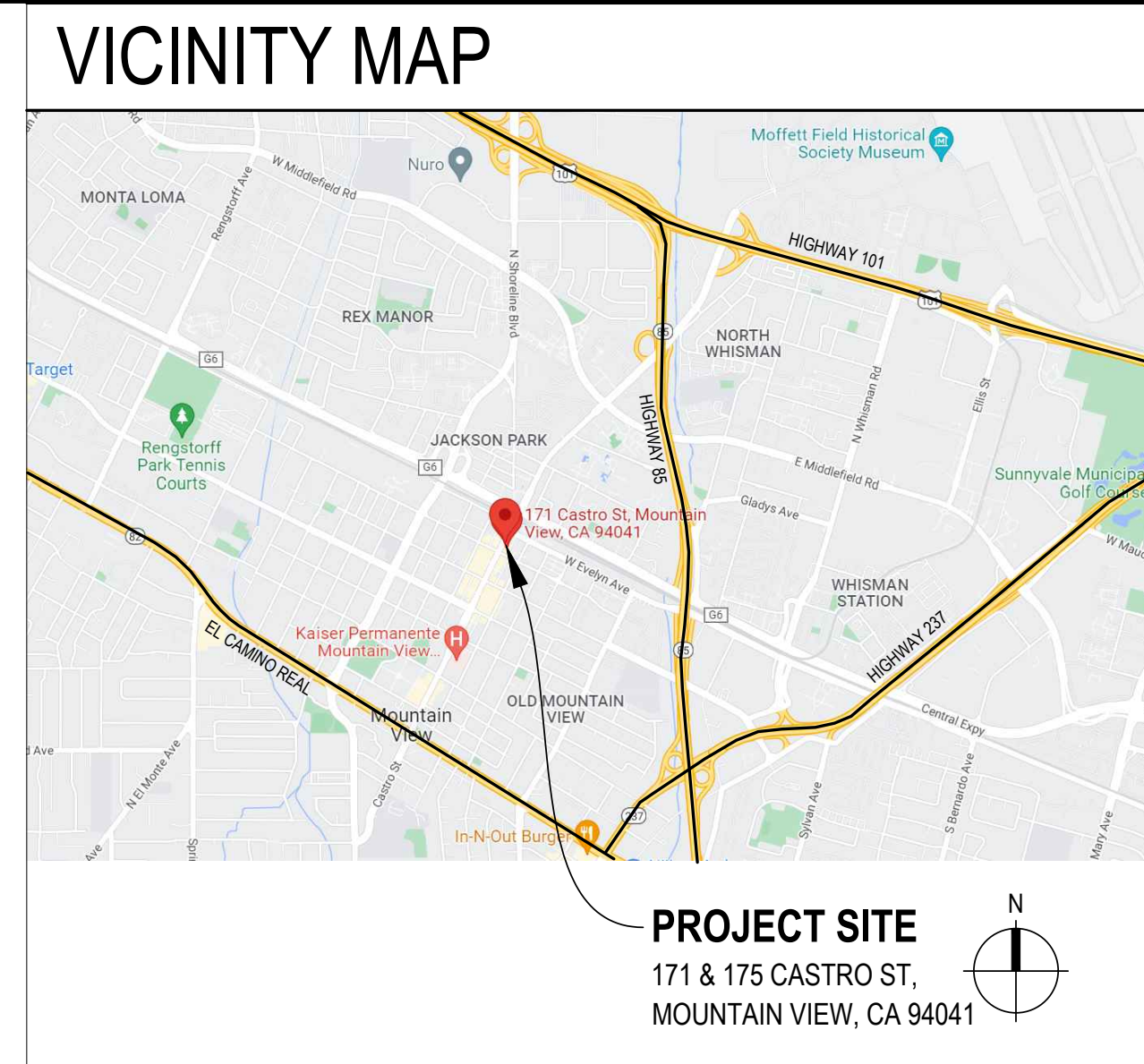


PROVISIONAL USE PERMIT

FOR KITCHEN STORY & U :DESSERT STORY RESTAURANT

AT 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041



PROJECT INFORMATION

PROJECT NAME:
 KITCHEN STORY & U :DESSERT STORY RESTAURANT TENANT IMPROVEMENT

PROJECT DESCRIPTION:
 TENANT IMPROVEMENT TO ESTABLISH A RESTAURANT AT AN EXISTING TENANT SPACE APPROX. 3,094 SF WITH KITCHEN, RESTROOMS, SERVING AREA, SEATING AREA AND TRASH ENCLOSURE. OUTDOOR SEATING TO BE ADDED IN FRONT OF THE BUILDING

OCCUPANCY:
 GROUP A-2 FOR RESTAURANT TENANT SPACE AT FIRST FLOOR
 GROUP R-2 FOR APARTMENT AT SECOND FLOOR

PROPOSED USE: RESTAURANT
PREVIOUS USE: LOCKSMITH STORE

PROJECT ADDRESS:
 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041

ASSESSOR'S PARCEL NUMBER:
 158-20-012

LOT SIZE:
 4,917.80 SF

TOTAL NUMBER OF SEATS:
 INSIDE THE TENANT SPACE : 96 SEATS (88 FOR DINING + 8 FOR BAR)
 OUTDOOR SEATS: 8 SEATS

PARKING:
 ASSEMBLY BILL NO. 2097 REQUIRES NO PARKING MINIMUMS WITHIN 1/4 MILE OF A TRANSIT CENTER. THIS RESULTS IN NO PARKING PROVISION OR PARKING IN-LIEU FEE FOR THIS SITE.

NUMBER OF STORY: (E) 2 STORY

NUMBER OF EXITS FOR THE TENANT SPACE: 2 EXITS PROVIDED

TOTAL BUILDING AREA: 4,031 SF (NO CHANGES TO SQ.FT. OF THE EXISTING BUILDING AREA)
- 1ST FLOOR TENANT SPACE FLOOR AREA : 3,094 SF (MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS)

AUTOMATIC FIRE SPRINKLER SYSTEM: NOT PROVIDED

OCCUPANT LOAD SUMMARY

ROOM NO.	ROOM NAME	AREA (SQ.FT.)	LOAD FACTOR (PER TABLE 1004.1.2)	OCC. LOAD	NOTES
101	ASSEMBLY WITH FIXED SEATS	1,199 SF	NUMBER BOOTH SEATING	50	
	ASSEMBLY WITHOUT FIXED SEATS		UNCONCENTRATED (TABLE & CHAIRS)	45	670 SF / 15
102	BAR	188 SF	NUMBER OF SEATING	8	
			200	1	72 SF / 200
103	KITCHEN	643 SF			
104	STORAGE	134 SF			
107	WOMEN'S RESTROOM	129 SF			
108	MEN'S RESTROOM	113 SF			
-	MISCELLANEOUS AREA	377 SF	ENTRY RAMP, HALLWAY		
TOTAL OCCUPANT LOAD				108	

SHEET INDEX

A1.0	COVER SHEET
A1.1	COMMERCIAL MVBGC
A1.2	BOUNDARY AND TOPOGRAPHIC SURVEY
C1.0	GRADING & DRAINAGE PLAN
C2.0	UTILITY PLAN
C3.0	OFFSITE IMPROVEMENT PLAN
A1.3	SITE PLAN
A1.4	LIFE SAFETY PLAN
A2.0	EXISTING DEMO PLAN
A2.1	(N) FLOOR PLAN
A2.3	ROOF PLAN
A4.0	EXTERIOR ELEVATIONS-1
A4.1	EXTERIOR ELEVATIONS-2
A6.0	DETAILS-1
A6.2	DETAILS-3
A6.3	TRASH ENCLOSURE DETAILS

DEFERRED SUBMITTAL

- ALL EXTERIOR SIGNAGE
 - COOKING APPLIANCE FIRE EXTINGUISHING SYSTEM
 - FIRE ALARM SYSTEM
- NOTES:**
 A. CONTRACTOR SHALL PROVIDE SUBMITTAL DOCUMENTS TO ARCHITECT/ OWNER FOR REVIEW PRIOR TO SUBMITTING PLANS TO THE CITY
 B. SUBMITTAL DOCUMENTS ABOVE TO BE SUBMITTED UNDER SEPARATE PERMIT TO THE CITY

APPLICABLE CODES

ISSUES/REVISIONS

- ALL WORK IS TO BE PERFORMED ACCORDING TO THE BUILDING CODES, ORDINANCES AND LAWS OF THE AUTHORITY HAVING JURISDICTION ON THE PROJECT. WHEN THE REQUIREMENTS OF THE BUILDING CODES, ORDINANCES AND LAWS CONFLICT WITH ANY OTHER PART OF THE BUILDING CODES, ORDINANCES AND LAWS, THE MOST RESTRICTIVE REQUIREMENTS SHALL PREVAIL.
- 2022 CALIFORNIA ADMINISTRATIVE CODE, PART 1
 - 2022 CALIFORNIA BUILDING CODE, PART 2
 - 2022 CALIFORNIA ELECTRICAL CODE, PART 3
 - 2022 CALIFORNIA MECHANICAL CODE, PART 4
 - 2022 CALIFORNIA PLUMBING CODE, PART 5
 - 2022 CALIFORNIA ENERGY CODE, PART 6
 - 2022 CALIFORNIA FIRE CODE, PART 9
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11 (CALGREEN)
 - THE CITY MUNICIPAL CODE AND ORDINANCES

NO.	DESCRIPTION	DATE
-	INITIAL PLAN SUBMISSION FOR PROVISIONAL USE PERMIT	04-26-2022
△	RESPONSE TO 1ST P.U.P. REVIEW COMMENTS DATED 05/27/2022	10-20-2022
△	RESPONSE TO 2ND P.U.P. REVIEW COMMENTS DATED 11/18/2022	03-14-2023
△	RESPONSE TO 3RD P.U.P. REVIEW COMMENTS DATED 04/13/2023	07-27-2023
△	RESPONSE TO 4TH P.U.P. REVIEW COMMENTS DATED 08/28/2023	09-25-2023

KITCHEN STORY & U :DESSERT STORY RESTAURANT
TENANT IMPROVEMENT
PROJECT ADDRESS:
 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041
APN # : 158-20-012



REVISION HISTORY - THIS SHEET

NO.	DESCRIPTION	DATE
△	RESPONSE TO 1ST PUP REVIEW COMMENTS	10/20/2022
△	RESPONSE TO 2ND PUP REVIEW COMMENTS	03/14/2023
△	RESPONSE TO 3RD PUP REVIEW COMMENTS	07/27/2023
△	RESPONSE TO 4TH PUP REVIEW COMMENTS	09/25/2023

PROJECT NO: 3022-040

SHEET TITLE
COVER SHEET

INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

PLANNING USE PERMIT

SHEET NO.
A1.0


CGBCS Division 5.5 Section 5.507		ENVIRONMENTAL QUALITY (Environmental Comfort):		
54	• •	CGBCS Section 5.507.4	Acoustical control employ building assemblies & components w/ sound transmission class (STC) values determined with ASTM E90 and ASTM E413, etc.	Details/Notes on plans Field Inspection
55	• •	CGBCS Section 5.507.4.1	Exterior noise transmission, prescriptive method. Walls & roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50	Details/Notes on plans Field Inspection
56	• •	CGBCS Section 5.507.4.2	Exterior noise transmission, performance method. Walls & roof-ceiling assemblies exposed to the noise making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level of 50 dBA	Details/Notes on plans Field Insp
57	• •	CGBCS Section 5.507.4.3	Interior sound transmission. Wall and floor ceilings assemblies separating tenant spaces and public places shall have an STC of at least 40	Details/Notes on plans Field Inspection
CGBCS Division 5.5 Section 5.508		ENVIRONMENTAL QUALITY (Outdoor Air Quality):		
58	• •	CGBCS Section 5.508.1 - 5.508.1.2	Ozone depletion and greenhouse gas reductions. Installation of HVAC, refrigeration and fire suppression equipment shall comply w/ section 5.508.1.1 and 5.508.1.2	Details/Notes on plans Field Inspection
59	• •	CGBCS Section 5.508.2	Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of section 5.508.2 when installed in retail food stores with ≥ 8,000 square feet of conditioned area	Details/Notes on plans Field Inspection

Foot Notes	
[1]	Only within area of alteration
[2]	All non compliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures, only within the area of alteration
[3]	See "SECTION TO BE COMPLETED AFTER CONSTRUCTION" below
[4]	Regulated by Other Mountain View City Code (MVCC)
[N]	New (2019 California Green Building Standards Code - CGBCS- & Mountain View City Code -MVCC- Green Code / Reach Codes - Adopted)
	Not required
	Mandatory requirements

OWNER ACKNOWLEDGEMENT	
This project is required to comply with the California Green Building Standards Code (T24, Part 11) and the Mountain View City Code (MVCC) Green Building Code Amendments. I, the property owner / legal representative, acknowledge and understand the requirements and penalties for non-compliance. I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements. I also understand that my project may be subject to an energy or water performance review to assess compliance with the program after construction and during operation.	
Signature (Owner)	Date
Print Full Name	Phone or Email
SECTION TO BE COMPLETED AFTER CONSTRUCTION	
In order to schedule a final building inspection with the Building Department, follow the procedures below	
At the final building inspection prepare to be submitted the following items: (Initial for each applicable item is required below)	
Per the California Energy Code & energy reports, provide the completed CF2R, CF3R forms (Certificate of Installation & Certificate of Verification)	
Cut sheets or proof of installation of products and materials that meet the required VOC and formaldehyde limits (CALGreen 5.504.4.1 to 5.504.4.3 & 5.504.4.5)	
Provide Proof of Construction Waste Diversion, contact Public Works at (650) 903-6311	
I certify that:	
There have been no alterations that have impacted the energy report (CF-1R form) for the project, unless the new report is provided;	
All mandatory CALGreen measures noted in the checklist have been implemented unless a new checklist is provided	
Signature (Owner) and Date (Sign only after construction is completed)	Signature (Contractor) and Date
Print Name	Print Name

Hyperlinks to: Planning checklists, Waste tracking & Green Building Code Amendments:

- **Planning:**
<https://www.mountainview.gov/depts/comdev/planning/application.asp>
- **Public works (links):**
<http://www.mountainview.wastetracking.com/>
- **Green Building Code Amendments:**
<https://www.mountainview.gov/civ/cax/filebank/blobload.aspx?blobID=31140>



BUILDING INSPECTION DIVISION
500 Castro Street, Mountain View, CA 94039
Phone: 650-903-6313 Fax: 650-962-8501
WWW.MOUNTAINVIEW.GOV/BUILDING

rev. 2/18/2020

2019 Commercial MVGBC Amendments (based on California Green Building Standards Code & Mountain View City Code) Sheet 1 of 3

Check Box	#	2	Non-Residential Code Sections	Measures	Plan requirements	Location on Plans	Verification [3]
	1		Non-Residential Alterations ≥ \$200,000 and/or Additions ≥ 1,000 s.f. [1, 2]	Project Number: <u>PL-2022-093</u>			
	2		New Non-Residential Construction	Permit Address: <u>171&175 Castro St, Mountain View, CA 94041</u>			
MOUNTAIN VIEW GREEN BUILDING CODE (Green Building Code - Adopted):							
	1		MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall meet mandatory CalGreen and any Mountain View Amendments [N]	Notes on plans		Field Insp
	2		MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall meet the intent of LEED Gold Certified [N]	LEED doc. on plans		LEED Proof
	3		MVCC 8.20.11 - 8.20.12 & Table 101.10	Nonresidential new construction shall demonstrate energy compliance to meet or exceed Title 24, Part 6 [N]	Notes on plans		Field Insp
	4		MVCC 8.20.13 & Table 101.10	All new mixed-use projects must comply with Mountain View's green building requirements and meet the requirements applicable to each primary occupancy component [N]	LEED doc. and notes on plans		LEED Proof/Field Insp
WILDLIFE PROTECTION AND CONSERVATION (Green Building Code - Adopted):							
	5		MVCC 8.20.11 - 8.20.12 & Table 101.10	Bird-safe glass shall be installed on the exterior of the structure where the structure is ≥ than 10,000 square feet or the applicable precise plan requires it [N]	Details/Notes on plans		Field Inspection
PLANNING AND DESIGN (Site Development CalGreen section):							
	6		MVCC 8.20.36	Stormwater sediment and erosion control plan for newly constructed projects of less than 1 acre	Details/Notes on plans		Field Insp
	7		MVCC 8.20.37	Stormwater pollution prevention for projects that disturb 1 or more acres of land	Details/Notes on plans		Field Insp
	8		MVCC 8.20.38	Postconstruction stormwater control requirements [4]	Details/Notes on plans		Env Safety
	9		CGBCS Section 5.106.10	Grading and paving [4]	Details/Notes on plans		Env Safety
	10		CGBCS Section 5.106.4.1.1	Short Term Bicycle parking if anticipated to generate visitor traffic	Details/Notes on plans		Field Insp
	11		CGBCS Section 5.106.4.1.2 - 5.106.4.1.5	Long Term Bicycle parking for new buildings ≥ 10 tenant-occupants, for additions or alterations ≥ 10 tenant vehicular parking spaces and for new shell buildings	Details/Notes on plans		Field Inspection
	12		MVCC 8.20.39	Designated Parking For Clean Air Vehicles new projects, or additions or alterations that add ≥ 10 vehicular parking spaces for low-emitting, fuel-efficient and carpool / van pool vehicles shall comply with Table 5.106.5.2	Details/Notes on plans		Field Inspection
	13		MVCC 8.20.12 - 8.20.13 & Table 101.10 & 8.20.40 - 8.20.44	Electric Vehicle (EV) Charging new construction shall meet the parking requirements per Table 101.10 and the requirements per Table A5.106.5.3.2 [N]	Details/Notes on plans		Field Inspection
	14		MVCC 8.20.12 - 8.20.13 & Table 101.10	Installation of photovoltaic (PV) on 50% of roof area [N]	Details/Notes on plans		Field Insp
	15		CGBCS Section 5.106.8	Light pollution reduction outdoor lighting shall comply w/CGBCS & Table 5.106.8	Details/Notes on plans		Field Insp
WATER EFFICIENCY AND CONSERVATION (Indoor Water Use):							
	16		CGBCS Section 5.303.1.1	Meters for new buildings or additions in excess of 50,000 square feet separate submeters shall be installed	Details/Notes on plans		Field Insp
	17		CGBCS Section 5.303.1.2	Meters excess consumption separate submeter shall be provided for tenants consuming more than 1,000 gal/day	Details/Notes on plans		Field Insp
WATER EFFICIENCY AND CONSERVATION (Water Conserving Plumbing Fixtures):							
	18		CGBCS Section 5.303.3.1	Water closets shall not exceed 1.28 gallons per flush	Notes on plans		Field Insp
	19		CGBCS Section 5.303.3.2.1	Wall mounted Urinals shall not exceed 0.125 gallons per flush	Notes on plans		Field Insp
	20		CGBCS Section 5.303.3.2.2	Floor mounted Urinals shall not exceed 0.5 gallons per flush	Notes on plans		Field Insp
	21		CGBCS Section 5.303.3.3.1	Single showerhead shall have a maximum flow of 1.8 gpm at 80 psi	Notes on plans		Field Insp
	22		CGBCS Section 5.303.3.3.2	Multiple showerheads > than 1 shower shall have combined flow of 1.8 gpm at 80 psi or 1 operating at a time	Notes on plans		Field Insp
	23		CGBCS Section 5.303.3.4.1	Lavatory faucets shall have a maximum flow rate of not more than 0.5 gpm at 60 psi	Notes on plans		Field Insp
	24		CGBCS Section 5.303.3.4.2	Kitchen faucets shall have a maximum flow rate of not more than 1.8 gpm at 60 psi	Notes on plans		Field Insp
	25		CGBCS Section 5.303.4.1	Commercial Kitchen Equipment food waste disposers shall comply with Section 5.303.4.1	Notes on plans		Field Insp
WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use):*							
	26		Water Conservation in Landscaping Regulations & MVCC 8.30.4 - 8.30.5	Project shall comply with the water conservation in landscaping regulations where the affected landscape area (new or rehabilitated) is ≥ 500 square feet [4]	Notes on plans		Self-certified

27	• •	Water Efficient Design and Maintenance Checklist (Chapter 8) by Planning	Project shall comply with the water efficient and maintenance checklist [4]	Checklist form		Self-certified	
28	• •	Water Conservation in Landscaping Regulations (Chapter 10) by Planning	Water budget. When a water budget is prepared for a landscaping area ≥ 2,500 square feet, it must be completed by a certified or authorized professional [4]	Notes on plans	N/A	Certification	
29	• •	CGBCS Section 5.304.1	Outdoor potable water use in landscape areas for nonresidential developments	Notes on plans	N/A	Field Insp	
30	• •	MVCC 8.30.4 - 8.30.5	Nonpotable water reuse systems requirements	Notes on plans	N/A	Field Insp	
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Water Resistance and Moisture Management):							
31	• •	CGBCS Section 5.407.1	Weather protection. Provide a weather-resistant exterior wall and foundation envelope	Details on plans	N/A	Field Insp	
32	• •	CGBCS Section 5.407.2	Moisture Control. Employ moisture control measures	Details on plans	N/A	Field Insp	
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling):*							
33	• •	Construction and demolition waste tracking & diversion requirements form	Construction Waste Diversion 65% reduction [4]	Mountain View waste tracking form		Public Works	
34	• •	Construction and demolition waste tracking & diversion requirements form	Construction Waste Management Plan / Diversion is required when demolitions [4]	Mountain View waste tracking form		Public Works	
35	• •	CGBCS Section 5.408.3	Excavated soil and land clearing debris. 100% shall be reused or recycled [4]	MV waste tracking form		Public Works	
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY (Building Maintenance and Operation):							
36	• •	CGBCS Section 5.410.1	Recycling by Occupants applies to new buildings and additions that increase ≥ 30% in floor area within 12 month period	Details/Notes on plans		Field Insp	
37	• •	CGBCS Section 5.410.2 to 5.410.2.6	Commissioning for new buildings 10,000 square feet and over shall be included in design & construction process of the building project and comply with the commissioning requirements	Details/Notes on plans		Field Inspection	
38	• •	CGBCS Section 5.410.4 to 5.410.4.5.1	Testing and Adjusting shall be required for new buildings less than 10,000 square feet or new systems serving additions or alterations subject to section 303.1	Details/Notes on plans		Field Inspection	
ENVIRONMENTAL QUALITY (No gas allowed, all electric installation):							
39	• •	Nonresidential new construction projects MVGBC Section 8.20.11 - 8.20.12 & Table 101.10	Natural gas shall not be allowed. The following list of items shall be electric installation: Space-conditioning equipment, clothes dryers and fireplaces and/or fire pits [N] Cooking appliances shall be electric [N] Water-heating systems and equipment shall be electric or solar [N]	Details/Notes on plans		Field Inspection	
ENVIRONMENTAL QUALITY (Fireplaces):							
40	• •	MVCC 8.20.35 & Table 101.10	Any installed gas fireplace shall be a direct-vent, sealed-combustion type and shall comply with U.S. EPA	Details/Notes on plans		Field Insp	
41	• •	MVCC 8.25.3 - 8.25.7 & Table 101.10	All wood burning appliances installed in new commercial buildings or wood burning appliances being added or replacing in existing commercial buildings shall comply w/Section 8.25.3 & Table 101.10	Details/Notes on plans		Field Inspection	
ENVIRONMENTAL QUALITY (Pollutant Control):							
42	• •	CGBCS Section 5.504.1	Temporary ventilation. If HVAC system needed during construction use return air filters and comply with MERV of 8	Notes on plans		Field Insp	
43	• •	CGBCS Section 5.504.3	Covering of duct openings and protection of mechanical equipment during construction, all duct and other related air distribution components, shall be covered with tape, plastic, sheet metal or other methods acceptable	Notes on plans		Field Inspection	
44	• •	CGBCS Section 5.504.4 & 5.504.4.1	Finish material pollutant control for adhesives, sealants & caulks shall comply w/VOC limits (Adhesive Table 5.504.4.1 & Sealant Table 5.504.4.2)	Notes on plans		Field Inspection	
45	• •	CGBCS Section 5.504.4.3 to 5.504.4.3.2	Finish material pollutant control for paints & coatings shall comply with VOC (Coating Table 5.504.4.3), aerosols paint & coating & verification	Notes on plans		Field Inspection	
46	• •	CGBCS Section 5.504.4.4	Finish material pollutant control for carpet systems shall comply with VOC, carpet cushion & carpet adhesive	Notes on plans		Field Insp	
47	• •	CGBCS Section 5.504.4.5	Finish material pollutant control for composite wood products shall comply with formaldehyde requirements per Table 5.504.4.5	Notes on plans		Field Inspection	
48	• •	CGBCS Section 5.504.4.6	Finish material pollutant control for resilient flooring systems shall comply with VOC emission limits (80%) & verification shall be provided	Notes on plans		Field Inspection	
49	• •	CGBCS Section 5.504.5.3	Filters. In mechanically ventilated buildings, provide air filtration for outside and return air per MERV of 13 limits	Notes on plans		Field Insp	
50	• •	CGBCS Section 5.504.7	Environmental Tobacco Smoke (ETS) Control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows, etc.	Notes on plans		Field Inspection	
ENVIRONMENTAL QUALITY (Indoor Moisture Control):							
51	• •	CGBCS Section 5.505.1	Indoor moisture control shall meet or exceed the provisions of CBC, etc.	Details/Notes on plans		Field Insp	
ENVIRONMENTAL QUALITY (Indoor Air Quality):							
52	• •	CGBCS Section 5.506.1	Outside air delivery for mechanically or naturally ventilated spaces in buildings, shall meet the CEnErC minimum requirements	Details/Notes on plans		Field Insp	
53	• •	CGBCS Section 5.506.2	Carbon dioxide (CO2) monitoring. For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation control shall be specified and installed in accordance with the requirements of the CEnErC	Details/Notes on plans		Field Inspection	



TO BE COMPLETED AND SIGNED BEFORE FINAL INSPECTION

DKIM ARCHITECT
Architecture
Planning
Interiors

Tel. 408.642.5446
Email: dkim@dkimarch.com
1580 OAKLAND RD, SUITE C212,
SAN JOSE, CA 95131

KITCHEN STORY & U : DESSERT STORY RESTAURANT
TENANT IMPROVEMENT
PROJECT ADDRESS:
171 & 175 CASTRO ST., MOUNTAIN VIEW, CA 94041
APN # : 158-20-012



NO	DESCRIPTION	DATE
1	RESPONSE TO 2ND PUP REVIEW COMMENTS	03/14/2023

REVISION HISTORY - THIS SHEET

PROJECT NO: 3022-040
SHEET TITLE
COMMERCIAL MVGBC

INITIAL PLAN SUBMISSION DATE:
APRIL 26, 2022

PLANNING USE PERMIT

SHEET NO.

A1.1

9/8/2023 11:42:16 AM

SURVEYOR'S STATEMENT:
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF: DONGHYUN KIM ON JUNE 28, 2022.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON: THAT CERTAIN DEED SERIES NO. 25123714, RECORDED OCTOBER 5, 2021, SANTA CLARA COUNTY RECORDER'S OFFICE, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE SANTA CLARA COUNTY ASSESSOR AS PARCEL NO.: APN 158-20-012.

THAT CERTAIN MAP TITLED PARCEL MAP "HOPE STREET", FILED ON MAY 19, 2017, IN BOOK 904, PAGES 11-14, SANTA CLARA COUNTY RECORDER'S OFFICE.

DATE: 08/11/222
JOSEPH M BRAJKOVICH, PLS 5254



BASIS OF SURVEY:
(R1) PARCEL MAP 459-M-50
(R2) PARCEL MAP 904-M-11-14
(R3) PARCEL MAP 736-M-29
(R4) DOC. NO. 25123714
(R5) DOC. NO. 13487105
(R6) FILING NO. 281634, JULY 15, 1943, BOOK 1148, PG 458
(R7) DOC. NO. 21794016
(R8) DOC. NO. 19155879
(R9) DOC. NO. 19155881

BASIS OF BEARING:
THAT LINE BETWEEN MONUMENTS ON CASTRO STREET, TAKEN AS N27°56'01"E.

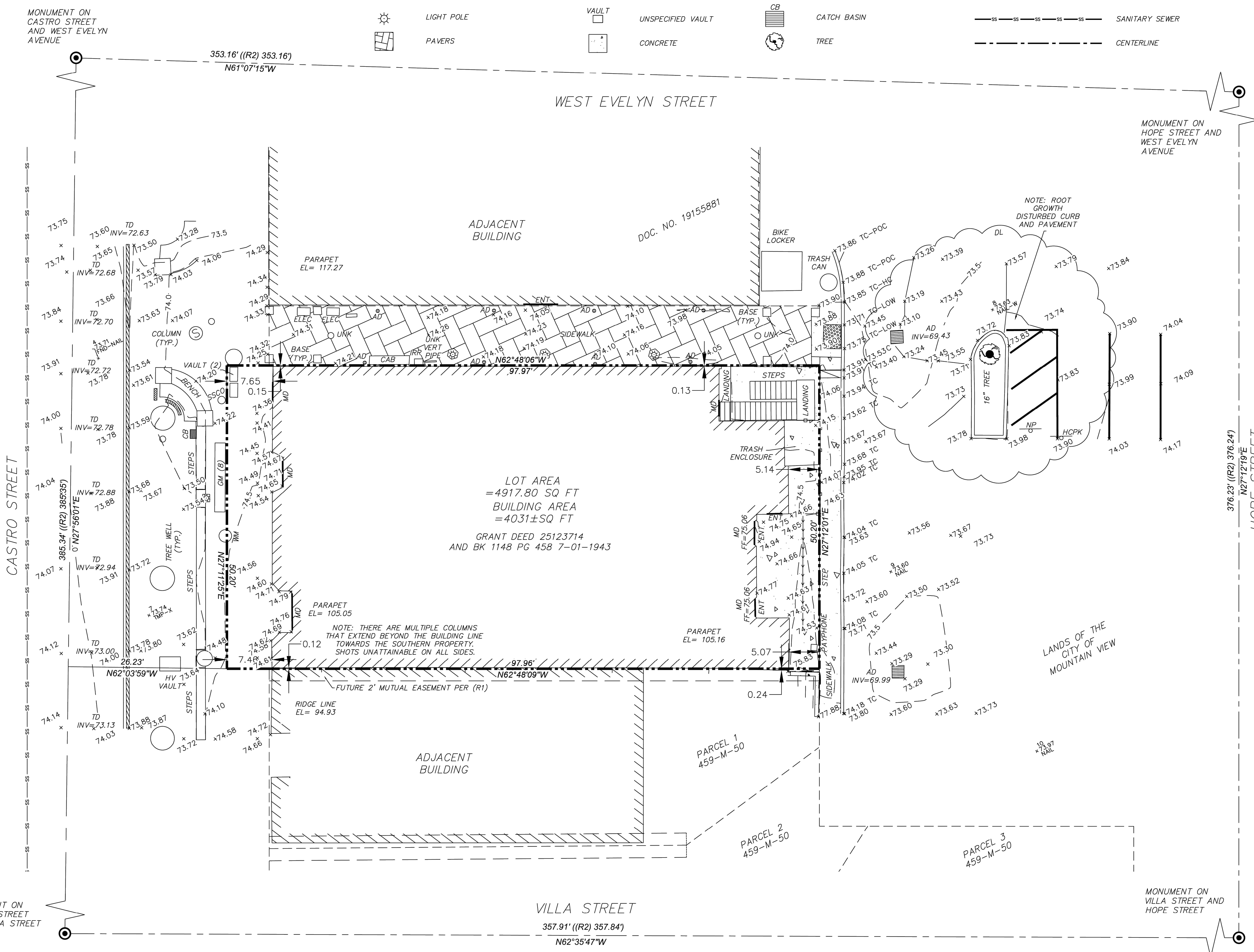
BASIS OF DATUM:
NAVD88, GPS DERIVED

UNDERGROUND UTILITY NOTE:
THE TYPES, LOCATIONS AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY, ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE SURVEYOR CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOW SHOWN ON THIS SURVEY.

LEGEND

	SIGN, NO PARKING		IRRIGATION BOX		GAS METER
	SIGN, HANDICAP PARKING ONLY		CABBINATE		WATER METER
	DRAIN INLET		BIKE RACK		PGE VALVE/BOX
	MAN DOOR		ELECTRIC BOX		SANITARY SEWER MANHOLE
	ENTRANCE		HV VAULT		SANITARY SEWER CLEANOUT
	LIGHT POLE		UNSPECIFIED VAULT		CATCH BASIN
	PAVERS		CONCRETE		TREE
					FLOWLINE
					FENCE IRON
					FENCE WOOD
					PROPERTY LINE
					MONUMENT LINE
					SANITARY SEWER
					CENTERLINE

SCALE: 1" = 8'



LOT AREA = 4917.80 SQ FT
BUILDING AREA = 4031± SQ FT
GRANT DEED 25123714 AND BK 1148 PG 458 7-01-1943

NOTE: THERE ARE MULTIPLE COLUMNS THAT EXTEND BEYOND THE BUILDING LINE TOWARDS THE SOUTHERN PROPERTY. SHOTS UNATTAINABLE ON ALL SIDES.

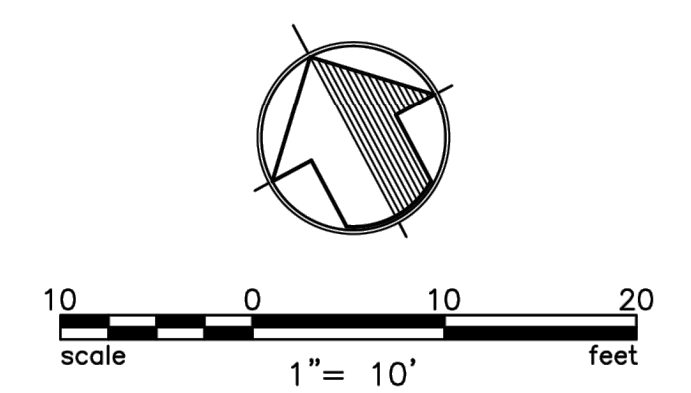
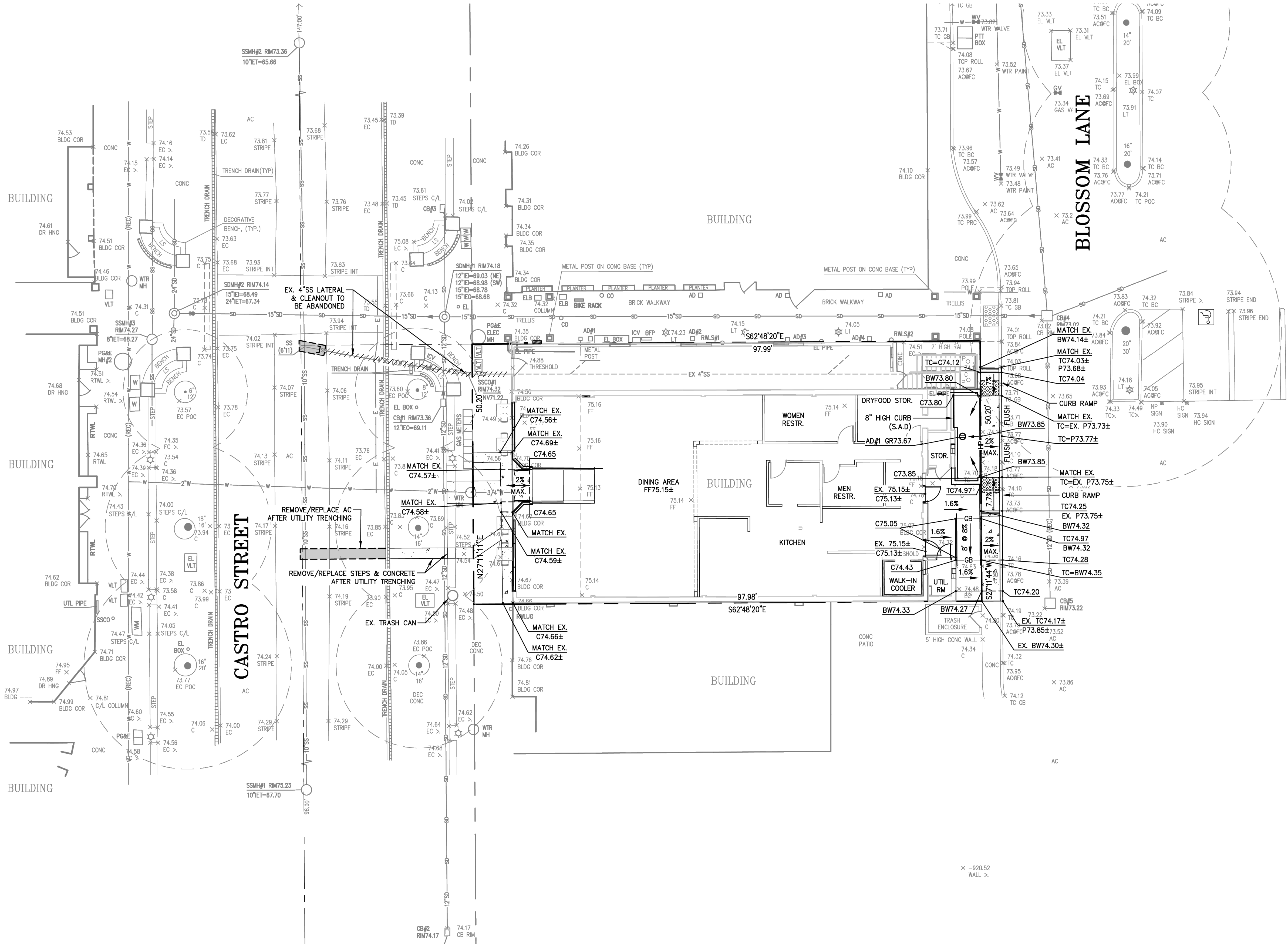
NOTE: ROOT GROWTH DISTURBED CURB AND PAVEMENT

NO.	REVISION

BOUNDARY AND TOPOGRAPHIC SURVEY OF 171 / 175 CASTRO STREET
THE REMAINING LOT BETWEEN PARCEL MAP BK 459 PG 50 AND
PARCEL MAP "HOPE STREET"
BK 904, PG 13-14
A.P.N. 158-20-012
MOUNTAIN VIEW CALIFORNIA

PLS Surveys, Inc.
LAND SURVEYORS
2350 Saratoga Street, Unit 255
Alameda, California 94501
510.261.0900
e-mail: jmb.pls@gmail.com

DATE 08/10/22
SCALE 1" = 8'
DESIGNER STB
JOB NO. 22242
SHEET A1.2



GRADING & PAVING LEGEND

	NEW CONCRETE SLAB - THICKENED SECTION (6" REINFORCED PCC ON 6" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (90%))
	NEW CONCRETE SLAB (4" REINFORCED PCC ON 4" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (90%))
	NEW AC PAVEMENT - TRAFFIC (3" AC ON 9" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (95%))
	NEW AC PAVEMENT (3" AC ON 8" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (95%))
	DECOMPOSED GRANITE (6" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (95%))
	VARIABLE THICKNESS ASPHALT CONCRETE OVERLAY TO BE CONSTRUCTED AFTER BUILDING AND RAMPS ARE INSTALLED. SLOPES TO BE 2% WITHIN LANDING AREA, AND BETWEEN 1% AND 5% EVERYWHERE ELSE.
	ADA PATH OF TRAVEL
	LIMIT OF GRADING
	SAW CUT LINE
	DRAINAGE FLOW LINE
	GRADE BREAK LINE
	RIDGE LINE
	NEW FENCE LINE
	NEW HANDRAIL
	NEW RETAINING WALL
	FINISH GRADE CONTOUR
	ASPHALT CONCRETE
	AREA DRAIN
	PORTLAND CEMENT CONCRETE
	CATCH BASIN
	CLEAN OUT TO GRADE
	EXISTING
	FINISH FLOOR
	FIRE HYDRANT
	FLOW LINE
	GROUND
	GRADE BREAK
	JUNCTION BOX
	STORM DRAIN MAINTENANCE HOLE
	SANITARY SEWER MAINTENANCE HOLE
	TOP OF CURB
	TOP OF WALL
	TYPICAL

#	DESC.	DATE

UNDERWOOD & ROSENBLUM, INC.
Civil Engineers and Surveyors
1489 45th Street, Suite 111A, San Francisco, CA 94114
(415) 435-1222
www.underwood.com



KITCHEN & U: DESERT STORY RESTAURANT IMPROVEMENT
171 & 175 CASTRO ST.
MOUNTAIN VIEW CALIFORNIA

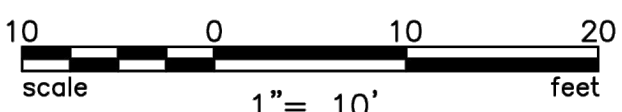
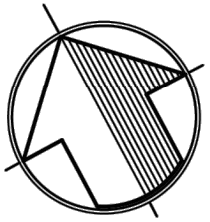
GRADING & DRAINAGE PLAN



DATE:	09-21-2023
SCALE:	1"=10'
DESIGN BY:	BH
JOB:	J220127
SHEET:	

C1.0

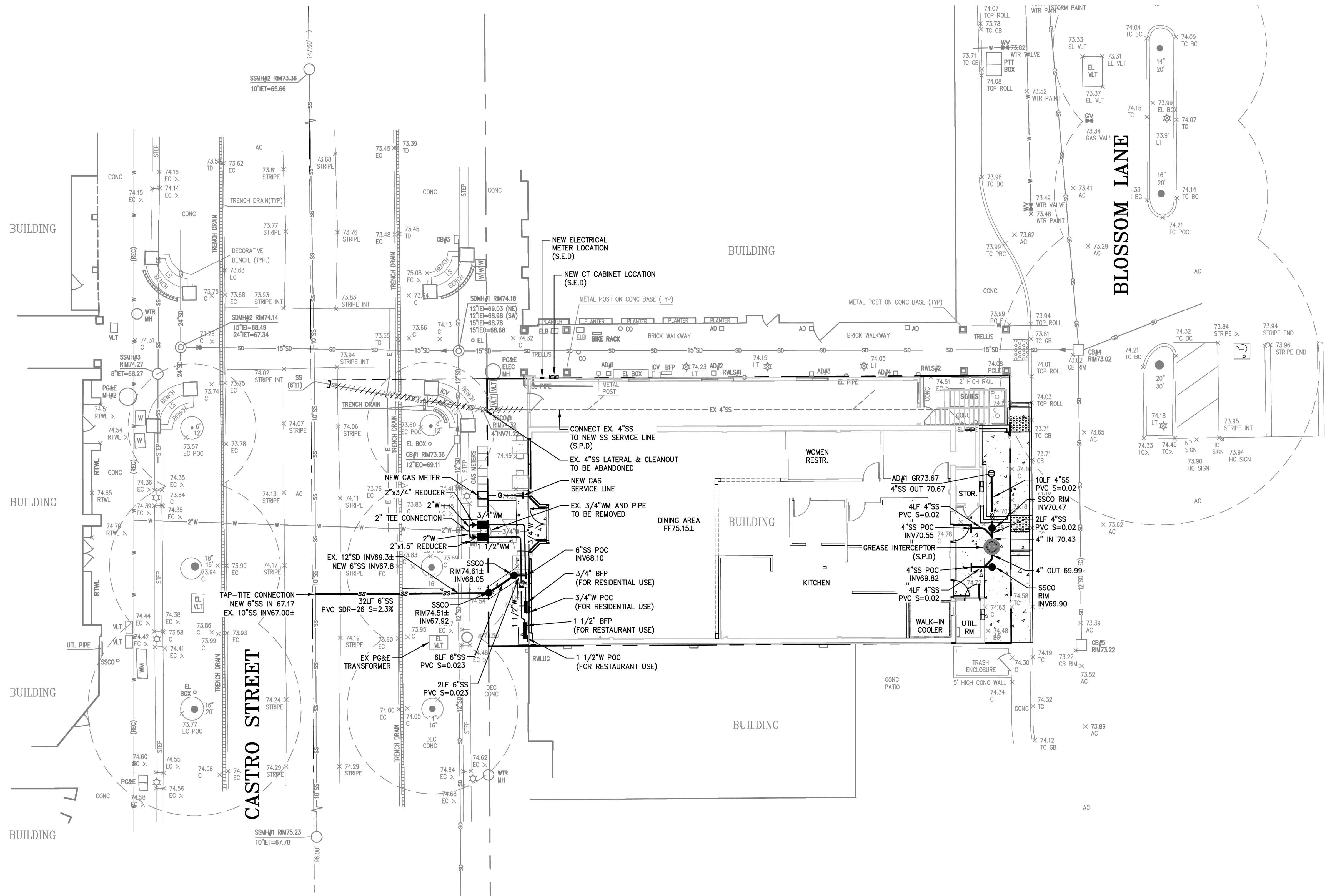
NOTE TO CONTRACTOR:
 SIDEWALK, STREET PARKING, STREET ASPHALT SECTIONS AND ANY
 OTHER EXISTING INFRASTRUCTURE THAT ARE MODIFIED AND/OR
 REPLACED ARE TO BE REPLACED IN KIND INCLUDING THE MATERIALS,
 PATTERN AND COLOR.



PLUMBING LEGEND

- NEW STORM DRAIN
SIZE AND SLOPE AS INDICATED
- NEW RAIN WATER LEADER ϕ S=0.02 MIN.
SIZE AND SLOPE AS INDICATED
- NEW SANITARY SEWER (SIZE AS INDICATED)
S=0.01 UNLESS OTHERWISE INDICATED
- NEW WATER LINE (SIZE AS INDICATED)
- NEW FIRE SERVICE LINE (SIZE AS INDICATED)
- NEW PVC SUBDRAIN (SIZE AS INDICATED)
- NEW GAS LINE (SEE MECHANICAL DRAWINGS)
- NEW ELECTRICAL LINE (SEE ELECTRICAL DRAWINGS)
- AREA DRAIN
- CATCH BASIN
- JUNCTION BOX
- STORM DRAIN MAINTENANCE HOLE
- SANITARY SEWER MAINTENANCE HOLE
- RAIN WATER LEADER
- CLEAN OUT TO GRADE
- WATER VALVE
- WATER METER
- BACK FLOW PREVENTER
- FIRE HYDRANT
- DUCTILE IRON PIPE
- EX., EXIST. D.I.P.
- FF
- HDPE
- INV
- IEI
- IEO
- IET
- PVC
- RCP
- SS
- S.A.D.
- SD
- S.E.D.
- S.P.D.
- TYP.
- W, DW

SEWER LATERAL NOTES:
 THE EXISTING SEWER LATERAL RUNS UNDER AN EXISTING CONCRETE SEAT WALL.
 WHEN REPLACING/UPSIZING THE SEWER LATERAL, SEAT WALL SHALL BE RESTORED
 TO MATCH EXISTING CONDITIONS PER CITY DESIGN REQUIREMENTS, OR
 TRENCHLESS METHODS FOR LATERAL REPLACEMENT/INSTALLATION SHALL BE USED.



#	DESC.	REVISIONS	DATE

UNDERWOOD & ROSENBLUM, INC.
 civil engineers and surveyors
 1088 155th Street, Suite 1111, San Jose, CA 95131
 (408) 455-1222

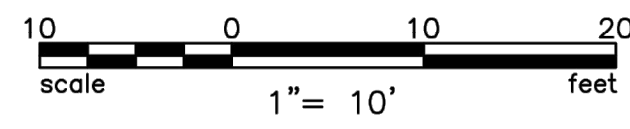
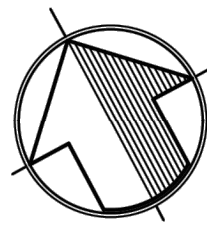


KITCHEN & U: DESERT STORY RESTAURANT IMPROVEMENT
 171 & 175 CASTRO ST.
 MOUNTAIN VIEW, CALIFORNIA

UTILITY PLAN



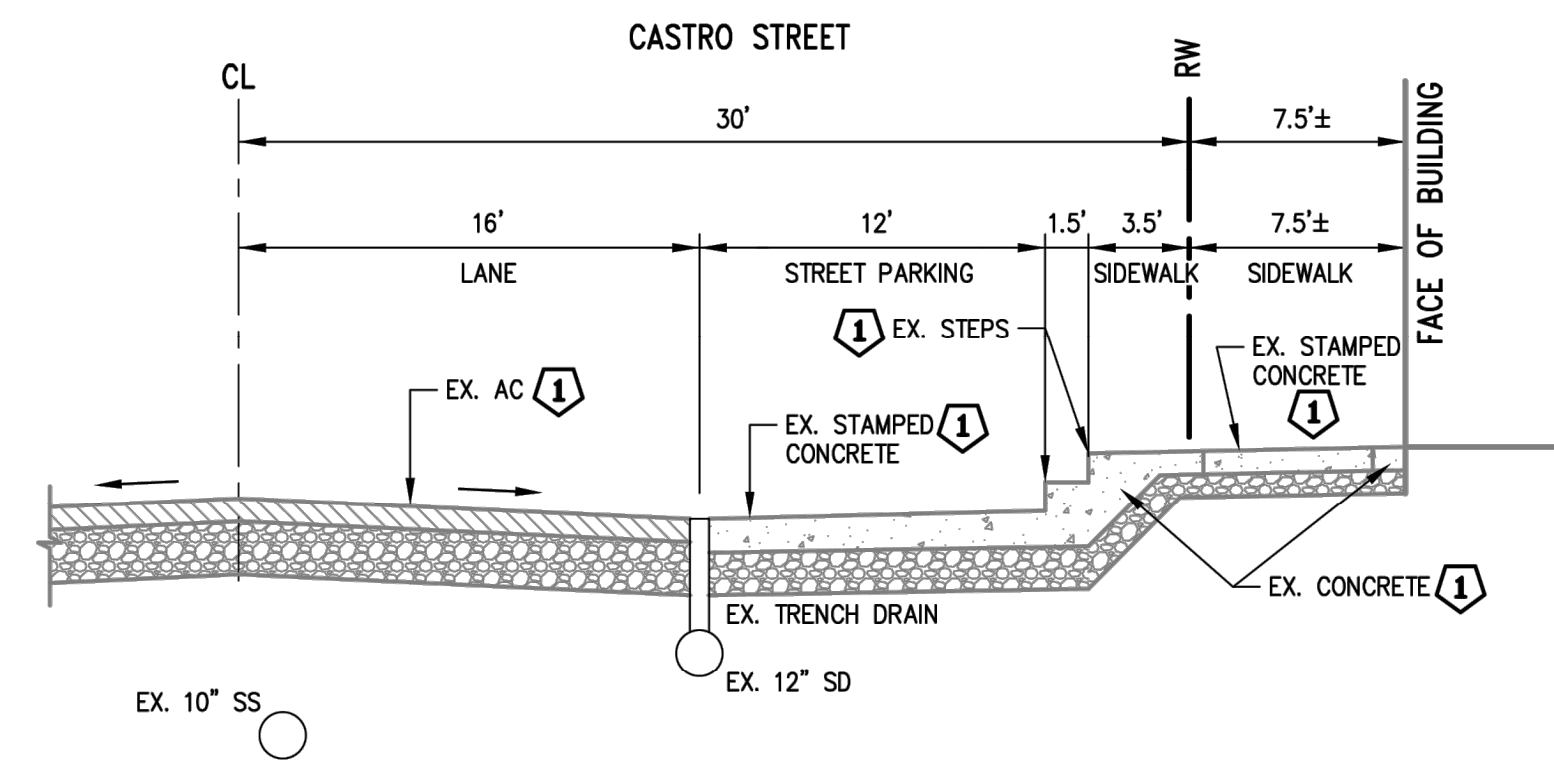
DATE: 09-21-2023
 SCALE: 1"=10'
 DESIGN BY: BH
 JOB: J220127
 SHEET



KEYNOTES:

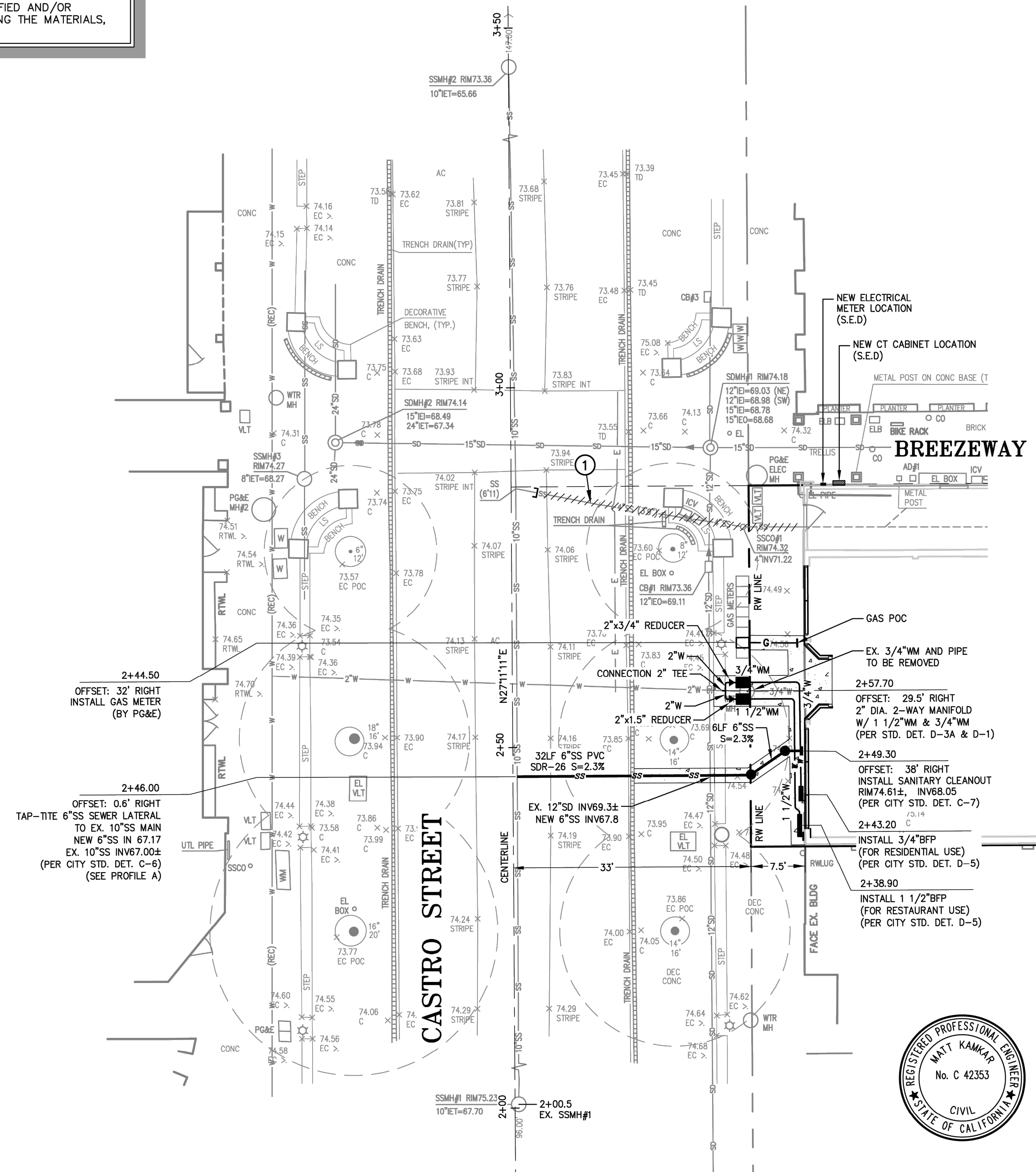
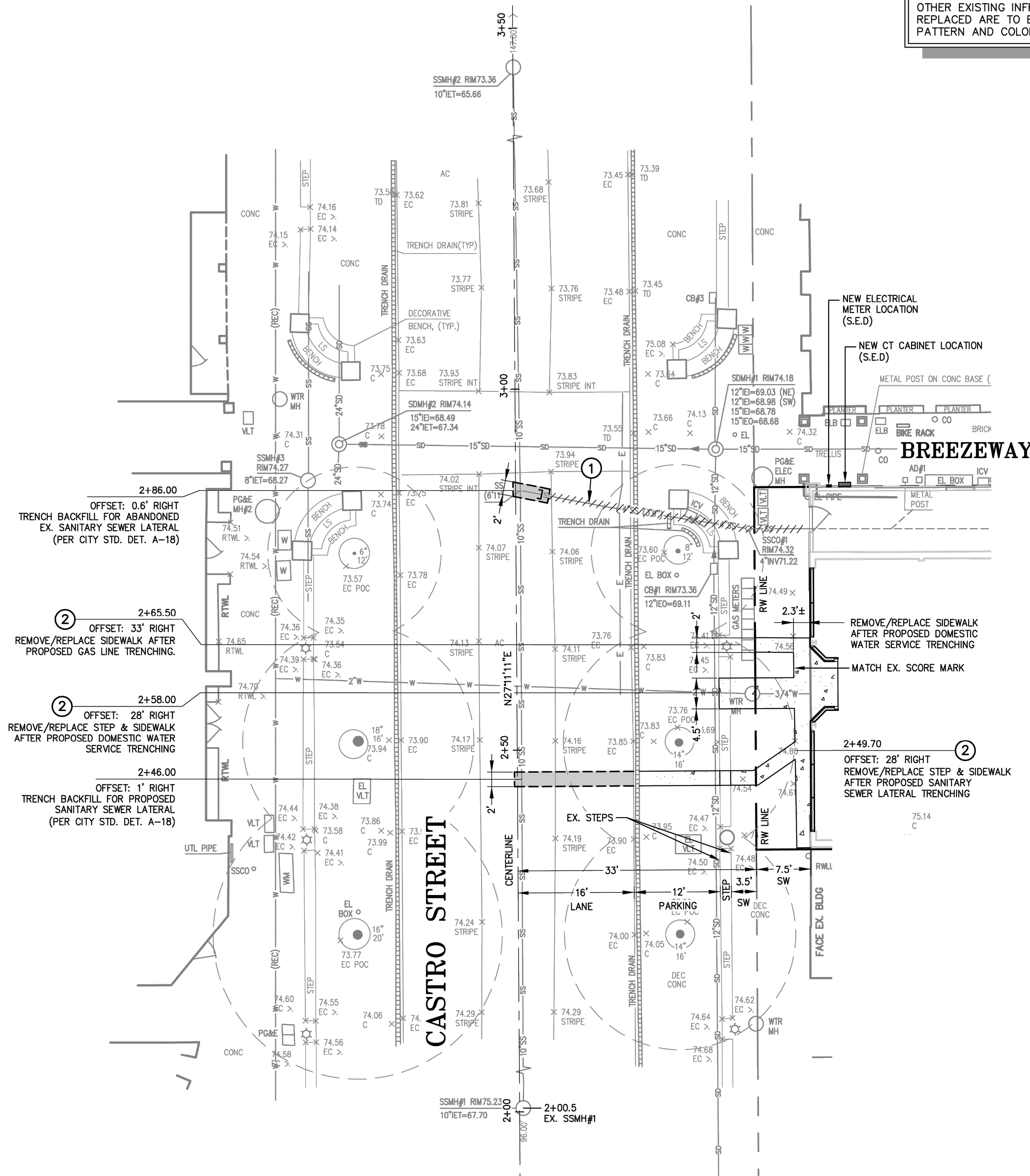
- ① EX. UNDERGROUND UTILITY TO BE ABANDONED
- ② STREET IMPROVEMENTS SHALL BE DESIGNED TO MATCH THE CASTRO ST. IMPROVEMENTS.

NOTE TO CONTRACTOR:
SIDEWALK, STREET PARKING, STREET ASPHALT SECTIONS AND ANY OTHER EXISTING INFRASTRUCTURE THAT ARE MODIFIED AND/OR REPLACED ARE TO BE REPLACED IN KIND INCLUDING THE MATERIALS, PATTERN AND COLOR.



① REMOVE/REPLACE IN KIND AFTER UTILITIES TRENCHING (STREET IMPROVEMENTS SHALL BE DESIGNED TO MATCH THE CASTRO ST. IMPROVEMENTS).

**HALF STREET CROSS SECTION
CASTRO STREET** NTS



#	DESC.	DATE

UNDERWOOD & ROSENBLUM, INC.
civil engineers and surveyors
1680 Oakland Road, Suite 1114, San Jose, CA 95131
(408) 453-1222
www.underwood.com

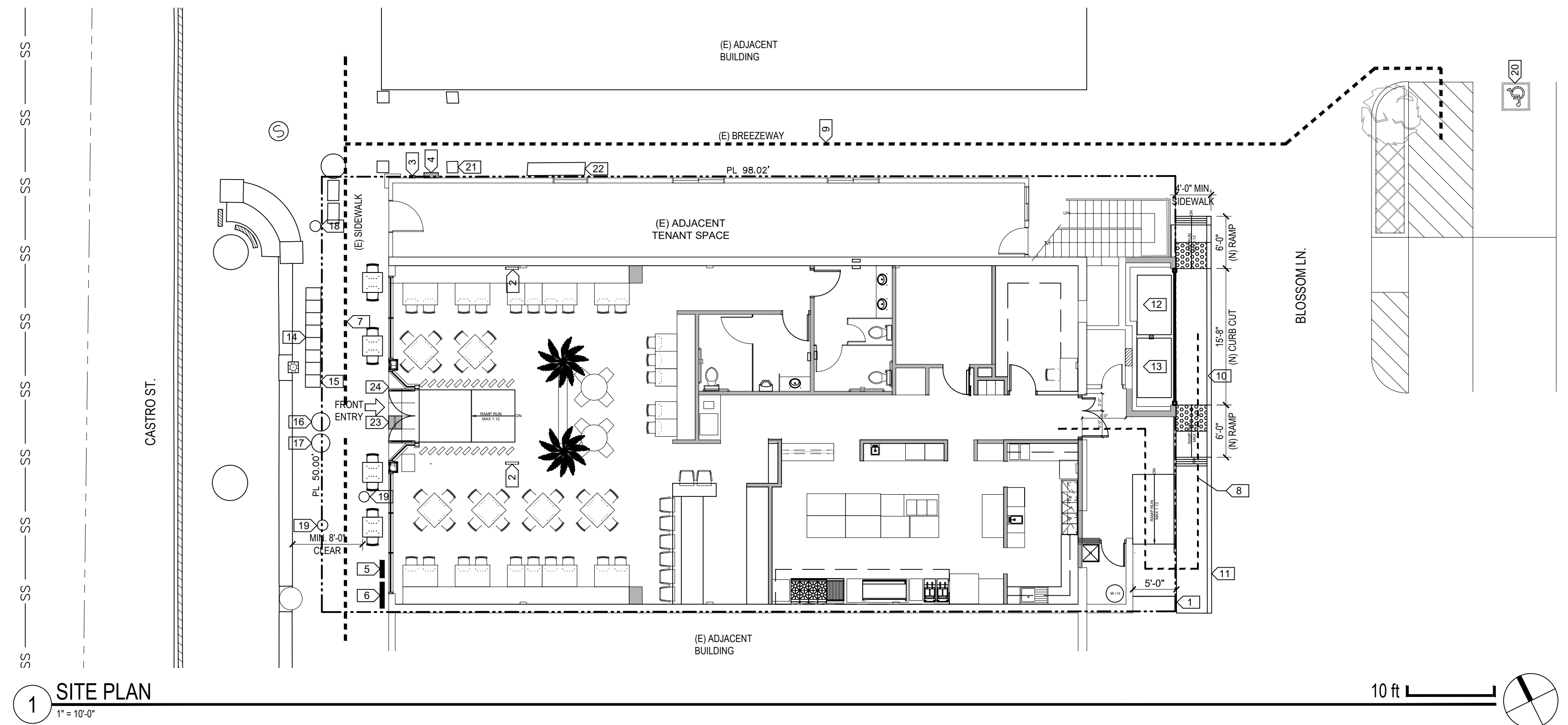


KITCHEN & U: DESSERT STORY
RESTAURANT IMPROVEMENT
171 & 175 CASTRO ST.
MOUNTAIN VIEW CALIFORNIA

OFFSITE IMPROVEMENT PLAN

DATE: 09-21-2023
SCALE: 1"=10'
DESIGN BY: BH
JOB#: J220127
SHEET

C3.0



1 SITE PLAN
 1" = 10'-0"

SITE PLAN KEYNOTES <#>

1. PROPERTY LINE
2. (E) ELEC. METERS TO BE REMOVED
3. (N) ELEC. METER FOR THE TENANT SPACE, WALL MOUNT, SEE EXTERIOR ELEVATION ON SHEET A4.1 FOR THE MOUNTING HEIGHT.
4. (N) CT CABINET, WALL MOUNT
5. WATER METER BACK FLOW PREVENTER FOR RESIDENTIAL UNITS, SEE UTILITY PLAN ON C2.0, PROVIDE BFP COVER POUCH (COLOR: BLACK)
6. WATER METER BACK FLOW PREVENTER FOR RESTAURANT TENANT SPACE, SEE UTILITY PLAN ON C2.0, PROVIDE BFP COVER POUCH (COLOR: BLACK)
7. ACCESSIBLE PEDESTRIAN ROUTE FROM PUBLIC SIDEWALK TO FRONT ENTRY
8. ACCESSIBLE PATH OF TRAVEL FROM REAR EXIT TO PUBLIC SIDEWALK
9. ACCESSIBLE PATH OF TRAVEL FROM (E) PUBLIC PARKING TO FRONT ENTRANCE
10. (N) CURB CUT FOR (N) TRASH ENCLOSURE
11. (E) CONC. CURB
12. 3-YARD COMPOST BIN
13. 3-YARD TRASH BIN
14. (E) GAS METER FOR RESIDENTIAL UNITS
15. (N) GAS METER BY PG & E FOR COMMERCIAL TENANT SPACE AT THE FIRST FLOOR
16. (E) IN-GROUND WATER METER TO BE RELOCATED FOR RESIDENTIAL UNITS, SEE UTILITY PLAN
17. (N) IN-GROUND WATER METER FOR RESTAURANT TENANT SPACE, SEE UTILITY PLAN
18. (E) SEWER LATERAL TO BE ABANDONED
19. (N) SSCO WITH (N) 6" LATERAL CONNECTED TO CITY SS MAIN, SEE UTILITY PLAN
20. (E) VAN ACCESSIBLE PARKING STALL
21. (E) DECORATIVE METAL STRUCTURE
22. (E) CABINET, FLOOR MOUNT
23. (E) CONCRETE TILE WITH "MUSEUM" STAMP AND CONTROL JOINTS AS SHOWN RELOCATED FROM RECESSED ENTRANCE AREA OF (E) TENANT SPACE AT 175 CASTRO ST.
24. (N) CONCRETE PAVEMENT FOR ENTRY AND SIDEWALK TO MATCH EXISTING

LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL, MIN. 4'-0" WIDE

SITE PLAN NOTES

- A. ALL ACCESSIBLE PATH OF TRAVEL TO BE 5% MAXIMUM RUNNING SLOPE WITH 2% MAXIMUM CROSS SLOPE.
- B. CONTRACTOR TO VERIFY EXISTING ACCESSIBLE PARKING SIGNS, PARKING STALLS AND PAVEMENT SYMBOLS FOR ACCESSIBILITY REQUIREMENTS.
- C. PROVIDE MINIMUM 1-FOOT CANDLE OF AREA LIGHTING FOR EXIT LANDING.



NO	DESCRIPTION	DATE
1	RESPONSE TO 1ST PUP REVIEW COMMENTS	10/20/2022
2	RESPONSE TO 2ND PUP REVIEW COMMENTS	03/14/2023
3	RESPONSE TO 3RD PUP REVIEW COMMENTS	07/27/2023
4	RESPONSE TO 4TH PUP REVIEW COMMENTS	09/25/2023

REVISION HISTORY - THIS SHEET

PROJECT NO: 3022-040

SHEET TITLE
SITE PLAN

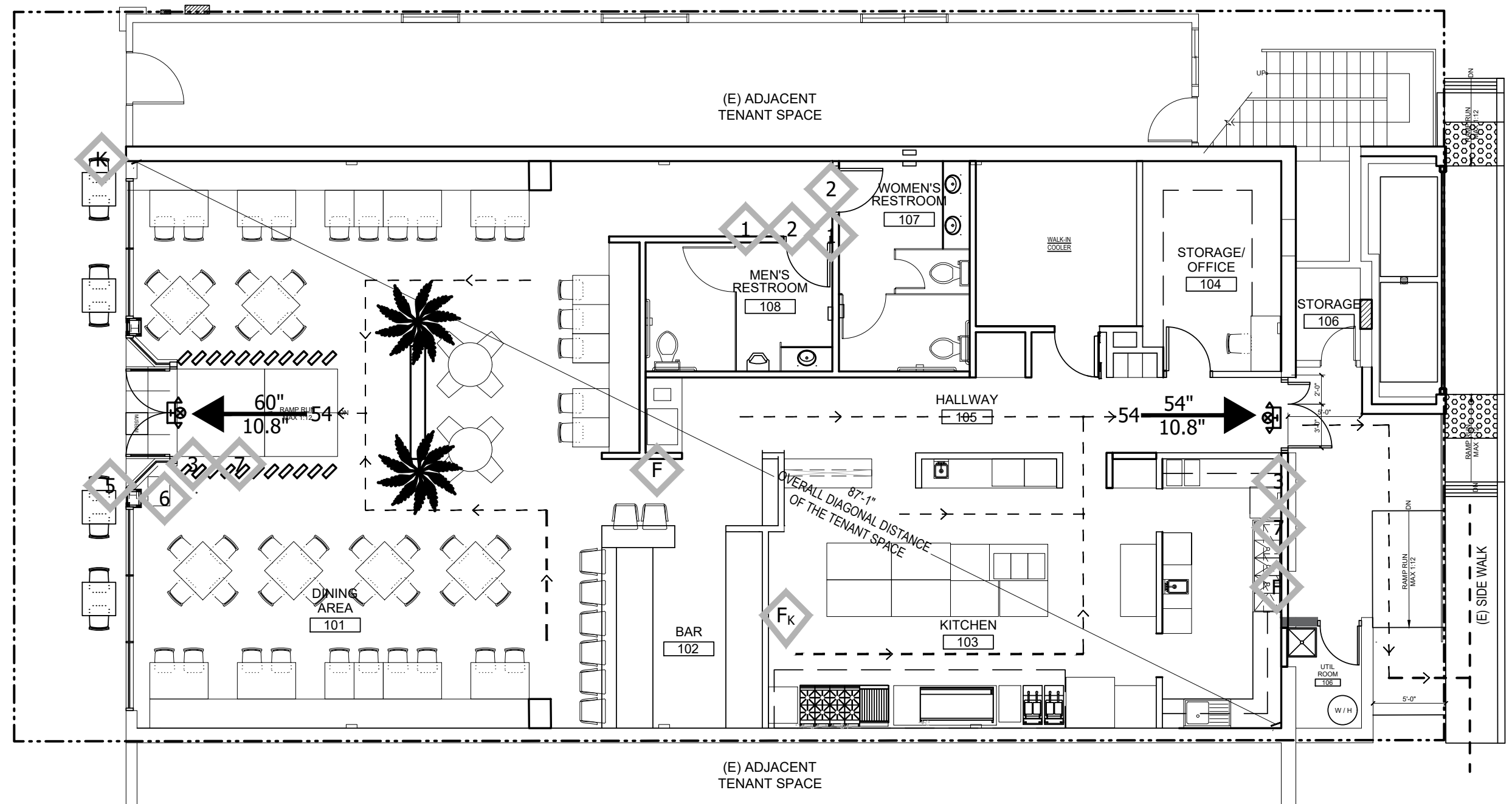
INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

PLANNING USE PERMIT

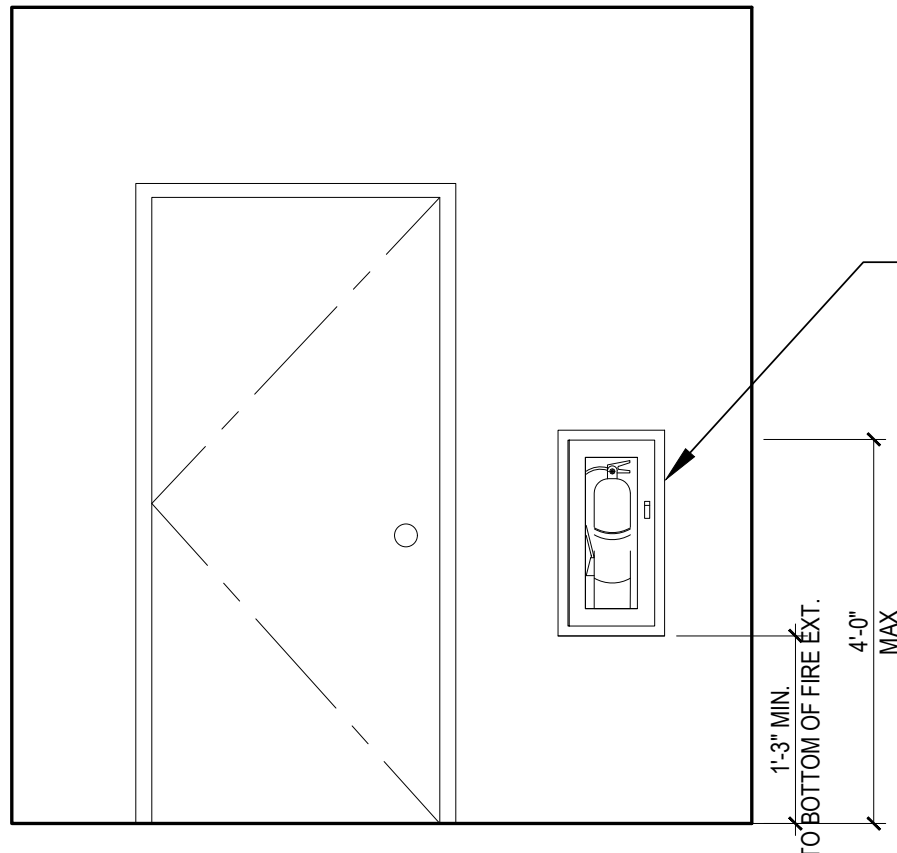
SHEET NO.

A1.3

NOTES FOR REQUIRED SEPARATION OF OCCUPANCIES:
 1. 2 HOUR FIRE SEPARATION TO BE PROVIDED BETWEEN 1ST FLOOR (OCCUPANCY GROUP A-2) AND SECOND FLOOR (OCCUPANCY GROUP R-2) WITHOUT AUTOMATIC SPRINKLER SYSTEM
 2. 2 HOUR FIRE SEPARATION TO BE PROVIDED BETWEEN RESTAURANT (OCCUPANCY GROUP A-2) AND ADJACENT TENANT SPACE (OCCUPANCY GROUP R-2) WITHOUT AUTOMATIC SPRINKLER SYSTEM



1 (N) EGRESS PLAN
 1/8" = 1'-0"



2 FIRE EXTINGUISHER ELEVATION
 1/2" = 1'-0"

PLAN SYMBOL DESIGNATIONS

36" (#x0.2)	NUMBER OF OCCUPANTS	ACTUAL EXIT WIDTH
#17	NUMBER OF OCCUPANTS	REQUIRED WIDTH FOR # OF OCCUPANTS
(Solid line)	EXISTING WALL TO REMAIN	
(Hatched)	NEW WOOD STUD WALL PER PLAN	
(Diagonal lines)	NEW STUD WALL - PARTIAL HEIGHT PER PLAN	
(Square with X)	ILLUMINATED EXIT SIGN W/ EMERGENCY LIGHT, SEE CEILING PLAN AND ELECTRICAL DRAWINGS	
(Square)	EMERGENCY LIGHT	
(Circle with X)	EXIT SIGN	
(Arrow)	PATH OF EGRESS TRAVEL	

NOTES:
 THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/2" ALONG THE ENTIRE PATH OF TRAVEL FROM THE PUBLIC WAY / ACCESSIBLE PARKING STALL INTO THE BUILDING OR RESTROOMS, SEE DETAIL 9/A6.0
 * TOTAL (E) FLOOR AREA : 1,377 SF
 * TOTAL OCCUPANT LOAD : 47

(Diamond)	FOR SIGNAGE, SEE DETAIL 12/A6.0
1	ALL GENDER RESTROOM SIGN
2	I.S.A. RESTROOM DOOR SIGN
3	TACTILE EXIT SIGN
4	TACTILE EXIT ROUTE SIGN
5	ISA ENTRY SIGN
6	SIGNAGE FOR OCCUPANT LOAD OF THE ROOM OR SPACE
7	EGRESS DOOR SIGN ("THIS DOOR TO REMAIN UNLOCKED WHEN THE SPACE IS OCCUPIED")
F	FIRE EXTINGUISHER (MAXIMUM TRAVEL DISTANCE 75'-0") FIRE EXTINGUISHERS SHALL NOT PROJECT MORE THAN 4" INTO A CIRCULATION PATH REQUIRED, MIN. RATING OF 5LB, 2A-10B-C
Fk	FIRE EXTINGUISHER: CLASS K RATING TO BE PROVIDED WITHIN 30' FROM COOKING EQUIPMENT IN THE KITCHEN. A SIGN SHALL BE PROVIDED ABOVE THE CLASS K FIRE EXTINGUISHER THAT READS "USE THIS FIRE EXTINGUISHER FOR GREASE FIRES ONLY"
K	KEY BOX, TO BE REVIEWED AND APPROVED FIRE PROTECTION ENGINEER

LIFE SAFETY PLAN NOTES

- DOOR OPERATIONS - EGRESS DOORS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- IN BUILDINGS IN GROUP A HAVING AN OCCUPANT LOAD OF 300 OR LESS, GROUP B, F, M AND S, AND IN PLACES OF RELIGIOUS WORSHIP, THE MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED:
 - (a) THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED.
 - (b) A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND.
 - (c) THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICE OR DUE CAUSE.
- MEANS OF EGRESS ILLUMINATION- AT ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
- EXIT SIGNS- THE PATH OF TRAVEL TO AND WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF CBC SECTION 1013.1. EXIT SIGNS SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN.
- TACTILE EXIT SIGNS - PROVIDE TACTILE EXIT SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR, AT EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT DOOR BY STAIRWAY OR RAMP, FROM INTERIOR ROOMS OR AREA TO A CORRIDOR OR HALLWAY THAT REQUIRES VISUAL EXIT SIGNS, AND OTHER REQUIRED LOCATIONS WITH MANDATED WORDING PER CBC 1013.4

THE EXIT SIGN SHALL READ
 "EXIT" AT GRADE LEVEL EXTERIOR EXIT DOOR
 "EXIT ROUTE" AT INTERIOR ROOM DOOR OR AREA TO A CORRIDOR OR HALLWAY.
 "TO EXIT" AT AN EXIT DOOR THROUGH A HORIZONTAL EXIT

THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/2" ALONG THE ENTIRE PATH OF TRAVEL FROM THE PUBLIC WAY / ACCESSIBLE PARKING STALL INTO THE BUILDING OR RESTROOMS

KITCHEN & U :DESSERT STORY RESTAURANT TENANT IMPROVEMENT
 PROJECT ADDRESS:
 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041
 APN # : 158-20-012



NO	DESCRIPTION	DATE
1	RESPONSE TO 2ND PLP REVIEW COMMENTS	03/14/2023

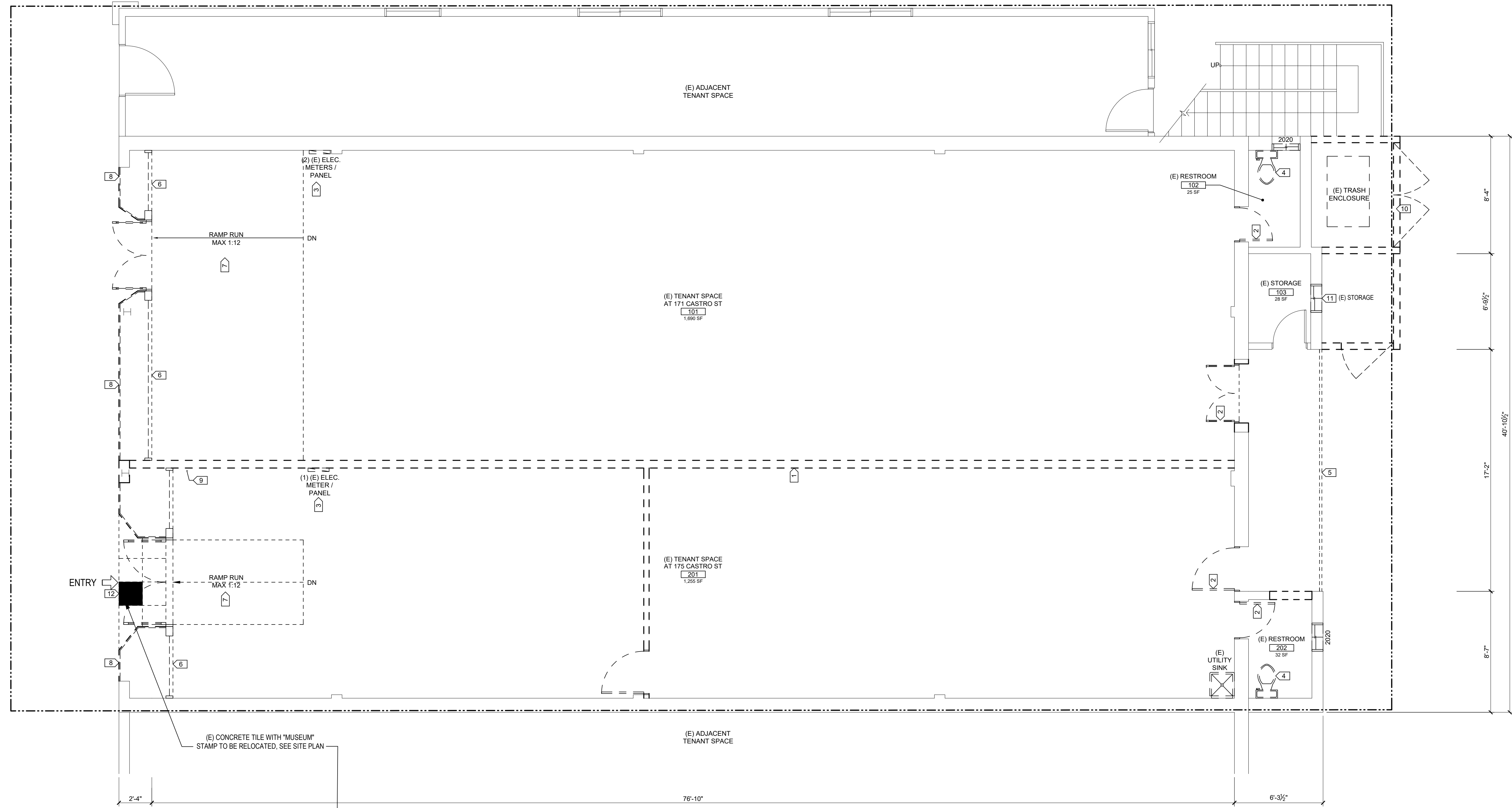
REVISION HISTORY - THIS SHEET

PROJECT NO: 3022-040
 SHEET TITLE
LIFE SAFETY PLAN

INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

CONSTRUCTION DOCUMENTS

SHEET NO.
A1.4



**KITCHEN STORY & U-DESSERT STORY RESTAURANT
 TENANT IMPROVEMENT**
 PROJECT ADDRESS:
 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041
 APN #: 158-20-012



1 EXISTING / DEMO PLAN
 1/4" = 1'-0"

DEMOLITION PLAN KEYNOTES

1. (E) INTERIOR WALL TO BE DEMOLISHED
2. (E) DOOR TO BE DEMOLISHED
3. (E) ELECTRIC METER AND PANEL TO BE DEMOLISHED
4. (E) TOILET TO BE DEMOLISHED
5. (E) METAL GATE TO BE DEMOLISHED
6. (E) INTERIOR WINDOW TO BE DEMOLISHED
7. (E) RAMP TO DEMOLISH FOR (N) CONCRETE SLAB
8. (E) STOREFRONT WINDOWS AND DOORS TO BE DEMOLISHED
9. (E) DOMESTIC WATER RISER TO BE REROUTED
10. (E) TRASH ENCLOSURE TO BE DEMOLISHED
11. (E) WINDOW TO BE DEMOLISHED
12. (E) CONCRETE TILE WITH "MUSEUM" STAMP TO BE RELOCATED, SEE SITE PLAN FOR (N) LOCATION

DEMOLITION PLAN GENERAL NOTES

- A. VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF DEMOLITION WORK AND EXISTING WORK TO REMAIN WITH NEW FLOOR PLAN AND PROJECT SITE PRIOR TO PRICING, FABRICATION AND INSTALLATION. NOTIFY ARCHITECT OF ALL CONFLICTS IMMEDIATELY.
- B. WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ENTIRE WALL OR PARTITIONS AS WELL AS DUCTS, PIPING, CONDUITS AND OTHER ELEMENTS IN OR ON THEM WHICH MAY OR MAY NOT BE SPECIFICALLY IDENTIFIED, UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED.
- C. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- D. REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
- E. EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES.
- F. PROVIDE SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND/OR SITE AT ALL TIMES.
- G. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
- H. ALL SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER.
- K. PROVIDE FIRE EXTINGUISHERS PER CODE AT ALL TIMES THROUGHOUT CONSTRUCTION AREA.
- L. REMOVE ALL PEELING OR BUBBLED PAINT AND PREP (E) FINISH AS REQUIRED FOR SMOOTH TRANSITION WITH NEW FINISHES.
- Q. DASHED LINES INDICATE (E) CONSTRUCTION TO BE REMOVED, TYP. U.N.O.



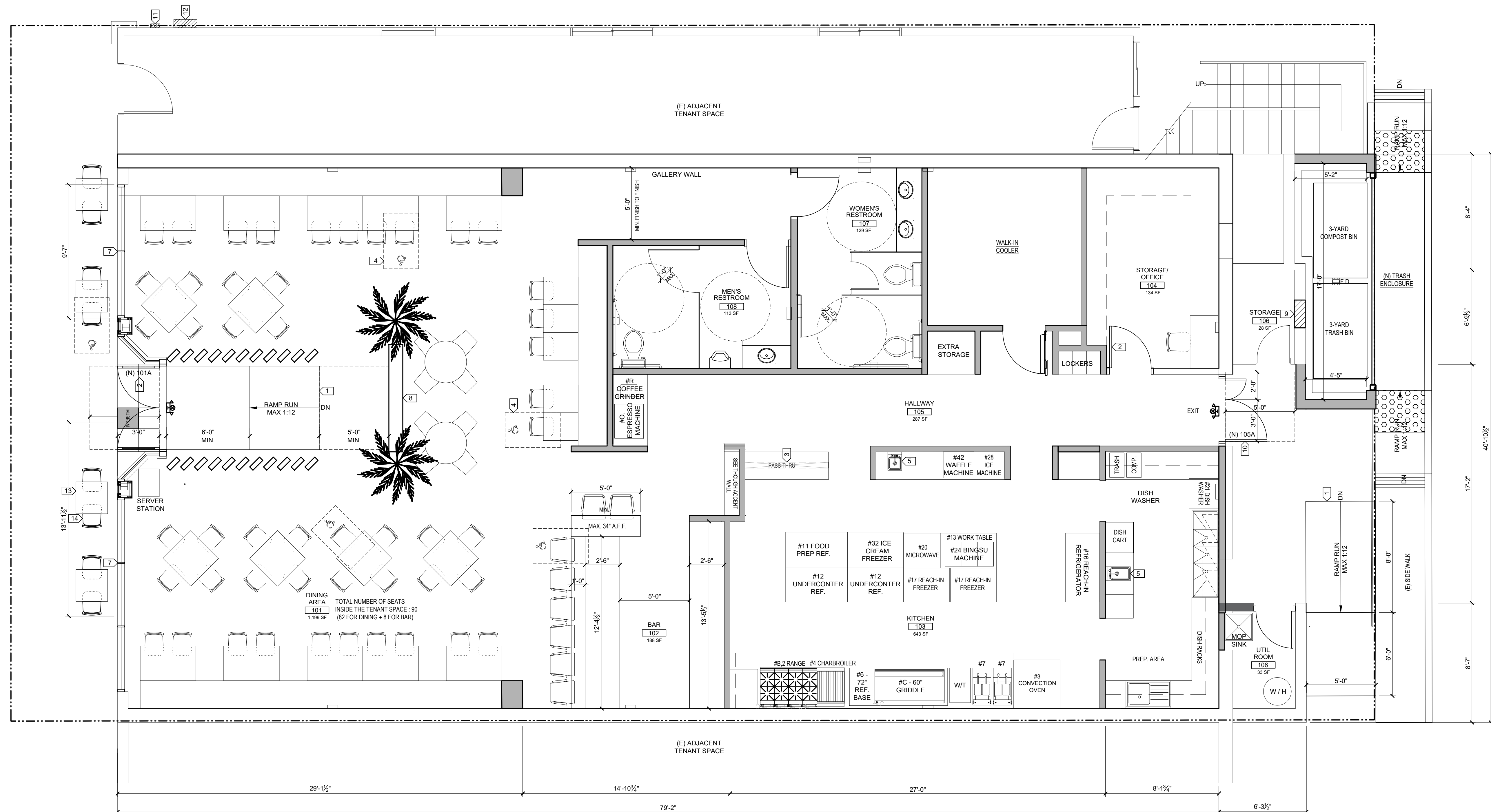
NO	DESCRIPTION	DATE

PROJECT NO: 3022-040
 SHEET TITLE
EXISTING AND DEMO PLAN

INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

PLANNING USE PERMIT
 SHEET NO.

A2.0



1 (N) FLOOR PLAN
 1/4" = 1'-0"

KITCHEN STORY & U-DESSERT STORY RESTAURANT
TENANT IMPROVEMENT
 PROJECT ADDRESS:
 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041
 APN #: 158-20-012

FLOOR PLAN KEYNOTES

1. (N) ACCESSIBLE RAMP
2. (N) DOOR PER SCHEDULE
3. (N) PASS THRU WINDOW, COUNTER AT 42" A.F.F.
4. ACCESSIBLE SEATS. SEE DETAIL V/A6.1
5. (N) HAND SINK W/ SPLASH GUARD. SEE PLUMBING PLAN
6. NOT USED
7. (N) STOREFRONT WINDOW
8. (N) PARTIAL HEIGHT WALL
9. (E) WINDOW OPENING TO FILL IN
10. (N) EGRESS DOOR W/ PANIC HARDWARE
11. (N) ELEC. METER FOR THE TENANT SPACE, WALL MOUNT
12. (N) CT CABINET, WALL MOUNT
13. (N) OUTDOOR TABLE, MANUFACTURER: LANCASTER TABLE & SEATING, MODEL: 4272828YO2D, EXCALIBUR 27 1/2" X 27 1/2" SQUARE DINING HEIGHT TABLE WITH TEXTURED YUKON OAK FINISH
14. (N) OUTDOOR CHAIR, MANUFACTURER: LANCASTER TABLE AND SEATING, MODEL: 427CSFRBSTAN, FRENCH BISTRO TAN OUTDOOR SIDE CHAIR

ACCESSIBLE SEATING

- A. TOTAL NUMBER OF INDOOR SEATING: 90
- B. TOTAL NUMBER OF OUTDOOR SEATING: 8
- C. NUMBER OF ACCESSIBLE SEATING PROVIDED: 90+8= 98 X 5%= 5 REQUIRED

PLAN SYMBOL DESIGNATIONS

	EXISTING STUD WALL TO REMAIN
	FILL IN (E) OPENING PER PLAN
	NEW STUD WALL - FULL HEIGHT
	ILLUMINATED EXIT SIGN, SEE CEILING PLAN AND ELECTRICAL DRAWINGS

NOTE:
 THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/2" ALONG THE ENTIRE PATH OF TRAVEL FROM THE PUBLIC WAY / ACCESSIBLE PARKING STALL INTO THE BUILDING OR RESTROOMS, SEE DETAIL 9/A1.8

FLOOR PLAN GENERAL NOTES

- A. ALL PIPING, CONDUITS AND RELATED MECHANICAL, PLUMBING AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN DRYWALL FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT, UNO.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.D.
- C. ALL DOORS ADJACENT TO WALLS SHALL BE TYPICALLY LOCATED 3" FROM WALL TO DOOR HINGE.



NO.	DESCRIPTION	DATE
1	RESPONSE TO 1ST PUP REVIEW COMMENTS	10/20/2022
2	RESPONSE TO 3RD PUP REVIEW COMMENTS	07/27/2023

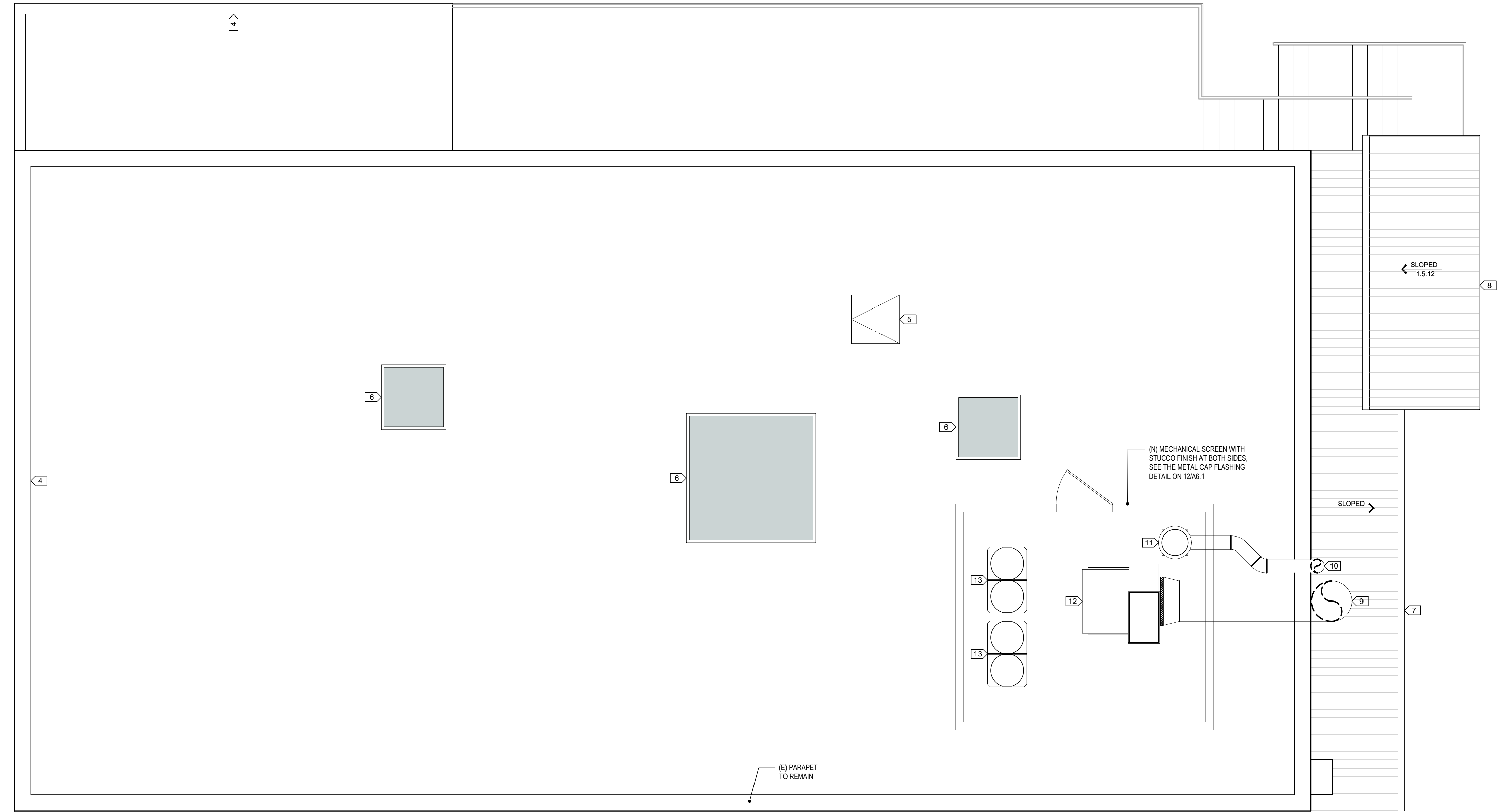
REVISION HISTORY - THIS SHEET

PROJECT NO: 3022-040
 SHEET TITLE
(N) FLOOR PLAN

INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

PLANNING USE PERMIT
 SHEET NO.

A2.1



1 (N) ROOF PLAN
 1/4" = 1'-0"

**KITCHEN STORY & U: DESSERT STORY RESTAURANT
 TENANT IMPROVEMENT**
 PROJECT ADDRESS:
 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041
 APN #: 158-20-012

ROOF PLAN GENERAL NOTES

- G.C. TO VERIFY ALL OPENING LOCATIONS AND SIZES THROUGH ROOF. PROVIDE APPROPRIATE FLASHING AS REQUIRED TO MAKE WATERTIGHT. PATCH/REPAIR EXISTING ROOFING AS REQUIRED.
- FOR ALL ROOF TOP UNIT SUPPORTS, PRESSURE TREATED WOOD AND HOT DIPPED GALVANIZED STEEL TO BE USED. SEE STRUCTURAL PLAN FOR ANCHORAGE DETAILS.
- G.C. TO VERIFY THE HEIGHT OF (N) MECHANICAL EQUIPMENT NOT TO EXCEED ROOF PARAPETS.
- (N) RADIANT BARRIER SHALL BE SECURELY INSTALLED OVER (N) ROOF IN A PERMANENT MANNER WITH THE SHINY SIDE FACING DOWN TOWARD THE INTERIOR OF THE BUILDING (CEILING OR ATTIC FLOOR). MOREOVER, RADIANT BARRIERS SHALL BE INSTALLED AT THE TOP CHORDS OF THE ROOF TRUSS/RAFTERS.
- (N) ROOFS TO HAVE MIN. R-38 FACED INSULATION

(N) ROOF PLAN KEYNOTES <#>

- ROOFTOP HVAC UNIT, SEE MECHANICAL PLAN.
- MAKE UP AIR UNIT, SEE MECHANICAL PLAN
- KITCHEN EXHAUST FAN, SEE MECHANICAL PLAN
- (E) ROOF PARAPET
- (E) ROOF HATCH
- (E) SKYLIGHT
- (E) SHED ROOF W/ GUTTER
- (N) CORRUGATED METAL DECK ROOFING W/ GUTTER
- (N) GREASE EXHAUST DUCT FROM BELOW
- (N) TOILET EXHAUST DUCT FROM BELOW
- (N) MUSHROOM TYPE EXHAUST FAN
- (N) ROOF MOUNTED GREASE EXHAUST FAN
- (N) ROOF MOUNTED HEAT PUMP



NO	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

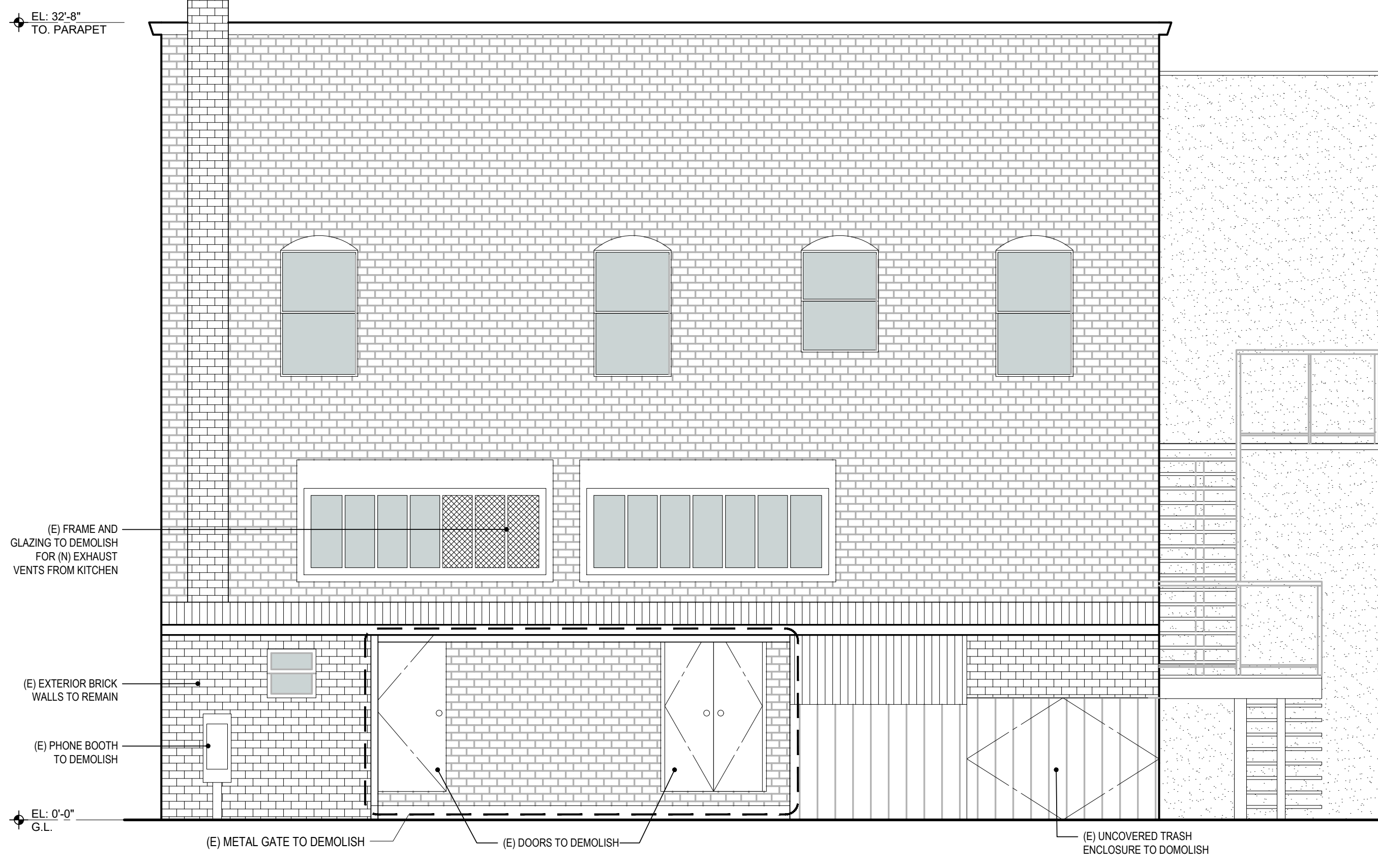
PROJECT NO: 3022-040

SHEET TITLE
(N) ROOF PLAN

INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

PLANNING USE PERMIT
 SHEET NO.

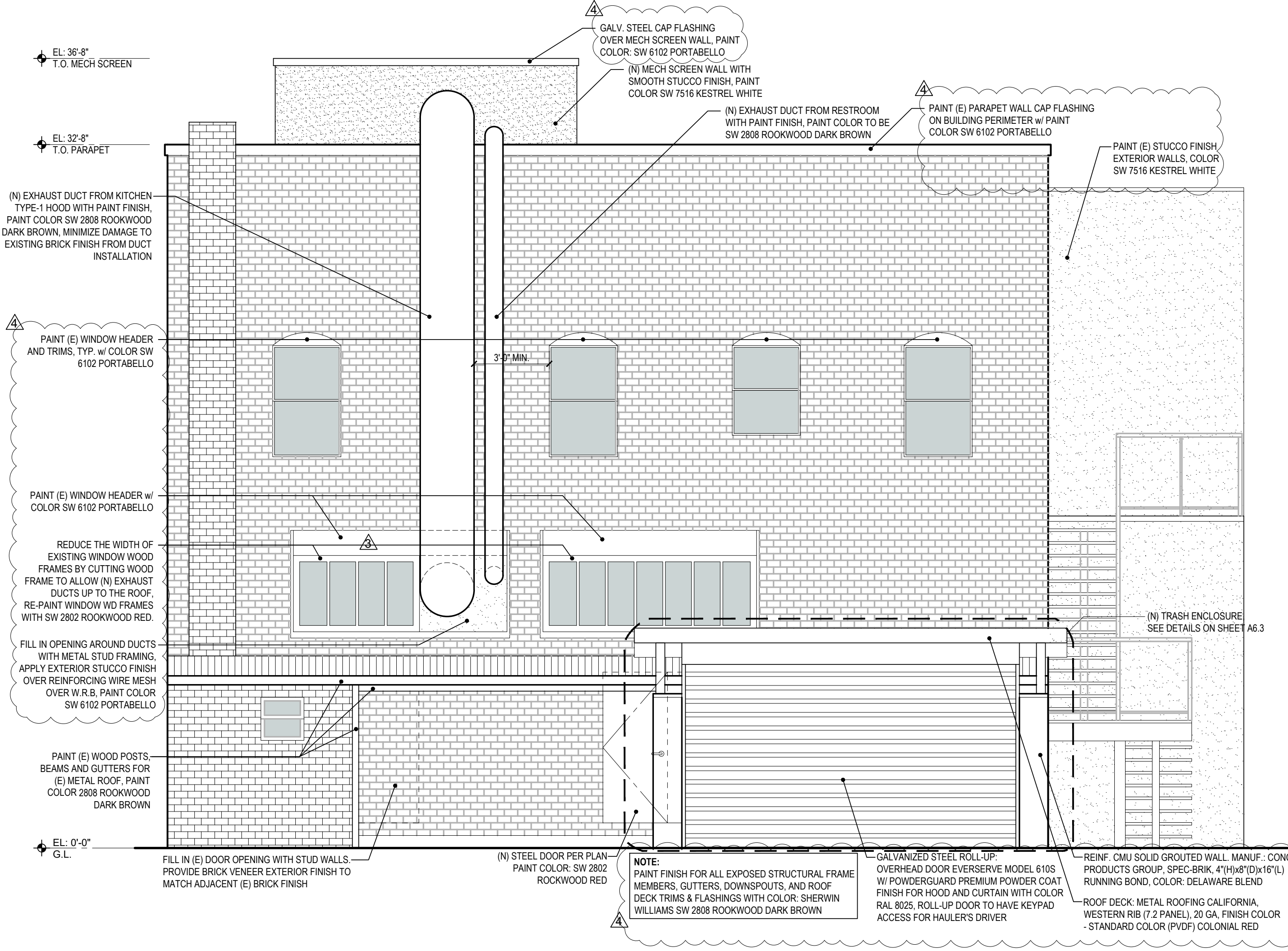
A2.3



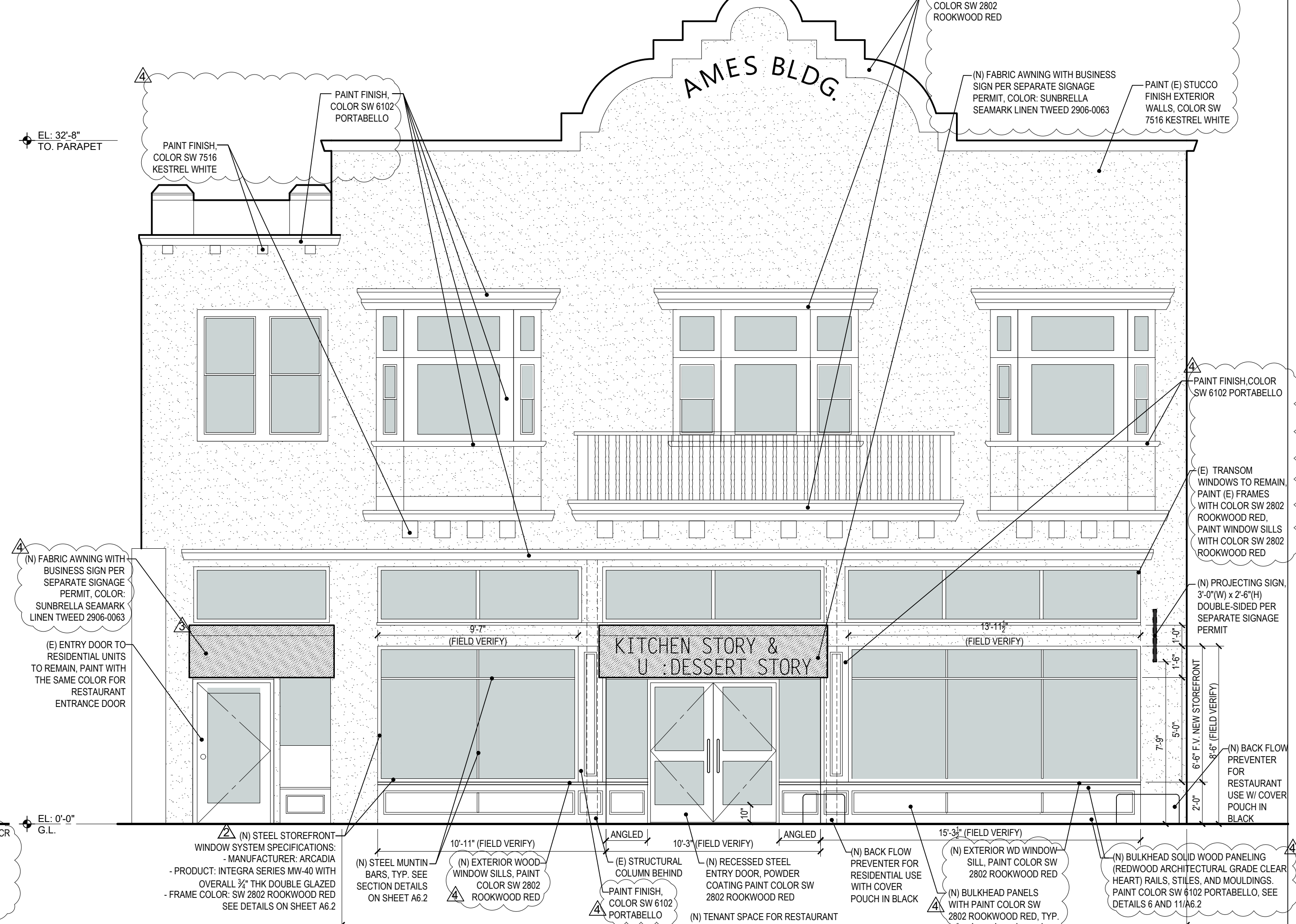
3 (E) REAR ELEVATION (EAST)
 1/4"=1'-0"



1 (E) FRONT ELEVATION AT CASTRO ST (WEST)
 1/4"=1'-0"



4 (N) REAR ELEVATION (EAST)
 1/4"=1'-0"



2 (N) FRONT ELEVATION AT CASTRO ST (WEST)
 1/4"=1'-0"



NO	DESCRIPTION	DATE
1	RESPONSE TO 2ND PUP REVIEW COMMENTS	03/14/2023
2	RESPONSE TO 3RD PUP REVIEW COMMENTS	07/27/2023
3	RESPONSE TO 4TH PUP REVIEW COMMENTS	09/25/2023

PROJECT NO: 3022-040

SHEET TITLE
 EXTERIOR ELEVATIONS-1

INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

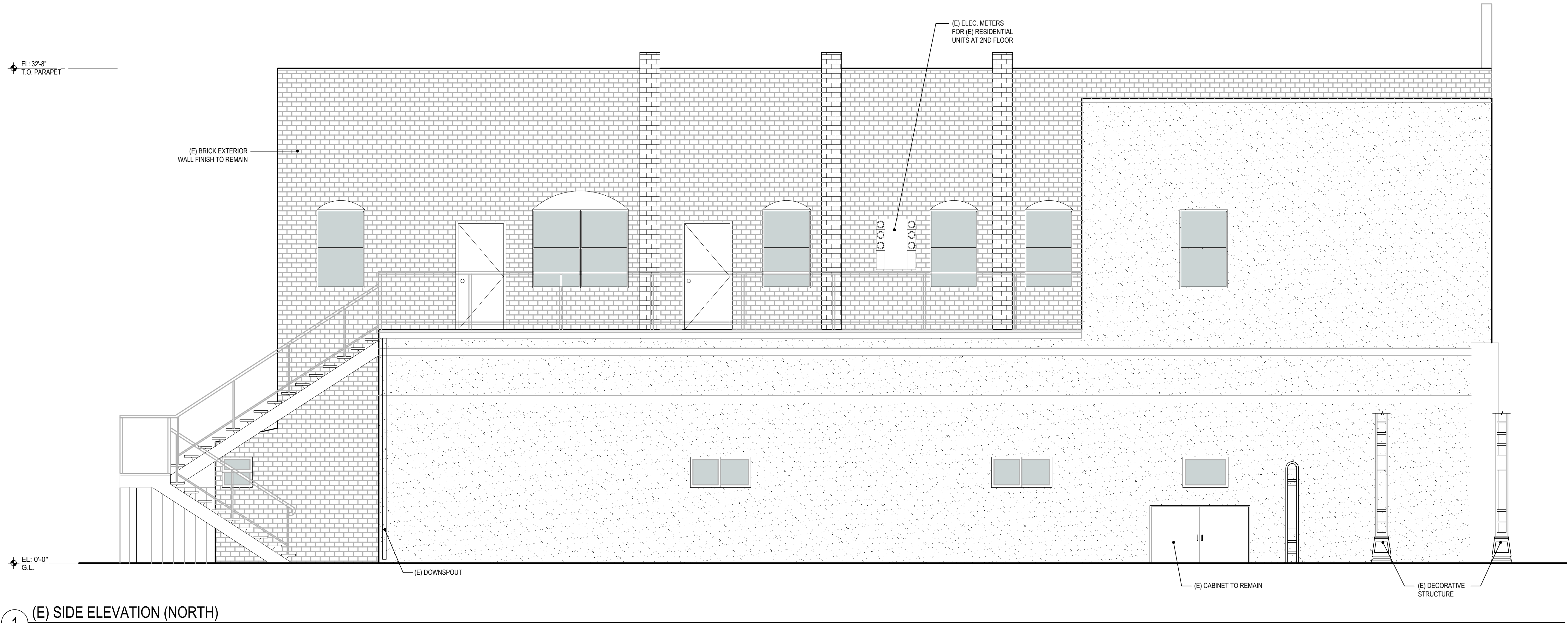
PLANNING USE PERMIT

SHEET NO.

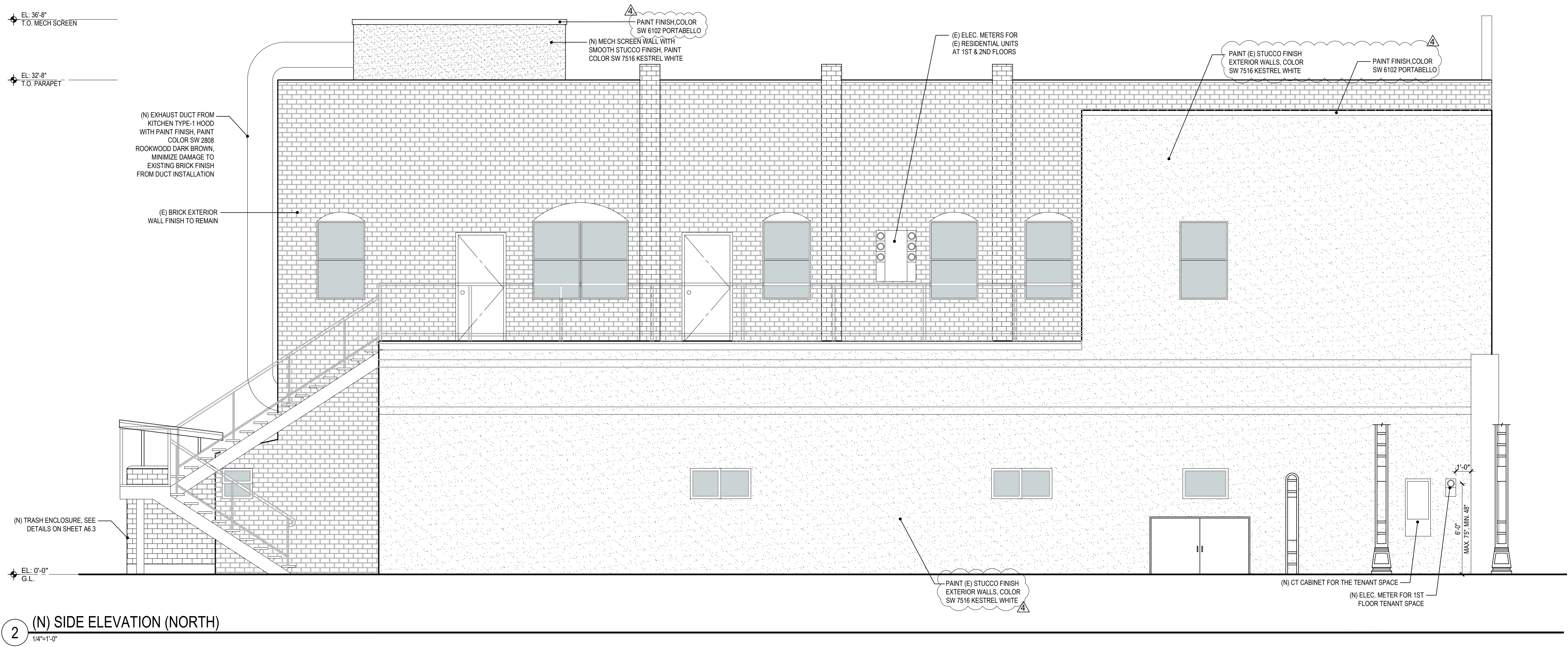
A4.0

ELEVATION NOTES:

1. CONTRACTOR TO PREPARE SHOP DRAWINGS FOR (N) STOREFRONT SYSTEM AND SUBMIT TO THE ARCHITECT FOR REVIEW AND TO THE CITY FOR A SEPARATE PERMIT. SEE THE STRUCTURAL FOR THE WIND AND DEFLECTION CRITERIA.
2. CONTRACTOR TO PROVIDE A SAMPLE TO ARCHITECT PRIOR TO INSTALLATION OF EXTERIOR FINISHES.
3. ALL PAINTS SHALL BE ACRYLIC LATEX WATERPROOFING EXTERIOR GRADE.
4. PROVIDE SAFETY GLAZING WITHIN 18" OF A WALKING SURFACE, GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS.



1 (E) SIDE ELEVATION (NORTH)
1/4"=1'-0"



2 (N) SIDE ELEVATION (NORTH)
1/4"=1'-0"



NO	DESCRIPTION	DATE
△	RESPONSE TO 2ND PUP REVIEW COMMENTS	03/14/2023
△	RESPONSE TO 4TH PUP REVIEW COMMENTS	09/25/2023

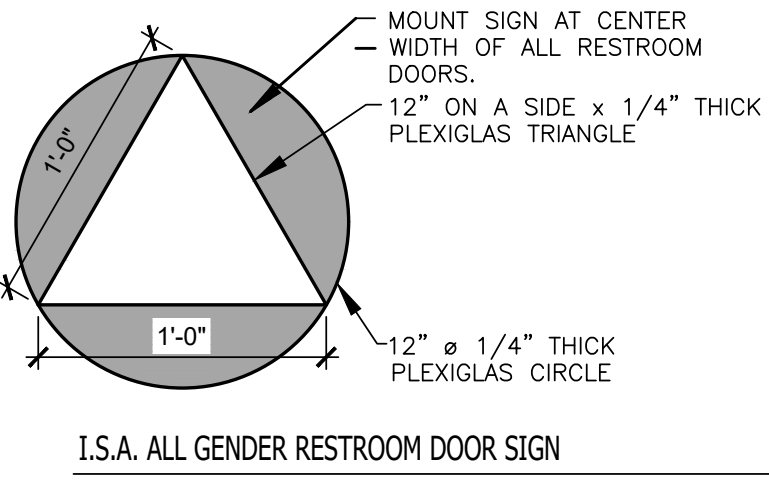
REVISION HISTORY - THIS SHEET
PROJECT NO: 3022-040

SHEET TITLE
EXTERIOR ELEVATIONS-2

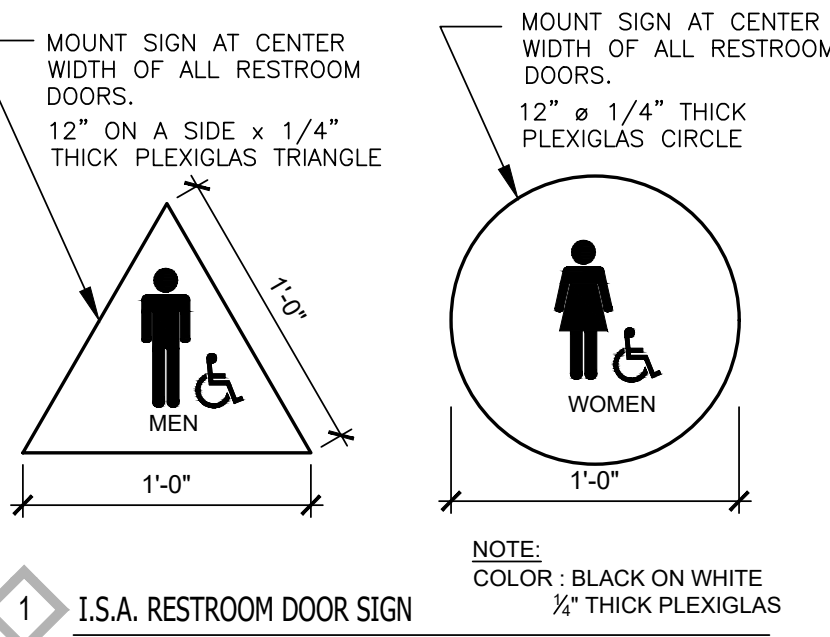
INITIAL PLAN SUBMISSION DATE:
APRIL 26, 2022

PLANNING USE PERMIT
SHEET NO.

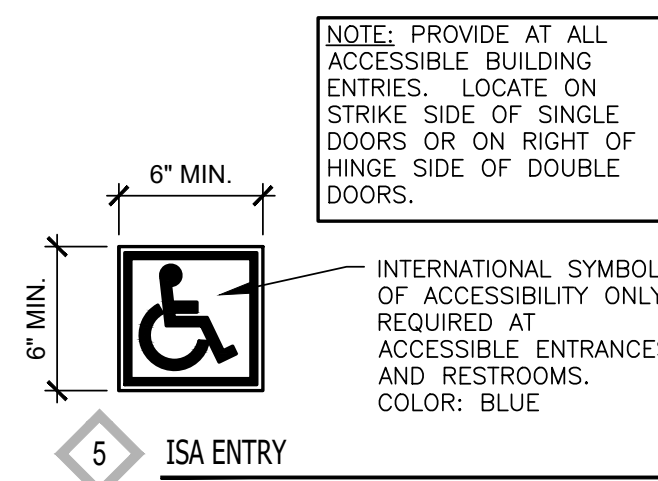
A4.1



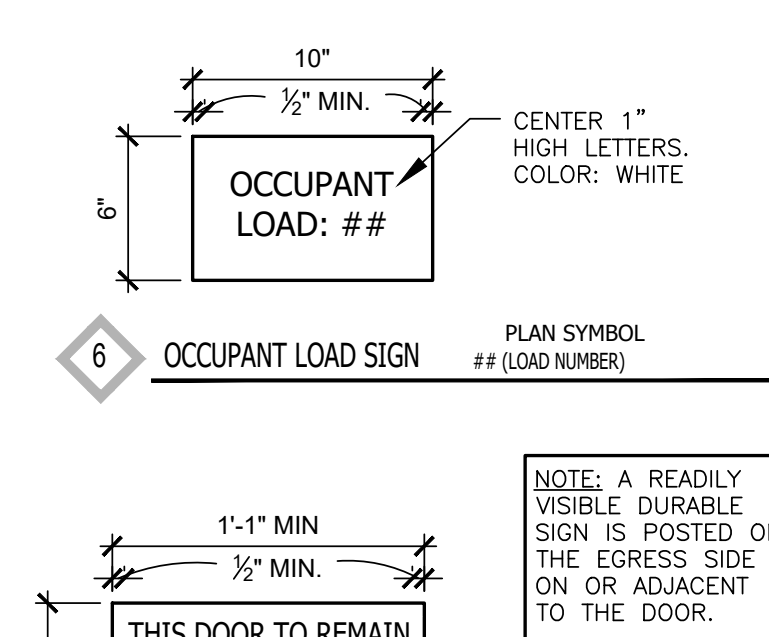
1 I.S.A. ALL GENDER RESTROOM DOOR SIGN



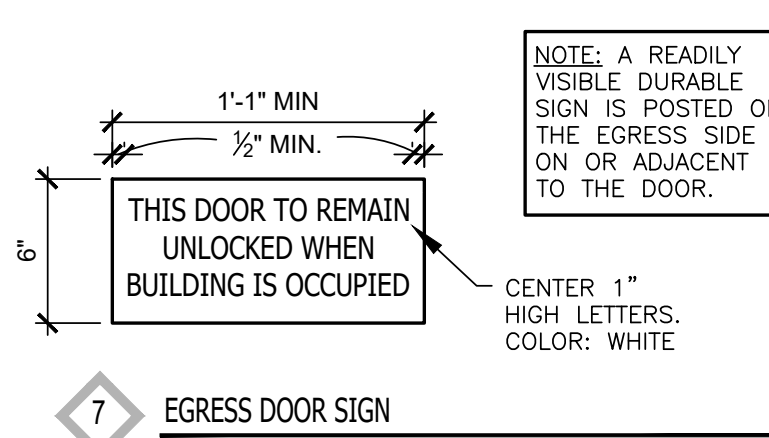
2 I.S.A. RESTROOM DOOR SIGN



5 ISA ENTRY



6 OCCUPANT LOAD SIGN



7 EGRESS DOOR SIGN

SYMBOLS:

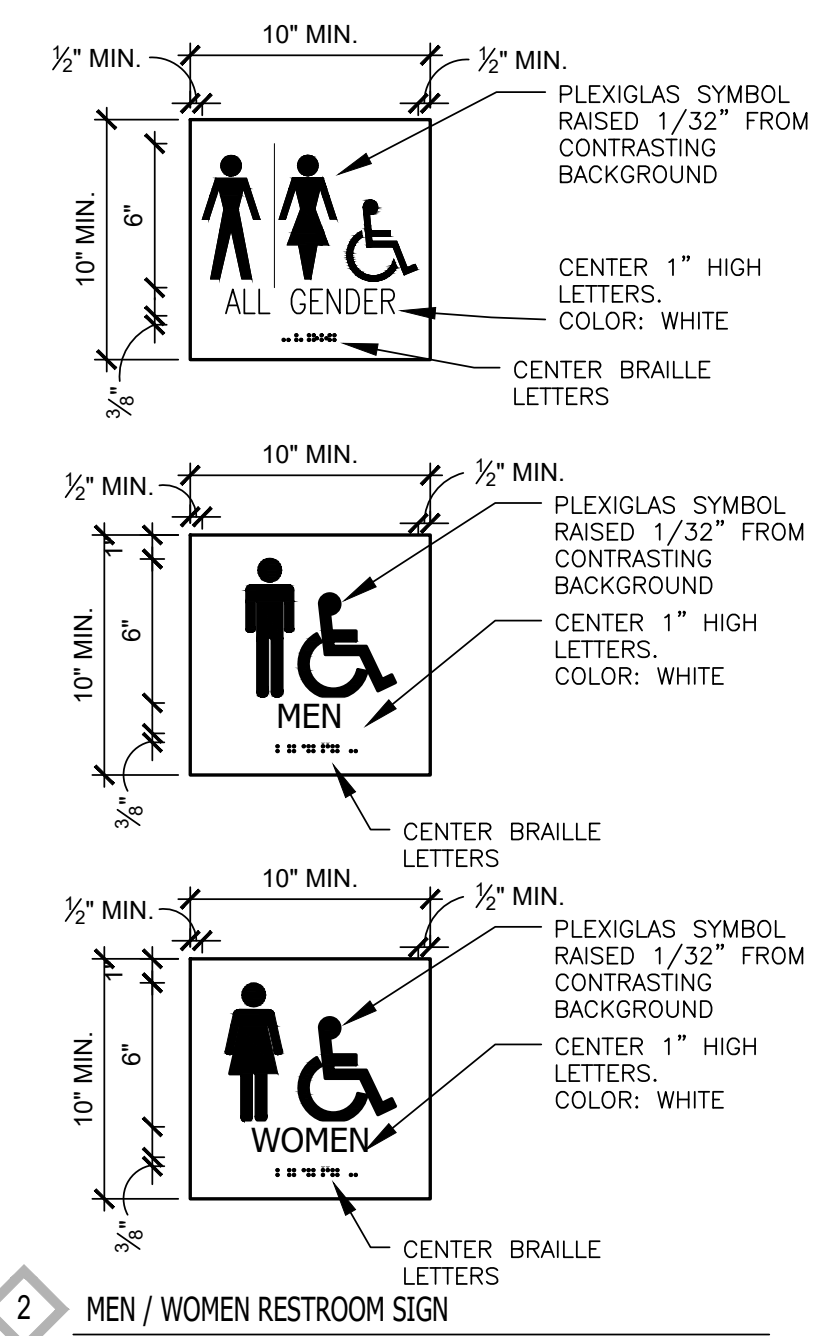
X SIGNAGE SYMBOL ON THE PLAN, SEE SHEET A1.5 FOR LOCATION

NOTES:

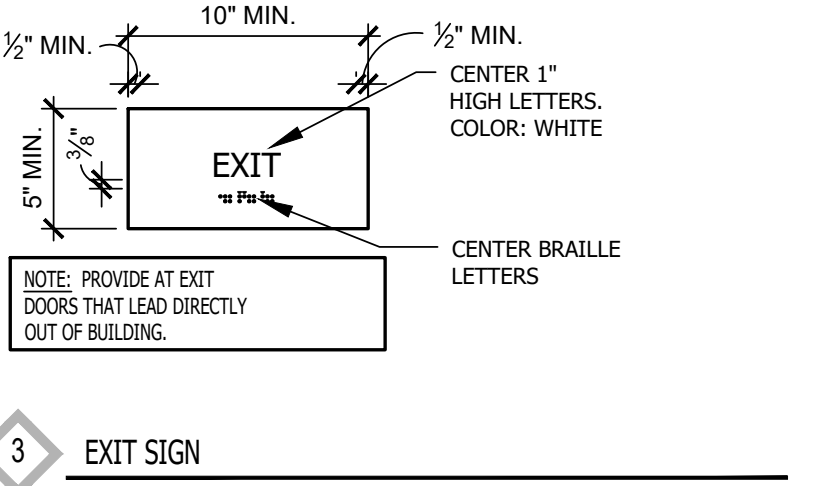
- SEE 11 A6.0 FOR SIGN MOUNTING LOCATION ON DOOR & WALL
- SIGNAGE DESIGN TO MEET CITY SIGNAGE STANDARDS AND REQUIREMENTS.

GENERAL SIGNAGE NOTES:

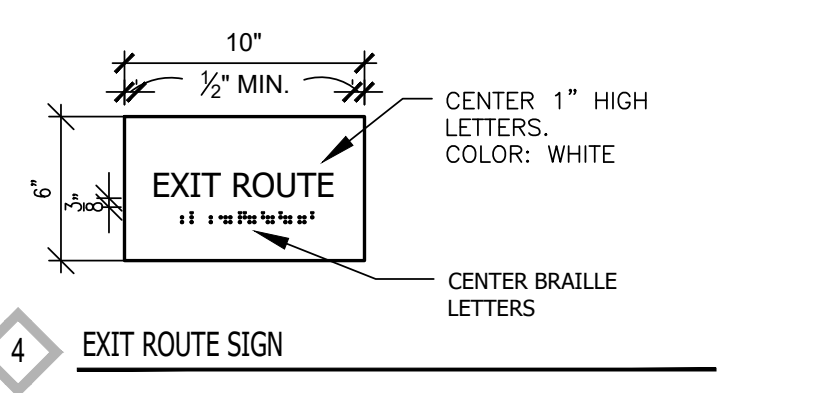
- CHARACTER TYPE:** CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS SERIF STYLE, UPPER CASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE
- CHARACTER SIZE:** RAISED CHARACTERS SHALL BE A MINIMUM OF 5/8" AND A MAXIMUM OF 2" HIGH. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48" INCHES MIN AFF, MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 60" INCHES MAX AFF, MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER
- FINISH AND CONTRAST:** CHARACTERS, SYMBOLS, AND THEIR BACKGROUNDS SHALL HAVE A NON-GLARE FINISH, CHARACTERS AND SYMBOLS SHALL HAVE AT LEAST 70% CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- CHARACTER PROPORTIONS:** CHARACTERS ON SIGNS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER 'O' IS 60 PERCENT MIN AND 110 PERCENT MAX OF THE HEIGHT OF THE UPPERCASE LETTER 'I'
- BRAILLE:** CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHENEVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH TABLE 11 B-703.3.1. THE INDICATION OF AN UPPERCASE LETTER OR LETTERS SHALL ONLY BE USED BEFORE THE FIRST WORD OF SENTENCES, PROPER NOUNS AND NAMES, INDIVIDUAL LETTERS OF THE ALPHABET, INITIALS, AND ACRONYMS. BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT IN A HORIZONTAL FORMAT, FLUSH LEFT OR CENTERED. IF TEXT IS MULTILINE BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. BRAILLE SHALL BE SEPARATED 3/8" MIN AND 1/2" MAX FROM ANY OTHER TACTILE CHARACTERS AND 3/8" MIN FROM RAISED BORDERS AND DECORATIVE ELEMENTS.
- INSTALLATION HEIGHT & LOCATION:** TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60" MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS, WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR, WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MINIMUM BY 15" MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 OPEN POSITION, WHERE PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE. SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE EXITS THE ROOM OR SPACE.
- MATERIAL:** SIGN MATERIAL TO BE 1/8" THICK ES PLASTIC WITH 1/32" RAISED LETTERS.
- MOUNTING:** PROVIDE MECHANICAL MOUNTING WITH VANDAL RESISTANT SCREWS FOR EACH SIGN.
- COMPLIANCE:** ALL SIGNAGE MUST COMPLY WITH CBC 11B-703 AND MEET CITY SIGNAGE STANDARDS AND REQUIREMENTS.



1 MEN / WOMEN RESTROOM SIGN

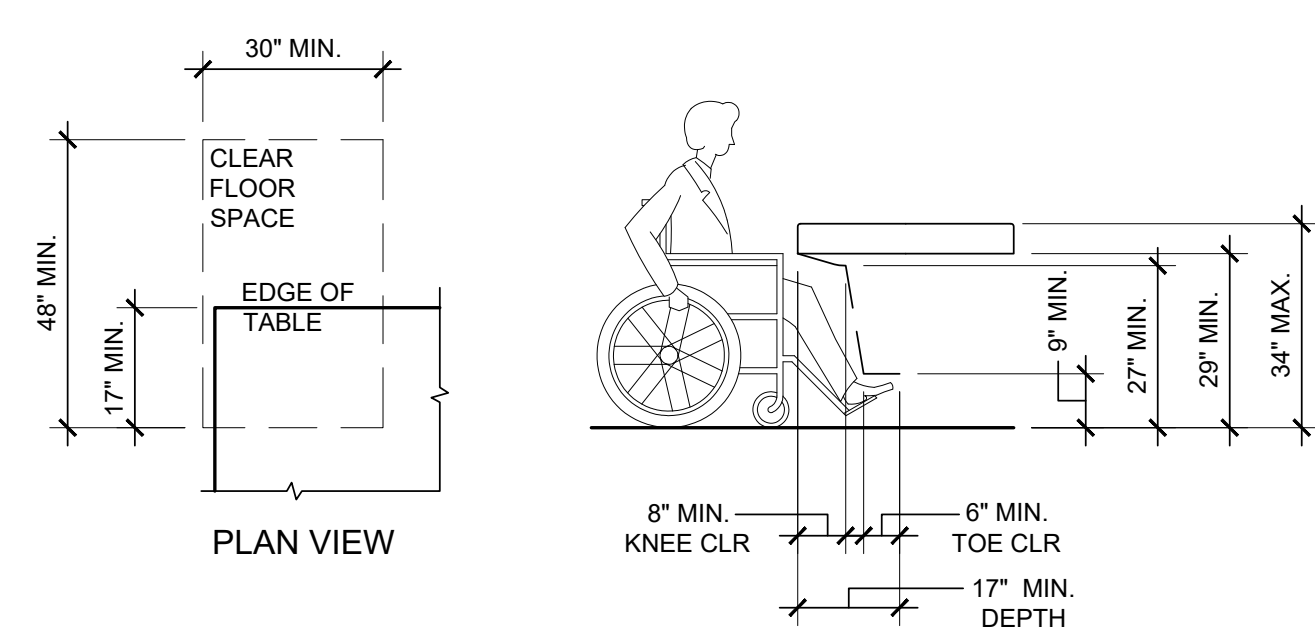


3 EXIT SIGN

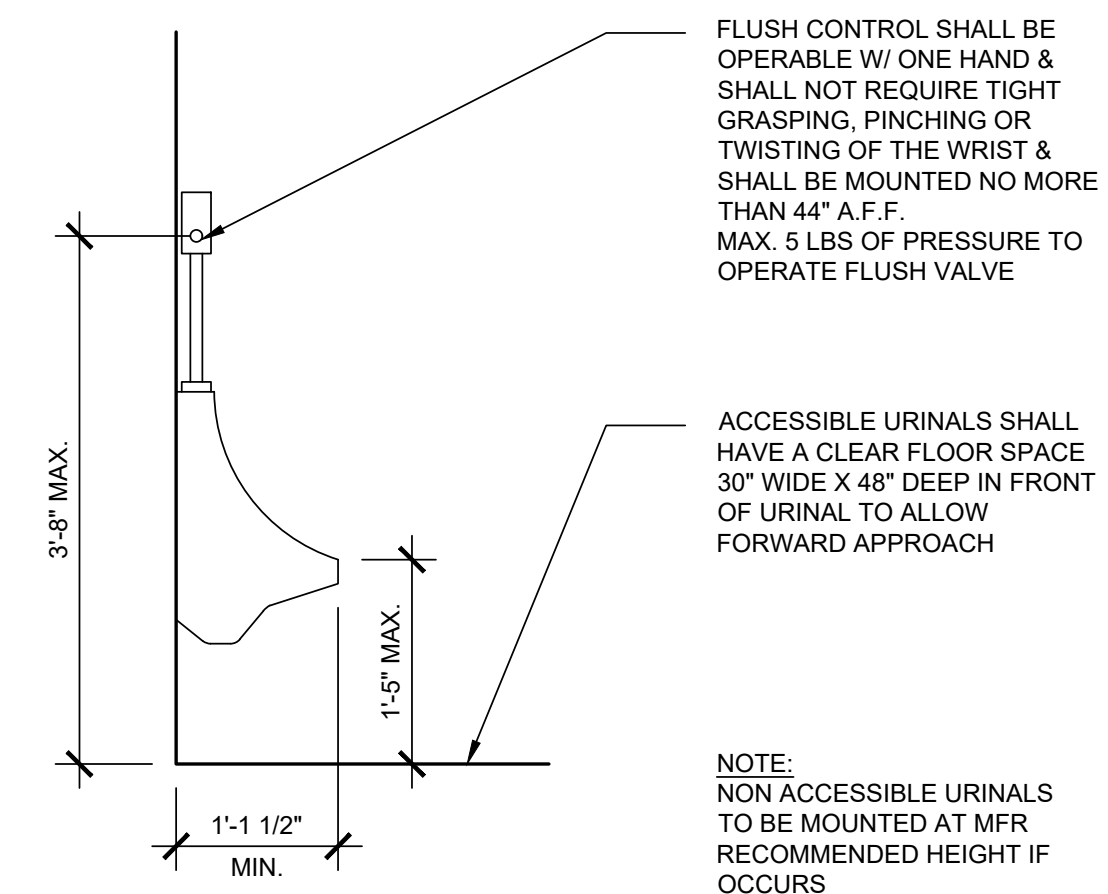


4 EXIT ROUTE SIGN

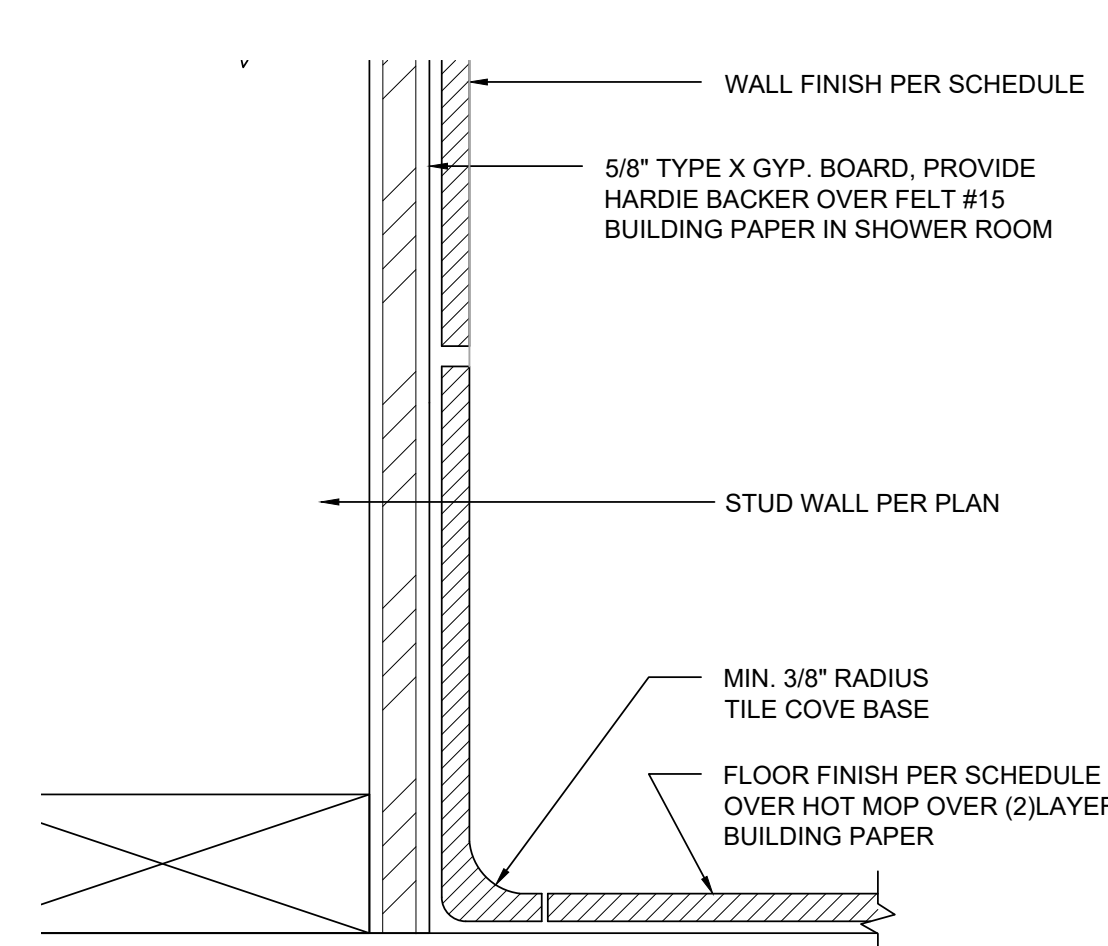
12 INTERIOR SIGNAGE DETAIL
1'-12" = 1'-0"



7 ACCESSIBLE CLEARANCE AT TABLE
3/8" = 1'-0"



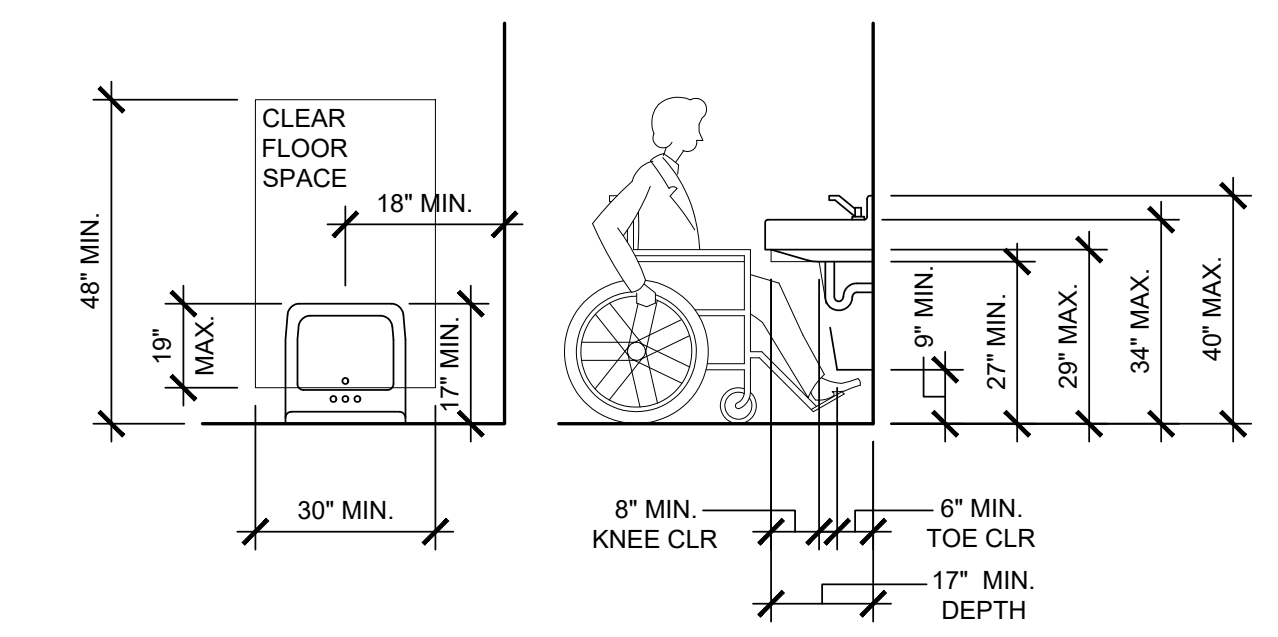
10 ACCESSIBLE URINAL REQUIREMENTS
3/4" = 1'-0"



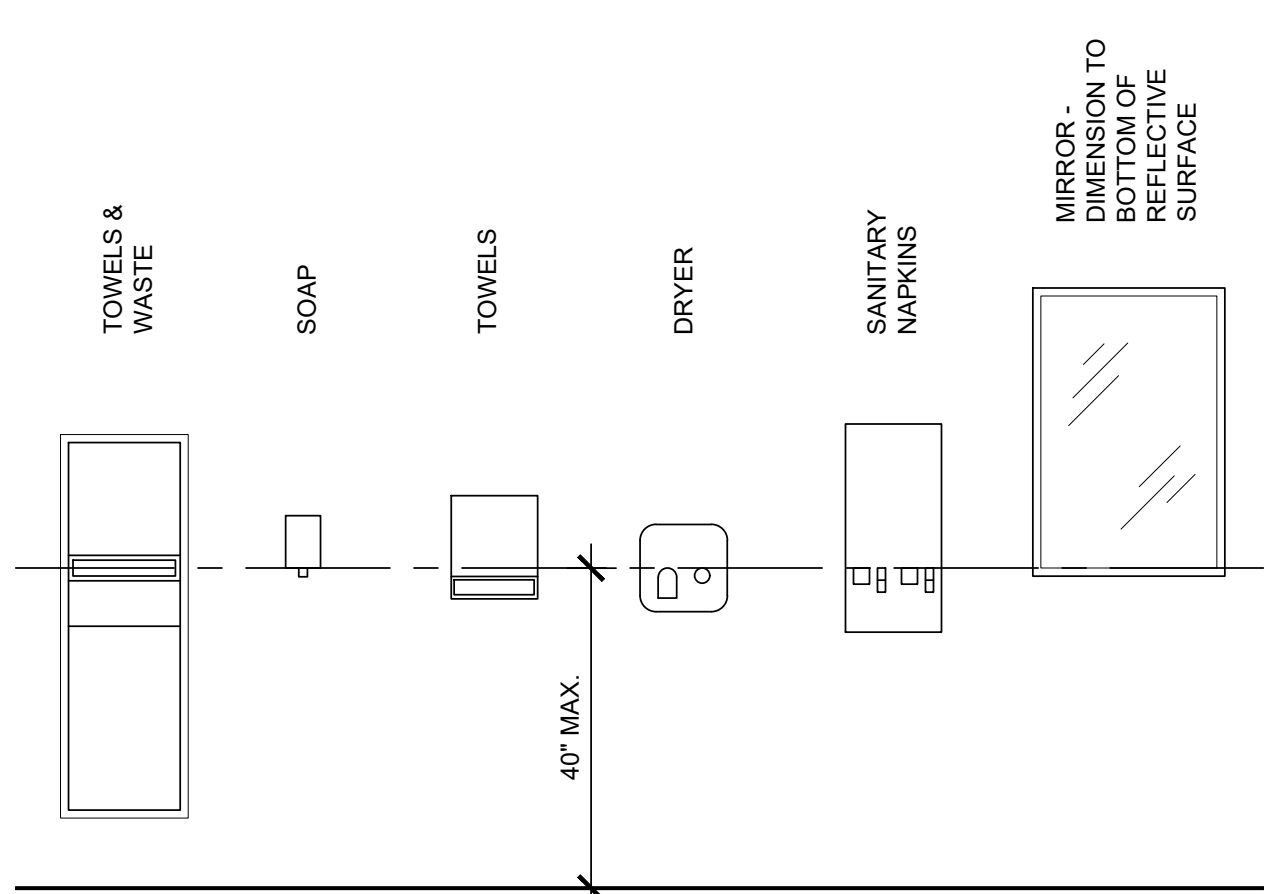
11 TYPICAL COVE BASE DETAIL
6" = 1'-0"

NOTE: FAUCET CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO MORE THAN 5 LBS. LEVER OPERATED, PUSH TYPE, & ELECTRONICALLY CONTROLLED MECHANISMS ARE ACCEPTABLE. SELF CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

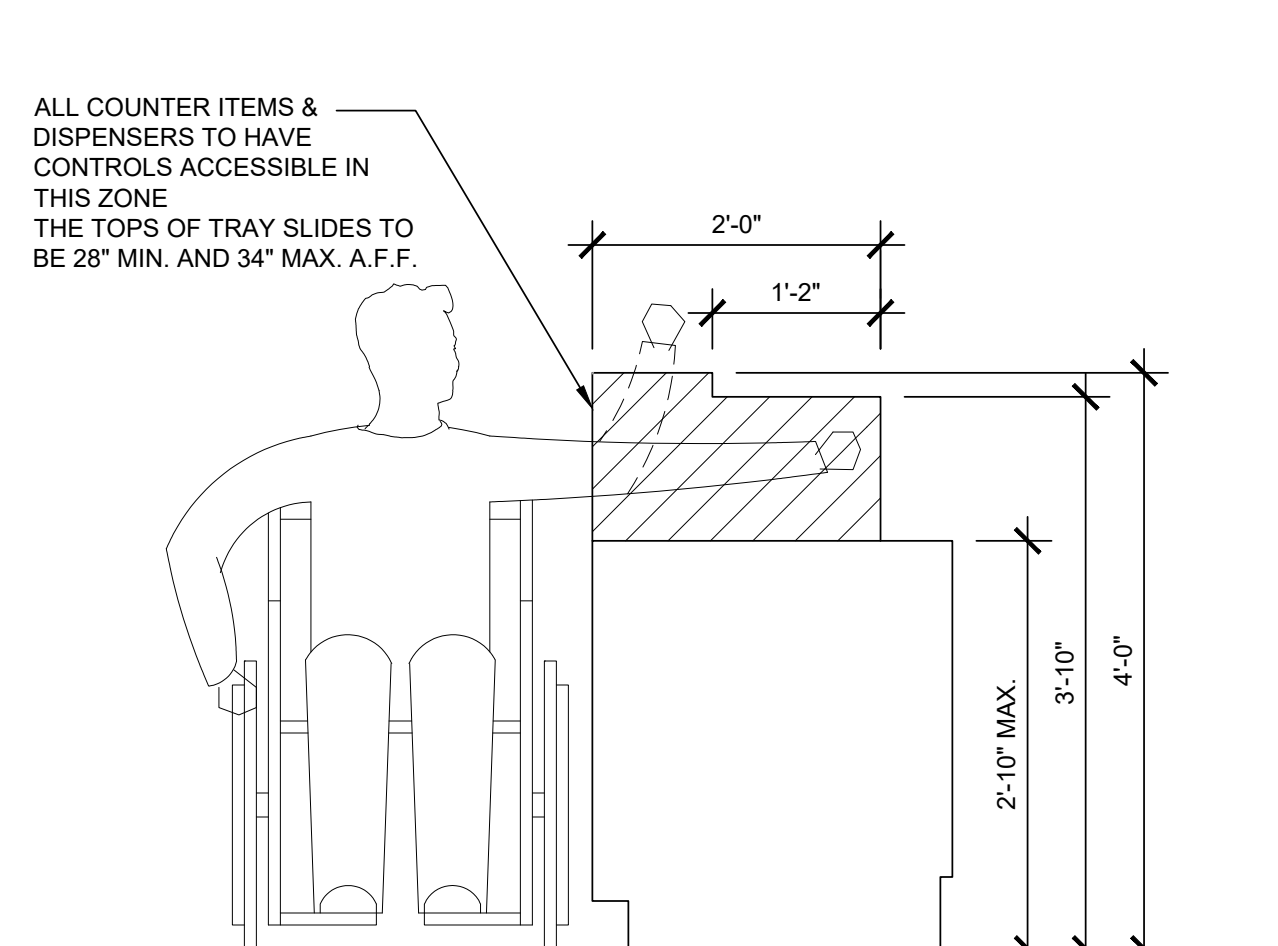
NOTE: HOT WATER & DRAIN PIPES ACCESSIBLE UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP, ABRASIVE OBJECTS, OR SURFACES UNDER LAVATORIES.



4 ACCESSIBLE CLEARANCE AT LAVATORY
3/8" = 1'-0"

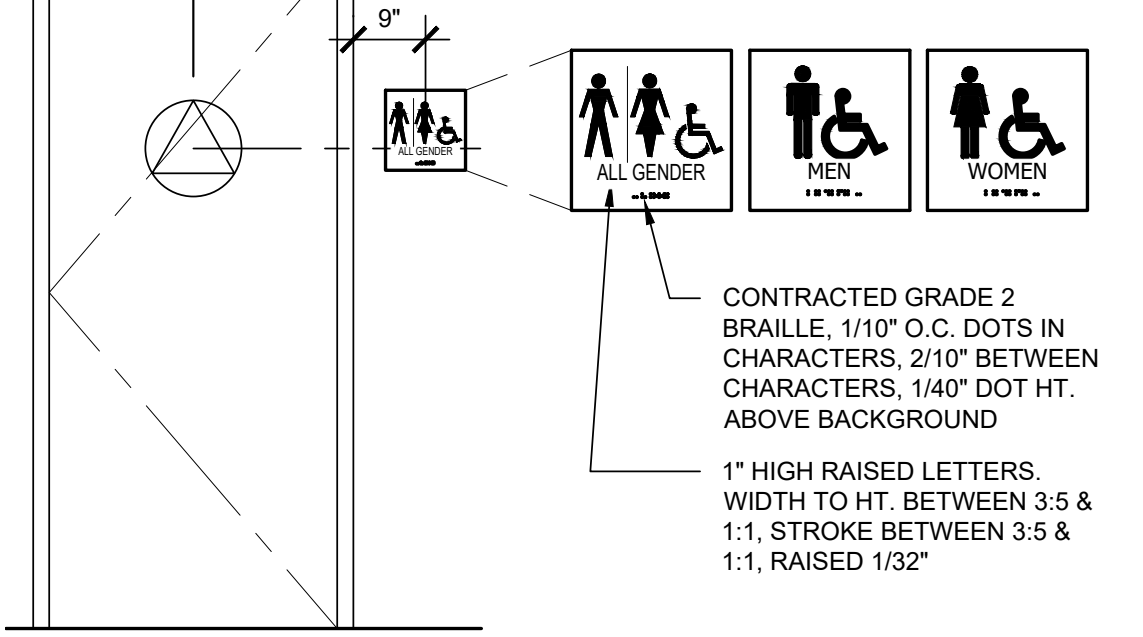


5 RESTROOM ACCESSORIES
1/2" = 1'-0"

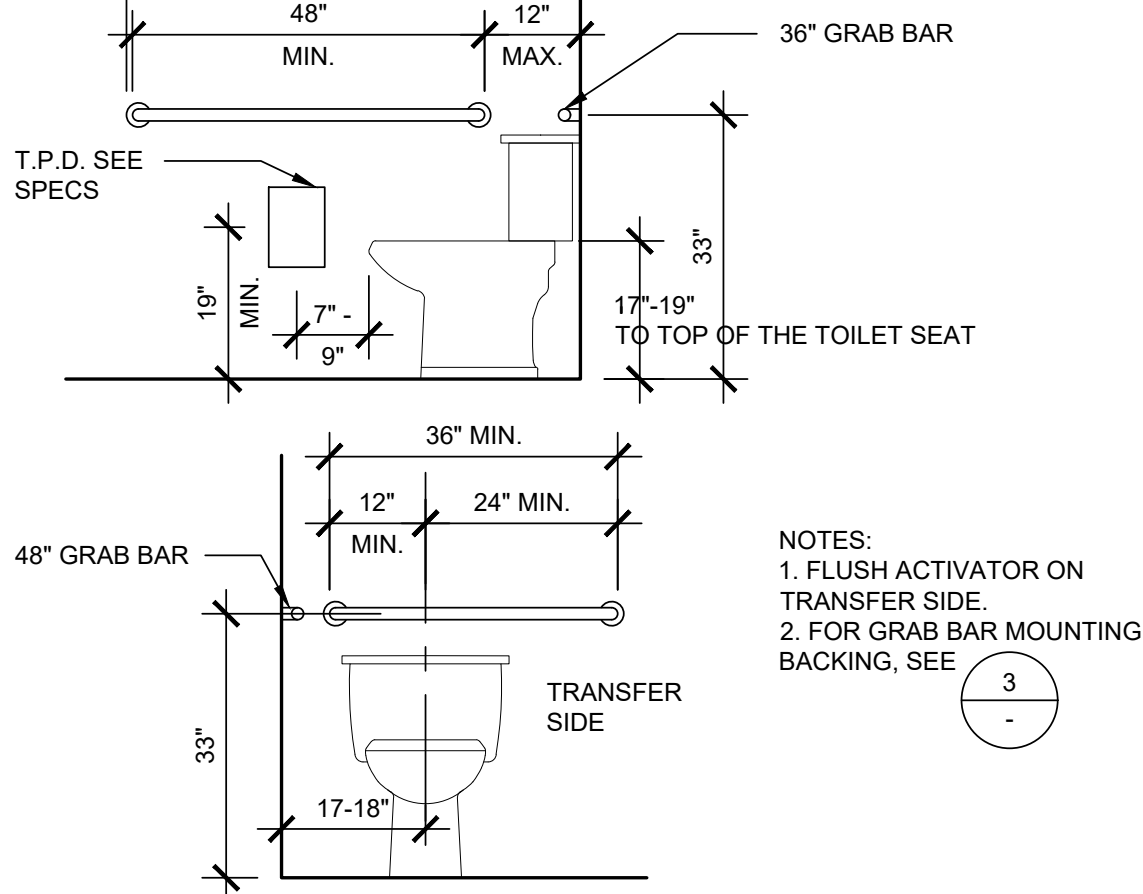


6 ACCESSIBLE SIDE REACH DETAIL
3/4" = 1'-0"

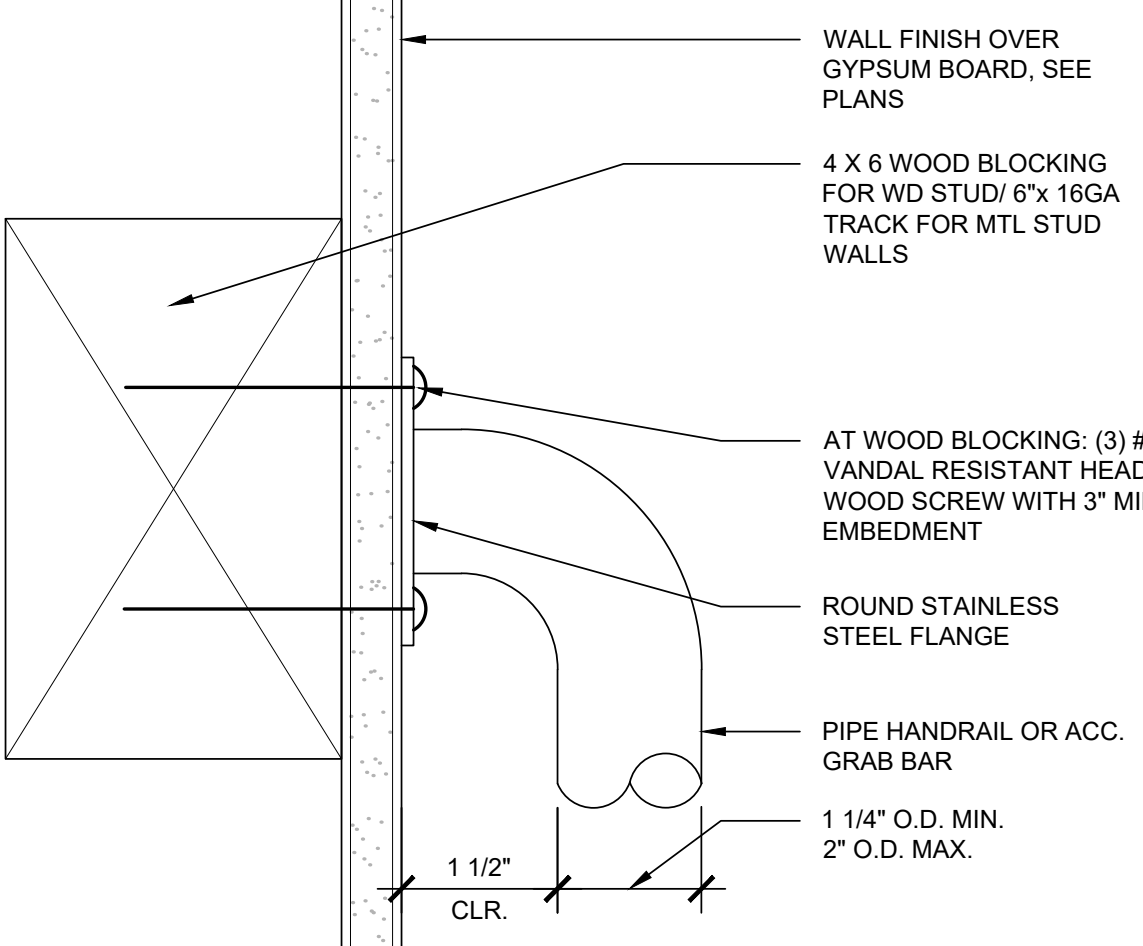
NOTE: IN ADDITION TO THE WOMEN'S 12" CIRCLE & MEN'S 12" EQUILATERAL TRIANGLE AT +60" A.F.F. ON RESTROOM DOORS, PROVIDE: SIGN MOUNTED AT +60" TO BASELINE OF TACTILE TEXT ON WALL AT LATCH SIDE OF DOOR. SEE INTERIOR SIGNAGE DETAIL 12/.



1 ACCESSIBLE RESTROOM SIGNAGE
1/2" = 1'-0"



2 ACCESSIBLE TOILET REQUIREMENTS
1/2" = 1'-0"



3 BLOCKING AT GRAB BAR
6" = 1'-0"



NO	DESCRIPTION	DATE

PROJECT NO: 3022-040

SHEET TITLE
DETAILS-1

INITIAL PLAN SUBMISSION DATE:
APRIL 26, 2022

CONSTRUCTION DOCUMENTS

SHEET NO.

A6.0



NO	DESCRIPTION	DATE
1	RESPONSE TO 2ND PUP REVIEW COMMENTS	03/14/2023
2	RESPONSE TO 3RD PUP REVIEW COMMENTS	07/27/2023

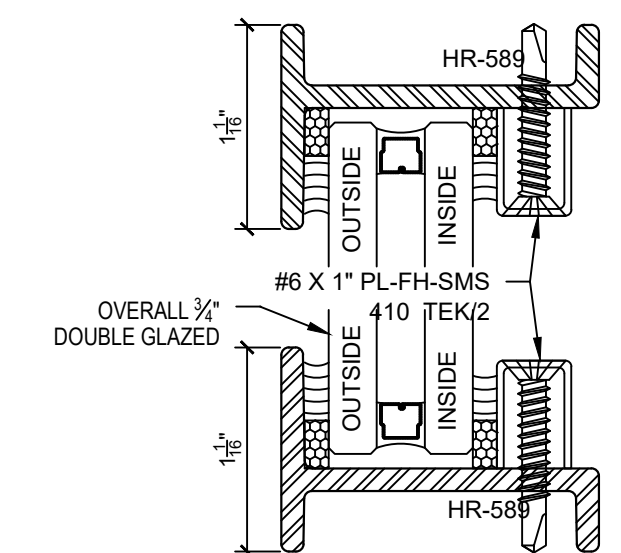
REVISION HISTORY - THIS SHEET

PROJECT NO: 3022-040
 SHEET TITLE
DETAILS-3

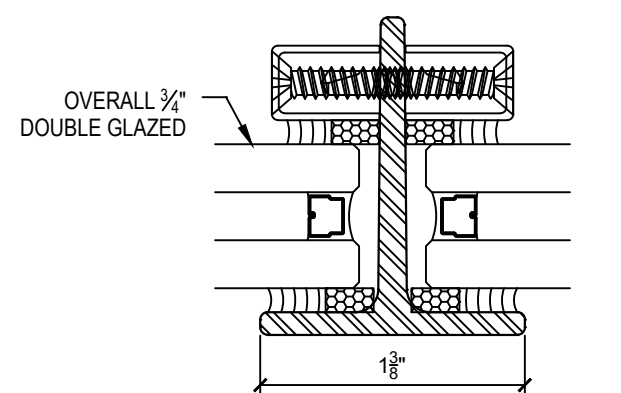
INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

CONSTRUCTION DOCUMENTS

SHEET NO. **A6.2**



1 STOREFRONT FIXED FRAME SECTION DETAIL



2 STOREFRONT MUNTIN BAR SECTION DETAIL

arcadia Product Standards and Guide Specifications
Integra Series MW-40
 Heavy Intermediate
 Awning, Hopper, Casement, Fixed

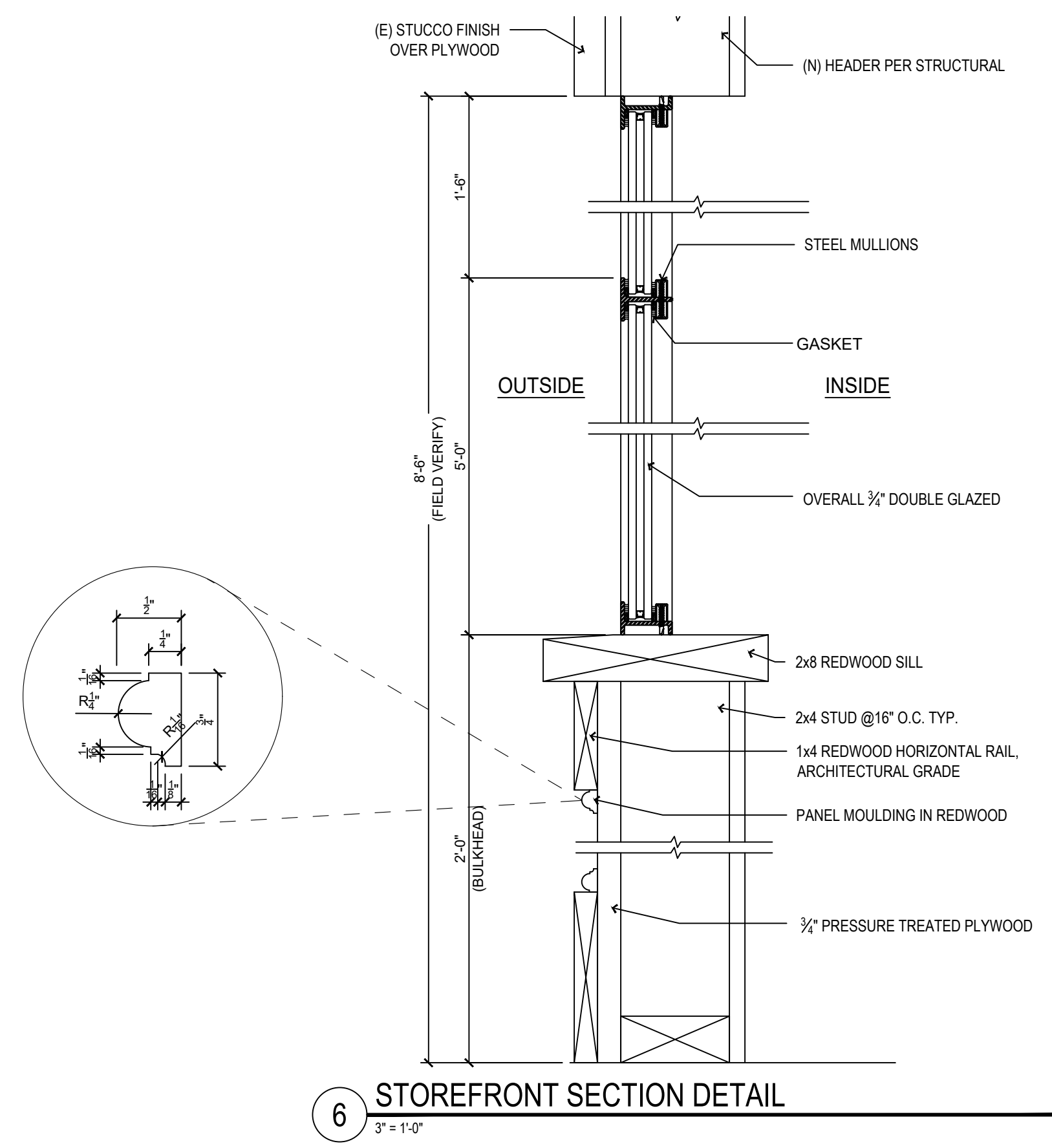
1995 CSI SECTION 08510 Steel Windows
2004 CSI SECTION 08 51 23 Steel Windows

PART 1 - GENERAL
 1. DESCRIPTION
 A. Work included:
 1. Furnish all labor and materials to complete the fabrication of windows as shown on architect's drawings and as specified herein. All windows covered by this specification shall be fabricated by Arcadia Inc. Vernon, California
 B. Related work specified elsewhere:
 1. Glass, glazing and glazing materials, Section 08810.
 2. Parameter caulking, Section 07915.
 3. Miscellaneous structural items, Section 05100.
 2. QUALITY ASSURANCE
 A. Allowable tolerances: Size dimensions + 1/16 inch.
 B. Source quality control:
 1. Air infiltration test
 a. Products must be independently lab tested and meet or exceed ASTM E-283.
 b. Maximum air infiltration 0.30 CFM SQFT with differential pressure across window unit of 1.57 / 6.24 PSF
 2. Water penetration test
 a. Products must be independently lab tested and meet or exceed ASTM E331.
 b. No water penetration for 15 minutes when window is subjected to a rate of flow of 5 gal/hr/sqft with differential pressure across window unit of 6.00 PSF
 3. Field Testing
 a. Field testing criteria (when applicable) shall be in accordance with AAMA 502-08.
 4. Structural test
 a. Meets or exceeds ASTM E330
 5. Forced entry test
 a. Meets or exceeds ASTM F588
 b. Grade 40 @ 300 pounds
 6. Quality of topcoat combination shall meet or exceed the following ASTM designations:
 a. ASTM D4595 Humidity Test
 b. ASTM D714 Paint Blistering Test
 c. ASTM B117-03 Salt Spray (Fog) Test
 d. ASTM D1654-05 Painted Products in Corrosive Environments
 e. ASTM G85 Cyclic Fog/Dry Test (Prohesion)
 f. ASTM D5894-98 Salt Fog/UV Painted Metal
 g. ASTM D4541 Pull off Strength of Coating Test
 3. SUBMITTALS
 A. Shop drawings
 1. Submit for approval shop drawings showing window and installation details, including anchorage, fastening and recommended sealing methods.
 2. Dimensioned elevations showing window opening and window sizes.
 4. PRODUCT STORAGE AND HANDLING
 A. The General Contractor shall be responsible for the protection and storage of the windows after delivery to the site.
 5. WARRANTY
 A. Provide Arcadia's standard three (3) year Limited Warranty.

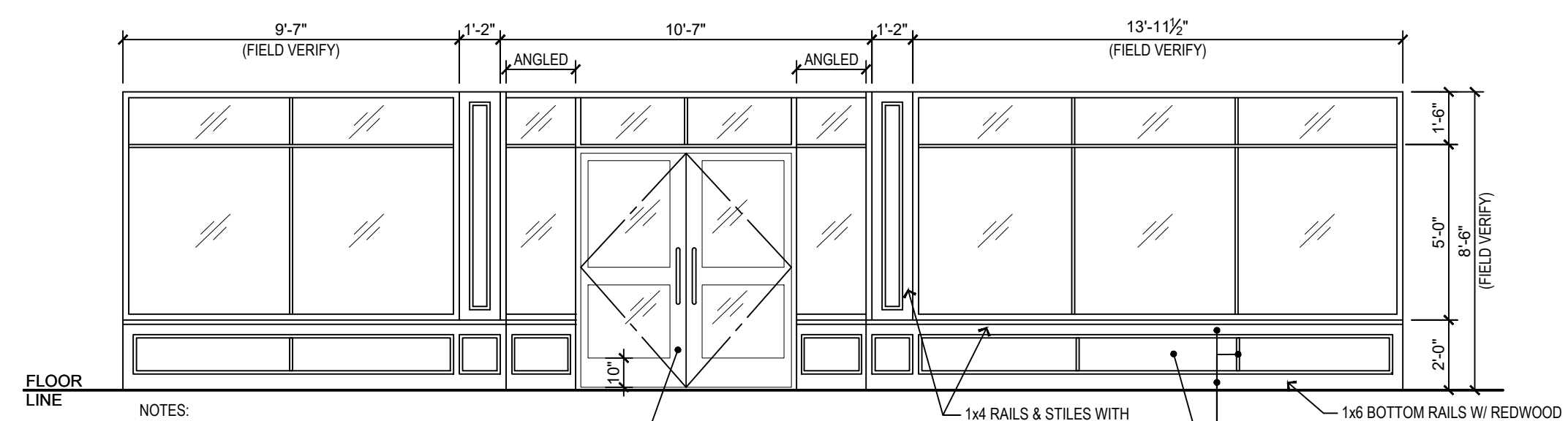
PART 2 - PRODUCT AND FABRICATION
 1. MATERIALS
 A. Heavy custom windows shall be manufactured from solid hot rolled steel shapes
 1. Combined weight of frame and ventilator sections shall be a minimum of 4.20 pounds per lineal foot. Frame section alone shall not weigh less than 1.80 pounds per lineal foot.
 B. Operable Hardware
 1. Awning, Hopper:
 a. Fastener: Brass or Bronze cam fastener.
 b. Ventilators shall be hung on heavy-duty stainless steel four bar hinges with brass friction shoes.
 2. Casement:
 a. Fastener: Brass or Bronze cam fastener
 b. Pivots: Aluminum-bronze pivot with stainless steel pin.
 c. Friction and limit device: Stainless steel with sliding brass shoe and screw adjusted friction.
 C. All screws that are furnished by Arcadia for hardware, trim, covers, anchoring, weather bars, water dams, screens, etc. shall be non-ferrous brass or stainless steel. Glazing bead retainer screws are plated steel.
 2. FABRICATION
 A. Fabricate steel windows in accordance with approved shop drawings.
 B. Prior to fabrication, all hot rolled steel sections shall be cleaned by shot blasting.
 C. Glazing
 1. All windows shall be designed for outside glazing.
 2. Provide replaceable continuous glazing beads to suit the glass as specified.
 D. Weatherstrip
 1. All ventilators shall receive continuous EPDM weatherstripping that shall be applied to the interior and exterior contact surfaces of the frame and ventilator sections.
 3. FACTORY FINISHING
 A. Pretreatment
 1. Pretreatment process to thoroughly clean and prepare the substrates for zinc coating.
 B. Paint Finish Topcoat
 1. Following the zinc primer coat(s), all windows and accessories are given a spray coat of acrylic polyurethane and oven baked at 225°F for 15 minutes to dry film thickness of 1.5-2.0 mils.

PART 3 - EXECUTION
 1. INSPECTION
 A. Window openings shall conform to details, dimensions and tolerances shown on the window manufacturer's approved shop drawings.
 2. INSTALLATION
 A. Install windows in openings in strict accordance with approved shop drawings.
 3. CLEANING
 A. Window installer shall leave window surfaces clean after installation and ready to receive glass and glazing. The window installer will not be responsible for final cleaning.

END OF SECTION



3 STOREFRONT SECTION DETAIL
 3\"/>

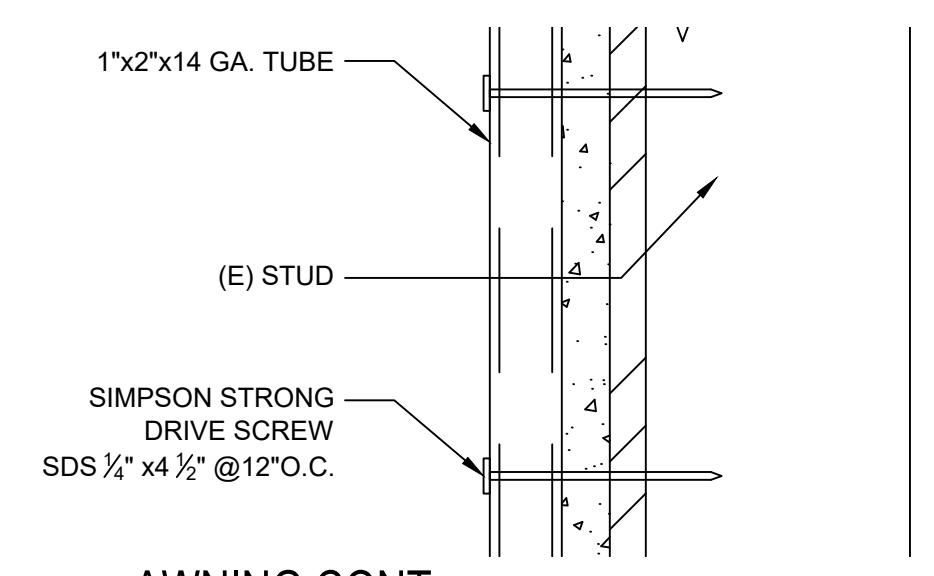


NOTES:
 1. STEEL STOREFRONT WINDOW SYSTEM SPECIFICATIONS:
 - MANUF. ARCADIA
 - INTEGRA SERIES MW-40 WITH OVERALL 3/4 CLEAR DUAL-PANE GLASS, HOT ROLLED STEEL WINDOWS
 - FRAME FINISH: POWDER COATINGS, COLOR PER EXTERIOR ELEVATION
 2. FIELD VERIFY OPENING SIZES
 3. PROVIDE STOREFRONT SHOP DRAWINGS TO ARCHITECT FOR REVIEW

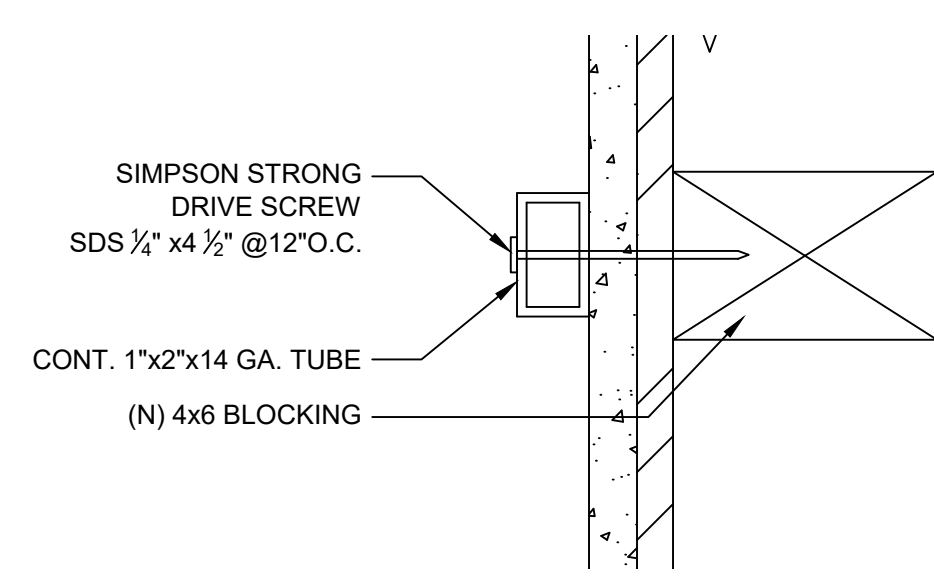
(N) RECESSED STEEL ENTRY DOOR WITH 3/4 CLEAR DUAL-PANE GLAZING. DOOR SIZE 6'-0\"/>

(N) BULKHEAD PANELS IN 1/2 PRESSURE TREATED PLYWOOD, TYP.

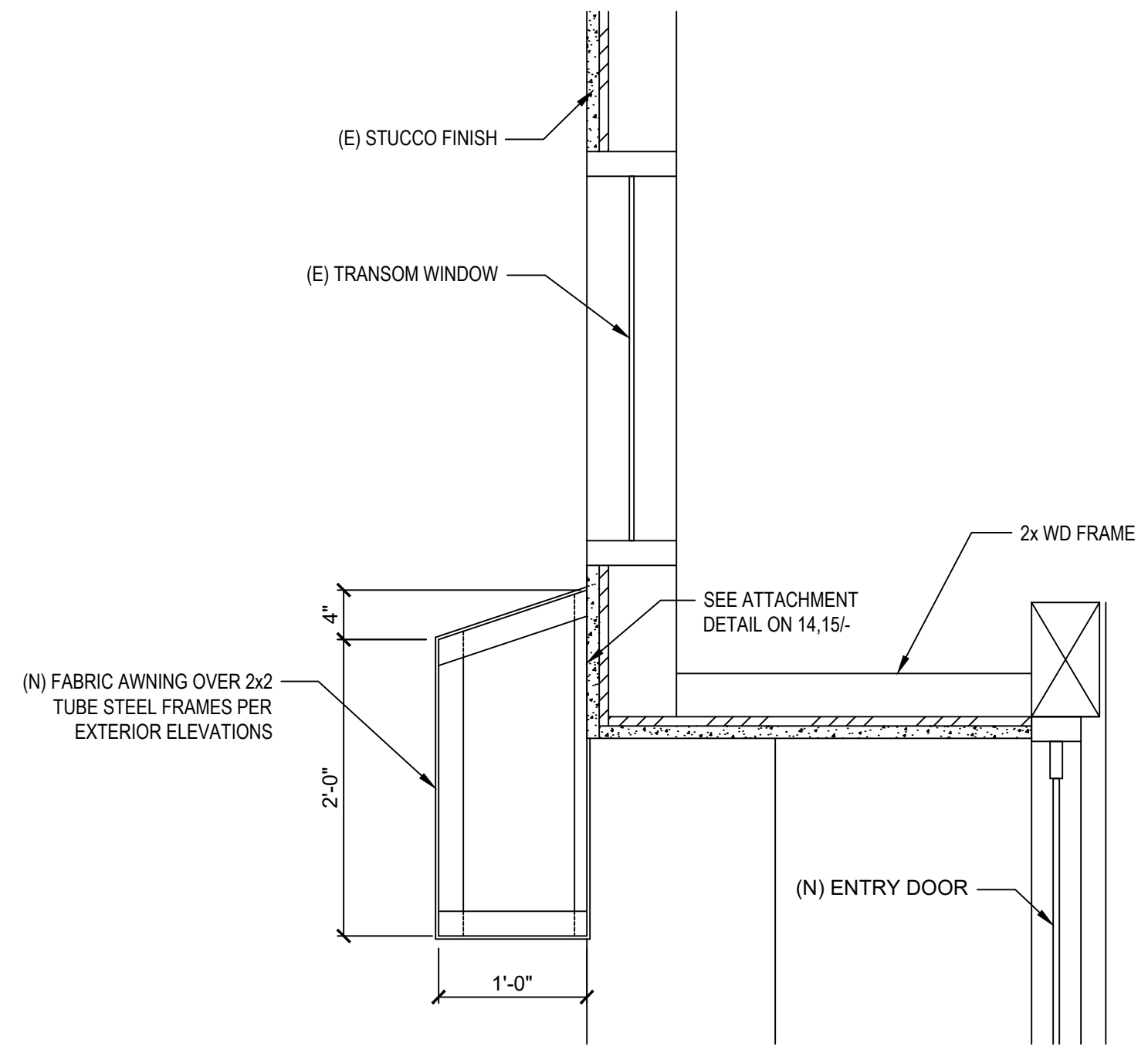
11 STOREFRONT
 1/4\"/>



14 AWNING CONT.
 3\"/>



15 AWNING CONT.
 3\"/>

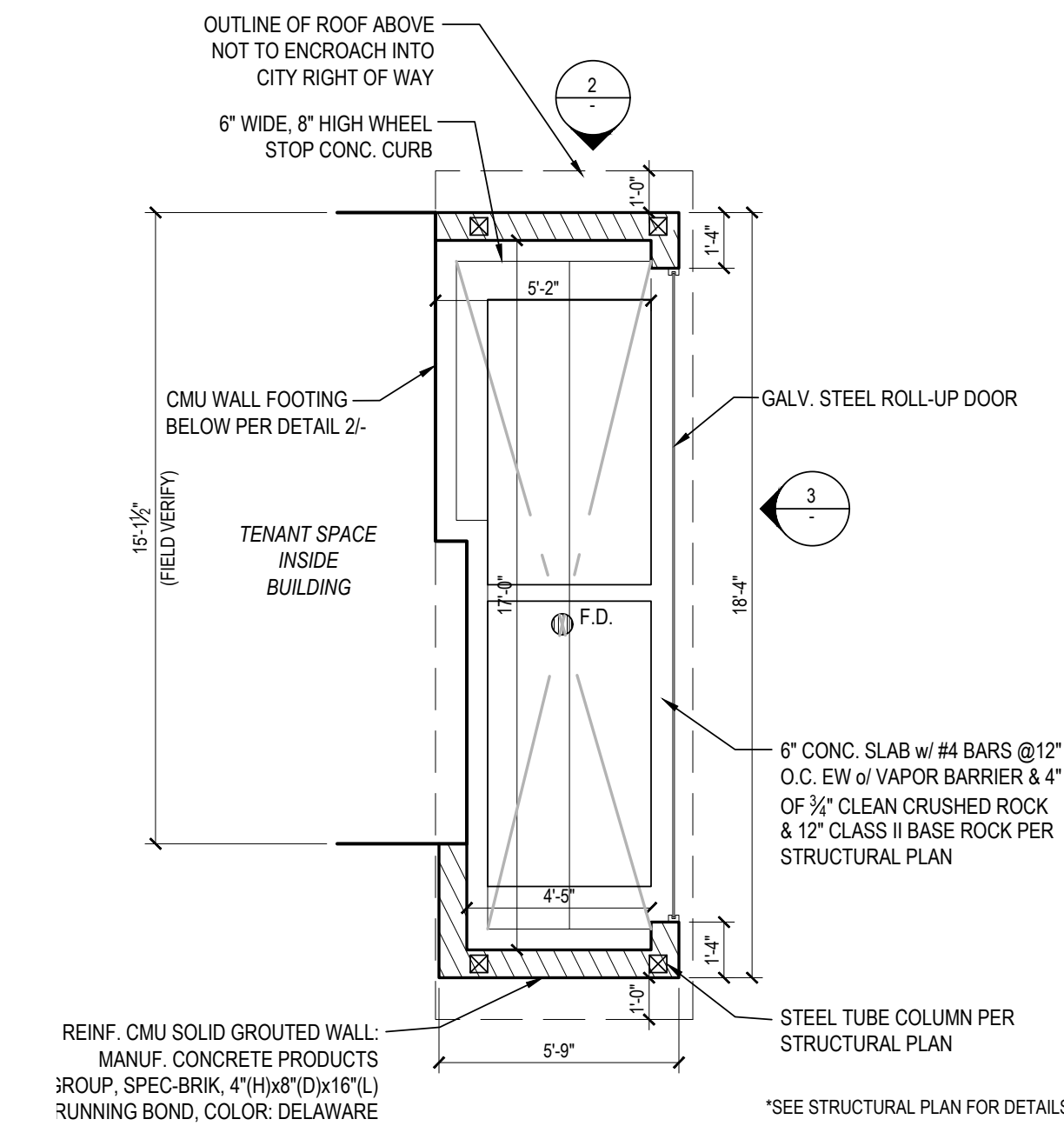


13 AWNING SECTION DETAIL (FIXED)
 1\"/>

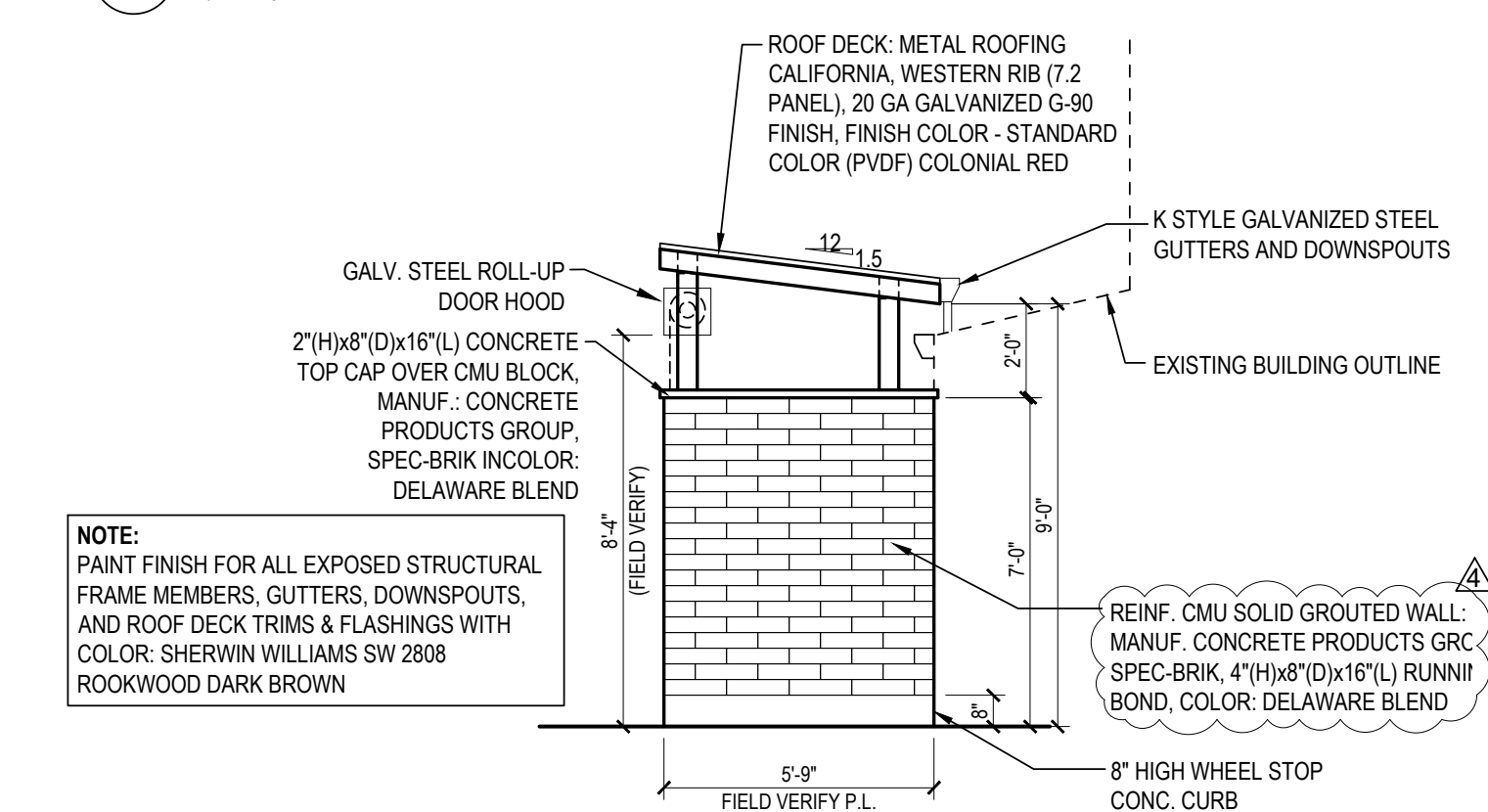
TRASH ENCLOSURE NOTES:

- A. OVERHEAD CLEARANCE FOR TRAVEL WAY MUST BE NO LESS THAN 15' FROM FINISHED GRADE TO STRUCTURAL APPURTENANCES (E.G., CAMERAS, SPRINKLERS, ELECTRICAL). OVERHEAD CLEARANCE IN COLLECTION AREA MUST BE NO LESS THAN 22'.
- B. INSTALL CURB CUT TO AT LEAST 8' WIDE AND CENTERED DIRECTLY IN FRONT OF THE TRASH ENCLOSURE DOORS.
- C. POST "NO PARKING" SIGNS ON ENCLOSURE DOORS.
- D. TRASH ENCLOSURE SHALL BE LABELED "TRASH" AND NOT USED FOR STORAGE.
- E. TALLOW/GREASE RECEPTACLES SHALL NOT BE STORED IN THE TRASH ENCLOSURE.
- F. THIS PROPERTY, AT A MINIMUM, SHALL HAVE TWICE PER WEEK TRASH AND COMPOST SERVICE. IF MORE SERVICE IS NEEDED DUE TO OVERFLOW, THE PROPERTY SHALL BE REQUIRED TO FURTHER INCREASE THE FREQUENCY.
- G. THE PROPERTY MUST PLACE RECYCLABLES IN THE TRASH AND HAVE HAULER PICK-UP AT AN INCREASED SERVICE FREQUENCY (AND ADDED COST). ANOTHER OPTION IS TO SELF-HAUL CARDBOARD AND BOTTLES/CANS TO THE FREE RECYCLING BINS IN THE CITY PARKING LOT AT CORNER OF FRANKLIN AND VILLA STREETS IN MOUNTAIN VIEW. RECOLOGY MOUNTAIN VIEW IS THE CITY'S EXCLUSIVE HAULER FOR RECYCLING AND DISPOSAL OF CONSTRUCTION AND DEMOLITION DEBRIS. FOR ALL DEBRIS BOXES, CONTACT RECOLOGY. USING ANOTHER HAULER MAY VIOLATE MOUNTAIN VIEW CODE SECTIONS 16.13 AND 16.17 AND RESULT IN CODE ENFORCEMENT ACTION. THE ROLL-UP DOOR SHALL HAVE KEYPAD ACCESS FOR THE HAULER'S DRIVER.

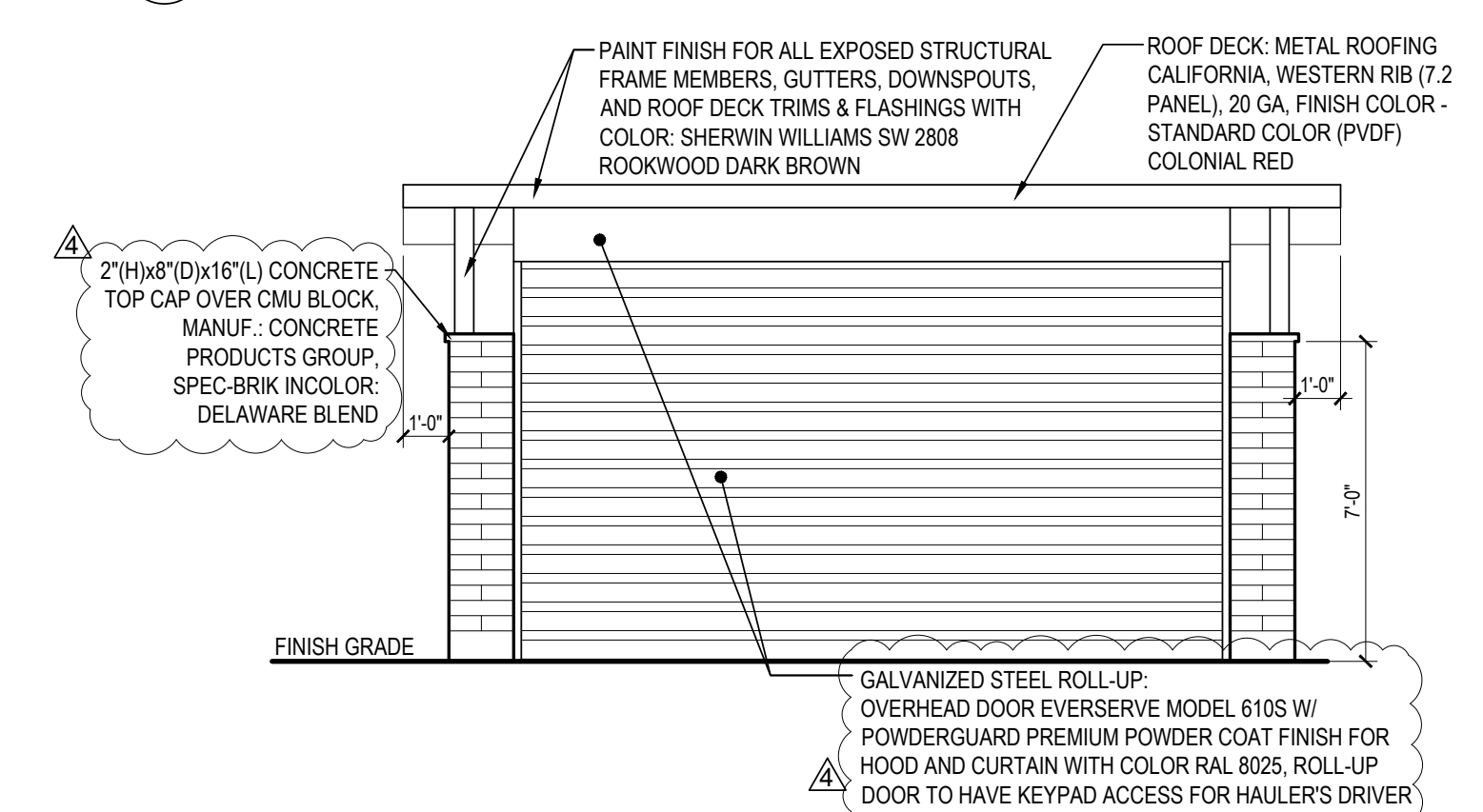
DKIM ARCHITECT
 Architecture
 Planning
 Interiors
 Tel. 408.642.5446
 Email: dkim@dkimarch.com
 1580 OAKLAND RD, SUITE C212,
 SAN JOSE, CA 95131



1 TRASH ENCLOSURE PLAN
 1/4" = 1'-0"
 *SEE STRUCTURAL PLAN FOR DETAILS



2 SIDE ELEVATION
 1/4" = 1'-0"



3 FRONT ELEVATION
 1/4" = 1'-0"

KITCHEN & U :DESSERT STORY RESTAURANT TENANT IMPROVEMENT
 PROJECT ADDRESS:
 171 & 175 CASTRO ST, MOUNTAIN VIEW, CA 94041
 APN #: 158-20-012



NO	DESCRIPTION	DATE
1	RESPONSE TO 1ST PUP REVIEW COMMENTS	10/20/2022
2	RESPONSE TO 3RD PUP REVIEW COMMENTS	01/27/2023
3	RESPONSE TO 4TH PUP REVIEW COMMENTS	09/25/2023

REVISION HISTORY - THIS SHEET

PROJECT NO: 3022-040
 SHEET TITLE
TRASH ENCLOSURE DETAILS

INITIAL PLAN SUBMISSION DATE:
 APRIL 26, 2022

CONSTRUCTION DOCUMENTS
 SHEET NO.

A6.3