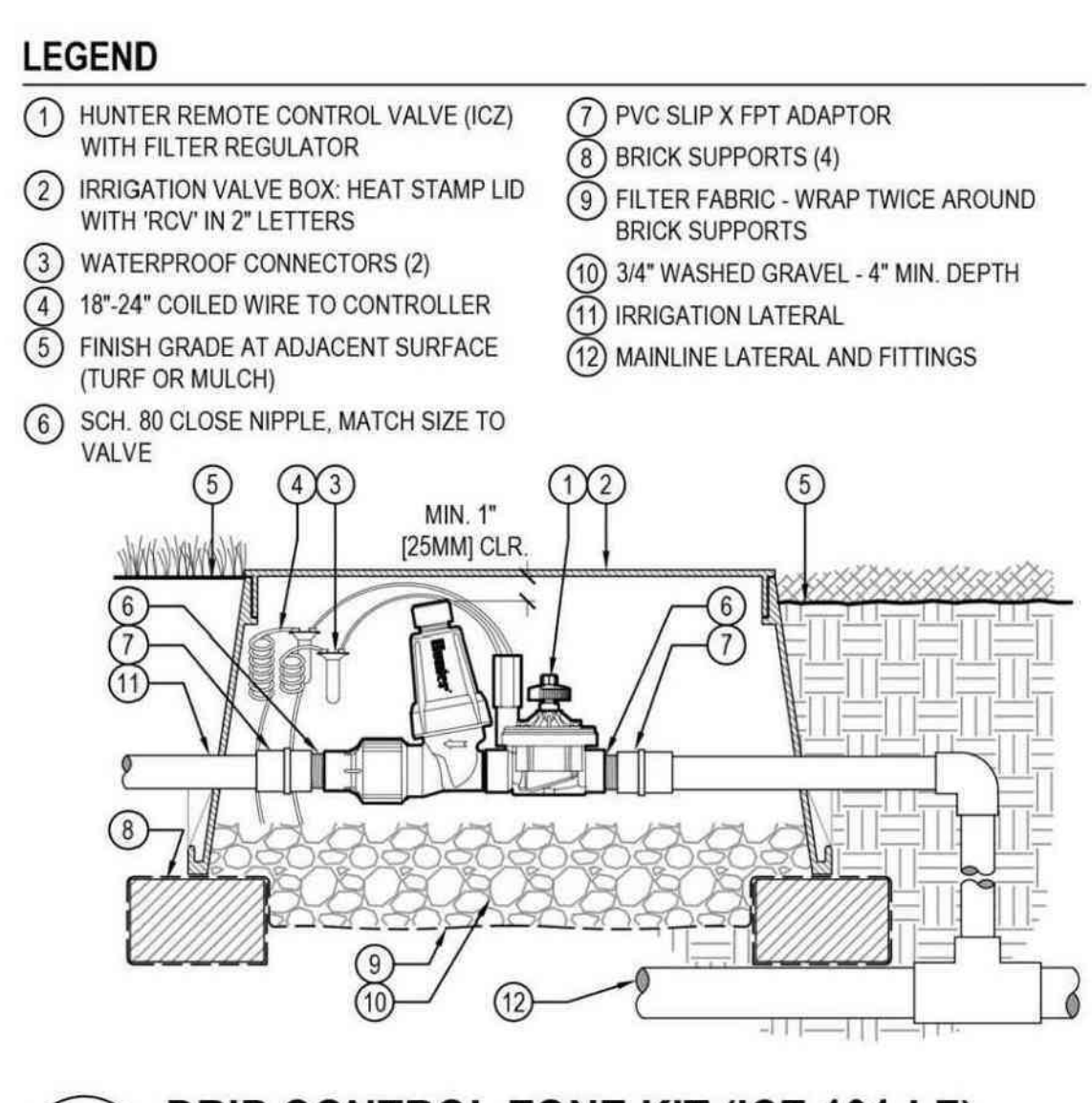
ISOLATION SHUT OFF VALVE



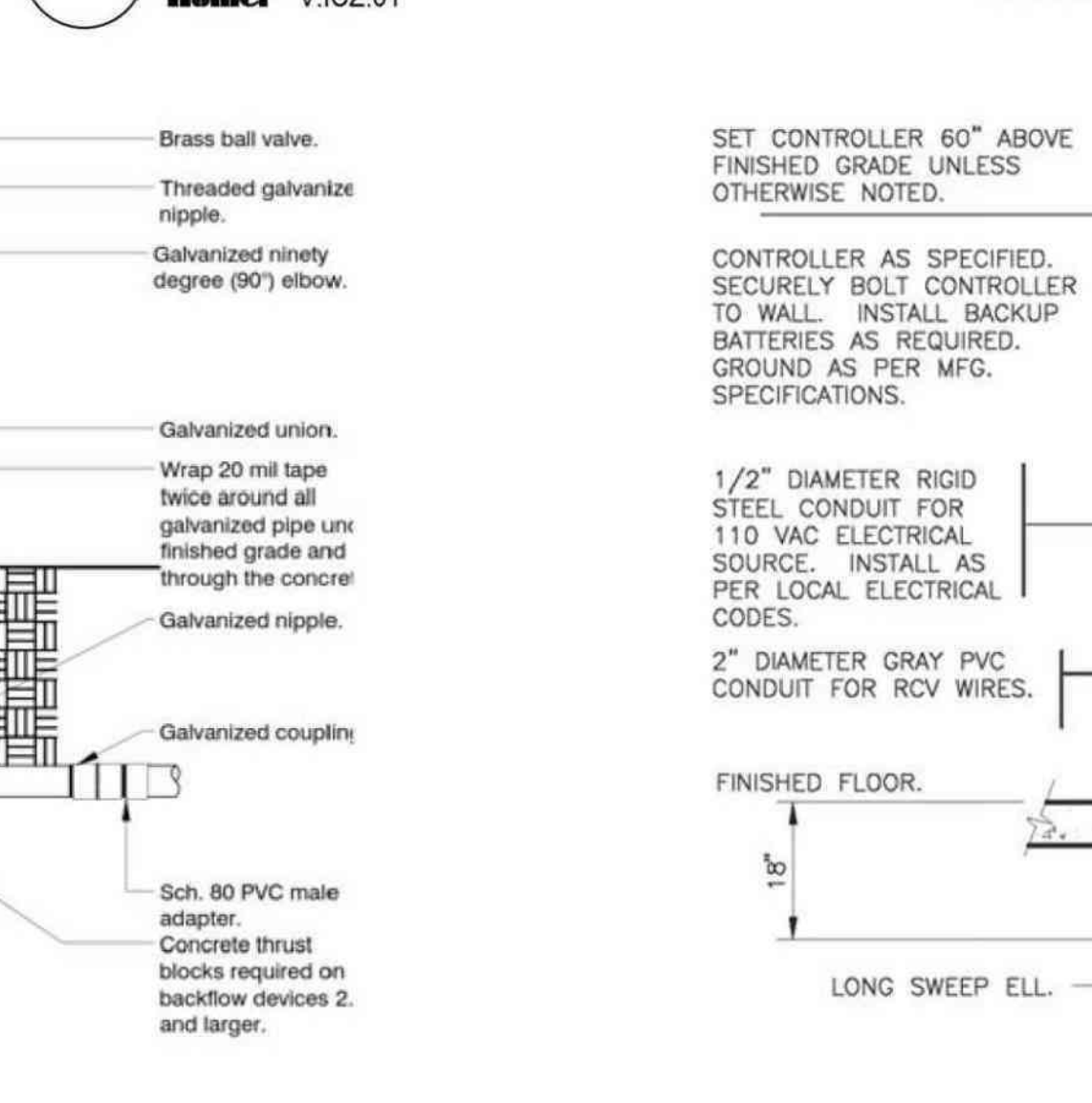
BACKFLOW PREVENTION DEVICE



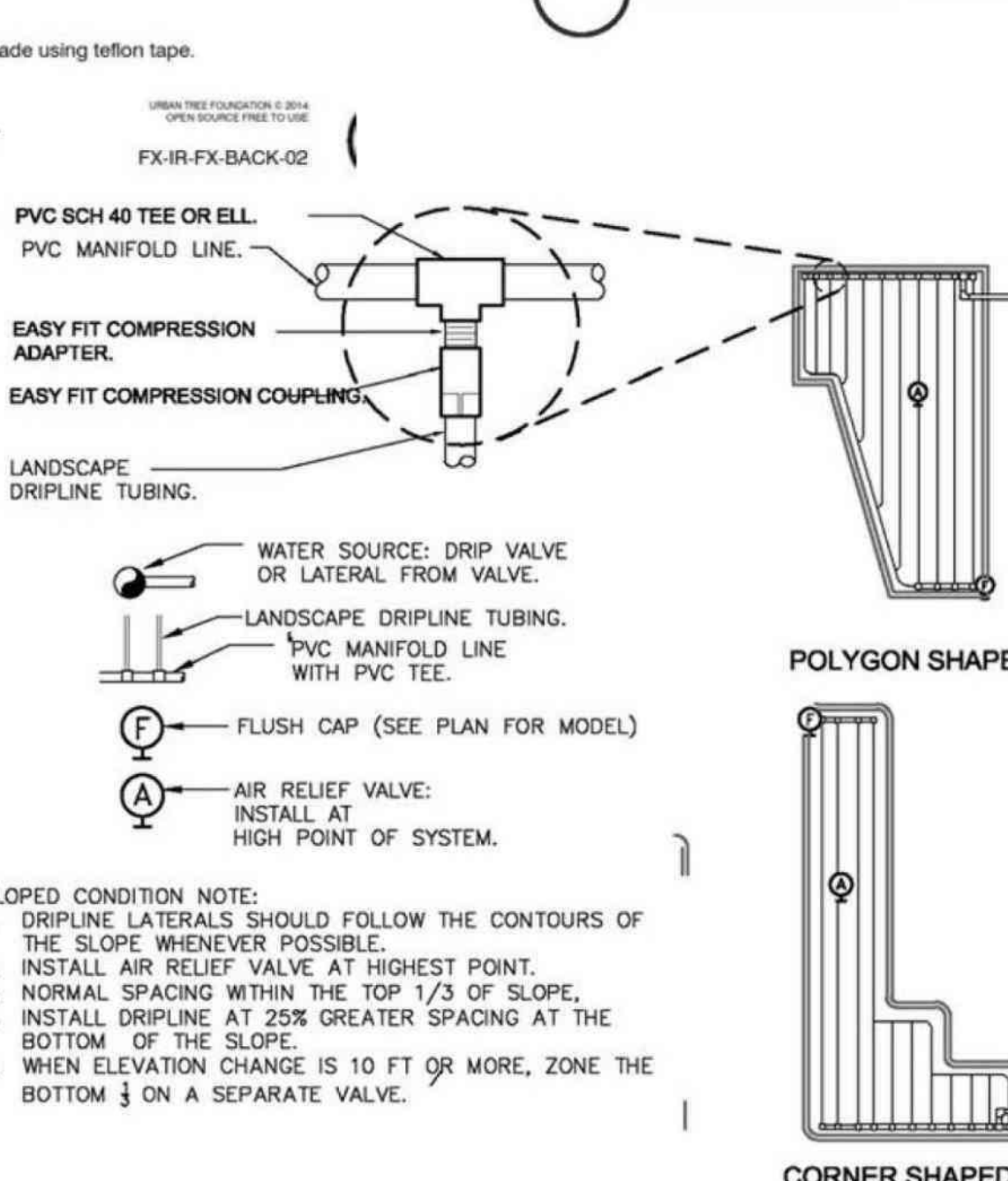
TYPICAL DRIPLINE LAYOUT



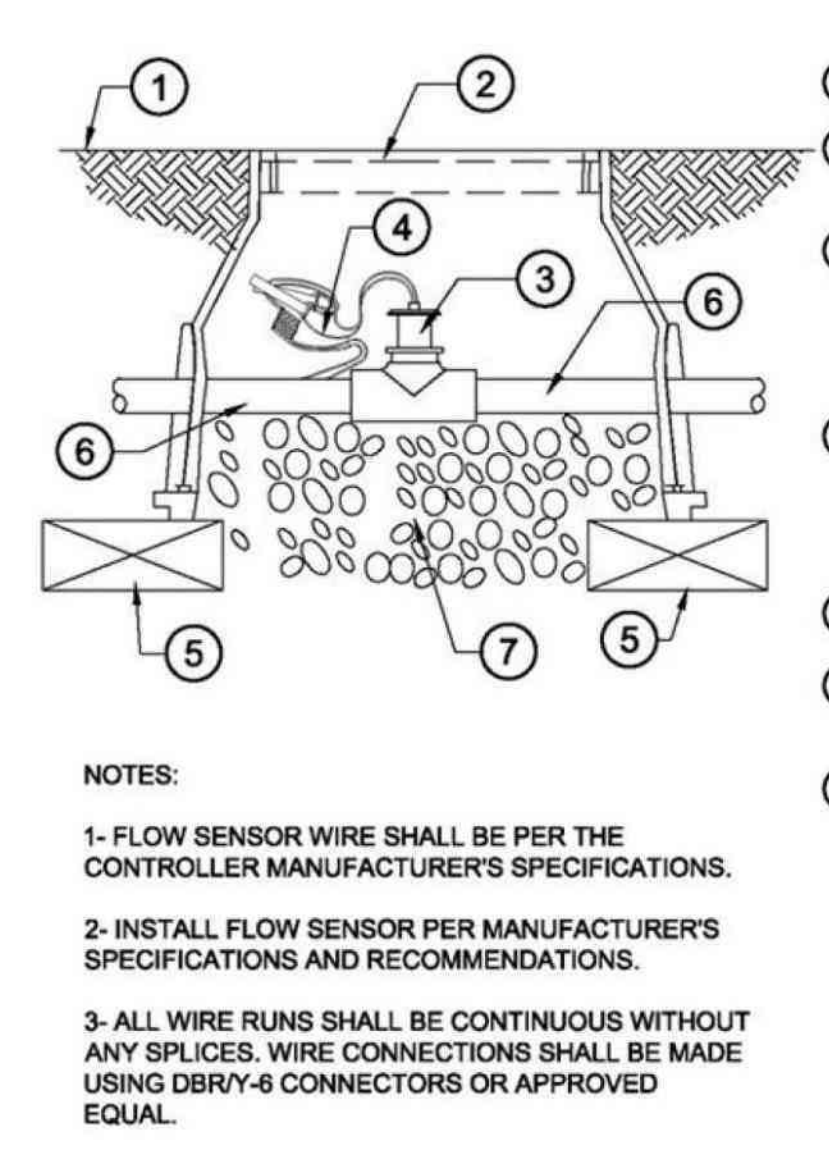
DRIP CONTROL ZONE KIT (ICZ-101-LF)



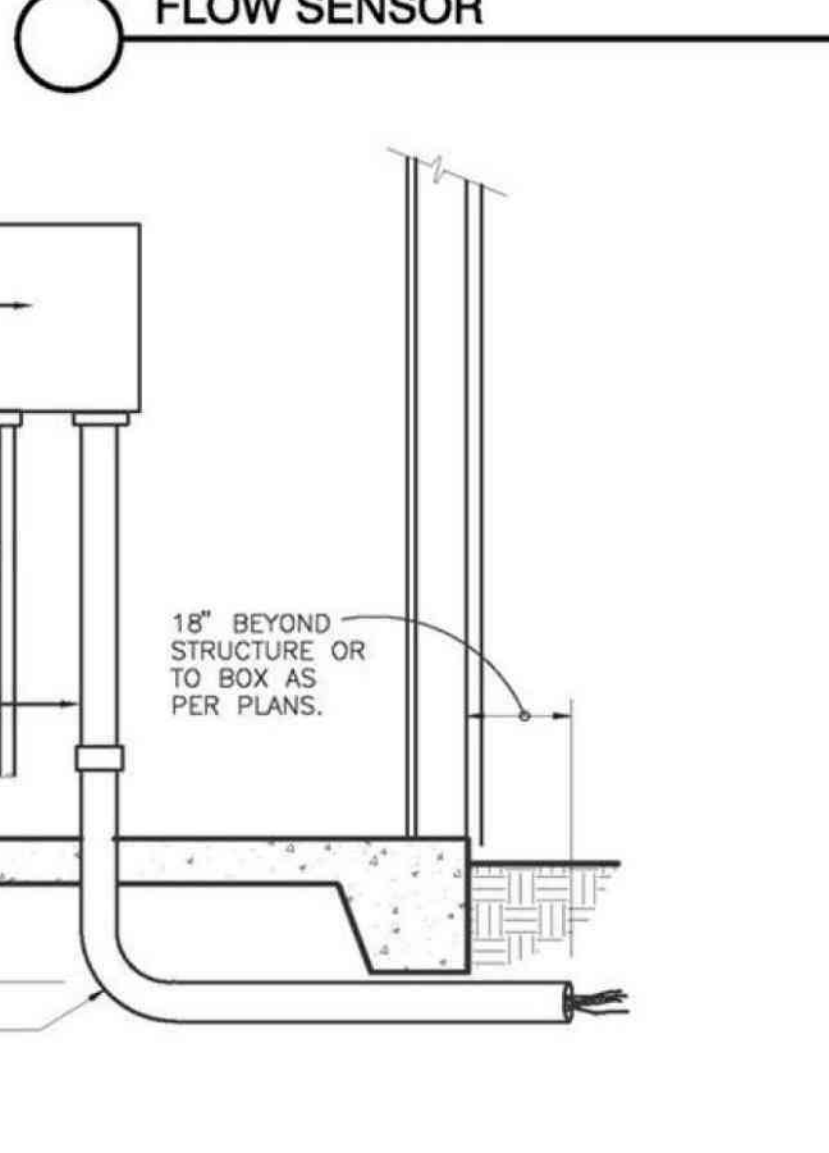
INTERIOR WALL MOUNT CONTROLLER



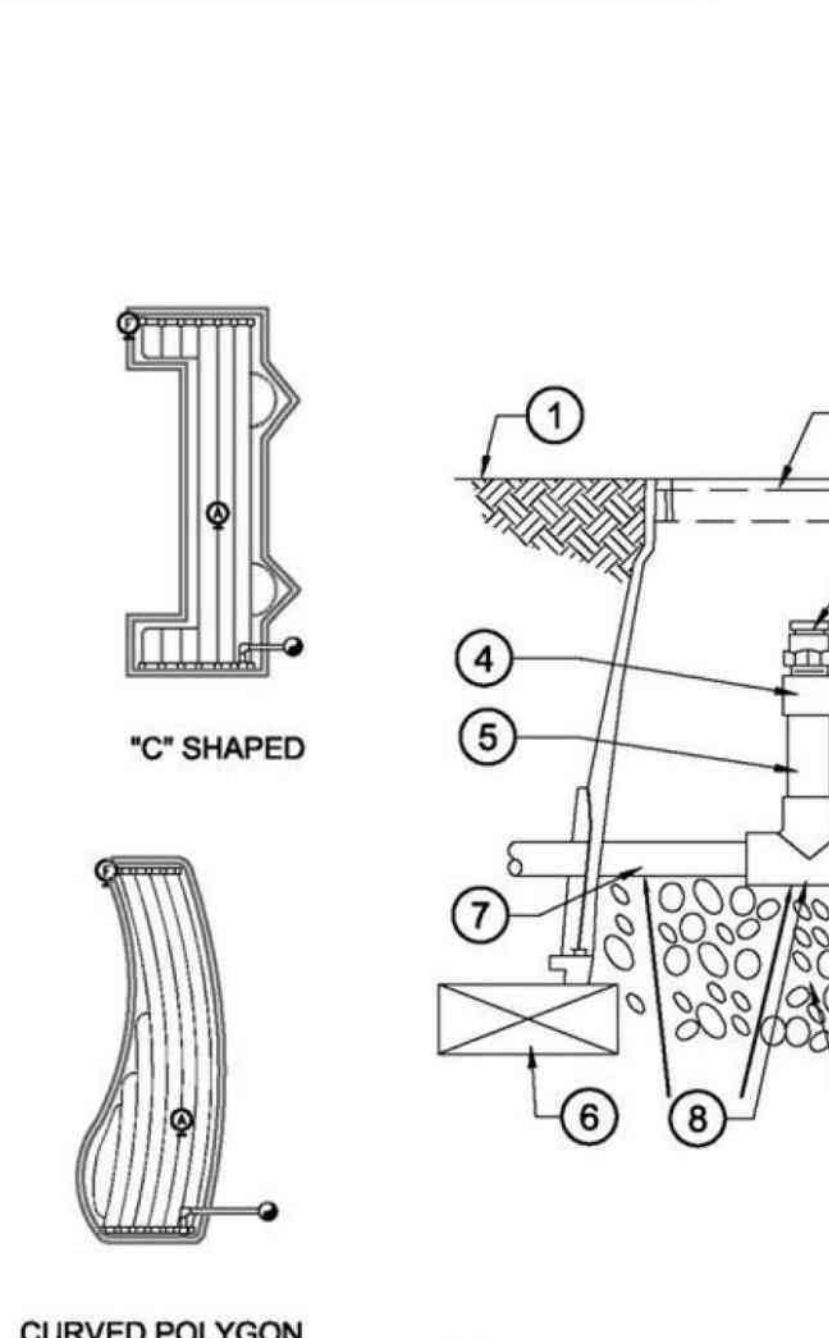
AIR RELIEF VALVE IN PVC HEADER



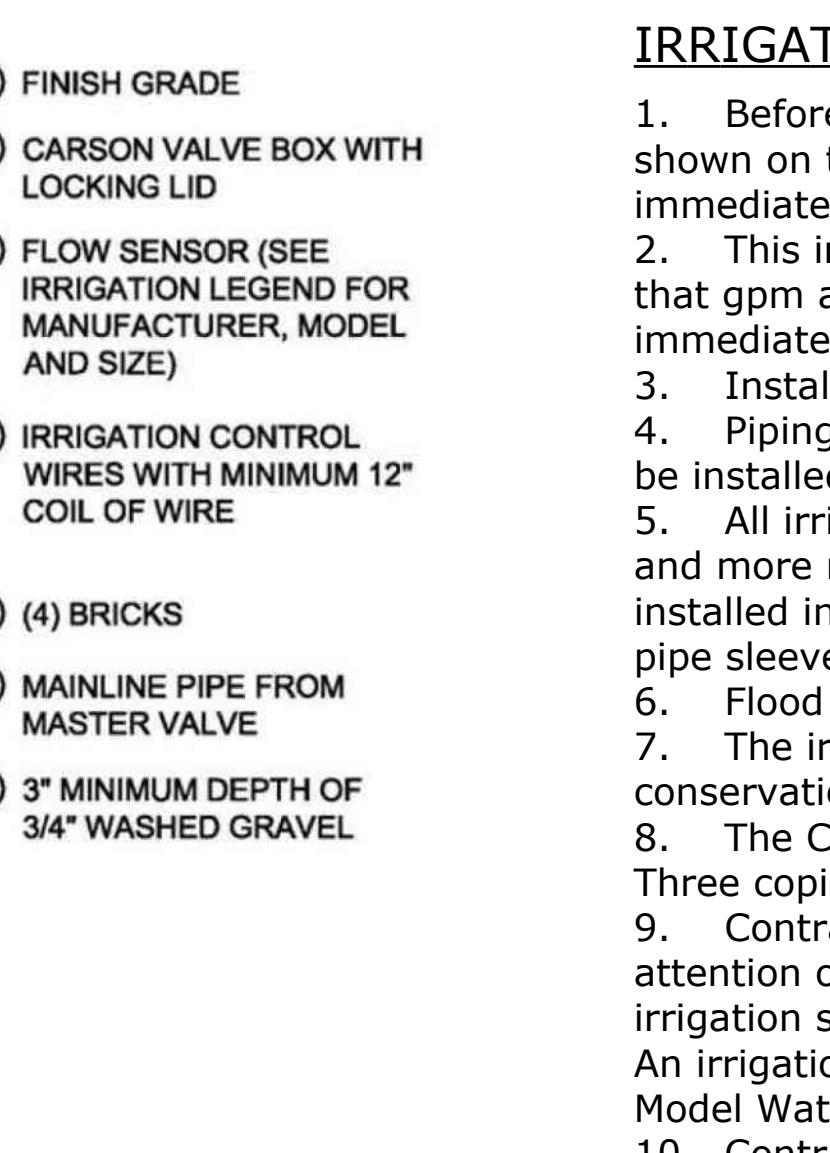
FLOW SENSOR



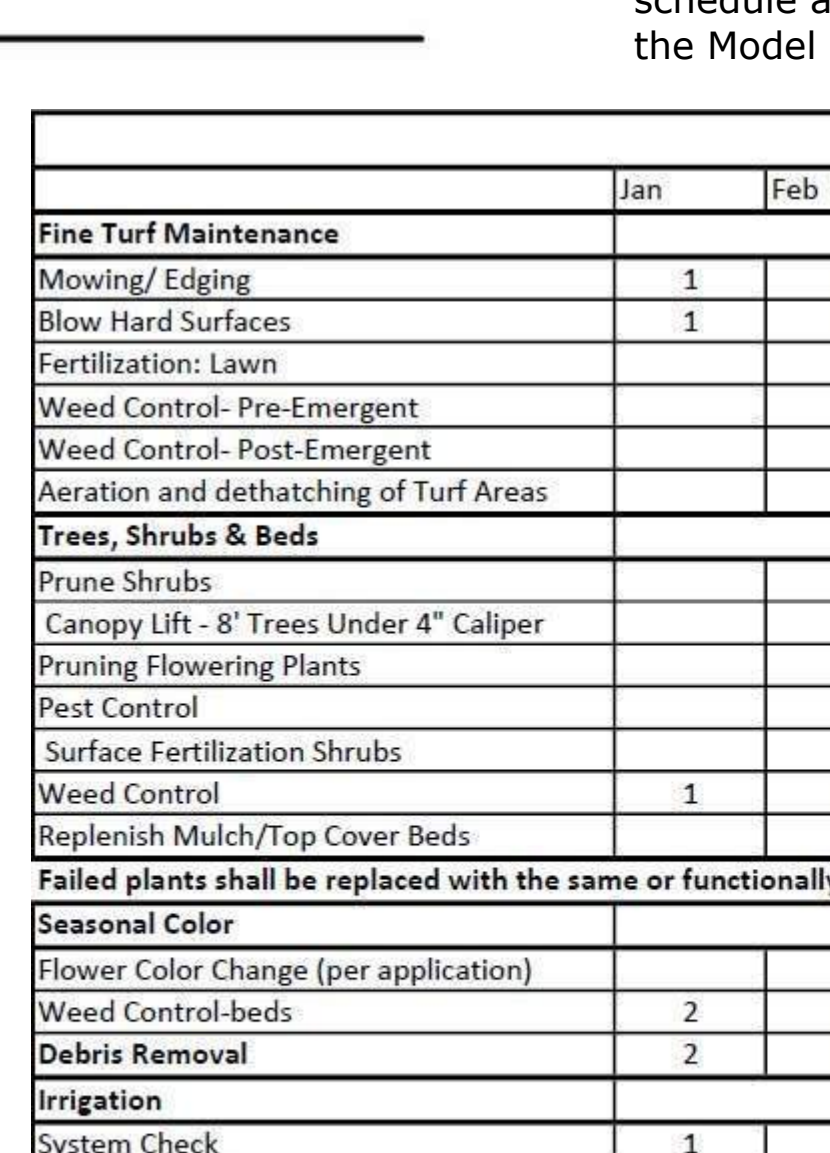
TREE PROTECTION DETAILS



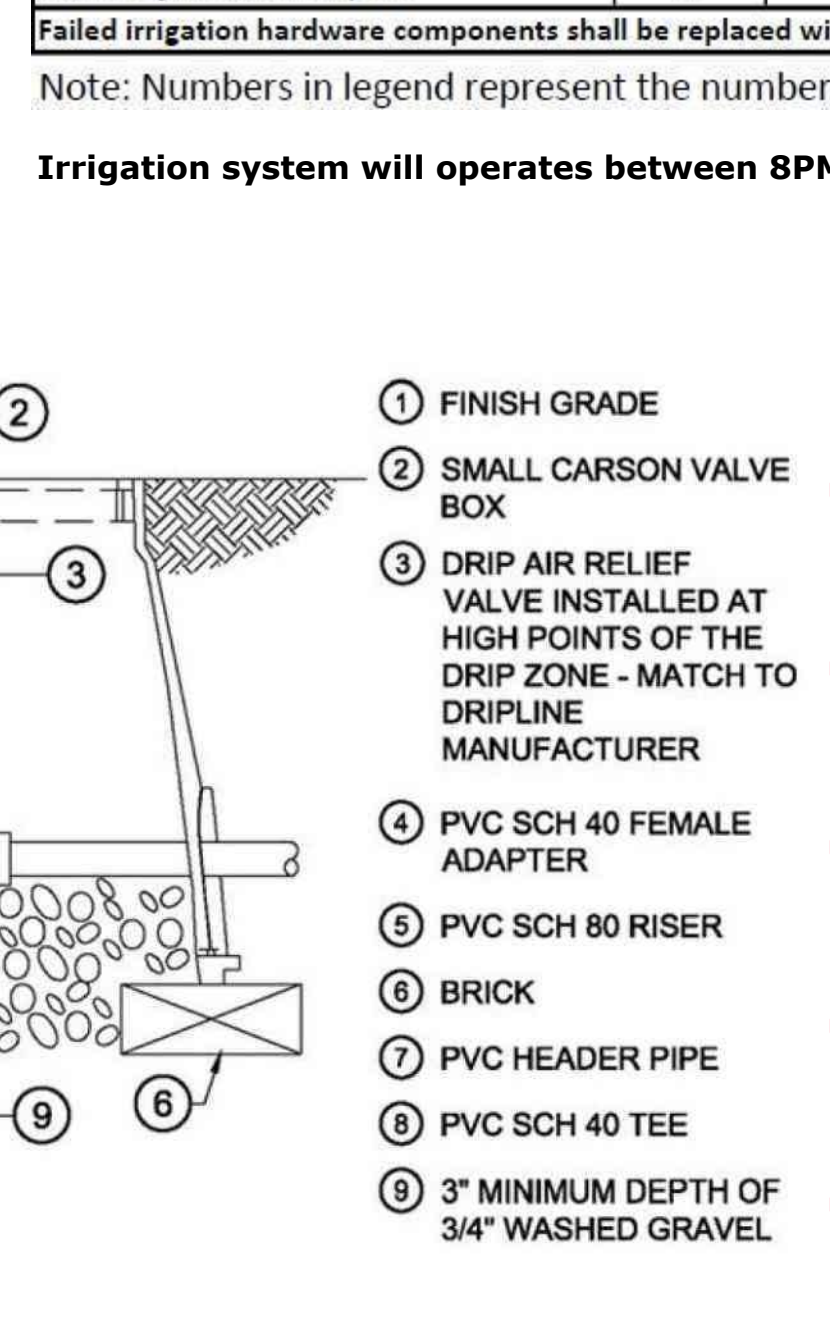
TYPICAL DRIPLINE LAYOUT



TYPICAL DRIPLINE LAYOUT



TYPICAL DRIPLINE LAYOUT



TYPICAL DRIPLINE LAYOUT

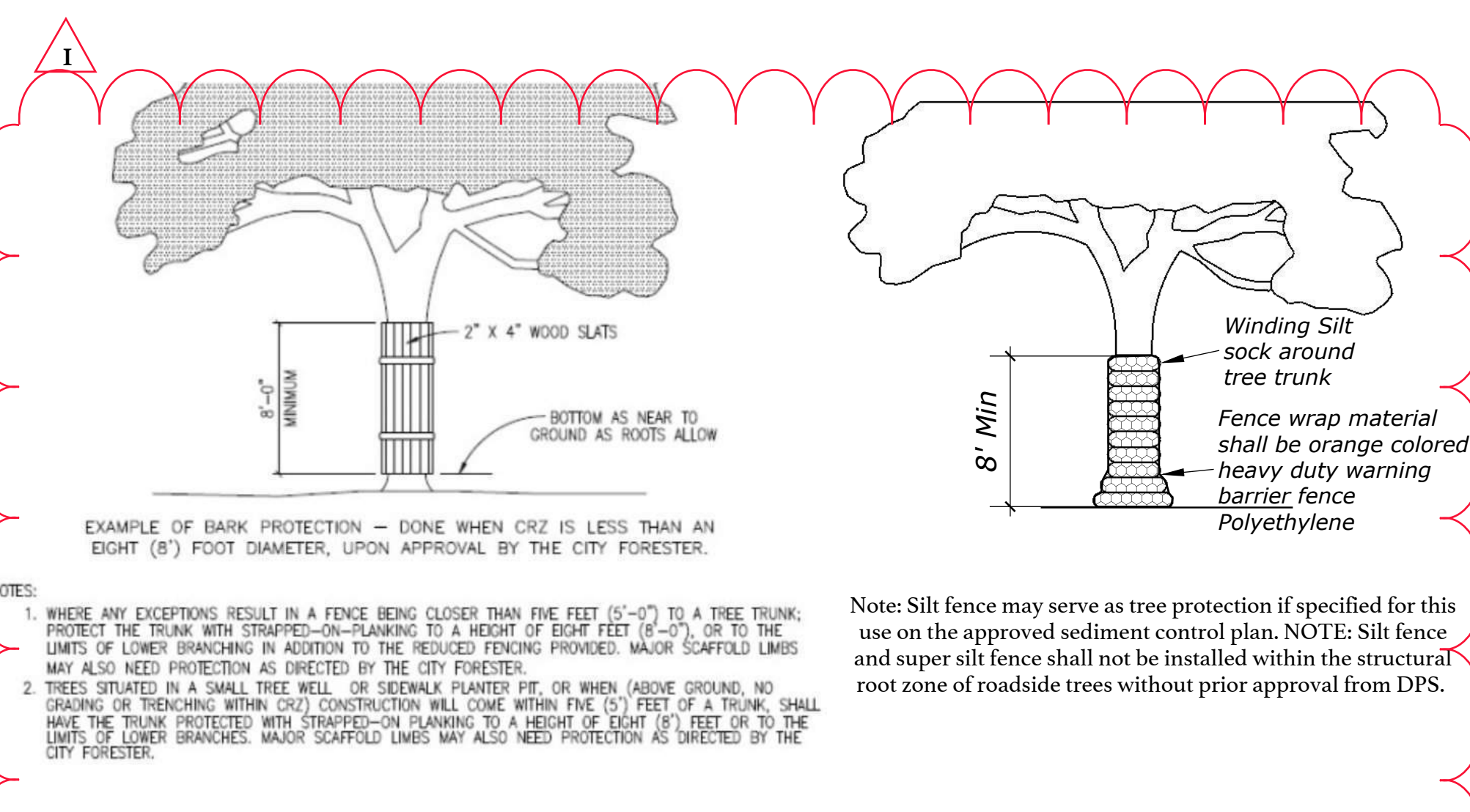
IRRIGATION NOTES

- Before beginning work, Contractor shall inspect the site. If any conditions exist that differ from what is shown on the plans and will affect the Contractor's work, notify the Owner or Landscape Architect immediately.
- This irrigation system is based on a minimum of 40 psi and 6 gpm. Prior to irrigation installation, ensure that gpm and psi requirements are met. If there is insufficient of either, contact the Landscape Architect immediately.
- Install all irrigation equipment in accordance with manufacturer's specifications.
- Piping layout is diagrammatic. Irrigation equipment shown in paved areas are for legibility only and are to be installed in planting areas (except for sleeves).
- All irrigation pipes under paving must be sleeved. Sleeves are only shown diagrammatically on the plan, and more may be needed than shown. All mainline pipes and control wires under paving are to be installed in separate sleeves. Contractor is responsible to coordinate with other contractors to locate and install pipe sleeves under paving.
- Flood trenches to compact backfill before final landscape grading.
- The irrigation controller must be programmed within the days and hours established by any water conservation program adopted by the City of Mountain View.
- The Contractor is responsible to create accurate, scaled, as-built drawing of the entire irrigation system. Three copies of the as-built drawings are to be given to the Owner before the project is complete.
- Contractor to install automatic irrigation per these plans. Any discrepancies are to be brought to the attention of the Landscape Architect. Contractor is responsible for the successful, full operation of the irrigation system.
- An irrigation audit shall be completed by a Certified Landscape Irrigation Auditor after installation per the State Model Water Efficient Landscape Ordinance. The audit shall be provided to the Santa Clara County.
- Contractor to review controller selection and controller and valve locations with Owner.
- The Contractor is responsible to work with the Owner and Landscape Architect to create a maintenance schedule and complete the Certificate of Completion and Certificate of Installation in compliance with the Model Water Efficient Landscape Ordinance.

Landscape & Irrigation Maintenance Schedule													
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Fine Turf Maintenance													
Mowing/ Edging	1	1	3	4	5	4	5	4	4	3	1	1	36
Blow Hard Surfaces	1	1	3	4	5	4	5	4	4	3	1	1	36
Fertilization: Lawn			1			1				1			3
Weed Control- Pre-Emergent				1			1						2
Weed Control- Post-Emergent				1					1				2
Aeration and dethatching of Turf Areas				1					1				2
Trees, Shrubs & Beds													
Prune Shrubs			1	1	1	1	1	1	1	1			8
Canopy Lift - 8" Trees Under 4" Caliper		1											1
Pruning Flowering Plants			1		1		1		1		1		5
Pest Control			1		1		1		1		1		5
Surface Fertilization Shrubs			1						1				1
Weed Control	1	1	3	4	5	4	5	4	4	3	1	1	36
Replenish Mulch/Top Cover Beds			1										1
Failed plants shall be replaced with the same or functionally equivalent plants													
Seasonal Color													
Flower Color Change (per application)					1				1		1		2
Weed Control-beds	2	2	3	4	5	4	5	4	4	3	2	2	40
Debris Removal	2	2	3	4	5	4	5	4	4	3	2	2	40
Irrigation													
System Check	1				1								2
Routine Inspection	1	1	1	1	1	1	1	1	1	1	1	1	12
Water adjustment & Repairs	1	1	1	1	1	1	1	1	1	1	1	1	12
Failed irrigation hardware components shall be replaced with the same or functionally equivalent components													

Note: Numbers in legend represent the number of times each activity has to be implemented in a month.

Irrigation system will operate between 8PM and 10AM.



TREE PROTECTION DETAILS

Notes:
 1. WHERE ANY EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN FIVE FEET (5'-0") TO A TREE TRUNK; PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF EIGHT FEET (8'-0") OR TO THE LIMITS OF LOWER BRANCHING IN ADDITION TO THE REDUCED FENCING PROVIDED. MAJOR SCAFFOLD LIMBS MAY ALSO NEED PROTECTION AS DIRECTED BY THE CITY FORESTER.
 2. TREES SITUATED IN A SMALL TREE WELL OR SIDEWALK PLANTER PIT OR WHEN (ABOVE GROUND, NO GRADING OR TRENCHING WITHIN CRZ) CONSTRUCTION WILL COME WITHIN FIVE (5) FEET OF A TRUNK, SHALL HAVE THE TRUNK PROTECTED WITH STRAPPED-ON PLANKING TO A HEIGHT OF EIGHT (8) FEET OR TO THE LIMITS OF LOWER BRANCHES. MAJOR SCAFFOLD LIMBS MAY ALSO NEED PROTECTION AS DIRECTED BY THE CITY FORESTER.

REVISIONS	BY
1	8-31-23 KAA



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HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
IRRIGATION DETAILS & SCHEDULE



DATE	04-10-24
SCALE	AS NOTED
DRAWN	IN
JOB	CASTRO BLDG.



WATER-EFFICIENT DESIGN AND MAINTENANCE CHECKLIST

Project Site Address: 194-198 Castro Street Mountain View CA

Required Submittals (check if completed)

- 1. Water-Efficient Design and Maintenance Checklist
- 2. Landscape Design Plan
- 3. Irrigation Design Plan
- 4. Water Budget Calculation Worksheet (NOT needed if Plant-Type Restriction Option is chosen)
- 5. Certification of Installation (Within 60 days of installation)

Landscape Design Plan Requirements

Parameter	Requirements	Completed
Plantings	Plant Table included in plan with plant symbol, common name, botanical name, container size, quantity, type (e.g., grass, succulent, vine, shrub, tree), water-efficient species identification (low, moderate, high), and unique physical specifications of plants, if applicable.	<input checked="" type="checkbox"/>
	Plant types are assigned appropriate water-use levels based on the WUCOLS species evaluation list (i.e., "turf" is not assigned a "low"-water use).	<input checked="" type="checkbox"/>
	Avoid invasive plants in plan, such as those listed by the California Invasive Plant Council.	<input checked="" type="checkbox"/>
	Square footages of planted areas and water features (i.e., fountains and pools) noted on the Landscape Design Plan and match areas listed in Compliance Option 1 calculations on Page 2, if applicable.	<input checked="" type="checkbox"/>
Turf	Turf areas are at least 10' wide, unless watered with subsurface drip irrigation.	<input type="checkbox"/>
	Turf is not planted on slopes of 25 percent grade or more.	<input type="checkbox"/>
	Turf is at least 24" away from nonpermeable hardscape (except internal pathways), unless watered with subsurface drip irrigation.	<input type="checkbox"/>
Special Landscape Areas	Areas identified as SLAs meet the definition of a Special Landscape Area: <i>An area of landscape dedicated solely to edible plants, areas irrigated with nonpotable water, water features using nonpotable water, and areas dedicated to active play (parks, sports fields, golf courses). SLAs DO NOT INCLUDE front-yard and backyard lawns of private residences or water features that use potable water.</i>	<input type="checkbox"/>
Hydrozones	Plants are grouped by hydrozone (similar water needs, sun exposure, slope, soil).	<input checked="" type="checkbox"/>
	Hydrozones, including SLAs, are delineated and labeled with square footages.	<input type="checkbox"/>
	Hydrozones are labeled as low, moderate, high, or mixed (low/moderate) water use.	<input checked="" type="checkbox"/>
	High-water-use plants are confined to their own hydrozones (not mixed with plants with low- or moderate-water needs).	<input checked="" type="checkbox"/>
	Single hydrozones with both low- and moderate-water-use plants are labeled "mixed."	<input checked="" type="checkbox"/>
	Hardscapes are identified.	<input checked="" type="checkbox"/>
	Square footages for hydrozones, water features, and SLAs on plan match those listed on the Water Budget Calculation Worksheets (if Compliance Option 2 is chosen).	<input checked="" type="checkbox"/>
Mulch	Mulch is at least 3" deep on exposed soil surfaces. Depth and type of mulch are noted in plan.	<input checked="" type="checkbox"/>
Water Features	Recirculating (if water features are included in plan).	<input type="checkbox"/>
	Pool/spa cover (if pool/spa is included in plan).	<input type="checkbox"/>
Grading and Stormwater Management	Grading contours and quantities shown on Landscape Design and/or Irrigation Design Plan.	<input type="checkbox"/>
	Grading meets applicable requirements of City Standard Design Criteria.	<input type="checkbox"/>
	Stormwater management practices are incorporated appropriately.	<input checked="" type="checkbox"/>

Irrigation Design Plan Requirements

Parameter	Requirements	Completed	
Design	Irrigation system is designed to avoid overspray and runoff.	<input checked="" type="checkbox"/>	
	Overhead irrigation is NOT used in the following locations: on slopes greater than 25 percent (except in defined amphitheaters), within 24" of an impervious surface (except for internal pathways) or in any narrow or irregularly shaped area that is less than 10' in width in any direction.**	<input checked="" type="checkbox"/>	
	Each irrigation valve waters only one type of hydrozone.	<input checked="" type="checkbox"/>	
Equipment	Location, type, and size of all irrigation system components are noted in plan. Components may include controllers, main and lateral lines, valves, sprinkler heads, quick couplers, pressure regulators, and backflow prevention devices.	<input checked="" type="checkbox"/>	
	The following irrigation components are included and noted in plan:		
	Automatic irrigation controllers	<input checked="" type="checkbox"/> Rain-sensing shutoff devices	<input checked="" type="checkbox"/>
	Master shut-off valves or equivalent technology	<input checked="" type="checkbox"/> Check valves or anti-drain valves	<input type="checkbox"/>
	Swing joints or other riser-protection components	<input type="checkbox"/> Flow sensors	<input checked="" type="checkbox"/>
	Pressure regulators or booster pumps (if applicable)	<input type="checkbox"/> Flow/application rate and operating pressure for each station	<input checked="" type="checkbox"/>
	Static water pressure at point of connection to public water supply.		<input checked="" type="checkbox"/>
	Location and size of dedicated irrigation meter (if landscape area is > 1,000 square feet).		<input type="checkbox"/>
	Scheduling	Proposed irrigation schedule is provided.	<input checked="" type="checkbox"/>
		System only operates between 8:00 p.m. and 10:00 a.m.	<input checked="" type="checkbox"/>

**NOTE: "Overhead irrigation" means water distributed through sprinkler heads or nozzles.

Compliance Option Requirements

Option 1: Plant-Type Restriction	<input type="checkbox"/>
Option 2: Water Budget	<input checked="" type="checkbox"/>

Option 1: Plant-Type Restriction Requirements

High-water-use plants (e.g., turf) are not used in the landscape area.	<input type="checkbox"/>
At least 80 percent of plantings are California native or low-water-use plants.	<input type="checkbox"/>

Option 2: Water Budget Calculation Requirements

A water budget calculation is NOT required if plans comply with Compliance Option 1. Water Budget Calculation worksheets are available in hard copy at the City of Mountain View's Planning office or online: mountainview.gov/depts/comdev/planning/application.asp

Parameter	Requirements	Completed
Compliance	Water Budget Calculation worksheet completed and printed for submission.	<input checked="" type="checkbox"/>
	Landscape's water use is within budget: MAWA ≥ ETWU.	<input checked="" type="checkbox"/>
Appropriate Labeling	Plant factors in calculation worksheet are assigned as follows: 0.3 for low-water-use plants; 0.5 for moderate-water-use plants; and 0.8 for high-water-use plants. "Mixed" hydrozone areas are considered moderate-water-use areas and are assigned a factor of 0.5.	<input checked="" type="checkbox"/>
	Irrigation methods are assigned appropriate water-use levels (Spray=0.75 Drip=0.81).	<input checked="" type="checkbox"/>

I certify that information provided on this checklist is correct and meets the specified requirements of the Water Conservation in Landscaping Regulations.

X Karen Aitken 9-13/23
Signature of Project Applicant or Authorized Representative Date

Landscape and Irrigation Maintenance Checklist

Pursuant to the City of Mountain View's Water Conservation in Landscaping Regulations, landscapes and irrigation systems shall be maintained to ensure successful establishment following installation, and to ensure the efficient use of water. Maintenance shall be performed regularly and must include, at a minimum, the following components:

Parameter	Components	Completed
Irrigation System	System check (every six months)	<input checked="" type="checkbox"/>
	Routine inspection (monthly)	<input checked="" type="checkbox"/>
	Adjustment and repair	<input checked="" type="checkbox"/>
	Failed irrigation hardware components shall be replaced with the same or functionally equivalent components	<input checked="" type="checkbox"/>
Landscape	Replenish mulch	<input checked="" type="checkbox"/>
	Fertilize	<input checked="" type="checkbox"/>
	Prune	<input checked="" type="checkbox"/>
	Weed control	<input checked="" type="checkbox"/>
	Pest control	<input checked="" type="checkbox"/>
	Aeration and dethatching of turf areas	<input checked="" type="checkbox"/>
	Failed plants shall be replaced with the same or functionally equivalent plants	<input checked="" type="checkbox"/>

To the best of my ability, the landscape and irrigation systems installed as part of this project will be maintained on a regular basis and in compliance with the Water Conservation in Landscaping Regulations.

X Karen Aitken 9-13-23
Signature of Project Applicant or Authorized Representative Date

REVISIONS	BY
2	9-13-23 KAA



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HISTORIC JURIAN BUILDING
194-198 Castro Street Mountain View CA
WATER-EFFICIENT DESIGN AND MAINTENANCE CHECKLIST



DATE	04-10-24
SCALE	AS NOTED
DRAWN	IN
JOB	CASTRO BLDG.

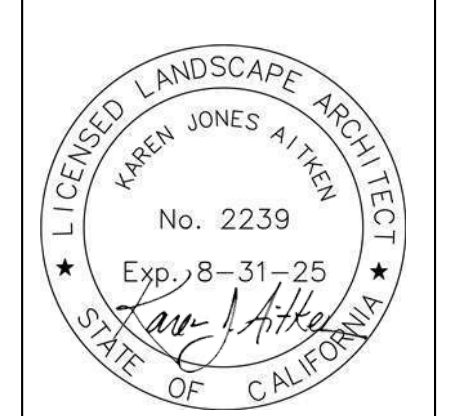


REVISIONS	BY
1	8-31-23 KAA

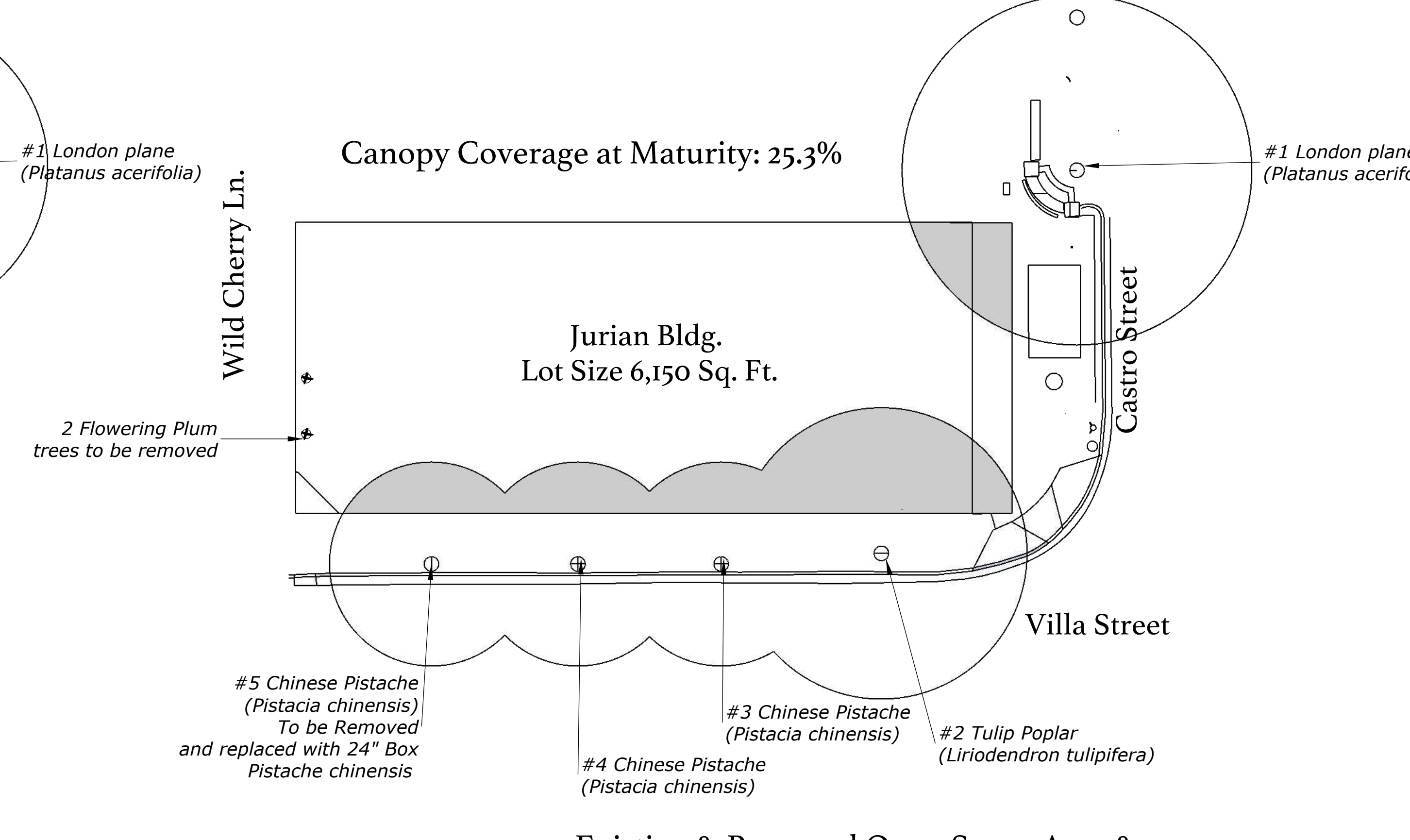
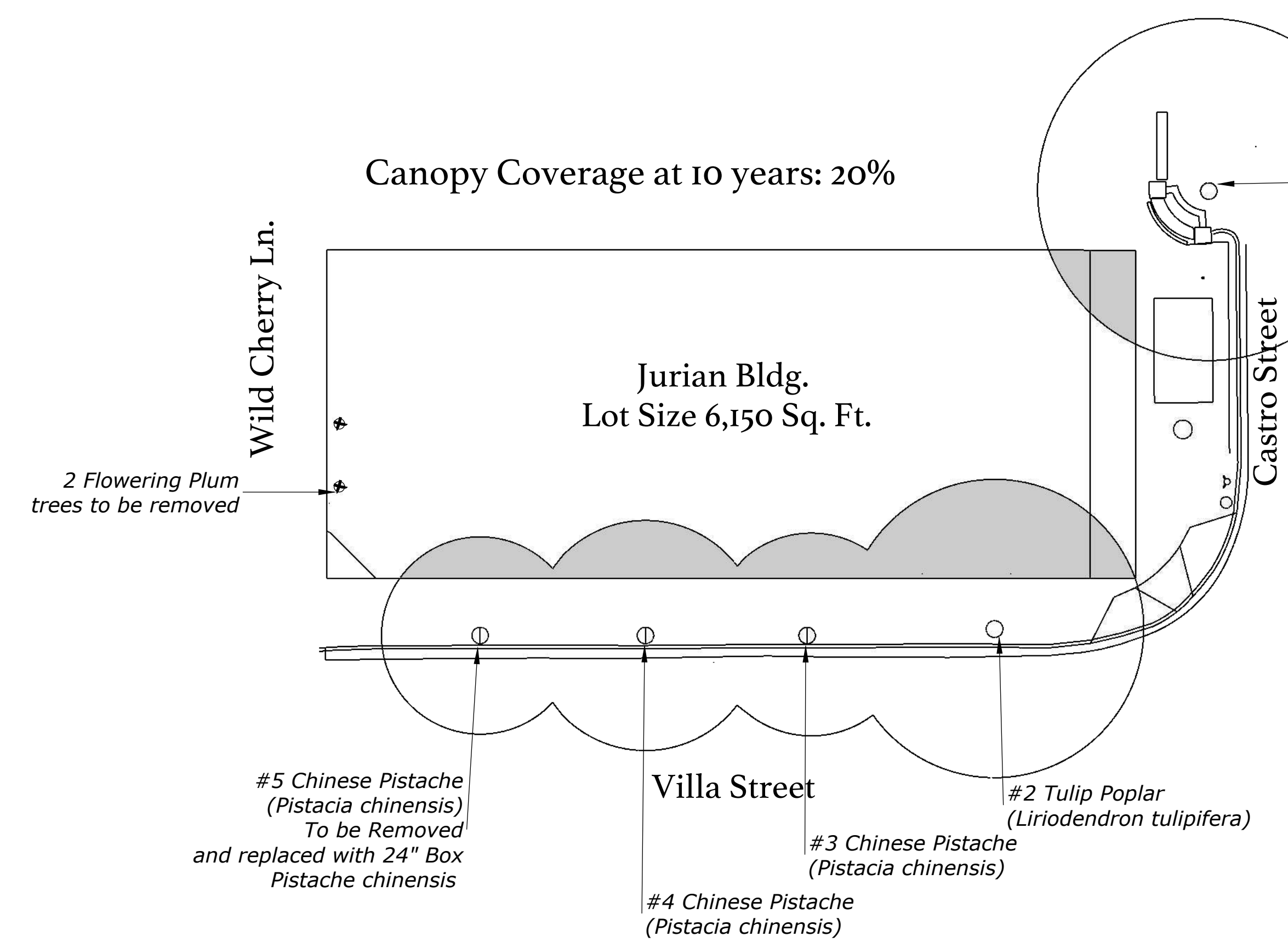
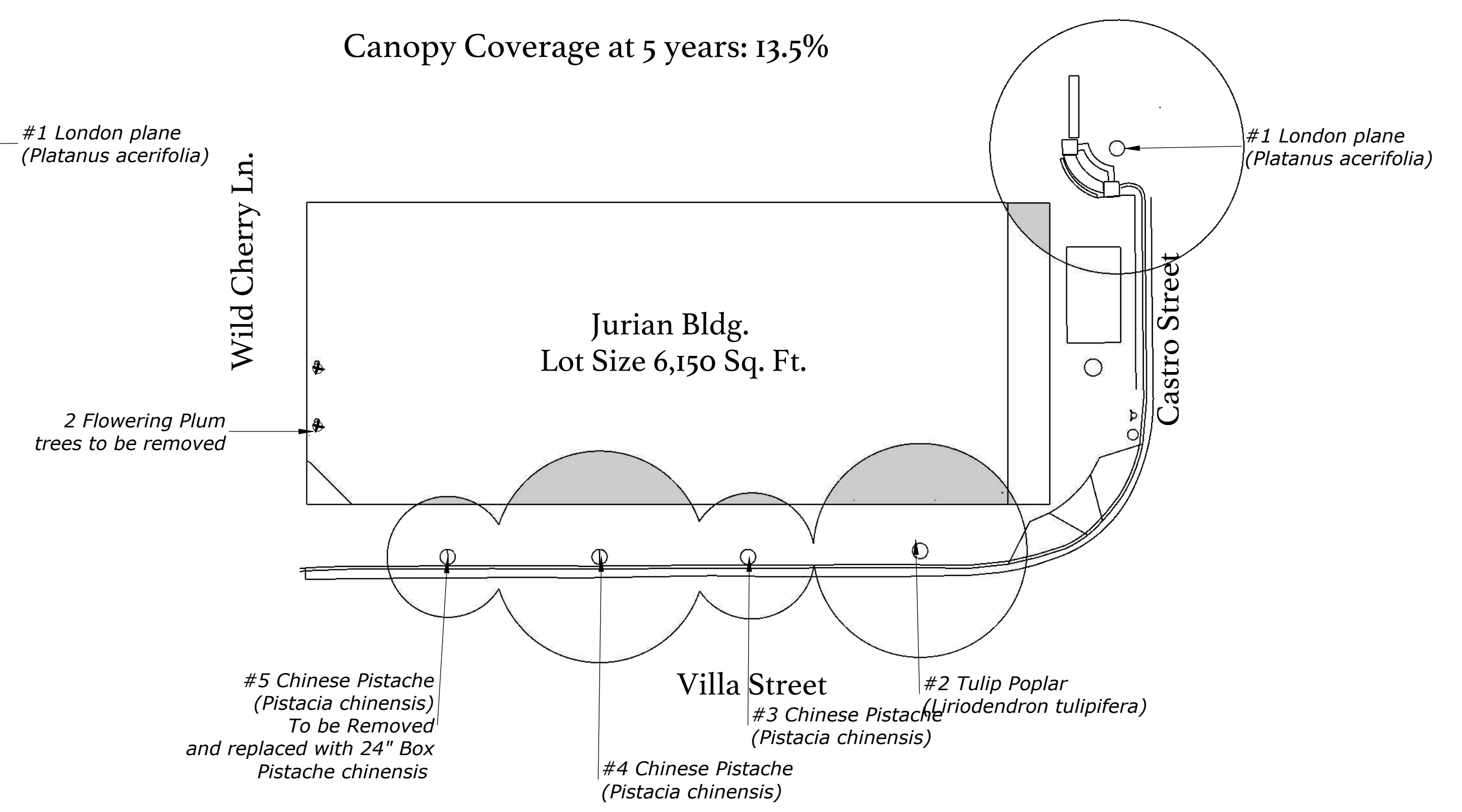
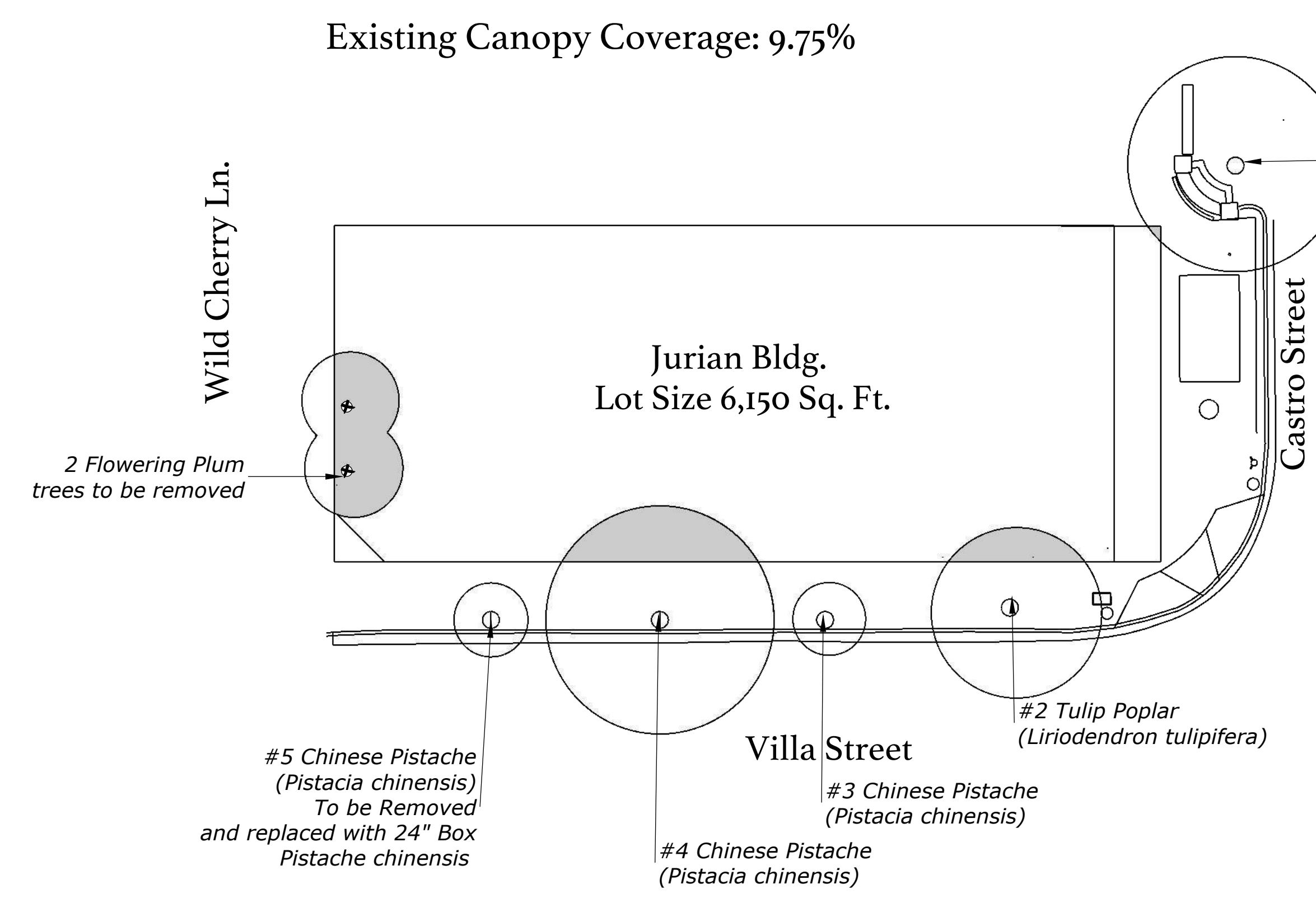


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HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
TREE CANOPY PLAN



DATE 04-10-24
 SCALE 1/16"=1'-0"
 DRAWN IN
 JOB CASTRO BLDG.

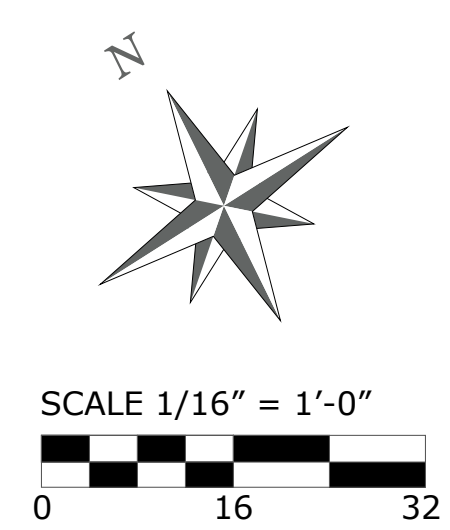


#	Common / Botanical	Trunk Diameter	Condition	Status	(E) Canopy Size (Diam)	Canopy in 5 years	Canopy in 10 years	Canopy at Maturity
1	London plane - Platanus acerifolia	18" DBH	Good	Remain	32'	42'	52'	60'
2	Tulip Poplar - Liriodendron tulipifera	13" DBH	Fair	Remain	25.5'	35.5'	45.5'	50"
3	Chinese Pistache - Pistachia chinensis	8" DBH	Fair	Remain	11'	21'	31'	35'
4	Chinese Pistache - Pistachia chinensis	12" DBH	Fair	Remain	32'	35'	35'	35'
5	Chinese Pistache - Pistachia chinensis (24" Box same species replacement)	To be measured	To be measured	Replacement due to (E) #5 Poor condition	10'	20'	30'	35'

NOTE: Refer to arborist report by Alpine Landscape for Street trees information & recommendations.

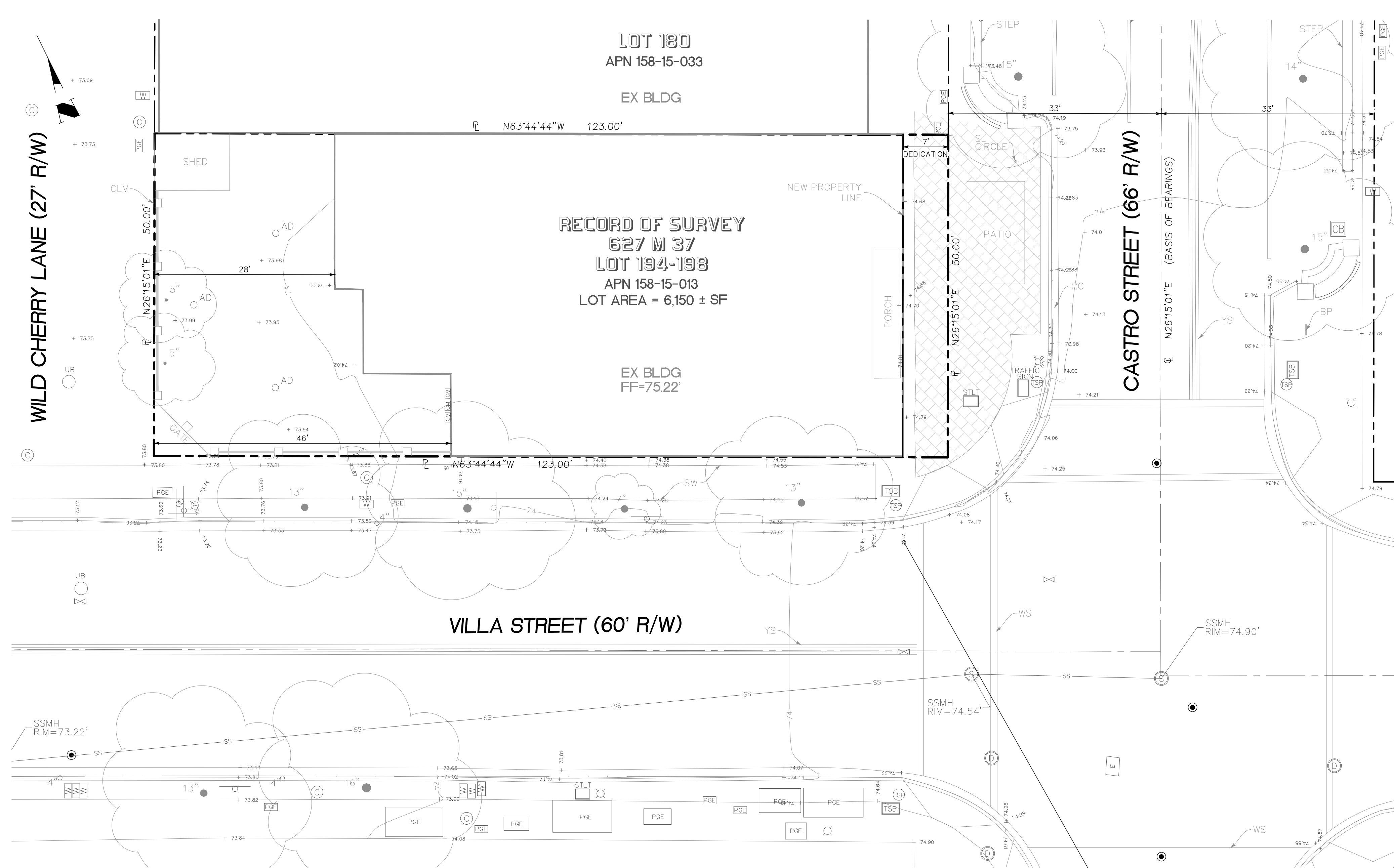
Existing & Proposed Open Space Area & Canopy Coverage Data

Existing Canopy Coverage	462 SF	7.5% of lot
Canopy Coverage at 5 years	485 SF	7.8% of Lot
Canopy Coverage at 10 years	995 SF	16.2% of Lot
Canopy Coverage at maturity	1,355 SF	22.0% of Lot



* NOTES (E) = Existing





LEGEND & ABBREVIATIONS

	BENCHMARK	AC	ASPHALT CONCRETE
	BORDER LINE	AD	AREA DRAIN
	BOUNDARY	BD	BRASS DISC
	BUILDING OUTLINE	BLDG	BUILDING
	CATCH BASIN	BOL	BOLLARD
	CENTERLINE	BP	BICYCLE PARKING
	PAVED	BRC	BACK OF ROLLED CURB
	BRICK	BSL	BUILDING SETBACK LINE
	CONCRETE	BWK	BACK OF WALK
	EXISTING CONTOUR	BWV	BACKFLOW WATER VALVE
	EASEMENT LINE	CB	CATCH BASIN
	ELECTRICAL METER	CG	CURB & GUTTER
	EXISTING ELEVATION	CL	CENTERLINE
	EXISTING CHAIN LINK FENCE	CLF	CHAIN LINK FENCE
	EXISTING WOOD FENCE	CLM	COLUMN
	EXISTING TREE AND DIAMETER	CLST	CLOSET
	FLOW LINE	CONC	CONCRETE
	GAS METER	COR	CORNER
	GUY WIRE	DWY	DRIVEWAY
	EXISTING HYDRANT	EA	EASEMENT
	JOINT POLE	EC	EDGE OF CONCRETE
	LIGHT POST	ELEV	ELEVATION
	MANHOLE	EM	ELECTRIC METER
	STREET MONUMENT	E(OH)	ELECTRIC OVERHEAD
	PROPERTY CORNER MONUMENT	E(UG)	ELECTRIC UNDERGROUND
	MONUMENT LINE	EP	EDGE OF PAVEMENT
	PARCEL LINE / RIGHT OF WAY	EX	EXISTING
	PGE BOX	FF	FINISH ELEVATION OF SUBFLOOR
	PVC PIPE AND DIAMETER	FG	GROUND FINISH GRADE
	SANITARY SEWER CLEAN OUT	FH	FIRE HYDRANT
	SANITARY SEWER MANHOLE	FL	FLOW LINE
	SANITARY SEWER STORM DRAIN	G	GAS LINE
	SETBACK LINE	GAR	GARAGE SLAB ELEVATION
	STREET SIGN	GD	GROUND
	TREE STUMP AND DIAMETER	GM	GAS METER
	UTILITY: EXISTING	HC	HANDICAPPED
	WATER METER	HC	HANDICAPPED
	WATER VALVE	IEE	INGRESS AND EGRESS EASEMENT
	BOLLARD	IP	IRON PIPE
	AREA DRAIN	IRR	IRRIGATION
	MAIL BOX	LD	LANDING
	STUMP	LIP	LIP OF GUTTER
		LS	LANDSCAPED AREA
		MH	MANHOLE
		MON	MONUMENT
		PLTR	PLANTER
		PGE	PACIFIC GAS AND ELECTRIC
		PP	POWER POLE
		PRUE	PRIVATE SERVICES AND UTILITY EASEMENT
		PSDE	PRIVATE STORM DRAINAGE EASEMENT
		PSE	PUBLIC SERVICE EASEMENT
		PSSSE	PRIVATE SANITARY SEWER EASEMENT
		PUE	PUBLIC UTILITY EASEMENT
		PVAE	PRIVATE VEHICLE ACCESS EASEMENT
		PVMT	PAVEMENT
		RC	ROLLED CURB
		RW	RETAINING WALL
		R/W	RIGHT OF WAY
		SDE	STORM DRAIN EASEMENT
		SSCO	SANITARY SEWER CLEANOUT
		SSE	SANITARY SEWER EASEMENT
		SSMH	SANITARY SEWER MANHOLE / LATERAL
		STLT	STREET LIGHTING BOX
		SW	SIDEWALK
		TEL	TELEPHONE BOX
		TSB	TRAFFIC SIGNAL BOX
		TSP	TRAFFIC SIGNAL POLE
		TW	TOP OF WALL
		TYP	TYPICAL
		UB	UTILITY BOX
		WCE	WIRE CLEARANCE EASEMENT
		WF	WOOD FENCE
		WLE	WATER LINE EASEMENT
		WLK	WALKWAY
		WV	WATER VALVE

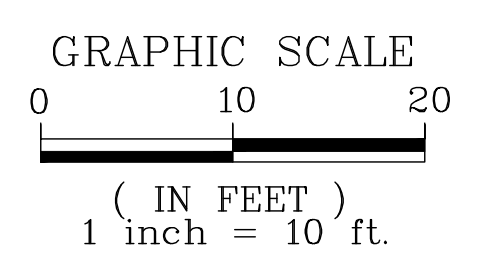
NOTES

1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CASTRO STREET, AS SHOWN AS N26°15'01"E ON RECORD OF SURVEY, RECORDED IN BOOK 627 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

BENCHMARK
MAG NAIL
ELEV = 74.28' (NAVD88)
GPS OBSERVATION



SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.
Woon Chui
H. W. CHUI
RCE NO. 32912
DATE 04/29/2022



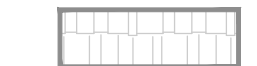




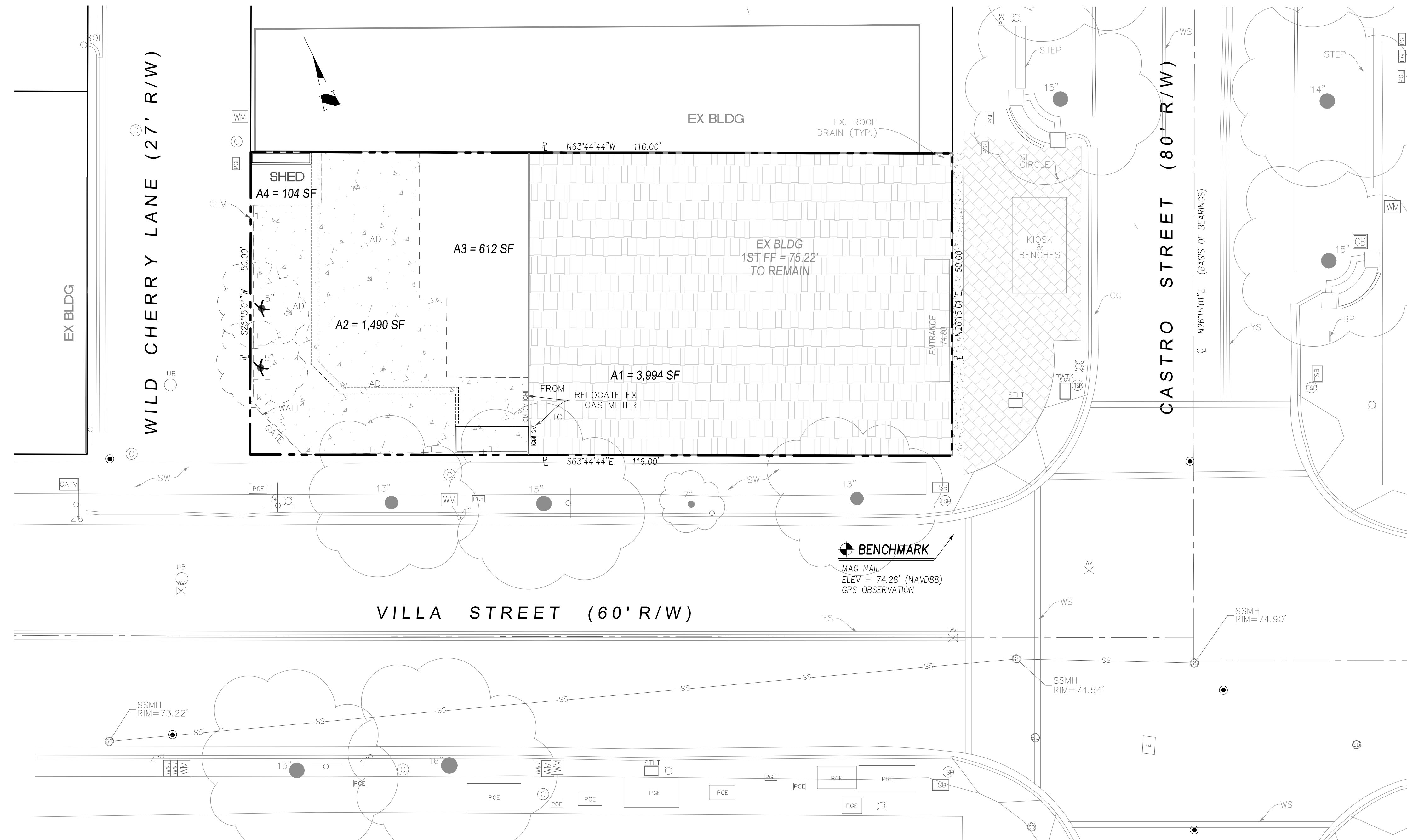
<p>BOUNDARY MAP AND TOPOGRAPHIC SURVEY 194-198 CASTRO STREET APN 158-15-013</p>		<p>ENGINEERING 598 E Santa Clara St #270 San Jose, CA 95112 Phone: (408) 806-7187</p>	
<p>DRAWING NO.</p>	<p>PROJECT NO.</p>	<p>DATE</p>	<p>NO.</p>
<p>SHT NO. 1 OF 1</p>	<p>FILE NO.</p>	<p>DATE</p>	<p>REVISIONS</p>
<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>
<p>BY</p>	<p>DATE</p>	<p>APP'D</p>	<p>REVISIONS</p>
<p>CHECKED</p>	<p>DATE</p>	<p>DATE</p>	<p>NO.</p>

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CASTRO STREET, AS SHOWN AS N26°15'01"E ON RECORD OF SURVEY, RECORDED IN BOOK 627 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

LEGEND

-  ITEM OR AREA TO BE REMOVED
-  EX CONC TO BE REMOVED
-  EX BLDG TO REMAIN
-  TREE TO REMAIN
-  TREE TO BE REMOVED

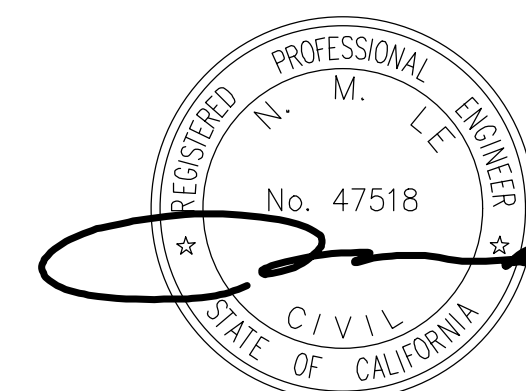
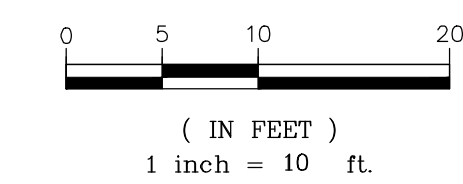


PRE - DEVELOPMENT				
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	EX BLDG	REMAIN	3,494 SF	
A2	EX CONC	REMOVE	1,490 SF	
A3	EX BLDG	REMOVE	612 SF	
A4	EX SHED	REMOVE	104 SF	
	LANDSCAPING			100 SF
	TOTAL		5,700 SF	100 SF

NOTES:

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.

GRAPHIC SCALE



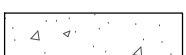
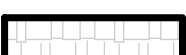


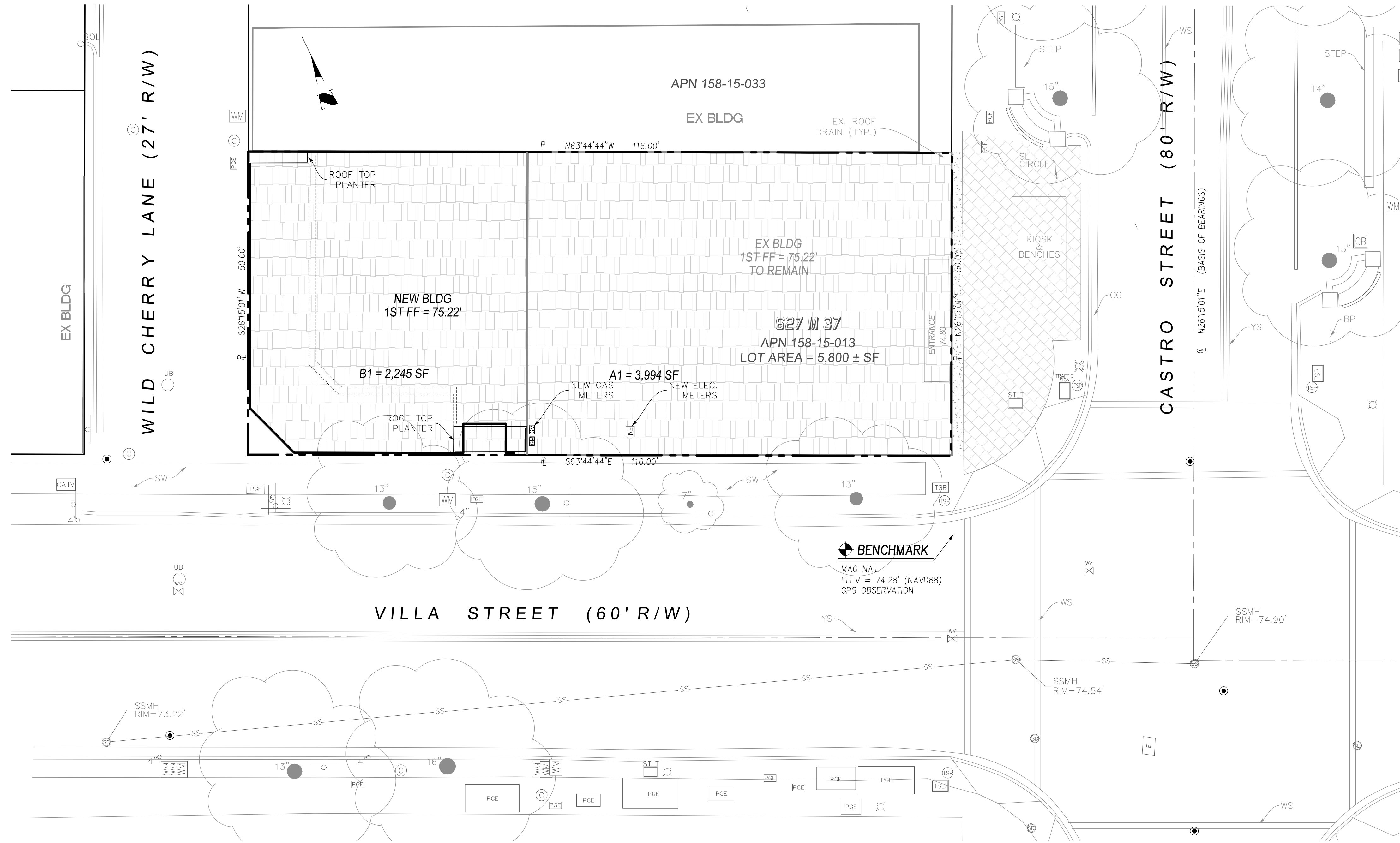
DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE	BY	DATE
05/30/23	05/30/23				05/30/23		
ENGINEERING				598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006			
DEMOLITION PLAN				California			
194-198 CASTRO STREET				PROJECT NO.			
APN 158-15-013				CONTRACT NO.			
DRAWING NO. C2				SHT NO. 2 OF 7			
APPLICANT : DBA HANSON AMERICA, LLC				ROAD NAME : CASTRO STREET			
CITY FILE NO :				FILE NO.			

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CASTRO STREET, AS SHOWN AS N26°15'01"E ON RECORD OF SURVEY, RECORDED IN BOOK 627 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

LEGEND

-  ITEM OR AREA TO BE REMOVED
-  EX BLDG TO REMAIN
-  PROPOSED CONCRETE
-  PROPOSED BUILDING

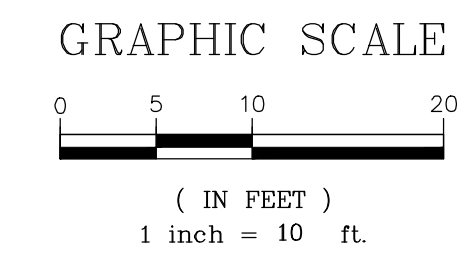


POST - DEVELOPMENT				
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	EX BLDG	REMAIN	3,494 SF	
B1	NEW ADDITION	NEW	2,245 SF	
	LANDSCAPING	NEW		61 SF
	TOTAL		5,739 SF	61 SF

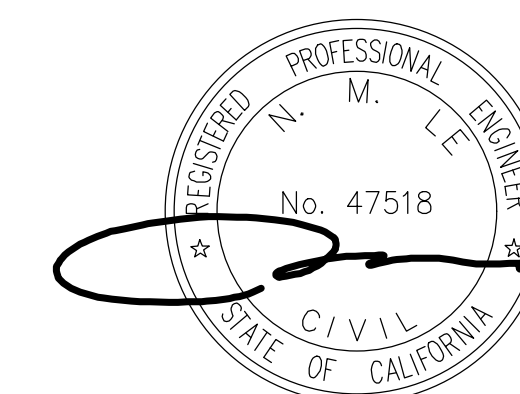
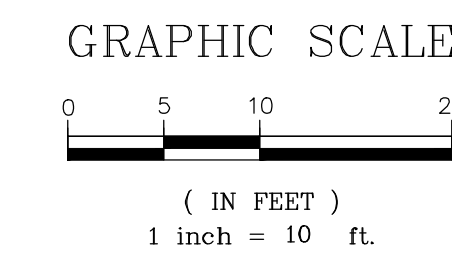
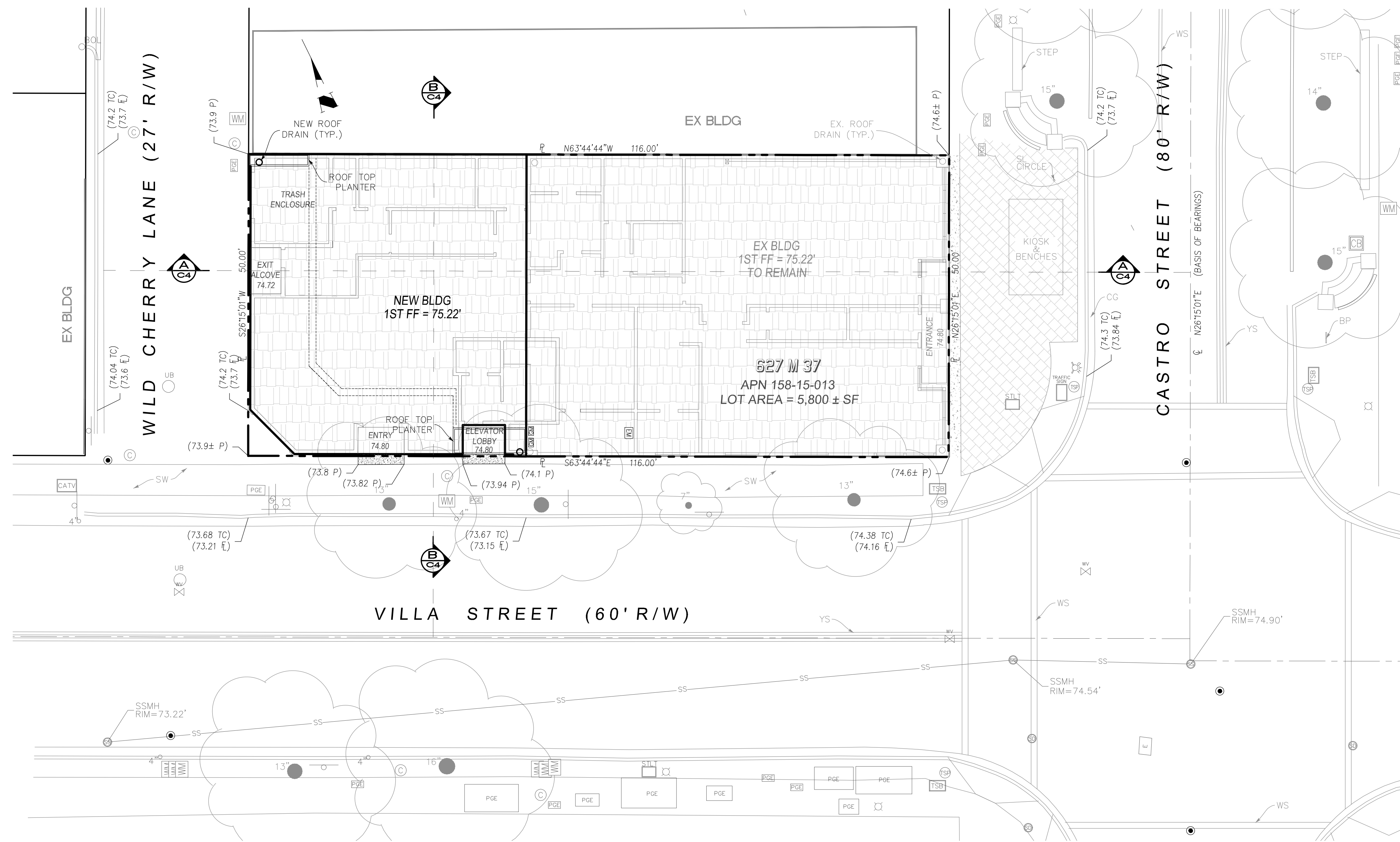
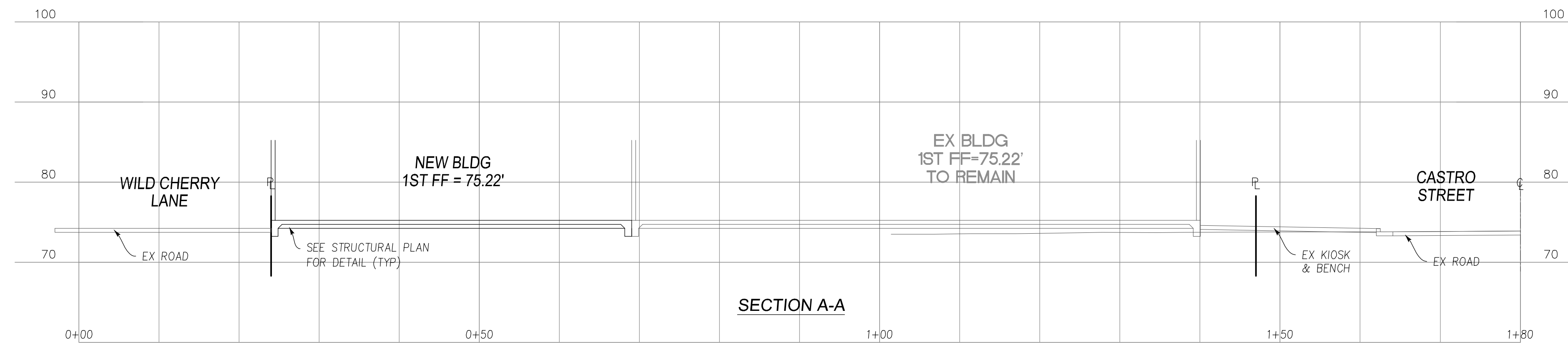
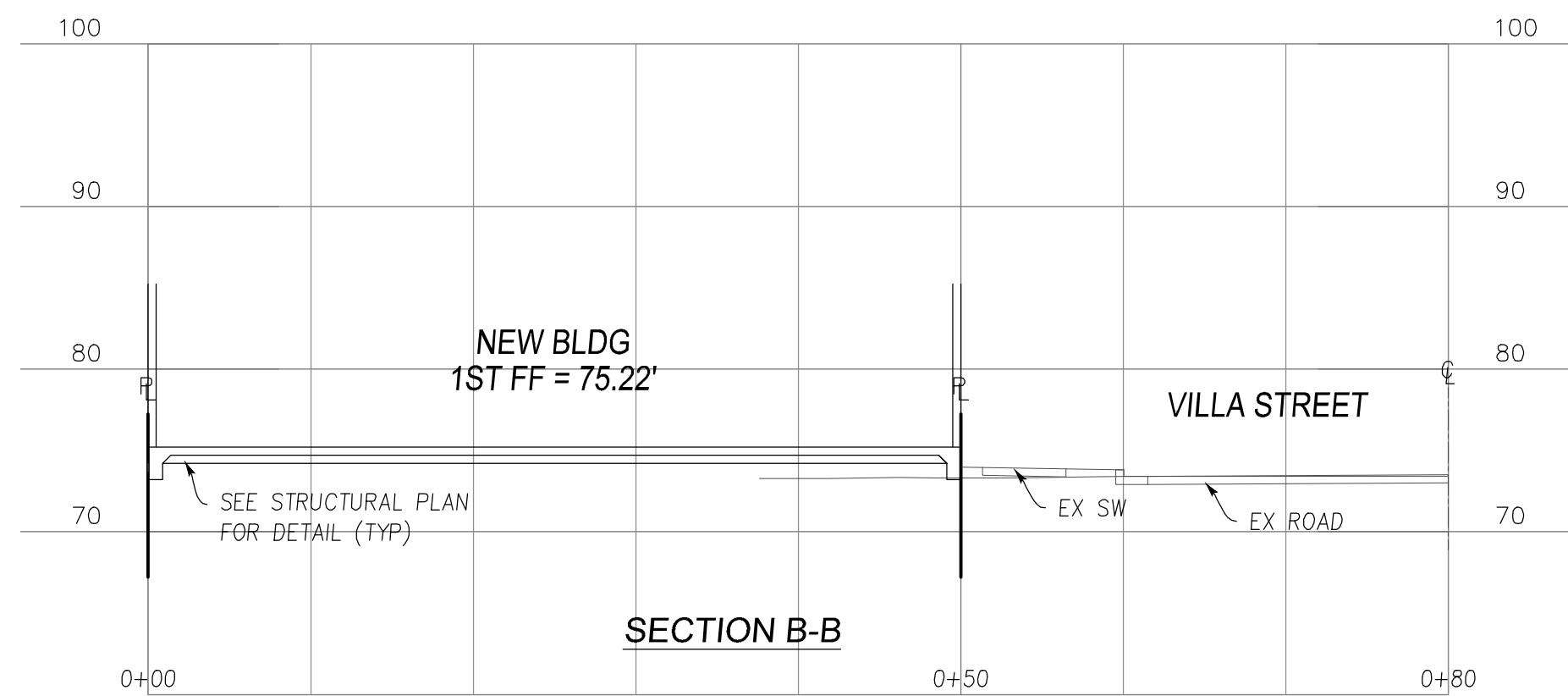
SUMMARY		
DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	5,700 SF	100 SF
POST-DEVELOPMENT	5,739 SF	61 SF
DIFFERENCE	39 SF	-39 SF

NOTES:

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.



DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE	BY	DATE
05/30/23	05/30/23				05/30/23		
ENGINEERING				598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006			
SITE PLAN 194-198 CASTRO STREET APN 158-15-013				California			
Mountain View				PROJECT NO.			
DRAWING NO. C3				CONTRACT NO.			
SHT NO. 3 OF 7				FILE NO.			
APPLICANT : DBA HANSON AMERICA, LLC				ROAD NAME : CASTRO STREET			
CITY FILE NO :				REVISIONS			

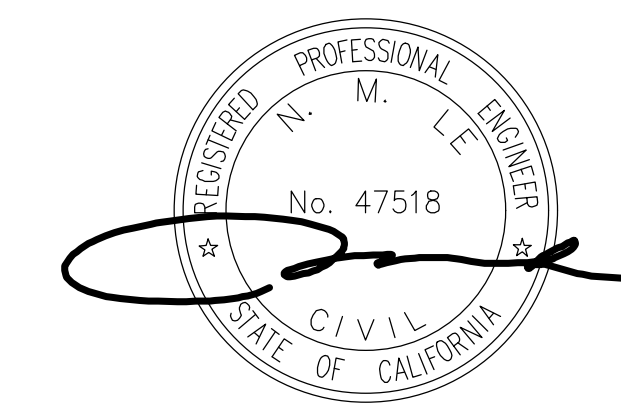
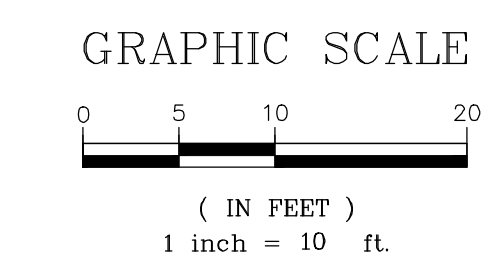
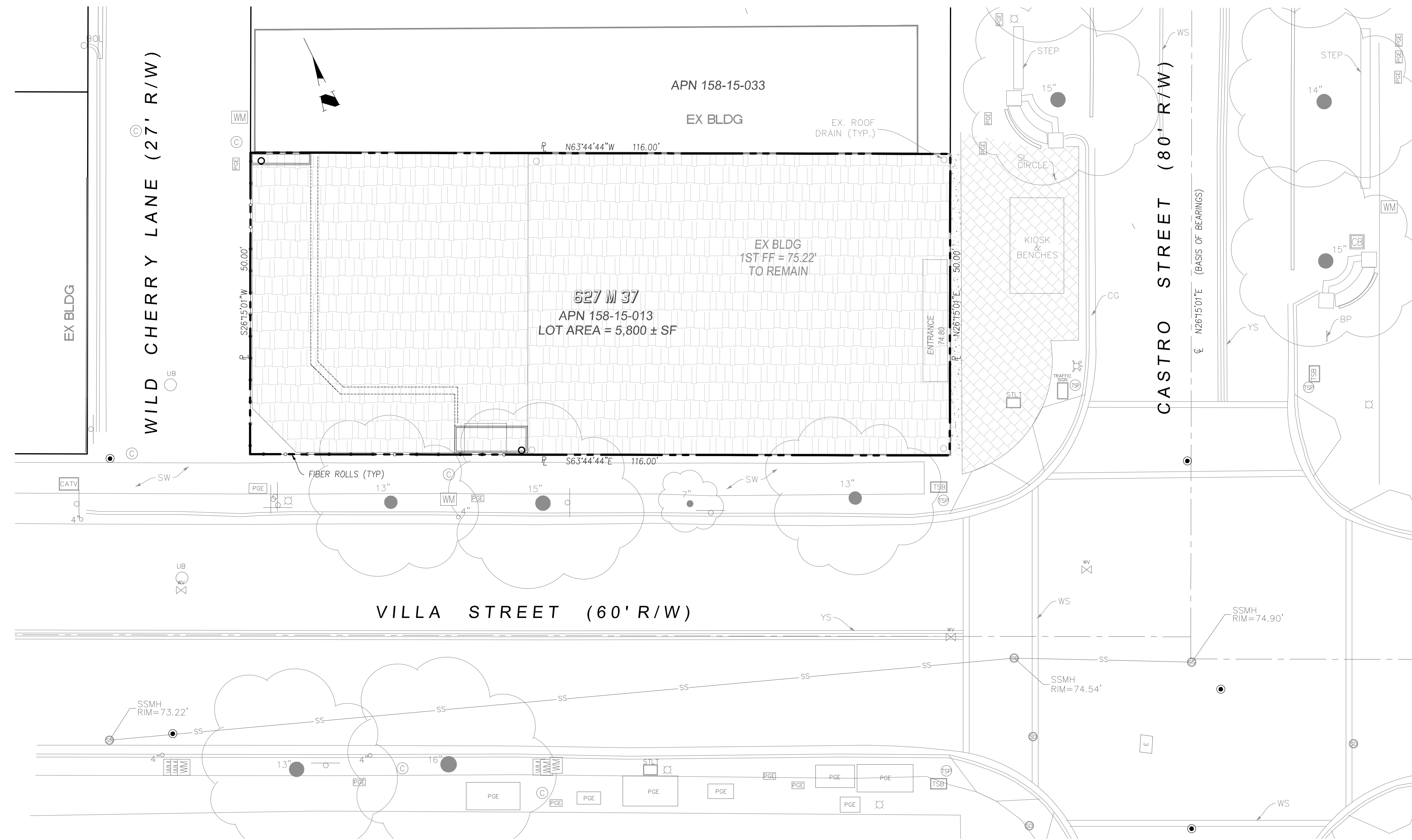


DRAWING NO. C4	SHT NO. 4	OF 7	FILE NO.	CONTRACT NO.	PROJECT NO.	California	GRADING AND DRAINAGE PLAN 194-198 CASTRO STREET APN 158-15-013		598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006	PT DESIGNED	DATE	PT DRAWN	DATE	SCALE	CHECKED	DATE	BY	DATE	APP'D	REVISIONS	NO.
										05/30/23	05/30/23	05/30/23	05/30/23								

APPLICANT : DBA HANSON AMERICA, LLC

ROAD NAME : CASTRO STREET

CITY FILE NO :



APPLICANT : DBA HANSON AMERICA, LLC

ROAD NAME : CASTRO STREET

CITY FILE NO :

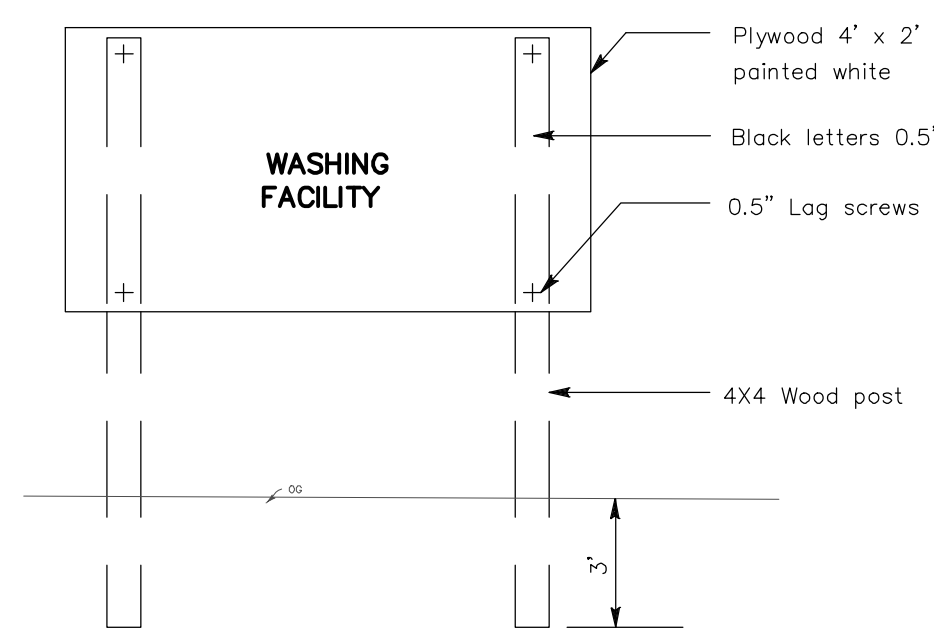
EROSION CONTROL PLAN 194-198 CASTRO STREET APN 158-15-013		California PROJECT NO.	
DRAWING NO. C5		CONTRACT NO. Mountain View	
SHT NO. 5 OF 7		FILE NO.	
PT DESIGNED DATE 05/30/23	PT DRAWN DATE 05/30/23	SCALE CHECKED DATE 05/30/23	REVISIONS BY DATE APP'D NO.

ENGINEERING

598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

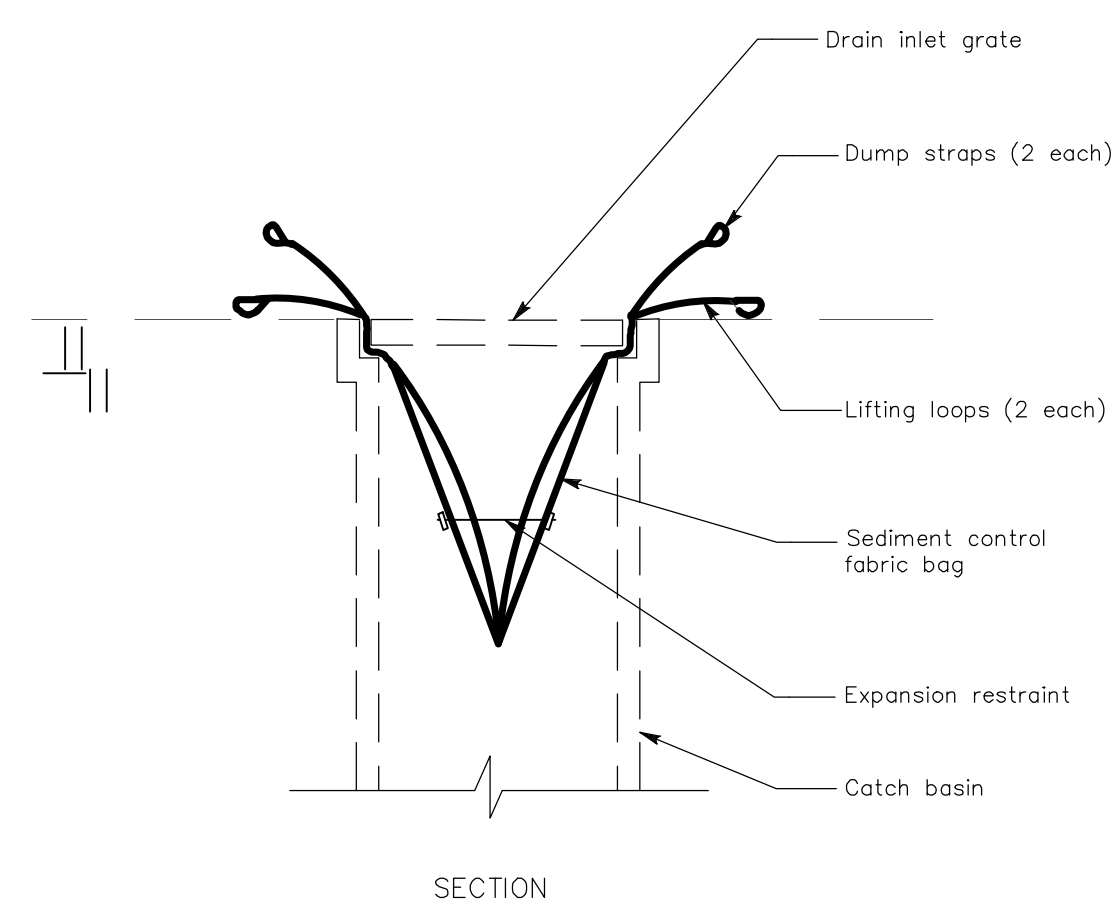
EROSION CONTROL NOTES

- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE COUNTY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR THEIR PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS.
- UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.

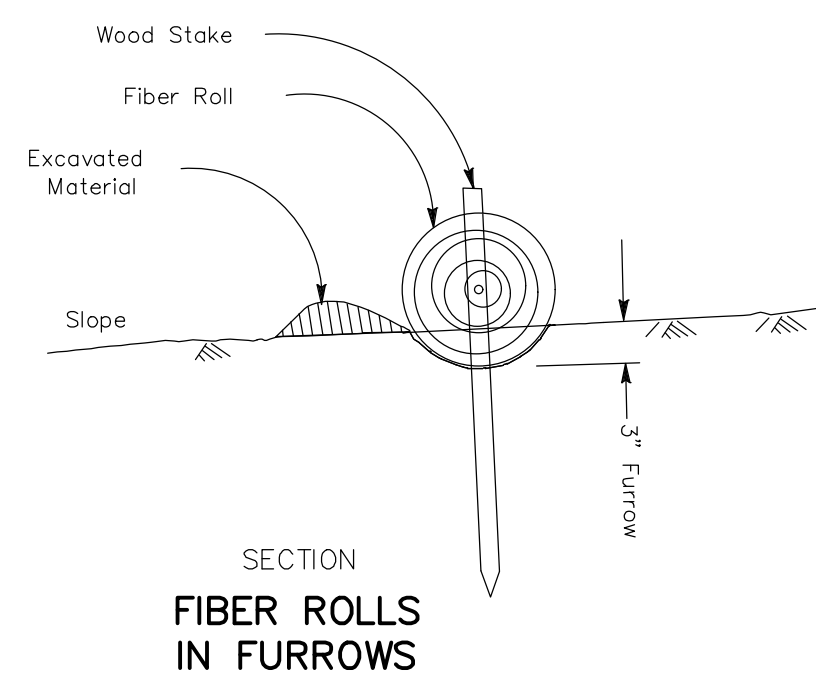


SIGN ELEVATION

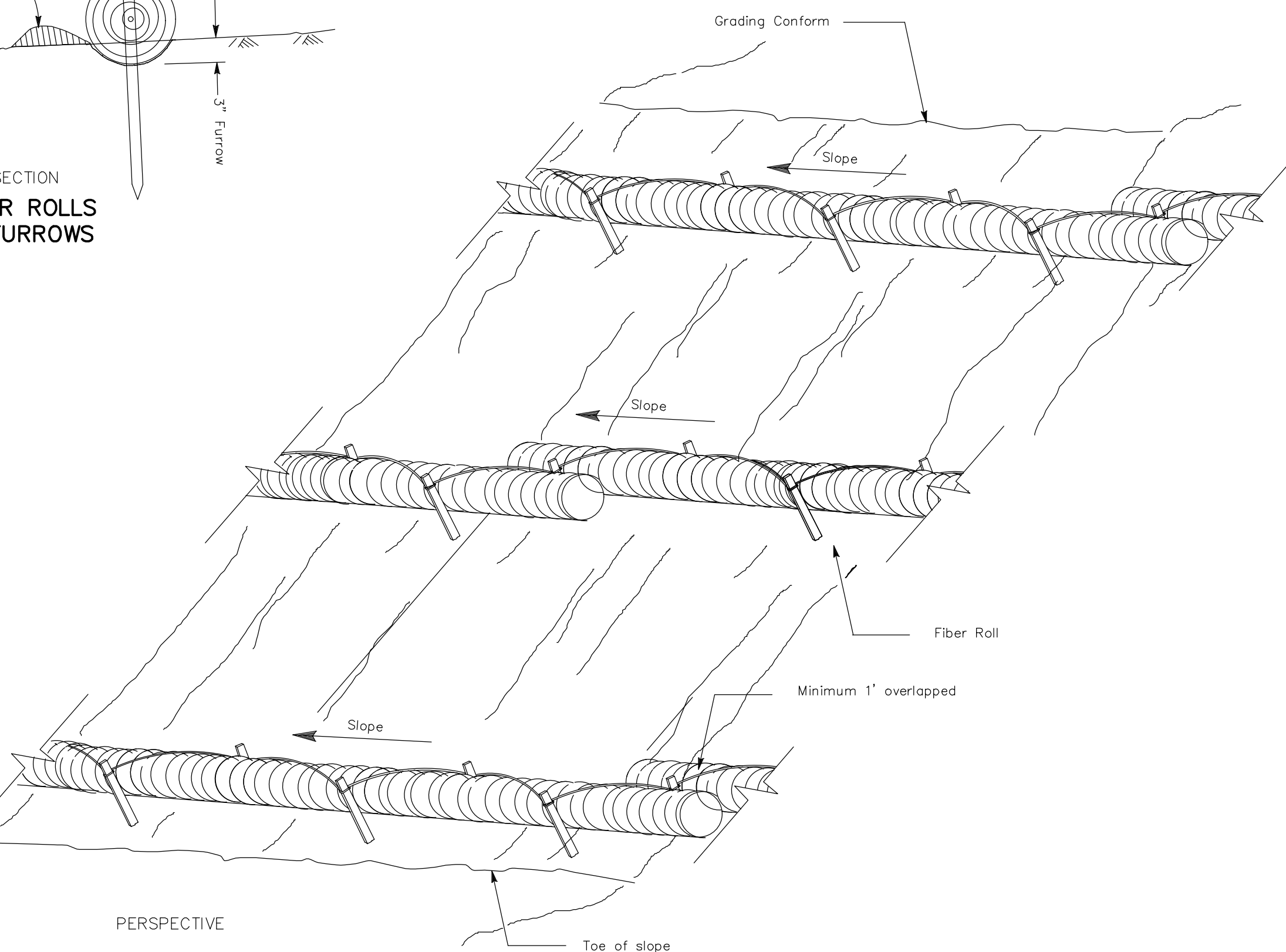
NOTE:
The temporary equipment washing facility sign shall be installed within 20 feet of the temporary concrete washout facility.



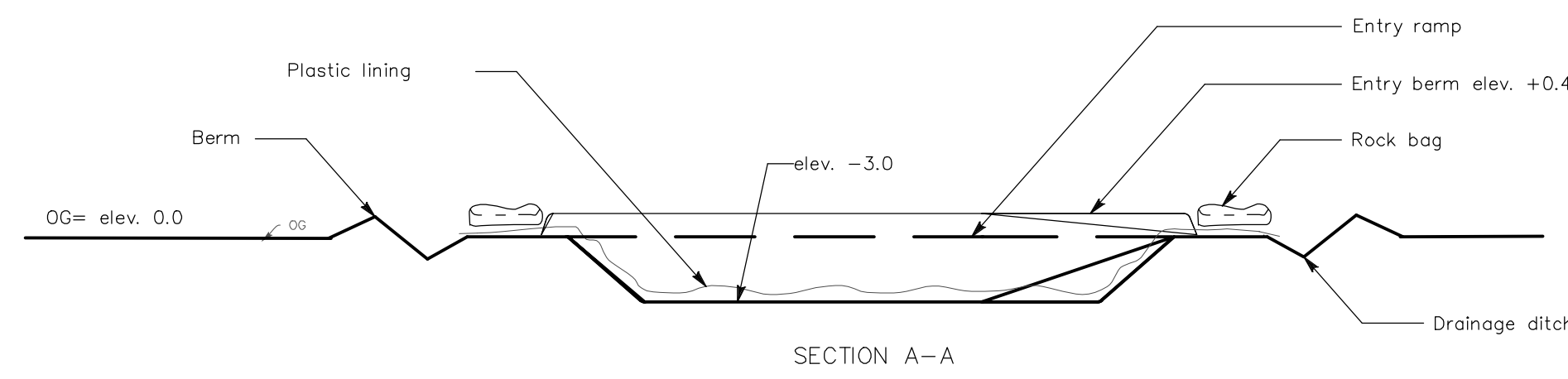
SECTION SEDIMENT CONTROL BAG



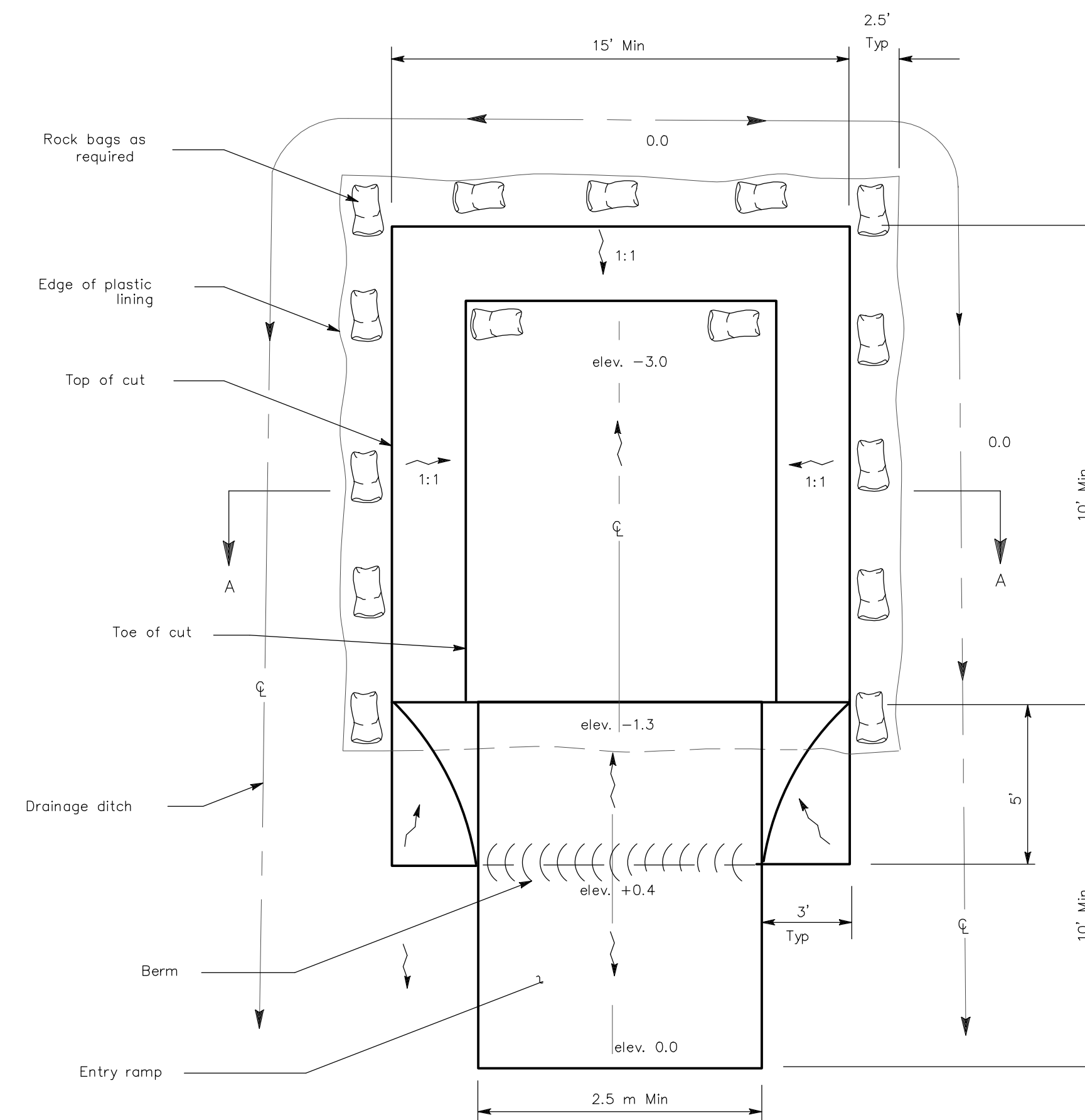
SECTION FIBER ROLLS IN FURROWS



PERSPECTIVE FIBER ROLLS ROPE RESTRAINT METHOD

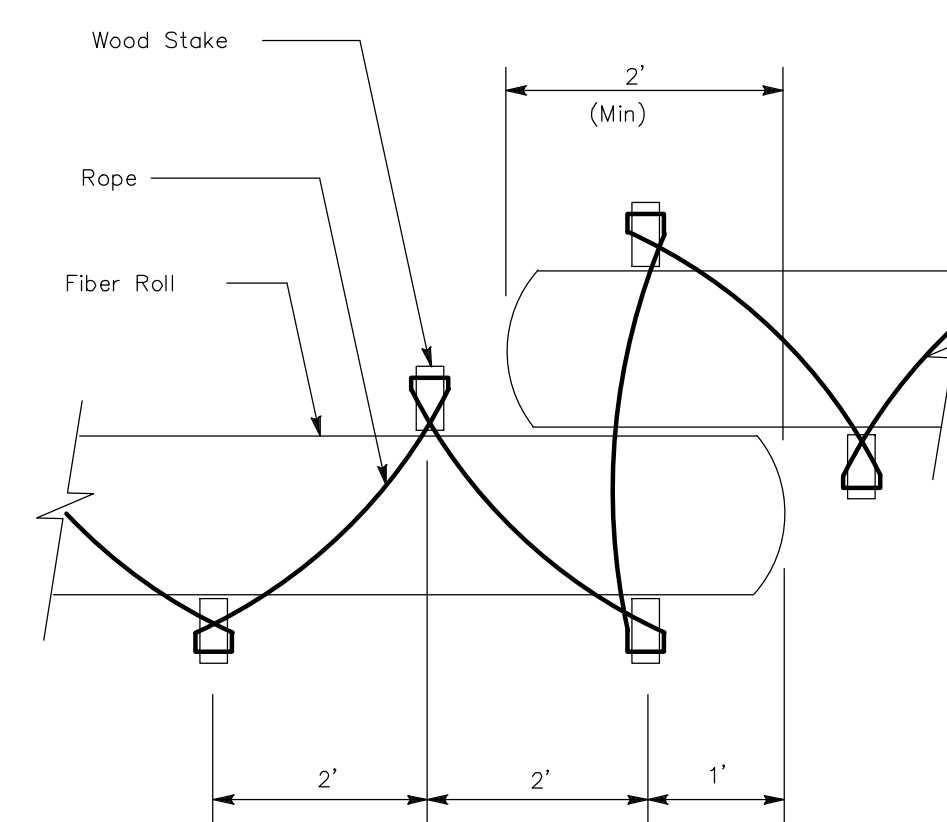


SECTION A-A

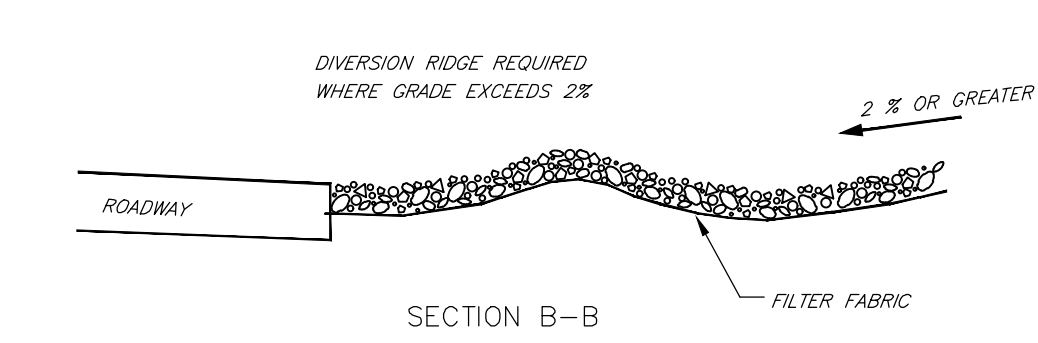


PLAN TEMPORARY EQUIPMENT WASHING FACILITY (Below Grade)

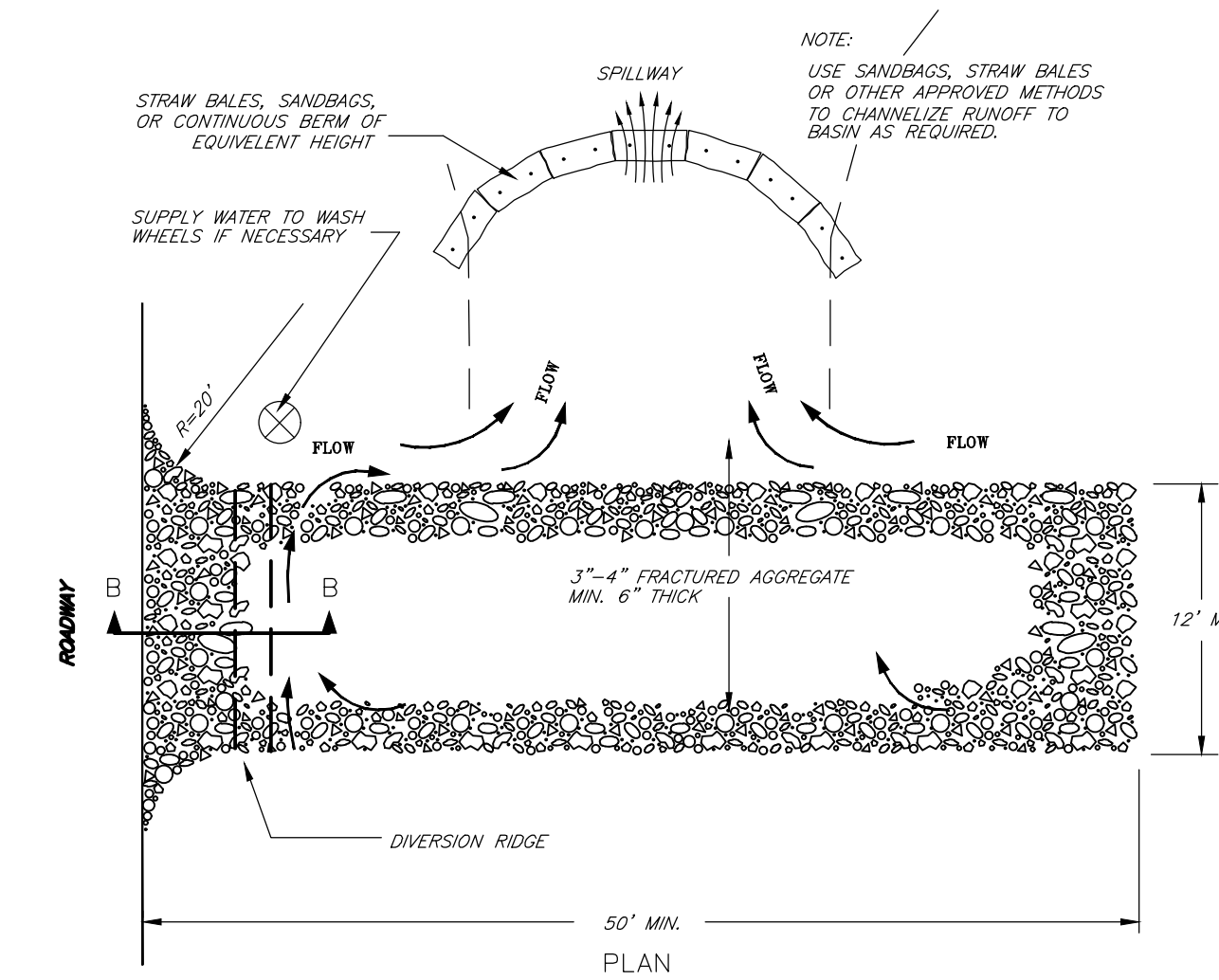
TEMPORARY EQUIPMENT WASHING FACILITY (Below Grade)



PLAN FIBER ROLLS ROPE RESTRAINT METHOD

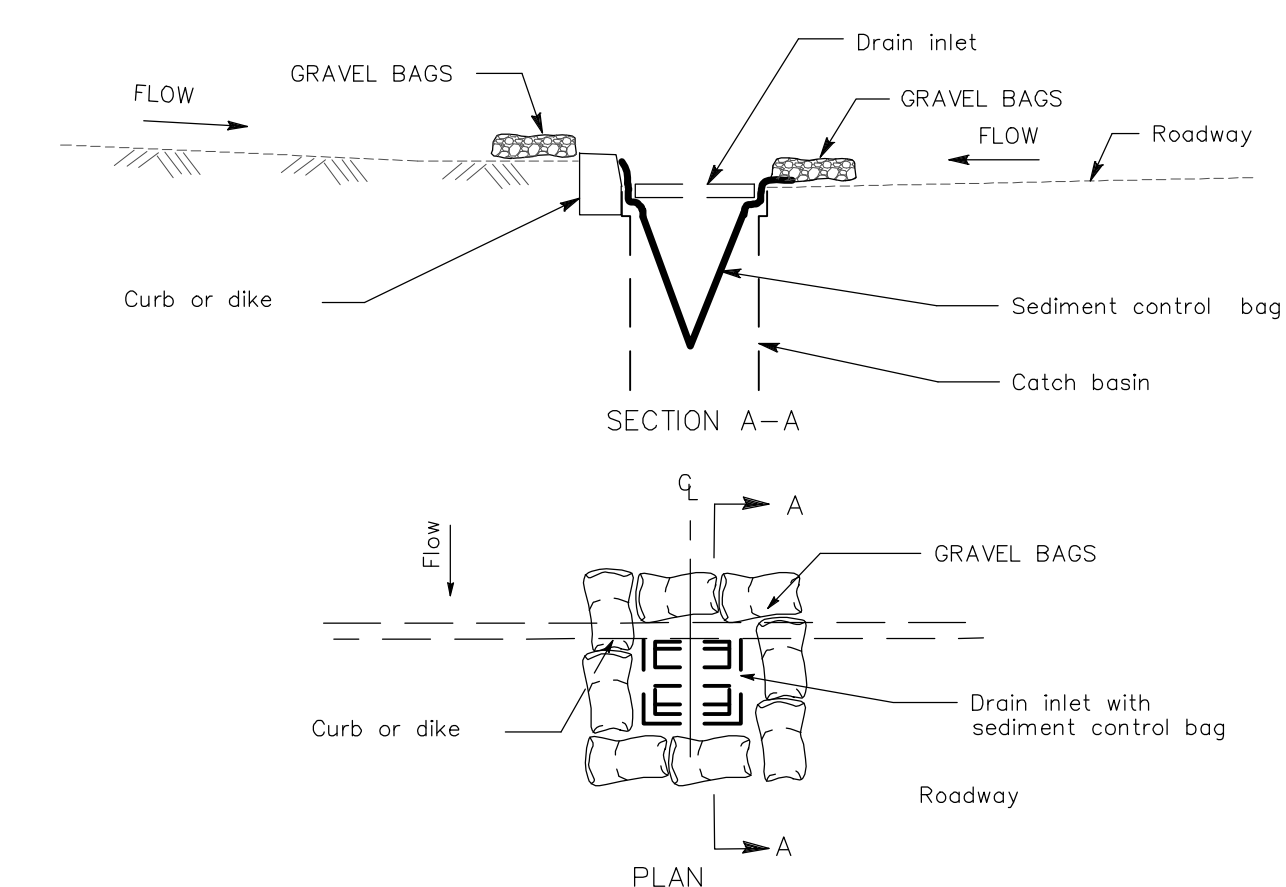


SECTION B-B



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



TEMPORARY DRAINAGE INLET PROTECTION For paved areas exposed to traffic



PT	05/20/23	DESIGNED	DATE
PT	05/20/23	DRAWN	DATE
ANS		SCALE	
NL	05/20/23	CHECKED	DATE
BY		DATE	
APFD		DATE	
REVISIONS		NO.	
ENGINEERING			
598 E Santa Clara St, #270 San Jose, CA 95122 Phone: (408) 806-7187 Fax: (408) 583-4006			
California			
EROSION CONTROL DETAILS 194-198 CASTRO STREET APN 158-15-013			
Mountain View			
DRAWING NO.	6 OF 7		PROJECT NO.
SHT NO.	6 OF 7		CONTRACT NO.
FILE NO.			

