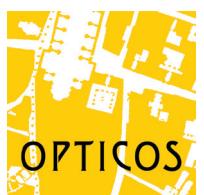




## R3 Zoning District Standards

December 2025



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# Article IV Residential Zones: Division 1 Purpose

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## Sections:

36.10              Purpose

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### 36.10              Purpose

**R3 (residential—multiple-family) district.** The purpose of the R3 Zoning District is to provide form-based objective standards for neighborhood design and building form for multiple-family housing development, including apartments, condominiums, rowhouses, townhouses, small-lot single-family development and similar and related compatible uses. The R3 zoning district is consistent with residential land use designations of the General Plan at densities greater than or equal to 20 dwelling units per acre. The goals of the R3 Zoning District Standards include the following:

1. Increase predictability and confidence in the review process.
2. Promote a vibrant neighborhoods that engage the streetscape.
3. Create a variety of multifamily housing types to meet the needs of diverse populations in the City.
4. Respect the context of Mountain View's existing built environment and reflect the City's vision.

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# Article IV Residential Zones: Division 5 R3 Zoning District Standards

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## Sections:

36.10.60	R3 Zoning District Standards Applicability
36.10.61	General Standards
36.10.70	Development Standards by Subdistrict
36.10.71	Large Sites
36.10.72	Common Usable Open Areas Pedestrian
36.10.73	Connections
36.10.74	Vehicle Access
36.10.75	Screening
36.10.76	Rooftop Decks
36.10.77	Utilities and Public Improvements
36.10.80	Exceptions to Standards
36.10.85	Development Review Required

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## 36.10.60 R3 Zoning District Standards Applicability

1. **Applicability.** The R3 Zoning District Standards apply to all proposed development and improvements within the R3 Subdistricts as identified on the Zoning Map. New land uses and structures, and alterations to existing land uses and structures, shall be designed and constructed in compliance with this [Division](#) and [Division 16 \(Residential Objective Design Standards\)](#).
  - A. For the purpose of determining the standards for development in the R3 Zoning District, the R3 symbol on the Zoning Map includes a suffix indicating the applicable subdistrict. Areas on the Zoning Map with alphabetical suffixes (e.g., R3-C) are subject to limitations on the number of dwellings allowed and other development standards that apply only in the designated subdistrict. For standards applicable in each of the R3 Subdistricts, see [Section 36.10.70 \(Development Standards by Subdistrict\)](#).
2. **Standards for Properties with One or Two Units**
  - A. If a project includes only the development of or modification to a single-unit development on an existing lot, then the unit is subject to standards applicable to the R1 Zoning District, [Article IV \(Residential Zones\)](#), [Division 3 \(Single Family \(R1\) Zoning District Standards\)](#), [Section 36.10.25 \(R1 zone development standards\)](#) et al, in lieu of the [R3 Zoning District Standards](#).
  - B. If a project includes only the development of or modification to a two unit development on an existing lot, then the units are subject to standards applicable to the R2 Zoning District, [Article IV \(Residential Zones\)](#), [Division 4 \(One and Two-Family \(R2\) Zoning District Standards\)](#), [Section 36.10.50 \(R2 zone development standards\)](#), et al, in lieu of the [R3 Zoning District Standards](#).
  - C. R1 or R2 subdivision standards (i.e., lot area, width, frontage) shall not apply in the R3 district.
3. **Accessory Structures.** See [Article IV \(Residential Zones\)](#), [Division 9 \(Residential Accessory Uses and Structures\)](#) for standards applicable to accessory structures.

4. **Accessory Dwelling Units.** See [Article IV \(Residential Zones\), Division 10 \(Accessory Dwelling Units\)](#) for standards applicable to accessory dwelling units.
5. **Nonconforming Uses and Structures.** See [Article III \(General Regulations, Special Provisions, Exceptions and Interpretations\), Division 3 \(Nonconforming Uses and Structures\)](#) for standards applicable to nonconforming uses and structures.

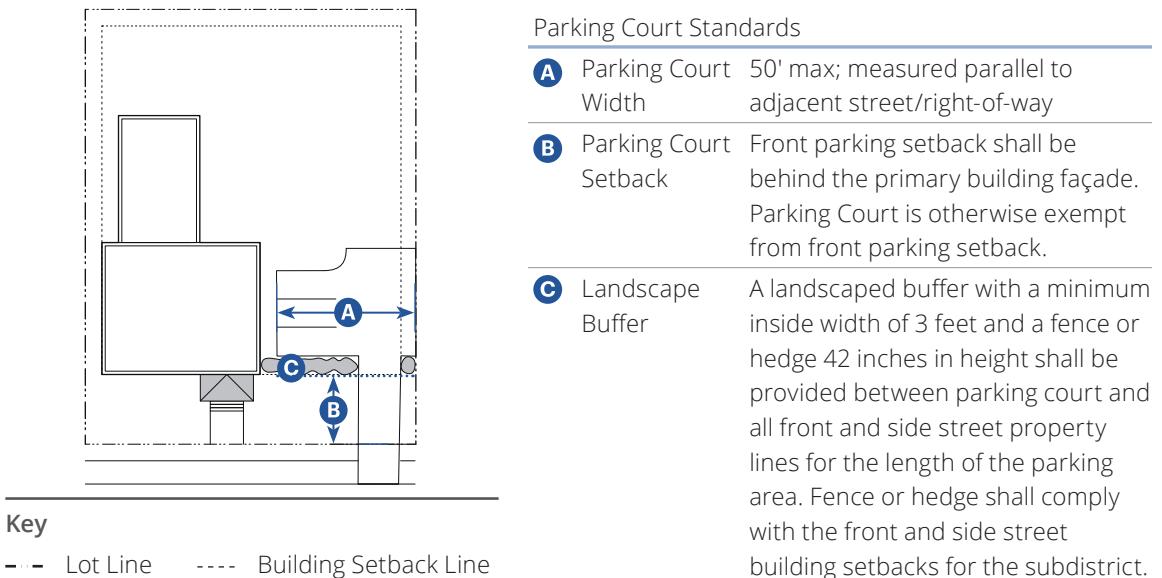
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## 36.10.61 General Standards

1. **Density.** In all subdistricts, any fractional unit calculation shall be rounded up to the next whole unit.
2. **Building Entry.** All buildings, except accessory buildings, must provide a building entry type, as allowed by the subdistrict standards, that faces a public street, an internal pedestrian path in compliance with the standards in [Table 36.10.71.B \(Internal Path Standards\)](#), or common usable open area in compliance with [Section 36.10.72 \(Common Usable Open Areas\)](#).
3. **Building Height**
  - A. In case of conflict between these standards and the height standards in the Moffett Federal Airfield Comprehensive Land Use Plan (CLUP), the standards in the CLUP shall prevail.
  - B. For R3-D subdistricts, up to one additional story or ten additional feet of building height and top of wall plate height are allowed on buildings that include:
    - (1) At least 5,000 square feet of ground floor commercial space; or
    - (2) Public open space provided in compliance with [Chapter 41 \(Park Land Dedication or Fees in Lieu Thereof\)](#).
4. **Building Façade.** Building façades shall be designed in compliance with [Article IV \(Residential Zones\), Division 16 \(Residential Objective Design Standards\)](#).
5. **Commercial Tenant Spaces.** Commercial tenant spaces are allowed only in R3-D subdistricts and shall comply with the following:
  - A. Occupy no more than 25 percent of the building's gross floor area;
  - B. Have building frontage of at least 20 feet;
  - C. Store all trash within the building interior; and
  - D. Limit hours of operation, including deliveries, to between 7 am and 11 pm.
6. **Parking**
  - A. Structured parking, other than one-story accessory structures pursuant to [Article IV \(Residential Zones\), Division 9 \(Residential Accessory Uses and Structures\), Section 36.12.35 \(Residential accessory uses and structures\)](#) shall comply with the building setback or parking setback, whichever is greater, of the applicable subdistrict.
  - B. Parking levels more than 50 percent below grade shall comply with applicable building setbacks in lieu of parking setbacks.

- C. **Parking Court.** To facilitate deliveries and short- to medium-term parking, a parking court containing up to three spaces may project into the front parking setback in compliance with standards in [Figure 36.10.61.1 \(Parking Court\)](#).
- D. All projects shall be in compliance with additional applicable standards in [Article X \(Parking and Loading\)](#).

**Figure 36.10.61.1: Parking Court**



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## 36.10.70 Development Standards by Subdistrict

### 1. R3-A Subdistrict Standards



General note: The illustration above is intended to provide a brief overview of the zone and are descriptive in nature.

**Table 36.10.70.A: R3-A Main Building Form**

#### Density/Intensity

Density (du/ac) 13.2 min.; 20 max.

Floor Area Ratio (FAR) 1.0 max.<sup>1</sup>

#### Height

To Top of Wall Plate 25' max. **A**

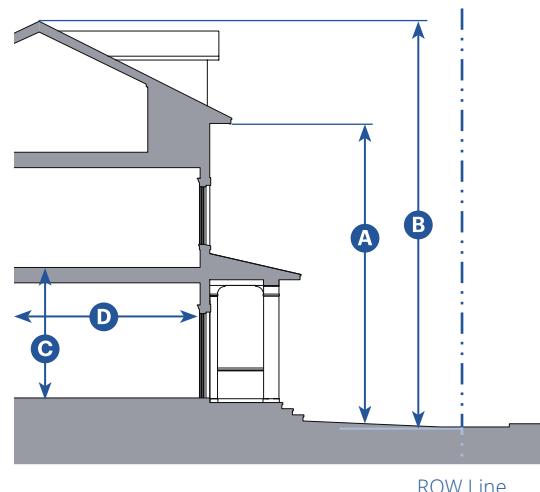
Overall Height 35' max. **B**

Ground Floor Height (Floor-to-Floor) 10' min. **C**

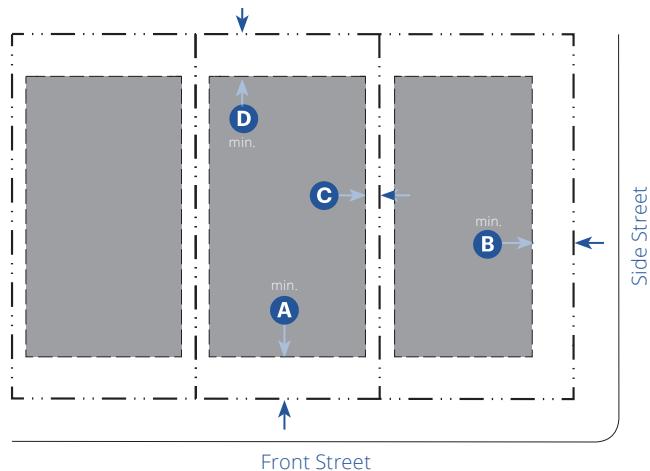
#### Habitable Ground Floor Space

Depth (from front building façade) 30' min. **D**

**Figure 36.10.70.1: R3-A Building Form**



<sup>1</sup> Pursuant to [Government Code § 65913.11](#), for projects of 8 to 10 units the maximum FAR shall be 1.25, except for properties listed in the [Mountain View Register of Historic Resources](#).

**Figure 36.10.70.2: R3-A Building Placement****Key**

- ROW/Lot Line
- Building Setback Line
- Building Area

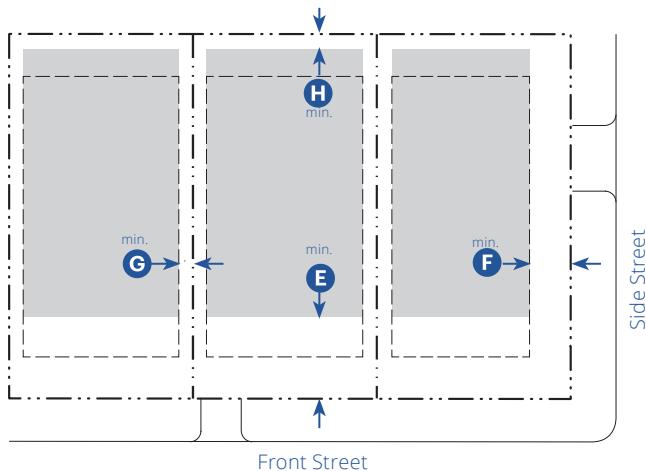
**Table 36.10.70.B: R3-A Building Placement****Building Setback (from Lot Line)<sup>2</sup>**

Front	20' min.	<b>A</b>
Side Street	15' min.	<b>B</b>
Side	7' min.	<b>C</b>
Rear	10' min.	<b>D</b>
Between Adjacent Buildings	10' min.	

**Building Footprint**

Width	60' max.
Depth	80' max.

<sup>2</sup> Any setback required by [Subsection 36.10.73 \(Pedestrian Connections\)](#) shall supersede setbacks required by this Section.

**Figure 36.10.70.3: R3-A Parking Placement****Key**

- ROW/Lot Line
- Building Setback Line
- Parking Area

**Table 36.10.70.C: R3-A Parking Placement****Parking Setback (from Lot Line)<sup>3</sup>**

Front	50' min.	<b>E</b>
Side Street	15' min.	<b>F</b>
Side	5' min.	<b>G</b>
Rear	5' min.	<b>H</b>

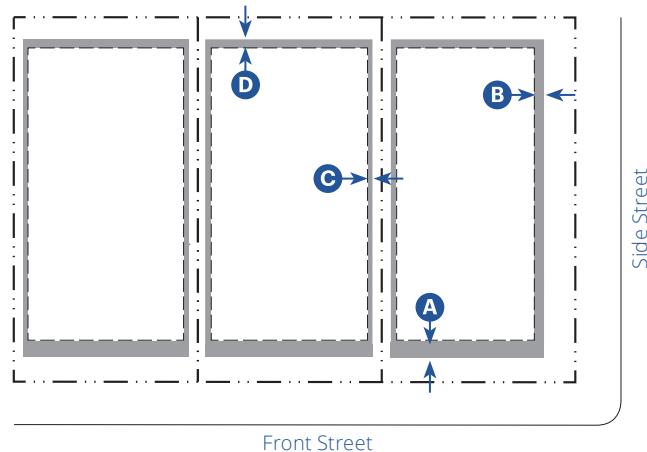
**Sidewalk and/or Landscaping Buffer Between Surface Parking/Driveway and Building**

Parking lot ≤ 20 spaces	5' min.
Parking lot > 20 spaces	12' min.
Private Driveway	3' min.

**Table 36.10.70.D: R3-A On-Site Open Area**

Required Open Space	10% min. of site
---------------------	------------------

<sup>3</sup> Applies to parking spaces only; not driveways.

**Figure 36.10.70.4: Minimum Clear Setbacks****Key**

— ROW/Lot Line    ----- Building Setback Line     Projection Area

**Table 36.10.70.E: R3-A Projections****Allowed Projections**

Building entries, bay windows, patio covers, and other architectural features over 18 inches in height above natural grade are allowed to project into setbacks up to the distance provided below.<sup>4</sup>

**Maximum Projection into Setback**

Front	10' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 15px; height: 15px; display: inline-block; vertical-align: middle;"></span> A
Side Street	6' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 15px; height: 15px; display: inline-block; vertical-align: middle;"></span> B
Side	2' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 15px; height: 15px; display: inline-block; vertical-align: middle;"></span> C
Rear	6' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 15px; height: 15px; display: inline-block; vertical-align: middle;"></span> D

<sup>4</sup> No minimum clear setback is required for decks, stoops, landings, concrete patios or other architectural features up to 18 inches in height above natural grade, provided the structure causes no drainage onto adjacent properties.

**Table 36.10.70.F: R3-A Building Entries**

Allowed Entry Type	Standards
Porch	<a href="#">Table 36.17.02.B</a>
Dooryard	<a href="#">Table 36.17.02.C</a>
Stoop	<a href="#">Table 36.17.02.D</a>
Terrace	<a href="#">Table 36.17.02.F</a>
Common Entry	<a href="#">Table 36.17.02.H</a>

## 2. R3-B Subdistrict Standards



*General note: The illustration above is intended to provide a brief overview of the zone and are descriptive in nature.*

**Table 36.10.70.G: R3-B Main Building Form**

**Density/Intensity**

Density (du/ac)	16.5 min; 25 max.
Floor Area Ratio (FAR)	1.25 max.

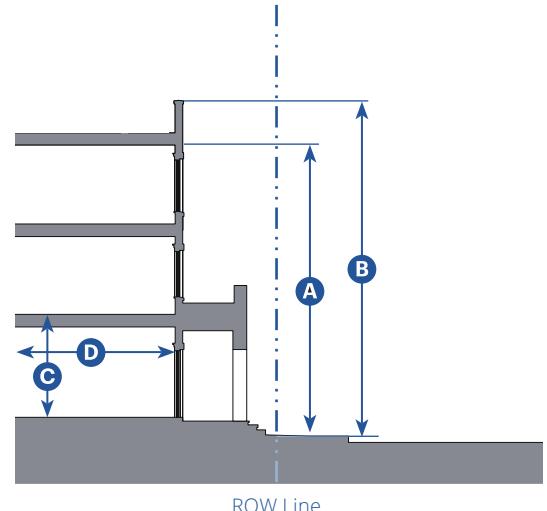
**Height**

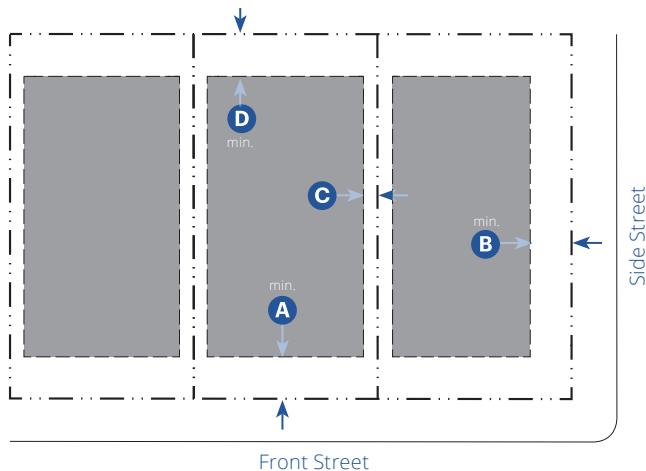
To Top of Wall Plate	36' max. <span style="color: blue;">A</span>
Overall Height	45' max. <span style="color: blue;">B</span>
Ground Floor Height (Floor to Floor)	10' min. <span style="color: blue;">C</span>

**Habitable Ground Floor Space**

Depth (from front building façade)	30' min. <span style="color: blue;">D</span>
------------------------------------	--

**Figure 36.10.70.5: R3-B Building Form**



**Figure 36.10.70.6: R3-B Building Placement****Key**

- ROW/Lot Line
- Building Setback Line
- Building Area

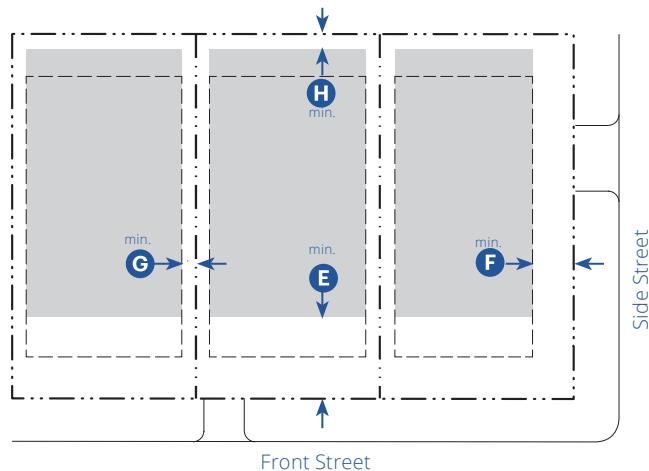
**Table 36.10.70.H: R3-B Building Placement****Building Setback (from Lot Line)**

Front	15' min.	<b>A</b>
Side Street	10' min.	<b>B</b>
Side <sup>1</sup>	7' min.	<b>C</b>
Rear <sup>1</sup>	10' min.	<b>D</b>
Between Adjacent Buildings	10' min.	

**Building Footprint**

Width	100' max.
Depth	100' max.

<sup>1</sup> Any setback required by [Subsection 36.10.73 \(Pedestrian Connections\)](#) shall supersede setbacks required by this Section.

**Figure 36.10.70.7: R3-B Parking Placement****Key**

- ROW/Lot Line
- Building Setback Line
- Parking Area

**Table 36.10.70.I: R3-B Parking Placement****Parking Setback (Distance from Lot Line)<sup>2</sup>**

Front	40' min.	<b>E</b>
Side Street	10' min.	<b>F</b>
Side	5' min.	<b>G</b>
Rear	5' min.	<b>H</b>

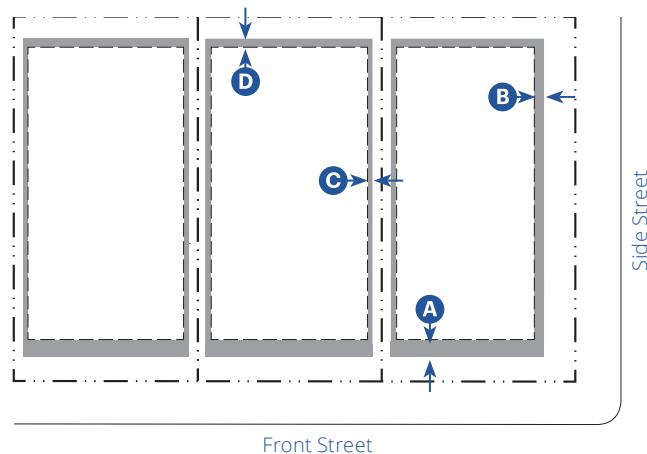
**Sidewalk and/or Landscaping Buffer Between Surface Parking/Driveway and Building**

Parking lot ≤ 20 spaces	5' min.
Parking lot > 20 spaces	12' min.
Private Driveway	3' min.

**Table 36.10.70.J: R3-B On-Site Open Area**

Required Open Area	10% min. of site
--------------------	------------------

<sup>2</sup> Applies to parking spaces only; not driveways.

**Figure 36.10.70.8: R3-B Minimum Clear Setbacks****Key**

--- ROW/Lot Line    ----- Building Setback Line     Projection Area

**Table 36.10.70.K: R3-B Projections****Allowed Projections**

Building entries, bay windows, patio covers, and other architectural features over 18 inches in height above natural grade are allowed to project into setbacks up to the distance provided below.<sup>3</sup>

**Maximum Projection into Setback**

Front	10' max.	
Side Street	6' max.	
Side	2' max.	
Rear	6' max.	

<sup>3</sup> No minimum clear setback is required for decks, stoops, landings, concrete patios or other architectural features up to 18 inches in height above natural grade, provided the structure causes no drainage onto adjacent properties.

**Table 36.10.70.L: R3-B Building Entries**

Allowed Entry Type	Standards
Porch	<a href="#">Table 36.17.02.B</a>
Dooryard	<a href="#">Table 36.17.02.C</a>
Stoop	<a href="#">Table 36.17.02.D</a>
Terrace	<a href="#">Table 36.17.02.F</a>
Gateway	<a href="#">Table 36.17.02.G</a>
Common Entry	<a href="#">Table 36.17.02.H</a>

### 3. R3-C Subdistrict Standards



*General note: The illustration above is intended to provide a brief overview of the zone and are descriptive in nature.*

**Table 36.10.70.M: R3-C Main Building Form**

**Density/Intensity**

Density (du/ac)	23.1 min; 35 max.
Floor Area Ratio (FAR)	1.5 max.

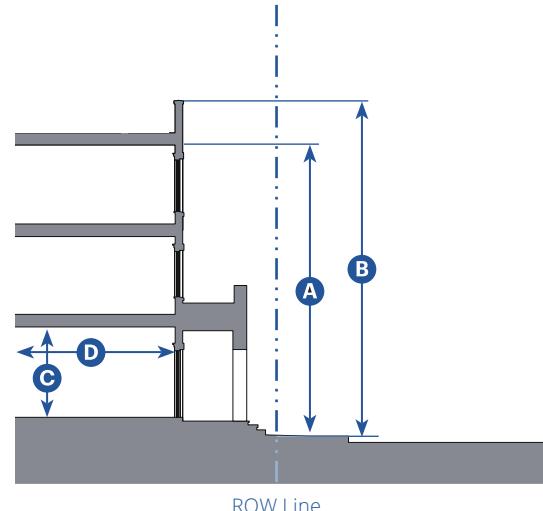
**Height**

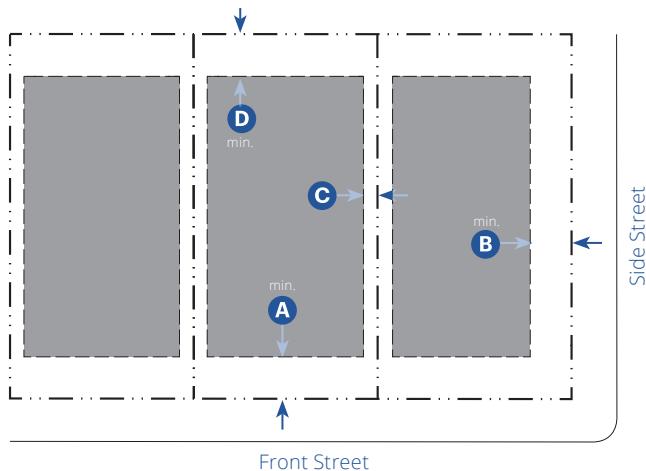
To Top of Wall Plate	40' max.	<b>A</b>
Overall Height	50' max.	<b>B</b>
Ground Floor Height (Floor to Floor)	11' min.	<b>C</b>

**Habitable Ground Floor Space**

Depth (from front building façade)	25' min.	<b>D</b>
------------------------------------	----------	----------

**Figure 36.10.70.9: R3-C Building Form**



**Figure 36.10.70.10: R3-C Building Placement****Key**

- ROW/Lot Line
- Building Setback Line

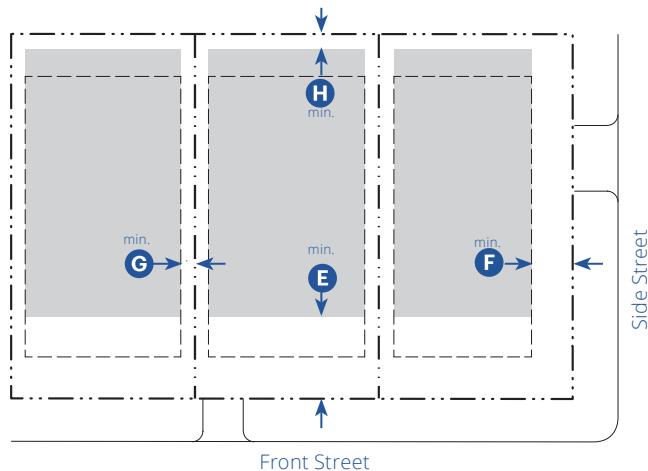
**Table 36.10.70.N: R3-C Building Placement****Building Setback (from Lot Line)**

Front	15' min.	<b>A</b>
Side Street	10' min.	<b>B</b>
Side <sup>1</sup>	10' min.	<b>C</b>
Rear <sup>1</sup>	10' min.	<b>D</b>
Between Adjacent Buildings	10' min.	

**Building Footprint**

Width	120' max.
Depth	150' max.

<sup>1</sup> Any setback required by [Subsection 36.10.73 \(Pedestrian Connections\)](#) shall supersede setbacks required by this Section.

**Figure 36.10.70.11: R3-C Parking Placement****Key**

- ROW/Lot Line
- Building Setback Line

**Table 36.10.70.O: R3-C Parking Placement****Parking Setback (Distance from Lot Line)<sup>2</sup>**

Front	40' min.	<b>E</b>
Side Street	10' min.	<b>F</b>
Side	5' min.	<b>G</b>
Rear	5' min.	<b>H</b>

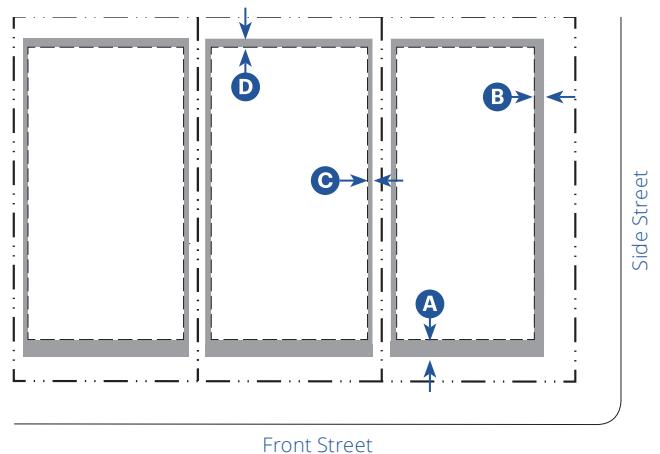
**Sidewalk and/or Landscaping Buffer Between Surface Parking/Driveway and Building**

Parking lot ≤ 20 spaces	5' min.
Parking lot > 20 spaces	12' min.
From Private Driveway	3' min.

**Table 36.10.70.P: R3-C On-Site Open Area**

Required Open Area	15% min. of site
--------------------	------------------

<sup>2</sup> Applies to parking spaces only; not driveways.

**Figure 36.10.70.12: R3-C Minimum Clear Setbacks****Key**

— ROW/Lot Line    ----- Building Setback Line     Projection Area

**Table 36.10.70.Q: R3-C Projections****Allowed Projections**

Building entries, bay windows, patio covers, and other architectural features over 18 inches in height above natural grade are allowed to project into setbacks up to the distance provided below.<sup>3</sup>

**Maximum Projection into Setback**

Front	10' max.	
Side Street	6' max.	
Side	2' max.	
Rear	6' max.	

<sup>3</sup> No minimum clear setback is required for decks, stoops, landings, concrete patios or other architectural features up to 18 inches in height above natural grade, provided the structure causes no drainage onto adjacent properties.

**Table 36.10.70.R: R3-C Building Entries**

Allowed Entry Type	Standards
Porch	<a href="#">Table 36.17.02.B</a>
Dooryard	<a href="#">Table 36.17.02.C</a>
Stoop	<a href="#">Table 36.17.02.D</a>
Forecourt	<a href="#">Table 36.17.02.E</a>
Terrace	<a href="#">Table 36.17.02.F</a>
Gateway	<a href="#">Table 36.17.02.G</a>
Common Entry	<a href="#">Table 36.17.02.H</a>

#### 4. R3-D Subdistrict Standards



*General note: The illustration above is intended to provide a brief overview of the zone and are descriptive in nature.*

**Table 36.10.70.S: R3-D Main Building Form**

##### Density/Intensity

Density (du/ac)	Maximum density in General Plan divided by 2 min.; Maximum density in General Plan max.		
Floor Area Ratio (FAR)	Maximum density in General Plan divided by 30 max.		

##### Height

##### Maximum Density (du/ac)

	≤75	>75 and ≤100	>100
To Top of Wall Plate	50' max.	60' max.	70' max.
Overall Height	60' max.	70' max.	80' max.

##### Ground Floor Height (Floor to Floor)

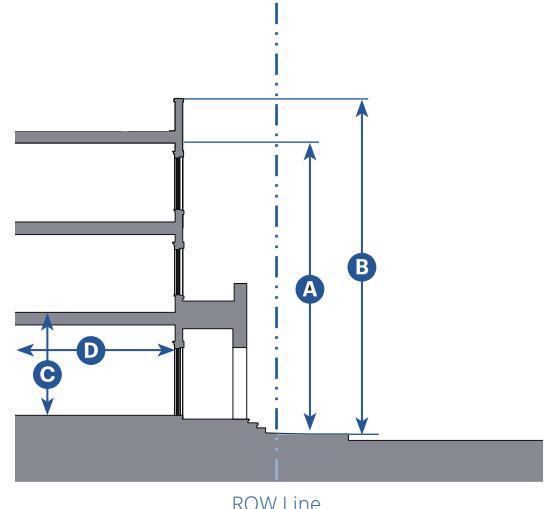
Residential	11' min.
Non-Residential	16' min.

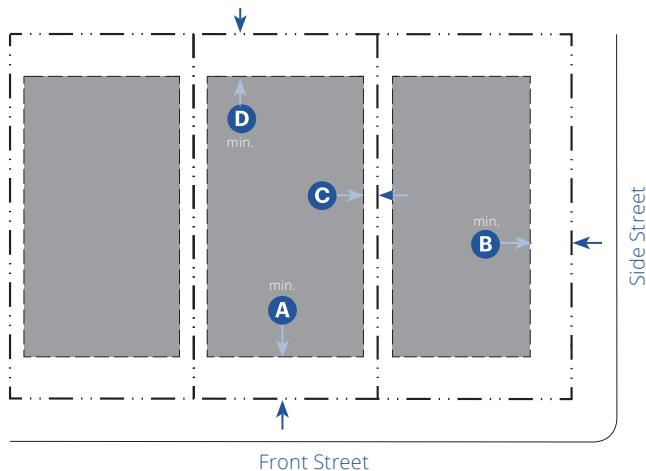
##### Habitable Ground Floor Space

###### Depth (from front building façade)

Residential	25' min.
Non-Residential	30' min.

**Figure 36.10.70.13: R3-D Building Form**



**Figure 36.10.70.14: R3-D Building Placement****Key**

- ROW/Lot Line
- Building Setback Line
- Building Area

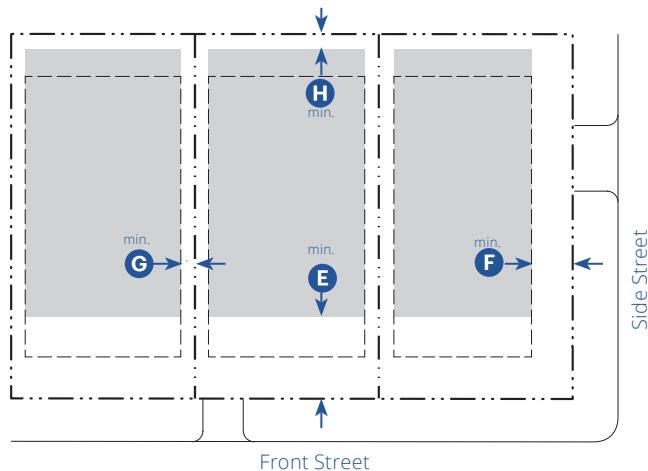
**Table 36.10.70.T: R3-D Building Placement****Building Setback (from Lot Line)**

Front	15' min.	<b>A</b>
Side Street	10' min.	<b>B</b>
Side <sup>1</sup>	15' min.	<b>C</b>
Rear <sup>1</sup>	15' min.	<b>D</b>
Between Adjacent Buildings	10' min.	

**Building Footprint**

Width	470' max.
Depth	470' max.

<sup>1</sup> Any setback required by [Subsection 36.10.73 \(Pedestrian Connections\)](#) shall supersede setbacks required by this Section.

**Figure 36.10.70.15: R3-D Parking Placement****Key**

- ROW/Lot Line
- Building Setback Line
- Parking Area

**Table 36.10.70.U: R3-D Parking Placement****Parking Setback (Distance from Lot Line)<sup>2</sup>**

Front	40' min.	<b>E</b>
Side Street	5' min.	<b>F</b>
Side	5' min.	<b>G</b>
Rear	5' min.	<b>H</b>

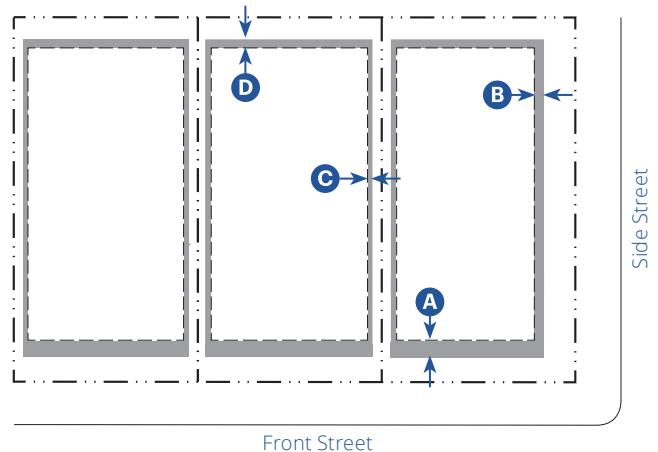
**Sidewalk and/or Landscaping Buffer Between Surface Parking/Driveway and Building**

Parking lot ≤ 20 spaces	5' min.
Parking lot > 20 spaces	12' min.
Private Driveway	3' min.

**Table 36.10.70.V: R3-D On-Site Open Area**

Required Open Area	15% min. of site
--------------------	------------------

<sup>2</sup> Applies to parking spaces only; not driveways.

**Figure 36.10.70.16: R3-D Minimum Clear Setbacks****Key**

— ROW/Lot Line    ----- Building Setback Line     Projection Area

**Table 36.10.70.W: R3-D Projections****Allowed Projections**

Building entries, bay windows, patio covers, and other architectural features over 18 inches in height above natural grade are allowed to project into setbacks up to the distance provided below.<sup>3</sup>

**Maximum Projection into Setback**

Front	10' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 10px; height: 10px; display: inline-block;"></span> A
Side Street	6' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 10px; height: 10px; display: inline-block;"></span> B
Side	2' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 10px; height: 10px; display: inline-block;"></span> C
Rear	6' max.	<span style="border: 1px solid blue; border-radius: 50%; width: 10px; height: 10px; display: inline-block;"></span> D

<sup>3</sup> No minimum clear setback is required for decks, stoops, landings, concrete patios or other architectural features up to 18 inches in height above natural grade, provided the structure causes no drainage onto adjacent properties.

**Table 36.10.70.X: R3-D Building Entries**

Allowed Entry Type	Standards
Dooryard	<a href="#">Table 36.17.02.C</a>
Stoop	<a href="#">Table 36.17.02.D</a>
Forecourt	<a href="#">Table 36.17.02.E</a>
Terrace	<a href="#">Table 36.17.02.F</a>
Gateway	<a href="#">Table 36.17.02.G</a>
Common Entry	<a href="#">Table 36.17.02.H</a>
Shopfront	<a href="#">Table 36.17.02.I</a>

## 36.10.71 Large Sites

1. **Applicability.** Projects on sites of three or more acres, including subdivisions where a portion of the project is remaining unchanged, are subject to the requirements of this Section.
2. **Neighborhood Circulation Plan (NCP)**
  - A. **NCP Requirements.** Each NCP shall show the proposed circulation and physical character of the development, in plan view, including:
    - (1) Boundaries of the proposed development;
    - (2) Existing and proposed blocks and streets within a 1,500 foot radius of the development boundaries, in compliance with [Subsection 36.10.71.A \(Block Standards\)](#);
    - (3) Existing trees and other natural features;
    - (4) New or modified common usable open area, in compliance with [Section 36.10.72 \(Common Usable Open Areas\)](#);
    - (5) Proposed trees and landscape along streets and in open areas; and
    - (6) Identification of the proposed lots, building footprints, building entry types on each lot, and parking in compliance with the subdistrict standards.
  - B. **Block and Street Standards**
    - (1) Individual block lengths and the total block perimeter shall be in compliance with the standards in [Table 36.10.71.A \(Block Size Standards\)](#).

**Table 36.10.71.A: Block Size Standards**

Block Length	Block Perimeter	Depth of Attached Half-Block <sup>1</sup>
500' max.	1,800' max.	250' max.

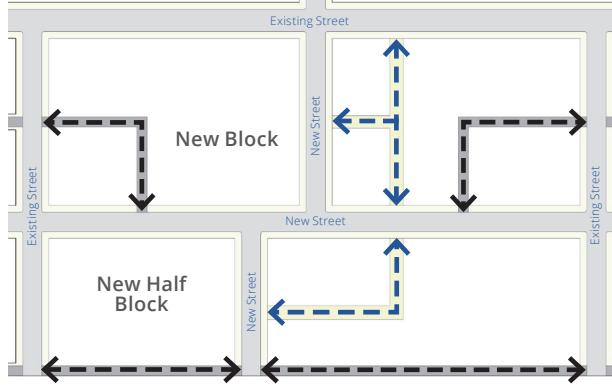
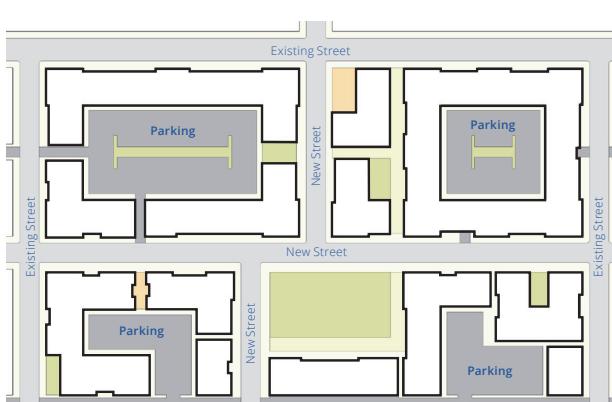
<sup>1</sup>Distance from centerline of street or right-of-way to shared property line.

- (2) New blocks shall be bounded by internal streets or paseos, meeting standards in [Table 36.10.71.B \(Internal Path Standards\)](#), or public streets. All block boundaries shall allow public access for pedestrians.
- (3) The new street network shall connect to the existing street network and public pedestrian network.
  - (a) New public circulation improvements shall align with and continue existing or proposed public circulation improvements by extending to or along adjoining property boundaries.
  - (b) New public circulation improvements shall provide connecting pedestrian and, if desired, bicycle and vehicle routes to all adjacent public, non-limited-access rights-of-way, and dead-end streets.

**Table 36.10.71.B: Internal Path Standards**

	Walkway Width	Walkway setback from building	Walkway setback from parking or drive aisle
Pedestrian Path	4' min.	6' min.	4' min.

**Figure 36.10.71.1: Large Sites**

Steps	Example Site (equal to or greater than 3 acres)
Step 1: Identify the Development Site	
The development site is the entire site within the scope of the development, which may include one or more parcels. The overall development site is delineated through a survey and must identify the existing streets and any pedestrian passages.	Step 2: Identify and Extend the Public Realm to Create New Blocks
Extend new streets in compliance with <a href="#">Section 36.10.71.2B (Block and Street Standards)</a> into the development site to create new blocks per the standards of <a href="#">Section 36.10.71 (Large Sites)</a> to depict all blocks, public and private streets, and sidewalks provided as part of the street network.	
Step 3: Locate Open Space	
Locate buildings and parking on each block per all applicable standards. Any parcel line adjacent to a pedestrian circulation, open space, or new street will be treated as a front or side street parcel line. On corner parcels, the building can front either street. Buildings must orient onto a street or public open space. On-site parking, if provided, is not allowed between primary buildings and an adjacent street or public open space.	

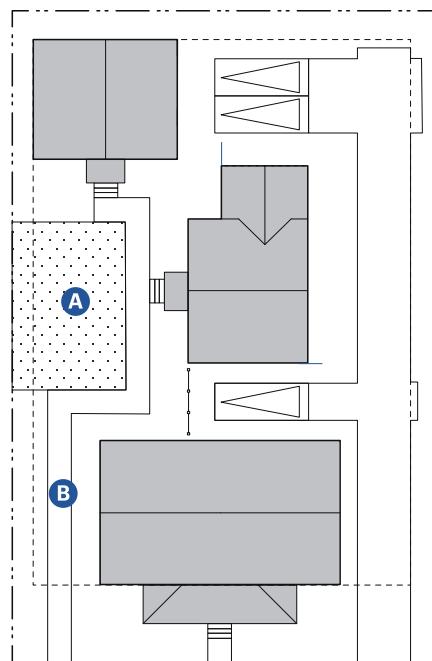
## 36.10.72 Common Usable Open Areas

Development sites of at least 65 feet in width, consisting of one or more parcels, where multiple primary buildings are proposed, shall comply with the following standards for common usable open areas.

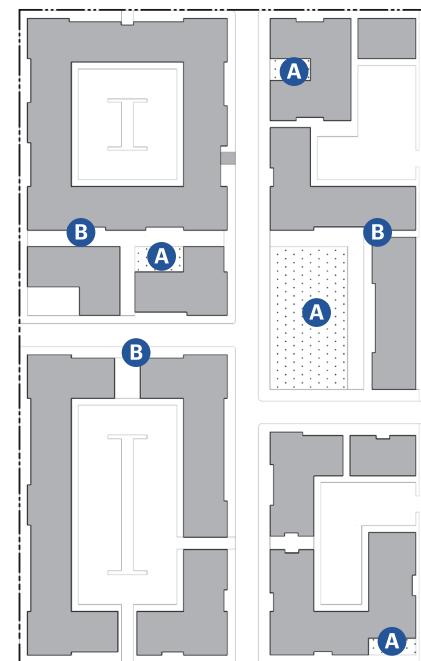
1. Common usable open areas shall have a minimum length and width of 25 feet clear, measured between nearest structures (or projections thereof), site boundaries, or any area intended for vehicles. Minimum length and width shall be perpendicular to one another.
2. Building projections into common usable open area are not allowed.
3. Common usable open areas shall have a pedestrian connection to the public right-of-way and shall be accessible to all occupants of the project.
4. Common usable open area may count towards some or all required open space for the development, as required by the applicable subdistrict.

**Figure 36.10.72.1: Common Usable Open Area Examples**

**Small Infill Example**



**Large Infill Example**



**Key**

---- Development Site Boundary	----- Building Setback Line	■ Building	□ Shared Open Space
<b>A</b> Common Usable Open Area	<b>B</b> Pedestrian Connections		

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**36.10.73 Pedestrian Connections**

1. **Applicability.** All properties in the locations shown on [Figure 36.10.73.1 \(Required Pedestrian Connections\)](#) shall dedicate an easement as described in [Subsection 36.10.73.2 \(Easement\)](#), provide a setback as described in [Subsection 36.10.73.3 \(Building Setback\)](#), and construct improvements as described in [Subsections 36.10.73.4 \(Path Improvement\)](#) and [36.10.73.5 \(Other Improvements\)](#). Pedestrian Connections shall be required with the following applications:
  - A. Development sites with new construction of at least 10,000 square feet.
  - B. All subdivisions.
2. **Easement**
  - A. Where the path is along a property line, the easement on each property shall be at least eight feet in width, and shall allow the opposite property abutting the easement to make such improvements as necessary to connect to the path at any location.
  - B. Where the path is internal to the property, the easement shall be at least 16 feet in width.
  - C. Parking areas may not encroach into the easement area, except driveways may cross the path if they meet safety design standards.
3. **Building Setback.** Buildings along the public path easement shall be setback at least 15 feet from the centerline of the planned path. Setback area shall count toward required open area for the site, except areas occupied by structures or vehicle circulation.
4. **Path Improvement**
  - A. For paths located along property lines, the project shall construct a minimum four-foot-wide hardscaped path along the property line, with lighted bollards outside the path adjacent to the building.
  - B. Where a publicly accessible path already exists on an abutting site, the project shall widen the path to eight feet, and provide lighted bollards outside the path adjacent to the building.
  - C. Where the path is internal to the property, the path shall be eight feet wide, with lighted bollards on both sides of the path.
5. **Other Improvements**
  - A. Large-canopy trees (minimum 30-foot diameter at maturity) shall be installed every 30 feet (on average) in the remainder of the easement area adjacent to the path, except smaller trees may be allowed under power lines.
  - B. Other landscaping and amenities, such as benches and bicycle parking, are allowed.

**Figure 36.10.73.1: Required Pedestrian Connections**

## 36.10.74 Vehicle Access

- Corner Site Access.** Corner site access must be from the side street unless access from the front can be approved as an exception per [Section 36.10.80 \(Exceptions to Standards\)](#).

### 2. Driveways

- The maximum number of driveway curb cuts for a building lot shall be in compliance with [Table 36.10.74.A \(Number of Driveways\)](#).

**Table 36.10.74.A: Number of Driveways**

Lot Frontage (Front and Side Street)	Maximum Number of Driveways
Up to 150'	1
150' to 299'	2
Each additional 300' over 299'	1

- Driveway widths shall be in compliance with [Article X \(Parking and Loading\), Division 5 \(Development Standards for Off-Street Parking\)](#).

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## 36.10.75 Screening

### 1. Fences and Walls

- A. Fences and walls shall not exceed 42 inches in height within the front building setback, side street building setback, and building entry types in the R3-A and R3-B subdistricts. In the R3-C and R3-D subdistricts, fences and walls are not allowed within the front building setback, side street building setback, and building entry types.
- B. Fences and walls shall not exceed seven feet in height within side and rear setbacks outside front and street side setbacks in all subdistricts.
- C. The height of fences and walls shall be measured from the higher finished grade of the two sides at the base of the fence or wall.

### 2. Landscape Screening

- A. Landscaping shall not exceed 42 inches in height within the front setback, side street setback, and building entries and seven feet in height within interior setbacks in all subdistricts, except trees with canopy at maturity no lower than six feet.
- B. Landscaping height shall be measured from the higher finished grade of the two sides at the base of the landscaping.

### 3. Mechanical Equipment. New installation or relocation of existing mechanical equipment shall be screened as follows:

#### A. Roof-Mounted Equipment.

- (1) Building parapets or other architectural elements of the building shall screen roof-mounted equipment.
- (2) For existing buildings with a parapet less than two feet in height, mechanical equipment shall be surrounded on all sides by an opaque screen wall as tall as the highest point of the equipment.
- (3) If roof-mounted mechanical equipment is above the maximum height standard, any architectural element designed to screen the equipment may be up to 10% below the top of the equipment, provided the equipment is not publicly visible from the ground.

#### B. Wall- and Ground-Mounted Equipment

- (1) Equipment other than utilities is not allowed between front or side street façades and the street.
- (2) All screen devices shall be as high as the highest point of the equipment being screened.
- (3) Equipment and screening shall be in compliance with the setbacks of the subdistrict.

### 4. Exemptions. The following mechanical equipment is exempt from screening:

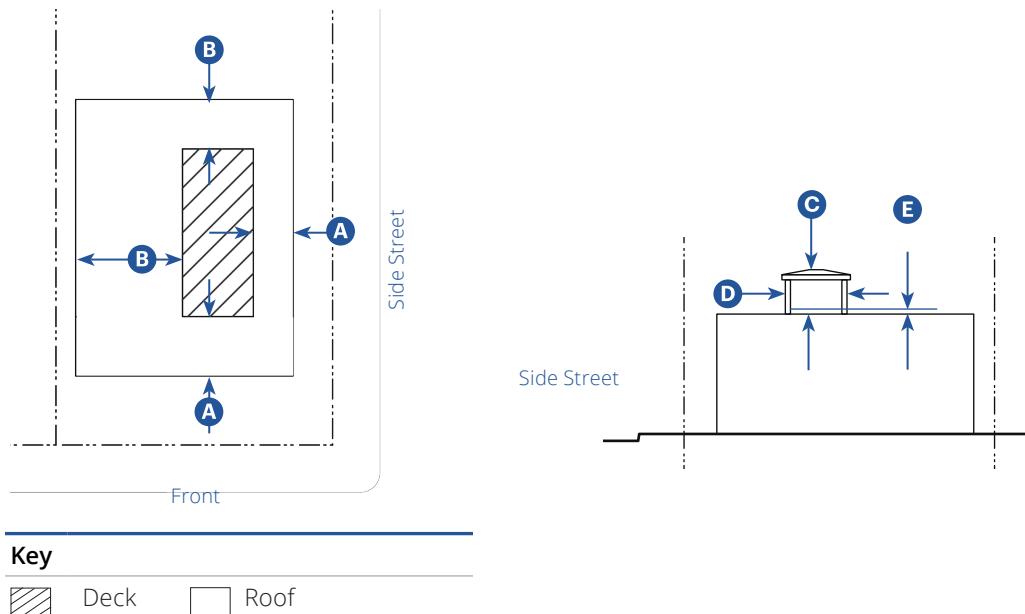
- A. Free-standing or roof-mounted solar equipment.
- B. Vents less than two feet in height.

### 5. Barbed Wire and Razor Wire. Barbed wire and razor wire screening are not allowed.

## 36.10.76 Rooftop Decks

1. **Applicability.** Rooftop decks are allowed only in the R3-D subdistrict.
2. **Deck Placement**
  - A. Rooftop deck shall be setback a minimum 3 feet from front and side street building façades, and a minimum 15 feet from all other building edges.
  - B. Deck footprint shall be a maximum 25 percent of total roof area at level of rooftop deck.
  - C. Deck height shall be a maximum 12 inches above the roof surface.
  - D. Rooftop deck(s) are not allowed on accessory structures.
3. **Enclosures and Shade Structures**
  - A. Rooftop decks shall not be enclosed except by a semi-open trellis.
  - B. Pergolas and other shade structures that serve as covering for rooftop decks are allowed up to 15 feet beyond the maximum allowed building height, measured from the top of wall plate of the building.
  - C. Materials for walls, trellis, pergola, and lighting shall match those used for the main building.

**Figure 36.10.76.1: Rooftop Deck**



### Deck Placement and Size

- A** Front and side street setback from building façades
- B** Interior setback from building edge
- C** Maximum overall height for deck with pergola or other shade structure
- D** Deck footprint
- E** Deck height above roof surface

4. **Windscreen(s)**

- A. Windscreens shall be transparent or designed in the same style, materials, and finishes as the main building.
- B. Windscreens shall be located only within or along the edges of the maximum allowed area for the rooftop deck.
- 5. **Furniture.** Furnishings (e.g., chairs, tables, stoves, barbecues, swimming pools, hot tubs) are allowed only within the delineated area for the rooftop deck.
- 6. **Stair/Elevator Penthouse(s), including Roof Hatches**
  - A. Stair/elevator penthouses shall follow the rooftop deck setbacks from the building edge(s) unless designed as a Tower Element in compliance with [Section 36.17.20 \(Massing Features\)](#).
  - B. The penthouse must be attached to the delineated area for the rooftop deck.
  - C. The penthouse(s) shall be designed in the same style, materials, and finishes as the main building.

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**36.10.77 Utilities and Public Improvements**

- 1. **Utilities.** Utilities are allowed to be installed within front building setbacks and required landscaped areas in compliance with the following:
  - A. Utility facilities shall be screened from public view in compliance with [Section 36.10.75 \(Screening\)](#).
  - B. Transformers and other dry utility appurtenances shall be below grade except if not allowed by the utility provider. If appurtenances must be above grade, it shall be screened from public view in compliance with [Section 36.10.75 \(Screening\)](#).
- 2. **Detached Public Sidewalk.** Where not already provided, a detached sidewalk (5' minimum) per City standard details is required. "Detached sidewalk" is a sidewalk with a planter strip between the curb and the sidewalk.
  - A. Exceptions for existing Heritage trees, curbs located less than 10 feet from the front property line, and other existing site conditions are provided in [Section 36.10.80 \(Exceptions to Standards\)](#).

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## 36.10.80 Exceptions to Standards

1. **Application Requirements.** Exception requests shall be reviewed and processed as follows:
  - A. Exception requests shall include a written request by the applicant explaining the need for the exception(s), as listed in [Table 36.10.80.A \(Exceptions to Standards\)](#), and identifying the existing site conditions or features that prevent compliance with the specific standard(s).
  - B. The applicant is allowed to request multiple exceptions for a single project within the same written request.
2. **Existing Site Conditions**
  - A. For purposes of this Section, existing site conditions that qualify a project for exception(s) by preventing compliance with standard(s) include the following:
    - (1) A legally permitted building or structure, not including accessory structures, constructed on the site with a certificate of occupancy;
    - (2) Utility infrastructure that is not required to be removed or relocated;
    - (3) A heritage tree in compliance with [Article II \(Protection of the Urban Forest\)](#) and not planned for removal or alteration with a permit;
    - (4) A natural feature, such as a stream or rock outcropping, that exists as of the date of initial application submittal;
    - (5) A structure, site, cultural landscape, or feature designated or eligible to be designated historically significant based on the criteria in [Article XVI \(Zoning Ordinance Administration\), Division 15 \(Designation and Preservation of Historic Resources\)](#);
    - (6) A watercourse as defined in [Article XVII \(Definitions\)](#) and not planned for removal or alteration;
    - (7) Retaining wall necessary to retain or support soil; and/or
    - (8) Existing easement(s).
  - B. The existing site condition(s) used as a basis for requesting an exception shall not be removed or altered.
3. **Exceptions Allowed.** Prior to approval of an exception, findings for the exception in [Table 36.10.80.A \(Exceptions to Standards\)](#) are required to be met.
  - A. If the development for which an exception is requested meets the required findings, the allowed exception(s) shall be granted. The exception(s) shall be processed concurrently with and through the same review body as the main application.
  - B. Multiple exceptions may be granted for a building or building lot. Each exception shall apply as necessary, but shall not apply cumulatively (i.e., the max. percentage specified by the exception shall not be exceeded).
  - C. Granting of an exception does not invalidate other standards not specified in [Table 36.10.80.A \(Exceptions to Standards\)](#).

**Table 36.10.80.A: Exceptions to Standards**

Applicable Standards	Required Findings	Allowed Exception	Reference
<b>1. Main Building Form</b>			
a. <b>Size of Footprint</b>  Increase in the allowed width and/or length	i. Existing site condition(s) prevents compliance with the standard; and  ii. The building complies with the setbacks of the subdistrict or as allowed to be adjusted by this Section.	Up to 20% of the standard	Section 36.10.70 (Development Standards by Subdistrict)
b. <b>Habitable Ground Floor Space</b>  Decrease in the required depth	i. Existing site condition(s) prevents compliance with the standard; and/or  ii. The existing lot is 80' or less in depth, preventing compliance with the habitable ground floor space standard.	Up to 20% of the standard	Section 36.10.70 (Development Standards by Subdistrict)
<b>2. Building Placement</b>			
a. <b>Front<sup>1</sup>, Side Street<sup>1</sup>, Side or Rear Setback</b>  Decrease in the minimum required setback for a primary building	i. Existing site condition(s) prevents compliance with the standard; and/or  ii. The existing lot is 80' or less in depth, preventing compliance with the rear setback standard.	Up to 25% of the standard	Section 36.10.70 (Development Standards by Subdistrict)
<b>3. Parking Location</b>			
a. <b>Front or Side Street Setback</b>  Reduction in the required parking setback	i. Existing site condition(s) prevents compliance with the standard; and  ii. The driveway is in compliance with <a href="#">Section 36.10.74 (Vehicle Access)</a> ; and  iii. The ground floor space remains habitable in compliance with <a href="#">Section 36.10.70</a> , as allowed to be adjusted by this Section.	Up to 10% of the standard when the required setback is 20' or more; or  Up to 20% of the standard when the required setback is less than 20'.	Section 36.10.70 (Development Standards by Subdistrict)
b. <b>Sidewalk and/or Landscaping Buffer Between Surface Parking and Building</b>  Reduction in the required width for sidewalk and/or landscaping	i. Existing site condition(s) prevents compliance with the standard; and  ii. The driveway is in compliance with <a href="#">Section 36.10.74 (Vehicle Access)</a> .	Up to 50% of the standard	Section 36.10.70 (Development Standards by Subdistrict)

**Table 36.10.80.A: Exceptions to Standards**

Applicable Standards	Required Findings	Allowed Exception	Reference
<b>4. Vehicle Access</b>			
a. <b>Front Street Access</b> Access from front street for a corner site	<ul style="list-style-type: none"> <li>i. The site is a corner site abutting a front street and side street; and</li> <li>ii. Existing site condition(s) prevents compliance with the standard; and</li> <li>iii. The driveway is in compliance with <a href="#">Section 36.10.74 (Vehicle Access)</a>.</li> </ul>	Vehicular access from front street instead of side street access	<a href="#">Section 36.10.74 (Vehicle Access)</a>

<sup>1</sup> Standards for building entries apply in compliance with [Sections 36.17.01 \(Multifamily Building Entry Design\)](#) and [36.17.02 \(Building Entry Types\)](#), and any exception shall not preclude the application of an allowed building entry type.

## 36.10.85 Development Review Required

All development, including exterior modifications to existing structures or site improvements, within the R3 zoning district shall be subject to development review pursuant to [Article XVI \(Zoning Ordinance Administration\)](#), [Division 2 \(Development Review Process\)](#), [Section 36.44.45 \(Development Review\)](#). No subdivision may be approved without a concurrent development application approval.

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# Article IV Residential Zones: Division 16

## Building Design

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### Sections:

- 36.17.01 Multifamily Building Entry Design
- 36.17.02 Building Entry Types
- 36.17.05 Window Design Standards Applicability
- 36.17.10 Window Design Standards
- 36.17.15 Bay Composition
- 36.17.20 Base-Middle-Top Design
- 36.17.25 Massing Features

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### 36.17.01 Multifamily Building Entry Design

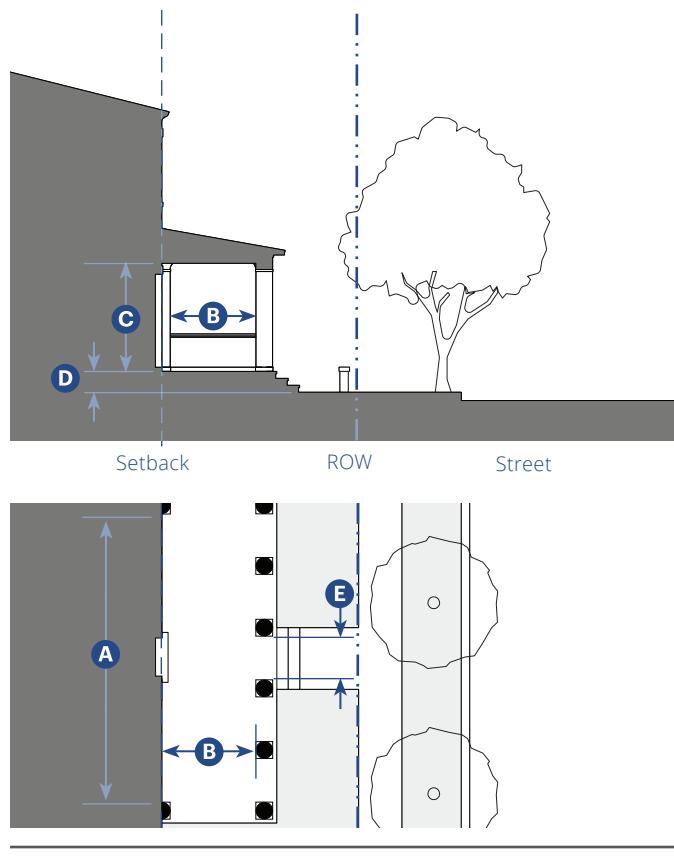
1. **Applicability.** Multifamily building entry design standards apply to all new buildings in the R3 Zoning District, except those that use the R1 or R2 Zoning District standards based on the number of units. These standards are to be used in conjunction with [Chapter 36 \(Zoning\)](#) and all other applicable sections of the [R3 Zoning District Standards](#).
2. **Multifamily Building Entry General Standards**
  - A. A building entry type shall be applied to each building and to each entrance serving one or more units from the allowed building entry types in the subdistrict, and in compliance with the applicable building entry type standards in [Section 36.17.02 \(Building Entry Type Standards\)](#). Building entry types not listed in the subdistrict's standards are not allowed in that subdistrict.
    - (1) Each building shall include a building entry or entries to individual units along the front street, side street, and/or abutting a paseo, internal street or common usable open area.
    - (2) Each building shall include a building entry type at each building and unit entry.
    - (3) Each building is allowed to have multiple building entry types in compliance with the types allowed for the subdistrict in compliance with [Section 36.10.70 \(Development Standards by Subdistrict\)](#).
  - B. The names of the building entry types indicate their configuration or function and do not limit uses within the associated building. For example, a Porch may be used by non-residential uses including, but not limited to, a restaurant or office, in compliance with [Section 36.10.70 \(Development Standards by Subdistrict\)](#).
  - C. Building entries are allowed to project into required building setbacks in compliance with [Section 36.10.70 \(Development Standards by Subdistrict\)](#).

## 36.17.02 Building Entry Types

Table 36.17.02.A (Building Entry Types) provides an overview of the allowed building entry types in the R3 Zoning District. See referenced section(s) for standards.

Table 36.17.02.A: Building Entry Types			
Building Entry Type		Standards	
Porch			36.17.02.A
Dooryard			36.17.02.B
Stoop			36.17.02.C
Forecourt			36.17.02.D
Terrace			36.17.02.E
Gateway			36.17.02.F
Common Entry			36.17.02.G
Shopfront			36.17.02.H

Figure 36.17.02.1: Porch



Key

--- ROW/Lot Line    ----- Setback Line

Table 36.17.02.B: Porch

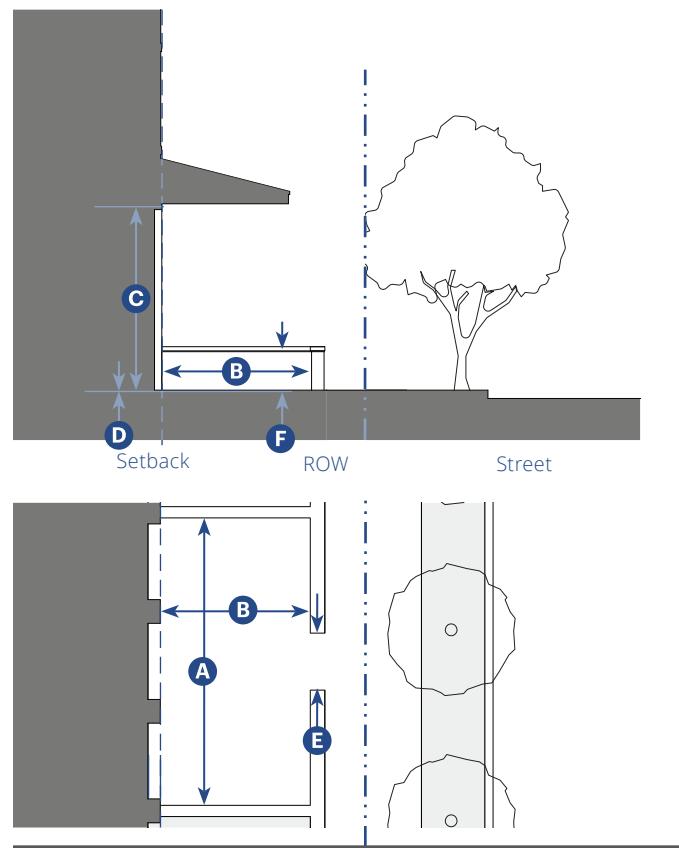
Width, Clear	15' min.	<b>A</b>
Depth, Clear	5' min.	<b>B</b>
Height, Clear	8' min.	<b>C</b>
Finish Level above Sidewalk	12" min. <sup>1</sup>	<b>D</b>
Pedestrian Access Width	3' min.	<b>E</b>

Porch shall be open on at least two sides and have a roof.

Clear glass may be installed between the porch columns.

<sup>1</sup> Entries serving multiple units are allowed at grade per local and federal accessibility standards.

Figure 36.17.02.2: Dooryard



Key

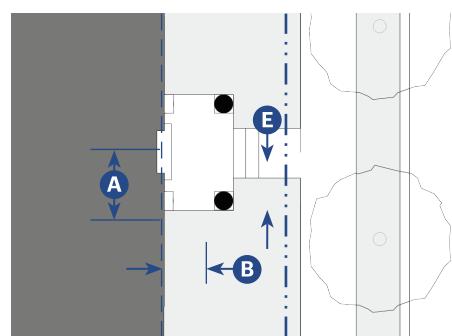
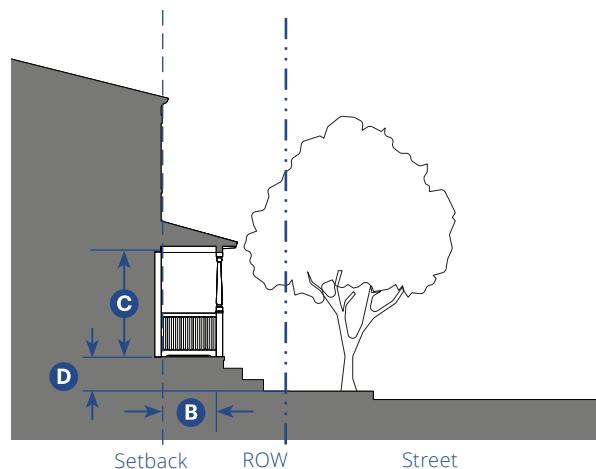
--- ROW/Lot Line    ----- Setback Line

Table 36.17.02.C: Dooryard

Width, Clear	15' min.	<b>A</b>
Depth, Clear	6' min.	<b>B</b>
Height, Clear	8' min.	<b>C</b>
Finish Level above Sidewalk	12" max.	<b>D</b>
Pedestrian Access Width	3' min.	<b>E</b>
Height of Dooryard fence/wall above finish level	36" max.	<b>F</b>

Each Dooryard shall provide access to only one ground floor entry.

Figure 36.17.02.3: Stoop



Key

--- ROW/Lot Line    ----- Setback Line

Table 36.17.02.D: Stoop

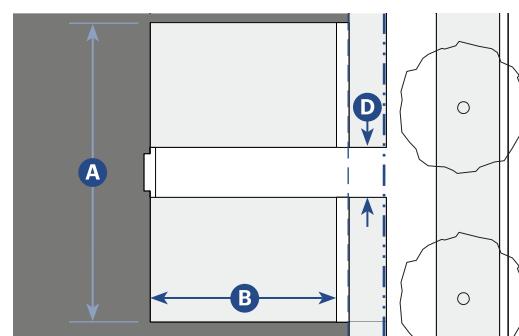
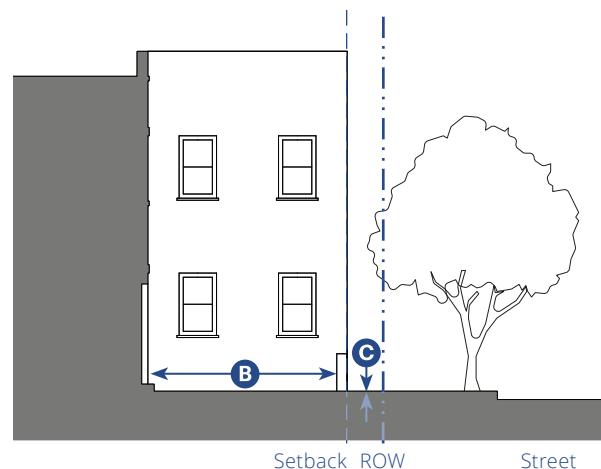
Width, Clear	4' min.	<b>A</b>
Depth, Clear	3' min.	<b>B</b>
Height, Clear	8' min.	<b>C</b>
Finish Level above Sidewalk	18" min.	<b>D</b>
Pedestrian Access Width	3' min.	<b>E</b>

Stoop shall serve no more than 3 units.

Stairs to Stoop may be perpendicular and/or parallel to the building façade.

To provide shelter from the elements, entry doors shall be covered or recessed.

Figure 36.17.02.4: Forecourt



Key

--- ROW/Lot Line    ----- Setback Line

Table 36.17.02.E: Forecourt

Width, Clear	15' min.	<b>A</b>
Depth, Clear	15' min.	<b>B</b>
Height, Clear	2 x clear width max.	
Finish Level above Sidewalk	12" max.	<b>C</b>
Pedestrian Access Width	6' min.	<b>D</b>
Allowed projection of gallery	Max 1/4 clear width of	
entries, awnings, balconies and	Forecourt per side	
porches into Forecourt		

Figure 36.17.02.5: Terrace

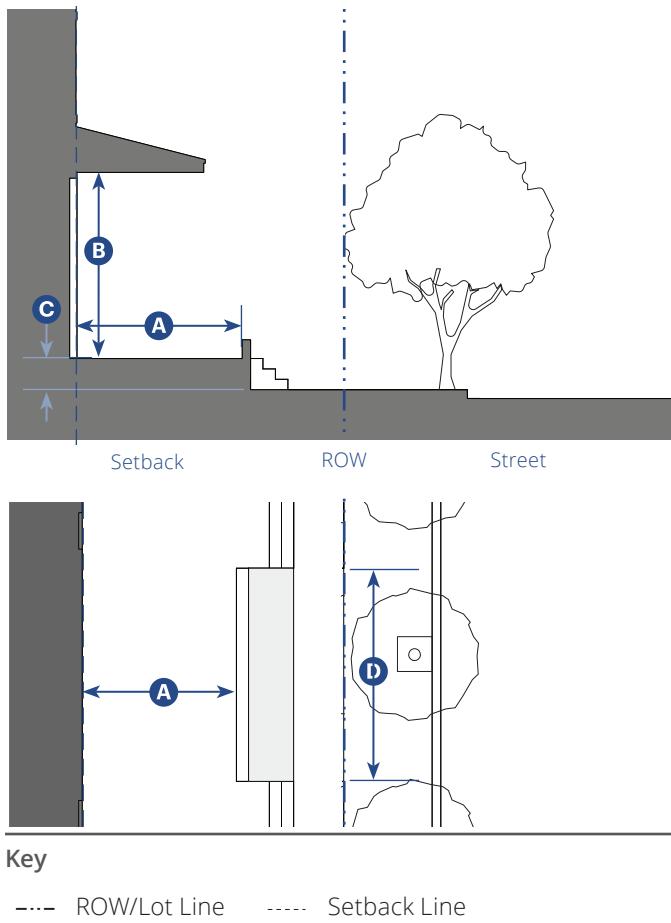


Figure 36.17.02.6: Gateway

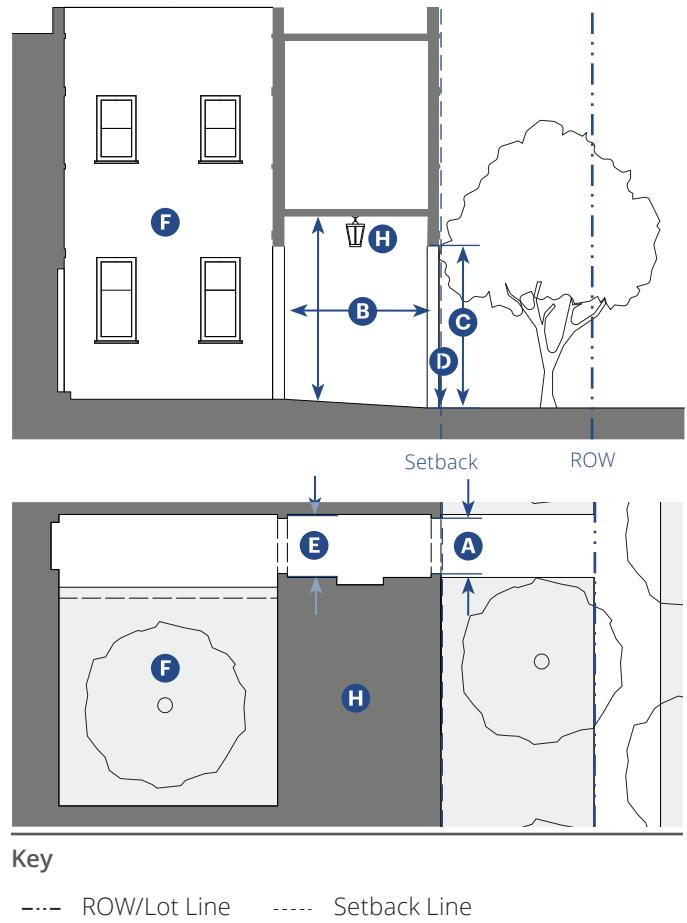


Table 36.17.02.F: Terrace

Width, Clear	Min width of abutting unit(s)
Depth, Clear	8' min. <b>A</b>
Height, Clear	8' min. <b>B</b>
Finish Level Above Sidewalk	48" max. <b>C</b>
Pedestrian Access Width	3' min. <b>D</b>
Distance between Stairs	25' max.

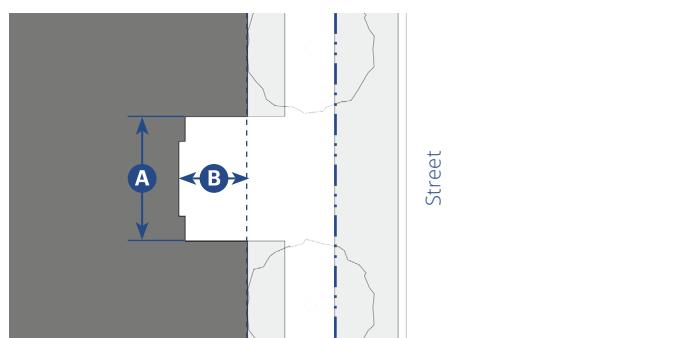
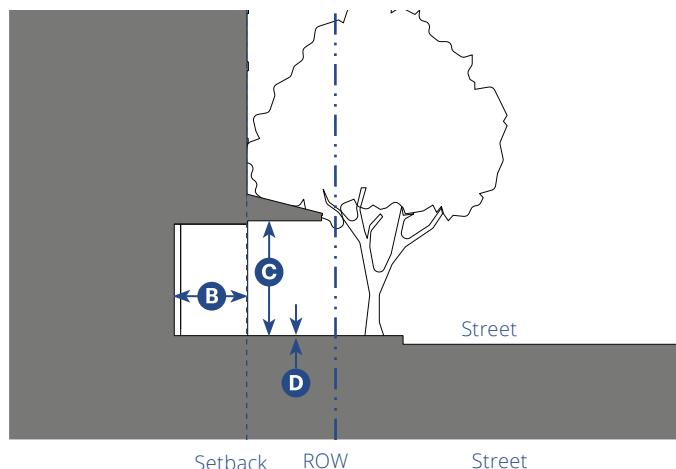
Terrace is allowed to project into the front and side street setbacks in compliance with [Section 36.10.70 \(Development Standards by Subdistrict\)](#)

Where a non-residential use is proposed, the Terrace entry type shall also comply with the standards for the Shopfront Entry Type, except that all references to the sidewalk shall instead reference the finish level of the Terrace.

Table 36.17.02.G: Gateway

Width, Clear	6' min. <b>A</b>
Depth, Clear	10' min.; 40' max. <b>B</b>
Height, Clear	10' min.; 20' max. <b>C</b>
Finish Level Above Sidewalk	6" max. at front; remainder unrestricted <b>D</b>
Pedestrian Access Width	6' min.; 12' max. <b>E</b>
Courtyard is allowed to count toward open area as required by <a href="#">Section 36.10.70 (Development Standards by Subdistrict)</a>	<b>F</b>
Habitable space required between Courtyard and ROW	<b>H</b>
Lighting is required within the Gateway.	
Semi-open/semi-privacy gates are allowed at front, in compliance with pedestrian access width standard.	

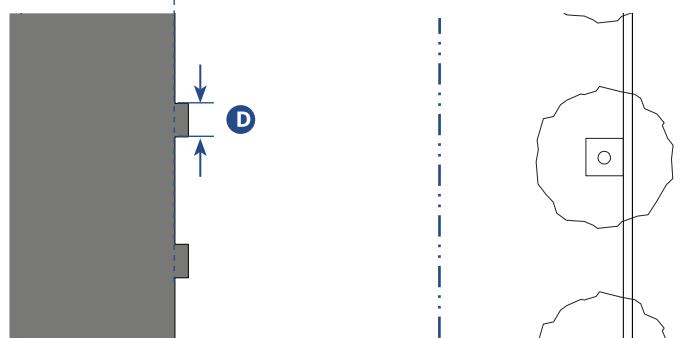
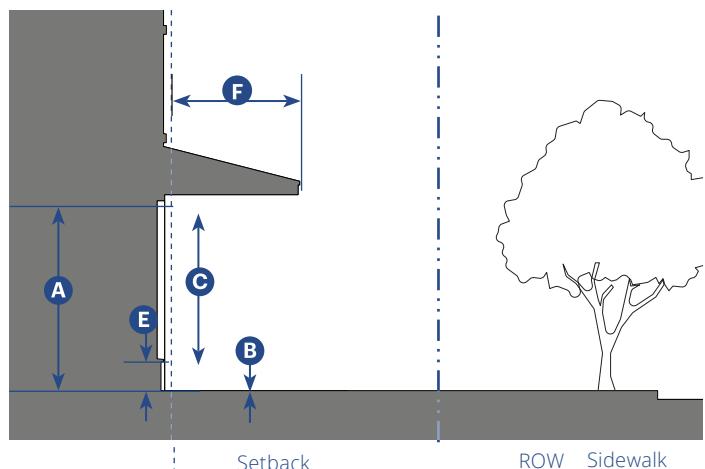
Figure 36.17.02.7: Common Entry



Key

— ROW/Lot Line    ----- Setback Line

Figure 36.17.02.8: Shopfront



Key

— ROW/Lot Line    ----- Setback Line

Table 36.17.02.H: Common Entry

Width, Clear	6' min.	<b>A</b>
Depth, Clear	18" min.	<b>B</b>
Height, Clear	8' min.	<b>C</b>
Finish Level Above Sidewalk	24" max.	<b>D</b>
Pedestrian Access Width	3' min.	
Ground Floor Glazing between Sidewalk and Finished Ceiling Height	30% min.	
Awning/Canopy (Where Used)		
Width	Clear width of entry, min.	
Depth	3' min. from entry door(s)	

Common Entry shall include window(s) above door(s), matching the width of the Common Entry.

Table 36.17.02.I: Shopfront

Height, Clear	8' min.	<b>A</b>
Finish Level Above Sidewalk	24" max.	<b>B</b>
Pedestrian Access Width	3' min.	
Ground Floor Glazing between Sidewalk and Finished Ceiling Height	75% min.	<b>C</b>
Distance between Glazing	24" max.	<b>D</b>
Shopfront Base Height	24" max.	<b>E</b>
Awning/Canopy (Where Used)		
Width	Width of Shopfront, min.	<b>F</b>
Depth	5' min.	
Decorative accordion-style doors/windows or other operable windows that allow the space to open to the street		
are allowed.		

## 36.17.15

## Bay Composition

1. **Applicability.** The standards of this [Section](#) apply to all new buildings of at least three stories. These standards are to be used in conjunction with [Chapter 36 \(Zoning\)](#) and all other applicable sections of the [R3 Zoning District Standards](#).

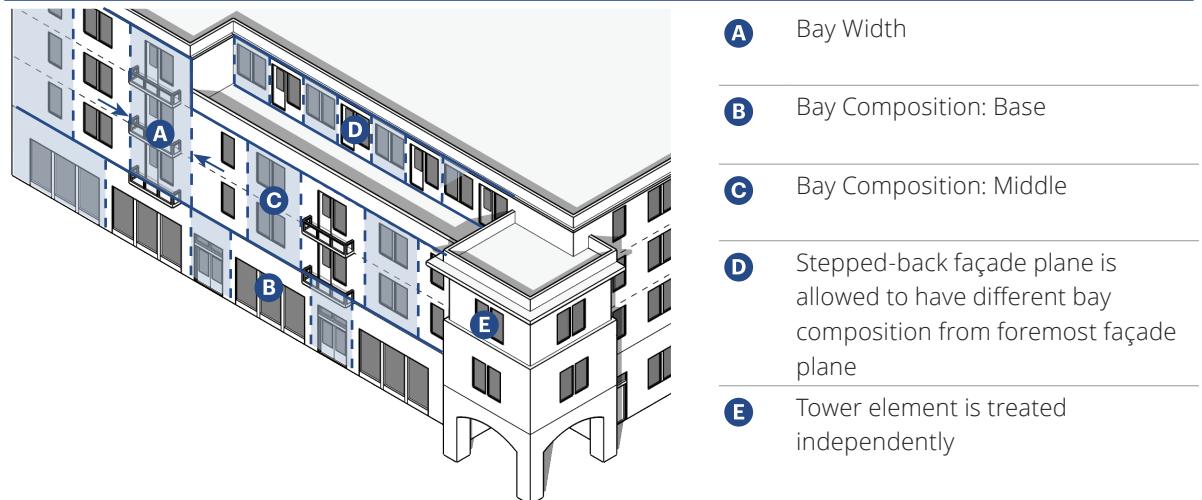
2. **Design Standards**

- A. Each bay shall be at least 4 feet wide and no wider than 17 feet; except that in the [R3-D subdistrict](#), bays within the building's base may be up to 25 feet wide.
- B. Bays are not required to be equal in width.
- C. Within each façade plane, the horizontal pattern of bays is allowed to differ between the base, middle, and/or top, but shall be consistent throughout each of these divisions.
- D. Blank walls shall not exceed 10 feet in length, measured horizontally from the edge of each opening to the nearest opening or façade edge.

3. **Bay Measurement**

- A. Bay width shall be measured horizontally from one boundary between bays to the next.
- B. The boundary between bays is measured at the midpoint between successive openings unless marked by a projecting expression of vertical structure on the façade (e.g., a column or pilaster), in which case the boundary is at the midpoint of the projecting element.
- C. Boundaries of each bay shall extend vertically from the lower boundary of the base, middle, or top to the upper boundary of the same division and shall not intersect any opening.
- D. Where applicable, the bay boundary shall coincide with the boundary of any massing feature type identified in accordance with [Section 36.17.25 \(Massing Features\)](#).

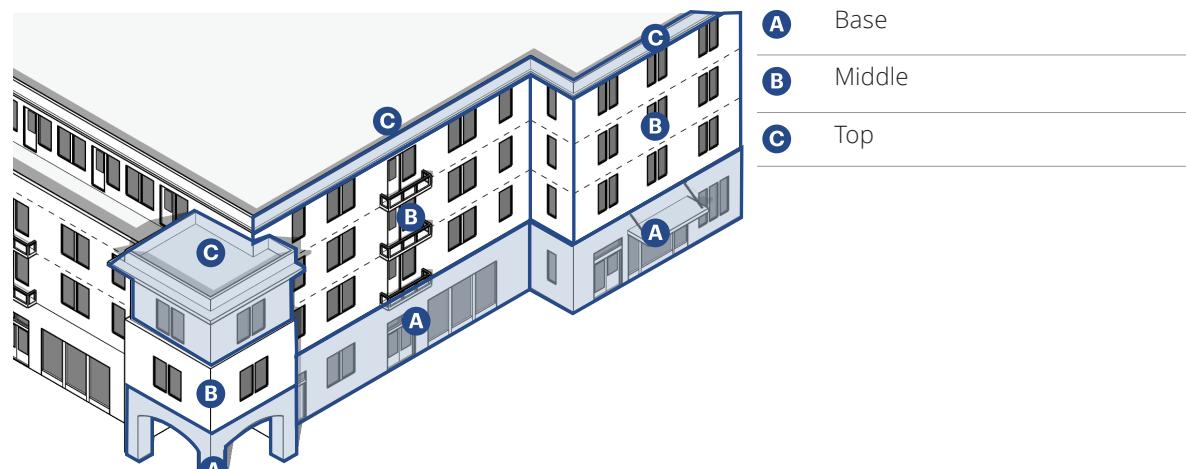
**Figure 36.17.15.A: Example of Bay Composition**



## 36.17.20 Base-Middle-Top Design

1. **Applicability.** The standards of this [Section](#) apply to all new buildings of at least four stories. These standards are to be used in conjunction with [Chapter 36 \(Zoning\)](#) and all other applicable sections of the [R3 Zoning District Standards](#).
2. **General Design Standards**
  - A. Boundaries between the base, middle, and top shall be articulated by a cornice, projecting profile/string course, or other horizontal element.
  - B. Elements defining the base, middle, and top shall be consistent across the length of the building.
3. **Standards for Base.** The base shall comprise the lowest story/stories of the building.
4. **Standards for Middle**
  - A. The middle shall include at least half of the building's stories, not counting any half story or basement.
  - B. The middle shall incorporate the building's primary wall color and finish material.
5. **Standards for Top**
  - A. The top shall include at least one of the following:
    - (1) Parapet with a cap that projects at least two inches;
    - (2) Pitched roof with projecting eave or rake; or
    - (3) Cornice (allowed to be used in combination with a parapet or pitched roof).
  - B. The top is allowed to include some or all of the uppermost story if a change of material or color is expressed on the façade at the boundary between middle and top in addition to the required cornice, projecting profile/string course, or other horizontal element.
  - C. Upper stories that are stepped back 10 feet or more from the primary façade do not constitute the top; the portion of the façade that is not stepped back shall include its own top in compliance with this section.
  - D. The height of the top, not including the height of any pitched roof above the eave, shall not exceed the height of the base.

**Figure 36.17.20.A: Example of Base, Middle, and Top Divisions**



## 36.17.25 Massing Features

1. **Applicability.** The standards of this [Section](#) apply to all new buildings of at least four stories and over 80' in building length. These standards are to be used in conjunction with [Chapter 36 \(Zoning\)](#) and all other applicable sections of the [R3 Zoning District Standards](#).

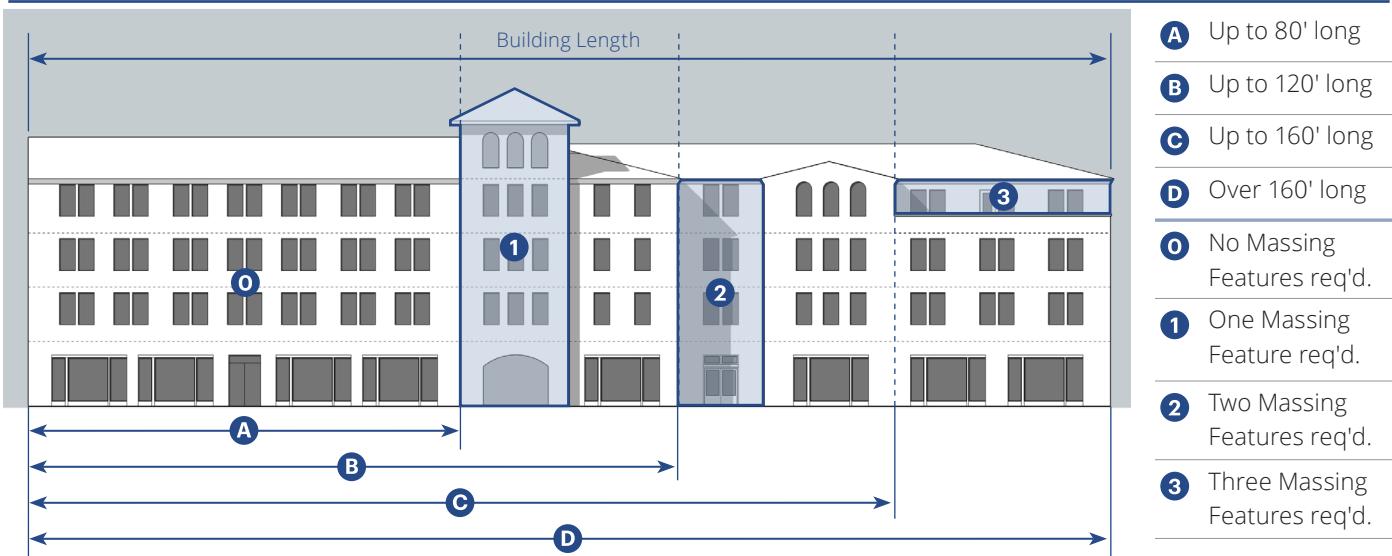
### 2. General Design Standards

- A. Massing features shall be integrated into the building design along the front and side street elevation in compliance with the standards of this Section and as specified in [Table 36.17.05.A \(Required Massing Features\)](#).
- B. Allowable massing feature types are listed in [Subsection 36.17.20.25 \(Massing Feature Types\)](#) and include Tower Elements, Upper Story Stepbacks, Projecting Volumes, and Recessed Volumes. The same massing feature type may be used more than once on the same façade. For the purpose of satisfying the required number of massing features, each instance may be counted toward the required minimum.

**Table 36.17.25.A: Required Massing Features**

Building Length	Features Required	
Up to 80'	None Required	<b>A</b>
Greater than 80', Up to 120'	1 min.	<b>B</b>
Greater than 120', Up to 160'	2 min.	<b>C</b>
Over 160'	3 min.	<b>D</b>

**Figure 36.17.25.A: Example of Massing Features by Building Length**



### 3. Massing Feature Types

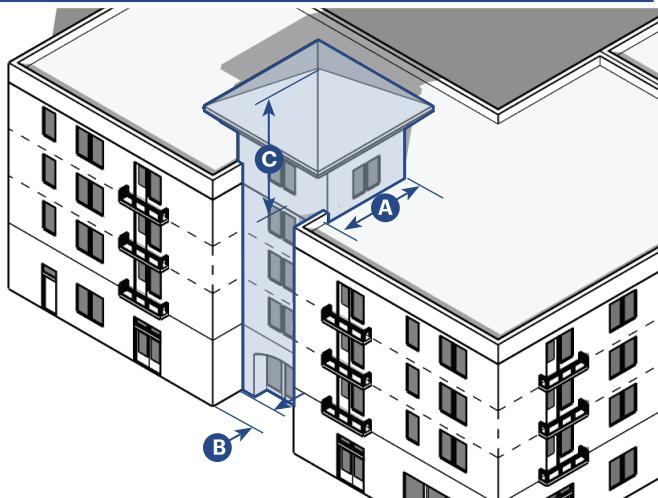
#### A. Tower Element

- (1) Dimensions: 10' x 10' min.; 30' x 30' max.
- (2) Projection or Recess from Façade: 3' min.
- (3) When the highest story of the building is at the maximum height allowed by the subdistrict, tower element is allowed to exceed maximum height allowed by the subdistrict by up to 15 feet.
- (4) Where a tower element is identified, adjacent façade(s) shall not be counted as a projecting volume or recessed volume.

#### B. Upper Story Stepback

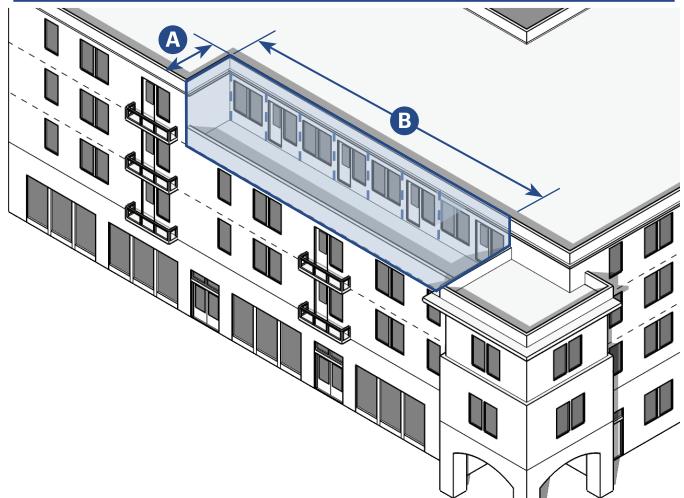
- (1) Stepback from Façade: 10' deep min.
- (2) Length of Stepback: 30' min.; 90' max.

**Figure 36.17.25.B: Example of Tower Element**



- A** Tower Element Footprint
- B** Projection or Recess
- C** Height aAllowance

**Figure 36.17.25.C: Example of Upper Story Stepback**



- A** Stepback from Primary Façade
- B** Length of Stepback

#### C. Projecting Volume

- (1) Projection from Façade: 3' min.
- (2) Width of Projecting Volume: 10' min.; 40' max.
- (3) Projecting volume shall extend vertically throughout the building's middle and is also allowed to extend through the top and/or base.
- (4) The roof form of a projecting volume shall correspond to that of the volume from which it projects and shall maintain the same eave height. Gable or hip roofs shall include a ridge running perpendicular to the projecting façade.

**D. Recessed Volume**

- (1) Recess from Façade: 3' min.
- (2) Width of Recessed Volume: 8' min.; 40' max.
- (3) Recessed volume shall extend vertically throughout the building's middle and top and is also allowed to extend through the base.
- (4) Gable or hip roofs shall break at recessed volume by maintaining the same eave height on all sides of the recessed volume where eaves occur.
- (5) When extending to the ground plane, recessed volume shall incorporate landscape, outdoor seating, and/or an extension of the sidewalk pavement.
- (6) Recessed volume is allowed to coincide with an entry type allowed in the subdistrict. See [Section 36.17.02 \(Building Entry Types\)](#).
- (7) Where a recessed volume is identified, any façade from which the recess can be measured shall not be counted as a projecting volume.