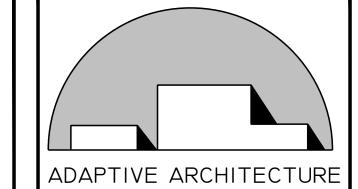
CASTLE GRAYSKULL CONDITIONAL USE PERMIT

89 PIONEER WAY MOUNTAIN VIEW, CA 94041



20111 STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

Janice T. Yeh C-33243 Ren. Dale: 07/31/25

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DEFERRED SUBMITTAL

ANY MODIFICATION OF THE FOLLOWING SCOPE OF WORK

WILL BE SUBMITTED AS A DEFERRED SUBMITTAL:

I. AUTOMATIC FIRE SPRINKLER SYSTEM

3. UNDERGROUND FIRE SERVICE

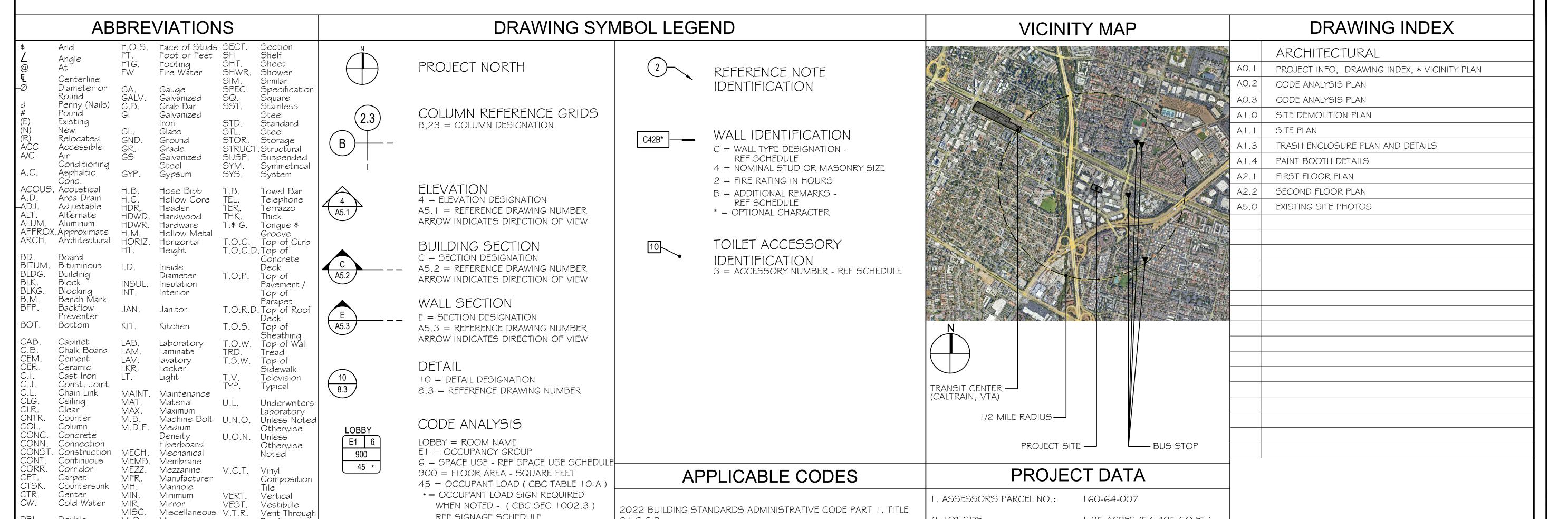
2. FIRE ALARM SYSTEM

CHECKED: | DRAWN:JY SCALE: AS NOTED PROJECT NUMBER:

PROJECT INFO, DRAWING INDEX. & VICINITY PLAN

DRAWING NUMBER:

A0.1



2022 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE

2022 CALIFORNIA BUILDING CODE (CBC) PART 2, TITLE 24 C.C.R.

(202 | INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA

2022 CALIFORNIA PLUMBING CODE (CPC)

2022 CALIFORNIA MECHANICAL CODE (CMC)

2022 CALIFORNIA ELECTRICAL CODE (CEC)

2022 CALIFORNIA GREEN BUILDING CODE

CITY OF MOUNTAIN VIEW MUNICIPAL CODE

2022 CALIFORNIA FIRE CODE (CFC)

2022 CALIFORNIA ENERGY CODE

LEVEL LINE, CONTROL POINT FFE O'-O" = ELEVATION

MATCH LINE AND AREA **DESIGNATOR**

REF SIGNAGE SCHEDULE

SHADED PORTION IS THE SIDE CONSIDERED

WHEN NOTED - (CBC SEC 1002.3)

CENTER LINES, FLOOR LINES AND LEVEL LINES

SECTION LINES

--- PROPERTY LINES, BOUNDRY LINES AND MATCH LINES

> HIDDEN CONSTRUCTION FEATURE

BREAKS OF BUILDING

FFE 0'-0"

Vestibule

Covering

West

Wood

Window

Without

Weight

Fabric

W.W.F. Welded Wire

With

V.W.C. Vinyl Wall

Ŵ.C. WD.

WDW. W/O W.S.

Vent Through

Water Closet

Wood Screw

Cold Water

Department

Drinking

Fountain /

Diameter

Diagonal

Door

Drawing

Expansion

Elevation

Electrical Elevator

Emergency

Enclosure

Equipment

Each Way

Expansion

Fire Alarm

Floor Drain

Foundation

Extinguisher

Extinguisher

Finish Floor

Flat Head

Finish Grade

Fire Hose Cab.R.H

Face of Conc. 5.

Face of Finish S.C.

Fire

Fire

Cabinet

Flashing

Masonry

Floor

FLUOR. Fluorescent

F.O.M. Face of

Equal

Exhaust

Exterior

Each

Joint

DTL. DWG.

DWR.

EXH. EXP.

EXT.

FDN.

Douglas Fir

Dimension

Downspout

Dry StandPipe

MIR.

M.O.

MTL.

MUL.

N.I.C.

O.A. O.C. OFF.

OPP.

PLAS.

PNL. PR. PT.

PLYWD.

Masonry

Openina

Mounted

Metal

Mullion

Not In

Nominal

N.T.S. Not To Scale WT.

Diameter

Overall On Center

Office

P.L.C.C. Plastic Laminate

Plaster

Panel

Point

P.LAM. Plastic Laminate

Riser Roof Drain

Reference

Refrigerator

Reinforced

Round Head

Solid Core

Rough Opening

Required

Resilient

Room

SCHED. Schedule

Plywood

Opposite

Casework Planting Area

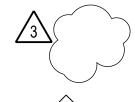
Panic Hardware

No. or # Number

Contract

REVISION

COMPONENTS



3 = REVISION NUMBER



WINDOW TYPE

50 = DOOR NUMBER

GLAZED OPENING OR

DOOR IDENTIFICATION

PROJECT TEAM SCOPE OF WORK

2. LOT SIZE:

4. ZONING DESIGNATION:

6. TYPE OF CONSTRUCTION:

PREVIOUS OCCUPANCY

7. TYPE OF OCCUPANCY:

8. FIRE SPRINKLER?

9. FIRE ALARM?

5. EXISTING BLDG DESCRIPTION:

ARCHITECT

24 C.C.R.

AMENDMENTS.

ADAPTIVE ARCHITECTURE CONTACT: JANICE YEH 20111 STEVENS CREEK BLVD, SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

THE PROJECT SCOPE OF WORK INCLUDES THE FOLLOWING

3. GENERAL PLAN DESIGNATION: HIGH DENSITY OFFICE

INTERIOR TENANT IMPROVEMENT TO CONVERT AN EXISTING AUTOMOTIVE SHOP TO VIDEO PRODUCTION SPACES AND TOY R&D OFFICES. PROPOSED INTERIOR WORK INCLUDES:

- ADD NEW FIRE SPRINKLER SYSTEM
- NEW TRASH ENCLOSURE

UPGRADES TO THE EXISTING BUILDING AND SITE:

1.25 ACRES (54,495 SQ.FT.)

GENERAL INDUSTRIAL (MM)

EXISTING 2-STORY,

BUILDING

III-B

25,740 SF INDUSTRIAL

B & F-1 OCCUPANCIES

F-1 \$ S-1 AUTOMOBILE REPAIR

EXISTING: NO / PROPOSED: YES

NEW OUTDOOR PAINT BOOTH

 ADA-COMPLIANT PARKING STALLS RE-STRIPE PARKING STALLS

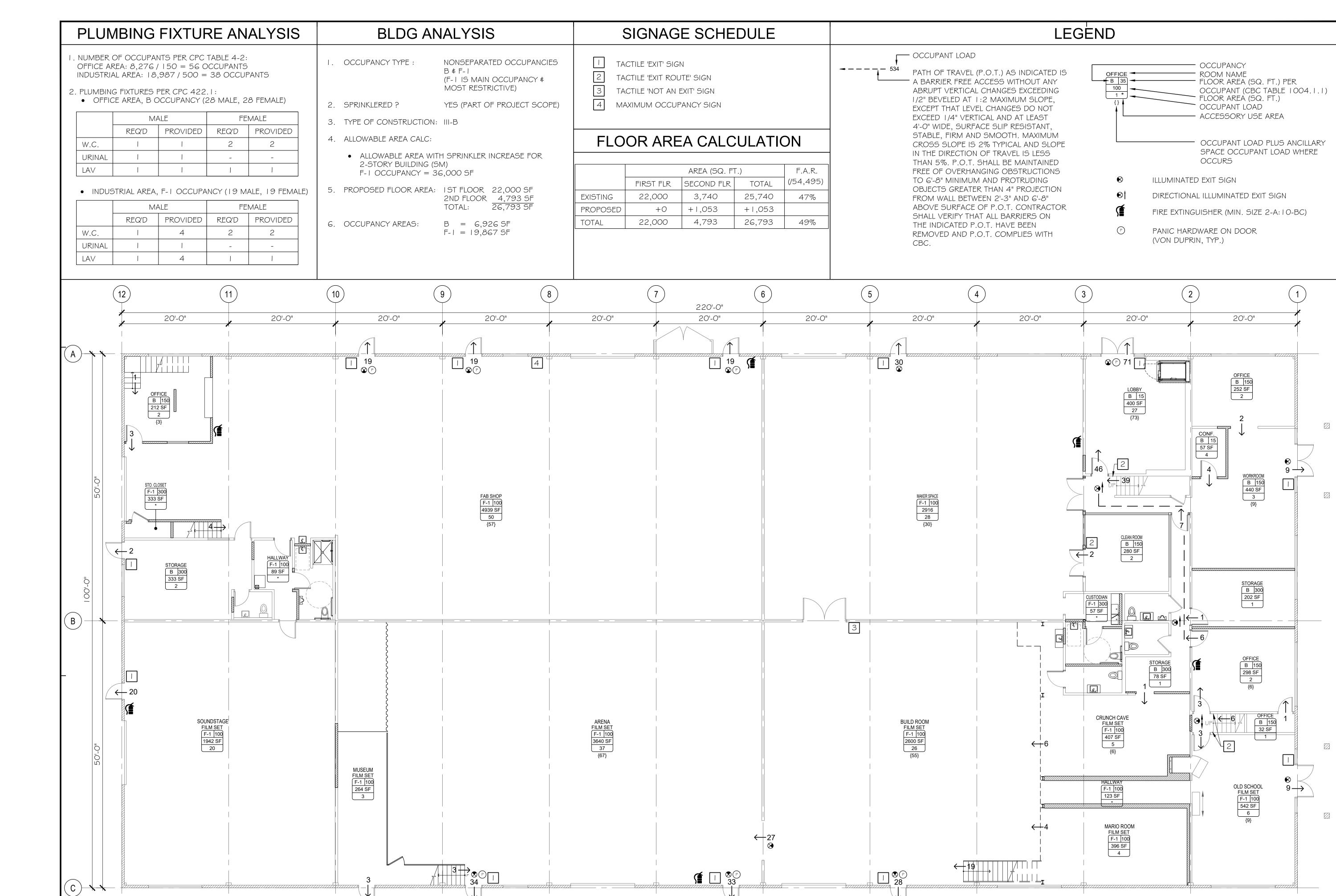
STORAGE CONTAINERS

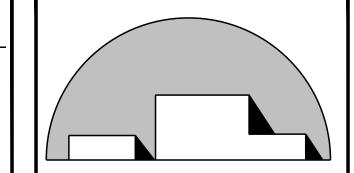
• INTERIOR PARTITIONS, CASEWORK, AND FINISHES

• ADDITION OF 1,053 SQ. FT. OF SECOND FLOOR AREA

 NEW ADA-COMPLIANT RESTROOMS NEW WHEELCHAIR LIFT

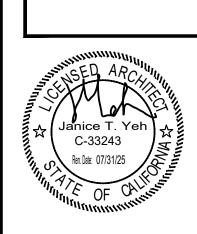
PROPOSED SITE WORK INCLUDES:





20III STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

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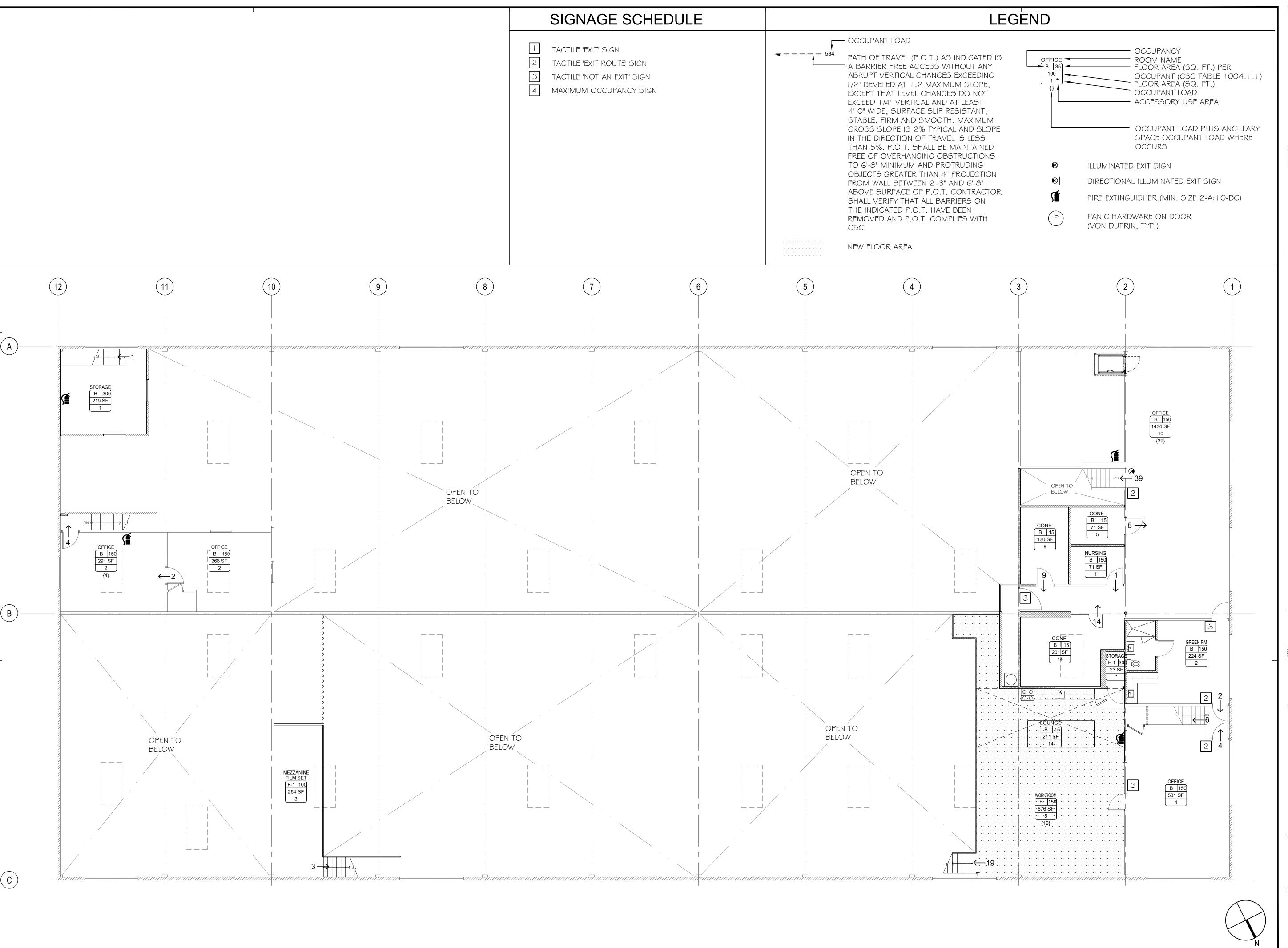
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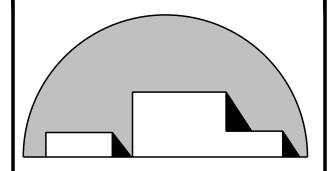
CODE ANALYSIS PLAN

DRAWING NUMBER: A0.2

CODE ANALYSIS PLAN - 1ST FLOOR

1/8" = 1'-0"





20111 STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

CASTLE GRAYSKULL INDITIONAL USE PERMIT

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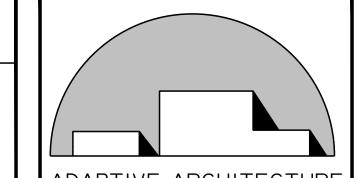
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PROJECT NUMBER:

CODE ANALYSIS PLAN

DRAWING NUMBER:

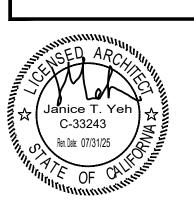
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ADAPTIVE ARCHITECTURE
20111 STEVENS CREEK BLVD

2011 STEVENS CREEK BI SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

CONDITIONAL USE PERMIT

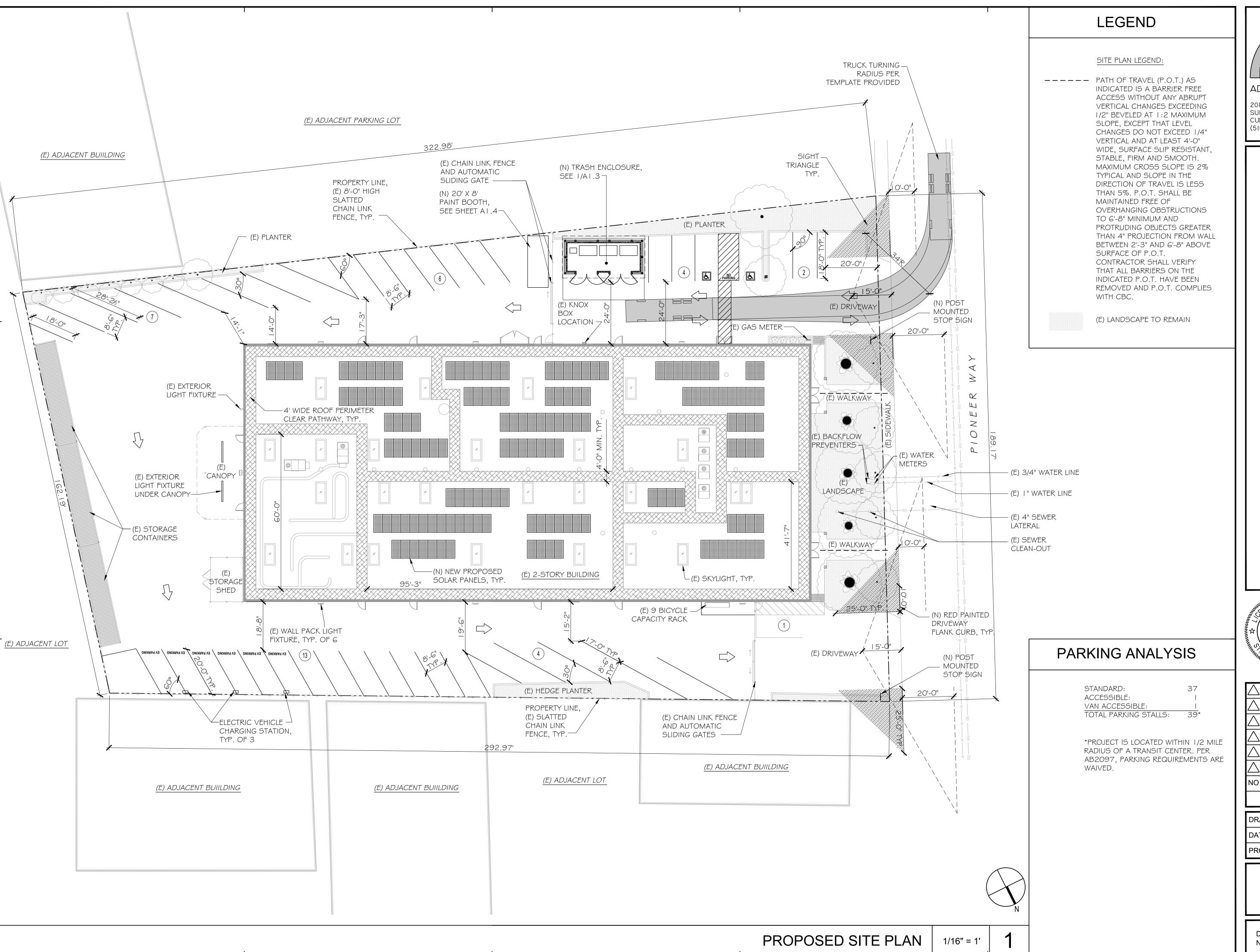


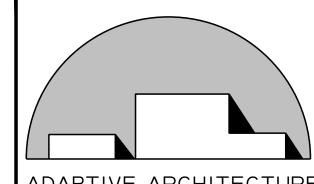
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PROJECT NUMBER:				

SITE DEMOLITION PLAN

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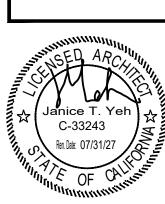




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CONDITIONAL USE PERMIT

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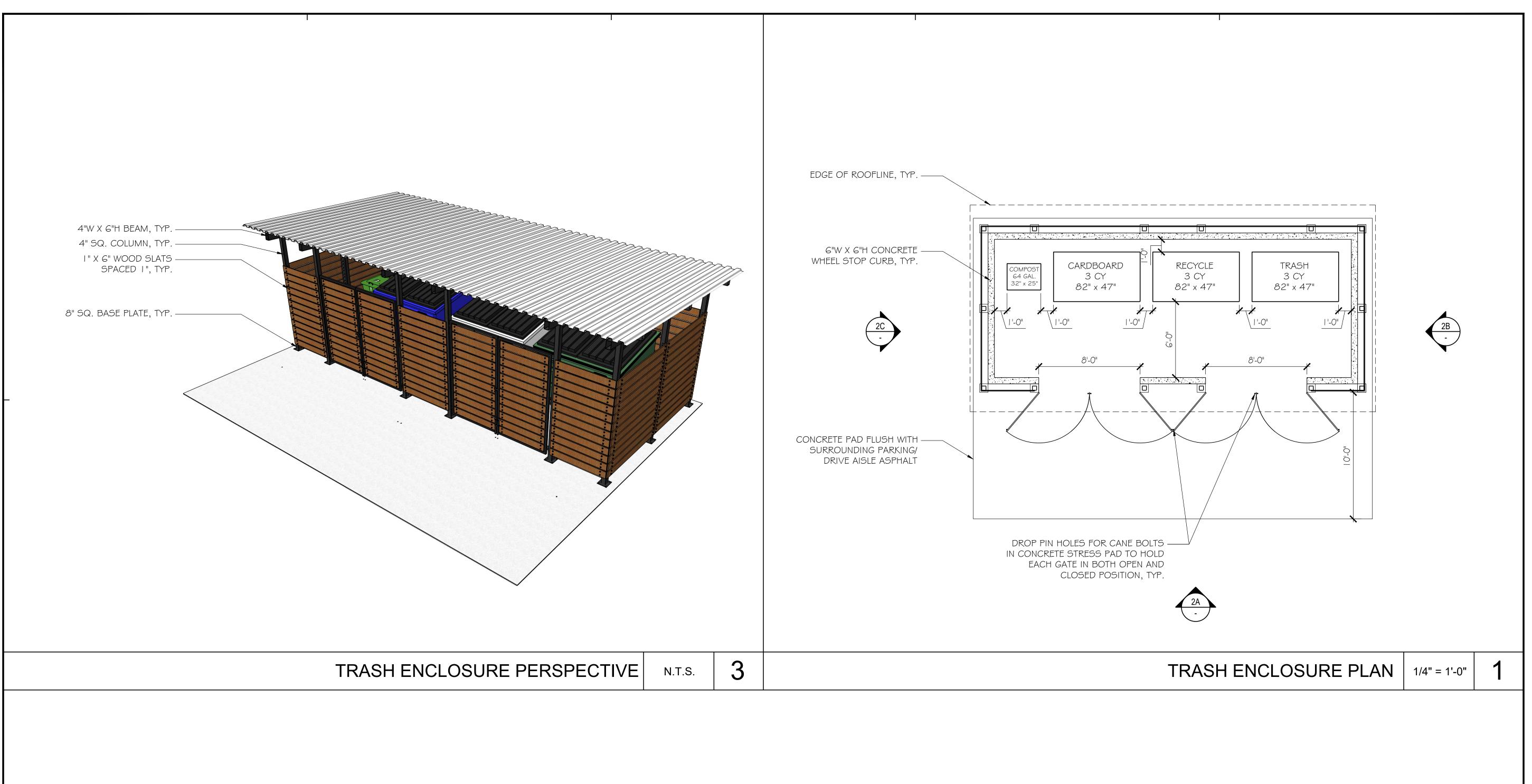


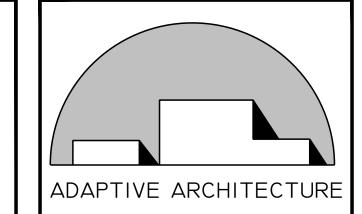
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SITE PLAN

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20111 STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226



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TRASH ENCLOSURE PLAN & DETAILS

DRAWING NUMBER:

ROOF OVER WELDED TUBE STEEL FRAME	WOOD SLATS OVER ————————————————————————————————————	DOUBLE SWING STEEL \$ WOOD GATES W/ CANE BOLTS	DOUBLE SWING STEEL \$ WOOD GATES W/ CANE BOLTS
SOOF STRUCTURE HIGH PT.			
16'-4"		8'-0" GATE 8'-0"	O" GATE

B.

TRASH ENCLOSURE ELEVATIONS

1/4" = 1'-0"

A.



Shipping Container Spray Paint Booths



A Rugged and Mobile Solution

Container Spray Paint Booth

Engineered Performance

The Container spray paint booth is a conversion using an ISO standard shipping container, turning it into a professional quality spray booth, with all of the standard functions, options and safety features that you expect, and that your spray operations require.

A container spray booth can be configured as an "Open Face" booth or as a "Front Air Flow" booth where the front doors have filters that remove dust and particulates from the air before it enters the spray booth.

It's easy to move, easy to operate, and



Non Heated Container Spray Paint Booth

Great Finishes



Marathon Spray Paint Booths are ETL Listed for Your Safety!

Start Here!



Call Us Today at **310 791-5601** for a Quote & More Information

Marathon Finishing Systems

Exhaust Filters

Our spray booths use only "Industry Standard" sized filters. Easily replaceable from any filter

supplier, online, or from Marathon directly.

Marathon "Standard Series" booths come with 20" x 20" x 2" hi-efficiency fiberglass paint

all aspects of illumination (location, orientation, etc.) for all of our spray booths, so you get the

best lighting possible in your work space. We provide UL listed LED fixtures with a full one

DoorsOur large main doors are designed for easy acces

into the container spray booth. It has a larger door with a smaller 3 ft wide door. This acts as an MAN

arrestor pads included with purchase

Marathon Spray Paint Booths are ETL Listed for Your Safety!





Non Heated Container Spray Paint Booth

Did You Know?

18 gauge galvanized steel, making the inner walls smooth. The ONLY **ETL Listed** shipping container

The ETL Listing (certification) is confirmation that every aspect of our construction meets or exceeds

the build and safety code standards established by NFPA 33. This is important, as your Fire Inspector will require proof of compliance before approval.

Made to Exceed Your Expectations

Made to Last, Built to RUN!

All of Marathon Finishing's Container spray booths are manufactured using a standard ISO shipping container.

We build them out using quality components and expert craftsmanship that is focused on meeting or exceeding NFPA and OSHA safety requirements.

All of our LED light fixtures are UL listed for use in their respective applications. They have been properly distributed throughout the work environment to provide optimal lighting, minimize shadow casting, and create a well lit & safe work environment.

All of our container spray paint booths are designed to provide a superior experience with simple operation and easy maintenance, using components that are easily sourced and easy to replace.

Our container spray booths can be easily moved: Just put it on a truck, and you're off to the next location!

Marathon Finishing will design, build, and install your container spray booth to your exact specifications, to fit your needs, and your available space.

Custom does not mean more expensive. All of our paint booths are manufactured at our facility in Temecula, CA. They are equipped with components from trusted US manufacturers that deliver performance, quality, and safety.

Every day.

Marathon Finishing Systems

Call Us Today at **310 791-5601** for a Quote & More Information

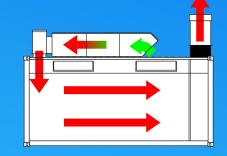
Marathon Spray Paint Booths are ETL Listed for Your Safety!



Container Spray Paint Booth Air Flow

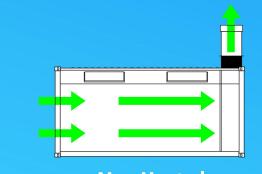
Intake, Heated Booth:

Outside air is filtered twice, once as it enters in through the air make up unit located on top of the container booth, and again as it passes through the intake plenum filters (above the front doors). In this example this booth is equipped with a Spray & Cure heating unit, also known as 'Make Up Air'.



Heated

Intake, Non Heated Booth Outside air is filtered once, through the front intake filter wall (front doors) before entering the work area.



Non Heated

Exhaust, Both Spray Booth Types: The filtered air travels horizontally across the length of the booth (cross flow). Finally, the air is filtered of overspray and particulates by the exhaust filters before exiting the booth. Marathon uses standard size Intake and exhaust filter media, readily available from most paint and refinishing suppliers or directly from Marathon Finishing Systems.

Engineered to a Higher Standard

Container Spray Booths

Features & Components

Fans/Motors
Our fans and motors are US made, and AMCA certified,

with spark resistant aluminum blades, hi efficiency motors, and belt driven tube axial fans. The streamlined belt tunnel

ventilates the drive compartment with air from outside the

Intake Filters
Quality Intake filter media is one of the key

components in maintaining a "clean room" type of environment that is dust free. We

provide high quality filter media with dust lock

technology for a dust free finish every time.

Mobile Container Spray Paint Booths - Marathon Finishing Systems









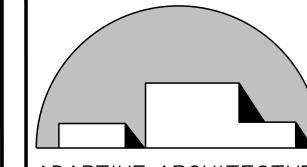




Call Us Today at 310 791-5601 for a Quote & More Information

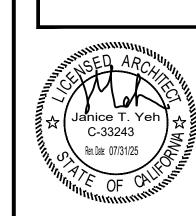
Great Finishes Start Here!

Marathon



ADAPTIVE ARCHITECTURE

20111 STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

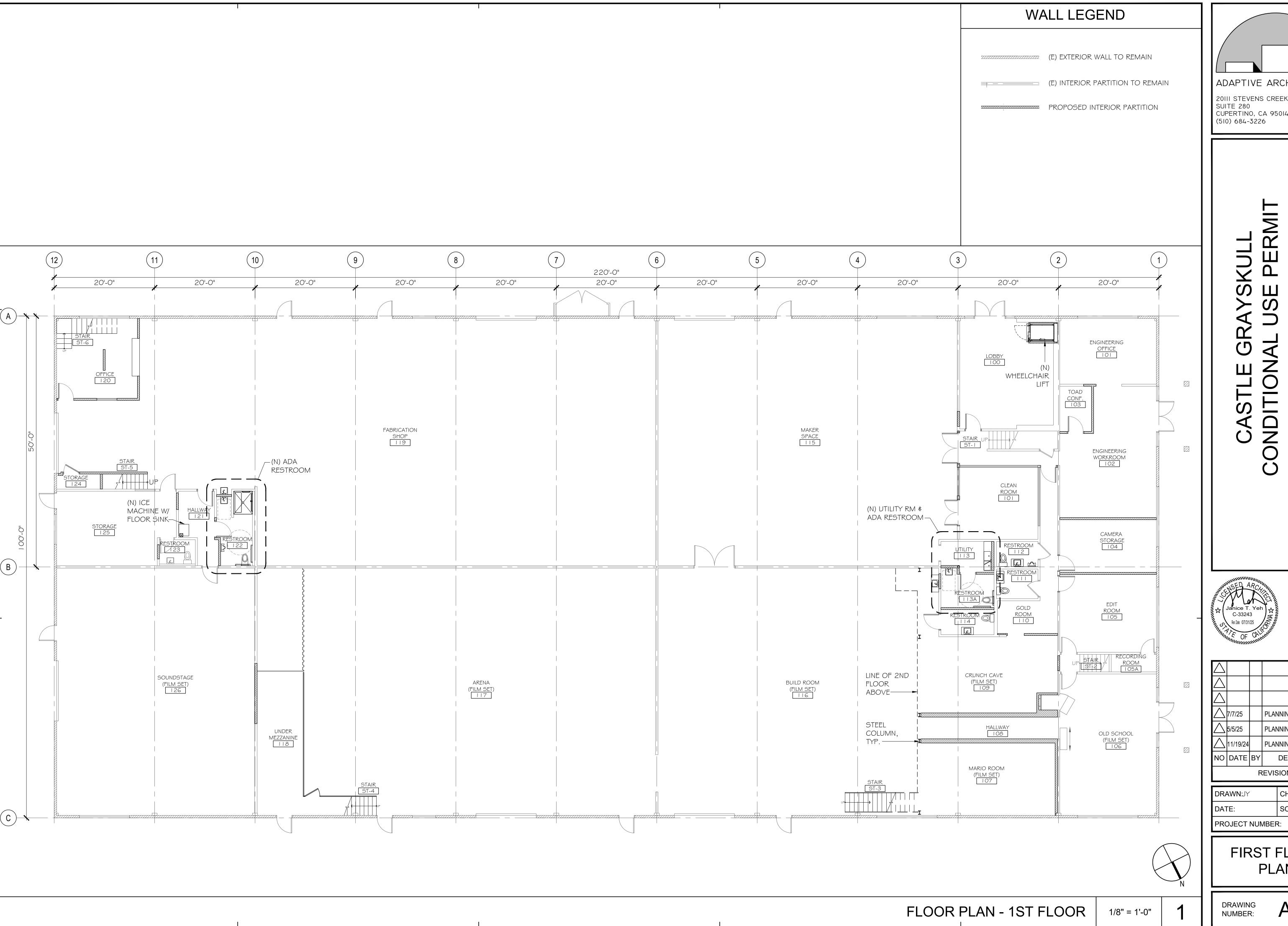


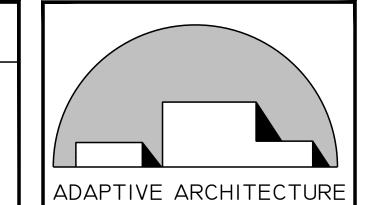
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PAINT BOOTH **DETAILS**

DRAWING NUMBER:





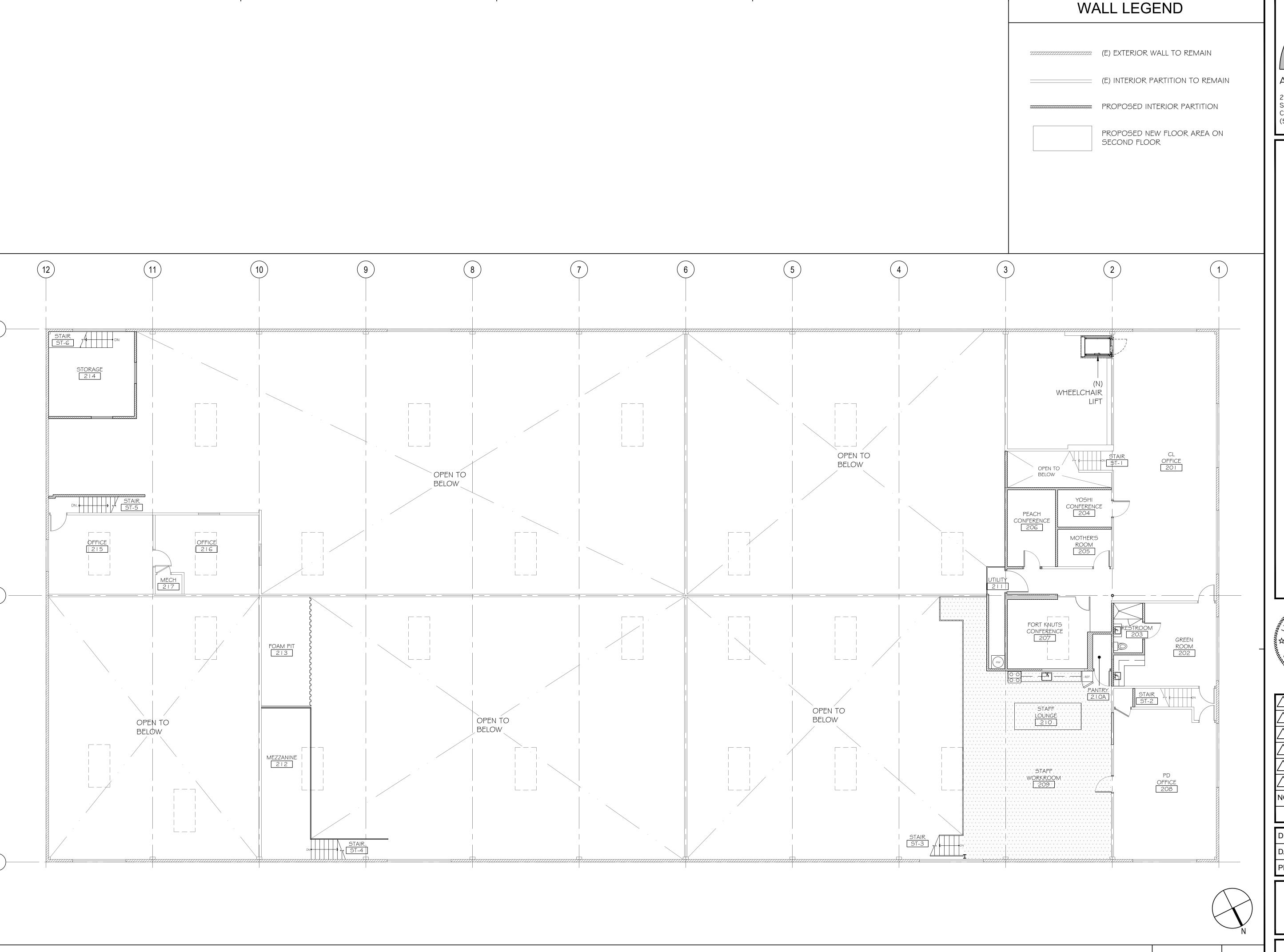
20III STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

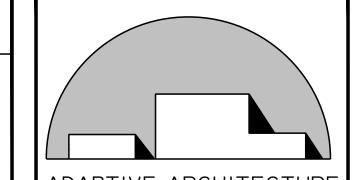
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FIRST FLOOR PLAN

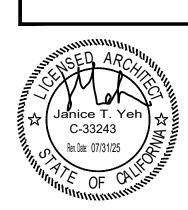
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20111 STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

89 PIONEER MOUNTAIN VIEW,



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SECOND FLOOR PLAN

A2.2

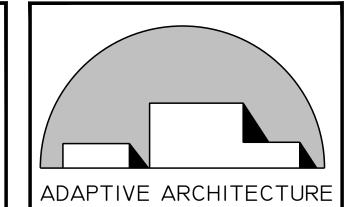
DRAWING NUMBER:

FLOOR PLAN - MEZZANIE & 2ND FLOOR 1/8" = 1'-0"









2011 STEVENS CREEK BLVD SUITE 280 CUPERTINO, CA 95014 (510) 684-3226

FRONT ENTRY FRONT FACADE & LANDSCAPE N.T.S. N.T.S.





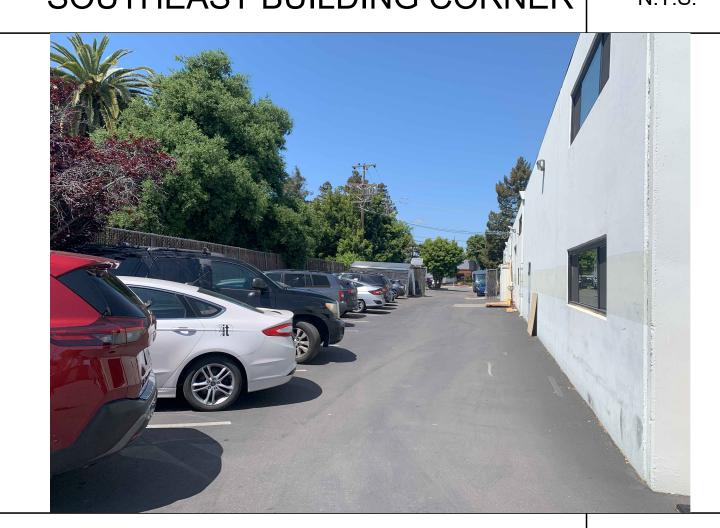
SOUTH FACADE ENTRY TO SHOP SOUTH FACADE OUTSIDE ENTRY GATE N.T.S. N.T.S.







NORTHEAST BUILDING CORNER REAR STORAGE CONTAINERS N.T.S. N.T.S.

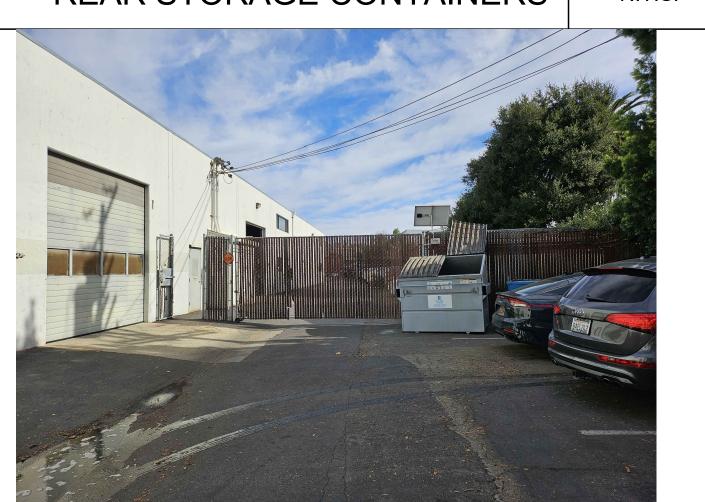


SOUTHWEST SITE CORNER

10

N.T.S.





CHECKED: DRAWN: SCALE: AS NOTED PROJECT NUMBER:

PLANNING RESUBMITTAL

PLANNING RESUBMITTAL

PLANNING SUBMITTAL

EXISTING SITE PHOTOS

A5.0

BIKE RACK & INSIDE EXIT GATE 11 N.T.S.

OUTSIDE ENTRY GATE

N.T.S.

DRAWING NUMBER: