

1132 Independence Ave

1132 Independence Ave, Mountain View, CA 94043, USA
 DOG DAYCARE & BOARDING - CUP APPLICATION



OWNER APPROVED. ALL EXISTING PARKING ALLOTTED TO BUILDING 1132
 Existing to Remain - No New Work
 Total Parking Provided: 19 stalls
 Standard Stalls: 18
 Accessible Stall: 1 ADA

FLOOR AREA RATIO (FAR)
 Lot Area: 13,939 sq.ft.
 GFA: 3,125 sq.ft.
 FAR = 3,125 / 13,939 = 0.22

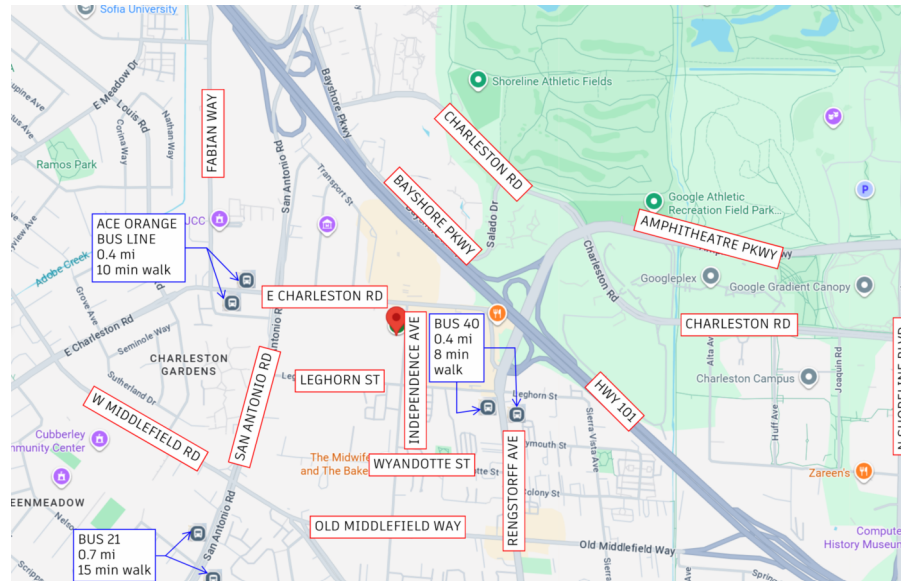
PROPERTY INFORMATION

Address: 1132 Independence Ave, Mountain View, CA 94043
 Assessor's Parcel Number (APN): 147-03-055
 Zoning District: MM40 - General Industrial
 Existing Use: Office / Light Industrial
 Proposed Use: Occupancy B, Dog Daycare & Boarding
 Construction Type: V-B (Unchanged)
 Sprinklers: None existing
 Lot Size: 0.32 acres (approximately 13,939 square feet)
 Number of Stories: 2 Stories
 First Story: 2,524 Square Feet
 Second Story: 700 Square Feet
 Total Area: 3,125 Square Feet
 Tenant Area: The property totaling 3,125 rentable square feet and a ±1,238 square foot exterior space

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- A110 NOISE MITIGATION

VICINITY MAP WITH NEARBY TRANSIT STOPS



PROPERTY CONTACTS

Owner
 Name: Chandrakant Shah
 Address: 694 Santa Ynez St, Sunnyvale, CA 94085
 Phone: 408-733-1328
 Email: ckshah@sundowner.com

Tenant's / Applicant's
 Name: Meshal Joe, Roberto Bustillos, Luis Lozada
 Phone: 650-390-7382
 Email: info@lombarddoggydaycare.com

Representative / Preparer
 Name: Amy Vogler
 Phone: 619-606-8688
 Email: amy.designmind@gmail.com

Representative / Preparer
 Name: Mohammed yasir khan
 Phone: 700-009-4711
 Email: myk.y.21@gmail.com

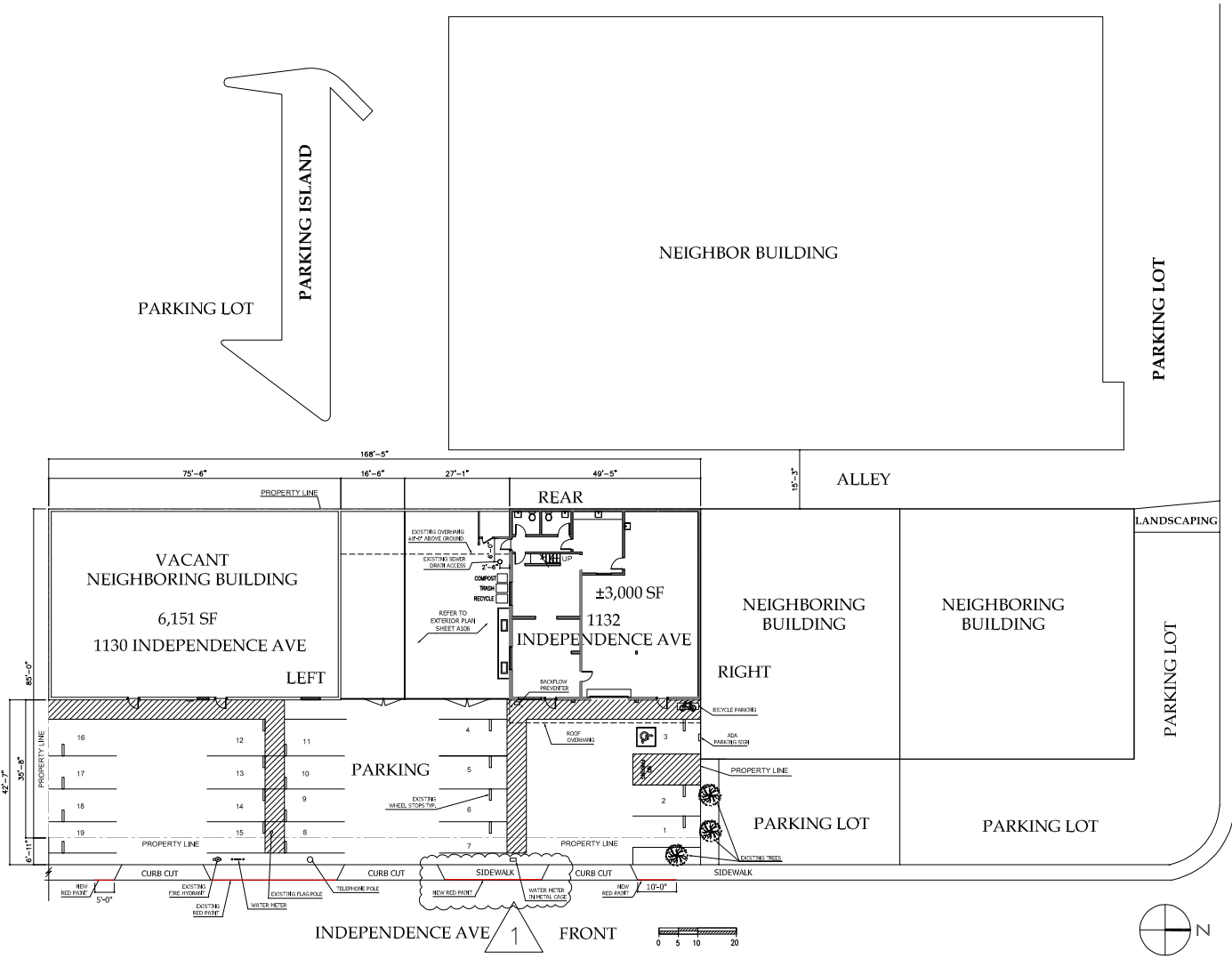
SCOPE OF WORK

The project proposes to convert the existing commercial/office space at 1132 Independence Ave into a dog daycare and overnight boarding facility. No exterior or interior structural modifications are proposed. Demolition of an existing wood structure mezzanine under a separate permit. All improvements are limited to interior, non-structural partitions, finishes, and operational setup for supervised dog care. The existing building footprint, restrooms, exits, and interior construction to remain unchanged; except removal of mezzanine mentioned above. Outdoor relief/play activities occur only in the existing fenced yard and are limited to 10 AM - 4pm. A Conditional Use Permit (CUP) is requested to allow operation of a dog daycare and boarding facility in accordance with the City of Mountain View requirements.



No.	Description	Date
1	Comment Revisions	05-01-26
2	Total Area Revision	05-21-26

1132 Independence Ave Dog Daycare Facility	
COVER SHEET & VICINITY MAP	
Project number	4451
Date	Dec 2025
Drawn by	Ar Yasir
Checked by	-
A101	
Scale	N/A



FEMA FLOOD ZONE MAP
The project site is located in FEMA Special Flood Hazard Zone AE (EL 11).

PARKING SUMMARY

Existing Parking to Remain - No new work
 Total Vehicle Parking Provided: 19 stalls
 Standard Stalls: 18
 Accessible Stall: 1

Required: 1 bike parking space
 Provided: 1 bike parking space (near staff entrance)

No.	Description	Date
1	COMMENT REVISIONS	05-01-26

Utility information and compliance to be addressed as a condition of the building permit.
 Tenant responsible for moving refuse bins to curb for collection service.

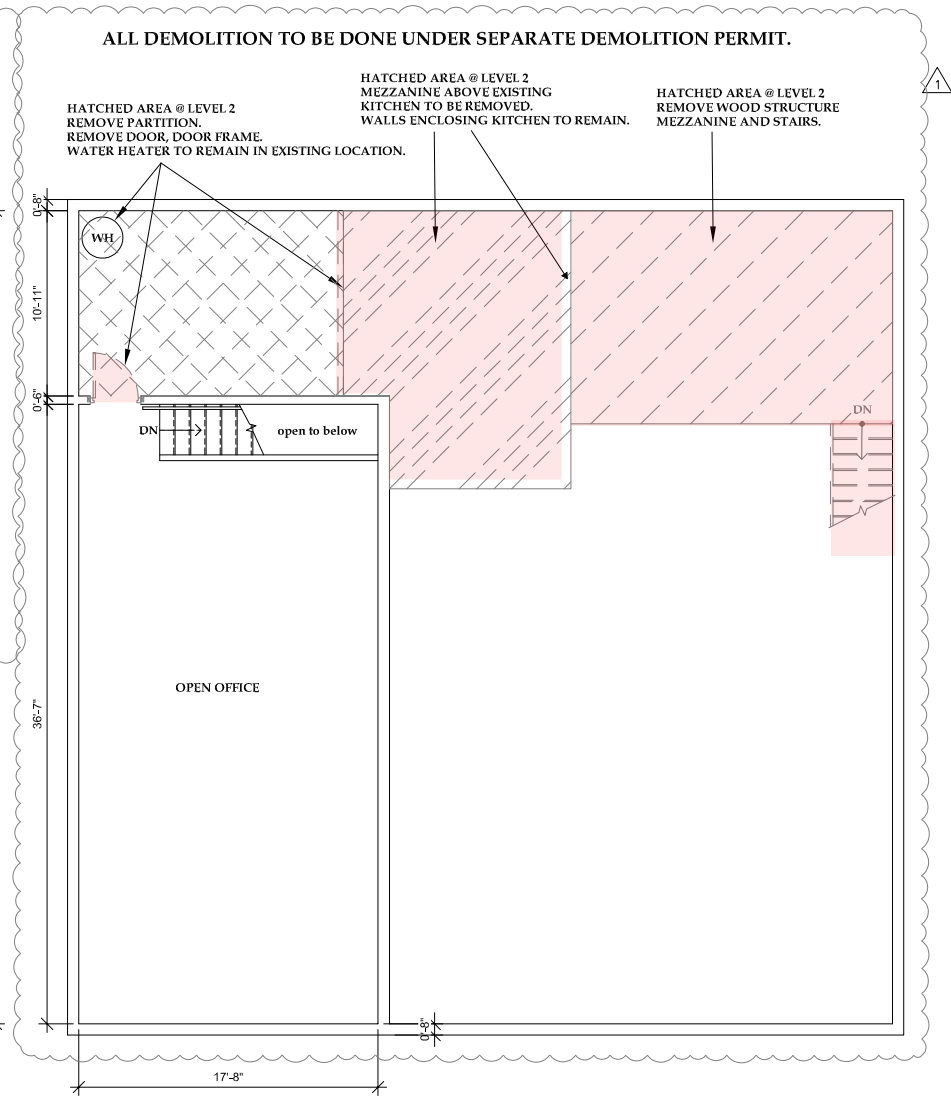
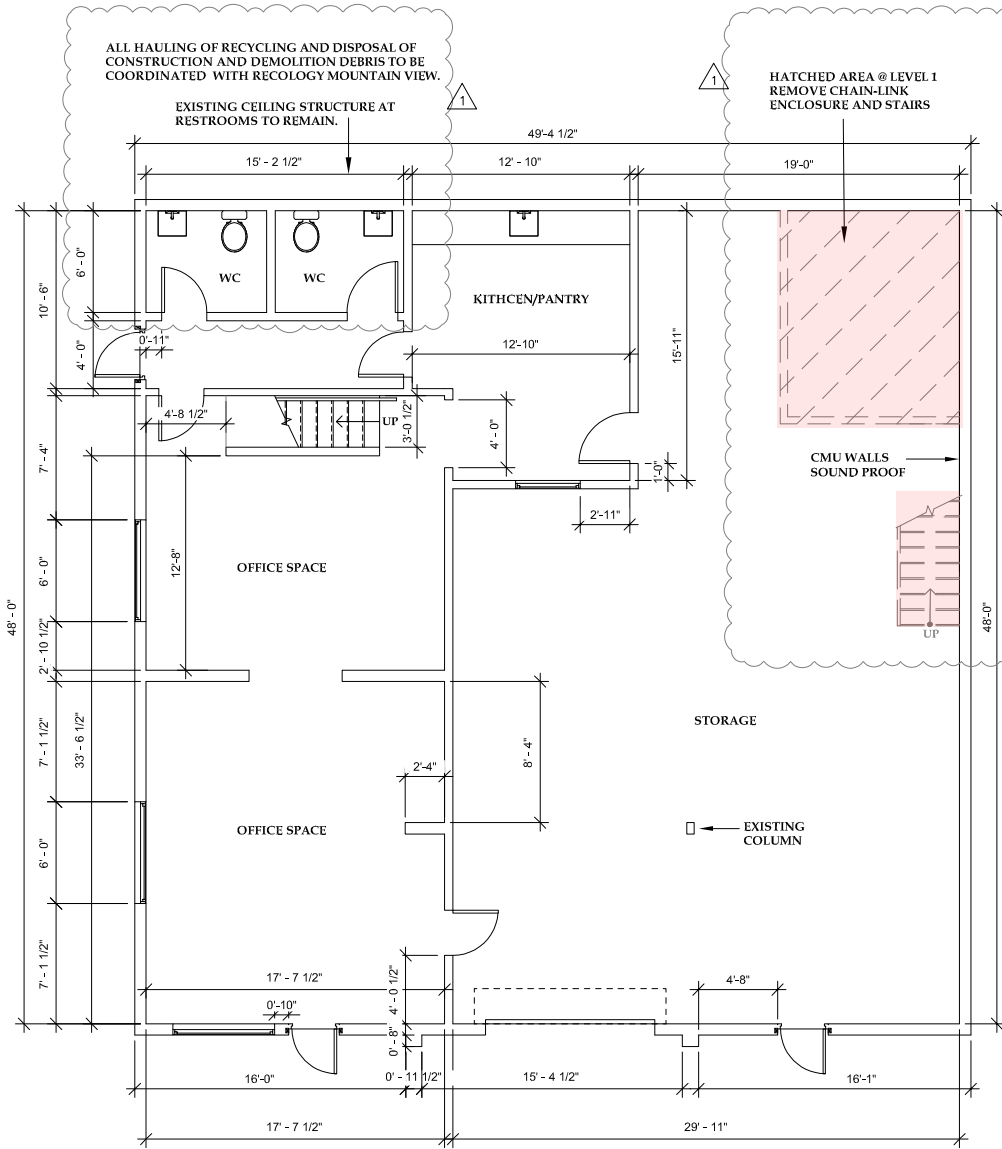
**1132 Independence Ave
 Dog Daycare Facility**

SITE PLAN

Project number 4451
 Date Dec 2025
 Drawn by Author
 Checked by Checker

A102

Scale REFER TO GRAPHIC SCALE



① EXISTING FLOOR PLAN - GROUND FLOOR
3/16" = 1'-0"

② EXISTING FLOOR PLAN - SECOND FLOOR
3/16" = 1'-0"

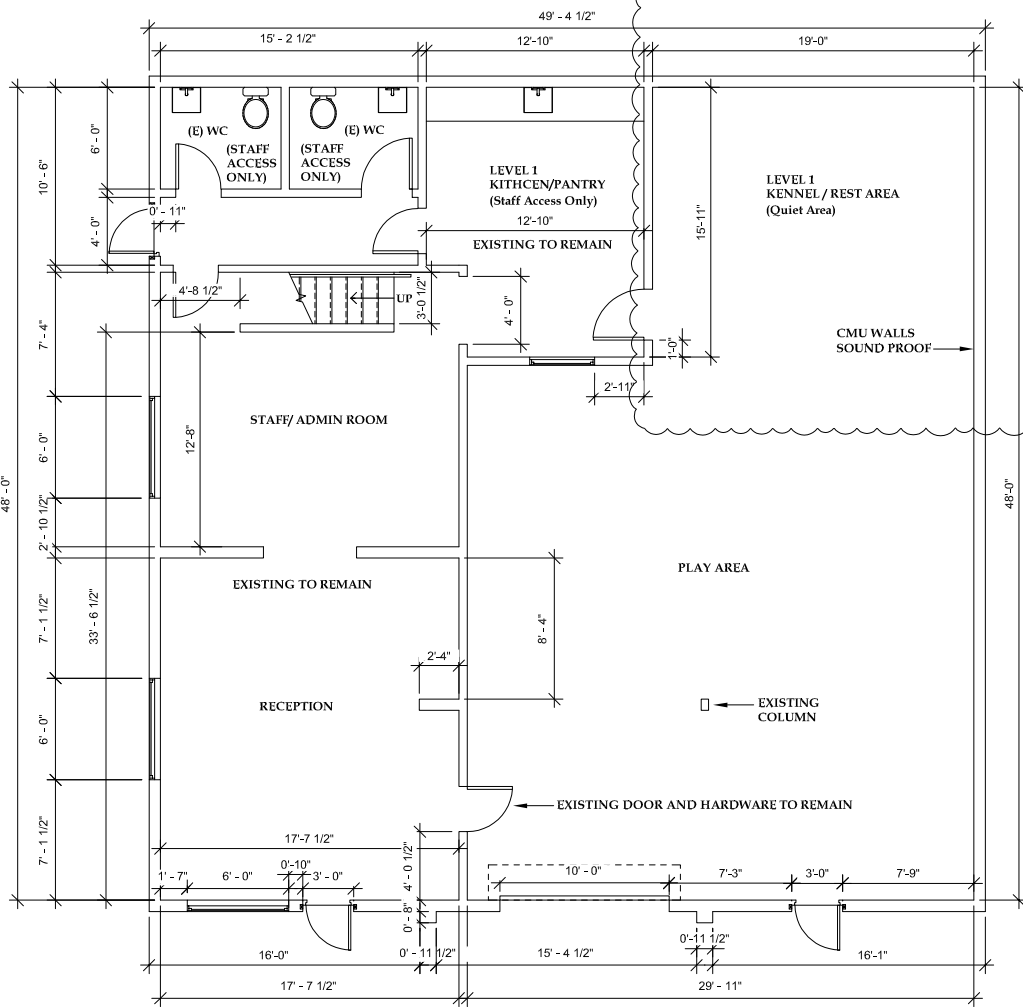
1132 Independence Ave
Dog Daycare Facility

Existing Floor Plan

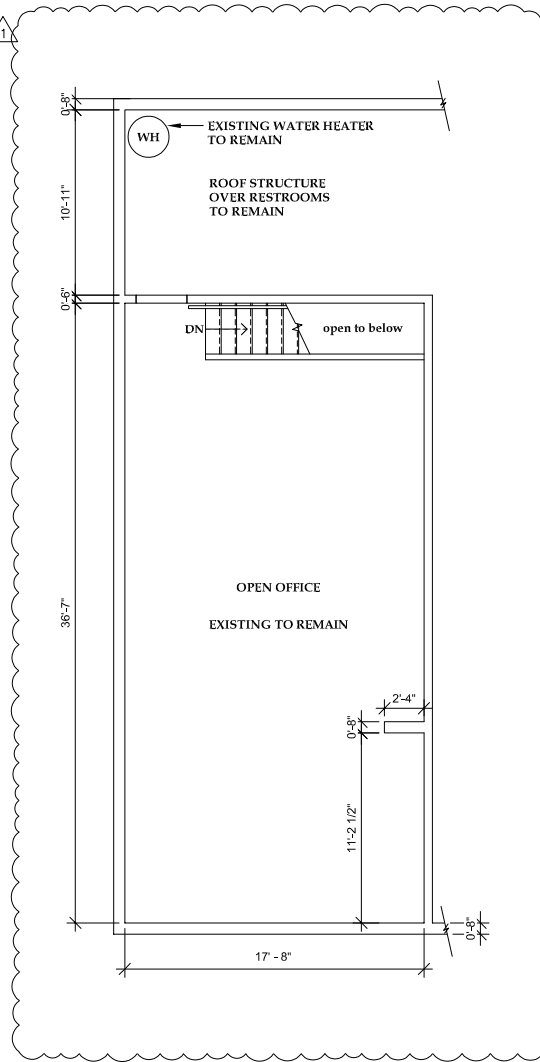
No.	Description	Date
①	Comment	05-01-26
	Revisions	

Project number	4451
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Drawn by	Author
Checked by	Checker
A104	
Scale	3/16" = 1'-0"





① PROPOSED FLOOR PLAN - GROUND FLOOR
 3/16" = 1'-0"
 NO NEW CONSTRUCTION.



② PROPOSED FLOOR PLAN - SECOND FLOOR
 3/16" = 1'-0"
 NO NEW CONSTRUCTION.

GENERAL NOTES

- 1) NO STRUCTURAL MODIFICATIONS PROPOSED.
- 2) EXISTING EXITS TO REMAIN.
- 3) EXISTING RESTROOM FUTURE COUNT UNCHANGED.
- 4) ALL INTERIOR DOG AREAS WILL HAVE SEALED, NON-ABSORBENT FLOORING.
- 5) INTERIOR AREAS TO BE CLEANED DAILY WITH WET-VAC SYSTEM BY PROFESSIONAL CLEANING SERVICE LISTED BELOW.
- 6) EXTERIOR DOG AREA TO HAVE NON-ATTACHED ARTIFICIAL FUR THAT WILL BE HOSED OFF DAILY BY PROFESSIONAL CLEANING SERVICE AS LISTED BELOW.
- 7) ALL EXTERIOR WASTE RUN OFF WILL BE DISPOSED AT EXISTING EXTERIOR SEWER DRAIN.
- 8) CLEANING SERVICE PROVIDED BY:
 Janitorial Bay Cleaners
 (650)823-2813
 janitorialbaycleaners.com

PET WASTE RUN-OFF AND ALL WASHING RUN-OFF IS REQUIRED TO BE DIRECTED TO THE SANITARY SEWER OR TRASH. NO DISCHARGES OF SUCH WASTE ARE PERMITTED TO BE DIRECTED TO THE STORM DRAIN SYSTEM, INCLUDING SIDEWALK, CURB, GUTTER, ETC.

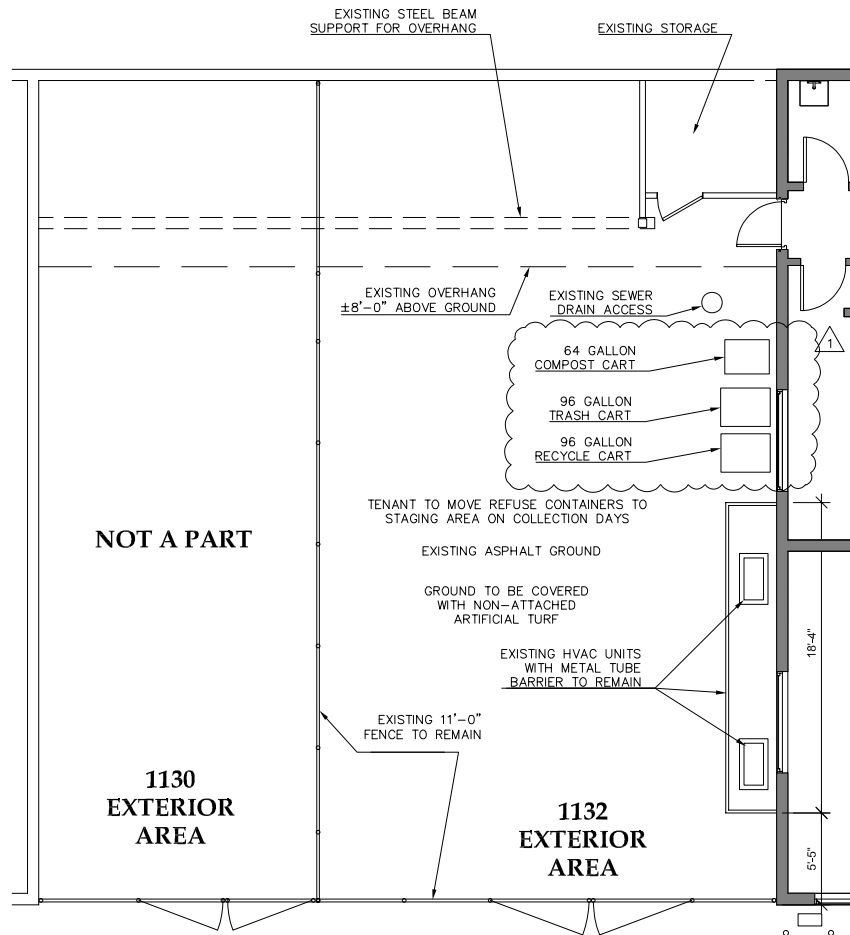
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1132 Independence Ave
 Dog Daycare Facility

Proposed Floor Plan

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A105	
Scale	3/16" = 1'-0"





EXTERIOR PLAN NOTES

EXISTING ASPHALT GROUND TO BE COVERED WITH NON-ATTACHED ARTIFICIAL TURF THAT WILL BE HOSED DOWN AND CLEANED BY A PROFESSIONAL CLEANING SERVICE WHO SPECIALIZES IN THIS SERVICE FOR PET FACILITIES.

PET WASTE RUN-OFF AND ALL WASHING RUN-OFF IS REQUIRED TO BE DIRECTED TO THE SANITARY SEWER OR TRASH. NO DISCHARGES OF SUCH WASTE ARE PERMITTED TO BE DIRECTED TO THE STORM DRAIN SYSTEM, INCLUDING SIDEWALK, CURB, GUTTER, ETC.

ALL WASTE CLEANED FROM EXTERIOR SPACE WILL BE DISPOSED OF AT EXISTING SEWER DRAIN ACCESS AS SHOWN ON PLAN.

CLEANING SERVICE PROVIDED BY:
Janitorial Bay Cleaners
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janitorialbaycleaners.com

EXISTING FENCE TO REMAIN AS IS, WHICH IS AN 11'-0" TALL CHAIN LINK FENCE WITH DARK WOOD-LOOK PRIVACY SLATS.



EXISTING CHAIN-LINK FENCE WITH PRIVACY SLATS TO REMAIN THROUGHOUT

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**1132 Independence Ave
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Proposed Exterior Plan

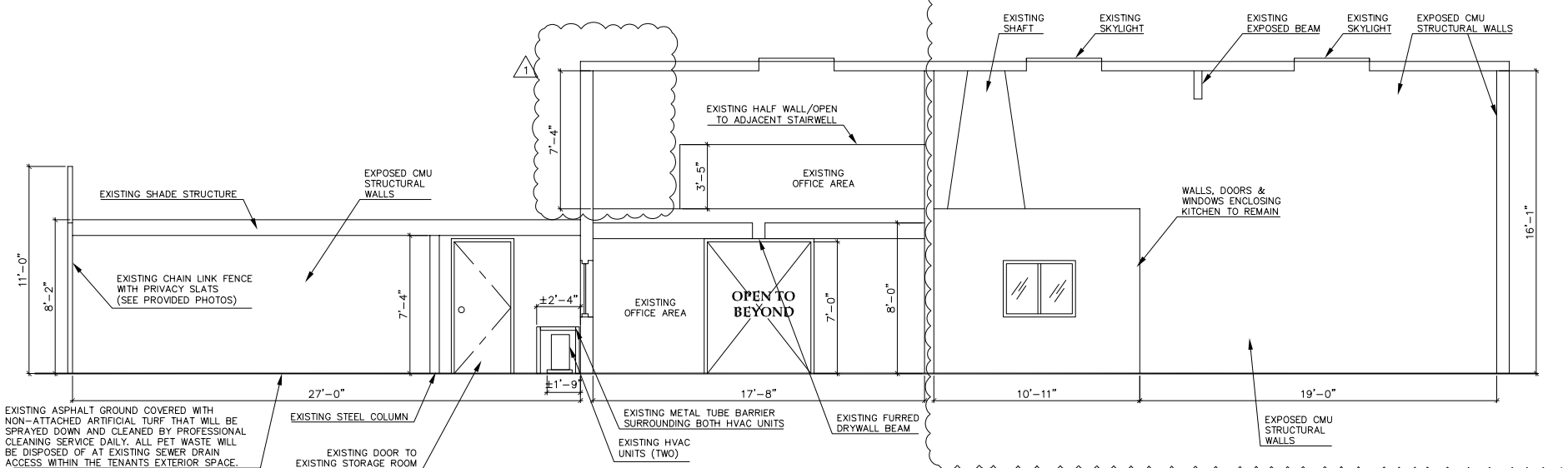
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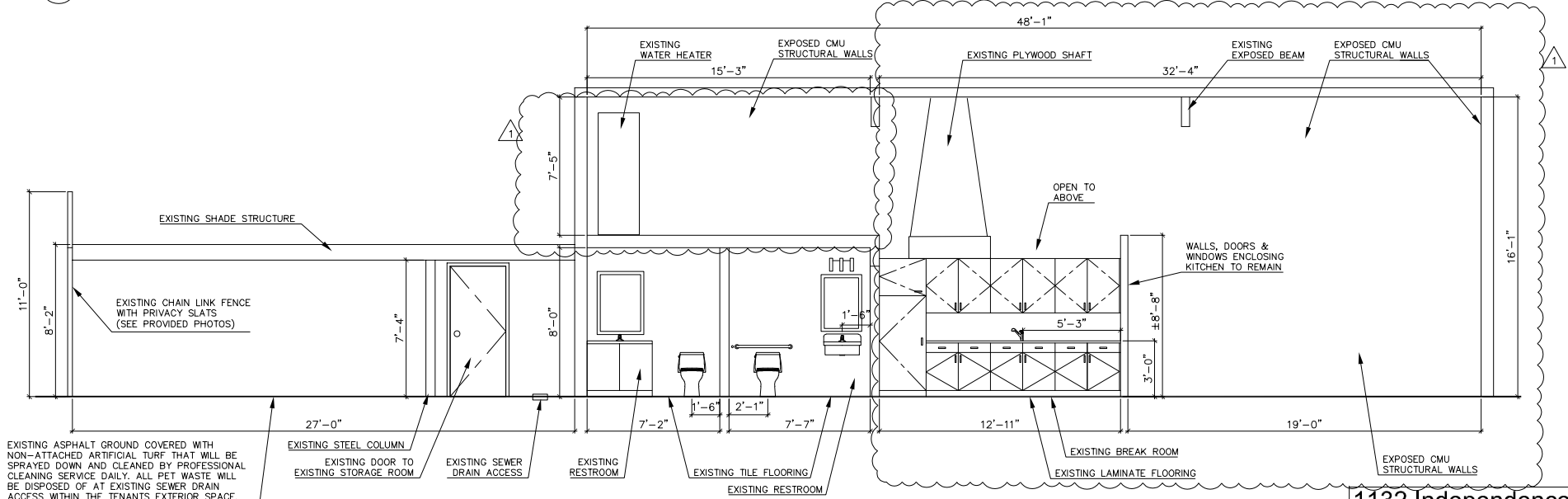
Scale 3/16" = 1'-0"

1 1132 UNIVERSITY PROPOSED EXTERIOR PLAN
3/16" = 1'-0"

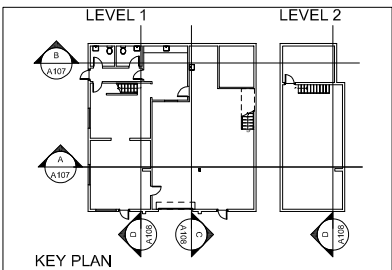




A WEST, SECTION VIEW
1/4" = 1'-0"



B WEST, SECTION VIEW
1/4" = 1'-0"



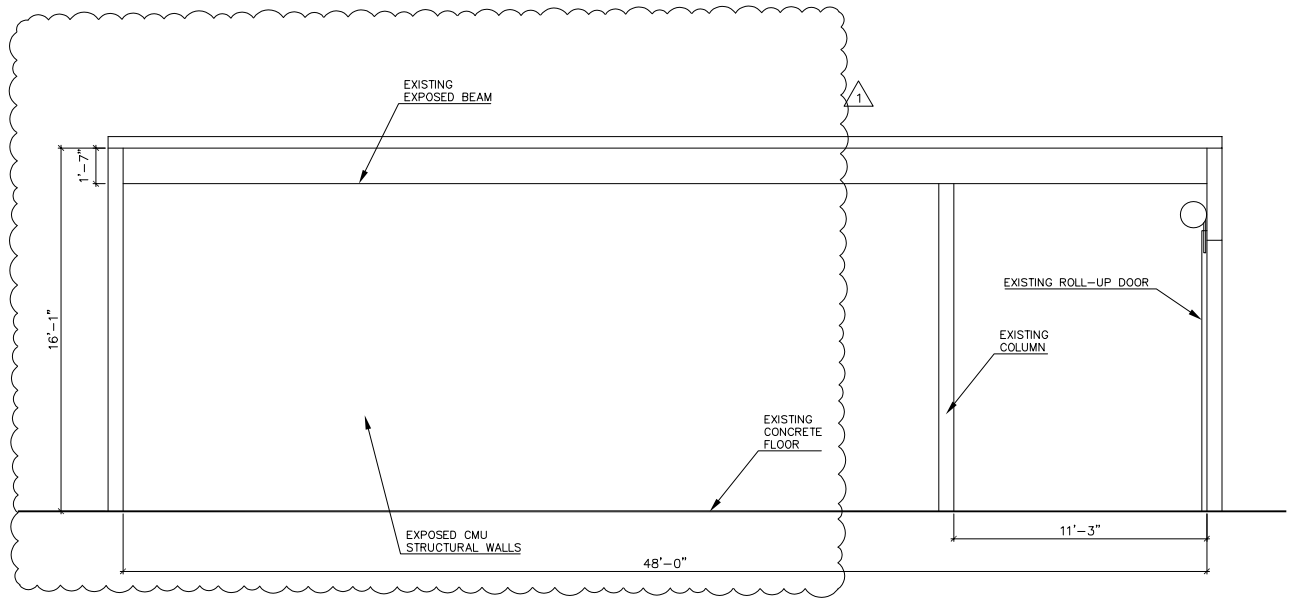
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**1132 Independence Ave
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Building Section Views**

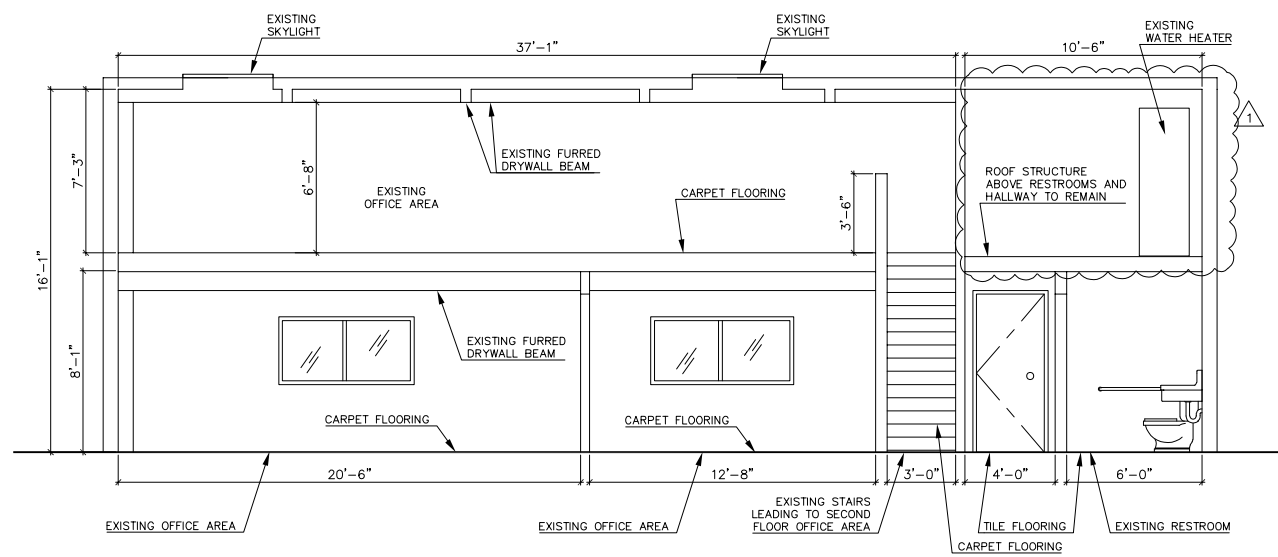
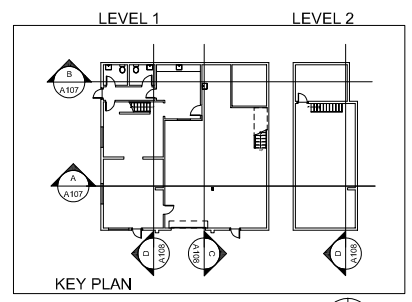
Project number 4451
Date Dec 2025
Drawn by Author
Checked by Checker

A107

Scale 1/4" = 1'-0"



C NORTH, SECTION VIEW
1/4" = 1'-0"



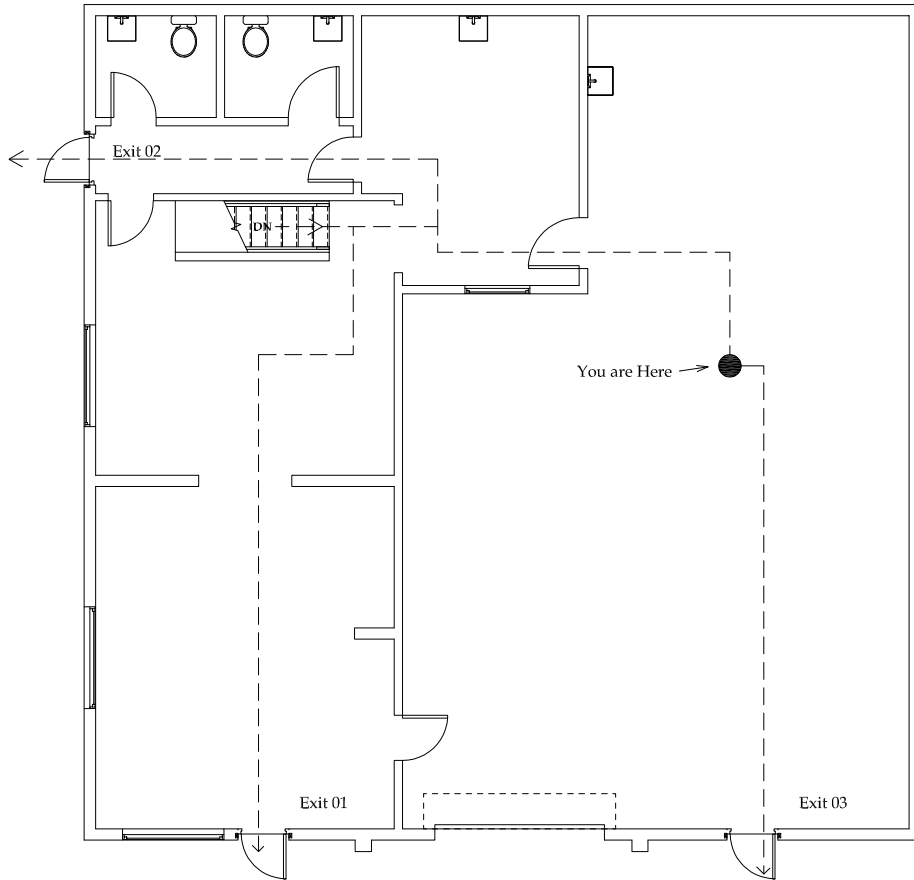
D SOUTH, SECTION VIEW
1/4" = 1'-0"

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**1132 Independence Ave
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Building Section Views**

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A108	
Scale	1/4" = 1'-0"

Existing Fire Extinguishers to remain per CBC Sec. 906.



MEANS OF EGRESS NOTES:

1. Three exits provided: Exit 01, Exit 02, Exit 03.
2. Maximum travel distance to nearest exit < 75 ft (compliant with CBC Chapter 10).
3. Doors swing in the direction of egress travel.
4. No modifications to existing exit hardware or width.
5. Exit discharge leads directly to exterior and public way.
6. Egress paths maintained clear of obstructions.
7. Existing exit signage and emergency lighting to remain.

OCCUPANT LOAD SUMMARY (CBC Table 1004.5):

Business Use (Dog Daycare) @ 100 sq.ft./occupant:
 Total Area ≈ 3,000 sq.ft. / 100 = 30 occupants (less than 50)
 Two exits required - three provided.

① FIRE ESCAPE PLAN
 3/16" = 1'-0"



STORMWATER COMPLIANCE STATEMENT

This project is a tenant improvement only. No exterior work, no site grading, and no changes to impervious surface area are proposed.

All existing roof drainage, downspouts, gutters, and site stormwater infrastructure remain unchanged.

No new paved areas, landscaping modifications, or stormwater treatment features are required for this project per City of Mountain View standards.

This project does not trigger C.3 stormwater requirements because:

1. Proposed impervious area added = 0 sq.ft.
2. Total disturbed area = 0 sq.ft.
3. No exterior construction, trenching, or utility changes are proposed.

Therefore, the existing stormwater management system will remain in use and continues to meet applicable city and regional stormwater requirements.

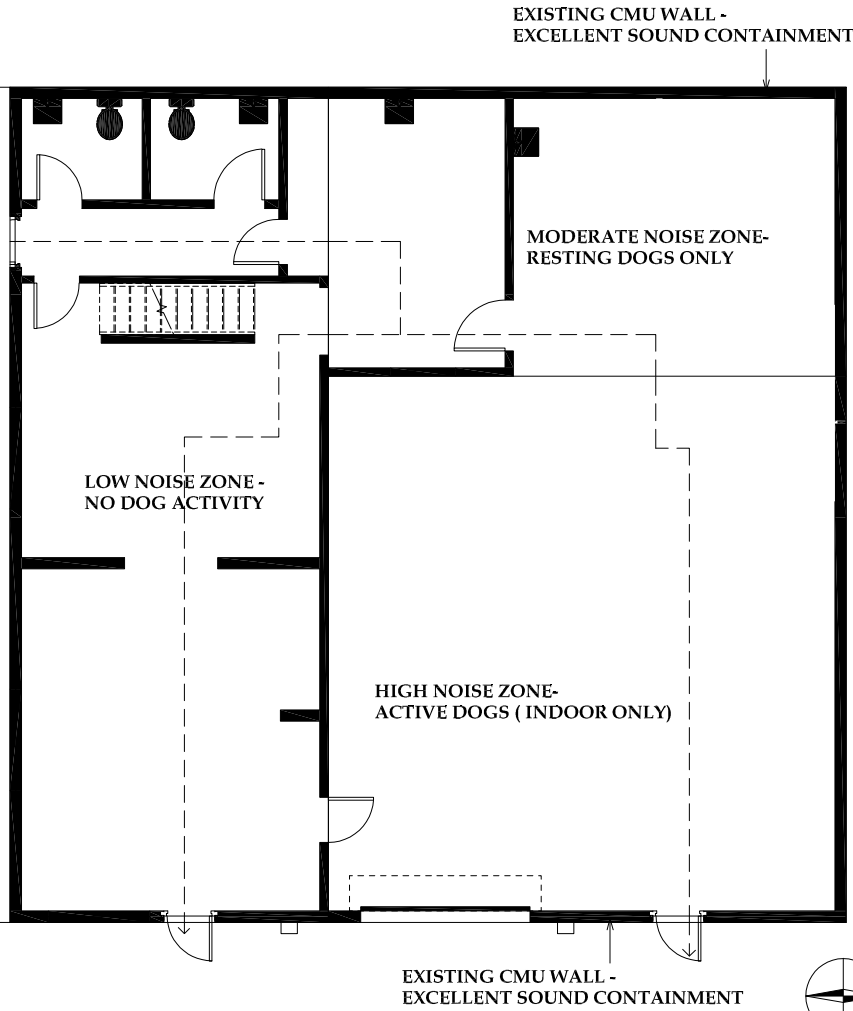
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**FIRE ESCAPE AND
 STORMWATER**

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A109	
Scale	3/16" = 1'-0"

“Outdoor Relief Area – Limited to 10AM–4PM”



① NOISE MITIGATION PLAN
3/16" = 1'-0"

1. Indoor Play Area Sound Containment

All active dog play occurs indoor only.
Existing CMU (concrete block) exterior walls provide substantial noise reduction.
Existing roof and ceiling assembly remains unchanged.

2. Outdoor Relief Area Limits

Outdoor area is used only for supervised short breaks, not prolonged play.
Outdoor use is limited to 10:00 AM - 4:00 PM to minimize neighborhood impact.
Outdoor area is fully enclosed by existing 6'-0" chain-link fencing.

3. Operational Noise Control

Dogs are supervised by trained staff at all times.
Excessive barking is managed immediately.
Groups are separated based on temperament and size.
Dogs are transitioned through controlled entry gates to avoid overstimulation.

4. Building-Based Noise Control

No exterior openings are modified.
All exterior doors remain closed during operation except for controlled entry/exit.
Flooring will be upgraded to sealed, non-absorbent surfaces which reduce noise from foot traffic.

5. Administrative Controls

No activities occur outdoors before 10 AM or after 4 PM.
No overnight outdoor use.
No amplified sound, music, or loud equipment is used.

6. Neighbor Protection

Nearest residential uses are not directly adjacent on property line.
Outdoor relief area is located on the side yard, buffered from street and neighbors.
All trash/waste bins are closed and sealed to avoid noise from animals.

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NOISE MITIGATION

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A110	
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