

570 S. Rengstorff Avenue

Mountain View, CA

July 29, 2021



Project Team

Applicant:

Spieker Companies
C/O DeNardi Homes
 4962 El Camino Real, Suite 223
 Los Altos, CA 94022
 info@denardihomes.com

Contact: Kevin DeNardi
Albert Wang
 Business: 650.209.5440

Architect/Planner:

William Hezmalhalch Architects, Inc.
 5000 Executive Parkway, Suite 375
 San Ramon, CA 94583
 www.wharchitects.com

Contact: Robert Lee
 Business: 925.463.1700

Landscape Architect:

Jett Landscape Architecture + Design
 2 Theatre Square, Suite 218
 Orinda, CA 94563
 www.jett.land

Contact: Jesse Markman
 Business: 415.710.2114

Civil Engineer:

CBG
 2633 Camino Ramon #350
 San Ramon, CA 94583
 www.cbandg.com

Contact: Megan Alferness
 Business: 925.866.0322

Energy Consultant:

Builders' Energy Service, Inc.
 460 W. Edmundson Avenue
 Morgan Hill, CA 95037
 www.title24.com

Contact: Heather Clark
 Business: 844.437.7824 ext.1



Sheet Index

Project Summary and Ordinance Calculation.....	SP1.0
Proposed Development Program.....	SP1.1
Existing Condition Photographs.....	SP1.2
Context Map.....	SP1.3
Architectural Site Plan.....	SP1.4
Site Coverage Graphic Calculation.....	SP1.5
Solar Study.....	SP1.6
Solar Study.....	SP1.7
Solar Study.....	SP1.8

Architecture

Site Renderings.....	A0.0
Site Rendering - Main Entry.....	A0.1
Site Rendering - Intersection Rengstorff / Latham.....	A0.2
Site Rendering - Entry at Latham.....	A0.3
Site Rendering - Pool Area and Great Lawn.....	A0.4
Site Rendering - Latham Street View (with street trees).....	A0.5A
Site Rendering - Latham Street View (without street trees).....	A0.5B
Site Rendering - S. Rengstorff Street View (with street trees).....	A0.6A
Site Rendering - S. Rengstorff Street View (without street trees).....	A0.6B
Building A (6 Plex) Floor Plans & Roof Plan.....	A1.0
Building A (6 Plex) Exterior Elevations & Perspectives.....	A1.1
Building A (6 Plex) Exterior Elevations & Perspectives.....	A1.2
Building B (7 Plex) Floor Plans.....	A2.0
Building B (7 Plex) Floor Plans & Roof Plan.....	A2.1
Building B (7 Plex) Exterior Elevations & Perspectives.....	A2.2
Building B (7 Plex) Exterior Elevations & Perspectives.....	A2.3
Building C (8 Plex) Floor Plans.....	A3.0
Building C (8 Plex) Floor Plans & Roof Plan.....	A3.1
Building C (8 Plex) Exterior Elevations & Perspectives.....	A3.2
Building C (8 Plex) Exterior Elevations & Perspectives.....	A3.3
Building D (8 Plex) Floor Plans.....	A4.0
Building D (8 Plex) Floor Plans & Roof Plan.....	A4.1
Building D (8 Plex) Exterior Elevations & Perspectives.....	A4.2
Building D (8 Plex) Exterior Elevations & Perspectives.....	A4.3
Building E (8 Plex) Floor Plans.....	A5.0
Building E (8 Plex) Floor Plans & Roof Plan.....	A5.1
Building E (8 Plex) Exterior Elevations & Perspectives.....	A5.2

Building E (8 Plex) Exterior Elevations & Perspectives.....	A5.3
Building F (8 Plex) Floor Plans.....	A6.0
Building F (8 Plex) Floor Plans & Roof Plan.....	A6.1
Building F (8 Plex) Exterior Elevations & Perspectives.....	A6.2
Building F (8 Plex) Exterior Elevations & Perspectives.....	A6.3
Building G (10 Plex) Floor Plans.....	A7.0
Building G (10 Plex) Floor Plans & Roof Plan.....	A7.1
Building G (10 Plex) Exterior Elevations & Perspectives.....	A7.2
Building G (10 Plex) Exterior Elevations & Perspectives.....	A7.3
Building G (10 Plex) Exterior Elevations & Perspectives.....	A7.4
Building H (8 Plex) Floor Plans.....	A8.0
Building H (8 Plex) Floor Plans & Roof Plan.....	A8.1
Building H (8 Plex) Exterior Elevations & Perspectives.....	A8.2
Building H (8 Plex) Exterior Elevations & Perspectives.....	A8.3
Unit Plan 1.....	A9.0
Unit Plan 2.....	A9.1
Unit Plan 3.....	A9.2
Unit Plan 3X.....	A9.3
Unit Plan 3Y.....	A9.4
Unit Plan 3Z.....	A9.5
Unit Plan 3ZA.....	A9.6
Unit Plan 4.....	A9.7
Unit Plan 4B.....	A9.8
Unit Plan 4Y.....	A9.9
Unit Plan 5.....	A9.10
Unit Plan 5B.....	A9.11
Unit Plan 5C.....	A9.12
Unit Plan 6.....	A9.13
Unit Plan 6B.....	A9.14
Unit Plan 6X.....	A9.15
Unit Plan 7/7B.....	A9.16
Building Sections.....	A10.0
Building Sections.....	A10.1
Site Sections.....	A10.2
Site Sections.....	A10.3
Site Sections.....	A10.4
Pool Building.....	A10.5
Architectural Details.....	A11.0

Architectural Details.....	A11.1
Architectural Details.....	A11.2
Architectural Details.....	A11.3
Architectural Details.....	A11.4
Code Analysis.....	A11.5
Code Analysis.....	A11.6
Design Details Exhibit.....	A12.0
Lighting Exhibit.....	A12.1
Garage Bike and Storage Solutions.....	A12.2
Exterior Color & Materials.....	A12.3
Exterior Color & Materials.....	A12.4
Exterior Color & Materials.....	A12.5
Fire Ladder Diagrams.....	A12.6
Cal Green Building Checklist.....	A13.0
Cal Green Building Checklist.....	A13.1
Mountain View Green Building Checklist.....	A13.2
Green Building Checklist.....	A13.3

Landscape Architecture

Landscape Illustrative Site Plan.....	L1.00
North Paseo Enlargement.....	L1.01
Central Park Enlargement.....	L1.02
South Paseo Enlargement.....	L1.03
Unit Open Space Enlargement along Latham.....	L1.04
Unit Open Space Enlargement along S. Rengstorff.....	L1.05
Site Furnishings.....	L2.01
Site Details.....	L2.02
Site Details.....	L2.03
Site Light Fixtures.....	L2.04
Planting Plan - Overall Site.....	L3.00
Planting Plan - North Paseo Enlargement.....	L3.01
Planting Plan - Central Park.....	L3.02
Planting Plan - South Paseo.....	L3.03
Planting Plan - Unit Open Space Enlargement along Latham.....	L3.04
Planting Plan - Unit Open Space Enlargement along S. Rengstorff.....	L3.05
Planting Schedule & Notes.....	L3.06
Plant Images.....	L3.07
Plant Images.....	L3.08

Plant Images.....	L3.09
Plant Images.....	L3.10
Existing Tree Canopy Diagram.....	L3.11
Canopy Growth Diagram.....	L3.12
Mature Tree Canopy Diagram.....	L3.13
Proposed Tree Canopy & Tree Replacement Calculations.....	L3.14
Tree Removal Plan.....	L3.15
Preliminary Planting Details.....	L4.01
Irrigation Plan - North Paseo.....	L5.01
Irrigation Plan - Central Park.....	L5.02
Irrigation Plan - South Paseo.....	L5.03
Irrigation Plan - Unit Open Space along Latham.....	L5.04
Irrigation Plan - Unit Open Space Enlargement along S. Rengstorff.....	L5.05
Irrigation Plan - Irrigation Legend & Notes.....	L5.06
Irrigation Details.....	L5.07
Irrigation Details.....	L5.08
Irrigation Details.....	L5.09
Irrigation Schedule and Calculations.....	L5.10
Photometric Plan -1.....	L6.01
Photometric Plan -2.....	L6.02

Civil

Vesting Tentative Map for Condominium Purposes.....	TM.1
Boundary and Existing Conditions.....	C.1
Existing Tree Summary.....	C.1.1
Site Plan.....	C.2
Preliminary Utility Plan.....	C.3
Preliminary Grading and Drainage Plan.....	C.4
Preliminary Stormwater Management Plan.....	C.5
Preliminary Fire Service Plan.....	C.6
Preliminary Garbage Service Plan.....	C.7

Appendices

Riser Count Exhibit
Circulation Plan
Stormwater Management Plan

PROJECT SUMMARY		
APN #	148-36-033	
	148-36-035	
	148-36-036	
Existing Zoning	R-3.125	
General Plan	Mountain View Rowhouse Design Guidelines (2005)	
Gross/Net Site Area	± 4.07 AC	177,314 s.f.
# of Homes	Existing: 70 Unit Garden Apts	Proposed: 85 Homes
Density (Units per Gross Site Area)	20.9 Homes/AC	

BUILDING CODE	
REFERENCE	2019 California Code: CBC California Building, Fire, Electrical, Mechanical, Plumbing Codes, CAL Green, and Mountain View Green Building Code
OCCUPANCY	R3 Over U (Garages where Occurs)
FIRE SPRINKLER SYSTEM	NFPA 13D system Individual unit domestic water used for fire sprinklers
CONSTRUCTION TYPE	Type VB
ALLOWABLE # OF STORIES	3 Stories per Table 504.4; 40 ft (to mid-point of roof) per Table 504.3 (Max. building height dictated by zoning)
ALLOWABLE AREA PER STORY	Unlimited
ACCESSIBILITY	Per CBC Chapter 11A, 1102A.3.1 Multistory condominium dwellings in buildings with no elevator (10% of units)

DEVELOPMENT STANDARDS

	Required	Proposed	Comments
Setback			
Front (ft)	15' min.	15' min. for all 3 stories	Setback @ Latham and Rengstorff
Rear (ft)	10' min. for first 2 stories 15' min. for 3rd story	40' min. for all 3 stories	BLDG#1 to Alley A Edge (NE PL)
Side (ft)	10' min. for first 2 stories 15' min. for 3rd story	13' min. for first 2 stories 15' min. for 3rd story	BLDG#6 and #8 to NE PL
Building Height (ft)	45' max., 36' max. wall height	44' max., 35' max. wall height	
Building Separation			
Front to Front	20'	20' min. for all 3 stories	Between BLDG#2 and BLDG#3
Side to Side	15' min. for 3-story Building	17' min. for 1st story 15' min. for 2nd and 3rd story	Between BLDG#5 and BLDG#7; Between BLDG#10 and BLDG#11
Site Coverage			
Building Coverage (s.f. / %)	35% max.	62060 SF	61,971 35%
Auto-Dedicated Area (Paving) (s.f. / %)	30% max.	53194 SF	51,796 29%
Open Area (s.f. / %)	35% min.	62060 SF	63,547 36%
Driveway Aprons (ft)	4' max.		

VEHICLE PARKING SUMMARY

Required Parking			
	Total Units	Required Spaces/Du	Required Spaces
Garages	85	2	170
Guest Parking		0.3	25.5
Tandem Req. 1 Add'l Temp. Space for every 10 Tandem Parking Spaces			
52 Tandem Spaces			5.2
Total Required Parking Spaces			201
Provided Parking			
Garage Space (Standard)			118
Garage Space (Tandem)			52
Total Head-in (Standard) [1]			31
Handicapped Spaces [2]			2
EVCs			4
Head-in (Compact)			0
Total Provided Parking Spaces			201

Note:
 [1] Total head-in (standard) parking includes 2 handicapped spaces and 4 EVCs
 [2] 2 accessible spaces provided meet the required 5% of unassigned parking and comply with chapter 11A

UNIT SUMMARY														
Unit Type [1]	Unit Mix	# of Bedrooms	# of Bathroom	Garage	Unit Net Sq.Ft. [1]	Total Unit Net Sq.Ft.	Unit Gross Sq.Ft. [2]	Total Unit Gross Sq.Ft.	Private Open Space/Unit (s.f.)				Total Private Open Space (s.f.)	Private Storage per Unit (c.f.)
									Balcony	Porch	Patio [3]	Total per Unit		
Plan 1	4	2	2.5	2-Car Std	1,334	5,336	1,430	5,720	70	30		100	400	165
Plan 2	4	4	3.5	2-Car Std	1,833	7,332	1,962	7,848	54	51		105	420	167
Plan 3	10	3	2.5	2-Car Tandem	1,399	13,990	1,502	15,020		24	80	104	1,040	165
Plan 3X	11	3	2.5	2-Car Tandem	1,425	15,675	1,532	16,852		34	86	120	1,320	183
Plan 3Y	3	3	2.5	2-Car Tandem	1,421	4,263	1,528	4,584		28	79	107	321	183
Plan 3Z	1	3	2.5	2-Car Tandem	1,450	1,450	1,561	1,561	83	83		166	166	183
Plan 3ZA	1	3	2.5	2-Car Tandem	1,412	1,412	1,518	1,518		24	76	100	100	183
Plan 4	11	4	3.5	2-Car Std	1,637	18,007	1,753	19,283			112	112	1,232	179
Plan 4B	11	4	3.5	2-Car Std	1,611	17,721	1,728	19,008			109	109	1,199	179
Plan 4Y	4	4	3.5	2-Car Std	1,656	6,624	1,780	7,120			112	112	448	179
Plan 5	1	4	3.5	2-Car Std	1,624	1,624	1,732	1,732			200	200	200	164
Plan 5B	2	4	3.5	2-Car Std	1,609	3,218	1,722	3,444			220	220	440	164
Plan 5C	2	4	3.5	2-Car Std	1,609	3,218	1,722	3,444	100	93	128	321	642	164
Plan 6	7	2	2.5	2-Car Std	1,049	7,343	1,134	7,938			207	207	1,449	178
Plan 6B	5	2	2.5	2-Car Std	1,050	5,250	1,140	5,700			208	208	1,040	178
Plan 6X	2	2	2.5	2-Car Std	1,040	2,080	1,139	2,278			220	220	440	172
Plan 7/7B	6	2	2.5	2-Car Std	1,067	6,402	1,153	6,918			310	310	1,860	181
Total	85	266	-	-	-	120,945	-	129,968					12,717	-

Notes:
 [1] Net square footage calculates paint to paint
 [2] Gross square footage calculates to the exterior stud wall
 [3] Patio size varies, numbers indicate min. area

BUILDING COVERAGE			
Max. Lot Coverage Ratio Allowed		35%	
		62060 SF	
Building Type	QTY	Building Coverage per Building (s.f.)	Total Coverage (s.f.)
A - 6 PLEX	2	4,215	8,430
B - 7 PLEX	1	5,535	5,535
C - 8 PLEX	2	5,724	11,448
D - 8 PLEX	2	5,840	11,680
E - 8 PLEX	1	5,868	5,868
F - 8 PLEX	1	5,644	5,644
G - 10 PLEX	1	6,975	6,975
H - 8 PLEX	1	6,119	6,119
Sub-Total	11	-	61,699
Pool Restroom	1	272	272
Total Building Coverage Area Proposed		61,971 SF	
Building Coverage Ratio Proposed		35%	
FAR			
Max. Floor Area Allowed		1.05	
		186,180 SF	
Building Type	QTY	Floor Area per Building (s.f.)	Total Coverage (s.f.)
A - 6 PLEX	2	12,279	24,558
B - 7 PLEX	1	15,680	15,680
C - 8 PLEX	2	16,781	33,562
D - 8 PLEX	2	16,773	33,546
E - 8 PLEX	1	16,842	16,842
F - 8 PLEX	1	16,651	16,651
G - 10 PLEX	1	20,173	20,173
H - 8 PLEX	1	17,752	17,752
Sub-Total	11	-	178,764
Pool Restroom	1	272	272
Total Floor Area Proposed		179,036 SF	
FAR		1.01	

OPEN SPACE SUMMARY	
Private Open Space [1]	
Required	100 s.f./du
	8,500 s.f.
Provided	12,717 s.f.
	150 avg. s.f./du
Common Open Space [2]	
Required	100 s.f./du
	8,500 s.f.
Provided	28,471 s.f.
	335 avg. s.f./du

Note:
 [1] Uncovered patios are counted as open area and private open space.
 [2] Paved sidewalk is counted as open area and common open space when dimension greater than 20'. Per City of Mountain View Zoning Calculations Methods, Definitions, and Clarifications: 1. Paved sidewalk and patio areas are counted as landscaping. 3. open area, auto-dedicated paving area and building coverage, when added together, will account for 100 percent of the site area. 3.a. Total lot area; minus the area covered by buildings, accessory structures, other structures, garbage and refuse facilities, driveways and off-street parking. Per City of Mountain View Rowhouse Guidelines 7.3 Common Usable Open Space: Common open space is a subset of the landscaped open area requirement; buildings should define the edges of and face onto the central public open space.

Bike Parking Summary			
Per Mountain View Bicycle Transportation Plan (Nov. 17 2015)			
Required Parking			
	Total Units	Required Spaces/Du	Required Spaces
Resident Spots (Within Garage)	85	2	170
Guest Guest Spots		0.3	25.5
Tandem Req. 1 Add'l Temp. Space for every 10 Tandem Parking Spaces			
52 Tandem Spaces			5.2
Total Required Parking Spaces			201
Provided Parking			
Garage Space (Standard)			124
Garage Space (Tandem)			52
Head-in (Standard)			25
Head-in (Compact)			0
Total Provided Parking Spaces			201

Plan	Net Square Footage per Unit [1]				Gross Square Footage per Unit [2]				Garage SF	BR	BA	QTY	Unit Net SF	Unit Gross SF
	First	Second	Third	Total	First	Second	Third	Total					Total SF - Site	Total SF - Site
1	111	631	592	1,334	122	674	634	1,430	581	2	2.5	4	5,336	5,720
2	315	787	731	1,833	344	840	778	1,962	498	4	3.5	4	7,332	7,848
3	77	675	647	1,399	89	721	692	1,502	517	3	2.5	10	13,990	15,020
3X	90	683	652	1,425	103	729	700	1,532	517	3	2.5	11	15,675	16,852
3Y	86	683	652	1,421	99	729	700	1,528	517	3	2.5	3	4,263	4,584
3Z	115	683	652	1,450	132	729	700	1,561	517	3	2.5	1	1,450	1,561
3ZA	77	683	652	1,412	89	729	700	1,518	517	3	2.5	1	1,412	1,518
4	365	637	635	1,637	387	687	679	1,753	439	4	3.5	11	18,007	19,283
4B	365	621	625	1,611	387	669	672	1,728	439	4	3.5	11	17,721	19,008
4Y	365	647	644	1,656	387	700	693	1,780	439	4	3.5	4	6,624	7,120
5	254	704	666	1,624	273	748	711	1,732	487	4	3.5	1	1,624	1,732
5B	254	696	659	1,609	273	743	706	1,722	487	4	3.5	2	3,218	3,444
5C	254	696	659	1,609	273	743	706	1,722	487	4	3.5	2	3,218	3,444
6	89	468	492	1,049	102	505	527	1,134	472	2	2.5	7	7,343	7,938
6B	92	468	490	1,050	108	505	527	1,140	476	2	2.5	5	5,250	5,700
6X	85	468	487	1,040	107	505	527	1,139	486	2	2.5	2	2,080	2,278
7/7B	79	485	503	1,067	93	522	538	1,153	490	2	2.5	6	6,402	6,918
Total	-	-	-	-	-	-	-	-	-	-	-	85	120,945	129,968

Notes:

[1] Net square footage calculates paint to paint

[2] Gross square footage calculates to the exterior stud wall

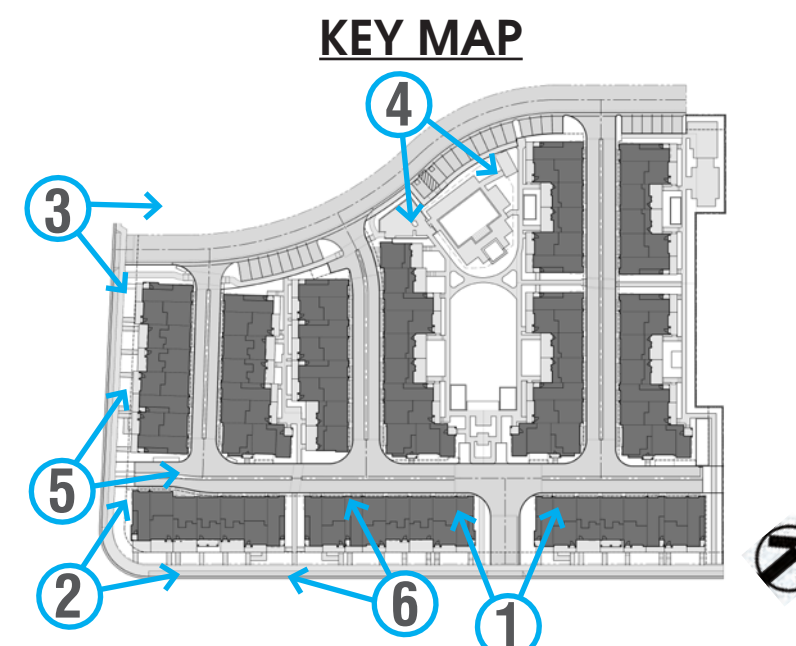
Building	QTY	Unit Mix by Building Type																	Floor Area (SF)			Floor Area per Building (SF)	Total Floor Area (SF)
		1	2	3	3X	3Y	3Z	3ZA	4	4B	4Y	5	5B	5C	6	6B	6X	7/7B	Sub-Total	1st floor	2nd floor		
A (6 plex)	2				2			1	1					1	1			6	4,044	4,126	4,109	12,279	24,558
B (7 plex)	1				1		1	1		1	1	1						7	5,195	5,251	5,234	15,680	15,680
C (8 plex)	2			1	1	1		1	1	1							2	8	5,520	5,639	5,622	16,781	33,562
D (8 plex)	2	1	1	1	1			1	1					1	1			8	5,525	5,644	5,604	16,773	33,546
E (8 plex)	1	1	1	1	1			1	1								2	8	5,542	5,670	5,630	16,842	16,842
F (8 plex)	1			2	1			1	2					1		1		8	5,498	5,587	5,566	16,651	16,651
G (10 plex)	1	1	1	2				1	1					2	1	1		10	6,631	6,802	6,740	20,173	20,173
H (8 plex)	1			1		1		1	1	1			1	1				8	5,850	5,954	5,948	17,752	17,752
Sub-Total	11	4	4	10	11	3	1	1	11	11	4	1	2	2	7	5	2	85	-	-	-	-	178,764
Pool Restroom	1																		272			272	272
Total Floor Area Proposed																			-	-	-	-	179,036





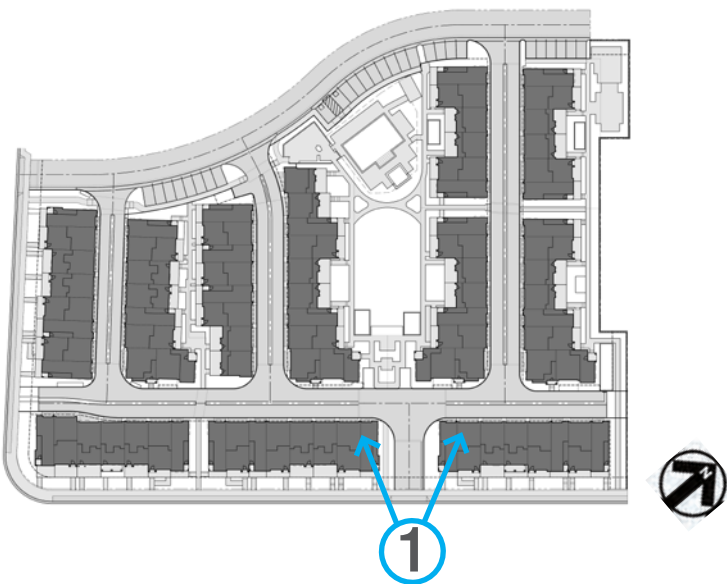
LEGEND

- AU ADA Unit
- H Handicapped Parking
- EVC Electric Vehicle Charging
- ☐ Transformer (underground)



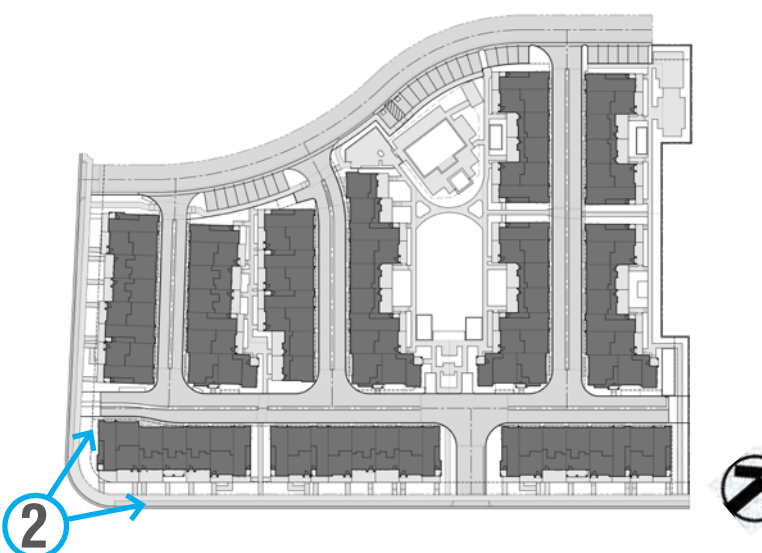


KEY MAP



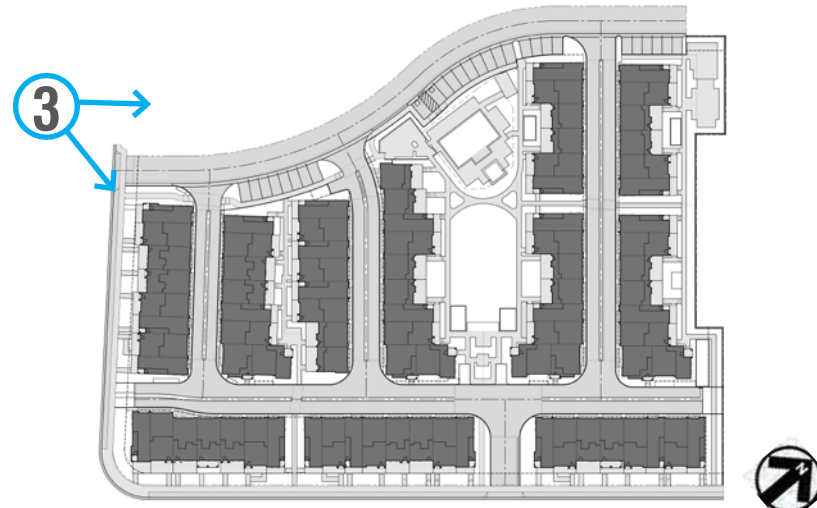


KEY MAP





KEY MAP



**Spieker
Companies**



ARCHITECTS • PLANNERS • DESIGNERS
WHA.
ORANGE COUNTY • LOS ANGELES • BAY AREA

cbg CARLSON,
BARBEE &
GIBSON, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

JETT
Landscape Architecture + Design

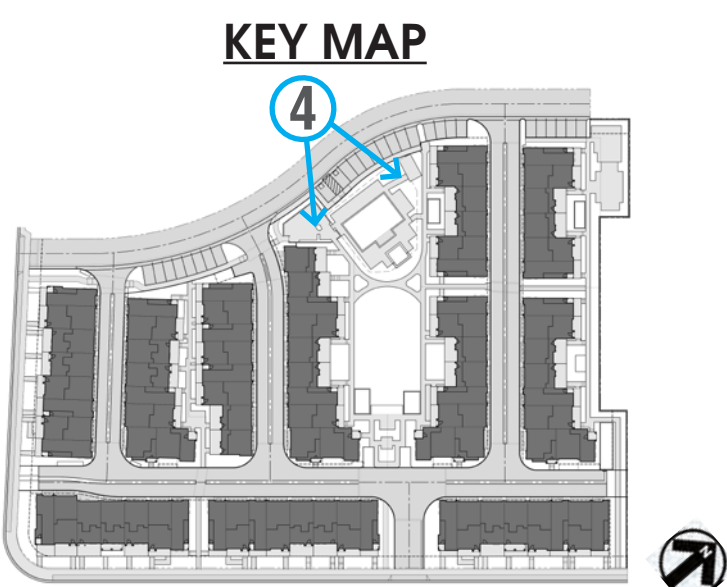
Builders' Energy Service, Inc.
Making a Difference in Energy Design Since 1996

570 S. RENGSTORFF AVENUE
Mountain View, CA

SITE RENDERING -
ENTRY AT LATHAM

July 29, 2021

A0.3



**Spieker
Companies**



ARCHITECTS • PLANNERS • DESIGNERS
WHA
ORANGE COUNTY • LOS ANGELES • BAY AREA

cbg CARLSON,
BARBEE &
GIBSON, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

JETT
Landscape Architecture + Design

Builders' Energy Service, Inc.
Making a Difference in Energy Design Since 1996

570 S. RENGSTORFF AVENUE
Mountain View, CA

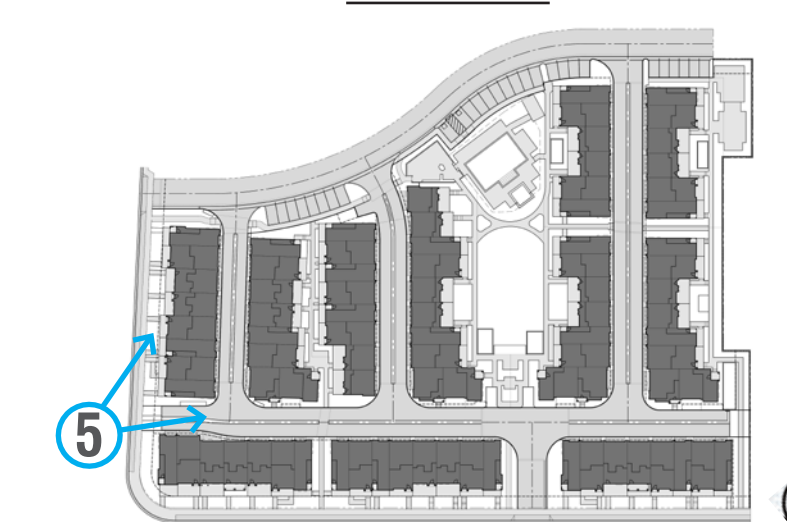
SITE RENDERING -
POOL AREA AND GREAT
LAWN

July 29, 2021

A0.4



KEY MAP



**Spieker
Companies**



ARCHITECTS • PLANNERS • DESIGNERS
WHA.
ORANGE COUNTY • LOS ANGELES • BAY AREA

cbg CARLSON,
BARBEE &
GIBSON, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

JETT
Landscape Architecture + Design

Builders' Energy Service, Inc.
Making a Difference in Energy Design Since 1996

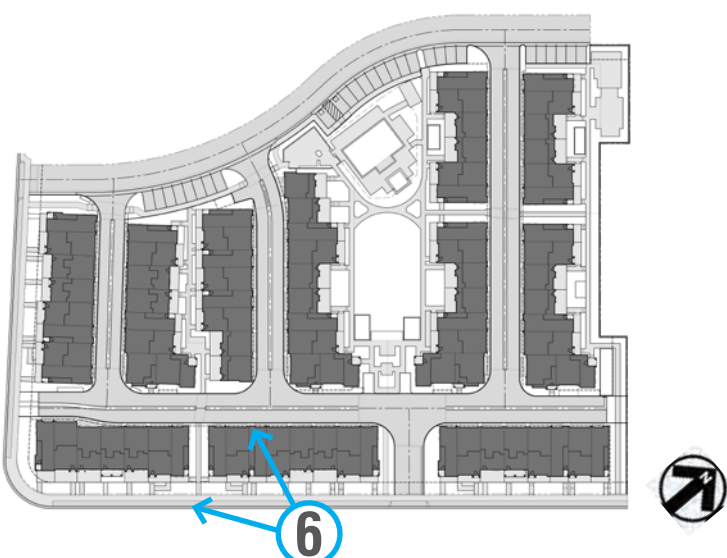
570 S. RENGSTORFF AVENUE
Mountain View, CA

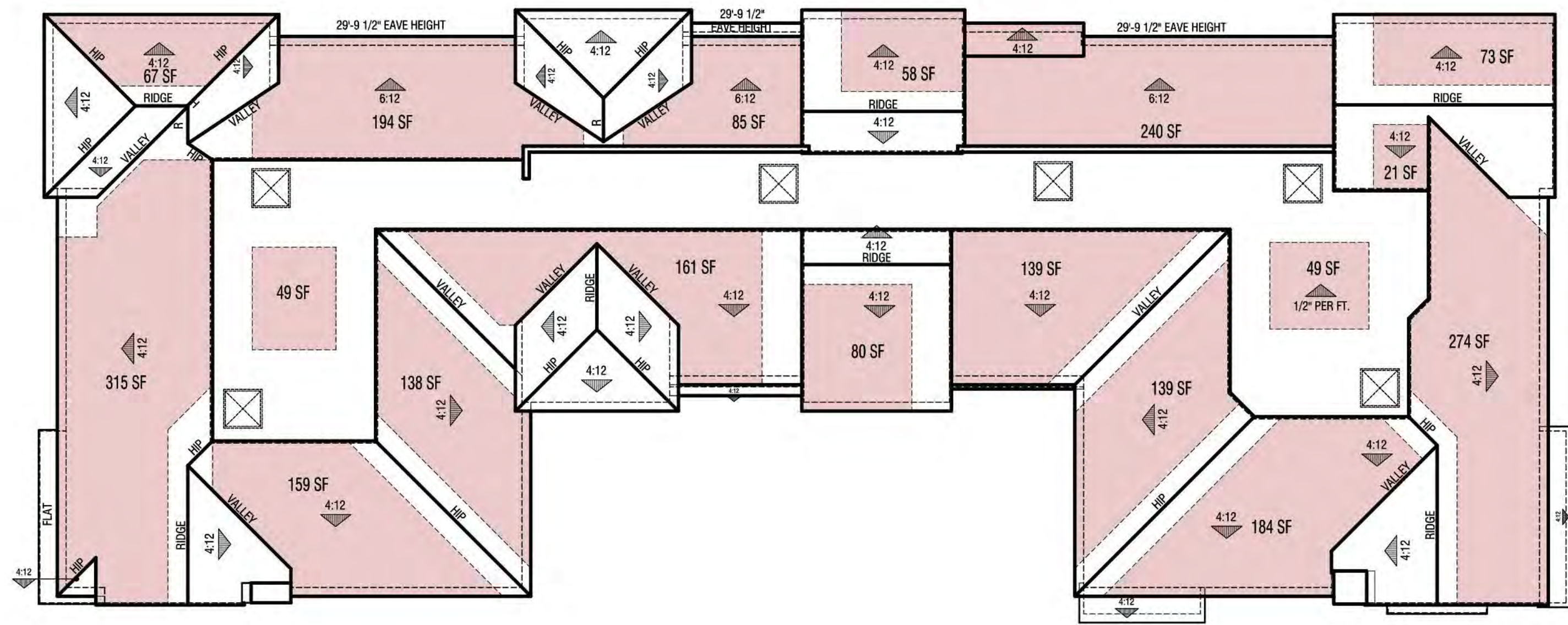
SITE RENDERING -
LATHAM STREET VIEW
(WITHOUT STREET TREES)

A0.5B
July 29, 2021



KEY MAP





Note: All AC units located 12" from a parapet wall or mansard roof

Roof area: 4,420 SF
 PV area: 2,391 SF
 54.10% Coverage
 Solar Zone

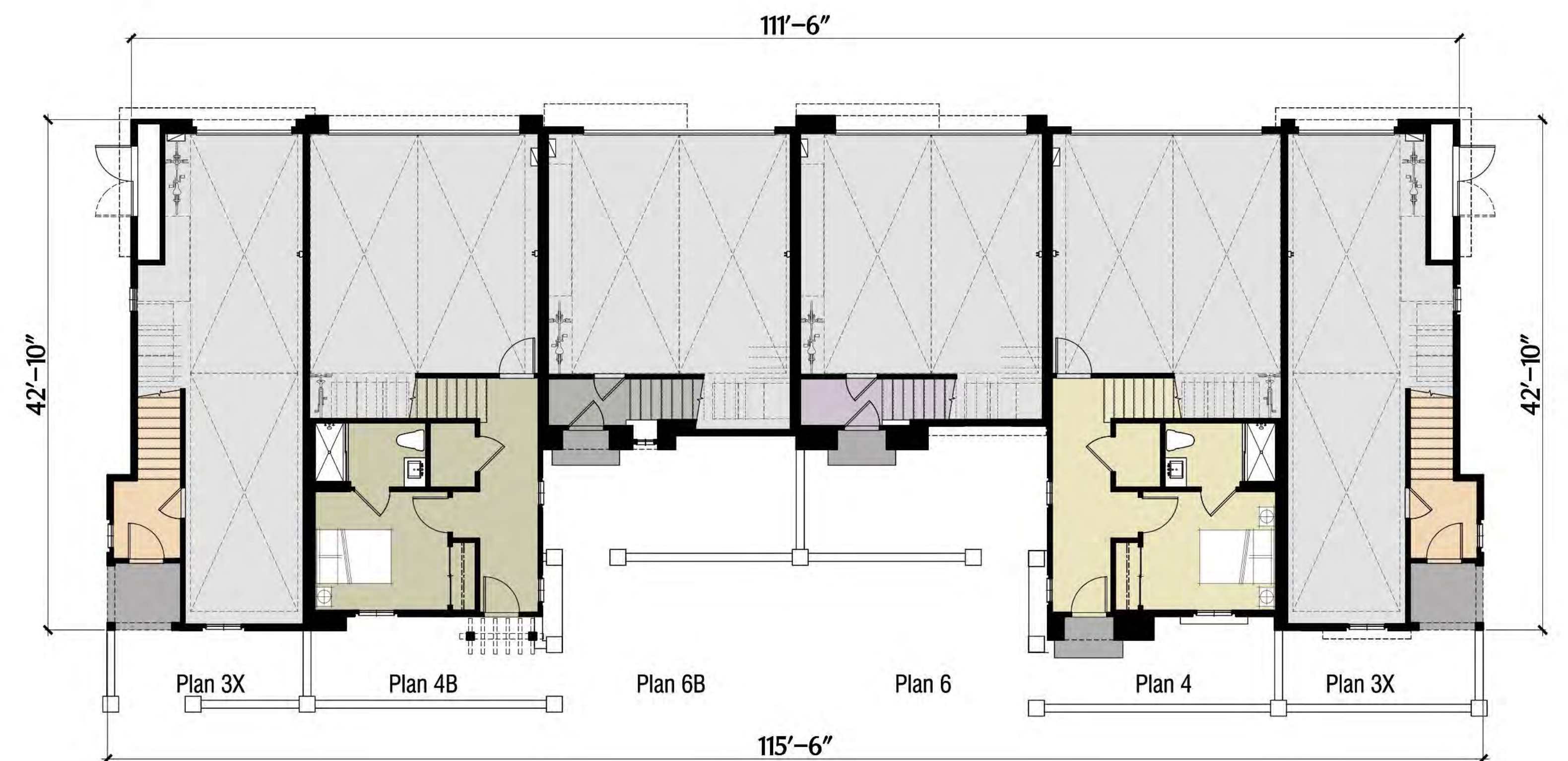
Roof Plan



Second Floor



Third Floor

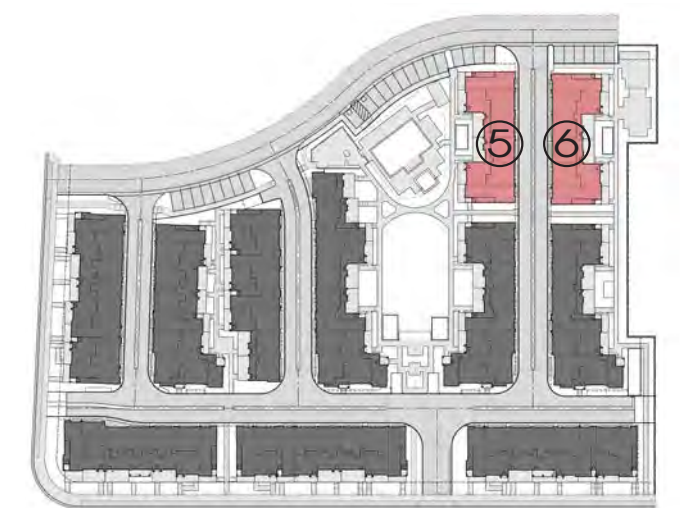


First Floor

PLAN SUMMARY

Type	Net Area	Type	Net Area	Type	Net Area
Plan 1	1,334 sf	Plan 3ZA	1,412 sf	Plan 5C	1,609 sf
Plan 2	1,833 sf	Plan 4	1,637 sf	Plan 6	1,049 sf
Plan 3	1,399 sf	Plan 4B	1,611 sf	Plan 6B	1,050 sf
Plan 3X	1,425 sf	Plan 4Y	1,656 sf	Plan 6X	1,040 sf
Plan 3Y	1,421 sf	Plan 5	1,626 sf	Plan 7	1,067 sf
Plan 3Z	1,450 sf	Plan 5B	1,609 sf	Plan 7B	1,067 sf
				Patio/Deck	-
				Garage	-

KEY MAP



BUILDING A (6-PLEX): BUILDINGS 5 & 6



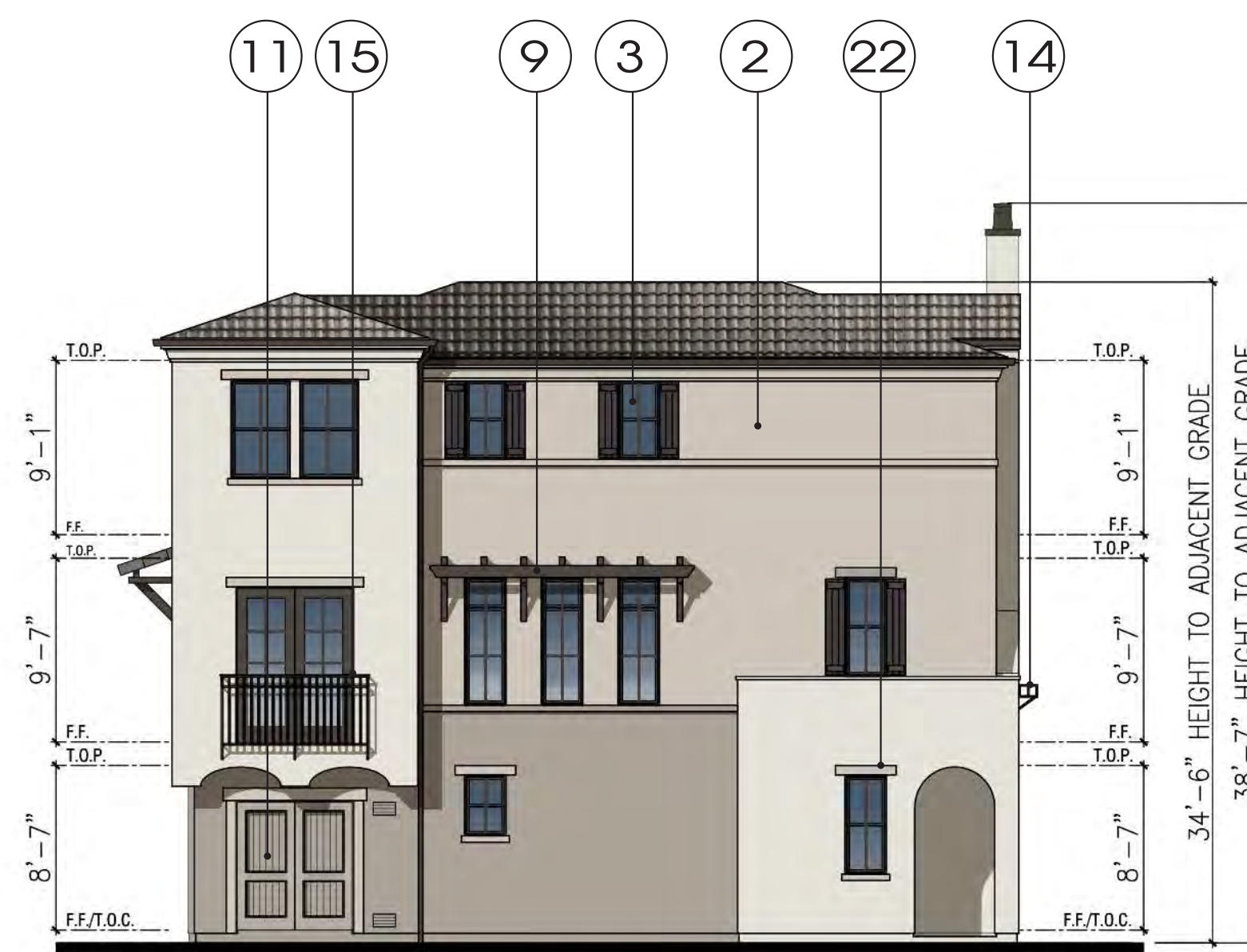
Perspective Rendering - Left Elevation



Perspective Rendering - Front Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



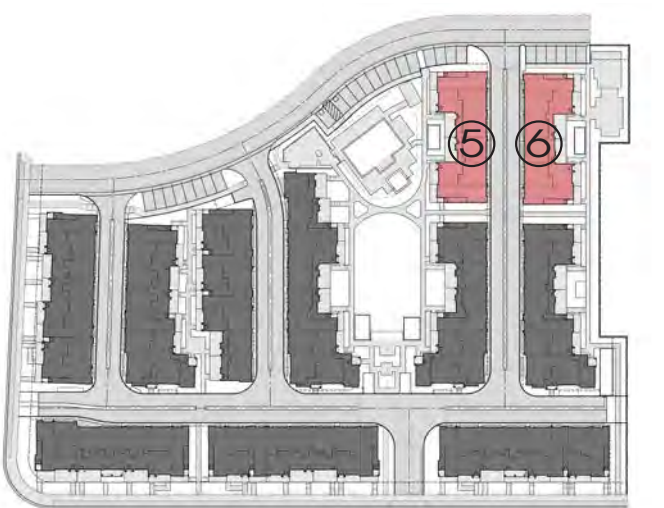
Plan 3X
Color Scheme #3
Left Elevation
Building 5: Northwest Elevation
Building 6: Southeast Elevation



Plan 3X
Color Scheme #3
Plan 4B
Color Scheme #2
Plan 6B
Color Scheme #5
Plan 6
Color Scheme #4
Plan 4
Color Scheme #2
Plan 3X
Color Scheme #3
Front Elevation
Building 5: Southwest Elevation
Building 6: Northeast Elevation

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4

KEY MAP



BUILDING A (6-PLEX): BUILDINGS 5 & 6



Perspective Rendering - Right Elevation



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



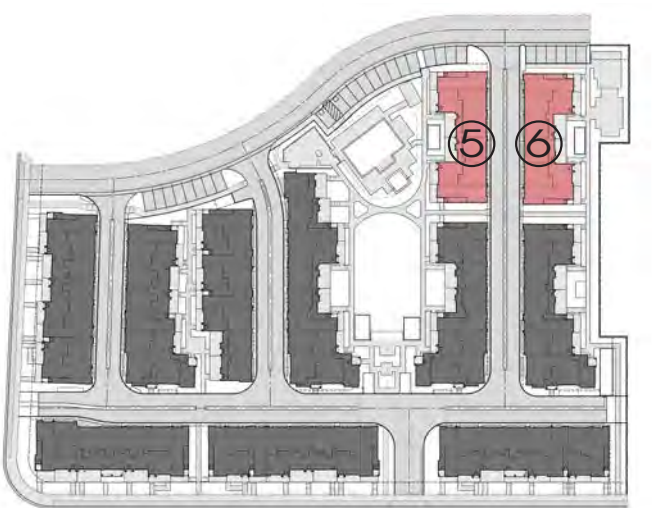
Plan 3X
Color Scheme #3
Right Elevation
Building 5: Southeast Elevation
Building 6: Northwest Elevation



Plan 3X
Color Scheme #3
Plan 4
Color Scheme #2
Plan 6
Color Scheme #4
Plan 6B
Color Scheme #5
Plan 4B
Color Scheme #2
Plan 3X
Color Scheme #3
Rear Elevation
Building 5: Northeast Elevation
Building 6: Southwest Elevation

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4

KEY MAP



BUILDING A (6-PLEX): BUILDINGS 5 & 6



Second Floor

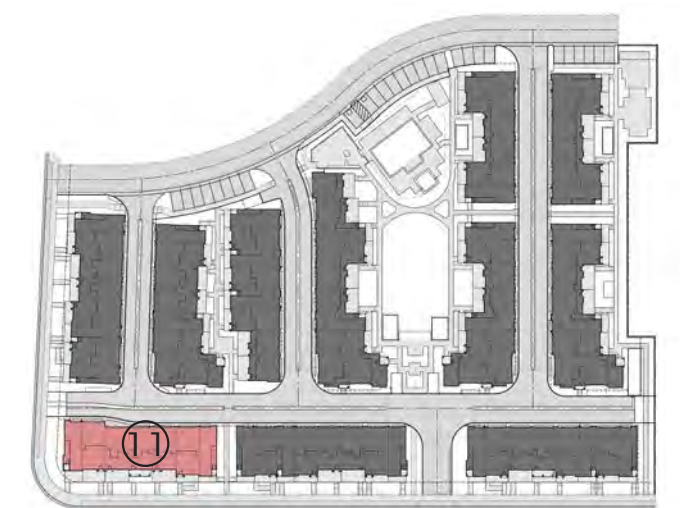


First Floor

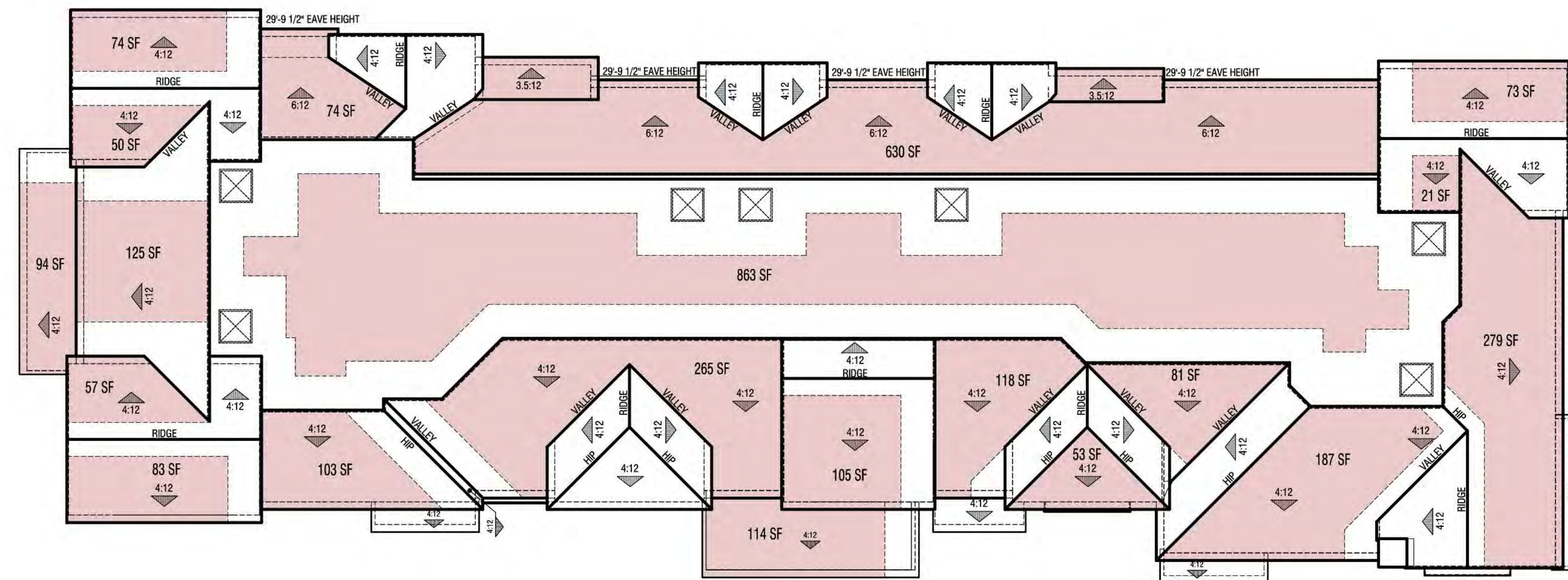
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING B (7-PLEX): BUILDING 11



Note: All AC units located 12" from a parapet wall or mansard roof

Roof area: 5,752 SF
 PV area: 3,483 SF
 60.55% Coverage
 Solar Zone

Roof Plan

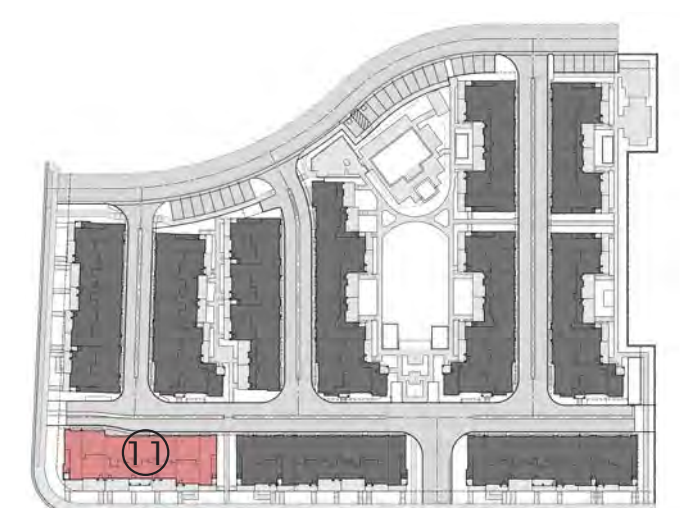


Third Floor

PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING B (7-PLEX); BUILDING 11



Perspective Rendering - Left Elevation



Perspective Rendering - Front Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

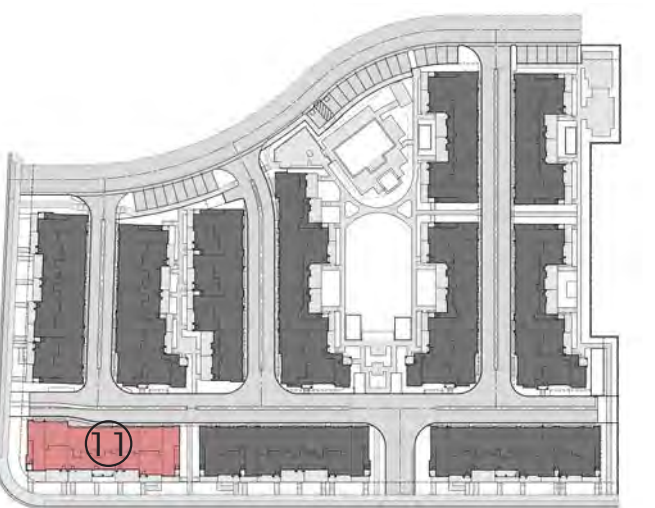


Plan 3Y
Color Scheme #5
Left Elevation
Building 11: Southwest Elevation



Plan 3Y Color Scheme #5
Plan 4Y Color Scheme #1
Plan 5B Color Scheme #3
Plan 5C Color Scheme #4
Plan 5 Color Scheme #3
Plan 4 Color Scheme #5
Plan 3X Color Scheme #2
Front Elevation
Building 11: Southeast Elevation

KEY MAP



BUILDING B (7-PLEX): BUILDING 11

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



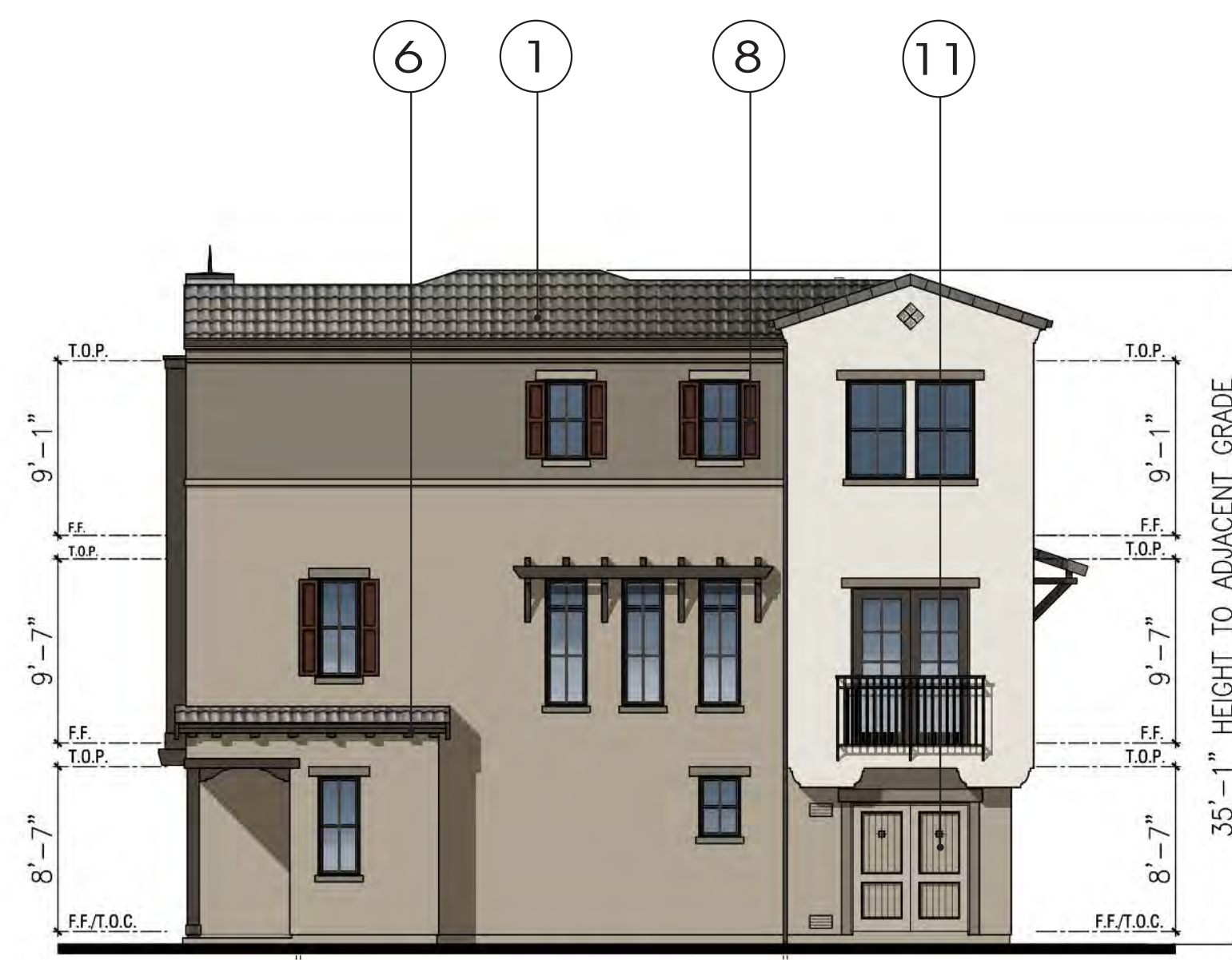
Perspective Rendering - Right Elevation



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

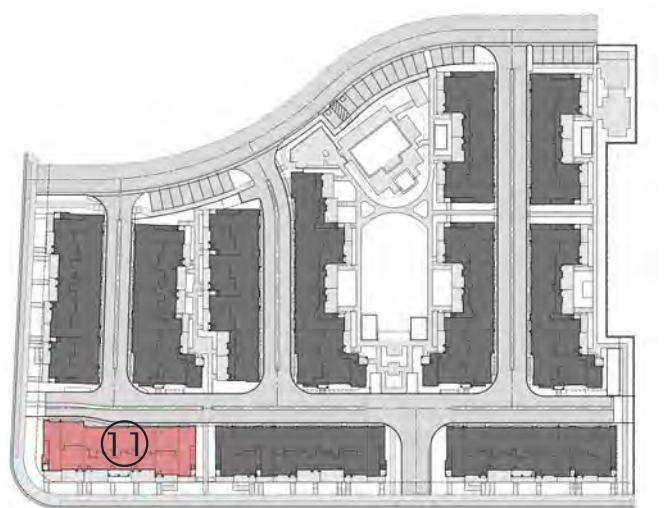


Plan 3X
Color Scheme #2
Right Elevation
Building 11: Northeast Elevation



Plan 3X
Color Scheme #2 Plan 4
Color Scheme #5 Plan 5
Color Scheme #3 Plan 5C
Color Scheme #4 Plan 5B
Color Scheme #3 Plan 4Y
Color Scheme #1 Plan 3Y
Color Scheme #5
Rear Elevation
Building 11: Northwest Elevation

KEY MAP

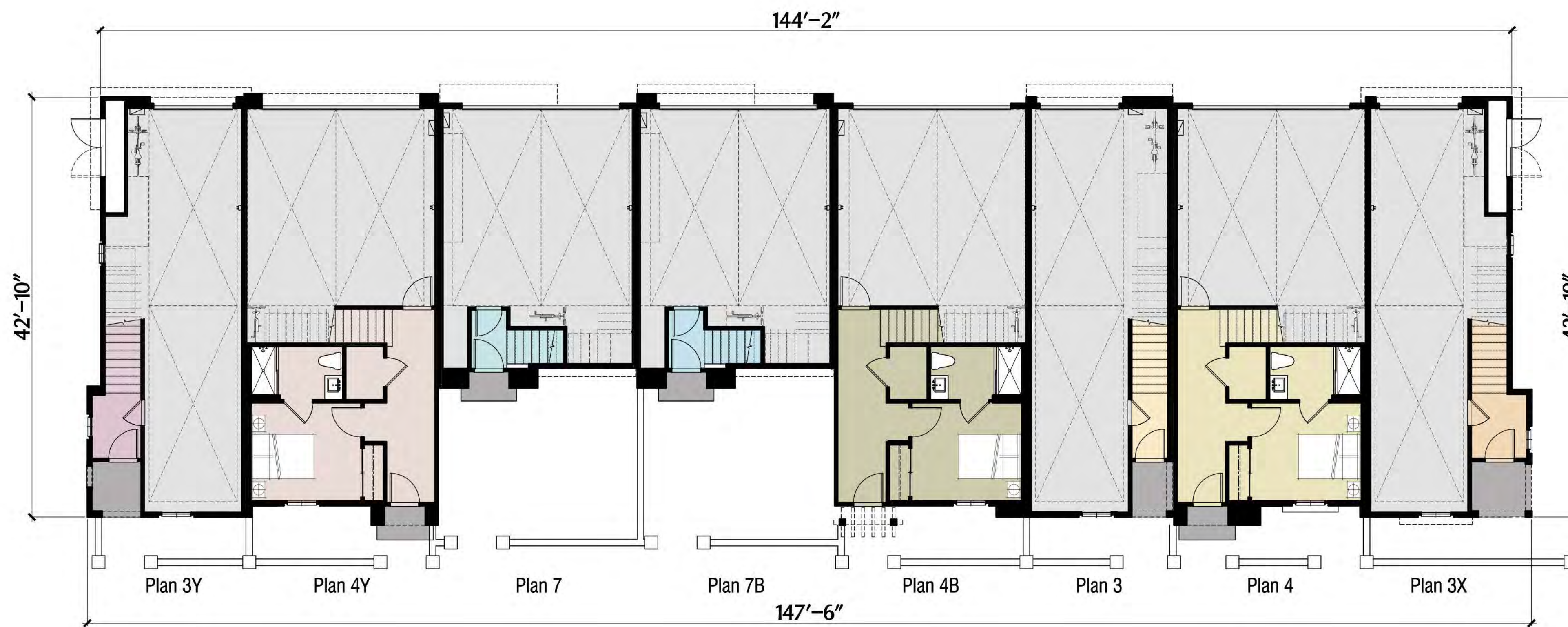


BUILDING B (7-PLEX): BUILDING 11

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



Second Floor

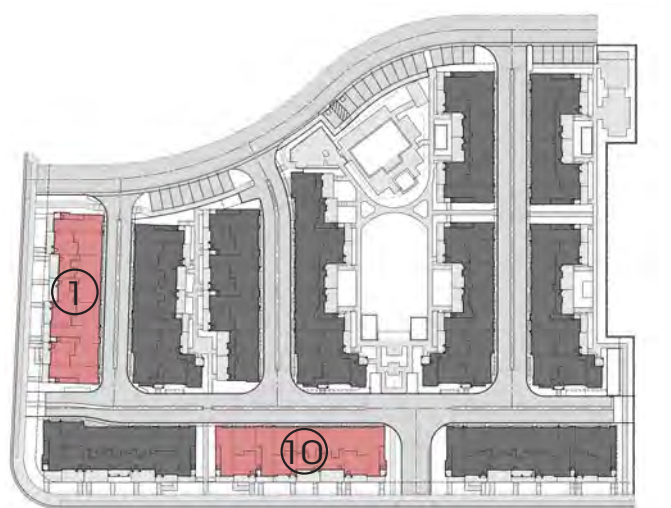


First Floor

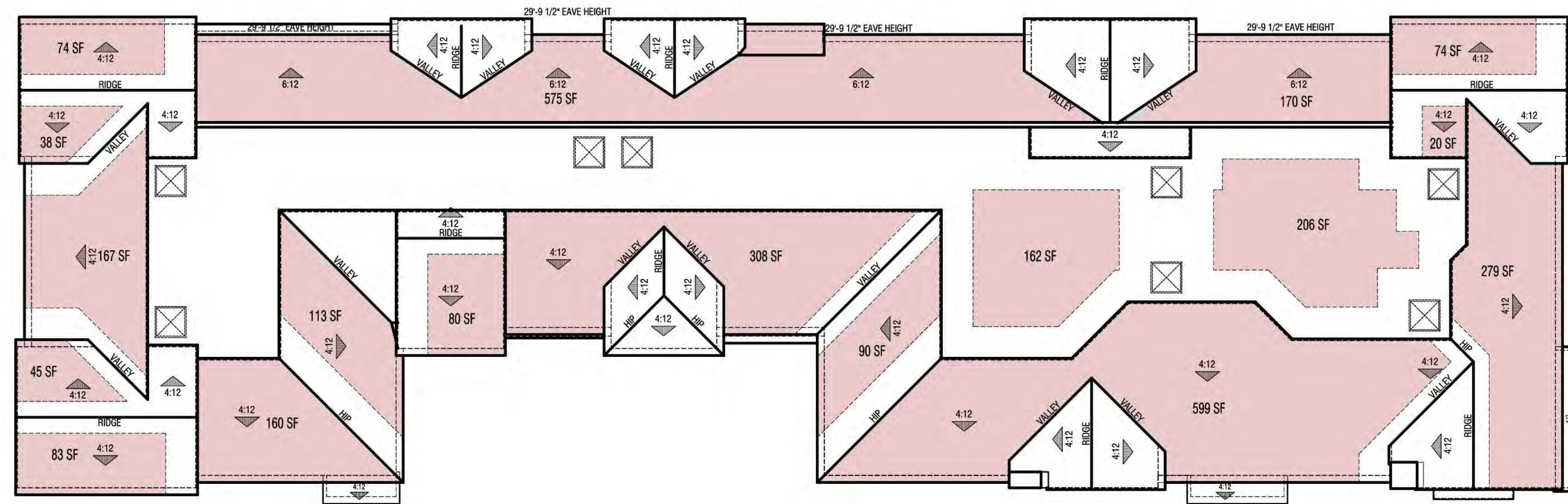
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING C (8-PLEX): BUILDINGS 1 & 10



Note: All AC units located 12" from a parapet wall or mansard roof

Roof area: 5,942 SF
 PV area: 3,233 SF
 54.41% Coverage
 Solar Zone

Roof Plan

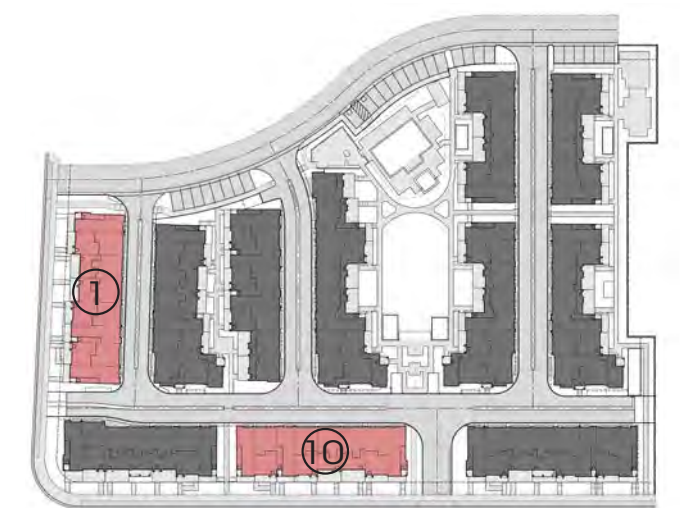
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-



Third Floor

KEY MAP



BUILDING C (8-PLEX): BUILDINGS 1 & 10



Perspective Rendering - Left Elevation



Perspective Rendering - Front Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



Plan 3Y
Color Scheme #4

Left Elevation

Building 1: Northwest Elevation
Building 10: Northeast Elevation



Plan 3Y
Color Scheme #4

Plan 4Y
Color Scheme #2

Plan 7
Color Scheme #1

Plan 7B
Color Scheme #3

Plan 4B
Color Scheme #5

Plan 3
Color Scheme #3

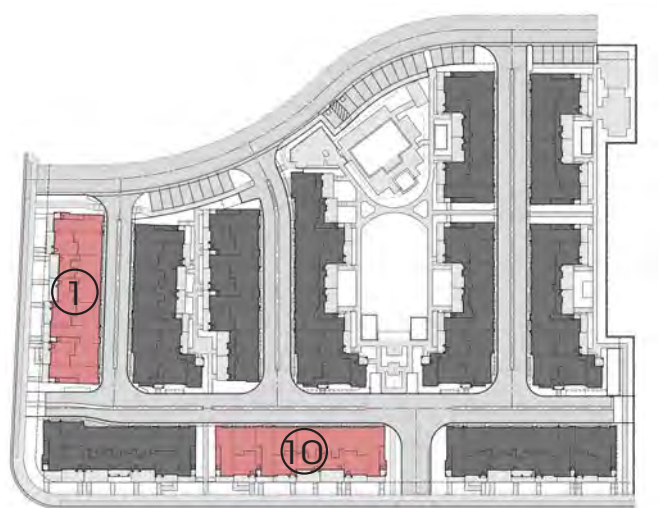
Plan 4
Color Scheme #4

Plan 3X
Color Scheme #2

Front Elevation

Building 1: Southwest Elevation
Building 10: Southeast Elevation

KEY MAP



BUILDING C (8-PLEX): BUILDINGS 1 & 10

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



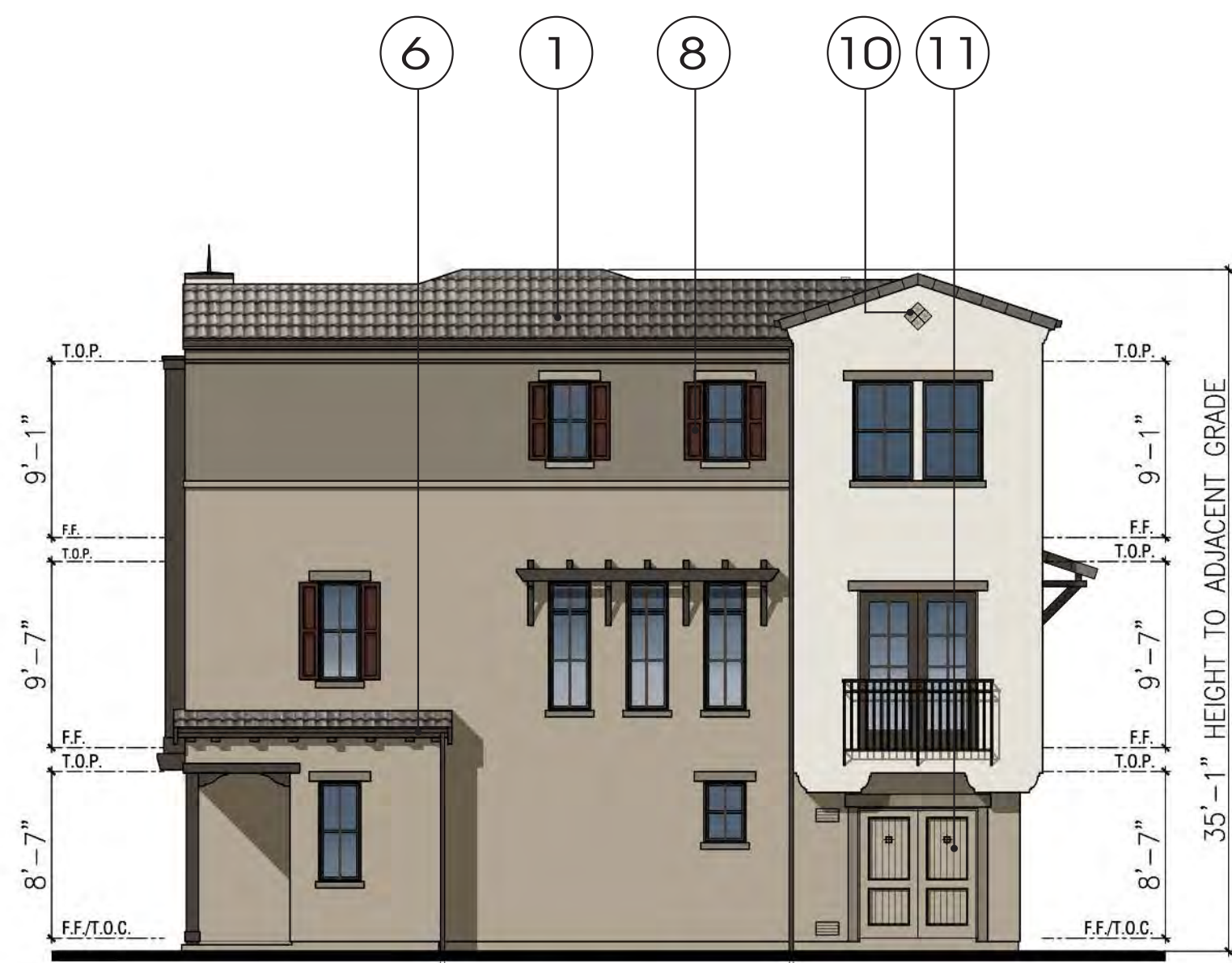
Perspective Rendering - Right Elevation



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



Plan 3X
Color Scheme #2

Right Elevation

Building 1: Southeast Elevation
Building 10: Southwest Elevation



Plan 3X
Color Scheme #2

Plan 4
Color Scheme #4

Plan 3
Color Scheme #3

Plan 4B
Color Scheme #5

Plan 7B
Color Scheme #3

Plan 7
Color Scheme #1

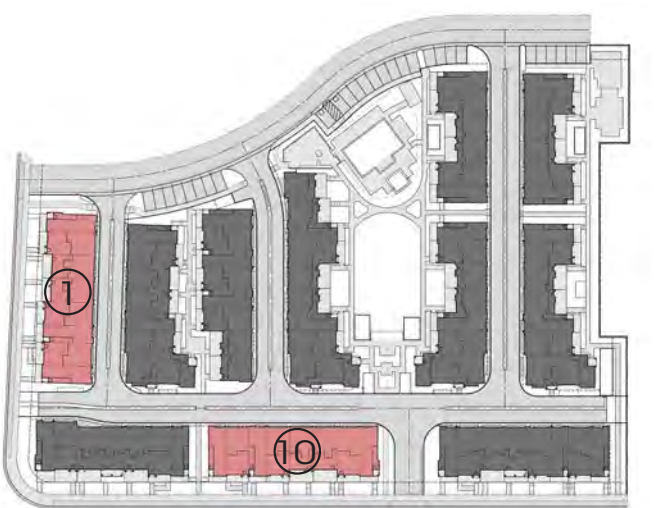
Plan 4Y
Color Scheme #2

Plan 3Y
Color Scheme #4

Rear Elevation

Building 1: Northeast Elevation
Building 10: Northwest Elevation

KEY MAP



BUILDING C (8-PLEX): BUILDINGS 1 & 10

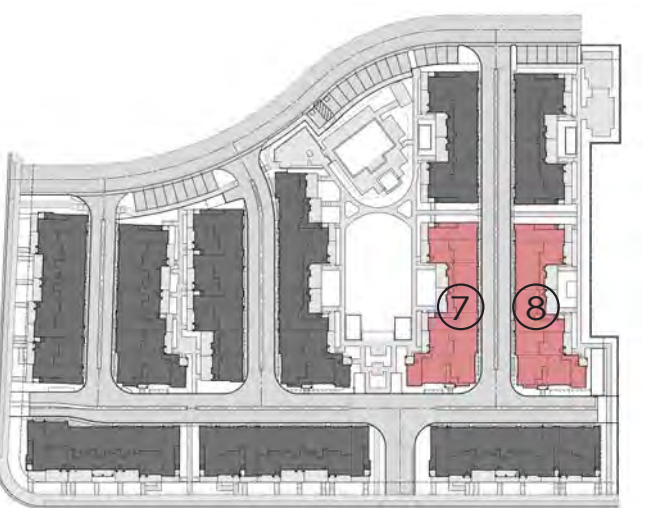
Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



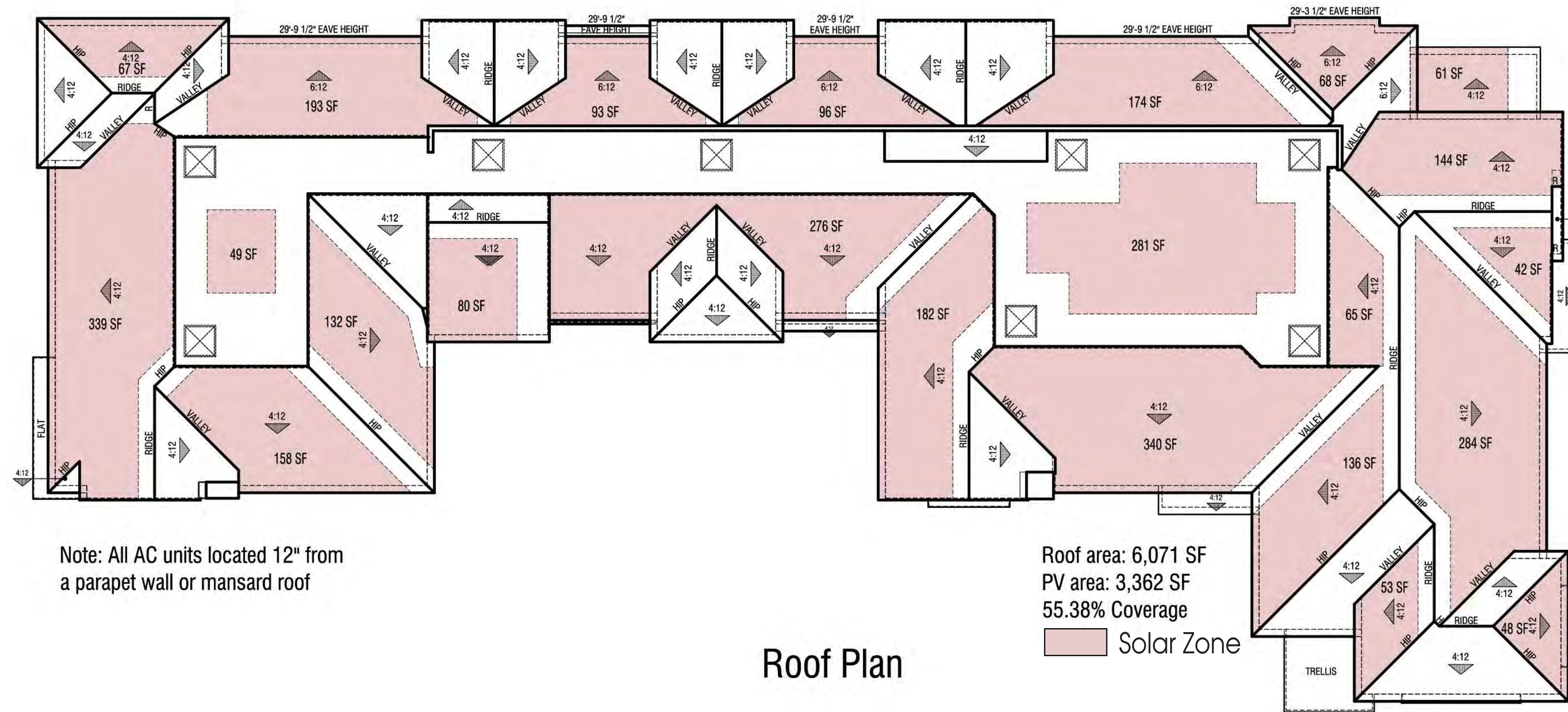
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING D (8-PLEX): BUILDINGS 7 & 8



Roof Plan

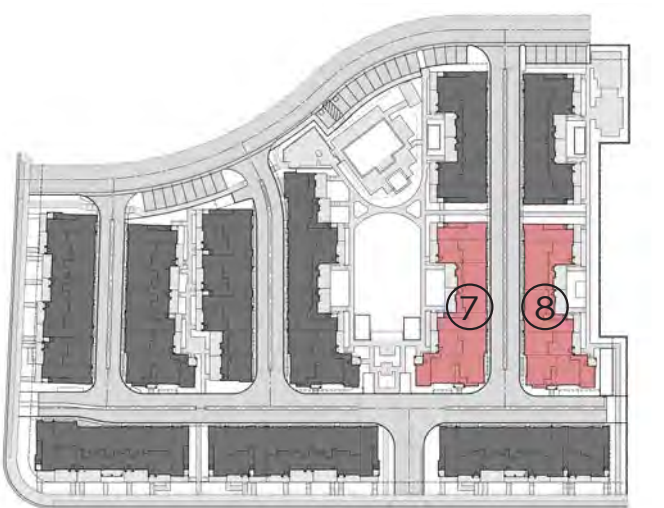


Third Floor

PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING D (8-PLEX): BUILDINGS 7 & 8



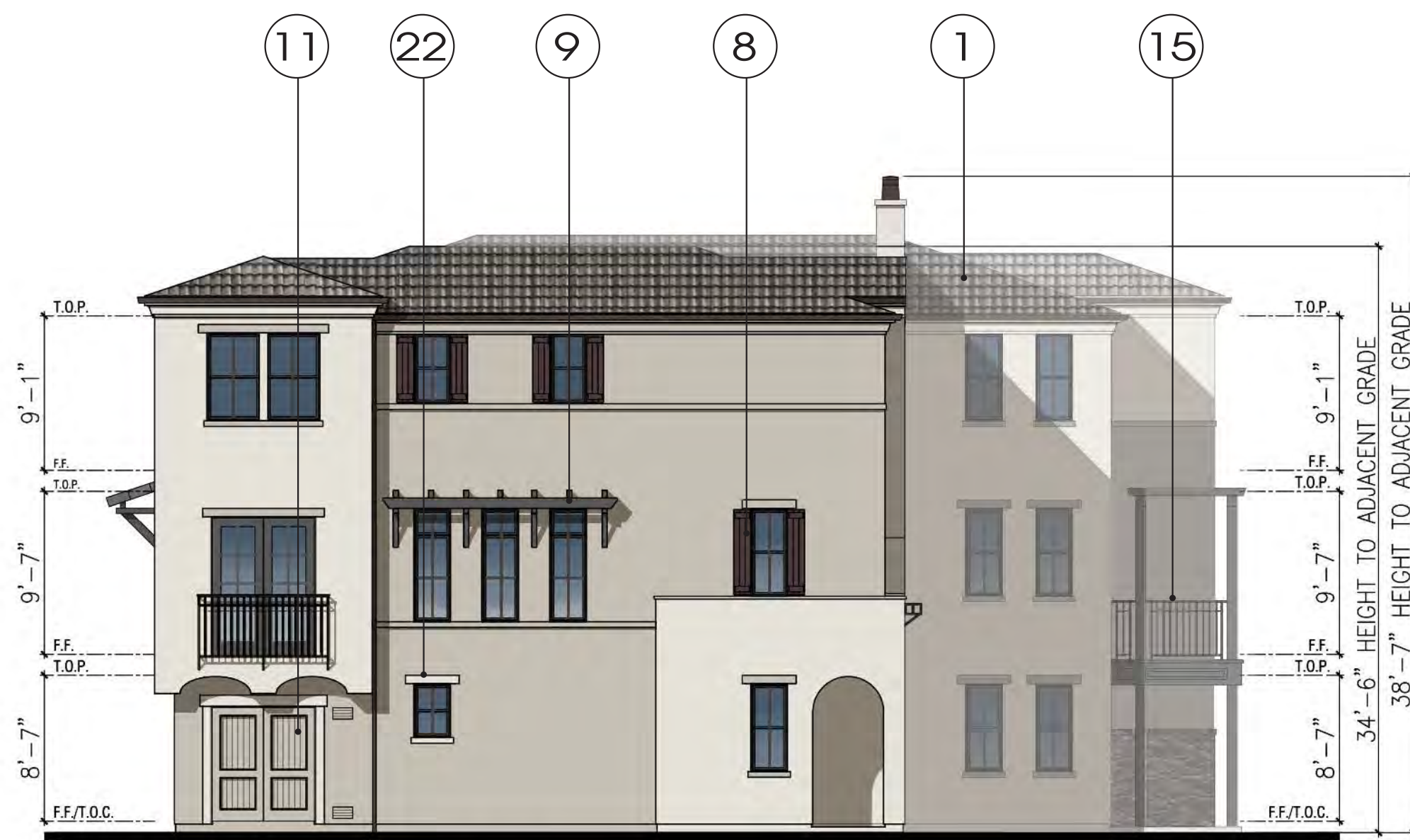
Perspective Rendering - Left Elevation



Perspective Rendering - Front Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

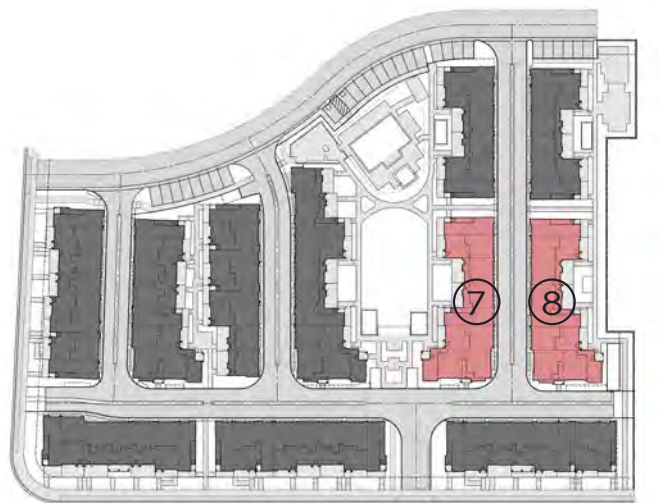


Plan 3X
Color Scheme #5
Plan 2 (Beyond)
Color Scheme #1
Left Elevation
Building 7: Northwest Elevation
Building 8: Northwest Elevation



Plan 3X
Color Scheme #5
Plan 4B
Color Scheme #3
Plan 6
Color Scheme #4
Plan 6B
Color Scheme #2
Plan 3
Color Scheme #5
Plan 4
Color Scheme #3
Plan 2
Color Scheme #1
Front Elevation
Building 7: Southwest Elevation
Building 8: Northeast Elevation

KEY MAP



BUILDING D (8-PLEX): BUILDINGS 7 & 8

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



Perspective Rendering - Right Elevation



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



Plan 2 Color Scheme #1
Plan 1 Color Scheme #5

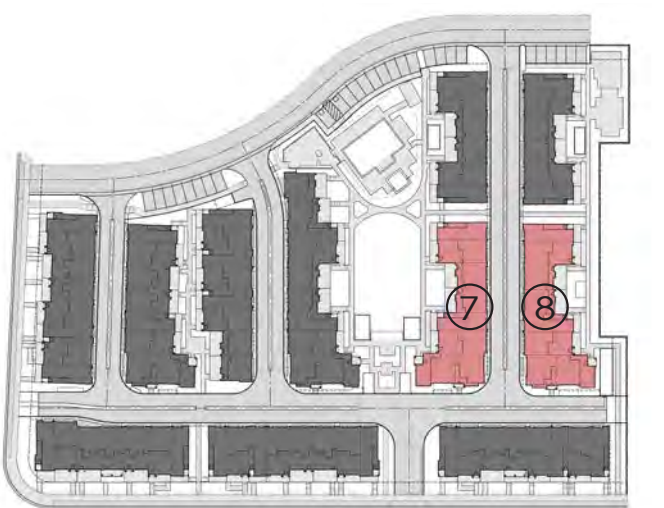
Right Elevation
Building 7: Southeast Elevation
Building 8: Southeast Elevation



Plan 1 Color Scheme #5
Plan 4 Color Scheme #3
Plan 3 Color Scheme #5
Plan 6B Color Scheme #2
Plan 6 Color Scheme #4
Plan 4B Color Scheme #3
Plan 3X Color Scheme #5

Rear Elevation
Building 7: Northeast Elevation
Building 8: Southwest Elevation

KEY MAP



BUILDING D (8-PLEX): BUILDINGS 7 & 8

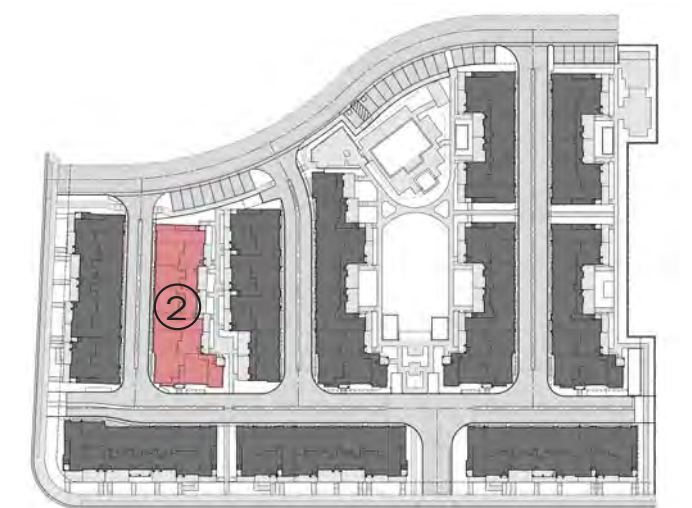
Note: Artist's Conception: Colors, Materials & Application May Vary.
 Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



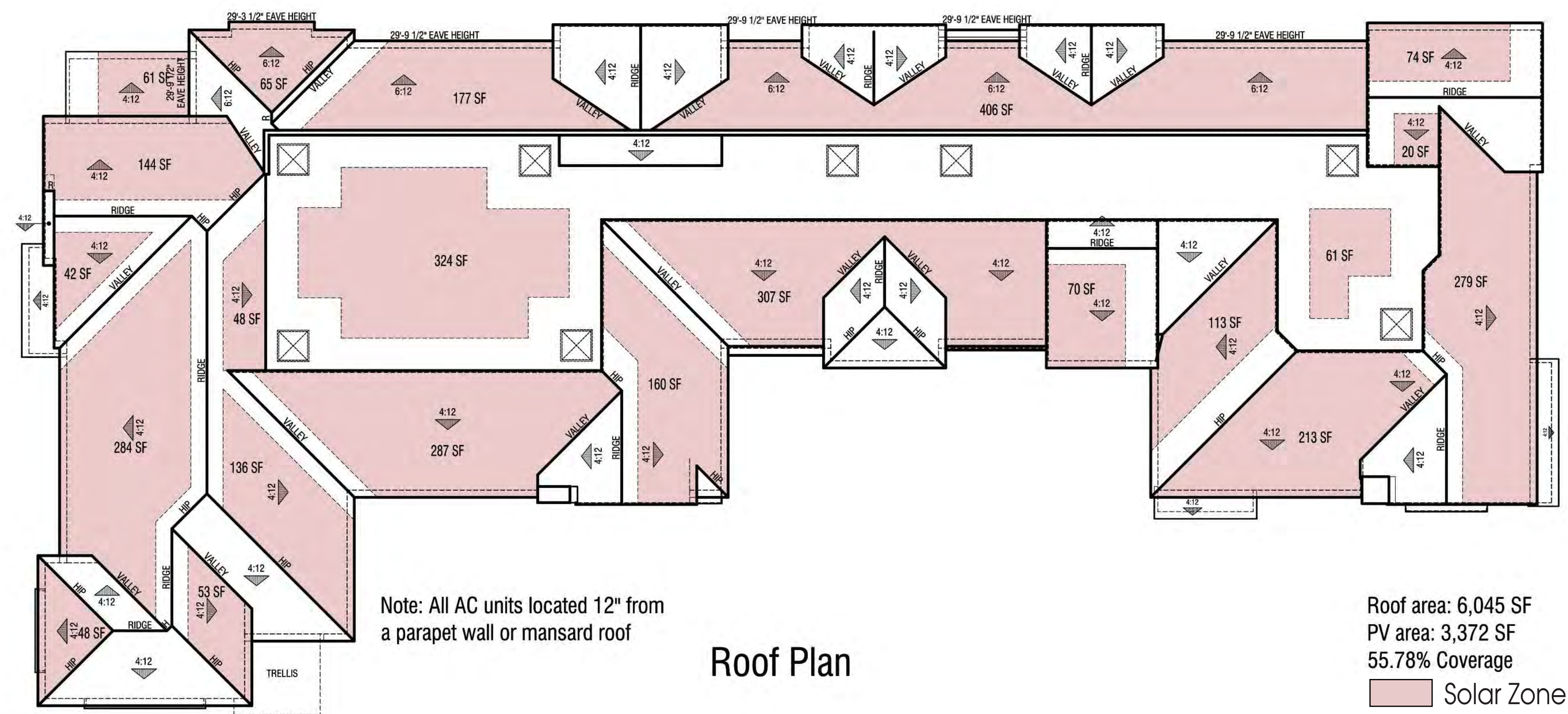
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING E (8-PLEX): BUILDING 2



Note: All AC units located 12" from a parapet wall or mansard roof

Roof Plan

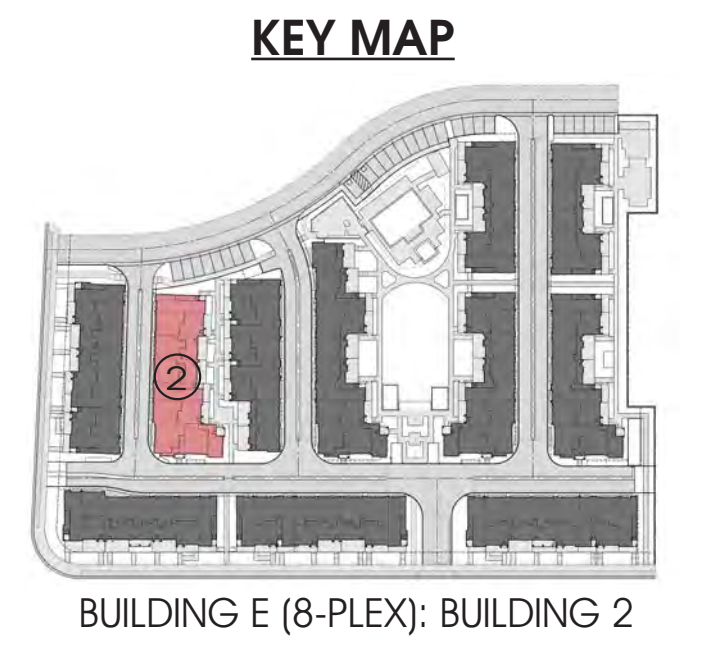
Roof area: 6,045 SF
 PV area: 3,372 SF
 55.78% Coverage
 Solar Zone

PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-



Third Floor



BUILDING E (8-PLEX); BUILDING 2



Perspective Rendering - Left Elevation



Perspective Rendering - Front Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

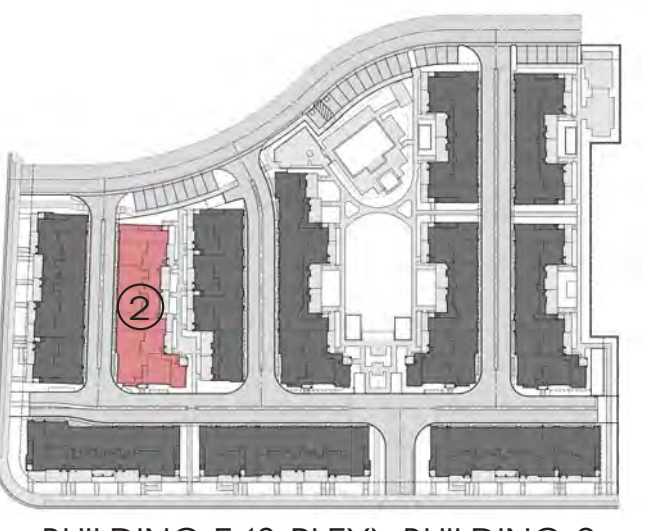


Plan 1
Color Scheme #1
Right Elevation
Building 2: Northwest Elevation

Plan 2
Color Scheme #3
Rear Elevation
Building 2: Northeast Elevation

Plan 4B
Color Scheme #2
Plan 3
Color Scheme #4
Plan 7B
Color Scheme #1
Plan 7
Color Scheme #3
Plan 4
Color Scheme #2
Plan 3X
Color Scheme #5

KEY MAP



BUILDING E (8-PLEX): BUILDING 2

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



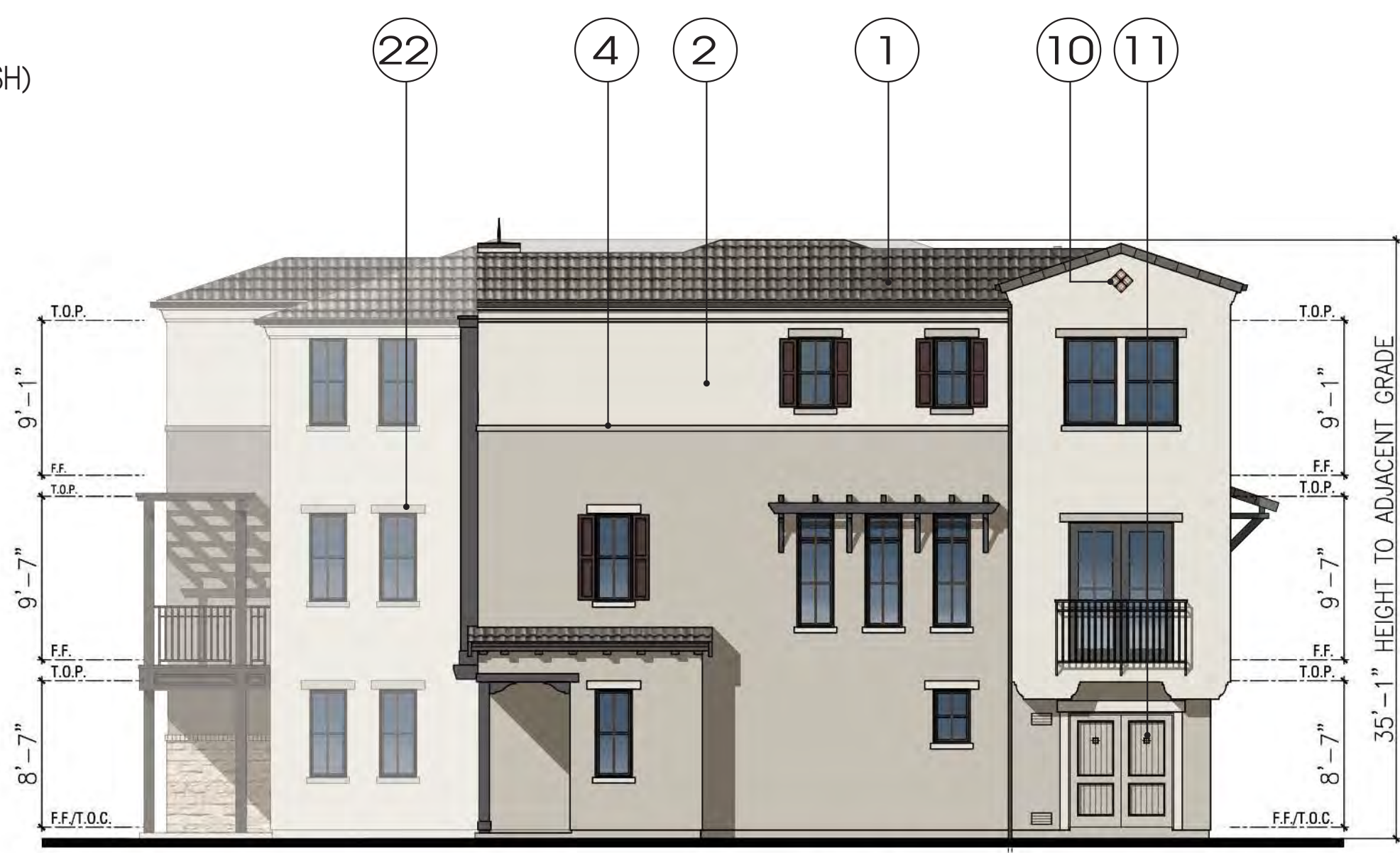
Perspective Rendering - Right Elevation



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



Plan 2 (Beyond)
Color Scheme #3

Plan 3X
Color Scheme #5

Right Elevation

Building 2: Southeast Elevation



Plan 3X
Color Scheme #5

Plan 4
Color Scheme #2

Plan 7
Color Scheme #3

Plan 7B
Color Scheme #1

Plan 3
Color Scheme #4

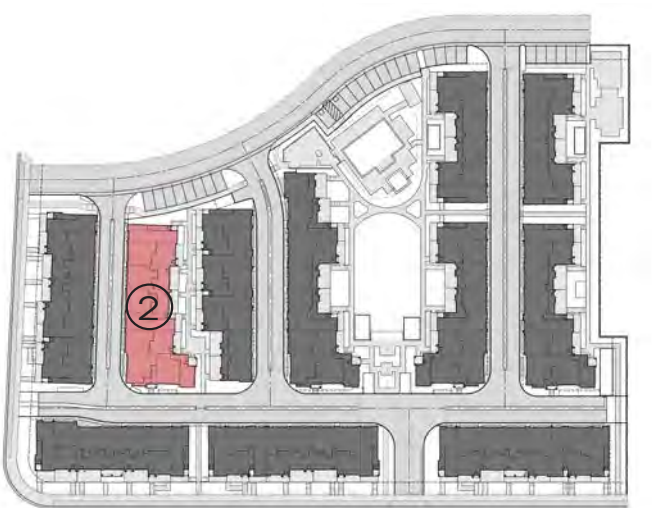
Plan 4B
Color Scheme #2

Plan 1
Color Scheme #1

Rear Elevation

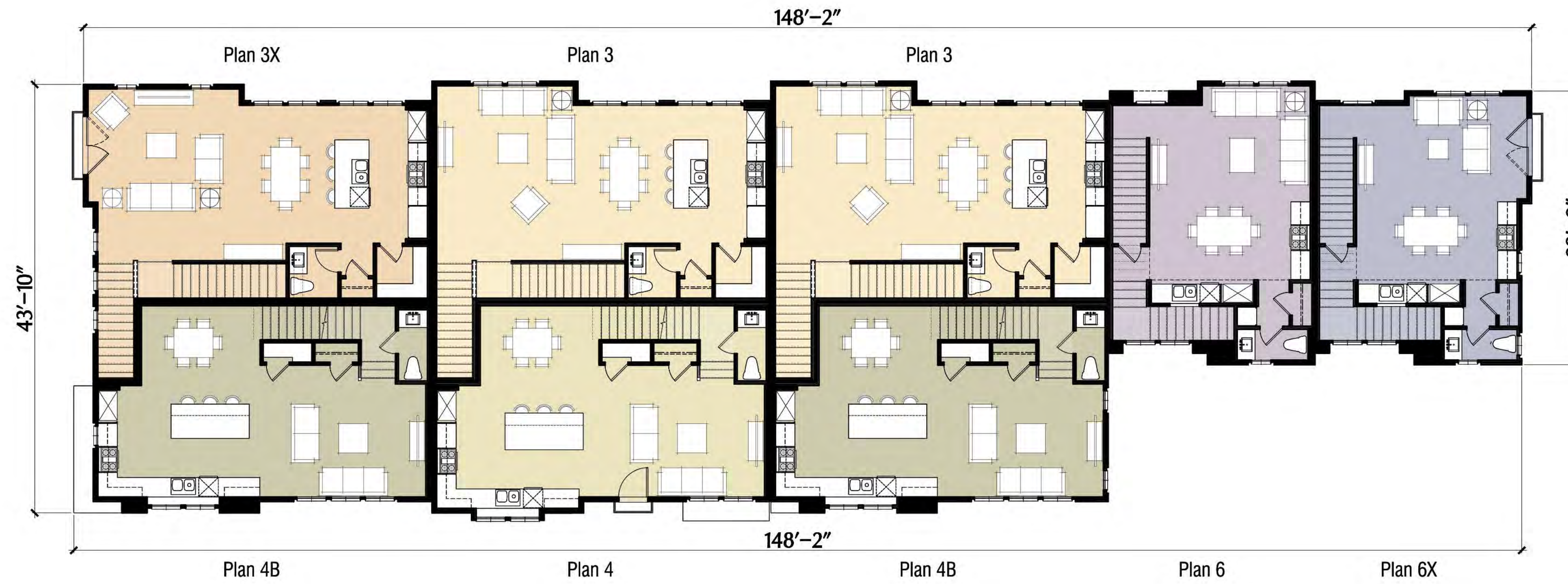
Building 2: Southwest Elevation

KEY MAP



BUILDING E (8-PLEX): BUILDING 2

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



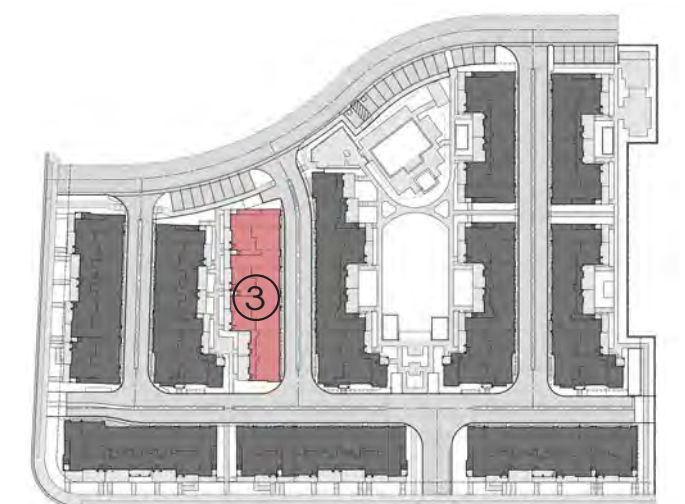
Second Floor



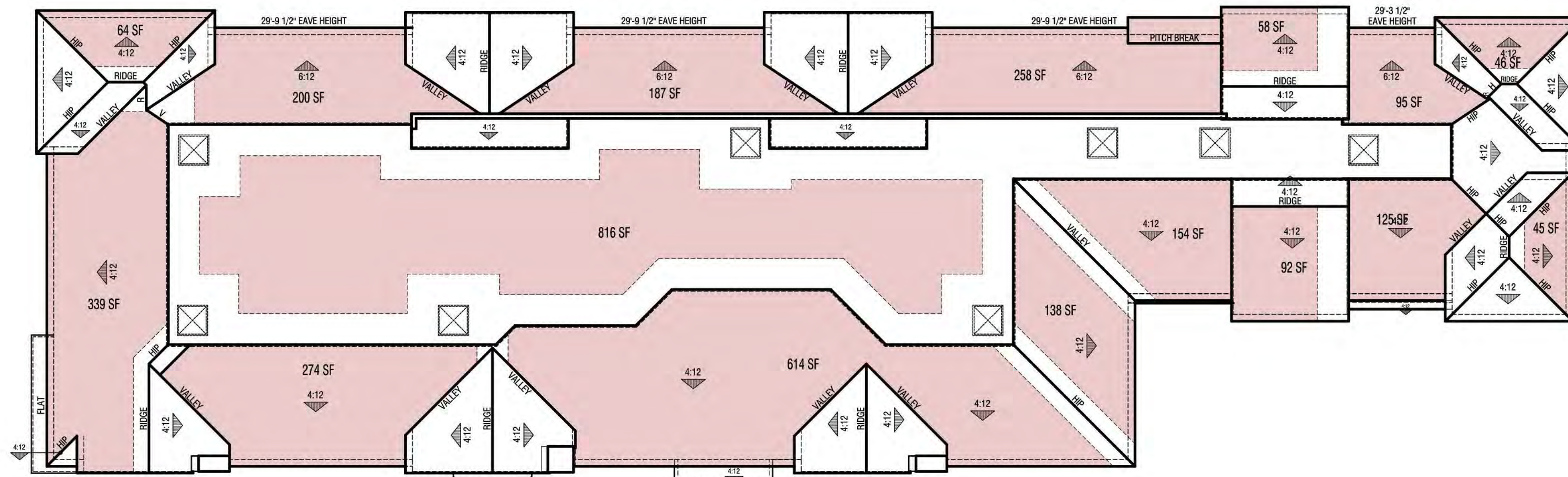
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



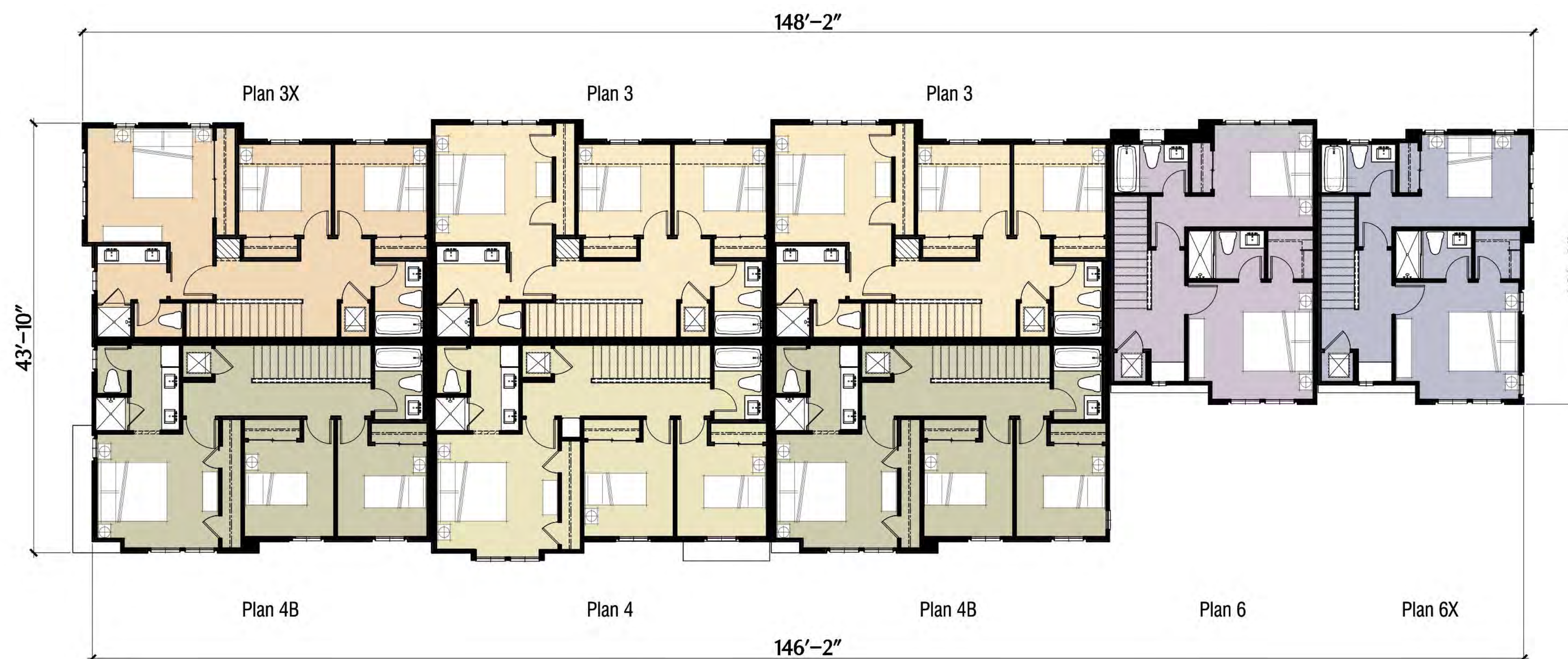
BUILDING F (8-PLEX): BUILDING 3



Note: All AC units located 12" from a parapet wall or mansard roof

Roof Plan

Roof area: 5,851 SF
 PV area: 3,505 SF
 59.90% Coverage
 Solar Zone

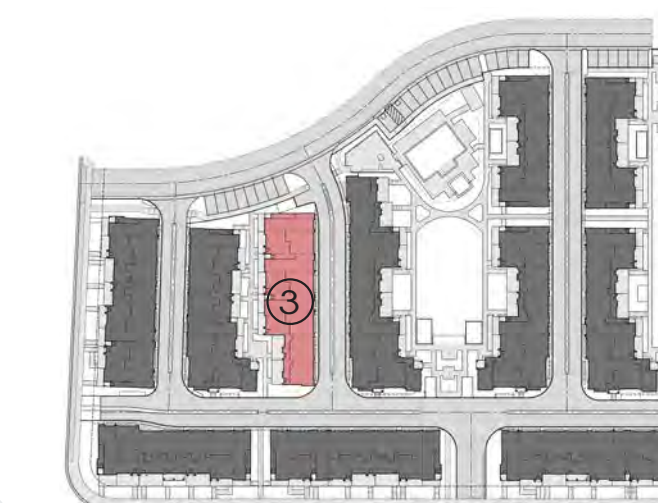


Third Floor

PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING F (8-PLEX): BUILDING 3



Perspective Rendering - Left Elevation



Perspective Rendering - Front Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



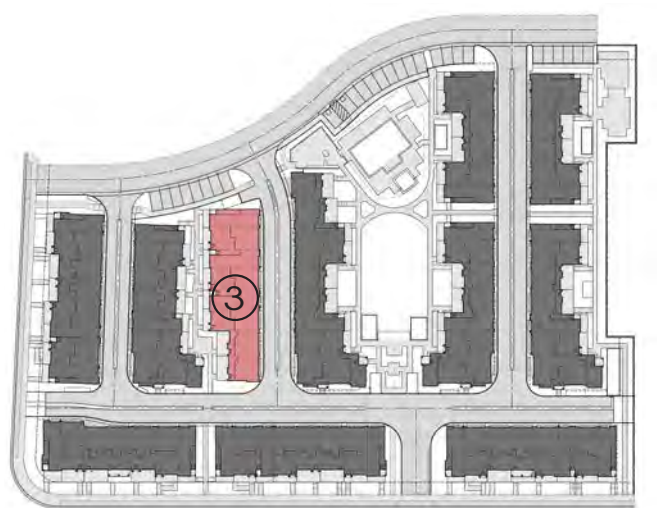
Left Elevation

Building 3: Northwest Elevation

Front Elevation

Building 3: Southwest Elevation

KEY MAP



BUILDING F (8-PLEX): BUILDING 3

Note: Artist's Conception: Colors, Materials & Application May Vary.

Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



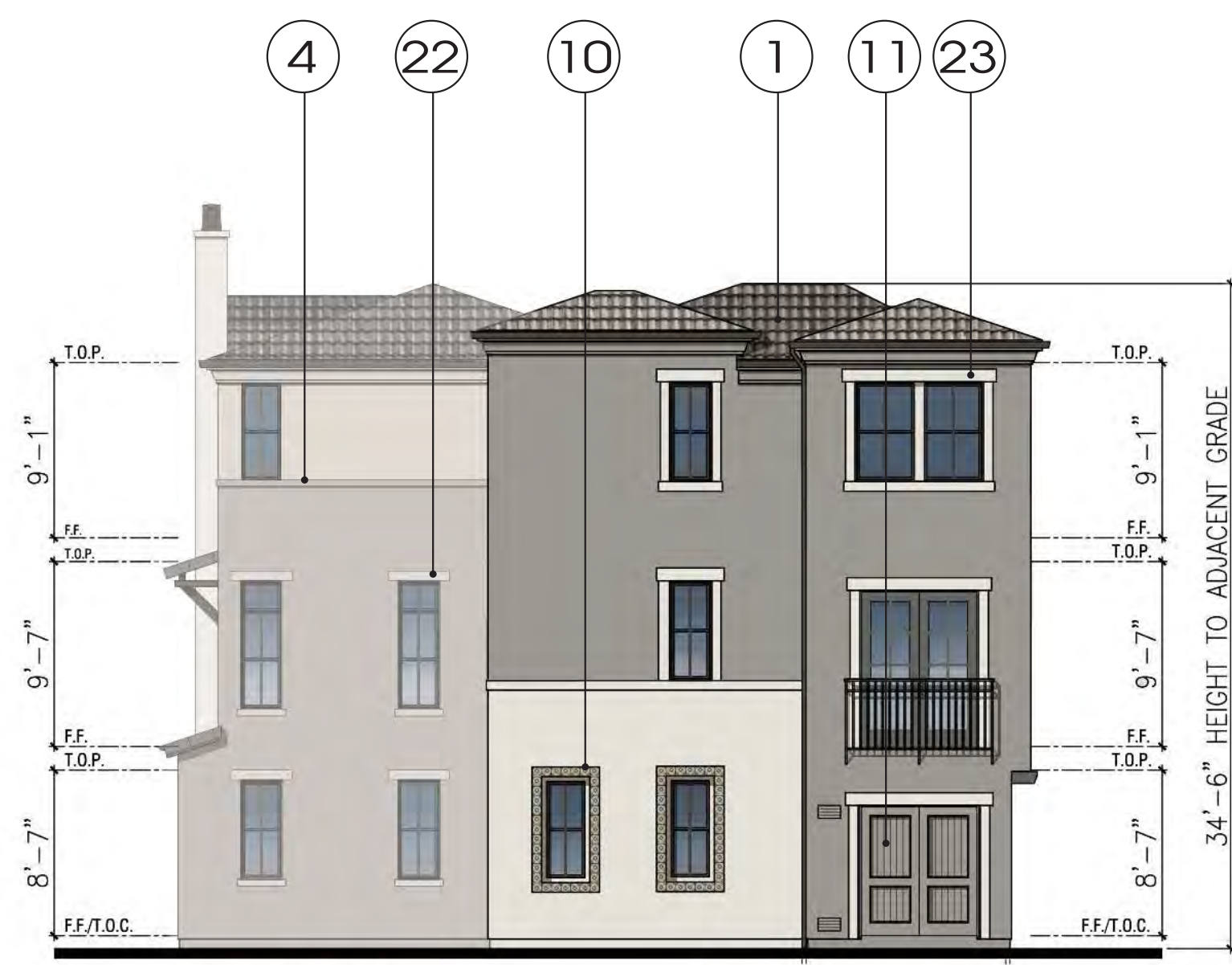
Perspective Rendering - Right Elevation



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

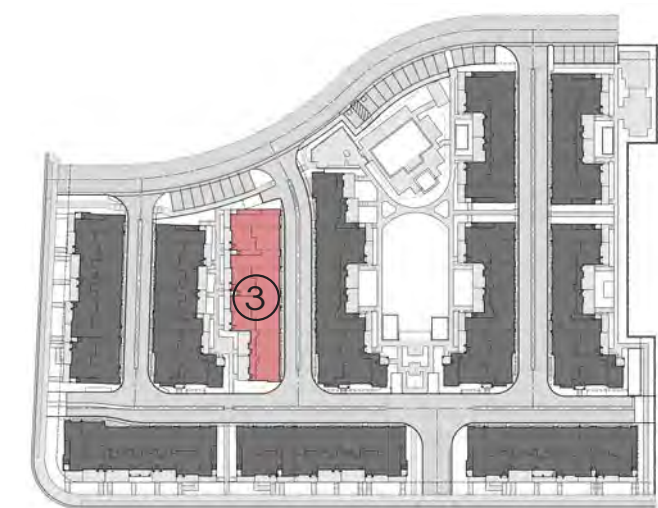


Right Elevation
Building 3: Southeast Elevation



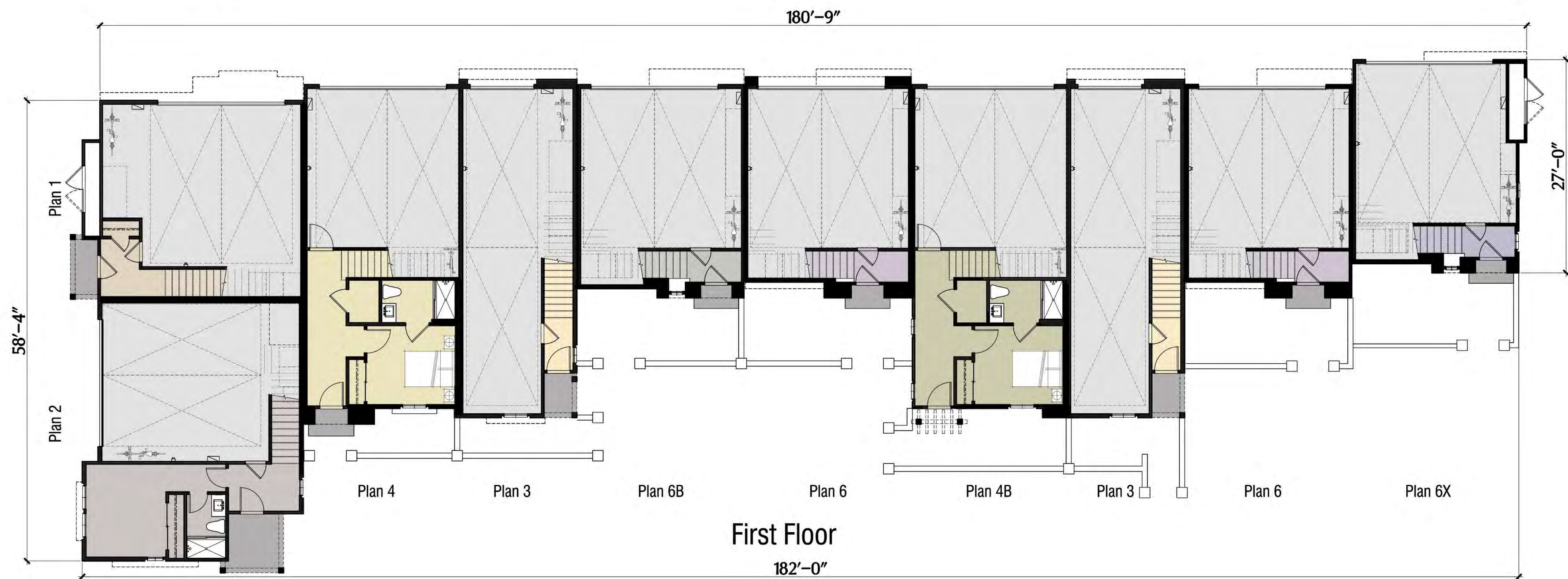
Rear Elevation
Building 3: Northeast Elevation

KEY MAP



BUILDING F (8-PLEX): BUILDING 3

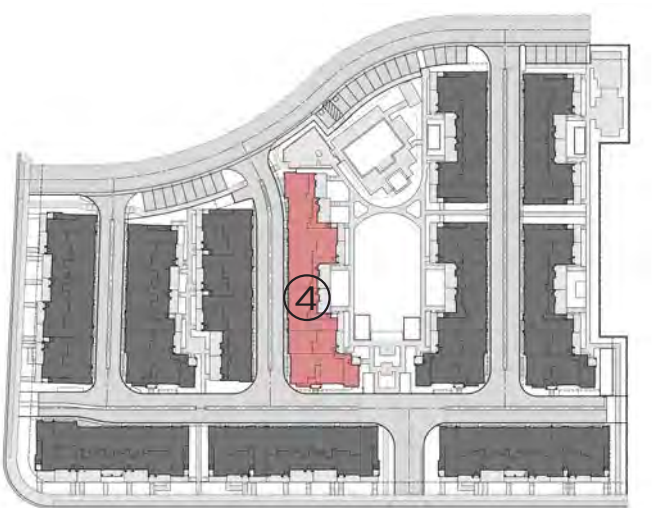
Note: Artist's Conception; Colors, Materials & Application May Vary.
 Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



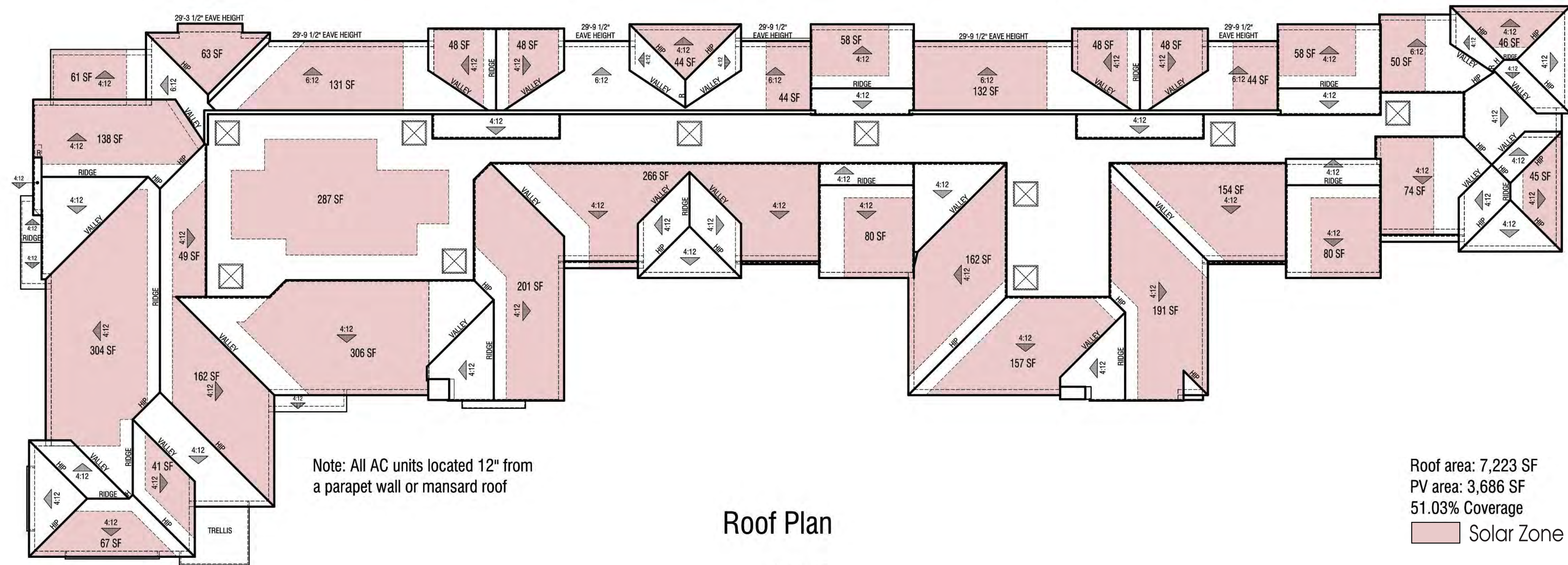
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING G (10-PLEX): BUILDING 4



Note: All AC units located 12" from a parapet wall or mansard roof

Roof area: 7,223 SF
 PV area: 3,686 SF
 51.03% Coverage
 Solar Zone

Roof Plan

183'-0"



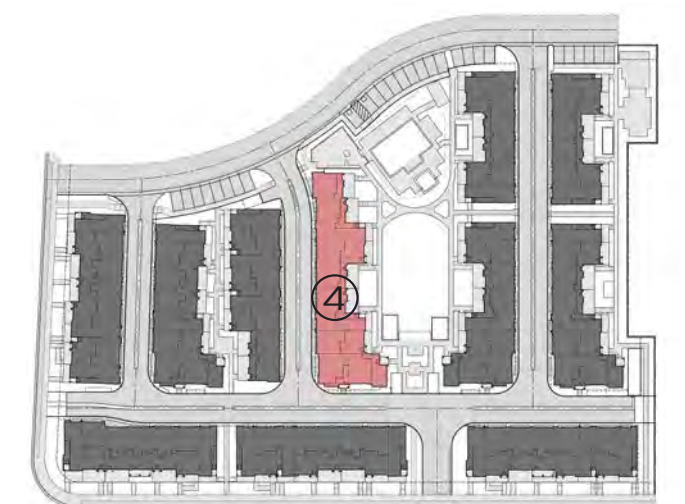
Third Floor

182'-0"

PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING G (10-PLEX): BUILDING 4



Perspective Rendering - Front Elevation

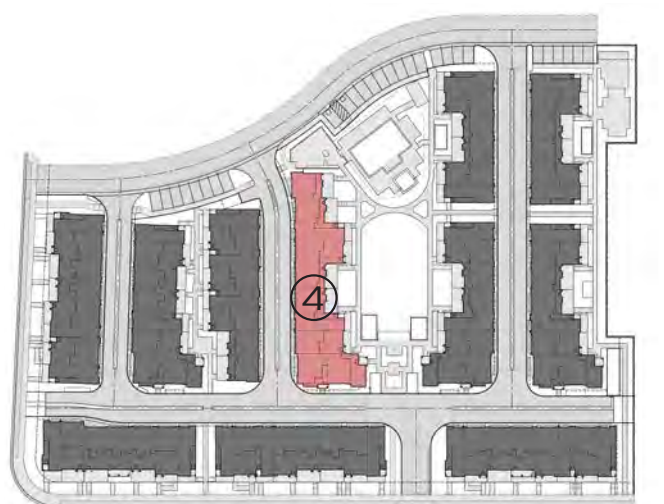
EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHelf
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



Front Elevation
Building 4: Northeast Elevation

KEY MAP



BUILDING G (10-PLEX): BUILDING 4

Note: Artist's Conception: Colors, Materials & Application May Vary.
 Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



Perspective Rendering - Left Elevation



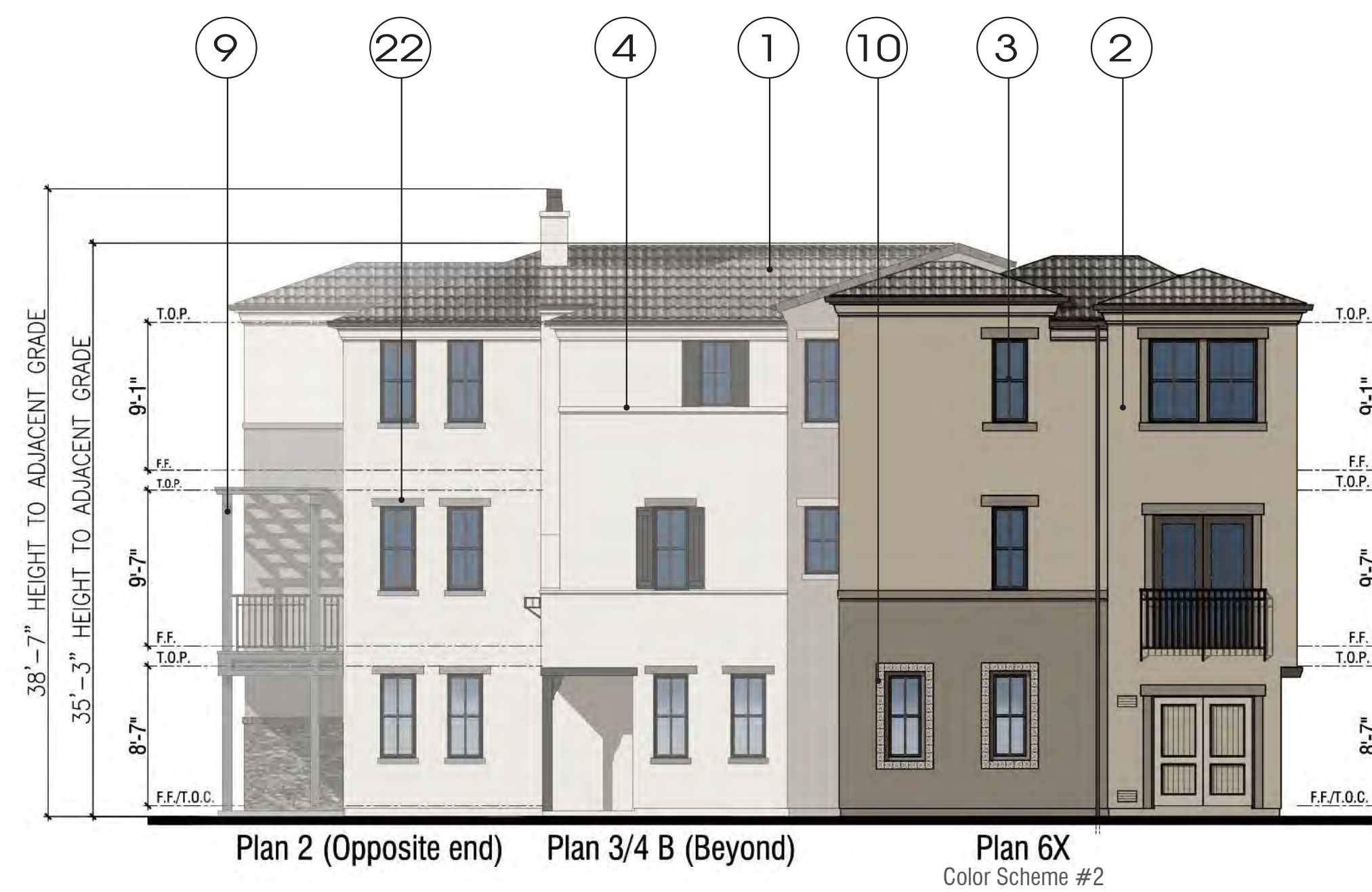
Perspective Rendering - Right Elevation

EXTERIOR MATERIALS:

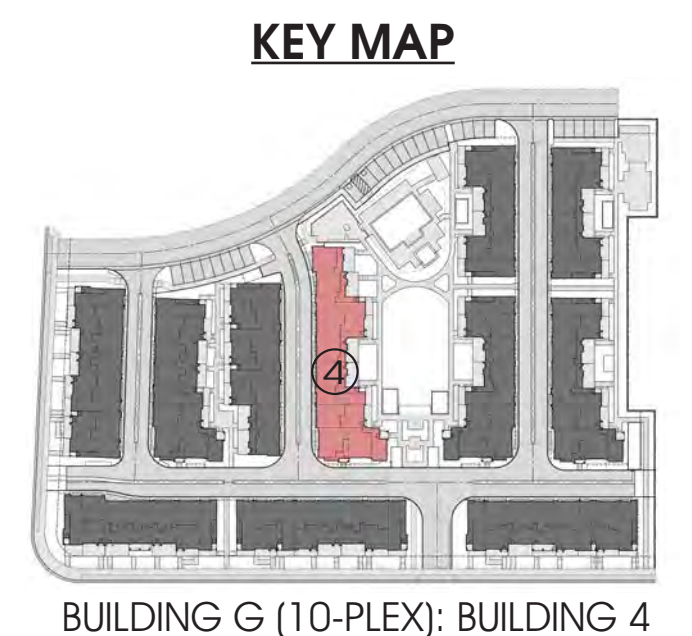
- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2



Left Elevation
Building 4: Southeast Elevation



Right Elevation
Building 4: Northwest Elevation



BUILDING G (10-PLEX): BUILDING 4

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

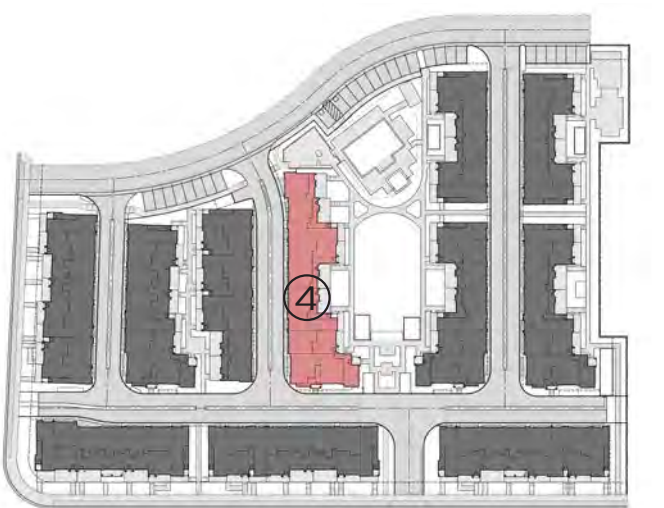


Rear Elevation
Building 4: Southwest Elevation

Note: Artist's Conception: Colors, Materials & Application May Vary.

Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4

KEY MAP



BUILDING G (10-PLEX): BUILDING 4



Second Floor

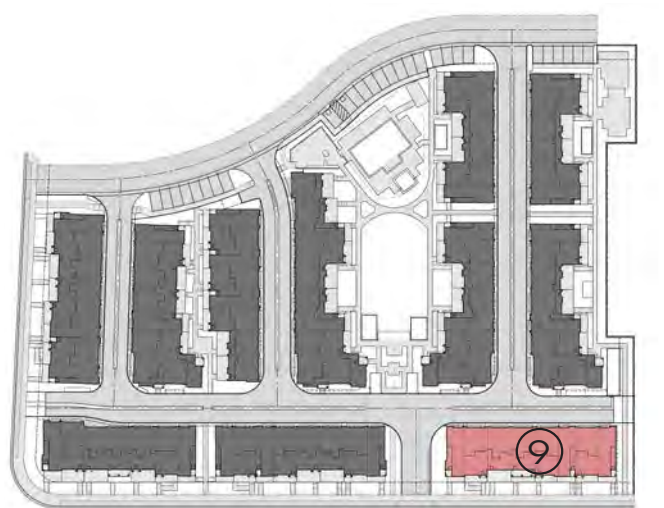


First Floor

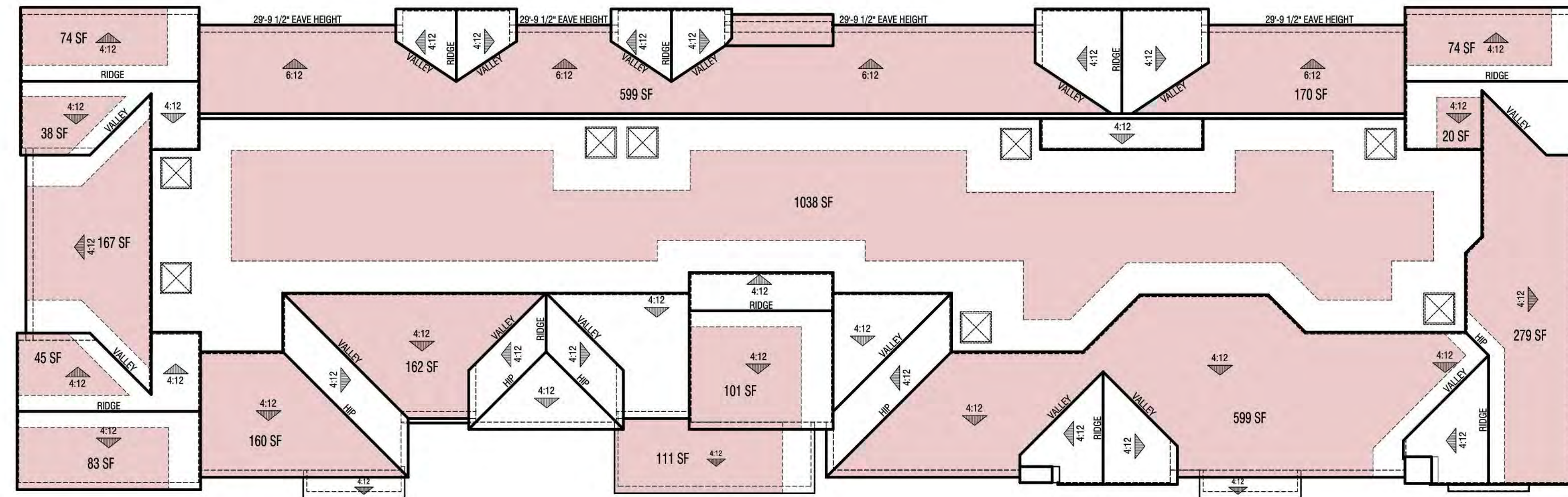
PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING H (8-PLEX); BUILDING 9



Note: All AC units located 12" from a parapet wall or mansard roof

Roof area: 6,324 SF
 PV area: 3,701 SF
 58.52% Coverage
 Solar Zone

Roof Plan

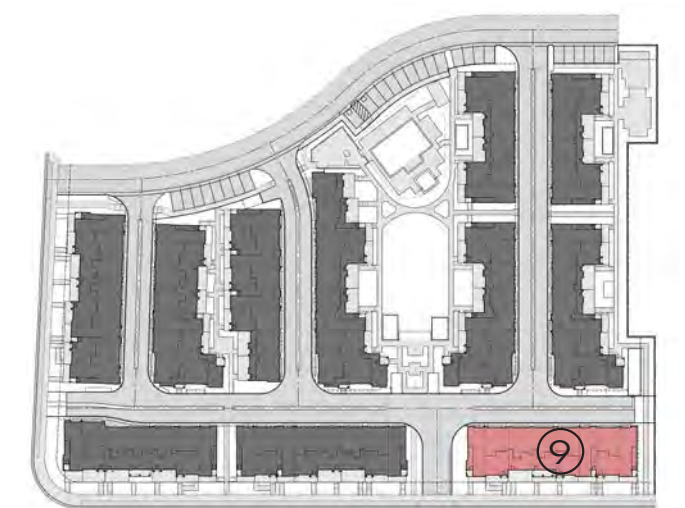


Third Floor

PLAN SUMMARY

Type	Net Area
Plan 1	1,334 sf
Plan 2	1,833 sf
Plan 3	1,399 sf
Plan 3X	1,425 sf
Plan 3Y	1,421 sf
Plan 3Z	1,450 sf
Plan 3ZA	1,412 sf
Plan 4	1,637 sf
Plan 4B	1,611 sf
Plan 4Y	1,656 sf
Plan 5	1,626 sf
Plan 5B	1,609 sf
Plan 5C	1,609 sf
Plan 6	1,049 sf
Plan 6B	1,050 sf
Plan 6X	1,040 sf
Plan 7	1,067 sf
Plan 7B	1,067 sf
Patio/Deck	-
Garage	-

KEY MAP



BUILDING H (8-PLEX); BUILDING 9



Perspective Rendering - Left Elevation



Perspective Rendering - Front Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

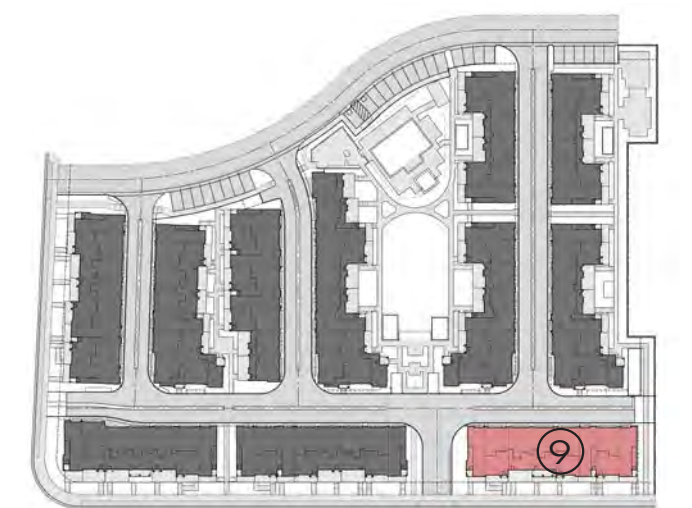


Left Elevation
Building 9: Southwest Elevation



Front Elevation
Building 9: Southeast Elevation

KEY MAP



BUILDING H (8-PLEX): BUILDING 9

Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4



Perspective Rendering - Right Elevation



Perspective Rendering - Rear Elevation

EXTERIOR MATERIALS:

- 1 CONCRETE 'S' TILE ROOFING
- 2 3-COAT STUCCO (LIGHT DASH FINISH)
- 3 INSULATED VINYL WINDOWS
- 4 SMOOTH FINISH OVER TRIM
- 5 WOOD PANELS
- 6 WOOD FASCIA
- 7 WOOD POSTS
- 8 WOOD SHUTTERS
- 9 WOOD TRELLIS
- 10 DECORATIVE CERAMIC TILE
- 11 UTILITY DOORS
- 12 UNIT DOORS
- 13 ILLUMINATED ADDRESS NUMBERS
- 14 WROUGHT IRON POTSHLF
- 15 WROUGHT IRON RAILING
- 16 MANUFACTURED STONE VENEER
- 17 PRECAST STONE
- 18 MANUFACTURED BRICK CAP
- 19 SECTIONAL ROLL-UP GARAGE DOOR
- 20 LIGHT FIXTURE, REFER TO SHEET A12.0
- 21 PREFABRICATED PIPES
- 22 TRIM STYLE 1 - SEE DETAIL 6, SHEET A11.2
- 23 TRIM STYLE 2 - SEE DETAIL 6, SHEET A11.2
- 24 TRIM STYLE 3 - SEE DETAIL 6, SHEET A11.2

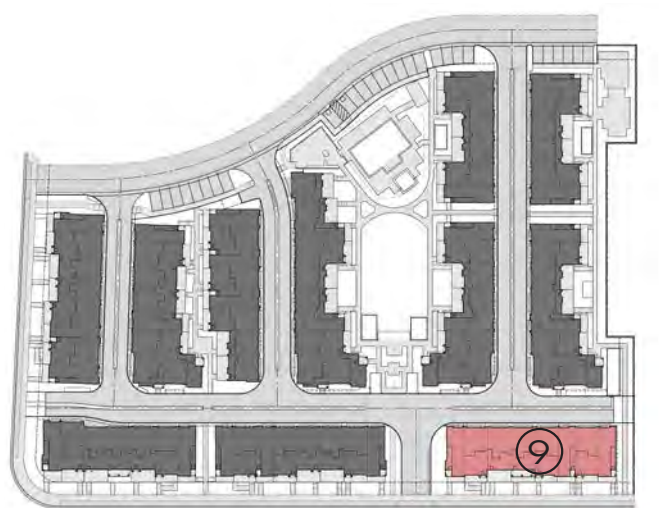


Right Elevation
Building 9: Northeast Elevation



Rear Elevation
Building 9: Northwest Elevation

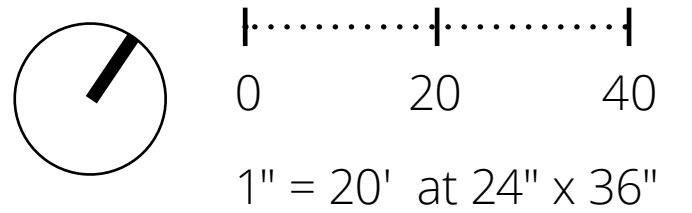
KEY MAP



BUILDING H (8-PLEX): BUILDING 9





Note: Artist's Conception: Colors, Materials & Application May Vary.
Note: For Heights Measured to Adjacent Curbs, See Sections: Pages A10.2, A10.3 & A10.4

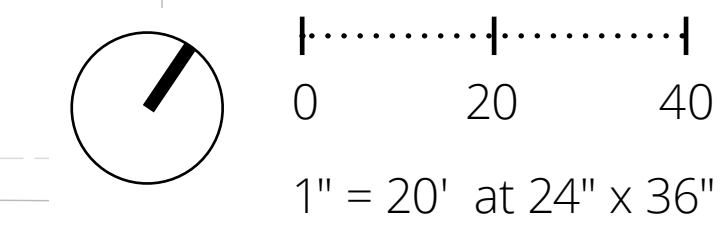
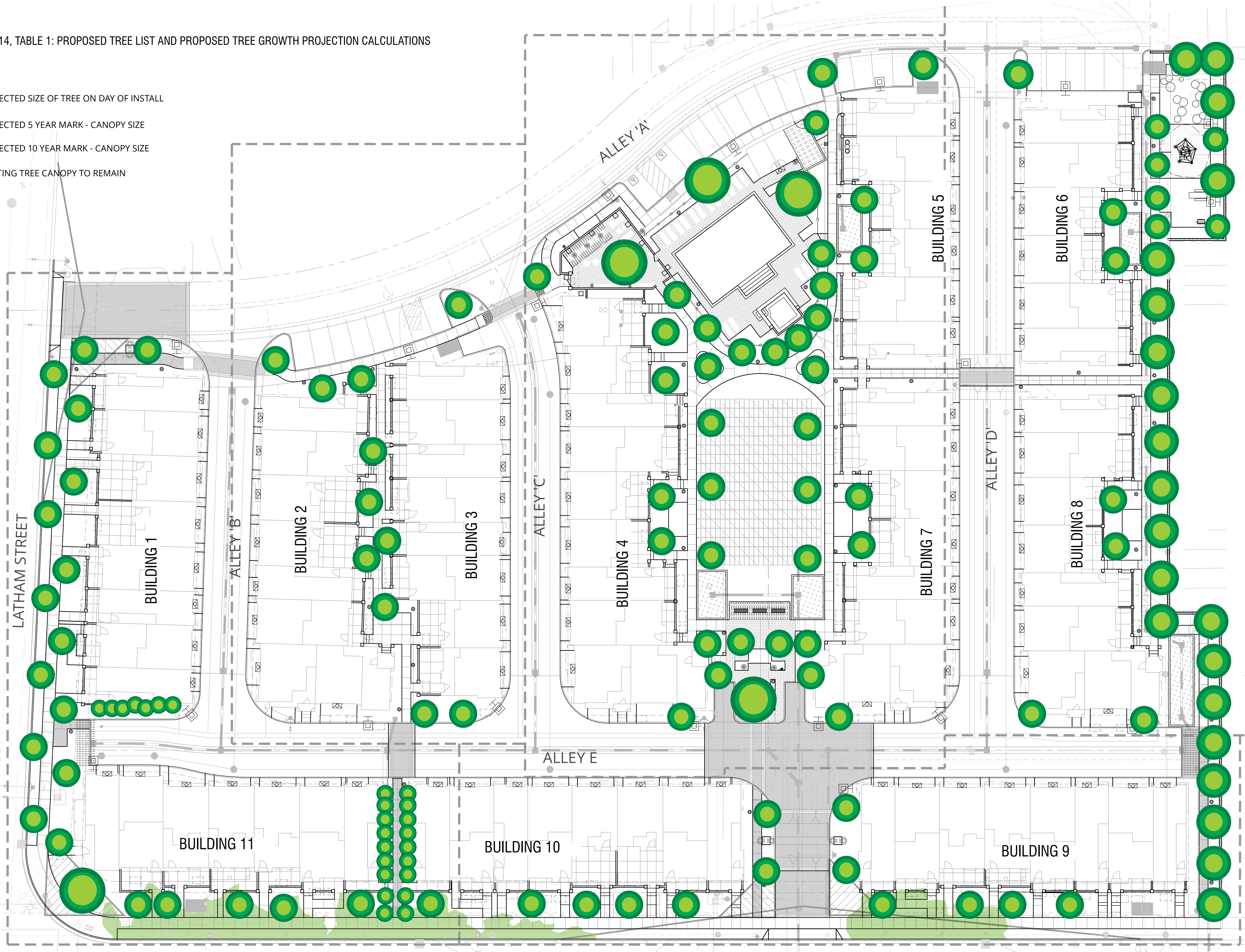
EXISTING CANOPY COVERAGE: 54,137 SQ FEET
 PROJECT AREA: 177,289.2 SQ FEET
 PERCENTAGE EXISTING CANOPY COVERAGE: 30.5 %





* SEE SHEET L3.14, TABLE 1: PROPOSED TREE LIST AND PROPOSED TREE GROWTH PROJECTION CALCULATIONS

LEGEND

-  PROJECTED SIZE OF TREE ON DAY OF INSTALL
-  PROJECTED 5 YEAR MARK - CANOPY SIZE
-  PROJECTED 10 YEAR MARK - CANOPY SIZE
-  EXISTING TREE CANOPY TO REMAIN



LEGEND

-  PROJECTED MATURE CANOPY SIZE
-  EXISTING TREE CANOPY TO REMAIN

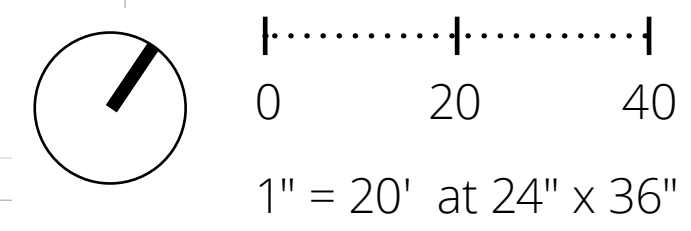
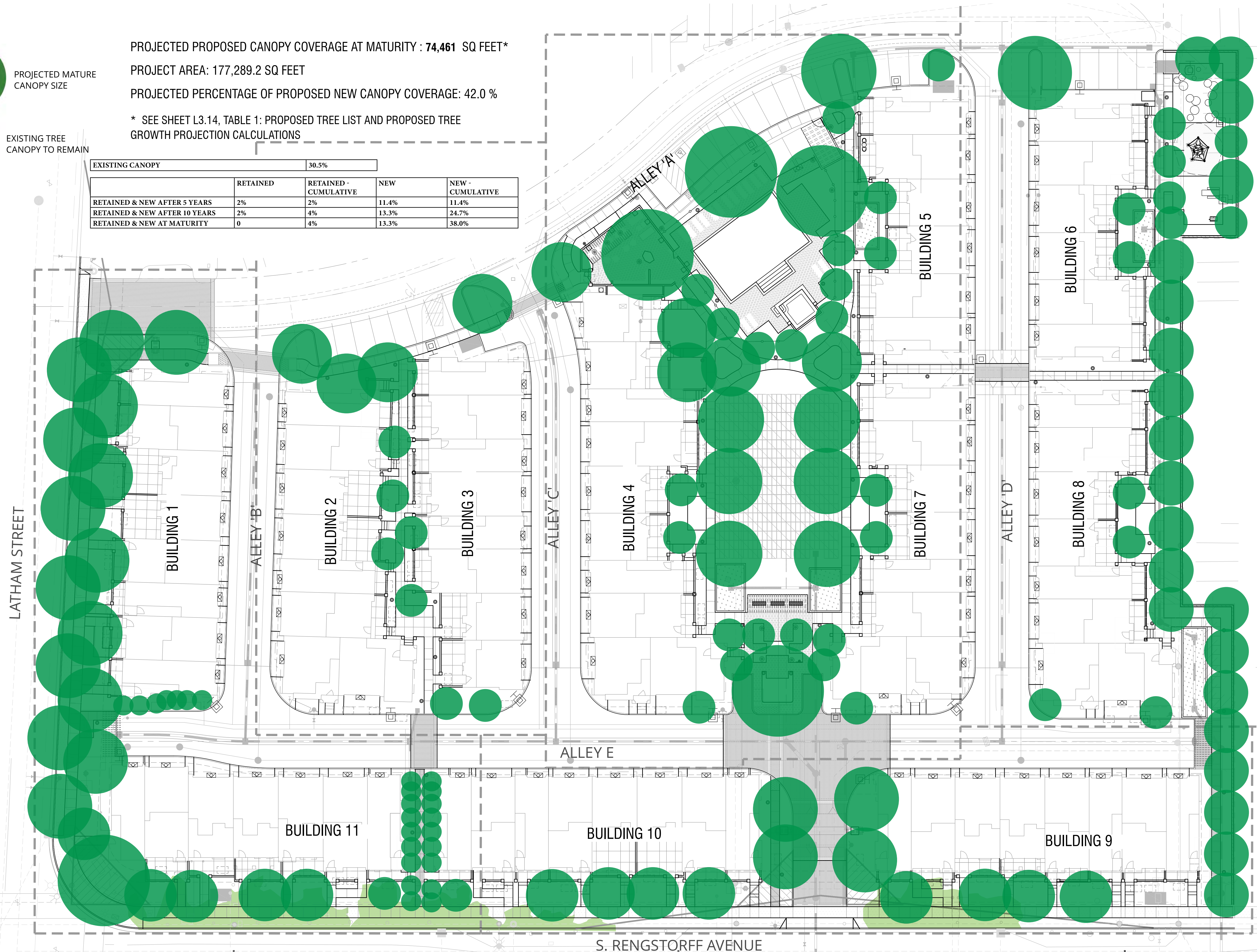
PROJECTED PROPOSED CANOPY COVERAGE AT MATURITY : 74,461 SQ FEET*

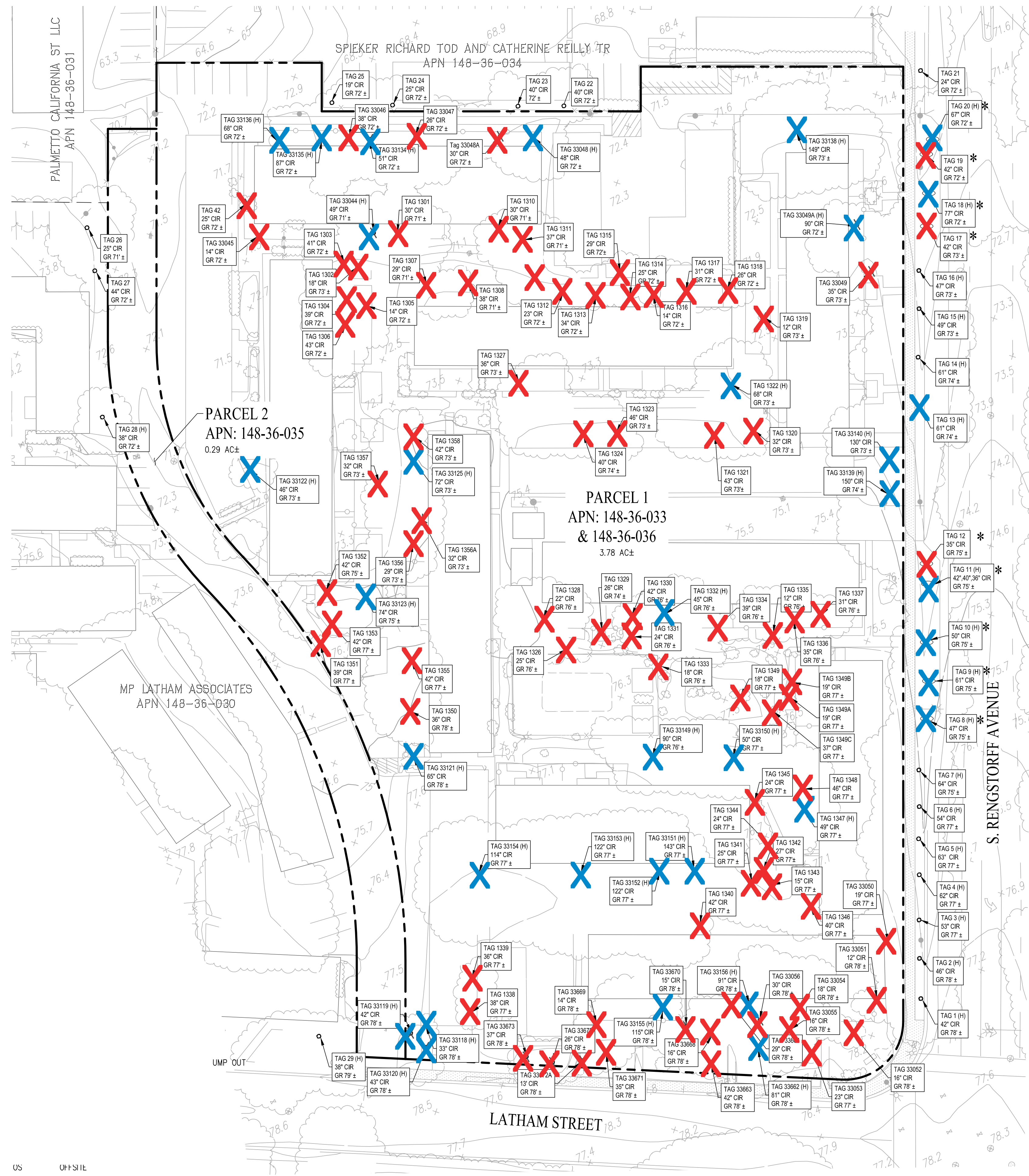
PROJECT AREA: 177,289.2 SQ FEET

PROJECTED PERCENTAGE OF PROPOSED NEW CANOPY COVERAGE: 42.0 %

* SEE SHEET L3.14, TABLE 1: PROPOSED TREE LIST AND PROPOSED TREE GROWTH PROJECTION CALCULATIONS

EXISTING CANOPY		30.5%		
	RETAINED	RETAINED - CUMULATIVE	NEW	NEW - CUMULATIVE
RETAINED & NEW AFTER 5 YEARS	2%	2%	11.4%	11.4%
RETAINED & NEW AFTER 10 YEARS	2%	4%	13.3%	24.7%
RETAINED & NEW AT MATURITY	0	4%	13.3%	38.0%





EXISTING TREES			
TREE #	SPECIES	HERITAGE (Y/N)	PROPOSED ACTION
1 (OS)	RED OAK	Y	REMAIN
2 (OS)	RED OAK	Y	REMAIN
3 (OS)	RED OAK	Y	REMAIN
4 (OS)	RED OAK	Y	REMAIN
5 (OS)	RED OAK	Y	REMAIN
6 (OS)	RED OAK	Y	REMAIN
7 (OS)	RED OAK	Y	REMAIN
8 (OS)	SOUTHERN MAGNOLIA	Y	SEE NOTE 1 BELOW *
9 (OS)	RED OAK	Y	SEE NOTE 1 BELOW *
10 (OS)	SOUTHERN MAGNOLIA	Y	SEE NOTE 1 BELOW *
11 (OS)	GLOSSY PRIVET	Y	SEE NOTE 1 BELOW *
12 (OS)	SOUTHERN MAGNOLIA	N	SEE NOTE 1 BELOW *
13 (OS)	RED OAK	Y	REMOVE
14 (OS)	RED OAK	Y	REMAIN
15 (OS)	RED OAK	Y	REMAIN
16 (OS)	RED OAK	Y	REMAIN
17 (OS)	SOUTHERN MAGNOLIA	Y	SEE NOTE 1 BELOW *
18 (OS)	ALEPPO PINE	N	SEE NOTE 1 BELOW *
19 (OS)	ALEPPO PINE	N	SEE NOTE 1 BELOW *
20 (OS)	ALEPPO PINE	Y	SEE NOTE 1 BELOW *
21 (OS)	RED OAK	N	REMAIN
22 (OS)	SWEETGUM	N	REMAIN
23 (OS)	SWEETGUM	N	REMAIN
24 (OS)	SWEETGUM	N	REMAIN
25 (OS)	SWEETGUM	N	REMAIN
26 (OS)	LONDON PLANE	N	REMAIN
27 (OS)	LONDON PLANE	N	REMAIN
28 (OS)	ORNAMENTAL PEAR	N	REMAIN
29 (OS)	SWEETGUM	N	REMAIN
42	BANANA PALM	N	REMOVE
1301	JAPANESE PAGODA TREE	N	REMOVE
1302	LOQUAT	N	REMOVE
1303	SWEETGUM	N	REMOVE
1304	JAPANESE PAGODA TREE	N	REMOVE
1305	HONG KONG ORCHID TREE	N	REMOVE
1306	JAPANESE PAGODA TREE	N	REMOVE
1307	EUROPEAN WHITE BIRCH	N	REMOVE
1308	EUROPEAN WHITE BIRCH	N	REMOVE
1310	EUROPEAN WHITE BIRCH	N	REMOVE
1311	EUROPEAN WHITE BIRCH	N	REMOVE
1312	PURPLELEAF PLUM	N	REMOVE
1313	QUEEN PALM	N	REMOVE
1314	QUEEN PALM	N	REMOVE
1315	QUEEN PALM	N	REMOVE
1316	PURPLELEAF PLUM	N	REMOVE
1317	QUEEN PALM	N	REMOVE
1318	PURPLELEAF PLUM	N	REMOVE
1319	JACARANDA	N	REMOVE
1320	EUROPEAN WHITE BIRCH	N	REMOVE
1321	EUROPEAN WHITE BIRCH	N	REMOVE
1322	EVERGREEN ASH	Y	REMOVE
1323	EUROPEAN WHITE BIRCH	N	REMOVE
1324	EUROPEAN WHITE BIRCH	N	REMOVE
1326	QUEEN PALM	N	REMOVE
1327	EVERGREEN ASH	N	REMOVE
1328	JAPANESE PAGODA TREE	N	REMOVE
1329	QUEEN PALM	N	REMOVE
1330	JAPANESE PAGODA TREE	N	REMOVE
1331	QUEEN PALM	N	REMOVE
1332	JAPANESE PAGODA TREE	Y	REMOVE
1333	QUEEN PALM	N	REMOVE
1334	QUEEN PALM	N	REMOVE
1335	QUEEN PALM	N	REMOVE
1336	JAPANESE PAGODA TREE	N	REMOVE
1337	JAPANESE PAGODA TREE	N	REMOVE
1338	QUEEN PALM	N	REMOVE
1339	QUEEN PALM	N	REMOVE

* NOTE 1: TREE LOCATED WITHIN EXISTING BUMP-OUT ALONG RENGSTORFF. TREE IDENTIFIED FOR REMOVAL FOR FUTURE CITY IMPROVEMENTS INCLUDING: BIKE LANE AND NEW CURB ALIGNMENT

TREE #	SPECIES	HERITAGE (Y/N)	PROPOSED ACTION
1340	EUROPEAN WHITE BIRCH	N	REMOVE
1341	EUROPEAN WHITE BIRCH	N	REMOVE
1342	EUROPEAN WHITE BIRCH	N	REMOVE
1343	EUROPEAN WHITE BIRCH	N	REMOVE
1344	QUEEN PALM	N	REMOVE
1345	QUEEN PALM	N	REMOVE
1346	JAPANESE PAGODA TREE	N	REMOVE
1347	JAPANESE PAGODA TREE	Y	REMOVE
1348	JAPANESE PAGODA TREE	N	REMOVE
1349	QUEEN PALM	N	REMOVE
1349A	QUEEN PALM	N	REMOVE
1349B	QUEEN PALM	N	REMOVE
1349C	QUEEN PALM	N	REMOVE
1350	JAPANESE PAGODA TREE	N	REMOVE
1351	QUEEN PALM	N	REMOVE
1352	QUEEN PALM	N	REMOVE
1353	QUEEN PALM	N	REMOVE
1355	JAPANESE PAGODA TREE	N	REMOVE
1356	JAPANESE PAGODA TREE	N	REMOVE
1356A	JAPANESE PAGODA TREE	N	REMOVE
1357	QUEEN PALM	N	REMOVE
1358	JAPANESE PAGODA TREE	N	REMOVE
33044	JAPANESE PAGODA TREE	Y	REMOVE
33045	HONG KONG ORCHID	N	REMOVE
33046	CHINESE PISTACHE	N	REMOVE
33047	CHINESE PISTACHE	N	REMOVE
33048	JAPANESE PAGODA TREE	Y	REMOVE
33048A	JAPANESE PAGODA TREE	N	REMOVE
33049	MARINA MADRONE	N	REMOVE
33049A	SWEETGUM	Y	REMOVE
33050	PURPLELEAF PLUM	N	REMOVE
33051	CARROTWOOD	N	REMOVE
33052	PURPLELEAF PLUM	N	REMOVE
33053	QUEEN PALM	N	REMOVE
33054	MARINA MADRONE	N	REMOVE
33055	STRAWBERRY TREE	N	REMOVE
33056	MARINA MADRONE	N	REMOVE
33118	COAST REDWOOD	Y	REMOVE
33119	COAST REDWOOD	Y	REMOVE
33120	COAST REDWOOD	Y	REMOVE
33121	MEXICAN FAN PALM	Y	REMOVE
33122	QUEEN PALM	Y	REMOVE
33123	QUEEN PALM	Y	REMOVE
33125	EVERGREEN ASH	Y	REMOVE
33134	JAPANESE PAGODA TREE	Y	REMOVE
33135	SILVER MAPLE	Y	REMOVE
33136	SWEETGUM	Y	REMOVE
33138	ALEPPO PINE	Y	REMOVE
33139	ALEPPO PINE	Y	REMOVE
33140	ALEPPO PINE	Y	REMOVE
33149	EVERGREEN ASH	Y	REMOVE
33150	JAPANESE PAGODA TREE	Y	REMOVE
33151	ALEPPO PINE	Y	REMOVE
33152	ALEPPO PINE	Y	REMOVE
33153	ALEPPO PINE	Y	REMOVE
33154	ALEPPO PINE	Y	REMOVE
33155	COAST REDWOOD	Y	REMOVE
33156	SWEETGUM	Y	REMOVE
33662	QUEEN PALM	Y	REMOVE
33663	QUEEN PALM	N	REMOVE
33664	JACARANDA	N	REMOVE
33668	STRAWBERRY TREE	N	REMOVE
33670	STRAWBERRY TREE	N	REMOVE
33671	QUEEN PALM	N	REMOVE
33672	STRAWBERRY TREE	N	REMOVE
33672A	STRAWBERRY TREE	N	REMOVE
33673	QUEEN PALM	N	REMOVE
33669	CARROTWOOD	N	REMOVE

LEGEND
 X TREE TO BE REMOVED
 X HERITAGE TREE TO BE REMOVED
 O TREE TO REMAIN