

194-198 CASTRO STREET HISTORIC JURIAN BUILDING ADDITION & HISTORIC REHABILITATION

Attachment 2

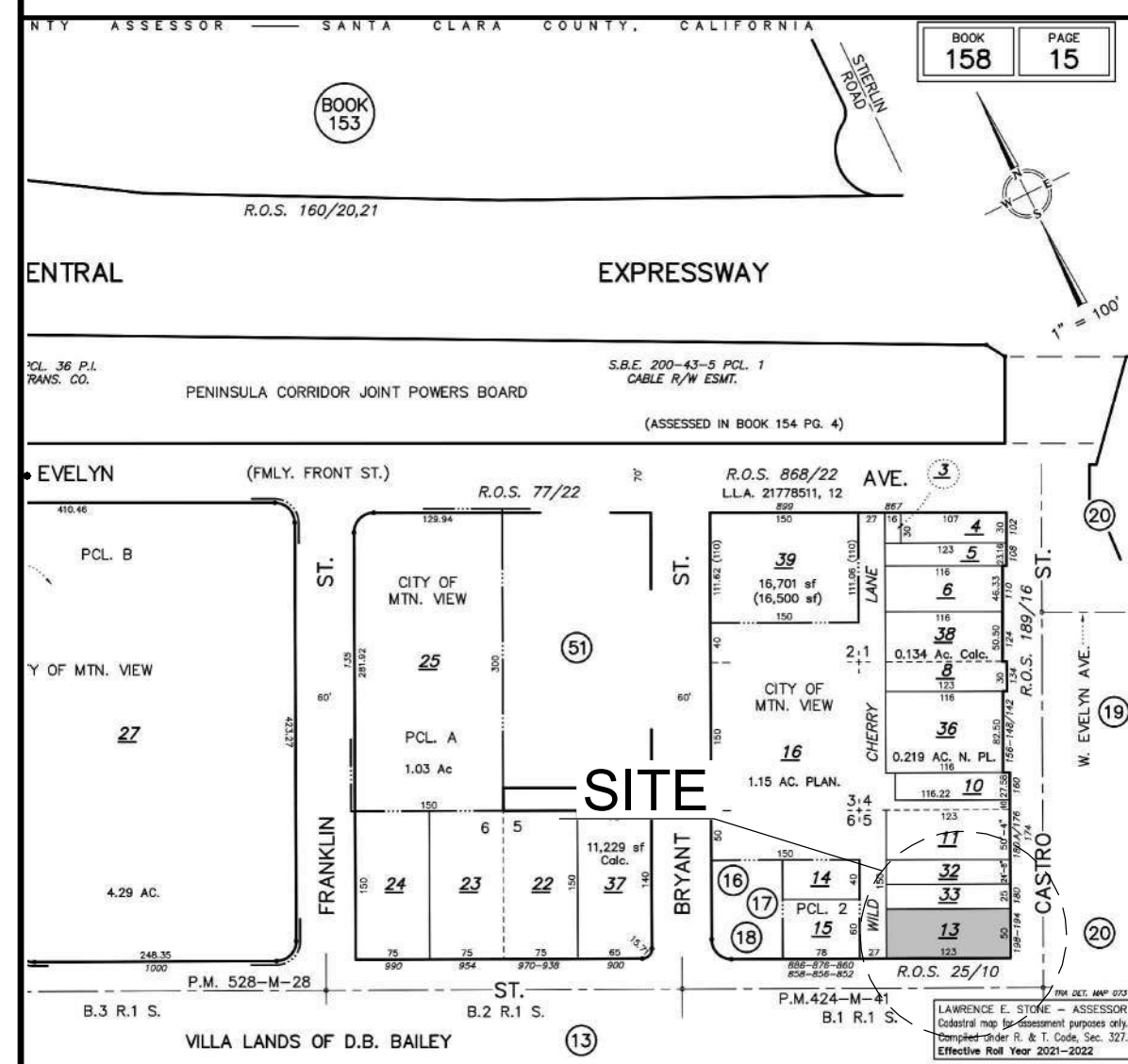


PROPOSED REAR ADDITION- HISTORIC JURIAN BLDG.

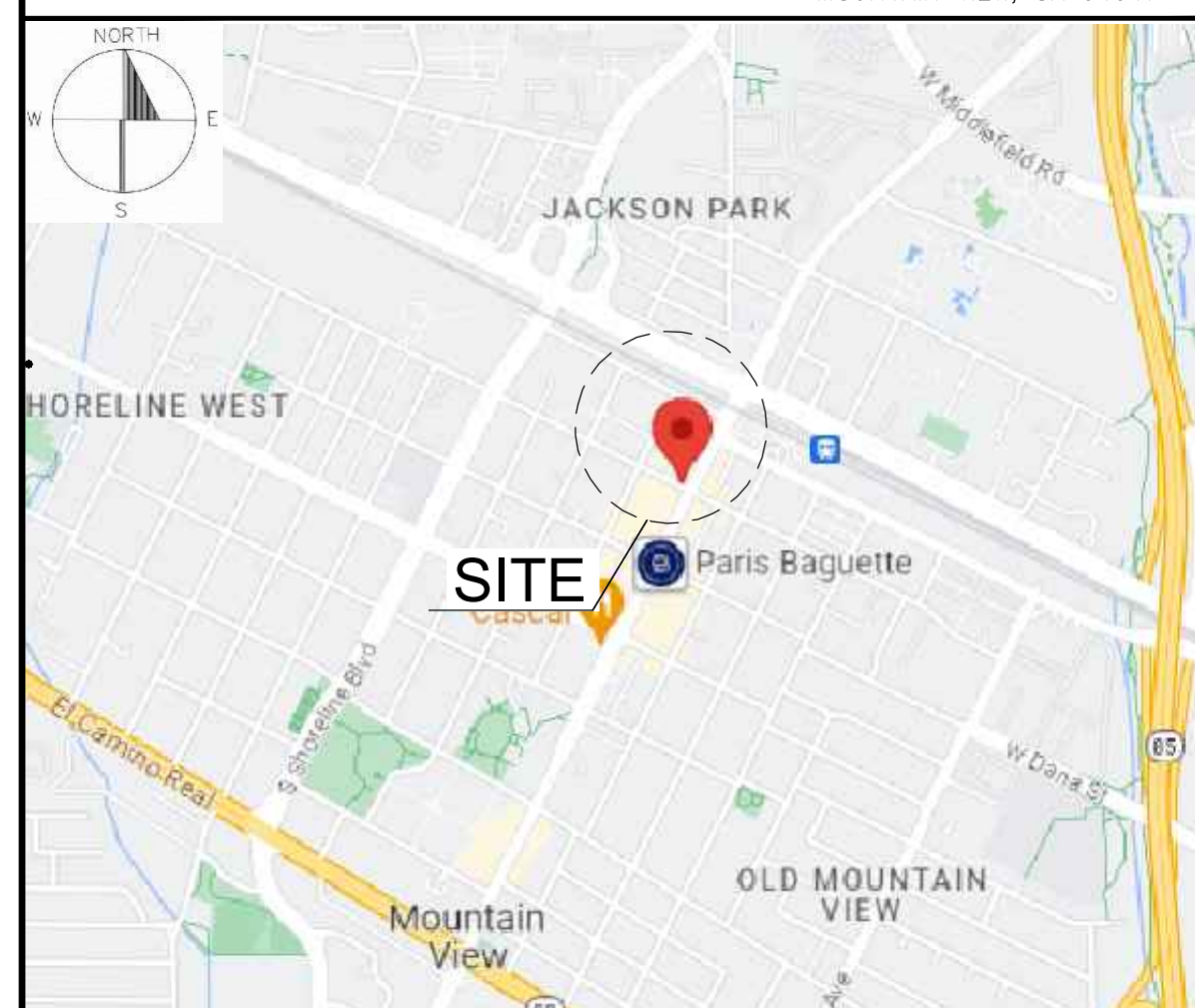


PROPOSED REAR ADDITION- HISTORIC JURIAN BLDG.
VIEW OF FRONT ELEV. FROM CASTRO AND VILLA STREETS

ASSESSOR'S MAP



VICINITY MAP



SITE TENANT INFORMATION

BUSINESS TYPE, STORY	TYPICAL BUSINESS HRS:
RETAIL, 1ST FLR.	HRS: MON-SUN, 10AM-10PM
BUSINESS OFFICE, 2ND/3RD FLRS	HRS: MON-FRI 8AM-6PM

GENERAL PROJECT DESCRIPTION

- THIS PROPOSED BUILDING IS A 3-STORY COMMERCIAL RETAIL/OFFICE WITH A THIRD FLOOR OFFICE WITH ROOF DECK. THE ROOF DECK WILL ONLY BE OCCUPIED DURING NORMAL BUSINESS HOURS (8AM-6PM) AND WILL NOT INCLUDE ANY AMPLIFIED NOISE OR MUSIC.
- FOR BUILDING CODE PURPOSES THE EXISTING AND NEW BUILDING IS CONSIDERED A 3-STORY BUILDING-CONSTRUCTION TYPE II-B.

GENERAL PROJECT DATA

ALLOWABLE # OF STORIES:	4 STORIES	TABLE 504.4
STORIES PROPOSED	3 STORIES	SEC 503.1.4
ALLOWABLE HEIGHT	55' HT.	TABLE 504.3
TOTAL BUILDING HEIGHT	31'-2" HT.	
SPRINKLER SYSTEM	YES	SEC. 503 & 504.2
ALLOWABLE AREA	FOR A-2 (SM) 28,500 S.F.	TABLE 506.2
	FOR B (SM) 69,000 S.F.	
TOTAL BUILDING ALLOWABLE AREA =	3 x 28,500 S.F. = 85,500 S.F.	
TOTAL BUILDING AREA =	5,675 + 5,675 + 2,195 = 13,545 S.F. PER CBC 503.1	
FEMA FLOOD ZONE, ZONE X (AREA W/ REDUCED RISK DUE TO LEVEE)		
REFER TO SHT. A0.5.0 FOR ADDITIONAL PROJECT DATA		

PROJECT TEAM

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PROJECT NARRATIVE

THE HISTORIC 1913 JURIAN BUILDING, AT 194-198 CASTRO STREET, IS LISTED AS A MOUNTAIN VIEW HISTORIC RESOURCE, AND IS LOCATED WITHIN THE HISTORIC DOWNTOWN DISTRICT (AREA H) OF THE CITY OF MOUNTAIN VIEW DOWNTOWN PRECISE PLAN. THE EXISTING 2-STORY COMMERCIAL BUILDING RETAINS MUCH OF ITS ORIGINAL CHARACTER-DEFINING FEATURES AND DISTINCT IDENTITY AS A MISSION REVIVAL-STYLE BUILDING, DESIGNED BY WELL-KNOWN LOCAL ARCHITECT FRANK DELOS WOLFE. THE BUILDING'S PRIMARY FACADES THAT FACE CASTRO AND VILLA STREETS, ON THE EAST AND SOUTH, RETAIN THEIR ORIGINAL PENETRATION OPENINGS, DECORATIVE TRIM, MOLDING, PARAPET COPING. THE EXISTING BUILDING HAS PEBBLE-DASHED STUCCO TEXTURE APPLIED TO THE EXTERIOR WALLS.

THE LOWER FLOOR OF THE BUILDING HAS SERVED PRIMARILY AS RETAIL AND SERVICE SPACES, WITH THE SECOND FLOOR MODIFIED FROM ITS ORIGINAL USE AS A MEETING HALL AND DANCE FLOOR INTO CURRENT OFFICE SPACES. THE BUILDING'S EXTERIOR HAS ALSO BEEN MODIFIED OVER THE YEARS. A SOUTH FACING STOREFRONT OPENING WAS REMOVED AND WALLED-IN AFTER THE WINDOW WAS DAMAGED IN A 1917 STORM. A ONE-STORY ADDITION WITH MODIFICATIONS TO THE REAR WEST FACING FACADE WERE CONSTRUCTED IN 1943. MORE CURRENTLY A CONCRETE BLOCK TRASH ENCLOSURE AND PATIO WALLS SURROUNDING THE OUTDOOR DINING PATIO WERE BUILT TO THE REAR OF THE BUILDING FOR RESTAURANT USE.

THE PROPOSED PROJECT INCLUDES COMMERCIAL TENANT IMPROVEMENTS & A REAR ADDITION, REMOVING THE EXISTING OUTDOOR DINING PATIO. THE PROPOSED NEW STEEL-FRAMED 3-STORY ADDITION IS DESIGNED TO BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE ORIGINAL 1913 JURIAN BUILDING AND TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION OF HISTORIC RESOURCES. THIS WILL BE ACHIEVED IN PART BY KEEPING SIMILAR PROPORTIONS IN MASSING AND OPENINGS, AS WELL AS FEATURING ARCHITECTURAL COMPONENTS THAT ECHO THOSE OF THE HISTORIC BUILDING.

CHARACTERISTICS OF THE NEW BUILDING ARE DESIGNED TO BALANCE ITS COMPATIBILITY YET PROVIDE DIFFERENTIATION TO THE HISTORIC JURIAN BUILDING, INCLUDING A VISUAL SEPARATION BETWEEN NEW AND OLD BY A WIDE VERTICAL PILASTER AT THE ADJOINING WALLS. THE PILASTER AND NEW WALL IS SLIGHTLY INSET FROM THE SURFACE OF ORIGINAL WALL TO HELP DELINEATE THE START OF THE NEW ADDITION. STOREFRONT WINDOWS, ALCOVES, AND UPPER STORY WINDOWS ARE PROPORTIONALLY SIZED TO COMPLEMENT THOSE OF THE HISTORIC JURIAN BUILDING WITHOUT MIMICKING THEM DIRECTLY OR OVERSHADOWING THEM BY THEIR OVERALL VISUAL IMPACT. WHILE DEPARTING FROM THE ORIGINAL WOOD WINDOW MATERIALS, COMPATIBILITY WILL BE ACHIEVED THROUGH PENETRATION MASSING AND RHYTHM, WHILE MAINTAINING A DESIGN THAT WILL BE SUBORDINATE TO THE HISTORIC BUILDING, AS THE STANDARDS GUIDELINES RECOMMEND.

WALLS OF THE NEW ADDITION WILL BE CLAD WITH A SMOOTH STUCCO FINISH OVER ITS PRIMARY WALLS, WITH SOME PEBBLE-DASH FINISH SIMILAR TO THE HISTORIC BUILDING; THIS ROUGH SURFACE WILL BE ISOLATED TO THE AREA BETWEEN TWO HORIZONTAL BANDS AT THE SECOND STORY WINDOWS. THE THIRD STORY EXTERIOR WALLS WILL BE CLAD IN BEADED T&G HORIZONTAL CLADDING TO RESEMBLE THE APPEARANCE OF THE ORIGINAL BOARD-FORMED CONCRETE SURFACE AT THE EXISTING PARAPET WALLS. THE WEST FACING PARAPET COPING AND MEDALLION TRIM WILL BE RETAINED AT THE ROOF DECK LEVEL AND TEXTURE OF THIS BOARD FORMED WALL WILL BE LEFT EXPOSED ON THE INTERIOR OF THE THIRD FLOOR SPACE TO PAY HOMAGE TO THE ORIGINAL STRUCTURE. AT STREET-LEVEL, THE WALLS BELOW THE STOREFRONT WINDOWS AND ENTRY ALCOVE WILL BE CLAD WITH SQUARE TILE SIMILAR TO THE EXISTING STOREFRONT FACING CASTRO STREET. THE HISTORIC JURIAN BUILDING WILL RECEIVE REPAIRS AS REQUIRED WITH IN-KIND REPLICATED MATERIALS TO PRESERVE AND ENHANCE ITS ORIGINAL CHARACTER-DEFINING FEATURES. MORE EXTENSIVE PRESERVATION TREATMENTS ARE BEING PROPOSED TO TAKE PLACE IN PHASE 2 OF THE PROJECT UNDER A SEPARATE PERMIT.

THE GOAL OF THIS PROJECT IS TO MEET OR EXCEED THE CITY OF MOUNTAIN VIEW DOWNTOWN PRECISE PLAN'S DESIGN GUIDELINES, HISTORIC PERMITTING CONDITIONS OF APPROVAL, AND PRESERVING THE EXISTING STRUCTURE IN DOING SO IT IS OUR HOPE THAT THE JURIAN BUILDING AND NEW ADDITION WILL REMAIN A LASTING LEGACY BUILDING AND ASSET TO THE HISTORIC DOWNTOWN DISTRICT.

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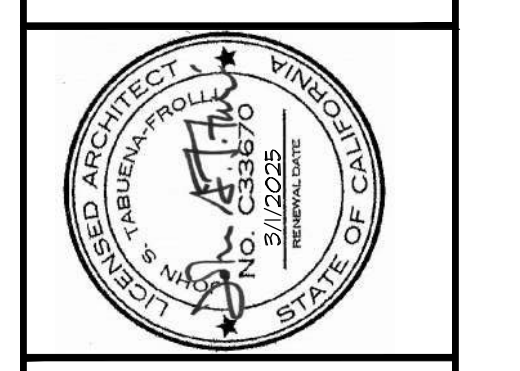
PROJECT INFORMATION

ADDRESS: 194-198 CASTRO STREET, MTN. VIEW, CA 94041	
A.P.N.: 158-15-013	
MTN. VIEW DOWNTOWN PRECISE PLAN DESIGNATION:	
HISTORIC RETAIL DISTRICT, AREA H	
ZONING:	P(19) DOWNTOWN HIST./PRECISE PLAN (ORD. SEC 36.22)
BUILDING TYPE:	II-B (W/SPRINK. & ALARM)
OCCUPANCY:	A-2, B
LOT SIZE:	6,150 SQ. FT.
BUILDING AREA SUMMARY (Ref. to Sht. A0.5.0 AREA DATA):	
TOTAL FIRST FLR COVERAGE (W/ (N) ADDTN):	5,675 SQ. FT.
BUILDING COVERAGE (ALLOWABLE = 100%):	92.5%
EXISTING FIRST FLOOR (RESTAURANT)	4,124 SQ. FT.
EXISTING SECOND FLOOR (OFFICE)	3,504 SQ. FT.
PROPOSED DEMO FIRST FLR (Rear Bldgs):	-620 SQ. FT.
NET EXISTING BLDG. AREA TO REMAIN:	7,008 SQ. FT.
NEW FIRST FLR ADDTN (RETAIL)	2,128 SQ. FT.
NEW SECOND FLR ADDTN: (OFFICE)	2,234 SQ. FT.
NEW THIRD FLR. (OPEN OFFICE SPACE):	1,371 SQ. FT.
NEW THIRD FLR. OUTDR. ROOF DECK	889 SQ. FT.
TOTAL NEW AREA:	6,535 SQ. FT.
EXISTING BLDG. AREA (TO REMAIN):	7,008 SQ. FT.
NEW ADDTN AREA:	6,535 SQ. FT.
TOTAL PROPOSED NEW BLDG AREA:	13,543 SQ. FT.
FAR: 7,109 / 6,150 (From Sht. A0.5.0):	1.15 FAR
MAX FAR:	2.75 FAR
RESTAURANT/RETAIL, 1ST FLR. (A-2, M)	5,632 SQ. FT.
BUSINESS OFFICE 2ND & 3RD FLRS (B)	7,109 SQ. FT.
ROOF DECK- 3RD FLR	889 SQ. FT.

CITY OF MOUNTAIN VIEW APPROVAL STAMP AREA

PLANNING #: _____
BLDG. P.C.#: _____

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANG SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP- ELEVS: OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041

APN: 158-15-013

DRAWN	SAE/GTF/JTF
DATE	07/17/24
SCALE	AS NOTED
PROJECT NO.	21.26

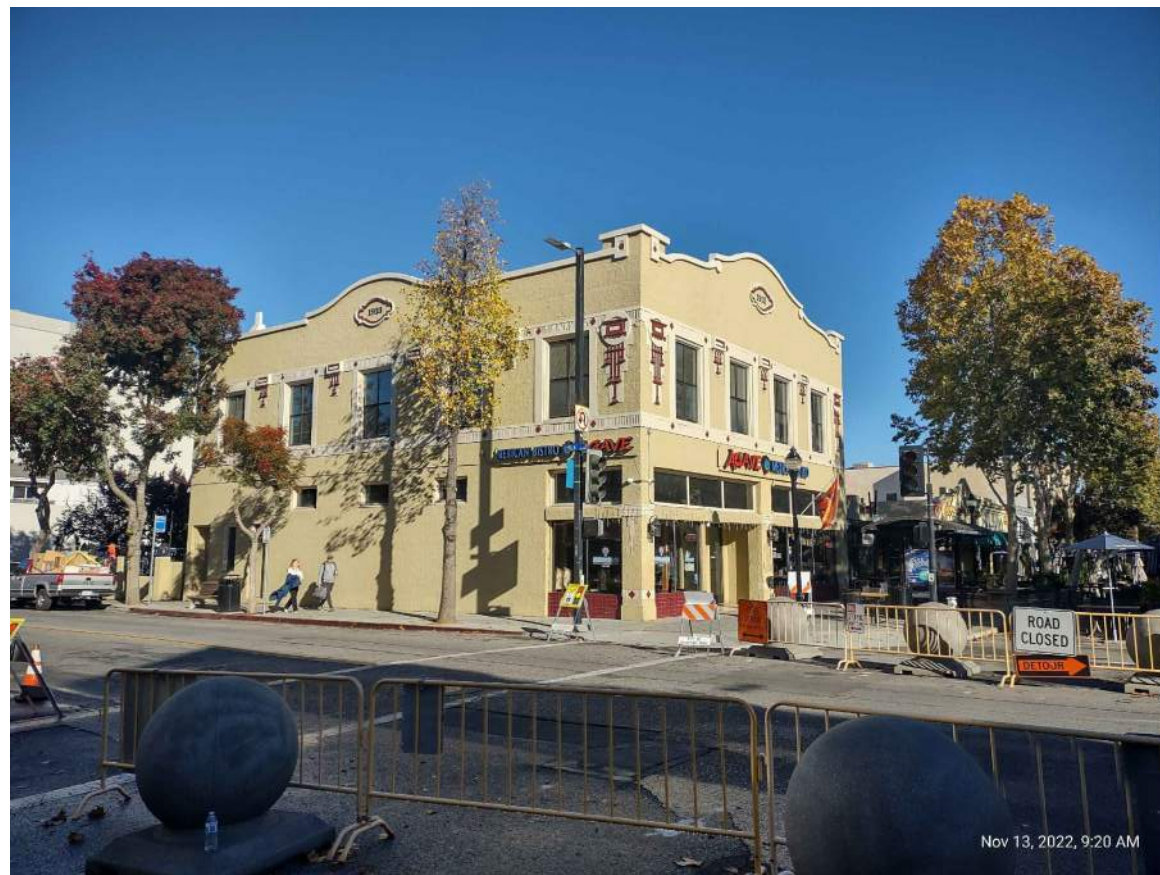
TITLE SHEET

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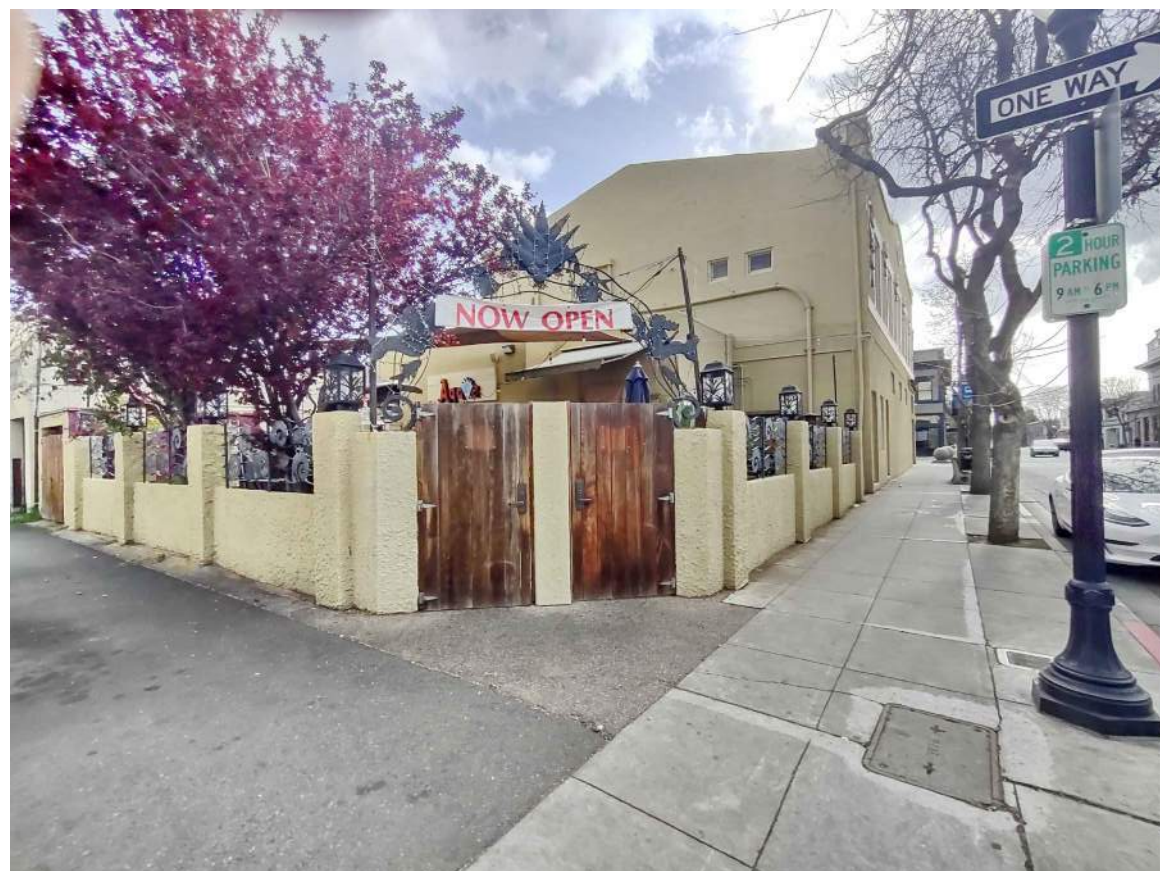
PHOTOS- EXISTING CONDITIONS



1 PHOTO FROM CASTRO ST., LOOKING WEST



2 PHOTO FROM CASTRO ST., LOOKING NORTHWEST



3 PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST



4 PHOTO FROM WILD CHERRY LN. & VILLA ST., LOOKING NORTHEAST



A HISTORIC JURIAN BUILDING STREET LEVEL VIEW FROM CASTRO STREET (NEW ADDITION BEYOND)



B THREE-QUARTER VIEW FROM CORNER OF CASTRO & VILLA STREETS



B VIEW FROM VILLA STREET LOOKING NORTHEAST



C VIEW OF REAR ELEV.: FROM ABOVE, AT WILD CHERRY LN. LOOKING SOUTHEAST



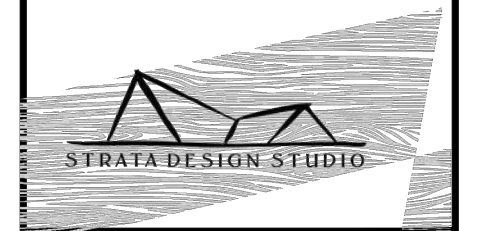
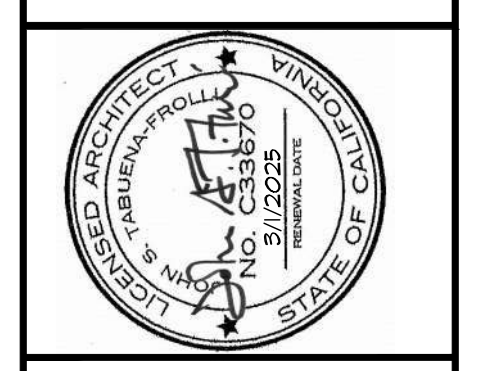
CONCEPTUAL SITE PLAN & KEY MAP

SCALE: 1/16"=1'

1

HISTORIC JURIAN BLDG

ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMITL
03/20/23 FORMAL PLANG SUBMITL
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PROPOSED 3-D
RENDERINGS &
EXISTING COND.
PHOTOS

SHEET NO.

A0.1

STREETSCAPE ELEVATIONS



① FRONT (EAST) STREETSCAPE ELEVATION



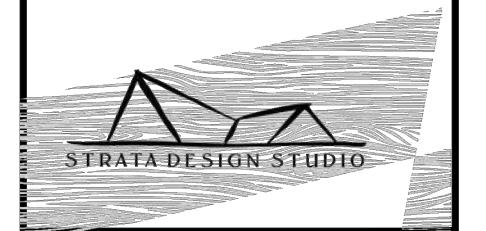
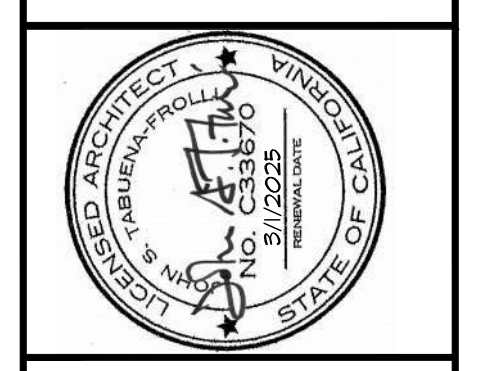
② SIDE (SOUTH) STREETSCAPE ELEVATION



③ REAR (WEST) STREETSCAPE ELEVATION

APPROVAL STAMP AREA

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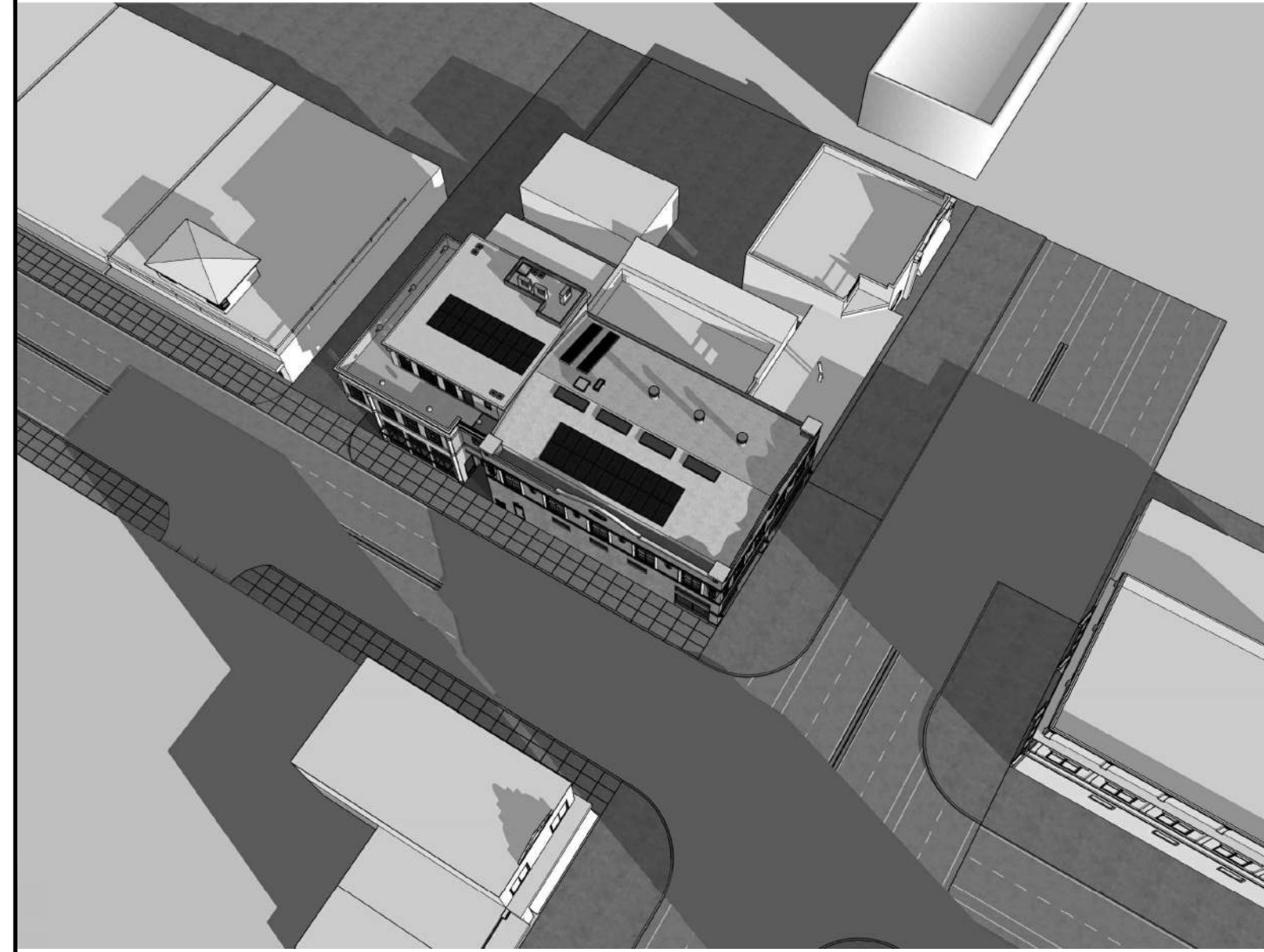
STREETSCAPE
 ELEVATIONS

SHEET NO.
A0.2

WINTER SOLSTICE

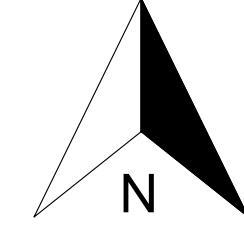
SITE SHADOW STUDY

SUMMER SOLSTICE

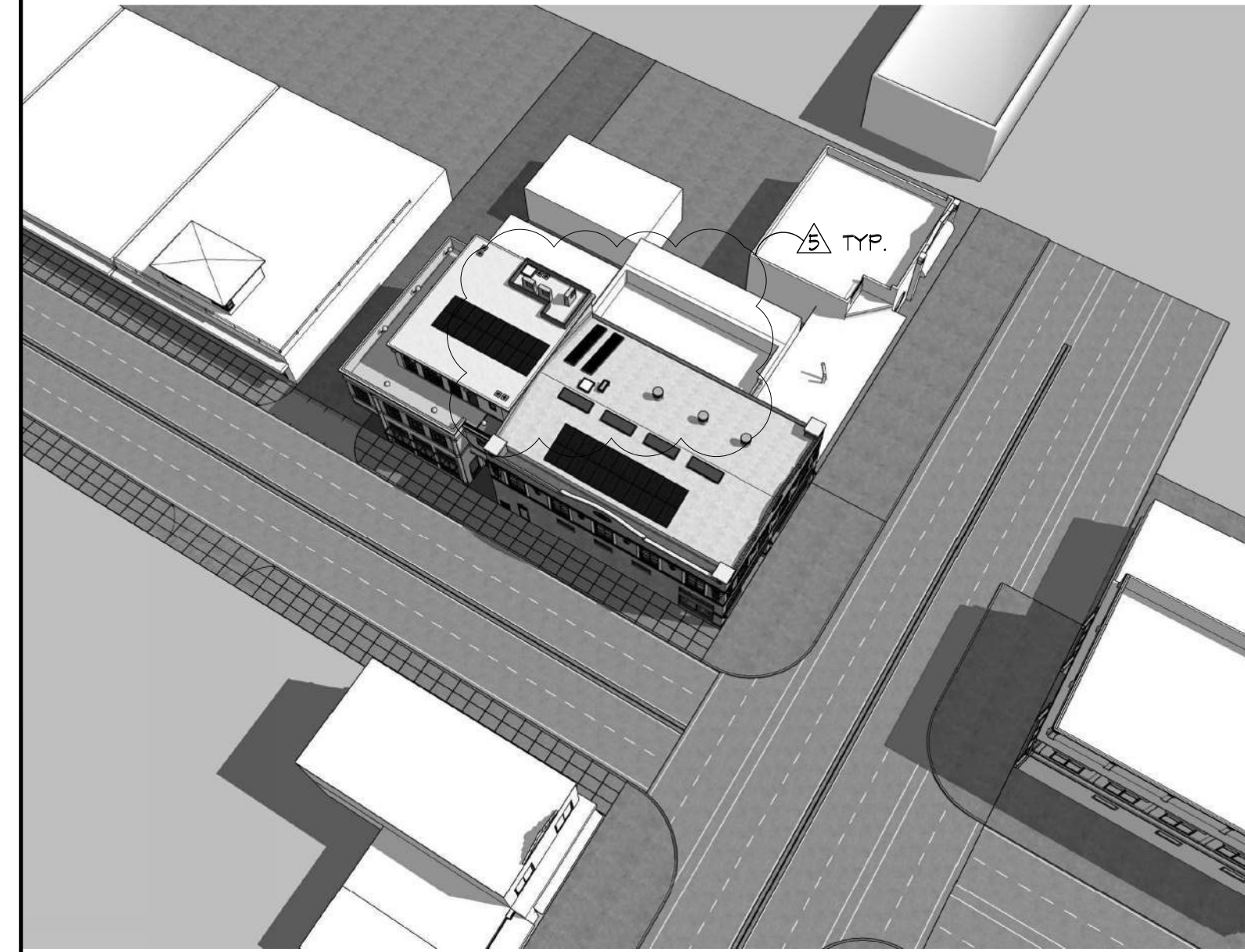


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Winter Solstice
December 21, 2023
9:00 AM

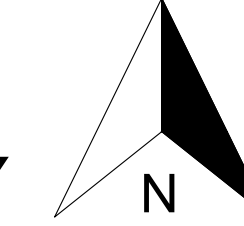


SHADOW STUDY

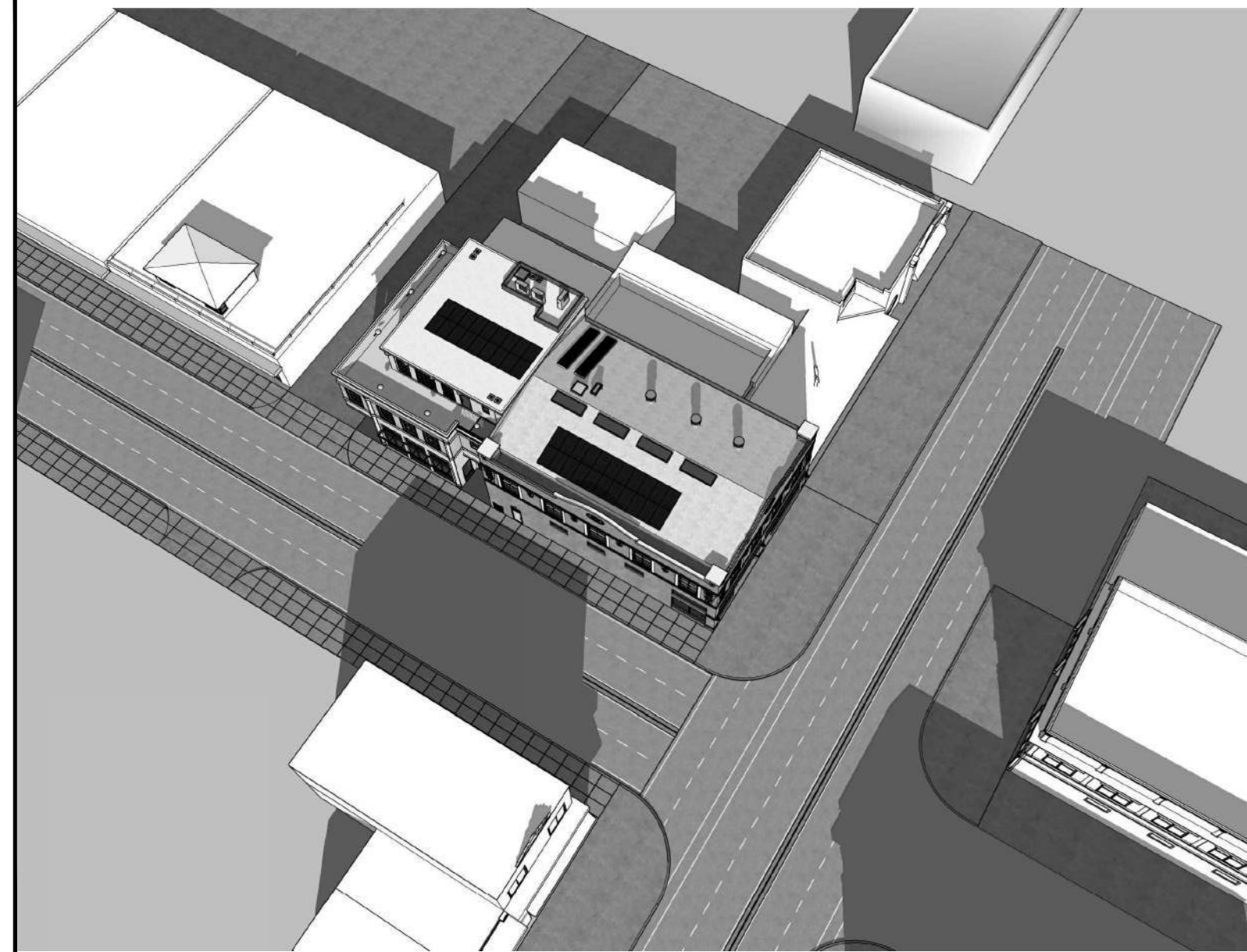


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Summer Solstice
June 21, 2023
9:00 AM

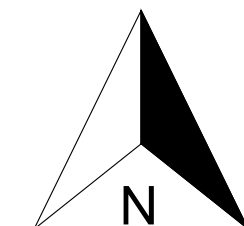


SHADOW STUDY

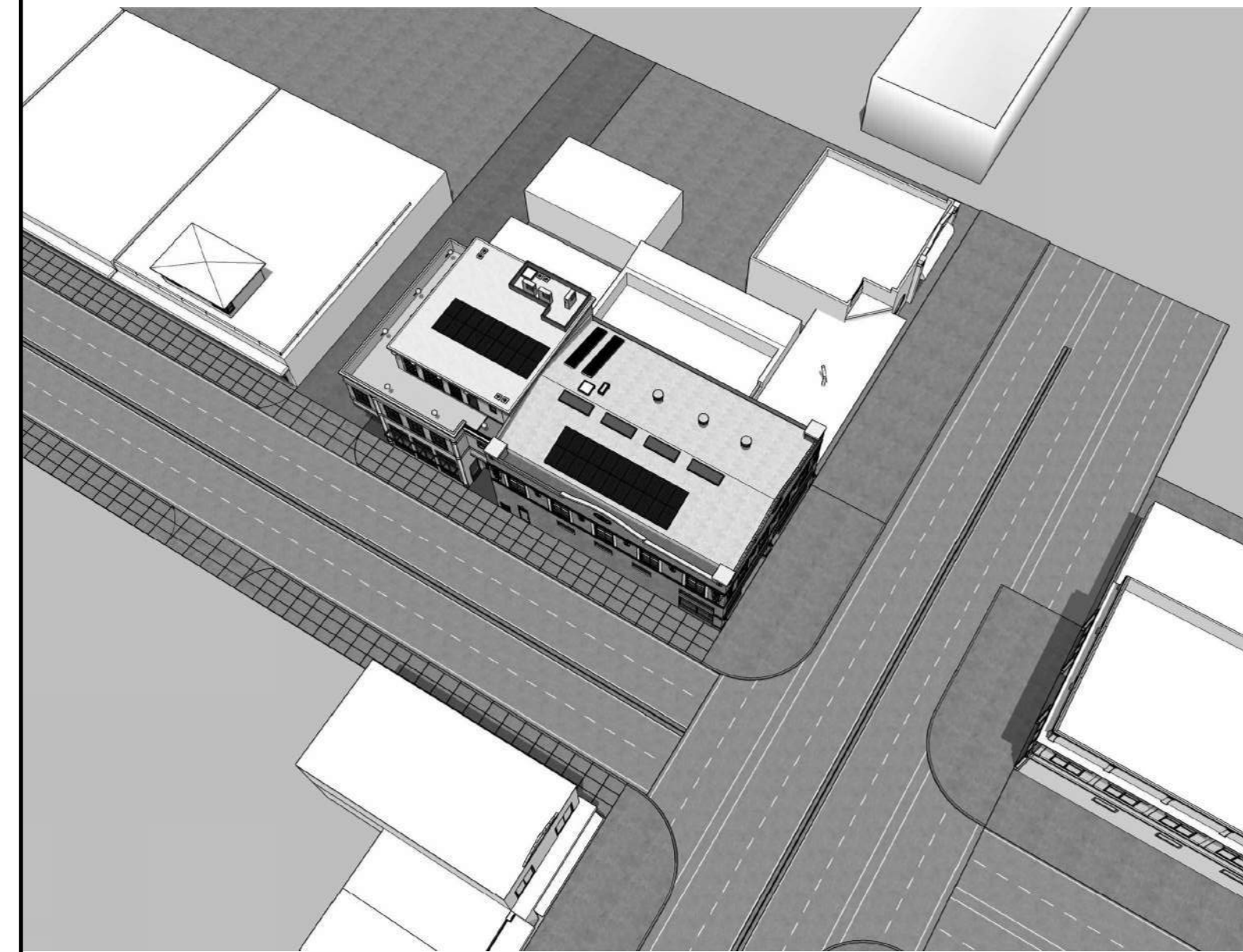


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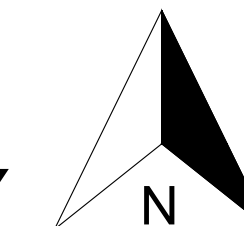


SHADOW STUDY

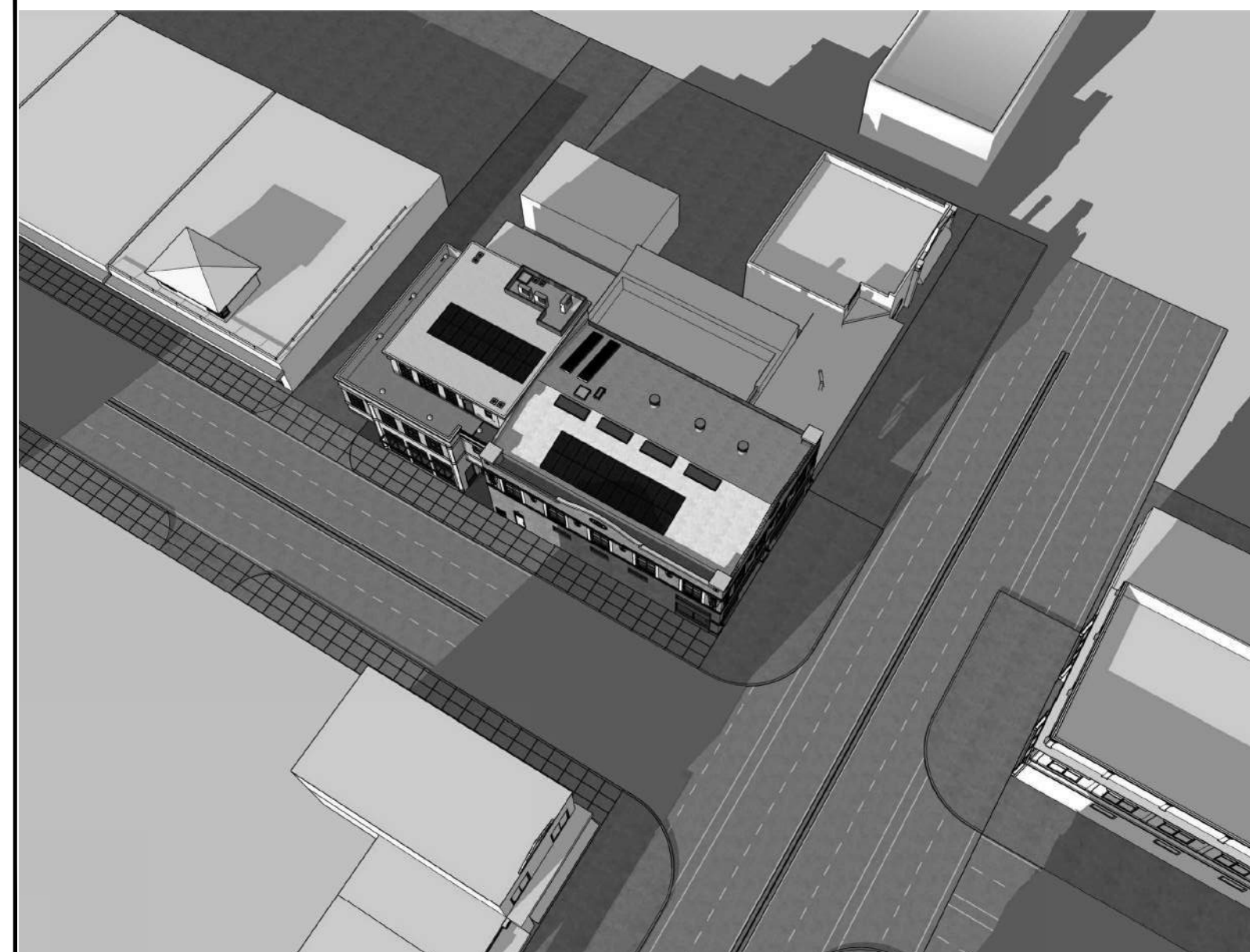


194-198 CASTRO ST.
MTN. VIEW, CA 94041

Summer Solstice
June 21, 2023
12:00 PM

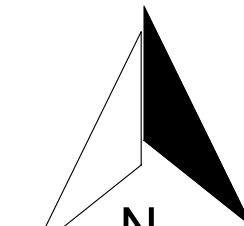


SHADOW STUDY

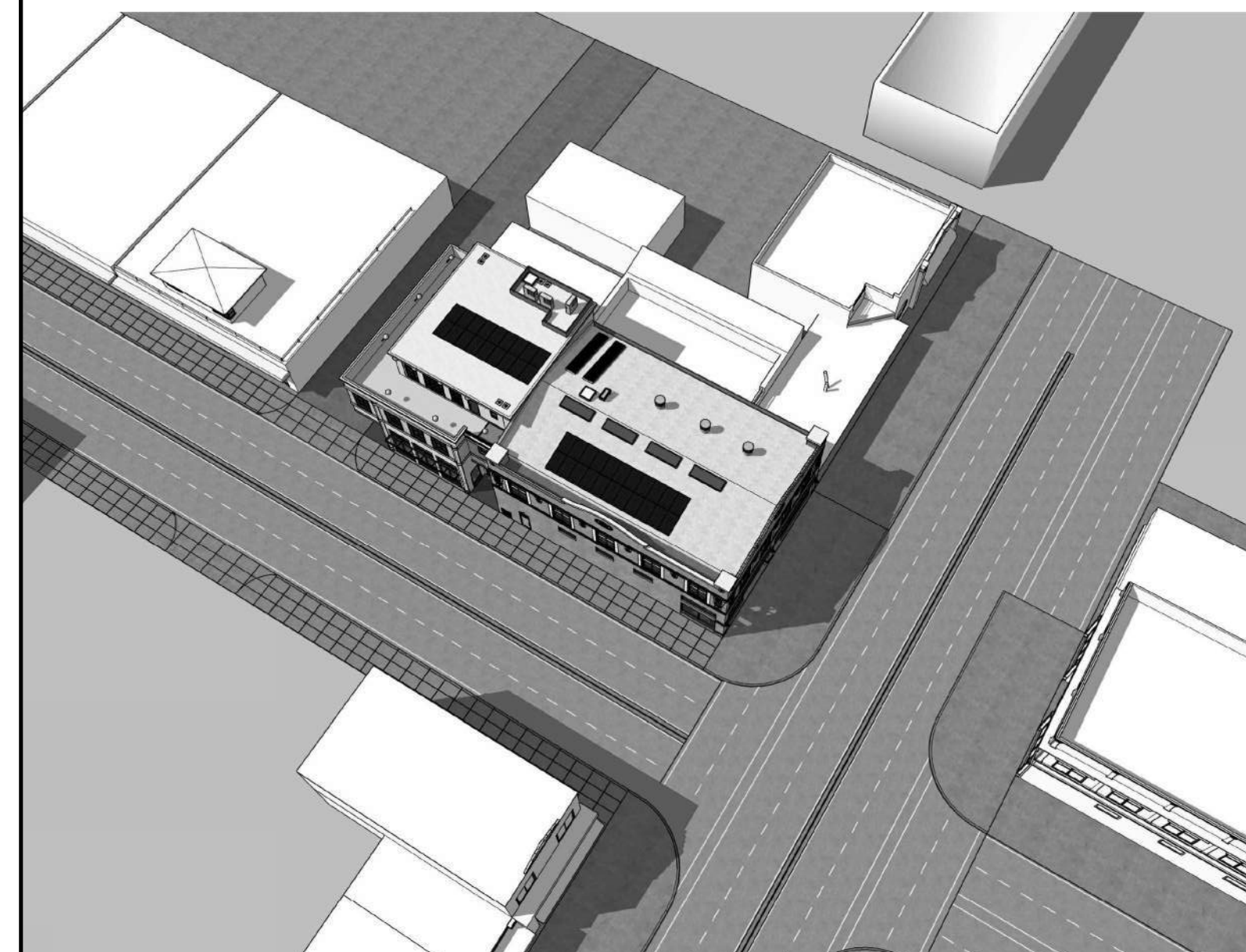


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MTN. VIEW, CA 94041

Winter Solstice
December 21, 2023
9:00 AM



SHADOW STUDY



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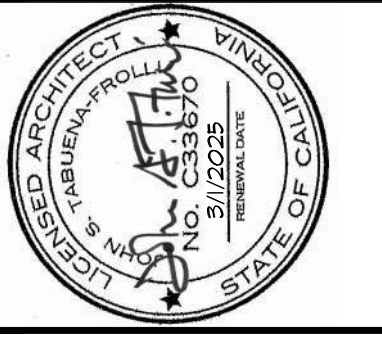
Summer Solstice
June 21, 2023
3:00 PM



SHADOW STUDY

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MOUNTAIN VIEW, CA 94041
APN: 158-15-013

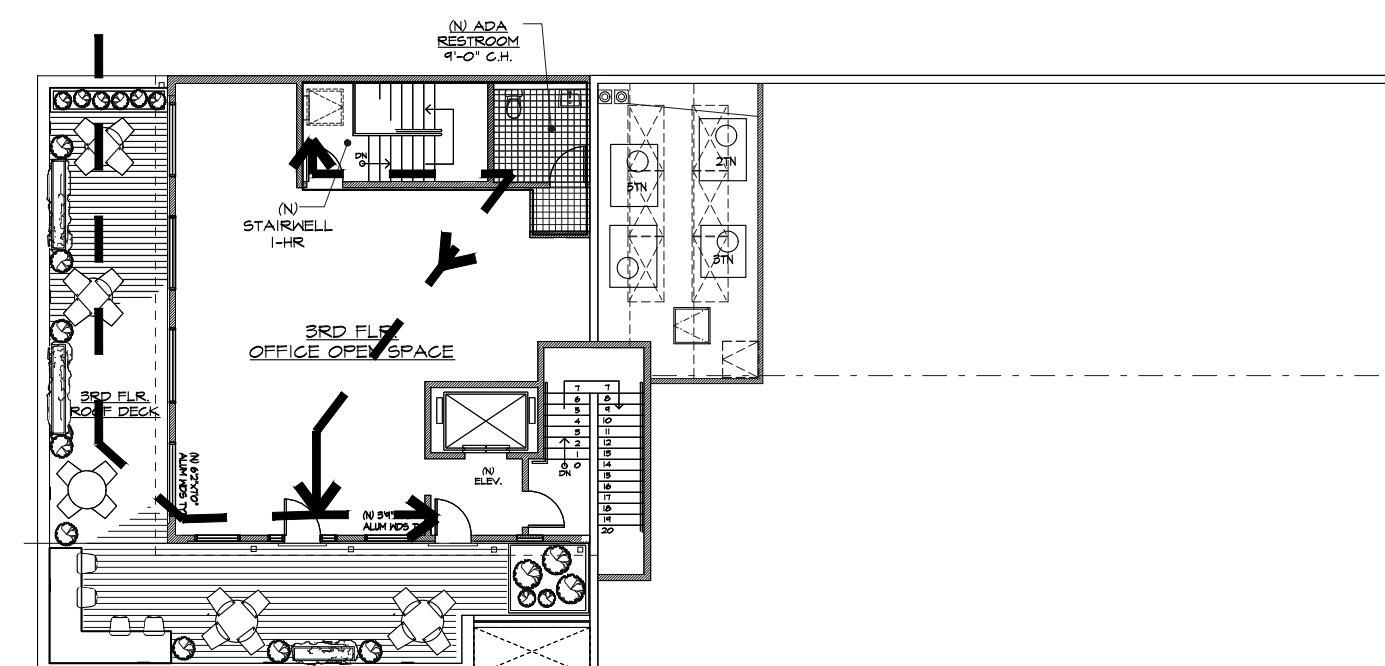
DRAWN
SAE/GTF/JTF
DATE
07/17/24
SCALE
AS NOTED
PROJECT NO.
21.26

SITE SHADOW
STUDY

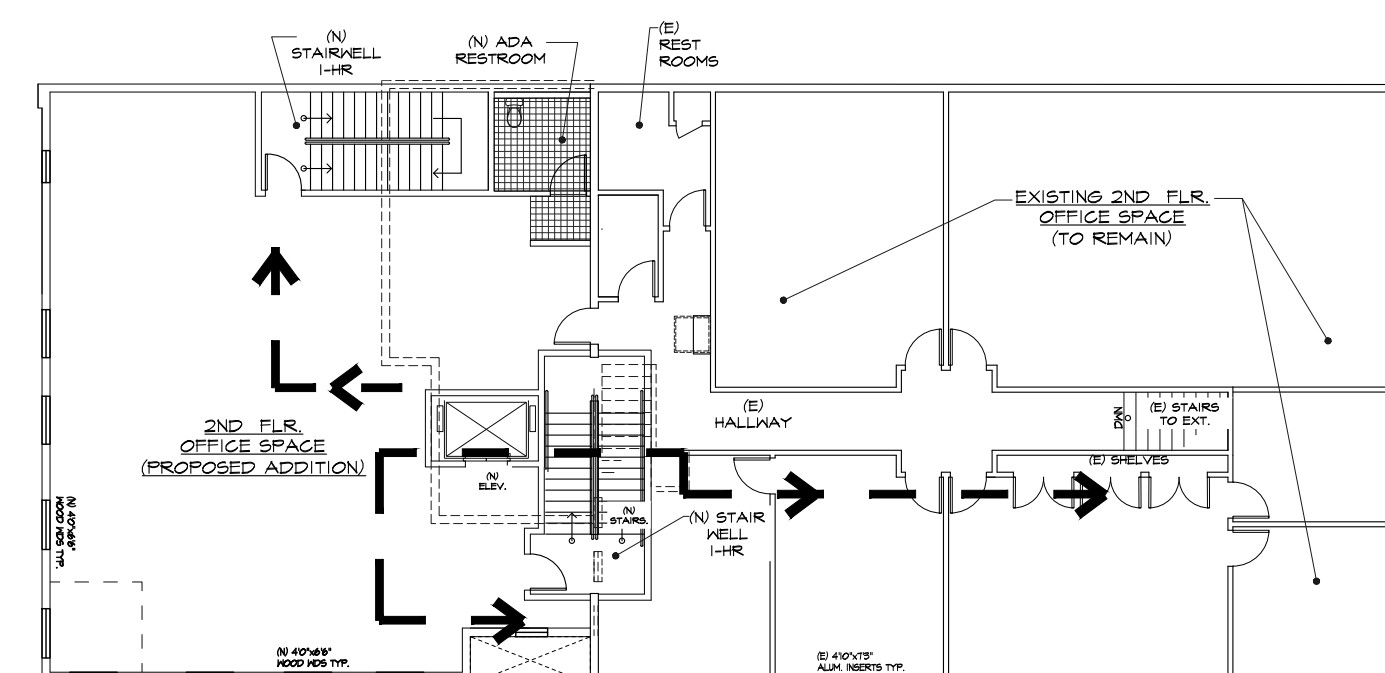
SHEET NO.
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2 ACCESSIBILITY DETAILS

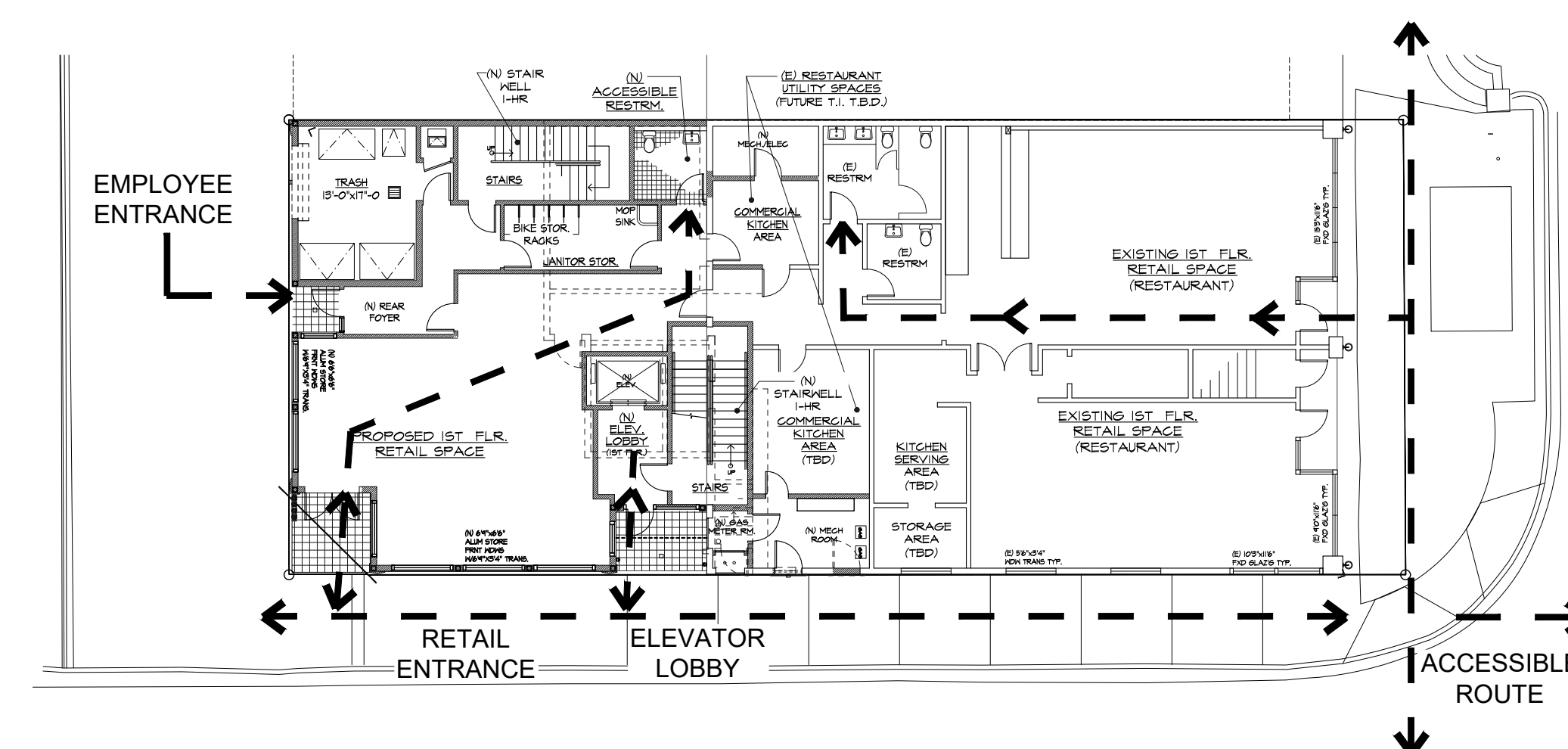
1 EXITING AND ACCESSIBILITY DIAGRAMS



A THIRD FLOOR EXIT ROUTES

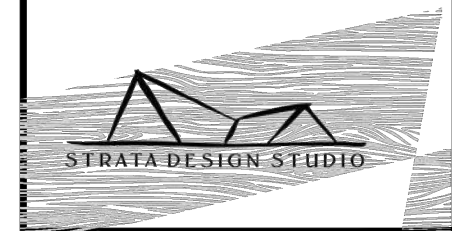
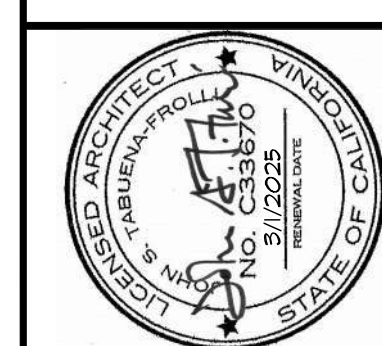


B SECOND FLOOR EXIT ROUTES



C FIRST FLOOR ACCESSIBLE ROUTE
SCALE: 1/16" = 1'-0"

HISTORIC JURIAN BLDG
ISSUE DATE
11/21/22 PRELIM. PLANNING SUBMIT
03/20/23 FORMAL PLANG SUBMIT
06/20/23 FORMAL PLANG RESUBMIT
09/01/23 FORMAL PC REVS
10/16/23 FORMAL PC REVS 2
11/20/23 DRC SUBMIT
01/16/24 DRC RESP- ELEVS: OPTS A & B
05/03/24 PLANG RESUBMIT SUBMIT
07/17/24 PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION
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HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION
PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

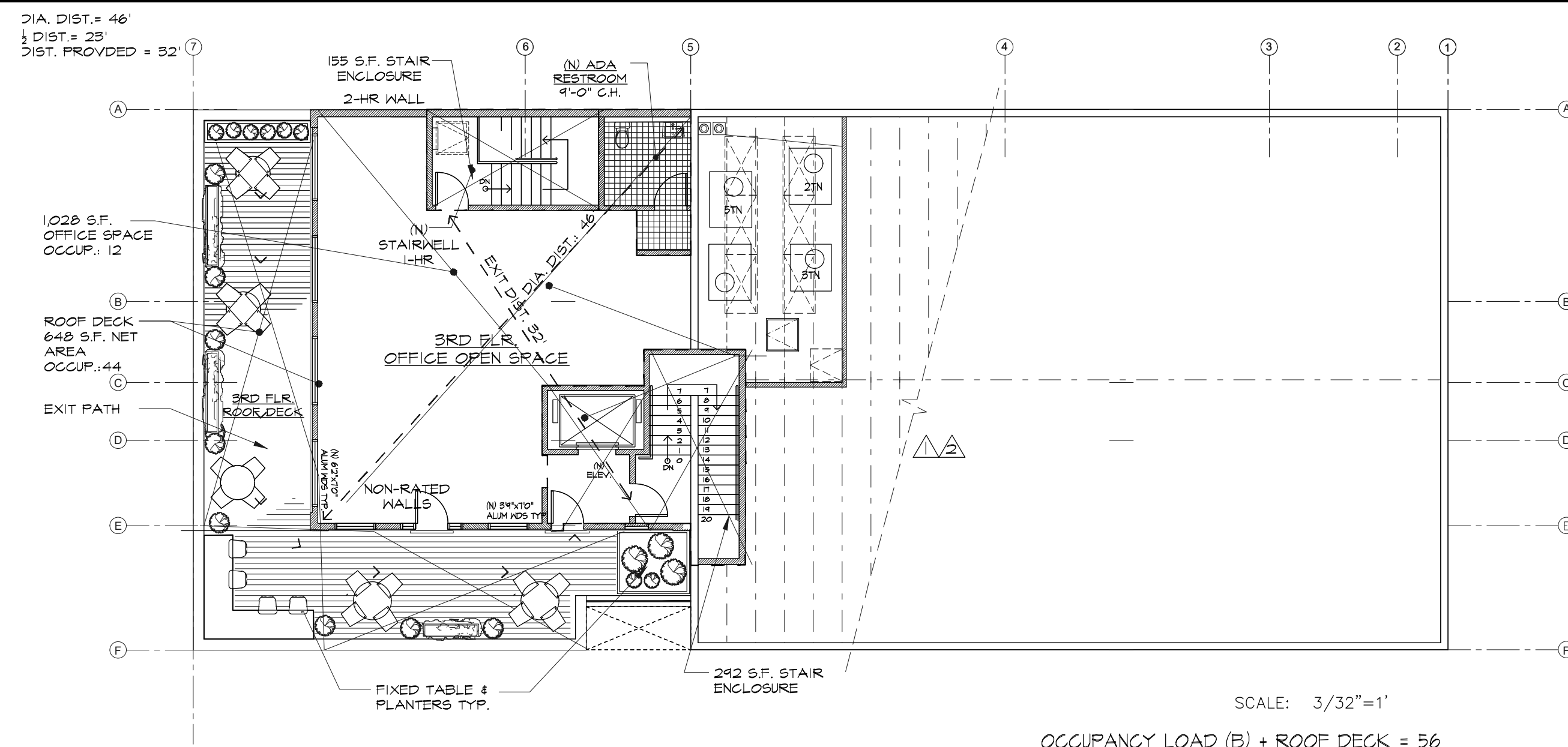
DRAWN
SAE/GTF/JTF
DATE
07/17/24
SCALE
AS NOTED
PROJECT NO.
21.26

SITE CIRCULATION-
EGRESS &
ACCESSIBILITY

SHEET NO.
A0.4.1

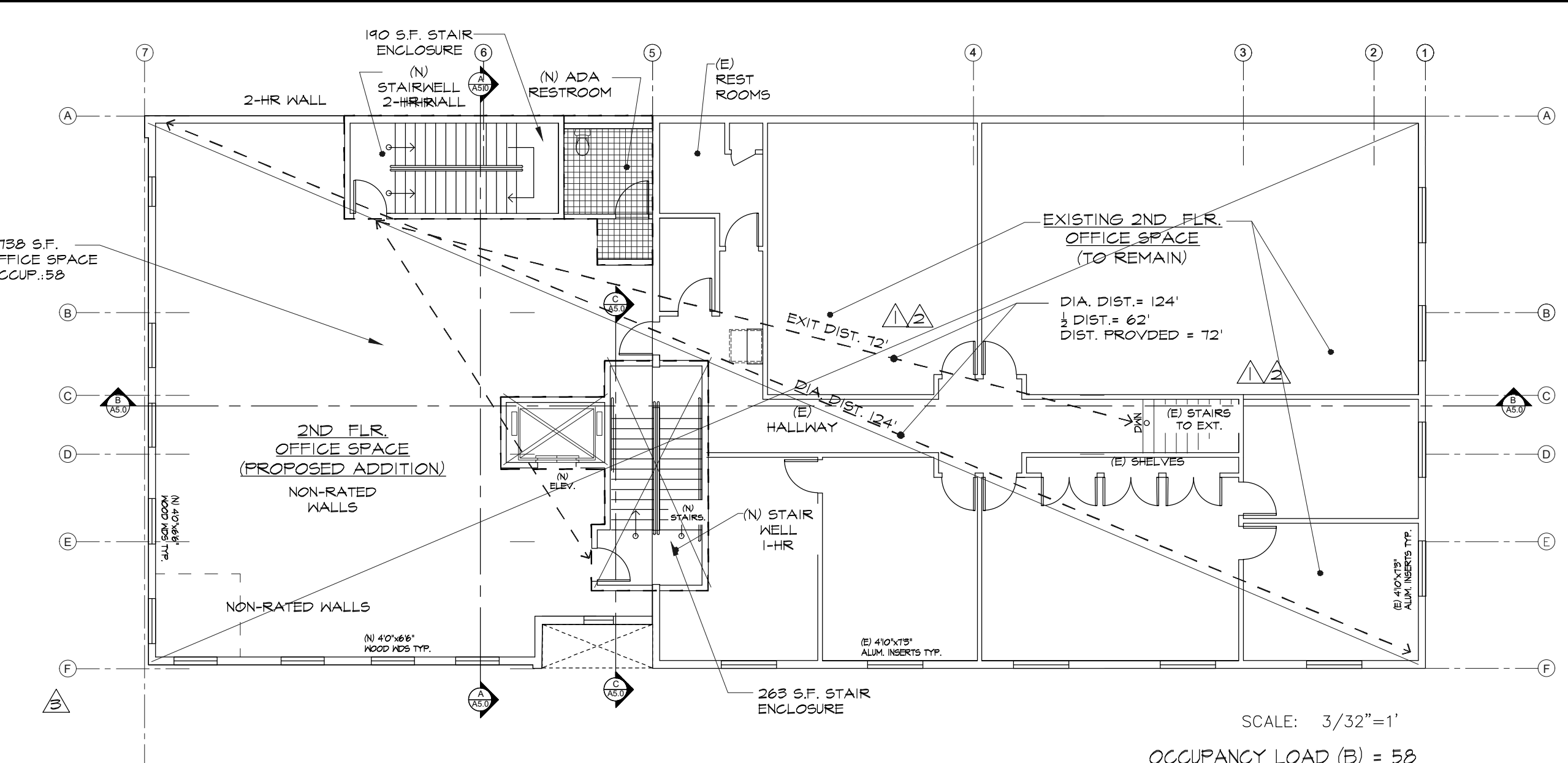
③ THIRD FLOOR AREA CALCULATION

NOTE: GRIDS & DIMENSIONS ARE TO OUTSIDE FACE OF EXT. WALL FINISH

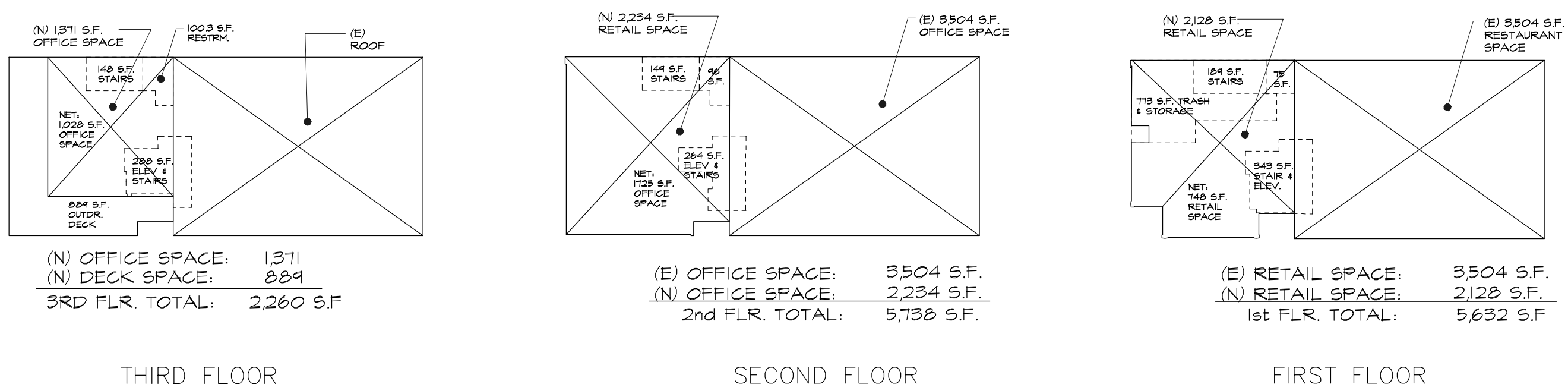


② SECOND FLOOR AREA CALCULATION

NOTE: GRIDS & DIMENSIONS ARE TO OUTSIDE FACE OF EXT. WALL FINISH

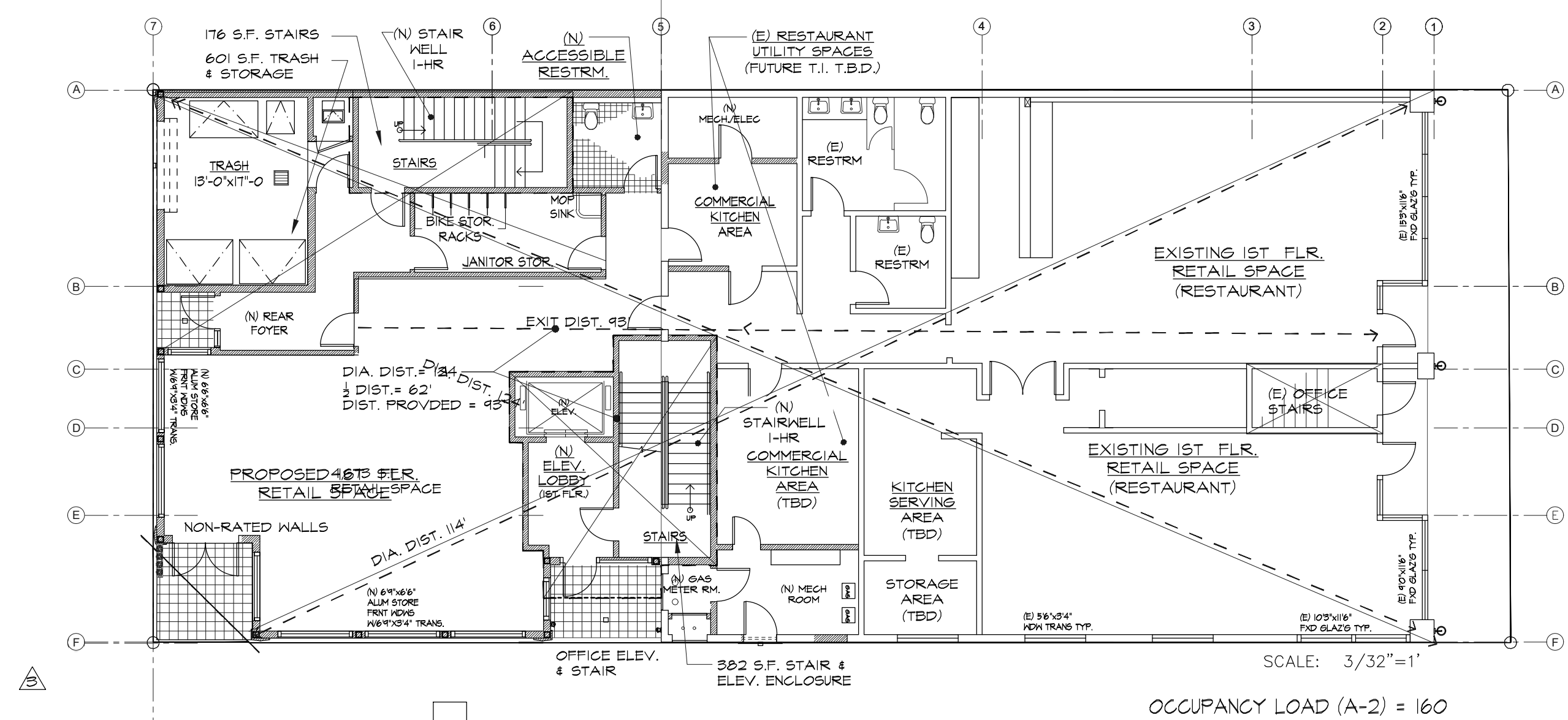


FLOOR AREA DIAGRAM



① FIRST FLOOR AREA CALCULATION

NOTE: GRIDS & DIMENSIONS ARE TO OUTSIDE FACE OF EXT. WALL FINISH



PROJECT DATA

ADDRESS: 194-198 CASTRO STREET, MTN. VIEW, CA 94041
A.P.N.: 158-15-013
ZONING DISTRICT: P(19) DOWNTOWN, H (HISTORIC) (ORD. SEC 36.22)
LOT SIZE: 6,150 SQ. FT. WIN PROPERTY LINES YARDS REQUIRED: NO SIDE YARD OR REAR YARD REQUIRED
LOT COVERAGE ALLOWED: 100% HEIGHT LIMIT: 55' HT., 4 STORIES MAX, NO UPPER STORY SETBACK REQUIRED
LOT COVERAGE PROPOSED: 5,675 S.F. = 92.2%
BUILDING TYPE: 11-B (W/SFRINK.)
OCCUPANCY: A-2, B HEIGHT PROPOSED: 37'-2" HT., 3 STORIES 10 FT. 3RD STORY SETBACK

FLOOR	RETAIL/RESTAURANT	OFFICE	UPPER PATIO DECK	(E) BLDG. AREA	(N) ADDTN. AREA	TOTAL (N/E) BLDG. AREA	AREA FOR FAR CALG.	AREA FOR CBC CALG.
FIRST	5,675	0	0	3,504	2,128	5,632	0	5,632
SECOND	0	5,738	0	3,504	2,234	5,738	5,738	5,738
THIRD	0	1,371	889	0	2,260	2,260	1,371	2,260
TOTAL AREA	4,675	7,021	711	7,008	6,535	13,543	7,109	13,630

BUSINESS TYPE, STORY: RETAIL, 1ST FLR.
TYPICAL BUSINESS HRS.: HRS: MON-SUN 10AM-10PM
BUSINESS OFFICE, 2ND/3RD FLRS HRS: MON-FRI 8AM-6PM

FIRE RESISTIVE REQUIREMENTS

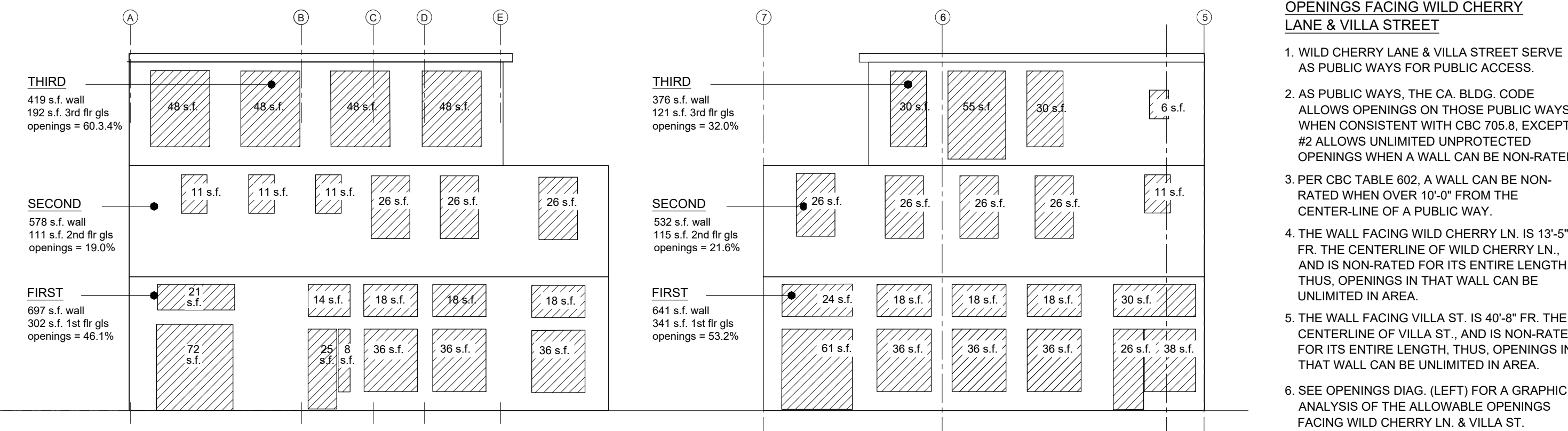
CONSTRUCTION TYPE: ADDITION: 11B (S), EXISTING: 11B(S)	SEC. 503	CODE REFERENCES: 2022 CALIF. BUILDING CODE	2022 CALIF. FIRE CODE:
OCCUPANCY GROUP: A-2 (FIRST FLR.), B (2ND & 3RD FLRS.)	SEC. 304	2022 CALIF. GREEN BLDG. CODE	NFPA #S 13, 14, 72, 80
BUILDING ELEMENTS (TABLE 601):	TABLE 602:	2022 CALIF. MECH. CODE	2022 CALIF. ELECTRICAL CODE
STRUCTURAL FRAME = 0 HR.	EXTERIOR NON-BEARING WALLS = 0 HR.	2022 CALIF. LOCAL ORDINANCES	ADA
EXTERIOR BEARING WALLS = 0 HR.	RF. CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS = 0 HR.	OPENINGS IN EXTERIOR WALLS UNPROTECTED - WHERE WALLS ARE 0 HR RATED THERE CAN BE UNLIMITED UNPROTECTED OPENINGS	
INTERIOR BEARING WALLS = 0 HR.	INTERIOR NON-BEARING WALLS = 0 HR.	OPENINGS IN EXTERIOR WALLS UNPROTECTED - WHERE WALLS ARE 5'-10' FIRE SEPARATION DISTANCE = 25% ALLOWABLE AREA.	
FLOOR CONSTRUCTION & SECONDARY = 0 HR.			

GENERAL BUILDING LIMITATIONS

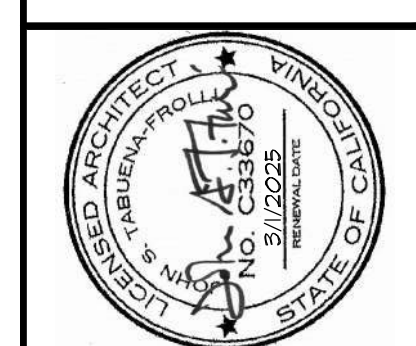
CONSTRUCTION TYPE (N) & (E): TYPE 11B (SPRINKLERED)
OCCUPANCY GROUP: A-2 & M (FIRST FLR.), B (2ND & 3RD FLRS.)
ALLOWABLE # OF STORIES: 4 STORIES
STORIES PROPOSED: 3 STORIES
ALLOWABLE HEIGHT: 55' HT.
TOTAL BUILDING HEIGHT: 37'-2"± HT.
SPRINKLER SYSTEM: YES
ALLOWABLE AREA: FOR A-2 (SM) 28,500 S.F., FOR B (SM) 69,000 S.F.
TOTAL BUILDING ALLOWABLE AREA = 3 x 28,500 S.F. = 85,500 S.F.
TOTAL BUILDING AREA = 5,632 + 5,738 + 2,260 = 13,630 S.F. PER CBC 503.1
SITE COVERAGE: 91.5% (ALLOWABLE: 100%)

ALLOWABLE AREA CALCS - COMMERCIAL USE SECTIONS 504, 506
ALLOWABLE AREA INCREASE: NOT REQUIRED, USE A₁
A₁ = 50,000 S.F. FOR A-2; 69,000 S.F. FOR B
COMMERCIAL OCCUPANCY CALCULATION: ACTUAL AREAS/ALLOWABLE AREA, RATIOS PER STORY
FIRST FLOOR (A-2) 5,749/37,500 S.F.
SECOND FLOOR (B) 2,245/69,000
THIRD FLOOR (B) 1,515/69,000
ALL RATIOS PER FLOOR ARE < 3.0

OPENINGS AT VILLA STREET & WILD CHERRY LANE



HISTORIC JURIAN BLDG. ISSUE DATE: 11/21/22 PRELIM. PLANNING SUBMIT. 03/20/23 FORMAL PLANNING SUBMIT. 06/20/23 FORMAL PLANNING RESUBMIT. 09/11/23 FORMAL PC REV. 11/20/23 DRC SUBMIT. 01/16/24 DRC RESP. ELEV. OPTS A & B. 05/03/24 PLANNING RESUBMIT. 07/17/24 PLANNING - MECH. WELL REV.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

OWNER: CHEE-YEE CHONG, (DBA HANSON AMERIC LLC)
PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041
APN: 158-15-013

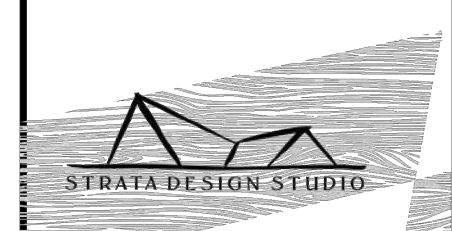
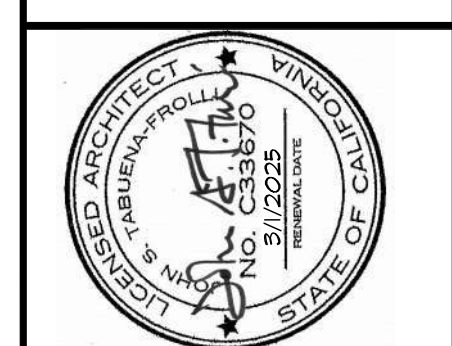
OWNER: JOHN S. TARGIENA-FROLLI, AIA
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SAN JOSE, CA 95108
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PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN: SAE/GTF/JTF
DATE: 07/17/24
SCALE: AS NOTED
PROJECT NO.: 21.26

ZONING & CODE CALCS
SHEET NO.: A0.5.0

HISTORIC JURIAN BLDG ISSUE DATE	
11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANG SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



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DESIGN - CONSULTING - PRESERVATION

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**HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION**

PROJECT SITE:
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MOUNTAIN VIEW, CA 94041

APN: 158-15-013

DRAWN
SAE/GTF/JTF

DATE
07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

**PROJECT SITE
PLAN-
EXISTING/DEMO**

SHEET NO.

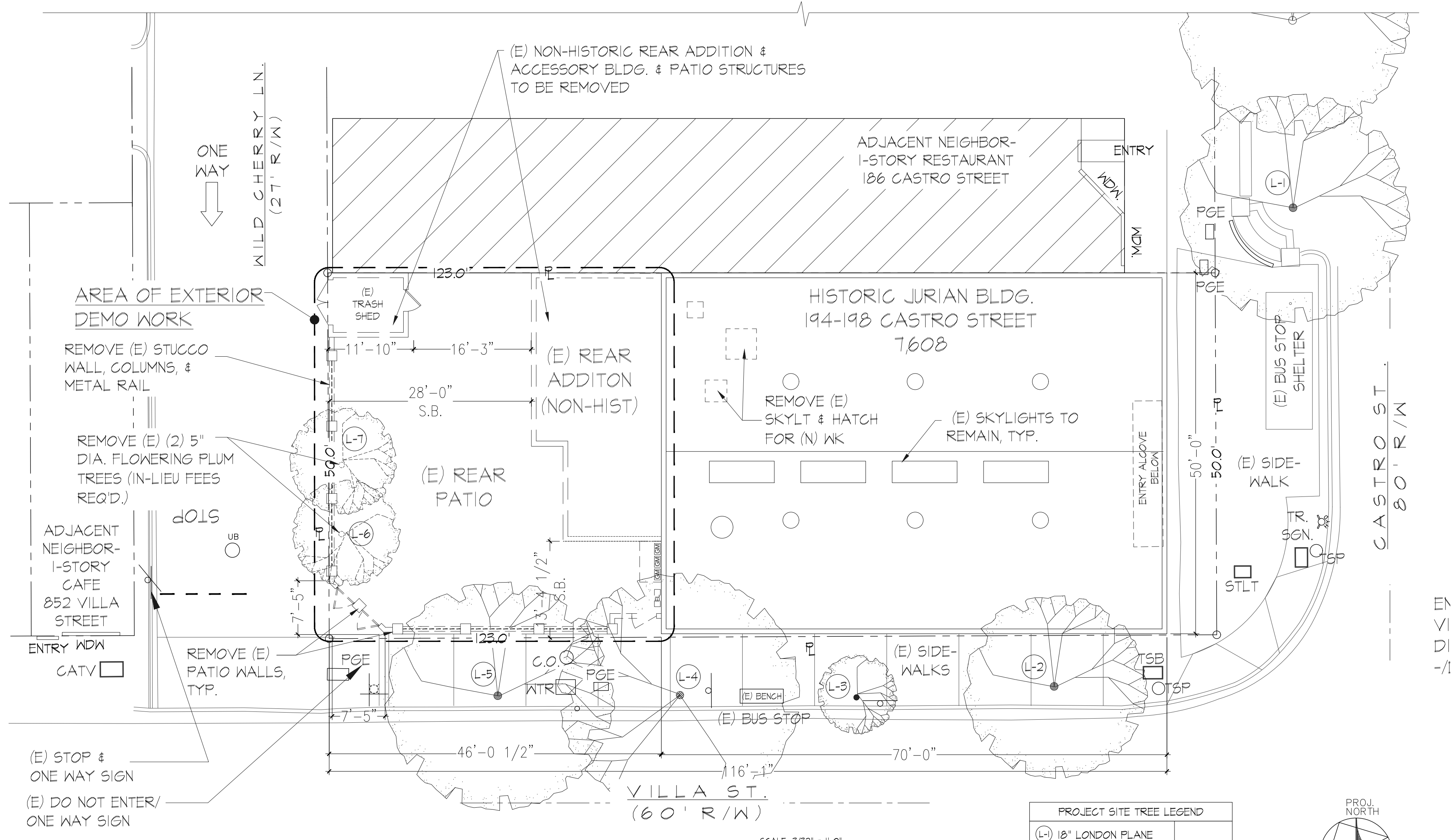
A1.0

JURIAN BUILDING NOTES

- (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- (2A) REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- (2B) REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB [§303] REQ'S.
- (3) (E) EXTERIOR DR'S., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
- (4) PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D. REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
- (5) PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
- (6) PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
- (7) PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- (8) (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW'S. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW'S, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

KEYED DEMO NOTES (AREA OF (N) ADDITION)

- (A) REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWG. A0.1 & CIVIL ENG. DWGS.
- (B) SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- (C) SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK. INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
- (D) - DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY-APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MATLS AS APPROVED BY OWNER
- (E) CAREFULLY REMOVE (E) WDW'S. & DR'S. PER DEMO PLAN. PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOC'S.
- (F) AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) STUCCO CLADDING TO MATCH (E), OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK. INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- (G) CAREFULLY REM. & SALVAGE (E) CABS, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT 'S. STORE FOR POSS. REUSE, DONATION OR RESALE. VERIFY W/ HIST. ARCH. & OWN'R., TYP.
- (H) REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV., PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS, TYP.
- (I) PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN. SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDW'S & DR'S. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED- MILLED TO MATCH (E). VERIFY (N) & (E) OPENINGS TO REMAIN, PER (N) PLAN, TYP.
- (J) PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING. REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- (K) PROTECT (E) SUB-FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRING. FOR REFINISHING. VERIFY W/ OWNER.
- (L) (E) ROOF SURFACE TO BE INSPECTED. VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D. PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING. REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E). VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- (M) REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.



PROJECT SITE TREE LEGEND

(L-1)	18' LONDON PLANE	PROTECT TREES TO REMAIN
(L-2)	13' TULIP POPLAR	
(L-3)	8' CHINESE PISTACHE	
(L-4)	12' CHINESE PISTACHE	REMOVE TREES
(L-5)	10' CHINESE PISTACHE	
(L-6)	5' FLOWERING PLUM	
(L-7)	5' FLOWERING PLUM	

- GENERAL SITE IMPROVEMENT NOTES: REFER TO CIVIL DRAWINGS**
- RELOCATE (E) UTILITY VAULTS/BOXES TO (N) SIDEWALK CURBS OR L.S. STRIPS
 - PROVIDE NEW CURB, GUTTER, AND SIDEWALK ALONG VILLA STREET
 - GRIND AND OVERLAY STREET ALONG PROJECT FRONTAGE
 - REPLACE (E) VILLA ST./MILD CHERRY LANE DRIVEWAY
 - REPAINT (E) RED CURB ALONG VILLA ST. & (N) RED CURB ALONG WILD CHERRY LANE FROM BACK OF SIDEWALK AND 25 FT. NORTH

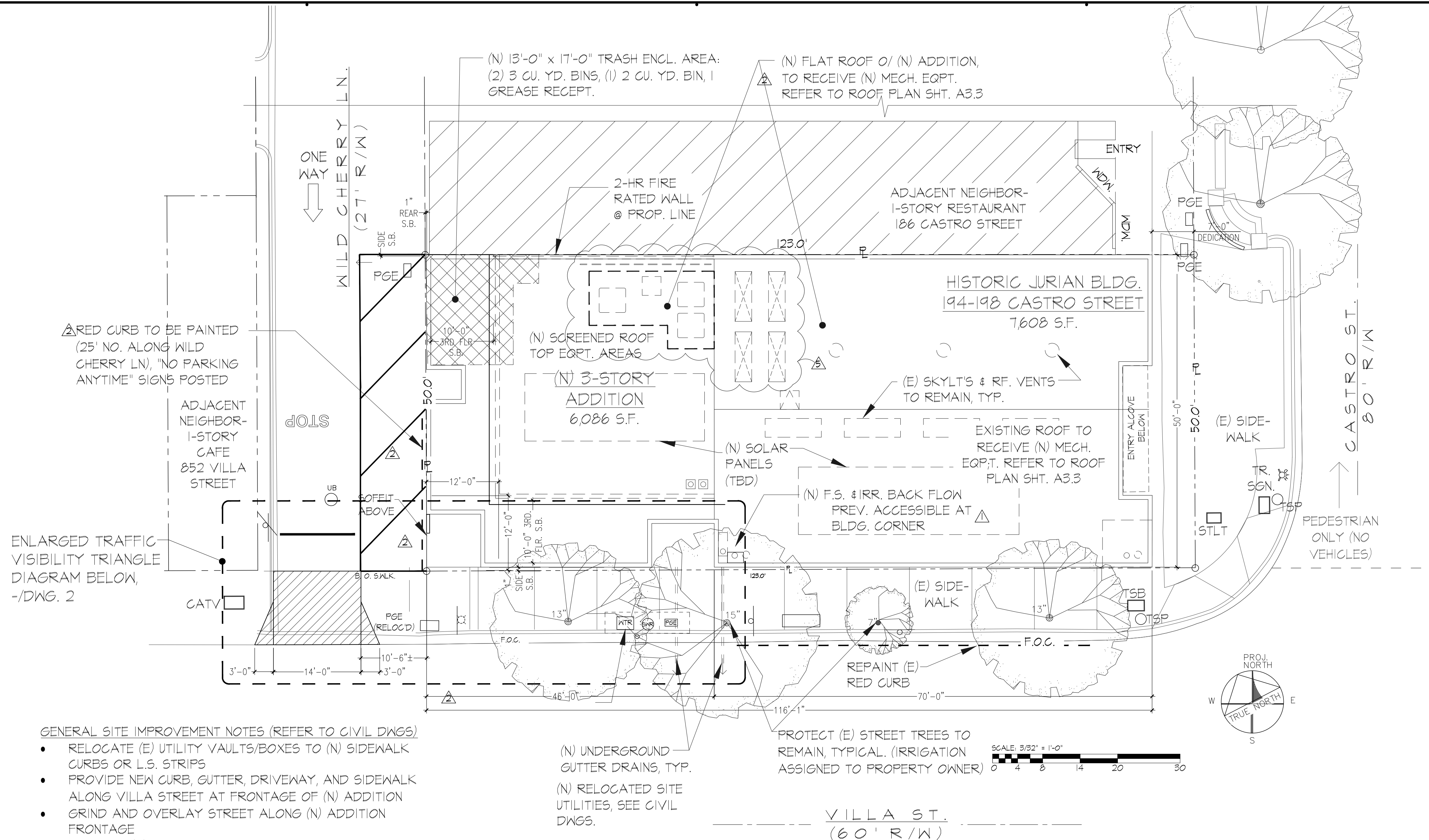
EXISTING CONDITIONS & DEMO SITE PLAN 1
SCALE: 1"=10'

ABBREVIATIONS

&	AND	CLKG.	CAULKING	F.D.	FLOOR DRAIN	INSUL.	INSULATION	PR.	PAIR	S.Q.	SQUARE	WD.	WOOD
<	ANGLE	CONC.	CONCRETE	FDN.	FOUNDATION	I.C.	IRRIGATION CTRL.	PNTD	PAINTED	S.S.D.	SEE STRUCT. DWGS	WDW	WINDOW
@	AT	C.M.U.	CONC. MASONRY UNIT	FIN.	FLOOR FINISH	LOC.	LOCATION	PTDF	PRES. TREATED DF	S.S.TL.	STAINLESS STEEL	W/O	WITHOUT
⊕	CENTERLINE	CONT.	CONTINUOUS	FLR.	FLOOR	L.S.	LANDSCAPING	Q.T.	QUARRY TILE	STD.	STANDARD	WT.	WEIGHT
⊖	DIAMETER OR ROUND PLUS OR MINUS	CTR.	CENTER	F.L.C.	FACE OF CONC. (OR CURB)	LT.	LIGHT OR LIGHTING	QTR.	QUARTER	STL.	STEEL	WTR.	WATER
(N)	NEW	DBL	DOUBLE	F.O.F.	FACE OF FINISH	MAX.	MAXIMUM	R.	RISER	STOR.	STORAGE		
(E)	EXISTING	DET.	DETAIL	F.O.S.	FACE OF STUDS	MECH.	MECHANICAL	RAD.	RADIUS	SURF.	SURFACE		
ADJ.	ADJUSTABLE	DI.	DIAMETER	F.S.	FULL SIZE	MFR.	MANUFACTURER	R.D.	ROOF DRAIN	TEL.	TELEPHONE		
A.F.F.	ABOVE FINISHED FLOOR	DN.	DOWN	FT.	FOOT OR FEET	MIN.	MINIMUM	REF.	REFERENCE	T.&G.	TONGUE AND GROOVE		
APPROX.	APPROXIMATE	DR.	DOWN	FTG.	FOOTING	MISC.	MISCELLANEOUS	REQ.	REQUIRED	THK.	THICK		
ASPH.	ASPHALT	DR.	DOWN	FURR.	FURRING	MTD.	MOUNTED	RM.	ROOM	THSHLD	THRESHOLD		
BITUM.	BITUMINOUS	DR.	DOWN	GA.	GAUGE	N.I.C.	NOT IN CONTRACT	RND.	ROUND	TOP.	TOP OF CURB		
BLDG.	BUILDING	D.V.	DRYER VENT	GALV.	GALVANIZED	N.O.	NOT TO SCALE	R.O.	ROUGH OPENING	TOS.	TOP OF PAVEMENT		
BLK.	BLOCK	DWG.	DRAWING	GL.	GLASS	N.O. #	NUMBER	RWD.	REDWOOD	TOW.	TOP OF WALL		
BLKG.	BLOCKING	DWG.	DRAWING	GLB	GLULAM BEAM	NOM.	NOMINAL	RWL.	RAIN WTR LEADER	T.PLT.	TOP PLATE		
BM.	BEAM	DWG.	DRAWING	GND.	GROUND	N.T.S.	NOT TO SCALE	S.C.	SOLID CORE	TV.	TELEVISION		
BTM.	BOTTOM	DWG.	DRAWING	GSM	GALV. SHEET METAL	O.A.	OVERALL	SCHD.	SCHEDULE	TYP.	TYPICAL		
CAB.	CABINET	DWG.	DRAWING	HT.	HEIGHT	O.O.	OVER	SECT.	SECTION	U.O.N.	UNLESS OTHERWISE NOTED		
C.B.	CATCH BASIN	E.A.	EACH	H.B.	HOSE BIBB	OC.	ON CENTER	SHT.	SHEET	VERT.	VERTICAL		
C.I.	CAST IRON	E.F.	EXHAUST FAN	H.D.	HOT DIP (GALV.) (or HOLD/DOWN)	O.D.	OUTSIDE DIA. DIM.	SHR.	SHOWER	V.I.F.	VERIFY IN FIELD		
C.J.	CONTROL JOINT	E.L.	EXPANSION JOINT	HDR.	HEADER BEAM	OPP.	OPPOSITE	SIM.	SIMILAR	W.	WIDTH		
C.L.O.	CLOSET	ELEC.	ELECTRICAL	HDR.	HORIZONTAL	PLT.	PLATE	S.L.T.	SKY LT.	W/	WITH		
CLG.	CEILING	EXT.	EXTERIOR	HR.	HOUR	PLAS.	PLASTER	SPEC.	SPECIFICATION	W.C.	WATER CLOSET		

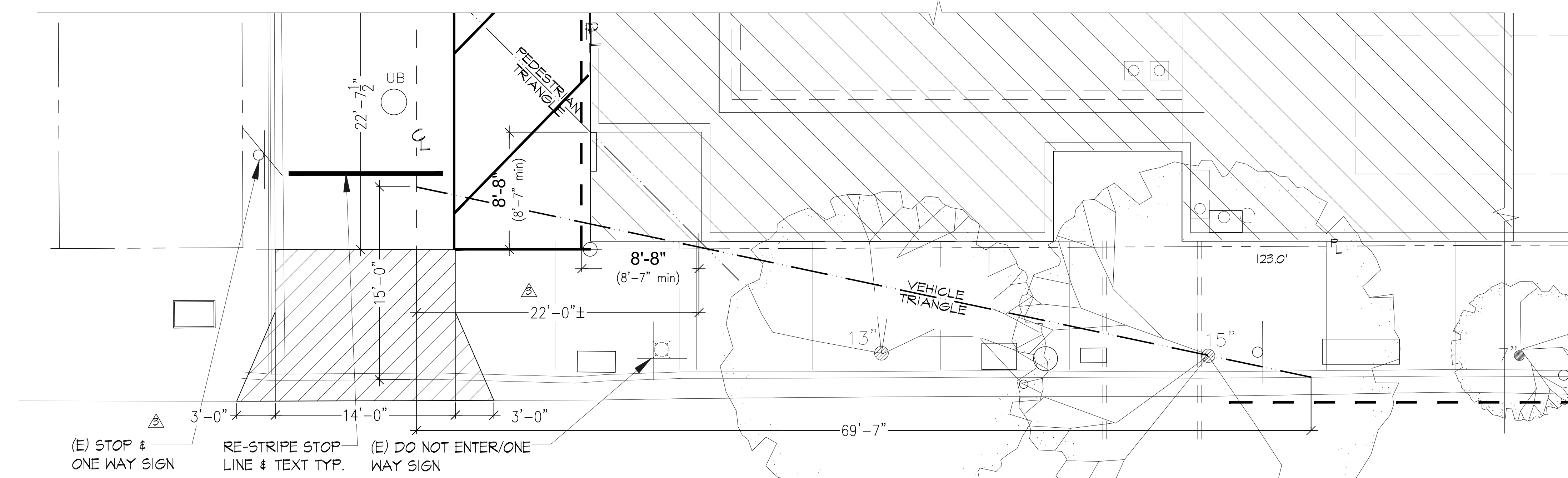
SITE LEGEND

- PROPERTY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- NEW ELECT. POLE
- ⊕ NEW GAS METER
- ⊕ ELEC. SERV. & METER
- ⊕ WATER METER
- ⊕ SEWER ACCESS



PROPOSED SITE PLAN
SCALE: 1"=20' ①

- GENERAL SITE IMPROVEMENT NOTES (REFER TO CIVIL DWGS)**
- RELOCATE (E) UTILITY VAULTS/BOXES TO (N) SIDEWALK CURBS OR L.S. STRIPS
 - PROVIDE NEW CURB, GUTTER, DRIVEWAY, AND SIDEWALK ALONG VILLA STREET AT FRONTAGE OF (N) ADDITION
 - GRIND AND OVERLAY STREET ALONG (N) ADDITION FRONTAGE
 - REPLACE (E) VILLA ST./WILD CHERRY LANE DRIVEWAY
 - REPAINT (E) RED CURB ALONG VILLA ST. & (N) RED CURB ALONG WILD CHERRY LANE FROM BACK OF SIDEWALK AND 25 FT. NORTH



TRAFFIC VISIBILITY DIAGRAM
REFER TO CIVIL ENG. GRADING PLAN SHT. C3 SCALE: 3/16"=1' ②

PROPOSED SITE PLAN NOTES

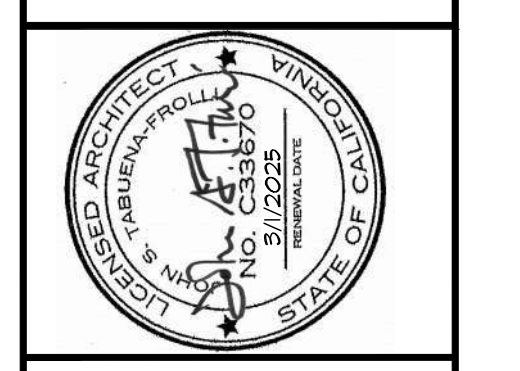
- EXISTING JURIAN BUILDING**
- EXISTING STRUCTURE TO BE REPAIRED AS REQ'D - PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF PROJECT.
 - REPAIR FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E) AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
 - (E) EXTERIOR DR'S, SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 - PRESERVE & PROTECT (E) RUNNING TRIM, MOLDING, DECORATIVE MOLDINGS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOLDING PROFILES.
 - PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAIRED PER SPECS.
 - PRESERVE (E) INTERIOR TRIM, CASING, W/O.W. & DOOR TRIM. REPAIR AS REQ'D.
 - PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - (E) WINDOWS - UNLESS SCHEDULED FOR REMOVAL, ALL WDW'S. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW'S. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.
- NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)**
- VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
 - INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
 - INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
 - INSTALL (N) GYPBD NAILED W/ DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP. BD. TYP.
 - INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512. WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING. TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
 - PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP.
- WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
- FLOORS R-XX(TBD) MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
 - COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/ OWNER.
 - PROVIDE (N) LOW-SLOPED ROOF @ (N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER COND'S. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
 - INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER. TYP.
 - WINDOWS:
(N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS. PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING. TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
 - PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
 - PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR'S. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE. R.W. DR. MODEL CHOICES W/ HIST. ARCH. PRIOR TO PURCHASE. PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1128A.3.3, FIG. 11A-8(A) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR'S. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
 - INSTALL (N) FLR. FINISHES W/ MATL. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC. BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG. SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
 - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/ OWNER.
 - PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.
 - @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/ BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL L.O.C.S. AND MEP ROOMS IN FIELD W/ OWNER. TYP.
 - PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/ 5/8" TYPE X 1-HR RATED GYP. BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS. TYP. REFER TO FLOOR PLAN & SECTIONS (bld).
 - PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
 - PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION. W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP.. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
 - PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL. MIN. READ LEFT-RIGHT (NOT ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
 - PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
 - AT 2ND STORY PROVIDE ATTIC LADDER W/ MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
 - REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

SITE LEGEND

- PROPERTY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- NEW ELECT. POLE
- NEW GAS METER
- ELECT. SERV. & METER
- WATER METER
- SEWER ACCESS

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANNG SUBMITL
06/20/23	FORMAL PLANNG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEVS. OPTS A & B
05/03/24	PLANNG RESUBMITL SUBMITL
07/17/24	PLANNG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041

APN: 158-15-013

DRAWN
SAE/GTF/JTF

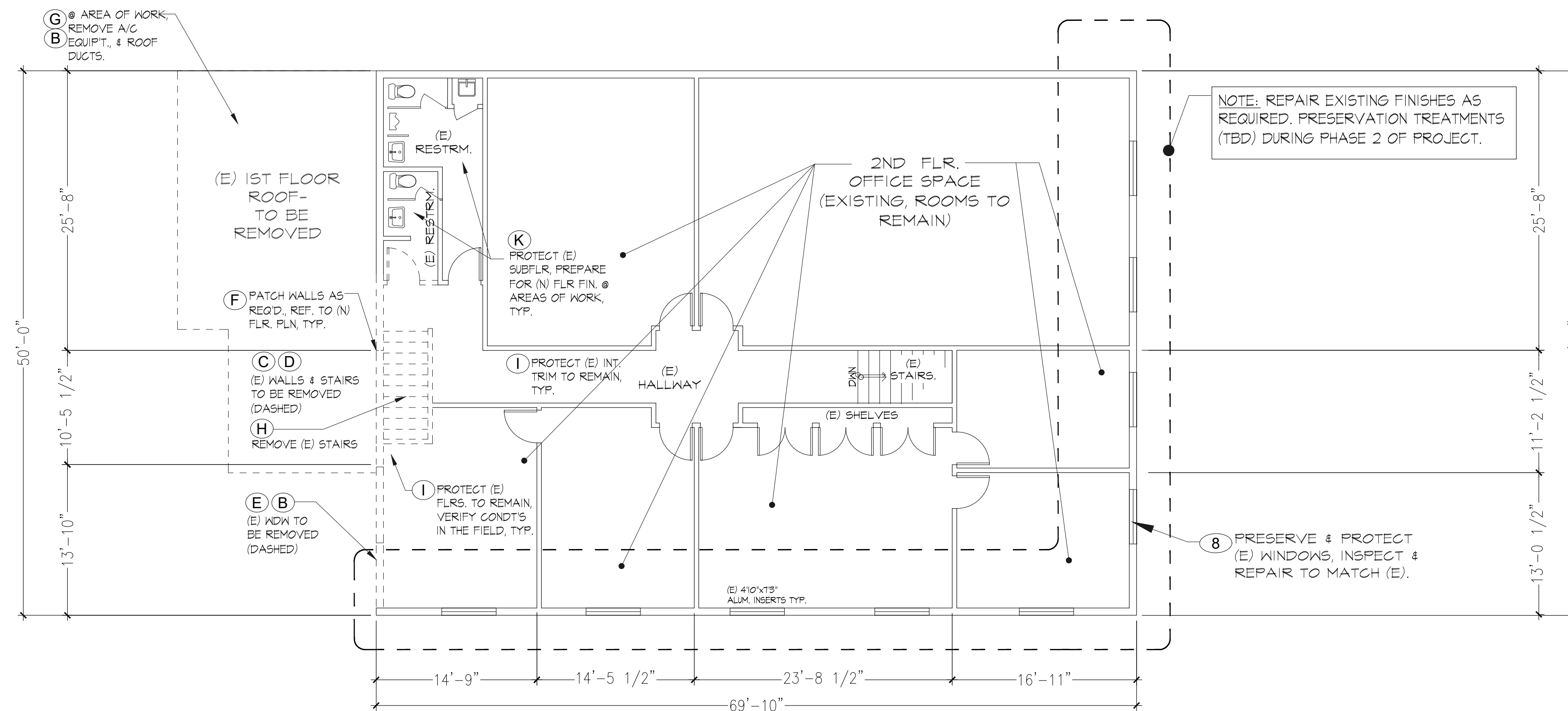
DATE
07/17/24

SCALE
AS NOTED

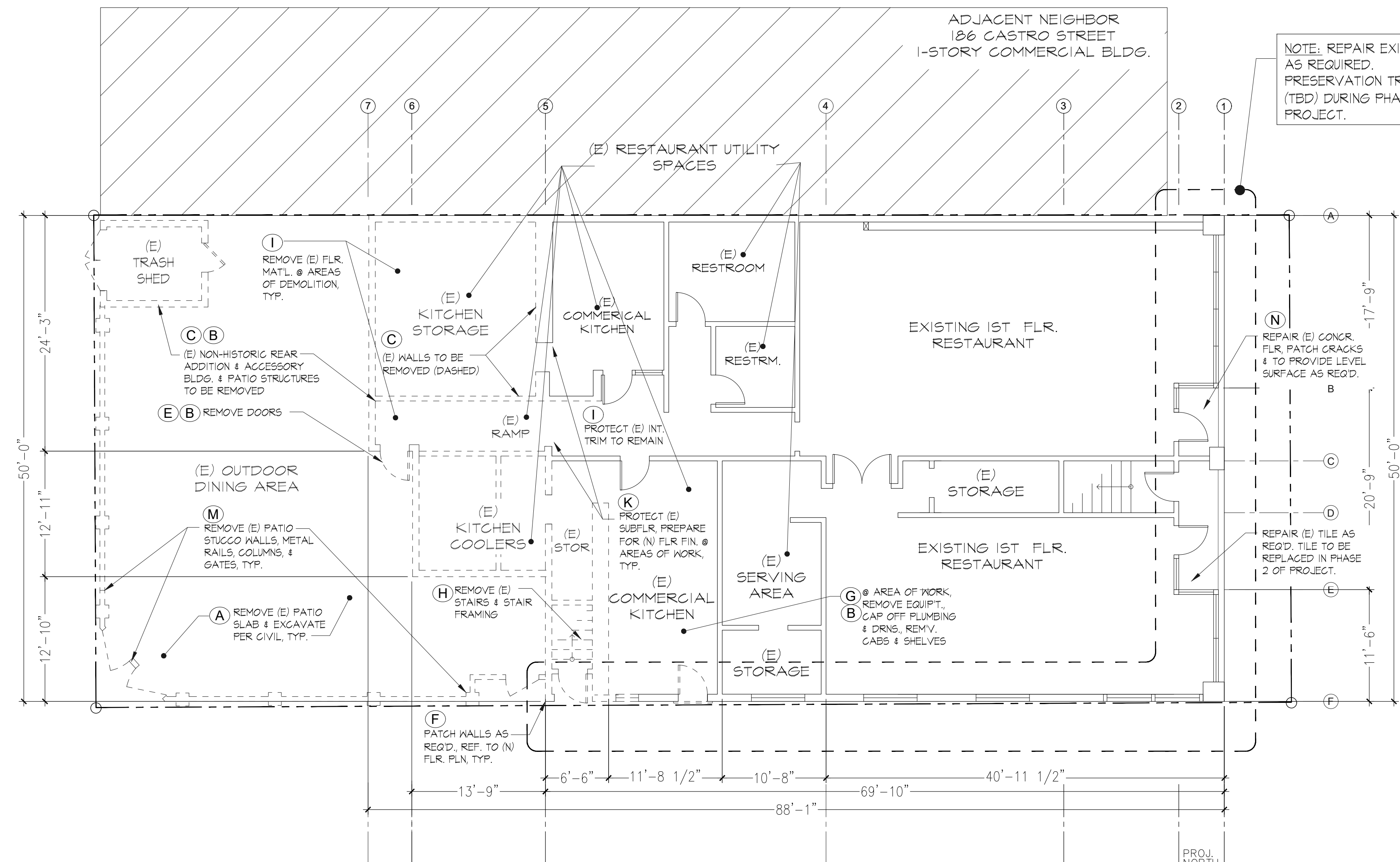
PROJECT NO.
21.26

PROJECT SITE PLANS-PROPOSED

SHEET NO.
A1.1



**EXISTING & DEMOLITION
2ND STORY FLOOR PLAN** SCALE: 3/16"=1' **2**



**EXISTING & DEMOLITION
1ST STORY FLOOR PLAN** SCALE: 3/16"=1' **1**

KEYED DEMO NOTES (AREA OF (N) ADDITION)

- (A) REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWG. AD.1 & CIVIL ENG. DWGS.
- (B) SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- (C) SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK, INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
- (D) - DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY-APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT. - PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MATLS AS APPROVED BY OWNER
- (E) CAREFULLY REMOVE (E) WDWs. & DRs. PER DEMO PLAN. PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOC'S.
- (F) AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) STUCCO CLADDING TO MATCH (E). OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK. INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- (G) CAREFULLY REM & SALVAGE (E) CABS, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT'S. STORE FOR POSS. REUSE, DONATION OR RESALE. VERIFY W/ HIST. ARCH. & OWN. TYP.
- (H) REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV. PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS, TYP.
- (I) PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN. SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDWs & DRs. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED. MILLED TO MATCH (E). VERIFY (N) & (E) OPENINGS TO REMAIN, PER (N) PLAN, TYP.
- (J) PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING. REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- (K) PROTECT (E) SUB-FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRING. FOR REFINISHING. VERIFY W/ OWNER.
- (L) (E) ROOF SURFACE TO BE INSPECTED. VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D. PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING. REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E). VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- (M) REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.

JURIAN BUILDING NOTES

- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
 - 3. (E) EXTERIOR DRs., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL. @ (E) PARAPET WALLS. REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL. ALL WDWs. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRIM. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDWs, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

FLOOR PLAN LEGEND

(N)	NEW	ACQST. INSUL.
(E)	EXISTING	RAILING
(R)	RELOCATE	TILE SURFACE
(V)	VERIFY	SEE ELEVATIONS
(N) FULL HEIGHT WALL (WOOD FRAMED)		KEYED NOTE SYMBOL
(E) WALLS TO BE REMOVED		CODE NOTE
36" LOW HEIGHT WALL		DOOR SYMBOL REFER TO DOOR SCHED.
(N) WINDOW		WINDOW SYMBOL REFER TO WINDOW SCHED.
(N) DOOR		SMOKE & CARBON MONOXIDE DETECTOR ALARM
WINDOW TO BE REMOVED		INT. ELEVATION KEY
LOUVER		

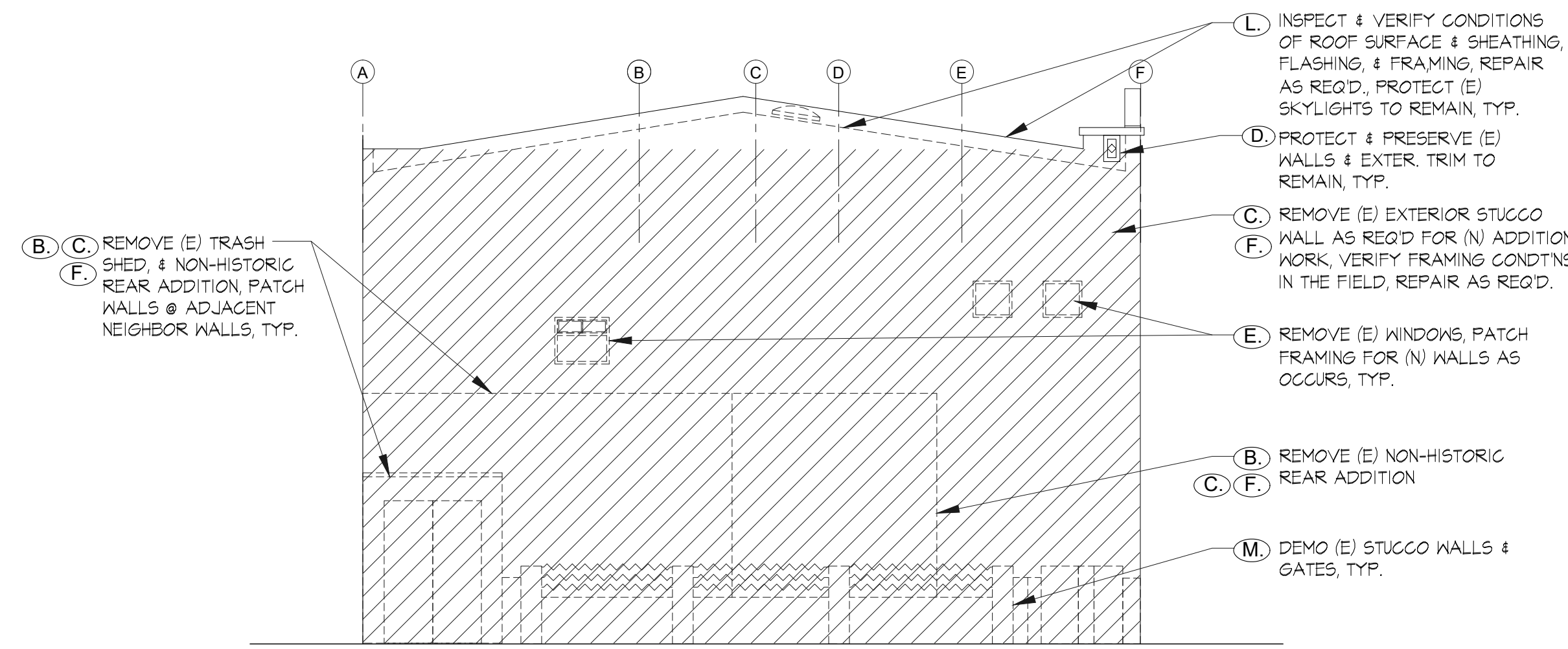
APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE: 07/17/24
11/21/22 PRELIM. PLANNING SUBMITL.
03/20/23 FORMAL PLANNING SUBMITL.
06/20/23 FORMAL PLANNING RESUBMITL.
09/01/23 FORMAL PC REVS
10/16/23 FORMAL PC REVS 2
11/20/23 DRC SUBMITL.
01/16/24 DRC RESP. ELEV. OPTS A & B
05/03/24 PLANNING RESUBMITL. SUBMITL.
07/17/24 PLANNING - MECH. WELL REVS.

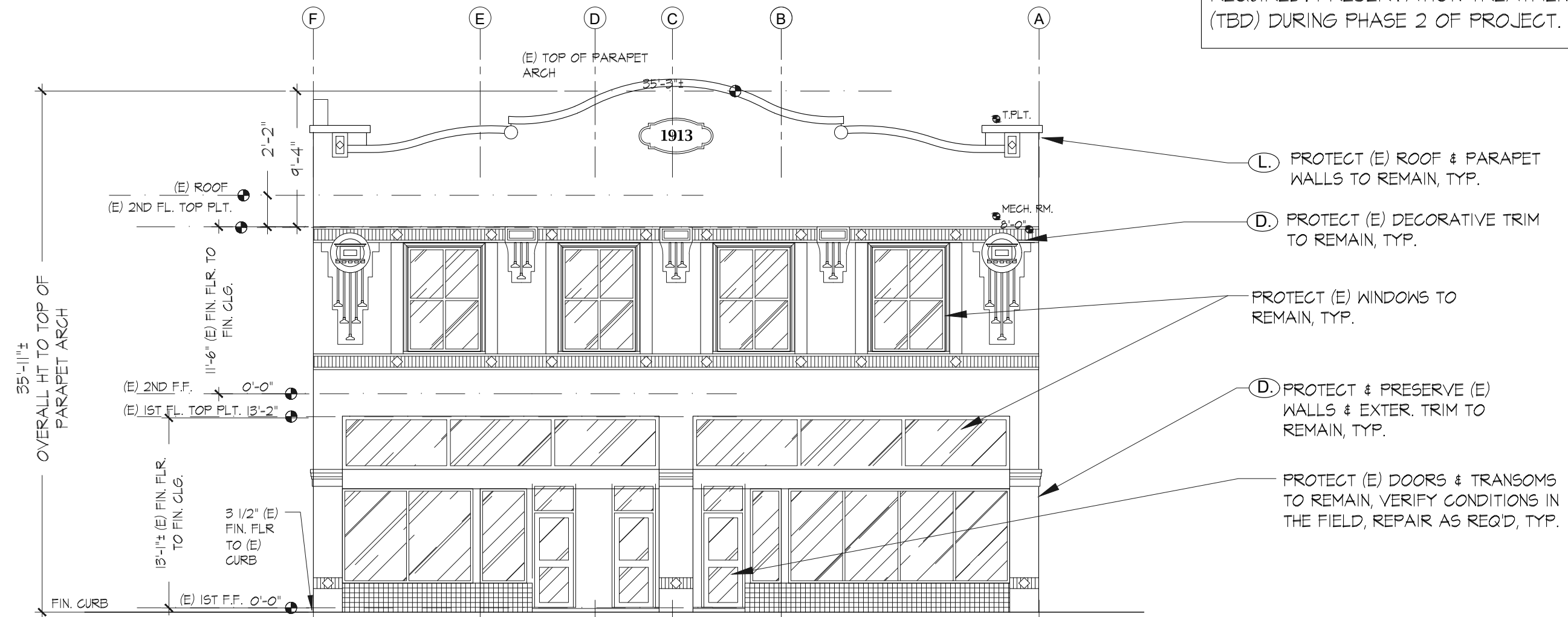
STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION
JOHN S. TARGIENA-FROLLI, AIA
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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION
OWNER: CHEE-YEE CHONG, (DBA HANSON AMERIC LLO)
PROJECT SITE: 194-198 CASTRO STREET, MOUNTAIN VIEW, CA 94041
APN: 158-15-013

EXISTING/ DEMO FLOOR PLANS
DRAWN: SAE/GTF/JTF
DATE: 07/17/24
SCALE: AS NOTED
PROJECT NO. 21.26
SHEET NO. **A2.0**



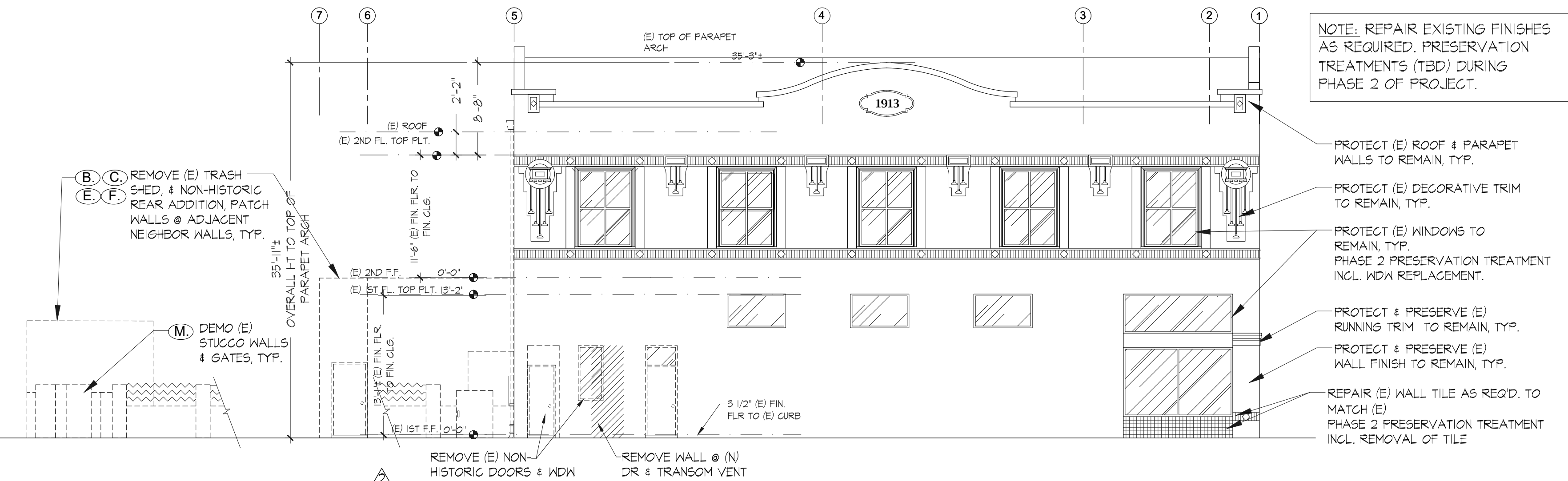
(E) REAR ELEVATION (WILD CHERRY LN.) 3
SCALE: 1/8"=1'



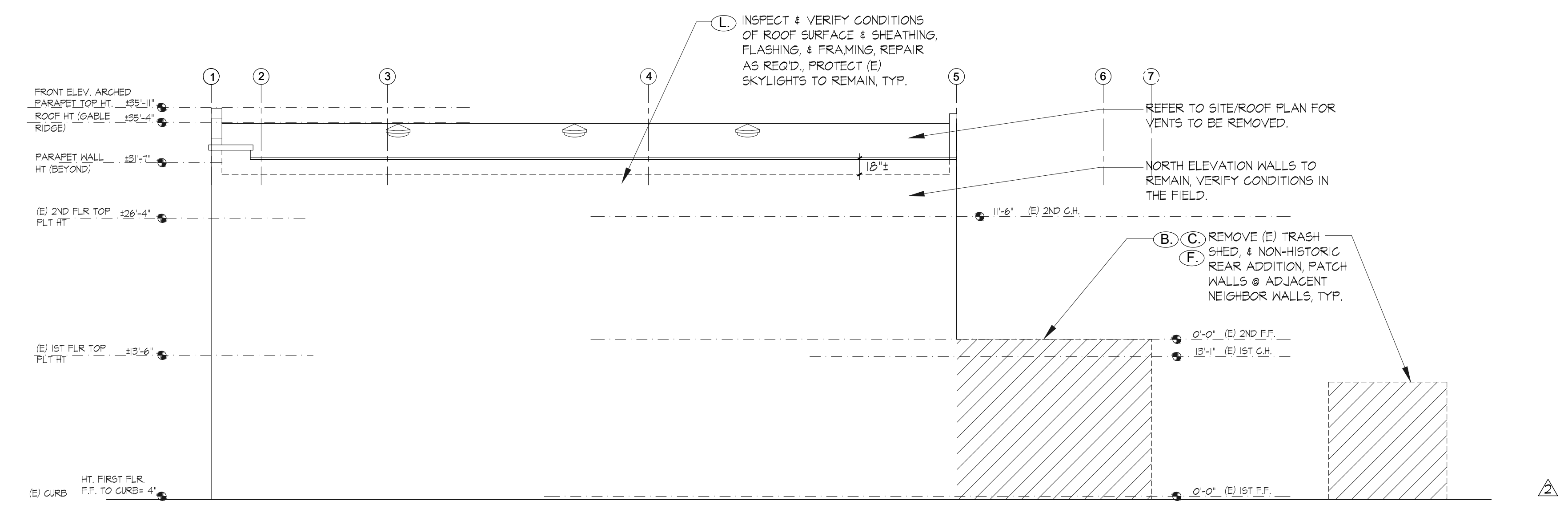
(E) FRONT ELEVATION (CASTRO ST.) 1
SCALE: 1/8"=1'

1. NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.

NOTE: REPAIR EXISTING FINISHES AS REQUIRED. PRESERVATION TREATMENTS (TBD) DURING PHASE 2 OF PROJECT.



(E) LEFT ELEVATION (VILLA ST.) 2
SCALE: 1/8"=1'



(E) RIGHT ELEVATION 4
SCALE: 1/8"=1'

KEYED DEMO NOTES (AREA OF (N) ADDITION)

- A. REMOVE (E) PATIO SLAB & EXCAVATE AS REQ'D FOR (N) ADDITION. VERIFY GRADING AND FOUNDATION CONDITIONS AT NEW SITE LOCATION. ENSURE FIN. FLR. HT. REQUIREMENTS. REFER TO SITE DWG. A0.1 & CIVIL ENG. DWGS.
- B. SALVAGE REMOVED MATERIALS FOR REUSE BY CITY APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- C. SELECTIVELY REMOVE (E) WALL FINISH ONLY IN AREAS AS REQ'D TO INCLUDE: STUCCO, FRAMING, DRYWALL, WIRING, AND INSULATION. FOR (N) WORK, INSPECT FRAMING COND. & REPAIR & PATCH AS NEEDED. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & CONDITIONS IN THE FIELD PRIOR TO DEMOLITION, TYP.
- D. - DO NOT REMOVE (E) TRIM OR ARCH. COMPONENTS FROM SITE WITHOUT APPROVAL FR. HIST. ARCHITECT. IF APPROVED FOR REMOVAL, SALVAGE REMOVED MATERIALS FOR REUSE BY CITY-APPROVED SALVAGE / RESALE COMPANY PER GREEN BUILDING REQUIREMENTS. NO MATERIAL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY WITHOUT PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT. - PROV. SECURE ON/OFF-SITE STORAGE OF SALVAGE MATLS AS APPROVED BY OWNER
- E. CAREFULLY REMOVE (E) WDWs. & DRs. PER DEMO PLAN. PATCH & REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOCs.
- F. AT EXTERIOR WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL w/ (N) STUCCO CLADDING TO MATCH (E). OVER BUILDING WRAP OR 2 LAYERS OF BUILDING PAPER AT PATCHED AREA TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. REMOVE WALLS WHERE REQ'D FOR (N) WORK, INSTALL (N) FINISHES AND SHEAR PLY PER DETAILS AND SCHEDULES TYP.
- G. CAREFULLY REM. & SALVAGE (E) CABS, BUILT-IN SHELVING UNITS, COUNTERS & PLUMBING & ELECT. FIXTURES @ (E) KIT. S. STORE FOR POSs. REUSE. DONATION OR RESALE. VERIFY W/ HIST. ARCH. & OWN'R. TYP.
- H. REMOVE (E) INTERIOR STAIRS & FRAMING @ AREA OF WORK. REFER TO (N) FLR. PLANS FOR LOC. OF (N) STAIRS & ELEV. PATCH INTERIOR WALLS AS REQ'D TO MATCH REMAINING (E) WALLS. TYP.
- I. PROTECT & REPAIR (E) INTERIOR TRIM TO REMAIN. SELECTIVELY REMOVE (E) INT. TRIM ONLY AT AREAS OF (N) WORK FROM WDWs & DRs. PRESERVE TRIM FOR RE-USE AT (N) INTER. OPENINGS. PROV. (N) TRIM ONLY IF REQUIRED- MILLED TO MATCH (E). VERIFY (N) & (E) OPENINGS TO REMAIN, PER (N) PLAN, TYP.
- J. PRESERVE & PROTECT (E) INTERIOR FLOOR FINISHES AT AREAS ADJACENT TO (N) WORK. VERIFY CONDITIONS OF (E) FLOORING & FLR. FRAMING. REPLACE W/ IN-KIND MATERIAL AS REQUIRED.
- K. PROTECT (E) SUB-FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK. PREPARE T&G HWD. FLRNG. FOR REFINISHING. VERIFY W/ OWNER.
- L. (E) ROOF SURFACE TO BE INSPECTED. VERIFY CONDITIONS AND PERFORM REPAIRS AS REQ'D. PROTECT (E) FRAMING TO REMAIN EXCEPT AS REQ'D FOR REPAIRS & INSTALLATION OF (N) RF. FLASHING, DRAINAGE & EQUIP. AS NEEDED. VERIFY CONDITION OF SHEATHING AND FRAMING. REPAIR W/ NEW IN-KIND MATERIALS TO MATCH (E). VERIFY W/ ARCHITECT PRIOR TO INSTALLATION.
- M. REMOVE (E) PATIO STUCCO WALL, GATES, & METAL RAILS.

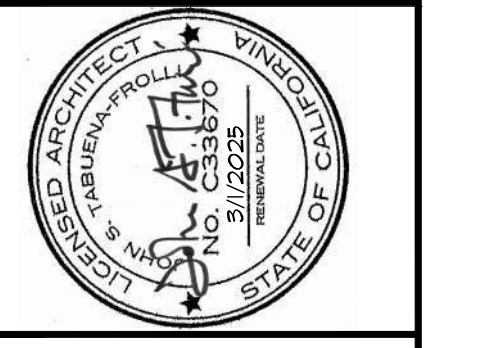
JURIAN BUILDING NOTES

- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D- PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §3033 REQ'S.
 - 3. (E) EXTERIOR DRs., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS. REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER. IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL @ (E) PARAPET WALLS. REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWs. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDWs, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMIT.
03/20/23	FORMAL PLANG SUBMIT.
06/20/23	FORMAL PLANG RESUBMIT.
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMIT.
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANG RESUBMIT. SUBMIT.
07/17/24	PLANG - MECH. WELL REVS.



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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041

APN: 158-15-013

DRAWN
SAE/GTF/JTF

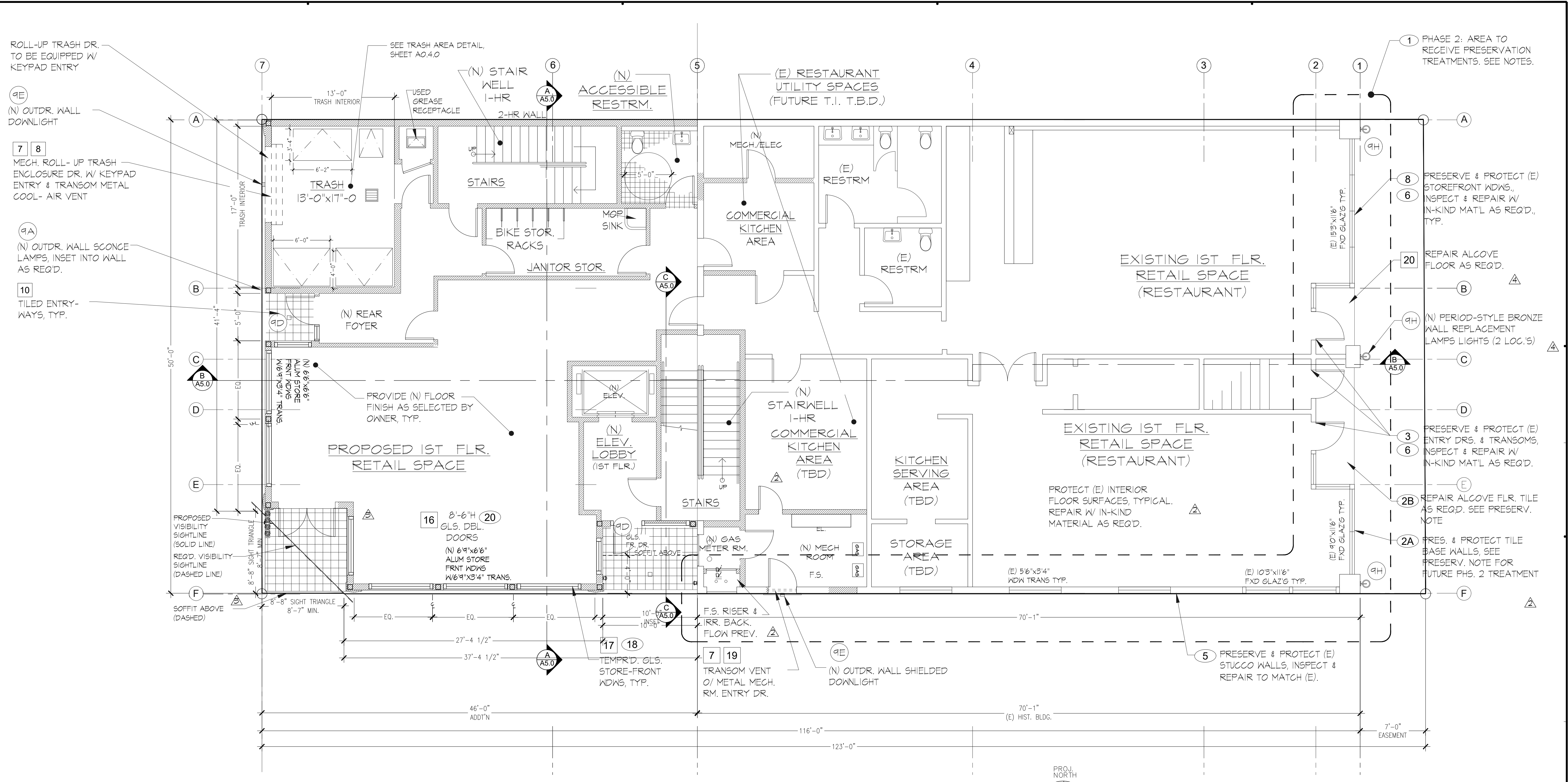
DATE
07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

EXISTING/ DEMO ELEVATIONS

SHEET NO.
A2.1



(N) FIRST FLOOR PLAN
 SCALE: 3/16"=1'
 1

NEW CONSTRUCTION KEYED NOTES

- NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)**
- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
 - 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
 - 11. INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
 - 12. INSTALL (N) GYPBD NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP BD. AT ALL WET WALLS. REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD. TYP.
 - 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512. WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
 - 14. PROVIDE INSULATION & INSTALL AS REQUIRED:
 (NOTE: USE FORMALDEHYDE FREE)
 - CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP.
 - WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
 - FLOORS R-XX(TBD) MIN. BATT INSUL. TYP.
 - PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
 - 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
 - 16. PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
 - 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
 - 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS. WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP.
 (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
 - 19. PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
 - 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE, PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT. 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
 - 21. INSTALL (N) FLR. FINISHES W/ MATL. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG'S SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
 - 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE. VERIFY COLOR W/OWNER.
 - 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.
 - 24. @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/BACKSLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LCLS. AND MEP REQ'MTS. IN FIELD W/OWNER, TYP.
 - 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (tbd).
 - 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
 - 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASH'G. AND 4" DIA. DOWNSPOUTS TYP. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
 - 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL, MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED), NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2.
 - 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
 - 30. AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
 - 31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

JURIAN BUILDING NOTES

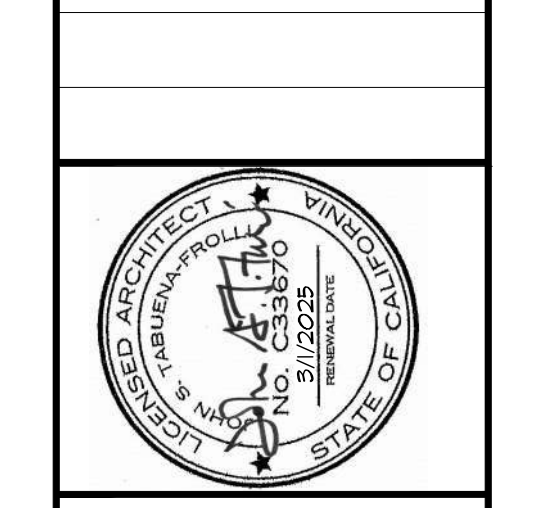
- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D- PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E). AS REQ'D, VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB (§303) REQ'S.
 - 3. (E) EXTERIOR DR. S, SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER, IF REQ'D, REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF. MATL. @ (E) PARAPET WALLS, REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

DRAWN	SAE/GTF/JTF
DATE	07/17/24
SCALE	AS NOTED
PROJECT NO.	21.26
PROPOSED FIRST FLOOR PLAN	
SHEET NO.	
A3.0	

HISTORIC JURIAN BLDG
 ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANG SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEVS. OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
 DESIGN - CONSULTING - PRESERVATION

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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

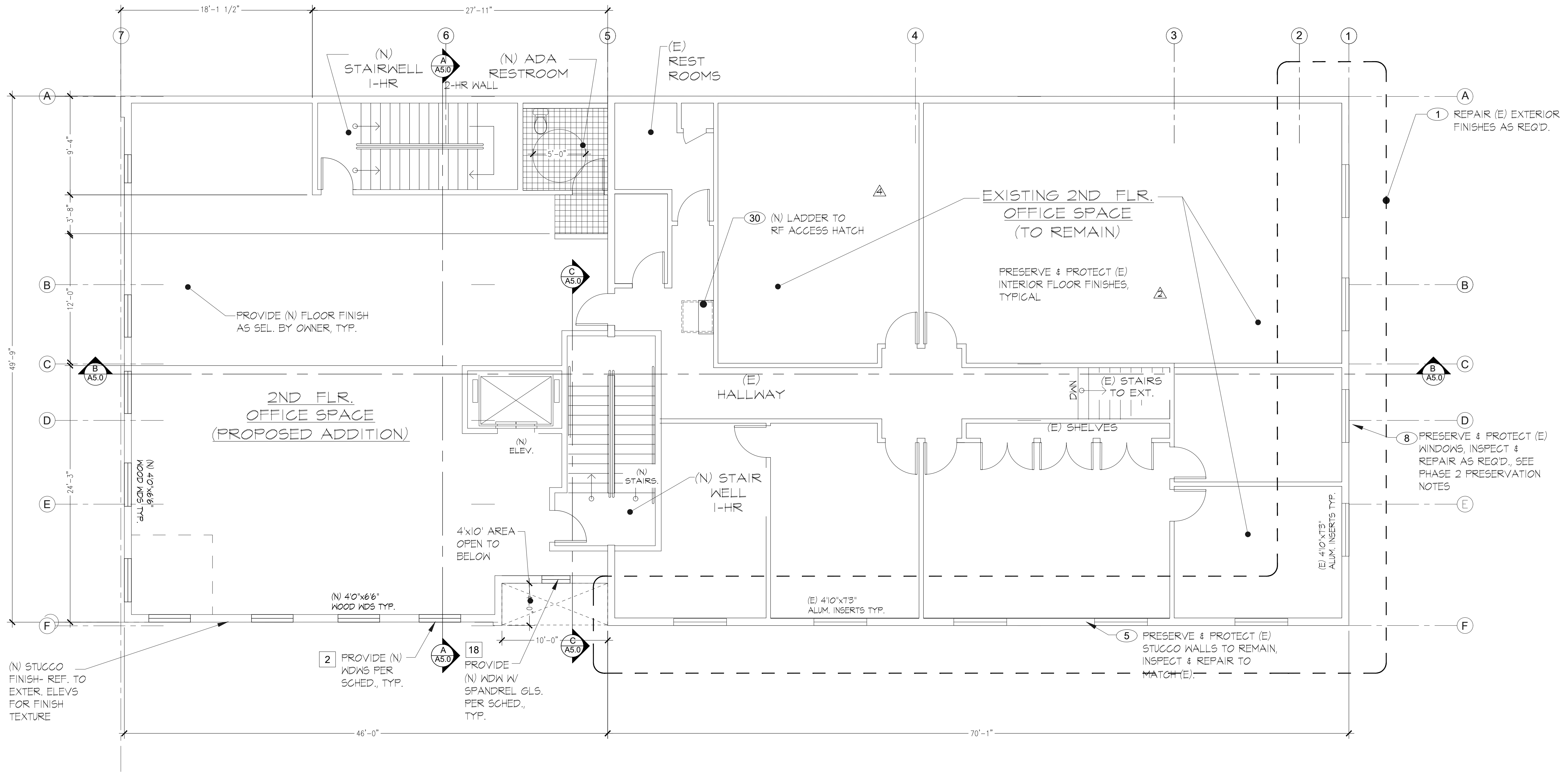
PROJECT SITE:
 194-198 CASTRO STREET,
 MOUNTAIN VIEW, CA 94041

APN: 158-15-013

PROPOSED FIRST FLOOR PLAN

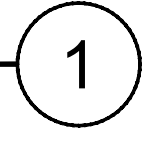
SHEET NO.

A3.0



(N) SECOND FLOOR PLAN

SCALE: 3/16"=1'



NEW CONSTRUCTION KEYED NOTES

NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION, COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION, REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYPBD NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN, FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD., TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN, OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING, TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED: (NOTE: USE FORMALDEHYDE FREE) - CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP. - WALLS R-XX(TBD) MIN. BATT INSUL. TYP. - FLOORS R-XX(TBD) MIN. BATT INSUL. TYP. - PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQS. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D, VERIFY FINAL LOC. IN FIELD W/OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION, INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF, REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS W/ (N) 24 GSM FASCIA GUTTER TO MATCH (E), (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.

- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK, PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC., PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING, TYP. (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CBC SECT. 308.4.5
- 19. PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
- 20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DRs. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES, REFER TO DOOR SCHEDULE, RVW. DR. MODEL CHOICES W/ HIST ARCH. PRIOR TO PURCHASE, PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DRs. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 21. INSTALL (N) FLR. FINISHES W/ MAT'L. AS SEL. BY OWNER, VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MAT'L. AS SPEC. BY OWNER, PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG. & SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRADE, VERIFY COLOR W/OWNER.
- 23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS, PER CBC SECT. 3002.4.

- 24. @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK, VERIFY FINAL LCLS. AND MEP REQ'NTS. IN FIELD W/OWNER, TYP.
- 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1-HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS, TYP. REFER TO FLOOR PLAN & SECTIONS (ibid).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE, PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP., VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN., READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED), NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
- 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT, PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
- 30. AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
- 31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

JURIAN BUILDING NOTES

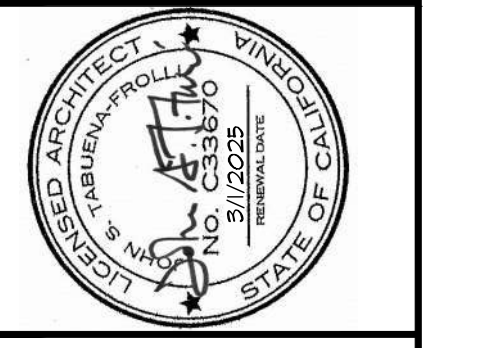
EXISTING JURIAN BUILDING

- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
- 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D, REPLACE BROKEN TILES TO MATCH (E), AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
- 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S.
- 3. (E) EXTERIOR DRs., SIDELIGHT, AND TRANSOMS TO BE RETAINED, VERIFY CONDITIONS IN THE FIELD, REPLACE OR REPAIR AS REQ'D.
- 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS, PARAPET WALLS, REPAIRS AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- 5. PROTECT (E) STUCCO CLADDING, ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE, PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
- 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
- 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN, INSPECT RF. MAT'L @ (E) PARAPET WALLS, REPAIR AS REQ'D., PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
- 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDWs. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE, VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDWs, T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

DRAWN	SAE/GTF/JTF
DATE	07/17/24
SCALE	AS NOTED
PROJECT NO.	21.26
PROPOSED SECOND FLOOR PLAN	
SHEET NO.	
A3.1	

HISTORIC JURIAN BLDG.	
ISSUE DATE	
11/21/22	PRELIM. PLANNING SUBMITL.
03/20/23	FORMAL PLANG SUBMITL.
06/20/23	FORMAL PLANG RESUBMITL.
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL.
01/16/24	DRC RESP. ELEVS. OPTS A & B
05/03/24	PLANG RESUBMITL. SUBMITL.
07/17/24	PLANG - MECH. WELL REVS.



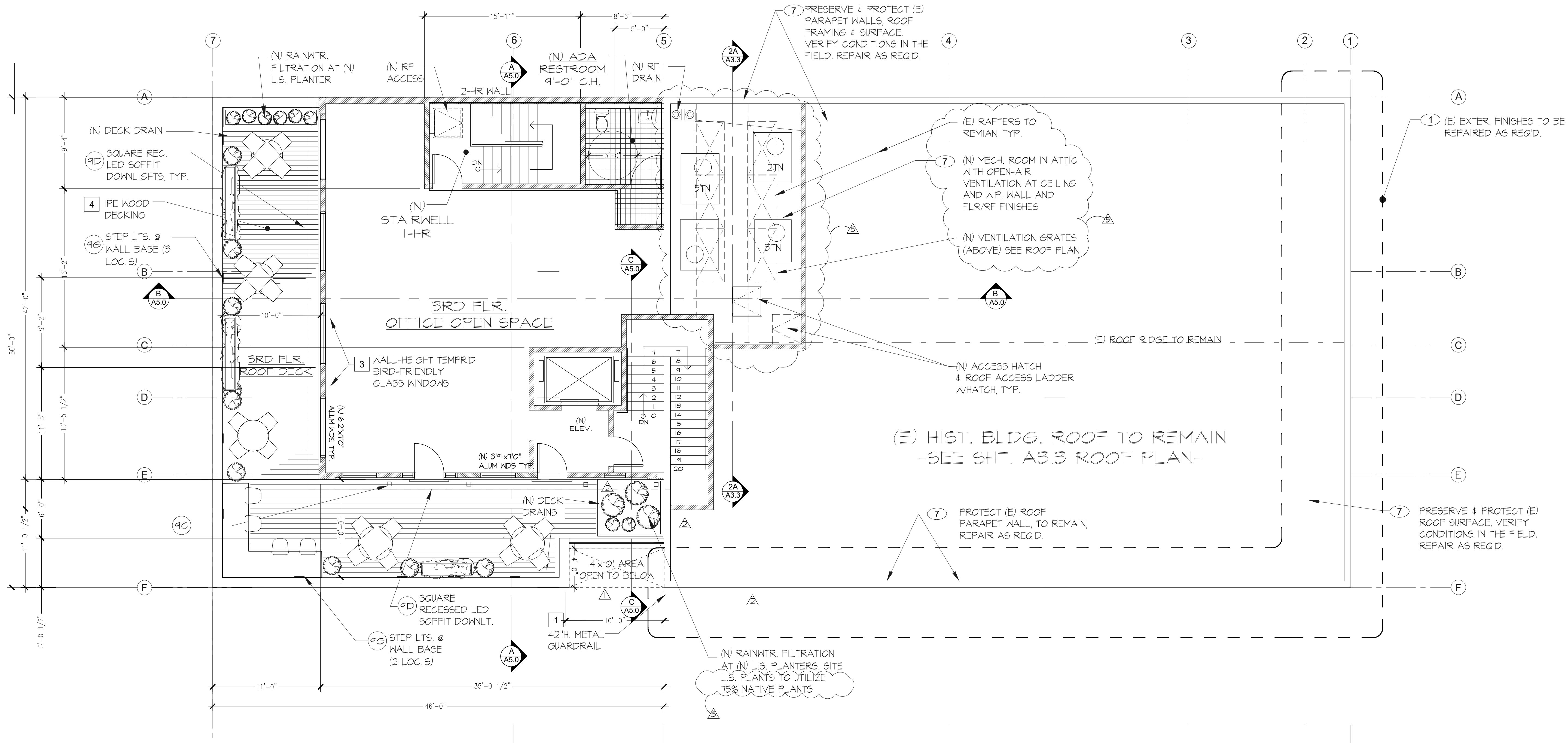
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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION
PROJECT SITE:
 194-198 CASTRO STREET,
 MOUNTAIN VIEW, CA 94041
 APN: 158-15-013

DRAWN
SAE/GTF/JTF
DATE
07/17/24
SCALE
AS NOTED
PROJECT NO.
21.26

PROPOSED SECOND FLOOR PLAN
 SHEET NO.
A3.1



(N) 3RD FLOOR PLAN & (E) JURIAN ATTIC
 SCALE: 3/16"=1'
 1

NEW CONSTRUCTION KEYED NOTES

- 24. @ (N) RESTROOMS. INSTALL BATHRM VANDY. COUNTER TOP w/BACKSPASH. AND TOILETS. AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LOGS. AND MEP REQMENTS. IN FIELD w/OWNER, TYP.
- 25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION w/5/8" TYPE X 1HR RATED GYP BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS. TYP. REFER TO FLOOR PLAN & SECTIONS (ibid).
- 26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
- 27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION. W/ (N) 24GA. GSM GUTTER FLASHG. AND 4" DIA. DOWNSPOUTS TYP. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
- 28. PROVIDE (N) ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL. MIN. READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING PER CBC SECT. 501.2
- 29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIME ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
- 30. AT 2ND STORY PROVIDE ATTIC LADDER W/MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
- 31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

- 17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR. OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
- 18. (N) FIRST & SECOND FLOORS: @ (N) ADDITION. INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS. WHERE OCCURS. PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING. TYP.
- 19. (N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE. INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW w/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
- 20. PROVIDE (N) CUSTOM METAL PANELS w/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEVS. INSTALL PER MFG. INSTRUCTIONS.
- 21. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR. w/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS w/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE. RWV. DR. MODEL CHOICES w/ HIST ARCH. PRIOR TO PURCHASE. PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3. FIG. 11A-8-A(c) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR. w/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
- 22. INSTALL (N) FLR. FINISHES w/ MATL. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND w/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MATL. AS SPEC BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG'S SPEC. TYP. COORD. SUBFLOOR PREP. w/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
- 23. PAINT NEW INTERIOR WALLS AND TRIM w/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR w/OWNER
- 24. PROVIDE (N) ELEVATOR LIFT w/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS. PER CBC SECT. 3002.4.

NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

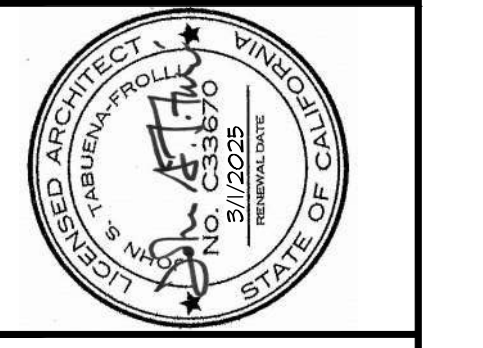
- 9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES w/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
- 10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- 11. INSTALL (N) METAL STUD FRAMING w/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL ADDITION. REFER TO DETAILS & STRUCT. DWGS.
- 12. INSTALL (N) GYPBD NAILED w/DRYWALL SCREWS @ 6" O.C. EDGES. 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS. REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP BD. TYP.
- 13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512. WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING. TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
- 14. PROVIDE INSULATION & INSTALL AS REQUIRED: (NOTE: USE FORMALDEHYDE FREE) - CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP. - WALLS R-XX(TBD) MIN. BATT INSUL. TYP. - FLOORS R-XX(TBD) MIN. BATT INSUL. TYP. - PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
- 15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. (N) VENTIL. MIN. LOC. IN FIELD w/OWNER.
- 16. PROVIDE (N) LOW-SLOPED ROOF O/(N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED, REPAIR GUTTERS w/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE. DIRECT TO YARD. SEE SITE PLAN.

JURIAN BUILDING NOTES

- EXISTING JURIAN BUILDING**
- 1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D - PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS w/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES. FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) w/ REPLICA TILE TO MEET USAB §303 REQ'S.
 - 3. (E) EXTERIOR DR. S., SIDELIGHT, AND TRANSOMS TO BE RETAINED. VERIFY CONDITIONS IN THE FIELD. REPLACE OR REPAIR AS REQ'D.
 - 4. PRESERVE & PROTECT (E) RUNNING TRIM, MOULDING, DECORATIVE MEDALLIONS. REPAIRS TO BE VERIFIED W/ ARCHITECT & OWNER. IF REQ'D. REPAIRED TO MATCH THE (E) HIST. MOULDING PROFILES.
 - 5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS. AND REPAINTED PER SPECS.
 - 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM. REPAIR AS REQ'D.
 - 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MATL. @ (E) PARAPET WALLS. REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION. ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 - 8. (E) WINDOWS - UNLESS SCHEDULED FOR REMOVAL. ALL WDW. TO BE INSPECTED AND REPAIRED. (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRTMT. TO INCLUDE WDW. REPLACEMENT w/ LIKE-KIND OF THE ORIG. WOOD WDW. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

APPROVAL STAMP AREA

11/21/22	PRELIM. PLANNING SUBMIT
03/20/23	FORMAL PLANNING SUBMIT
06/20/23	FORMAL PLANNING RESUBMIT
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMIT
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANNING RESUBMIT SUBMIT
07/17/24	PLANNING - MECH. WELL REVS.



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HISTORIC JURIAN BLDG. ADDITION/REHABILITATION

PROJECT SITE:
 194-198 CASTRO STREET,
 MOUNTAIN VIEW, CA 94041
 APN: 158-15-013

DRAWN	SAE/GTF/JTF
DATE	07/17/24
SCALE	AS NOTED
PROJECT NO.	21.26

PROPOSED THIRD FLOOR PLAN

SHEET NO.
A3.2

NEW CONSTRUCTION KEYED NOTES

NEW CONSTRUCTION NOTES (3-STORY OFFICE/RETAIL ADDITION)

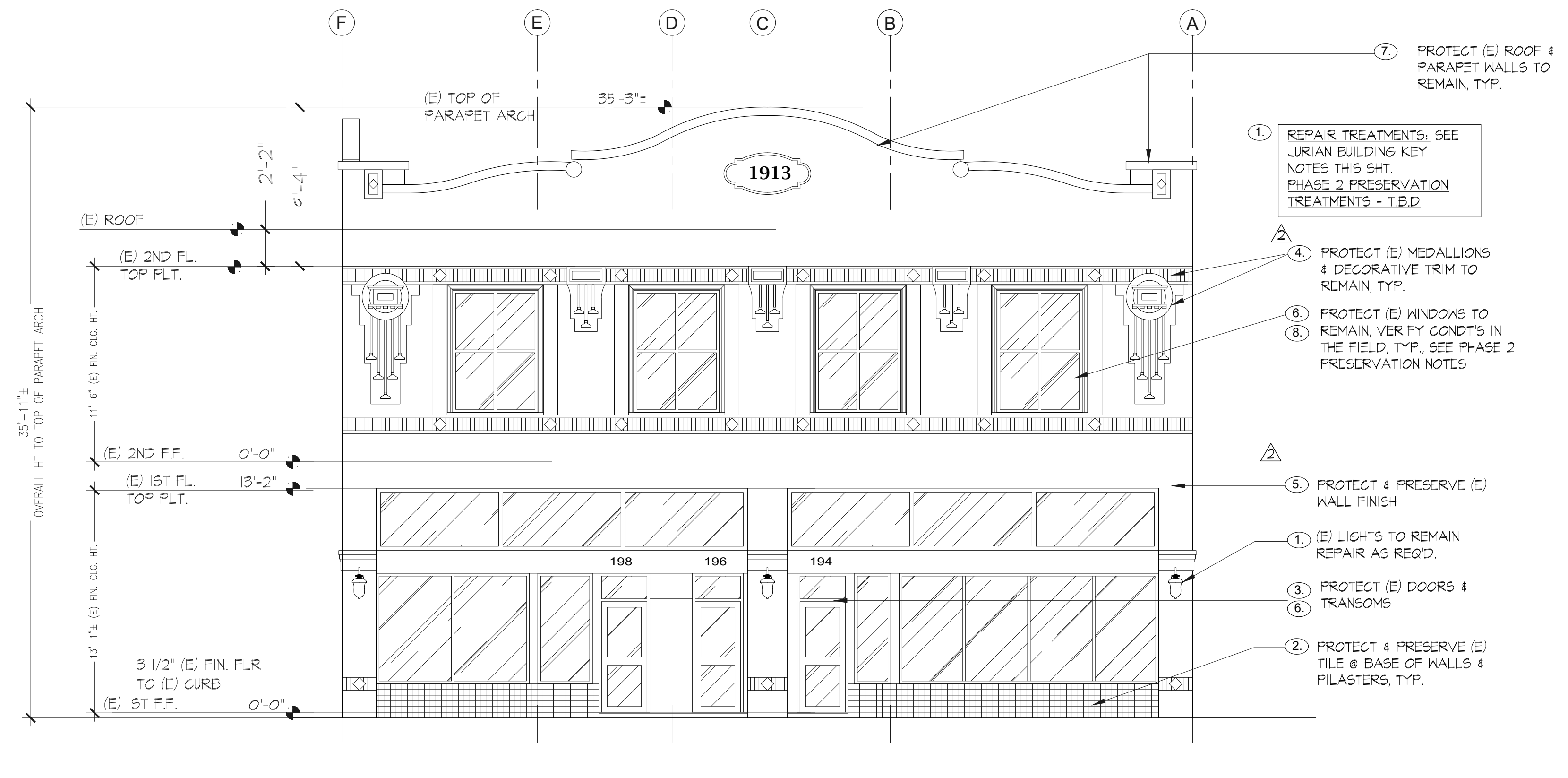
9. VERIFY AREA OF PAVING REMOVAL & EXCAVATION REQUIRED FOR FOUNDATION OF (N) ADDITION. COORDINATE UNDERGROUND SUPPLY LINES W/ (E) & PROVIDE CONNECTIONS AS REQ'D FOR (N) FIXTURES.
10. INSTALL (N) WALLS FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION AS REQ'D. ENSURE ALL (E) AREA TO REMAIN IS PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
11. INSTALL (N) METAL STUD FRAMING W/ STRUCT 1 SHEAR PANELS WHERE NOTED ON STRUCT. DWGS. PROVIDE (N) EXPANSION JOINT WHERE (E) BUILDING ATTACHES TO (N) OFFICE/RETAIL. ADDITION. REFER TO DETAILS & STRUCT. DWGS.
12. INSTALL (N) GYPBD NALLED W/DRYWALL SCREWS @ 8" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROV. DENSEGOLD GYP. BD. AT ALL WET WALLS, REF. TO FLR. PLAN. FIRST & 2ND FLOOR CEILINGS TO RECEIVE 5/8" TYPE X 1-HR RATED GYP. BD. TYP.
13. INSTALL (N) EXT. CEMENT PLASTER STUCCO CLADDING & HORIZ. WOOD SIDING WHERE SHOWN. OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC 2512, WITH SMOOTH SURFACE TEXTURE AND PAINT TO MATCH (E) HOUSE SIDING. TYP. PRIME AND PAINT TO MATCH (E) HOUSE SIDING TYP.
14. PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILINGS R-XX(TBD) MIN. BATT INSUL. TYP.
- WALLS R-XX(TBD) MIN. BATT INSUL. TYP.
- FLOORS R-XX(TBD) MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING INSUL. AT ALL (RESTROOM INTERIOR WALLS)
15. COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
16. PROVIDE (N) LOW-SLOPED ROOF O(N) 3RD FLR. OFFICE ADDITION. INSPECT & VERIFY (E) EAVE FLASHING & GUTTER CONDS. AT (E) ROOF. REPAIR AS REQ'D. IF NEEDED. REPAIR GUTTERS W/ (N) 24 GA GSM FASCIA GUTTER TO MATCH (E). (N) RND. 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
17. INSTALL (N) PAINT GR. INT. TRIM AND CASEWRK. PAINT CLR. TO MATCH (E) INTERIOR, OR PER OWNER'S SPEC. PROV. SHOP REVIEW DWGS. PER REQUEST FROM ARCHITECT AS REQ'D FOR APPROV. BY OWNER, TYP.
18. WINDOWS:
(N) FIRST & SECOND FLOORS: @ (N) ADDITION, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOWS @ (E) HEADER HTS., WHERE OCCURS, PROVIDE (N) SHAPED CASING TO BE COMPATIBLE YET DIFFERENTIATED FROM (E) CASING. TYP.
(N) THIRD FLOOR: @ (N) 3RD FLOOR OFFICE SPACE, INSTALL (N) ALUMINUM FRAMED PICTURE WINDOW W/ MULLIONS & TEMPERED GLASS AS REQ'D BY CRC SECT. 308.4.5
19. PROVIDE (N) CUSTOM METAL PANELS W/ FACTORY-BAKED-ON PAINT FINISH AT BASE OF (N) EXTERIOR WALLS AS SHOWN ON ELEV. INSTALL PER MFG. INSTRUCTIONS.
20. PROV. (N) ALUMINUM-FRAMED DBL. FRENCH DR. W/ TEMP. GLASS @ MAIN RETAIL STOREFRONT ENTRY. INSTALL (N) EXTER. ENTRY FRENCH DOORS W/ TEMP. GLASS AT (N) ADDITION'S FIRST FLOOR STAIRWAY ENTRIES. REFER TO DOOR SCHEDULE, R.V.W. DR. MODEL CHOICES W/ HIST. ARCH. PRIOR TO PURCHASE, PROVIDE (AT LEAST) MIN. ENTRY MANEUVERING CLEARANCES PER CBC 1126A.3.2.3, 11A-8(A-C) AND USING ALTERNATIVE PROVISIONS ON HIST. CBC SECT 8-502.2. INSTALL (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. DR. W/ MATERIALS & HARDWARE TO BE COMPATIBLE YET DIFFERENTIATED WITH THE ATTACHED EXISTING BUILDING.
21. INSTALL (N) FLR. FINISHES W/ MAT'L. AS SEL. BY OWNER. VERIFY COND. OF SUBFLR. PRIOR TO INSTALLATION. CONFIRM SIZE, FLOORING TYPE, COLOR, & PATTERN IN FIELD AND W/ OWNER. @ (N) BATHRM. INSTALL (N) TILE FLOORING OR OTHER MAT'L. AS SPEC. BY OWNER. PREPARE FLOOR AS NEEDED TO RECEIVE NEW MATERIALS PER MFG.S SPEC. TYP. COORD. SUBFLOOR PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF ADJACENT FLOORS AS REQ'D. PROVIDE SAMPLES TO OWNER PRIOR TO ORDERING.
22. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF BENJAMIN MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, U.O.N. AS STAIN GRAD. VERIFY COLOR W/OWNER.

23. PROVIDE (N) ELEVATOR LIFT W/ MIN. 80"x54" CLEAR DISTANCE BETW. WALLS OR BETW. WALL & DOORS. PER CBC SECT. 3002.4
24. @ (N) RESTROOMS. INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, AND TOILETS, AS SELECTED BY OWNER. COORD. INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LACS. AND MEP REQ'MTS. IN FIELD W/OWNER, TYP.
25. PROVIDE (N) STAIRS @ 2 LOCATIONS @ (N) ADDITION W/5/8" TYPE X 1HR RATED GYP. BD. INSTALLED UNDER STAIRS AND ON STAIRWELL WALLS & CEILINGS. TYP. REFER TO FLOOR PLAN & SECTIONS (tbd).
26. PROVIDE (N) TRASH COLLECTION AREA AT (N) ALCOVE LOCATED ALONG WILD CHERRY LANE. PROVIDE (N) SWING GATE.
27. PROVIDE (N) GUTTERS AND DOWNSPOUTS @ (N) 3-STORY ADDITION, W/ (N) 24GA. GSM GUTTER FLASHING AND 4" DIA. DOWNSPOUTS TYP. VERIFY TYPE & STYLE W/ ARCHITECT PRIOR TO PURCHASE OF D.S. & GUTTER MATERIAL.
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29. PROVIDE (N) PAINT GRADE HORIZ. WD. SIDING AS SPEC'D BY OWNER AND/OR ARCHITECT. PRIMED ON ALL SIDES & PAINTED PER OWNER'S SPECS. INSTALL (N) TILE FIN. @ BASE OF STOREFRONT WALLS TO BE COMPATIBLE YET DIFFERENTIATED FROM EXISTING FINISH.
30. AT 2ND STORY PROVIDE ATTIC LADDER W/ MIN. 22"x30" R.O. @ (E) HALLWAY CLG. TO ACCESS (E) ATTIC SPACE.
31. REFER TO MECH., ELECT., AND PLUMBING DWGS. FOR INSTALLATION AND CODES PERTAINING TO ALL MEP REQUIREMENTS.

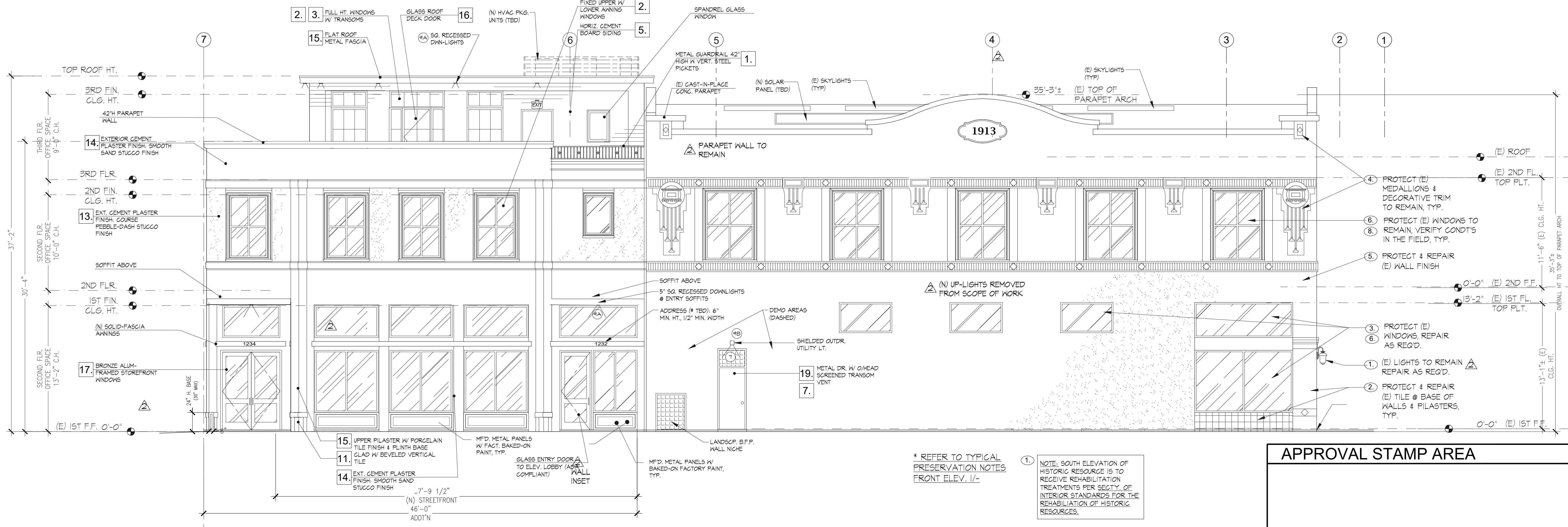
JURIAN BUILDING REPAIR NOTES

- EXISTING JURIAN BUILDING**
1. EXISTING STRUCTURE TO BE REPAIRED AS REQ'D. PRESERVATION TREATMENTS (TBD) TO BE UNDERTAKEN DURING PHASE 2 OF THE PROJECT.
 - 2A. REPAIR TILE FINISH AT BASE OF STOREFRONT AS REQ'D. REPLACE BROKEN TILES TO MATCH (E). AS REQ'D. VERIFY W/ OWNER PRIOR TO WORK. PHASE 2 PRESERVATION TREATMENT INCLUDE REMOVAL OF BULKHEAD TILE.
 - 2B. REPAIR ALCOVE FLOORS W/ LIKE-KIND MATERIAL. ENSURE EVEN WALKING SURFACES, FILL CRACKS & REJOIN AS REQ'D. PHASE 2 PRESERV. TREATMENT TO INCLUDE REMOVAL OF (E) FLR SURFACES. RETAIN OR REPLACE ORIGINAL TILE (AS OCCURS) W/ REPLICA TILE TO MEET USAB §303 REQ'S
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 5. PROTECT (E) STUCCO CLADDING. ANY REPAIRS TO THE WALL FINISHES ARE TO BE PERFORMED USING GENTLEST MEANS POSSIBLE. PATCHED TO MATCH (E) WITH APPROVED RESTORATION PRODUCTS, AND REPAINTED PER SPECS.
 6. PRESERVE (E) INTERIOR TRIM, CASING, WDW. & DOOR TRIM, REPAIR AS REQ'D.
 7. PROTECT (E) ROOF FRAMING AND SURFACE TO REMAIN. INSPECT RF. MAT'L @ (E) PARAPET WALLS, REPAIR AS REQ'D. PROVIDE NEW MECH. RM. IN (E) ATTIC WITH OPEN-AIR ROOF VENTILATION, ROOF ACCESS, AND W.P. FINISHES AS SHOWN.
 8. (E) WINDOWS- UNLESS SCHEDULED FOR REMOVAL, ALL WDW. TO BE INSPECTED AND REPAIRED, (E) SASHES, TRIM, TO BE RE-USED WHEREVER POSSIBLE. VERIFY W/ HIST. ARCH. PHASE 2 PRES. TRMT. TO INCLUDE WDW. REPLACEMENT W/ LIKE-KIND OF THE ORIG. WOOD WDW. T.B.D. AND BASED ON HIST. PHOTOGRAPHIC EVIDENCE.

TYP. CODE NOTES- SEE SHT A0.2.4



(E) NORTH ELEVATION (CASTRO ST.)
SCALE: 3/16"=1"

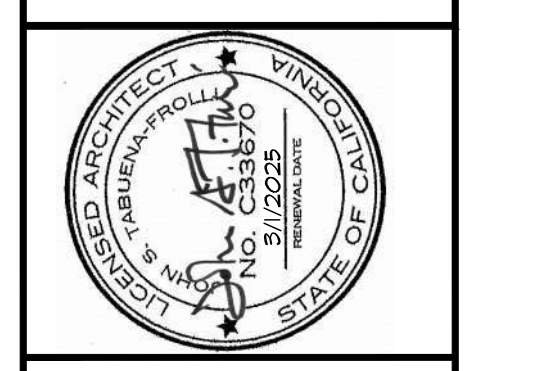


(N) SOUTH ELEVATION (VILLA ST.)
SCALE: 3/16"=1"

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANNING SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

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PO BOX 4631
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em: cychong@pacbell.net

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

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DRAWN
SAE/GTF/JTF

DATE
07/17/24

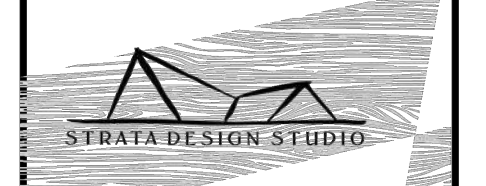
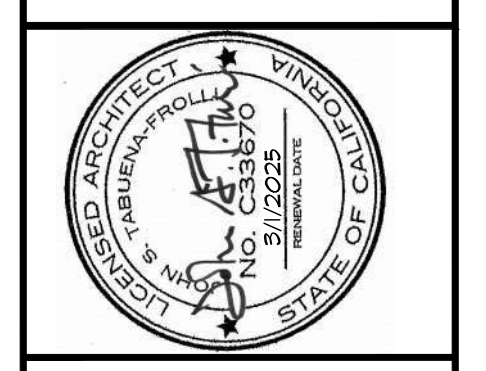
SCALE
AS NOTED

PROJECT NO.
21.26

PROPOSED
ELEVATIONS-
FRONT & SOUTH
SIDE

SHEET NO.
A4.0

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07/17/24 PLANNING - MECH. WELL REVS.



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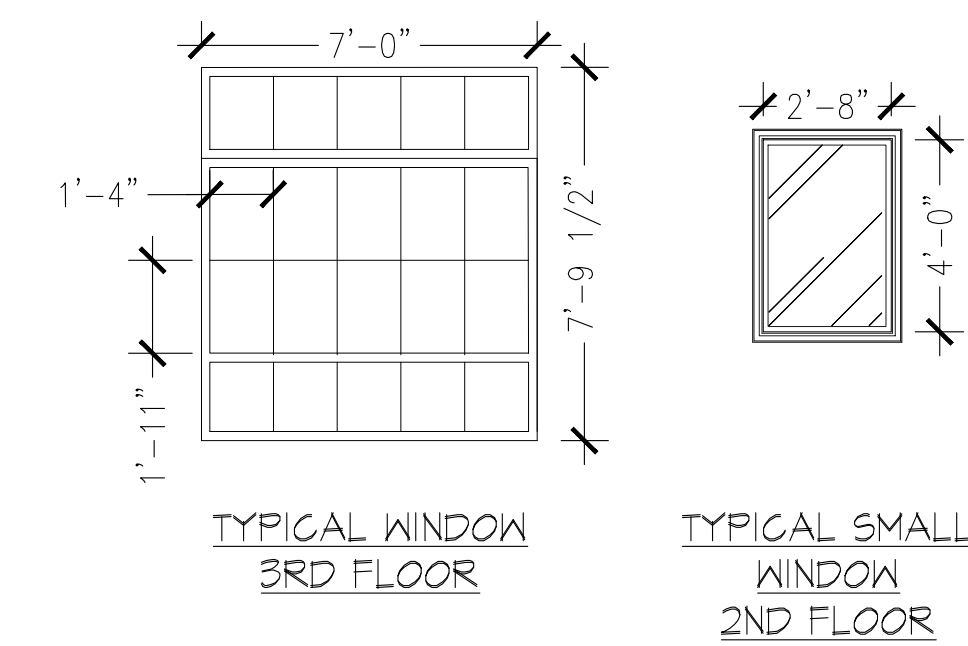
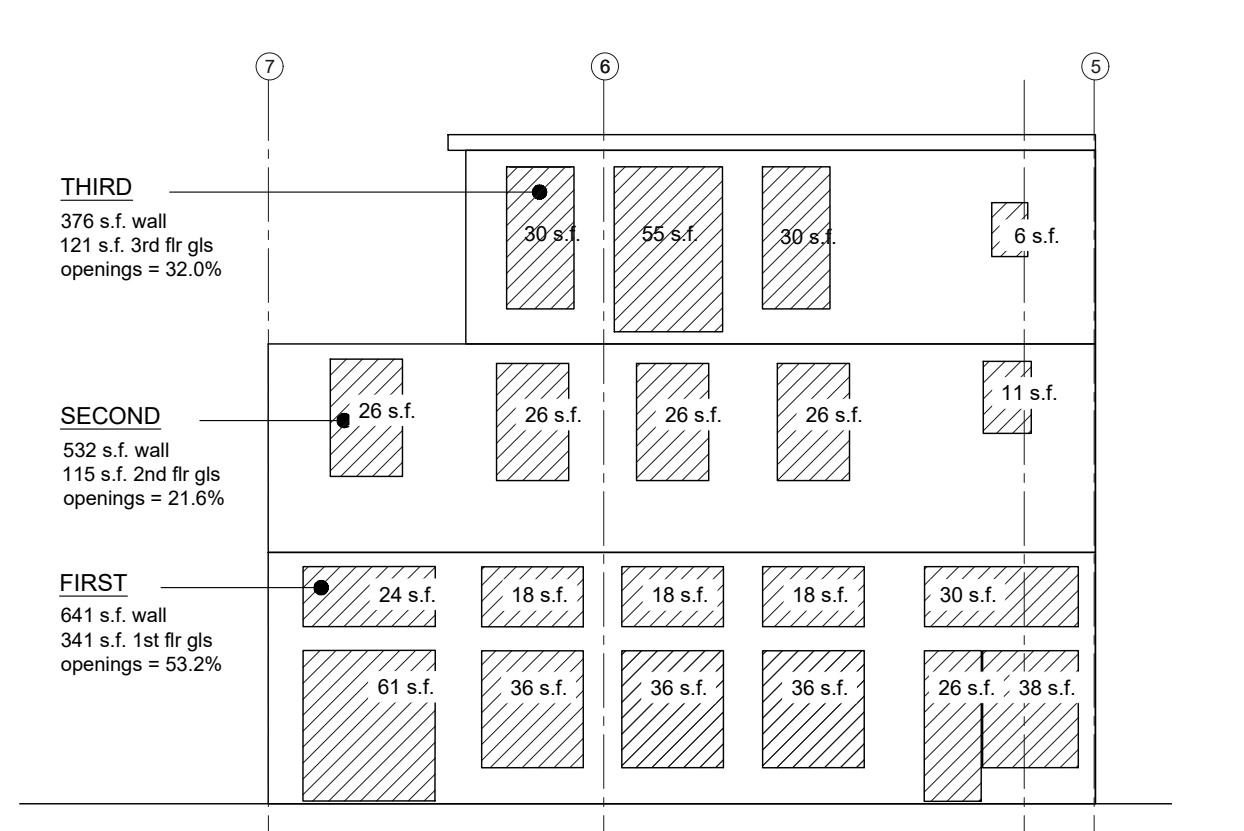
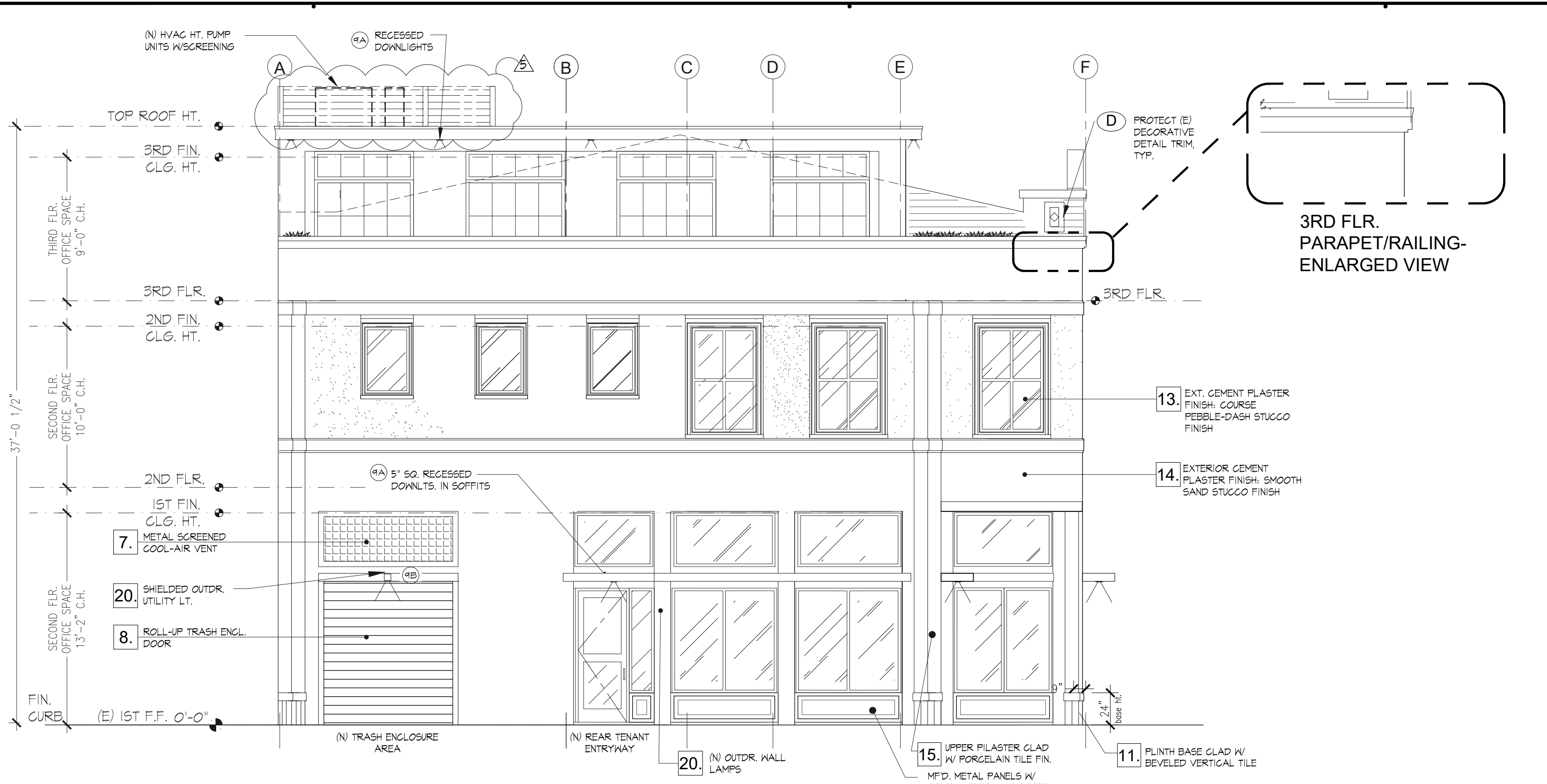
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ADDITION/REHABILITATION
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194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF
DATE
07/17/24
SCALE
AS NOTED
PROJECT NO.
21.26

PROPOSED
ELEVATIONS-
REAR & NORTH
SIDE

SHEET NO.
A4.1

--- TYP. CODE NOTES- SEE SHT A0.2.4
--- TYP. KEYED NOTES- SEE SHT. A4.0



TYPICAL WINDOWS @ 2ND & 3RD FLOORS
SCALE: 1/4"=1'

Traditional Double Hungs

Robbie's traditional double hungs are a beautifully modern version of a classic style. The stacked sill creates a traditional appearance and helps guard against water damage. Robbie's traditional double hungs open and close smoothly and effortlessly, and the sash can be tilted in or removed for easy cleaning.

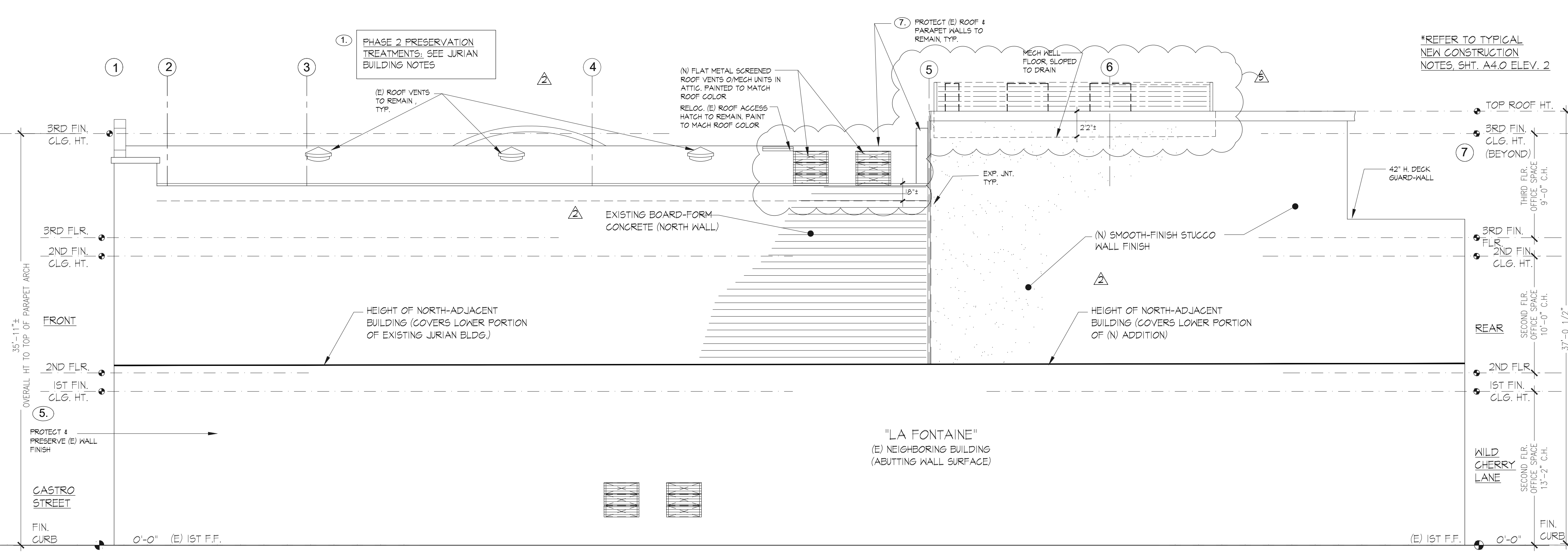
Traditional Double Hung Standard Features:

- 1.5" thick sash
- Overall sash width is 4" (1 1/2" less overalls) x 1/2"
- Frame thickness is 3/4" at side jamba and head
- 5/8" thick sash is 1 1/2" deep x 1 1/2"
- Constructed of pine, with pine interior sashes and wood rail casings on multi-pane
- Energy efficient, insulating L67-270 glass
- Glazed to the interior with beveled beaded glazing beads
- 1 1/2" x 1 1/2" exterior double-hung sash lock
- All exterior wood parts are preservative treated
- Exterior frame and sash are latex primed
- Rigid PVC head parting stop with bebble line and recessed at the sill
- Fully weatherproofed for a tight seal
- Clay colored heavy duty sash lock
- Matched trigger pieces on the top rail of the upper sash and bottom rail of the lower sash
- Spring loaded track and sash mechanical balances to carry the sash weight
- Beige PVC jambline with compression foam backing to carry the sash weight
- Pre-wired head and sash tracks, unique spring, multi-line and cable support system on day units

Hardware:
Clay-colored cam locks are factory-applied to Traditional double hung units as standard. Other finishes available are White, Beige, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Linen, Oil Rubbed, and Matte Black. For units without finger grooves, sash fit handles in Clay, White, Beige, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Linen, and Matte Black finishes are available.

*The Double Hung is a large unit, which means that full size appearance over the sill will suit.

WINDOW CUT SHEET



APPROVAL STAMP AREA

MATERIALS & FINISHES



INSPIRATION FOR RAILING AT UPPER DECK PATIO ①



INSPIRATION FOR WINDOWS AT UPPER DECK PATIO ②



INSPIRATION FOR WINDOWS AT UPPER DECK PATIO ③



INSPIRATION FOR DECK PLANK FLOORING ④



BEADED CEMENTBOARD HORIZ. SIDING W/ GRAIN - COLOR: VANILLA SHAKE ⑤



CEDAR EAVES ⑥



INSPIRATION FOR METAL BASE PANELS ⑦



WALL VENTS ⑧



TRASH ENCLOSURE DOOR ⑨



EXTERIOR FINISH NOTES

1. 42" H. PARAPET WALL GUARDRAIL W/ DECORATIVE METAL FRAME GUARDRAIL
2. SECOND STORY WINDOWS W/ BIRD-PROOF GLASS: UPPER FIXED W/ LOWER AWNINGS
3. WALL HEIGHT BRONZE ALUM. FRAMED CLEAR TEMPERED GLASS WINDOWS AT UPPER DECK PATIO, WITH TRANSOMS WHERE OCCURS.
4. IPE WOOD DECKING AT UPPER DECK PATIO.
5. PAINTED HARDI-BEARD HORIZONTAL CEDARWOOD GRAIN BEADED SIDING (7" EXPOSURE)
6. 1x6 FINELINE T&G CEDAR SOFFIT PANELS AT UPPER DECK PATIO ROOF.
7. BRONZE METAL TRANSOM COOL-AIR VENT COVER OVER TRASH ENCLOSURE DOOR.
8. 8"W x 9"H AUTOMATED ROLLING GARAGE DOOR AT NEW TRASH ENCLOSURE.
9. UTILITY DOWNLIGHTS AT (N) ENTRY ALCOVES AND EXTERIOR SERVICE DOORS.
10. 2x2 MATTE TERRACOTTA MOSAIC FIELD TILE AT ENTRY ALCOVES W/ 2x4 DARK BROWN TILE ACCENT BORDER.
11. PILASTERS & HORIZ. BANDING TO RECEIVE 18" x 6" TILE, DAL TILE ANNAPOLIS REMIX SAND MATTE AP11.
12. METAL WALL PANEL BASE W/MFG. FINISH
13. EXTERIOR PLASTER- COURSE PEBBLE-DASH FINISH, PRIMED AND PAINTED
14. EXTERIOR PLASTER- SMOOTH SAND FINISH, PRIMED AND PAINTED
15. FLAT ROOF W/ METAL FASCIA ROOF EDGE TRIM. PPSAND PAINTED
16. DK. BRONZE ALUM.-FRAMED ENTRY DRs W/ TEMPRD. GLASS.
17. BRONZE ALUM.-FRAMED TEMPR / BIRD-PRF. GLASS STOREFRONT WINDOWS WITH FIXED TRANSOMS.
18. SPANDREL BIRD-PRF. GLASS OPAQUE WINDOWS AT ALCOVE LOCATIONS (REFER TO PLANS).
19. METAL DOOR TO NEW MECH. ROOM W/ SCREENED METAL COLD-AIR TRANSOM VENT COVER
20. GFRC PRECAST WINDOW SILLS & SMOOTH TILE HORIZ. CONT. BAND TRIM
21. CONT. METAL AWNING / TRIM W/ MFG. PAINT.

EXTERIOR LIGHTING

<p>9A SQUARE RECESSED LED DOWNLIGHT 5 1/4" x 5 1/4" x 2"D LOTUS LL4SR-2TK-K 14.5 WATT 4_SQR. RECESSED</p>	<p>9B GRAY METAL LED OUTDR. DOWNLIGHT 5 1/4" x 5 1/4" x 3.9"D TECH LTG. 700MBPITSI-LED830 PITCH SINGLE LT.</p>	<p>9C WHITE LED DOWNLIGHT, 12 1/4" x 4 1/2" H x 1"D KUZCO LTG. ENT1412-GY CASA 12_WIDE LED</p>
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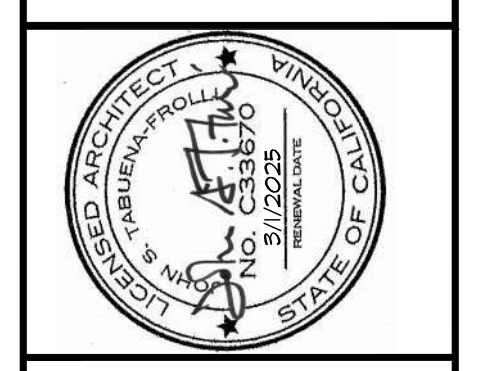
DUNNE-EDWARDS EXTERIOR PAINT COLORS

<p>PAINT COLOR A: COOKIE DOUGH DE5435</p> <p>COOKIE DOUGH</p> <p>APPLICATION: APPLY ON COURSE PEBBLE-DASH FIN. (STUCCO AREA BETHN. 2ND STORY WINDOWS)</p>	<p>PAINT COLOR B: TORTILLA DE5436</p> <p>TORTILLA</p> <p>APPLICATION: (E) JURIAN BLDG. COLOR: APPLIED ON FIELD OF PEBBLE-DASH STUCCO FINISH</p>	<p>PAINT COLOR C: VANILLA SHAKE DEK325</p> <p>VANILLA SHAKE</p> <p>APPLICATION: APPLY ON PILASTERS, & UPPER FLR. HORIZONTAL STUCCO BANDING (SMOOTH SAND STUCCO FINISH ALT.; VERT. TILE OF SIM. COLOR)</p>	<p>PAINT COLOR D: WHITE SAND DEK336</p> <p>WHITE SAND</p> <p>APPLICATION: APPLY ON SMOOTH SAND STUCCO FIN. (FIELD STUCCO & ROOF FASCIA BOARDS)</p>
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<p>2'X2' MOSAIC FLR TILE ⑩ APPLIED ONLY TO (N) ADDITION</p>	<p>2'X10' PILASTER BASE TILE ⑪</p>	<p>PEBBLE-DASHED FINISH STUCCO ⑬</p>	<p>SMOOTH SAND FINISH STUCCO ⑭</p>	<p>PILASTER UPPER TILE 12'X24" PORCELAIN TILE ⑮</p>
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APPROVAL STAMP AREA

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MATERIALS
AND FINISHES

SHEET NO.

A4.2

EXTERIOR LIGHTING MANUFACTURER SPEC SHEETS

Interactive spec sheet with links to larger images and spec sheets of accessories

LL4SR 4" Square Regressed 2nd Gen Plenum LED 14.5W

Type IC, Air-Tight, Wet & Plenum

DESCRIPTION
4" Square Regressed LED With Integral Driver in Connection Box
Commercial Grade Quality With Architectural Design

FEATURES & BENEFITS
2" Deep - Install Where Ceiling Space is Limited
Type IC Rated - No Housing Required
CRI 90+ For True Color Rendering
Fast & Easy To Install - Save On Labor
Driver Inside Connection Box - No Junction Box Needed
Armored Cable & Metal Connectors - Open Plenum Rated

MOUNTING
Cut Hole in Ceiling And Snap Fixture In Opening With Attached Spring Clips. Ceiling Clearance Required: 2"

DIMENSIONS: 4" 4" 0.5" 2" Cut Out 4" to 4 1/4"

ORDERING GUIDE Example: LL4SR - 30K - WH

LL4SR	4"	4"	0.5"	2"	WH	30K
2700K	27K	WH	WH	WH	WH	WH
3000K	30K	BK	WH	WH	WH	WH
4000K	40K	BK	WH	WH	WH	WH

LED Light Source
250 ft Street & 93rd, Blaine WA 98230 tel: 360-200-5500
Hampshire NJ, Naples FL, Dallas TX, Vancouver WA

www.letslights.com
mailing addresses
warehouses

Let's Light! LIGHTS CANADA
702 Chester Rd, Delta BC V2M 6J1 tel: 604-477-2222
Delta BC & Missis

PITCH SINGLE WALL SCONCE

TECH LIGHTING

An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch Single's die-cast metal body houses powerful LED light sources that create visual appeal as light cascades down along a wall.

High quality LM88-tested LEDs
for consistent long-life performance and color

Outstanding protection against the elements:
• Marine grade powder coat finish
• Stainless Steel mounting hardware
• Impact-resistant, UV stabilized frosted acrylic lensing

Can be mounted for up lighting or down lighting

DELIVERED LUMENS
WATTS
PACKAGE
DIMMING
LIGHT DISTRIBUTION
MOUNTING OPTIONS
CCT
CRI
COLOR TUNING
DIMMING OPTIONS
DIMMER
DIMMER TYPE
WET LISTED
GENERAL LISTING
CALIFORNIA TITLE 24
START TEMP
FIELD SERVICEABLE LED
CONSTRUCTION
HARDWARE
FINISH
LED LIFETIME
WARRANTY**
WEIGHT

APPLICATIONS
Recessed Ceiling Mount
14.5W
2700 | 3000 | 4000 | Dim to Warm 3000-1800K
950 | 1000 | 1200 | 900
30 W
90°
CR
120V AC
120V-347V AC
Max 5 No 12 AWG or 8 No 14 AWG
0.98
Insulated Ceilings, Open Plenum, Wet
IP 54
F10
-40°F (-40°C) to +104°F (+40°C)
70% Light Output at 50,000 Hours
ICES, Energy Star (except 2700)
10 Year Residential / 5 Year Commercial

AVAILABLE FINISHES
White
Black

ACCESSORIES
Sold Separately
Armored Low Voltage Extension FT6 / CMP rated 100' model # MRCB
1 1/2" Mounting Plate Flange model # MP2-2
1 1/2" Mounting Plate Flange model # MP4
2 1/2" Flat Flush-in Plates model # RFP
Flange Plate with Hanger Bar, model # FRP

COMPLIANCE

ORDERING INFORMATION

2700SPRT 300 10000 14.5W
3000 300 10000 14.5W
4000 300 10000 14.5W
4000SPRT 10000 14.5W
4000SPRT 10000 14.5W
4000SPRT 10000 14.5W

techlighting.com

CASA EW71412 WALL

PROJECT

DESCRIPTION
This family of exterior wall-mounted fixtures is available in a variety of geometric forms: circle, square, and two different rectangular configurations. Light is directed downward from a recess, and the incline allows the glow to radiate gradually. Versatility then and ideal for egress, courtyard, and grace lighting. Optional stone inlays offer additional opportunities for customizing to complement different wall surfaces.

EW71412-9C
Black

EW71412-0Y
Grey

SPECIFICATION DETAILS
Fixture Dimensions: 9 1/2" x 14 1/2" x 1 1/2"
Light Source: LED
Voltage: 120V
Total Lumens: 1100lm
Delivered Lumens: 84-280lm @ 90-90lm
Voltage: 120V
Color Temperature: 3000K
CRI: 90
Optional Color Temp: 2700K, 3000K Available, Minimum Order Quantity
LED Rated Life: 50,000 hours
Dimming: 100% - 10%, E10 Dimmer (Not Included)
Diffuser Details: Frosted Glass Diffuser
Warranty: 5 Years
ASTM Compliant: Yes

ORDERING INFORMATION

KUZZO
19304 28TH AVENUE
SURREY - BC V2V 4M3
CANADA
WWW.KUZZOOUTLINGS.COM

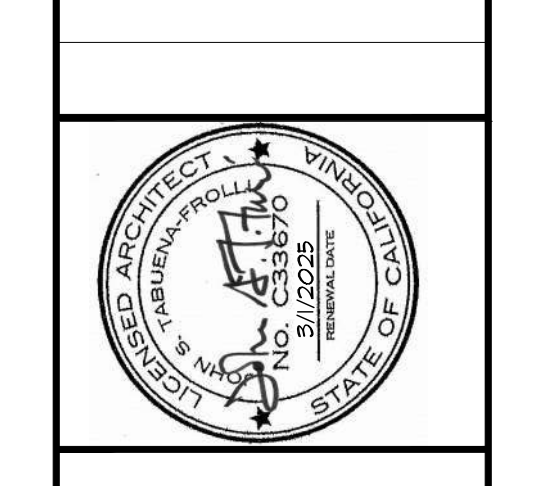
COMMENT



PROPOSED ADDITION AT VILLA & WILD CHERRY, FACING NORTHEAST

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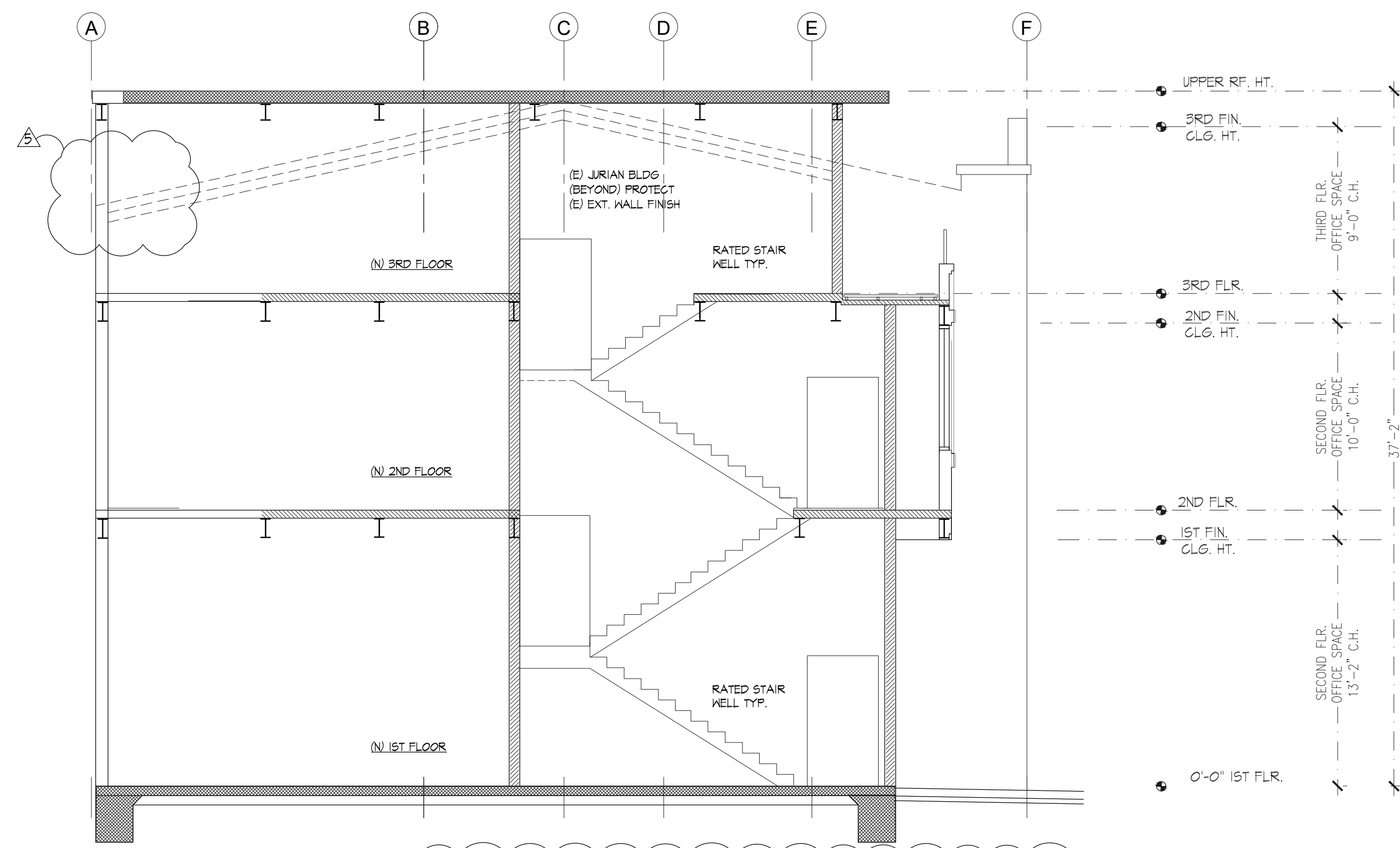
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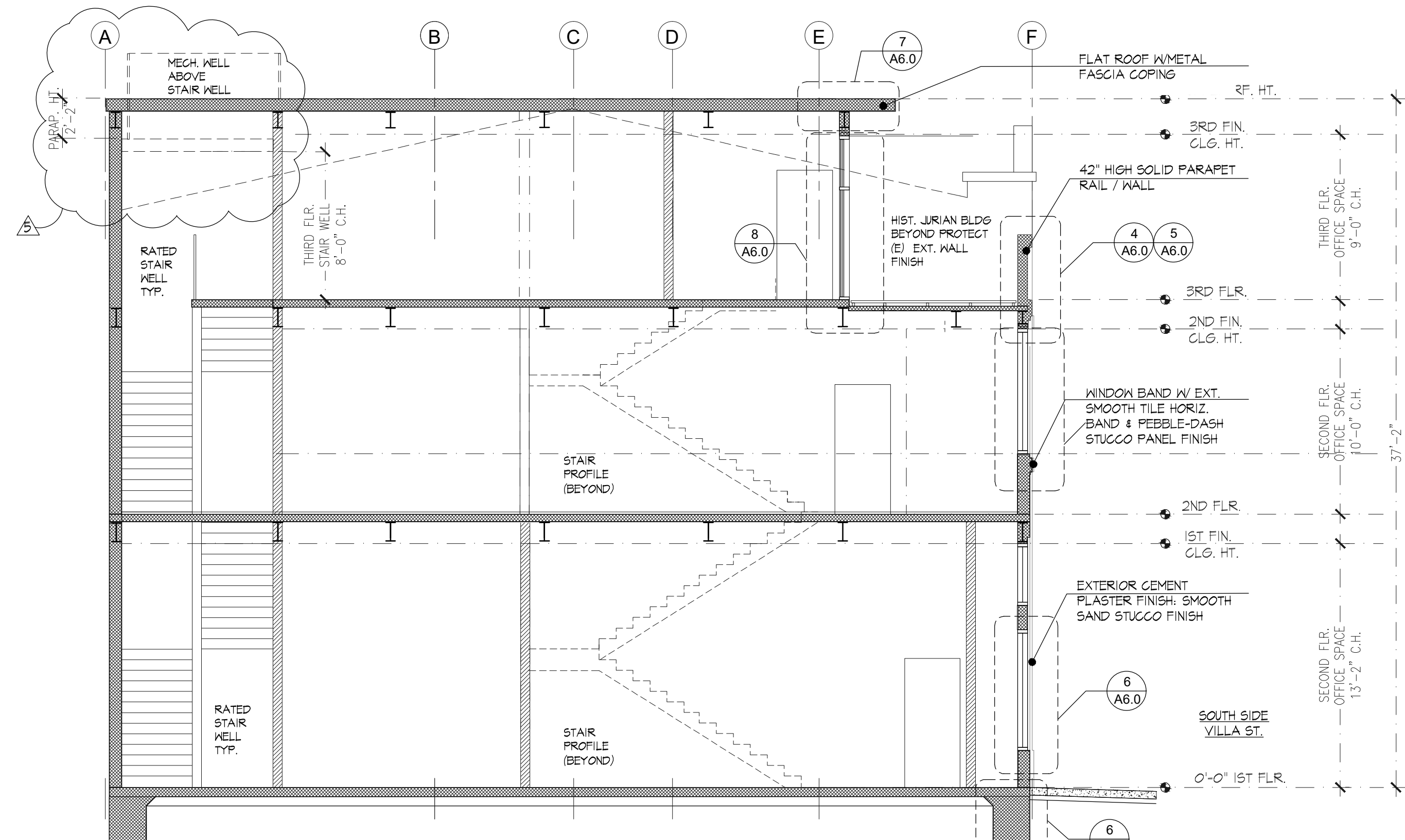
**NIGHT 3-D
ELEVATION &
MFR. SPEC
SHEETS**

SHEET NO.

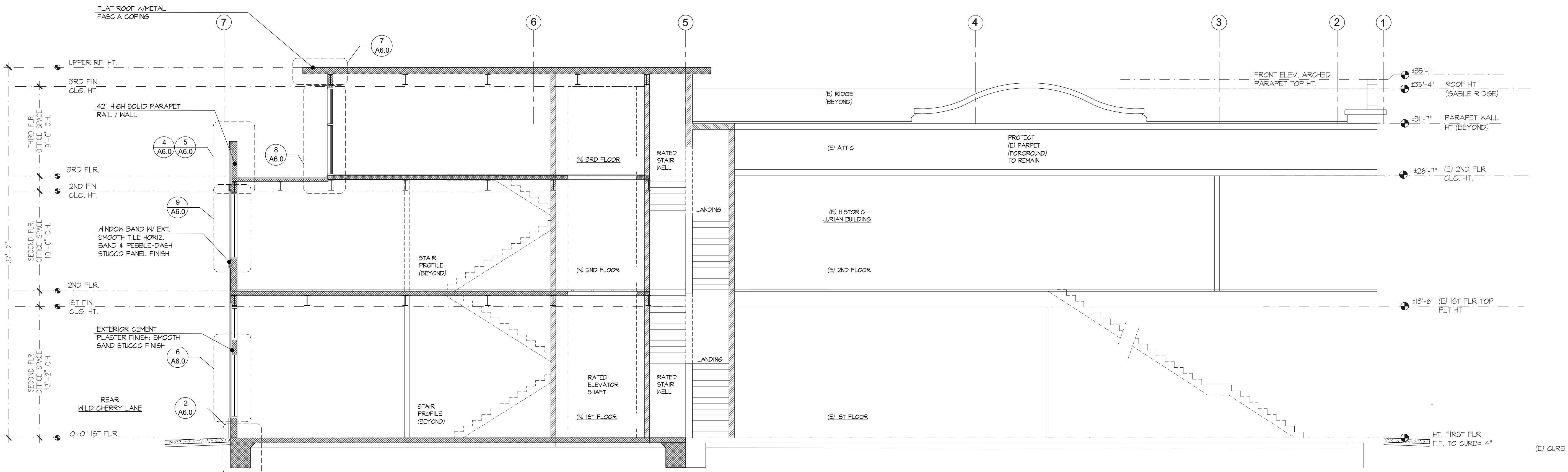
A4.3



(N) BUILDING SECTION
SCALE: 3/16"=1'
CC



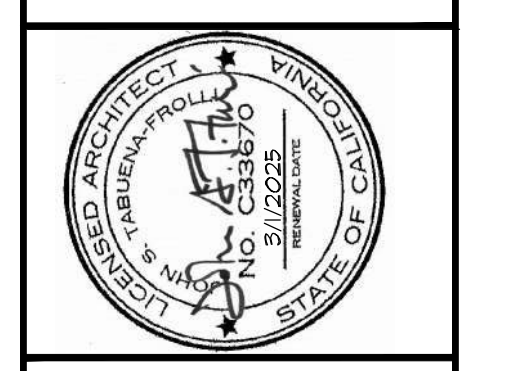
(N) BUILDING SECTION
SCALE: 3/16"=1'
AA



(N) BUILDING SECTION
SCALE: 3/16"=1'
BB

APPROVAL STAMP AREA

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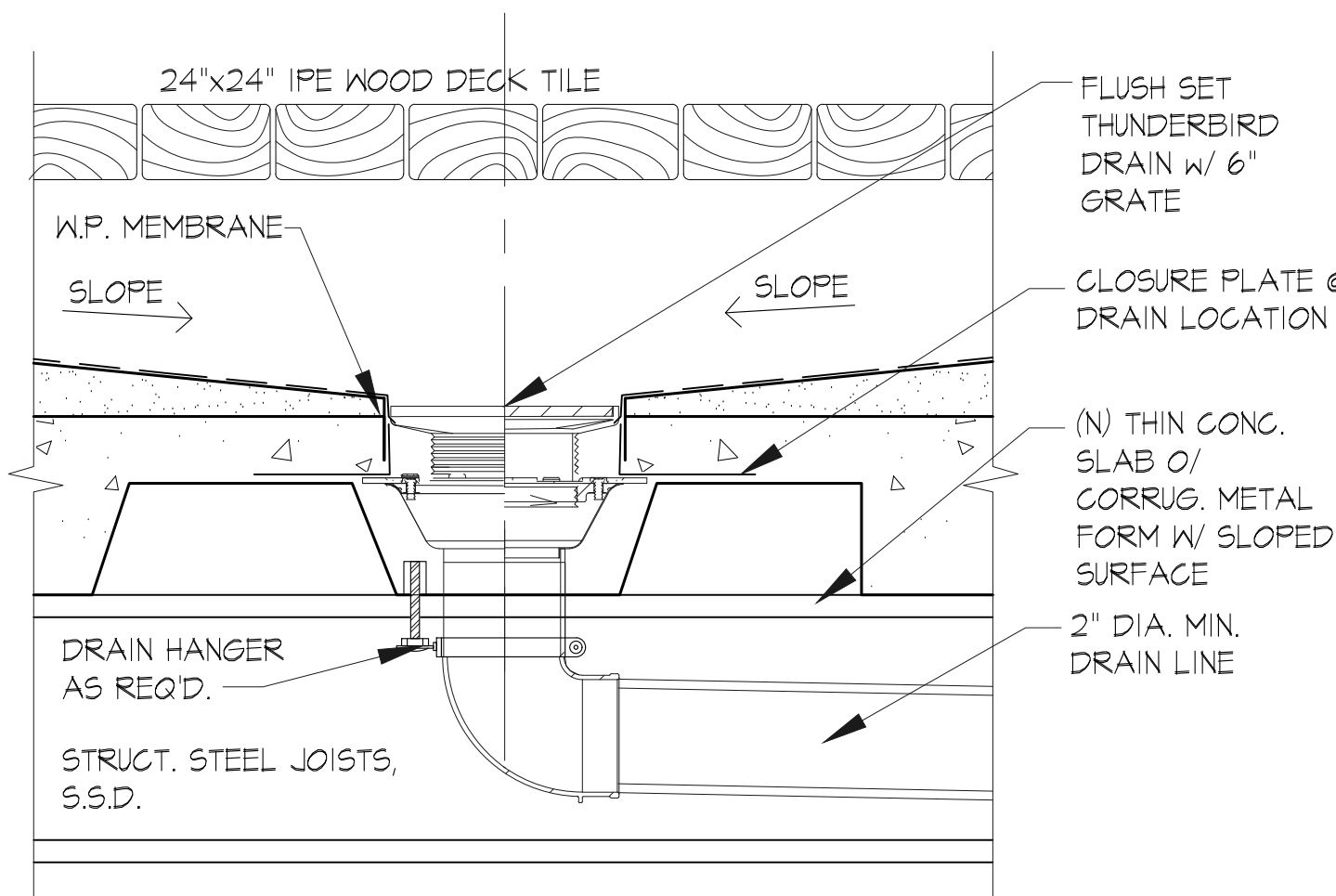
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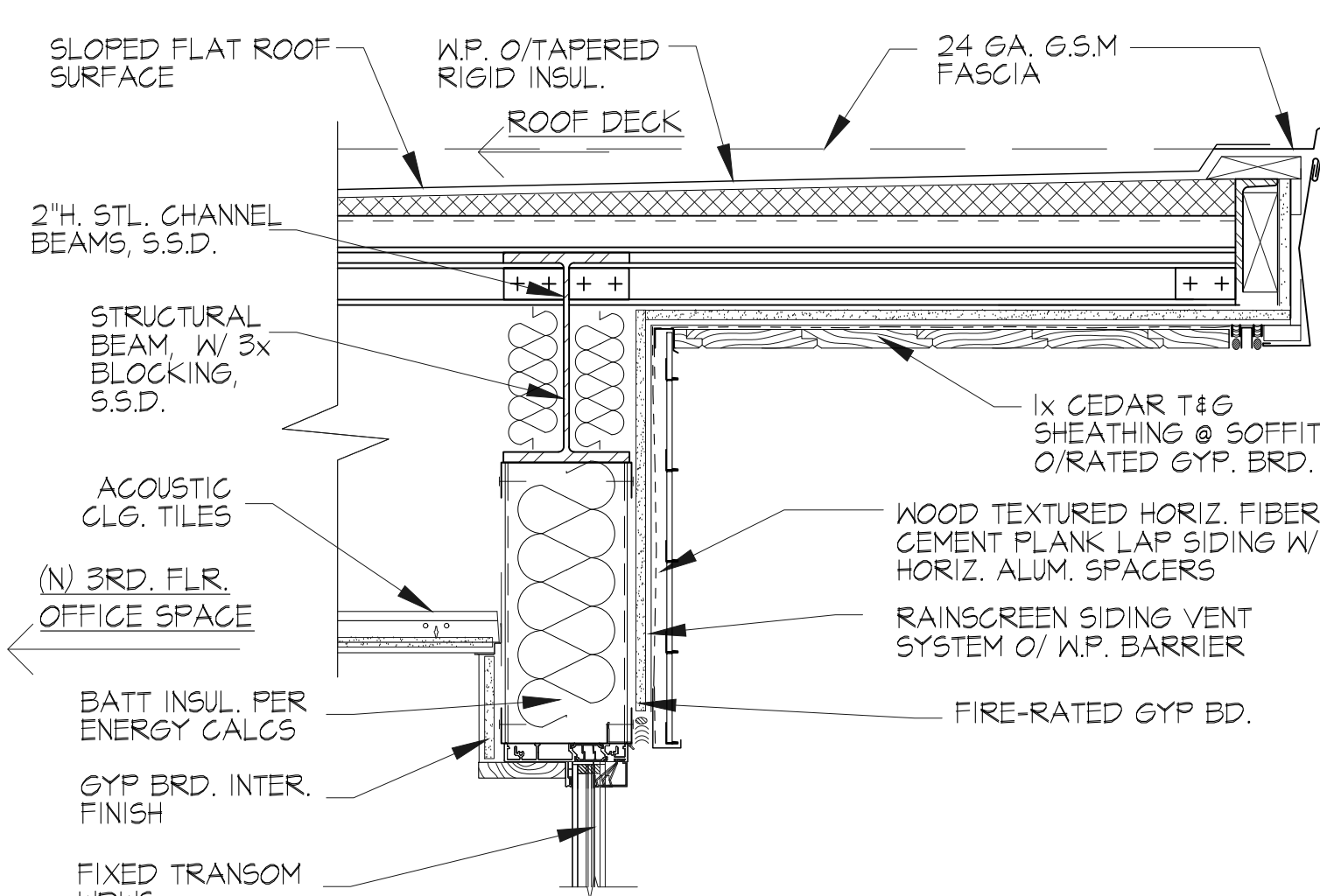
SECTIONS

SHEET NO.
A5.0



FLOOR DRAIN @ ROOF DECK

3" = 1'-0" 10

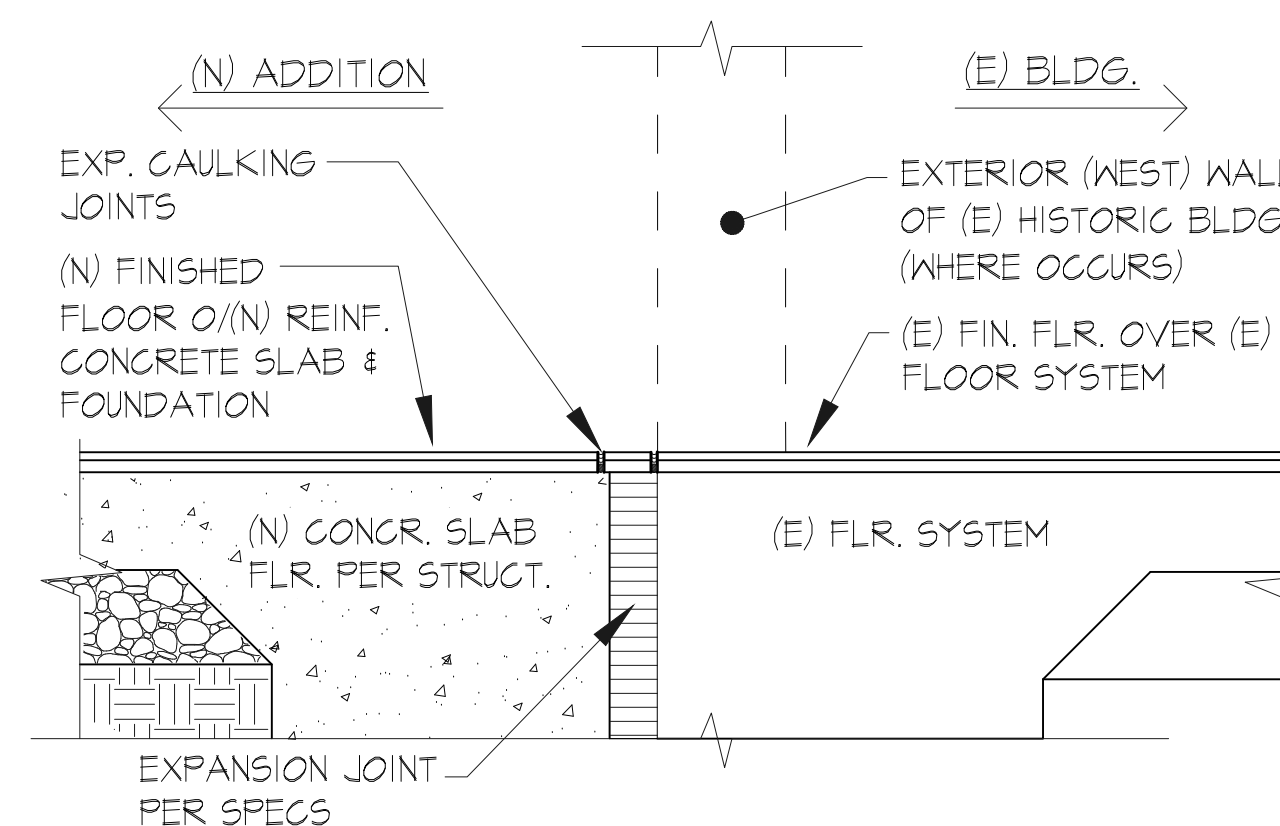
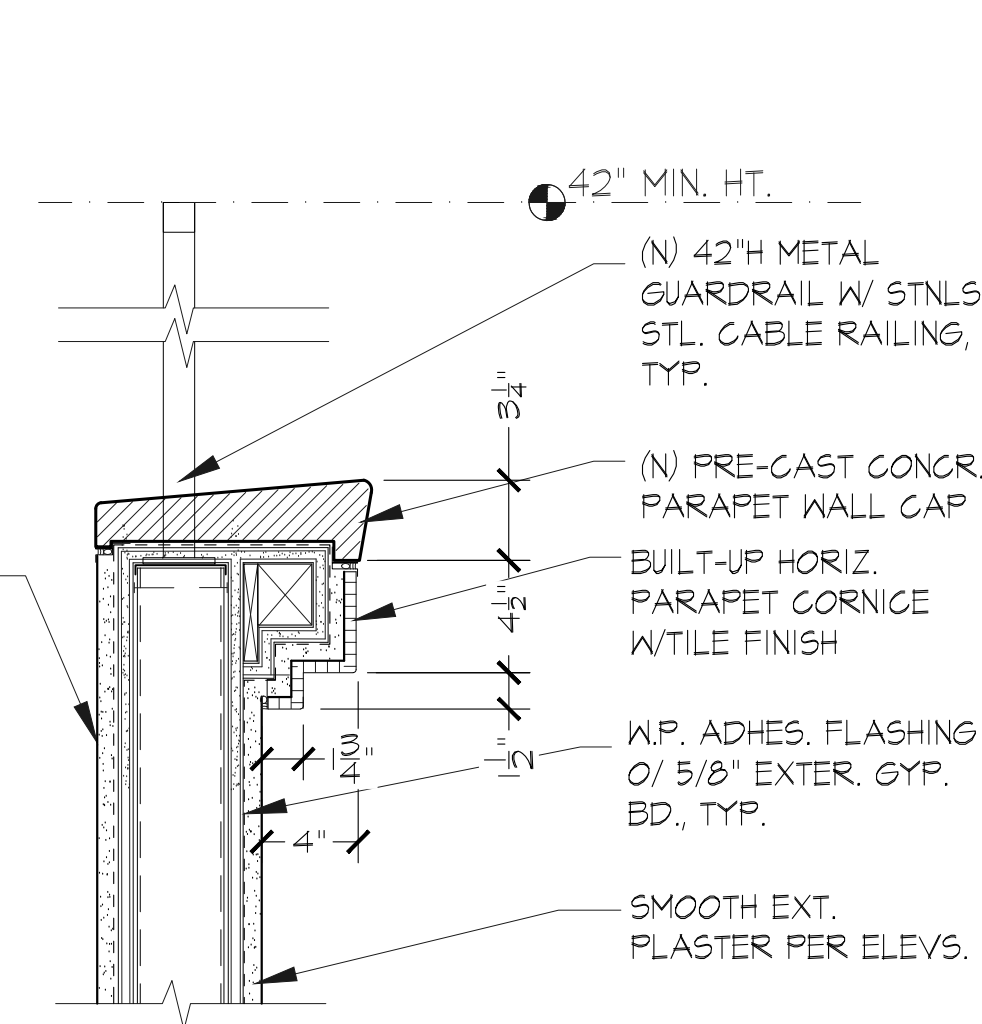


(N) ROOF EAVE

1 1/2" = 1'-0" 7

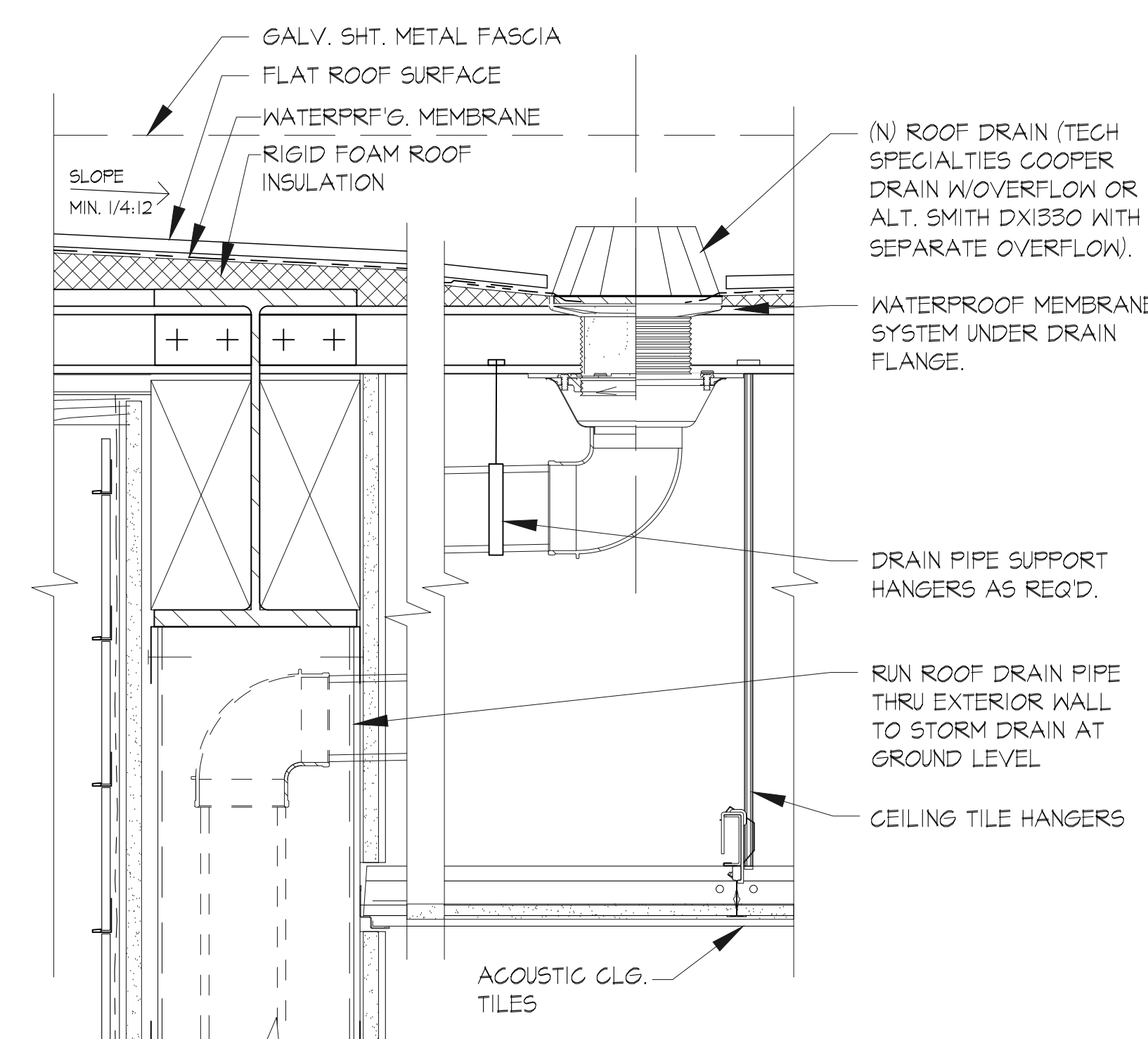
PARAPET CAP & GUARDRAIL @ 3RD STORY ROOF DECK

1 1/2" = 1'-0" 4



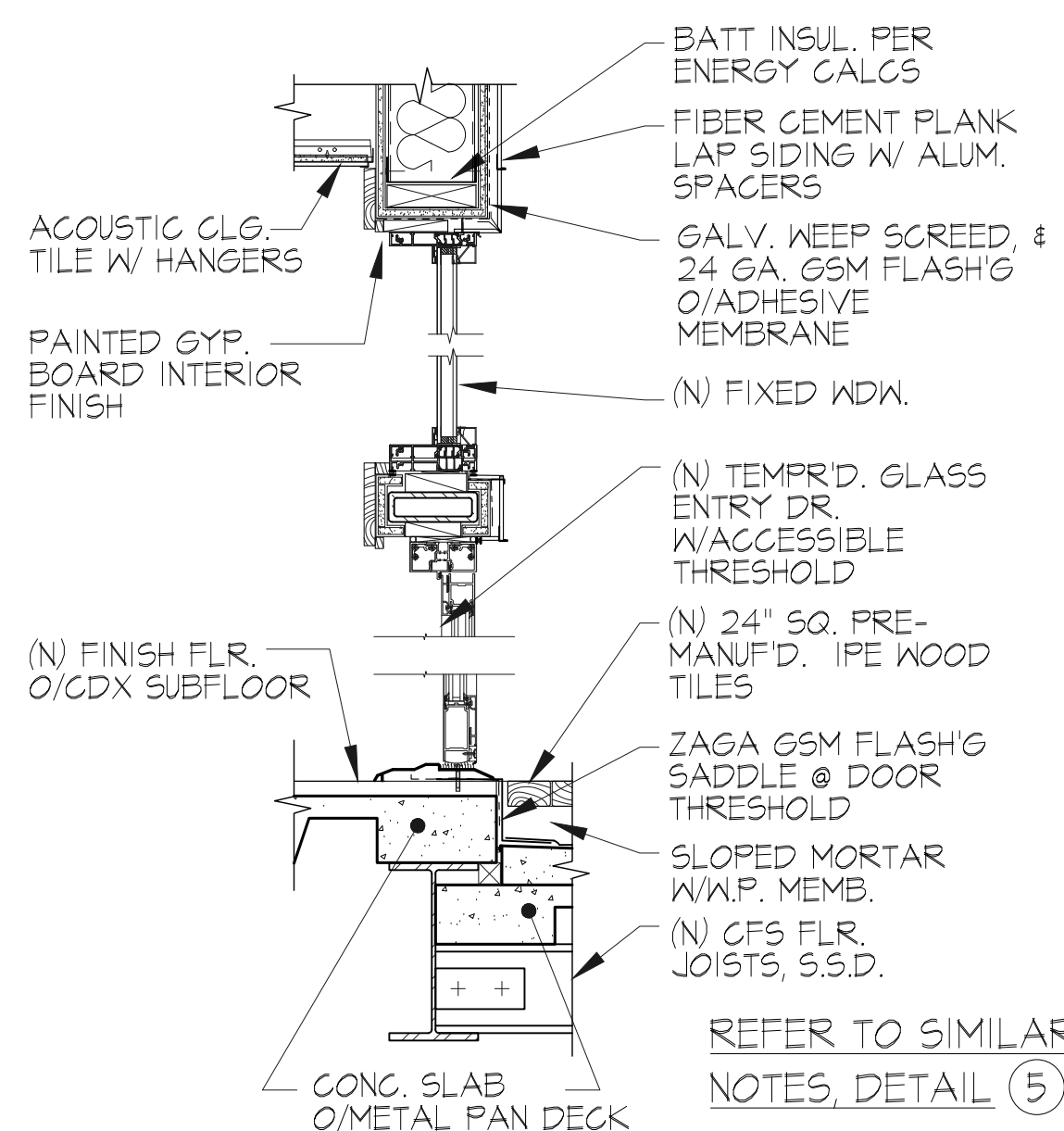
(N) FOUNDATION TIE-IN TO (E)

1" = 1'-0" 1



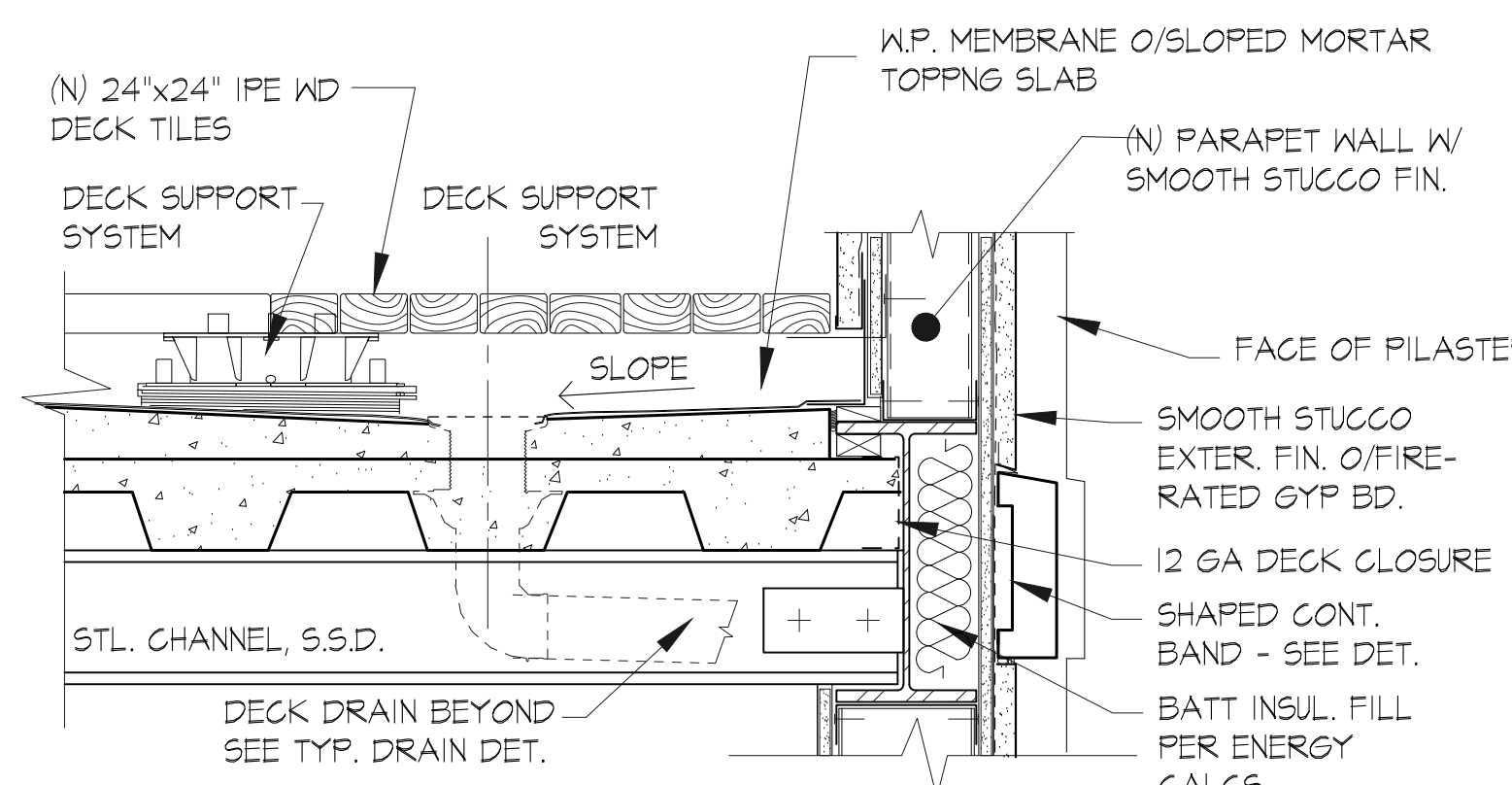
ROOF DRAIN

3" = 1'-0" 11



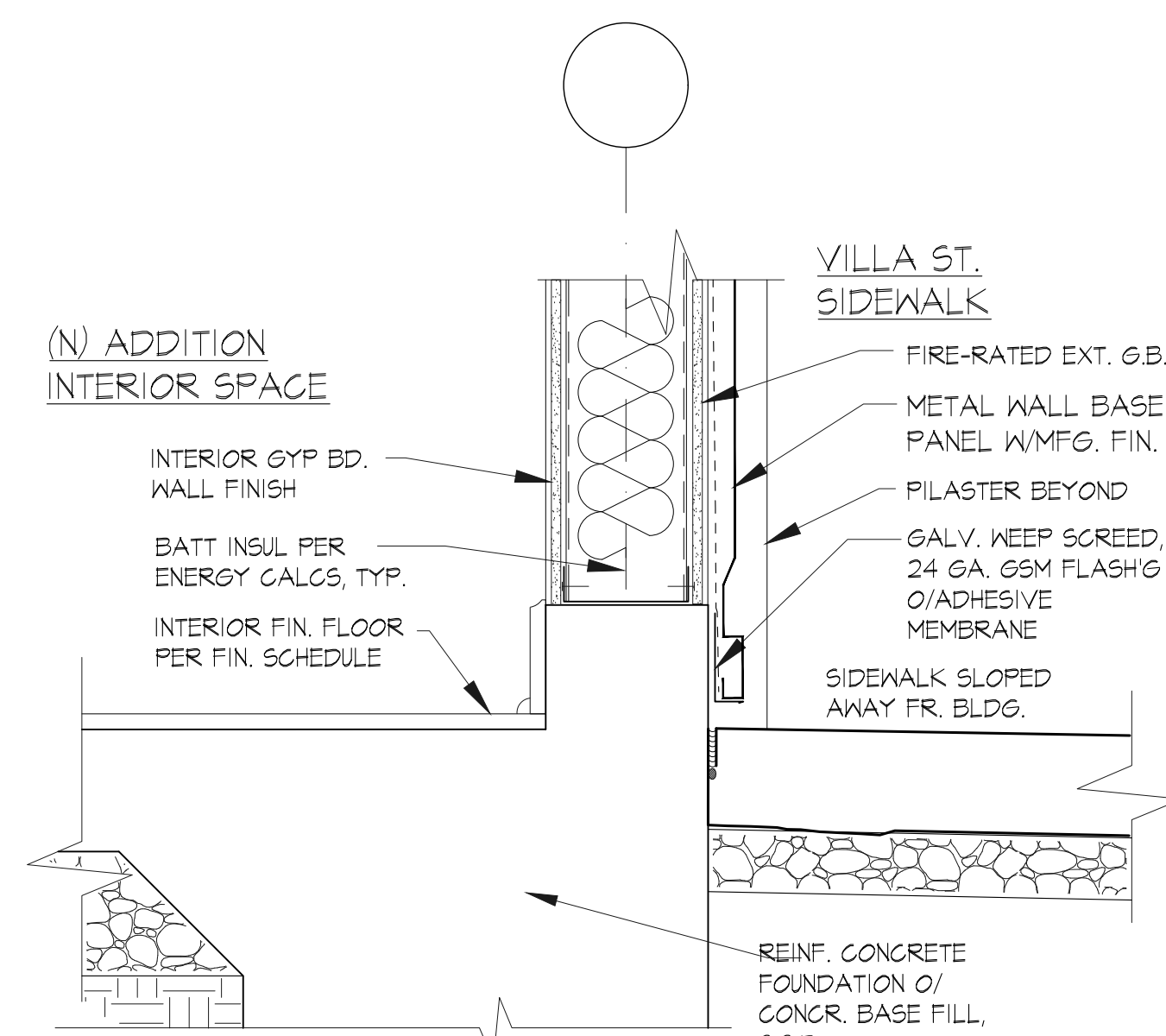
3RD STORY ENTRY DOOR @ ROOF DECK

1" = 1'-0" 8



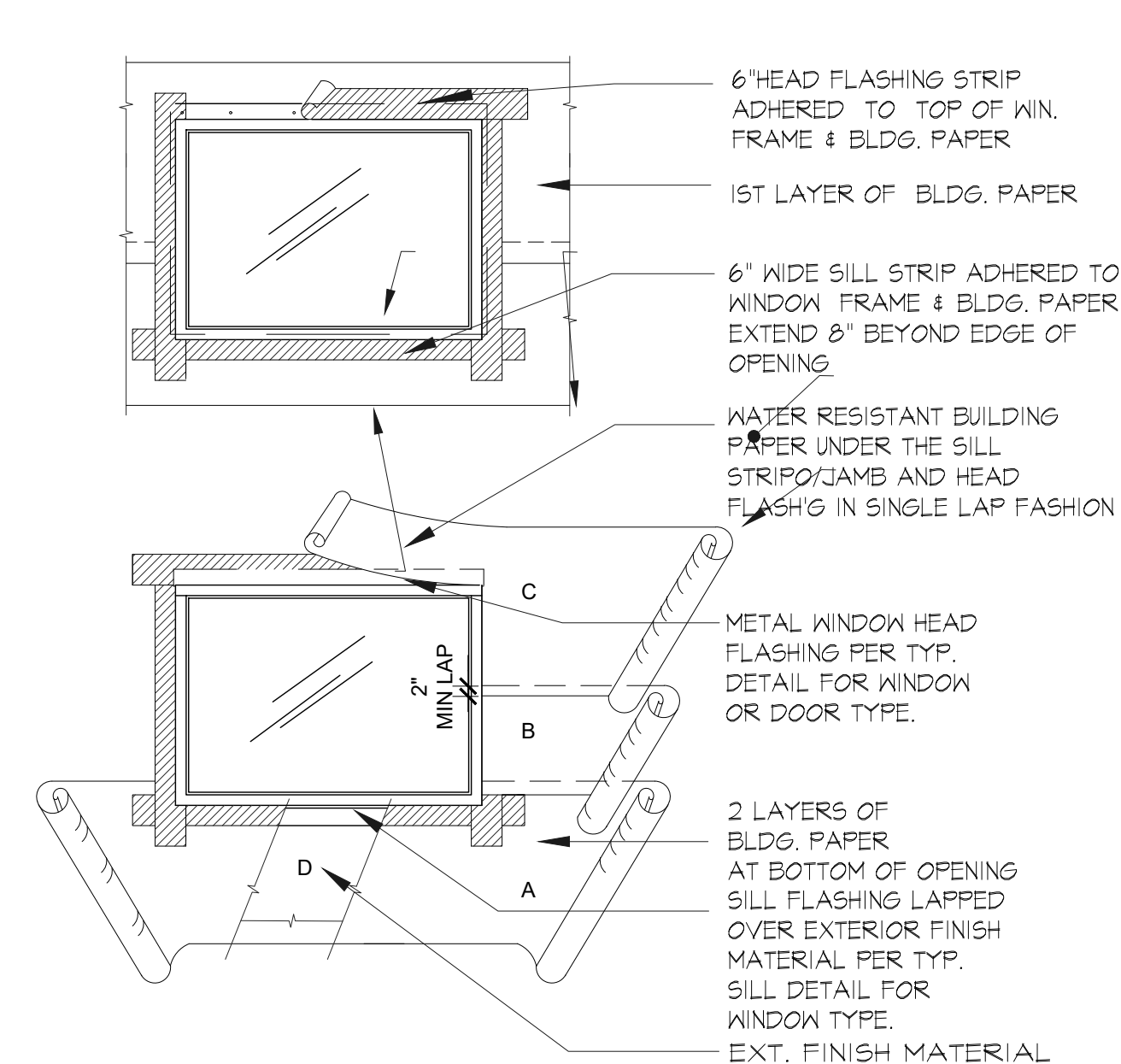
FLOOR & PARAPET WALL BASE @ 3RD STORY ROOF DECK

1 1/2" = 1'-0" 5



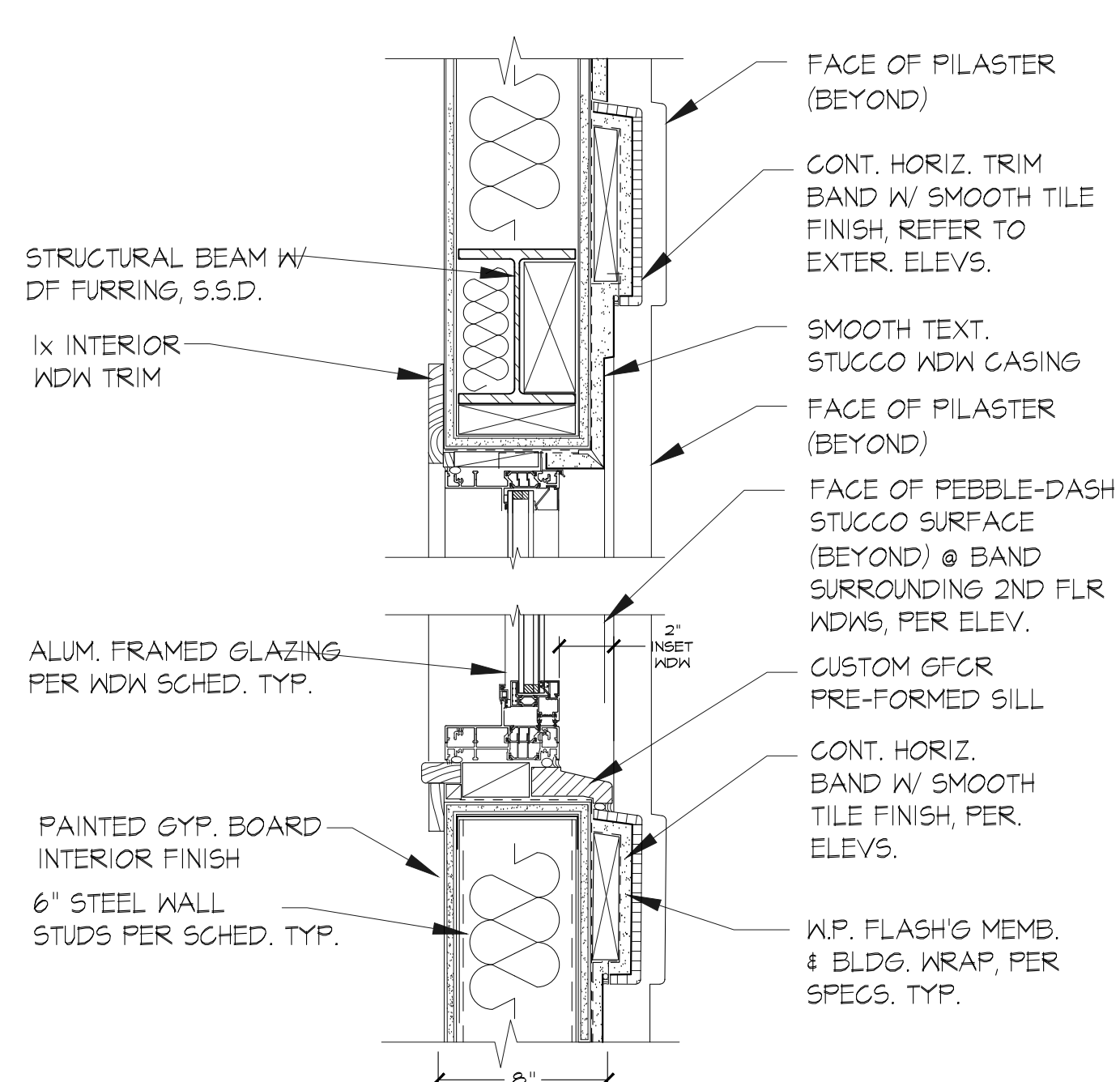
(N) WALL BASE @ GROUND FLR.

1 1/2" = 1'-0" 2



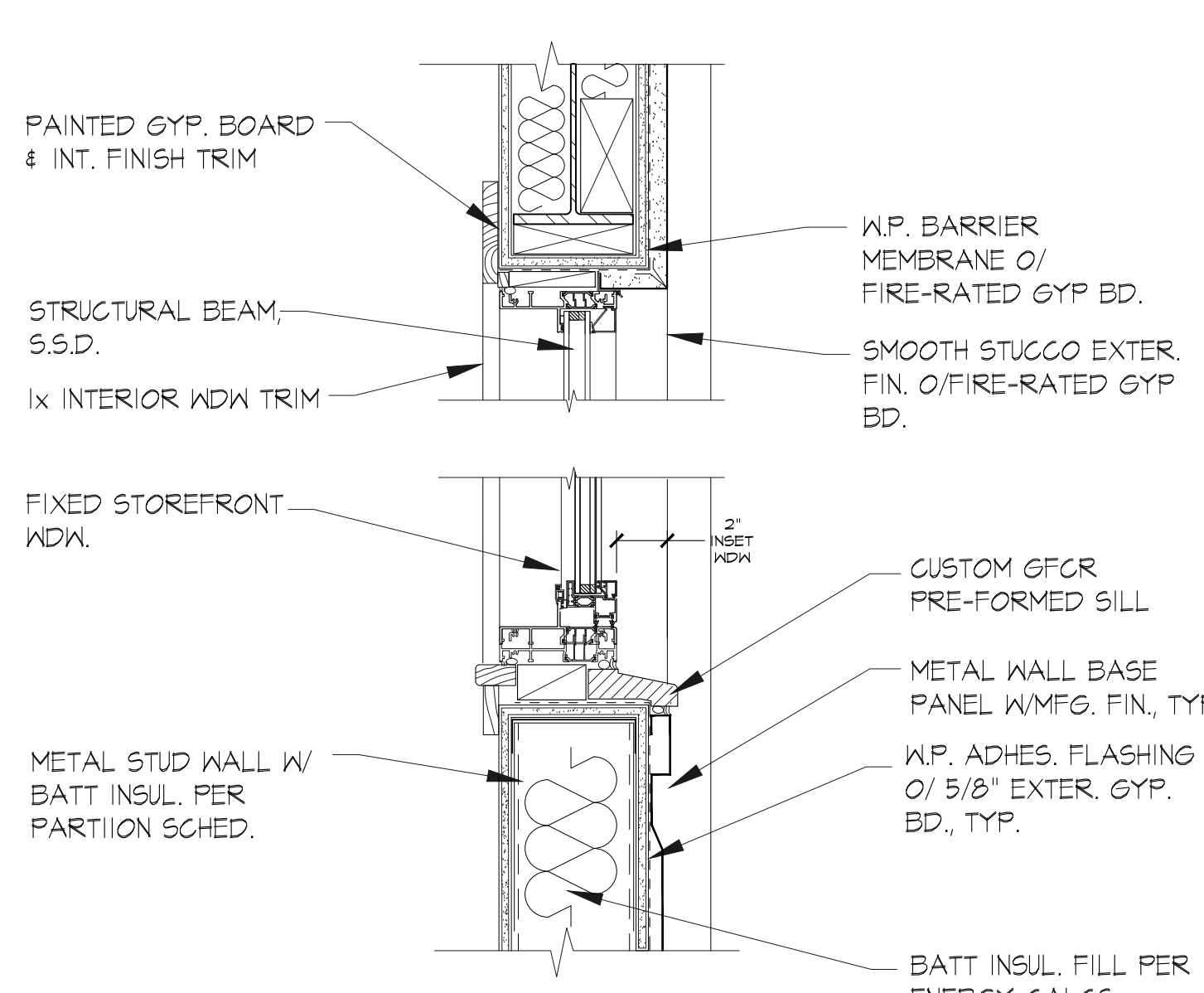
TYP. WINDOW FLASHING

12



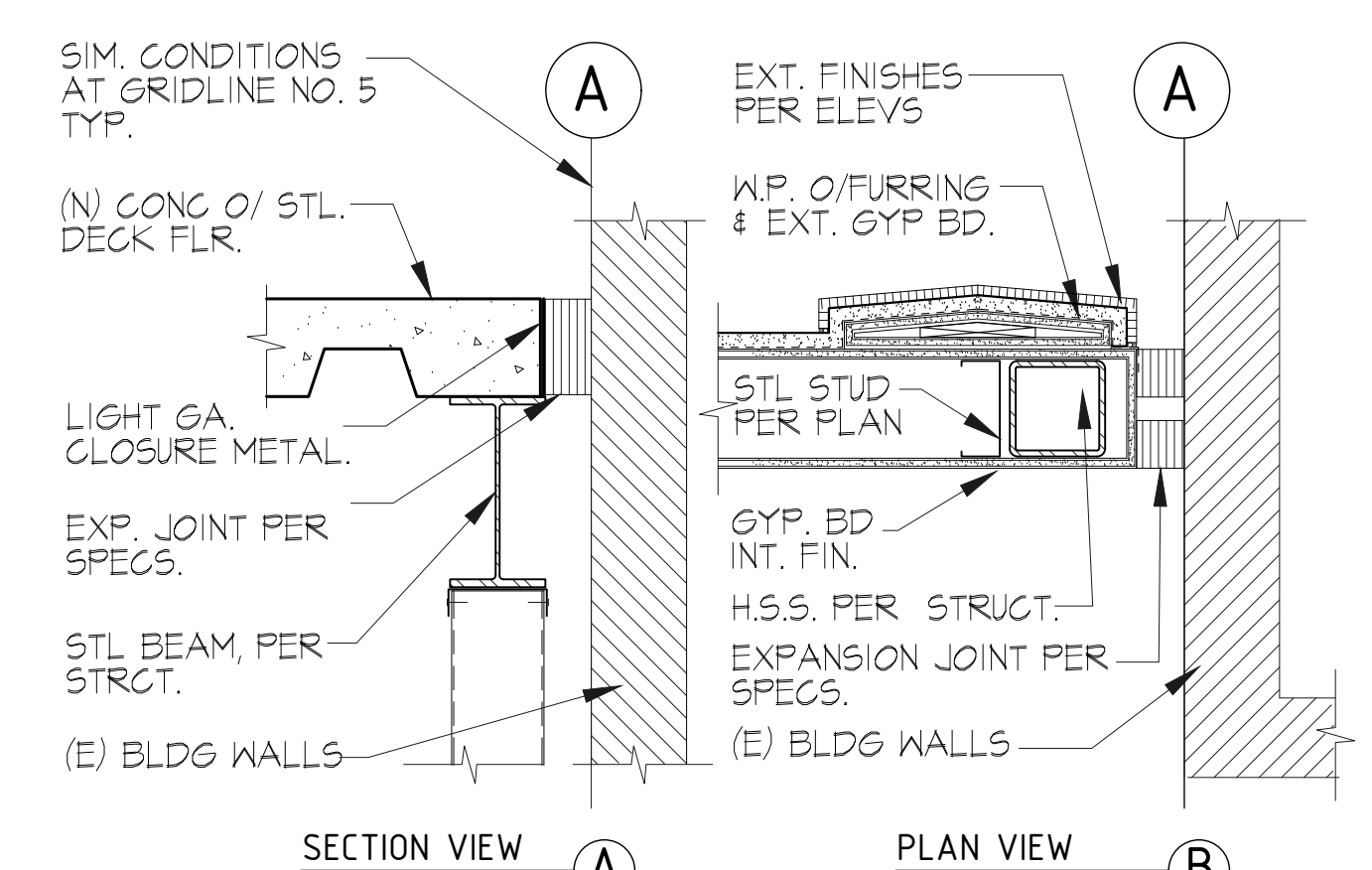
WINDOW DETAIL (2ND STORY)

1 1/2" = 1'-0" 9



STOREFRONT WDW. @ GROUND FLOOR

1 1/2" = 1'-0" 6



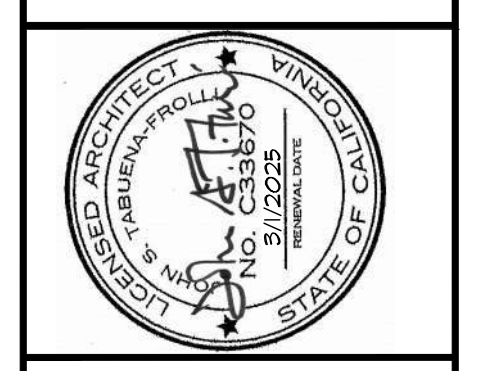
NEW WALL @ (E) BLDGS.

1 1/2" = 1'-0" 3

APPROVAL STAMP AREA

HISTORIC JURIAN BLDG
ISSUE DATE

11/21/22	PRELIM. PLANNING SUBMITL
03/20/23	FORMAL PLANG SUBMITL
06/20/23	FORMAL PLANG RESUBMITL
09/01/23	FORMAL PC REVS
10/16/23	FORMAL PC REVS 2
11/20/23	DRC SUBMITL
01/16/24	DRC RESP. ELEV. OPTS A & B
05/03/24	PLANG RESUBMITL SUBMITL
07/17/24	PLANG - MECH. WELL REVS.



STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

JOHN S. TARBENA-FROLLI, AIA
P.O. BOX 1127
SAN JOSE, CA 95108
408.705.3148 - jfrolli@gmail.com

OWNER:
CHEE-YEE CHONG,
(DBA HANSON AMERIC LLO)
PO BOX 4631
MOUNTAIN VIEW, CA, 94041
ph: 408.859.2845
em: cychong@pacbell.net

HISTORIC JURIAN BLDG.
ADDITION/REHABILITATION

PROJECT SITE:
194-198 CASTRO STREET,
MOUNTAIN VIEW, CA 94041
APN: 158-15-013

DRAWN
SAE/GTF/JTF

DATE
07/17/24

SCALE
AS NOTED

PROJECT NO.
21.26

ARCHITECTURAL
DETAILS

SHEET NO.

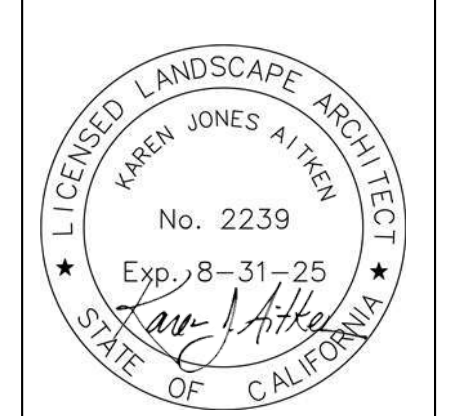
A6.0

REVISIONS	BY
1	8-31-23 KAA



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HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
GROUND LEVEL LANDSCAPE PLAN



DATE 04-10-24
 SCALE 1/8"=1'-0"
 DRAWN IN
 JOB CASTRO BLDG.

L-1



2 Flowering Plum trees to be removed (In-lieu fee Required)

#5 Chinese Pistache (Pistacia chinensis) To be Removed and replaced with 24" Box Pistache chinensis

#4 Chinese Pistache (Pistacia chinensis)

#3 Chinese Pistache (Pistacia chinensis)

#2 Tulip Poplar (Liriodendron tulipifera)



Tree Preservation Guidelines

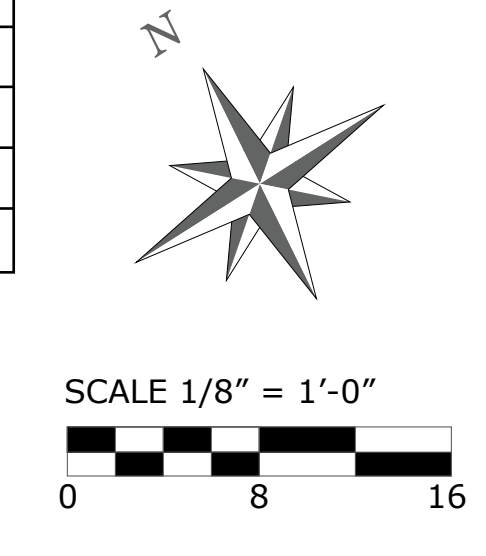
Protective fencing for the street trees in 3x3 tree wells is most likely not feasible. Where demolition must occur close to trees, such as removing curb and pavement, install temporary trunk protection devices such as winding silt sock wattle or wood planks around trunks (see photos below). Any low branches that are within the work zone should also be protected. Remove trunk protection after demolition is completed and install a protective fence at the limits of the tree protection zone. Do not retain wattling around tree trunks for more than 2-3 weeks to avoid damaging trunks from excess moisture.

Temporary trunk protection devices:
 Winding silt sock wattle or Wood planks around trunks

STREET TREE IDENTIFICATION				
#	Common / Botanical	Trunk Diameter	Condition	Status
1	London plane - Platanus acerifolia	18" DBH	Good	Remain
2	Tulip Poplar - Liriodendron tulipifera	13" DBH	Fair	Remain
3	Chinese Pistache - Pistachia chinensis	8" DBH	Fair	Remain
4	Chinese Pistache - Pistachia chinensis	12" DBH	Fair	Remain
5	Chinese Pistache - Pistachia chinensis	10" DBH	Poor	To be replaced

1st Floor Plant Legend					
BOTANICAL	COMMON	QTY	SIZE	WATER	REMARKS
Tree					
Pistacia chinensis	Chinese Pistache	1	24" Box	Low	1st Floor Replacement Tree

NOTE: Refer to arborist report by Alpine Landscape for Street trees information & recommendations.



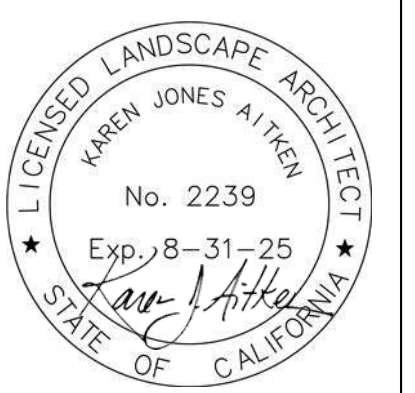
* NOTES (E) = Existing

REVISIONS	BY

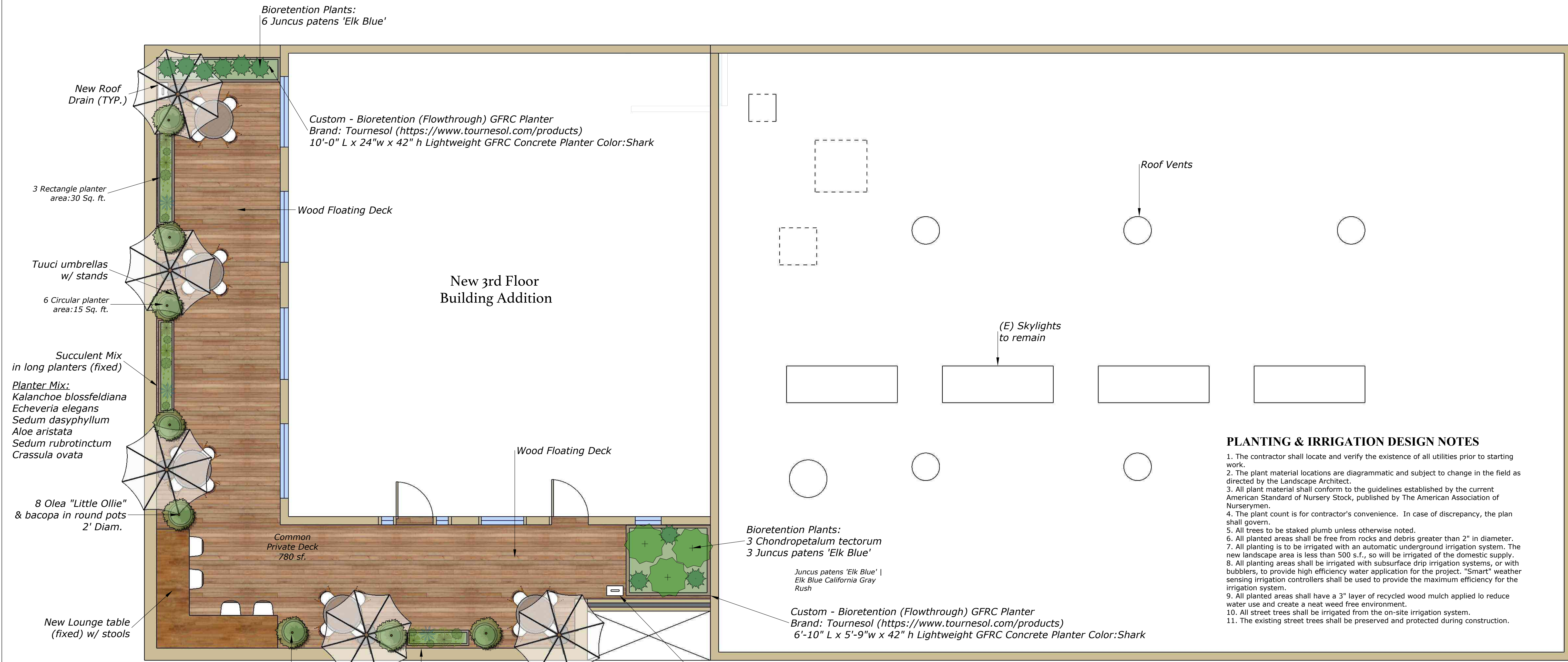


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HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
ROOF LANDSCAPE PLAN & DESIGN NOTES

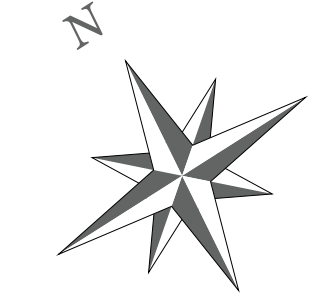


DATE 04-10-24
 SCALE 1/8"=1'-0"
 DRAWN IN
 JOB CASTRO BLDG.



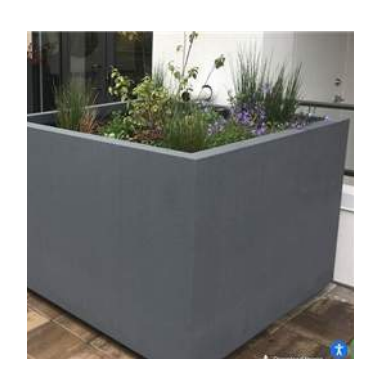
- PLANTING & IRRIGATION DESIGN NOTES**
- The contractor shall locate and verify the existence of all utilities prior to starting work.
 - The plant material locations are diagrammatic and subject to change in the field as directed by the Landscape Architect.
 - All plant material shall conform to the guidelines established by the current American Standard of Nursery Stock, published by The American Association of Nurserymen.
 - The plant count is for contractor's convenience. In case of discrepancy, the plan shall govern.
 - All trees to be staked plumb unless otherwise noted.
 - All planted areas shall be free from rocks and debris greater than 2" in diameter.
 - All planting is to be irrigated with an automatic underground irrigation system. The new landscape area is less than 500 s.f., so will be irrigated of the domestic supply.
 - All planting areas shall be irrigated with subsurface drip irrigation systems, or with bubblers, to provide high efficiency water application for the project. "Smart" weather sensing irrigation controllers shall be used to provide the maximum efficiency for the irrigation system.
 - All planted areas shall have a 3" layer of recycled wood mulch applied to reduce water use and create a neat weed free environment.
 - All street trees shall be irrigated from the on-site irrigation system.
 - The existing street trees shall be preserved and protected during construction.

PLANT LEGEND			
BOTANICAL	COMMON	SIZE	WATER
Shrub			
<i>Crassula ovata</i>	Jade Plant	1 Gallon	Low
<i>Olea europaea</i> 'Little Ollie'	Little Ollie Dwarf Olive	5 Gallon	Very Low
Ground cover			
<i>Sedum dasyphyllum</i> 'Major'	Blue Tears Sedum	1 Gallon	Low
<i>Sedum rubrotinctum</i> 'Aurora'	Pink Jelly Bean	5 Gallon	Low
<i>Sutera cordata</i>	White Bacopa	1 Gallon	High
Perennial			
<i>Kalanchoe blossfeldiana</i>	Kalanchoe	1 Gallon	Low
Succulent			
<i>Aloe aristata</i>	Torch Plant	1 Gallon	Low
<i>Echeveria elegans</i>	Mexican Snowball	1 Gallon	Very Low, Low
Tree			
<i>Pistacia chinensis</i>	Chinese Pistache	1 24" Box	Low 1st Floor Replacement Tree

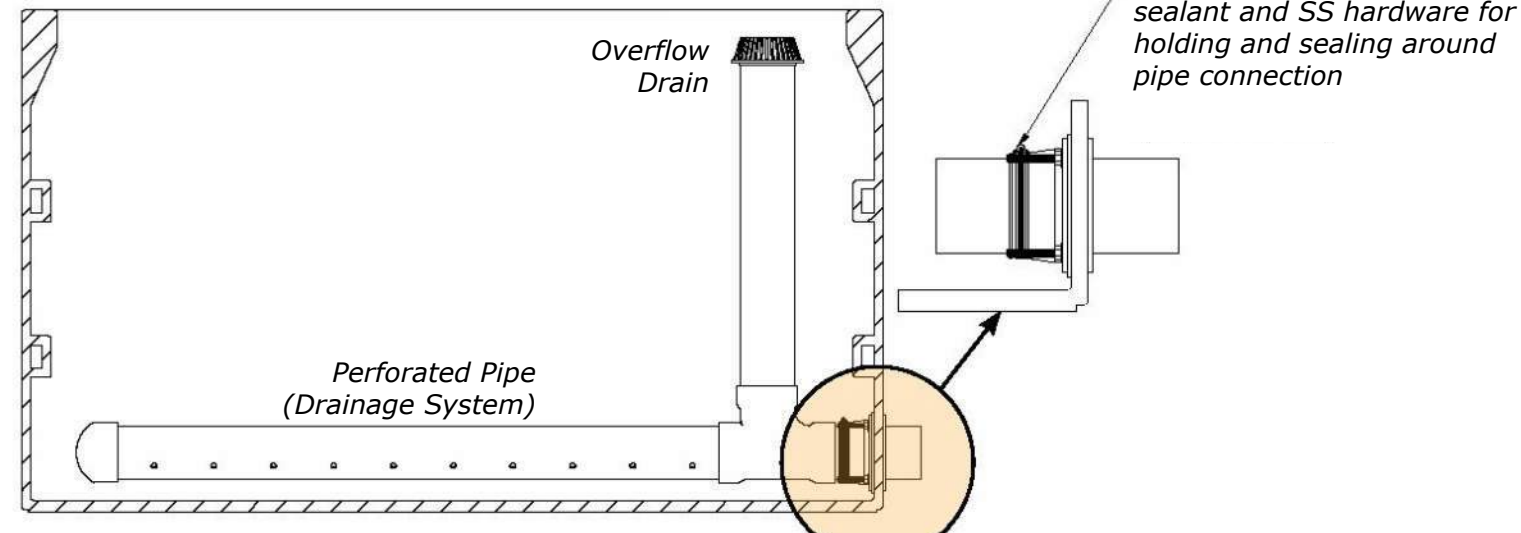
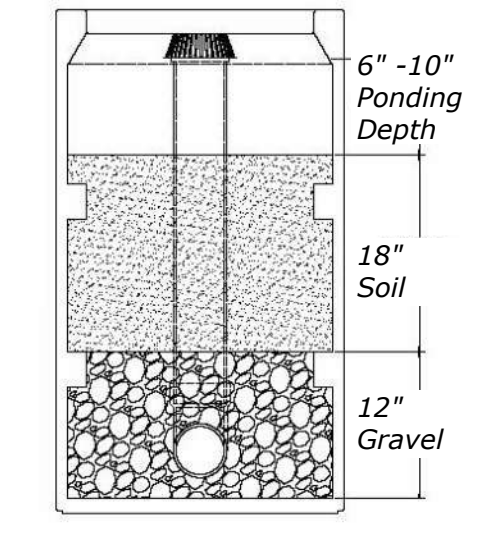


All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California. An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient landscape Ordinance. The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials, and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

* NOTES (E) = Existing



Custom - Bioretention (Flowthrough) GFRC Planter Brand: Tournesol



Fiberglass Planter boxes Brand: Tournesol Willshire Collection



Floating deck Brand: Tile tech IPE Wood FSC



Olea europaea 'Little Ollie' Little Ollie Dwarf Olive



Echeveria elegans Mexican Snowball



Kalanchoe blossfeldiana Kalanchoe



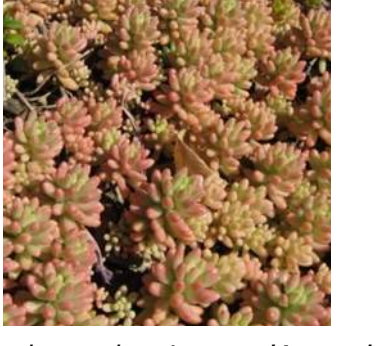
Crassula ovata Jade Plant



Aloe aristata Torch Plant



Sedum dasyphyllum 'Major' Blue Tears Sedum



Sedum rubrotinctum 'Aurora' Pink Jelly Bean



Sutera cordata White Bacopa



Chondropetalum tectorum - Cape Rush



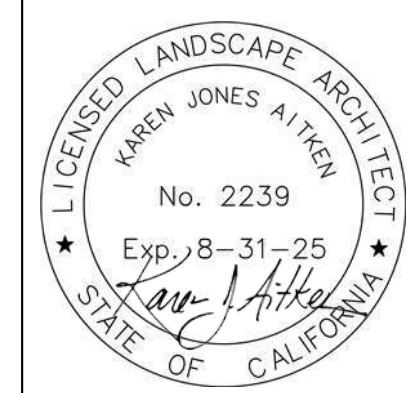
Juncus 'Elk Blue' California Gray Rush

REVISIONS	BY



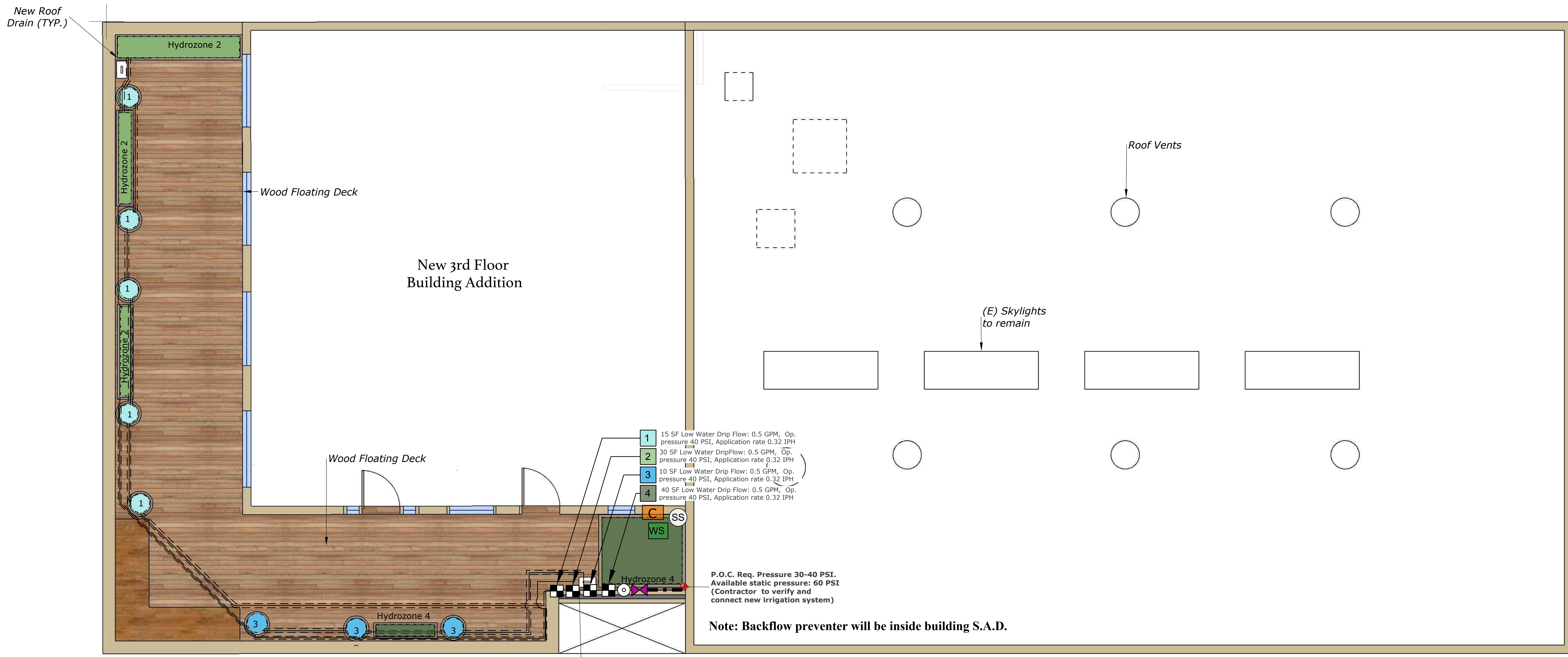
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HISTORIC JURIAN BUILDING
 194-198 Castro Street Mountain View CA
ROOF IRRIGATION PLAN & DESIGN NOTES



DATE	04-10-24
SCALE	1/8"=1'-0"
DRAWN	IN
JOB	CASTRO BLDG.

L-3



Connect Planter drain system to New Roof Drain (TYP.)

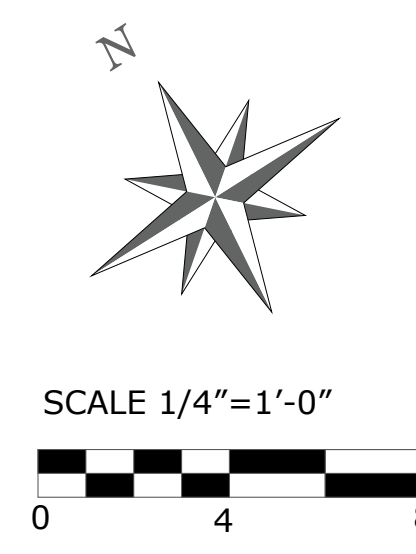
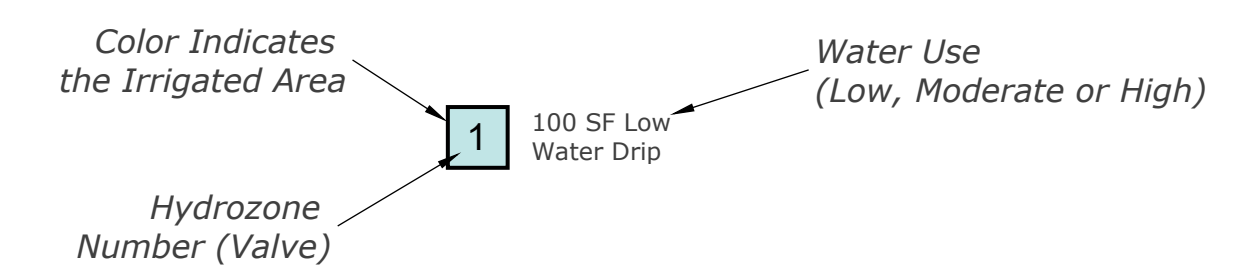
Irrigation Schedule				
Valve #	Hydrozone/Water Use	Days of the Week	Run Time	Gal. Per Day
1	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	5 Gal.
2	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	7 Gal.
3	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	4 Gal.
4	Low Water Use / Shurbs	Mon, Wed, Fri	5 min.	8 Gal.

System only operates between 8:00 p.m. and 10:00 a.m.
 Uses Rain Sensor & Automatically Adjusts for the time of year.

IRRIGATION KEY	
	Irrigation Lateral Line: 1 in. PVC Class 200
	Irrigation Mainline: 2 in. PVC Schedule 40
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
	Hunter ICZ-101-25-LF Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
	Hunter Dripline HDL-06-12-CV Hunter Dripline w/ 0.9 GPH emitters every 12 in. Dripline laterals spaced at 12" apart. Install with Hunter PLD barbed or PLD-LOC fittings.
	Tree Ring Irrigation Dripline w/ 0.9 drip emitters placed every 12 in. Inner ring 12" from plant. Outer ring 30" from plant. Place tie down every 4" in loam and 5' in clay.
	Hunter ACC-1200 12 to 42 Station Outdoor Modular Controller. No Module Required. High-End Commercial Use. Metal Cabinet.

	Hunter SOIL-CLIK The Soil-Clk probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
	Hunter HFS-150 Flow Sensor for use with ACC controller, 1-1/2" Schedule 40 Sensor Body, 24 VAC, 2 amp.
	FEBCO Backflow Preventer 1" 825Y
	Master Shut Off Valve behind meter
	Medium Flow Inline Pressure Regulator 40 PSI

Refer to sheet L-4, L-5 & L-6 for MWELC Calcs & Details



* NOTES (E) = Existing
Total Irrigated Landscape Area (Planters & Bioretention Planters) Represent 95 sf.

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