# PAGE&TURNBULL



#### **MEMORANDUM**

DATE	July 18, 2024	PROJECT NO.	23225
ТО	Jeffrey Tsumura, Senior Planner	PROJECT	194-198 Castro Street, Mountain View
OF	City of Mountain View, Community Development Department	FROM	Hannah Simonson, Project Manager, Cultural Resource Planner
CC	Christina Dikas, Principal, Page & Turnbull	VIA	Email

REGARDING 194-198 Castro Street, Mountain View Project Evaluation: HRA Peer Review & SOI

Standards Compliance Analysis Memorandum

# INTRODUCTION

The City of Mountain View has requested this memorandum which has two parts: (1) a peer review of a Historic Resource Assessment (HRA) prepared by Archives & Architecture in June 2023, and (2) a *Secretary of the Interior's Standards for Rehabilitation* compliance analysis for a proposed project located at 194-198 Castro Street (APN 158-15-013), also known as the Jurian Building (**Figure 1** and **Figure 2**). The building will be referred to as 194 Castro Street throughout this report. This memorandum was prepared by Page & Turnbull in anticipation of a proposed three-story commercial addition on the west (rear) portion of the 6,150-square-foot property, located on the northwest corner of the intersection of Castro Street and Villa Street in downtown Mountain View. The property currently contains a historic two-story commercial building with a one-story rear addition, a non-historic paved rear patio with stucco and metal perimeter fencing, and a non-historic garbage bin shed.

The historic commercial building was constructed in 1913, designed by San José-based architect Frank Delos Wolfe in the Mission Revival style. It features painted stucco siding and a low-slope front-gable roof behind a Mission-style parapet. Other exterior ornamentation includes geometric Southwestern-inspired ornamentation along the second floor of the east and south façades. The primary (east) façade of the ground floor features a storefront composition with a tile bulkhead and a transom band, while the second floor is highlighted with a row of symmetrical windows and stucco panels that exhibit raised geometric patterns.



Figure 1: Aerial view of 194 Castro Street. Source: Google Maps, 2024. Edited Page & Turnbull.



Figure 2: View of primary (east) and secondary (south) facades of 194 Castro Street, looking north.

Source: Page & Turnbull, March 2023.

The original storefront configuration featured dual entrances to access Odell & Jurian's dry goods store, which operated from the 194 Castro Street storefront, and Doc Johnson's pharmacy, which operated from the 198 Castro Street storefront. The second floor was originally designed as a theater and dance hall and was also used by Mountain View's volunteer fire department and the Fraternal Order of the Eagles as a meeting hall. Aside from the reconfiguration of the storefront in 1981, replacement of storefront materials in 1999, and replacement of second story windows, the Jurian Building retains its original materials and features.

In June 2023, Archives & Architecture prepared a Historic Resource Assessment report ("2023 HRA") for the property at 194 Castro Street, which evaluated the property's historic significance and eligibility for listing on the California Register of Historical Resources (California Register) and Mountain View Register of Historical Resources (Mountain View Register). The report includes California Department of Parks and Recreation (DPR) 523 forms for the property in the Appendix. The 2023 HRA found the property eligible for listing in the California Register under Criteria 1 (Events), 2 (Persons), and 3 (Design), and eligible for local listing in the Mountain View Register under Criterion a (Persons), b (Events), and c (Design). The HRA did not evaluate the property for eligibility for listing in the National Register of Historic Places (National Register).

# Methodology

Page & Turnbull reviewed the following documents for this memorandum:

- Archives & Architecture, LLC, "Historical Resource Assessment: Jurian Building, 194-198
   Castro Street," prepared for Chee-Yee Chong, Hanson America LLC, submitted to City of Mountain View, June 2023. (Exhibit A)
- Strata Design Studio, "194-198 Castro Street, Historic Jurian Building, Addition & Historic Rehabilitation," drawing set, July 17, 2024. **(Exhibit B)**

Page & Turnbull conducted a site visit to the Jurian Building at 194 Castro Street on March 15, 2023 to photograph and observe existing site conditions.

# **Existing Historic Status**

The Jurian Building at 194 Castro Street was previously listed in the local Mountain View Register, but was later removed at the request of the property owner at the time. At present, the building is not listed in the National Register, California Register, or Mountain View Register.

<sup>&</sup>lt;sup>1</sup> Archives & Architecture, "Historical Resource Assessment: Jurian Building, 194-198 Castro Street" (prepared for Chee-Yee Chong, Hanson America LLC, submitted to City of Mountain View, June 2023), 4-6.

In 2021, Page & Turnbull was hired by the City of Mountain View to update the City's Historic Context Statement and Historic Preservation Ordinance, which has several tasks including preparation of a citywide historic context statement, citywide historic survey, and several National Register nominations for properties along Castro Street. Within these scopes, Page & Turnbull evaluated the Jurian Building for National Register, California Register, and Mountain View Register eligibility, finding the building eligible for listing in all three registers. Page & Turnbull, under contract with the City of Mountain View, is currently preparing a nomination to designate 194 Castro Street in the National Register under Criterion C (Design/Construction).

# Memorandum Preparer Qualifications

This HRA Peer Review & SOI Standards Compliance Analysis Memorandum was prepared by Page & Turnbull of San Francisco, California. Page & Turnbull has over 50 years of experience in historic preservation planning and architecture in California, with offices in San Francisco, Los Angeles, Sacramento, and San Jose. Page & Turnbull staff responsible for this report include: Christina Dikas, Principal-in-charge; Hannah Simonson, Senior Associate, Cultural Resources Planner, project manager; and Maggie Nicholson, Cultural Resources Planner, all of whom meet the Secretary of the Interior's Professional Qualification Standards for Historic Architecture and/or Architectural History.

# 2023 HRA PEER REVIEW

The following peer review of the Historical Resource Assessment report (June 2023), prepared by Archives & Architecture, is organized based on the sections and subsections in that report. Page & Turnbull's general comments on the 2023 HRA are provided at the end of this discussion. The 2023 HRA report includes an introduction, summary evaluation of historic significance, summary of alterations, and preparer qualifications; the property history is contained within the appended DPR 523 forms.

#### Introduction

The 2023 HRA was submitted to the City of Mountain View as part of the application for a Historic Preservation Permit related to a proposed rehabilitation and addition project at 194 Castro Street. The 2023 HRA primarily focuses on the history of the property and an evaluation of historic significance, but also makes note of the proposed project (which has been revised since the HRA was prepared in June 2023).

# **Evaluation for Historical Significance**

# Mountain View Register of Historical Resources Eligibility

In the summary of the significance evaluation for the Mountain View Register of Historical Resources, Archives & Architecture finds that the Jurian Building is significant under three criteria: Criterion a (Persons) for its association with local businessman and civic leader, Andrew Jurian; Criterion b (Events) for its establishment on a prominent corner within downtown Mountain View' during a burgeoning period of the city's commercial development; and Criterion c (Architecture) for its Mission Revival style as applied to an early twentieth-century commercial building, designed by master architect Frank Delos Wolfe. The evaluation for Mountain View Register eligibility provides adequate reasoning and justification to support the finding of eligibility under these criteria.

The 2023 HRA evaluation summary does not note that the Jurian Building was once listed on the Mountain View Register, but was voluntarily removed by the property owner prior to April 12, 2005.<sup>2</sup>

## California Register of Historical Resources Eligibility

In the summary of the significance evaluation for the California Register, Archives & Architecture finds that the Jurian Building is significant under three criteria: Criterion 1 (Events) for its contribution to the commercial development of downtown Mountain View, Criterion 2 (Persons) for its association with Andrew Jurian, and Criterion 3 (Architecture) as the work of master architect Frank Delos Wolfe and as a unique interpretation of the Mission Revival style and its reinforced concrete construction. This summary does not provide a detailed discussion of California Register eligibility, but appears to rely on the same reasons of significance under the Mountain View Register criteria which are discussed in more detail.

#### National Register Eligibility

Archives & Architecture did not evaluate the Jurian Building for National Register eligibility, stating that the National Register evaluation is not required as the proposed project is not subject to federal Section 106 review.

Page & Turnbull notes that properties eligible for listing in the California Register that are seeking a discretionary permit are subject to review under the California Environmental Quality Act (CEQA), and alterations to properties eligible for listing in the National Register or California Register are also

<sup>&</sup>lt;sup>2</sup> City of Mountain View, "Mountain View Register of Historic Resources" (updated September 28, 2022), accessed June 14, 2024, <a href="https://www.mountainview.gov/home/showpublisheddocument/7915/638346084894870000">https://www.mountainview.gov/home/showpublisheddocument/7915/638346084894870000</a>.

subject to the City of Mountain View's "historic preservation permit" process per City of Mountain View Municipal Code Sec. 36.54.90 – National and California Register properties.<sup>3</sup>

## Alterations

This section directs readers to the appended DPR 523 forms for a complete listing of previous alterations to 194 Castro Street, but states that the most substantial alterations to the Jurian Building are found on the west (rear) elevation. These rear alterations include a one-story reinforced concrete addition (still extant), which was constructed around or before 1943, and replacement windows and filled-in window openings at the rear facade. Despite these changes to the rear façade, Archives & Architecture notes that these alterations do not "invalidate" the building's architectural significance or eligibility as a historical resource.

Page & Turnbull agrees that these rear alterations do not diminish the building's historic integrity or ability to convey its significance. While this section directs the reader to the appended DPR forms for a full account of alterations, this summary should also address the alterations to the primary (east) and secondary (south) facades, which include: replacement metal windows at the second story on both facades and alterations to the original storefront configuration and materials at the primary façade. Storefront alterations are typical for downtown commercial buildings, and the replacement windows are located within original openings. It is Page & Turnbull's professional opinion that, despite these additional exterior modifications, the Jurian Building retains historic integrity for California Register and Mountain View Register eligibility.

## Qualifications of the Consultant

The preparer of the 2023 HRA and DPR forms, Krista Van Laan of Archives & Architecture, meets the Secretary of the Interior Professional Qualifications Standards for architectural history, and is a subject matter expert on architect Frank Delos Wolfe.

# Appendix: DPR 523 Forms

In April 2023, Archives & Architecture prepared DPR 523 forms, including a 523A Primary Record; 523B Building, Structure, and Object Record; 523J Location Map; 523K Sketch Map and 523L Continuation Sheets, totaling 24 pages. These DPR 523 forms ("2023 DPR forms") are appended to the 2023 HRA. The following sections mirror the primary fields and headings within each form. Minor fields, including headers and checkboxes, were not peer-reviewed, unless otherwise noted.

<sup>&</sup>lt;sup>3</sup> Mountain View Municipal Code, accessed June 14, 2024, https://library.municode.com/ca/mountain\_view/codes/code\_of\_ordinances?nodeId=MOUNTAIN\_VIEWCICO.

## DPR 523A PRIMARY RECORD & 523L CONTINUATION SHEETS

The building description and discussion of character-defining features on the DPR 523A form extends onto DPR 523L Continuation Sheets.

#### Description (P3a)

The DPR 523A forms adequately and accurately describe the existing building at 194 Castro Street. However, most of the current physical description of the building is under a "Character-Defining Features" sub-heading. This description would be clarified if the "Character-Defining Features" sub-heading was removed, and the section focused on a description of the building as it currently stands, with specific reference to original versus non-original features. Page & Turnbull would recommend including a summary bullet list of character-defining features in the DPR 523B form (following the evaluation of historic significance, as the finding and reasons for historic significance should inform the identification of character-defining features), which are the essential physical features that convey a building's reason for significance.

#### DPR 523J LOCATION MAP

The location map adequately indicates the location of the subject property on a U.S.G.S. quad map.

# DPR 523B BUILDING, STRUCTURE AND OBJECT RECORD & 523L CONTINUATION SHEETS

#### Construction History (B6)

The construction history refers to the "Alterations" sub-section which has been included on the DPR 523L forms following the Significance (B10) section.

#### Significance (B10)

The significance section of the DPR 523B form provides sufficient context on the early history of Mountain View, including commercial development along Castro Street, and on the biography of original owner Andrew Ivan Jurian, including his ties to early agriculture around Mountain View and his role as a social and civic leader in Mountain View, including with the Yugoslav community.

On DPR form page 10, within section B10. Significance, the period of significance is noted as 1913 to 1943. However, nowhere in the DPR forms or the 2023 HRA is the period of significance explained or justified. As such, the determination of 1943 as the end of the period of significance is not made clear. Jurian, the original and long-time owner of the building, died in 1943 and the 2023 HRA finds that the property is eligible for listing in the Mountain View Register and California Register for association with Jurian as a significant local civic leader and businessman in Mountain View. It is

possible that this connection is the reason that the year 1943 was selected as the end of the period of significance. However, the report does also note that Jurian closed his dry goods store A. Jurian & Co. in April 1914, not long after the building's completion, and only remained the property owner and landlord. The 2023 HRA also finds the property eligible for listing under California Register 2 and Mountain View Criterion b (Events) for the fact that, among other associations, the second-story events hall "was the main gather place for the city and the site of important events for local organizations."4 The DPR forms further note that "From 1913 through the 1940s, the hall on the upper story held many events important to the city of Mountain View, including concerts, dances, visiting lecturers, and parties and ceremonies hosted by social and civic organizations such as churches, the high school graduating classes, Woman's Club, Boy Scouts, Navy Club, American Legion, the Moffett Field Noncommissioned Officers Club, the Townsend Club, the Jugoslav-Adriatic Club, Ladies Aid, and Native Daughters. After that period, the hall was used by the Fraternal Order of the Eagles between 1945 and 1961. As such, the significance of the property as related its use as an events hall could, arguably, be demonstrated through c.1945.<sup>5</sup> In summary, it is Page & Turnbull's professional opinion that a 1913 to c.1945 period of significance covers the various significant associations under the three California Register and Mountain View Register criteria, but that the report would benefit from an explicit statement and justification of the period of significance.

#### Architect Frank Delos Wolfe

This section focuses on Wolfe's private life and partnership history as an architect. The section establishes Wolfe as a prolific and significant architect regionally, responsible for over 1,100 projects, including eight that are currently National Register-listed and "dozens that are San Jose City Landmarks." This section also lists other buildings in Mountain View designed by Wolfe. While the biography of Wolfe could have benefited from additional details related to Wolfe's architectural influences and signature styles—which are well-documented in books by the author of the DPR forms—Wolfe is established in the DPR forms as a master architect.

#### Owner History

The 2023 DPR forms lists the ownership of the building, which remained in the possession of the Jurian family until approximately 1982.

<sup>&</sup>lt;sup>4</sup>Archives & Architecture, Historical Resource Assessment: Jurian Building, 194-198 Castro Street" (2023), DPR 523, page 21.

<sup>&</sup>lt;sup>5</sup> More information would be required about the Fraternal Order of the Eagles and their role, if any, in shaping Mountain View history to determine whether this fraternal society would rise to the level of significance to justify further extending the period of significance to 1961.

<sup>&</sup>lt;sup>6</sup> Archives & Architecture, Historical Resource Assessment: Jurian Building, 194-198 Castro Street" (2023), DPR 523, page 19.

#### **Survey Status**

The DPR form page 19 states that the Jurian Building is listed on the Mountain View Historic Register. However, it was voluntarily removed by the then-property owner prior April 12, 2005, and therefore is not currently listed on any register (local, state, or national).<sup>7</sup>

#### **Alterations**

This section notes that "Despite modifications to the building's exterior, it retains its form, materials, and characteristic features on the eastern and southern facades and retains its eligibility as a historical resource." Page & Turnbull agrees with this finding but would note that a full integrity analysis is not provided within the 2023 HRA, and that a more detailed discussion with specific reference to each of the seven aspects of integrity is best practice for historic evaluations.

This section also provides a chronological list of known alterations to the subject building. Several clarifications and additional alterations are noted by Page & Turnbull, based on Sanborn maps, historic newspapers, and building permits:

- Circa 1956: Demolition of the detached wood-frame garage at the rear of the property (shown in the 1950 Sanborn).
- Circa 1960: Reduction in the size of the property boundary to accommodate the construction of Wild Cherry Lane alley behind the building.
- 1981: Replacement storefront glazing and door system on the first floor and replacement aluminum-sash windows on second floor (originally wood-framed one-over-one windows).
- 1981: Repair to trusses, valued at \$9,000.
- 1999: Replacement bulkheads with granite tile, replacement transom (removing prism glass), and repair to spalling cement plaster cladding.
- 1999: Exterior painting and retouching/repointing façade ornamentation.
- 1999: Cleaned and repaired canvas canopy over storefront glazing on east and south façades.
- 2012: Interior reconfiguration and improvements.
- 2012: Interior and exterior accessibility improvements for Agave restaurant.
- 2014: Exterior painting and signage installation.

## **Significance**

This "Significance" sub-section includes an evaluation discussion for Mountain View Register eligibility. As stated in the "Evaluation for Historical Significance" of the 2023 HRA, Archives & Architecture found the property eligible under three criteria: Criterion a (Persons) for its association with local businessman and civic leader, Andrew Jurian; Criterion b (Events) for its establishment on

<sup>&</sup>lt;sup>7</sup> City of Mountain View, "Mountain View Register of Historic Resources" (updated September 28, 2022).

a prominent corner within downtown Mountain View' during a burgeoning period of the city's commercial development; and Criterion c (Architecture) for its Mission Revival style as applied to an early twentieth-century commercial building, designed by master architect Frank Delos Wolfe. The evaluation for Mountain View Register eligibility provides adequate reasoning and justification to support the finding of eligibility under these criteria.

A minor point of clarification is that, in several instances, the report notes that the former Haverty Saloon building that occupied the site was "demolished." The photograph included on DPR form page 12, as well as the January 24, 1913 *Mountain View Register-Leader* article cited indicate that the building was relocated—not demolished—to make room for the Jurian Building.

## California Register of Historical Resources Eligibility

As stated in the "Evaluation for Historical Significance" of the 2023 HRA, Archives & Architecture found the property significant under three criteria: Criterion 1 (Events) for its contribution to the commercial development of downtown Mountain View, Criterion 2 (Persons) for its association with Andrew Jurian, and Criterion 3 (Architecture) as the work of master architect Frank Delos Wolfe and as a unique interpretation of the Mission Revival style and its reinforced concrete construction. This summary does not provide a detailed discussion of California Register eligibility under each criterion, but appears to rely on the same reasons of significance under the Mountain View Register criteria which are discussed in more detail.

#### National Register Eligibility

As stated in the "Evaluation for Historical Significance" of the 2023 HRA, National Register evaluation is not required as the proposed project is not subject to federal Section 106 review.

#### References

The reference section indicates that a range of primary and secondary sources were consulted. The DPR forms, however, would benefit from footnotes to provide citations for direct quotes and to clarify the sources of various historical facts and building alterations.

#### DPR 523K SKETCH MAP

The sketch map adequately indicates the portion of the building footprint that is original, and the portion that was built as an addition c.1921-1943.

# 2023 HRA Peer Review – General Comments

Overall, the 2023 HRA provides sufficient documentation regarding the historic context and development history of 194 Castro Street, provides a reasoned evaluation of historic significance based on California Register and Mountain View Register criteria, and is generally consistent with current preservation best practices regarding research and evaluation methodologies. Page & Turnbull has provided several minor comments, corrections, or additional information in the above peer review, none of which would substantively affect the evaluation findings. As such, a revised HRA is not necessary for the purposes of the current proposed project review. As a summary list of character-defining features and detailed integrity discussion was not provided in the 2023 HRA, Page & Turnbull has provided a list in the Proposed Project SOI Standards Analysis, which follows, based on the existing historic documentation.

Based on professional opinion, Page & Turnbull concurs with the conclusions of the 2023 HRA that the Jurian Building at 194-198 Castro Street is eligible for listing in the California Register under Criterion 1 (Events), Criterion 2 (Persons), and Criterion 3 (Design), and for listing in the Mountain View Register under local Criterion a (Persons), Criterion b (Events), and Criterion 3 (Design), with a period of significance of 1913 to c.1945.

# PROPOSED PROJECT SOI STANDARDS ANALYSIS

This section analyzes the potential project-specific impacts of the proposed project at 194 Castro Street on the environment, as required by CEQA and City of Mountain View regulations and guidelines. The following analysis describes the proposed project, assesses its compliance with the Secretary of the Interior's Standards for Rehabilitation and identifies whether the project will result in any project-specific impact under CEQA.

# Character Defining Features & Historic Integrity

#### **Character-Defining Features**

For a property to be eligible for historic designation, the essential physical features (or character-defining features) that enable the property to convey its historic identity and reason for significance must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles, or that convey an association with significant persons or patterns of events. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, materials, and spatial relationships. To be eligible, a property must clearly contain enough of those characteristics, and these features must also retain a sufficient degree of integrity.

# The **character-defining features** of 194 Castro Street include:

- Two-story, rectilinear massing
- Reinforced concrete construction with stucco cladding
- Shaped parapet and corner merlons at the primary (east) and south facades
- Quatrefoil ornaments at the east and south parapets
- Gabled parapet and coping at the rear (west) facade
- Decorative window surrounds and ornate precast concrete medallions between the second story windows
- Ornamental features at the corners and center column of the primary façade.
- Pattern of original window and storefront openings, including:
  - Two large openings at the ground floor of the primary façade with transom openings above
  - Punched window openings evenly arranged at the second floor of the primary and west facades.

No interior features have been identified as character-defining features. Other features and materials which are altered or non-original and are considered **non-contributing** include:

- All window sashes
- All window openings on the rear (west) facade
- Storefront windows and tile bulkheads, including recessed configuration of the storefronts
- Exterior signage and light fixtures
- Side door on south façade (facing Villa Street)
- One-story rear addition
- Rear fence, gate, and garbage bin shed.

#### Historic Integrity Discussion

194-198 Castro Street remains in its original location and context within a commercial setting in downtown Mountain View. While many of the commercial buildings along Castro Street have changed or evolved over time, the street wall and commercial nature of the street remains, with buildings typically built out to the front and side lot lines. The building has had some exterior alterations, including a rear (west) addition, alterations to the windows and window opening configuration on the west façade's first floor, and replacement storefront glazing and door system on the east facade, which are to be expected of a building of this age. The building's second floor and roof are original and intact with the exception of replacement metal-framed windows. The second-floor wood window frames appear to be original. The storefront openings are original, but the storefront and bulkhead materials, including their recessed configuration, is not original. The distinctive parapet and Mission Revival style façade ornamentation are character-defining

architectural elements for the building, contributing to integrity of design, materials, and workmanship. The building continues to be used in a commercial capacity, retaining integrity of feeling and association with Mountain View's early twentieth century commercial development. The building retains all seven aspects of integrity and, as such, continues to communicate its significance for listing in the Mountain View Register and California Register.

# California Environmental Quality Act (CEQA)

The California Environmental Quality Act (CEQA) is state legislation (Pub. Res. Code §21000 et seq.) that provides for the development and maintenance of a high-quality environment for the present-day and future through the identification of significant environmental effects. EQA applies to "projects" proposed to be undertaken or requiring approval from state or local government agencies. "Projects" are defined as "...activities which have the potential to have a physical impact on the environment and may include the enactment of zoning ordinances, the issuance of conditional use permits and the approval of tentative subdivision maps." Historic and cultural resources are considered to be part of the environment. In general, the lead agency must complete the environmental review process as required by CEQA.

In general, a resource that meets any of the four criteria listed in CEQA Guidelines Section 15064.5(a)(2) is considered to be a historical resource unless "the preponderance of evidence demonstrates" that the resource "is not historically or culturally significant."<sup>11</sup>

The subject property at 194 Castro Street is eligible for listing in the California Register, and is therefore considered a historical resource under CEQA.

#### Threshold for Substantial Adverse Change

According to CEQA, a "project with an effect that may cause a substantial adverse change in the significance of an historic resource is a project that may have a significant effect on the environment." Substantial adverse change is defined as: "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of

<sup>&</sup>lt;sup>8</sup> California Environmental Quality Act (CEQA), Public Resources Code (PRC), \$21000 et seq., accessed online, June 14, 2024, <a href="https://leginfo.legislature.ca.gov/faces/codes">https://leginfo.legislature.ca.gov/faces/codes</a> displaySection.xhtml?lawCode=PRC&sectionNum=21000.

<sup>&</sup>lt;sup>9</sup> Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines), California Code of Regulations (CCR), Title 14 § 15000 et seq., Thomson Reuters Westlaw, accessed online June 14, 2024, <a href="https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=195DAAA70D48811DEBC02831">https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=195DAAA70D48811DEBC02831</a> C6D6C108E&originationContext=documenttoc&transitionType=Default&contextData=(sc.Default)&bhcp=1.

<sup>&</sup>lt;sup>10</sup> 14 CCR § 15378: Project.

<sup>&</sup>lt;sup>11</sup> 14 CCR § 15064.5(a)(2).

<sup>&</sup>lt;sup>12</sup> 14 CCR § 15064.5(b).

an historic resource would be materially impaired."<sup>13</sup> The historic significance of an historical resource is materially impaired when a project "demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance" and that justify or account for its inclusion in, or eligibility for inclusion in, the California Register.<sup>14</sup> Thus, a project may cause an adverse change in a historic resource but still not have a significant effect on the environment as defined by CEQA as long as the impact of the change on the historic resource is determined to be less-than-significant, negligible, neutral, or even beneficial.

In other words, a project may have an impact on a historic resource, and that impact may or may not impair the resource's eligibility for inclusion in the California Register. If an identified impact would result in a resource that is no longer able to convey its historic significance and is therefore no longer eligible for listing in the California Register, then it would be considered a significant effect. Per CEQA Guidelines Section 15331, projects that are consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines of Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* are categorically exempt from CEQA.<sup>15</sup>

# **Proposed Project Description**

The proposed project at 194 Castro Street includes a rear three-story addition and interior tenant improvements (**Figure 3 - Figure 6**). The addition will be connected at the interior, necessitating demolition of large portions of the rear wall of the historic building; however, the parapet at the rear façade will be retained and the new addition will read as a separate building from the outside. The proposed addition will have an inset alcove where it connects to the rear façade of the historic building, along Villa Street, which will provide a visual distinction from the historic building and allow the historic building to retain its massing and corner parapet features.

No exterior alterations are currently proposed at the primary (east), secondary (south), or north facades of the historic building. Repair and rehabilitation scope, which may include replacing the non-original second story window sashes, the non-original storefront windows and/or bulkheads, and other repairs, will be completed as part of a "Phase 2" of the project under a separate permit.

The project, as currently proposed, includes the following exterior and site alterations:

- Removal of an existing, non-historic rear addition
- Removal of an existing, non-historic rear patio, site wall, and garbage bin shed
- Alterations to the exterior of the existing historic building include:

<sup>&</sup>lt;sup>13</sup> 14 CCR § 15064.5(b)(1).

<sup>&</sup>lt;sup>14</sup> 14 CCR § 15064.5(b)(2).

<sup>&</sup>lt;sup>15</sup> 14 CCR § 15331, 15300.

- Addition of solar panels on the south roof slope, which will not be visible from the street
- Addition of mechanical equipment within the attic of the historic building will require the installation of several raised roof vents, parallel with the sloe of the roof.
- Removal or covering of features on the rear (east) façade, except for the gabled parapet and coping.
- Construction of a new three-story, steel-frame addition with a flat roof at the rear of the existing building:
  - o The addition will be built out to the south and rear (east) lot lines.
  - The third story of the addition will be set back from the rear (east) and south facades, with a roof deck behind the flat, second-story parapet
  - The first and second floors of the addition will primarily be clad in smooth stucco, with pebbledash finished stucco (similar in texture to the historic building) located between the window bands at the second story. The set back third story will be clad in wood tongue-and-groove siding.
  - The lower two stories of the addition will be aligned with those of the historic building, and the punched window openings at the second story of the addition will pick up on the proportion and rhythm of the fenestration pattern on the historic building.
  - The ground floor storefront windows and transoms at the proposed addition are also proportional to the openings at the historic building.
  - The addition will have an inset alcove immediately to the west of the existing historic building to provide a visual and physically delineate the addition from the historic building.
  - The west parapet of the historic building will be retained, and the board-formed concrete construction will be left exposed at the third-floor addition interior and roof deck.

The project includes various interior tenant improvements which are not the subject of this SOI Standards analysis. At the interior, the historic building will continue to have two retail storefronts, although the ground floor space will be built out for one restaurant tenant, and the second story will continue to be used for offices. The addition will have a separate ground floor retail storefront, and the upper two floors will be used for offices.



Figure 3: Rendering of the proposed project, looking at the front façade of the historic Jurian Building from Castro and Villa streets. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.



Figure 4: Rendering of the west (left) and south (right) facades of the proposed addition, looking northeast from Villa Street. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.



Figure 5: Rendering of the north façade of the proposed project, looking southeast. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.



Figure 6: Conceptual site plan of the proposed project. Source: Strata Design Studio, "194-198 Castro Street" (July 17, 2024), Sheet A0.1.

# Analysis of Project-Specific Impacts Under CEQA

As stated previously, the project site includes an eligible historic resource for the purposes of CEQA and must substantially meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the Standards) in order to avoid significant adverse impacts to the historic resource. <sup>16</sup> The Standards provide guidance for reviewing proposed work on historic properties and are a useful analytic tool for understanding and describing the potential impacts of substantial changes to historic resources.

The Secretary of the Interior offers four sets of standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. Typically, one set of standards is chosen for a project based on the project scope. For the purposes of the proposed project at 194 Castro Street, the Standards for Rehabilitation, which "acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building's historic character," are the appropriate Standards for the proposed project's scope.<sup>17</sup>

## Standards for Rehabilitation Analysis

The following analysis applies each of the ten Standards for Rehabilitation to the proposed project at 194 Castro Street.

**Rehabilitation Standard 1:** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

<u>Discussion:</u> The building at 194 Castro Street was constructed as a two-story commercial building with two retail storefronts at the ground floor and an event/gathering space at the second floor. The property currently has a restaurant at the ground floor and offices at the second floor. The proposed project would retain the current uses in the historic building and have ground floor retail and upper level offices in the proposed addition. In sum, the use of the building will remain commercial.

The proposed project is consistent with Rehabilitation Standard 1.

<sup>&</sup>lt;sup>16</sup> Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings,* (U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017).

<sup>&</sup>lt;sup>17</sup> Grimmer, The Secretary of the Interior's Standards for the Treatment of Historic Properties.

**Rehabilitation Standard 2:** The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

<u>Discussion:</u> This historic character of the property will be retained and preserved as evidenced through the retention and preservation of the building's character-defining features. Specifically, the overall massing and footprint will be preserved, as well as all decorative features and all historic window and storefront openings. The building's decorative shaped parapet will also be retained at the primary (east) and secondary (south) facades, as well as the more modest gabled parapet at the rear (west) façade.

No character defining interior features or spaces have been identified and no interior alterations to the space will affect the exterior features that characterize the property. The proposed addition will not impact the spatial relationship of the historic building to the Castro Street commercial corridor, and it will be consistent with the dense commercial development along the blocks fronting Castro Street and the side streets.

Rooftop solar panels and new mechanical equipment vents will not be visible to the street and, thus, will not impair the historic character of the building. New mechanical equipment installed in the attic at the northwest corner of the historic building will require several new vents; this vents will extend above the roofline only several inches and be parallel with the roof slope. The overall roofline and form of the building would be retained.

The overall historic character of the building as a Mission Revival style building along the main Mountain View commercial corridor will be retained and preserved. Therefore, the proposed project is consistent with Rehabilitation Standard 2.

**Rehabilitation Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

<u>Discussion:</u> The proposed project will not create a false sense of historical development. The proposed addition is designed to be compatible yet differentiated with the historic building, as further discussed under Standard 9. The proposed project will not add conjectural features or elements from other historic properties. Therefore, the proposed project is consistent with Rehabilitation Standard 3.

**Rehabilitation Standard 4:** Changes to a property that have acquired significance in their own right will be retained and preserved.

<u>Discussion:</u> The subject building has been minimally altered at the exterior since original construction. The rear, one-story addition, constructed c.1921-1943, was built during the building's period of significance, but is utilitarian in design and served an ancillary function. As such, it has not gained significance in its own right and is not a character-defining feature. No other changes to the property have acquired historic significance. Therefore, the proposed project is consistent with Rehabilitation Standard 4.

**Rehabilitation Standard 5:** Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

<u>Discussion:</u> The materials, features, finishes, and construction techniques that characterize the Mission Revival style building will be retained with no substantial change to the resource's historic character-defining features. The building's historic exterior materials such as the stucco siding and concrete ornamental features are to be retained. The building's prominent features evidencing its Mission Revival style will be preserved, including shaped parapets, merlons, and decorative detailing at the second story windows and parapets. The overall fenestration pattern, featuring punched second story windows and ground floor storefront openings that turn the southeast corner, will also be preserved. The only exterior materials that will be removed are at the rear façade, which is a plain concrete wall with no decorative detailing. The rear façade does not exhibit the level of craftsmanship evident at the primary (east) and secondary (south) facades, and the only notable features—the gabled parapet and southwest corner parapet merlon—at the rear will be retained.

Therefore, the proposed project is consistent with Rehabilitation Standard 5.

**Rehabilitation Standard 6**: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

<u>Discussion:</u> The proposed project does not include replacement of any historic materials or historic features under this Phase 1 permit package. Any proposed repair or in-kind replacement of historic materials or character-defining features as part of a Phase 2 scope will need to meet the Secretary of the Interior's Standards for Rehabilitation and be reviewed by a qualified professional prior to permitting. Therefore, Phase 1 of the proposed project as currently proposed is consistent with Rehabilitation Standard 6.

**Rehabilitation Standard 7:** Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

<u>Discussion:</u> As currently planned, the project does not involve chemical or other physical treatments of historic materials. Therefore, the proposed project is consistent with Rehabilitation Standard 7.

**Rehabilitation Standard 8:** Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

<u>Discussion:</u> So long as standard procedures are followed in the case of an encounter with archaeological material, the proposed project will comply with Rehabilitation Standard 8.

**Rehabilitation Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and environment.

<u>Discussion:</u> The proposed project includes a three-story rear addition that is both differentiated and compatible with the historic building. The addition has a rectilinear footprint that is consistent with the pattern of commercial development along and just off downtown Castro Street, where buildings have typically been built out to their front and side lot lines. The massing of the addition includes a third story that is set back from the south (Villa Street) and rear facades so that it will be minimally visible from the street. The height and proportion of the lower two stories of the addition are designed to match the height and proportion of the historic building. The second story of the addition picks up on cues from the historic building, including bands above and below a row of punched window openings, as well as in the proportion of the storefront openings with upper transoms. The addition features a flat parapet, which is compatible with the adjacent historic building without introducing any false historicist Mission Revival style features.

The overall character of the addition is that of a contemporary twenty-first century commercial building, but the scale, proportion, and exterior materials are compatible with the historic building. The addition will have smooth stucco siding, distinct from the historic building, with textured (pebbledash) stucco more closely referencing the historic building's exterior material only at the second story window band. The tongue-and-groove siding of the addition's third story will be minimally visible from the street. As discussed under Standards 2 and 5, no historic materials, features, or spatial relationships will be destroyed by the proposed addition, which is located at the rear of the historic building. A recessed alcove along the south (Villa Street) façade of the addition

will provide a visual break between the historic building and the addition, and will allow the southwest corner of the historic building, including the parapet merlon, to remain intact. As such, the proposed addition largely reads as a separate new downtown commercial building that could be abutting the historic building.

Therefore, the proposed project is consistent with Rehabilitation Standard 9.

**Rehabilitation Standard 10:** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

<u>Discussion:</u> The proposed project includes a large three-story rear addition. However, the proposed addition is designed such that it only requires the demolition of portions of the rear wall of the historic building, which has already previously been altered. Additionally, except for the gabled parapet at the top of the rear wall—which is being retained—the rear wall does not contain any character-defining features. If, hypothetically, the proposed addition was removed in the future, the rear wall could be reconstructed with no impact to the essential form and integrity of the historic property. The rooftop solar panels and mechanical equipment vents could also be removed in the future without damage to the overall form and character of the building. Therefore, the proposed project is consistent with Rehabilitation Standard 10.

## Summary of SOI Standards Compliance

As the above analysis illustrates, the proposed project at 194 Castro Street, as currently designed, is in compliance with all ten of the Secretary of the Interior's Standards for Rehabilitation. The historic building will continue to be able to express the features, design, and context that make it significant for its Mission Revival architecture, association with architect Frank Wolfe, association with early downtown Mountain View commercial development, and original owner Andrew Jurian. According to CEQA Guidelines Section 15126.4(b)(1), if a project complies with the Secretary of the Interior's Standards for Rehabilitation, the project's impact "will generally be considered mitigated below a level of significance and thus is not significant." Furthermore, according to CEQA Guidelines Section 15331, projects that comply with the Secretary of the Interior's Standards are categorically exempt from CEQA. As the proposed project is in compliance with Secretary of the Interior's Standards for Rehabilitation, 194 Castro Street will continue to be eligible for historical designation on local, state, and/or national registers, and the proposed project will not cause a significant adverse impact.

# Analysis of Cumulative Impacts Under CEQA

The California Environmental Quality Act defines cumulative impacts as follows:

"Cumulative impacts" refers to two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.

- a) The individual effects may be changes resulting from a single project or a number of separate projects.
- b) The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable probable future projects. Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.<sup>18</sup>

As the project meets the Secretary of the Interior's Standards, it will not have a significant effect on the environment and is, therefore, considered categorically exempt from CEQA. Thus, the project will not have any individual effects that contribute to cumulative impacts on the environment.

Assessment of other potential environmental impacts such as aesthetics, air quality, noise, pollution, etc. are outside the scope of this report.

# CONCLUSION & RECOMMENDATIONS

As stated above, the project—as proposed in Phase 1—is consistent with all ten of the Secretary of the Interior's Standards for Rehabilitation, and the property will remain individually eligible for historic designation on local, state, and/or federal registers. As the project is compliant with the Secretary of the Interior's Standards.

Page & Turnbull has noted that a future "Phase 2" scope of work is noted on the proposed project drawings that would include rehabilitation of the exterior facades of the historic building. The Phase 2 work, which is planned under a separate permit, will need to be reviewed by a professional meeting the Secretary of the Interior's Professional Qualification Standards and compliant with the Secretary of the Interior's Standards for Rehabilitation.

<sup>&</sup>lt;sup>18</sup> 14 CCR § 15355.

Based on the potential rehabilitation scopes indicated in the proposed project drawings, Page & Turnbull has the following preliminary recommendations for Phase 2:

- A qualified historic architect or architectural historian should review the "Phase 2" preservation scope, including any proposed replacement or repair of historic materials and features.
- Non-historic aluminum windows and storefronts, including non-historic tile bulkheads, may be removed and replaced.
- Character-defining window openings should not be altered in size or proportion.
- Any proposed new window sashes should be reviewed for compatibility of material, operability, and configuration. One-over-one hung wood or wood-clad-aluminum windows would be most appropriate based on archival documentation of the original windows.
- Original and character-defining materials and features should be repaired, rather than
  replaced, to the extent feasible. If a material or feature is deteriorated beyond repair, as
  confirmed by a qualified professional, then in-kind replacement may be undertaken.
- Cleaning and/or paint removal should be undertaken with the gentlest means feasible, so as to avoid damage to historic materials and features.

#### **EXHIBITS**

Exhibit A: Historic Resource Assessment (June 2023)

Historical Resource Assessment (HRA), including DPR 523 forms, prepared by Archives & Architecture in June 2023.

Exhibit B: Proposed Project Drawings (July 2024)

Proposed project drawings for 194-198 Castro Street prepared by Strata Design Studio, dated July 17, 2024.

# HISTORICAL RESOURCE ASSESSMENT

Jurian Building 194-198 Castro Street Mountain View, Santa Clara County, California APN #158-15-013



The Jurian Building at 194-198 Castro Street, Mountain View, CA

# Prepared for:

Chee-Yee Chong Hanson America LLC P.O. Box 4631 Mountain View, CA 94041



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# **Table of Contents**

Introduction	3
Evaluation for Historical Significance	4
Mountain View Register of Historical Resources Eligibility	4
California Register of Historical Resources Eligibility	5
National Register Eligibility	6
Alterations	6
Qualifications of the Consultant	
Appendix: DPR 523 Forms	7

# Introduction

This report constitutes a historical resource assessment for the historic property known as the Jurian Building at 194-198 Castro Street in Mountain View, California. The subject property is located on the northwest corner of the intersection of Castro and Villa Streets in Mountain View.

This historical resource assessment has been required by the City of Mountain View as part of the application for a Historic Preservation Permit to determine the significance of the subject property and how a proposed project will affect its significance. The proposed project is to remove the one-story addition on the rear of the Jurian Building and construct a three-story addition.

This City of Mountain View sometimes requires an applicant to hire a qualified historical consultant to prepare a historical evaluation, in the form of a report, in conjunction with the recording of DPR 523 series forms, when a project has the potential to affect a historic resource which is (1) either listed, or eligible for listing, on the National Register or the California Register, or is eligible for designation as a Historic Resource under City of Mountain View criteria under Section 36.54.65 of Division 15, as embedded in the City's municipal code.

This assessment presents a summary of findings extracted from DPR 523 forms prepared for the property by the firm of Archives & Architecture LLC. The attached DPR 523 forms prepared by us dated May 1, 2023 document the historical and architectural aspects of the property at 194-198 Castro Street, a brief historical context of the study area, and facts regarding ownership and use of the property since it was built. The forms also include a technical description of the property, including style, defining features, exterior photographs, and historical views.

The evaluation within this report is based on specific historic evaluation criteria that have been developed for the City of Mountain View under Section 36.54.65, the California Register of Historical Resources, and the National Register of Historic Places.

Section 36.54.65 defines the designation criteria for a historic resource as any building, structure, object or site that the city council finds meets one or more of the following criteria.

Criterion A Is strongly identified with a person who, or an organization which,

significantly contributed to the culture, history or development of the

City of Mountain View;

Criterion B Is the site of a significant historic event in the city's past;

Criterion C Embodies distinctive characteristics significant to the city in terms of a

type, period, region or method of construction or representative of the

work of a master or possession of high artistic value; or

Criterion D Has yielded, or may be likely to yield, information important to the city's prehistory or history.

A property is also identified as a historic resource if it is listed on the Mountain View Register of Historical Resources.

# **Evaluation for Historical Significance**

# **Mountain View Register of Historical Resources Eligibility**

The subject property retains its significance as a Mountain View historic resource, meeting the following criteria for the Mountain View Register of Historic Resources per SEC 36.54.65 in Division 15, Mountain View's Designation and Preservation of Historic Resources.:

#### Criterion A

Is strongly identified with a person who, or an organization which, significantly contributed to the culture, history, or development of the City of Mountain View;

The building is associated with Andrew Jurian, who was influential in the agriculture and retail development of Mountain View in the early twentieth century. Andrew Jurian was active in Mountain View civic affairs and an important supporter and organizer of those of Yugoslavian descent.

#### Criterion B

# Is the site of a significant historic event in the city's past:

The Jurian Building has a significant place in the history of the development of the city of Mountain View's downtown and its commercial development. The building stands at the intersection of Castro and Villa Streets on a lot once called the most valuable business block in Mountain View in an intersection in which its neighboring corner buildings are noted for their significance to Mountain View's business development—the Farmers' and Merchants Bank (1905), the Mockbee Building (1906), and the First National Bank (1913). The Jurian Building was the first major commercial building to be constructed after Mountain View went dry, replacing one of the city's newly banned saloons and being hailed as an example of how the local prohibition did not halt business development. For many decades, the events hall on the second floor of the Jurian Building was the main gathering place for the city and the site of important events for local organizations.

# Criterion C Embodies distinctive characteristics significant to the city in terms of a type, period, region or method of construction or representative of the work of a master or possession of high artistic value;

The building possesses architectural distinction as an example of Mission Revival style as applied to early twentieth-century commercial buildings, with Mission Revival features including a high central curvilinear parapet and square capped corners. It was built of reinforced concrete with distinctive unique ornamentation made of cast concrete.

The Jurian Building was designed by San José master architect Frank Delos Wolfe. Wolfe was responsible for important buildings in Mountain View and across Northern California, eight of which are today on the National Register of Historic Places.

# California Register of Historical Resources Eligibility

Properties in the City of Mountain View are also evaluated for significance at the state level under the criteria of the California Register of Historical Resources. The types of resources and the criteria for listing in the California Register are consistent with those developed by the National Park Service for listing historical resources in the National Register, but have been modified for state use in order to include a range of historical resources which better reflect the history of California. Under California Code of Regulation Section 4852(b) and Public Resources Code Section 5024.1, a historical resource generally must be greater than 50 years old and must be significant at the local, state, or national level under one or more of the following four criteria:

- Criterion 1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- Criterion 2. It is associated with the lives of persons important to local, California, or national history.
- Criterion 3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or important creative individual, or possesses high artistic values.
- Criterion 4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

The subject property appears to be eligible for the California Register, by meeting the following criteria:

Criterion 1. The subject property is associated with events that have made a significant contribution to the broad patterns of local or regional

history or the cultural heritage of California or the United States, in terms of its significant place in the history of the development of the city of Mountain View's downtown and its commercial development.

Criterion 2. The subject property is associated with Andrew Jurian, who was important to Mountain View history.

Criterion 3. The subject property embodies the distinctive characteristics of a type, period, and region with its unique interpretation of Mission Revival architecture and reinforced concrete construction. The building is the work of Frank Delos Wolfe, a local master architect.

# **National Register Eligibility**

The subject property has not been evaluated for National Register eligibility because it is not undergoing a Section 106 review. Section 106 of the National Historic Preservation Act of 1966 (NHPA) requires federal agencies to con-sider the effects on historic properties of projects they carry out, assist, fund, permit, license, or approve throughout the country. If a federal or federally assisted project has the potential to affect historic properties, a Section 106 review will take place.

# **Alterations**

Alterations are documented in the attached DPR 523 forms and can be seen on the Sanborn maps included in the forms. The most significant alterations are found on the western (rear) elevation, which can be summarized as follows:

- A one-story addition made of reinforced concrete, still standing today, was constructed on the rear of the building around or before 1943.
- Original windows were filled in or replaced with noncompatible newer windows in an ad-hoc arrangement.

These alterations do not invalidate the Jurian Building's architectural significance and eligibility as a historical resource. The eastern and southern facades retain their characteristic features including the decorative moldings and Mission Revival style parapets. Despite the modifications to the western façade and windows and storefronts, the Jurian Building retains its form, characteristic features, and most of its materials on the eastern and southern facades.

# **Qualifications of the Consultant**

The principal author of this report is Krista Van Laan, Architectural Historian, who consults in the field of historic architecture. Ms. Van Laan has a BFA from Pratt Institute and a graduate certificate in Preservation from the University of Kentucky. She is the

Appendix: DPR 523 Forms

author of many articles on Bay Area architectural history and five books, including *Frank Delos Wolfe: California Prairie Architecture, Wolfe & Higgins: Master Architects of the Spanish Revival, Schiele Subdivision and Alameda Park,* and *The Insider's Guide to Technical Writing.* 

Ms. Van Laan meets the Secretary of the Interior's qualifications to perform identification, evaluation, registration, and treatment activities within the field of Architectural History in compliance with state and federal environmental laws.

# **Appendix: DPR 523 Forms**

DPR523a forms for 194-198 Castro Street.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # HRI # Trinomial

**NRHP Status Code** 

Other Listings

Review Code Reviewer

Date

Page 1 of 24

\*Resource Name or #: (Assigned by recorder) Jurian Building

P1. Other Identifier: Odell & Jurian Building, 194-198 Castro Street

\*P2. Location: ☐ Not for Publication ☐ Unrestricted

\*a. CountySanta Claraand (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)\*b. USGS 7.5' QuadMountain ViewDate 1980 photorevisedT. 6S.: R.2W.; B.M. Mount Diablo

c. Address 194-198 Castro Street City Mountain View Zip 94041

d. UTM: (Give more than one for large and/or linear resources) Zone 10S.; 581367mE/ 4138614mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 158-15-013, northwest corner of Castro and Villa Streets.

\*P3a Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Jurian Building is located at 194-198 Castro Street in Mountain View, California, on the northwest corner of the intersection of Castro and Villa Streets. The Mission Revival-style building, constructed in 1912-1913, stands two stories tall and is made of reinforced concrete with a rough-textured stucco exterior and a shallowly pitched ridged roof with high parapet walls. The building is roughly rectangular, with fifty feet of frontage on Castro Street and 123 feet on Villa Street. Castro Street runs northeast to southwest, so the property faces east-southeast; for ease of reading, the property will be considered as facing nominally east on the Castro Street side.

Two storefronts and an L-shaped extension on the rear (western) façade comprise the lower story. The upper story, originally an events hall built with no interior posts or other obstructions, is today divided into offices.

(Continued on next page)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present: 🖂 Building 🗌 Structure 🔲 Object 🔲 Site 🔲 District 🔲 Element of District 🔲 Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)

P5b. Description of Photo: (View, date, accession #)

Front façade viewed with camera facing northwest. April, 2023.

\*P6. Date Constructed/Age and Sources:

☐ Historic ☐ Prehistoric ☐ Both 1913, 110 years. *Building and Industrial News*, January 7, 1913.

\*P7. Owner and Address:

Hanson America LLC P.O. Box 4631 Mountain View, CA 94041

\*P8. Recorded by: (Name, affiliation, and address)

Krista Van Laan Archives & Architecture, LLC PO Box 1332 San José, CA 95109

\*P9. Date Recorded: May 1, 2023 \*P10. Survey Type: Intensive



\*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Downtown Mountain View Precise Plan Areas A-J Historic Resources Survey, August 5, 2003; Mountain View Register of Historic Resources

*Attachments: 🗌 NONE 🖾 Location Map 🖾 Continuation Sheet 🖾 Building, Structure and Object Record 🔲 Archaeological Record 🗍 Disti	rict
Record ☐ Linear Feature Record ☐ Milling State Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List)	

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # HRI # Trinomial

Page 2 of 24 \*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023 \(\sigma\) Continuation \(\sigma\) Update

(Continued from previous page)

The building was designed by San José master architect Frank Delos Wolfe (1862-1926). At the time he was commissioned to design the Jurian building in 1912, Wolfe had already been responsible for many important buildings in Mountain View, including the 1903 high school, the Farmers' and Merchants' Bank at 201 Castro Street, the 1906 post office, and homes for many of the city's most prominent citizens. In 1912, Wolfe, as a sole practitioner, was working primarily in the Mission Revival and Craftsman styles. He was also becoming known nationally for designing buildings influenced by Frank Lloyd Wright, pioneer of the Prairie School of American architecture.

## **Character-Defining Features**

The building is notable for its distinctive ornate cast concrete moldings on the eastern (front) and southern facades. A high central curvilinear Mission-Revival-style parapet extends above the roofline on each of these two sides. High crenelated square posts rise from the parapet corners. The parapet and corners are topped with wide caps; matching trim follows the edge of the curved parapet and ends in a raised decorative block at the center top of the corner posts. An elongated quatrefoil frame is centered in the upper part of the wall near the curving top of each parapet. Within the frame is a painted date "1913," representing the year the building was completed.



Front (eastern) facade of the Jurian building. Viewed with camera facing northwest.

# State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI # Trinomial

Page	3 of 24	*Resource Name or #:	(Assigned by recorder)	Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023 \(\simega \) Continuation \(\simega \) Update

(Continued from previous page)

A row of nine high vertical windows wraps around the upper-story walls on the eastern and southern facades—four windows spanning the eastern side and five on the southern side. The windows were installed around 2000 and are aluminum-framed sliders set into the original frames.

Bands of vertical ribs edged with flat strips line the row of windows above and below, extending across the full width of the building. Vertical concrete strips frame each window, with all window corners punctuated with a diamond-shaped accent. Ornate prominent cast concrete medallions hang from the upper band between each window and beside the outer corners of the building. The design of these ornaments has been referred to as "Egyptian" in a 2002 City of Mountain View *Register of Historic Resources* description, but the design appears to have no discernable origin, with elements of Craftsman and Mission Revival design, early Art Deco, and a passing reference to some of the geometric motifs used by Frank Lloyd Wright. Architect Frank Delos Wolfe was strongly influenced by Frank Lloyd Wright at the time the Jurian Building was designed and built, so the Wright reference may have been deliberate.

The prominent corner medallion elements are cast concrete, consisting of a round shield overlapping the horizontal ribbed band and extending below to a tapering panel with stepped edges. Centered in the shield is a decorative element resembling a cornice and frieze above flared dentils; below is a group of five vertical rods that each end in a triangular shape and give the appearance of hanging tassels. Between each window is an abbreviated form of the corner design element, with a projecting rectangular paneled block above a coved base on which lies three vertical rods with tasseled ends. The building corners on the lower floor retain some of the horizontal bands and diamond accents of the upper story.



Closeup of window and decorative moldings.

The lower story on the eastern façade consists of two storefronts with entrance doors recessed within the overhanging upper floor. A central entrance door, installed in 1982, leads to the upper story.

The storefronts have been reconstructed in and since 1983, with six recently replaced horizontal single-pane windows spanning the building width across the overhang and a seventh wrapping around to the Villa Street side. A sign for the Agave restaurant is installed above the horizontal windows. (Agave Restaurant signs are also installed

Page 4 of 24 \*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*D ate May 1, 2023 \(\sigma\) Continuation \(\sigma\) Update

(Continued from previous page)

on the southern and western sides.) The storefront windows start approximately two feet above the sidewalk level and the lower wall is covered with recently installed tile.



Storefront windows at 194 Castro Street.



Corner detail.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # HRI # Trinomial

Page  $5 ext{ of } 24$  \*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023  $\square$  Continuation  $\square$  Update

(Continued from previous page)

Fenestration on the southern (Villa Street) façade of the lower story consists of three hopper windows and two entrance doors flanking a narrow vertical window.



Southern elevation. Viewed with camera facing north.

DPR 523J \* Required information

## State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI # Trinomial

Page 6 of 24 \*Resource Name or #: (Assigned by recorder) Jurian Building

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(Continued from previous page)



Southwest corner of Jurian Building showing the southern and western elevations, wall built ca. 2000, and part of the lower-story extension that was added between 1921-1943. Viewed with camera facing east.

The western (rear) elevation has undergone the most changes, with original windows filled in and an ad hoc placement of fixed-pane and slider windows. A one-story extension with a door and several small windows projects from the rear wall. (The rear addition was built between 1921 and 1943.) The western wall has no decorative molding such as that found on the southern and eastern facades, but the upper story has retained its original board form concrete pattern. Board form concrete possesses a wood-grained texture caused by casting the concrete onto wood.

The rear courtyard is surrounded by a crenelated stucco wall (built ca. 2000) with a decorative spiraled metal railing between the posts and metal column light fixtures. There is a double wooden gate on the westernmost corner and a shed on the northwest corner.

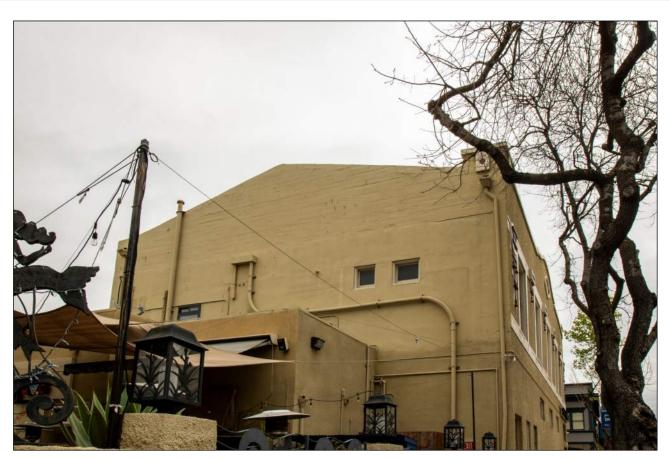
The northern wall of the Jurian building is windowless, the lower half obscured by the attached neighboring building and the upper half exhibiting the original board form concrete.

The building interior retains a few of its original features, with original stamped metal ceilings, board form pattern on some of the interior walls, and the rear staircase up to the second floor.

Page  $7 ext{ of } 24$  \*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023 ⊠ Continuation ☐ Update

(Continued from previous page)



Rear facade showing pointed parapet and board form at top and addition on first floor. The original windows are gone.



Shed at northwest corner added ca. 1983.

# State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI # Trinomial

Page  $8 \ \mathrm{of} \ 24$  \*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023  $\square$  Continuation  $\square$  Update

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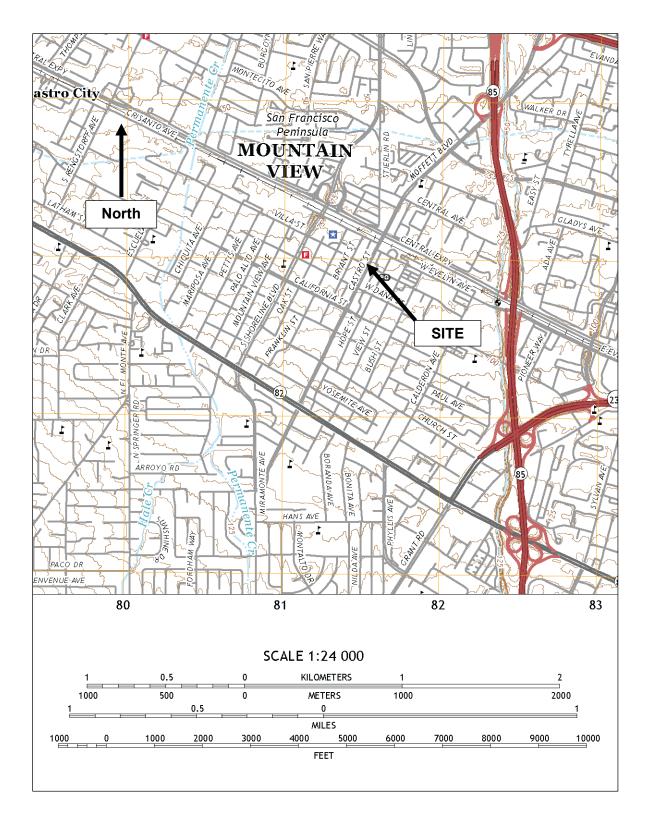
Rear facade viewed with camera facing southeast. The roof of the L-shaped addition is visible as are the modified rear windows.



Northern facade of Jurian Building.

Page 9 of 24 \*Resource Name or #: (Assigned by recorder) Jurian Building

\*Map Name: USGS Mountain View, California Scale: n.t.s \*Date of Map: 2018



DPR 523J \* Required information

## State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION

Primary # HRI #

#### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 10 of 24 \*NRHP Status Code 3CS

\*Resource Name or # (Assigned by recorder) Jurian Building

B1. Historic Name: Odell & Jurian Building

B2. Common Name: None

B3. Original use: Commercial B4. Present Use: Commercial

\*B5. Architectural Style: Mission Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

Construction date: 1912-1913. See full list of alterations on page 19.

\*B7. Moved? ⊠ No □ Yes □ Unknown Date: N/A Original Location: N/A

\*B8. Related Features: None

B9a Architect: Frank Delos Wolfe b. Builder: Herman A. Spreen and William H. Bates

\*B10. Significance: Theme Architectural Resources and Styles Area Mountain View, Santa Clara County
Period of Significance 1913-1943 Property Type Commercial Applicable Criteria 1, 2, 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property known as the Jurian Building was constructed in 1912-1913 as a two-story, two-storefront commercial property to house the dry goods business owned by orchardists George W. Odell and Andrew Jurian. The building was designed by San José master architect Frank Delos Wolfe, according to the January 7, 1913 issue of *Building and Industrial News* and subsequent articles in the *San Jose Mercury News* and *Mountain View Register-Leader*.

The Jurian Building played a major role in the development of downtown Mountain View. Established as Mountain View Station in the late 1860s following the construction of the San Francisco-San Jose Railroad through the northern portions of the Santa Clara Valley, the city had continued to grow and incorporated on November 7, 1902. Mountain View was going through major changes the year the Jurian Building began construction. In April of 1912, the city had enacted prohibition and banned the many saloons that had until then been part of the city. The Jurian Building was the first significant commercial building constructed after the city went dry and was considered to be an indicator that Mountain View's downtown was still an important commercial center and that the decision to go dry would not hurt its progress.

(Continued on next page, DPR523L)

B11. Additional Resource Attributes: (List attributes and codes) N/A

#### \*B12. References:

Advisory Council on Historic Preservation, https://www.achp.gov.

Ancestry.com: Census reports, Santa Clara County directory listings, voter records, and birth, marriage, and death records.

Architectural plans: 1982, 2022.

"Big Rebuilding Sale at Odell & Jurian's," Mountain View Register-Leader, May 23, 1913, 1.

(See References continued on page 23)

B13. Remarks: Proposed architectural alterations

\*B14. Evaluator: Krista Van Laan \*Date of Evaluation: May 1, 2023.

(This space reserved for official comments.)



DPR 523B \* Required information

# State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI # Trinomial

Page 11 of 24

\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan

\*Date May 1, 2023

**⊠** Continuation

□ Update

(Continued from previous page)

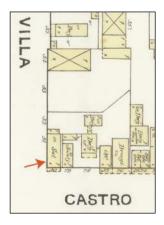
Before the establishment of Mountain View Station, land surrounding and including the subject property was part of *Rancho Pastoría de las Borregas* (in English, the ewe lambs pasture), almost 8,800 acres of land granted to Francisco Estrada by the Mexican government in 1842. Francesco Estrada and his wife Inez died and the title passed to Inez's father Mariano Castro, who called on his son Crisanto to manage the rancho. When the Mexican War ended in 1848, the Mexican government ceded California to the United States. California became a state in 1850 and at that time, the area that became known as Mountain View began to grow.

A stage stop was located near where Grant Road and El Camino Real intersect today. The stage stop was later referred to as "Old Mountain View," and a hostelry, post office, store, and a few shops grew up around it. When the railway was built in 1864 about a mile north, some of the merchants at the stage station moved closer to it, creating the beginning of downtown Mountain View. The block on which the subject property sits was the first block built in what became downtown Mountain View. By the late 1800s, thanks to the railroad and the agricultural bounty of the surrounding land, Mountain View was a thriving town.

In 1904, concrete gutters and curbs were installed on the first two blocks of Castro Street. The Pacific Press Publishing Company moved its plant from Oakland, where it had originated in 1874, to Mountain View. The Pacific Press was owned and operated by the Seventh-Day Adventist Church, 200 of whose members moved to Mountain View, swelling its population to about 800. Real estate values were said to increase and business flourish, slowed down only temporarily by the April 1906 San Francisco Earthquake, which nonetheless brought many displaced persons to Mountain View. The population of Mountain View grew to reach 1,161 by the 1910 census.

The religious practices of the members of the church, including abstinence from alcohol, influenced the city. On April 30, 1912, the citizens of Mountain View voted by a majority of about fifty to prohibit the sale and dispensation of intoxicating liquors and to close all of the seven saloons in the city limits.

In August of 1912, orchardists George W. Odell and Andrew Jurian bought from Margaretta H. Moore a fifty- by 150-foot lot known as "Haverty Corner," considered to be the most valuable business block in Mountain View, at the corner of Castro and Villa Streets. The lot housed a saloon which was said to have stood there for many years and appears on the 1888 Sanborn fire insurance map. Odell and Jurian paid \$6500 for the lot upon which they would demolish the old saloon and launch a dry goods business called Odell & Jurian. The August 23, 1912 issue of the Mountain View Register-Leader reported favorably on the transaction, stating that it indicated a "further advancement in the town's importance as a business place, and also evidence that the action of the citizens last April in voting the town 'dry' has not injured its prospects."



1888 Sanborn map excerpt shows the saloon that was demolished to make way for the Jurian Building.

Sanborn Fire Insurance Map from Mountain View, Santa Clara County, California. Sanborn Map Company, May, 1888. Map.

https://www.loc.gov/item/sanborn00706\_001/.

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# State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI # Trinomial

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Page 12 of 24

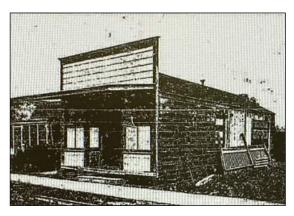
\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan

\*Date May 1, 2023

□ Update

(Continued from previous page)



Haverty Saloon (later called the Palm Saloon) was demolished to make way for the Jurian Building.

Mountain View Register-Leader, January 24, 1913.

Andrew Ivan Jurian (1864-1943) was a native of the Austro-Hungarian Empire, which became part of Yugoslavia in 1918. (The area he came from is today Slovenia and Croatia). Jurian had moved to the United States in 1891, first living in Virginia City, where he worked on the Comstock Lode, before arriving in Santa Clara County in 1908. He married Elizabeth Booker and they owned thirteen acres of orchard a mile outside of Mountain View where they grew prunes. The Jurian prunes were award-winners at the Prune and Apricot exposition. In Jurian's thirty-five years in Mountain View, he was an active civic and social leader, especially as it related to Yugoslavian affairs. He was president and founder of the American Yugoslav Defense League, first president of the Napredak Club, and a member of the Chamber of Commerce and chairman in the Kiwanis Club. In 1936, he ran a corporation that owned the Yugoslav newspaper *Narodni Glasnik*.

Less is known about George Odell (1871-1929), who did not stay in Mountain View after 1914. He was born in Indiana and came to Santa Clara County sometime around 1910 where he and his wife Margaret ran an orchard near Mountain View before going into the mercantile business with Andrew Jurian.

In 1912, the pair hired San José architect Frank Wolfe to design their new commercial building. Wolfe was well-known in Mountain View, where he, with partner Charles McKenzie, had designed many of the city's important buildings including the 1902 high school, the Farmers' and Merchants' Bank diagonally across the street from Odell and Jurian's property, the 1906 post office, and the 1910 home for Crisanto Castro as well as homes for many of the city's most prominent citizens. Wolfe was now a sole practitioner, generating much publicity with his Frank Lloyd Wright-inspired Prairie-style buildings.

Odell and Jurian's new building was described as a "modern store building in which they intend to establish a very modern and high-grade cash grocery business, to handle the very best of all kinds of goods in that line..." The pair promised to make their new store the "equal of any dry goods emporium in the country so that never will it be necessary for any man or woman to go from Mountain View to another town to buy dry goods."

On September 23, 1912, the partners contracted with builder Herman A. Spreen, a German-born resident of Sunnyvale, to build the new commercial building for a contracted price of \$5,260. Spreen was to work under the supervision of architect Wolfe, who would certify his work in four installments. Work was begun in the middle of October. The building, originally planned to be a single story with two storefronts, was to be constructed of reinforced concrete, likely a response to the damage caused by the 1906 San Francisco Earthquake, which had caused destruction to many Mountain View buildings. The foundation and walls were built so that a second story could be added later if the owners wanted it.

State of California – The Resources Agency
<b>DEPARTMENT OF PARKS AND RECREATION</b>
CONTINUATION SHEET

Page 13 of 24

\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan

\*Date May 1, 2023 ⊠ Continuation

□ Update

(Continued from previous page)

The construction of the new building was followed closely. "It is going to be one of the finest business blocks in the county when it is completed..." said one article in the *Register-Leader*. "The community owes Messrs. Odell & Jurian a deep debt of gratitude for their enterprise in locating here and investing so much money in the town," read another.

On December 10, Odell and Jurian decided they wanted a second story added to the building, one that would hold social events such as dances and concerts and theater productions. They negotiated with Spreen to add the second story, again agreeing to pay in four installments the sum of \$3,600. On March 1, 1913, after receiving the second payment but without doing the second stage of the work, Spreen abandoned the project. Builder William H. Bates, who had worked with Wolfe on many buildings, was hired to complete the job with day laborers. The upper story was said to be built with no posts nor obstructions and was accessed by a staircase leading from the rear end of the Villa Street side. Frank Wolfe continued to supervise the construction and guarantee its soundness.

Spreen's abandonment of the project resulted in a number of liens and lawsuits. Five plaintiffs, including Walter G. Matheson, secretary of the Building Trades Commission, who represented fifty workers who subcontracted for Spreen, filed claims against Odell and Jurian and the Maryland Casualty Company, the insurer. Odell and Jurian in turn sued Spreen and the Maryland Casualty Company for the recovery of \$4430 which they said they spent when they had to continue the building themselves. The court case and appeals continued until 1920.



Jurian Building ca. 1913. This may be a photograph of the grand opening of the building. The bunting over 194 Castro reads "Odell & Jurian," which changed its name by 1914. Courtesy of Mountain View Historical Association.

Despite the delays, the building had a grand opening on June 8, 1913, just shy of a few finishing details that were done on June 15. E.T. Johnson's drug store occupied the store addressed 198 Castro and the Odell & Jurian dry

# State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI # Trinomial

Page 14 of 24

\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan

\*Date May 1, 2023  $\square$  Continuation

□ Update

(Continued from previous page)

goods business occupied 194 Castro. The occasion was marked with a band and other forms of entertainment. The June 13, 1913 issue of the *Mountain View Register-Leader* described the event:

The most beautiful and attractive show windows ever seen in Mountain View were those in the Odell & Jurian block on the Opening Day, last Saturday, both in the pharmacy and the dry goods store.

Odell & Jurian's windows were dressed with flowers and draperies. One window contained pure white St. Joseph lilies with white draperies and the other window contained pink carnations and pink draperies. No goods were displayed in either window, a delicate touch of excellent taste and judgement that is as refreshing as it is rare in suburban towns...

Before the month ended, George Odell and his wife sold their half interest in the building to Andrew Jurian. The Odells moved to San Francisco and later to Burlingame where George worked as an auto mechanic. On January 26, 1914, Odell and Jurian dissolved their mercantile business and Jurian bought out Odell's share. Andrew Jurian changed the name of the dry goods store to A. Jurian & Co. but in April 1914, sold the business while retaining ownership of the building.



The intersection of Castro and Villa Streets ca. 1913. The Jurian Building is on the right. Lower-story signs show Odell & Jurian on the 194 storefront and E.T. Johnson's Drug Store on the 198 storefront. Courtesy of Mountain View Historical Association.

The 1921 Sanborn Fire Insurance Map (see page 15) shows that there was originally a large L-shaped storage building, roofed with wooden shingles and featuring a terra cotta chimney, on the lot behind the building on what is to-day Wild Cherry Lane. The storage building opened onto Villa Street with an open covered entrance extending over the street. The storage building appeared to have been used commercially for at least the first two years of its

Page 15 of 24

\*Resource Name or #: (Assigned by recorder) Jurian Building

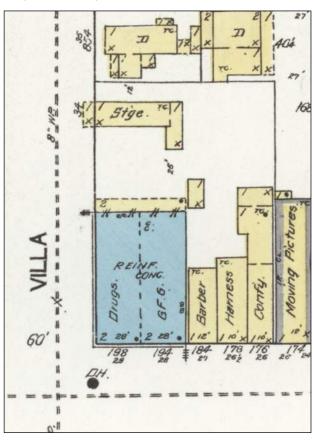
\*Recorded by Krista Van Laan \*Date May 1, 2023

□ Continuation

□ Update

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existence. Until May of 1914, when he moved to Sunnyvale, rugmaker Thomas H. Peebles advertised "first-class carpet and rug weaving done to order, and for sale," from the 'room back of Odell & Jurian Building on Villa Street.'"





The 1921 Sanborn map excerpt. There was a separate frame storage facility on the rear (western) edge of the lot. Sanborn Fire Insurance Map from Mountain View, Santa Clara County, California. Sanborn Map Company, Apr, 1921. Map. https://www.loc.gov/item/sanborn00706

The mercantile business at 194 Castro Street changed owners several times before 1917, when the Kennedy & Henderson dry goods store was established, two years later to be replaced by Paulding & Kimball Dry Goods. Paulding & Kimball moved in 1928 and was replaced by a dry goods store owned by F. Berman of San Francisco. The side at 198 Castro Street was a drug store, with various owners, from 1913 until 1960.

The Jurian family owned the building until approximately 1982. Over the years, the building has housed different stores and businesses, including State Market & Delicatessen from 1956 to 1968, a Jujitsu school in the 1960s, and an interior decorating business in the 1980s. In 1983, the upper floor was converted to office space in which a variety of companies do business. The lower floor has housed restaurants, currently the Agave Restaurant, which has been there since 2012.

 $\textbf{Page} \quad 16 \text{ of } 24$ 

\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023

□ Continuation

□ Update

(Continued from previous page)



Jurian building c. 1961, with the State Market and Delicatessen in the storefront addressed as 194 Castro. The covers on the upper story windows and the attached awning wrapping around the front and southern façade were removed in 1983 when the building was restored more closely to its original appearance. Courtesy of Mountain View Historical Association.



Jurian building ca. 1974. Courtesy of Mountain View Historical Association.

State of California – The Resources Agency
<b>DEPARTMENT OF PARKS AND RECREATION</b>
CONTINUATION SHEET

Page 17 of 24

\*Resource Name or #: (Assigned by recorder) Jurian Building

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\*Recorded by Krista Van Laan

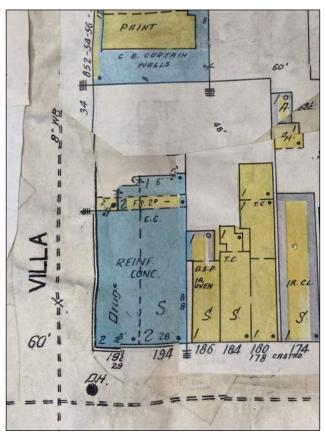
\*Date May 1, 2023

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From 1913 through the 1940s, the hall on the upper story held many events important to the city of Mountain View, including concerts, dances, visiting lecturers, and parties and ceremonies hosted by social and civic organizations such as churches, the high school graduating classes, Woman's Club, Boy Scouts, Navy Club, American Legion, the Moffett Field Noncommissioned Officers Club, the Townsend Club, the Jugoslav-Adriatic Club, Ladies Aid, and Native Daughters. The hall was used by the Fraternal Order of the Eagles between 1945 and 1961.

Between 1921 and 1943, based on Sanborn maps updated those years, the freestanding rear storage building was removed and a one-story addition was constructed on the rear of the building. By 1950, a garage was added to the lot. The garage was removed around the time Wild Cherry Lane was created. This is believed to be ca. 1960 according to *Downtown Mountain View Precise Plan Areas A-J Historic Resources Survey*, August 5, 2003.





Sanborn map excerpt, updated in 1943. By 1943, the freestanding rear storage building had been demolished and an addition, still in place today, had been constructed on the rear of the building. Courtesy of the Mountain View Historical Association.

Page 18 of 24

\*Resource Name or #: (Assigned by recorder) Jurian Building

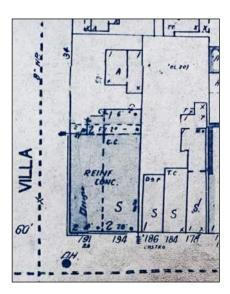
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\*Date May 1, 2023

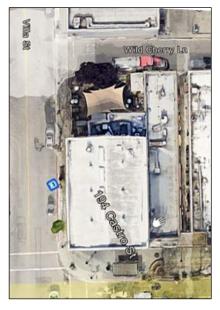
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Sanborn map excerpt (inverted from a negative print), updated ca. 1950. A large garage stands on the northwestern part of the lot.

Courtesy of Mountain View Historical Association.



Google earth aerial view shows the 1943 addition at the building rear.

In 1983, the building was restored; the signature concrete moldings were cleaned and painted and the windows, which had been boarded up, were replaced. The building's owner had the date "1913" painted on the quatrefoils centered on the high parapet. Its upper floor, no longer used as an events hall, was converted into office space and a new entry to the upstairs was installed on the Castro Street side between the two storefront doors. Further renovations and maintenance were made starting around 2000 by the current owner, Chee-Yee Chong and Hanson America LLC.

State of California – The Resources Agency
<b>DEPARTMENT OF PARKS AND RECREATION</b>
CONTINUATION SHEET

□ Update

Page 19 of 24	1
*Recorded by	Krista Van Laan

\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Date May 1, 2023 ⊠ Continuation

(Continued from previous page)

Today the building remains a recognizable landmark structure in downtown Mountain View, its original Mission Revival-style features and ornamentation intact.

#### **Architect Frank Delos Wolfe**

Frank Wolfe (1862-1926) was one of San José's most prolific and best-known architects. Son of a carpenter, Wolfe was born and raised in Ohio. In 1886, he married Nellie Crockett and the couple moved to Newton, Kansas where Wolfe learned the architectural trade and son Carl was born. In 1888, the entire Wolfe family moved to San José, where Wolfe established himself as a builder and then an architect, and his father and brother worked as contractors. In 1899, Wolfe partnered with young architect Charles McKenzie in a very successful business that lasted eleven years. He then worked alone until 1917, when he established a partnership with William Higgins. Carl Wolfe joined the business and became a partner in 1926 upon the senior Wolfe's death, helping to produce some of the firm's best-known works. The Wolfe architectural legacy lasted forty-three years, with Frank Wolfe and his son Carl responsible for more than 1,100 works, including eight that are today on the National Register of Historic Places and dozens that are San José City Landmarks.

Frank Wolfe, both alone and with partners Charles McKenzie and William Higgins, designed a number of important buildings in Mountain View, including the 1902 high school, the Farmers' and Merchants' Bank at 201 Castro Street, the 1906 post office, and the 1910 home for Crisanto Castro as well as homes for many of the city's most prominent citizens.

#### **Owner History**

The Jurian family owned the building until approximately 1982.

Max Woo: ca. 1983-1993 Ron Pritchard: 1994-1998

1999-present: Hanson America LLC

#### **Survey Status**

The Jurian Building is on the Mountain View Register of Historic Places.

The property was recorded in *Downtown Mountain View Precise Plan Areas A-J Historic Resources Survey* prepared by Carey & Co. Inc. Architecture April 5, 2003.

The California Office of Historic Preservations recommends that local surveys be updated after five years to "ensure that local planning and preservation decisions are based on the most current information available." This DPR form incorporates additional information concerning the Jurian Building that has been discovered since the 2003 survey.

#### **Alterations**

The building has been well-maintained with respect to its historical eastern and southern façades. The rear (western) façade has undergone many changes since original construction. Despite modifications to the building's exterior, it retains its form, materials, and characteristic features on the eastern and southern facades and retains its eligibility as a historical resource.

Exterior alterations since the building was completed in 1913 are as follows:

#### 1917:

The March 2, 1917 issue of the *Mountain View Register-Leader* indicates that a storm knocked out a big plate glass window on the Villa Street side. The window was filled in with solid wall.

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# State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI # Trinomial

Page 20 of 24	
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\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023

□ Continuation

□ Update

(Continued from previous page)

#### Ca 1943:

- A single-story frame storage building with a wooden shingle roof on the rear property line was demolished.
- A frame structure with wooden shingle roof on the northwest corner of the Jurian Building was removed.
- A two-story open frame addition with composite roofing was originally on the rear of the building. A single-story concrete L-shaped addition, most of which is retained today, was built onto the rear by 1943. Over the years, new doors and windows have been installed in the walls of the addition.
- Fenestration has been greatly modified on the rear (western) façade. The Sanborn map on page 15 shows that this side of the Jurian Building originally contained four window openings on the first and second story. All windows on this side have been filled and/or modified on the upper story and are modified or obscured due to the lower-story extension. The upper story today contains two small fixed-pane openings and a narrow horizontal slider above a fixed pane, all of which are post-1921 modifications.

#### Ca. 1983:

- The original and only entrance to the upstairs events hall was on Villa Street. An entrance (now used as the primary entrance) was created on the Castro Street side between the two storefronts.
- The 1913 date was added to the quatrefoil frame on the parapets on the eastern and southern sides.
- Redwood board and batten enclosure for trash built into the northwest corner of the lot on the northern property line.
- Redwood board and batten enclosures for gas meters on western façade.
- Altered doors flanking narrow window on the western end of the Villa Street façade.

#### Ca. 2000-2003:

- Photographs show that the original upper-story windows were 1/1 sash wood-framed windows. At some time between 1937-1961, the upper-story windows were covered with metal grates. The windows and glass were replaced in 1983 and again in 2000. Today they consist of aluminum-framed slider windows with simulated divided lights.
- The storefront windows had originally reached nearly the full height of the first story. Today, the windows start approximately two feet above the sidewalk level and the wall below is covered with tile.
- Crenelated stucco fence with decorative metal railing and corner double gate surrounding the perimeter of the property.
- Original panels of prism glass above the storefront windows replaced with divided fixed panes of solid glass.

As well, a number of signs have been added to or removed from the building in the years since the building has housed various restaurants. The Agave Restaurant is currently leasing the first floor of the building; its installed signs are documented in permits granted in 2012 and 2014.

In addition to the exterior changes, the interior of the building has undergone major renovation by converting the second-story events hall to office space.

State of California – The Resources Agency
<b>DEPARTMENT OF PARKS AND RECREATION</b>
CONTINUATION SHEET

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\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Date May 1, 2023 ⊠ Continuation

(Continued from previous page)

#### **Significance**

Page 21 of 24

The subject property retains its significance as a Mountain View historic resource, meeting the following criteria for the Mountain View Register of Historic Resources per SEC 36.54.65 in Division 15, Mountain View's Designation and Preservation of Historic Resources.

Criterion a: Is strongly identified with a person who, or an organization which, significantly contributed to the culture, history, or development of the City of Mountain View;

The building is associated with the Jurian family, who were influential in the agriculture and retail development of Mountain View in the early twentieth century. Andrew Jurian also was an important supporter and organizer of those of Yugoslavian descent.

#### Criterion b: Is the site of a significant historic event in the city's past:

The Jurian Building has a significant place in the history of the development of the city of Mountain View's downtown and its commercial development. The building stands at the intersection of Castro and Villa Streets on a lot once called the most valuable business block in Mountain View in an intersection in which its neighboring corner buildings are noted for their significance to Mountain View's business development—the Farmers' and Merchants Bank (1905), the Mockbee Building (1906), and the First National Bank (1913). The Jurian Building was the first major commercial building to be constructed after Mountain View went dry, replacing one of the city's newly banned saloons and being hailed as an example of how the local prohibition did not halt business development. For many decades, the events hall on the second floor of the Jurian Building was the main gathering place for the city and the site of important events for local organizations.

Criterion c: Embodies distinctive characteristics significant to the city in terms of a type, period, region or method of construction or representative of the work of a master or possession of high artistic value;

The building possesses architectural distinction as an example of Mission Revival style as applied to early twentieth-century commercial buildings, with Mission Revival features including a high central curvilinear parapet and square capped corners. It was built of reinforced concrete with distinctive unique ornamentation made of cast concrete.

The Jurian Building was designed by San José master architect Frank Delos Wolfe. Wolfe was responsible for important buildings in Mountain View and across Northern California, eight of which are today on the National Register of Historic Places.

#### California Register of Historical Resources Eligibility

Properties in the City of Mountain View are also evaluated for significance at the state level under the criteria of the California Register of Historical Resources. The significance criteria are similar to those used by the National Register of Historic Places, but oriented to document the unique history of California. The California Register is a guide used by state and local agencies, private groups and citizens to identify historical resources in the state, and is also used as a planning tool within the California Environmental Quality Act to help indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change within government regulatory programs. [Public Resources Code Section 5024.1]

Under CEQA, a, "historical resource" includes, but is not limited to, any object, building, structure, site, area, place, record or manuscript, which is historical or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, education, social, political, military, or cultural annals of California." [Public Resources Code Section 5020.1(j)] The types of historical resources eligible for listing in the California

State of California – The Resources Agency
<b>DEPARTMENT OF PARKS AND RECREATION</b>
CONTINUATION SHEET

Page	22 of 24		
*Pacai	rdad by	Wrigto	V <sub>0</sub>

\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan \*Date May 1, 2023 ☐ Continuation ☐ Update

(Continued from previous page)

Register include buildings, sites, structures, objects, and historical districts. [California Code of Regulations Section 48542(a)]

The types of resources and the criteria for listing in the California Register are consistent with those developed by the National Park Service for listing historical resources in the National Register, but have been modified for state use in order to include a range of historical resources which better reflect the history of California. Under California Code of Regulation Section 4852(b) and Public Resources Code Section 5024.1, a historical resource generally must be greater than 50 years old and must be significant at the local, state, or national level under one or more of the following four criteria:

- 1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- 2. It is associated with the lives of persons important to local, California, or national history.
- 3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or important creative individual, or possesses high artistic values.
- 4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

California Code of Regulations Section 4852(c) addresses the issue of "integrity" which is necessary for eligibility for the California Register. Integrity is defined as "the authenticity of an historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance." Section 4852(c) provides that historical resources eligible for listing in the California Register must meet one of the criteria for significance defined by 4852(b)(1 through 4), and retain enough of their historic character of appearance to be recognizable as historical resources and to convey the reasons for their significance. Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association. It must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance.

The subject property appears to be eligible for the California Register, by meeting the following criteria:

**Criterion 1.** The subject property is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States, in terms of its significant place in the history of the development of the city of Mountain View's downtown and its commercial development.

Criterion 2. The subject property is associated with Andrew Jurian, who was important to Mountain View history.

**Criterion 3.** The subject property embodies the distinctive characteristics of a type, period, and region with its unique interpretation of Mission Revival architecture and reinforced concrete construction. The building is the work of Frank Delos Wolfe, a local master architect.

#### **National Register Eligibility**

The subject property has not been evaluated for National Register eligibility because it is not undergoing a Section 106 review. Section 106 of the National Historic Preservation Act of 1966 (NHPA) requires federal agencies to consider the effects on historic properties of projects they carry out, assist, fund, permit, license, or approve throughout the country. If a federal or federally assisted project has the potential to affect historic properties, a Section 106 review will take place.

State of California – The Resources Agency
<b>DEPARTMENT OF PARKS AND RECREATION</b>
CONTINUATION SHEET

Page	23	of 24
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\*Resource Name or #: (Assigned by recorder) Jurian Building

\*Recorded by Krista Van Laan

\*Date May 1, 2023

□ Continuation

□ Update

(Continued from previous page)

#### References

(Continued from page 10)

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Smith, P. Milton, "The Story of Mountain View," Mountain View Register-Leader, January 24, 1913, 2.

Various references from newspapers searched 1912-1983: Mountain View Register-Leader San Jose Herald, San Jose Mercury Daily and Evening News.

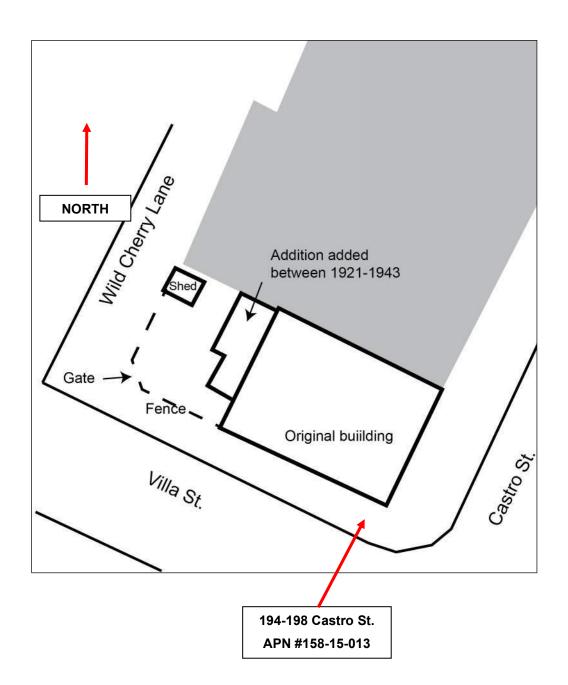
Wykes, S.L. "Mountain View's Granddaddies," San Jose Mercury News, November 9, 1983, 1C.

DPR 523L \* Required information

State of California – The Resources Agency Primary #
DEPARTMENT OF PARKS AND RECREATION HRI #
SKETCH MAP Trinomial

□ Update

Page24 of 24\*Resource Name or #: (Assigned by recorder)Jurian Building\*Recorded byKrista Van Laan\*DateMay 1, 2023☑ Continuation



DPR 523K \* Required information

# 194-198 CASTRO STREET HISTORIC JURIAN BUILDING

## ADDITION & HISTORIC REHABILITATION

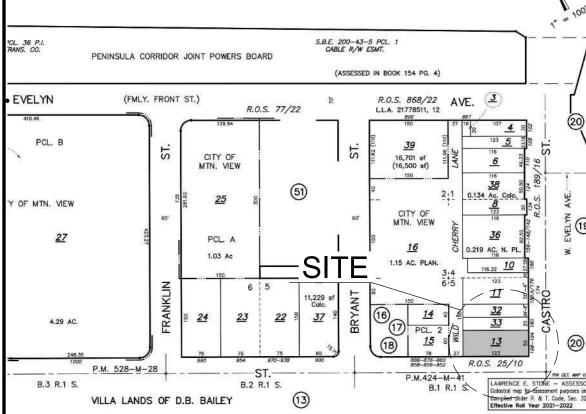


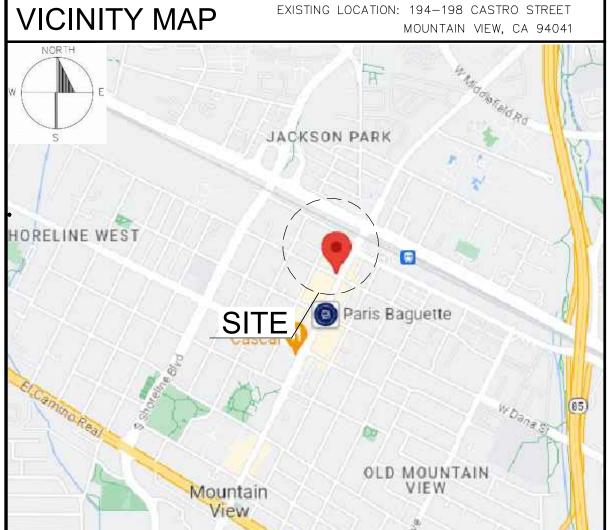


PROPOSED REAR ADDITION- HISTORIC JURIAN BLDG

PROPOSED REAR ADDITION- HISTORIC JURIAN BLDG.

# ASSESSOR'S MAP 158 | 15 ENTRAL **EXPRESSWAY**





## SITE TENANT INFORMATION

TYPICAL BUSINESS HRS: BUSINESS TYPE, STORY RETAIL, IST FLR. HRS: MON.-SUN. IOAM-IOPM BUSINESS OFFICE, 2ND/3RD FLRS HRS: MON-FRI 8AM-6PM

GENERAL PROJECT DESCRIPTION

- THIS PROPOSED BUILDING IS A 3-STORY COMMERCIAL RETAIL/OFFICE WITH A THIRD FLOOR OFFICE WITH ROOF DECK. THE ROOF DECK WILL ONLY BE OCCUPIED DURING NORMAL BUSINESS HOURS (8AM-6PM) AND WILL NOT INCLUDE ANY AMPLIFIED NOISE OR MUSIC
- FOR BUILDING CODE PURPOSES THE EXISTING AND NEW BUILDING IS CONSIDERED A 3-STORY BUILDING-CONSTRUCTION TYPE II-B.

## **GENERAL PROJECT DATA**

LLOWABLE # OF STORIES: STORIES PROPOSED LLOWABLE HEIGHT TOTAL BUILDING HEIGHT SPRINKLER SYSTEM ALLOWABLE AREA

55' HT. 37'-2"± HT.

SEC. 503 \$ 504.2 FOR A-2 (SM) 28,500 S.F. TABLE 506.2 FOR B (SM) 69,000 S.F.

TABLE 504.4

SEC 503.1.4

TABLE 504.3

FOTAL BUILDING ALLOWABLE AREA = 3 x 28,500 S.F. = 85,500 S.F. TOTAL BUILDING AREA = ,5,675 + 5,675 + 2,195 = 13,543 S.F. PER CBC 503.1 FEMA FLOOD ZONE: ZONE X (AREA W/ REDUCED RISK DUE TO LEVEE)

REFER TO SHT. A0.5.0 FOR ADDITIONAL PROJECT DATA

## **PROJECT TEAM**

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LANDSCAPE ARCHITECT KAREN AITKEN & ASSOC. 8262 RANCHO REAL GILROY, CA 95020

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HISTORIC ARCHITECT 408.705.3148 jtfrolli@gmail.com

OFC: 408.806.7187

EM: info@lcenqineerinq.net

CIVIL ENGINEERING LE ENGINEERING 598 E. SANTA CLARA ST., #270 SAN JOSE, CA 95112 H.W. CHUI

ARCHITECTURAL HISTORIAN ARCHIVES & ARCHITECTURE, LLC P.O. BOX1332 SAN JOSE CA 95109 KRISTA VAN LAAN

<u>ARBORIST</u> ALPINE LANDSCAPES 8787 MONTEREY HWY GILROY, CA 95020

PH: 408.476.2060

EM: kvl@kvanlaan.com

SCOTT MONCRIEFF PH: 408.846.9511 EM: smoncrieff@youralpine.com

TRANSPORTATION CONSULTANT HEXAGON TRANSP. CONSULT., INC. 100 CENTURY COURT, SUITE 501 SAN JOSE, CA 95112

PH: 408.971.6100 WEBSITE: www.hextrans.com

## PROJECT NARRATIVE

THE HISTORIC 1913 JURIAN BUILDING, AT 194-198 CASTRO STREET, IS LISTED AS A MOUNTAIN VIEW HISTORIC RESOURCE, AND IS LOCATED WITHIN THE HISTORIC DOWNTOWN DISTRICT (AREA H) OF THE CITY OF MOUNTAIN VIEW DOWNTOWN ARCHITECT FRANK DELOS WOLFE. THE BUILDING'S PRIMARY FACADES THAT FACE CASTRO AND VILLA STREETS, ON THE EAST AND SOUTH, RETAIN THEIR ORIGINAL FENESTRATION OPENINGS, DECORATIVE TRIM, MOLDING, PARAPET COPING. THE EXISTING BUILDING HAS PEBBLE-DASHED STUCCO TEXTURE APPLIED TO THE EXTERIOR WALLS.

THE LOWER FLOOR OF THE BUILDING HAS SERVED PRIMARILY AS RETAIL AND SERVICE SPACES, WITH THE SECOND FLOOR MODIFIED FROM ITS ORIGINAL USE AS A MEETING HALL AND DANCE FLOOR INTO CURRENT OFFICE SPACES. THE BUILDING'S EXTERIOR HAS ALSO BEEN MODIFIED OVER THE YEARS. A SOUTH FACING STOREFRONT OPENING WAS REMOVED AND WALLED-IN AFTER THE WINDOW WAS DAMAGED IN A 1917 STORM. A ONE-STORY ADDITION WITH MODIFICATIONS TO THE REAR WEST FACING FACADE WERE CONSTRUCTED IN 1943. MORE CURRENTLY A CONCRETE BLOCK TRASH ENCLOSURE AND PATIO WALLS SURROUNDING THE OUTDOOR DINING PATIO WERE BUILT TO THE REAR OF THE BUILDING FOR RESTAURANT USE.

THE PROPOSED PROJECT INCLUDES COMMERCIAL TENANT IMPROVEMENTS & A REAR ADDITION, REMOVING THE EXISTING OUTDOOR DINING PATIO. THE PROPOSED NEW STEEL-FRAMED 3-STORY ADDITION IS DESIGNED TO BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE ORIGINAL 1913 JURIAN BUILDING AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILIATION OF HISTORIC RESOURCES. THIS WILL BE ACHEIVED IN PART BY KEEPING SIMILAR PROPORTIONS IN MASSING AND OPENINGS, AS WELL AS FEATURING ARCHITECTURAL COMPONENTS THAT ECHO THOSE OF THE HISTORIC BUILDING.

CHARACTERISTICS OF THE NEW BUILDING ARE DESIGNED TO BALANCE ITS COMPATIBILITY YET PROVIDE DIFFERENTIATION TO THE HISTORIC JURIAN BUILDING, INCLUDING A VISUAL SEPARATION BETWEEN NEW AND OLD BY A WIDE VERTICAL PILASTER AT THE ADJOINING WALLS. THE PILASTER AND NEW WALL IS SLIGHTLY INSET FROM THE SURFACE OF ORIGINAL WALL TO HELP DELINEATE THE START OF THE NEW ADDITION. STOREFRONT WINDOWS, ALCOVES, AND UPPER STORY WINDOWS ARE PROPORTIONALLY SIZED TO COMPLEMENT THOSE OF THE HISTORIC JURIAN BUILDING WITHOUT MIMICKING THEM DIRECTLY OR OVERSHADOWING THEM BY THEIR OVERALL VISUAL IMPACT. WHILE DEPARTING FROM THE ORIGINAL WOOD WINDOW MATERIALS, COMPATIBILITY WILL BE ACHIEVED THROUGH FENESTRATION MASSING AND RHYTHM, WHILE MAINTAINING A DESIGN THAT WILL BE SUBORDINATE TO THE HISTORIC BUILDING, AS THE STANDARDS GUIDELINES RECOMMEND.

WALLS OF THE NEW ADDITION WILL BE CLAD WITH A SMOOTH STUCCO FINISH OVER ITS PRIMARY WALLS, WITH SOME PEBBLE-DASH FINISH SIMILAR TO THE HISTORIC BUILDING; THIS ROUGH SURFACE WILL BE ISOLATED TO THE AREA BETWEEN TWO HORIZONTAL BANDS AT THE SECOND STORY WINDOWS. THE THIRD STORY EXTERIOR WALLS WILL BE CLAD IN BEADED T&G HORIZONTAL CLADDING TO RESEMBLE THE APPEARANCE OF THE ORIGINAL BOARD-FORMED CONCRETE SURFACE AT THE EXISTING PARAPET WALLS. THE WEST FACING PARAPET COPING AND MEDALLION TRIM WILL BE RETAINED AT THE ROOF DECK LEVEL AND TEXTURE OF THIS BOARD FORMED WALL WILL BE LEFT EXPOSED ON THE INTERIOR OF THE THIRD FLOOR SPACE TO PAY HOMAGE TO THE ORIGINAL STRUCTURE. AT STREET-LEVEL, THE WALLS BELOW THE STOREFRONT WINDOWS AND ENTRY ALCOVE WILL BE CLAD WITH SQUARE TILE SIMILAR TO THE EXISTING STOREFRONT FACING CASTRO STREET. THE HISTORIC JURIAN BUILDING WILL RECEIVE REPAIRS AS REQUIRED WITH IN-KIND REPLICA MATERALS TO PRESERVE AND ENHANCE ITS ORIGINAL CHARACTER-DEFINING FEATURES. MORE EXTENSIVE PRESERVATION TREATMENTS ARE BEING PROPOSED TO TAKE PLACE IN PHASE 2 OF THE PROJECT UNDER A SEPARATE PERMIT ..

THE GOAL OF THIS PROJECT IS TO MEET OR EXCEED THE CITY OF MOUNTAIN VIEW DOWNTOWN PRECISE PLAN'S DESIGN GUIDELINES, HISTORIC PERMITTING CONDITIONS OF APPROVAL, AND PRESERVING THE EXISTING STRUCTURE IN DOING SO IT IS OUR HOPE THAT THE JURIAN BUILDING AND NEW ADDITION WILL REMAIN A LASTING LEGACY BUILDING AND ASSET TO THE HISTORIC DOWNTOWN DISTRICT.

## SHEET INDEX

ARCHITECTURAL DRAWINGS: TITLE SHEET & PROJ. INFO CONCEPTUAL SITE PLAN, RENDERINGS, & EXISTING CONDITIONS PHOTOS

STREETSCAPE ELEVATIONS SHADOW STUDY AO.4 SITE CIRCULATION & CONSTR. LOGISTICS PLAN

EGRESS, ACCESSIBLE ROUTES, & ADA INFO. AO.4.1 A0.5.0 PROJECT DATA & ZONING CALCS CITY OF MTN VIEW GREEN BLDG. CHECKLIST

AO.5.2 CALGREEN BLDG STDS, WATER CONSERV., \$ HERS REQ'S PROJECT SITE PLANS: EXISTING/DEMO AND PROPOSED A2.0 (E) & DEMO PLANS

(E) & DEMO ELEVATIONS PROPOSED IST FLOOR PLAN A3.1 PROPOSED 2ND FLOOR PLAN PROPOSED 3ND FLOOR PLAN

A3.3 ROOF PLAN A4.0 PROPOSED ELEVATIONS- FRONT & SOUTH SIDE (VILLA PROPOSED ELEVATIONS- REAR (WILD CHERRY LANE) \$

(N) SHTS.

NORTH SIDE EXTERIOR FINISHES & MATERIALS A4.3 EXTERIOR LIGHTING MFR. SPEC SHEETS

A5.0 BUILDING SECTIONS A6.0 ARCH. DETAILS

 $\triangle$ (N) SHTS. SITE PHOTOMETRIC PLANS EI.O GROUND FLR. PHOTOMETRIC PLAN THIRD FLR. ROOF DECK PHOTOMETRIC PLAN

LANDSCAPE DRAWINGS: GROUND LEVEL LANDSCAPE PLAN

ROOF LANDSCAPE PLAN & DESIGN NOTES ROOF IRRIGATION PLAN & DESIGN NOTES IRRIGATION DETAILS & SCHEDULE WATER EFFICIENCY DES. CHECKLIST WATER BUDGET CALCULATIONS TREE CANOPY PLAN

CIVIL DRAWINGS

TOPOGRAPHIC SURVEY TITLE SHEET DEMOLITION PLAN SITE PLAN

GRADING & DRAINAGE PLAN C5 STREET IMPROVMENT PLAN EROSION CONTROL PLAN EROSION CONTROL DETAILS BLUEPRINT FOR A CLEAN BAY

## PROJECT INFORMATION

ADDRESS: 194-198 CASTRO STREET, MTN. VIEW, CA 94041 A.P.N.: 158-15-013 MTN. VIEW DOWNTOWN PRECISE PLAN DESIGNATION: HISTORIC RETAIL DISTRICT, AREA H

P(19) DOWNTOWN HIST./PRECISE PLAN (ORD. SEC 36.22)

BUILDING TYPE: II-B (W/SPRINK. & ALARM) OCCUPANCY: A-2, B

LOT SIZE: 6,150 SQ. FT. BUILDING AREA SUMMARY

<u>(Ref. to Sht. AO.5.0 AREA DATA)</u> 5,675 SQ. F TOTAL FIRST FLR COVERAGE (W/ (N) ADDT'N): BUILDING COVERAGE (ALLOWABLE = 100%): 4,124 SQ. FT EXISTING FIRST FLOOR (RESTAURANT) 3,504 SQ. FT EXISTING SECOND FLOOR (OFFICE) -620 SQ. F PROPOSED DEMO FIRST FLR (Rear Bldqs): NET EXISTING BLDG. AREA TO REMAIN: 7,008 SQ. FT

NEW FIRST FLR ADDTN (RETAIL) 2,128 SQ. F 2,234 SQ. F NEW SECOND FLR ADDTN: (OFFICE) 1,371 SQ. FT NEW THIRD FLR. (OPEN OFFICE SPACE) NEW THIRD FLR. OUTDR. ROOF DECK 889 SQ. FT TOTAL NEW AREA: 6,535 SQ. FT

EXISTING BLDG. AREA (TO REMAIN): 7,008 SQ. FT NEW ADDTN AREA 6,535 SQ. FT TOTAL PROPOSED NEW BLDG AREA: 13,543 SQ. FT. FAR: 7,109 / 6,150 (From Sht. A0.50): 1.15 FAR

2.75 FAR MAX FAR: 5,632 SQ. FT RESTAURANT/RETAIL, IST FLR. (A-2, M) 7,109 SQ. FT BUSINESS OFFICE 2ND & 3RD FLRS (B)

## CITY OF MOUNTAIN VIEW APPROVAL STAMP AREA

PLANNING #: BLDG. P.C.#:

ROOF DECK- 3RD FLR

889 SQ. FT. 194-198 CAS MOUNTAIN \ SAE/GTF/JTF 07/17/24 SCALE

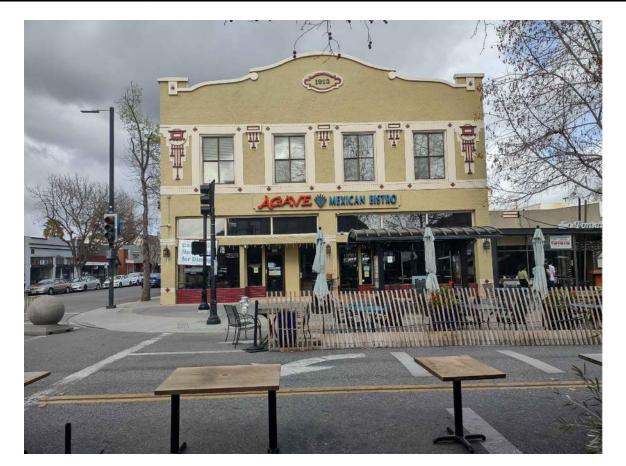
> AS NOTED PROJECT NO. 21.26

TITLE SHEET

SHEET NO.

A0.0

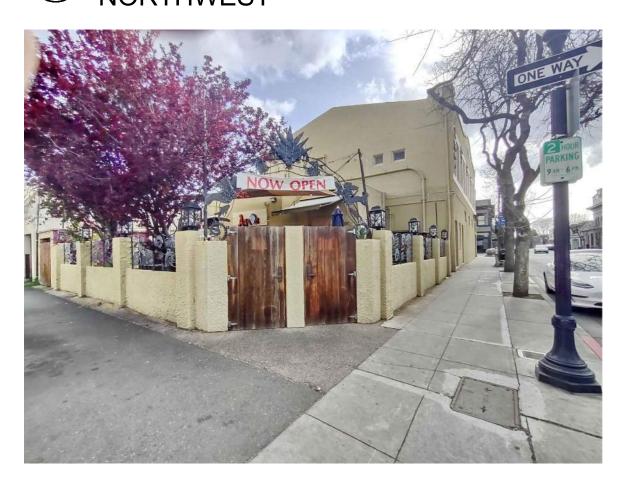
## PHOTOS- EXISTING CONDITIONS



1 PHOTO FROM CASTRO ST., LOOKING WEST



PHOTO FROM CASTRO ST., LOOKING NORTHWEST



3 PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST

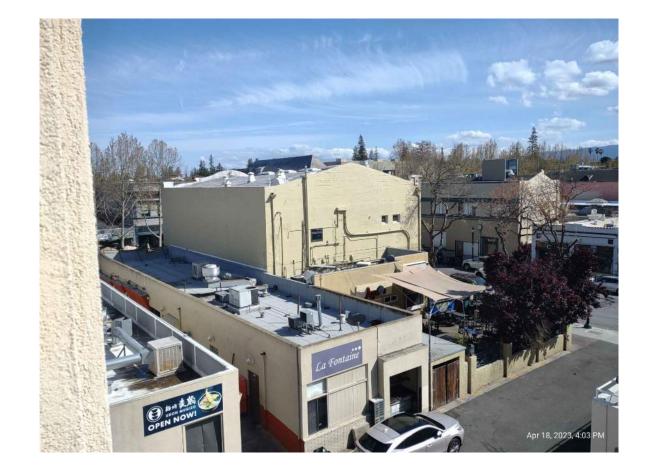
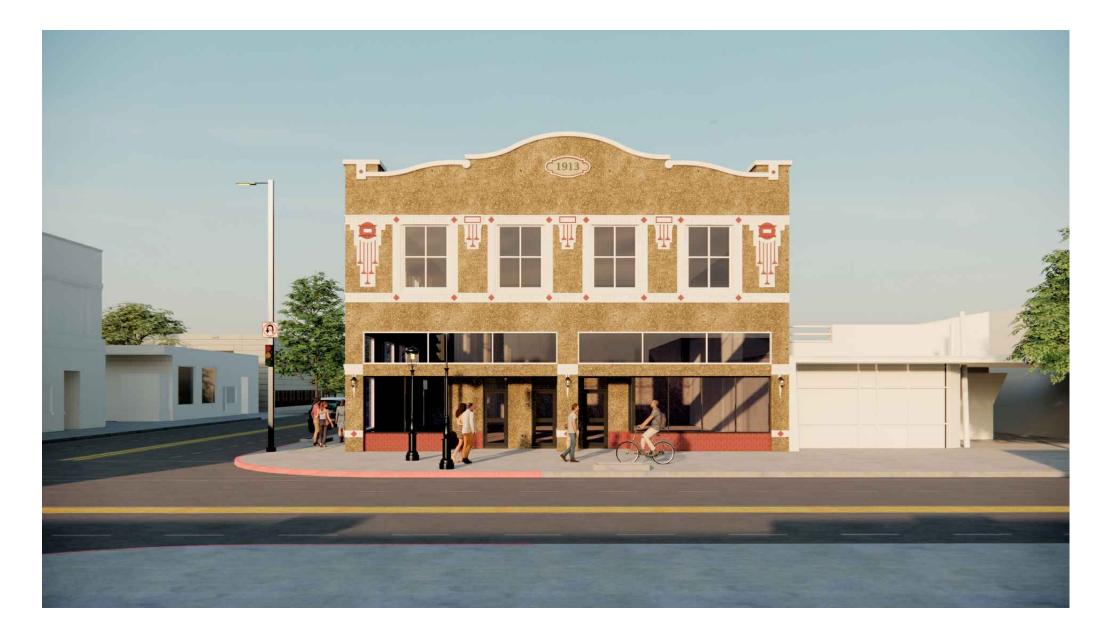


PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST



A HISTORIC JURIAN BUILDING
STREET LEVEL VIEW
FROM CASTRO STREET
(NEW ADDITION BEYOND)



## PROPOSED ELEVATIONS- RENDERINGS



THREE-QUARTER VIEW FROM CORNER OF CASTRO & VILLA STREETS



B VIEW FROM VILLA STREET LOOKING NORTHEAST



C VIEW OF REAR ELEV.: FROM ABOVE, AT WILD CHERRY LN. LOOKING SOUTHEAST

		ISSUE DATE
		11/21/22 PRELIM. PLANNING SUB 03/20/23 FORMAL PLAN'G SUBMT
	$\triangle$	06/20/23 FORMAL PLAN'G RESUB 09/01/23 FORMAL PC REVS
100		10/16/23 FORMAL PC REVS 2 11/20/23 DRC SUBMTL
		01/16/24 DRC RESP- ELEVS: OPTS 05/03/24 PLAN'G RESUBMTL SUBI 07/17/24 PLAN'G - MECH. WELL R
	2	or, medicine
		CONTRACTOR OF CALFORD
Y		





STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATIO
JOHN S. TABUENA-FROLLI, AIA
P.O.BOX 1127
SANJOSE, CA 95108

IEE-YEE CHONG,
ANSON AMERIC LLC)
PO BOX 4631
FAIN VIEW, CA, 94041

EHABILITATION

ST SITE:
(DBA

TRO STREET,
IEW, CA 94041

PROJECT SI 194-198 CASTRO ( MOUNTAIN VIEW,

DRAWN
SAE/GTF/JTF

DATE

07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

PROPOSED 3-D RENDERINGS & EXISTING COND. PHOTOS

SHEET NO.

A0.1

## STREETSCAPE ELEVATIONS



# FRONT (EAST) STREETSCAPE ELEVATION



## SIDE (SOUTH) STREETSCAPE ELEVATION



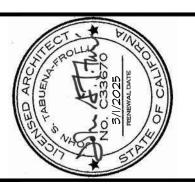
APPROVAL STAMP AREA

HISTORIC JURIAN BLDG ISSUE DATE 1/21/22 PRELIM. PLANNING SUBMT

03/20/23 FORMAL PLAN'G SUBMTL

09/01/23 FORMAL PC REVS 0/16/23 FORMAL PC REVS 2 01/16/24 DRC RESP- ELEVS: OPTS A &

7/17/24 PLAN'G - MECH. WELL REVS.





194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041

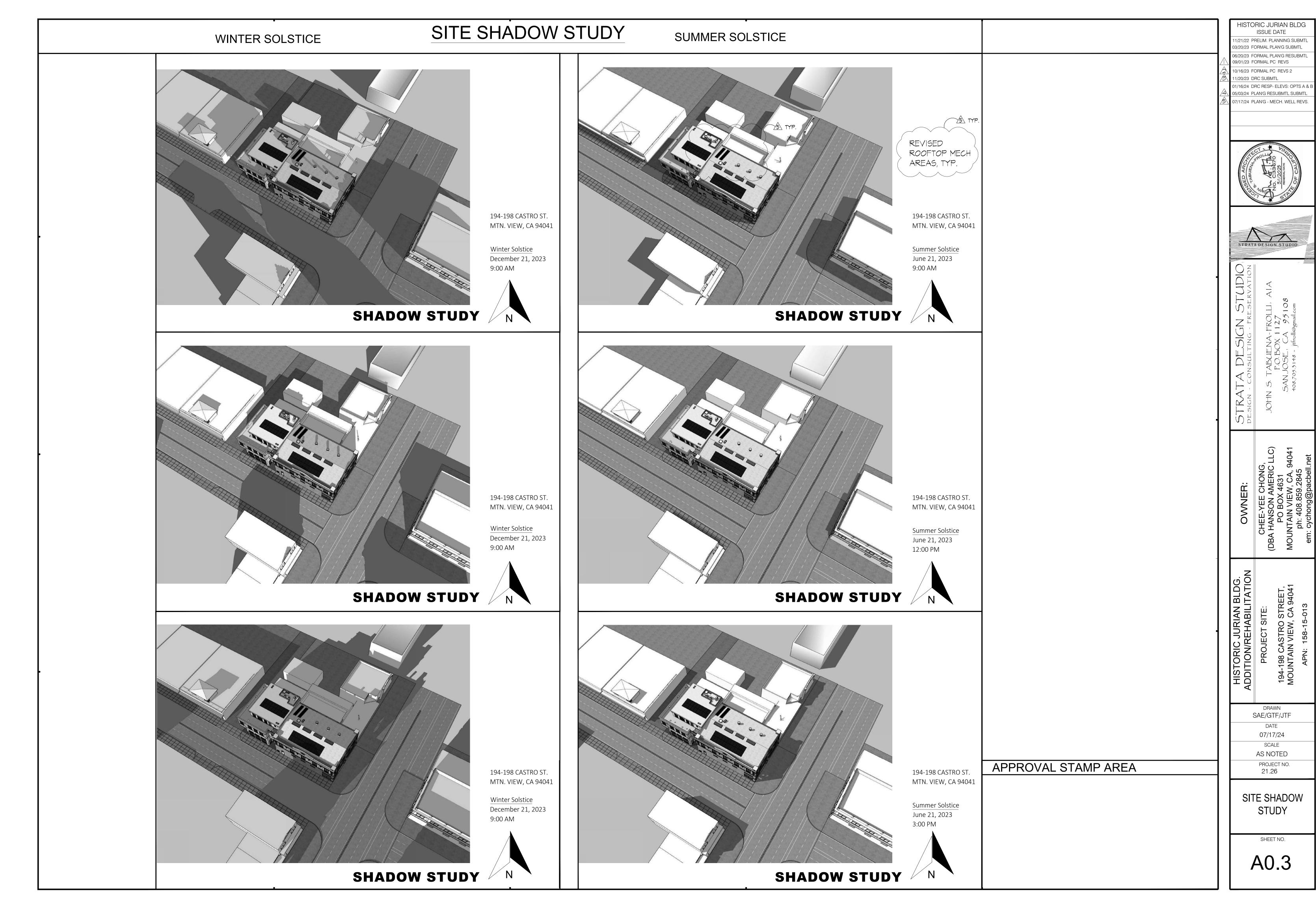
DRAWN SAE/GTF/JTF

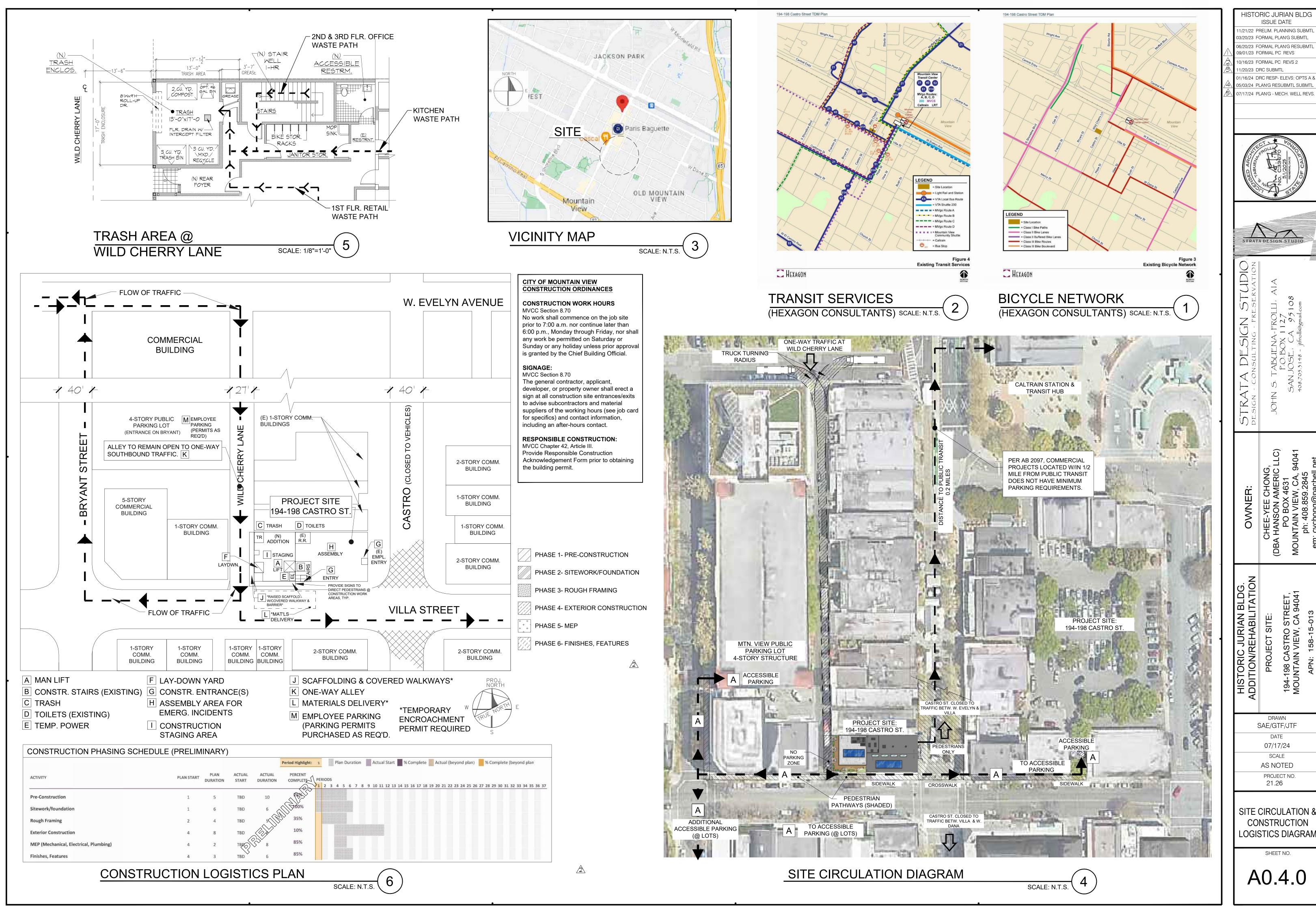
07/17/24 SCALE AS NOTED PROJECT NO. 21.26

STREETSCAPE **ELEVATIONS** 

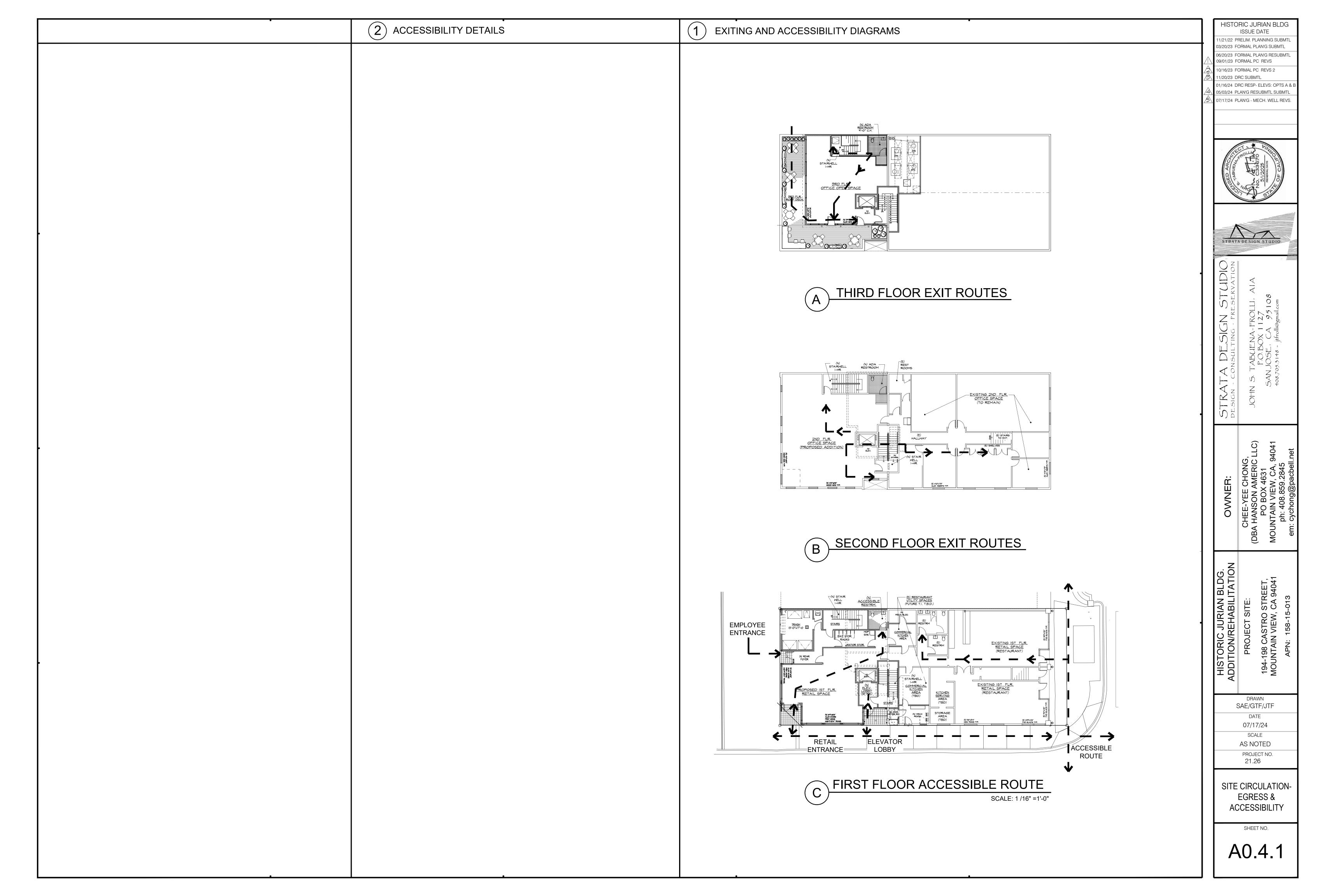
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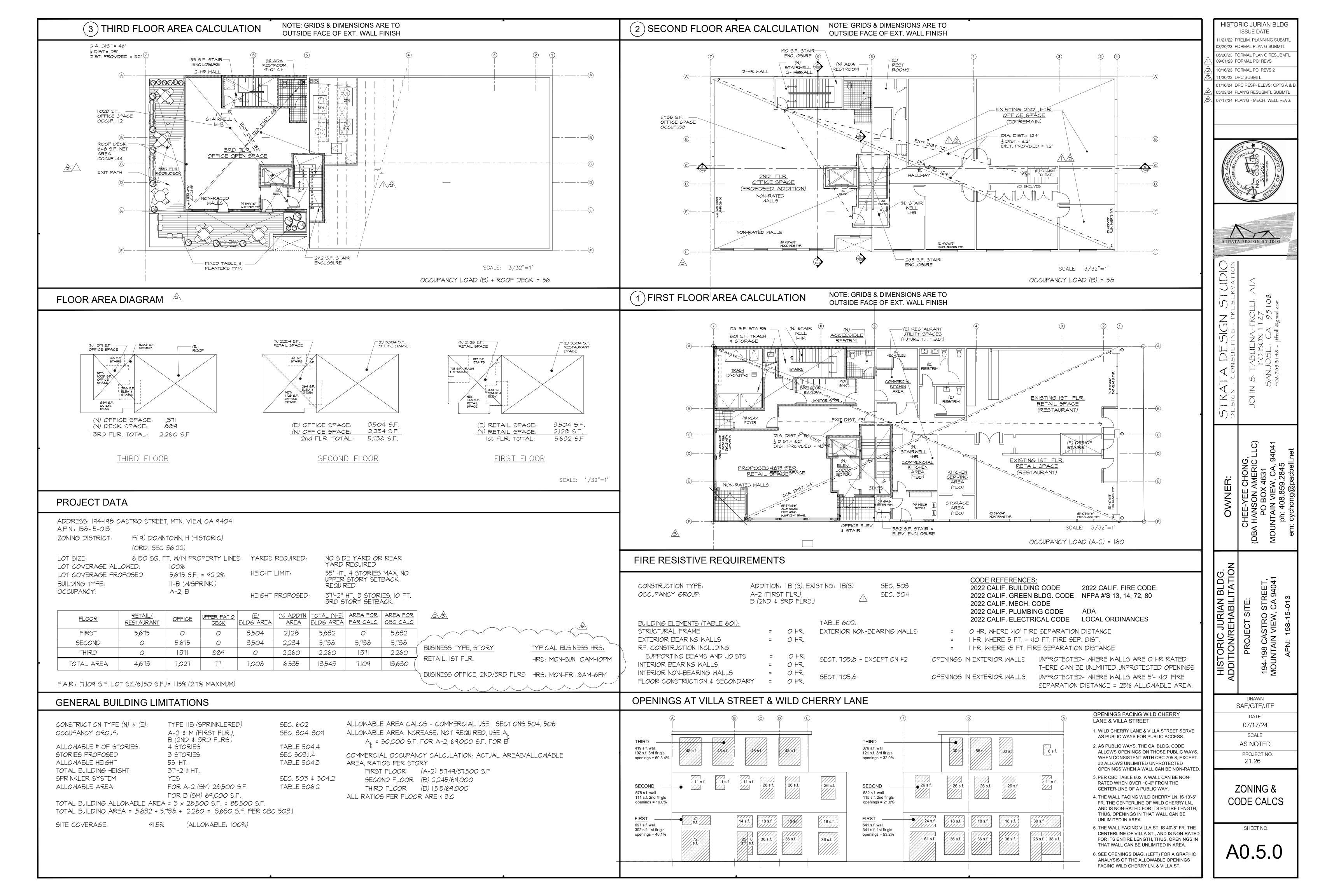
A0.2





06/20/23 FORMAL PLAN'G RESUBMT 9/01/23 FORMAL PC REVS 0/16/23 FORMAL PC REVS 2 1/20/23 DRC SUBMTL 1/16/24 DRC RESP- ELEVS: OPTS A & 17/24 PLAN'G - MECH. WELL REVS. STRATA DE SIGN STUD 12,7 VG, NC LLC) SAE/GTF/JTF DATE 07/17/24 SCALE AS NOTED PROJECT NO. 21.26 SITE CIRCULATION 8





			CGBSC Division 5.5 Section 5.506	ENVIRONMENTAL QUALITY (Indoor Air Quality):		
55	•	•	CGBSC Section 5.506.1	Outside air delivery. Mechanically or naturally ventilated spaces in buildings, shall meet the CEnerC requirements	Details/Notes on plans	Field Insp
56	•	•	CGBSC Section 5.506.2	Carbon dioxide (CO2) monitoring. For buildings or additions equipped with demand control ventilation, CO <sub>2</sub> sensors and ventilation control shall be specified and installed in accordance with the requirements of the CEnerC	Details/Notes on plans	Field Inspection
			CGBSC Division 5.5 Section 5.507	ENVIRONMENTAL QUALITY (Environmental Confort):		
57	•	•	CGBSC Section 5.507.4	Acoustical control employ building assemblies & components w/ sound trasmission class (STC) values determined with ASTM , etc.	Details/Notes on plans	Field Inspection
58	٠	•	CGBSC Section 5.507.4.1	Exterior noise transmission, prescriptive method. Walls & roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50, etc.	Details/Notes on plans	Field Inspection
59	•	•	CGBSC Section 5.507.4.2	Exterior noise transmission, performance method. Walls & roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level of 50 dBA in occupied areas during operation	Details/Notes on plans	Field Inspection
60	•	•	CGBSC Section 5.507.4.3	Interior sound transmission. Wall and floor ceilings assemblies separating tenant spaces and public places shall have an STC of at least 40	Details/Notes on plans:	Field Insp
			CGBSC Division 5.5 Section 5.508	ENVIRONMENTAL QUALITY (Outdoor Air Quality):		-
61	•	•	CGBSC Section 5.508.1	Ozone depletion and greenhouse gas reductions. Installation of HVAC, refrigeration and fire supression equipment shall comply w/ section 5.508.1.1 and 5.508.1.2	Details/Notes on plans	Field Inspection
61	•	•	CGBSC Section 5.508.2	Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions when installed in retail food stores with ≥ 8,000 square feet of conditioned area	Details/Notes on plans	Field Inspection

	[1]	Only within area of alteration
- 23	[2]	All non compliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures, only within the area of alteration
Se	[3]	See "SECTION TO BE COMPLETED AFTER CONSTRUCTION" below
Vote	200	Regulated by Other Mountain View City Code (MVCC)
ot /	[N]	New (2022 California Green Building Standards Code -CGBSC- & Mountain View City Code -MVCC- Green Code / Reach Codes - Adopted)
Fo	[R]	Revised (2022 Mountain View City Code -MVCC- Green Code / Reach Codes - Adopted)
~ ~		Not required
2.0	•	Mandatory requirements



	OWNER ACKNOWLEDGEMENT	COMMUNITY DEVELOPMENT DEPARTMENT
representative, acknowledge and understand the requi	een Building StandardsCode (T24, Part 11) and the Mountain View City Code (MVCC) Green Building Code Amendments. I, the property owner / legal rements and penalties for noncompliance. I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the subject to an energy or water performance review to assess compliance with the program after construction and during operation.	BUILDING DIVISION 500 Castro Street, P.O. Box 7540 Mountain View, CA 94039-7540 650-903-6313
Signature (Owner)	Date	www.mountainview.gov/building  Email: building@mountainview.gov
Print Full Name	Phone or Email	
	SECTION TO BE COMPLETED AFTER CONSTRUCTION	Weblinks:
In order to cohodule a final building increasing with		
At the final building inspection prepare to be submitted Per the California Energy Code & energy report Cutsheets or proof of installation of products of Provide Proof of Construction Waste Diversion I certify that: There have been no alterations that have imp	the following items: (Initial for each applicable item is required below) orts, provide the completed forms (Certificate of Installation & Certificate of Verification, etc.). and materials that meet the required VOC and formaldehyde limits on, contact Public Works at (650) 903-6311 eacted the energy report for the project, unless the new report is provided; the checklist have been implemented unless a new checklist is provided	Planning: www.mountainview.gov/planning Public Works: www.mountainview.gov/publicwork Building Code: Click here
At the final building inspection prepare to be submitted Per the California Energy Code & energy report Cutsheets or proof of installation of products of Provide Proof of Construction Waste Diversion I certify that: There have been no alterations that have imp	the following items: (Initial for each applicable item is required below) orts, provide the completed forms (Certificate of Installation & Certificate of Verification, etc.). and materials that meet the required VOC and formaldehyde limits on, contact Public Works at (650) 903-6311  pacted the energy report for the project, unless the new report is provided;	Public Works: www.mountainview.gov/publicwork

City of Mountain View Green Building Code 2022

Commercial

## CITY OF MOUNTAIN VIEW GREEN BUILDING CHECKLIST

## Commercial 2022 Mountain View Green Building Code (based on the 2022 California Green Building Standards Code & City Code)

Check Box	1	2	Non-Residential Alterations ≥ \$200,000 and/or Additions ≥ 1,000 s.f. [1, 2]  New Non-Residential Construction	Project Number: Permit Address:		Mount	Mountain View		
#	1	2	Non-Residential Code Sections	Measures	Plan requirements	Location	Verifica Responsible	tion [3]	
	*		Non-residential Code Geetions	micusures	r iair requirements	on Plans	Party	Constructio	
			Mountain View City Code (MVCC) Division III Sect. 8.20.11 & 8.20.14	MOUNTAN VIEW GREEN BUILDING CODE (Green Building Code - Adopted):					
1		•	MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall meet mandatory CalGreen and the Mountain View Amendments	Notes on plans	1	Field Insp		
2		•	MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall meet the intent of LEED Gold Certified	LEED doc. on plans	L	EED Proof		
3		•	MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall demonstrate energy compliance to meet or exceed Title 24, Part 6	Notes on plans		Field Insp		
4		•	MVCC 8.20.13 & Table 101.10	All new mixed-use projects must comply with Mountain View's green building requirements and meet the requirements applicable to each primary occupancy	LEED doc. and notes on plans	270	EED Proof/ Field Insp		
		***	MVCC Div. III Section 8.20.12- 8.20.14	WILDLIFE PROTECTION AND CONSERVATION (Green Building Code - Adopted):			*		
5		•	MVCC 8.20.11 - 8.20.13 & Table 101.10	Bird-safe glass shall be installed on the exterior of the structure where the structure is ≥ than 10,000 square feet or when required by the applicable precise plan	Details/Notes on plans	Fiel	ld Inspection		
2			CGBSC Div. 5.1 Section 5.106 & MVCC Division III Section 8.20	PLANNING AND DESIGN (Site Development CalGreen section):					
6		•	MVCC 8.20.36	Stormwater sediment and erosion control plan for newly constructed projects of less than 1 acre	Details/Notes on plans	1 1	Field Insp		
7	•	•	MVCC 8.20.37	Stormwater pollution prevention for projects that disturb 1 or more acres of land	Details/Notes on plans	1	Field Insp		
8	•	•	MVCC 8.20.38	Postconstruction stormwater control requirements [4]	Details/Notes on plans	E	Env Safety		
9	•	•	CGBSC Section 5.106.4.1.1	Short Term Bicycle parking if anticipated to generate visitor traffic	Details/Notes on plans	1	Field Insp		
10	•	•	CGBSC Section 5.106.4.1.2 - 5.106.4.1.5	Long Term Bicycle parking for new buildings ≥ 10 tenant-occupants, for additions or alterations ≥ 10 tenant vehicular parking spaces and for new shell buildings	Details/Notes on plans	Fiel	ld Inspection		
11	•	•	CGBSC Section 5.106.10	Grading and paving [4]	Details/Notes on plans	E	Env Safety		
12		•	MVCC 8.20.39	Designated Parking For Clean-Air Vehicles new projects, or additions or alterations that add ≥ 10 vehicular parking spaces for low-emitting, fuel-efficient and carpool / van pool vehicles shall comply with Table 5.106.5.2	Details/Notes on plans	Fiel	ld Inspection		
13		•	MVCC 8.20.12 - 8.20.14 & Table 101.10 & 8.20.40 - 8.20.44	Electric Vehicle (EV) Charging new construction shall meet the parking requirements per Table 101.10 and the requirements per Table A5.106.5.3.2	Details/Notes on plans	Fiel	ld Inspection		
14	٠		MVCC 8.20.43 (1 & 3)	Parking Addition in existing nonresidential buildings per occupancy when parking facilities are added, or electrical systems/lighting are added/altered and the work requires a building permit, 10% of the total number of parking spaces added or altered shall be EVCS with level 2 EV Ready [N]	Details/Notes on plans	Fiel	ld Inspection		
15		•	MVCC 8.20.12 - 8.20.13 & Table 101.10	Installation of photovoltaic (PV) on roof area to accommodate an all-electric building to 100% of annual kilowatt hour [R]	Details/Notes on plans		Field Insp		
16	•	•	CGBSC Section 5.106.8	Light pollution reduction outdoor lighting shall be design and installed to comply w/CGBSC & Table 5.106.8 [R]	Details/Notes on plans	ı	Field Insp		
			California Green Build. Standards Code (CGBSC) Div. 5.3 Sect. 5.303.1	WATER EFFICIENCY AND CONSERVATION (Indoor Water Use):					
17	•	•	CGBSC Section 5.303.1.1	Meters for new buildings or additions in excess of 50,000 square feet separate submeters shall be installed	Details/Notes on plans		Field Insp		
18	•	•	CGBSC Section 5.303.1.2	Meters excess comsumption separate submeter shall be provided for tenants consuming more than 1,000 gal/day	Details/Notes on plans	1	Field Insp		
19		•	CGBSC A5.303.5	Indoor water use, dual plumbing: all new commercial buildings or groups of new commercial buildings submitting for a building permit, where the total square footage of the building(s) is greater than 25,000 square feet, shall incorporate dual plumbing in the design of the building to allow the use of recycled water, when it becomes available, for flushing toilets [4] [N]	Details/Notes on plans	Pu	ublic Works		
			CGBSC Division 5.3 Section 5.303.3	WATER EFFICIENCY AND CONSERVATION (Water Conserving Plumbing Fixtures):	· ·	2 2000			
20	•	•	CGBSC Section 5.303.3.1	Water closets shall not exceed 1.28 gallons per flush	Notes on plans	1 1	Field Insp		
21	•	•	CGBSC Section 5.303.3.2.1	Wall mounted Urinals shall not exceed 0.125 gallons per flush	Notes on plans		Field Insp		
22	•	•	CGBSC Section 5.303.3.2.2	Floor mounted Urinals shall not exceed 0.5 gallons per flush	Notes on plans		Field Insp		
23	٠	•	CGBSC Section 5.303.3.3.1	Single showerhead shall have a maximum flow of 1.8 gpm at 80 psi	Notes on plans		Field Insp		
24	•	•	CGBSC Section 5.303.3.3.2	Multiple showerheads > than 1 shower shall have combined flow of 1.8 gpm at 80 psi or 1 operating at a time	Notes on plans	1	Field Insp		
25	•	•	CGBSC Section 5.303.3.4.1	Lavatory faucets shall have a maximum flow rate of not more than 0.5 gpm at 60 psi	Notes on plans		Field Insp		
26	•	•	CGBSC Section 5.303.3.4.2	Kitchen faucets shall have a maximum flow rate of not more than 1.8 gpm at 60 psi	Notes on plans		Field Insp		
27	•	•	CGBSC Section 5.303.4.1	Commercial Kitchen Equipment food waste disposers shall comply with Section 5.303.4.1	Notes on plans		Field Insp		

			Water Conservation in Landscaping Regulations & CGBSC	WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use):		
28	٠	•	Water Conservation in Landscaping Regulations (Chapter 2) by Planning	Project shall comply with the water conservation in landscaping regulations where the affected landscape area (new or rehabilitated) is ≥ 500 square feet [4]	Notes on plans	Self-certified
29	•	•	Water Efficient Design and Maintenance Checklist by Planning	Project shall comply with the water efficient and maintenance checklist [4]	Checklist form	Self-certified
30	•	•	Water Conservation in Landscaping Regulations (Chapter 10) by Planning	Water budget. When a water budget is prepared for a landscaping areas ≥ 2,500 square feet, it must be completed by a certified or authorized professional [4]	Notes on plans	Certification
31	•	•	CGBSC Section 5.304.1	Outdoor potable water use in landscape areas for nonresidential developments	Notes on plans	Field Insp
			CGBSC Division 5.4 Section 5.407	MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Water Resistance and Moisture Management):	10	*
32	•	•	CGBSC Section 5.407.1	Weather protection. Provide a weather-resistant exterior wall and foundation envelope	Details on plans	Field Insp
33	•	•	CGBSC Section 5.407.2	Moisture Control. Employ moisture control measures	Details on plans	Field Insp
			Construction and Demolition Waste & CGBSC Division 5.4 Section 5.408	MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling):		
34	٠	•	Construction and demolition waste tracking & diversion requirements form	Construction Waste Diversion 65% reduction [4]	Mountain View waste tracking form	Public Works
35	•	•	Construction and demolition waste tracking & diversion requirements form	Construction Waste Management Plan / Diversion is required when demolitions [4]	Mountain View waste tracking form	Public Works
36	•	•	CGBSC Section 5.408.3	Excavated soil and land clearing debris. 100% shall be reused or recycled [4]	MV waste tracking form	Public Works
- 11			CGBSC Division 5.4 Section 5.410	MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Building Maintenance and Operation):	7.	Alle And
37	•		CGBSC Section 5.410.1	Recycling by Occupants applies to new buildings and additions that increase ≥ 30% in floor area within 12 month period	Details/Notes on plans	Field Inspec
38		•	CGBSCSection 5.410.2 to 5.410.2.6	Commissioning for new buildings 10,000 square feet and over shall be included in design & construction process of the building project and comply with the commissioning requirements	Details/Notes on plans	Field Inspection
39	•	•	CGBSC Section 5.410.4 to 5.410.4.5.1	Testing and Adjusting shall be required for new buildings less than 10,000 square feet or new systems serving additions or alterations subjeto to section 303.1	Details/Notes on plans	Field Inspection
		100	MVCC Division III Section 8.20.11- 8.20.13	ENVIRONMENTAL QUALITY (No gas allowed, all electric installation):	•	
40		10. 22.Y	Nonresidential new construction projects MVGBC Section 8.20.11 - 8.20.12 & Table	Natural gas shall not be allowed. The following list of items shall be electric installation: Heat/cooling equipment, clothes dryers and fireplaces and/or fire pits	Details/Notes on plans	Field Inspection
+0		**	101.10	Cooking appliances shall be electric, see exception	Details/Notes on plans	Field Insp
			(A)	Water-heating systems and equipment shall be electric or solar	Details/Notes on plans	Field Insp
- 22				ENVIRONMENTAL QUALITY (Fireplaces):		
11	•	200	CGBSC Division 5.5 Section 5.503	Entrinormental Govern (Fraphaces).	20	
		•	MVCC 8.20.35	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA	Details/Notes on plans	Field Inspec
2	•	•		N CONTROL OF THE PROPERTY OF T	Details/Notes on plans  Details/Notes on plans	Field Inspec
2	•	76	MVCC 8.20.35 MVCC 8.25, 8.25.3 - 8.25.7 CGBSC Division 5.5 Section 5.504	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in	(2) (27) 14(12) (3)	100000000000000000000000000000000000000
	•	76	MVCC 8.20.35 MVCC 8.25, 8.25.3 - 8.25.7	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25	(2) (27) 14(12) (3)	100000000000000000000000000000000000000
43			MVCC 8.20.35 MVCC 8.25, 8.25.3 - 8.25.7 CGBSC Division 5.5 Section 5.504	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):	Details/Notes on plans	Field Inspection
43	•		MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)	Details/Notes on plans  Notes on plans	Field Inspection
43 44 45	•		MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.3	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table	Details/Notes on plans  Notes on plans  Notes on plans	Field Inspection  Field Insp Field Inspection
43 44 45 46	•		MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.3  CGBSC Section 5.504.4 & 5.504.4.1	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating &	Notes on plans  Notes on plans  Notes on plans  Notes on plans	Field Insp Field Inspection Field Inspection
43 44 45 46 47	•	•	MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.3  CGBSC Section 5.504.4 & 5.504.4.1  CGBSC Section 5.504.4 & 5.504.4.3	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification  Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive  Finish material pollulant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 & documentation	Notes on plans	Field Inspection  Field Inspection  Field Inspection  Field Inspection
43 44 45 46 47 48	•	•	MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.3  CGBSC Section 5.504.4 & 5.504.4.1  CGBSC Section 5.504.4.3 to 5.504.4.3.2  CGBSC Section 5.504.4.4	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification  Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive  Finish material pollutant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 &	Notes on plans	Field Inspection  Field Inspection  Field Inspection  Field Inspection  Field Inspection
43 44 45 46 47 48 49	•	•	MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.3  CGBSC Section 5.504.4 & 5.504.4.1  CGBSC Section 5.504.4.3 to 5.504.4.3.2  CGBSC Section 5.504.4.4  CGBSC Section 5.504.4.5	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification  Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive  Finish material pollulant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 & documentation	Notes on plans	Field Inspection  Field Inspection  Field Inspection  Field Inspection  Field Inspection  Field Insp
443 444 445 445 446 447 448 449 450 50	•	•	MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.3  CGBSC Section 5.504.4 & 5.504.4.1  CGBSC Section 5.504.4.3 to 5.504.4.3.2  CGBSC Section 5.504.4.4  CGBSC Section 5.504.4.5  CGBSC Section 5.504.4.6 & 5.504.4.6.1	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification  Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive  Finish material pollulant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 & documentation  Finish material pollulant control for resilient flooring systems shall comply with VOC emission limits (80%) & verification of compliance	Notes on plans	Field Inspection
43   44   45   46   47   48   49   50   51	•	•	MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.3  CGBSC Section 5.504.4 & 5.504.4.1  CGBSC Section 5.504.4.3 to 5.504.4.3.2  CGBSC Section 5.504.4.4  CGBSC Section 5.504.4.5  CGBSC Section 5.504.4.5  CGBSC Section 5.504.4.6 & 5.504.4.6.1  CGBSC Section 5.504.4.7 & 5.504.4.7.1	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification  Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive  Finish material pollulant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 & documentation  Finish material pollulant control for resilient flooring systems shall comply with VOC emission limits (80%) & verification of compliance  Finish material pollulant control for thermal insulation shall comply with VOC emissions & verification of compliance [N]  Finish material pollulant control for acoustical ceilings and wall panels shall comply with VOC emissions & verification of compliance [N]  Finish material pollulant control for filters. In mechanically ventilated buildings, provide air filtration for outside and return air per MERV of 13 limits & labeling [R]	Notes on plans	Field Inspection
43 44 45 46 47 48 49 550 551 552	•	•	MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.4  CGBSC Section 5.504.4 & 5.504.4.1  CGBSC Section 5.504.4.3 to 5.504.4.3.2  CGBSC Section 5.504.4.4  CGBSC Section 5.504.4.5  CGBSC Section 5.504.4.6 & 5.504.4.6.1  CGBSC Section 5.504.4.7 & 5.504.4.7.1  CGBSC Section 5.504.4.8 & 5.504.4.8.1	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA  All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification  Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive  Finish material pollulant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 & documentation  Finish material pollulant control for resilient flooring systems shall comply with VOC emission limits (80%) & verification of compliance  Finish material pollulant control for thermal insulation shall comply with VOC emissions & verification of compliance [N]  Finish material pollulant control for acoustical ceilings and wall panels shall comply with VOC emissions & verification of compliance [N]  Finish material pollulant control for filters. In mechanically ventilated buildings, provide air filtration for outside and return air per MERV of 13	Notes on plans	Field Inspection
42 43 44 45 46 47 48 49 50 51 52 53	•	•	MVCC 8.20.35  MVCC 8.25, 8.25.3 - 8.25.7  CGBSC Division 5.5 Section 5.504  CGBSC Section 5.504.1  CGBSC Section 5.504.4  CGBSC Section 5.504.4 & 5.504.4.1  CGBSC Section 5.504.4.3 to 5.504.4.3.2  CGBSC Section 5.504.4.4  CGBSC Section 5.504.4.5  CGBSC Section 5.504.4.6 & 5.504.4.6.1  CGBSC Section 5.504.4.7 & 5.504.4.7.1  CGBSC Section 5.504.4.8 & 5.504.4.8.1  CGBSC Section 5.504.5.3	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA All wood burning appliances installed in new commercial buildings or wood-burning appliances being added to or replacing in existing commercial buildings shall comply w/Section 8.25  ENVIRONMENTAL QUALITY (Pollulant Control):  Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8  Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable  Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)  Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3). Aerosols paint & coating & verification  Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive  Finish material pollulant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5 & documentation  Finish material pollulant control for resilient flooring systems shall comply with VOC emission limits (80%) & verification of compliance  Finish material pollulant control for thermal insulation shall comply with VOC emissions & verification of compliance [N]  Finish material pollulant control for acoustical ceilings and wall panels shall comply with VOC emissions & verification of compliance [N]  Finish material pollulant control for filters. In mechanically ventilated buildings, provide air filtration for outside and return air per MERV of 13 limits & labeling [R]  Environmental Tobacco Smoke (ETS) Control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building	Notes on plans  Notes on plans	Field Inspection  Field Inspection

APPROVAL STAMP AREA

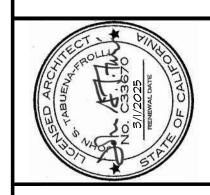
HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22 PRELIM. PLANNING SUBMTL
03/20/23 FORMAL PLAN'G SUBMTL

06/20/23 FORMAL PLAN'G RESUBMTL
09/01/23 FORMAL PC REVS

10/16/23 FORMAL PC REVS 2
11/20/23 DRC SUBMTL
01/16/24 DRC RESP- ELEVS: OPTS A & B
05/03/24 PLAN'G RESUBMTL SUBMTL

07/17/24 PLAN'G - MECH. WELL REVS.





WNER:
STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION
SON AMERIC LLC)
BOX 4631
N VIEW, CA, 94041
108.859.2845

ADDITION/REHABILITATIC
ADDITION/REHABILITATIC
PROJECT SITE:

194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

07/17/24

SCALE
AS NOTED

PROJECT NO. 21.26

SHEET NO

A0.5.1

#### H.E.R.S. REQUIREMENTS (new hvac ducts) LOW-RISE RESIDENTIAL BUILDINGS-ADDITIONS AND ALTERATIONS TO EXISTING LOW-RISE RESIDENTIAL BUILDING: and solar heat gain coefficient requirements of Secmore energy than the one specified in Item 2 tion 150.1(c) and Table 150.1-A. iv. Using the existing building plus addition compli Exception 1 to Section 150,2(b)1A: Alterations Accessory structures, sheds or patio covers that add fenestration area of up to 75 square fee shall not be required to meet the total fenestration Detached garages Second units water heating system uses no more energy tha area and west-facing fenestration area requirement Other work as determined by the Building Official of Section 150.1(c)3B and C. Exception 2 to Section 150,2(b)1A: Alteration 2. Performance approach. Performance calculation When Work Triggers SB 407 with a maximum *U*-factor of 0.55 and a maximum SHGC of 0.30 area shall not be required to meet the ), pursuant to the applicable requirements in Items A total fenestration area and west-facing fenestra A. For additions alone. The addition complies if the addition alone meets the energy budgets as specified in Section 150.1(b). B Replacement fenestration, Replacement of fenes ing wall or roof is replaced with a new manufactur B. Existing plus alteration plus addition. The standard fenestration product and up to the total fenestration design for existing plus alteration plus addition area removed in the existing wall or roof, the energy use is the combination of the existing build-ing's unaltered components to remain; existing building altered components that are the more effisolar heat gain coefficient requirements of Sections 150.1(c)3A and 150.1(c)4. cient, in TDV energy, of either the existing condi-Exception 1 to Section 150.2(b)1B: Replacement tions or the requirements of Section 150.2(b)2; plu design energy use is the combination of the existing Zones 1-16, and a SHGC value no greater than 0.3: building's unaltered components to remain and th in Climate Zones 2, 4 and 6-16. Exception 2 to Section 150.2(b)1B: Replaced sk Exception to Section 150.2(a)2B: Existing struc-Note: Glass replaced in an existing sash and tures with a minimum R-11 insulation in frame walls showing compliance with Section 150.2(a)2 frame or replacement of sashes in an existing are exempt from showing compliance with Section frame are considered repairs. alteration or improvement will be required to be upgraded with water-conserving plumbing fixtures . Entirely new or complete replacement space [Civil Code Section 1101.5(d)(1)(B)] C. Additions larger than 1,000 square feet shall meet conditioning systems installed as part of an alter the ASHRAE Standard 62.2 Section 4 requirement to provide whole-building ventilation airflow. The whole-building ventilation airflow rate shall be ation, shall include all the system heating or cooling equipment, including but not limited to condensing unit and cooling or heating coil for split systems; or based on the conditioned floor area of the entire complete replacement of a package unit; plus dwelling unit comprised of the existing dwellin entirely new or replacement duct system (Section 150.2(b)1Diia); plus a new or replacement air han in the common area. When the tenant improvement construction cost exceeds \$150,000, only (b) Alterations. Alterations to existing low-rise residential Entirely new or complete replacement space-conthe fixtures within the tenant space would need to be upgraded. buildings or alterations in conjunction with a change in buildditioning systems shall: ng occupancy to a low-rise residential occupancy shall mee i. Meet the requirements of Sections 150.0(h) 150.0(i), 150.0(j)2, 150.0(j)3, 150.0(m)1 through 150.0(m)13, 150.1(e)6, 150.1(e)7, 150.1(e)10 Prescriptive approach. The altered component and any newly installed equipment serving the alteration shall meet the applicable requirements of Sections 110.0 through 110.9 and all applicable requirements of and Table 150.2-A; and 1101.5(d)(1)(C)] ii. Be limited to natural gas, liquefied petroleum ga or the existing fuel type unless it can be demon-strated that the TDV energy use of the new sys-Section 150.0(a) through (m), Section 150.0(o) through tem is more efficient than the existing system A. Fenestration. Alterations that add vertical fenestra D. Altered duct systems-duct sealing. In all climate tion area and west facing fenestration area, U-factor space-conditioning system ducts are installed, the 2016 CALIFORNIA ENERGY CODE LOW-RISE RESIDENTIAL BUILDINGS—ADDITIONS AND ALTERATIONS TO EXISTING LOW-RISE RESIDENTIAL BUILDINGS ducts shall comply with the applicable requirements utilizing the procedures in Reference Resii. New ducts located in unconditioned space shall 3. If it is not possible to meet the duct sealing meet the applicable requirements of Sections 150.0(m)1 through 150.0(m)11, and the duct insulation requirements of Table 150.2-A, and accessible leaks shall be sealed and verified through a visual inspection and a smoke Appendix Section RA3.1.4.3.5. Exception to Section 150.2(b)1Diib: Duc ii. The altered duct system, regardless of location, sealing. Existing duct systems that are extended, which are constructed, insulated cation and diagnostic testing in accordance with or sealed with asbestos. all applicable procedures for duct sealing of altered existing duct systems as specified in the Reference Residential Appendix Section RA3.1, Altered space-conditioning system—duct sealing. tem is altered by the installation or replacement of utilizing the leakage compliance criteria specified in Reference Residential Appendix Table RA3.1space-conditioning system equipment, including replacement of the air handler, outdoor condensing , and conforming to either Subsection a or b unit of a split system air conditioner or heat pum or cooling or heating coil, the duct system that is a. Entirely new or complete replacement duconnected to the altered space-conditioning system equipment shall be sealed, as confirmed through system. If the new ducts form an entirely new field verification and diagnostic testing in accor-dance with the applicable procedures for duct sealto the air handler, the measured duct leakage ing of altered existing duct systems as specified in Reference Residential Appendix Section RA3.1, and shall be equal to or less than 5 percent of the system air handler airflow as confirmed by field verification and diagnostic testing utilizthe leakage compliance criteria specified in Refe ence Residential Appendix Table RA3.1-2, conforming to one of the following requirements: Entirely new or complete replacement duc i. The measured duct leakage shall be equal to or systems installed as part of an alteration shall be constructed of at least 75 percent new duct material, and up to 25 percent may consist of less than 15 percent of system air handler airflov as determined utilizing the procedures in Refe ence Residential Appendix Section RA3.1.4.3.1 reused parts from the dwelling unit's existing duct system, including but not limited to, registers, grilles, boots, air handler, coil, plenums ii. The measured duct leakage to outside shall be and can be sealed to prevent leakage dures in Reference Residential Appendix Section Entirely new or complete replacement duct RA3.1.4.3.4; or systems shall also conform to the require iii. If it is not possible to meet the duct sealing b. Extension of an existing duct system. If the requirements of either Section 150.2(b)1Ei or 150.2(b)1Eii, then all accessible leaks shall be new ducts are an extension of an existing duc sealed and verified through a visual inspection and a smoke test by a certified HERS Rater utili system, the combined new and existing duc system shall meet one of the following ial Appendix Section RA3.1.4.3.5. 1. The measured duct leakage shall be equal Exception 1 to Section 150.2(b)1E: Duct sealto or less than 15 percent of nominal sysing. Duct systems that are documented to have been previously sealed as confirmed through tem air handler airflow as confirmed by field verification and diagnostic testing in according dance with procedures in the Reference Residen-tial Appendix Section RA3.1. tial Appendix Section RA3.1.4.3.1; or 2. The measured duct leakage to outside shall be equal to or less than 10 percent of nomi Exception 2 to Section 150.2(b)1E: Duct sealnal system air handler airflow as confirmed by field verification and diagnostic testing ing. Duct systems with less than 40 linear feet as < determined by visual inspection. MINIMUM PLUMBING FACILITIES TABLE 422.1, CPC CHAPTER 4 BATHTUBS DRINKING OR FOUNTAINS/ require a building permit and that room contains any noncompliant plumbing fixtures, the building permit applicant TYPE OF WATER CLOSETS (FIXTURES LAVATORIES SHOWERS FACILITIES PER (FIXTURES PER PERSON)5 OCCUPANCY' (FIXTURES PER PERSON)3 (FIXTURES (FIXTURES PERSON)4 PER PER PERSON) A-2 Assembly occu-Female pancy- restaurants, pubs, 1: 1-25 Male transactional documents. Male Female lounges, nightclubs and 1: 1-50 1: 1-200 1: 1-250 2: 26-50 1: 1-150 1: 1-150 banquet halls 2: 51-150 3: 51-100 2: 201-300 2: 251-500 2: 151-200 2: 151-200 3: 151-300 4: 101-200 3: 301-400 3: 501-750 3: 201-400 4: 201-400 1 service 4: 301-400 6: 201-300 4: 401-600 sink or 8: 301-400 Over 400, add 1 fixture for each additional 250 males Over 600, add 1 fixture for each additional 250 males laundry tray Over 750, add 1 fixture for each for each and 1 fixture for each 125 and 1 fixture for each additional additional additional 200 females 300 males. 500 persons. B Business occupancy (office, professional or 1: 1-15 Male 1: 1-50 1: 1-75 service type transactions)-1: 1-50 1: 1-100 2: 16-30 2: 51-100 2: 76-150 2: 51-100 3: 31-50 2: 101-200 banks, vet clinics, hospi-3: 101-150 3: 151-200 tals, car wash, banks, 3: 101-200 4: 51-100 3: 201-400 4: 151-200 4: 201-300 beauty salons, ambulatory 4: 201-400 8: 101-200 4: 401-600 5: 201-300 1 service 5: 301-400 health care facilities, laun-1 per 150 sink or 11: 201-400 6: 301-400 dries and dry cleaning, laundry tray Over 400, add 1 fixture for add 1 fixture educational institutions Over 400, add 1 fixture for (above high school), or each additional 500 males each additional 250 males

for each

additional

300 males.

and 1 fixture for each

additional 200 females.

and 1 fixture for each

located within school, post additional 150 females.

training facilities not

offices and printing shops

# WATER CONSERVATION REQUIREMENTS

 Work in one building is not considered to trigger plumbing fixture upgrades in another building (e.g., work in the following structure would not trigger upgrades in the separate single-family Multifamily Residential and Commercial Buildings

### CODE REFERENCE(S):

2013 California Green Building Standards Code (CALGreen) Section 301

## When the work will trigger plumbing fixture upgrades, the following clarification and interpretation is

 All non-compliant plumbing fixtures will be required to be upgraded with water-conserving plumbing fixtures throughout the single-family residential building. [Civil Code Section 1101.4(a)]

Multifamily residential and commercial: · For building additions, if the sum of concurrent building permits by the same permit applicant would increase the gross floor area of the building by more than 10%, all non-compliant plumbing fixtures will be required to be upgraded with water-conserving plumbing fixtures throughout the building. [Civil Code Section 1101.5(d)(1)(A)] This would include all common area plumbing

fixtures as well as plumbing fixtures in private individual dwelling unit or tenant unit owned by the same owner. · For building alterations or improvements, if the total construction cost in the building permit exceeds \$150,000, all non-compliant plumbing fixtures that service the specific area of the

Example: A tenant space does not contain plumbing fixtures in its space and is served by a centrally located toilet facility. When the tenant improvement construction cost exceeds \$150,000, all plumbing fixtures in the centrally located toilet facility are required to be Example: A tenant space contains plumbing fixtures itself and is also served by a toilet facility

· Any alteration to a room that contains non-compliant plumbing fixtures will require all the fixtures in that room to be upgraded to water-conserving plumbing fixtures. [Civil Code Section

### Interpretation for Duplex (Two-Family Dwelling) and Second Unit

Civil Code Section 1101.3 defines "single-family residential real property" as any real property that is improved with, or consisting of, a building containing not more than one unit that is intended for human habitation. It also defines "multifamily residential real property" as any real property that is improved with, or consisting of, a building containing more than one unit that is intended for human habitation

To maintain consistency with the scope and application of the building and residential code, for purposes of applying Civil Code Sections 1101.1 through 1101.8, a real property consisting of a duplex (two-family dwelling) will be considered a single-family residential real property. Alterations to one dwelling unit will trigger plumbing fixture upgrades within that unit only and not the adjacent unit.

#### On or before January 1, 2019, all non-compliant plumbing fixtures shall be replaced with wateronserving plumbing fixtures throughout the building (regardless of whether property undergoes alterations or improvements).

I/We, the owner(s) of this property, certify under penalty of perjury that non-compliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's stallation requirements, and that the water-conserving plumbing fixtures comply with the requirements as indicated in the table below.

Upon completing and signing this Certificate, please return it to the Building Division in order to final your permit.

	Non-Compliant Plumbing Fixture <sup>1</sup>	Water-Conserving Plumbing Fixture (Fixture Complying with Current Code Applicable to New Construction)								
122 123 124 124 124 125 125 125 125 125 125 125 125 125 125		Maximum Water Usage/Flow Rate								
Fixture Type	Water Usage /Flow Rate	2013 CPC Ch. 4 2013 CALGreen Div. 4.3	2013 CPC Ch. 4 2013 CALGreen Div. 4.3	2013 CPC Ch. 4 2013 CALGreen Div. 5						
	n ion rate	Single-Family Residential	Multifamily Residential	Commercial						
Water Closets (Toilets)	Exceed 1.6 gallons/flush	Dual flush toilets: 1.28 gal	Single flush toilets: 1.28 gallons/flush illets: 1.28 gallons/flush effective flush volume (the composite, avera flush volume of two reduced flushes and one full flush)							
Urinals	Exceed 1.0 gallon/flush	0.5 gallons/flush								
Showerheads	Exceed 2.5 gallons per minute	2.0 gallons per minute @ 80 psi. Also certified to the performance criteria of U.S. EPA WaterSense Specification for Showerheads. (A hand-held shower is considered a showerhead.) For multiple showerheads serving one shower, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute @ 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.								
Faucets – Lavatory Faucets	Exceed 2.2 gallons per minute	Maximum 1.5 gallons per minute @ 60 psi; minimum 0.8 gallons per minute @ 20 psi	Within units: Maximum 1.5 gallons per minute @ 60 psi; minimum 0.8 gallons per minute @ 20 psi In common and public use areas: 0.5 gallons per minute @ 60 psi	0.5 gallons per minute @ 60 psi						
Faucets — Kitchen Faucets	Exceed 2.2 gallons per minute	1.8 gallons per minute @ 60 psi May temporarily increase up to 2.2 gallons per minute @ 60 psi, and must default to maximum 1.8 gallons per minute @ 60 psi Where faucets meeting the above are unavailable,	1.8 gallons per minute @ 60 psi May temporarily increase up to 2.2 gallons per minute @ 60 psi, and must default to maximum 1.8 gallons per minute @ 60 psi Where faucets meeting the above are unavailable,	1.8 gallons per minute @ 60 psi						

1101.5. (a) On or before January 1, 2019, all noncompliant plumbing fixtures in any multifamily residential real property and in any commercial real property shall be replaced with water-conserving plumbing fixtures. (b) An owner or the owner's agent may enter the owner's property for the purpose of installing, repairing, testing, and maintaining water-conserving plumbing fixtures required by this section, consistent with notice requirements of

(c) On and after January 1, 2019, the water-conserving plumbing fixtures required by this section shall be perating at the manufacturer's rated water consumption at the time that the tenant takes possession. A tenant shall be responsible for notifying the owner or owner's agent if the tenant becomes aware that a water-conserving plumbing fixture within his or her unit is not operating at the manufacturer's rated water consumption. The owner r owner's agent shall correct an inoperability in a water-conserving plumbing fixture upon notice by the tenant or if detected by the owner or the owner's agent. (d) (1) On and after January 1, 2014, all noncompliant plumbing fixtures in any multifamily residential real property and any commercial residential real property shall be replaced with water-conserving plumbing fixtures in

the following circumstances: (A) For building additions in which the sum of concurrent building permits by the same permit applicant would increase the floor area of the space in a building by more than 10 percent, the building permit applicant shall replace all noncompliant plumbing fixtures in the building. (B) For building alterations or improvements in which the total construction cost estimated in the building permit is greater than one hundred fifty thousand dollars (\$150,000), the building permit applicant shall replace all noncompliant plumbing fixtures that service the specific area of the improvement. (C) Notwithstanding subparagraph (A) or (B), for any alterations or improvements to a room in a building that

(2) Replacement of all noncompliant plumbing fixtures with water-conserving plumbing fixtures, as described in paragraph (1), shall be a condition for issuance of a certificate of final completion and occupancy or final permit (e) On and after January 1, 2019, a seller or transferor of multifamily residential real property or of commercial real property shall disclose to the prospective purchaser or transferee, in writing, the requirements of subdivision (a) and whether the property includes any noncompliant plumbing fixtures. This disclosure may be included in other

1101.6. The duty of an owner or building permit applicant to comply with the requirements of this article shall be postponed for one year from the date of issuance of a demolition permit for the building. If the building is emolished within the one-year postponement, the requirements of this article shall not apply. If the building is not demolished after the expiration of one year, the provisions of this article shall apply, subject to appeal to the local building department, even though the demolition permit is still in effect or a new demolition permit has been

1101.7. This article shall not apply to any of the following:

(b) Real property for which a licensed plumber certifies that, due to the age or configuration of the property or its plumbing, installation of water-conserving plumbing fixtures is not technically feasible. (c) A building for which water service is permanently disconnected.

1101.8. A city, county, or city and county, or a retail water supplier may do either of the following: (a) Enact local ordinances or establish policies that promote compliance with this article. (b) Enact local ordinances or establish policies that will result in a greater amount of water savings than those provided for in this article.

Plumbing Fixture Replacement (SB 407) for Existing Single-Family Residential,

Senate Bill 407 (2009) / California Civil Code Sections 1101.1 through 1101.8

As of January 1, 2014, SB 407 requires non-compliant plumbing fixtures to be replaced with waterconserving plumbing fixtures when a property is undergoing additions, alterations or improvements. Applicants seeking to obtain permits for any of these types of work will be required to replace noncompliant fixtures prior to final permit approval or issuance of a certificate of occupancy by the local building department. This law applies only to properties built on or before January 1, 1994.

Per Civil Code Section 1101.4, for any single-family residential real property, on and after January 1, 2014, building addition, alteration or improvement will require all non-compliant plumbing fixtures to be replaced with water-conserving plumbing fixtures. On or before January 1, 2017, all non-compliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures (regardless of whether property undergoes alterations or improvements).

Per Civil Code Section 1101.5, for any multifamily residential real property and any commercial real property, on and after January 1, 2014, specified building addition, alteration or improvement will require non-compliant plumbing fixtures to be replaced with water-conserving plumbing fixtures. On or before January 1, 2019, all non-compliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures (regardless of whether property undergoes alterations or improvements).

#### Work Not Triggering SB 407

For existing single-family residential, multifamily residential and commercial buildings, the following list

Changes to electrical systems, e.g., electrical service upgrades

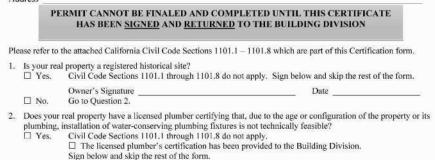
of work is considered not to trigger SB 407/Civil Code Sections 1101.1 through 1101.8:

- · Changes to mechanical systems, e.g., HVAC or furnace replacement, duct replacement Water heater replacement, piping replacement, sewer line replacement Re-roof
- Siding stucco or any exterior finish repair Window replacement (including sliding glass or front door)
- Chimney repair Dry rot repair Termite repair
- Foundation repai Seismic retrofit
- Roof-mounted solar systems Electric vehicle charging stations Building signs
- Alterations solely for the purpose of barrier removal (voluntary accessibility upgrades) Work not associated with the building itself is not considered to trigger plumbing fixture upgrades
- in the building, e.g.: Swimming pools or spas (in-ground or portable) Site work: Retaining walls, fences, walkways, landscaping, etc.

Clarification of "Non-Compliant Plumbing Fixture"

Please note that according to the definition of "non-compliant plumbing fixture" in Civil Code Section 1101.3(c), the existing plumbing fixture water usage/flow rate must exceed the amount shown to be considered non-compliant. If the existing plumbing fixture water usage/flow rate is equal to or lower than the amount shown, it is not required to be upgraded.

#### Water-Conserving Plumbing Fixtures Certificate of Compliance by Property Owner



□ No. Go to Question 3 3. Is water service permanently disconnected for your building? ☐ Yes. Civil Code Sections 1101.1 through 1101.8 do not apply. Sign below and skip the rest of the form. □ No. Go to Question 4.

No. My real property is built and available for use or occupancy after January 1, 1994. Civil Code Sections 1101.1 through 1101.8 do not apply. Sign below and skip the rest of the form. Owner's Signature ☐ Yes. My real property is built and available for use or occupancy on or before January 1, 1994. ivil Code Sections 1101.1 through 1101.8 apply. Refer to the attached. ☐ My property is a single-family residential real property. See Civil Code Section 1101.4. On and after January 1, 2014, building alterations or improvements shall require all non-con

plumbing fixtures to be replaced with water-conserving plumbing fixtures throughout the building On or before January 1, 2017, all non-compliant plumbing fixtures shall be replaced with waterconserving plumbing fixtures (regardless of whether property undergoes alterations or improvements).

My property is a multifamily residential real property. See Civil Code Section 1101.5. On and after January 1, 2014, specified building alterations or improvements shall require noncompliant plumbing fixtures to be replaced with water-conserving plumbing fixtures. On or before January 1, 2019, all non-compliant plumbing fixtures shall be replaced with waterconserving plumbing fixtures throughout the building (regardless of whether property undergoes

. If the existing plumbing fixture water usage/flow rate is equal to or lower than the figure shown, it is not required to be CALIFORNIA CIVIL CODE SECTIONS 1101.1-1101.8

Division 2. Property Part 4. Acquisition of Property Title 4. Transfer

Chapter 2. Transfer of Real Property Article 1.4. Installation of Water Use Efficiency Improvements ....... 1101.1 - 1101.8

1101.1. The Legislature finds and declares all of the following: (a) Adequate water supply reliability for all uses is essential to the future economic and environmental health of

protecting and restoring aquatic resources in California. (c) There is a pressing need to address water supply reliability issues raised by growing urban areas. d) Economic analysis by urban water agencies has identified urban water conservation as a cost-effective approach to addressing water supply needs. (e) There are many water conservation practices that produce significant energy and other resource savings that

should be encouraged as a matter of state policy. (f) Since the 1991 signing of the "Memorandum of Understanding Regarding Urban Water Conservation in California," many urban water and wastewater treatment agencies have gained valuable experience that can be applied to produce significant statewide savings of water, energy, and associated infrastructure costs. This experience indicates a need to regularly revise and update water conservation methodologies and practices. g) To address these concerns, it is the intent of the Legislature to require that residential and commercial real property built and available for use or occupancy on or before January 1, 1994, be equipped with water-conserving (h) It is further the intent of the Legislature that retail water suppliers are encouraged to provide incentives, financing mechanisms, and funding to assist property owners with these retrofit obligations.

1101.2. Except as provided in Section 1101.7, this article shall apply to residential and commercial real property built and available for use on or before January 1, 1994.

(a) "Commercial real property" means any real property that is improved with, or consisting of, a building that is intended for commercial use, including hotels and motels, that is not a single-family residential real property or a multifamily residential real property. ) "Multifamily residential real property" means any real property that is improved with, or consisting of, a building containing more than one unit that is intended for human habitation, or any mixed residential-commercial buildings or portions thereof that are intended for human habitation. Multifamily residential real property includes

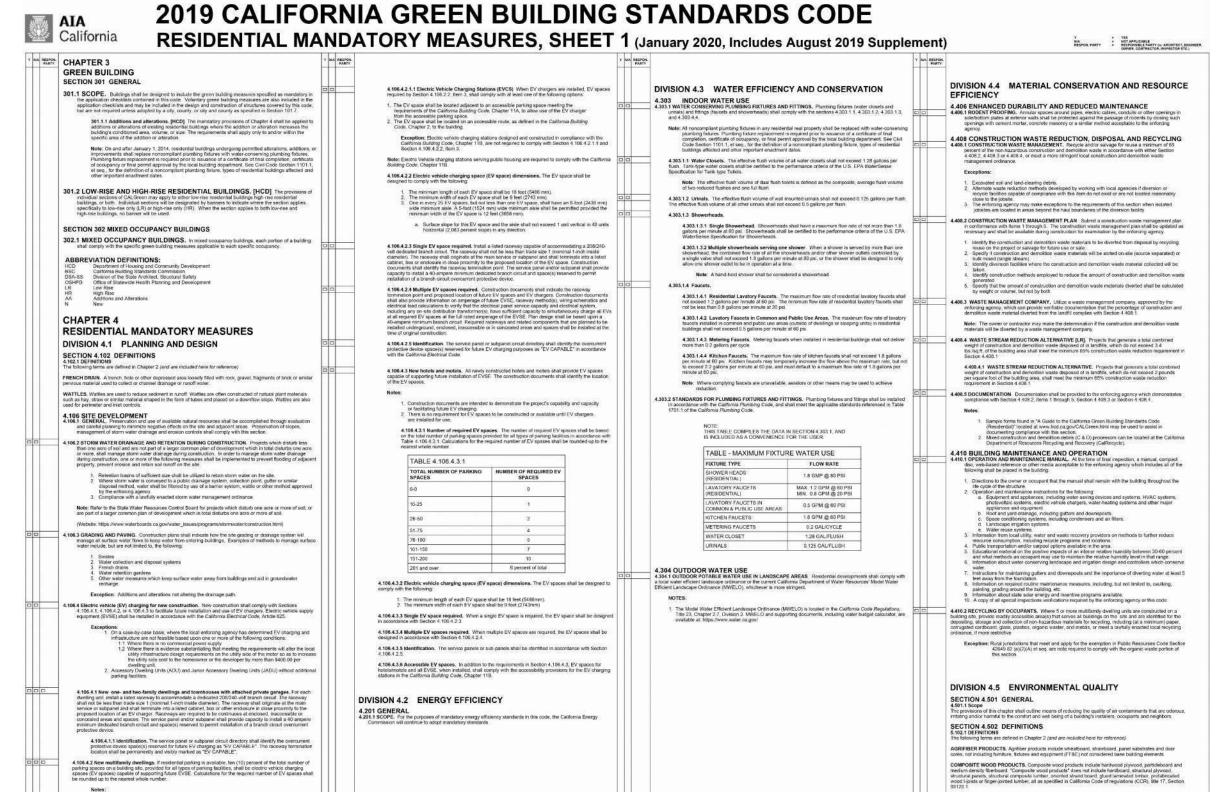
(c) "Noncompliant plumbing fixture" means any of the following: (1) Any toilet manufactured to use more than 1.6 gallons of water per flush. 2) Any urinal manufactured to use more than one gallon of water per flush. (3) Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute. 4) Any interior faucet that emits more than 2.2 gallons of water per minute. (d) "Single-family residential real property" means any real property that is improved with, or consisting of, a

residential hotels but does not include hotels and motels that are not residential hotels.

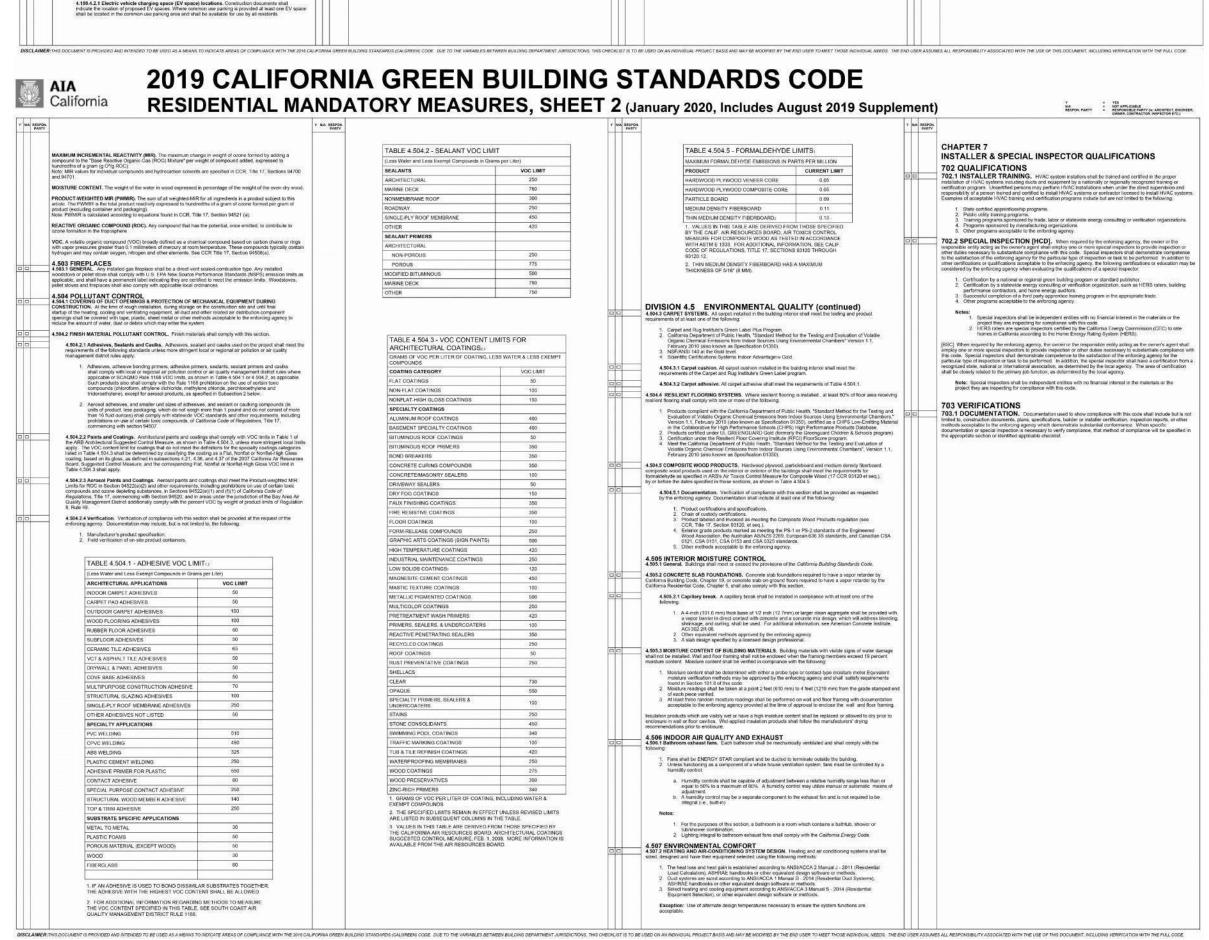
building containing not more than one unit that is intended for human habitation.

(e) "Water-conserving plumbing fixture" means any fixture that is in compliance with current building standards applicable to a newly constructed real property of the same type. (f) "Sale or transfer" means the sale or transfer of an entire real property estate or the fee interest in that real property estate and does not include the sale or transfer of a partial interest, including a leasehold. 1101.4. (a) On and after January 1, 2014, for all building alterations or improvements to single-family residential real property, as a condition for issuance of a certificate of final completion and occupancy or final permit approval by the local building department, the permit applicant shall replace all noncompliant plumbing fixtures with waterconserving plumbing fixtures.

(b) On or before January 1, 2017, noncompliant plumbing fixtures in any single-family residential real property



CAL GREEN REQUIREMENTS- PAGE 1



# TRATA DESIGN STUD \$ 4.0 $\overline{S}$ STRO VIEW, 194-198 MOUNTA HIS. SAE/GTF/JTF DATE 07/17/24 SCALE AS NOTED PROJECT NO. 21.26 SHEET NO. A0.5.2

**ISSUE DATE** 1/21/22 PRELIM. PLANNING SUBMT 03/20/23 FORMAL PLAN'G SUBMTL

06/20/23 FORMAL PLAN'G RESUBMT

1/16/24 DRC RESP- ELEVS: OPTS A &

05/03/24 PLAN'G RESUBMTL SUBMTL

)7/17/24 PLAN'G - MECH. WELL REVS

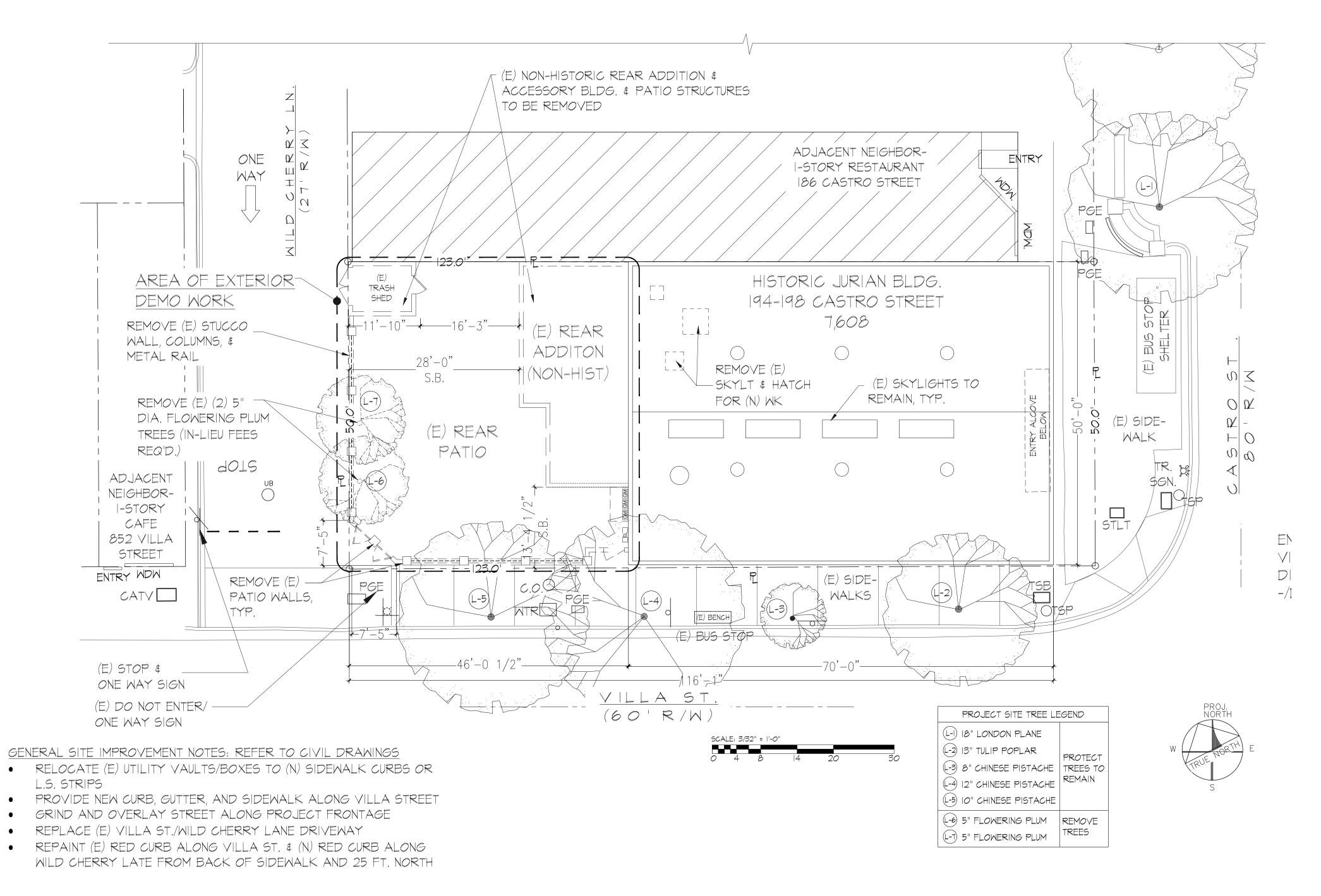
17

09/01/23 FORMAL PC REVS

0/16/23 FORMAL PC REVS 2

1/20/23 DRC SUBMTL

APPROVAL STAMP AREA



# EXISTING CONDITIONS & DEMO SITE PLAN

& < @ Q ø +	AND ANGLE AT CENTERLINE DIAMETER OR ROUND PLUS OR MINUS	CLKG. CONC. CLR. C.M.U. CONT. CTR. D.B.	CAULKING CONCRETE CLEAR CONC. MASONRY UNIT CONTINUOUS CENTER DOOR BELL	F.D. FDN. FIN. FLR. FLUOR. F.O.C.	FLOOR DRAIN FOUNDATION FINISH FLOOR FLUORESCENT FACE OF CONC. (OR CURB)	INSUL. I.C. LOC. L.S. LT. MAX. MECH.	INSULATION IRRIGATION CTRL. LOCATION LANDSCAPING LIGHT OR LIGHTING MAXIMUM MECHANICAL	PR. PNTD. PTDF Q.T. QTR. R. RAD.	PAIR PAINTED PRES. TREATED DF QUARRY TILE QUARTER RISER RADIUS	SQ. S.S.D. S.STL. STD. STL. STOR. SURF.	SQUARE SEE STRUCT. DWGS STAINLESS STEEL STANDARD STEEL STORAGE SURFACE	WD. WDW W/O WT. WTR.	WOOD WINDOW WITHOUT WEIGHT WATER
(N) (E) ADJ. A.F.F. APPROX. ASPH. BITUM.	NEW EXISTING  ADJUSTABLE ABOVE FINISHED FLOOR APPROXIMATE ASPHALT BITUMINOUS	DBL. DET. DF DIA. DIM. DN. DR. DS. D.V.	DOUBLE DETAIL DOUGLAS FIR DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DRYER VENT	F.O.F. F.O.S. F.S. FT. FTG. FURR. GA. GALV. GL.	FACE OF FINISH FACE OF STUDS FULL SIZE FOOT OR FEET FOOTING FURRING GAUGE GALVANIZED GLASS	MEMB. MEP MFR. MIN. MISC. MTD. N.I.C.	MEMBRANE MECHANICAL, ELECT.&PLUMB'G MANUFACTURER MINIMUM MISCELLANEOUS MOUNTED NOT IN CONTRACT	R.D. REC. REF. REINF. REQ. RM. RND.	ROOF DRAIN RECESSED REFERENCE REINFORCED REQUIRED ROOM ROUND ROUGH OPENING REDWOOD	TEL. TEMP. T.&G. THK. THSHLD TOC. TOP. TOS.	TELEPHONE TEMPERED GLASS TONGUE AND GROOVE THICK THRESHOLD TOP OF CURB TOP OF PAVEMENT TOP OF SLAB		
BLDG. BLK. BLKG. BM. BTM. CAB.	BUILDING BLOCK BLOCKING BEAM BOTTOM ABINET	HTf EA. E.F. E.J.	EACH EXHAUST FAN EXPANSION JOINT	GLB GND. GSM GYP. HT. H.B.	GLULAM BEAM GROUND GALV. SHEET METAL GYPSUM HEIGHT HOSE BIBB	NO. OR NOM. N.T.S. O.A. O/ OC. O.D.	R # NUMBER NOMINAL NOT TO SCALE OVERALL OVER ON CENTER	RWL. S.C. SCHED SECT. SGDR SHR. SHT.	RAIN WTR LEADER SOLID CORE	TOW. T.PLT. TV. TYP. U.O.N.  VERT.	TOP OF WALL TOP PLATE TELEVISION TYPICAL UNLESS OTHERWISE NOTED VERTICAL		
C.I. C C.J. ( CLO. C	ATCH BASIN AST IRON CONTROL JOINT LOSET EILING	ELEC. E.N. EQ. EXH. EXT.	ELECTRICAL EDGE NAIL EQUAL EXHAUST EXTERIOR	H.D. HDR. HORIZ. HR.	HOT DIP (GALV.) (or HOLDOWN) HEADER BEAM HORIZONTAL HOUR	O.D. OPP. PLT. PLAS. PLYWD.	OUTSIDE DIA. DIM. OPPOSITE PLATE PLASTER PLYWOOD	SHI. SIM. SLP. S.LT. SPEC.	SHEET SIMILAR SLOPE SKY LT. SPECIFICATION	V.I.F. W. W/ W.C.	VERIFY IN FIELD WIDTH WITH WATER CLOSET		

## JURIAN BUILDING NOTES

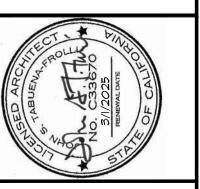
- (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D, VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL, ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB [§303] REQ'S.
- (E) EXTERIOR DRS., SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
- PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS. AND REPAINTED BER SPECS
- APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS, PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
- PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF. MATL @ (E) PARAPET WALLS, REPAIR AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWS. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDWS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

## KEYED DEMO NOTES (AREA OF (N) ADDITION)

- A.) REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION, VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION, ENSURE FIN. FLR. HT. REQUIREMENTS, REFER TO SITE DWG. A0.1 & CIVIL ENG. DWGS.
- B. SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- C. SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION . FOR (N) WORK. INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED, PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
- D. DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY-APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
   PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MAT'LS AS APPROVED BY OWNER
- E. CAREFULLY REMOVE (E) WDWS. & DRS. PER DEMO PLAN, PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOC'S.
- F. AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL w/ (N) STUCCO CLADDING TO MATCH (E), OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK, INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- G. CAREFULLY REM. & SALVAGE (E) CABS, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT.'S, STORE FOR POSS. REUSE, DONATION OR RESALE, VERIFY W/ HIST. ARCH. & OWNR., TYP.
- H. REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK, REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV., PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS, TYP.
- I. PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN, SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDWS & DRS. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED- MILLED TO MATCH (E), VERIFY (N) & (E) OPENINGS TO REMAIN, PER (N) PLAN, TYP.
- J. PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING, REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- K. PROTECT (E) SUB-FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRING. FOR REFINISHING, VERIFY W/ OWNER.
- (E) ROOF SURFACE TO BE INSPECTED, VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D, PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING, REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E), VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- (M.) REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.

	ISSUE DATE	
	11/21/22 PRELIM. PLANNING SUBMTL	
	03/20/23 FORMAL PLAN'G SUBMTL	
_	06/20/23 FORMAL PLAN'G RESUBMTL	
$\triangle$	09/01/23 FORMAL PC REVS	
<u> </u>	10/16/23 FORMAL PC REVS 2	
	11/20/23 DRC SUBMTL	

01/16/24 DRC RESP- ELEVS: OPTS A & I
05/03/24 PLAN'G RESUBMTL SUBMTL
07/17/24 PLAN'G - MECH. WELL REVS.





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JOHN S. TAE SAN JOY SAN JOY 1408.705.31

HEE-YEE CHONG, HANSON AMERIC LLC) PO BOX 4631 NTAIN VIEW, CA, 94041 ph: 408.859.2845

DDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041

DRAWN
SAE/GTF/JTF

DATE 07/17/24 SCALE

AS NOTED

PROJECT NO.
21.26

PROJECT SITE PLAN-EXISTING/DEMO

SHEET NO.

A1.0

SITE LEGEND

PROPERTY LINE

GM) NEW GAS METER

UNDERGROUND WATER LINE

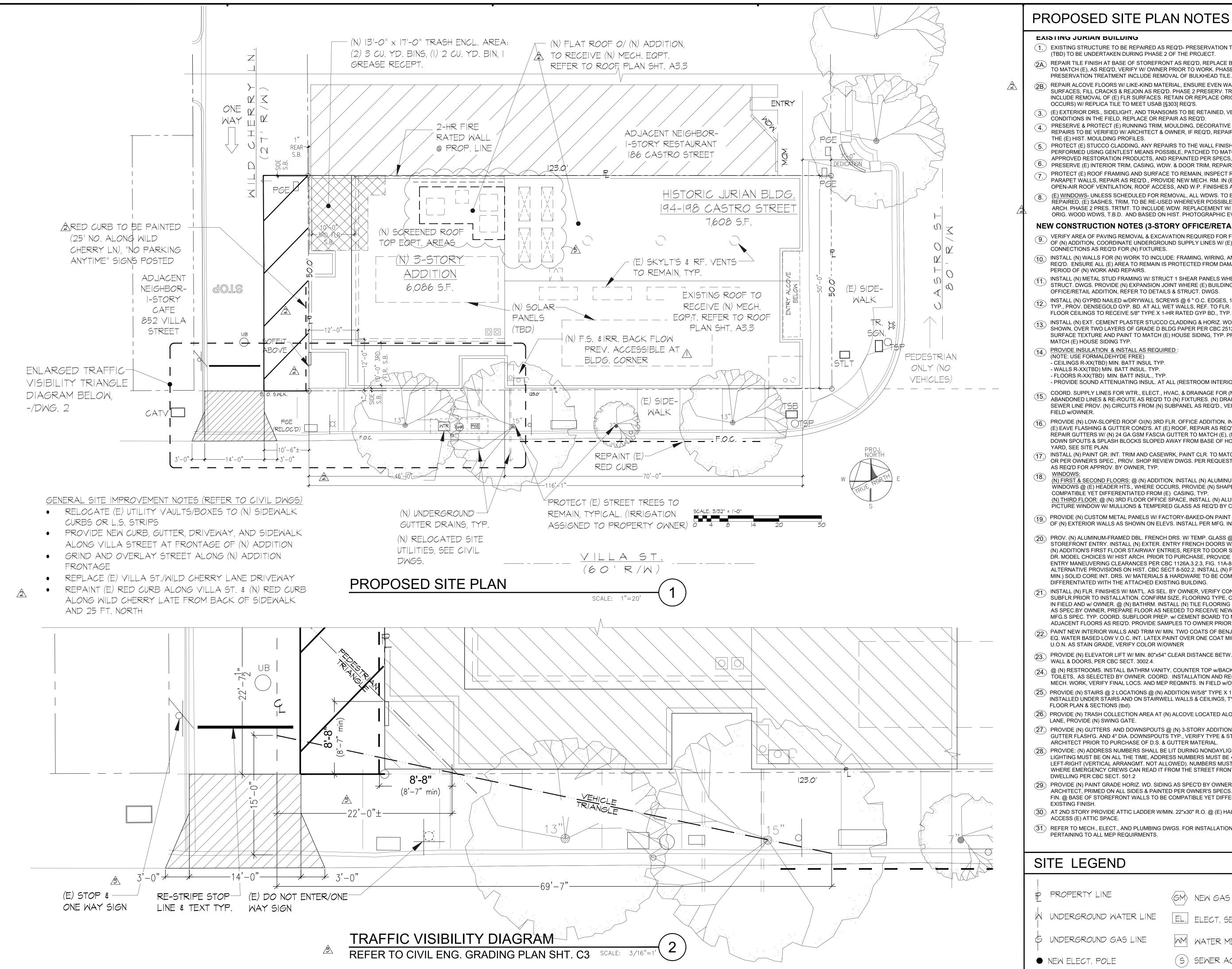
EL. ELECT. SERV. \$ METER

5 UNDERGROUND GAS LINE

MM WATER METER

• NEW ELECT. POLE

S SEWER ACCESS



## PROPOSED SITE PLAN NOTES

#### **EXISTING JUKIAN BUILDING**

- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D- PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- (2A) REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D, VERIFY W/ OWNER PRIOR TO WORK. PHASE 2
- (2B) REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL, ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB [§303] REQ'S.
- (E) EXTERIOR DRS., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
- PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH
- APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS, PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
- PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF. MATL @ (E) PARAPET WALLS, REPAIR AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWS. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDWS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

#### **NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)**

- VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION, COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- (10.) INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- (11.) INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION, REFER TO DETAILS & STRUCT. DWGS.
- INSTALL (N) GYPBD NAILED w/DRYWALL SCREWS @ 6 " O.C. EDGES, 10" O.C. FIELD MAX. TYP., PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD., TYP.
- $_{\wedge}$  INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN, OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- (14.) PROVIDE INSULATION & INSTALL AS REQUIRED (NOTE: USE FORMALDEHYDE FREE) - CEILINGS R-XX(TBD) MIN. BATT INSUL TYP. - WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
  - FLOORS R-XX(TBD) MIN. BATT INSUL., TYP. - PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
- COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D., VERIFY FINAL LOC. IN FIELD w/OWNER.
- PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY (E) EAVE FLASHING & GUTTER COND'S. AT (E) ROOF, REPAIR AS REQ'D. IF NEEDED, RÉPAIR GUTTERS W/ (N) 24 GA GSM FASCIÀ GUTTER TO MATCH (E), (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.
- (17.) INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK, PAINT CLR. TO MATCH (E) INTERIOR., OR PER OWNER'S SPEC., PROV. SHOP REVIEW DWGS, PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP. (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
- PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE  $^{\prime}$  OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS,
- (20.) PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRS. W/ TEMP. GLASS @ MAIN RETAIL (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES, REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE, PROVIDE (AT LEAST) MIN. ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DRS. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- (21.) INSTALL (N) FLR. FINISHES W/ MAT'L. AS SEL. BY OWNER, VERIFY COND. OF SUBFLR.PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN AS SPEC.BY OWNER, PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG.S SPEC. TYP. COORD. SUBFLOOR PREP. w/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/OWNER
- 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.
- (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP w/BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK, VERIFY FINAL LOCS. AND MEP REQMNTS. IN FIELD w/OWNER, TYP.
- 25.) PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO
- (26.) PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE, PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASH'G. AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- (28.) PROVIDE: (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN., READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
- (29.) PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT, PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM
- (30.) AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO
- (31.) REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES
- PERTAINING TO ALL MEP REQUIRMENTS.

## SITE LEGEND

PROPERTY LINE

NEW GAS METER

UNDERGROUND WATER LINE

EL. ELECT. SERV. & METER

WM WATER METER

UNDERGROUND GAS LINE

(5) SEWER ACCESS

03/20/23 FORMAL PLAN'G SUBMTL 06/20/23 FORMAL PLAN'G RESUBMT 09/01/23 FORMAL PC REVS

HISTORIC JURIAN BLDG

**ISSUE DATE** /21/22 PRELIM. PLANNING SUBMTL

0/16/23 FORMAL PC REVS 2 1/20/23 DRC SUBMTL

1/16/24 DRC RESP- ELEVS: OPTS A & 05/03/24 PLAN'G RESUBMTL SUBMTL 7/17/24 PLAN'G - MECH. WELL REVS.





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HISTORIC JURIAN BL ADDITION/REHABILITA SITE: 194-198 CASTRO S MOUNTAIN VIEW, (

SAE/GTF/JTF

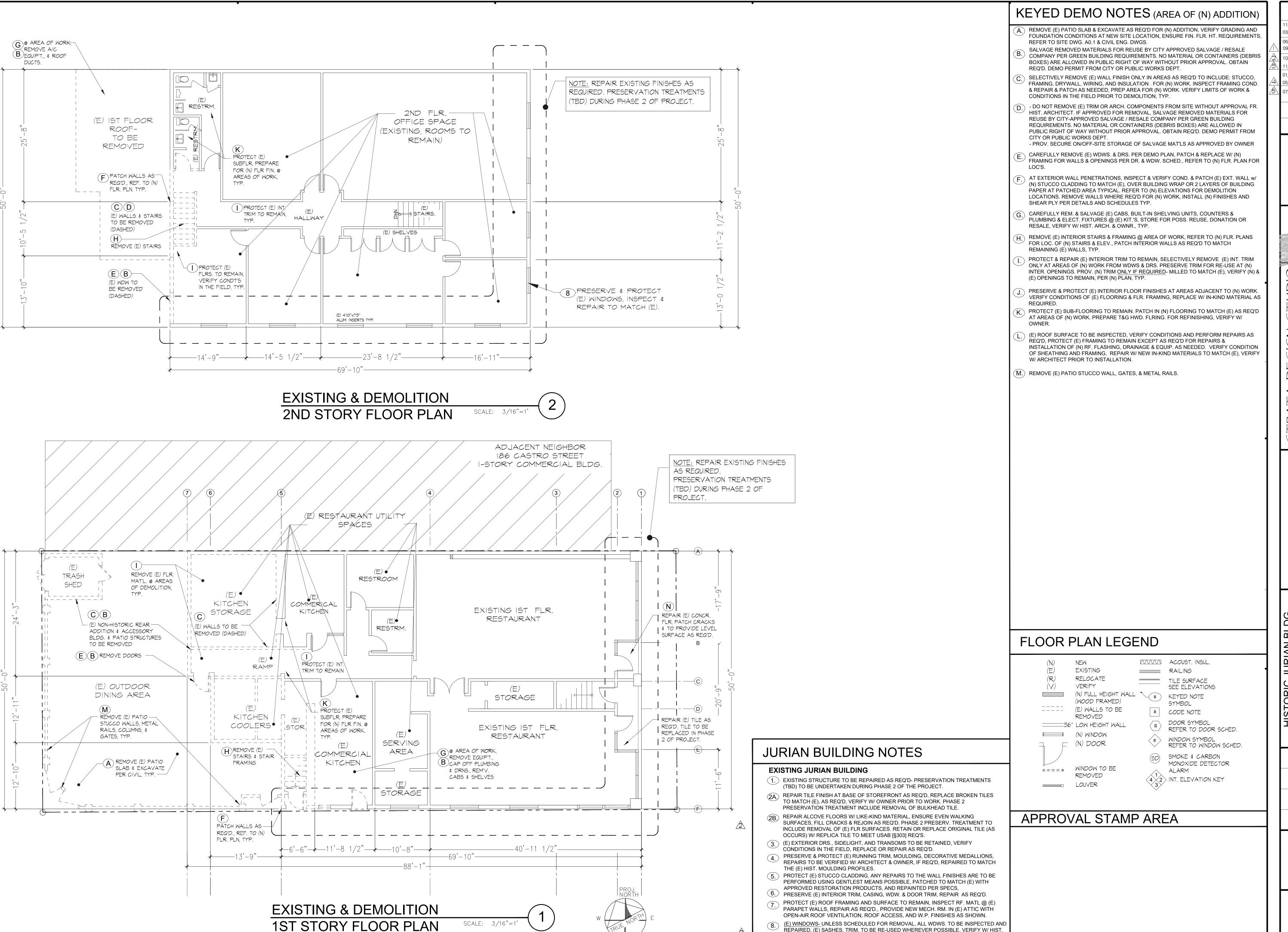
DATE 07/17/24 SCALE

AS NOTED PROJECT NO. 21.26

PROJECT SITE PLANS-**PROPOSED** 

SHEET NO.

A1.1



REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE

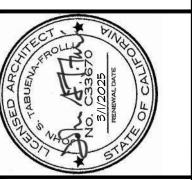
ORIG. WOOD WDWS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE

HISTORIC JURIAN BLDG ISSUE DATE

11/21/22 PRELIM. PLANNING SUBMTL
03/20/23 FORMAL PLAN'G SUBMTL
06/20/23 FORMAL PLAN'G RESUBMTL
09/01/23 FORMAL PC REVS

10/16/23 FORMAL PC REVS 2 11/20/23 DRC SUBMTL

01/16/24 DRC RESP- ELEVS: OPTS A & 05/03/24 PLAN'G RESUBMTL SUBMTL O7/17/24 PLAN'G - MECH. WELL REVS.





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RATA DESIGN STC IGN - CONSULTING - PRESERV, JHN S. TABUENA-FROLLI, AI P.O.BOX 1127 SAN JOSE, CA 95108

> E-YEE CHONG, USON AMERIC LLC) D BOX 4631 IN VIEW, CA, 94041

CHEE-YE
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MOUNTAIN V

PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041

DRAWN SAE/GTF/JTF

SAE/GTF/JTF

DATE

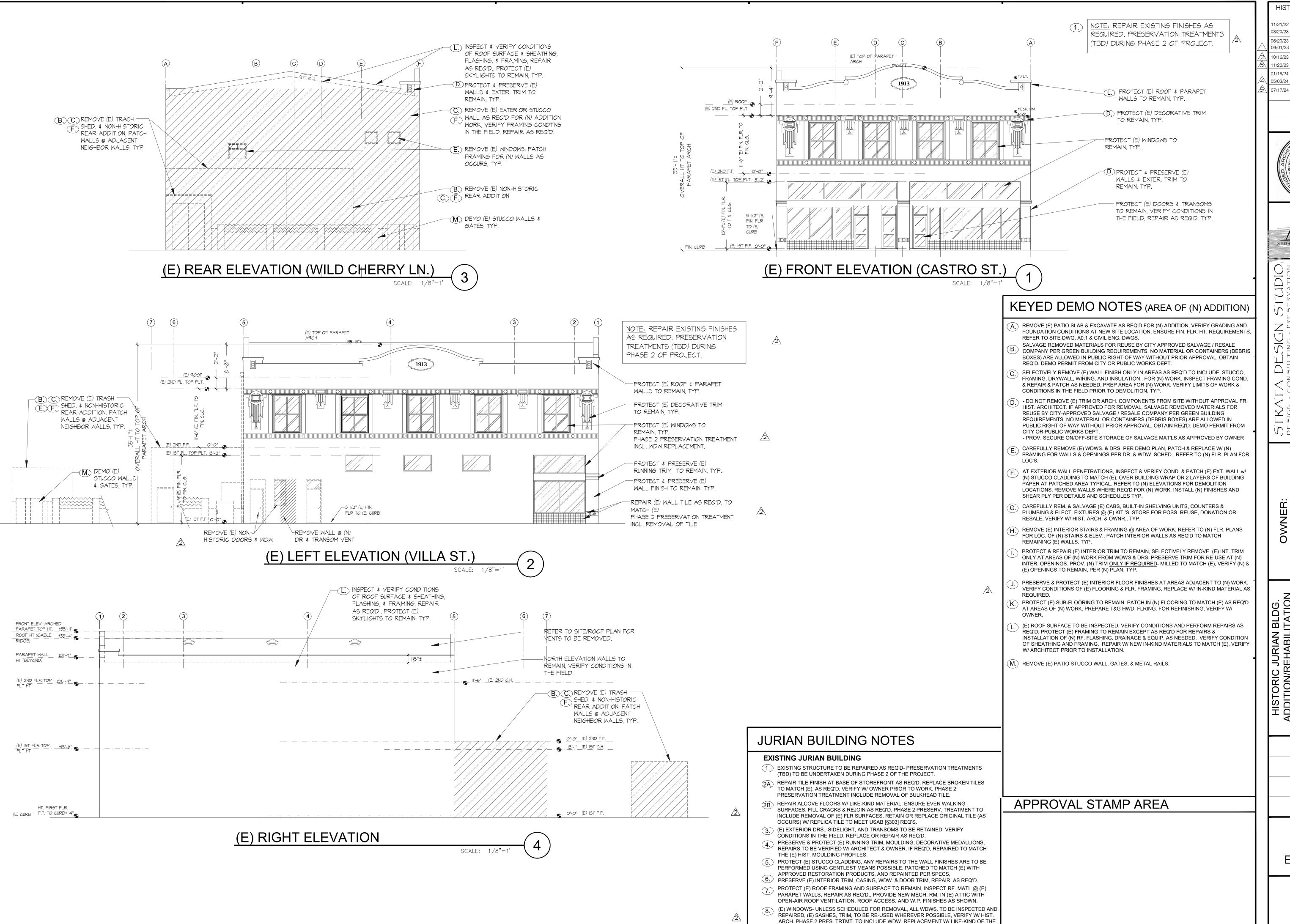
07/17/24 SCALE AS NOTED

PROJECT NO. 21.26

EXISTING/ DEMO FLOOR PLANS

SHEET NO.

A2.0



ORIG. WOOD WDWS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE

HISTORIC JURIAN BLDG ISSUE DATE

ISSUE DATE

1/21/22 PRELIM. PLANNING SUBMTL
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PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041

DRAWN
SAE/GTF/JTF

DATE 07/17/24 SCALE

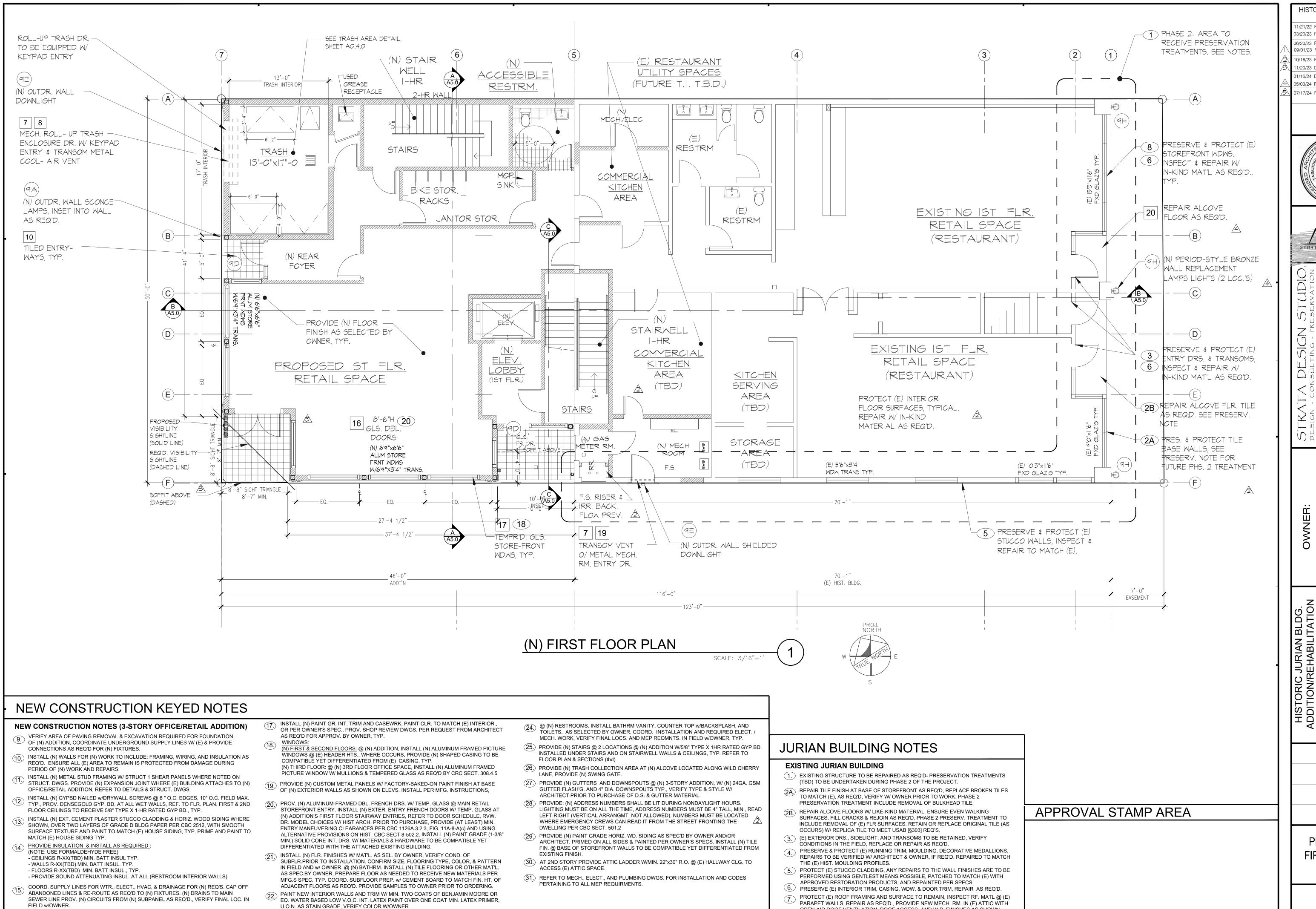
AS NOTED

PROJECT NO.
21.26

EXISTING/ DEMO ELEVATIONS

SHEET NO.

A2.1



PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY

YARD, SEE SITE PLAN.

(E) EAVE FLASHING & GUTTER COND'S, AT (E) ROOF, REPAIR AS REQ'D. IF NEEDED.

REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA GSM

DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO

PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW.

WALL & DOORS, PER CBC SECT. 3002.4.

OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.

ORIG. WOOD WDWS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE .

(E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWS. TO BE INSPECTED AND

REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST.

ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE

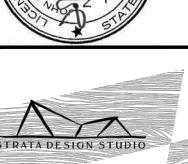
HISTORIC JURIAN BLDG **ISSUE DATE** 1/21/22 PRELIM. PLANNING SUBMT

03/20/23 FORMAL PLAN'G SUBMTL 9/01/23 FORMAL PC REVS

1/20/23 DRC SUBMTL

01/16/24 DRC RESP-ELEVS: OPTS A & 7/17/24 PLAN'G - MECH, WELL REVS





STRATA DESIGN STUD

FRC 12,

NG, NC LLC)

198 NT/

SAE/GTF/JTF DATE

07/17/24 SCALE

AS NOTED PROJECT NO.

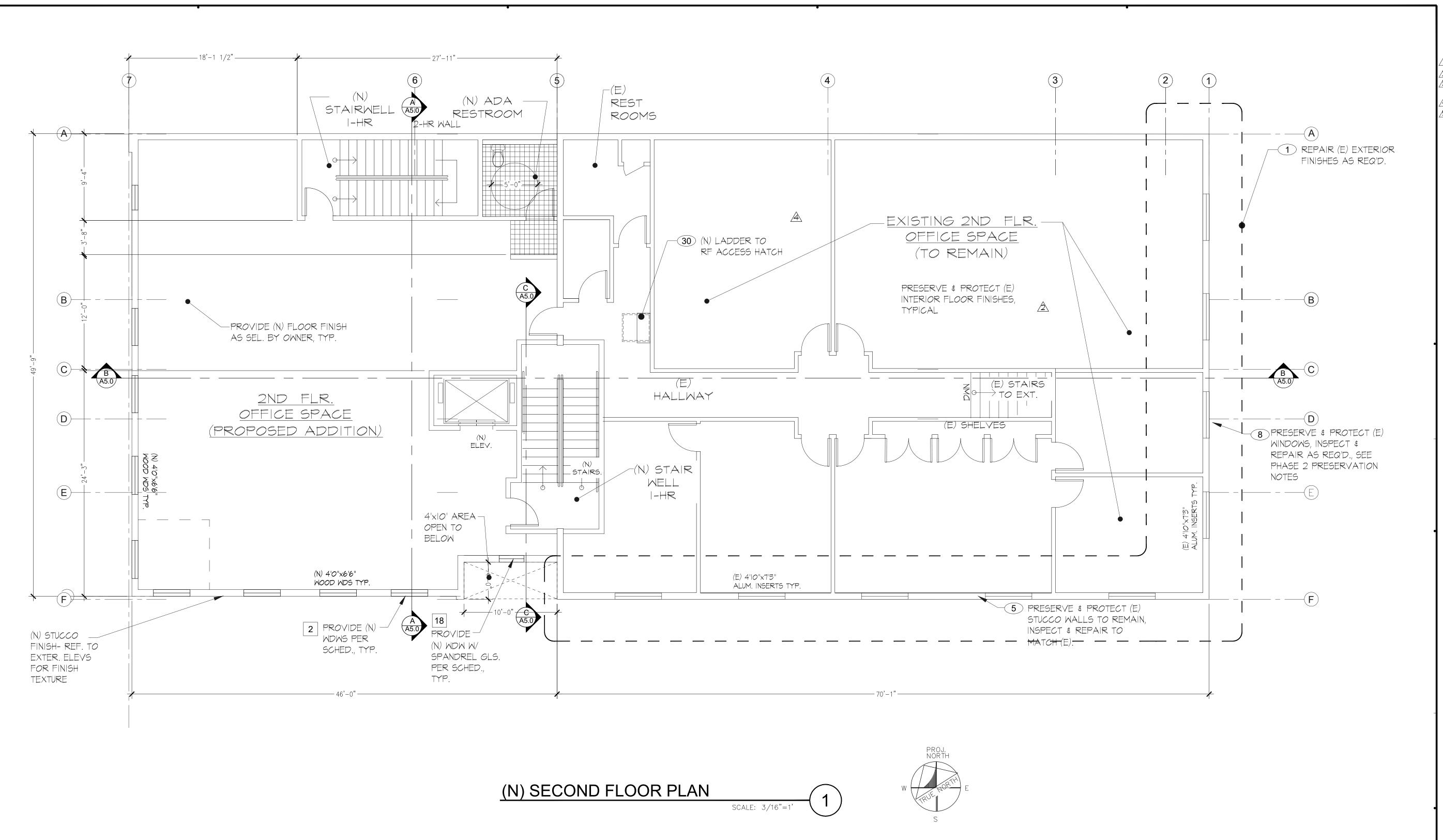
21.26

**PROPOSED** 

FIRST FLOOR

SHEET NO.

A3.0



## JURIAN BUILDING NOTES

## **EXISTING JURIAN BUILDING**

- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D- PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D, VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- (2B) REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL, ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB [§303] REQ'S.
- (E) EXTERIOR DRS., SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
- PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH
- 6. APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS, PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
- 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF. MATL @ (E) PARAPET WALLS, REPAIR AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWS. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDWS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

## NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

**NEW CONSTRUCTION KEYED NOTES** 

## NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION

- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION, COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.

  INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON
- STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N)
  OFFICE/RETAIL ADDITION, REFER TO DETAILS & STRUCT. DWGS.
- INSTALL (N) GYPBD NAILED w/DRYWALL SCREWS @ 6 " O.C. EDGES, 10" O.C. FIELD MAX. TYP., PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD., TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN, OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED:
  (NOTE: USE FORMALDEHYDE FREE)
   CEILINGS R-XX(TBD) MIN. BATT INSUL TYP.
   WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
   FLOORS R-XX(TBD) MIN. BATT INSUL., TYP.
- PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)

  COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF
  ARANDONED LINES & RE-ROLITE AS REO'D TO (N) FIXTURES. (N) DRAINS TO MAIN
- ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D., VERIFY FINAL LOC. IN FIELD W/OWNER.

  PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY
- PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY (E) EAVE FLASHING & GUTTER COND'S. AT (E) ROOF, REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.

- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK, PAINT CLR. TO MATCH (E) INTERIOR., OR PER OWNER'S SPEC., PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- WINDOWS:
  (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP.
  (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
- PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS,
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRS. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES, REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE, PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DRS. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- INSTALL (N) FLR. FINISHES W/ MAT'L. AS SEL. BY OWNER, VERIFY COND. OF SUBFLR.PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MAT'L. AS SPEC.BY OWNER, PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG.S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.

  PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR
- EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/OWNER

  23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW.

WALL & DOORS, PER CBC SECT. 3002.4.

- @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP w/BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK, VERIFY FINAL LOCS. AND MEP REQMNTS. IN FIELD w/OWNER, TYP.
- 25.) PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (tbd).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE, PROVIDE (N) SWING GATE.
   (27.) PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM
- GUTTER FLASH'G. AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.

  28. PROVIDE: (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN., READ
- LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN., REA LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2

  (29.) PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR
- FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.

  30.) AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO

ARCHITECT, PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE

(31.) REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIRMENTS.

ACCESS (E) ATTIC SPACE.

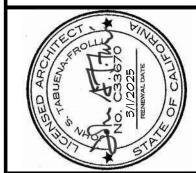
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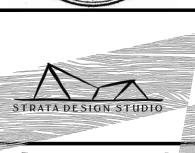
HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22 PRELIM. PLANNING SUBMTI
03/20/23 FORMAL PLAN'G SUBMTL
06/20/23 FORMAL PLAN'G RESUBMTI
09/01/23 FORMAL PC REVS
10/16/23 FORMAL PC REVS 2

10/16/23 FORMAL PC REVS 11/20/23 DRC SUBMTL

01/16/24 DRC RESP- ELEVS: OPTS A & 05/03/24 PLAN'G RESUBMTL SUBMTL O7/17/24 PLAN'G - MECH. WELL REVS.





AATA DESIGN STUDIC GN - CONSULTING - PRESERVATION OHN S. TABUENA-FROLLI, AIA P.O.BOX 1127 SAN JOSE, CA 95108

OWNER:

EE-YEE CHONG,
ANSON AMERIC LLC)
PO BOX 4631

FAIN VIEW, CA, 94041

TION
CHEE-YEE CHOOLINTAIN VIEW (

PROJECT SITE:
4-198 CASTRO STREET,
DUNTAIN VIEW, CA 94041

DRAWN
SAE/GTF/JTF

07/17/24 SCALE

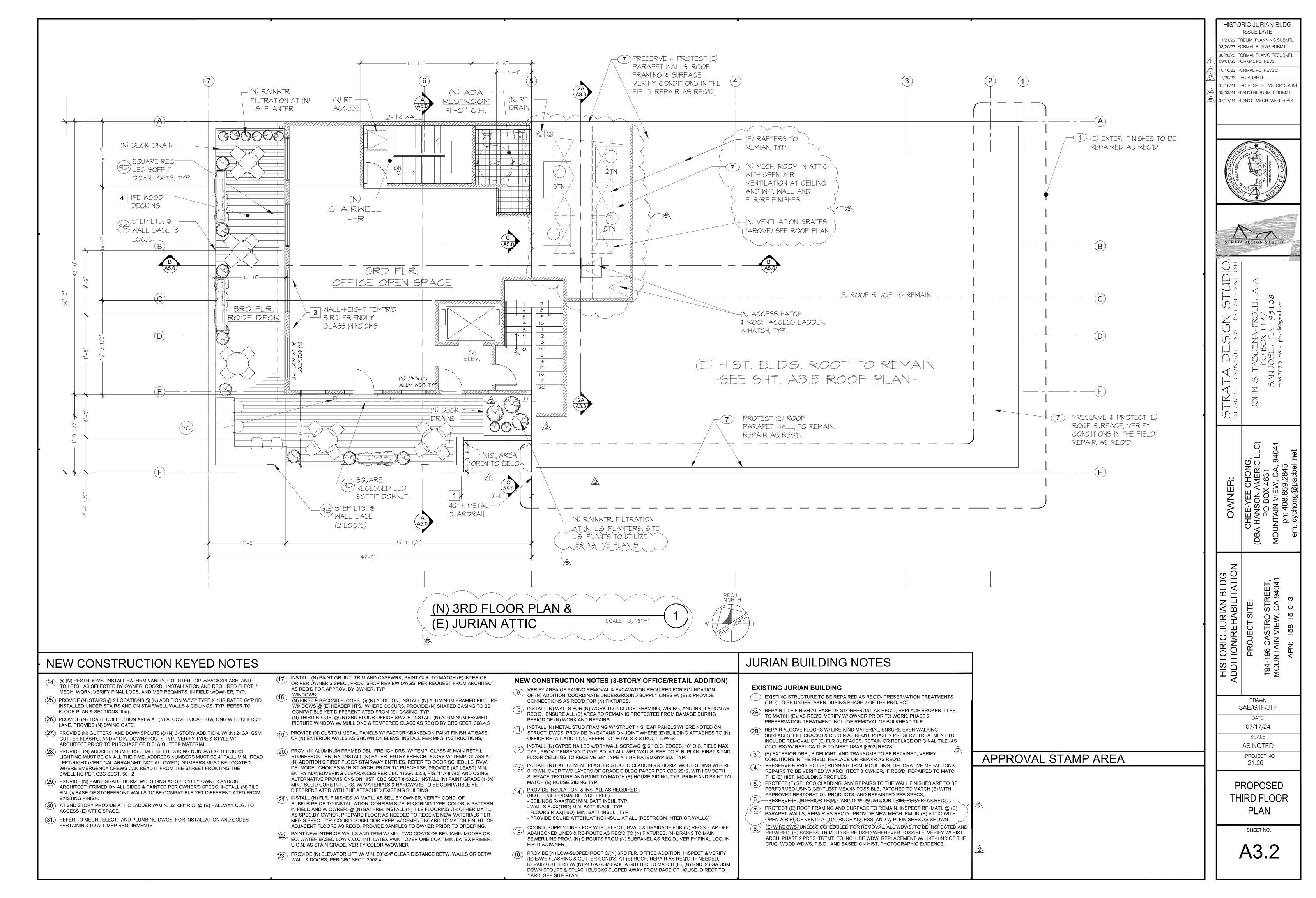
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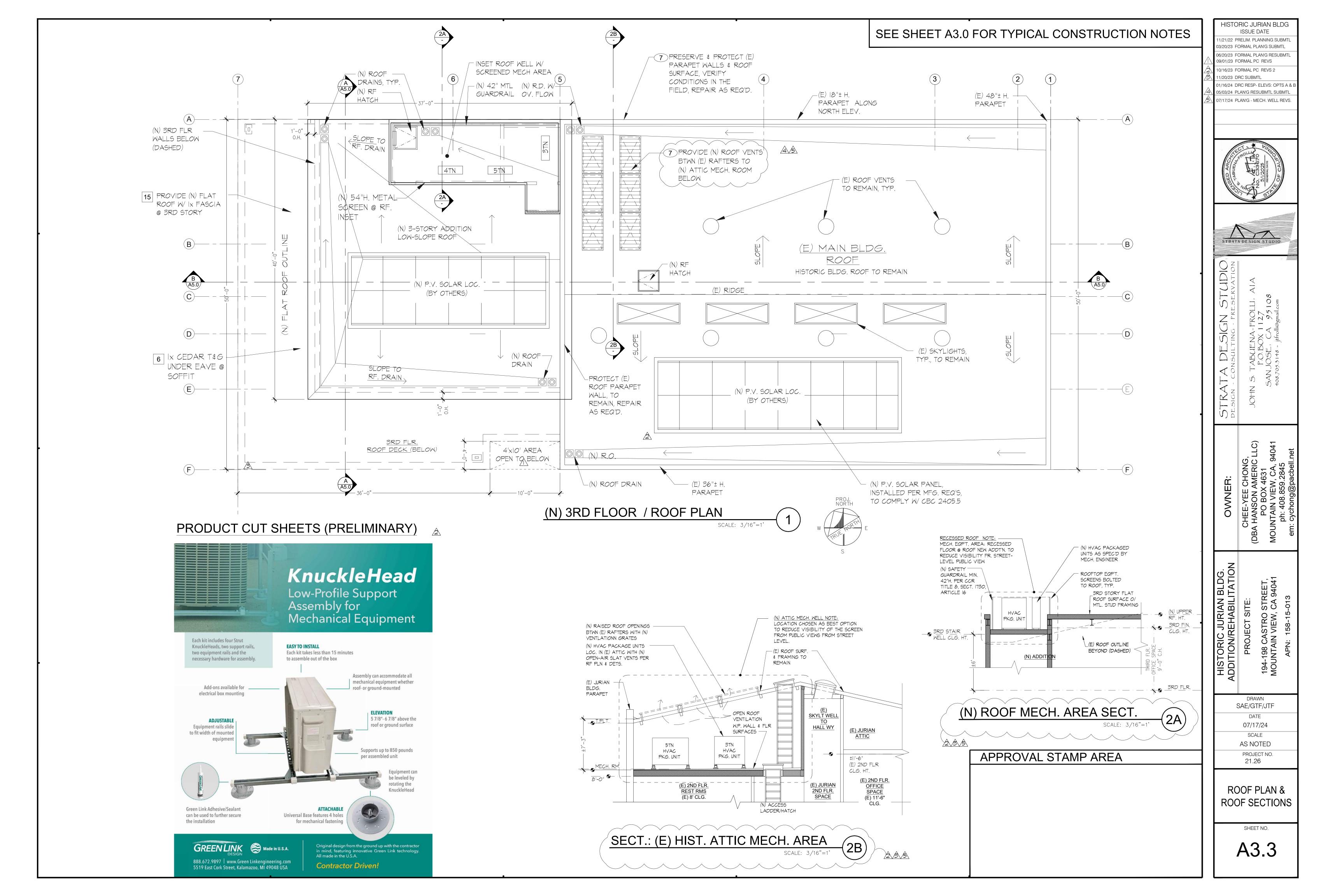
PROJECT NO.
21.26

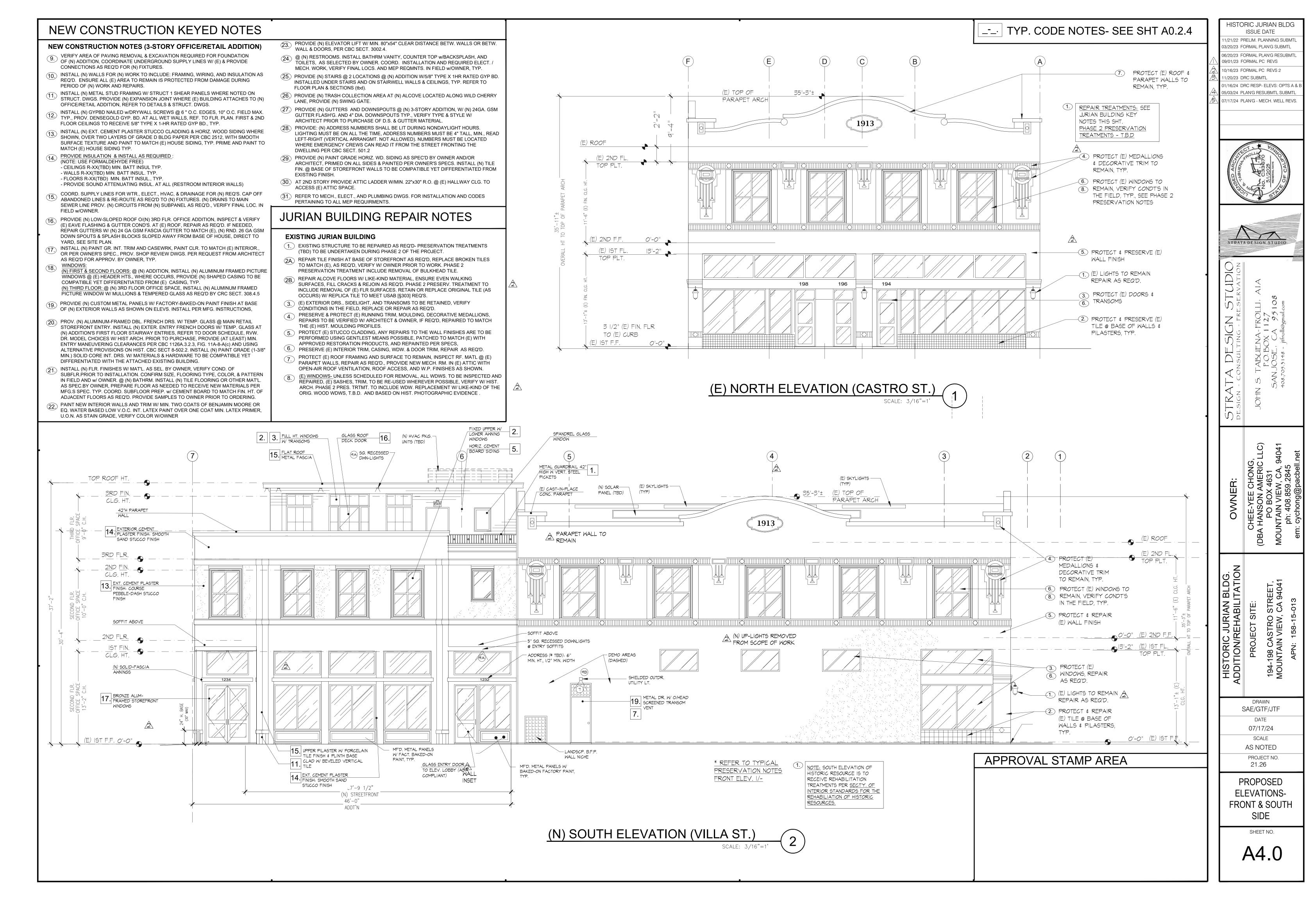
PROPOSED SECOND FLOOR PLAN

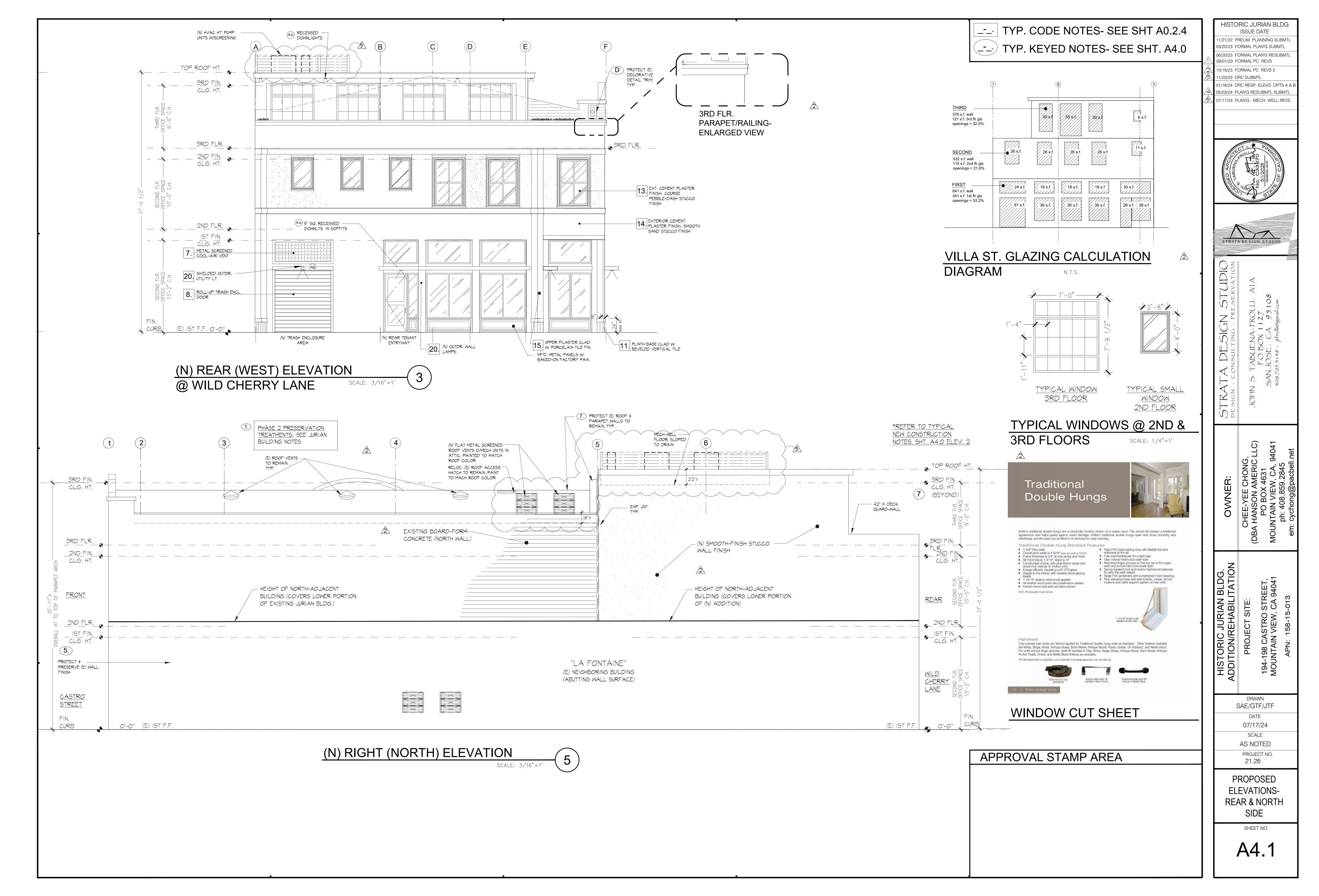
SHEET NO.

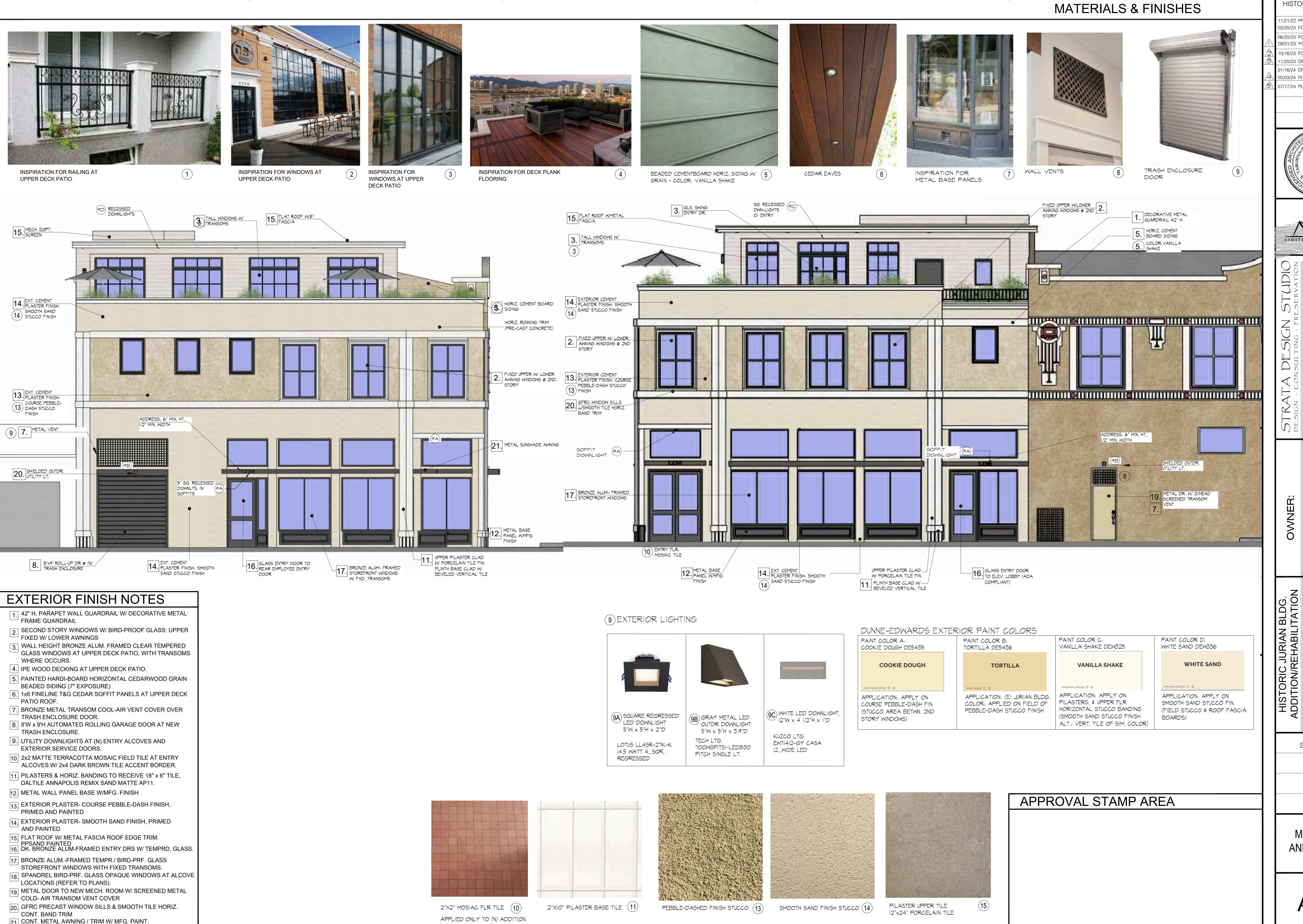
A3.1









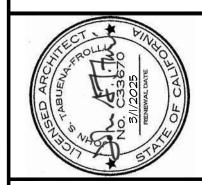


HISTORIC JURIAN BLDG

**ISSUE DATE** 1/21/22 PRELIM. PLANNING SUBMTL 03/20/23 FORMAL PLAN'G SUBMTL 6/20/23 FORMAL PLAN'G RESUBMT

9/01/23 FORMAL PC REVS

/16/24 DRC RESP- ELEVS: OPTS A & 7/17/24 PLAN'G - MECH. WELL REVS.





FRC 12,7

SITE:

194-198 CASTRO STREET MOUNTAIN VIEW, CA 9404

SAE/GTF/JTF

DATE

07/17/24 SCALE

AS NOTED

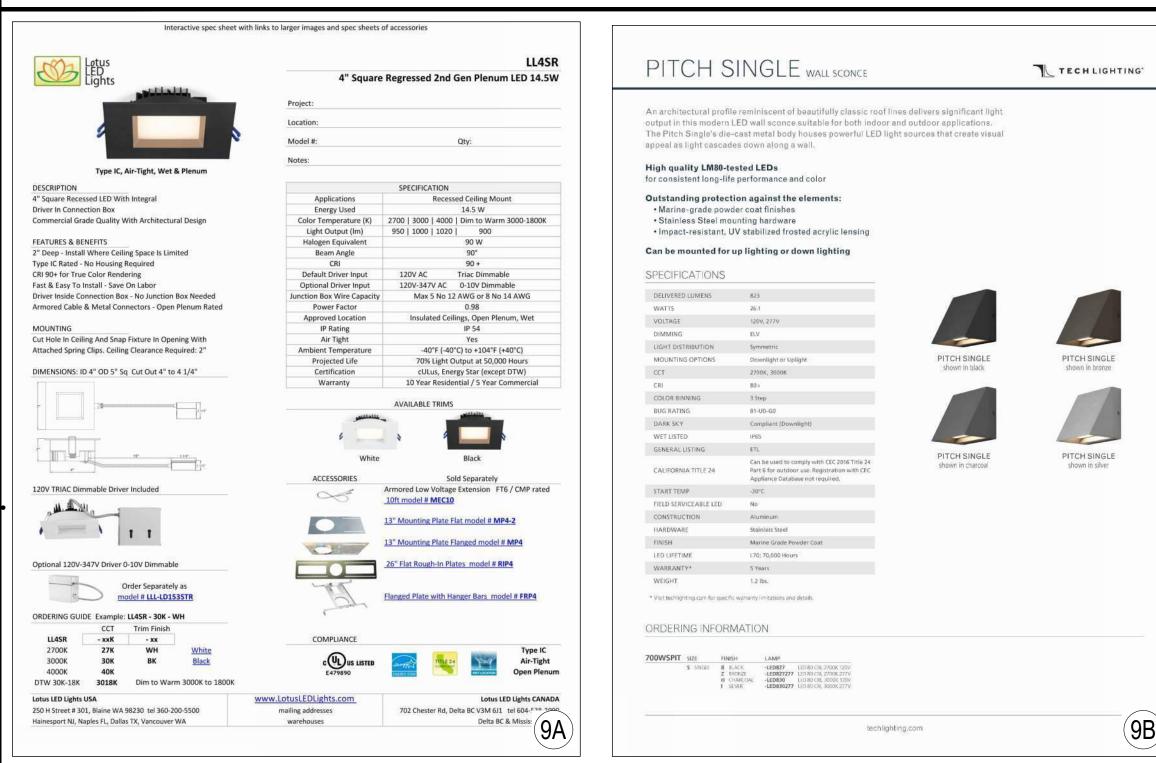
PROJECT NO. 21.26

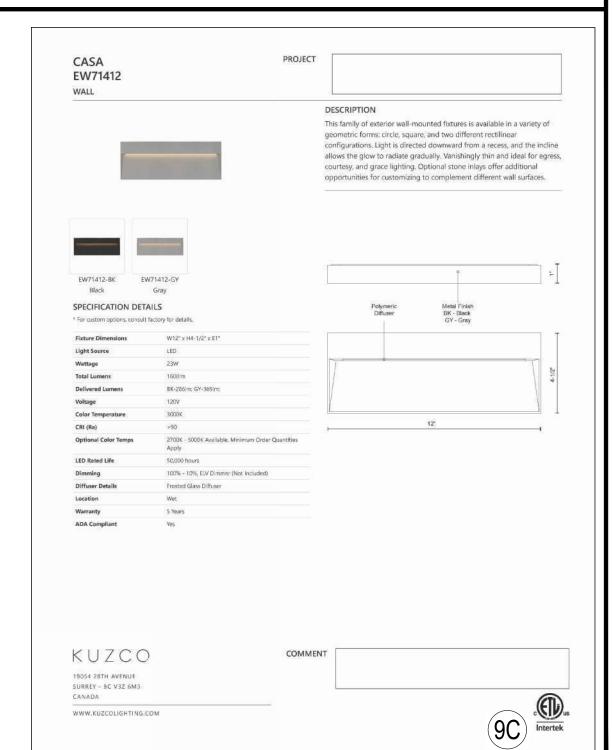
MATERIALS AND FINISHES

SHEET NO.

A4.2

# EXTERIOR LIGHTING MANUFACTURER SPEC SHEETS





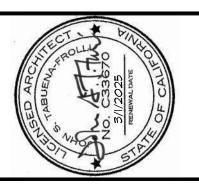


PROPOSED ADDITION AT VILLA & WILD CHERRY, FACING NORTHEAST

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22 PRELIM. PLANNING SUBMTL
03/20/23 FORMAL PLAN'G SUBMTL
06/20/23 FORMAL PLAN'G RESUBMTL
09/01/23 FORMAL PC REVS

10/16/23 FORMAL PC REVS 2
11/20/23 DRC SUBMTL
01/16/24 DRC RESP- ELEVS: OPTS A & 05/03/24 PLAN'G RESUBMTL SUBMTL
07/17/24 PLAN'G - MECH. WELL REVS.





TRATA DESIGN STUDIC
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COVINER:

CHEE-YEE CHONG,

(DBA HANSON AMERIC LLC)

PO BOX 4631

MOUNTAIN VIEW, CA, 94041

ADDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF

DATE

07/17/24

SCALE

AS NOTED

PROJECT NO. 21.26

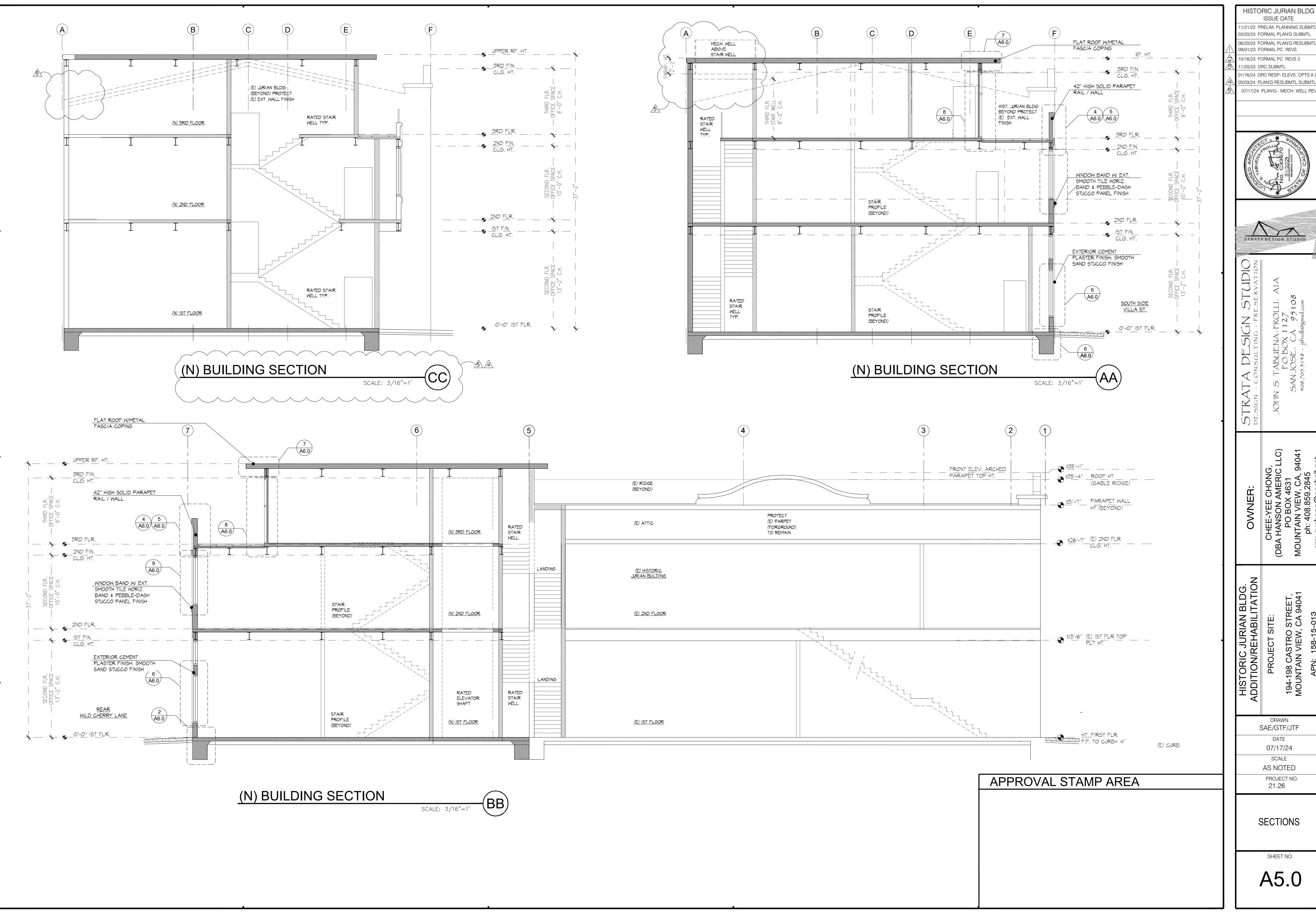
NIGHT 3-D

ELEVATION &

MFR. SPEC

SHEETNO

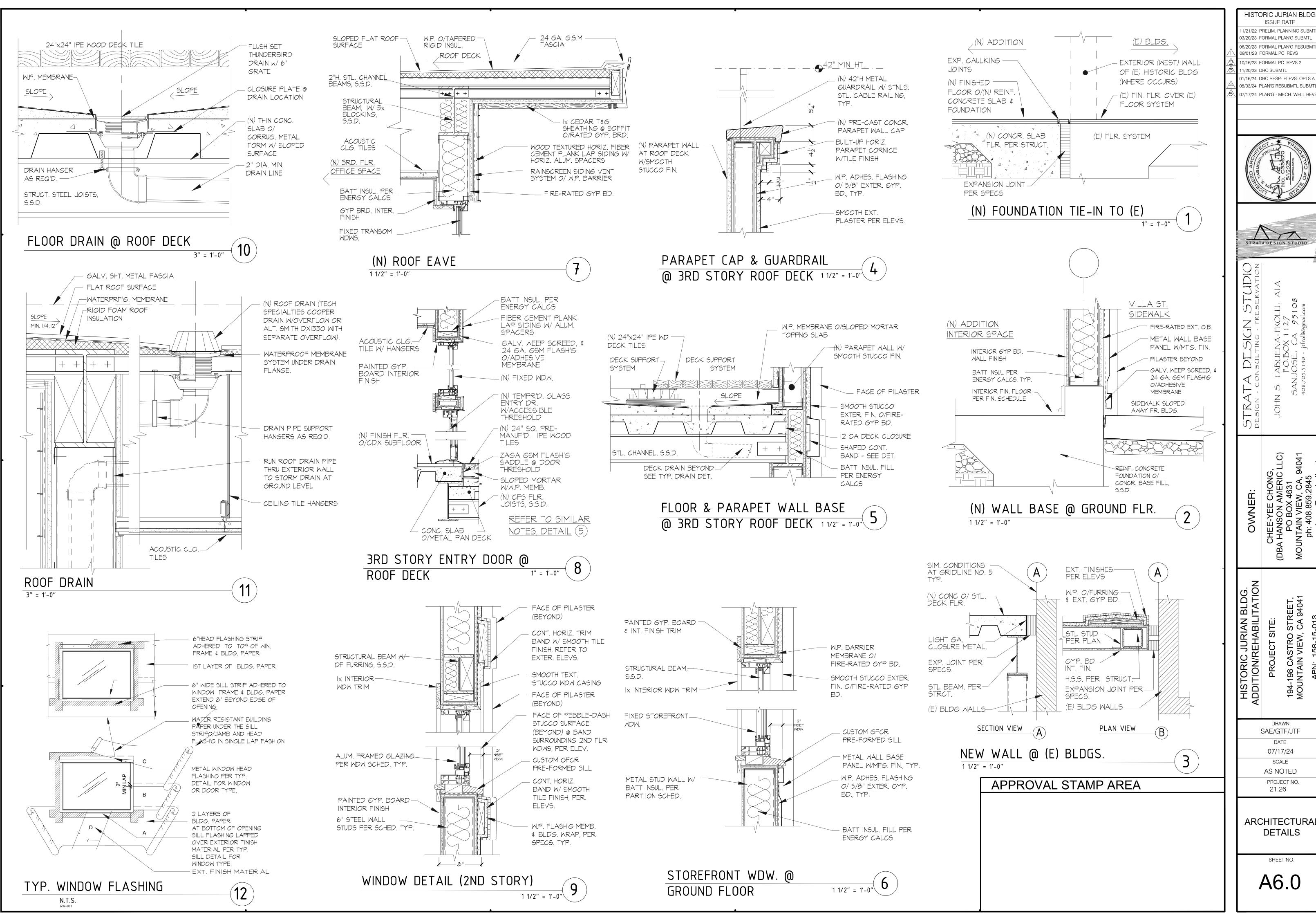
A4.3



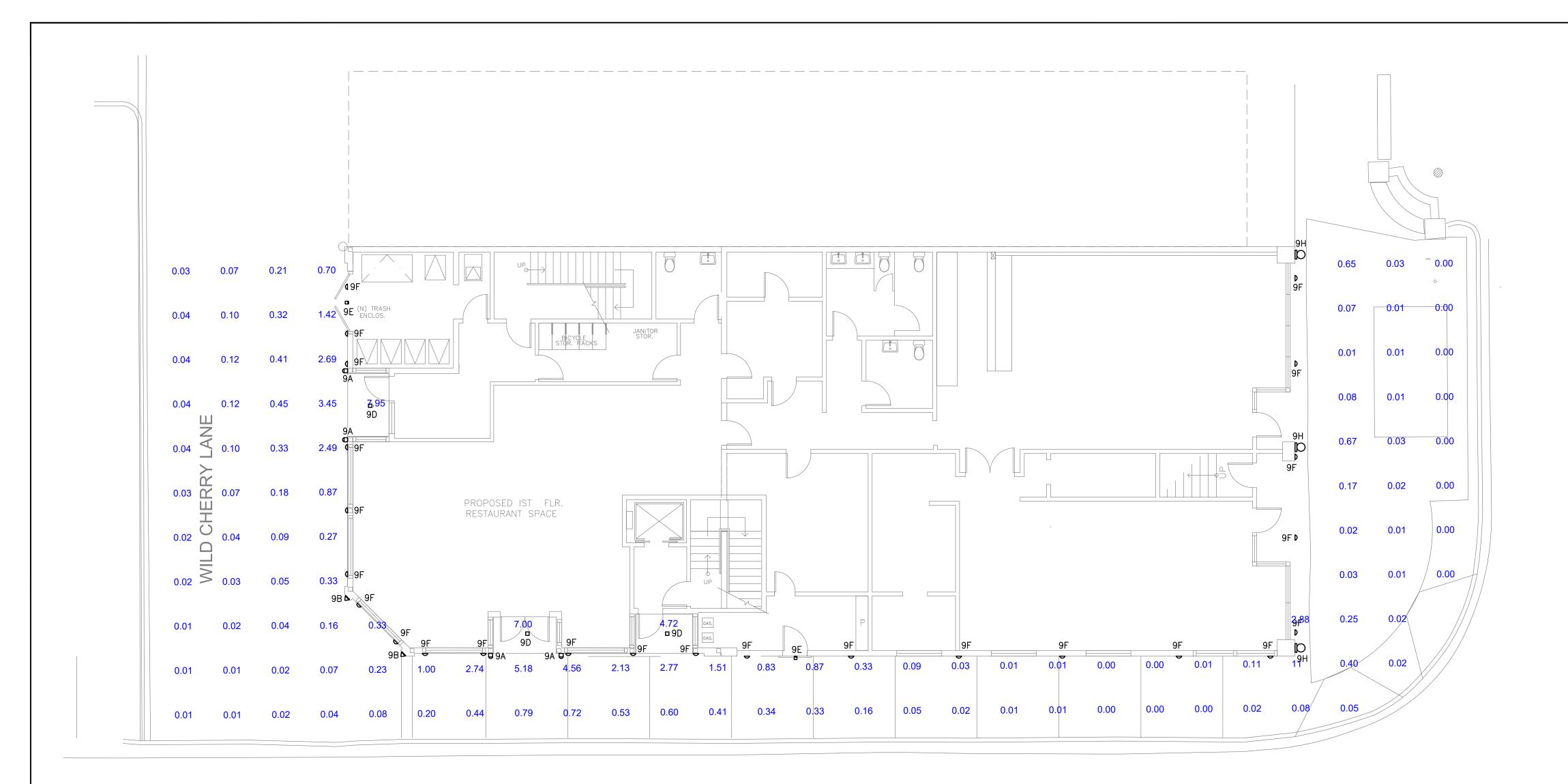
1/16/24 DRC RESP- ELEVS: OPTS A & 5/03/24 PLAN'G RESUBMTL SUBMTL 07/17/24 PLAN'G - MECH. WELL REVS







3/20/23 FORMAL PLAN'G SUBMTL 9/01/23 FORMAL PC REVS /16/23 FORMAL PC REVS 2 1/20/23 DRC SUBMTL /16/24 DRC RESP- ELEVS: OPTS A & 5/03/24 PLAN'G RESUBMTL SUBMT 7/17/24 PLAN'G - MECH. WELL REVS STRATA DE SIGN STUDI 17KC JG, 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041 SAE/GTF/JTF DATE 07/17/24 SCALE AS NOTED PROJECT NO. 21.26 **ARCHITECTURAL DETAILS** SHEET NO. A6.0



# **GENERAL NOTES:**

1. MR ENGINEERING, INC. DISCLAIMER: CALCULATIONS ARE PERFORMED USING INDUSTRY-RECOGNIZED SOFTWARE, AND ARE PROVIDED FOR THE ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US (ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED). IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY THAT OUR INPUT DATA IS CONSISTENT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA. HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOTLAGE, AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DE TO THE ABOVE CONSIDERATIONS, MR ENGINEERING, INC CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.

2. CALCULATION VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE.

PHOTOMETRIC CALCULATION SUMMARY

Fc

ILLUMINANCE

UNITS Fc REQUIREMENT AVG

1.11

54

0.00

DESIGNATION

EXTERIOR

3. PHOTOMETRIC DATA USED AS INPUT FOR THERE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP, RATINGS. FIELD PERFORMANCE WILL DEPEND ON THE ACTUAL LAMP, BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.

DESCRIPTION

39210 State St. Ste. 106
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CONSULTANTS INC.

AVG/MIN | MIN/MAX

0.000

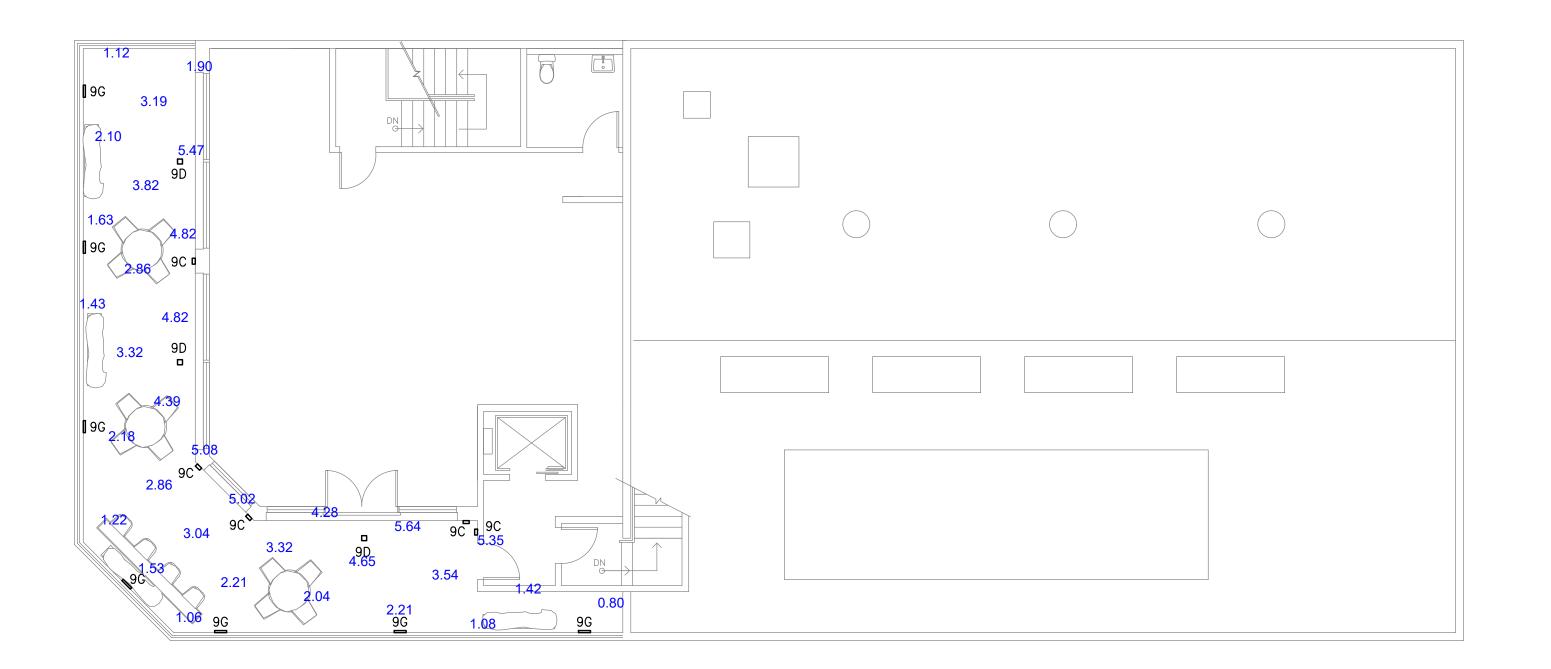
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**ELECTRICAL** SITE PHOTOMETRIC PLAN

JOB NO:E2306-AA284 CHECKED: SCALE: AS SHOWN DATE: 06.19.2023

# ELECTRICAL SITE PHOTOMETRIC PLAN

LIGHTING FIXTURE SCHEDULE											
FIXTURE SYMBOL	FIXTURE TYPE	DESCRIPTION	MANUFACTURER'S CATALOG NO.	NUMBER OF LAMPS	LAMPS TYPE	LUMEN OUTPUT	KELVIN RATING	VOLT	WATTS	MOUNTING	MOUNTING HEIGHT
<b>a</b> 9A	(9A)	CARBON BRONZE LED SCONCE	VAXEL LIGHTING T0376 OR APPROVED EQUAL	1	LED	500 lm	3000K	120	10	WALL MOUNTED	8 ft.
<b>△</b> 9B	9B>	LED WALL SCONCE WHITE METAL	ELEGANT LIGHTING LDOD4022S OR APPROVED EQUAL	1	LED	240 lm	3000K	120	16	WALL MOUNTED	8 ft.
□ 9D	(9D)	RECESSED LED DOWNLIGHT SQUARE	LOTUS LL4SR-27K-K OR APPROVED EQUAL	1	LED	850 lm	2700K	120	14.5	RECESSED MOUNTED	8 ft.
<b>9</b> 9E	9E>	LED OUTDOOR WALL SCONCE GRAY METAL	TECH LIGHTING 700WSPITSI-LED830 OR APPROVED EQUAL	1	LED	823 lm	3000K	120	26.1	WALL MOUNTED	8 ft.
<b>-</b> 9F	9F>	LANDSCAPE ACCENT LIGHT	KICHLER LIGHTING 15491CBR BULB: VOLT LIGHTING MR8-15-27-38C-R1 OR APPROVED EQUAL	1	MR8	175 lm	2700K	12	2	SURFACE MOUNTED	18 ft. (ledge)
<u>Q</u> 9Н	9H>	BRONZE OUTDOOR WALL LIGHT	LAMP PLUS, PARK SIENNA 75G70 BULB: GE REFRESH HD 00043168317412 OR APPROVED EQUAL	3	LED	960 lm	5000K	120	12	WALL MOUNTED	8 ft.



# 1

# ELECTRICAL PHOTOMETRIC PLAN - THIRD FLR. ROOF DECK

SCALE: 1/8"=1'-0

LIGHTING FIXTURE SCHEDULE											
FIXTURE SYMBOL	FIXTURE TYPE	DESCRIPTION	MANUFACTURER'S CATALOG NO.	NUMBER OF LAMPS	LAMPS TYPE	LUMEN OUTPUT	KELVIN RATING	VOLT	WATTS	MOUNTING	MOUNTING HEIGHT
<b>□</b> 9C	(9C)	BLACK LED WALL SCONCE	MAXIM 56190BGBK OR APPROVED EQUAL	1	LED	600 lm	3000K	120	7	WALL MOUNTED	8 ft.
□ 9D	(9D)	RECESSED LED DOWNLIGHT SQUARE	LOTUS LL4SR-27K-K OR APPROVED EQUAL	1	LED	850 lm	2700K	120	14.5	RECESSED MOUNTED	8 ft.
<b>—</b> 9G	(9G)	LED OUTDOOR WALL SCONCE	KUZCO LIGHTING EW71412-GY, GRAY OR APPROVED EQUAL	1	LED	369 lm	3000K	120	23	WALL MOUNTED	8 ft.

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PHOTOMETRIC DATA USED AS INPUT FOR THERE CALCULATIONS IS BASED ON ESTABLISHED IES
PROCEDURES AND PUBLISHED LAMP, RATINGS. FIELD PERFORMANCE WILL DEPEND ON THE ACTUAL LAMP,
BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.

·		

DESCRIPTION

ORIC JURIAN BUILDING 94–198 CASTRO STREET.



PHOTOMETRIC CALCULATION SUMMARY	

DESIGNATION	CALC TYPE	UNITS	Fc REQUIREMENT	AVG	MAX	MIN	AVG/MIN	MIN/MAX
3RD FLR. ROOF DECK	ILLUMINANCE	Fc	1	3.13	6.78	0.47	0.151	0.070

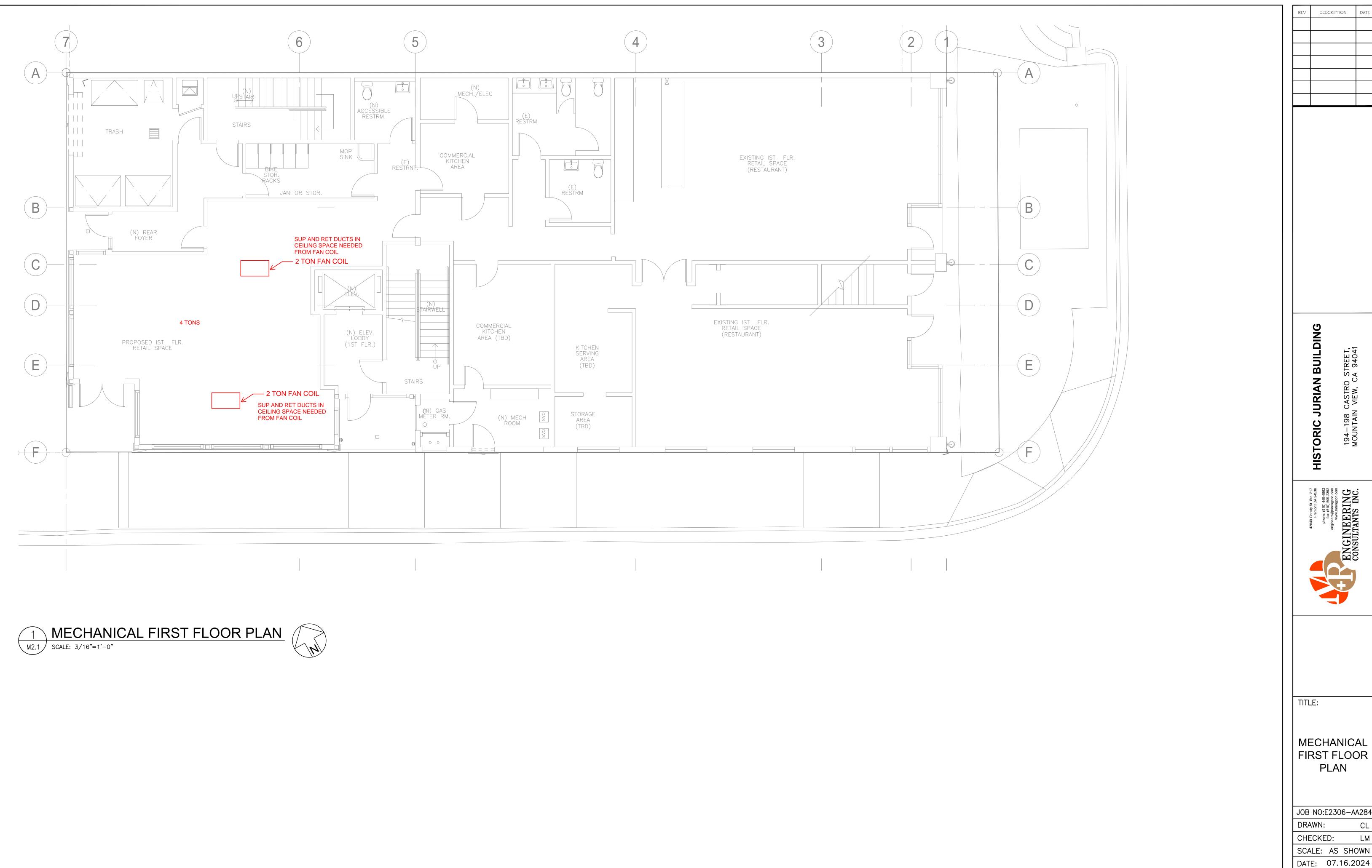
TITLE

ELECTRICAL
PHOTOMETRIC
PLAN THIRD FLR.
ROOF DECK

JOB NO:E2306-AA284
DRAWN: BC

CHECKED: RA
SCALE: AS SHOWN
DATE: 06.19.2023

E1.1



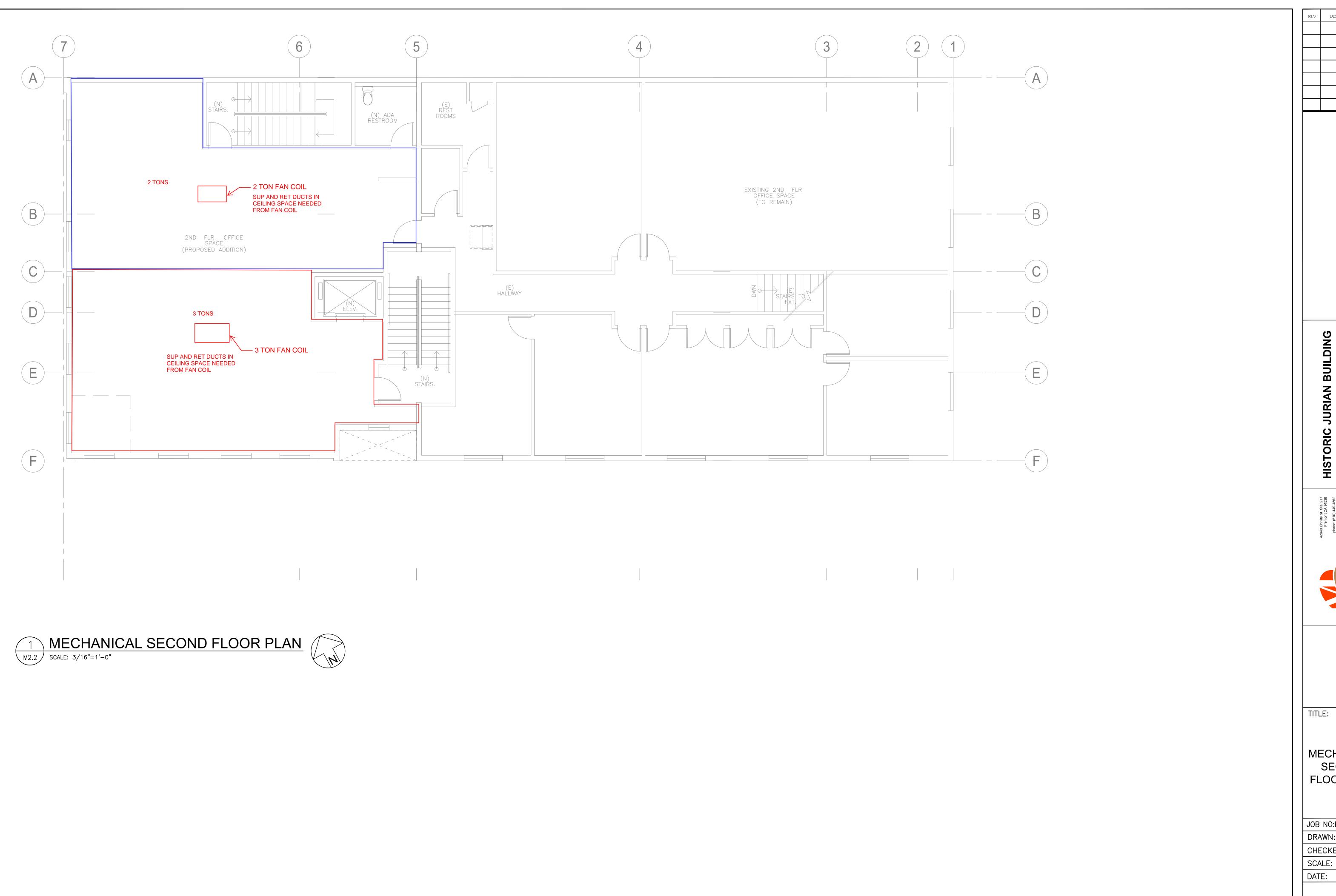
HISTORIC JURIAN BUILDING

#2840 Christy St. Ste. 217
Fremont CA 94538
Fremont CA 94538
phone: (510) 449-4862
fax: (510) 509-2362
engineers@mengcon.com
www.mrengcon.com
www.mrengcon.com
CONSULTANTS INC.

MECHANICAL FIRST FLOOR PLAN

CHECKED: SCALE: AS SHOWN DATE: 07.16.2024

M2.1



V DESCRIPTION DATE

JURIAN BUILDIN

42840 Christy St. Ste. 217
Fremont CA 94538
phone: (510) 449-4862
fax: (510) 699-2862
enginees@mrengcon.com
www.mrengcon.com
www.mrengcon.com
CONSULTANTS INC.

MECHANICAL SECOND FLOOR PLAN

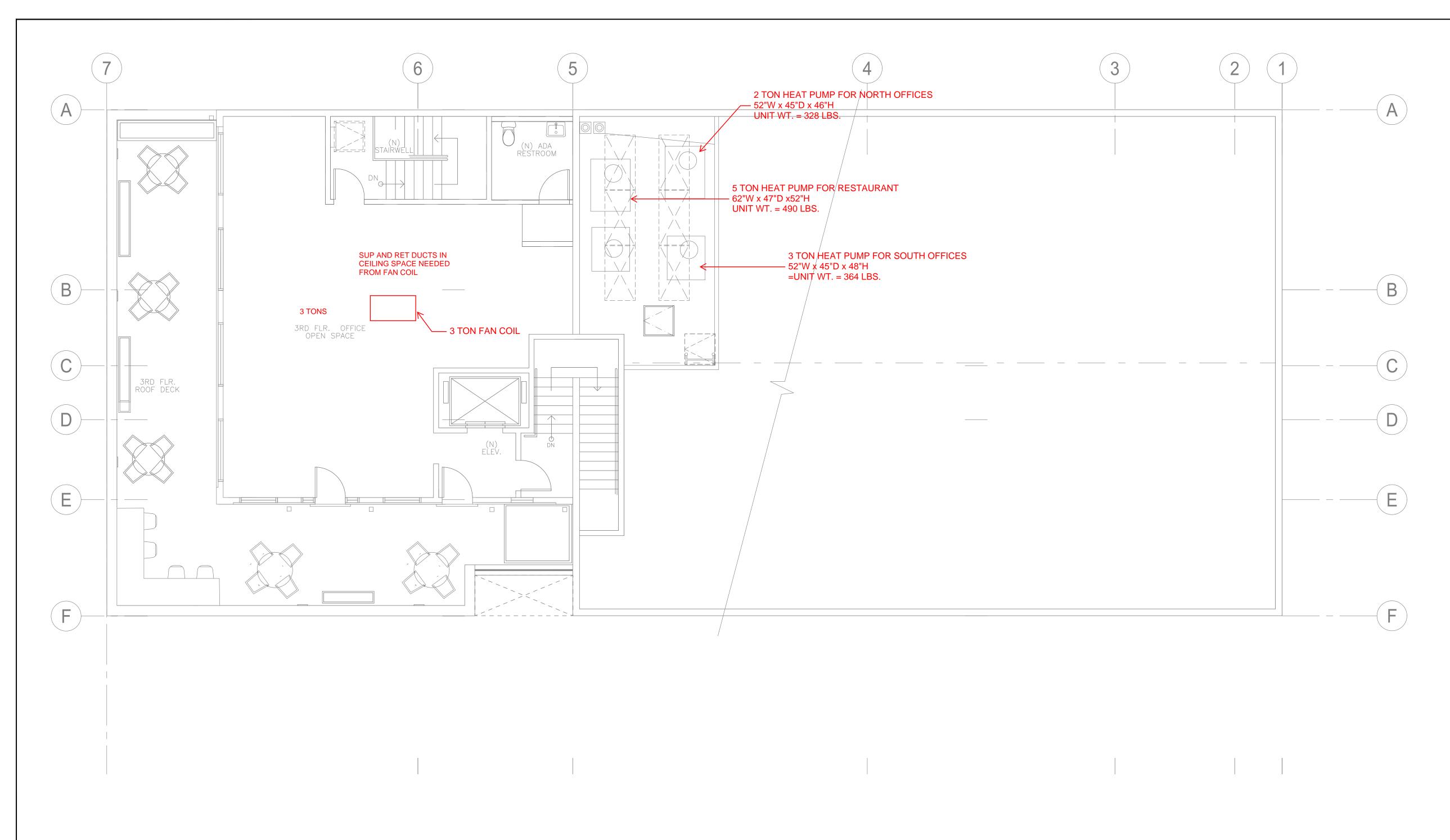
JOB NO:E2306-AA284

DRAWN: CL

CHECKED: LM

SCALE: AS SHOWN DATE: 07.16.2024

M2.2



MECHANICAL THIRD FLOOR PLAN

SCALE: 3/16"=1'-0"

REV DESCRIPTION DATE

HISTORIC JURIAN BUILDING



TITLE:

MECHANICAL THIRD FLOOR PLAN

JOB NO:E2306-AA284

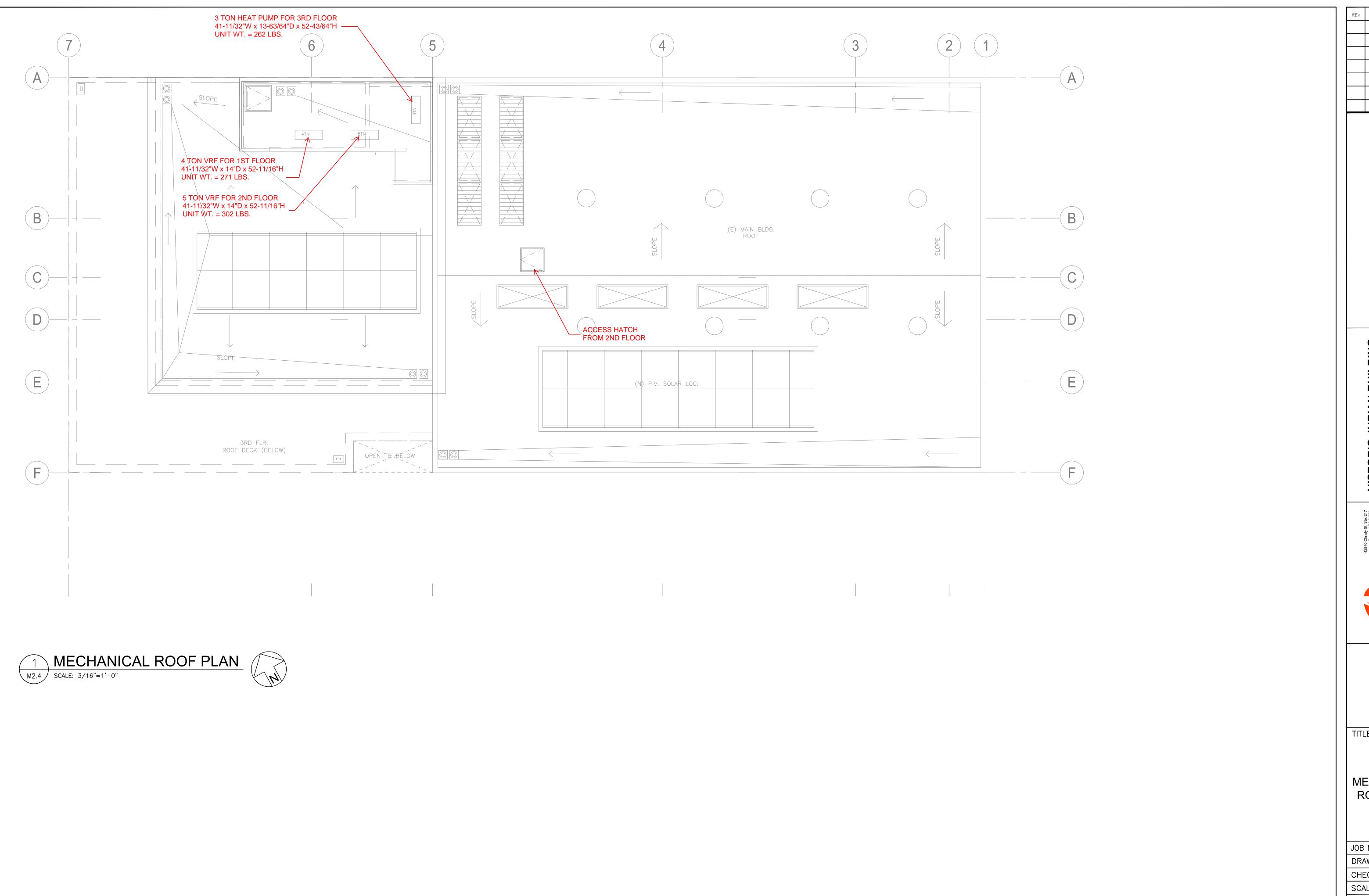
DRAWN: CL

CHECKED: LM

SCALE: AS SHOWN

DATE: 07.16.2024

M2.3



DESCRIPTION

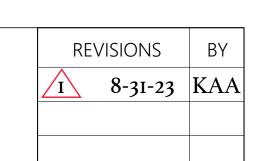
HISTORIC JURIAN BUILDING

42840 Christy St. Ste. 217
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fax: (510) 509-2362
engineer@miengcon.com
www.miengcon.com
www.miengcon.com
CONSULTANTS INC.

MECHANICAL **ROOF PLAN** 

JOB NO:E2306-AA284 CHECKED:

SCALE: AS SHOWN DATE: 07.16.2024







DING View CA B

LANDSCAPE

GROUND LEVEL

Street Mountain 194-198 Castro

DATE 04-10-24 SCALE 1/8"=1'-0"

DRAWN IN CASTRO JOB BLDG.

1 24" Box Low 1St Floor Replacement Tree

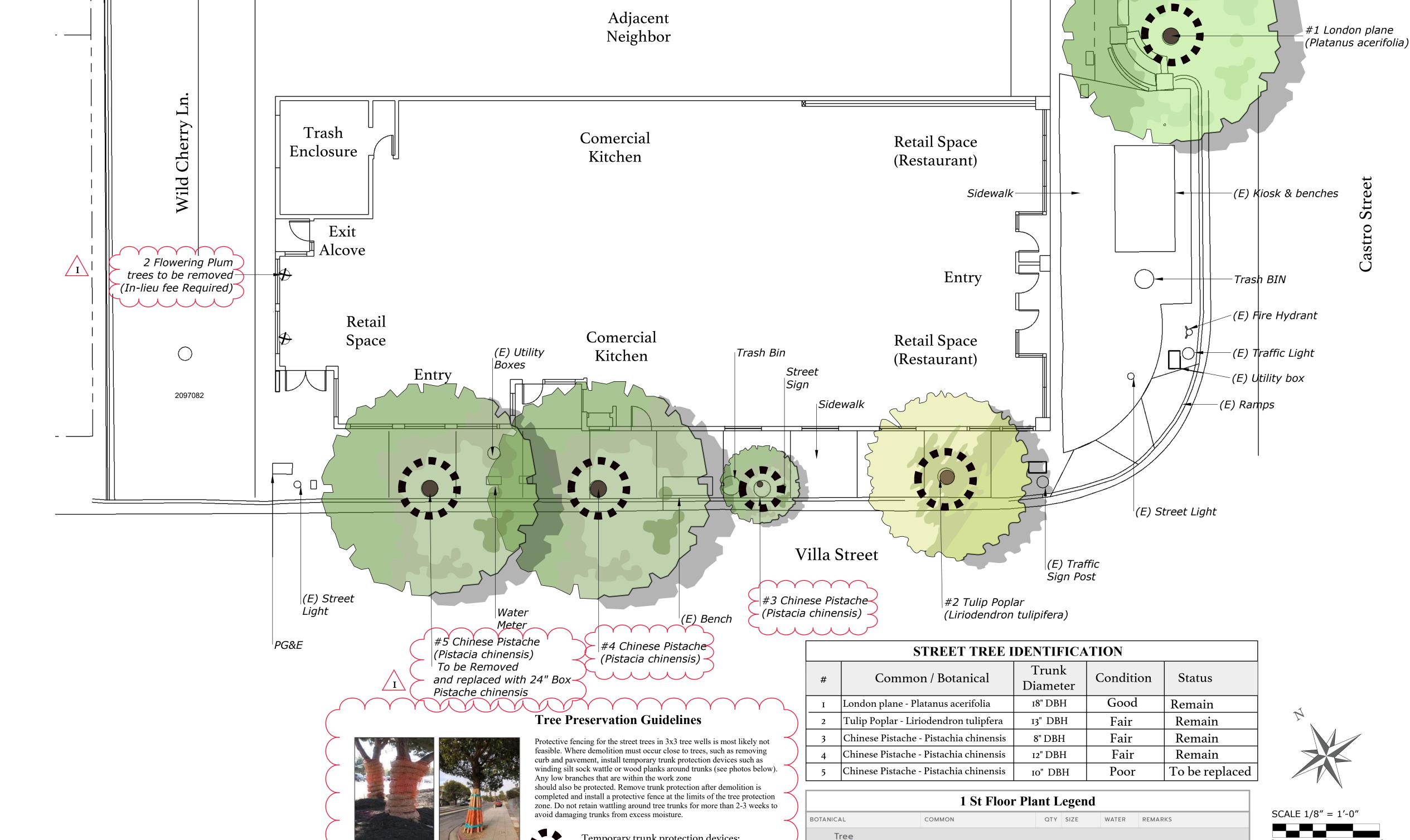
Chinese Pistache

Street trees information & recommendations.

NOTE: Refer to arborist report by Alpine Landscape for

L-1

\* NOTES (E) = Existing

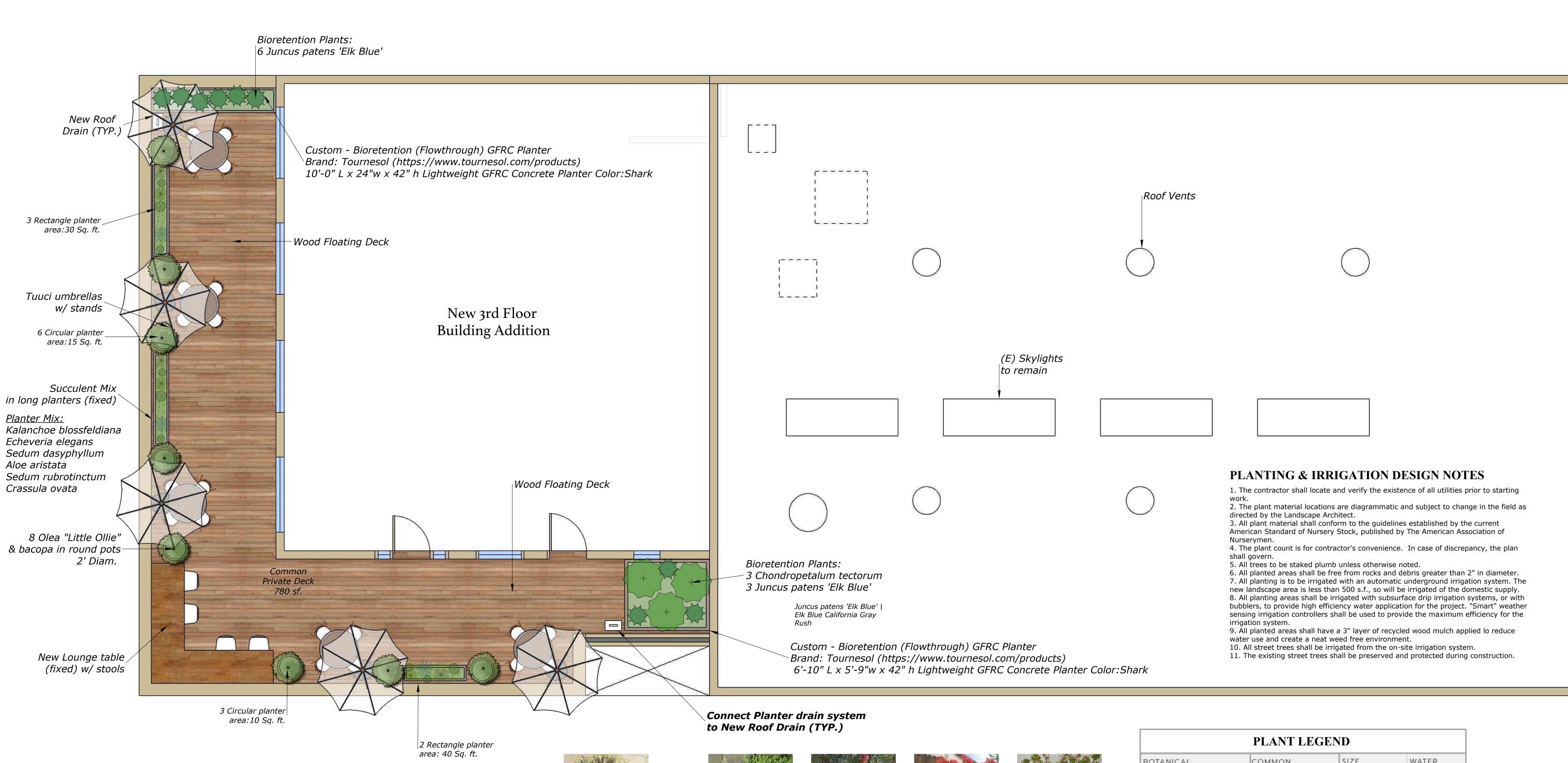


Temporary trunk protection devices:

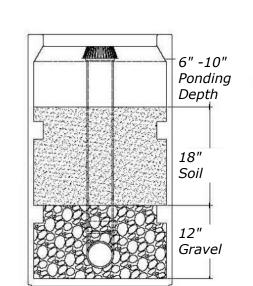
Winding silt sock wattle or Wood

planks around trunks

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Custom - Bioretention (Flowthrough) GFRC Planter Brand: Tournesol



Overflow \_\_\_\_\_

Perforated Pipe

(Drainage System)

**Section showing internal** 

plumbing configuration

Section showing typical layer depths





Fiberglass Planter boxes Brand: Tournesol

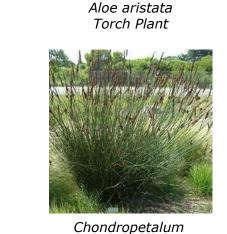
pipe connection



Floating deck

IPE Wood FSC

Brand: Tile tech



tectorum - Cape Rush

Olea europaea 'Little Ollie

Little Ollie Dwarf Olive



Sedum dasyphyllum 'Major'

Blue Tears Sedum

Juncus 'Elk Blue'

California Gray Rush





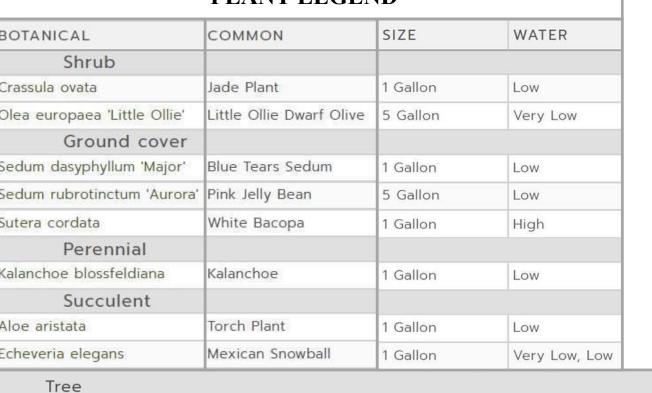


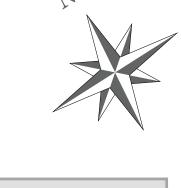


Crassula ovata

Jade Plant

Pistacia chinensis





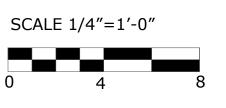
1St Floor Replacement Tree

SCALE 1/4"=1'-0" All planted areas are to be watered with an approved automatic underground irrigation

1 24" Box Low

system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261. as required by the State of California. An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient landscape Ordinance. The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment. materials, and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

Chinese Pistache



\* NOTES (E) = Existing

**L-2** 

DATE

SCALE

DRAWN IN

REVISIONS

& ASSOCIATES
LANDSCAPE ARCHITECTURE & DESIGN

SSOCIATE

ARCHITECTS

AREN AITKEN LANDSCAPE

8262 Rancho Real Gilroy Ca. 95020 Calif. Reg.#2239 (408) 842-0245 karen@KAA.Design

NOTE

DESIG

 $\approx$ 

**PLAN** 

LANDSCAPE

ROOF

04-10-24

1/8"=1'-0"

**CASTRO** 

BLDG.

Mountain

**Castro** 

861

DATE 04-10-24 SCALE 1/8"=1'-0"

SCALE 1/4"=1'-0"

\* NOTES (E) = Existing

**Total Irrigated Landscape Area** 

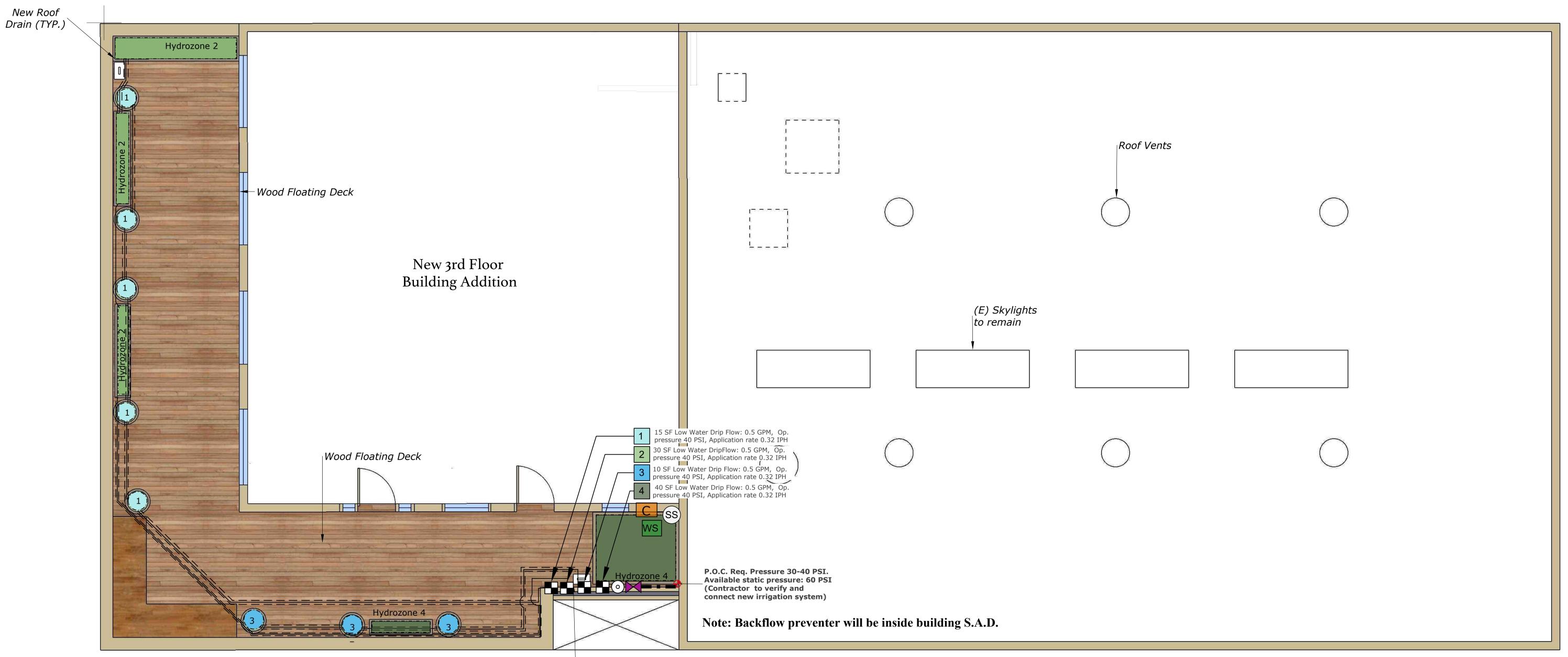
Represent 95 sf.

(Planters & Bioretention Planters)

DRAWN IN CASTRO

JOB BLDG.

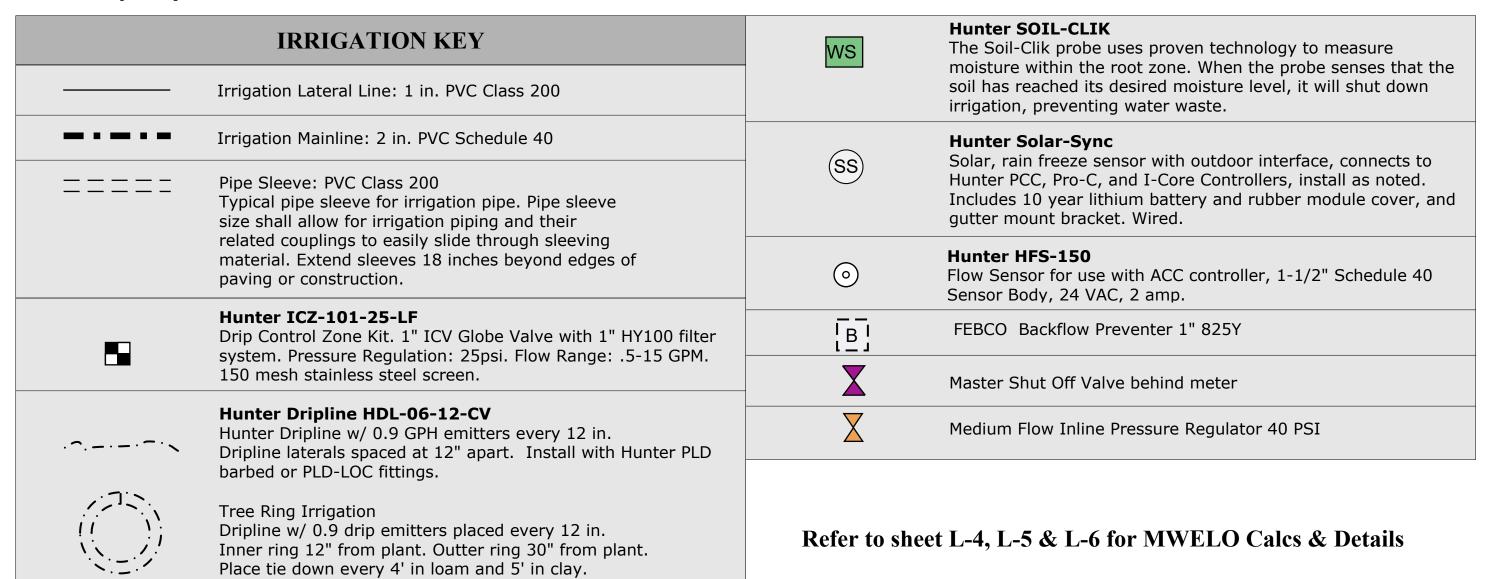
L-3



Connect Planter drain system to New Roof Drain (TYP.)

Valve #	Hydrozone/Water Use	Days of the Week	Run Time	Gal. Per Day
1	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	5 Gal.
2	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	7 Gal.
3	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	4 Gal.
4	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	8 Gal.

System only operates between 8:00 p.m. and 10:00 a.m. Uses Rain Sensor & Automatically Adjusts for the time of year.



12 to 42 Station Outdoor Modular Controller. No Module

Required. High-End Commercial Use. Metal Cabinet.

**Hunter ACC-1200** 

REVISIONS 8-31-23 KAA

Karen Aitken & ASSOCIATES LANDSCAPE ARCHITECTURE & DESIGN

ARCHITECTS

SSOCIATES

8262 Rancho Real Gilroy Ca. 95020 Calif. Reg.#2239 (408) 842-0245 karen@KAA.Design ANDSC/

DULE

SCHE Mountain astro IRRIG. 861  $\blacksquare$ 

No. 2239

04-10-24 SCALE AS NOTED

DRAWN IN CASTRO BLDG.

Karen Aitken & Associates - These drawings are instruments of service, issued for a one-time single use by the owner. The entire contents of the landscape architect. The proper electronic transfer of data shall be the user's responsibility without liability to the landscape architect. Owner shall assume responsibility for compliance with all easements, setback requirements and property lines. Owner shall acquire all necessary permits required to perform work shown on plans. Base information has been provided by the owner. Karen Aitken & Associates assumes no liability for the accuracy of said property line boundaries, fence lines or property corners.

YPICAL DRIPLINE LAYOUT

AIR RELIEF VALVE IN PVC HEADER

TREE PROTECTION DETAILS



# CITY OF MOUNTAIN VIEW

# WATER-EFFICIENT DESIGN AND MAINTENANCE CHECKLIST

Project Site Address: 194-198 Castro Street Mountain View CA

Required Sul	omittals (check	if completed)
CONTRACTOR CONTRACTOR OF CONTRACTOR CONTRACT		

1. Water-Efficient Design and Maintenance Checklist

2. Landscape Design Plan

PS-27 (Rev. 07-05-16)

Irrigation Design Plan

4. Water Budget Calculation Worksheet (NOT needed if Plant-Type Restriction Option is chosen)

5. Certification of Installation (Within 60 days of installation)

Landscape Design Plan Requirements

Parameter	Requirements	Completed
Plantings	Plant Table included in plan with plant symbol, common name, botanical name, container size, quantity, type (e.g., grass, succulent, vine, shrub, tree), water-efficient species identification (low, moderate, high), and unique physical specifications of plants, if applicable.	×
	Plant types are assigned appropriate water-use levels based on the WUCOLS species evaluation list (i.e., "turf" is not assigned a "low"-water use).	×
	Avoid invasive plants in plan, such as those listed by the California Invasive Plant Council.	×
	Square footages of planted areas and water features (i.e., fountains and pools) noted on the Landscape Design Plan and match areas listed in Compliance Option 1 calculations on Page 2, if applicable.	×
Turf	Turf areas are at least 10° wide, unless watered with subsurface drip irrigation.	
	Turf is not planted on slopes of 25 percent grade or more.	
	Turf is at least 24 away from nonpermeable hardscape (except internal pathways), unless watered with subsurface drip irrigation.	
Special Landscape Areas	Areas identified as SLAs meet the definition of a Special Landscape Area:  An area of landscape dedicated solely to edible plants, areas irrigated with nonpotable water, water features using nonpotable water, and areas dedicated to active play (parks, sports fields, golf courses).  SLAs DO NOT INCLUDE front-yard and backyard lawns of private residences or water features that use potable water.	
Hydrozones	Plants are grouped by hydrozone (similar water needs, sun exposure, slope, soil).	X
	Hydrozones, including SLAs, are delineated and labeled with square footages.	
	Hydrozones are labeled as low, moderate, high, or mixed (low/moderate) water use.	×
	High-water-use plants are confined to their own hydrozones (not mixed with plants with low- or moderate-water needs).	×
	Single hydrozones with both low- and moderate-water-use plants are labeled "mixed."	×
	Hardscapes are identified.	×
	Square footages for hydrozones, water features, and SLAs on plan match those listed on the Water Budget Calculation Worksheets (if Compliance Option 2 is chosen).	×
Mulch	Mulch is at least 3" deep on exposed soil surfaces. Depth and type of mulch are noted in plan.	X
Water	Recirculating (if water features are included in plan).	
eatures	Pool/spa cover (if pool/spa is included in plan).	
Grading and	Grading contours and quantities shown on Landscape Design and/or Irrigation Design Plan.	
Stormwater	Grading meets applicable requirements of City Standard Design Criteria.	
Management	Stormwater management practices are incorporated appropriately.	X

Page 1 of 3

Irrigation Design Plan Requirements

Parameter	Requirements		Completed		
Design	Irrigation system is designed to avoid overspray and run	off.	×		
	Overhead irrigation is NOT used in the following locations: on slopes greater than 25 percent (except in defined amphitheaters), within 24" of an impervious surface (except for internal pathways) or in any narrow or irregularly shaped area that is less than 10' in width in any direction. **				
	Each irrigation valve waters only one type of hydrozone.				
Equipment	Location, type, and size of all irrigation system componer include controllers, main and lateral lines, valves, sprregulators, and backflow prevention devices.		×		
	The following irrigation components are included and noted in plan:				
	Automatic irrigation controllers	Rain-sensing shutoff devices	×		
	Master shut-off valves or equivalent technology	Check valves or anti-drain valves			
	Swing joints or other riser-protection components	Flow sensors	×		
	Pressure regulators or booster pumps (if applicable)  Flow/application rate and operating pressure for each station				
	Static water pressure at point of connection to public water supply.				
	Location and size of dedicated irrigation meter (if landscape area is > 1,000 square feet).				
Scheduling	Proposed irrigation schedule is provided.				
	System only operates between 8:00 p.m. and 10:00 a.m.				

 Compliance Option Requirements

 Option 1: Plant-Type Restriction

 Option 2: Water Budget

Option 1: Plant-Type Restriction Requirements

High-water-use plants (e.g., turf) are not used in the landscape area.

At least 80 percent of plantings are California native or low-water-use plants.

# Option 2: Water Budget Calculation Requirements

A water budget calculation is NOT required if plans comply with Compliance Option 1. Water Budget Calculation worksheets are available in hard copy at the City of Mountain View's Planning office or online: <a href="mailto:mountainview.gov/depts/comdev/planning/application.asp">mountainview.gov/depts/comdev/planning/application.asp</a>

Parameter	Requirements	
Compliance	Water Budget Calculation worksheet completed and printed for submission.	×
	Landscape's water use is within budget: MAWA ≥ ETWU.	X
Appropriate Labeling	Plant factors in calculation worksheet are assigned as follows: 0.3 for low-water-use plants; 0.5 for moderate-water-use plants; and 0.8 for high-water-use plants. "Mixed" hydrozone areas are considered moderate-water-use areas and are assigned a factor of 0.5.	X
	Irrigation methods are assigned appropriate water-use levels (Spray=0.75 Drip=0.81).	X

I certify that information provided on this checklist is correct and meets the specified requirements of the Water Conservation in Landscaping Regulations.

onservation in Landscaping Regulations.		
( Kar 1 Atker	9-13/23	
Signature of Project Applicant or Authorized Representative	Date	

PS-27 (Rev. 07-05-16) Page 2 of 3

Landscape and Irrigation Maintenance Checklist

Pursuant to the City of Mountain View's Water Conservation in Landscaping Regulations, landscapes and irrigation systems shall be maintained to ensure successful establishment following installation, and to ensure the efficient use of water. Maintenance shall be performed regularly and must include, at a minimum, the following components:

Parameter	Components	Completed	
Irrigation System	System check (every six months)		
	Routine inspection (monthly)	×	
	Adjustment and repair	×	
	Failed irrigation hardware components shall be replaced with the same or functionally equivalent components	X	
Landscape	Replenish mulch	X	
	Fertilize	×	
	Prune	×	
	Weed control	×	
	Pest control	×	
	Aeration and dethatching of turf areas	×	
	Failed plants shall be replaced with the same or functionally equivalent plants	X	

To the best of my ability, the landscape and irrigation systems installed as part of this project will be maintained on a regular basis and in compliance with the Water Conservation in Landscaping Regulations.

X Kan-JAtker	9-13-23		
Signature of Project Applicant or Authorized Representative	Date		

PS-27 (Rev. 07-05-16)

Page 3 of 3

Karen Aitken & ASSOCIATES LANDSCAPE ARCHITECTURE & DESIGN

REVISIONS

9-13-23 |KAA|

AREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS
8262 Rancho Real Gilroy Ca. 95020
Calif. Reg.#2239 (408) 842-0245
karen@KAA.Design

ORIC JURIAN BUILDING
Castro Street Mountain View CA

No. 2239

EXP. 18-31-25

TO THE CHARLES A TH

861

DATE 04-10-24
SCALE AS NOTED

JOB CASTRO BLDG.

BLDG.

L-5 \( \frac{2}{2} \)

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## Notes on MAWA equation

 $MAWA = (43) \times (0.62) \times [(0.45 \times LA) + (0.55 \times SLA)]$ 

MAWA = Maximum Applied Water Allowance (gallons per year)

43 = Reference Evapotranspiration (ETo) for the City of Mountain View (inches per year)

0.62 = Conversion Factor (to gallons per square foot)

0.45 = ET Adjustment Factor (ETAF)

LA = Landscaped Area (Includes Special Landscape Area; in square feet) 0.55 = The Additional ET Adjustment Factor for Special Landscape Area (1.0-0.7=0.3)

SLA = Portion of the Landscape Area identified as Special Landscape Area (square feet)

Notes on ETWU equation

ETWU =  $[(43) \times (0.62) \times (PF \times HA/IE)] + [(43) \times (0.62) \times SLA]$ 

ETWU = Estimated Total Water Use

43 = Reference Evapotranspiration (ETo) for the City of Mountain View (inches per year)

0.62 = Conversion Factor (to gallons per square foot)

PF = Plant Factor

HA = Hydrozone Area

IE = Irrigation Efficiency

SLA = Special Landscape Area (square feet)

SLAs and Water Features are automatically assigned an IE value of 1.00 to calculate individual hydrozone ETWUs. The IE values entered by the user for SLAs and Water Features are ignored.

# Notes on Special Landscape Areas (SLAs)

### Qualifying SLAs include:

- \* Areas dedicated solely to edible plants
- \* Areas irrigated with nonpotable water.
- Water features (i.e. fountains and pools) using a nonpotable water supply.
- Areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.

# Qualifying SLAs DO NOT include:

- \* Front-and back-yard lawns of private residences, and
- \* Water features (i.e. fountains and pools) using "recirculated" potable water.

"Nonpotable" water includes recycled water, graywater or rainwater. Nonpotable water does not include private groundwater supplies.

# References and Resources

This Water Budget Calculation worksheet was created for the City of Mountain View in accordance with the State's Model Water-Efficient Landscape Ordinance, EO B-29-15 and the City of Mountain View's Water Conservation in Landscaping Regulations.

Click here for information on EO B-29-15

Click here for the City of Mountain View's Water Conservation in Landscaping Regulations.

# SECTION B. ESTIMATED TOTAL WATER USE (ETWU)

Table B-1. Plant Factor and Irrigation System Information [3] [2] [4] [1] Enter Data Here Plant Hydrozone Irrigation Plant Water ETWU Imigation Hydrozone Label Plant Type Factor Area (HA) Efficiency (IE) (galiyr) Use Type Method (PF) square feet 148 Shrubs 0.3 0.81 15 Drip 296 0.3 0.81 Shrubs 30 Low Drip Shrubs 99 0.3 10 0.81 Shrubs 0.3 40 395 Low Drip 0.81

Hydrozone areas, irrigation methods and efficiencies are entered where required:

[6]

Estimated Total Water Use = gallons/year

# SECTION C. COMPARISON OF ETWU AND MAWA

The calculated ETWU may not exceed the calculated MAWA.

MAWA= 1,140 ETWU= Ifrom Section AJ [from Section B]

Congratulations! Your electronic Water Budget Calculation Worksheet is complete.

Please print Sections A, B & C and submit them with your application.



CITY OF MOUNTAIN VIEW

# WATER BUDGET CALCULATION WORKSHEET - ELECTRONIC

[1]

Project Site Address: 194-198 Castro Street

# Please Note: A Water Budget Calculation Worksheet is required ONLY if:

(1) High-water-use plants are included in the landscaped area, and/or

(2) Less than 80% of the landscape area is planted with California Native and/or low-water-use plants

# SECTION A. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

### Table A-1. Hydrozone Area Information

[2] Enter Data Here	[ 3 ] Enter Data Here	[ 4 ] Enter Data Here	[ 5 ] Enter Data Here
Hydrozone Label	Flant Water Use Type	Plant Type	Hydrozone Area (square feet)
1	Low	Shrubs	15
2	Low	Shrubs	30
3	Low	Shrubs	10
4	Low	Shrubs	40
		11	ij.

OK

## Summary of Hydrozone Area Information

Summary Area	Area (square feet)		
Sum of Low-Water-Use Areas	95		
Sum of Moderate & Mixed-Water-Use Areas	0		
Sum of High-Water-Use Areas	0		
Sum of Special Landscape Areas	0		
Sum of all Landscape Areas	95		

Maximum Applied Water Allowance = 1,140 gallons per year.

1 of 2 Date Printed: 8/21/2023 Version: Diecember 6, 2010



REVISIONS

N & ASSOCIATES ARCHITECTS 8262 Rancho Real Gilroy Ca. 95020 Calif. Reg.#2239 (408) 842-0245 karen@KAA.Design AREN AIT LANDSCA

ONS

Street Mountain WATER BUDGET 861

DATE 10-16-23 SCALE AS NOTED DRAWN IN **CASTRO** BLDG.



KAREN AITKEN & ASSOCIATES LANDSCAPE ARCHITECTS 8262 Rancho Real Gilroy Ca. 95020 Calif. Reg.#2239 (408) 842-0245 karen@KAA.Design

DING Street Mountain  $\mathbf{M}$ Castro 198

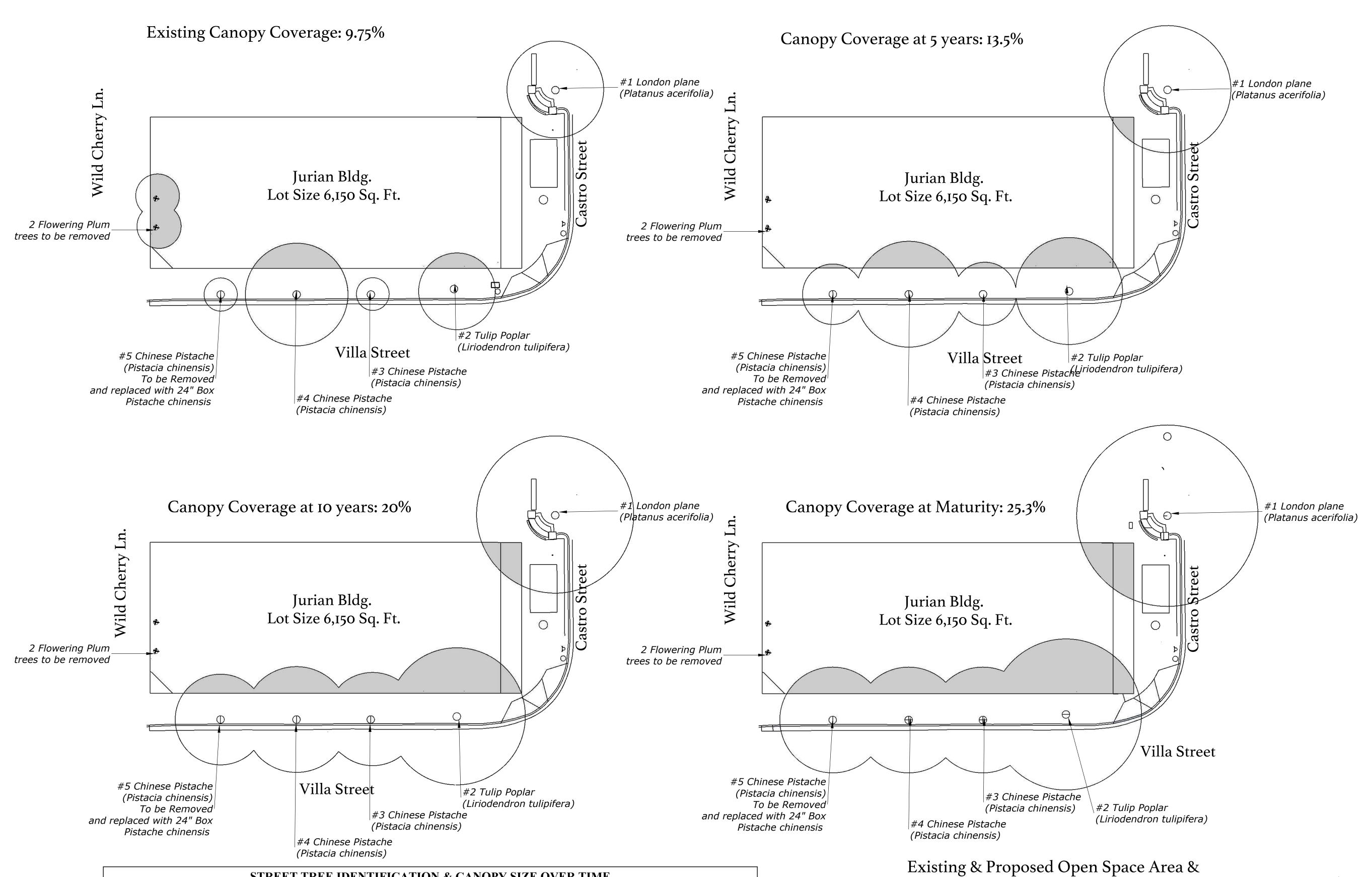
**CANOPY PLAN** 

TREE

DATE 04-10-24 SCALE 1/16"=1'-0"

DRAWN IN CASTRO

BLDG.



STREET TREE IDENTIFICATION & CANOPY SIZE OVER TIME								
#	Common / Botanical	Trunk Diameter	Condition	Status	(E) Canopy Size (Diam)	Canopy in 5 years	Canopy in 10 years	Canopy at Maturity
I	London plane - Platanus acerifolia	18" DBH	Good	Remain	32'	42'	52'	60'
2	Tulip Poplar - Liriodendron tulipfera	13" DBH	Fair	Remain	25.5'	35.5'	45.5'	50"
3	Chinese Pistache - Pistachia chinensis	8" DBH	Fair	Remain	II'	21'	31'	35'
4	Chinese Pistache - Pistachia chinensis	12" DBH	Fair	Remain	32'	35'	35'	35'
5	Chinese Pistache - Pistachia chinensis (24" Box same species replacement)	To be	To be	Replacement due to (E) #5 Poor	IO'	20'	30'	35'

NOTE: Refer to arborist report by Alpine Landscape for Street trees information & recommendations.

\* NOTES (E) = Existing

SCALE 1/16'' = 1'-0''

Canopy Coverage Data

7.5% of lot

7.8% of Lot

16.2% of Lot

22.0% of Lot

462 SF

485 SF

995 SF

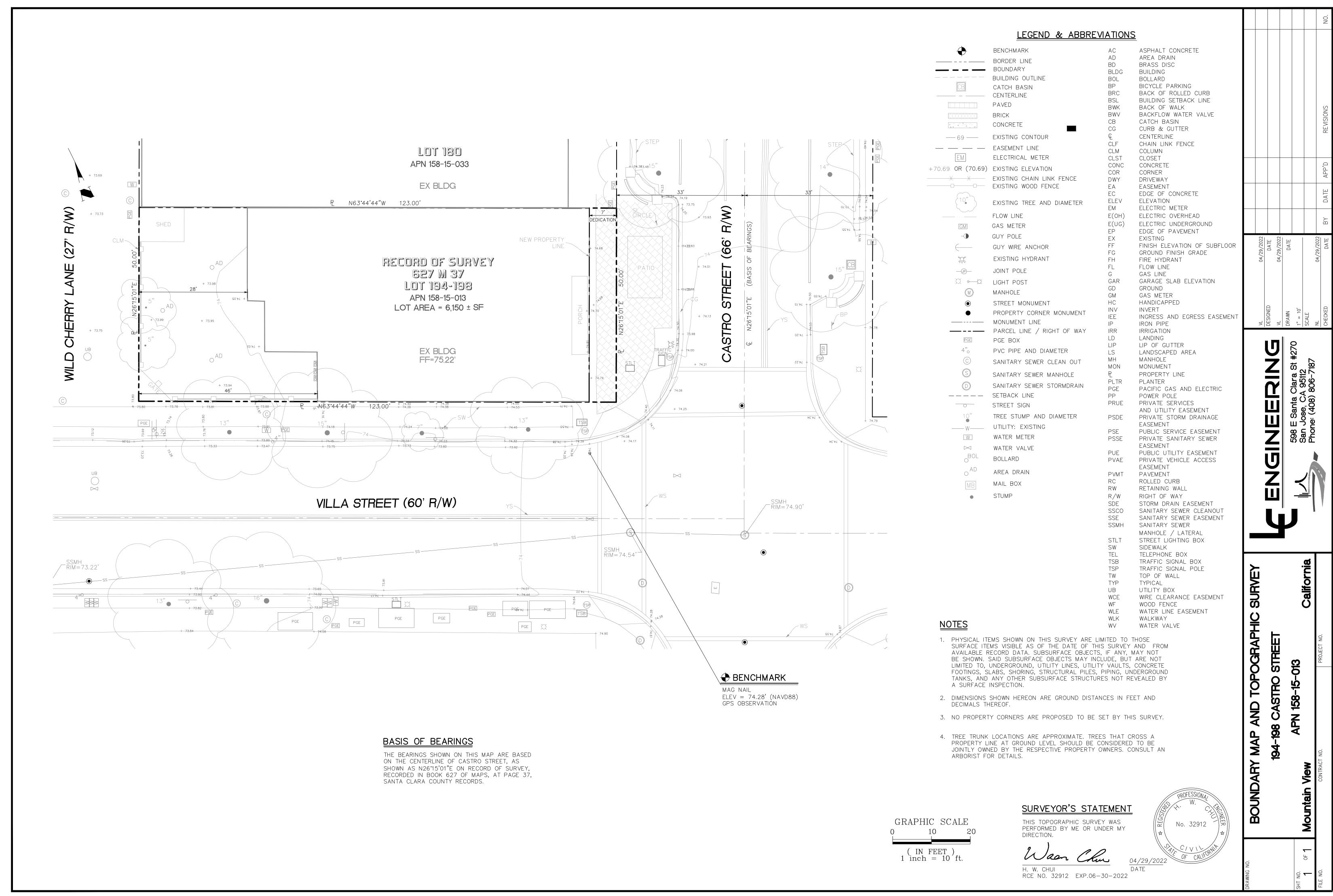
1,355 SF

Exisiting Canopy Coverage

Canopy Coverage at 5 years

Canopy Coverage at 10 years

Canopy Coverage at maturity



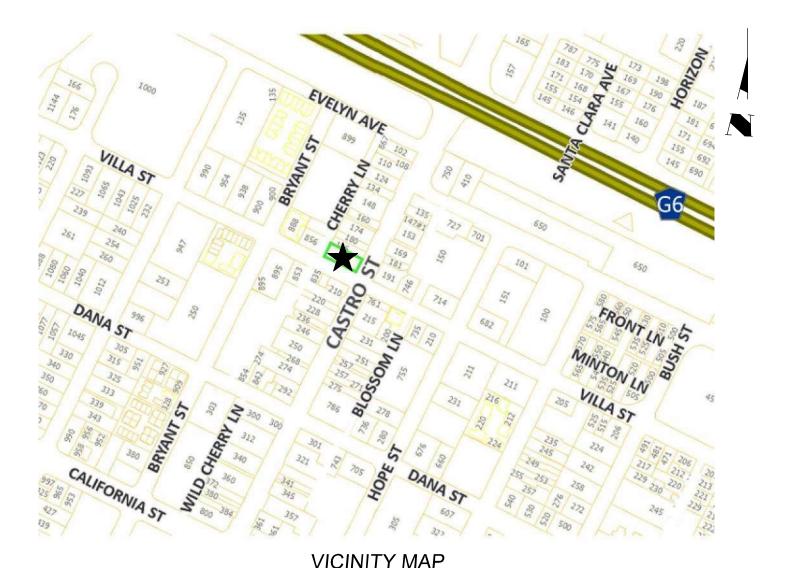
## STANDARD GRADING NOTES

- PRIOR TO COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION ION MEETING. THE MEETING SHALL INCLUDE THE CITY OF MOUNTAIN VIEW GRADING INSPECTOR (650) 903-6371, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEI OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK / GRADING ACTIVITIES.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURA EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- 3. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND ACTIVITIES.
- THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE
- 6. ALL WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 X2600 TO ARRANGE FOR DISTRICT OBSERVATIONS OF WELL ABANDONMENT.
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- THE PROJECT CIVIL ENGINEER <u>LC ENGINEERING, 598 E SANTA CLARA STREET, #270, SAN JOSE, CA 95112</u>. DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND HAS
- 10. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES UNOBSEVRVED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
- 11. ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- 12. GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM. ALL GRADING SHALL COMPLY WITH THE CITY OF MOUNTAIN VIEW STANDARD SPECIFICATIONS, AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.
- 13. THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- 14. THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.
- 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- 16. ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTON PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- 17. EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- 18. DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 1%.
- 19. THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- 20. SOIL ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH APPENDIX J, 2016 OF THE UNIFORM BUILDING CODE.
- 21. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- 22. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- 23. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- 24. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- 25. EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE
- 26. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- 27. SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 28. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- 29. IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- 30. ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.
- 31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE,

CALL: UNDERGROUND SERVICE ALERT (USA)

# GRADING AND DRAINAGE PLAN

# 194-198 CASTRO STREET MOUNTAIN VIEW, CA 94041 APN 158-15-013



ROAD NAME : CASTRO STREET

- 32. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.
- 33. ON GRADED SITES. THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 MM) PLUS 2%. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- 35. ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2010 UNIFORM BUILDING CODE.

# II. DUST CONTROL

- ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
- 2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
- GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.
- STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR
- 5. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEPT (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

# III. FIRE PROTECTION NOTE

HOMES, INCLUDING ATTACHED GARAGES ON LOTS, SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D. THE DEVELOPER AND CONTRACTOR SHALL ENSURE THAT THE UNDERGROUND WATER LINES AND WATER METERS ARE SIZED TO ACCOMMODATE THE AUTOMATIC FIRE SPRINKLER SYSTEMS. COORDINATE WITH THE FIRE SPRINKLER SYSTEM CONTRACTOR.

# IV. FIRE SERVICE INSTALLATION

THE FIRE SERVICE, INCLUDING WATER SERVICES SUPPLYING NFPA 13D FIRE SPRINKLERS, SHOWN ON THESE PLANS ARE PRELIMINARY AND SHALL NOT BE INSTALLED UNTIL AFTER THE FIRE SPRINKLER PLANS HAVE BEEN APPROVED BY THE CITY. IF THE FIRE SPRINKLER PLANS REQUIRE CHANGES TO THE UTILITIES SHOWN ON THESE PLANS, REVISIONS TO THESE PLANS MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO THE INSTALLATION OF THE FIRE UTILITIES.

- RECOLOGY MOUNTAIN VIEW IS THE CITY'S EXCLUSIVE HAULER FOR RECYCLING AND DISPOSAL OF CONSTRUCTION AND DEMOLITION DEBRIS. FOR ALL DEBRIS BOXES, CONTACT RECOLOGY. USING ANOTHER HAULER MAY VIOLATE MOUNTAIN VIEW CODE SECTION 16.13 AND 16.17 AND RESULT IN CODE ENFORCEMENT ACTION.
- 2. FOR RESIDENTIAL DEVELOPMENTS, NO RESIDENTIAL UNITS WILL BE RELEASED FOR OCCUPANCY UNLESS THE IMPROVEMENTS TO BE CONSTRUCTED TO CITY STANDARDS AND/OR TO BE ACCEPTED FOR MAINTENANCE BY THE CITY, INCLUDING WATER METERS AND SANITARY SEWER CLEANOUTS, ARE SUBSTANTIALLY COMPLETE PER THE CITY OF MOUNTAIN VIEW STANDARD PROVISIONS FOR PUBLIC WORKS CONSTRUCTION. THE PUBLIC WORKS DIRECTOR SHALL MAKE THE DETERMINATION OF WHAT PUBLIC IMPROVEMENTS ARE SUBSTANTIALLY COMPLETE.
- 3. THIS PROJECT MUST COMPLY WITH THE CITY'S CONSTRUCTION AND DEMOLITION ORDINANCE (MOUNTAIN VIEW CITY CODE CHAPTER 16, ARTICLE III.)
- 4. THE OWNER/ DEVELOPER SHALL COMPLY WITH, AND THE OFF-SITE AND GRADING DRAINAGE AND UTILITY PLANS SHALL INCLUDE, A GENERAL NOTE AS FOLLOWS: "THE PRIME CONTRACTOR OR DEVELOPER IS TO HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES. THE STREET CLEANING CONTRACTOR IS TO HAVE THE CAPABILITY OF SWEEPING THE STREETS WITH BOTH A BROOM TYPE SWEEPER AND A REGENERATIVE AIR VACUUM SWEEPER, AS DIRECTED BY THE PUBLIC WORKS DIRECTOR, OR HIS/HER DESIGNATED REPRESENTATIVE."
- 5. WHILE THE DISTRICT HAS RECORDS FOR MOST WELLS LOCATED IN THE COUNTY, IT IS ALWAYS POSSIBLE THAT A WELL EXISTS THAT IS NOT IN THE DISTRICT'S RECORD. IF PREVIOUSLY UNKNOWN WELLS ARE FOUND ON THE SUBJECT PROPERTY DURING DEVELOPMENT, THEY MUST BE PROPERLY DESTROYED UNDER PERMIT FROM THE DISTRICT OR REGISTERED WITH THE DISTRIST AND PROTECTED FROM DAMAGE.
- 6. A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATE AT THE SITE SHALL BE RECYCLED OR SALVAGED TO MOUNTAIN VIEW RECOLOGY.

# PROJECT DATA:

- 1. APN NUMBER: 158-15-013
- 2. <u>LOT SIZE</u>: 5,800± SF

# 3. OWNER:

CHEE-YEE CHONG DBA HANSON AMERICA, LLC PO BOX 4631 MOUNTAIN VIEW, CA 94040 TEL: (650) 248-5915

4. <u>ARCHITECT:</u> LPMD ARCHITECTS 1288 KIFER ROAD, #206 SUNNYVALE, CA 94086 TEL: (408) 859-2845

5. SURVEYOR/CIVIL ENGINEER LC ENGINEERING 598 E. SANTA CLARA ST, #270 SAN JOSE, CA 95112 TEL: (408) 806-7187

# EARTHWORK QUANTITIES

CUT = 0 CY ; MAXIMUM CUT DEPTH = 0'± $FILL = OCY; MAXIMUM FILL DEPTH = O'\pm$ IMPORT \_\_\_\_O CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

# **EXISTING UTILITY NOTE:**

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.

# **LEGEND & ABBREVIATIONS**

AGGREGATE BASE AREA DRAIN ASPHALT CONCRETE BACKWATER VALVE AREA DRAIN ANCHOR EASEMENT BUBBLER BOX - BOUNDARY CATCH BASIN BUILDING SETBACK LINE ----- CENTER LINE BOTTOM OF WALL CHRISTY V12 DRAIN BOX UNLESS OTHERWISE NOTED CURB & GUTTER COBBLE ROCK ENERGY DISSIPATOR CENTERLINE CHAIN LINK FENCE CONCRETE SANITARY SEWER CLEANOUT ——550 —— CONTOUR: EXISTING CURB OPENING —— 550 —— CONTOUR: PROPOSED OR NEW CONCRETE 100.46 DESIGN GRADE COUNTY STANDARD DETAIL DRAINAGE EASEMENT DOWNSPOUT WITH SPLASHBLOCK DRAINAGE INLET DRAINAGE EMITTER DIVERSION VALVE DRIVEWAY \_\_\_\_\_ DRAINAGE SWALE EASEMENT \_\_\_ EASEMENT LINE ELEVATION +101.70 OR (101.70) EXISTING ELEVATION ELECTRIC METER — X X EXISTING FENCE ELECTRIC OVERHEAD EXISTING TREE TO BE REMOVED ELECTRIC UNDERGROUND EXISTING TREE TO REMAIN EDGE OF PAVEMENT IRON PIPE AT PROPERTY CORNER FIBER ROLLS FACE OF CURB ELECTRIC METER FINISH ELEVATION OF SUBFLOOR GAS METER GROUND FINISH GRADE GAS VALVE FIRE HYDRANT GRADE TO DRAIN FLOW LINE GUY POLE GARAGE SLAB ELEVATION GUY WIRE ANCHOR /GAS LINE GENERAL PUBLIC EASEMENT HIGH POINT GRADING SETBACK HYDRANT: EXISTING GAS METER \*\* HYDRANT: PROPOSED OR NEW HI POINT JOINT POLE INGRESS EGRESS EASEMENT LIGHTING LIP OF GUTTER LIGHTING POLE LANDSCAPED AREA LOW POINT MAXIMUM OVERLAND FLOW DIRECTION PGE BOX MANHOLE POST CONSTRUCTION STORM WATER MINIMUM NAIL AND SILVER OVERHEAD RETAINING WALL ORIGINAL GROUND ---- RIGHT OF WAY/ LOT LINE OFFICIAL RECORD PAVEMENT FINISH GRADE MANHOLE PAD ELEVATION SANITARY SEWER CLEAN OUT PROPERTY LINE MANHOLE SANITARY SEWER MANHOLE PEDESTRIAN EQUESTRIAN EASEMENT STORM DRAIN MANHOLE PERFORATED PIPE SUMP PUMP POWER POLE TELEPHONE BOX PROPOSED PRIVATE STORM DRAINAGE TEST PIT PUBLIC SERVICE EASEMENT PUBLIC UTILITY EASEMENT TOP OF FILL PAVEMENT TOE OF FILL POLYVINYL CHLORIDE TOP OF CUT RADIUS TOE OF CUT RETAINING WALL REM REMOVE TREE NUMBER REMOVE & RECONSTRUCT TRAFFIC FLOW DIRECTION RIGHT OF WAY STORM DRAIN T-VAULT STORM DRAIN EASEMENT SLOPE EASEMENT SLOPE EASEMENT PRIVATE SANITARY SEWER/LATERAL WATER METER SANITARY SEWER EASEMENT WATER VALVE STA STATION WELL STANDARD CITY DETAIL SIDEWALK A ← SECTION NUMBER TOP OF BANK → SHEET NUMBER TOP OF CURB TEMPORARY TOP OF COVER TOE OF BANK TOP OF GRATE TREE PROTECTION FENCE

# SHEET INDEX

TOP OF WALL

VALLEY GUTTER

WATER METER

WATER VALVE

WIRE CLEARANCE EASEMENT

WIRE OVERHANG EASEMENT

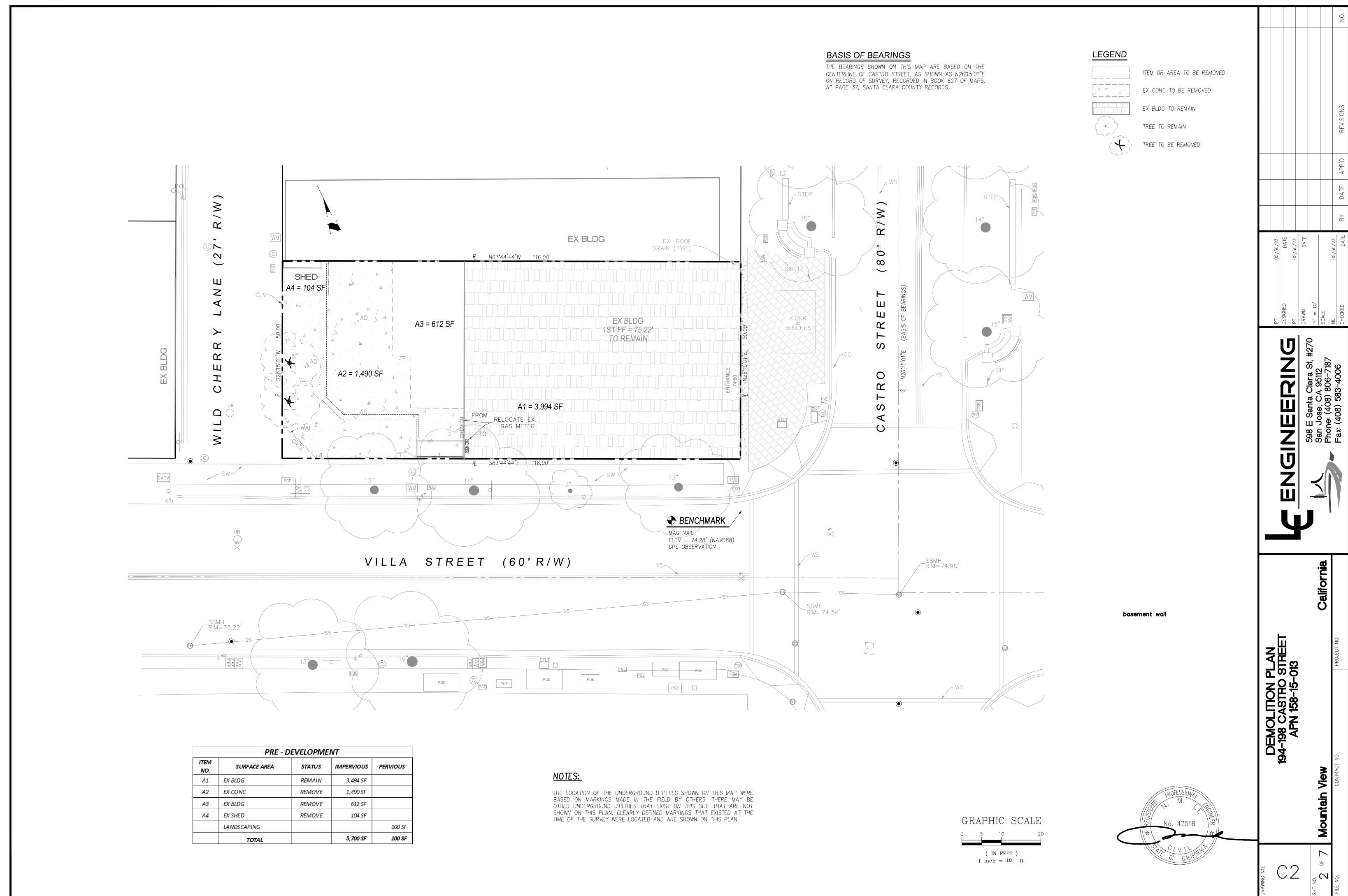
TYPICAL

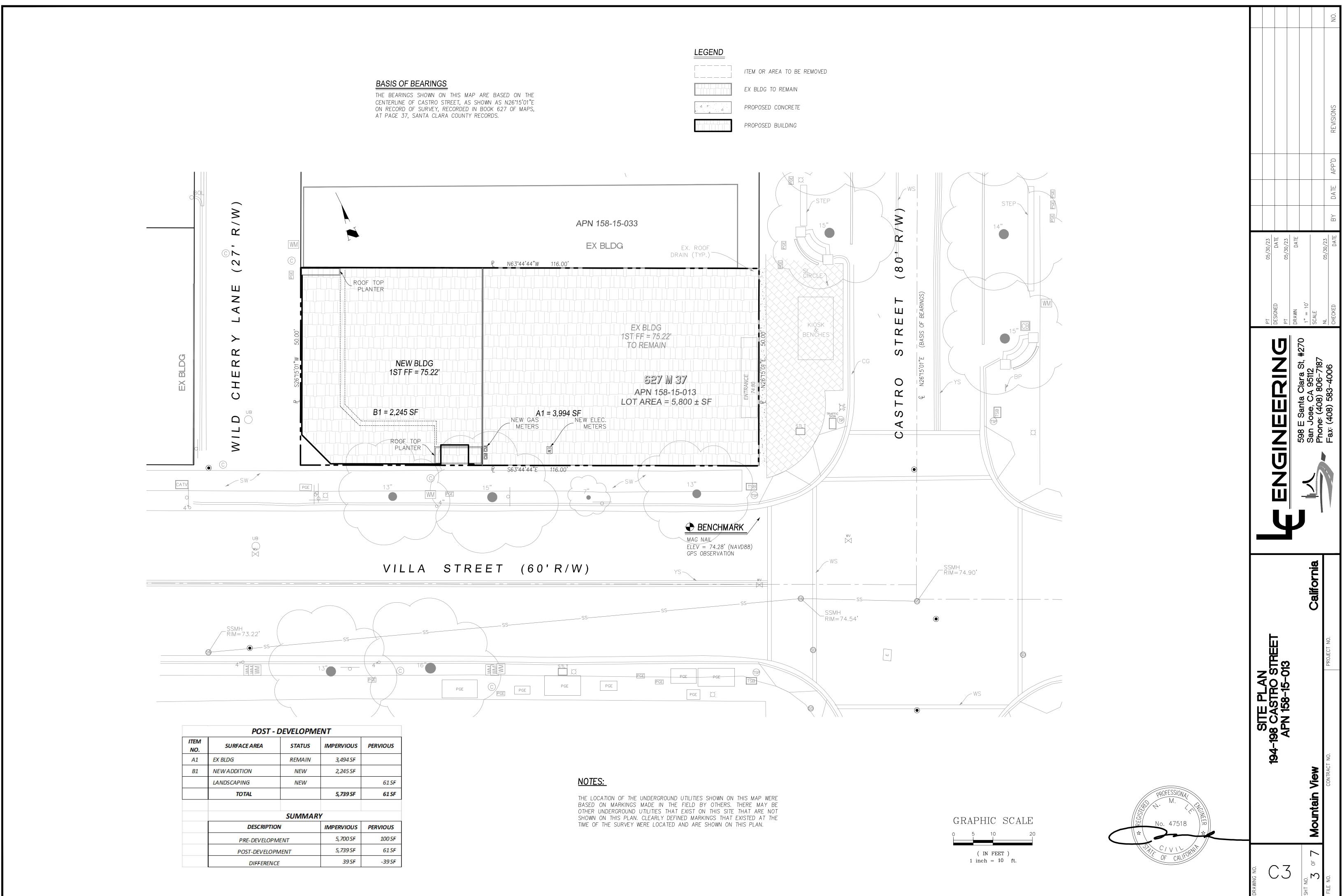
WATER

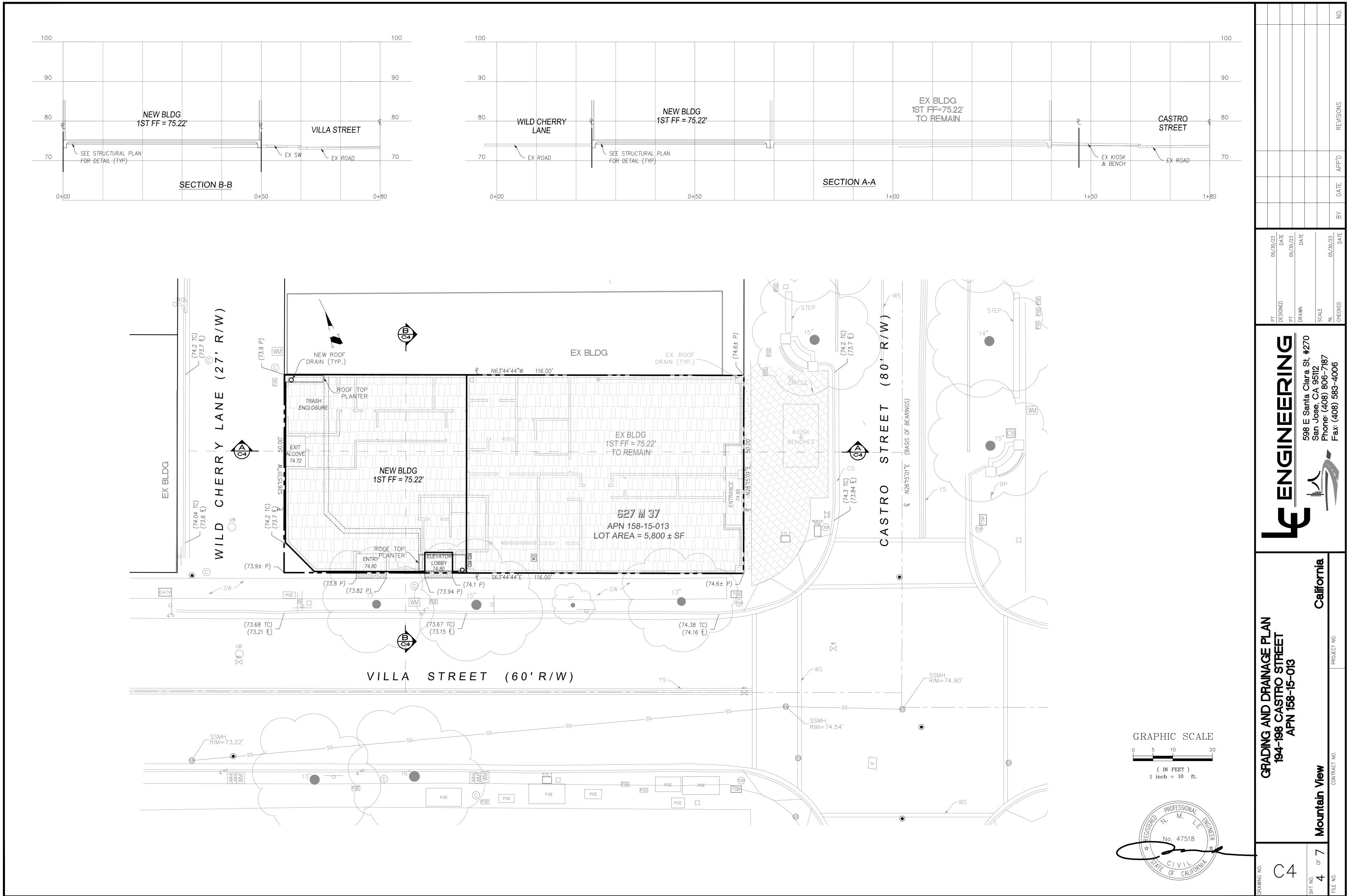
WALKWAY

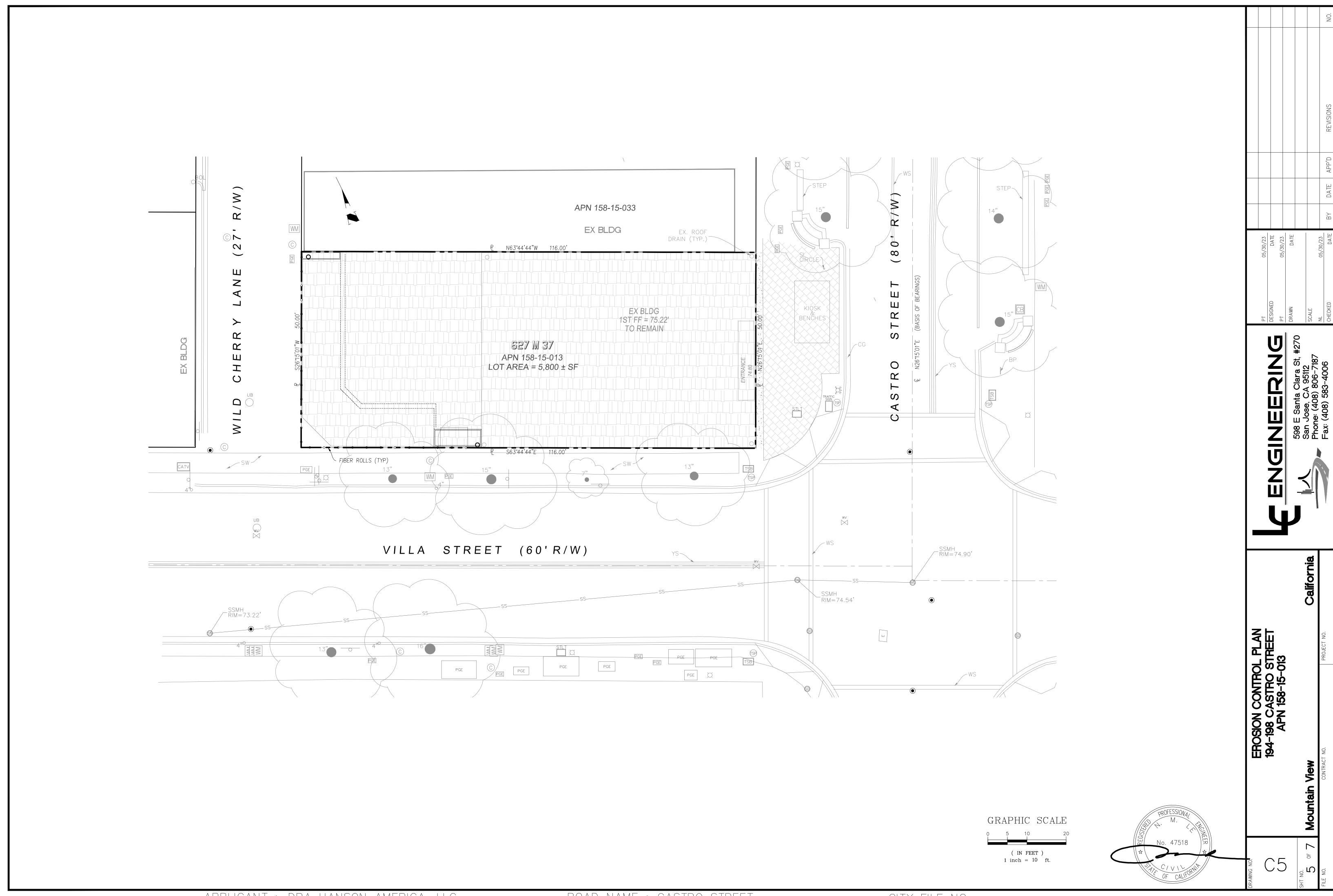
- C1: TITLE SHEET
- C2: DEMOLITION PLAN C3: SITE PLAN
- C4: GRADING AND DRAINAGE PLAN
- C5: EROSION CONTROL PLAN
- C6: EROSION CONTROL DETAILS
- C7: BLUEPRINT FOR A CLEAN BAY

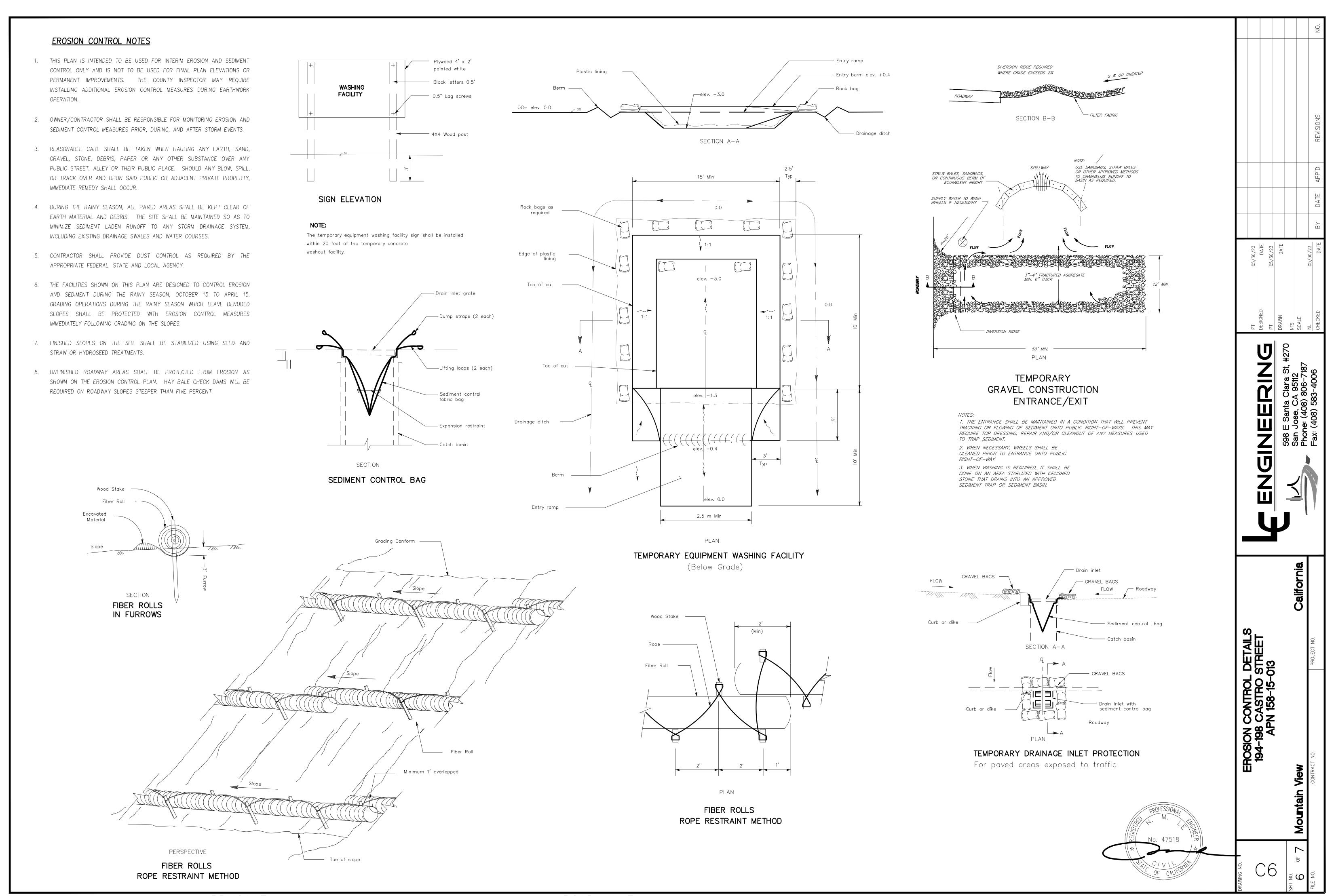














### Who should use this information

Vehicle and Equipment Operators Site Supervisors

Landscaping,

Gardening, and

Best Management Practices for the

Construction Industry

Pool Maintenance

General Contractors Home Builders Developers

### Storm Water Pollution from Heavy Equipment on Construction Sites

oorly maintained vehicles and heavy equipmer that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storn water pollution. Prevent leaks by proper naintaining equipment and utilizing drip pans to place under any leaking equipment. Remove any eaking or malfunctioning equipment from the site

Spill Cleanup

**Site Planning and Preventive Vehicle** 

**Doing the Job Right** 

- Maintain all vehicles and heavy equipment. Inspect frequently for repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing

oily or greasy equipment during rain events.

- properly disposing of contaminated soil. equipment repairs at construction sites. Cover exposed fifth wheel hitches and other
  - ☐ Report significant spills to the appropriate local spill response agencies immediately: Police (non-emergency): 650-903-6350. Fire & Environmental Safety: 650-903-6378.

☐ Clean up spills immediately when they happen.

impermeable surfaces where fluids have

spilled. Use dry cleanup methods (absorbent

materials, cat litter, and/or rags) whenever

possible and properly dispose of absorbent

Never attempt to "wash them away" with

☐ Use as little water as possible for dust control.

☐ Clean up spills on dirt areas by digging up and

Ensure water doesn't leave silt or discharge to

Sweep up spilled dry materials immediately

water, or bury them.

☐ Never hose down "dirty" pavement or

☐ If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services.

Curbside pickup of yard waste is provided for

Mountain View residents. Place yard waste in

approved containers at curbside for pickup on

recycling collection days. Commercial entities

Station® in Sunnyvale (fees apply). Contact the

SMaRT Station® at: 408-752-8530 for further

Cover loads with a tarp when transporting to a

Do not blow or rake leaves, etc. into the street

or place vard waste in gutters or on dirt

When it's time to drain a pool, spa, or fountain,

please be sure to call the City of Mountain View

Fire and Environmental Protection Division at:

650-903-6378 before you start for further

exceed 100 gallons per minute.

onto a landscaped area.

as sodium bromide.

site to minimize litter.

Clean up leaks, drips and other spills

groundwater or leave residue on paved

possible. If you must use water, use just

guidance on flow rate restrictions, backflow

prevention, and handling special cleaning waste

(such as acid wash). Discharge flows shall not

☐ Never discharge pool or spa water to a street

chlorine dissipate for a few days and then

☐ Do not use copper-based algaecides. Control

Never clean a filter in the street or near a

algae with chlorine or other alternatives, such

storm drain. Rinse cartridge and diatomaceou

immediately so they do not contaminate soil or

surfaces. Use dry cleanup methods whenever

recycle/reuse water by draining it gradually

or storm drain; discharge to a sanitary sewer

residue in gutters or on street.

Pool/Fountain/Spa Maintenance

shoulders. Sweep up any leaves, litter or

information.

**Draining Pools or Spas** 

may take yard waste directly to the SMaRT

# Roadwork and **I**Paving

Best Management Practices for the Construction Industry



## Who should use this information?

- - Seal Coat Contractors
  - Construction Inspectors General Contractors Home Builders Developers

☐ Schedule excavation and grading work during dry weather. ☐ Check for and repair leaking equipment.



- Driveway/Sidewalk/Parking Lot Construction
- Machines, Dump Trucks, Concrete Mixers

Operators of grading Equipment, Paving

appen right in the street, where there are umerous opportunities for asphalt, saw-cut urry, or excavated material to illegally enter storm drains. Extra planning is required to protect orm drain inlets, store and dispose of materials properly and guard against pollution of storm Irains, creeks, and the Bay.

**Doing the Job Right** 

**Handling Paint Products** 

at 408-299-7300.

☐ Keep all liquid paint products and wastes

away from the gutter, street, and storm

solvents, glues, and cleaning fluids are

drains. Liquid residues from paints, thinners,

hazardous wastes and must be disposed of at a

hazardous waste collection facility. Contact the

Santa Clara County Hazardous Waste Program

brushes, rags, and drop cloths may be disposed

of as garbage in a sanitary landfill. Empty, dry

☐ When thoroughly dry, empty paint cans, used

paint cans also may be recycled as metal.

constructed before 1978 can contain high

amounts of lead, even if paint chips are not

cleaning pre-1978 building exteriors with

present. Before you begin stripping paint or

water under high pressure, test paint for lead

determine whether you may discharge water

to the sanitary sewer, or if you must send it

by taking paint scrapings to a local laboratory.

■ Wash water from painted buildings

**Doing the Job Right** 

**General Business Practices** 

Develop and implement erosion/sediment

☐ Perform major equipment repairs at

control plans for roadway embankments.

designated areas in your maintenance yard,

location away from storm drains and creeks.

☐ Do not use diesel oil to lubricate equipment

Recycle used oil, concrete, broken asphalt, etc.

whenever possible, or dispose of properly.

Avoid paving and seal coating in wet weather,

or when rain is forecast, to prevent fresh

Cover and seal catch basins and manholes

Protect drainage ways by using earth dikes,

sand bags, or other controls to divert or trap

Storm Water Pollution

from Roadwork

parts of clean equipment.

**During Construction** 

similar materials.

and filter runoff.

where cleanup is easier. Avoid performing

equipment repairs at construction sites.

### ☐ Never wash excess material from exposedaggregate concrete or similar treatments into street or storm drain. Collect and recycle, or dispose to dirt area.

- Cover stockpiles (asphalt, sand, etc.) and othe construction materials with plastic tarps. Protect from rainfall and prevent runoff with
- temporary roofs or plastic sheets and berms. ☐ Park paving machines over drip pans to catch drips when not in use. Store oily rags in a fire-
- Clean up all spills and leaks using "dry"
- ☐ When refueling or when vehicle/equipment maintenance must be done on site, designate a methods (with absorbent materials and/or rags), or dig up, remove, and properly dispose of contaminated soil.
  - Collect and recycle or appropriately dispose or excess abrasive gravel or sand. ☐ Avoid over-application by water trucks for dust

# Asphalt/Concrete Removal

- materials from contacting storm water runoff. Avoid creating excess dust when breaking asphalt or concrete.
- when applying seal coat, slurry seal, fog seal, or ☐ After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact
- with rainfall or runoff. When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and oad paving, surfacing, and pavement remova
  - Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm

☐ For water-based paints, paint out brushes to

down a storm drain.

the extent possible, and rinse into a drain tha

goes to the sanitary sewer. Never pour paint

For oil-based paints, paint out brushes to the

extent possible and clean with thinner or

and residue as hazardous waste.

www.paintcare.org/california

☐ For more information about proper paint

disposal, refer to PaintCare California at:

Paint chips and dust from non-hazardous dry

stripping and sand blasting may be swept up of

Chemical paint stripping residue and chips and

dust from marine paints or paints containing

lead, mercury or tributyl tin must be disposed

emoval requires a state-certified contractor.

Direct wash water onto a dirt area and spade

into soil. Or, check Palo Alto Regional Water

out if you can collect (mop or vacuum) buildin

of as hazardous wastes. Lead based paint

collected in plastic drop cloths and disposed of

solvent in a proper container. Filter and reuse

thinners and solvents. Dispose of excess liquid

properly dispose of, all residues.

# | Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry



Vho should use this information?

# Masons and Bricklayers

- Sidewalk Construction Crews Patio Construction Workers Construction Inspectors
- General Contractors Home Builders
- Concrete Delivery/Pumping Workers

# **Doing the Job Right General Business Practices**

■ Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.

Wash out chutes onto dirt areas at site that do not flow to streets or drains.

Always store both dry and wet materials under

- cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind. Secure bags of cement after they are open. Be
- sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall and

Do not use diesel fuel as a lubricant on

concrete forms, tools or trailers.

# Storm Drain Pollution from Fresh **Concrete and Mortar Applications**

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing these materials to the storm drains or creeks ca block storm drains, causes serious problems and prohibited by law.

### Preventing Pollution: **During Construction** It's Up to Us

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.
- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm
- Protect applications of fresh concrete and mortar from rainfall and runoff until the
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- ☐ When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at a
- Never bury waste material. Dispose of small

amounts of excess dry concrete, grout, and

Never dispose of washout into the street, storm drains, drainage ditches or streams.

## the practices described in this blueprint. **Small Business Hazardous**

the Santa Clara Valley, storm drain

ransport water directly to local creeks and

San Francisco Bay without treatment. Storn

water pollution is a serious problem fo

vildlife dependent on our waterways and for

the people who live near polluted streams or

pay lands. Some common sources of thi

pollution include spilled oil, fuel, and fluid

rom vehicles and heavy equipment;

construction debris; sediment created b

erosion; landscaping runoff containing

pesticides or weed killers; and materials such

as used motor oil, antifreeze, and paint

products that people pour or spill into a street

storm drain. Thirteen valley municipalities

have joined together with Santa Clara County

and the Santa Clara Valley Water District to

educate local residents and businesses and

fight storm water pollution. To comply with

this program, contractors must comply with

Waste Disposal Program anta Clara County businesses that generate less than 27 gallons or 220 pounds o hazardous waste per month are eligible to use Santa Clara County's Small Business Hazardous Waste Disposal Program. Call: 408-299-7300 for a quote, more information or guidance on disposal.

### Spill Response Agencies

Center (24 hours): Santa Clara County Environmental Health

State Office of Emergency Services Warning

408-299-6930

### Local Pollution Control Agencies County of Santa Clara Pollution Prevention 408-441-1195

County of Santa Clara Integrated Waste Management Program: 408-441-1198

408-299-TIPS

Santa Clara County Recycling Hotline: 800-533-8414

Santa Clara Valley Water District: 408-265-2600

Santa Clara Valley Water District Pollution 888-510-5151

Regional Water Quality Control Board San Francisco Bay Region: 510-622-2300

Serving East Palo Alto Sanitary District, Los Altos, Los Altos ills, Mountain View, Palo Alto, Stanford

# 650-903-6313

Fire & Environmental Protection Division: 650-903-6378

olid Waste Division: 650-903-6311 Local Accredited Laboratories List

tp://www.cdph.ca.gov/certlic/labs/Do ments/ELAPLablist.xls

# Developers General

Construction and

General Contractors

Home Builders

Swimming Pool/Spa Service and Repair

Site Supervision Best Management Practices for the



- General Contractors Site Supervisors Inspectors
- Home Builders Developers

# Storm Water Pollution from **Construction Activities**

ruction sites are common sources of storm ter pollution. Materials and wastes that blow or ash into a storm drain, gutter, or street have a ect impact on local creeks and the Bay. s a contractor, or site supervisor, owner erator of a site, you may be responsible fo environmental damage caused by your

# **Doing the Right Job**

- **General Business Practices** Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage
- Schedule grading and excavation projects during dry weather. Use temporary check dams or ditches to divert
- ☐ Protect storm drains with sandbags or other sediment controls.

runoff away from storm drains.

- ☐ Re-vegetation is an excellent form of erosion control for any site. Landscaping/Garden Maintenance Use pesticides sparingly, according to Instructions on the label. Rinse empty containers, and use rinse water as product. Dispose of rinsed, empty containers in the
- trash. Dispose of unused pesticides as hazardous waste Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary,

From Landscaping and

# Storm Water Pollution

hemicals are toxic to aquatic life.

Many landscaping activities expose soils an containing chlorine and copper-based algaecide

Swimming Pool Maintenance

increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool wate should never be discharged to storm drains. These

### earth filters onto a dirt area, and spade filter residue into soil. Dispose of spent diatomaceous earth in the garbage.

the sanitary sewer

### If there is no suitable dirt area, call your local wastewater treatment plant for instructions on discharging filter backwash or rinse water to

ilter Cleaning

Doing the Job Right General Principles Keep an orderly site and ensure good housekeeping practices are used. ■ Maintain equipment properly.

Cover materials when they are not in use.

responsibilities

well away from streams or storm drain inlets,

bermed if necessary. Make major repairs off

trashcans and recycling receptacles around the

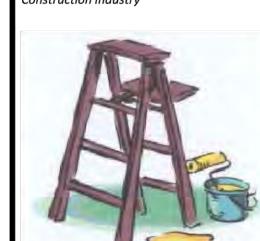
- enough to keep the dust down. Keep materials away from streets, storm drains Cover and maintain dumpsters. Check and drainage channels. frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting discharge storm drains secured around the outside of the dumpster. Advance Planning to Prevent Pollution Never clean out a dumpster by hosing it down
- Schedule excavation and grading activities for on the construction site. dry weather periods. To reduce soil erosion. Set portable toilets away from storm drains. plant temporary vegetation or place other Make sure portable toilets are in good working erosion controls before rain begins. Use the order. Check frequently for leaks. Erosion and Sediment Control Manual, Materials/Waste Handling available from the Regional Water Quality
- Practice Source Reduction—minimize waste Control Board, as a reference. when you order materials. Order only the Control the amount of runoff crossing your site amount you need to finish the job. (especially during excavation) by using berms Use recyclable materials whenever possible. or temporary or permanent drainage ditches Arrange for pick-up of recyclable materials to divert water flow around the site. Reduce such as concrete, asphalt, scrap metal, storm water runoff velocities by constructing solvents, degreasers, cleared vegetation, temporary check dams or berms where paper, rock, and vehicle maintenance materials appropriate. such as used oil, antifreeze, batteries, and
- Train your employees and subcontractors. Make these best management practices Dispose of all wastes properly. Many available to everyone who works on the construction materials and wastes, including construction site. Inform subcontractors about solvents, water-based paints, vehicle fluids, the storm water requirements and their own broken asphalt and concrete, wood, and cleared vegetation can be recycled. Materials Good Housekeeping Practices that cannot be recycled must be taken to an Designate one area of the site for auto parking, appropriate landfill or disposed of as hazardo vehicle refueling, and routine equipment waste. Never bury waste materials or leave maintenance. The designated area should be
- requirements at: 650-903-6311. Keep materials out of the rain—prevent runoff contamination at the source. Cover exposed In addition to local building permits, you will piles of soil or construction materials with need to obtain coverage under the State's plastic sheeting or temporary roofs. Before it General Construction Activity Storm water rains, sweep and remove materials from Permit if your construction site disturbs one surfaces that drain to storm drains, creeks, or acre or more. Obtain information from the Regional Water Quality Control Board. ☐ Keep pollutants off exposed surfaces. Place

bed. Contact the Solid Waste staff for

information about recycling and disposal

# Painting and **Application of** Solvents and Adhesives

Best Management Practices for the



Home Builders

| Earth-Moving

| Dewatering

Best Management Practices for the

Bulldozer, Back Hoe, and Grading Machine

Dump Truck Drivers

General Contractor

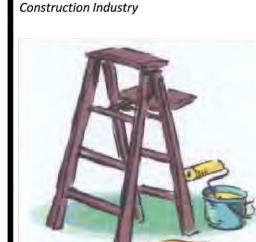
Site Supervisors

Home Builders

**Activities** 

Construction Industry

General Contractors



- **Graphic Artists** Dry Wall Crews Floor Covering Installers

# Who should use this information?

**Doing the Job Right** 

**General Business Practices** 

Painting Cleanup

Paints, Solvents and Adhesives paints, solvents and adhesives conta

### ☐ If there is loose paint on the building, or if the ☐ When stripping or cleaning building exteriors paint tests positive for lead, block storm drains. with a high-pressure water, block storm drains Check with the wastewater treatment plant to

### cleaning water and dispose to the sanitary ■ Never clean brushes or rinse paint containers sewer. Sampling of the water may be required into a street, gutter, storm drain, French

Storm Water Pollution from hemicals that are harmful to wildlife in local

### to assist the wastewater treatment authority in making its decision Recycle/Reuse Leftover Paints

# Whenever Possible Recycle or donate excess water-based (latex)

creeks, San Francisco Bay, and the Pacific Ocean oxic chemicals may come from liquid or solic products or from cleaning residues or rags. Paint naterial and wastes, adhesives and cleaning fluids hould be recycled when possible, or disposed of properly to prevent these materials from flowing

### paint, or return to supplier Reuse leftover oil-based paint. Dispose of nor recyclable thinners, sludge and unwanted

paint, as hazardous waste. Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.

☐ Schedule excavation and grading work during **Dewatering Operations** 1. Check for Toxic Pollutants ☐ Perform major equipment repairs away from ☐ When refueling or vehicle/equipment

Do not use diesel oil to lubricate equipment parts, or clean equipment **Practices During Construction** □ Remove existing vegetation only when absolutely necessary. Plant temporary

vegetation for erosion control on slopes or

location away from storm drains.

where construction is not immediately Protect down slope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual for proper rosion and sediment control measures.

### Storm Water Pollution From Earth-Moving Activities **And Dewatering**

excavation and grading operations loos arge amounts of soil that can flow or blow into storm drains when handled improperly. Sediment runoff can clog storm drains, smother aquation life, and destroy habitats in creeks and the Bay ffective erosion control practices reduce the mount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces. Contaminated groundwater is a common probler in the Santa Cara Valley. Depending on soil types and site history, groundwater pumped from onstruction sites may be contaminated with oxics (such as oil or solvents) or laden with ediments. Any of these pollutants can harm ildlife in creeks or the Bay, or interfere with vastewater treatment plant operation. Discharging sediment-laden water from lewatering site into any water of the state ithout treatment is prohibited

# ☐ Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

Check for odors, discoloration, or an oily st ☐ Call your local wastewater treatment agency maintenance must be done on site, designate a and ask whether the groundwater must be

> If contamination is suspected, have the water tested by a certified laboratory. ☐ Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or

> > sanitary sewer. OR, you may be required to

collect and haul pumped groundwater offsite

for treatment and disposal at an appropriate treatment facility. 2. Check for Sediment Levels ☐ If the water has been determined to be unpolluted and is clear, the pumping time is less than 24 hours, and the flow rate is less

than 20 gallons per minute, you may pump water to the street or storm drain. If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call your local wastewater treatment plant for guidanc If the water is not clear, solids must be filtered

or settled out by pumping to a settling tank

prior to discharge. Options for filtering include

Pumping through a perforated pipe sunk part way into a small pit filled with gravel; Pumping from a bucket placed below water level using a submersible pump; Pumping through a filtering device such as a swimming pool filter or filter fabric wrapped around end of suction pipe.

When discharging to a storm drain, protect th

drain rock, or cover inlet with filter fabric

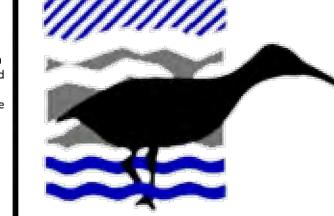
anchored under the grate. OR pump water

through a grassy swale prior to

inlet using a barrier or burlap bags filled with

Remember: The property owner and the contractor share ultimate

**Best Management** Practices for the



**Urban Runoff** 

CITY FILE NO:



fire chief or his designee. Unlawful discharges to storm drains shall include, but are not limited to discharges from: toilets, sinks, commercial or industrial processes, cooling systems, air compressors, boilers, fabric or carpet cleaning, equipment cleaning, vehicle cleaning, swimming pools, spas, fountains, construction activities (e.g., painting, paving, concrete placement, sawcutting, grading), painting, and paint stripping, unless specifically permitted by a discharge permit or unless exempted pursuant to regulations established by the fire chief or his designee. Additionally, it shall be unlawful to discharge any pollutants or waters containing pollutants that would contribute to violations of the city's stormwater discharge permit or applicable water quality standards.

# Mountain View Municipal Code Chapter 35.32.10 Discharges and prevention thereof through implementation of best

Construction Areas. All construction projects occurring within city limits shall be conducted in a manner which prevents the release of hazardous materials or hazardous waste to the soil or groundwater, and minimizes the discharge of hazardous materials, hazardous wastes, polluted water and sediments to the storm sewer system. Practices which shall be implemented to meet the ent of this requirement are described in the City of Mountain View's document "It's In the Contract! (But Not in the Bay)." The cit may require any additional practices consistent with its NPDES stormwater discharge permit if it concludes that the intent of this

### A stormwater pollution prevention plan (SWPPP) shall be prepared and available at the site for all projects regulated under the state's "general construction" permit and for, any other projects for which the fire department (fire and environmental protection division) determines that a SWPPP is necessary to protect surface waters.

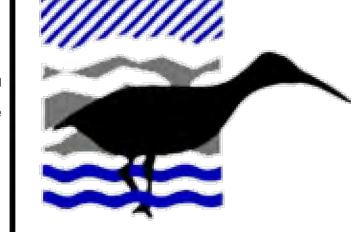
section is not being met during the construction process.

Mountain View Municipal Code Chapter 35.32.2.1 Discharge Permit t shall be unlawful for any person or organization to discharge or cause to be discharged any industrial wastes or polluted water whatsoever directly or indirectly into the sewer system without first obtaining a permit for discharge. The discharge applicant shall not commence discharge prior to permit issuance. Furthermore, it shall be unlawful for any person to discharge any industrial wastes or polluted water in excess of the quantity or quality limitations, or to violate any other requirement set forth in this article or in a

# Criminal and judicial penalties can be assessed for non-compliance. Blueprint for a Clean Bay

responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

**Construction Industry** 



Santa Clara Valley **Pollution Prevention Program** 



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APPLICANT: DBA HANSON AMERICA, LLC

ROAD NAME : CASTRO STREET