

PLANS FOR THE CONDITIONAL USE PERMIT,
DEVELOPMENT REVIEW PERMIT, AND
HERITAGE TREE REMOVAL PERMIT FOR:

805 YUBA STREET
CITY OF MOUNTAIN VIEW, CALIFORNIA
CONSTRUCTION OF PARKING LOT FOR BMW



VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING

- PROPERTY LINE
- CURB (CONC.)
- CONC. CURB & GUTTER
- SS SANITARY SEWER LINE
- W WATER LINE
- SD STORM DRAIN LINE
- E ELECTRICAL
- OH OVERHEAD UTILITY
- SL STREET LIGHT CONDUIT
- T TELEPHONE LINE
- G GAS LINE
- CATV CABLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- WM WATER METER
- FH FIRE HYDRANT
- WV WATER VALVE
- SSMH SANITARY SEWER MANHOLE
- CB CURB INLET

PROPOSED

- CURB
- CURB AND GUTTER
- SD STORM DRAIN
- SS SANITARY SEWER
- W WATER SERVICE
- FS FIRE WATER SERVICE
- CB CATCH BASIN
(AT PAVEMENT - USE CHRISTY U23
W/ TRAFFIC GRATE)
- CB (LANDSCAPE AREA - USE CHRISTY U64
W/ NON-TRAFFIC GRATE)
- CBCO PROPERTY LINE STORM INLET
AND CLEAN-OUT
(PER CITY STD. DET. B-8)
- WV WATER VALVE
- WM WATER METER
- IRR WM IRRIGATION WATER METER
- RPPFA REDUCED PRESSURE BACKFLOW
PREVENTION ASSEMBLY
- DCDA DOUBLE CHECK DETECTOR ASSEMBLY
(BELOW GRADE)
- SSCO SANITARY SEWER CLEANOUT
- DRIVEWAY AISLE - AC PAVEMENT (3" AC ON
11.5" AB CL II, 95% RELATIVE COMPACTION,
(SEE SOIL REPORT))
- CONCRETE SIDEWALKS OR DISPLAY AREA
(SEE STRUCTURAL AND SOIL REPORT)
- PERMEABLE PAVERS
- LANDSCAPE
- DECORATIVE TILES. MATERIAL MUST BE
APPROVED BY CITY OF MOUNTAIN VIEW'S
PLANNING DIVISION PRIOR TO PURCHASE.
- OVERLAND RELEASE
- TRAFFIC FLOW

SHEET INDEX

CIVIL PLANS (ONSITE)

- 1 C0.0 COVER SHEET
- 2 C1.0 TOPOGRAPHIC AND BOUNDARY SURVEY
- 3 C2.0 DEMOLITION PLAN
- 4 C2.1 CIRCULATION PLAN
- 5 C3.0 DIMENSIONAL PLAN
- 6 C4.0 GRADING PLAN
- 7 C5.0 PAVING PLAN
- 8 C6.0 STORMWATER CONTROL PLAN
- 9 C7.0 DETAILS
- 10 C8.0 OFF-SITE PLAN

LANDSCAPE PLANS

- 11 L-1A PLANTING PLAN
- 12 L-1B PLANTING DETAILS
- 13 L-2A IRRIGATION PLAN
- 14 L-2B IRRIGATION LEGEND AND NOTES
- 15 L-2C LANDSCAPE DETAILS
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- 19 L-3A EXISTING TREES
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ELECTRICAL PLANS

- 22 E1.1 PHOTOMETRICS
- 23 E0.0 ELECTRICAL SYMBOLS & ABBREVIATIONS
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- 27 E7.3 TITLE 24 REQUIREMENTS ELEC POWER DISTRIBUTION

STRUCTURAL PLANS

- 28 S-1 STRUCTURAL

PROJECT DIRECTORY:

APPLICANT: TASHOON CORPORATION
HAL MAHON
710 E. MUGLINCY LANE #112
CAMPBELL, CA 95008
(408) 688-6339

CIVIL ENGINEER: V&H Engineering, LLP
DAVID B. VOORHIES
5623 Le Fevre Drive
SAN JOSE, CA 95118
(408) 472-5222

LANDSCAPE ARCHITECT: TANAGUCHI LANDSCAPE ARCHITECTS
DENNIS TANAGUCHI
1013 SOUTH CLAROMONT ST., STE. 1
SAN MATEO, CA 94401
650-638-9985

GEOTECHNICAL ENGINEER: KC ENGINEERING COMPANY
DAVID V. CYMANSKI
865 COTTING LAND, SUITE A
VACAVILLE, CA 95688
(707) 447-4025

ABBREVIATIONS

| | | | |
|-----|-------------------------------|------|--------------------------|
| AB | AGGREGATE SUBBASE | IN | INVERT IN |
| BCR | BEGIN CURB RETURN | INV | INVERT THRU |
| BW | BACK OF WALK | IRR | IRRIGATION |
| CL | CENTERLINE | LP | LOW POINT |
| C | CONCRETE | OUT | INVERT OUT |
| CB | CATCH BASIN | P | PAVEMENT |
| DIP | DUCTILE IRON PIPE | PIV | POST INDICATOR VALVE |
| DW | DRIVEWAY | PVC | POLYVINYL CHLORIDE |
| ECR | END CURB RETURN | PIV | POST INDICATOR VALVE |
| EP | EDGE OF PAVEMENT | RCP | REINFORCED CONCRETE PIPE |
| FH | FIRE HYDRANT | RIM | RIM |
| FDC | FIRE DEPARTMENT CONNECTION | R/W | RIGH OF WAY |
| FL | FLOW LINE | TC | TOP OF CURB |
| FS | FIRE SERVICE | SDCO | STORM DRAIN CLEANOUT |
| G | GRADE | SDMH | STORM DRAIN MANHOLE |
| GB | GRADE BREAK | SS | SANITARY SEWER |
| GR | GRATE | SSCO | SANITARY SEWER CLEANOUT |
| HP | HIGH POINT | SSMH | SANITARY SEWER MANHOLE |
| | | WM | WATER METER |

SITE INFORMATION

APN: 161-02-008
SITE AREA: 1.95 ACRES
EXISTING BUILDING AREA: 8,913 SF
ZONING: CS
EXISTING PARKING SPACES: 138
PROPOSED PARKING SPACES: 284

MAINTENANCE AND INSPECTION TABLE

| ITEM | INSPECTION | MAINTENANCE |
|--|-------------------------------------|-----------------|
| PUBLIC STREET IMPROVEMENTS ON YUBA DR. & CENTRE ST. SIDEWALK, CURB & GUTTER & DRIVEWAY IMPROVEMENTS | PUBLIC WORKS | CITY |
| PUBLIC STREET IMPROVEMENTS ON E EL CAMINO REAL SIDEWALK & DRIVEWAY IMPROVEMENTS | PUBLIC WORKS/CALTRANS | CITY |
| PUBLIC STREET IMPROVEMENTS ON E. EL CAMINO REAL CURB & GUTTER | PUBLIC WORKS/ CALTRANS | CALTRANS |
| WATER SERVICE FROM CITY MAIN UP TO & INCLUDING WATER METER | PUBLIC WORKS | CITY |
| BACKFLOW PREVENTERS (BPP'S) | PUBLIC WORKS | PRIVATE |
| FIRE SERVICE FROM CITY MAIN UP TO & NOT INCLUDING THE DCDA | PUBLIC WORKS | CITY |
| DOUBLE CHECK DETECTIVE ASSEMBLIES (DCDA'S) | PUBLIC WORKS/ BUILDING INSPECTOR | PRIVATE |
| SANITARY SEWER LATERAL FROM CITY MAIN UP TO AND INCLUDING THE PROPERTY LINE CLEANOUT ON YUBA DR. | PUBLIC WORKS | PRIVATE |
| SANITARY SEWER LATERAL AFTER THE PROPERTY LINE CLEANOUT | DEVELOPER/ENGR. BUILDING INSP. | PRIVATE |
| STORM DRAIN FROM CITY MAIN UP TO BUT NOT INCLUDING OFF-SITE STORM DRAIN SYSTEM UP TO THE PROPERTY LINE INLET ON E EL CAMINO REAL | PUBLIC WORKS/CALTRANS | CITY |
| STORM DRAIN PROPERTY LINE INLET | PUBLIC WORKS | PRIVATE |
| ON-SITE STORM DRAINAGE IMPROVEMENTS, AFTER THE PROPERTY LINE INLET WITHIN COMMON AREA | DEVELOPER/ENGR. BUILDING INSP. | PRIVATE |
| ELECTRIC, TELEPHONE, CABLE COMMUNICATIONS AND GAS | UTILITY COMPANY | UTILITY COMPANY |

CONSTRUCTION AND DEMOLITION ORDINANCE

THIS PROJECT MUST COMPLY WITH CITY'S CONSTRUCTION AND DEMOLITION ORDINANCE (MOUNTAIN VIEW CITY CODE CHAPTER 16, ARTICLE III).

CONSTRUCTION WORK HOURS

NO WORK SHALL COMMENCE ON THE JOB SITE PRIOR TO 7:30 A.M. NOR CONTINUE LATER THAN 4:00 P.M., MONDAY THROUGH FRIDAY, NOR SHALL ANY WORK BE PERMITTED ON SATURDAY OR SUNDAY OR ANY HOLIDAY UNLESS PRIOR APPROVAL IS GRANTED.

STORM WATER TREATMENT SYSTEM NOTE

CONTACT THE CITY'S URBAN RUNOFF COORDINATOR (605) 903-6225 FOR INSTALLATION INSPECTIONS OF STORM WATER TREATMENT FACILITIES. FOR BIO-TREATMENT FACILITIES, INSPECTION ARE REQUIRED AT THE FOLLOWING STAGES: EXCAVATION, INSTALLATION OF UNDER-DRAINAGE, INSTALLATION OF THE BIO TREATMENT SOIL (SOIL TEST RESULTS ARE REQUIRED SHOWING THAT THE SOIL HAS A PERCOLATION RATE OF 5-10 IN/HR) AND LANDSCAPING. AN AS BUILT CERTIFICATE FOR THE PROJECT MUST BE SIGNED AND SUBMITTED TO THE CITY'S FIRE AND ENVIRONMENTAL PROTECTION DIVISION PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

PROJECT BENCHMARK:

CITY OF MOUNTAIN VIEW BENCHMARK# IV-47, ELEVATION=124.60 FEET (NAVD88)

BASIS OF BEARINGS

THE BEARING N57°12'58"W ALONG THE CENTER LINE OF CENTRE AVENUE AS SHOWN ON THE CERTAIN PARCEL MAP FILED FOR RECORD ON MARCH 28, 1974 IN BOOK 337 OF MAPS AT PAGE 42, SANTA CLARA COUNTY RECORDS.

SANTA CLARA WATER DISTRICT NOTE

SANTA CLARA WATER DISTRICT HAS RECORDS FOR MOST WELLS LOCATED IN THE COUNTY. IT IS ALWAYS POSSIBLE THAT A WELL EXISTS THAT IS NOT IN THE DISTRICT'S RECORDS. IF PREVIOUSLY UNKNOWN WELLS ARE FOUND ON THE SUBJECT PROPERTY DURING DEVELOPMENT, THEY MUST BE PROPERLY DESTROYED UNDER PERMIT FROM THE DISTRICT OR REGISTERED WITH THE DISTRICT AND PROTECTED FROM DAMAGE.

STREET CLEANING

THE PRIME CONTRACTOR OR DEVELOPER IS TO HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES. THE STREET CLEANING CONTRACTOR IS TO HAVE THE CAPABILITY OF SWEEPING THE STREETS WITH BOTH A BROOM-TYPE SWEEPER AND A REGENERATIVE AIR VACUUM SWEEPER, AS DIRECTED BY THE PUBLIC WORKS DIRECTOR, OR HIS/HER DESIGNATED REPRESENTATIVE.

RECOLOGY MOUNTAIN VIEW

RECOLOGY MOUNTAIN VIEW IS THE CITY'S EXCLUSIVE HAULER FOR RECYCLING AND DISPOSAL OF CONSTRUCTION AND DEMOLITION DEBRIS. FOR ALL DEBRIS BOXES, CONTACT RECOLOGY. USING ANOTHER HAULER MAY VIOLATE MOUNTAIN VIEW CITY CODE SECTIONS 16.13 AND 16.17 AND RESULT IN CODE ENFORCEMENT ACTION.

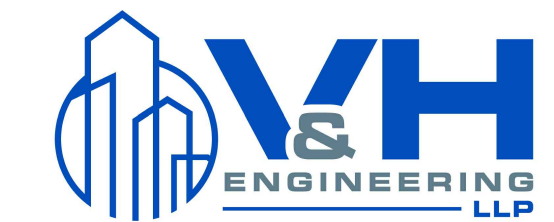
HAUL ROUTE NOTE

ALL CONSTRUCTION AND MATERIAL DELIVERY TRAFFIC SHALL USE THE FOLLOWING TRUCK ROUTES TO ACCESS AND EXIT THE SITE:
TO SITE: 101 -> 237 -> CENTRE STREET
FROM SITE: YUBA DRIVE -> EL CAMINO REAL -> 237 -> 101
THE DEVELOPER SHALL COORDINATE DELIVERIES AND CONSTRUCTION ACTIVITIES IN A MANNER TO MINIMIZE THE EFFECT OF THESE ACTIVITIES IN THE NEIGHBORHOOD.

EROSION CONTROL PLAN

THE PROJECT SHALL COMPLY WITH THE EROSION CONTROL PLAN IN THE APPROVED BUILDING PLANS.

General Notes



5623 LE FEVRE DRIVE
SAN JOSE, CA 95118
TEL 408-472-5222



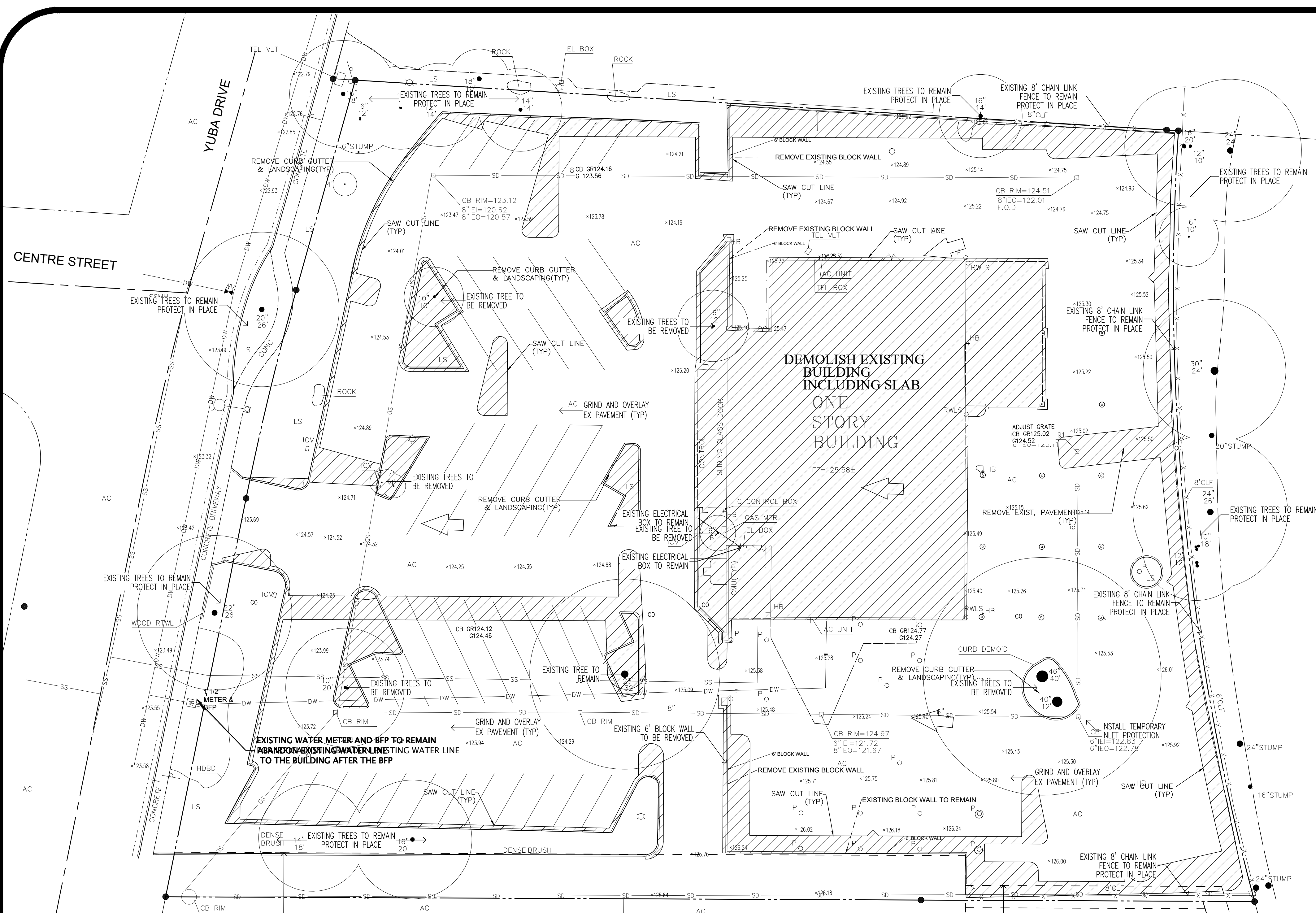
07-28-2023

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|-----|----------------------|---------|
| 2 | INCORPORATE COMMENTS | 7.28.23 |
| 1 | INCORPORATE COMMENTS | 6.26.23 |
| No. | Revision/Issue | Date |

Firm Name and Address
V&H ENGINEERING, LLP
5623 LE FEVRE DRIVE
SAN JOSE, CA 95118
408-472-5222

Project Name and Address
BMW AUTO INVENTORY PARKING
805 Yuba Drive
Mountain View, CA

| | | |
|---------|------------|-------------------------------------|
| Project | J-030 | Sheet C0.0 COVER SHEET |
| Date | 04-20-2023 | |
| Scale | AS NOTED | |



PLAN LEGEND

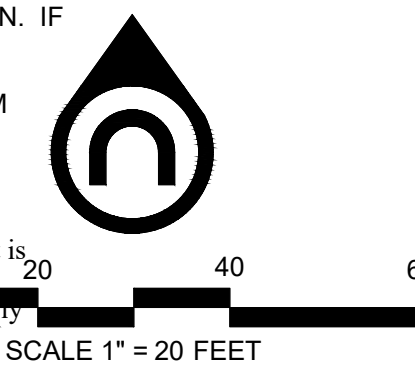
| LINETYPE / SYMBOL | DESCRIPTION |
|-------------------|---|
| | REMOVE EXISTING CONCRETE, LANDSCAPE & BASE ROCK TO FULL DEPTH OR AS DIRECTED BY SUPERVISING GEOTECHNICAL ENGINEER |
| | REMOVE EXISTING CONCRETE CURBS, WALKS, WALLS ETC |
| | (E) DRAIN INLET PROTECTION |

DEMOLITION NOTES - SITEWORK

- REMOVE ALL EXISTING LANDSCAPING INCLUDING TREES, ROOT SYSTEMS, SHRUBS, GROUND COVER, VEGETATION AND ANY OTHER ORGANIC MATERIAL COVERING THE SITE. ORGANIC MATERIAL SHALL BE STRIPPED AND STOCKPILED. TREE REMOVALS SHALL INCLUDE EXCAVATION AND REMOVAL OF ENTIRE ROOT BALLS AND BRANCHING SYSTEMS.
- ANY PERIMETER LANDSCAPING, TREES OR OTHER EXISTING LANDSCAPE FEATURES DESIGNATED TO REMAIN SHALL BE PROTECTED AT ALL TIMES. CONTRACTOR IS REQUIRED TO DETERMINE THE EXTENTS OF ALTERATION AND PRESERVATION NECESSARY TO IRRIGATION SYSTEMS IN ORDER TO MAINTAIN ANY PERIMETER LANDSCAPING AND TREES NOTED.
- SITE DEMOLITION INCLUDES REMOVAL OF ALL EXISTING BUILDINGS, CONCRETE FLATWORK, WALLS, FENCES, FURNITURE AND ASSOCIATED ITEMS. WORK INCLUDES COMPLETE REMOVAL OF ALL RELATED FOUNDATIONS, FOOTINGS AND BURIED SUBSTRUCTURES. CONCRETE AND ASPHALT PAVEMENT REMOVAL INCLUDES THE FULL PAVEMENT SECTIONS TO EXISTING NATIVE SUBGRADE.
- ALL ASPHALT PAVEMENT SHALL BE REMOVED AND STOCKPILED ON-SITE SEPARATE FROM ANY SUBGRADE OR OTHER MATERIALS, IN ORDER TO BE TESTED FOR POTENTIAL RE-USE. CONCRETE SHALL STOCKPILED SEPARATELY AND CRUSHED TO A MAXIMUM 3/4" DIAMETER OR AS DIRECTED BY THE SUPERVISING SOILS ENGINEER ON-SITE IN ORDER TO BE TESTED FOR POTENTIAL RE-USE. ALL STOCKPILES MUST BE COVERED AT ALL TIMES.
- IN THE EVENT OF THE DISCOVERY OF HUMAN REMAINS DURING THE CONSTRUCTION OR DEMOLITION, THERE SHALL BE NO FURTHER EXCAVATION WITHIN 50' RADIUS OF THE LOCATION OF SUCH DISCOVERY, OR ANY NEARBY AREA REASONABLY SUSPECTED TO OVERLIE ADJACENT REMAINS. THE SANTA CLARA COUNTY CORONER SHALL BE NOTIFIED AND SHALL MAKE A DETERMINATION AS TO WHETHER THE REMAINS ARE NATIVE AMERICAN. IF NO SATISFACTORY AGREEMENT CAN BE REACHED AS TO THE DISPOSITION OF THE REMAINS PURSUANT TO THE STATE LAW, THEN THE LANDOWNER SHALL REINTER THE HUMAN REMAINS AND ITEMS ASSOCIATED WITH NATIVE AMERICAN BURIALS ON THE PROPERTY NOT IN A LOCATION NOT SUBJECT TO FURTHER SURFACE DISTURBANCE. A FINAL REPORT SHALL BE SUBMITTED TO THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY. THIS REPORT SHALL CONTAIN A DESCRIPTION OF THE MITIGATION PROGRAMS AND AND ITS RESULTS, INCLUDING A DESCRIPTION OF THE MONITORING AND TESTING RESOURCES ANALYSIS AND METHODOLOGY AND CONCLUSIONS, AND AND A DESCRIPTION OF THE DISPOSITION/CURATION OF THE RESOURCES. THE REPORT SHALL VERIFY THE COMPLETION OF THE MITIGATION PROGRAM TO THE SATISFACTION OF THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR.
- IN THE EVENT A FOSSIL IS DISCOVERED DURING THE CONSTRUCTION OF THE PROJECT, EXCAVATIONS WITHIN 50' OF THE FIND SHALL BE TEMPORARILY HALTED OR DELAYED UNTIL THE DISCOVERY IS EXAMINED BY A QUALIFIED PALEONTOLOGIST IN ACCORDANCE WITH SOCIETY OF VERTEBRATE PALEONTOLOGY STANDARDS. THE CITY SHALL INCLUDE A STANDARD INADVERTENT DISCOVERY CLAUSE IN EVERY CONSTRUCTION CONTRACT TO INFORM CONTRACTORS OF THIS REQUIREMENT. IF THE FIND IS DETERMINED TO BE SIGNIFICANT AND AVOIDANCE IS NOT FEASIBLE, THE PALEONTOLOGIST SHALL DESIGN AND CARRY OUT A DATA RECOVERY PLAN CONSISTENT WITH THE SOCIETY OF VERTEBRATE PALEONTOLOGY STANDARDS.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT A MINIMUM OF 48 HOURS PRIOR TO MOBILIZING ON-SITE. NOT ALL EXISTING UTILITIES MAY BE SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, PRIOR TO STARTING WORK.
- THESE DRAWINGS ARE NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THE PLANS ARE INTENDED TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND ESTABLISH THE PARAMETERS OF SCOPE. EXISTING FEATURES ARE SHOWN BASED ON FIELD SURVEYS, RECORD PLANS AND OTHER AVAILABLE INFORMATION, HOWEVER, THE PLANS MAY OR MAY NOT ACCURATELY REFLECT THE TYPES OR EXTENT OF ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE TO DETERMINE THE TYPES, QUANTITY AND EXTENTS OF ALL EXISTING IMPROVEMENTS, UTILITIES AND RELATED FEATURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE NECESSARY SCOPE AND EXTENT OF EXISTING FACILITIES AND ASSOCIATED WORK FOR DEMOLITION AND REMOVAL.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES,) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- IF ANY UTILITIES OR OTHER IMPROVEMENTS ARE DISCOVERED DURING THE COURSE OF WORK, NOTIFY THE ENGINEER AND OWNER IMMEDIATELY PRIOR TO PROCEEDING. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING AND SURVEYING ALL FIELD-LOCATED UTILITIES NOT SHOWN ON THESE PLANS, IF FOUND.
- CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY SITE VISITS, INSPECTIONS, TESTING, UTILITY LOCATING, POTHOLING OR OTHER NECESSARY RECONNAISSANCE TO FULLY ASCERTAIN AND UNDERSTAND EXISTING SITE CONDITIONS, CONSTRAINTS AND OTHER POTENTIAL UNKNOWN. BY THE USE OF THESE PLANS THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PERFORMING ANY AND ALL WORK NECESSARY TO FULLY COMPLETE DEMOLITION EFFORTS.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGNER PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- PRIOR TO STARTING WORK, CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL EXISTING UTILITIES, INFRASTRUCTURE, TREES, LANDSCAPING AND OTHER IMPROVEMENTS TO REMAIN AND BE REMOVED, INCLUDING THE PROJECT SITE AND ALSO ANY SURROUNDING PUBLIC AND PRIVATE FACILITIES BEYOND THE LIMITS OF WORK. VERIFY ANY ITEMS DISCOVERED IN THE FIELD DURING SITE RECONNAISSANCE OR FIELD INVESTIGATIONS WITH THE OWNER AND ENGINEER PRIOR TO START.
- IF ANY EXISTING IMPROVEMENTS MUST BE TEMPORARILY REMOVED OR ALTERED IN ANY FASHION IN ORDER TO COMPLETE WORK, THEY MUST BE FULLY RESTORED TO A CONDITION EQUAL OR BETTER THAN THEIR ORIGINAL STATE AS SOON AS POSSIBLE DURING CONSTRUCTION. IF ANY EXISTING IMPROVEMENTS ARE CUT, DAMAGED OR DESTROYED DURING THE COURSE OF WORK, THE CONTRACTOR IS RESPONSIBLE FOR REPLACING THEM IN KIND TO A CONDITION EQUAL OR BETTER THAN THEIR ORIGINAL STATE, AT NO COST TO THE OWNER.
- PERIMETER CONSTRUCTION FENCING TO BE INSTALLED PRIOR TO START OF WORK. LAYOUT AND GATE LOCATION(S) SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD IN COORDINATION WITH CITY INSPECTOR AND PROPERTY OWNER. FENCING TO BE MINIMUM HEIGHT OF 6'-0", CHAIN-LINK WITH FABRIC SCREENING AS DETAILED ON THE DRAWINGS. CONTRACTOR TO SUBMIT MANUFACTURER'S SHOP DRAWINGS FOR OWNER AND ENGINEER APPROVAL PRIOR TO ORDERING MATERIAL.
- GATES, MAN DOORS AND ANY OTHER ACCESS POINTS SHALL HAVE KNOX BOXES INSTALLED FOR FIRE DEPARTMENT ACCESS AND MUST COMPLY WITH ALL APPLICABLE FIRE DEPARTMENT REQUIREMENTS.
- Nonwood-frame buildings constructed before 1981 that will be completely demolished are required to conduct representative sampling of priority building materials that may contain polychlorinated biphenyls (PCBs). If sample results of one or more priority building materials show PCBs concentrations ≥ 50 ppm, the applicant is required to follow applicable Federal and State notification and abatement requirements prior to demolition of the building. Submit a completed "Polychlorinated Biphenyls (PCBs) Screening Assessment Applicant Package" with the building demolition plans for the project. A demolition permit will not be issued until the completed "PCBs Screening Assessment Applicant Package" is submitted and approved by the City Fire and Environmental Protection Division (FEPD). Applicants are required to comply with applicable Federal and State regulations regarding notification and abatement of PCBs-containing materials. A copy of the "PCBs Screening Assessment Applicant Package" and related guidance and information can be found here: <https://www.mountainview.gov/documents/MVFD/Updated%20PCBs%20Screening%20Assessment%20Applicant%20Package.pdf>



General Notes

5623 LE FEVRE DRIVE
SAN JOSE, CA 95118
TEL 408-472-5222

06-26-2023

| 1 | INCORPORATE COMMENTS | 6.26.23 |
|-----|----------------------|---------|
| No. | Revision/Issue | Date |

Firm Name and Address

V&H ENGINEERING, LLP

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SAN JOSE, CA 95118
408-472-5222

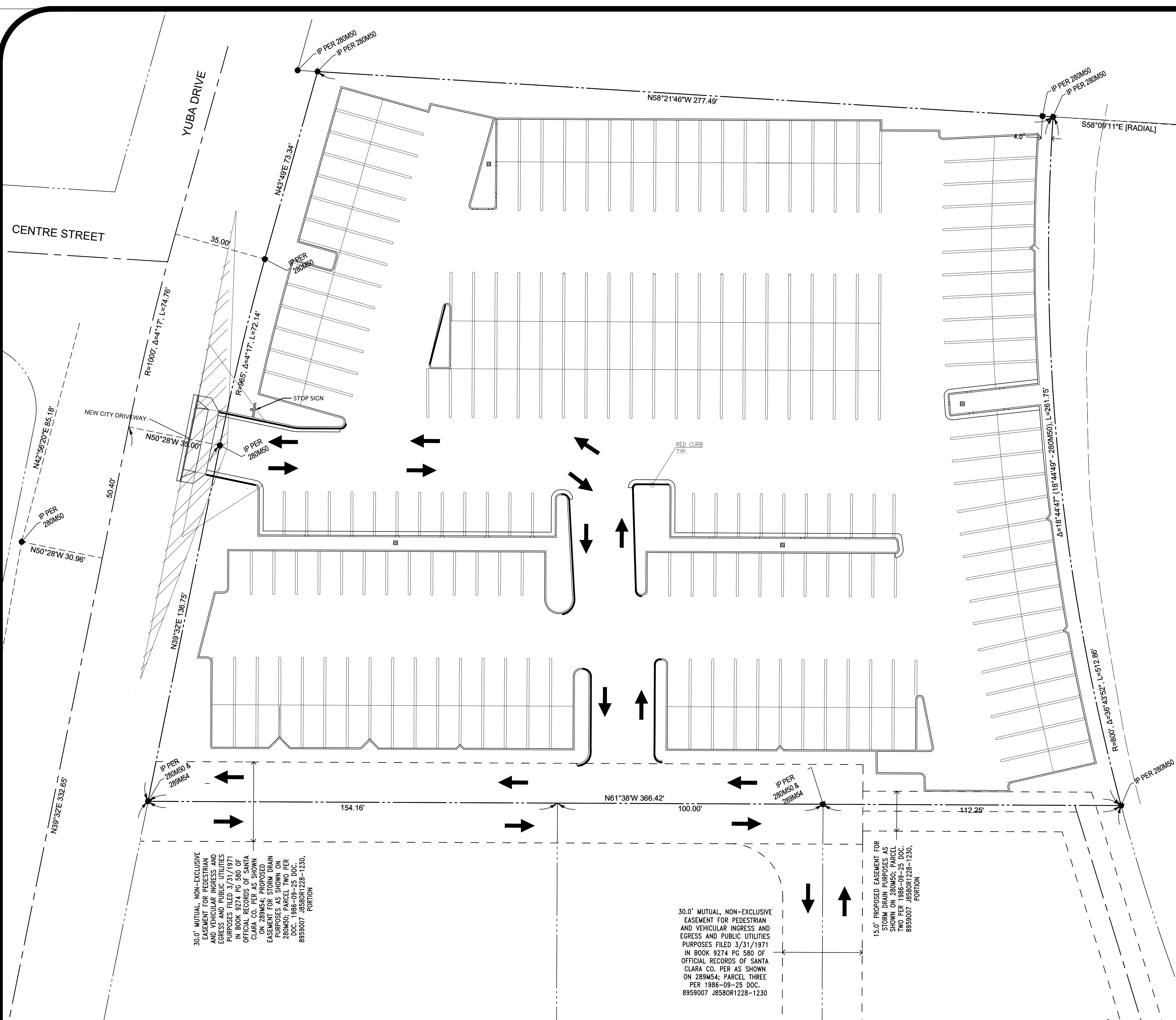
Project Name and Address

BMW AUTO INVENTORY PARKING
805 Yuba Drive
Mountain View, CA

| | | | |
|---------|------------|-----------------|------|
| Project | J-030 | Sheet | C2.0 |
| Date | 04-20-2023 | DEMOLITION PLAN | |
| Scale | AS NOTED | | |

DEMOLITION NOTES - UTILITIES

- CONTRACTOR IS REQUIRED TO COORDINATE WITH ALL APPLICABLE UTILITY PROVIDERS FOR UTILITY DISCONNECTS AND REQUIRED PROCEDURES FOR SHUT-OFF, CAPPING OR REMOVAL OF ANY UTILITY SERVICES TO THE SITE. REFER TO THE UTILITY DISCONNECT TABLE FOR DEMARCATION POINTS BETWEEN UTILITY PROVIDER AND CONTRACTOR RESPONSIBILITIES.
- EXISTING UTILITIES SHALL BE FULLY REMOVED AND BACKFILLED, OR ABANDONED IN-PLACE AS DIRECTED BY THE SUPERVISING GEOTECHNICAL ENGINEER ON-SITE. UTILITIES SHOWN TO BE CUT AND CAPPED SHALL BE DOCUMENTED AND SURVEYED FOR EXACT HORIZONTAL LOCATION AND VERTICAL DEPTH BELOW GRADE AT THE POINT OF CAPPING. WITNESS MARKERS MUST BE INSTALLED ABOVE GRADE PER THE DETAIL ON THESE PLANS AND SHALL BE PROTECTED AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MINOR UTILITIES THROUGHOUT THE SITE INCLUDING, BUT NOT LIMITED TO, IRRIGATION SYSTEMS, MINOR ELECTRICAL CONDUITS SUCH AS ON-SITE LIGHTING, SECURITY AND COMMUNICATIONS CONDUITS ETC. THAT MAY OR MAY NOT BE SHOWN ON THE PLANS. TEMPORARY UTILITIES MAY ALSO BE REQUIRED FOR MAINTAINING EXISTING FACILITIES ON-SITE OR ALONG THE PROJECT PERIMETER AS NOTED ON THE DRAWINGS.



30.0' MUTUAL, NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS AND PUBLIC UTILITIES PURPOSES FILED 3/31/1971 IN BOOK 9274 PG 580 OF OFFICIAL RECORDS OF SANTA CLARA CO. PER AS SHOWN ON 289M54; PROPOSED EASEMENT FOR STORM DRAIN PURPOSES AS SHOWN ON 289M50; PARCEL THREE PER 1986-09-25 DOC. 8959007 J8580R1228-1230, PORTION

30.0' MUTUAL, NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS AND PUBLIC UTILITIES PURPOSES FILED 3/31/1971 IN BOOK 9274 PG 580 OF OFFICIAL RECORDS OF SANTA CLARA CO. PER AS SHOWN ON 289M54; PARCEL THREE PER 1986-09-25 DOC. 8959007 J8580R1228-1230


15.0' PROPOSED EASEMENT FOR STORM DRAIN PURPOSES AS SHOWN ON 280M50; PARCEL THREE PER 1986-09-25 DOC. 8959007 J8580R1228-1230, PORTION

NOTES:


- 1) PARKING LOT IS NOT FOR PUBLIC USE
- 2) NO DELIVERIES ON THIS SITE.
- 3) NO LOADING OR UNLOADING
- 4) NO CHANGE TO EXISTING USE OR CIRCULATION

➔ CIRCULATION ARROW
 — RED CURB

General Notes



5623 LE FEVRE DRIVE
 SAN JOSE, CA 95118
 TEL. 408-472-5222



06-26-2023

| No. | Revision/Issue | Date |
|-----|----------------------|---------|
| 1 | INCORPORATE COMMENTS | 6.26.23 |

Firm Name and Address

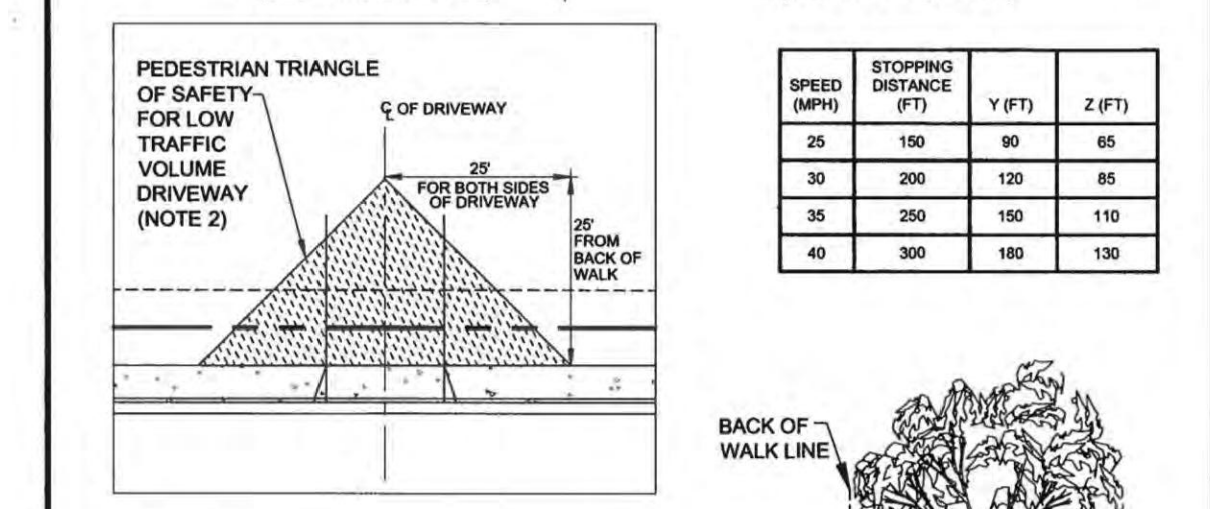
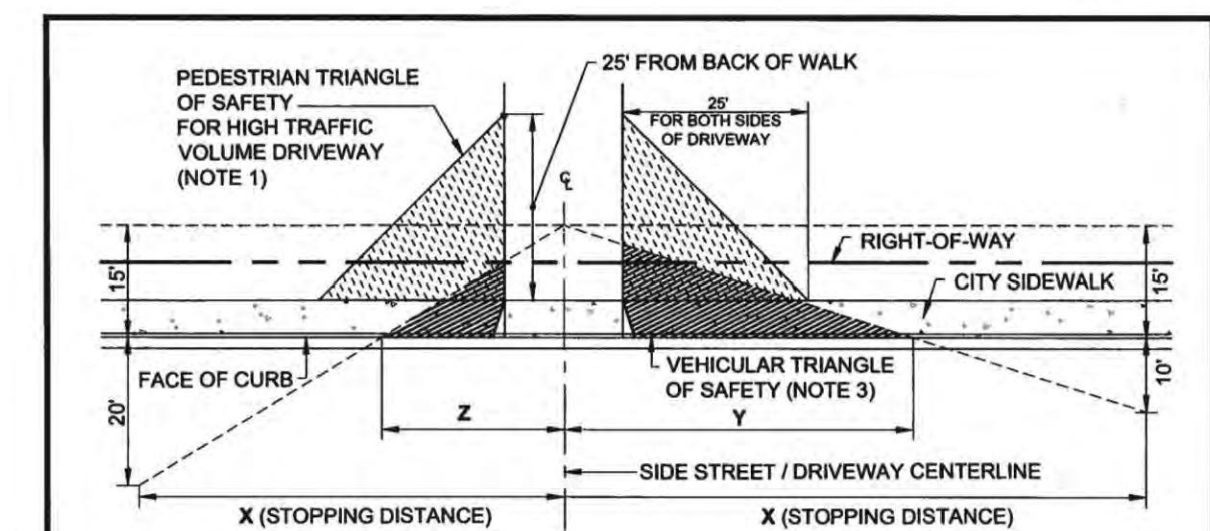
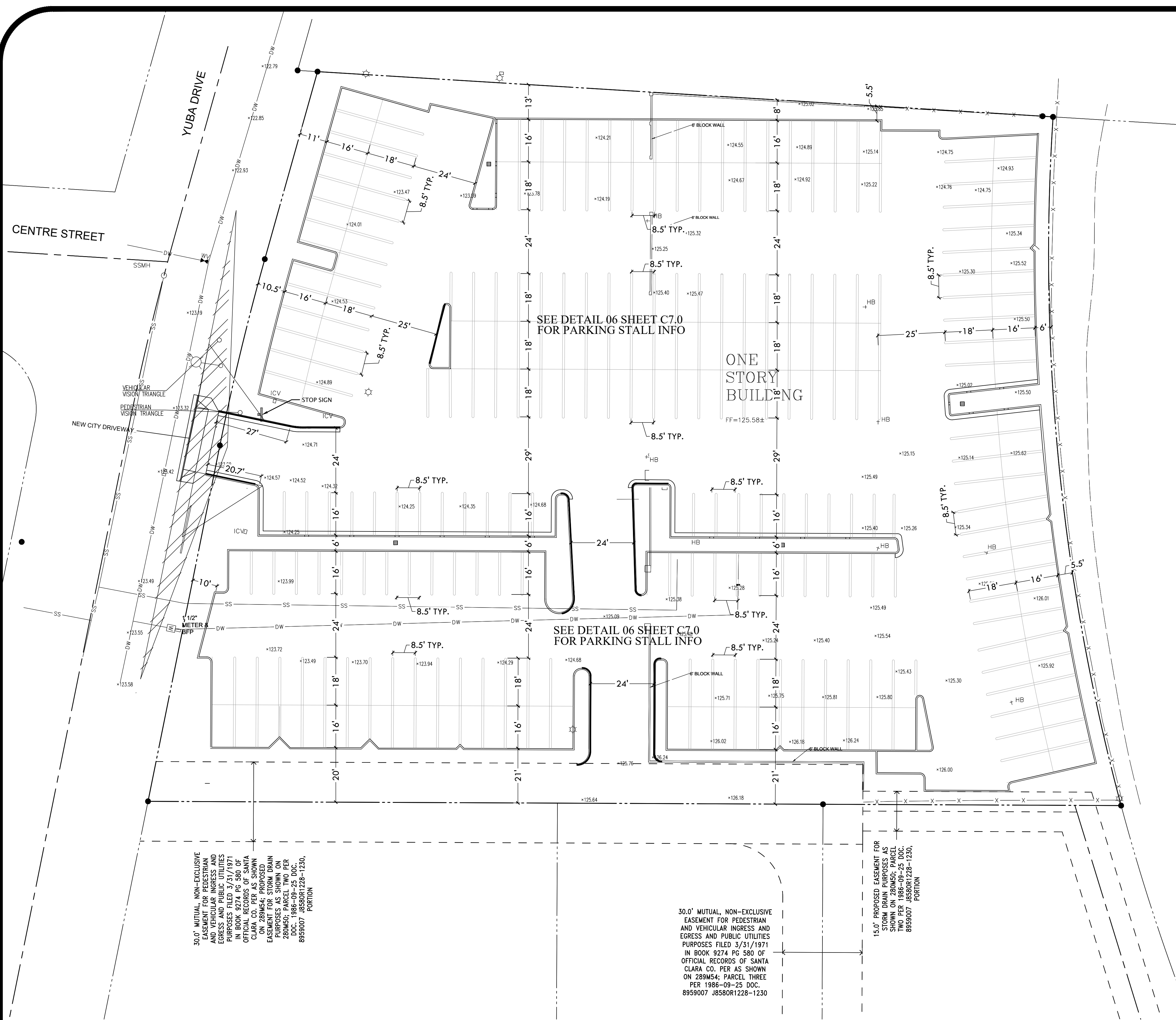
V&H ENGINEERING, LLP

5623 LE FEVRE DRIVE
 SAN JOSE, CA 95118
 408-472-5222

Project Name and Address

BMW AUTO INVENTORY PARKING
 805 Yuba Drive
 Mountain View, CA

| | |
|--------------------|------------------|
| Project J-030 | Sheet C 2.1 |
| Date 04-20-2023 | CIRCULATION PLAN |
| Scale AS NOTED | |

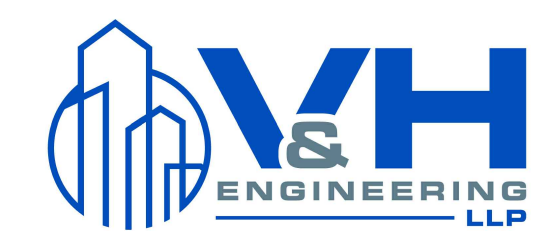


| SPEED (MPH) | STOPPING DISTANCE (FT) | Y (FT) | Z (FT) |
|-------------|------------------------|--------|--------|
| 25 | 150 | 90 | 65 |
| 30 | 200 | 120 | 85 |
| 35 | 250 | 150 | 110 |
| 40 | 300 | 180 | 130 |

- NOTES:**
1. TO BE APPLIED AT COMMERCIAL/RETAIL AREAS, AND RESIDENTIAL AREAS WITH MORE THAN 20 UNITS.
 2. TO BE APPLIED AT RESIDENTIAL AREAS WITH 20 UNITS OR LESS.
 3. VEHICULAR TRIANGLE OF SAFETY APPLIES FOR ALL DRIVEWAYS.

| | |
|--|---|
| Revision: Drawn: TE Checked: SF APPROVED BY: 4/17/2019 | CITY OF MOUNTAIN VIEW PUBLIC WORKS DEPARTMENT STANDARD DETAIL SIDE STREET / DRIVEWAY PEDESTRIAN & VEHICULAR TRIANGLE OF SAFETY |
|--|---|

General Notes



5623 LE FEVRE DRIVE
 SAN JOSE, CA 95118
 TEL 408-472-5222



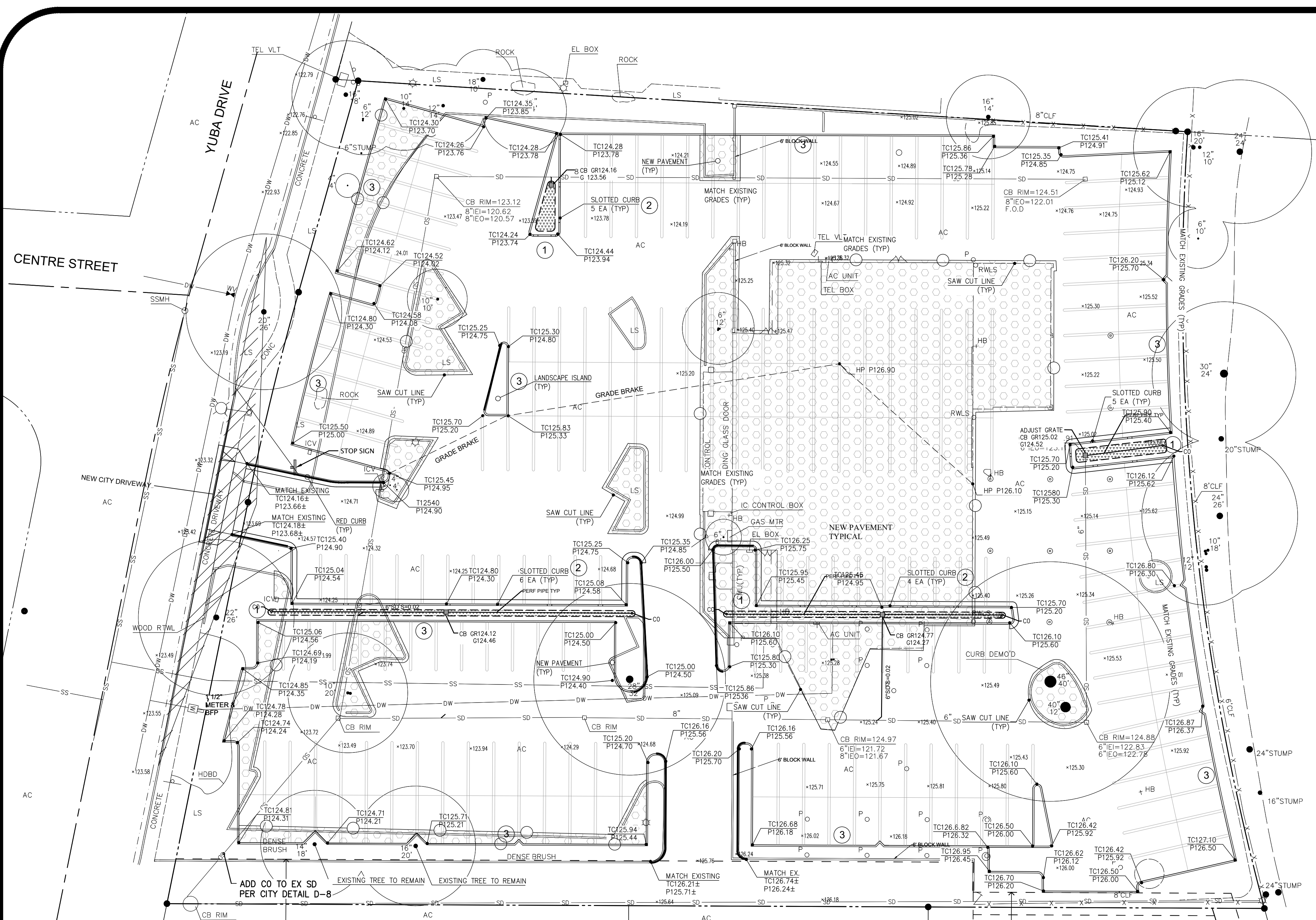
06-26-2023

| | | |
|-----|----------------------|---------|
| No. | Revision/Issue | Date |
| 1 | INCORPORATE COMMENTS | 6.26.23 |

Firm Name and Address
 V&H ENGINEERING, LLP
 5623 LE FEVRE DRIVE
 SAN JOSE, CA 95118
 408-472-5222

Project Name and Address
 BMW AUTO INVENTORY PARKING
 805 Yuba Drive
 Mountain View, CA

| | | | |
|---------|------------|------------------|------|
| Project | J-030 | Sheet | C3.0 |
| Date | 04-20-2023 | DIMENSIONAL PLAN | |
| Scale | AS NOTED | | |



GENERAL LEGEND

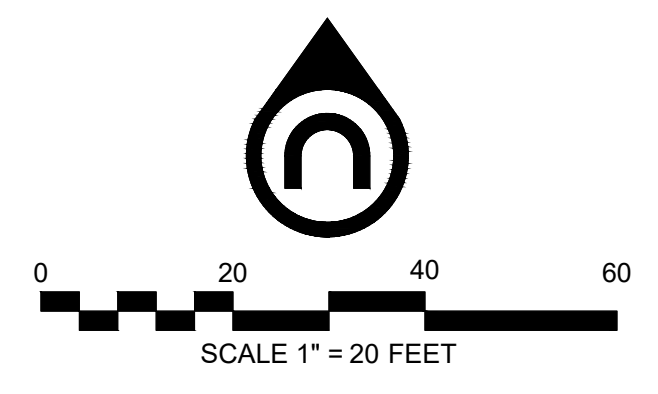
- BOUNDARY LINE
- CENTER LINE
- EASEMENT LINE
- - - GRADE BREAK
- FLOW LINE
- ○ ○ ○ ○ HAND RAILING
- FENCE LINE
- ROOF OVERHANG
- BUILDING LINE
- 15 --- CONTOUR
- 100.00 SPOT ELEVATION
- (100.00) EXISTING ELEVATION
- ← OVERLAND RELEASE
- [Pattern] 2" AC GRIND AND OVERLAY
- [Pattern] LANDSCAPE AREA
- [Pattern] BIORETENTION AREA DETAIL 2 SHEET C7
- [Symbol] SQUARE INLET/OVERFLOW DRAIN

ABBREVIATIONS

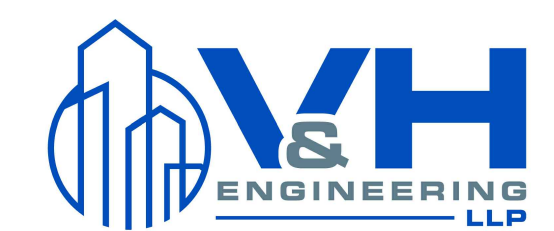
- | | | | |
|----------|-----------------------|------|-----------------------|
| AC | ASPHALT CONCRETE | G | GROUND |
| AD | AREA DRAIN | GB | GRADE BREAK |
| BC | BEGIN CURVE | HDBD | HEADERBOARD |
| BLDG COR | BUILDING CORNER | INV | INVERT ELEVATION |
| C/CONC | CONCRETE | IEI | INVERT ELEVATION IN |
| CB | CATCH BASIN | IEO | INVERT ELEVATION OUT |
| CLF | CHAIN LINK FENCE | IET | INVERT ELEVATION THRU |
| CMU | CONCRETE MASONRY WALL | LG | LIP OF GUTTER |
| EC | EDGE OF CONCRETE | LS | LANDSCAPING |
| EL | ELECTRIC | MH | MAINTENANCE HOLE |
| EP | EDGE OF PAVEMENT | POC | POINT ON CURVE |
| FC | FACE OF CURB | RTLW | RETAINING WALL |
| FF | FINISH FLOOR | TC | TOP OF CURB |
| FL | FLOW LINE | TEL | TELEPHONE |
| FNC | FENCE | TOP | TOP OF SLOPE |
| FOD | FULL OF DEBRIS | TYP | TYPICAL |
| | | WD | WOOD |

CONSTRUCTION KEY NOTES:

- ① BIORETENTION AREA (SEE DET. S/C7.0)
- ② CURB CUT MIN. 12" WIDE & SPACE @ MAX. 15' O.C INTERVAL (SEE DET. 2/C7.0)
- ③ CURB (SEE DET. 7/C7.0)
- ④ DAMAGED SIDEWALK SHALL BE REMOVED AND REPLACED ALONG STREET FRONTAGE
- ⑤ ROLLED CURB



General Notes



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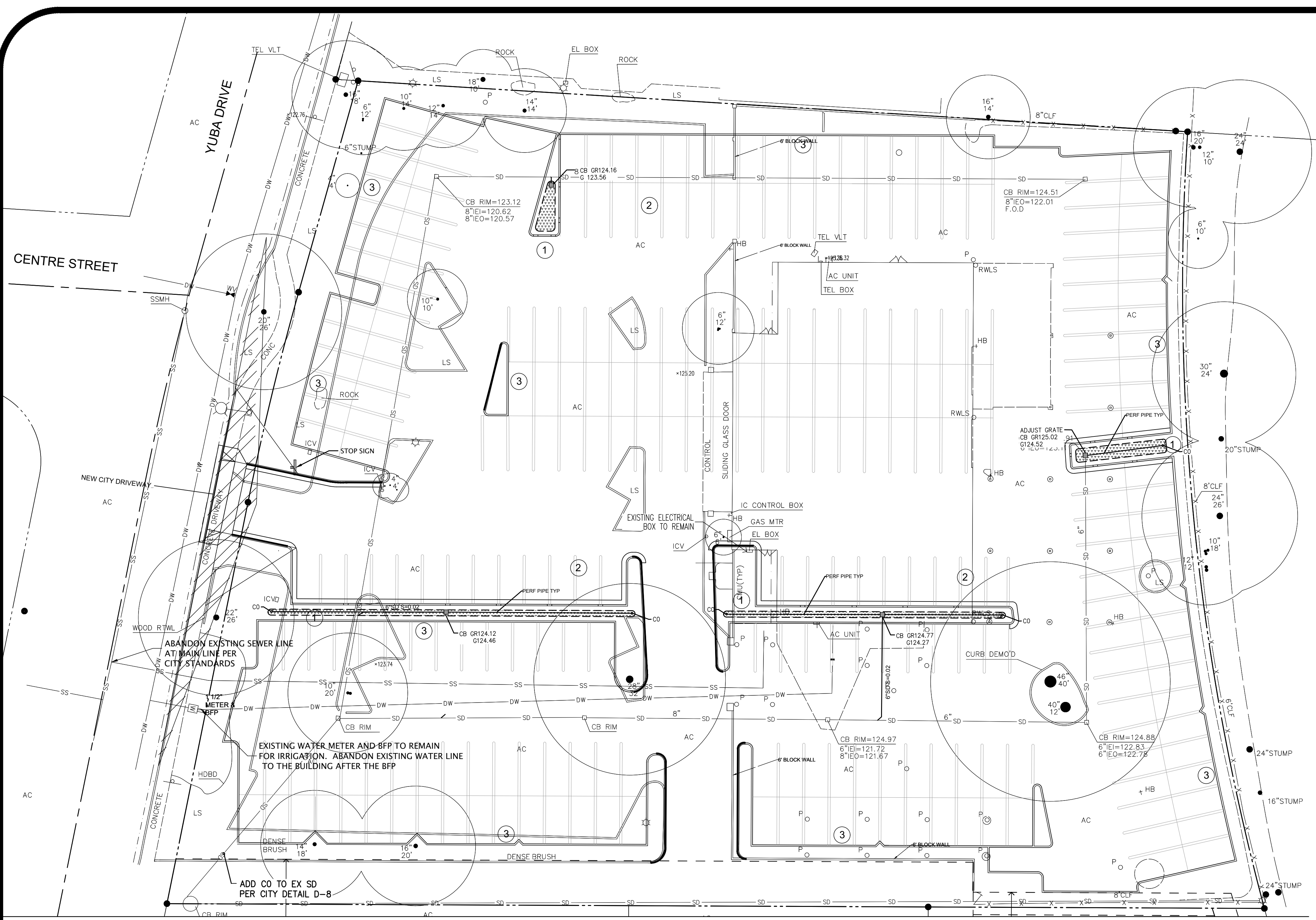
06=26-2023

| No. | Revision/Issue | Date |
|-----|----------------------|---------|
| 1 | INCORPORATE COMMENTS | 6.26.23 |

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408-472-5222

Project Name and Address
BMW AUTO INVENTORY PARKING
805 Yuba Drive
Mountain View, CA

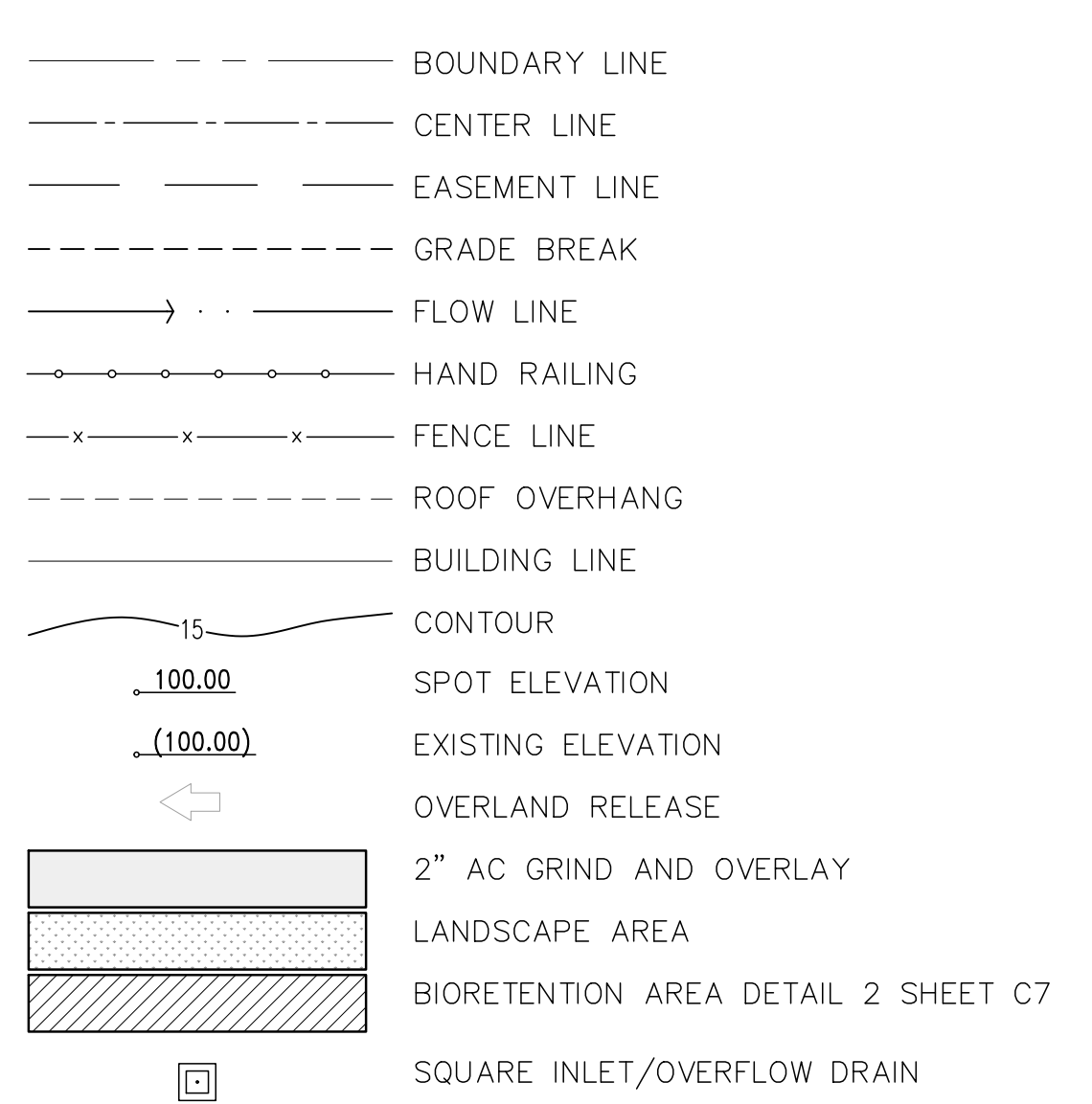
| | | | |
|---------|------------|---------------------|-------------|
| Project | J-030 | Sheet | C4.0 |
| Date | 04-20-2023 | GRADING PLAN | |
| Scale | AS NOTED | | |



NOTES

- 1) OWNER IS RESPONSIBILITY FOR MAINTENANCE OF ON-SITE UTILITIES
- 2) STORM DRAIN INLETS SHALL BE LABELED IN ACCORDANCE WITH THE CITY'S STORM DRAIN INLET PROGRAM (NO DUMPING FLOWS TO BAY)

GENERAL LEGEND

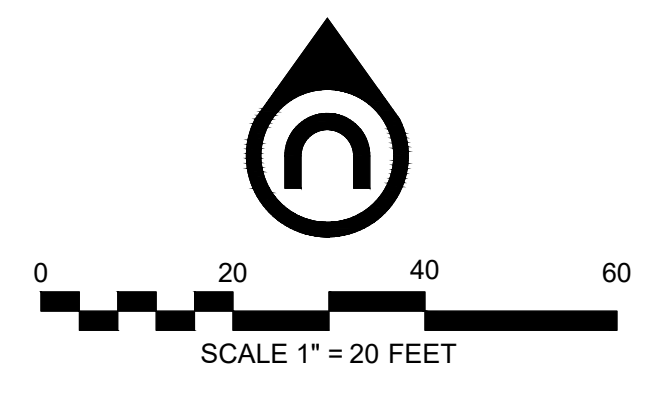


ABBREVIATIONS

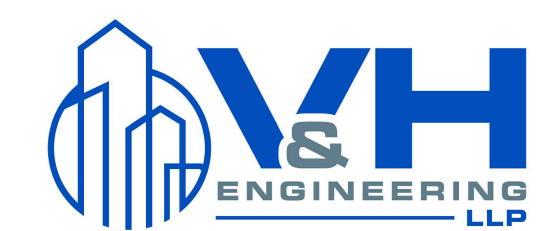
| | | | |
|----------|-----------------------|------|-----------------------|
| AC | ASPHALT CONCRETE | G | GROUND |
| AD | AREA DRAIN | GB | GRADE BREAK |
| BC | BEGIN CURVE | HBB | HEADERBOARD |
| BLDG COR | BUILDING CORNER | INV | INVERT ELEVATION |
| C/CONC | CONCRETE | IEI | INVERT ELEVATION IN |
| CB | CATCH BASIN | IEO | INVERT ELEVATION OUT |
| CLF | CHAIN LINK FENCE | IET | INVERT ELEVATION THRU |
| CMU | CONCRETE MASONRY WALL | LG | LIP OF GUTTER |
| EC | EDGE OF CONCRETE | LS | LANDSCAPING |
| EL | ELECTRIC | MH | MAINTENANCE HOLE |
| EP | EDGE OF PAVEMENT | POC | POINT ON CURVE |
| FC | FACE OF CURB | RTLW | RETAINING WALL |
| FF | FINISH FLOOR | TC | TOP OF CURB |
| FL | FLOW LINE | TEL | TELEPHONE |
| FNC | FENCE | TOP | TOP OF SLOPE |
| FOD | FULL OF DEBRIS | TYP | TYPICAL |
| | | WD | WOOD |

CONSTRUCTION KEY NOTES:

- 1) BIORETENTION AREA (SEE DET. 5/C7.0)
- 2) CURB CUT MIN. 12" WIDE & SPACE @ MAX. 15' O.C INTERVAL (SEE DET. 2/C7.0)
- 3) CURB (SEE DET. 7/C7.0)
- 4) DAMAGED SIDEWALK SHALL BE REMOVED AND REPLACED ALONG STREET FRONATAGE
- 5) ROLLED CURB



General Notes



5623 LE FEVRE DRIVE
SAN JOSE, CA 95118
TEL 408-472-5222



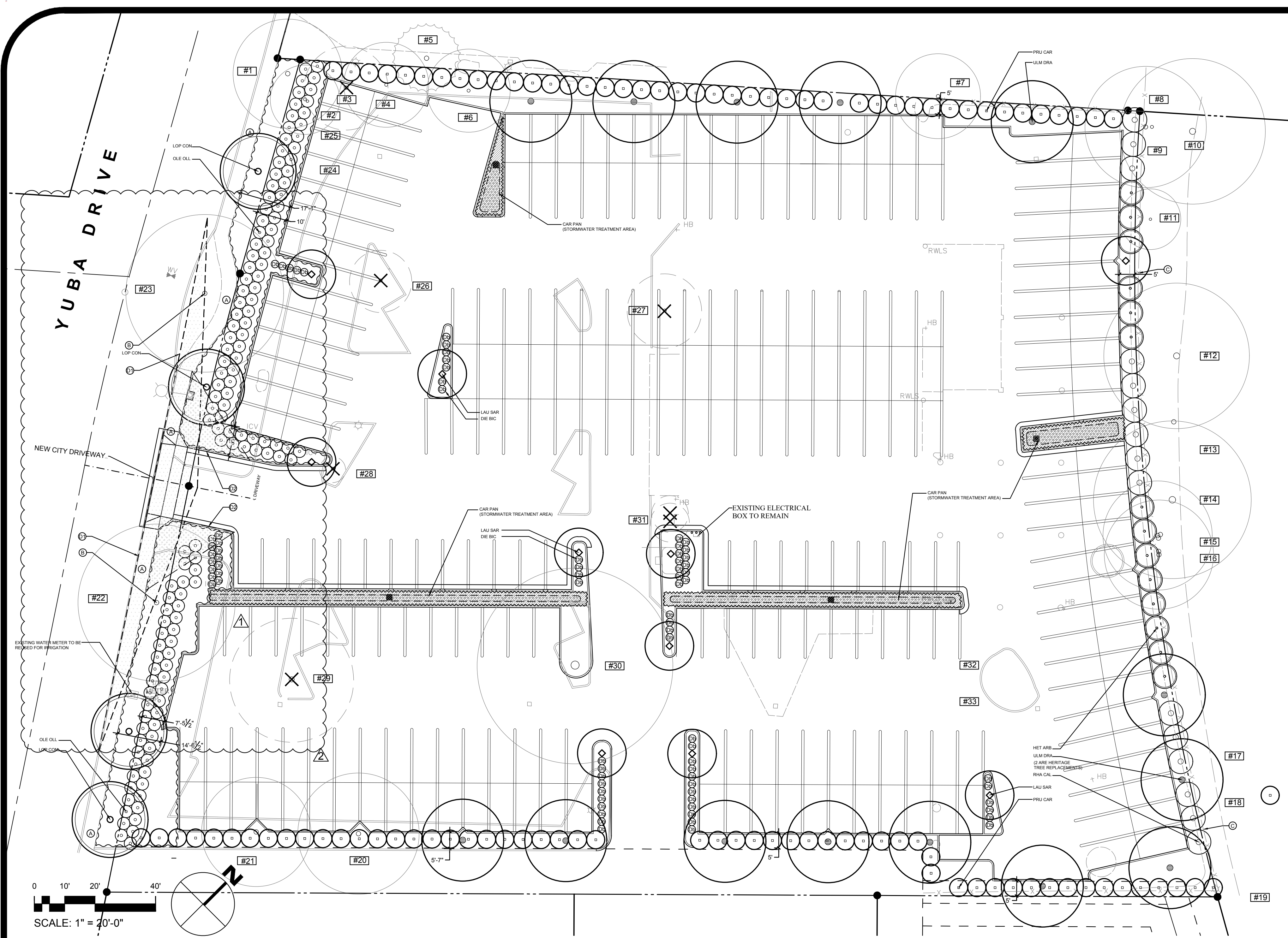
06=26-2023

| | | |
|-----|----------------------|---------|
| 1 | INCORPORATE COMMENTS | 6.26.23 |
| No. | Revision/Issue | Date |

Firm Name and Address
V&H ENGINEERING, LLP
5623 LE FEVRE DRIVE
SAN JOSE, CA 95118
408-472-5222

Project Name and Address
BMW AUTO INVENTORY PARKING
805 Yuba Drive
Mountain View, CA

| | | | |
|---------|------------|---------------------|-------------|
| Project | J-030 | Sheet | C4.1 |
| Date | 04-20-2023 | UTILITY PLAN | |
| Scale | AS NOTED | | |



LEGEND

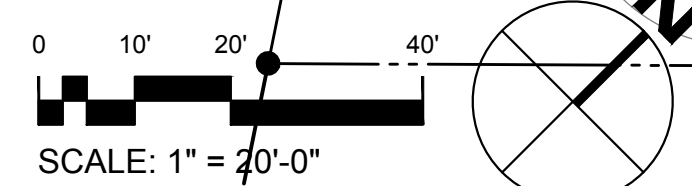
- EXISTING TREES TO REMAIN
- # X** TREE NUMBER IN SUMMARY TABLE--SEE EXISTING TREES PLAN, L-3.
- EXISTING TREES TO BE REMOVED

KEY NOTES:

- (A) EXISTING CONCRETE SIDEWALK
- (B) EXISTING STREET TREES
- (C) EXISTING 6 FOOT CHAIN LINK FENCE AT PROPERTY LINE TO REMAIN
- (D1) DRIVEWAY SIGHT TRIANGLE--VEHICULAR
- (D2) DRIVEWAY SIGHT TRIANGLE--PEDESTRIAN

NOTES:

1. SEE ARBORIST REPORT: 805 YUBA DRIVE, MOUNTAIN VIEW CA BY KIELTY ARBORIST SERVICES LLC, OCTOBER 13, 2020.
2. SEE CIVIL ENGINEERING DRAWINGS FOR GRADING AND STORMWATER TREATMENT.
3. SEE EXISTING TREE PLAN, SHEET L-3A FOR TREE RETENTION AND REMOVAL.
4. SEE EXISTING TREE: PROTECTION, SHEET L-3B FOR ARBORIST'S TREE PROTECTION PLAN AND RECOMMENDATIONS.
5. STREET TREE SETBACKS
10 FEET: SANITARY SEWER LINES, TRAFFIC SIGNALS, STOP AND YIELD SIGNS, AND STREET LIGHTS
5 FEET: WATER LINES, FIRE LINES, AND DRIVEWAYS
6. SEE SHEET L-1B FOR PLANTING DETAILS
7. THERE ARE NO STEEP SLOPES IN EXCESS OF 10 PERCENT.
8. INSTALL 3 INCH DEEP LAYER OF MULCH IN ALL PLANTING AREAS. MULCH TO BE ORGANIC RECYCLED CHIPPED WOOD IN DARK BROWN COLOR. MULCH USED TO AVOID SEDIMENTATION RUNOFF.
9. ALL PLANT SPECIES ARE DROUGHT-TOLERANT, IRRIGATION WATER EFFICIENT SPECIES APPROPRIATE TO THE CLIMATE OF MOUNTAIN VIEW.
10. A QUALIFIED SOIL TESTING LABORATORY SHALL COMPLETE A SOIL FERTILITY TEST PRIOR TO AMENDING THE PLANTING SOIL AND SHALL PROVIDE RECOMMENDATIONS FOR ORGANIC COMPOST TO BRING THE SOIL ORGANIC MATTER TO A MINIMUM OF 5% BY DRY WEIGHT AND INCORPORATING ORGANIC FERTILIZERS TO RECOMMENDED LEVELS FOR THE PLANTING AREAS. THE FINAL TESTING RESULTS, RECOMMENDATIONS AND ORGANIC COMPOST SHALL BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW.



PLANT LIST ABBREVIATIONS:

Note: This list together with the plant list prepared by Taniguchi Landscape Architecture must accompany the contractor's nursery order(s)

| | |
|----------------|--|
| SL | Single main, straight, dominant, leader |
| Ht. Br. | High branched--lowest limbs held above rootball 5' min. for 15 gallon can 6' min. for 24" box trees |
| Br. Gr. | Branched to ground |
| F & D | Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no old/woody plants. |
| N.V.S.-30 deg. | Narrow upright vase shape 30 degrees or less spread in branch/trunk structure |
| N.V.S.-45 deg. | Narrow upright vase shape 45 degrees or less spread in branch/trunk structure |
| No. Whori. Br. | No. closely spaced whorled branches. Select even symmetrical branch distribution |
| Match | Matched size, form, caliper, branching and cultivar. Select from one lot, one grower, for guaranteed consistency through life of plants. In general plants within a group or area are to be matched, unless noted otherwise. |
| T.F. | Tree Form |
| S.F. | Shrub Form |
| Multi. St. | Multi stemmed |
| G.C. | Gallon Can |
| N.C.N. | No Common Name |
| Stem up. | Stem up to expose trunk and lower branch pattern |
| o.c. | On center |
| N. Drp. Br. | No long heavy drooping branches |

PLANT LIST

| ABBREV. | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY | WUCOLS | MISC. NOTES & REQUIREMENTS |
|---------------------|--|-------------------------|---------|----------|--------|---|
| TREES | | | | | | |
| LAU SAR | <i>Laurus n. 'Saratoga'</i> | Hybrid Laurel | 24" box | 10 | L | S.L./No. Whori. Br./N. Drp. Br./Match |
| LOP CON | <i>Lophostemon confertus</i> | Brisbane Box | 24" box | 4 | M | Hi. Br. (MV designated street tree) |
| ULM DRA | <i>Ulmus parvifolia 'Drake'</i> | Chinese Evergreen Elm | 24" box | 14 | L | Hi. Br. |
| SHRUBS | | | | | | |
| DIE BIC | <i>Diets bicolor</i> | Fortnight Lily | 1 G.C. | 75 | L | F & B |
| HET ARB | <i>Heteromeles arbutifolia</i> | Toyon | 1 G.C. | 1 | L | F & B |
| OLE OLL | <i>Olea europaea 'Little Ollie'</i> | Dwarf Olive (fruitless) | 5 G.C. | 128 | VL | F & B |
| PRU CAR | <i>Prunus caroliniana 'Compacta'</i> | Carolina Cherry Laurel | 5 G.C. | 180 | L | F & B |
| RHA CAL | <i>Rhamnus californica 'Mound San Bruno'</i> | Coffeeberry | 1 G.C. | 15 | L | F & B |
| PERENNIALS | | | | | | |
| CAR PAN | <i>Carex pansa</i> | DuneSedge | 1 G.C. | 489 | M | Plant at 2' o.c. (1957 SF) Clean culture to prevent pathogen spread |
| GROUNDCOVERS | | | | | | |
| LAN MON | <i>Lantana montevidensis</i> | Trailing Lantana | 1 G.C. | 745 | L | Plant at 2'-6" o.c. (4656 SF) |

WUCOLS RATINGS: VL= Very Low, L=Low, M=Medium, H=High

General Notes



PLANTING PLAN

| | | | |
|-----|---|-------------------------|----------|
| 4 | △ | SITE REVISIONS | 06/26/23 |
| 3 | △ | SITE REVISIONS | 04/20/23 |
| 2 | | PLAN SCALE BAR REVISION | 02/16/23 |
| 1 | | PLAN CHECK RESUBMITTAL | 12/02/22 |
| No. | | Revision/Issue | Date |

Firm Name and Address
Taniguchi Landscape Architecture
 CLA 2942
 1013 South Claremont St. Ste 1
 San Mateo, CA 94401
 tel. 650.638.9985
 fax. 650.638.9986

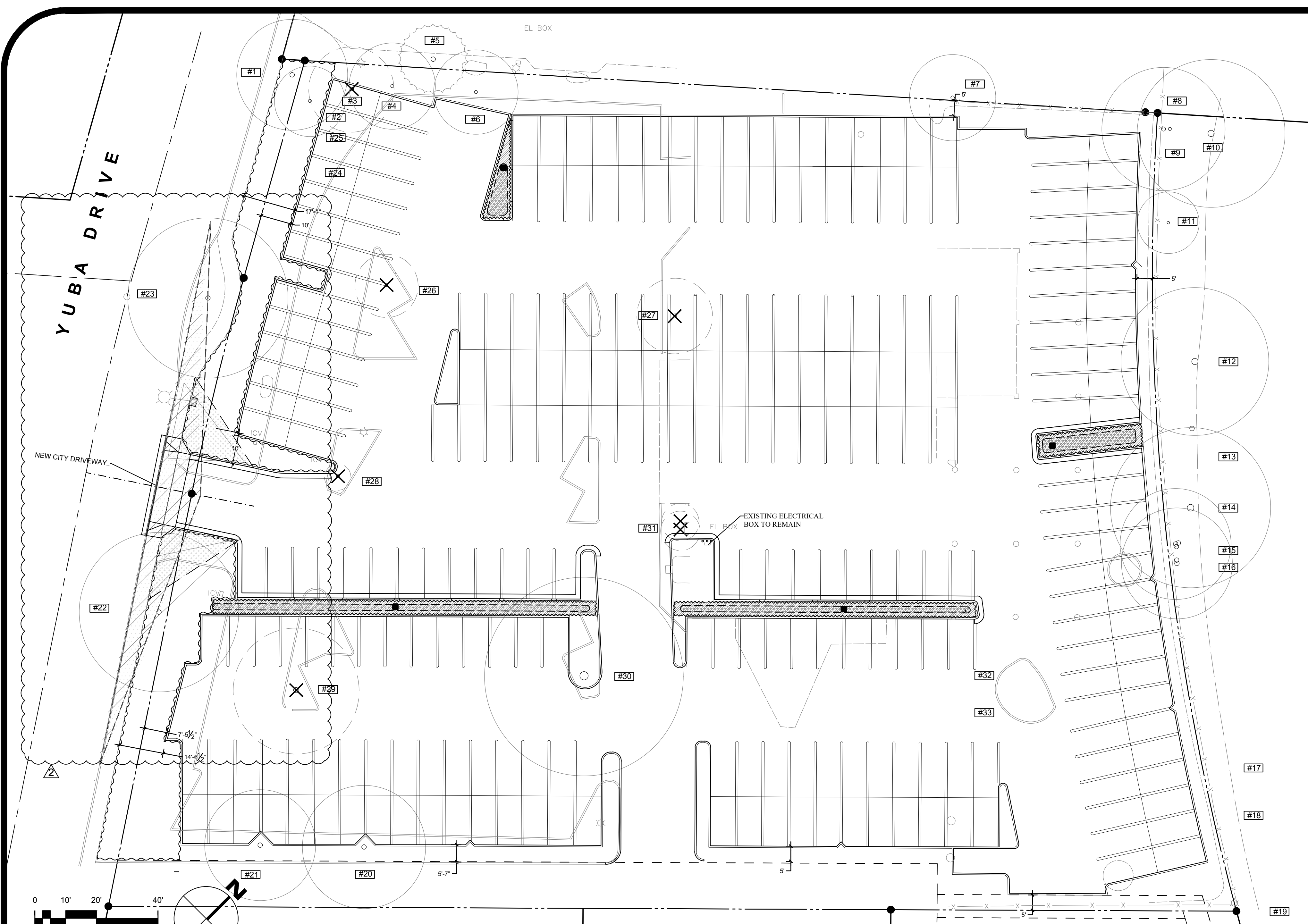
Project Name and Address
BMW AUTO INVENTORY PARKING
 805 Yuba Drive
 Mountain View, CA

| | | | |
|---------|---------------|-------|-------------|
| Project | TLA 20015.000 | Sheet | L-1A |
| Date | 12-02-2022 | | |
| Scale | AS NOTED | | |

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Dennis M. Taniguchi

DENNIS M TANIGUCHI, CLA 2942



0 10' 20' 40'
SCALE: 1" = 20'-0"

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Dennis M. Taniguchi

DENNIS M TANIGUCHI, CLA 2942

| Tree Mitigation | | | |
|--------------------------|----------|-------------------|-----------------|
| Trees to be removed | Quantity | Replacement Ratio | Quantity needed |
| Heritage Trees | 3 | 2 | 6 |
| Non-Heritage Trees | 3 | 1 | 3 |
| TOTAL | | | 9 |
| Proposed Trees (24" box) | 28 | | |

LEGEND

- EXISTING TREES TO REMAIN
- TREE NUMBER IN SUMMARY TABLE BELOW
- EXISTING TREES TO BE REMOVED

NOTES:

1. SEE ARBORIST REPORT: 805 YUBA DRIVE, MOUNTAIN VIEW CA BY KIELTY ARBORIST SERVICES LLC, OCTOBER 13, 2020.
2. SEE TREE PROTECTION NOTES ON SHEET L-3B: EXISTING TREES; PROTECTION

EXISTING TREE SUMMARY

| Number | Tree species Common Name | Heritage | Trunk Diameter (DBH) | Height (feet) | Spread (feet) | Notes | Disposition (proposed) |
|--------|---|----------|----------------------|---------------|---------------|---|------------------------|
| 1 | Magnolia grandiflora Southern Magnolia | | 13.7 | 25 | 20 | Street Tree | Retain |
| 2 | Pistachia chinensis Chinese Pistache | | 12.5 | 15 | 12 | | Retain |
| 3 | Pistachia chinensis Chinese Pistache | | 10.5 | 20 | 20 | | Remove |
| 4 | Pistachia chinensis Chinese Pistache | | 10.2 | 15 | 12 | | Retain |
| 5* | Sequoia sempervirens Coast Redwood | X | 18.8 | 40 | 15 | | Retain |
| 6 | Pistachia chinensis Chinese Pistache | | 13 | 20 | 25 | | Retain |
| 7* | Fraxinus uhdei Evergreen Ash | | 14 | 40 | 30 | | Retain |
| 8* | Populus fremontii Fremont Cottonwood | X | 20 est | 50 | 30 | | Retain |
| 9* | Quercus agrifolia Coast Live Oak | X | 16 est | 20 | 30 | | Retain |
| 10* | Populus fremontii Fremont Cottonwood | X | 24 est | 50 | 20 | Dead | Retain |
| 11* | Quercus agrifolia Coast Live Oak | | 10 est | 14 | 10 | | Retain |
| 12* | Populus fremontii Fremont Cottonwood | X | 24 est | 50 | 35 | Dead | Retain |
| 13* | Stump | | | | | | Retain |
| 14* | Populus fremontii Fremont Cottonwood | X | 26 est | 50 | 20 | In decline | Retain |
| 15* | Acacia melanoxylon Blackwood acacia | X | 10-8-6 | 30 | 15 | In decline | Retain |
| 16* | Schinus molle Peruvian Pepper | | 12 est | 25 | 20 | | Retain |
| 17* | Stump | | | | | | |
| 18* | Stump | | | | | | |
| 19* | Stump | | | | | | |
| 20 | Pistachia chinensis Chinese Pistache | X | 18 | 25 | 25 | | Retain |
| 21 | Pistachia chinensis Chinese Pistache | X | 16.1 | 30 | 20 | | Retain |
| 22 | Magnolia grandiflora Southern Magnolia | X | 26.5 | 40 | 35 | Street Tree | Retain |
| 23 | Quercus lobata Valley Oak | X | 21.2 | 40 | 40 | Street Tree | Retain |
| 24 | Stump | | | | | | |
| 25 | Stump | | | | | | |
| 26 | Jacaranda mimosifolia Jacaranda | X | 21 | 30 | 25 | In decline | Remove |
| 27 | Acer palmatum Japanese Maple | X | 16.1 | 12 | 12 | decay, dieback | Remove |
| 28 | Dracaena marginata Dracaena | | 3.8-3 | 12 | 6 | | Remove |
| 29 | Jacaranda mimosifolia Jacaranda | X | 22 | 30 | 30 | Poor vigor and form, codominant @ grade | Remove |
| 30 | Quercus agrifolia Coast Live Oak | X | 30.9 | 30 | 30 | | Retain |
| 31 | Acer palmatum Japanese Maple/Umbellularia californica California Bay Laurel | | 6,6 | 12 | 6 | | Remove |
| 32 | No tree | | | | | | |
| 33 | No tree | | | | | | |

* = Tree on neighbor's property
Heritage = Heritage tree as defined by City of Mountain View Ordinance

General Notes



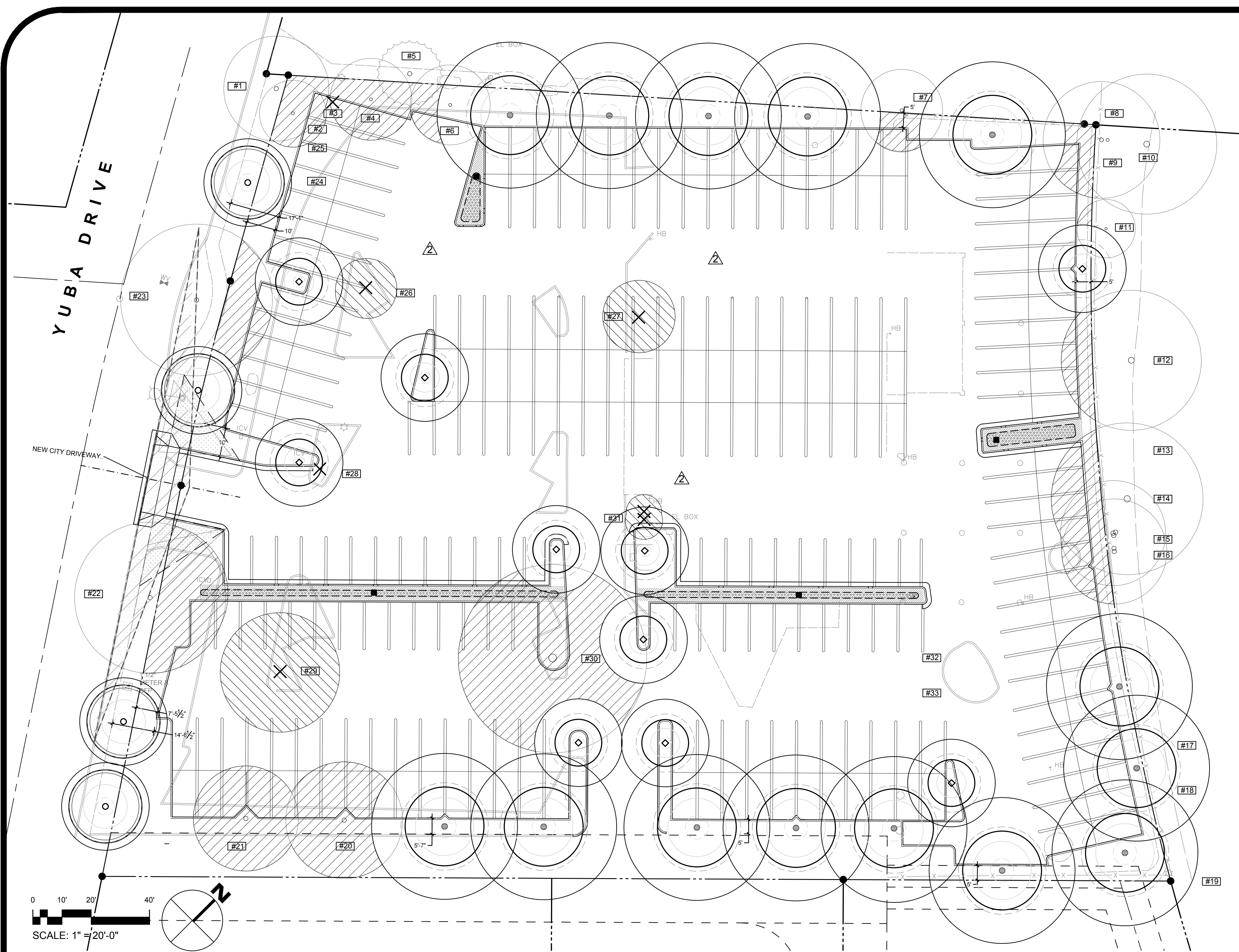
EXISTING TREES

| No. | Revision/Issue | Date |
|-----|-------------------------|----------|
| 4 | ▲ SITE REVISIONS | 06/26/23 |
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| | | | |
|---------|---------------|-------------|--|
| Project | TLA 20015.000 | Sheet | |
| Date | 12-02-2022 | L-3A | |
| Scale | AS NOTED | | |



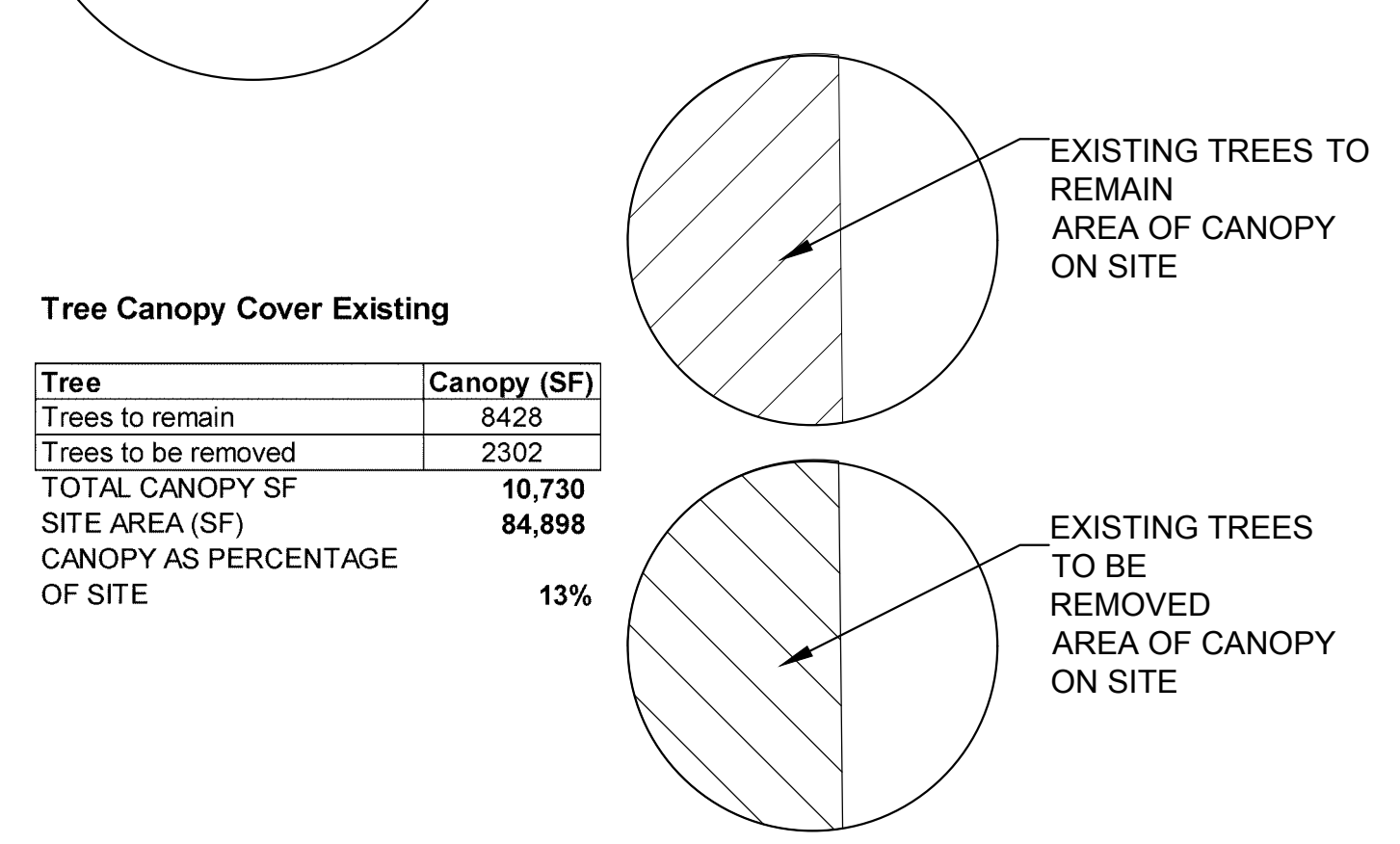
LEGEND

- EXISTING TREES TO REMAIN
- TREE NUMBER IN SUMMARY TABLE--SEE EXISTING TREES PLAN, L-3.

- EXISTING TREES TO BE REMOVED

TREE CANOPY DIAGRAM

- MATURE CANOPY OUTLINE
- 10 YEAR CANOPY OUTLINE
- 5 YEAR CANOPY OUTLINE
- AT INSTALLATION CANOPY OUTLINE (VARIES WITH NURSERY PRODUCTION AND "CROP")



Tree Canopy Cover Existing

| | |
|-------------------------------------|---------------|
| Tree | Canopy (SF) |
| Trees to remain | 8428 |
| Trees to be removed | 2302 |
| TOTAL CANOPY SF | 10,730 |
| SITE AREA (SF) | 84,898 |
| CANOPY AS PERCENTAGE OF SITE | 13% |

NOTES:

1. THE EXISTING TREES ON SITE ARE REACHING MATURITY SO, 10% TO 20% CANOPY GROWTH IS ANTICIPATED.

Tree Canopy Cover at Installation

| Species | Quant | Dia. Feet | Canopy (SF) |
|-------------------------------------|-------|-----------|---------------|
| <i>Laurus nobilis</i> 'Saratoga' | 10 | 4 | 130 |
| <i>Lophostemon confertus</i> | 4 | 6 | 112 |
| <i>Ulmus parvifolia</i> 'Drake' | 14 | 8 | 700 |
| Exist trees on site | 3 | | 4401 |
| Offsite trees (site area only) | 15 | | 4074 |
| TOTAL CANOPY SF | | | 9,417 |
| SITE AREA (SF) | | | 84,898 |
| CANOPY AS PERCENTAGE OF SITE | | | 11% |

Tree Canopy Cover at 5 Years

| Species | Quant | Dia. Feet | Canopy (SF) |
|-------------------------------------|-------|-----------|---------------|
| <i>Laurus nobilis</i> 'Saratoga' | 10 | 10 | 790 |
| <i>Lophostemon confertus</i> | 4 | 15 | 708 |
| <i>Ulmus parvifolia</i> 'Drake' | 14 | 20 | 4396 |
| Exist trees on site | 3 | | 4600 |
| Offsite trees (site area only) | 15 | | 4300 |
| TOTAL CANOPY SF | | | 14,794 |
| SITE AREA (SF) | | | 84,898 |
| CANOPY AS PERCENTAGE OF SITE | | | 17% |

Tree Canopy Cover at 10 Years

| Species | Quant | Dia. Feet | Canopy (SF) |
|-------------------------------------|-------|-----------|---------------|
| <i>Laurus nobilis</i> 'Saratoga' | 10 | 20 | 3140 |
| <i>Lophostemon confertus</i> | 4 | 25 | 1960 |
| <i>Ulmus parvifolia</i> 'Drake' | 14 | 30 | 9698 |
| Exist trees on site | 3 | | 4800 |
| Offsite trees (site area only) | 15 | | 4500 |
| TOTAL CANOPY SF | | | 24,298 |
| SITE AREA (SF) | | | 84,898 |
| CANOPY AS PERCENTAGE OF SITE | | | 29% |

Tree Canopy Cover at Maturity

| Species | Quant | Dia. Feet | Canopy (SF) |
|-------------------------------------|-------|-----------|---------------|
| <i>Laurus nobilis</i> 'Saratoga' | 10 | 30 | 7070 |
| <i>Lophostemon confertus</i> | 4 | 30 | 2828 |
| <i>Ulmus parvifolia</i> 'Drake' | 14 | 50 | 27482 |
| Exist trees on site | 3 | | 5000 |
| Offsite trees (site area only) | 15 | | 4700 |
| TOTAL CANOPY SF | | | 47,080 |
| SITE AREA (SF) | | | 84,898 |
| CANOPY AS PERCENTAGE OF SITE | | | 56% |

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Dennis M. Taniguchi

DENNIS M TANIGUCHI, CLA 2942

PROPOSED TREE LIST: CANOPY DIAMETERS

| ABBREV. | BOTANICAL NAME | COMMON NAME | SIZE | INSTALL | CANOPY DIAMETERS IN FEET | | | |
|---------|---------------------------------|-----------------------|---------|---------|--------------------------|----------|--------|--|
| | | | | | 5 YEARS | 10 YEARS | MATURE | |
| LAU SAR | <i>Laurus n. 'Saratoga'</i> | Hybrid Laurel | 24" box | 4 | 10 | 20 | 30 | |
| LOP CON | <i>Lophostemon confertus</i> | Brisbane Box | 24" box | 6 | 15 | 25 | 30 | |
| ULM DRA | <i>Ulmus parvifolia 'Drake'</i> | Chinese Evergreen Elm | 24" box | 8 | 20 | 30 | 50 | |

General Notes



TREE CANOPY ANALYSIS PLAN

| No. | Revision/Issue | Date |
|-----|-------------------------|----------|
| 5 | SITE REVISIONS | 07/19/23 |
| 4 | SITE REVISIONS | 06/26/23 |
| 3 | SITE REVISIONS | 04/20/23 |
| 2 | PLAN SCALE BAR REVISION | 02/16/23 |
| 1 | PLAN CHECK RESUBMITTAL | 12/02/22 |

Firm Name and Address
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Project Name and Address
BMW AUTO INVENTORY PARKING
 805 Yuba Drive
 Mountain View, CA

| | | | |
|---------|---------------|-------|------------|
| Project | TLA 20015.000 | Sheet | L-4 |
| Date | 12-02-2022 | | |
| Scale | AS NOTED | | |