

194-198 CASTRO STREET HISTORIC JURIAN BUILDING ADDITION & HISTORIC REHABILITATION

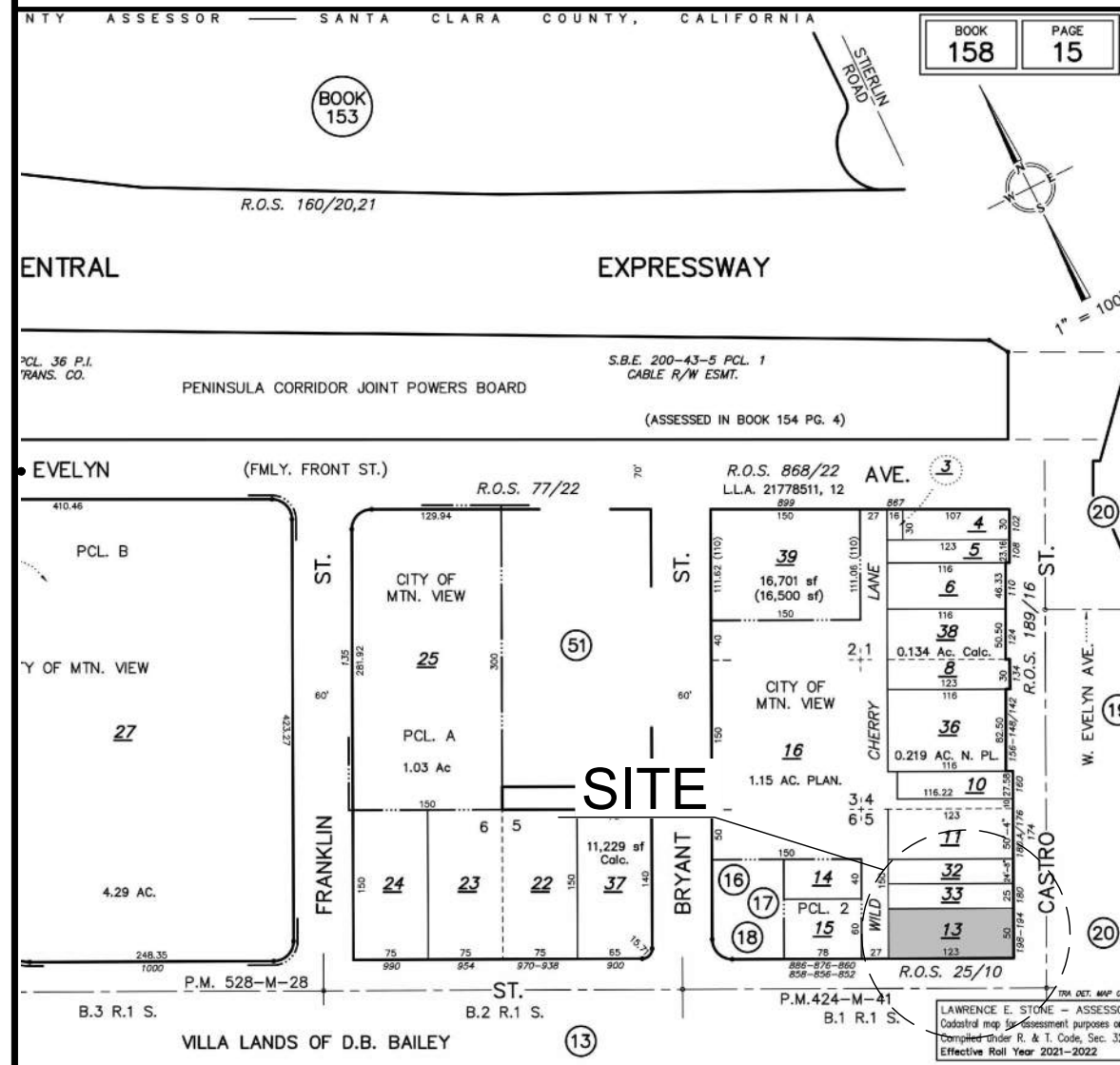


PROPOSED REAR ADDITION - HISTORIC JURIAN BLDG.

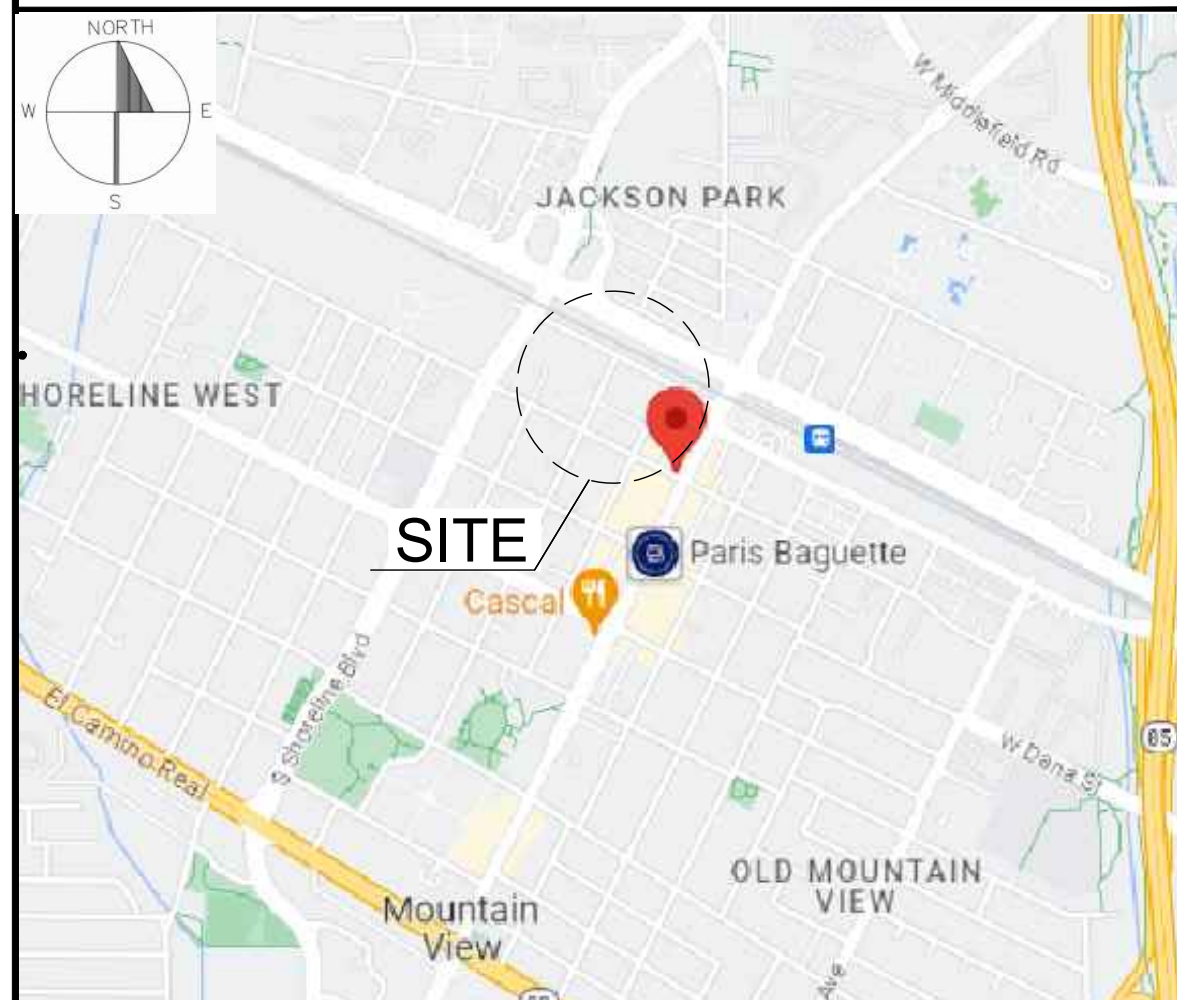


PROPOSED REAR ADDITION - HISTORIC JURIAN BLDG.
VIEW OF FRONT ELEV. FROM CASTRO AND VILLA STREETS

ASSESSOR'S MAP



VICINITY MAP



GENERAL PROJECT DESCRIPTION

- THIS PROPOSED BUILDING IS A 3-STORY COMMERCIAL RETAIL/OFFICE WITH A THIRD FLOOR OFFICE WITH ROOF DECK. THE ROOF DECK WILL ONLY BE OCCUPIED DURING NORMAL BUSINESS HOURS (8AM-6PM) AND WILL NOT INCLUDE ANY AMPLIFIED NOISE OR MUSIC.
- FOR BUILDING CODE PURPOSES THE EXISTING AND NEW BUILDING IS CONSIDERED A 3-STORY BUILDING-CONSTRUCTION TYPE II-B.

GENERAL PROJECT DATA

| | | |
|---|--|------------------|
| ALLOWABLE # OF STORIES: | 4 STORIES | TABLE 504.4 |
| STORIES PROPOSED: | 3 STORIES | SEC 503.1.4 |
| ALLOWABLE HEIGHT: | 55' HT. | TABLE 504.5 |
| TOTAL BUILDING HEIGHT: | 37'-2" HT. | |
| SPRINKLER SYSTEM: | YES | SEC. 503 & 504.2 |
| ALLOWABLE AREA: | FOR A-2 (SM) 28,500 S.F. FOR B (SM) 69,000 S.F. | TABLE 506.2 |
| TOTAL BUILDING ALLOWABLE AREA = | 3 x 28,500 S.F. = 85,500 S.F. | |
| TOTAL BUILDING AREA = | 5,675 + 5,675 + 2,145 = 13,543 S.F. PER CBC 503.1 | |
| FEMA FLOOD ZONE, ZONE X (AREA W/ REDUCED RISK DUE TO LEVEE) | | |
| REFER TO SHT. A0.5.0 FOR ADDITIONAL PROJECT DATA | | |

PROJECT TEAM

| | |
|--|--|
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PROJECT NARRATIVE

THE HISTORIC 1913 JURIAN BUILDING, AT 194-198 CASTRO STREET, IS LISTED AS A MOUNTAIN VIEW HISTORIC RESOURCE, AND IS LOCATED WITHIN THE HISTORIC DOWNTOWN DISTRICT (AREA H) OF THE CITY OF MOUNTAIN VIEW DOWNTOWN PRECISE PLAN. THE EXISTING 2-STORY COMMERCIAL BUILDING RETAINS MUCH OF ITS ORIGINAL CHARACTER-DEFINING FEATURES AND DISTINCT IDENTITY AS A MISSION REVIVAL-STYLE BUILDING, DESIGNED BY WELL-KNOWN LOCAL ARCHITECT FRANK DELOS WOLFE. THE BUILDING'S PRIMARY FACADES THAT FACE CASTRO AND VILLA STREETS, ON THE EAST AND SOUTH, RETAIN THEIR ORIGINAL PENETRATION OPENINGS, DECORATIVE TRIM, MOLDING, PARAPET COPING. THE EXISTING BUILDING HAS PEBBLE-DASHED STUCCO TEXTURE APPLIED TO THE EXTERIOR WALLS.

THE LOWER FLOOR OF THE BUILDING HAS SERVED PRIMARILY AS RETAIL AND SERVICE SPACES, WITH THE SECOND FLOOR MODIFIED FROM ITS ORIGINAL USE AS A MEETING HALL AND DANCE FLOOR INTO CURRENT OFFICE SPACES. THE BUILDING'S EXTERIOR HAS ALSO BEEN MODIFIED OVER THE YEARS. A SOUTH FACING STOREFRONT OPENING WAS REMOVED AND WALLED-IN AFTER THE WINDOW WAS DAMAGED IN A 1917 STORM. A ONE-STORY ADDITION WITH MODIFICATIONS TO THE REAR WEST FACING FACADE WERE CONSTRUCTED IN 1943. MORE CURRENTLY A CONCRETE BLOCK TRASH ENCLOSURE AND PATIO WALLS SURROUNDING THE OUTDOOR DINING PATIO WERE BUILT TO THE REAR OF THE BUILDING FOR RESTAURANT USE.

THE PROPOSED PROJECT INCLUDES COMMERCIAL TENANT IMPROVEMENTS & A REAR ADDITION, REMOVING THE EXISTING OUTDOOR DINING PATIO. THE PROPOSED NEW STEEL-FRAMED 3-STORY ADDITION IS DESIGNED TO BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE ORIGINAL 1913 JURIAN BUILDING AND TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION OF HISTORIC RESOURCES. THIS WILL BE ACHIEVED IN PART BY KEEPING SIMILAR PROPORTIONS IN MASSING AND OPENINGS, AS WELL AS FEATURING ARCHITECTURAL COMPONENTS THAT ECHO THOSE OF THE HISTORIC BUILDING.

CHARACTERISTICS OF THE NEW BUILDING ARE DESIGNED TO BALANCE ITS COMPATIBILITY YET PROVIDE DIFFERENTIATION TO THE HISTORIC JURIAN BUILDING, INCLUDING A VISUAL SEPARATION BETWEEN NEW AND OLD BY A WIDE VERTICAL PILASTER AT THE ADJOINING WALLS. THE PILASTER AND NEW WALL IS SLIGHTLY INSET FROM THE SURFACE OF ORIGINAL WALL TO HELP DELINEATE THE START OF THE NEW ADDITION. STOREFRONT WINDOWS, ALCOVES, AND UPPER STORY WINDOWS ARE PROPORTIONALLY SIZED TO COMPLEMENT THOSE OF THE HISTORIC JURIAN BUILDING WITHOUT MIMICKING THEM DIRECTLY OR OVERSHADOWING THEM BY THEIR OVERALL VISUAL IMPACT. WHILE DEPARTING FROM THE ORIGINAL WOOD WINDOW MATERIALS, COMPATIBILITY WILL BE ACHIEVED THROUGH FENESTRATION MASSING AND RHYTHM, WHILE MAINTAINING A DESIGN THAT WILL BE SUBORDINATE TO THE HISTORIC BUILDING, AS THE STANDARDS GUIDELINES RECOMMEND.

WALLS OF THE NEW ADDITION WILL BE CLAD WITH A SMOOTH STUCCO FINISH OVER ITS PRIMARY WALLS, WITH SOME PEBBLE-DASH FINISH SIMILAR TO THE HISTORIC BUILDING; THIS ROUGH SURFACE WILL BE ISOLATED TO THE AREA BETWEEN TWO HORIZONTAL BANDS AT THE SECOND STORY WINDOWS. THE THIRD STORY EXTERIOR WALLS WILL BE CLAD IN BEADED T&G HORIZONTAL CLADDING TO RESEMBLE THE APPEARANCE OF THE ORIGINAL BOARD-FORMED CONCRETE SURFACE AT THE EXISTING PARAPET WALLS. THE WEST FACING PARAPET COPING AND MEDALLION TRIM WILL BE RETAINED AT THE ROOF DECK LEVEL AND TEXTURE OF THIS BOARD FORMED WALL WILL BE LEFT EXPOSED ON THE INTERIOR OF THE THIRD FLOOR SPACE TO PAY HOMAGE TO THE ORIGINAL STRUCTURE. AT STREET-LEVEL, THE WALLS BELOW THE STOREFRONT WINDOWS AND ENTRY ALCOVE WILL BE CLAD WITH SQUARE TILE SIMILAR TO THE EXISTING STOREFRONT FACING CASTRO STREET. THE HISTORIC JURIAN BUILDING WILL RECEIVE REPAIRS AS REQUIRED WITH IN-KIND REPLICA MATERIALS TO PRESERVE AND ENHANCE ITS ORIGINAL CHARACTER-DEFINING FEATURES. MORE EXTENSIVE PRESERVATION TREATMENTS ARE BEING PROPOSED TO TAKE PLACE IN PHASE 2 OF THE PROJECT UNDER A SEPARATE PERMIT.

THE GOAL OF THIS PROJECT IS TO MEET OR EXCEED THE CITY OF MOUNTAIN VIEW DOWNTOWN PRECISE PLAN'S DESIGN GUIDELINES, HISTORIC PERMITTING CONDITIONS OF APPROVAL, AND PRESERVING THE EXISTING STRUCTURE IN DOING SO IT IS OUR HOPE THAT THE JURIAN BUILDING AND NEW ADDITION WILL REMAIN A LASTING LEGACY BUILDING AND ASSET TO THE HISTORIC DOWNTOWN DISTRICT.

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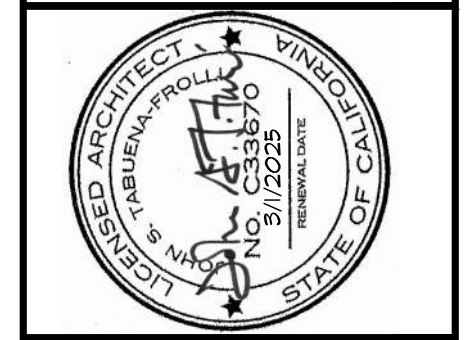
PROJECT INFORMATION

| | |
|--|-----------------------------------|
| ADDRESS: 194-198 CASTRO STREET, MTN. VIEW, CA 94041 | |
| A.P.N.: 158-15-013 | |
| MTN. VIEW DOWNTOWN PRECISE PLAN DESIGNATION: | |
| HISTORIC RETAIL DISTRICT, AREA H | |
| ZONING: | P(19) DOWNTOWN HIST./PRECISE PLAN |
| BUILDING TYPE: | II-B (W/SPRINK. & ALARM) |
| OCCUPANCY: | A-2, B |
| LOT SIZE: | 6,150 SQ. FT. |
| BUILDING AREA SUMMARY (Ref. to Sht. A0.5.0 AREA DATA): | |
| TOTAL FIRST FLR COVERAGE (W/ (N) ADDTN): | 5,675 SQ. FT. |
| BUILDING COVERAGE (ALLOWABLE = 100%): | 92.5% |
| EXISTING FIRST FLOOR (RESTAURANT) | 4,124 SQ. FT. |
| EXISTING SECOND FLOOR (OFFICE) | 3,504 SQ. FT. |
| PROPOSED DEMO FIRST FLR (Rear Bldgs): | -620 SQ. FT. |
| NET EXISTING BLDG. AREA TO REMAIN: | 7,008 SQ. FT. |
| NEW FIRST FLR ADDTN (RETAIL) | 2,171 SQ. FT. |
| NEW SECOND FLR ADDTN: (OFFICE) | 2,171 SQ. FT. |
| NEW THIRD FLR. (OPEN OFFICE SPACE): | 1,552 SQ. FT. |
| NEW THIRD FLR. OUTDR. ROOF DECK | 841 SQ. FT. |
| TOTAL NEW AREA: | 6,535 SQ. FT. |
| EXISTING BLDG. AREA (TO REMAIN): | 7,008 SQ. FT. |
| NEW ADDTN AREA: | 6,535 SQ. FT. |
| TOTAL PROPOSED NEW BLDG AREA: | 13,543 SQ. FT. |
| FAR: 7.027 / 6,150 (From Sht. A0.5.0): | 1.14 FAR |
| MAX FAR: | 2.75 FAR |
| RESTAURANT/RETAIL, 1ST FLR. (A-2, M) | 5,675 SQ. FT. |
| BUSINESS OFFICE 2ND & 3RD FLRS (B) | 7,027 SQ. FT. |
| ROOF DECK- 3RD FLR | 841 SQ. FT. |

CITY OF MOUNTAIN VIEW APPROVAL STAMP AREA

PLANNING #: _____
BLDG. P.C.#: _____

| |
|------------------------------------|
| HISTORIC JURIAN BLDG ISSUE DATE |
| 11/21/22 PRELIM. PLANNING SUBMITL |
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| 06/20/23 FORMAL PLANG RESUBMITL |
| 09/01/23 FORMAL PC REVS |
| 10/16/23 FORMAL PC REVS 2 |
| 11/20/23 DRC SUBMITL |



STRATA DESIGN STUDIO
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**HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION**

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APN: 158-15-013

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|----------------------|
| DRAWN SAE/GTF/JTF |
| DATE 11/20/23 |
| SCALE AS NOTED |
| PROJECT NO. 21.26 |

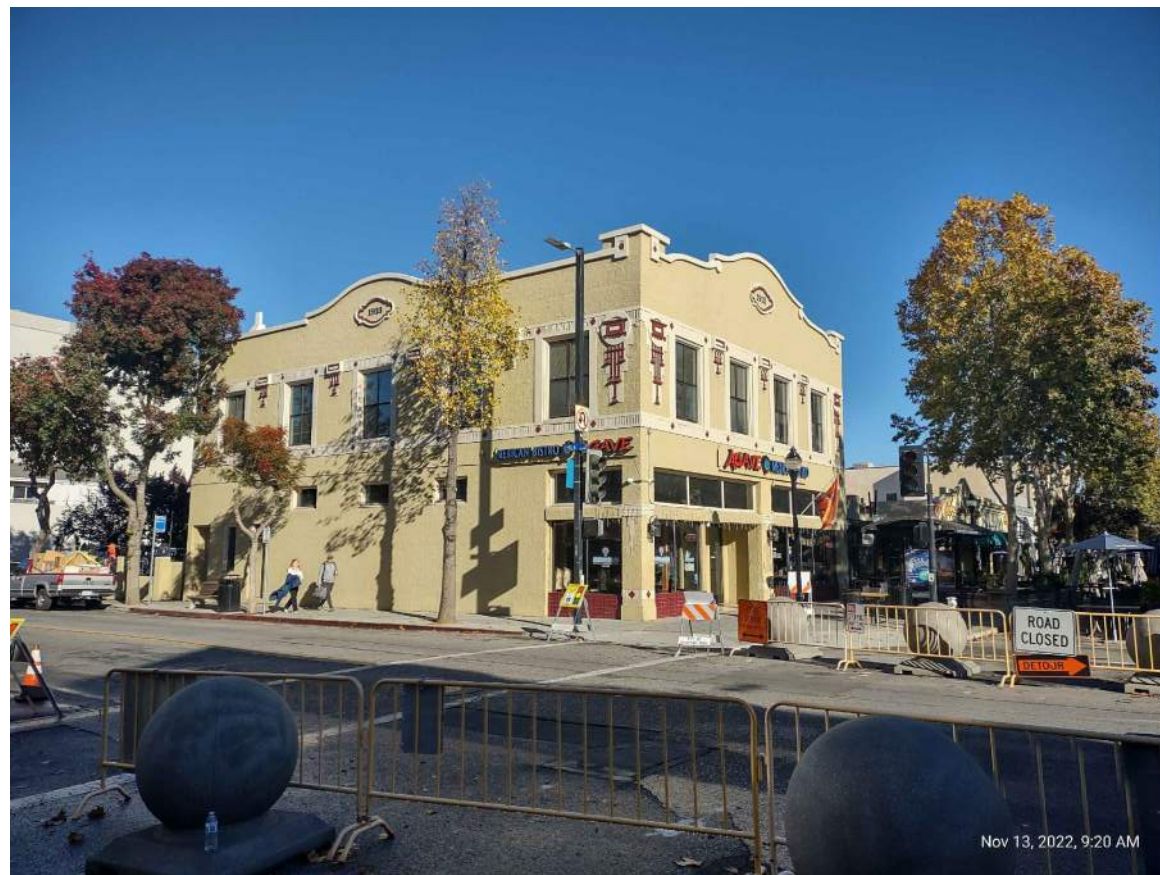
TITLE SHEET

SHEET NO.
A0.0

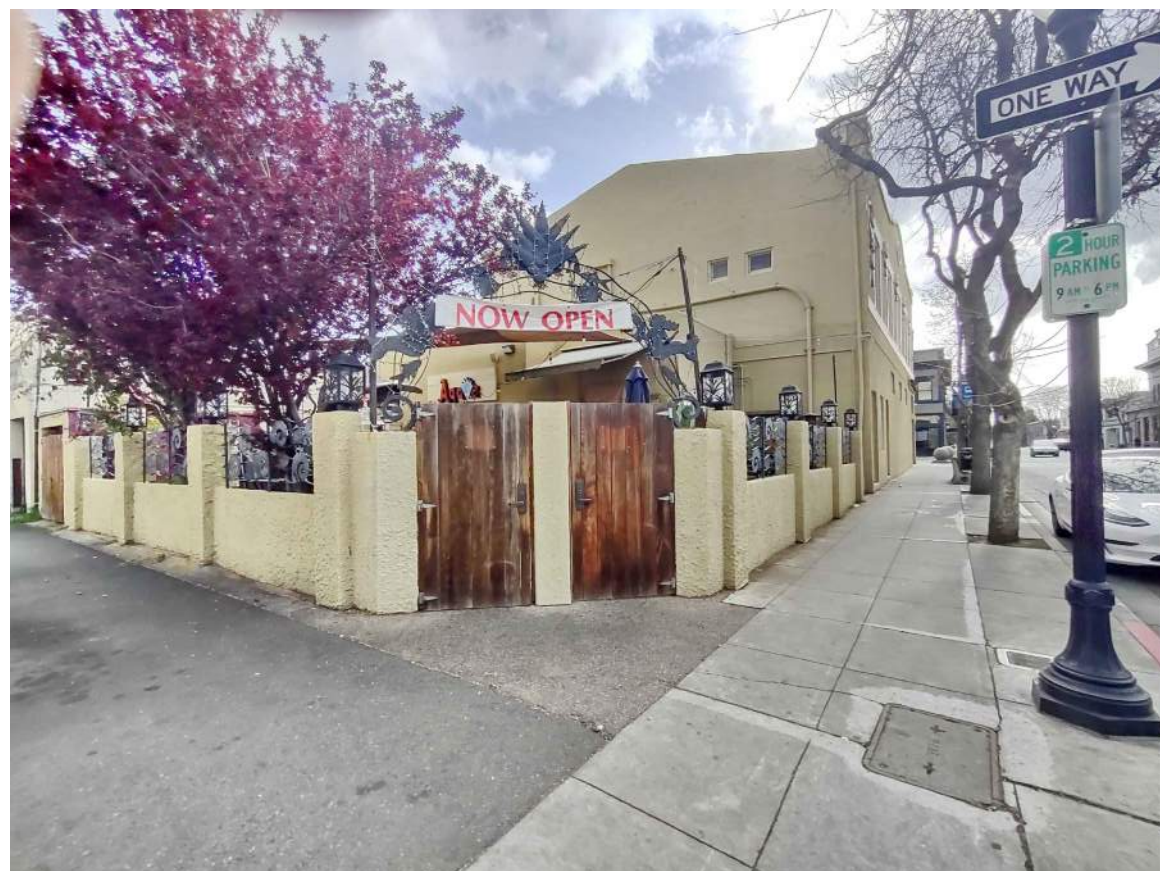
PHOTOS- EXISTING CONDITIONS



① PHOTO FROM CASTRO ST., LOOKING WEST



② PHOTO FROM CASTRO ST., LOOKING NORTHWEST



③ PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST



④ PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST



Ⓐ HISTORIC JURIAN BUILDING STREET LEVEL VIEW FROM CASTRO STREET (NEW ADDITION BEYOND)



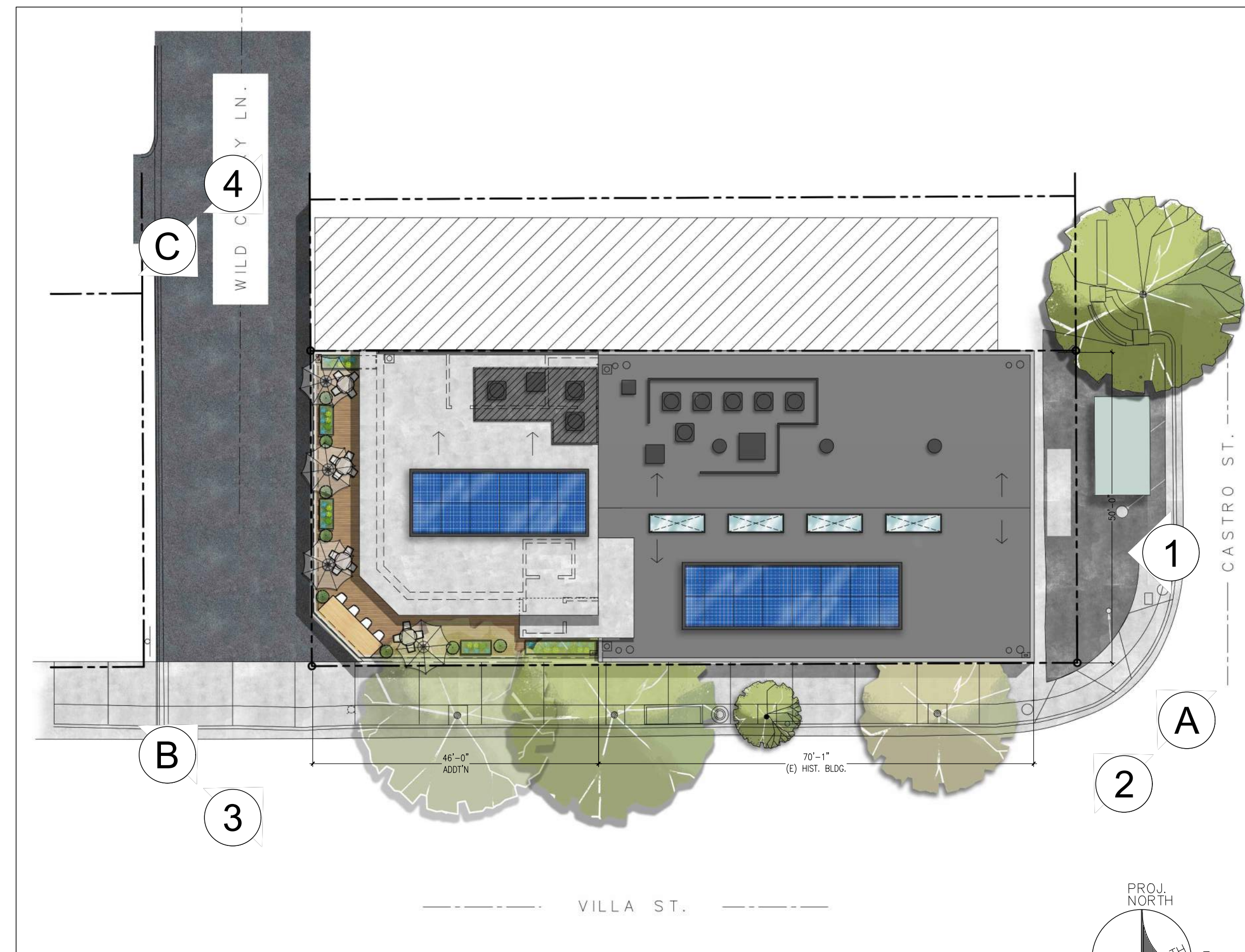
Ⓑ THREE-QUARTER VIEW FROM CORNER OF CASTRO & VILLA STREETS



Ⓑ VIEW FROM VILLA STREET LOOKING NORTHEAST



Ⓒ VIEW OF REAR ELEVATION FROM WILD CHERRY LN. LOOKING SOUTHEAST

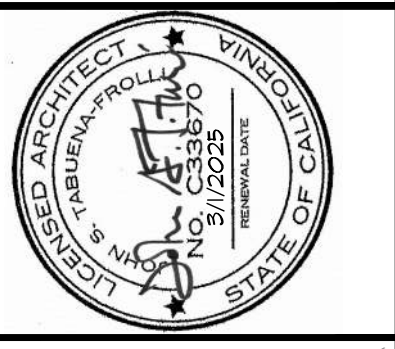


CONCEPTUAL SITE PLAN & KEY MAP

SCALE: 1/16"=1'

①

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|-----------------------------------|
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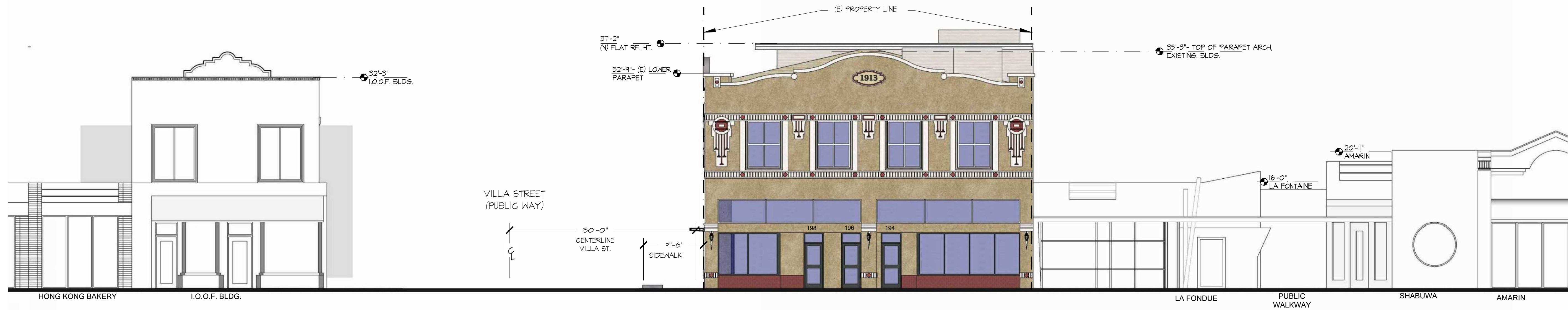
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| PROJECT NO. | 21.26 |

PROPOSED 3-D
RENDERINGS &
EXISTING COND.
PHOTOS

SHEET NO.

A0.1

STREETSCAPE ELEVATIONS



① FRONT (EAST) STREETSCAPE ELEVATION



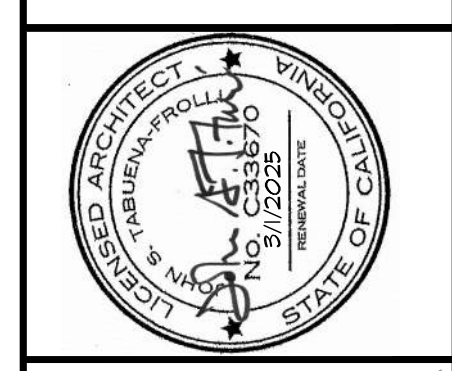
② SIDE (SOUTH) STREETSCAPE ELEVATION



③ REAR (WEST) STREETSCAPE ELEVATION

APPROVAL STAMP AREA

| |
|-----------------------------------|
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STREETSCAPE
 ELEVATIONS

SHEET NO.
A0.2

WINTER SOLSTICE

SITE SHADOW STUDY

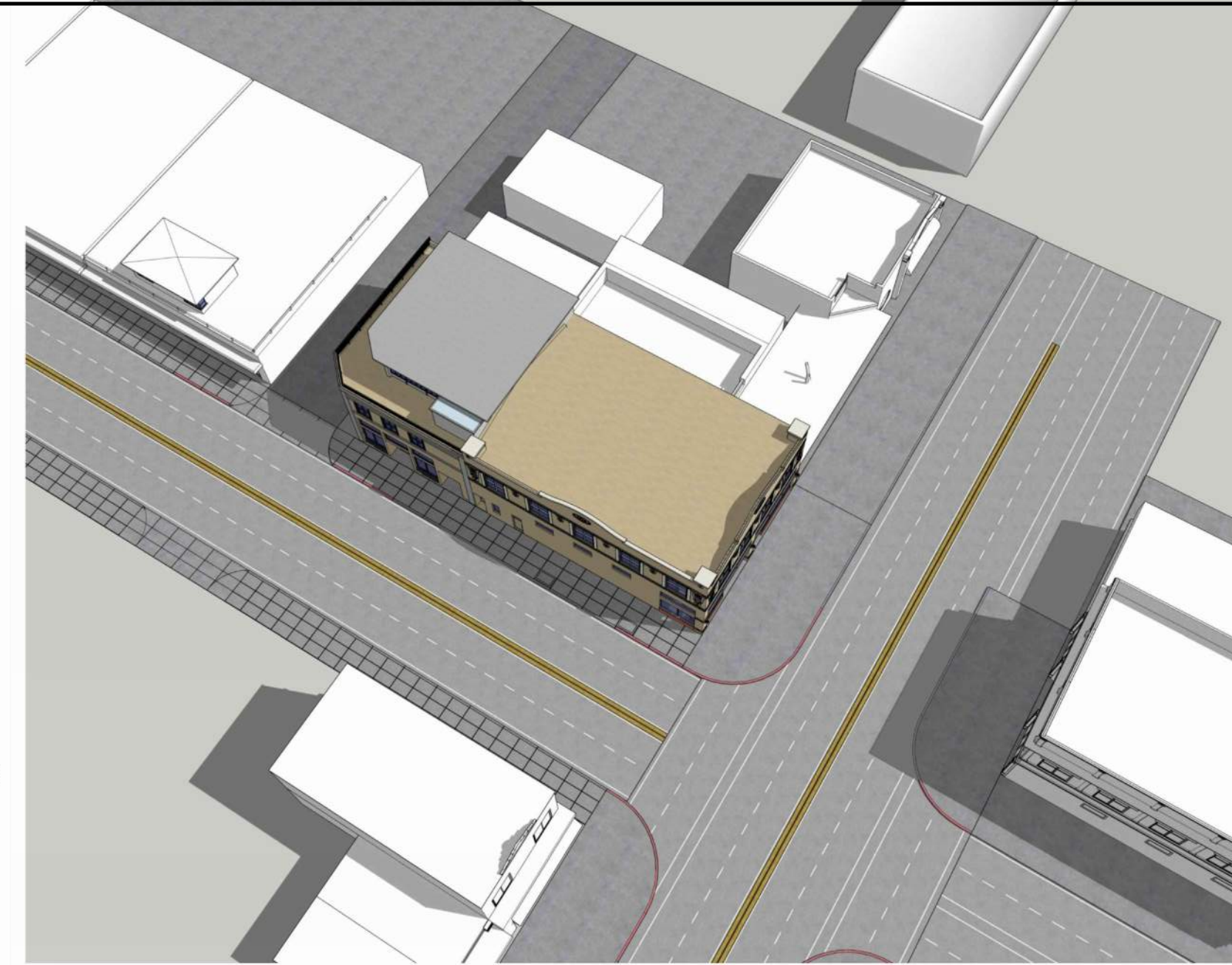
SUMMER SOLSTICE



194-198 CASTRO ST., MOUNTAIN VIEW, CA 94041
Winter Solstice
December 21, 2023
9:00 AM



SHADOW STUDY



194-198 CASTRO ST., MOUNTAIN VIEW, CA 94041
Summer Solstice
June 21, 2023
9:00 AM



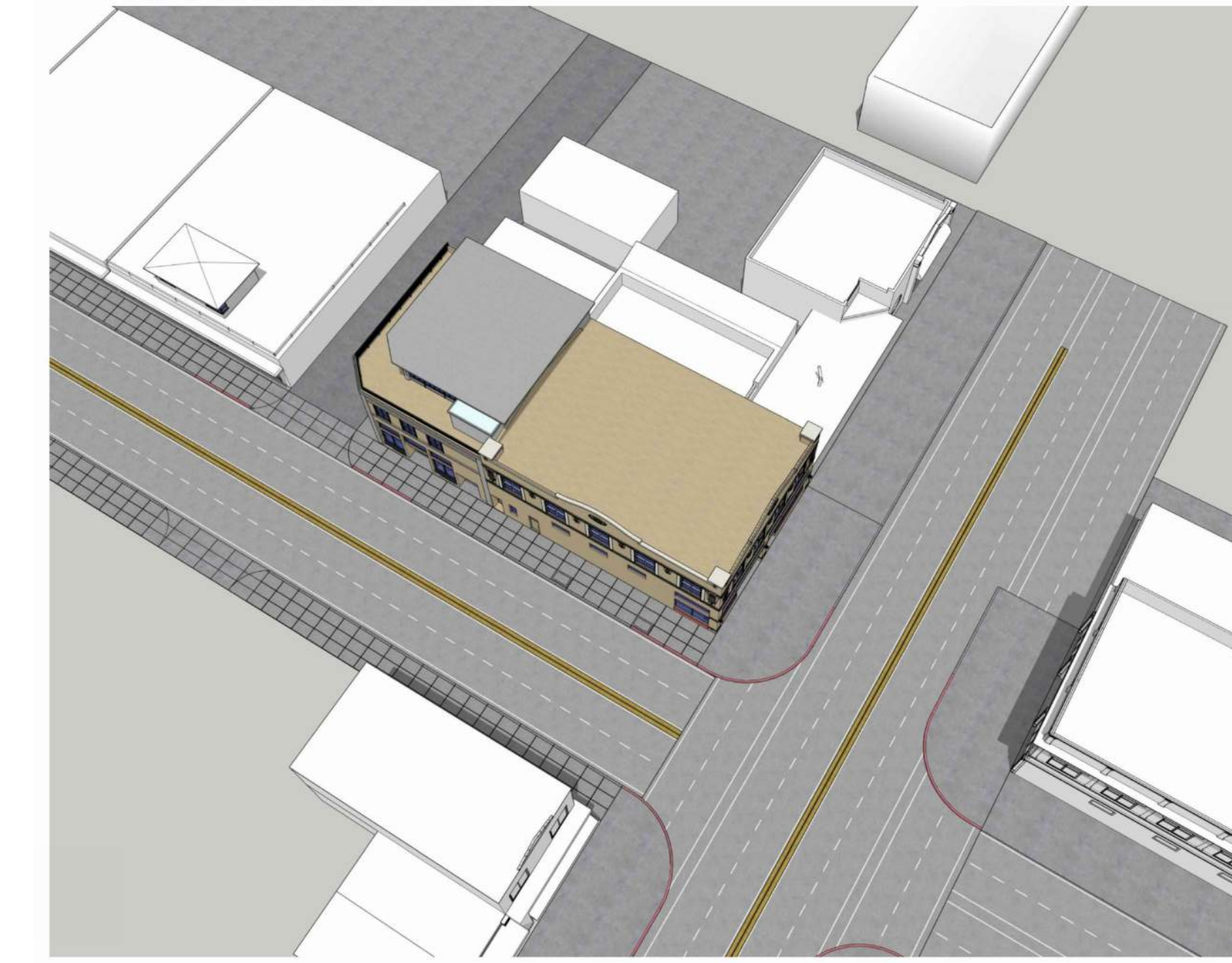
SHADOW STUDY



194-198 CASTRO ST., MOUNTAIN VIEW, CA 94041
Winter Solstice
December 21, 2023
12:00 PM (noon)



SHADOW STUDY



194-198 CASTRO ST., MOUNTAIN VIEW, CA 94041
Summer Solstice
June 21, 2023
12:00 PM (noon)



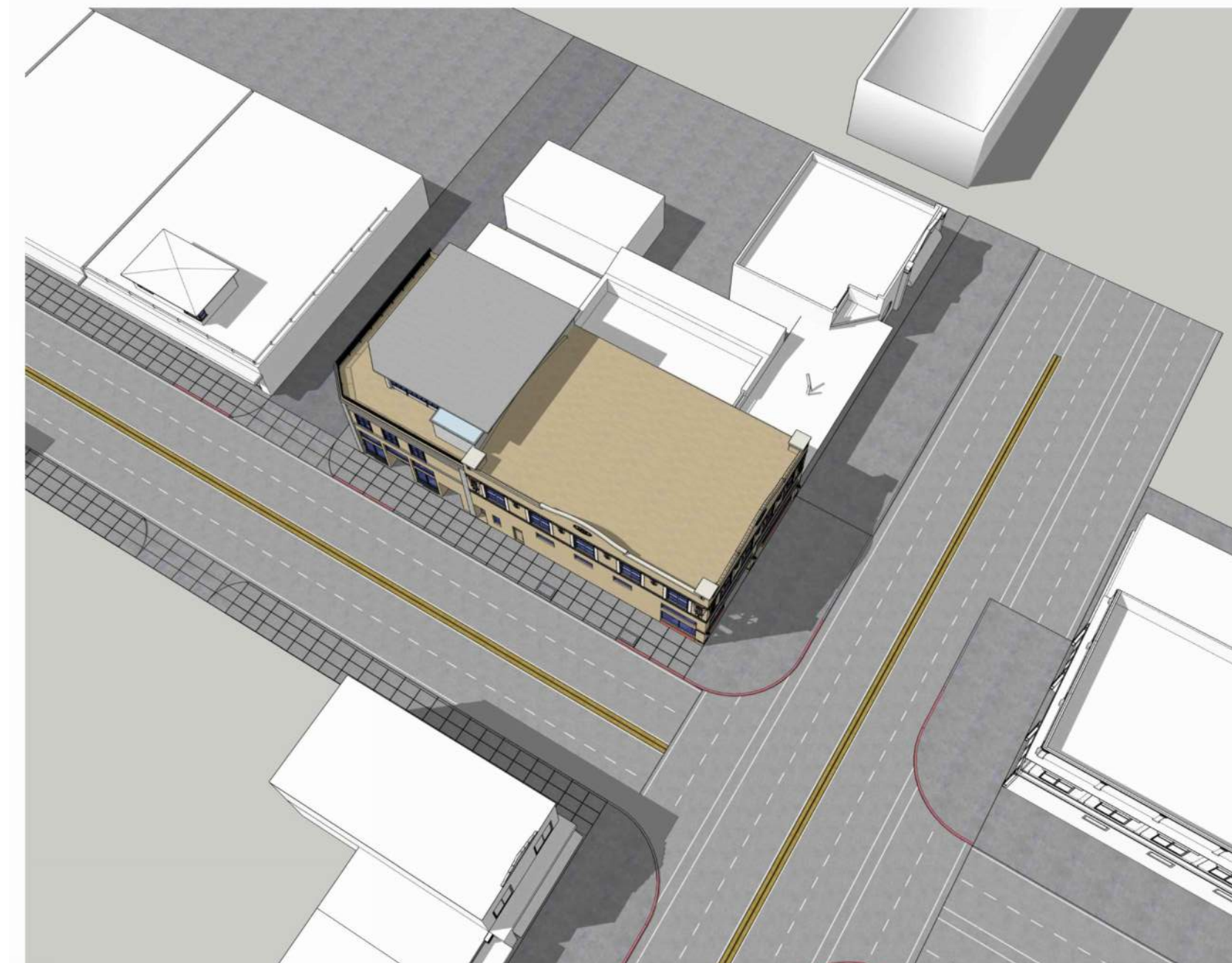
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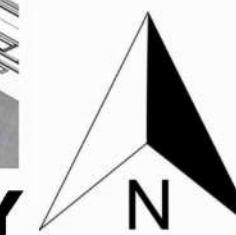
194-198 CASTRO ST., MOUNTAIN VIEW, CA 94041
Winter Solstice
December 21, 2023
3:00 PM



SHADOW STUDY



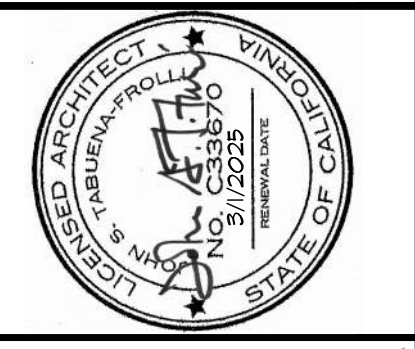
194-198 CASTRO ST., MOUNTAIN VIEW, CA 94041
Summer Solstice
June 21, 2023
3:00 PM



SHADOW STUDY

APPROVAL STAMP AREA

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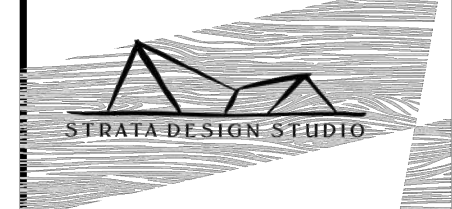
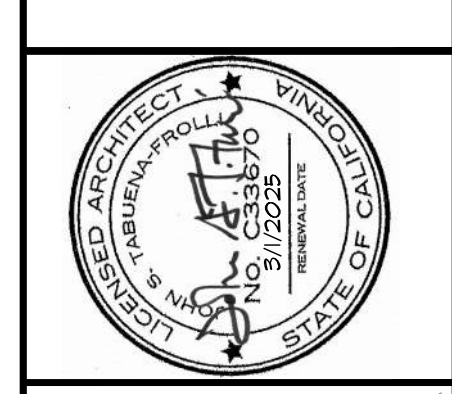
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**SITE SHADOW
STUDY**

SHEET NO.
A0.3

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| 11/20/23 | DRG SUBMITL |



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AS NOTED

PROJECT NO.
21.26

PROJECT SITE PLAN- EXISTING/DEMO

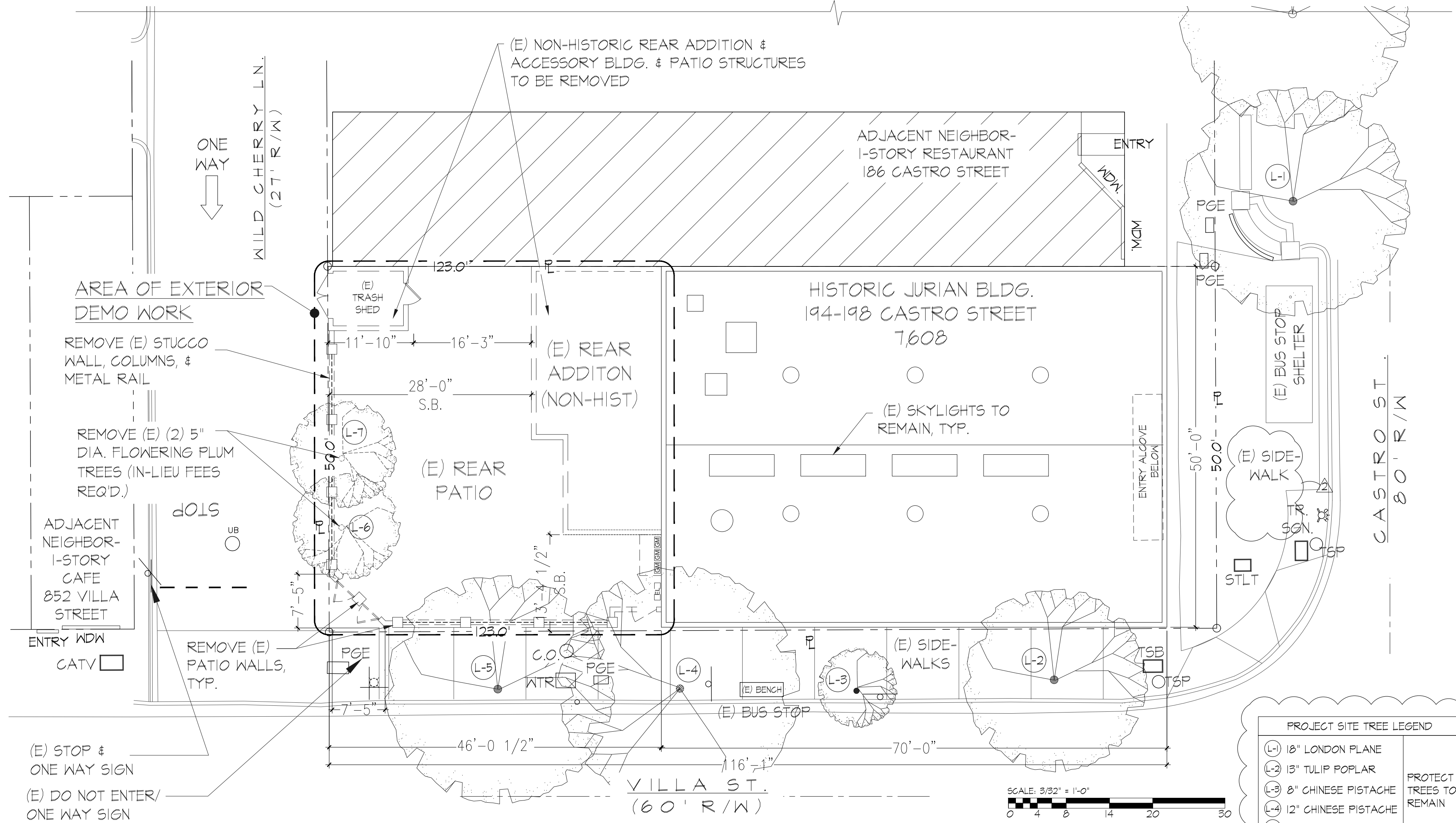
SHEET NO.
A1.0

JURIAN BUILDING NOTES

1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB [§303] REQ'S.
3. (E) EXTERIOR DR'S., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER. IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
7. PROTECT (E) ROOF SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D.
8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIGINALS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

KEYED DEMO NOTES (AREA OF (N) ADDITION)

- A. REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWG. A0.1 & CIVIL ENG. DWGS.
- B. SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- C. SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK. INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION. TYP.
- D. DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY-APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT. - PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MATLS AS APPROVED BY OWNER
- E. CAREFULLY REMOVE (E) WDW'S. & DR'S. PER DEMO PLAN. PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOC'S.
- F. AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) STUCCO CLADDING TO MATCH (E). OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK. INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- G. CAREFULLY REM. & SALVAGE (E) CAB'S, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT'S. STORE FOR POSS. REUSE, DONATION OR RESALE. VERIFY W/ HIST. ARCH. & OWN'R. TYP.
- H. REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) PLANS FOR LOC. OF (N) STAIRS & ELEV. PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS. TYP.
- I. PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN. SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDW'S & DR'S. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED- MILLED TO MATCH (E). VERIFY (N) & (E) OPENINGS TO REMAIN. PER (N) PLAN. TYP.
- J. PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING. REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- K. PROTECT (E) SUB-FLOORING TO REMAIN. PATCH (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRNG. FOR REFINISHING. VERIFY W/ OWNER.
- L. (E) ROOF SURFACE TO BE INSPECTED. VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D. PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING. REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E). VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- M. REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.



GENERAL SITE IMPROVEMENT NOTES: REFER TO CIVIL DRAWINGS

- RELOCATE (E) UTILITY VAULTS/BOXES TO (N) SIDEWALK CURBS OR L.S. STRIPS
- PROVIDE NEW CURB, GUTTER, AND SIDEWALK ALONG VILLA STREET
- GRIND AND OVERLAY STREET ALONG PROJECT FRONTAGE
- REPLACE (E) VILLA ST./MILD CHERRY LANE DRIVEWAY
- REPAINT (E) RED CURB ALONG VILLA ST. & (N) RED CURB ALONG WILD CHERRY LANE FROM BACK OF SIDEWALK AND 25 FT. NORTH

EXISTING CONDITIONS & DEMO SITE PLAN 1
SCALE: 1"=10'

| PROJECT SITE TREE LEGEND | | |
|--------------------------|----------------------|-------------------------|
| (L-1) | 12" LONDON PLANE | PROTECT TREES TO REMAIN |
| (L-2) | 13" TULIP POPLAR | |
| (L-3) | 8" CHINESE PISTACHE | |
| (L-4) | 12" CHINESE PISTACHE | REMOVE TREES |
| (L-5) | 10" CHINESE PISTACHE | |
| (L-6) | 5" FLOWERING PLUM | REMOVE TREES |
| (L-7) | 5" FLOWERING PLUM | |

ABBREVIATIONS

| | | | | | | | | | | | | | |
|---------|----------------------|--------|--------------------|--------|------------------------------|---------|-------------------|--------|------------------|---------|------------------------|-----|---------|
| & | AND | CLKG. | CAULKING | F.D. | FLOOR DRAIN | INSUL. | INSULATION | PR. | PAIR | S.Q. | SQUARE | WD. | WOOD |
| < | ANGLE | CLR. | CONCRETE | FDN. | FOUNDATION | I.C. | IRRIGATION CTRL. | PNTD. | PAINTED | S.S.D. | SEE STRUCT. DWGS | WDW | WINDOW |
| ∠ | ANGLE | CLR. | CONCRETE | FIN. | FINISH | LOC. | LOCATION | PTDF. | PRES. TREATED DF | S.STL. | STAINLESS STEEL | W/O | WITHOUT |
| @ | CENTERLINE | C.M.U. | CONC. MASONRY UNIT | FLR. | FLOOR | LT. | LANDSCAPING | Q.T. | QUARRY TILE | STD. | STANDARD | W. | WEIGHT |
| ∅ | DIAMETER OR ROUND | CONT. | CONTINUOUS | FLUOR. | FLUORESCENT | LT. | LANDSCAPING | QTR. | QUARTER | STL. | STEEL | WT. | WATER |
| ± | PLUS OR MINUS | CTR. | CENTER | F.O.C. | FACE OF CONC. (OR CURB) | MAX. | MAXIMUM | R. | RISER | STOR. | STORAGE | | |
| (N) | NEW | DBL. | DOOR BELL | F.O.F. | FACE OF FINISH | MECH. | MECHANICAL | RAD. | RADIUS | SURF. | SURFACE | | |
| (E) | EXISTING | DET. | DETAIL | F.O.S. | FACE OF STUDS | R.D. | ROOF DRAIN | REF. | REFERENCE | TEMP. | TEMPERED GLASS | | |
| ADJ. | ADJUSTABLE | DF. | DIAMETER | F.S. | FULL SIZE | MFR. | MANUFACTURER | REIN. | REINFORCED | T.&G. | TONGUE AND GROOVE | | |
| A.F.F. | ABOVE FINISHED FLOOR | DM. | DIMENSION | FT. | FOOT OR FEET | MIN. | MINIMUM | REQ. | REQUIRED | THK. | THICK | | |
| APPROX. | APPROXIMATE | DR. | DOWN | FTG. | FOOTING | MISC. | MISCELLANEOUS | RMD. | ROOM | THSHLD. | THRESHOLD | | |
| ASPH. | ASPHALT | DR. | DOWN | FURR. | FURRING | MTD. | MOUNTED | RM. | ROOM | TOC. | TOP OF CURB | | |
| BITUM. | BITUMINOUS | GA. | GAUGE | GA. | GALVANIZED | N.C. | NOT IN CONTRACT | RND. | ROUND | TOS. | TOP OF PAVEMENT | | |
| BLDG. | BUILDING | D.V. | DRYER VENT | GL. | GLASS | N.O. OR | NO. OR | R.O. | ROUGH OPENING | TOW. | TOP OF WALL | | |
| BLK. | BLOCK | DWG. | DRAWING | GLV. | GULNAM BEAM | N.O. | NOMINAL | RWL. | RAIN WTR LEADER | T.PLT. | TOP PLATE | | |
| BLKG. | BLOCKING | DWG. | DRAWING | GND. | GROUND | N.O. | NOMINAL | S.C. | SOLID CORE | TV. | TELEVISION | | |
| BM. | BEAM | DWG. | DRAWING | GSM. | GALV. SHEET METAL | N.O. | NOMINAL | SCHED. | SCHEDULE | TYP. | TYPICAL | | |
| BTM. | BOTTOM | DWG. | DRAWING | GYP. | GYP. JUM | N.T.S. | NOT TO SCALE | SECT. | SECTION | U.O.N. | UNLESS OTHERWISE NOTED | | |
| CAB. | CABINET | E.A. | EACH | HT. | HEIGHT | O.A. | OVERALL | SCOR. | SLIDING GLASS DR | VERT. | VERTICAL | | |
| C.B. | CATCH BASIN | E.L. | EXPANSION JOINT | H.B. | HOSE BIBB | O/O. | OVER | SHR. | SHOWER | W. | WIDTH | | |
| C.I. | CAST IRON | ELEC. | ELECTRICAL | H.D. | HOT DIP (GALV.) (OR HOLDOWN) | O.D. | OUTSIDE DIA. DIM. | SHT. | SHEET | W.C. | WITH | | |
| C.J. | CONTROL JOINT | E.N. | ELECTRICAL | HDR. | HEADER BEAM | OPP. | OPPOSITE | SIM. | SIMILAR | W.C. | WITH | | |
| C.L.O. | CLOSED | EQ. | EQUAL | HDR. | HEADER BEAM | PLT. | PLATE | SLP. | SLOPE | W. | WIDTH | | |
| CLG. | CEILING | EXH. | EXHAUST | HORIZ. | HORIZONTAL | PLS. | PLASTER | S.LT. | SKY LIT. | W/C. | WITH | | |
| | | EXT. | EXTERIOR | HR. | HOUR | PLYWD. | PLYWOOD | SPEC. | SPECIFICATION | W.C. | WATER CLOSET | | |

SITE LEGEND

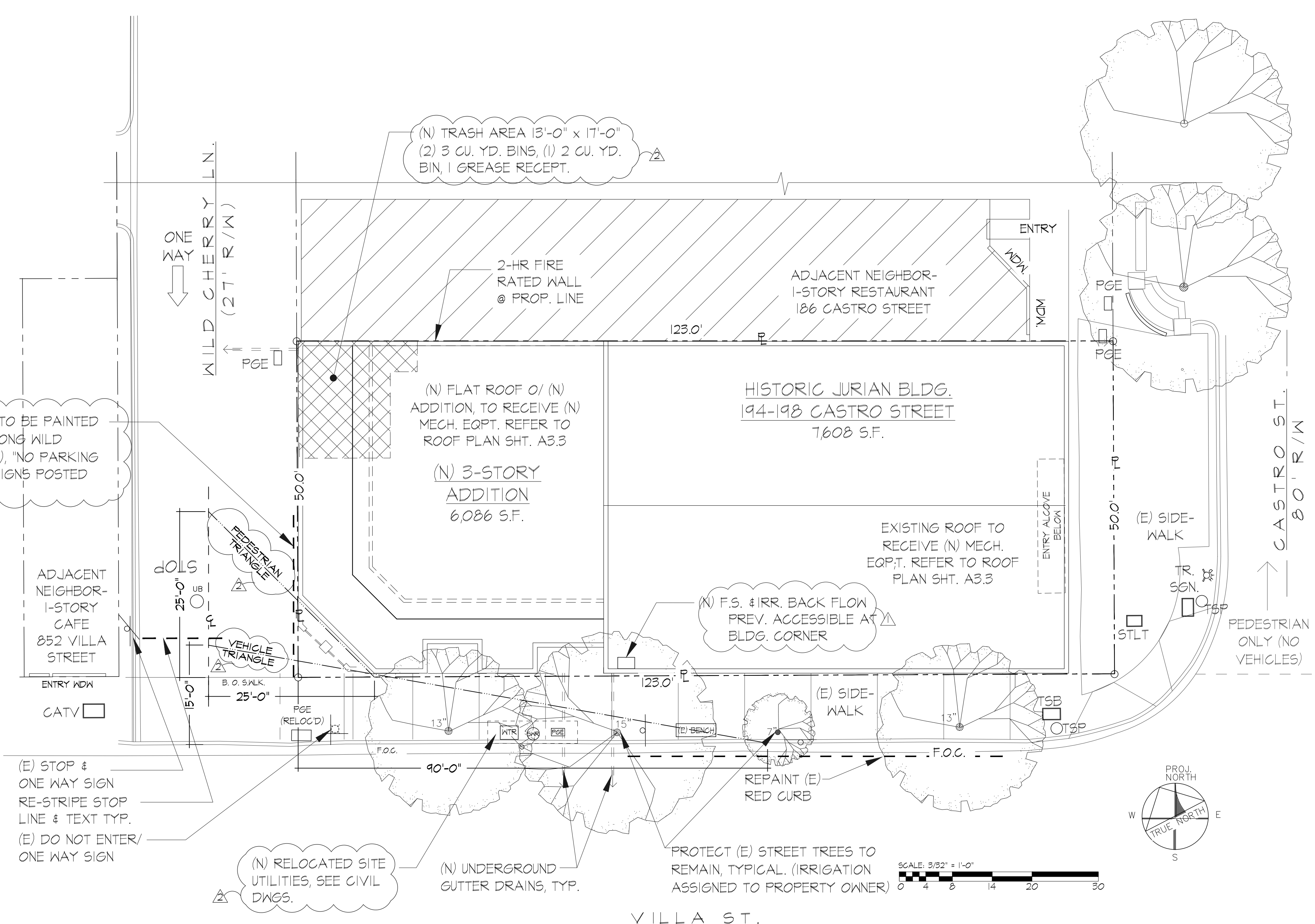
- PROPERTY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- NEW ELECT. POLE
- ⊕ NEW GAS METER
- EL. ELECT. SERV. & METER
- ⊕ WATER METER
- ⊕ SEWER ACCESS

PROPOSED SITE PLAN NOTES

- EXISTING JURIAN BUILDING**
- EXISTING STRUCTURE TO BE REPAIRED AS REQ'D - PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
 - (E) EXTERIOR DRS., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 - PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS. REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER. IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
 - PROTECT (E) ROOF SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D.
 - (E) WINDOWS - UNLESS SCHEDULED FOR REMOVAL, ALL WDWs. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIGINALS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.
- NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)**
- VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
 - INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
 - INSTALL (N) 2x4 DF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
 - INSTALL (N) GYPBD NAILED W/ DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS. REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP. BD. TYP.
 - INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512. WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING. TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
 - PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-30 MIN. BATT INSUL. TYP.
- WALLS R-13 MIN. BATT INSUL. TYP.
- FLOORS R-30 MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSUL. AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS. OPTIONAL @ BEDROOMS. VERIFY W/ OWNER
 - COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/ OWNER.
 - PROVIDE (N) LOW-SLOPED ROOF ON (N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
 - INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER. TYP.
 - WINDOWS:
(N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS. PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING. TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
 - VERIFY (E) 4X DF HDR. W/ DBL. 2x TRIMMERS AROUND (N) WDWs. w/ DBL. 2x BK'S EA. WAY AT TOP AND BTM OF WDW FRAMING, w/ SIMP. STRAPS AS REQ'D. PER STRUCT. DETAIL TYP.
 - PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRS. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE. R.W.V. DR. MODEL CHOICES W/ HIST. PRIOR TO PURCHASE. PROVIDE MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3. FIG. 11A-6(G) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DRS. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
 - INSTALL (N) FLRS. W/ MATL. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INST. ALL (N) TILE FLOORING OR OTHER MATL. AS SPEC. BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG'S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
 - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/ OWNER.
 - PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.
 - @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/ BACKSPASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LACS. AND MEP REQMENTS. IN FIELD W/ OWNER. TYP.
 - PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/ 5/8" TYPE X 1HR RATED GYP. BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS. TYP. REFER TO FLOOR PLAN & SECTIONS (btd).
 - PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION. W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP.. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
 - PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL. MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
 - PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
 - REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

SITE LEGEND

| | | | |
|-------|------------------------|-----|----------------------|
| — P — | PROPERTY LINE | ⊕ | NEW GAS METER |
| — W — | UNDERGROUND WATER LINE | EL. | ELECT. SERV. & METER |
| — G — | UNDERGROUND GAS LINE | WM | WATER METER |
| ● | NEW ELECT. POLE | ⊙ | SEWER ACCESS |



PROPOSED SITE PLAN
SCALE: 1"=20'

- GENERAL SITE IMPROVEMENT NOTES (REFER TO CIVIL DWGS.)**
- RELOCATE (E) UTILITY VAULTS/BOXES TO (N) SIDEWALK CURBS OR L.S. STRIPS
 - PROVIDE NEW CURB, GUTTER, DRIVEWAY, AND SIDEWALK ALONG VILLA STREET AT FRONTAGE OF (N) ADDITION
 - GRIND AND OVERLAY STREET ALONG (N) ADDITION FRONTAGE
 - REPLACE (E) VILLA ST./WILD CHERRY LANE DRIVEWAY
 - REPAINT (E) RED CURB ALONG VILLA ST. & (N) RED CURB ALONG WILD CHERRY LANE FROM BACK OF SIDEWALK AND 25 FT. NORTH

HISTORIC JURIAN BLDG
ISSUE DATE: 11/21/22 PRELIM. PLANNING SUBMITL, 03/20/23 FORMAL PLANG SUBMITL, 06/20/23 FORMAL PLANG RESUBMITL, 09/01/23 FORMAL PC REVS, 10/16/23 FORMAL PC REVS 2, 11/20/23 DRC SUBMITL

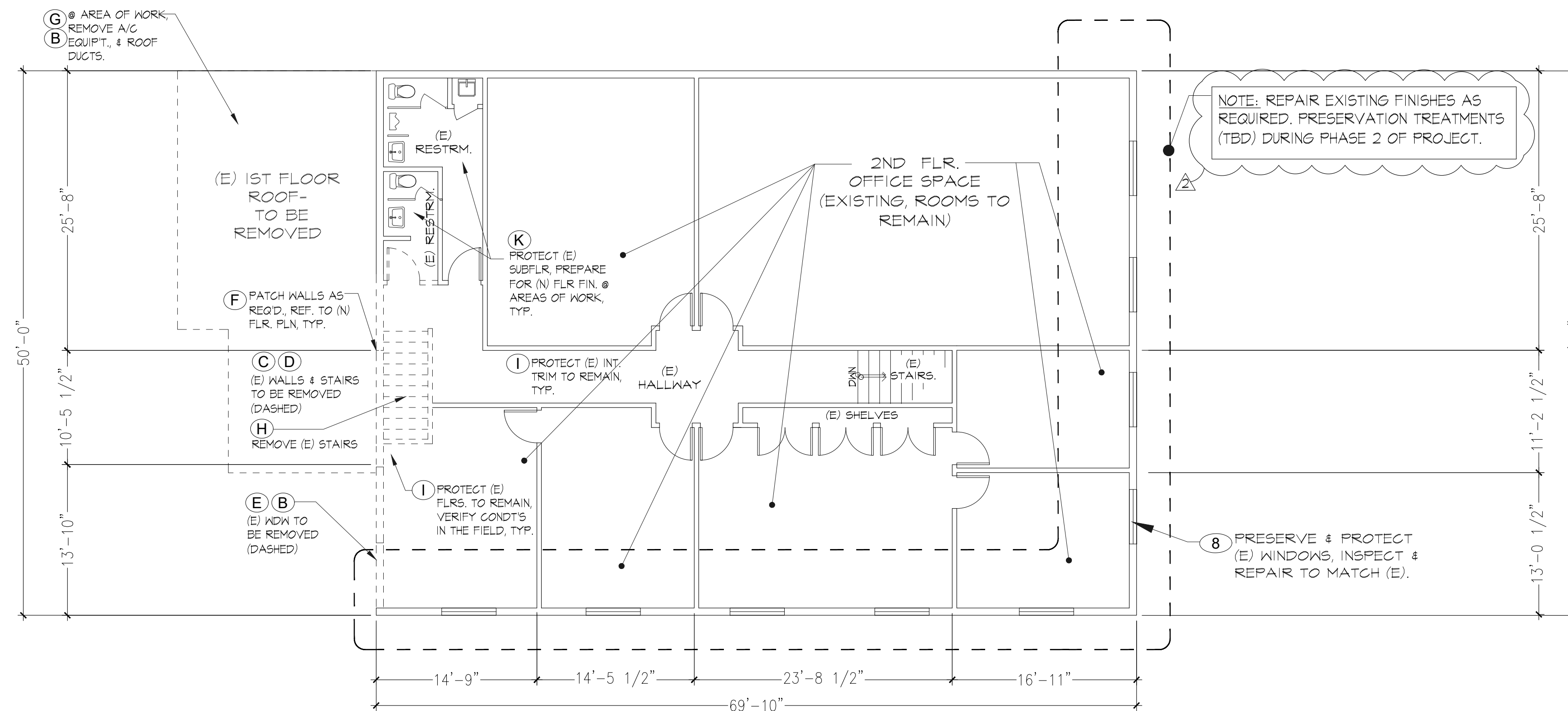
STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION
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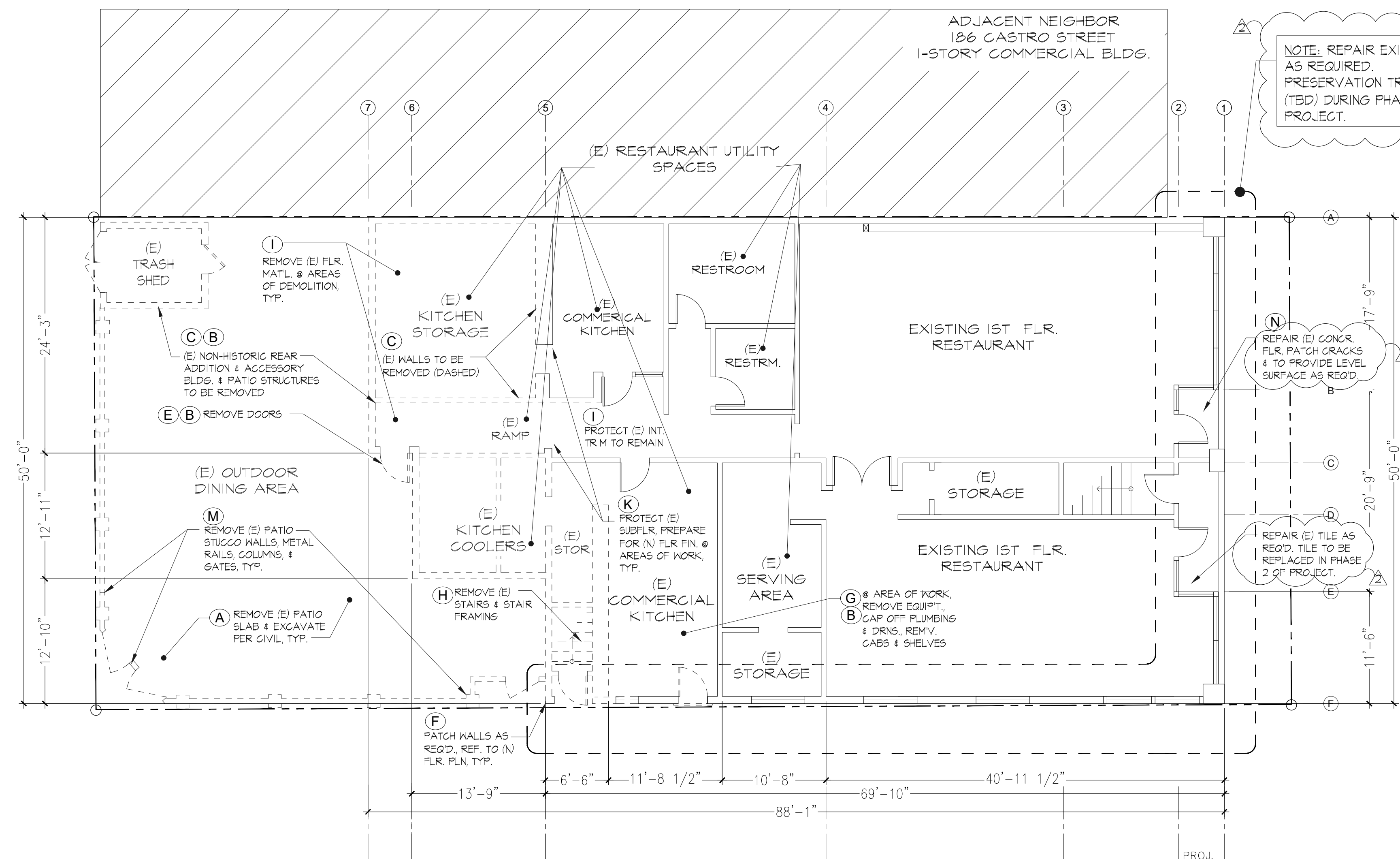
HISTORIC JURIAN BLDG. ADDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN:
SAE/GTF/JTF
DATE:
11/20/23
SCALE:
AS NOTED
PROJECT NO.:
21.26

PROJECT SITE PLANS-PROPOSED
SHEET NO.
A1.1



**EXISTING & DEMOLITION
2ND STORY FLOOR PLAN** SCALE: 3/16"=1' **2**



**EXISTING & DEMOLITION
1ST STORY FLOOR PLAN** SCALE: 3/16"=1' **1**

KEYED DEMO NOTES (AREA OF (N) ADDITION)

- (A) REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWG. AD.1 & CIVIL ENG. DWGS.
- (B) SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- (C) SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK, INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
- (D) - DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MATLS AS APPROVED BY OWNER
- (E) CAREFULLY REMOVE (E) WDW'S. & DRS. PER DEMO PLAN. PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOC'S.
- (F) AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) STUCCO CLADDING TO MATCH (E). OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK. INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- (G) CAREFULLY REM. & SALVAGE (E) CABS, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT'S. STORE FOR POSS. REUSE, DONATION OR RESALE. VERIFY W/ HIST. ARCH. & OWNR. TYP.
- (H) REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV. PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS. TYP.
- (I) PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN. SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDW'S & DRS. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED- MILLED TO MATCH (E). VERIFY (N) & (E) OPENINGS TO REMAIN. PER (N) PLAN, TYP.
- (J) PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING. REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- (K) PROTECT (E) SUB-FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRING. FOR REFINISHING. VERIFY W/ OWNER.
- (L) (E) ROOF SURFACE TO BE INSPECTED. VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D. PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING. REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E). VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- (M) REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.

NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.

8 PRESERVE & PROTECT (E) WINDOWS, INSPECT & REPAIR TO MATCH (E).

NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.

1 REPAIR (E) TILE AS REQ'D. TILE TO BE REPLACED IN PHASE 2 OF PROJECT.

1 REPAIR (E) TILE AS REQ'D. TILE TO BE REPLACED IN PHASE 2 OF PROJECT.

FLOOR PLAN LEGEND

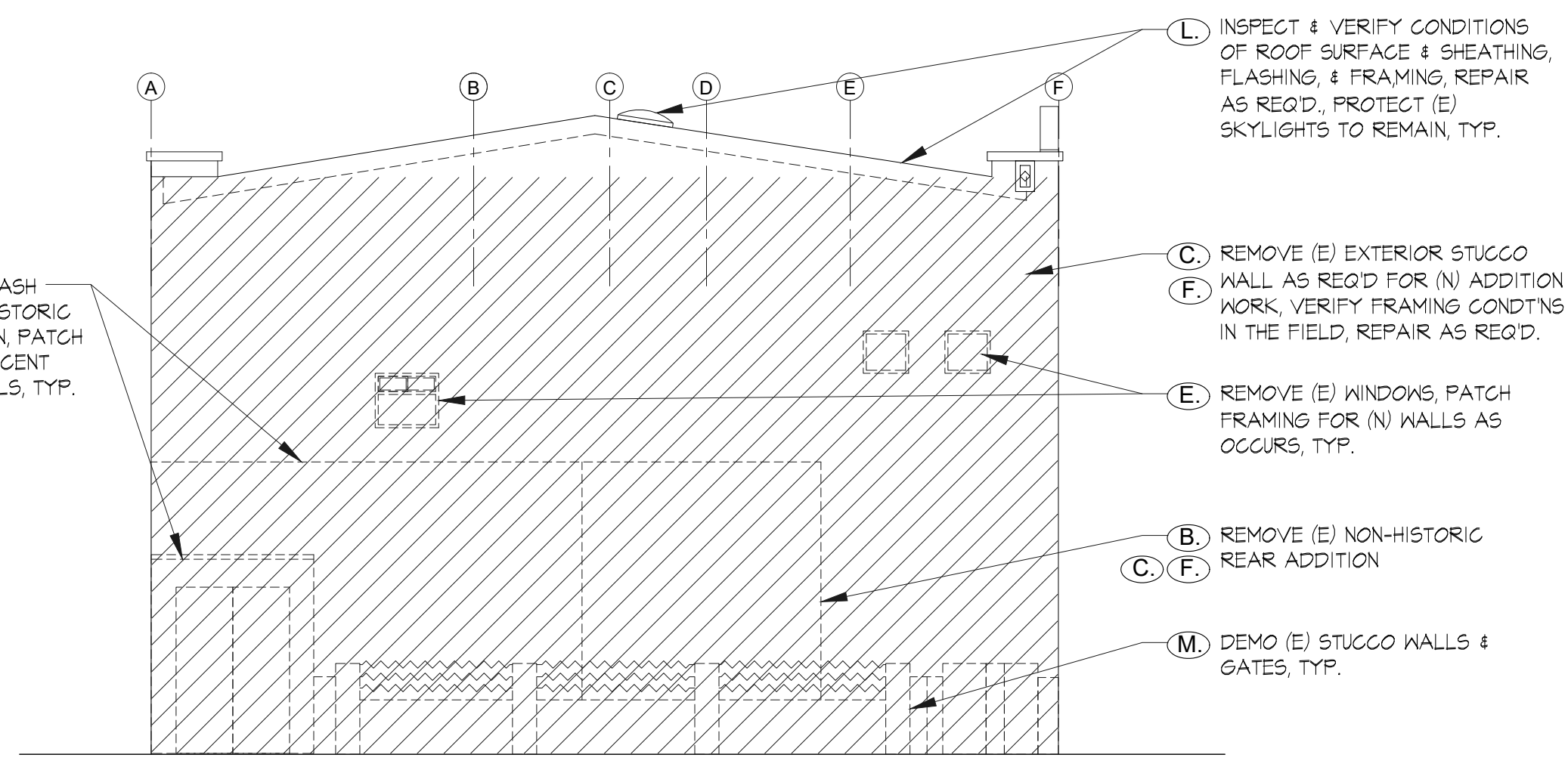
| | | | |
|------|------------------------------------|-------|--|
| (N) | NEW | | ACOUST. INSUL. |
| (E) | EXISTING | ===== | RAILING |
| (R) | RELOCATE | ===== | TILE SURFACE |
| (V) | VERIFY | ===== | SEE ELEVATIONS |
| | (N) FULL HEIGHT WALL (WOOD FRAMED) | # | KEYED NOTE SYMBOL |
| ---- | (E) WALLS TO BE REMOVED | # | CODE NOTE SYMBOL |
| --- | LOW HEIGHT WALL | # | DOOR SYMBOL REFER TO DOOR SCHED. |
| --- | (N) WINDOW | # | WINDOW SYMBOL REFER TO WINDOW SCHED. |
| --- | (N) DOOR | # | SMOKE & CARBON MONOXIDE DETECTOR ALARM |
| --- | WINDOW TO BE REMOVED | 4/2 | INT. ELEVATION KEY |
| --- | LOUVER | 9 | |

APPROVAL STAMP AREA

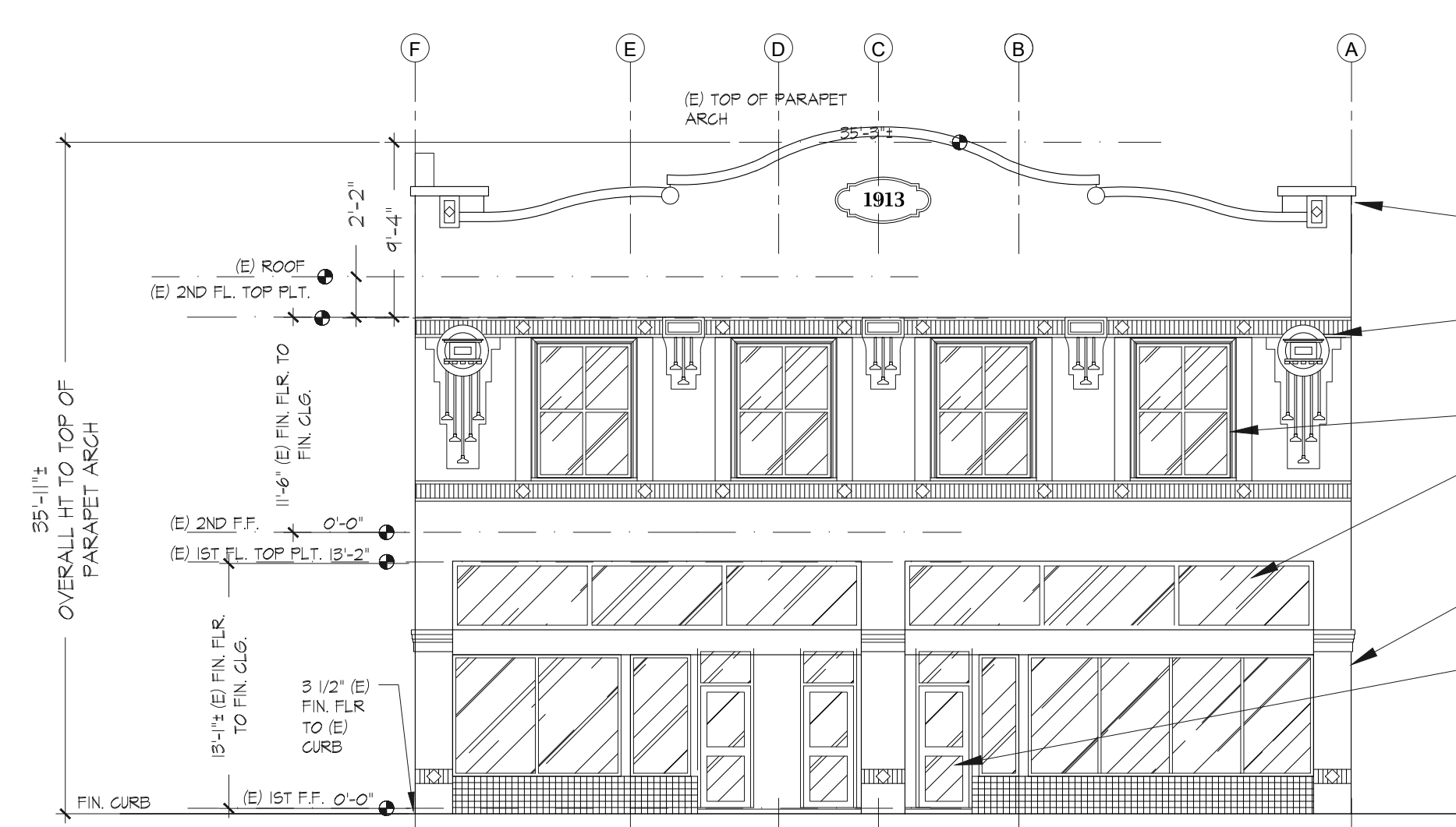
JURIAN BUILDING NOTES

- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
- 3. (E) EXTERIOR DRS., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
- 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS. REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER. IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- 5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
- 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
- 7. PROTECT (E) ROOF SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D.
- 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW'S. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRIM. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIGINALS. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

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|---|--|
| <p>HISTORIC JURIAN BLDG ISSUE DATE 11/21/22 PRELIM. PLANNING SUBMITL 03/20/23 FORMAL PLANS SUBMITL 06/20/23 FORMAL PLANS RESUBMITL 09/01/23 FORMAL PC REVS 10/16/23 FORMAL PC REVS 2 11/20/23 DRG SUBMITL</p> | |
| | |
| <p>STRATA DESIGN STUDIO DESIGN - CONSULTING - PRESERVATION</p> | |
| <p>OWNER: CHEE-YEE CHONG, (DBA HANSON AMERIC LLC) PO BOX 4631 MOUNTAIN VIEW, CA 94041 ph: 408.859.2845, em: cychong@pacbell.net</p> | <p>HISTORIC JURIAN BLDG. ADDITION/REHABILITATION</p> |
| <p>PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041 APN: 158-15-013</p> | <p>DRAWN SAE/GTF/JTF</p> |
| <p>DATE 11/20/23</p> | <p>SCALE AS NOTED</p> |
| <p>PROJECT NO. 21.26</p> | <p>EXISTING/ DEMO FLOOR PLANS</p> |
| <p>SHEET NO. A2.0</p> | |

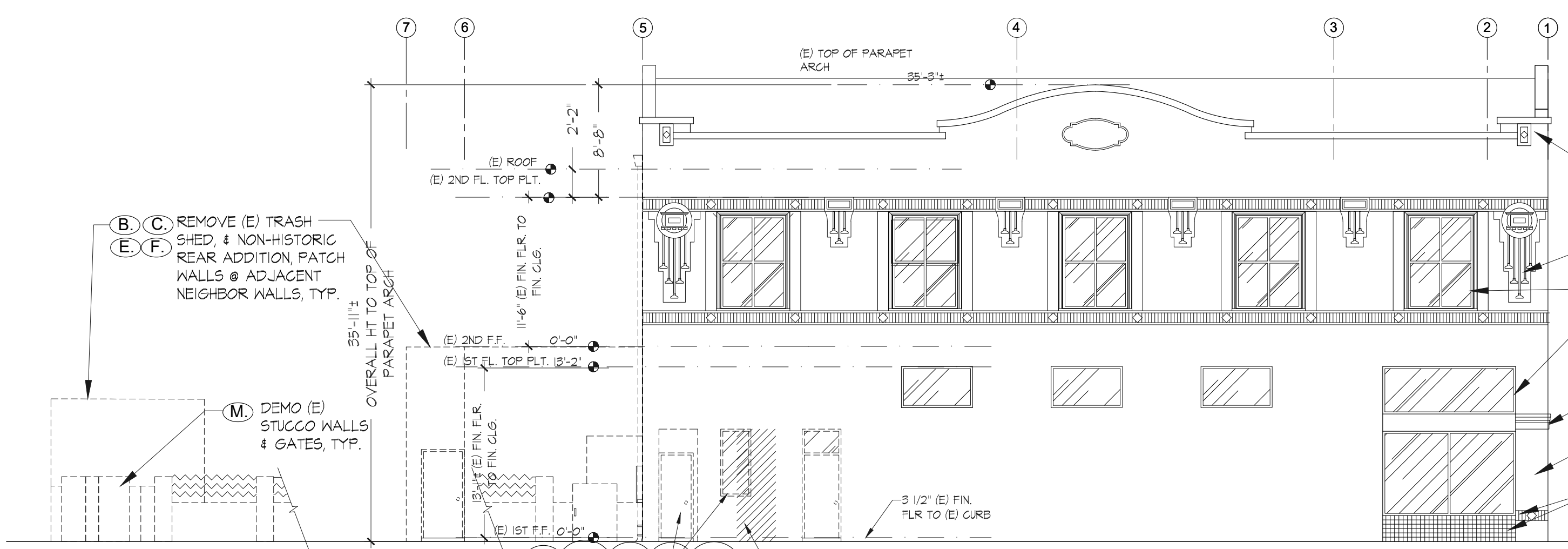


(E) REAR ELEVATION (WILD CHERRY LN.) SCALE: 1/8"=1' **3**



(E) FRONT ELEVATION (CASTRO ST.) SCALE: 1/8"=1' **1**

NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.



(E) LEFT ELEVATION (VILLA ST.) SCALE: 1/8"=1' **2**

NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.

PROTECT (E) ROOF & PARAPEET WALLS TO REMAIN, TYP.

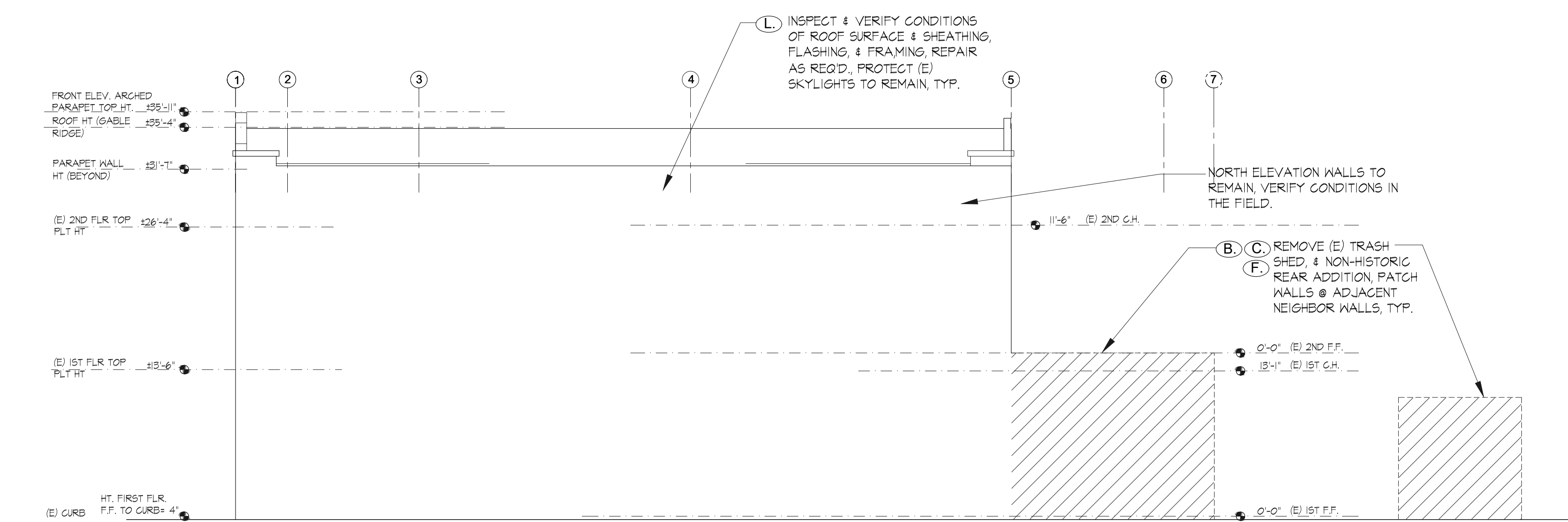
PROTECT (E) DECORATIVE TRIM TO REMAIN, TYP.

PROTECT (E) WINDOWS TO REMAIN, TYP. PHASE 2 PRESERVATION TREATMENT INCL. WDW REPLACEMENT.

PROTECT & PRESERVE (E) RUNNING TRIM TO REMAIN, TYP.

PROTECT & PRESERVE (E) WALL FINISH TO REMAIN, TYP.

REPAIR (E) WALL TILE AS REQ'D. TO MATCH (E) PHASE 2 PRESERVATION TREATMENT INCL. REMOVAL OF TILE.



(E) RIGHT ELEVATION SCALE: 1/8"=1' **4**

KEYED DEMO NOTES (AREA OF (N) ADDITION)

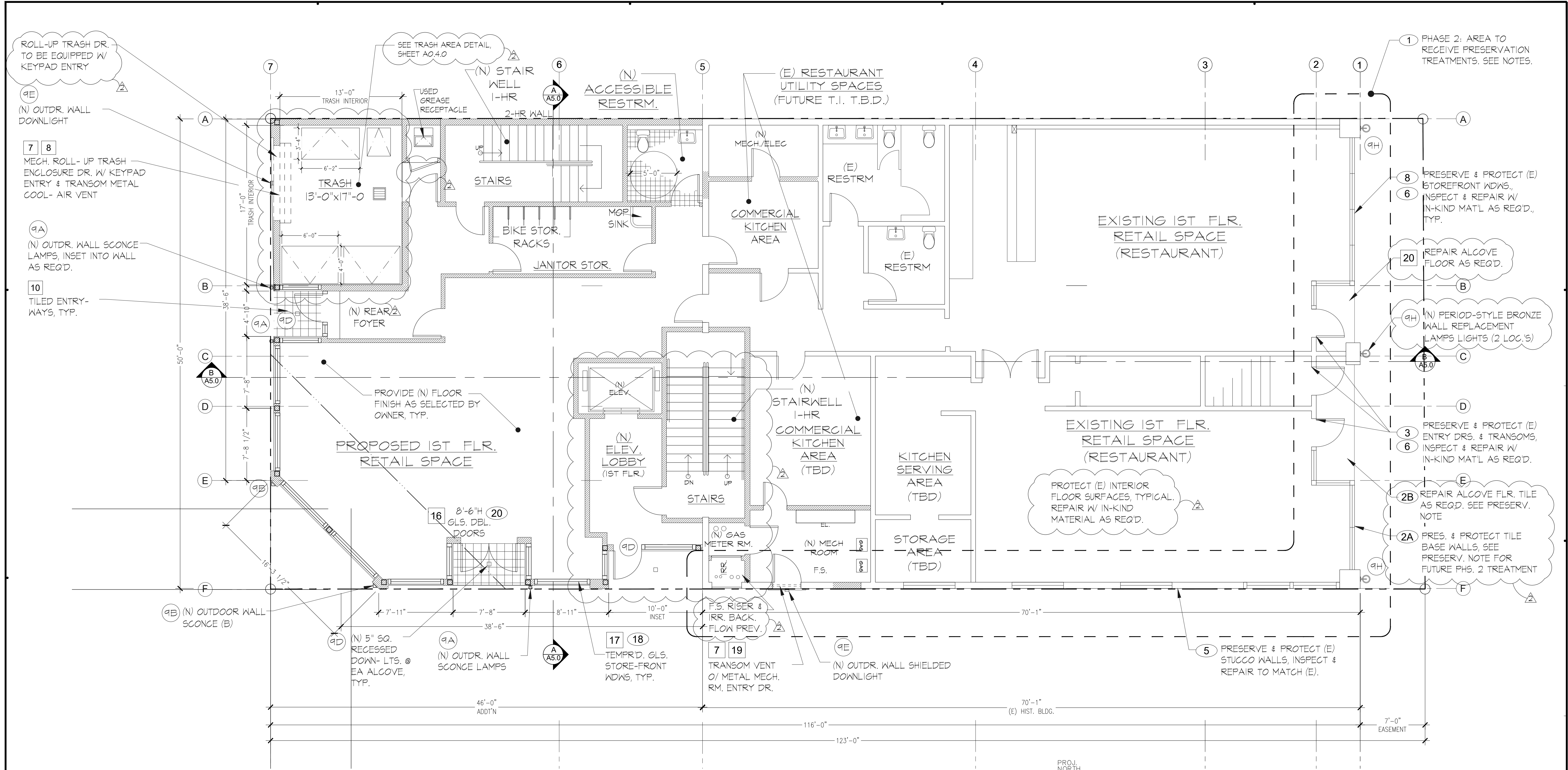
- A. REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWGS. A0.1 & CIVIL ENG. DWGS.
- B. SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- C. SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK, INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
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- F. AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) STUCCO CLADDING TO MATCH (E). OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK, INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
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- H. REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV., PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS, TYP.
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- 8.

APPROVAL STAMP AREA

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|---|---|
| <p>HISTORIC JURIAN BLDG ISSUE DATE 11/21/22 PRELIM. PLANNING SUBMITL 03/20/23 FORMAL PLANS SUBMITL 06/20/23 FORMAL PLANS RESUBMITL 09/01/23 FORMAL PC REV'S 10/16/23 FORMAL PC REV'S 2 11/20/23 DRG SUBMITL</p> | |
| | |
| <p>STRATA DESIGN STUDIO DESIGN - CONSULTING - PRESERVATION</p> | |
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| <p>SCALE AS NOTED</p> | <p>PROJECT NO. 21.26</p> |
| <p>EXISTING/ DEMO ELEVATIONS</p> | |
| <p>SHEET NO. A2.1</p> | |



(N) FIRST FLOOR PLAN
SCALE: 3/16"=1' 1

NEW CONSTRUCTION KEYED NOTES

- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) 2x DF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYPBD NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP., PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD., TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN, OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-30 MIN. BATT INSUL TYP.
- WALLS R-13 MIN. BATT INSUL TYP.
- FLOORS R-30 MIN. BATT INSUL TYP.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSUL AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/ OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF @ (N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.
- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK, PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC., PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5 DETAIL TYP.
- 19. VERIFY (E) 4X DF HDR W/DBL 2X TRIMMERS AROUND (N) WDWs. W/ DBL 2X BLKG EA. WAY AT TOP AND BTM OF WDW FRAMING, W/SIMP. STRAPS AS REQ'D. PER STRUCT. DETAIL TYP.
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRs. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES, REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE, PROVIDE MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-8A-(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN) SOLID CORE INT. DR. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 21. INSTALL (N) FLRS. W/ MATL. AS SEL. BY OWNER, VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION, CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC BY OWNER, PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG'S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/ OWNER.
- 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.
- 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/ 5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (b-d).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE, PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED), NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2.
- 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT, PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
- 30. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

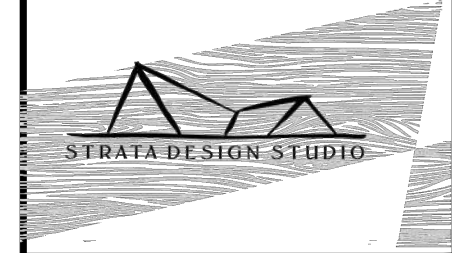
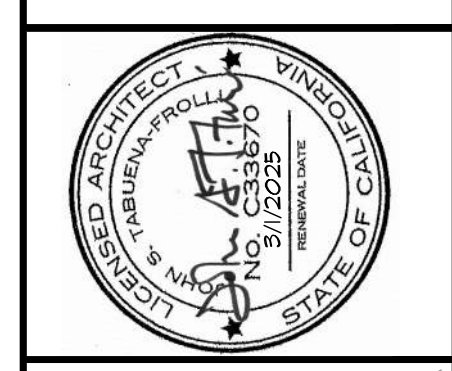
JURIAN BUILDING NOTES

- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D-PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL, ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES, RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §3003 REQ'S.
 - 3. (E) EXTERIOR DRs., SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF SURFACE TO REMAIN, INSPECT RF. MATL. @ (E) PARAPET WALLS, REPAIR AS REQ'D.
 - 8. (E) WINDOWS-UNLESS SCHEDULED FOR REMOVAL, ALL WDWs. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIGINALS-T.B.D.-AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

| | |
|---|--|
| <p>HISTORIC JURIAN BLDG ISSUE DATE 11/21/22 PRELIM. PLANNING SUBMITL 03/20/23 FORMAL PLANS SUBMITL 06/20/23 FORMAL PLANS RESUBMITL 09/01/23 FORMAL PC REVS 10/16/23 FORMAL PC REVS 2 11/20/23 DRC SUBMITL</p> | |
| | |
| | |
| <p>STRATA DESIGN STUDIO DESIGN - CONSULTING - PRESERVATION</p> | |
| <p>JOHN S. TABAJENA-FROLLI, AIA PO BOX 1127 SAN JOSE, CA 95108 408.705.3148 - jfrolli@gmail.com</p> | |
| <p>OWNER: CHEE-YEE CHONG, (DBA HANSON AMERIC LLC) PO BOX 4631 MOUNTAIN VIEW, CA 94041 ph: 408.859.2845, em: cychong@pacbell.net</p> | <p>HISTORIC JURIAN BLDG. ADDITION/REHABILITATION</p> <p>PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041 APN: 158-15-013</p> |
| <p>DRAWN SAE/GTF/JTF</p> <p>DATE 11/20/23</p> <p>SCALE AS NOTED</p> <p>PROJECT NO. 21.26</p> | |
| <p>PROPOSED FIRST FLOOR PLAN</p> <p>SHEET NO.</p> <p style="font-size: 2em; font-weight: bold;">A3.0</p> | |

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|-----------------------------------|
| HISTORIC JURIAN BLDG |
| ISSUE DATE |
| 11/21/22 PRELIM. PLANNING SUBMITL |
| 03/20/23 FORMAL PLANG SUBMITL |
| 06/20/23 FORMAL PLANG RESUBMITL |
| 09/01/23 FORMAL PC REVS |
| 10/16/23 FORMAL PC REVS 2 |
| 11/20/23 DRG SUBMITL |



STRATA DESIGN STUDIO
 DESIGN - CONSULTING - PRESERVATION

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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
 194-198 CASTRO STREET,
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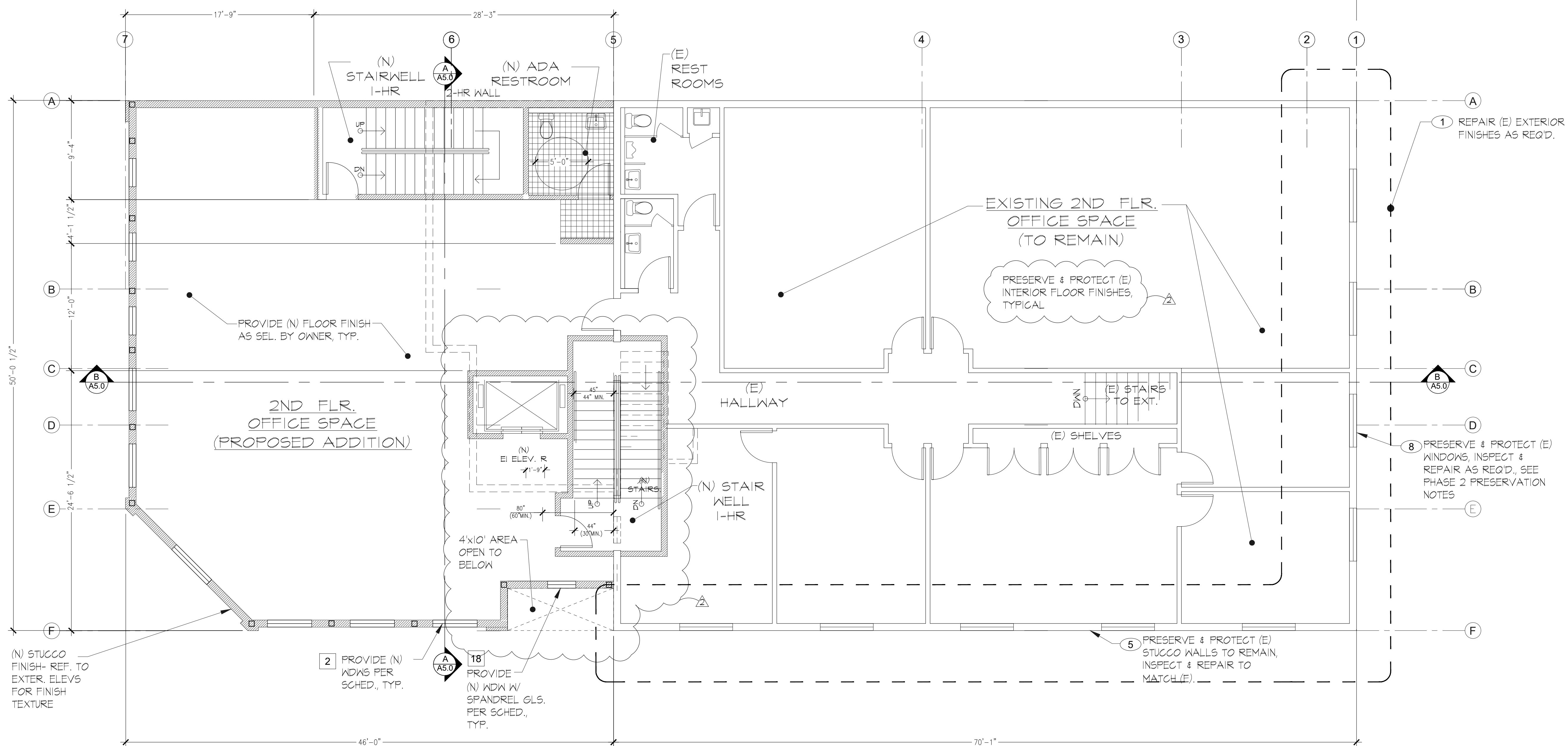
SCALE
 AS NOTED

PROJECT NO.
 21.26

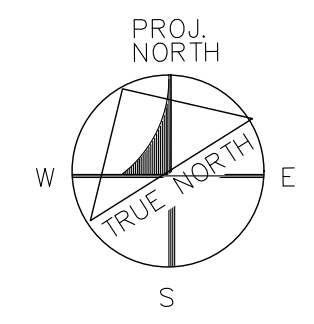
PROPOSED SECOND FLOOR PLAN

SHEET NO.

A3.1



(N) SECOND FLOOR PLAN
 SCALE: 3/16"=1'
 1



NEW CONSTRUCTION KEYED NOTES

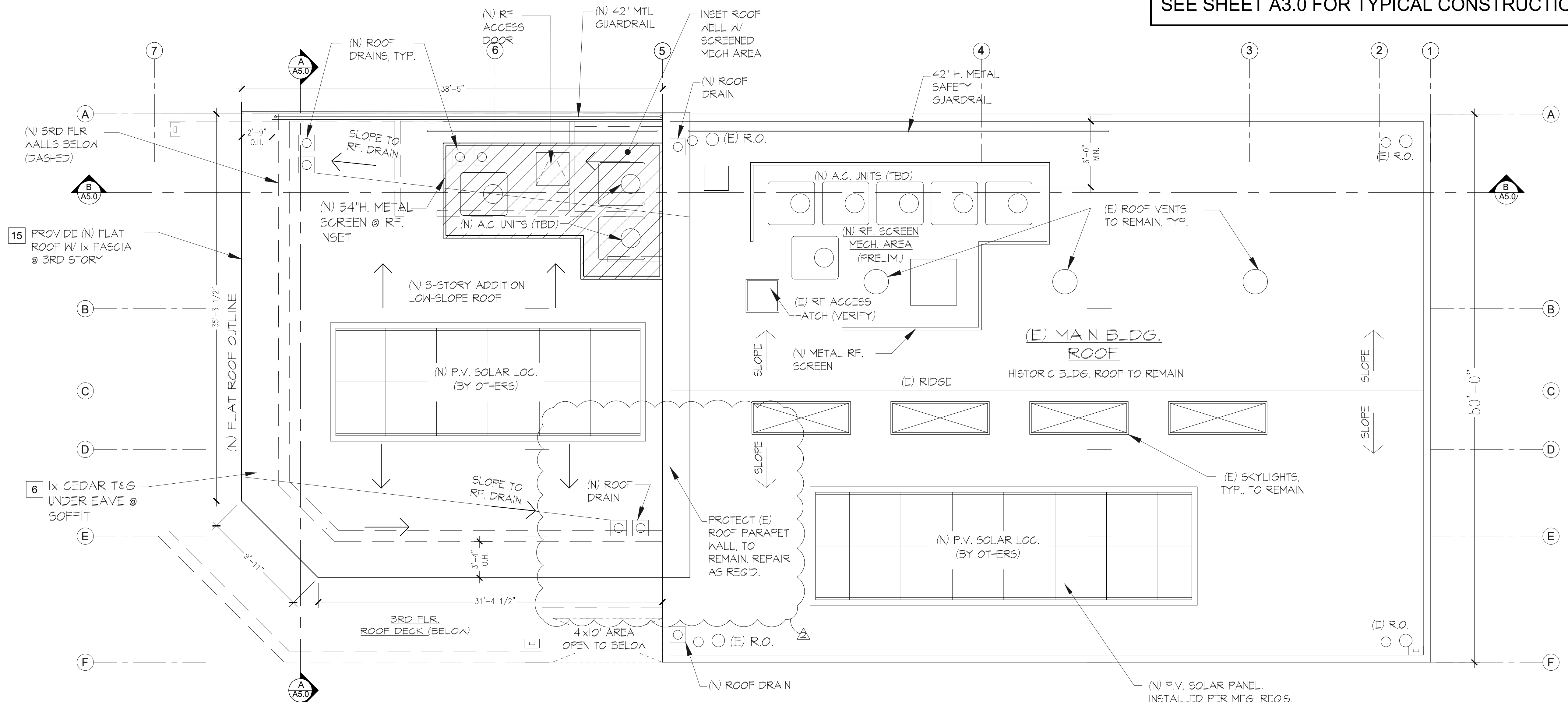
- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) 2x DF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYPBD NAILED W/ DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP., PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD., TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN, OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED:
 (NOTE: USE FORMALDEHYDE FREE)
 - CEILINGS R-30 MIN. BATT INSUL TYP.
 - WALLS R-13 MIN. BATT INSUL TYP.
 - FLOORS R-30 MIN. BATT INSUL TYP.
 - PROVIDE SOUND ATTENUATING R-13 MIN. INSUL AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/ OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF @ (N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.
- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK, PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC., PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP.
 (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5 DETAIL TYP.
- 19. VERIFY (E) 4X DF HDR W/DBL 2X TRIMMERS AROUND (N) WDWs, W/ DBL 2X BLKG EA. WAY AT TOP AND BTM OF WDW FRAMING, W/SIMP. STRAPS AS REQ'D. PER STRUCT. DETAIL TYP.
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRs. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES, REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE, PROVIDE MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DRs. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 21. INSTALL (N) FLRS. W/ MATL. AS SEL. BY OWNER, VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION, CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC BY OWNER, PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG.'S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/ OWNER.
- 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.
- 24. @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/ BACKSLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK, VERIFY FINAL LACS. AND MEP REQMTS. IN FIELD W/ OWNER, TYP.
- 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/ 5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (tbd).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHING AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN., READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED), NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
- 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT, PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
- 30. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

JURIAN BUILDING NOTES

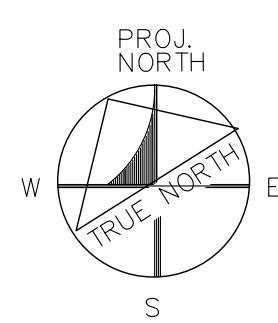
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D - PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL, ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES, RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §3033 REQ'S.
- 3. (E) EXTERIOR DRs., SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
- 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
- 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
- 7. PROTECT (E) ROOF SURFACE TO REMAIN, INSPECT RF. MATL @ (E) PARAPET WALLS, REPAIR AS REQ'D.
- 8. (E) WINDOWS - UNLESS SCHEDULED FOR REMOVAL, ALL WDWs. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIGINALS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

SEE SHEET A3.0 FOR TYPICAL CONSTRUCTION NOTES



(N) 3RD FLOOR / ROOF PLAN
SCALE: 3/16"=1" 1



PRODUCT CUT SHEETS (PRELIMINARY)

Goodman
Air Conditioning & Heating

GPGM3
PACKAGED GAS / ELECTRIC UNITS
13.4 SEER2 / 81% AFUE
2 TO 5 TONS

Contents

- Nomenclature.....2
- Product Specifications.....3
- Expanded Cooling Data.....6
- Airflow Data.....20
- Dimensions.....25
- Wiring Diagrams.....26
- Accessories.....29

Standard Features

- Energy-efficient scroll compressor
- Multi-speed ECM indoor blower motor
- Convertible airflow: horizontal or downflow application
- All-aluminum evaporator coil
- Power-assisted combustion
- Direct spark ignition system includes a microprocessor-based control for the entire ignition sequence, all blower operation, and all safety circuits complete with self-diagnostics
- All models comply with California Low NOx standards (40ng/l NOx)
- This furnace does not comply with the SCAQMD Rule 1111 nor the SVAPCD Rule 4905 14 ng/l NOx emission limit and therefore is not eligible for installation in California's South Coast Air Quality Management District (SCAQMD) nor the San Joaquin Valley Air Pollution Control District (SVAPCD)
- AHRI Certified; ETL Listed

Cabinet Features

- High-quality UV-resistant powder-paint finish
- Aluminum foil-facing internal insulation reinforced with fiberglass scrim
- Convenient access panels
- One roof curb fits all units
- Fully insulated cabinet
- Bottom, 2" high base rails for easier handling
- Meets cabinet air leakage requirements when tested in accordance with ASHRAE standard 193
- One footprint for all tonnage

KnuckleHead
Low-Profile Support Assembly for Mechanical Equipment

Each kit includes four Strut KnuckleHeads, two support rails, two equipment rails and the necessary hardware for assembly.

EASY TO INSTALL
Each kit takes less than 15 minutes to assemble out of the box

Assembly can accommodate all mechanical equipment whether roof- or ground-mounted

ADJUSTABLE
Equipment rails slide to fit width of mounted equipment

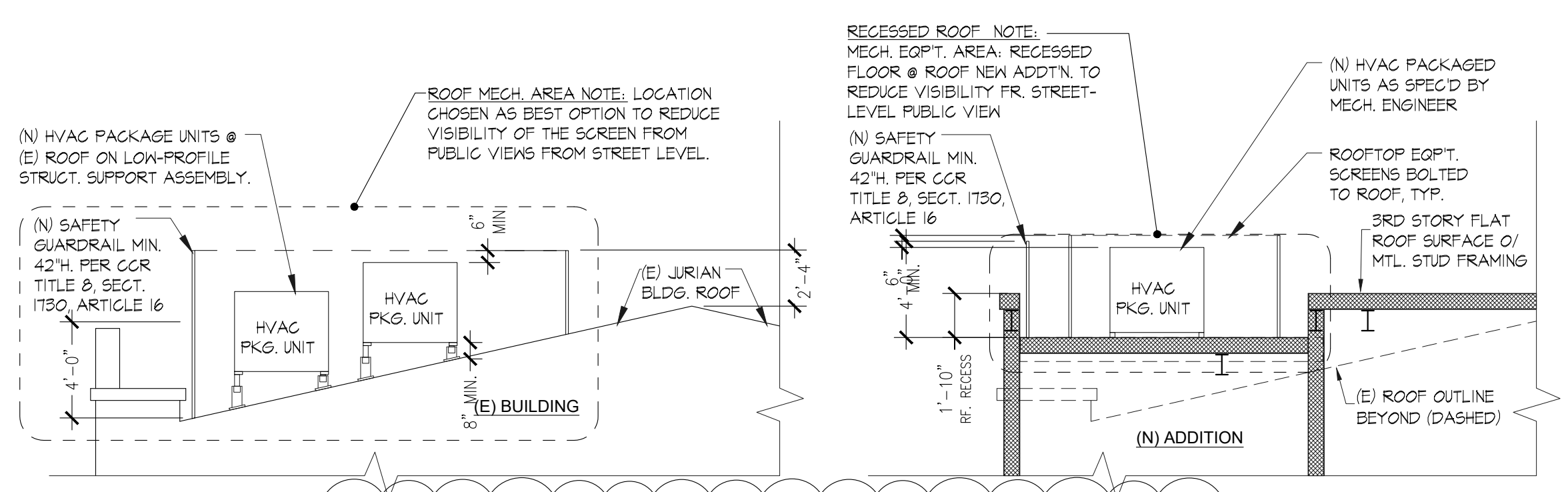
ELEVATION
5 7/8" - 6 7/8" above the roof or ground surface

Supports up to 850 pounds per assembled unit

Equipment can be leveled by rotating the KnuckleHead

Green Link Adhesive/Sealant can be used to further secure the installation

ATTACHABLE
Universal Base features 4 holes for mechanical fastening



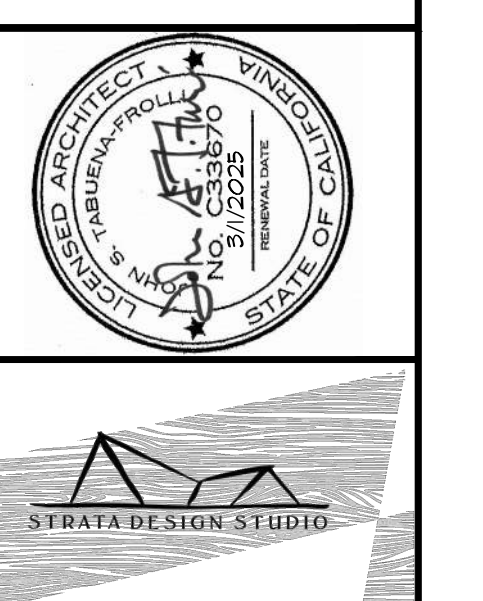
SECTIONS: ROOF MECHANICAL AREA 2
SCALE: 3/16"=1"

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG

ISSUE DATE

| | |
|----------|-------------------------|
| 11/21/22 | PRELIM. PLANNING SUBMIT |
| 03/20/23 | FORMAL PLANG SUBMIT |
| 06/20/23 | FORMAL PLANG RESUBMIT |
| 09/01/23 | FORMAL PC REVS |
| 10/16/23 | FORMAL PC REVS 2 |
| 11/20/23 | DRG SUBMIT |



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
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MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF

DATE
11/20/23

SCALE
AS NOTED

PROJECT NO.
21.26

ROOF PLAN & ROOF SECTIONS

SHEET NO.
A3.3

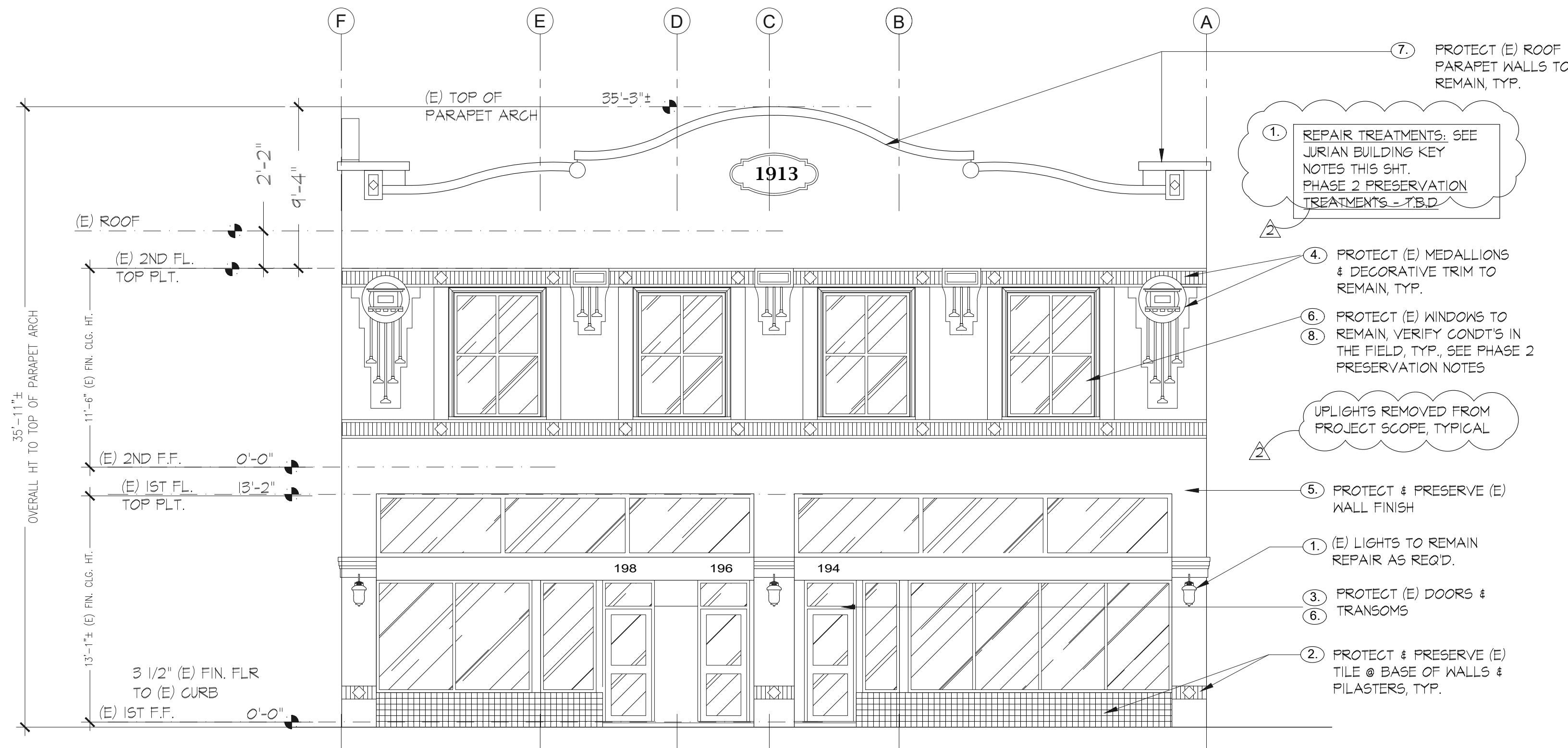
NEW CONSTRUCTION KEYED NOTES

- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) 2x DF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYP RD NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 16" O.C. FIELD MAX. TYP. PROV. DENSE/D. GYP. BD. AT ALL WET WALLS. REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILING TO RECEIVE 5/8" TYPE X 1-HR RATED GYP. BD. TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILING R-30 MIN. BATT INSUL. TYP.
- WALLS R-13 MIN. BATT INSUL. TYP.
- FLOORS R-30 MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSULAT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS. OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF O(N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE. DIRECT TO YARD. SEE SITE PLAN.
- 17. INSTALL (N) PAINT GRP. INT. TRIM AND CASEWORK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. WINDOWS:
(N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS. WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASINGS, TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
- 19. VERIFY (E) 4X DF HDR W/DBL 2x TRIMMERS AROUND (N) WDW'S. W/ DBL 2x BLK'G EA WAY AT TOP AND BTM OF WDW FRAMING, w/SIMP. STRAPS AS REQ'D. PER STRUCT. DETAIL TYP.
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR'S. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE, RVW, DR. MODEL ARCH. PRIOR TO PURCHASE. PROVIDE MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-B-A(C) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR'S. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 21. INSTALL (N) FLRS. W/ MATT. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM, INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC. BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG.S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE. VERIFY COLOR W/OWNER.

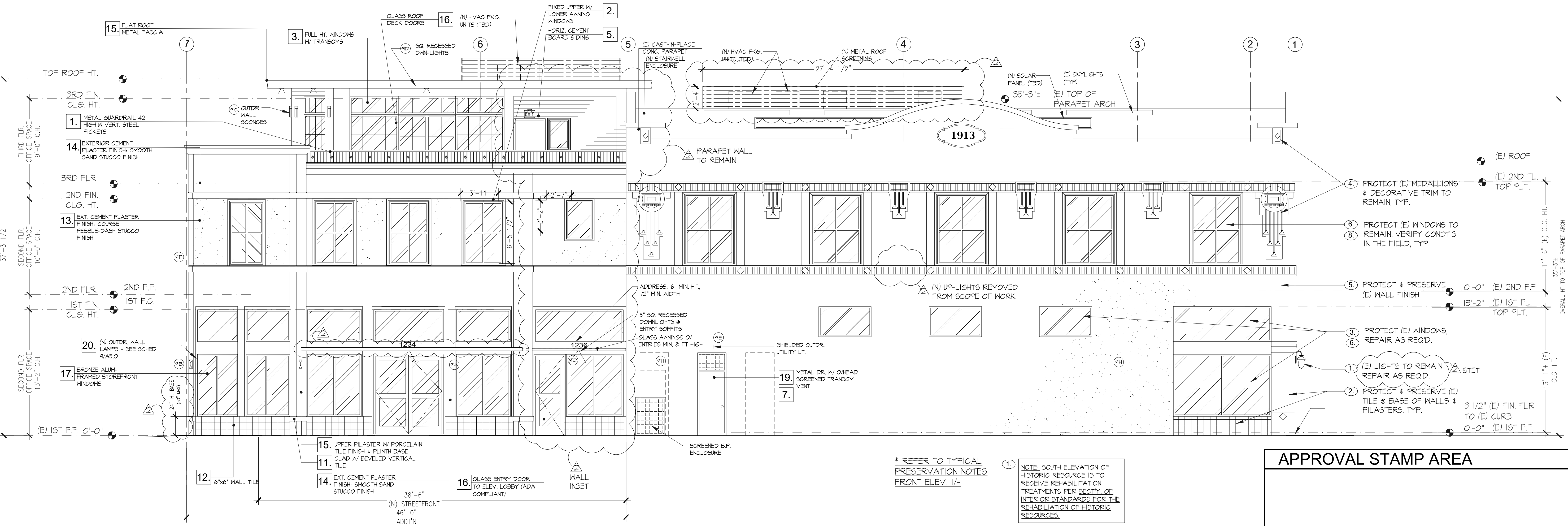
JURIAN BUILDING REPAIR NOTES

- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D- PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQS.
- 3. (E) EXTERIOR DR'S. SIDELIGHT AND TRANSOMS TO BE RETAINED-VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
- 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D. REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
- 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
- 7. PROTECT (E) ROOF SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D.
- 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW'S. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRT.MT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIGINALS, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

TYP. CODE NOTES- SEE SHT A0.2.4



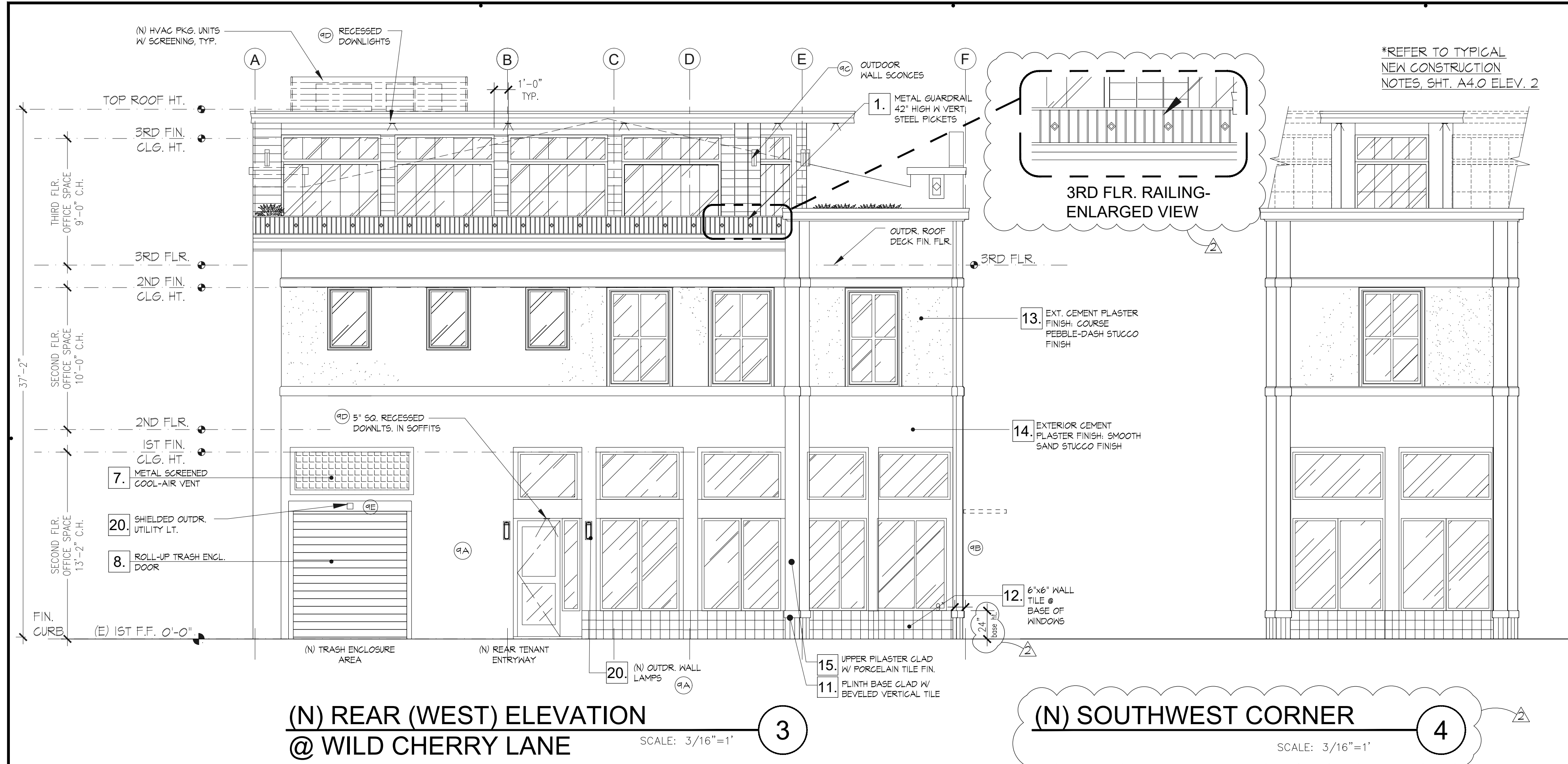
(E) NORTH ELEVATION (CASTRO ST.)
SCALE: 3/16"=1'



(N) SOUTH ELEVATION (VILLA ST.)
SCALE: 3/16"=1'

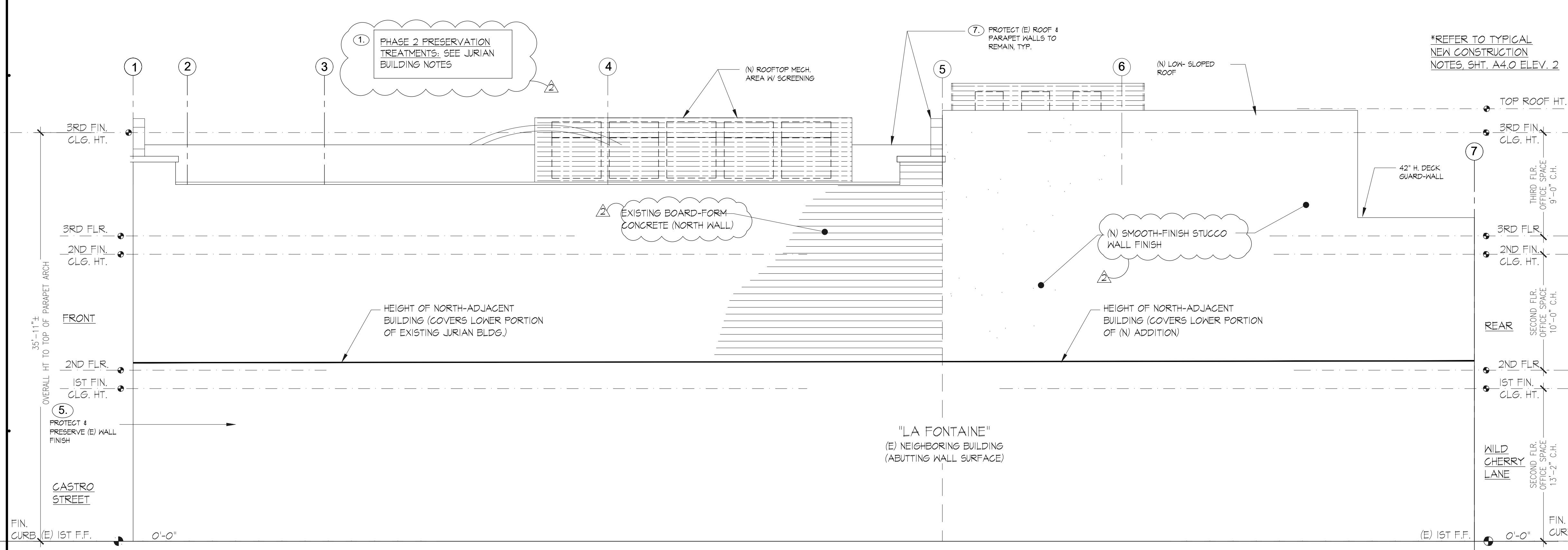
APPROVAL STAMP AREA

| | |
|---|---|
| <p>HISTORIC JURIAN BLDG ISSUE DATE 11/21/22 PRELIM. PLANNING SUBMITL 03/20/23 FORMAL PLANS SUBMITL 06/20/23 FORMAL PLANS RESUBMITL 09/01/23 FORMAL PC REVS 10/16/23 FORMAL PC REVS 2 11/20/23 DRC SUBMITL</p> | |
| | |
| <p>STRATA DESIGN STUDIO DESIGN - CONSULTING - PRESERVATION</p> | |
| <p>OWNER: CHEE-YEE CHONG, (DBA HANSON AMERIC LLC) PO BOX 4631 MOUNTAIN VIEW, CA 94041 ph: 408.859.2845, em: cychong@pacbell.net</p> | <p>PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041 APN: 158-15-013</p> |
| <p>DRAWN SAE/GTF/JTF</p> | <p>DATE 11/30/23</p> |
| <p>SCALE AS NOTED</p> | <p>PROJECT NO. 21.26</p> |
| <p>PROPOSED ELEVATIONS- FRONT & SOUTH SIDE</p> | |
| <p>SHEET NO. A4.0</p> | |



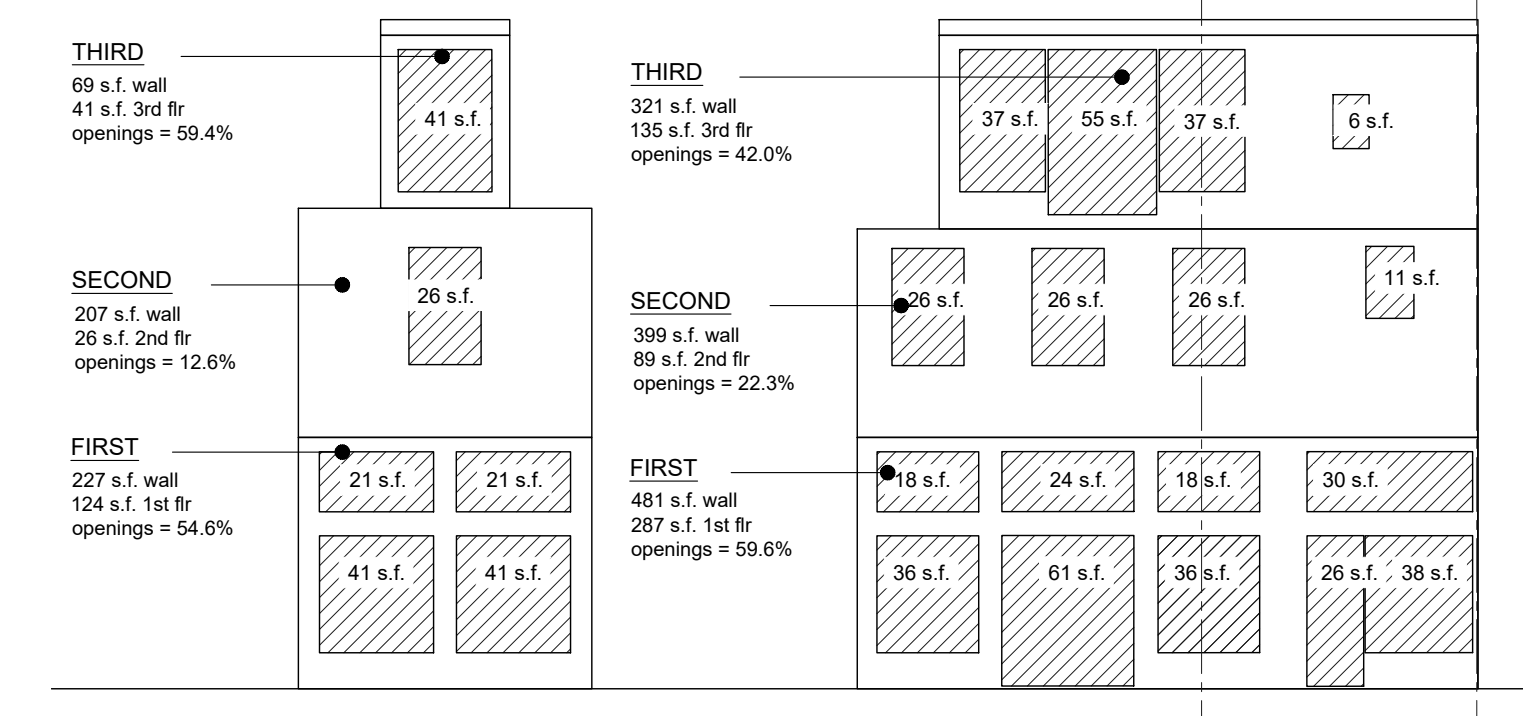
(N) REAR (WEST) ELEVATION @ WILD CHERRY LANE
SCALE: 3/16"=1' 3

(N) SOUTHWEST CORNER
SCALE: 3/16"=1' 4

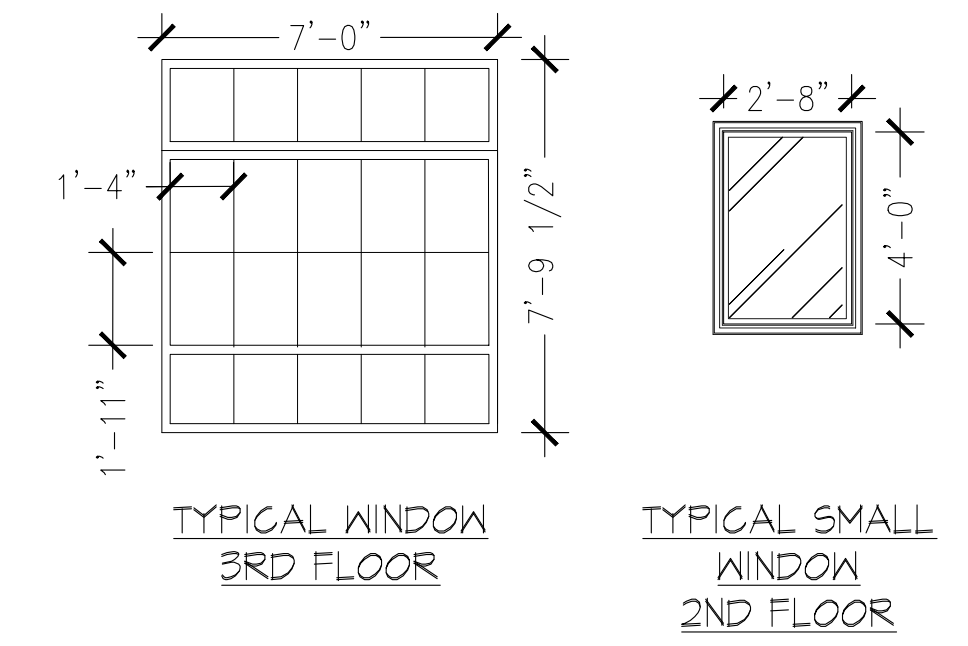


(N) RIGHT (NORTH) ELEVATION
SCALE: 3/16"=1' 5

--- TYP. CODE NOTES- SEE SHT A0.2.4
--- TYP. KEYED NOTES- SEE SHT. A4.0



VILLA ST. GLAZING CALCULATION DIAGRAM
N.T.S.



TYPICAL WINDOWS @ 2ND & 3RD FLOORS
SCALE: 1/4"=1'

Traditional Double Hungs

Kobbe's traditional double hungs are a beautifully modern version of a classic style. The stacked sill creates a traditional appearance and helps guard against water damage. Kobbe's traditional double hungs open and close smoothly and effortlessly, and the sash can be tilted in or removed for easy cleaning.

Traditional Double Hung Standard Features:

- 1-3/8" thick sash
- Overall sash width is 4-9/16" less than sash width
- Frame thickness is 3/4" at side jacks and head
- 5/8" thick sash is 1-3/4" slope to top
- Constructed of pine, with pine interior stops and wood rail casings on multi-pane
- Energy efficient, insulating L&L-270 glass
- Gasket to the interior with beveled wood spacing beads
- 1-1/2" exterior eckstrand insulation
- All exterior wood parts are preservative treated
- Exterior frame and sash are latex primed
- Rigid PVC head parting stop with flexible line and recessed at the sill
- Fully weatherstripped for a tight seal
- Clay colored heavy duty sash lock
- Matched trigler pins on the top rail of the upper sash and bottom rail of the lower sash
- Spring loaded brock and sash mechanical balances to carry the sash weight
- Large PVC jamb liners with compression foam backing
- Pre-wired head and sash cables, unique remote, multiple and cable support system on day units

Hardware:
Clay-colored iron knobs are factory applied to Traditional double hung units as standard. Other finishes available are White, Sage, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Umber, Oil Rubbed, and Matte Black. For units without finger grooves, sash handles in Clay, White, Sage, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Umber, and Matte Black finishes are available.

NOTE: All measurements are nominal.

WINDOW CUT SHEET

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMITL
03/20/23 FORMAL PLANS SUBMITL
06/20/23 FORMAL PLANS RESUBMITL
09/01/23 FORMAL PC REV'S
10/16/23 FORMAL PC REV'S 2
11/20/23 DRG SUBMITL

STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

JOHN S. TABAJENA-FROLLI, AIA
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MOUNTAIN VIEW, CA 94041
ph: 408.859.2845, em: cychong@pacbell.net

HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN:
SAE/GTF/JTF

DATE:
11/30/23

SCALE:
AS NOTED

PROJECT NO.:
21.26

PROPOSED ELEVATIONS- REAR & NORTH SIDE

SHEET NO.
A4.1

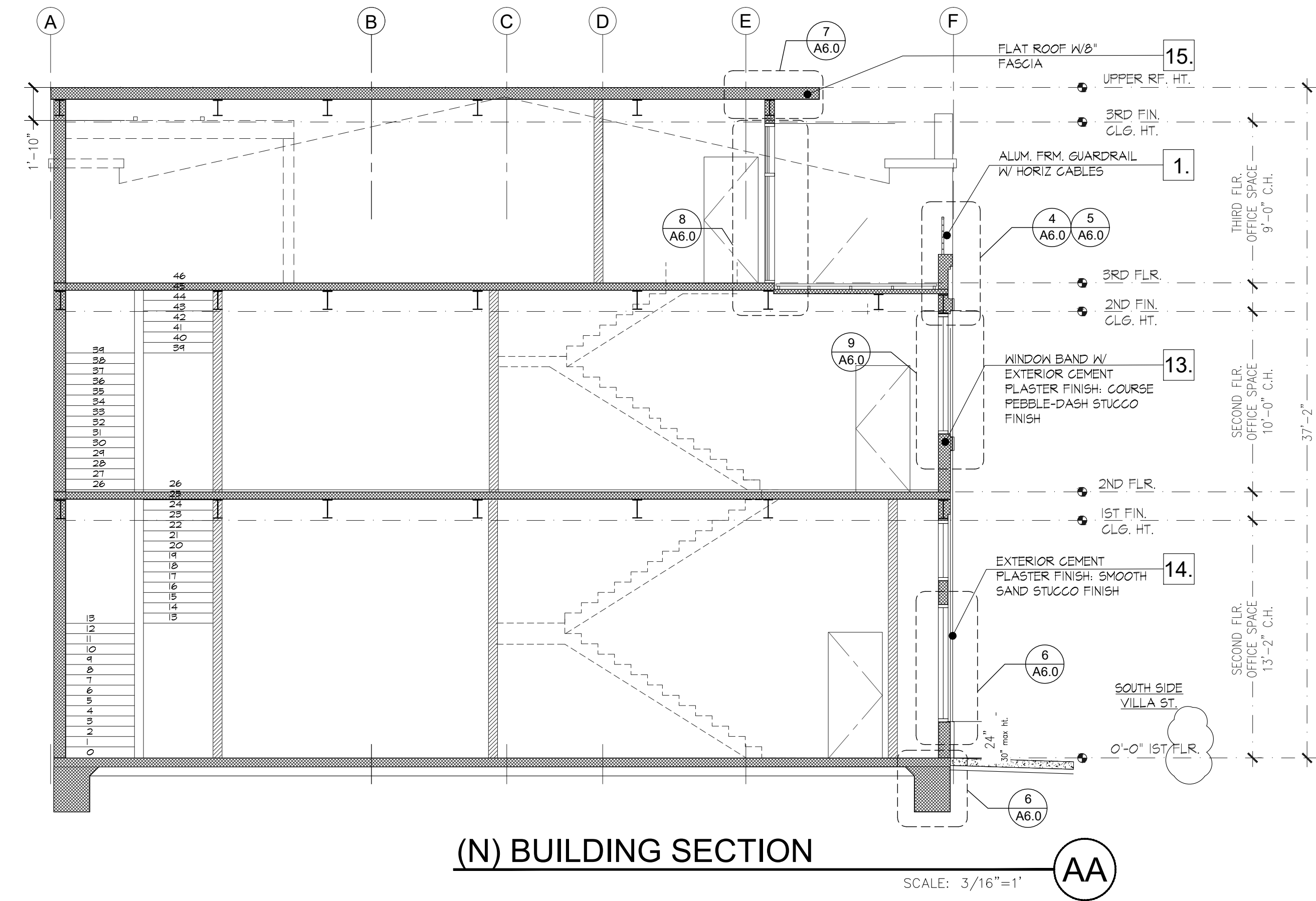
NEW CONSTRUCTION KEYED NOTES

9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
11. INSTALL (N) 2x DF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICERETAL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
12. INSTALL (N) GYPBD NAILLED W/DRYWALLS SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP BD. AT ALL WET WALLS, REF. TO FLR PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD., TYP.
13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING. TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
14. PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-30 MIN. BATT INSUL. TYP.
- WALLS R-13 MIN. BATT INSUL. TYP.
- FLOORS R-30 MIN. BATT INSUL., TYP.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSUL AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS. OPTIONAL @ BEDROOMS. VERIFY W/ OWNER
15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
16. PROVIDE (N) LOW-SLOPED ROOF @ (N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED. REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE. DIRECT TO YARD. SEE SITE PLAN.
17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR. OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER. TYP.
18. WINDOWS:
(N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS. WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASINGS. TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CBC SECT. 308.4.5
19. VERIFY (E) 4X DF HDR W/DBL 2x TRIMMERS AROUND (N) WDWs. w/ DBL 2x BLK'G EA. WAY AT TOP AND BTM OF WDW FRAMING, w/SIMP. STRAPS AS REQ'D. PER STRUCT. DETAIL TYP.
20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRs. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST. ARCH. PRIOR TO PURCHASE. PROVIDE MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3. FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DRs. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
21. INSTALL (N) FLRS. W/ MATT. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATT. AS SPEC. BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG.S SPEC. TYP. COORD. SUBFLOOR PREP. w/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/OWNER.

23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS. PER CBC SECT. 3002.4
24. @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP w/BACKSPLASH, AND TOILETS. AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LGS. AND MEP REQ'MTS. IN FIELD W/OWNER. TYP.
25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS. TYP. REFER TO FLOOR PLAN & SECTIONS (btd).
26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHING AND 4" DIA. DOWNSPOUTS TYP. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
28. PROVIDE: (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL. MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
30. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

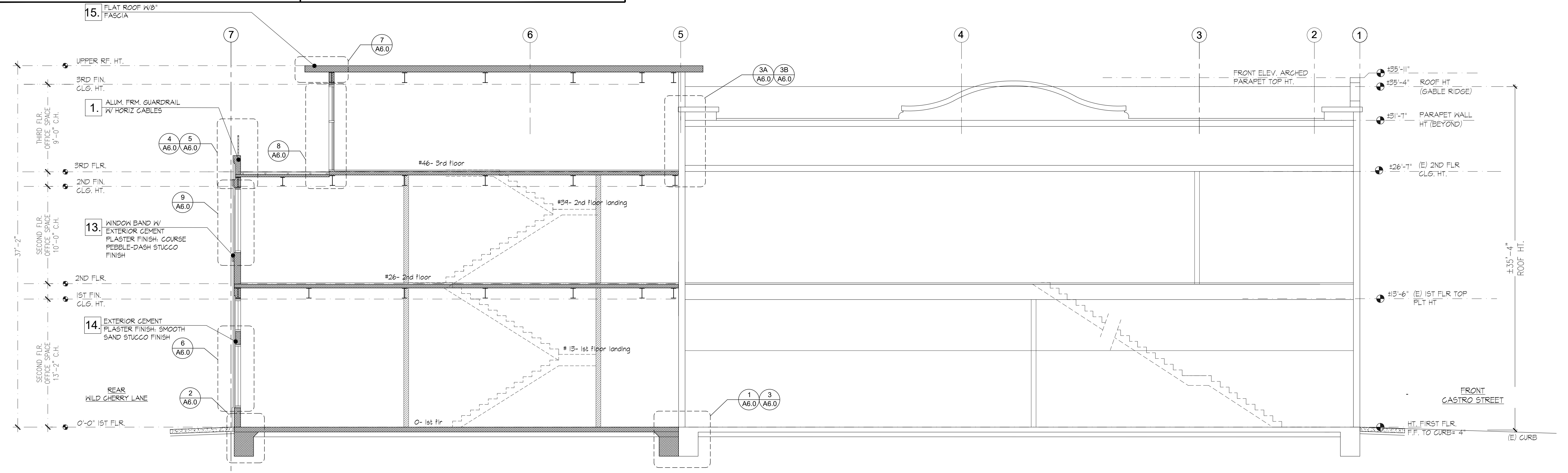
JURIAN BUILDING NOTES

1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D- PRESERVATION TREATMENTS (RTB) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
3. (E) EXTERIOR DRs., SIDELIGHT, AND TRANSOMS TO BE RETAINED-VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS. REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER. IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
7. PROTECT (E) ROOF SURFACE TO REMAIN. INSPECT RF. MTL. @ (E) PARAPET WALLS. REPAIR AS REQ'D.
8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWs. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIGINALS; T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.



(N) BUILDING SECTION

SCALE: 3/16"=1'



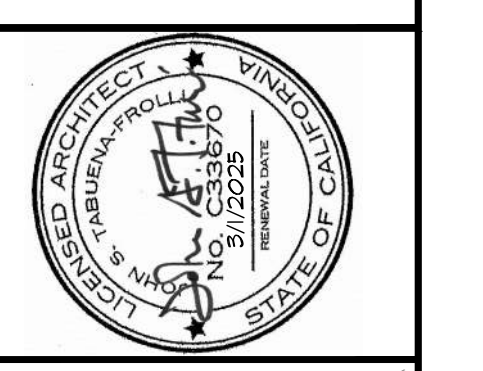
(N) BUILDING SECTION

SCALE: 3/16"=1'



APPROVAL STAMP AREA

| | |
|----------------------|--------------------------|
| HISTORIC JURIAN BLDG | |
| ISSUE DATE | |
| 11/21/22 | PRELIM. PLANNING SUBMITL |
| 03/20/23 | FORMAL PLNG SUBMITL |
| 06/20/23 | FORMAL PLNG RESUBMITL |
| 09/01/23 | FORMAL PC REVS |
| 10/16/23 | FORMAL PC REVS 2 |
| 11/20/23 | DRG SUBMITL |



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

JOHN S. TABAJENA-FROLLI, AIA
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ph: 408.859.2845, em: cychong@pacbell.net

HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION

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MOUNTAIN VIEW, CA 94041

APN: 158-15-013

DRAWN
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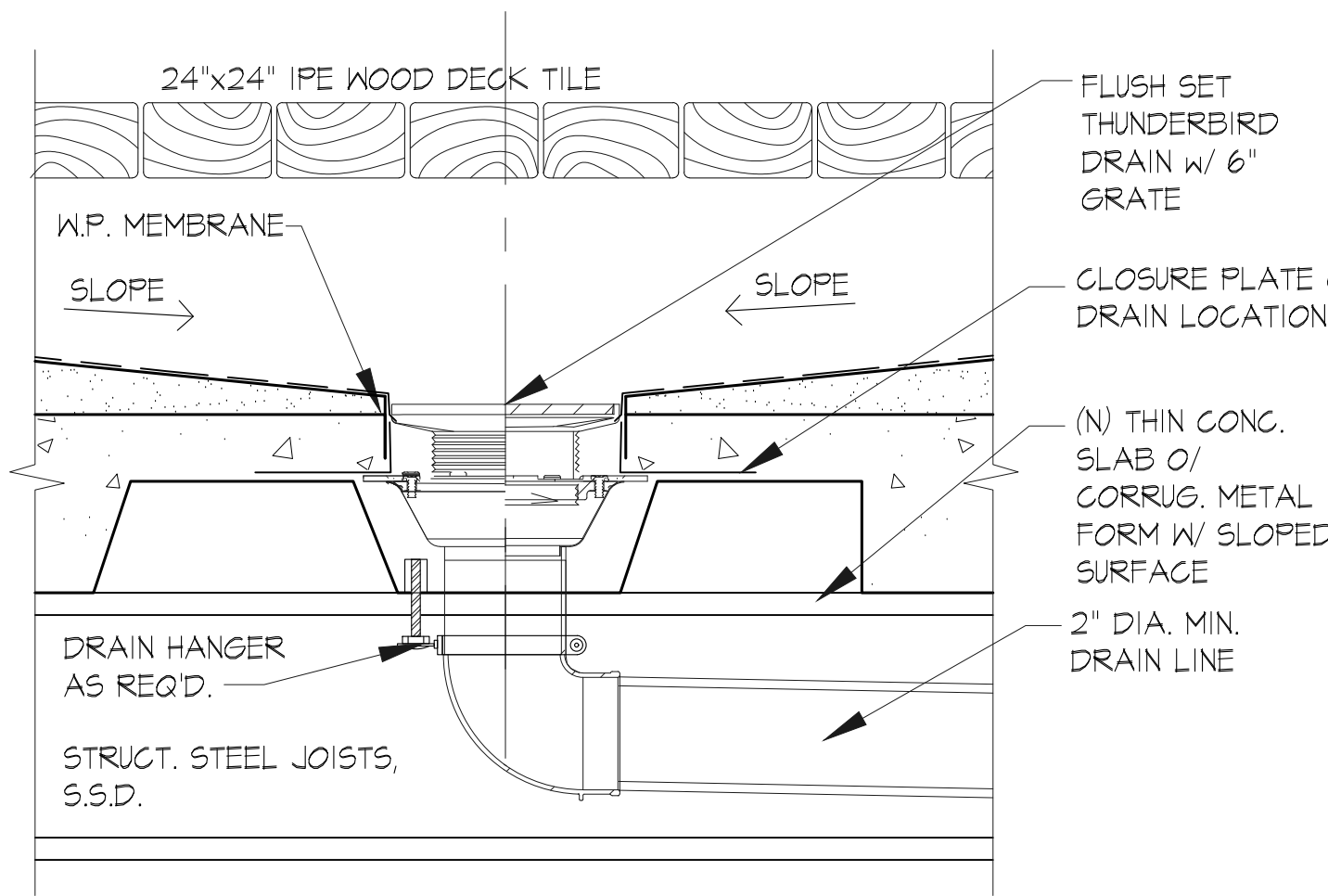
DATE
11/20/23

SCALE
AS NOTED

PROJECT NO.
21.26

SECTIONS

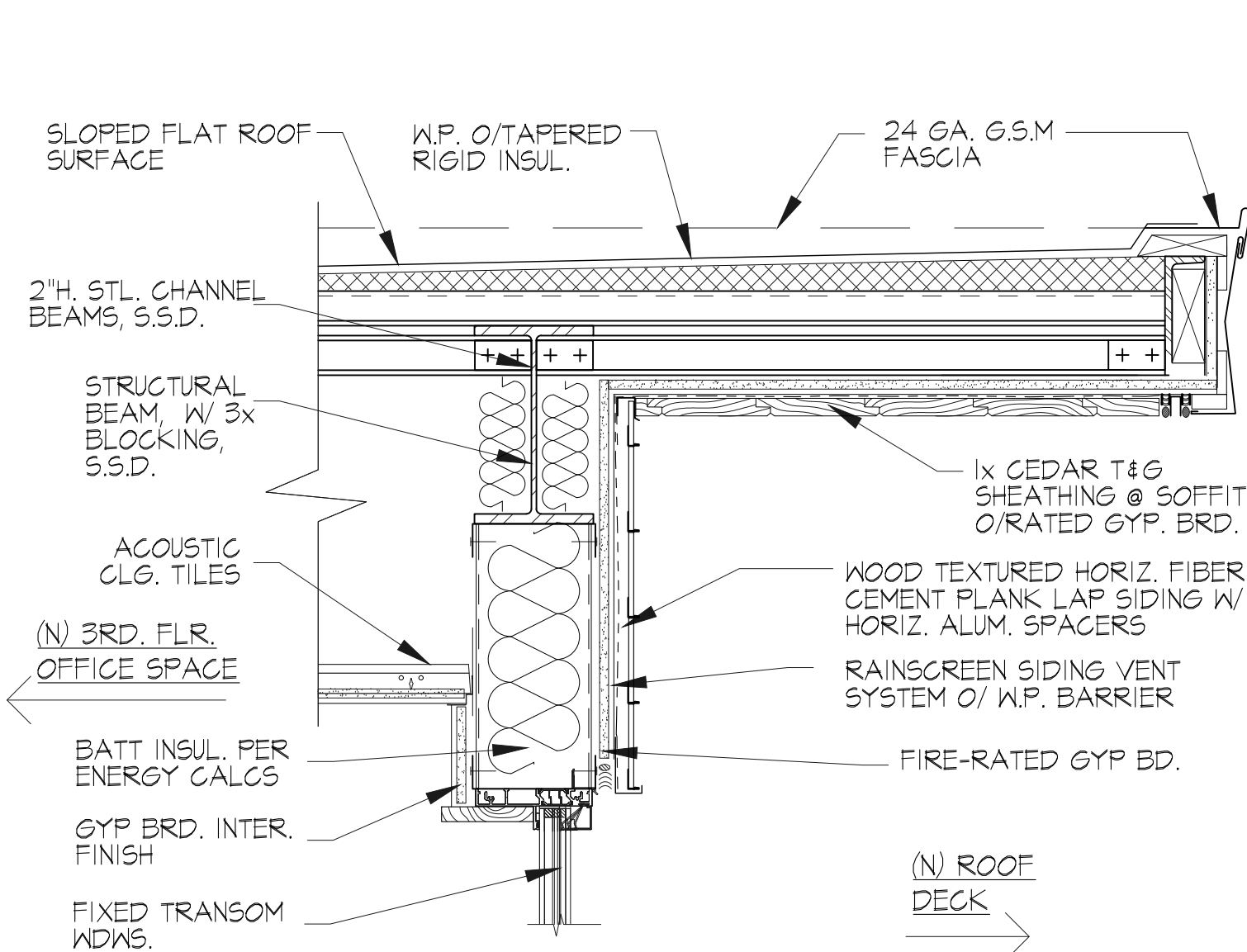
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FLOOR DRAIN @ ROOF DECK

3" = 1'-0"

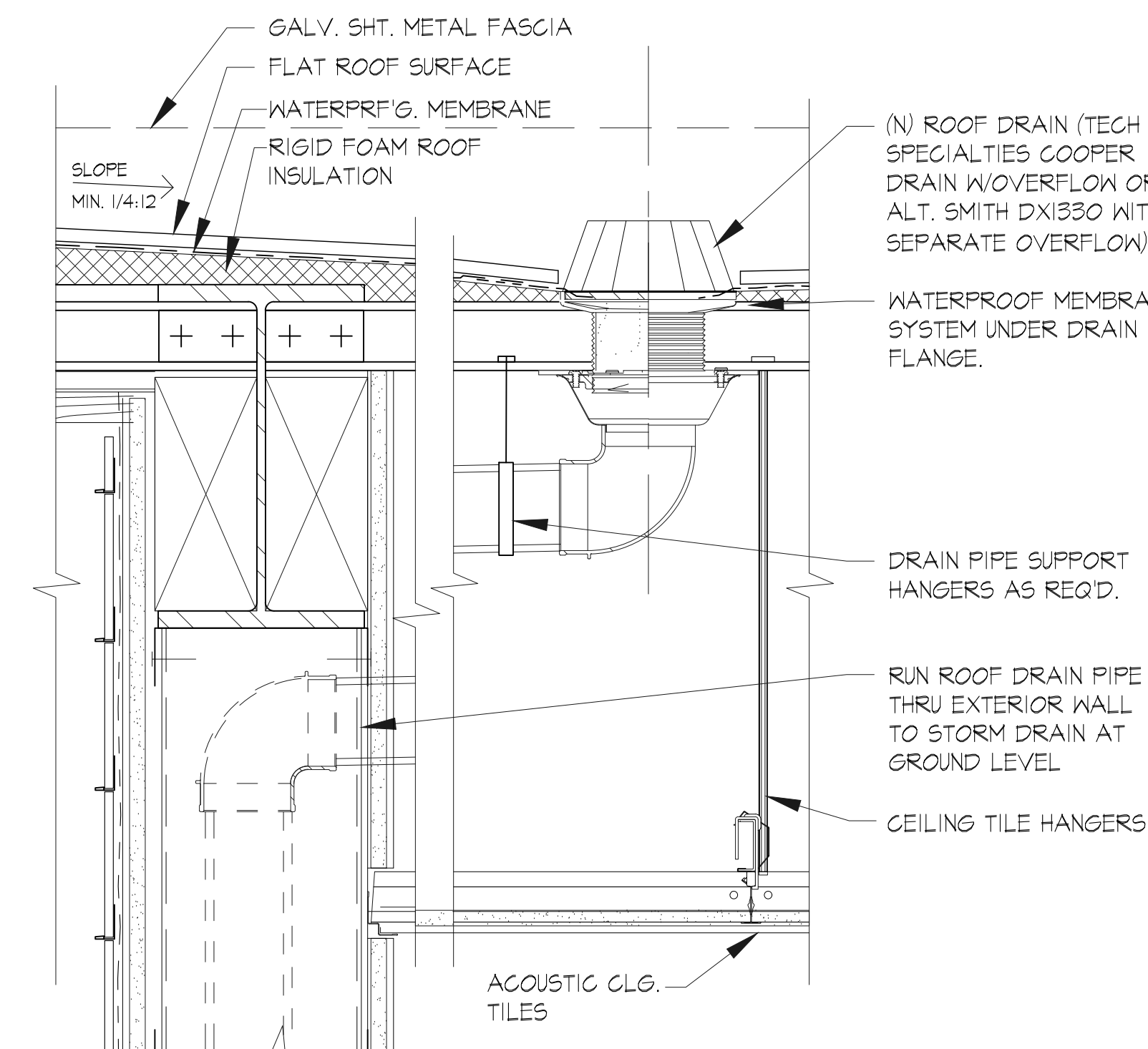
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(N) ROOF EAVE

1 1/2" = 1'-0"

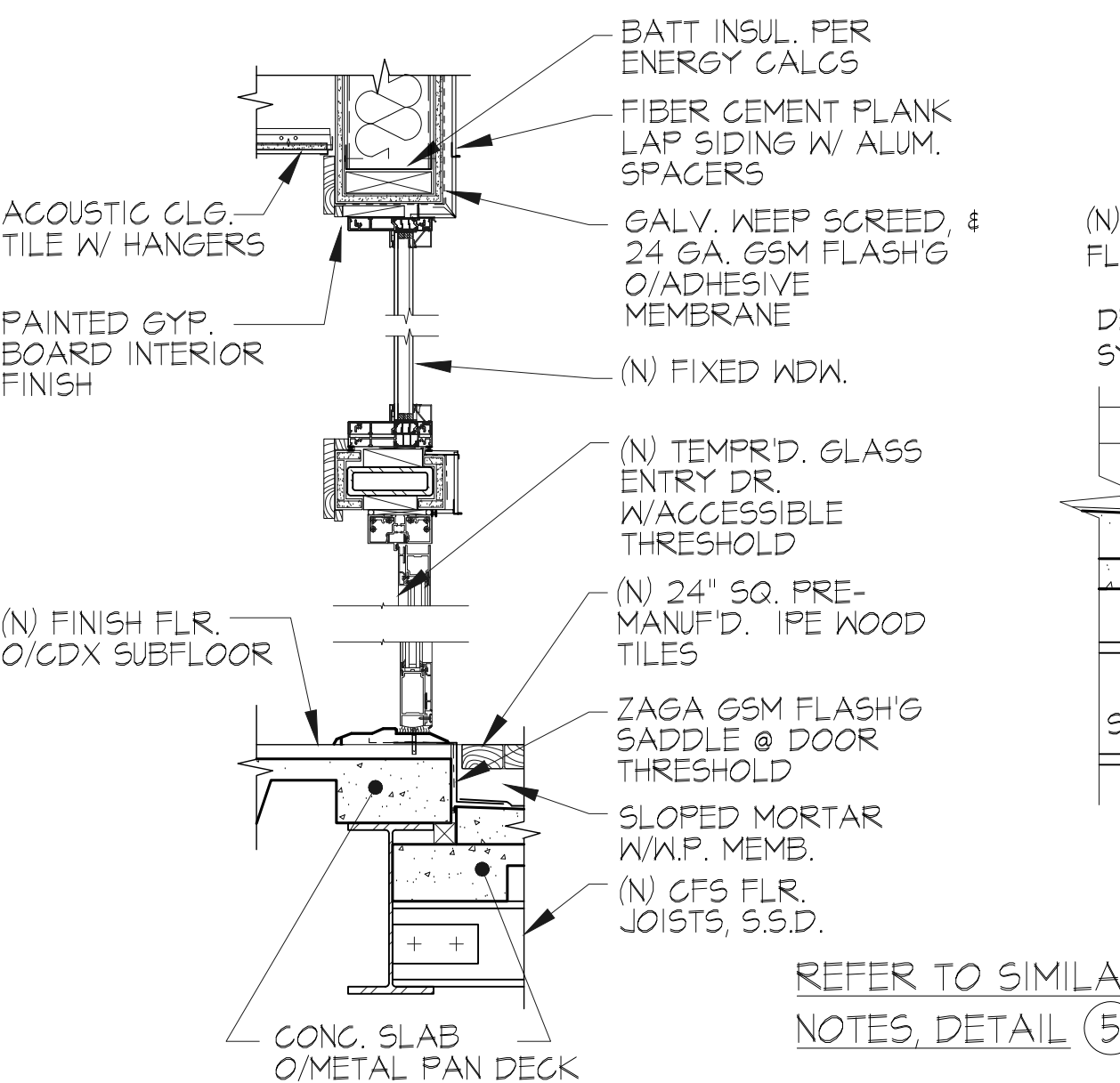
7



ROOF DRAIN

3" = 1'-0"

11

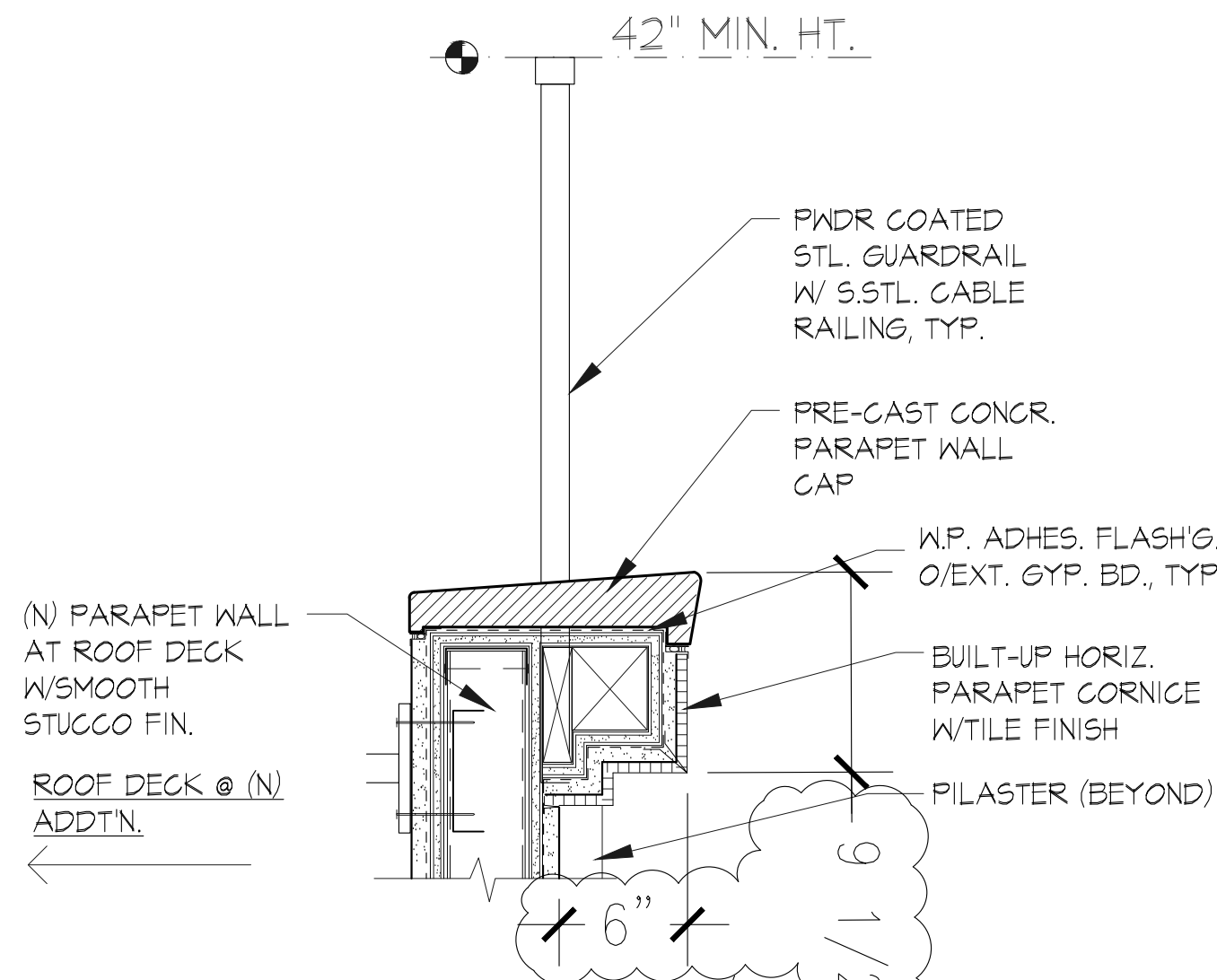


3RD STORY ENTRY DOOR @ ROOF DECK

1" = 1'-0"

8

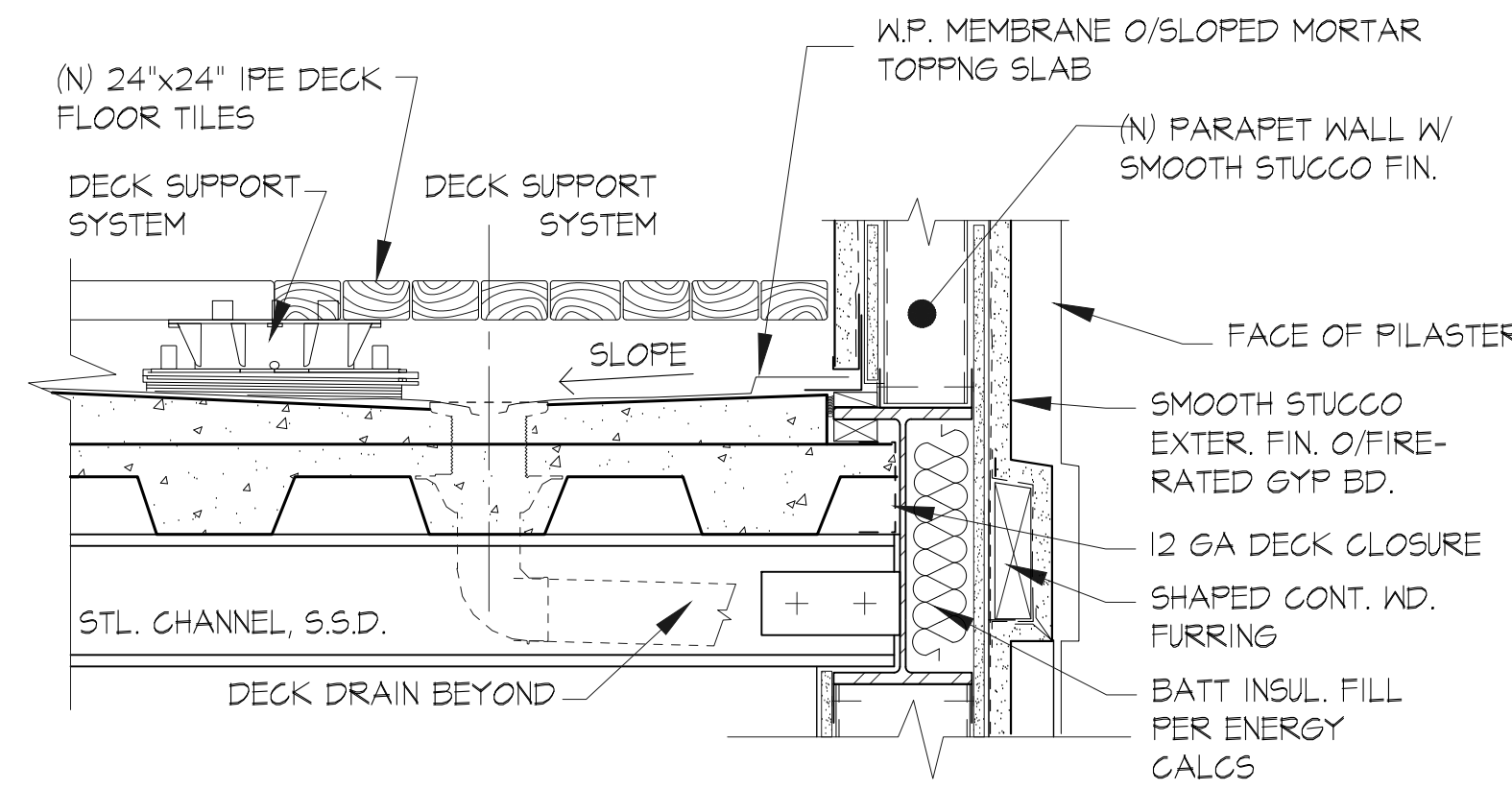
REFER TO SIMILA NOTES, DETAIL 5



PARAPET CAP & GUARDRAIL @ 3RD STORY ROOF DECK

1 1/2" = 1'-0"

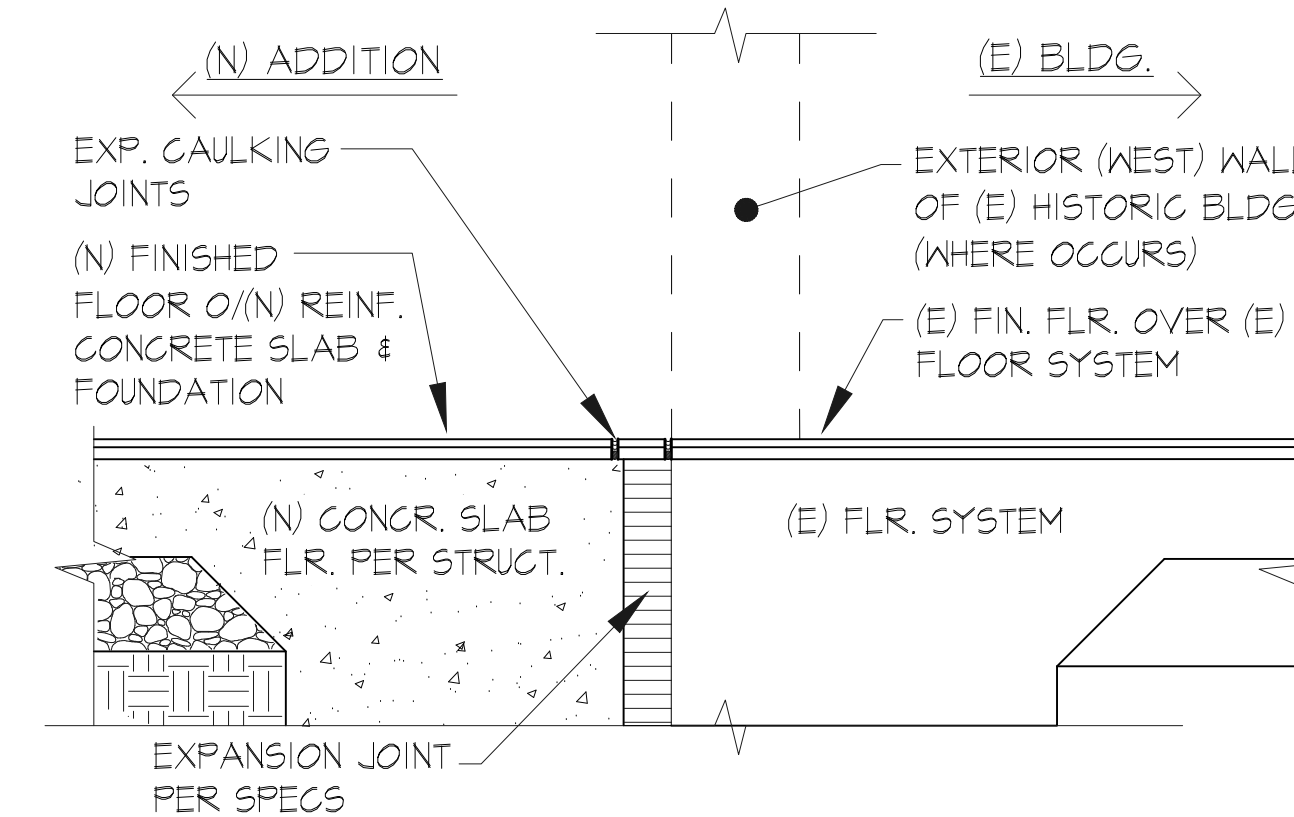
4



FLOOR & PARAPET WALL BASE @ 3RD STORY ROOF DECK

1 1/2" = 1'-0"

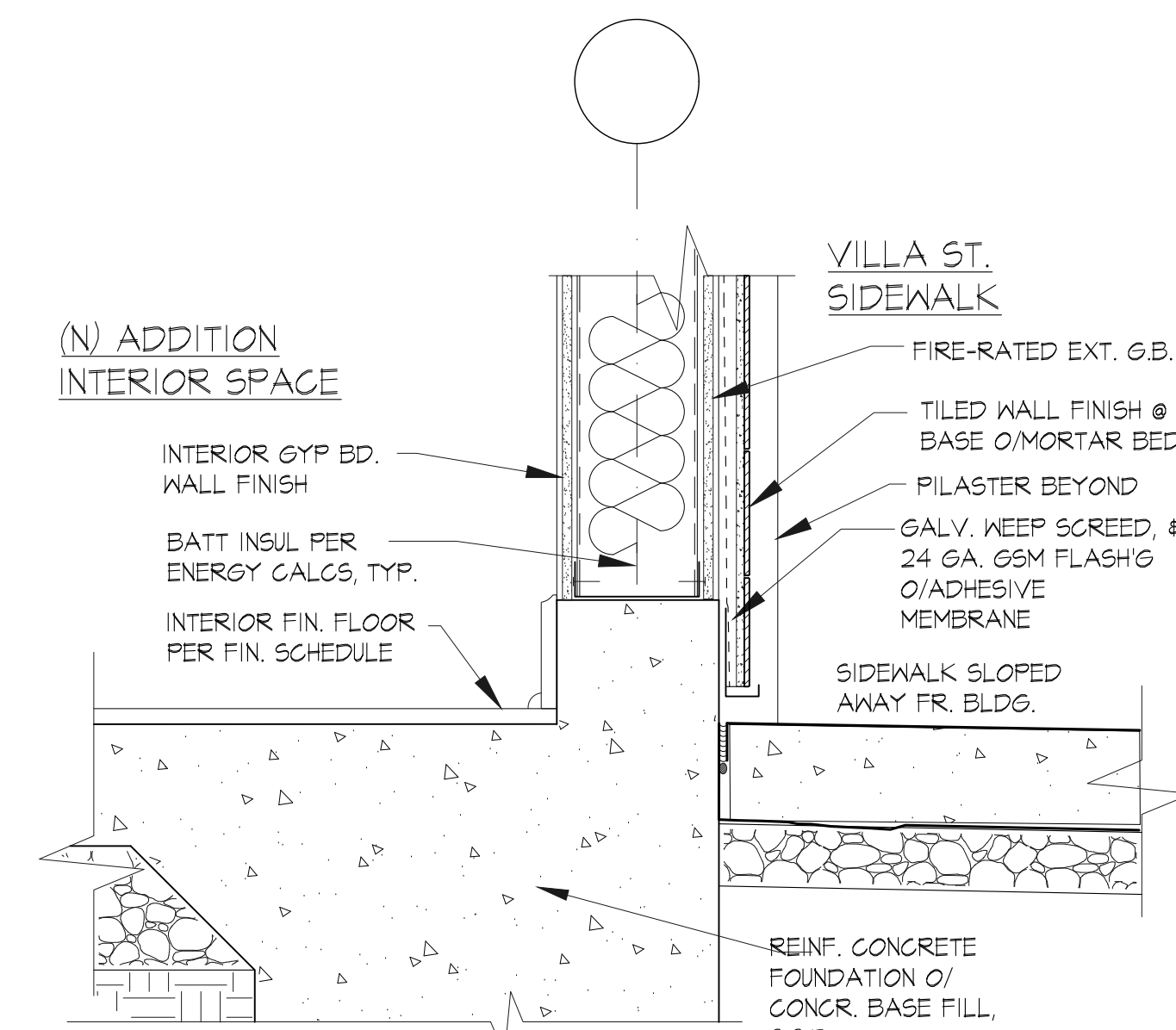
5



(N) FOUNDATION TIE-IN TO (E)

1" = 1'-0"

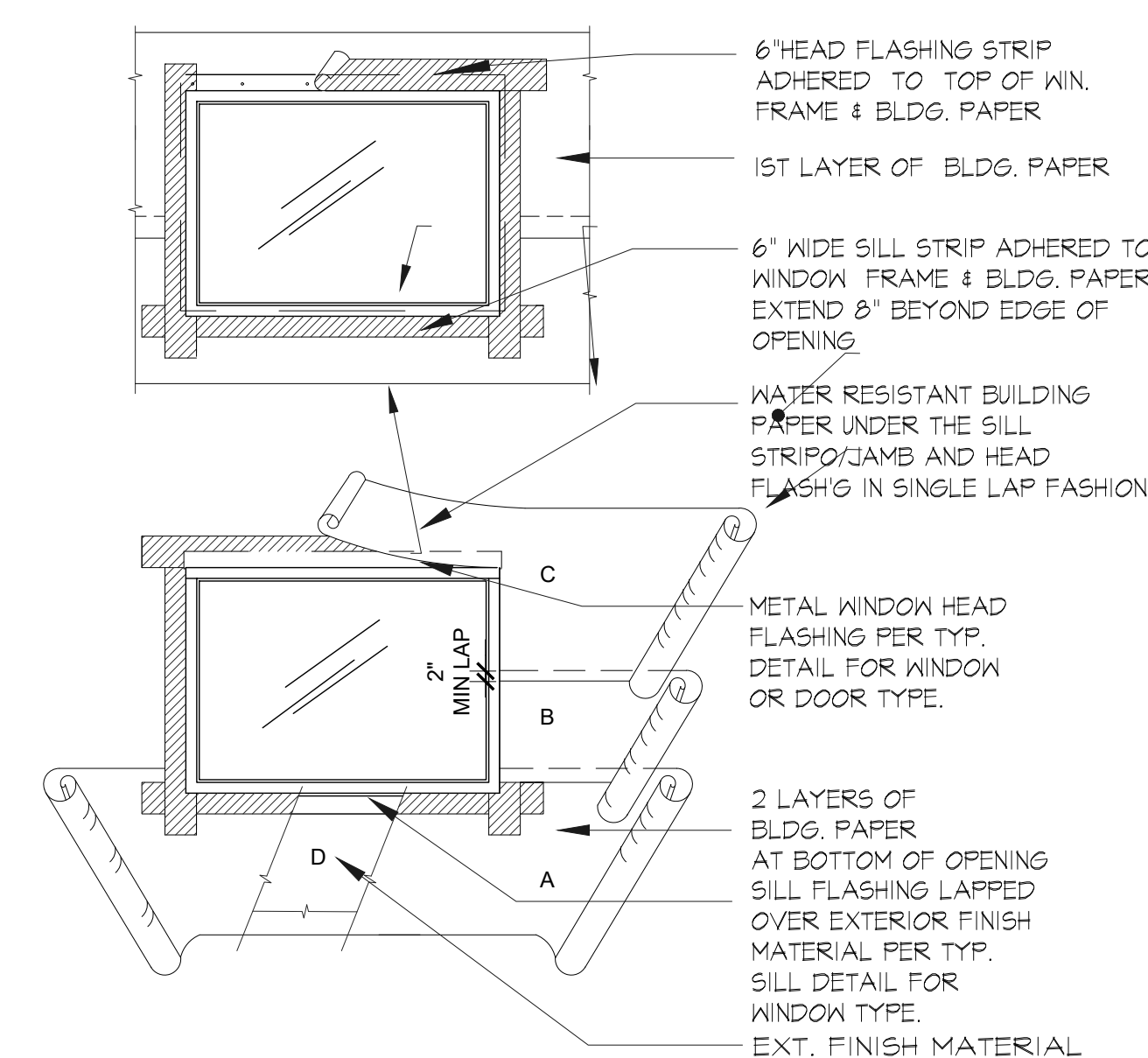
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(N) WALL BASE @ GROUND FLR.

1 1/2" = 1'-0"

2

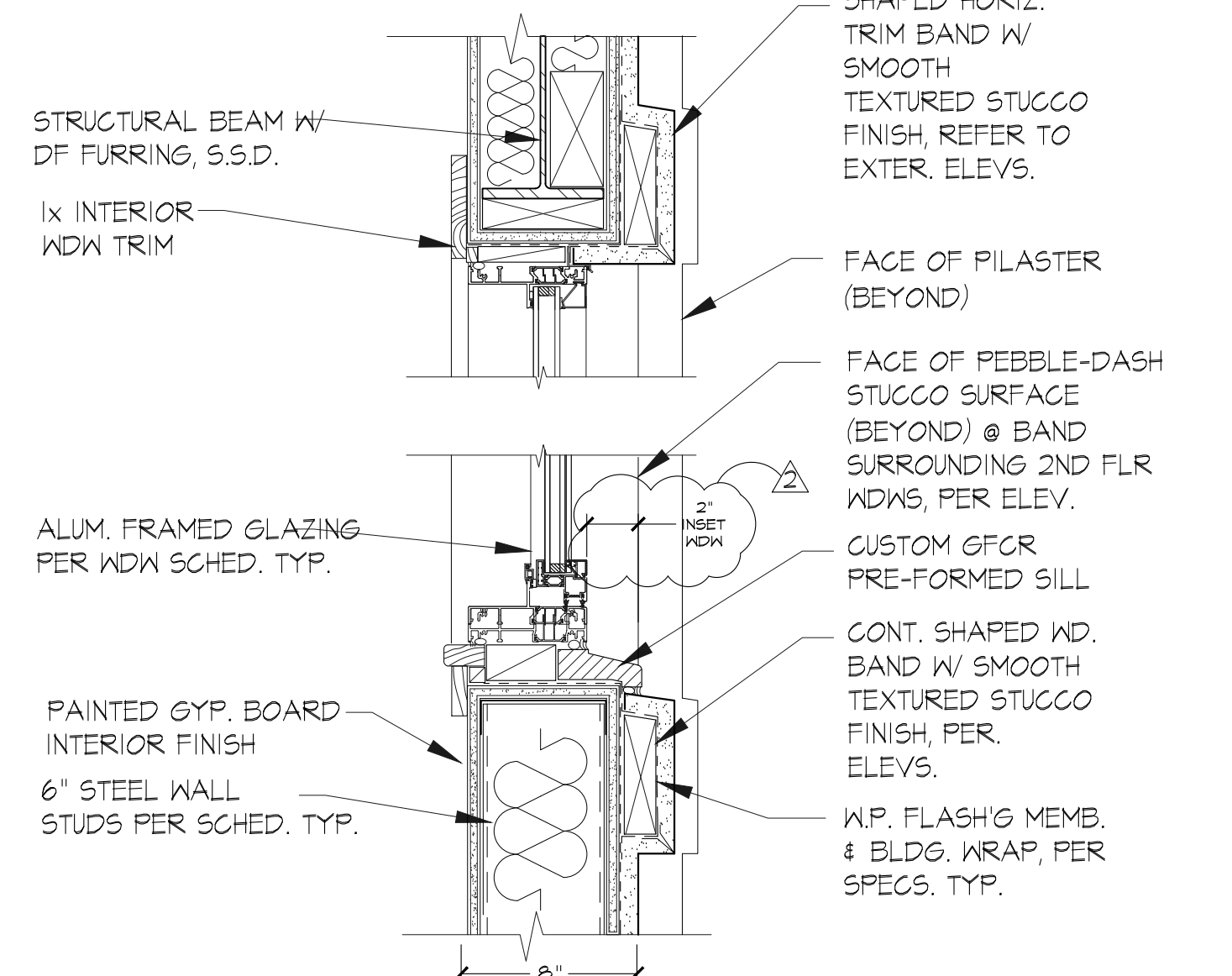


TYP. WINDOW FLASHING

N.T.S.

WIN-01

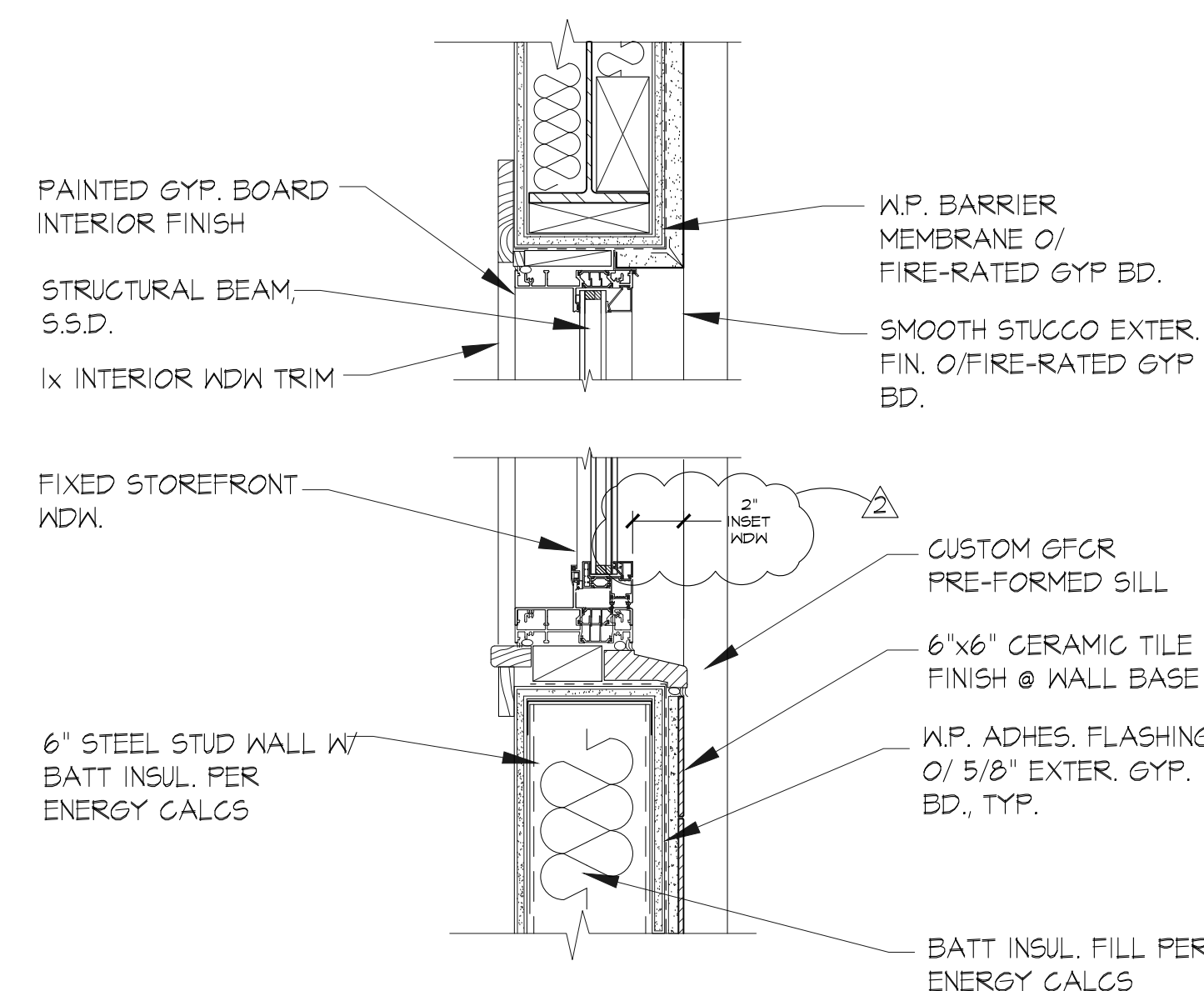
12



WINDOW DETAIL (2ND STORY)

1 1/2" = 1'-0"

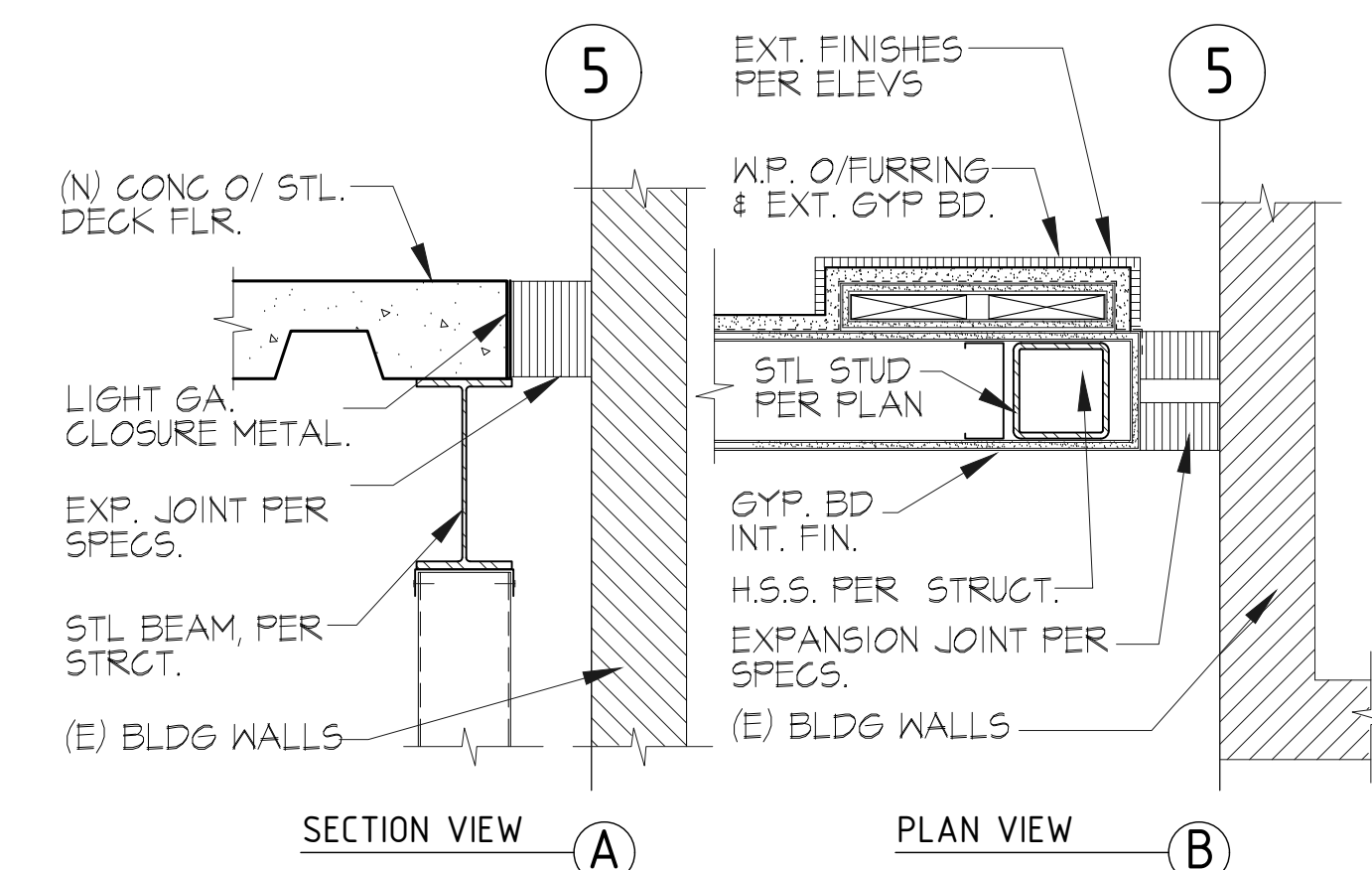
9



STOREFRONT WDW. @ GROUND FLOOR

1 1/2" = 1'-0"

6



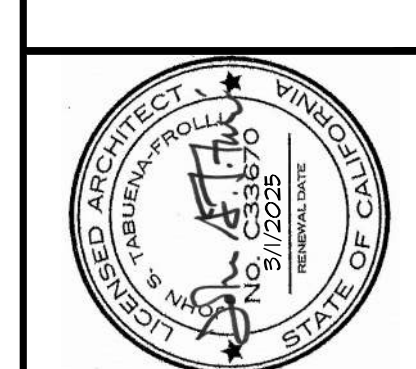
NEW WALL @ (E) BLDG.

1 1/2" = 1'-0"

3

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMITL
03/20/23 FORMAL PLANG SUBMITL
06/20/23 FORMAL PLANG RESUBMITL
09/01/23 FORMAL PC REVS
10/16/23 FORMAL PC REVS 2
11/20/23 DRG SUBMITL



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION
JOHN S. TABAJENA-FROLLI, AIA
PO BOX 1127
SAN JOSE, CA 95108
408.705.3148 - jfrolli@gmail.com

OWNER:
CHEE-YEE CHONG,
(DBA HANSON AMERIC LLC)
PO BOX 4631
MOUNTAIN VIEW, CA 94041
ph: 408.859.2845, em: cychong@pacbell.net

HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF
DATE
11/20/23
SCALE
AS NOTED
PROJECT NO.
21.26

ARCHITECTURAL
DETAILS

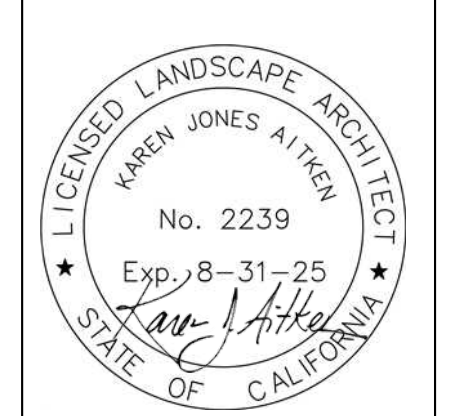
SHEET NO.
A6.0

| REVISIONS | BY |
|-----------|-------------|
| 1 | 8-31-23 KAA |
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KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS
 8262 Rancho Real Gilroy Ca. 95020
 Calif. Reg. #2239 (408) 842-0245
 karen@KAA.Design

HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
GROUND LEVEL LANDSCAPE PLAN



DATE 10-16-23
 SCALE 1/8"=1'-0"
 DRAWN IN
 JOB CASTRO BLDG.

L-1



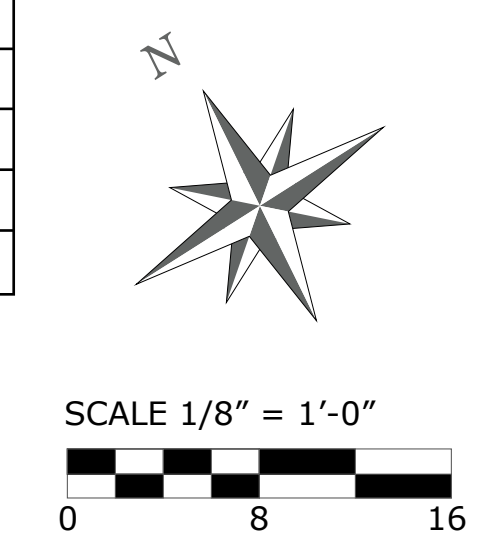
| STREET TREE IDENTIFICATION | | | | |
|----------------------------|---|----------------|-----------|----------------|
| # | Common / Botanical | Trunk Diameter | Condition | Status |
| 1 | London plane - <i>Platanus acerifolia</i> | 18" DBH | Good | Remain |
| 2 | Tulip Poplar - <i>Liriodendron tulipifera</i> | 13" DBH | Fair | Remain |
| 3 | Chinese Pistache - <i>Pistachia chinensis</i> | 8" DBH | Fair | Remain |
| 4 | Chinese Pistache - <i>Pistachia chinensis</i> | 12" DBH | Fair | Remain |
| 5 | Chinese Pistache - <i>Pistachia chinensis</i> | 10" DBH | Poor | To be replaced |

| 1st Floor Plant Legend | | | | | |
|----------------------------|------------------|-----|---------|-------|----------------------------|
| BOTANICAL | COMMON | QTY | SIZE | WATER | REMARKS |
| Tree | | | | | |
| <i>Pistachia chinensis</i> | Chinese Pistache | 1 | 24" Box | Low | 1st Floor Replacement Tree |

Tree Preservation Guidelines

Protective fencing for the street trees in 3x3 tree wells is most likely not feasible. Where demolition must occur close to trees, such as removing curb and pavement, install temporary trunk protection devices such as winding silt sock wattle or wood planks around trunks (see photos below). Any low branches that are within the work zone should also be protected. Remove trunk protection after demolition is completed and install a protective fence at the limits of the tree protection zone. Do not retain wattling around tree trunks for more than 2-3 weeks to avoid damaging trunks from excess moisture.

Temporary trunk protection devices:
 Winding silt sock wattle or Wood planks around trunks



NOTE: Refer to arborist report by Alpine Landscape for Street trees information & recommendations.

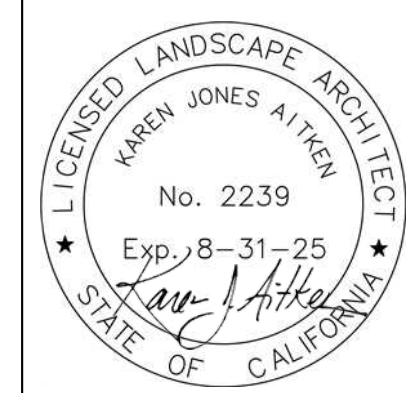
* NOTES (E) = Existing

| REVISIONS | BY |
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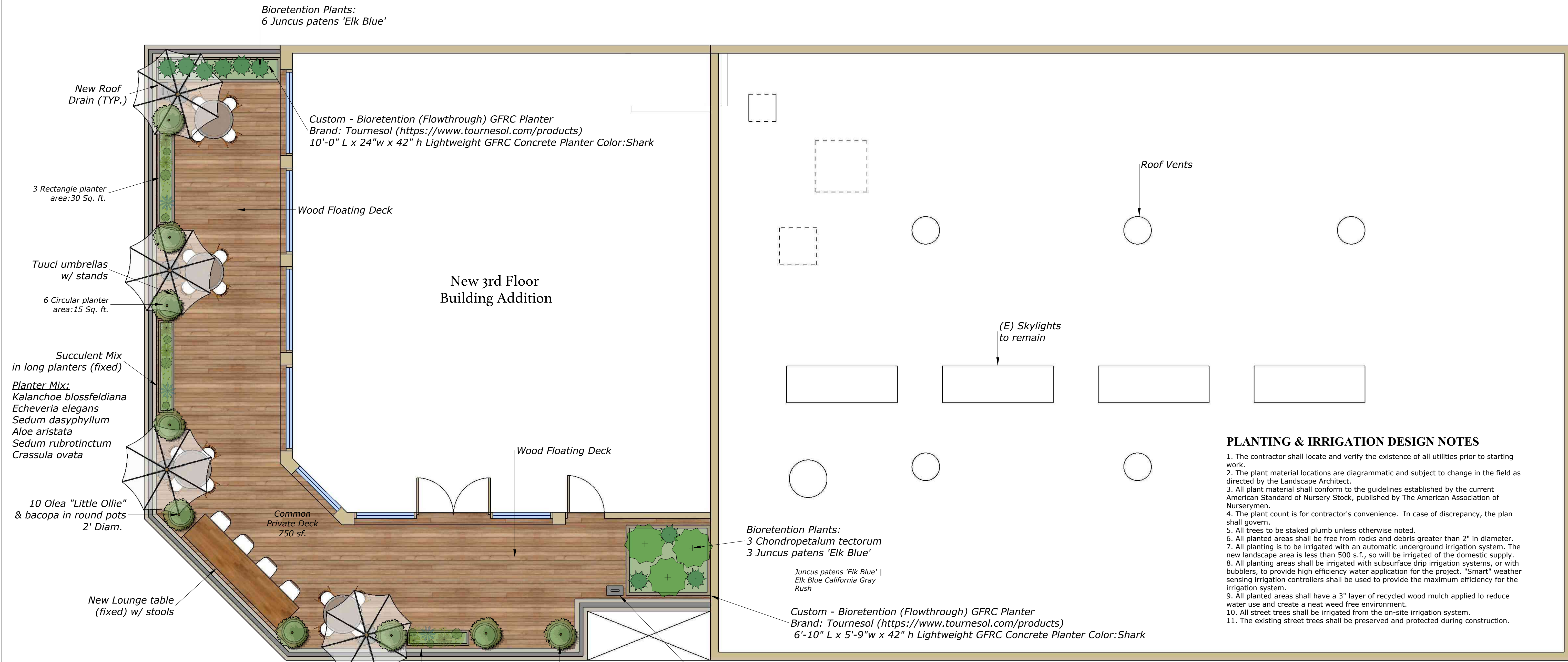


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HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
ROOF LANDSCAPE PLAN & DESIGN NOTES

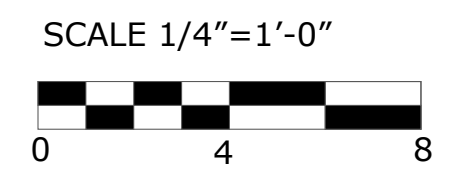
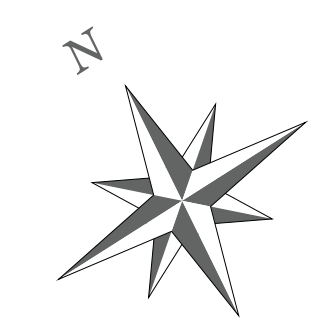


DATE 10-16-23
 SCALE 1/8"=1'-0"
 DRAWN IN
 JOB CASTRO BLDG.



- PLANTING & IRRIGATION DESIGN NOTES**
- The contractor shall locate and verify the existence of all utilities prior to starting work.
 - The plant material locations are diagrammatic and subject to change in the field as directed by the Landscape Architect.
 - All plant material shall conform to the guidelines established by the current American Standard of Nursery Stock, published by The American Association of Nurserymen.
 - The plant count is for contractor's convenience. In case of discrepancy, the plan shall govern.
 - All trees to be staked plumb unless otherwise noted.
 - All planted areas shall be free from rocks and debris greater than 2" in diameter.
 - All planting is to be irrigated with an automatic underground irrigation system. The new landscape area is less than 500 s.f., so will be irrigated of the domestic supply.
 - All planting areas shall be irrigated with subsurface drip irrigation systems, or with bubblers, to provide high efficiency water application for the project. "Smart" weather sensing irrigation controllers shall be used to provide the maximum efficiency for the irrigation system.
 - All planted areas shall have a 3" layer of recycled wood mulch applied to reduce water use and create a neat weed free environment.
 - All street trees shall be irrigated from the on-site irrigation system.
 - The existing street trees shall be preserved and protected during construction.

| PLANT LEGEND | | | | |
|-------------------------------------|--------------------------|-----|----------|--------------------------------|
| BOTANICAL | COMMON | QTY | SIZE | WATER |
| Shrub | | | | |
| <i>Crassula ovata</i> | Jade Plant | 6 | 1 Gallon | Low |
| <i>Olea europaea</i> 'Little Ollie' | Little Ollie Dwarf Olive | 10 | 5 Gallon | Very Low |
| Ground cover | | | | |
| <i>Sedum dasyphyllum</i> 'Major' | Blue Tears Sedum | 12 | 1 Gallon | Low |
| <i>Sedum rubrotinctum</i> 'Aurora' | Pink Jelly Bean | 12 | 5 Gallon | Low |
| <i>Sutera cordata</i> | White Bacopa | 10 | 1 Gallon | Low |
| Perennial | | | | |
| <i>Kalanchoe blossfeldiana</i> | Kalanchoe | 12 | 1 Gallon | Low |
| Succulent | | | | |
| <i>Aloe aristata</i> | Torch Plant | 6 | 1 Gallon | Low |
| <i>Echeveria elegans</i> | Mexican Snowball | 12 | 1 Gallon | Very Low, Low |
| Tree | | | | |
| <i>Pistacia chinensis</i> | Chinese Pistache | 1 | 24" Box | Low 1st Floor Replacement Tree |

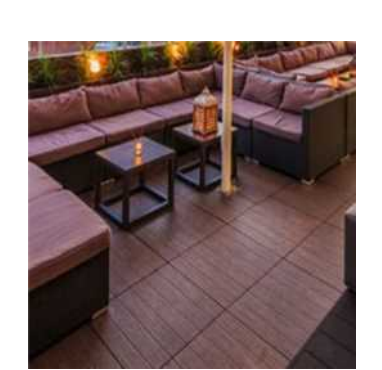
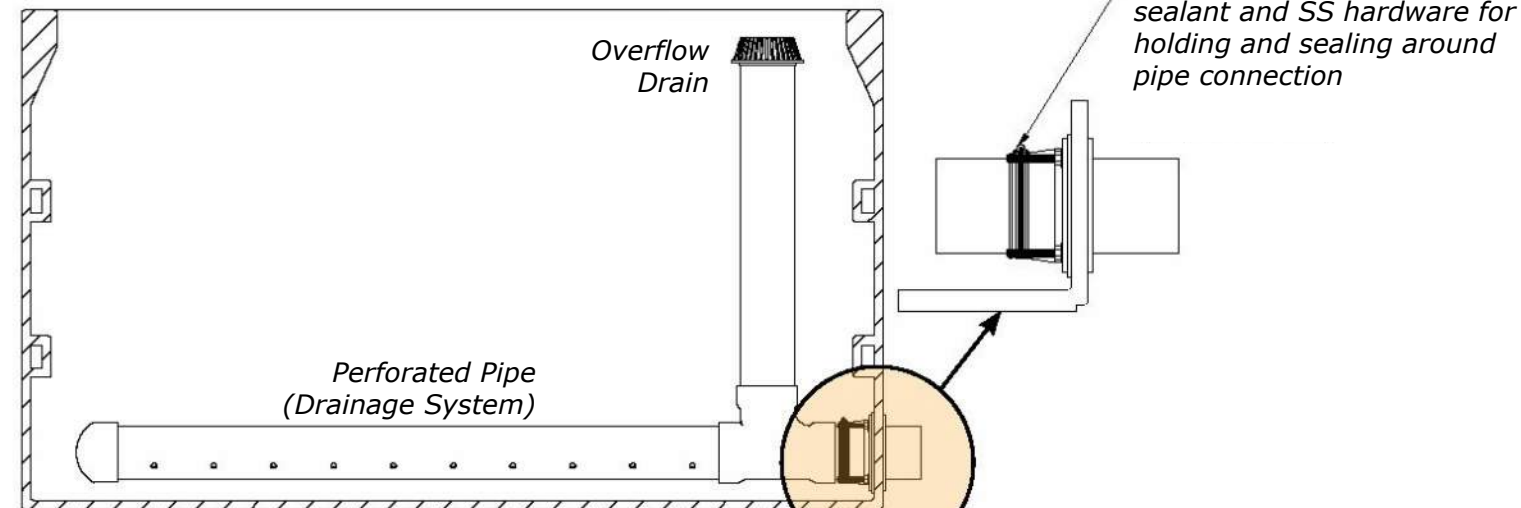
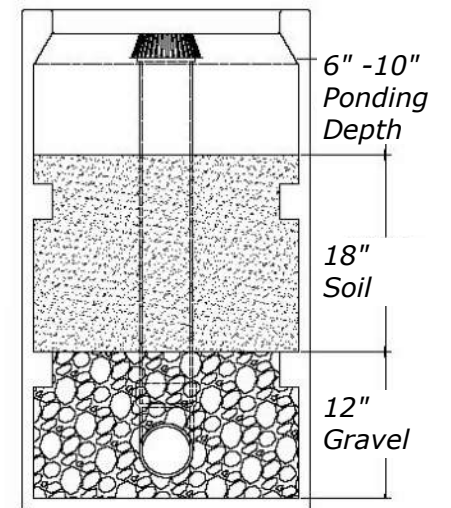


All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California. An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient landscape Ordinance. The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials, and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

* NOTES (E) = Existing



Custom - Bioretention (Flowthrough) GFRC Planter Brand: Tournesol



Floating deck Brand: Tile tech IPE Wood FSC



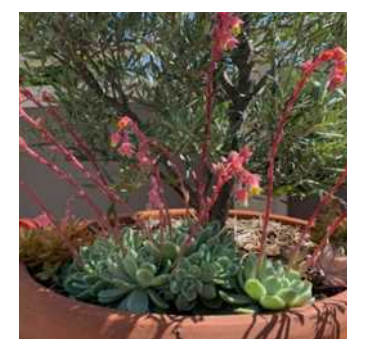
Olea europaea 'Little Ollie' Little Ollie Dwarf Olive



Aloe aristata Torch Plant



Chondropetalum tectorum - Cape Rush



Echeveria elegans Mexican Snowball



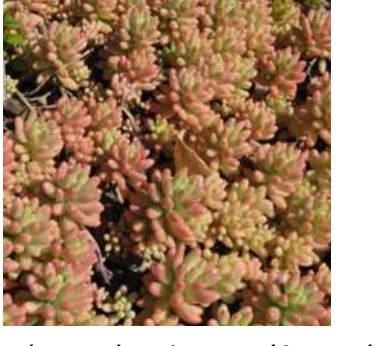
Sedum dasyphyllum 'Major' Blue Tears Sedum



Juncus 'Elk Blue' California Gray Rush



Kalanchoe blossfeldiana Kalanchoe



Sedum rubrotinctum 'Aurora' Pink Jelly Bean



Crassula ovata Jade Plant



Sutera cordata White Bacopa