



# COUNCIL REPORT

**DATE:** October 8, 2024  
**CATEGORY:** Public Hearing  
**DEPT.:** Community Development  
**TITLE:** **Mixed-Use Addition at 194-198 Castro Street**

## **RECOMMENDATION**

Adopt a Resolution of the City Council of the City of Mountain View Approving a Planned Community Permit, Development Review Permit, and Historic Preservation Permit to Construct a Three-Story, 5,733 Square Foot Building Addition with a Roof Deck Adjacent to an Existing Two-Story, 7,608 Square Foot Historic Building with Office and Ground-Floor Restaurant, and a Provisional Use Permit to Allow an Administrative Office Use on the Upper Floors of a Commercial Building on a 0.14-Acre Project Site at 194-198 Castro Street, to be read in title only, further reading waived (Attachment 1 to the Council report). The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15332 (“In-Fill Development”) and 15331 (“Historic Resource Restoration/Rehabilitation”).

## **BACKGROUND**

Project Location: 194-198 Castro Street (APN 158-15-013), on the northwest corner of Castro Street and Villa Street.

Project Site Size: Approximately 0.14 acre.

General Plan Designation: Downtown Mixed-Use.

Zoning Designation: P(19) Downtown Precise Plan.

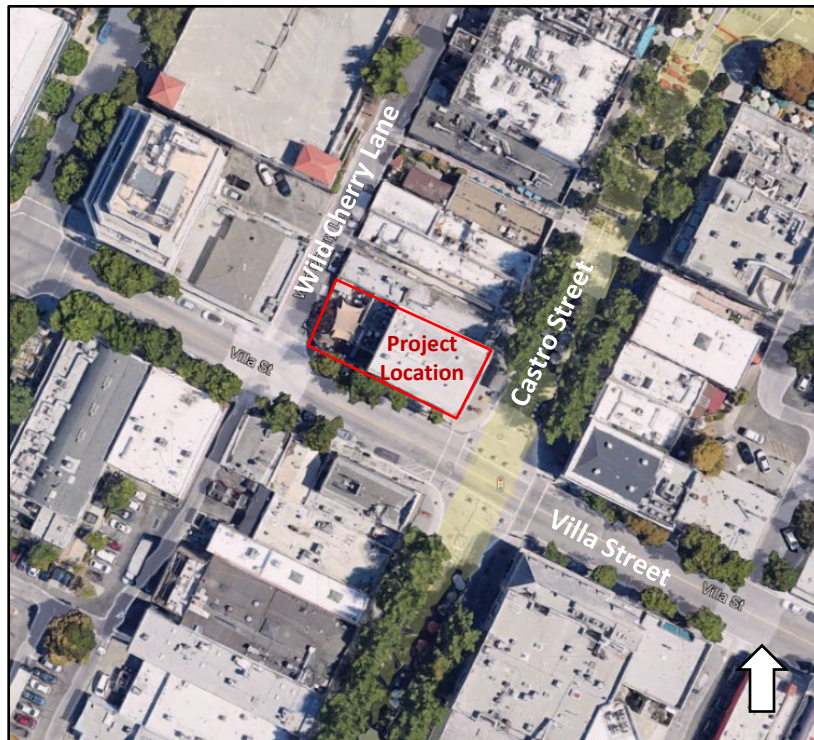
Surrounding Land Uses:

- North—one-story restaurant building at 186 Castro Street (La Fontaine);

- South (across Villa Street)—one-story commercial buildings and a two-story mixed-use building (Odd Fellows Lodge); and
- East (across Castro Street)—two-story mixed-use building at 191 Castro Street with a ground-floor restaurant (Eureka) and second-floor office spaces; and
- West (across Wild Cherry Lane)—two-story mixed-use building with a bubble tea shop, beauty spa, massage parlor, and hair salon with a stepped-back second floor with unknown uses.

Current Site Conditions: Two-story historic building (“Jurian Building”) with outdoor patio dining.

Applicant/Owner: Chee-Yee Chong, Hanson America, LLC.



**Figure 1: Location Map**

### **Project Overview**

The applicant is proposing a three-story addition attached to the existing two-story historic Jurian Building. The proposed project includes an addition to the building by replacing the outdoor patio area and nonhistoric single-story portion of the existing building facing Villa Street. The upper floor would consist of 2,234 square feet of administrative office space, and the ground floor would consist of 2,128 square feet of retail space, trash room, bike parking, restrooms,

circulation areas, and a public elevator (see Attachment 2, Project Plans). The 1,371 square foot third-floor office is stepped back from the lower street/alley-facing facades, providing an 889 square foot deck. The site improvements include an entry alcove at the Wild Cherry Lane and Villa Street corner and removal of two non-Heritage trees as discussed later in this report.

## **Prior Meetings and Hearings**

### **Neighborhood Meeting**

The applicant held an in-person community meeting on June 29, 2023 to introduce the project and seek project feedback. One member of the public attended the meeting and expressed support for the project.

### **Design Review**

The project design was reviewed at a Development Review Committee (DRC) meeting on December 6, 2023. The DRC provided design input to achieve greater compliance with Precise Plan direction for the historic downtown and Secretary of Interior Standards (SOIS) as well as general guidance to enhance entry design, details, and colors and materials. No members of the public spoke at the meeting.

Subsequently, the applicant has worked with staff to refine the project design and incorporate the design comments to address guidelines in the Downtown Precise Plan SOIS with particular focus on introducing a massing break along Villa Street to distinguish the proposed addition from the historic building, enhancing the ground-floor treatment through a modified corner entry approach and storefront window design, and aligning better the upper-floor windows to the window systems of the existing building.

Based on the DRC review, staff is recommending a condition of approval (COA No. 26) to address the following remaining design refinements which will be reviewed as part of the building permit, which the applicant has agreed to comply with:

- Revising the ground-level retail tenant space to more strongly delineate the location, enhance entry detailing, and separate the retail tenant space from the adjacent alley;
- Refining upper-floor windows/door locations and proportions to better align with the top two floors and to improve the symmetry, proportion, and alignment of upper-floor windows on the alley (west) facade;
- Refining the second-floor window and wall detailing, including trim band widths/locations, for more consistency between the addition and existing building; and

- Design changes to the pilasters through height reductions, finish, and materiality to deemphasize the bulk and prominence of the pilasters for better cohesion with the existing historic building.

### Administrative Zoning Meeting

The development project was reviewed by the Zoning Administrator at a public hearing on August 14, 2024, where the project was recommended for approval to the City Council. No members of the public spoke on the item at the hearing, and no public comment was received prior to the meeting.

## ANALYSIS

### General Plan

The site has a General Plan Land Use Designation of Downtown Mixed-Use, which encourages “an active mix and concentration of uses and public spaces in a main street setting, including restaurants, offices, government services, housing, entertainment, and neighborhood-serving commercial uses.”

The proposed project is consistent with the General Plan’s vision for the area, which includes allowing a range of commercial uses, and promotes the following General Plan policies:

- **LUD 6.1—Neighborhood character.** Ensure that new development in or near residential neighborhoods is compatible with neighborhood character.

*The project proposes a three-story commercial building with an active ground-floor retail use that helps support the surrounding commercial uses in the area. The transitional architecture utilizes materials that are compatible with the historic buildings in the neighborhood.*

- **LUD 7.1—Downtown.** Promote downtown as a daytime and nighttime center for social, entertainment, cultural, business and government activity.

*The project proposes retail and office uses to help create an active downtown and is consistent with surrounding uses.*

- **LUD 7.3—Human-scaled building details.** Support new and renovated downtown buildings that include human-scaled details such as transparent windows on the ground floor that face the street, awnings, and architectural features to create a comfortable and interesting pedestrian environment.

*The project design includes transparent storefront windows on the ground floor, metal awnings, character changes in the form of massing breaks, upper-floor step-backs, and other architectural features to create a comfortable and interesting pedestrian environment.*

- **LUD 7.5—Compatible uses and design.** Ensure compatible uses and building design downtown along the boundaries between residential and commercial areas.

*The retail and office uses are compatible with the downtown area and the design of the addition to the existing structure maintains the integrity of the historic resource.*

- **LUD 11.1—Historical preservation.** Support the preservation and restoration of structures and cultural resources listed in the Mountain View Register of Historic Resources, the California Register of Historic Places, or National Register of Historic Places.

*The project proposes a three-story rear addition that is both differentiated and compatible with the existing historic building it will be attached to, with a proportion, scale, and exterior materials that maintain the historic resource in a manner consistent with the Secretary of the Interior’s Standards for Rehabilitation. The addition is designed such that it only requires the demolition of portions of the rear wall of the historic building, which had been previously altered and no longer contains any character-defining features. The proposed addition will serve to complement the original characteristics of the existing building, and the historic building maintains the features, design, and context that make it significant for its Mission Revival architecture.*

- **LUD 9.4—Enhanced pedestrian activity.** Ensure commercial development enhances pedestrian activity through these strategies (implemented by the proposed project):
  - Encourage the first level of the building to occupy a majority of the lot’s frontage, with exceptions for vehicle and pedestrian access.
  - Allow for the development of plazas and dining areas.
  - Encourage the majority of a building’s ground-floor frontage to provide visibility into the building by incorporating windows and doors.
  - Require that ground floor uses be primarily pedestrian-oriented.
  - Ensure pedestrian safety and access when designing parking areas and drive-through operations.
  - Minimize driveways.

*The project design includes the following strategies that comply with the enhanced pedestrian activity: ground-floor area built to the back of the sidewalk, a ground-floor retail use, incorporating as much glazing as feasible along the street frontage to provide visibility into the building’s retail space, and providing off-street improvements to Wild Cherry Lane to increase pedestrian safety.*

**Zoning**

The project site is located within the P(19) Downtown Precise Plan (DTPP) Zoning District, Area H (the Historic Retail District). A critical development objective in this area includes the enhancement of Castro Street as a lively pedestrian spine with continuous active retail and restaurant uses. Another key component of the development strategy in Area H is to reinforce this continuity and strengthen the pedestrian environment by requiring all new development to provide active ground-level uses. The proposed uses are consistent with Area H’s policy of providing active ground-level uses, which extends the existing active use from Castro Street to the side along the Villa Street frontage.

The project is consistent with the permitted ground-floor retail use and provisionally permitted upper-floor office uses for Area H. The proposed floor plan layout supports the Precise Plan’s policy of providing active ground-level uses by locating the retail space along Villa Street.

The project also substantially complies with the applicable Precise Plan development requirements for the site in Area H as shown in Table 1 below:

**Table 1: Compliance with Area H Development Standards**

Standard	Requirement	Proposed
Height	Maximum 50’	37’2”
Floor Area Ratio (Office only)	Maximum 2.75	1.15
Upper-floor step-back	Minimum 10’ above 40’ height	(Not required, under 40’) 10’ step-back on third floor
Ground-floor height	Minimum 10’	13’2” (Approximately)
Retail space depth	Minimum 40’, but the Zoning Administrator may allow shallower commercial spaces where development is constrained by parcel dimensions or necessary improvements, such as trash rooms or exiting.	23’10” (discussed below) due to entry vestibule, public elevator locations, and lot size constraints.
Build-to line	Back of proposed sidewalk	Back of proposed sidewalk
Maximum Building Length	125’ along Castro Street frontage	50’

<b>Standard</b>	<b>Requirement</b>	<b>Proposed</b>
Massing break/character change and roof change	Maximum 75', minimum 4' deep and 10' wide	Massing break at 36', 4' deep and 10' wide
Ground floor articulation frequency	Maximum 25'	Up to 7'2"
Ground-floor transparency	Minimum 45% (along Villa Street)	Approximately 53.2%
Base Design	Maximum base height: 30" Projection of base: 6"	Base height: 24" No projection
Street-Facing Canopies	Maximum extension over sidewalk: 6' Minimum vertical clearance: 8'	Extension: 2' Vertical clearance: 8'11"
Entrances	Minimum recess 3' deep x 6' wide	8'7" x 8'7"
Parapet Roof Cap	6" deep x 6" tall	3-3/4" deep x 9" tall
Upper-floor window dimensions	Maximum 9' width Minimum 12" apart Width-to-height ratio: 2:3 Minimum 2" inset	6'2" width 3'0" to 6'8" apart Width-to-height ratio: 2:3 2" inset
Materials	Primary material with traditional appearance, such as stone, brick, stucco, or wood.	Smooth and textured pebble-dash stucco, horizontal cement board, porcelain pilaster tile, metal architectural elements. Meets the requirement.

While the project substantially complies with the development standards and guidelines of the DTPP, the proposed project requires a deviation from the minimum retail depth, which is a standard that can be deviated from in commercial spaces where development is constrained by parcel dimensions or necessary improvements. In this case, staff recommends approval of the 23'10" retail depth (instead of the 40' required) since the reduced depth is needed to accommodate the location and requirements for solid waste, entry vestibule, stairwell, elevator, and other circulation areas. Additionally, the project proposes a parapet cap of 3'-3/4" deep and 9" tall (where a minimum 6" deep and 6" tall is required), which is intentionally thinner than the standard but is intended to be more consistent with the parapet trim of the historic Jurian Building. Departures from the established development standards are allowed within the DTPP when the proposed design can maintain the essential integrity and character of the plan area while providing necessary improvements and in a constrained parcel condition. Staff recommends granting approval of the reduced-retail depth and parapet trim dimensions because the project necessitates this deviation to ensure a functional floor plan, compatibility with the existing building, and it substantially adheres to all other DTPP requirements.

### **Proposed Site Plan**

The proposed project includes a three-story addition attached to the existing two-story historic Jurian Building (the addition is proposed horizontally, resulting in a three-story building with a larger footprint). As the DTPP Area H development standards require that developments be built to the back of the sidewalk, the addition is proposed nearly entirely within the footprint of the

existing outdoor patio area which extends to the back of sidewalk. A corner entry alcove for the ground-floor retail space is located at the southwest corner of the site, along Villa Street and Wild Cherry Lane. The space features decorative tiling and a low wall parallel to the alley to further frame the entry and provide better usability and protection against vehicular traffic for pedestrians. An additional alcove serves as the entry to the office elevator and stairwell and provides an additional massing break extending up through the height of the building. The trash room and a rear entry to the back of house are accessible from Wild Cherry Lane.



Figure 2: Site Plan

## Architecture and Design

### Historic Assessment

The existing historic building (“Jurian Building”) was originally built in 1913 as a two-story, dual-storefront commercial building with a Mission Revival architectural style. Several design modifications have been made throughout the building’s history, including an approximately 620 square foot, one-story addition, built between 1921 and 1943. A low stucco wall with decorative spiraled metal railing between the posts and metal column light fixtures was built around the rear courtyard in 2000. The upper floor was converted to office space in 1983 and is currently used for administrative office purposes. A restaurant, currently Agave Mexican Bistro, has occupied the lower level since 2012 and utilizes the enclosed courtyard as outdoor dining.

Per Mountain View City Code (MVCC) Section 36.54.90, properties that are eligible for listing in the California or National Register and require a discretionary Historic Preservation Permit shall be reviewed by the City Council to determine substantial compliance with the U.S. Secretary of the Interior’s Standards (SOIS) for the Treatment of Historic Properties. The applicant submitted a Historic Resource Assessment (HRA) prepared by Archives and Architecture, LLC, which found



that the Jurian Building meets the criteria for local, state, and national register eligibility as a historic property.

Typically, one set of standards (Preservation, Rehabilitation, Restoration, and Reconstruction) is chosen for a project based on the scope. For the purposes of this project, the Standards for Rehabilitation, which “acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building’s historic character,” are the appropriate Standards for the proposed project’s scope.

The applicant submitted an HRA prepared by Archives and Architecture, LLC, received by Planning on June 21, 2023, and the City retained Page & Turnbull to conduct an HRA peer review and an SOIS compliance-analysis memorandum dated July 18, 2024 (Attachment 3). Page & Turnbull’s analysis concludes that the proposed project would not alter physical characteristics of the historical resource that convey its historical significance. The three-story addition is both differentiated and compatible with the existing historic building with the proportion, scale, and exterior material that maintain a historic resource in a manner consistent with the SOIS for Rehabilitation. The addition is designed such that it only requires the demolition of portions of the rear wall of the historic building, which had already previously been altered and no longer contains any character-defining features. New rooftop solar panels and venting on the existing roofline would not compromise the overall form of the building and could be removed in the future without damage to the overall form and character of the building. As such, the Jurian Building will continue to express the features, design, and context that make it significant for its Mission Revival architecture.

### Building Design

The proposed three-story building addition contains a ground-floor retail space and upper levels with administrative office space. The third-floor office space is stepped back from the lower street/alley-facing facades, providing an 889 square foot roof deck. The design of the proposed addition is intended to complement, but not match, the historic Jurian Building. The addition has a smooth stucco finish to the primary walls and other stucco palettes and finishes to complement the historic building. Smooth-finish porcelain tile pilasters extend from a beveled rectangular-ceramic vertical-tile base at the ground level and terminate before the third-floor deck. The ground floor features a storefront system with additional transom/clerestory windows along Villa Street and Wild Cherry Lane. Metal awnings extend over the primary retail entry and storefront on Villa Street, and a 24” tall metal-panel base is proposed below the storefront windows. A new elevator and stair entry lobby is inset within an alcove, which extends up to the top floor to provide a massing break consistent with the DTPP design standards and serves to delineate the new addition from the Jurian Building.

The second-story walls feature a coarse pebble-dash finish between the second-floor windows in a slightly darker color encompassed by two horizontal stucco-clad trim bands at the second-

story window header and sill lines in line with the second-floor windows of the historic building. The third-story office space is clad in horizontal cement board siding to resemble the board-formed concrete surface at the existing north- and west-facing parapet walls and features large floor-to-ceiling door and window systems along the south and west elevations. The space is stepped back between 6" and 10" from the edge of the first- and second-floor building wall to better integrate with the scale of the neighborhood and existing building. An outdoor roof deck is provided at the top-floor office space within this step-back area and includes stormwater planters and outdoor furniture, protected by a low stucco wall/parapet and decorative metal guardrail.



**Figure 3: Building Elevation at Southwest Corner of Villa Street and Wild Cherry Lane**

As noted earlier, based on DRC review, staff is recommending approval of the project conditioned upon additional minor refinement to the building architecture to be addressed with the building permit.

### **Open Space and Trees**

#### **Open Space**

While nonresidential developments under the DTPP are not required to provide open space, the proposed project provides a small 889 square foot roof deck for the future office tenants and aligns with the minimum size and width specifications outlined in the DTPP for projects that are obligated to provide open space. The roof deck area is greater than 30% of the new addition area (approximately 39%) and is 10' wide. The roof deck design includes more than 75% native landscaping, modular planters, bioretention areas, and a variety of outdoor furniture (a mix of movable tables and chairs, fixed lounge tables and stools, and patio umbrellas for shading).

## Trees

There are seven non-Heritage trees on the project site, including two existing flowering plum trees located in the outdoor patio area and five street trees. The two flowering plum trees are in good condition but are proposed to be removed due to their location and conflict with the proposed building envelope. The proposed tree removals were reviewed by the applicant's arborist and the City arborist for their ability to be transplanted elsewhere off-site, but were found to be unsuitable for transplanting due to lot constraints and required building envelope requirements.

There are five street trees located along the project site: four trees (one tulip poplar and three Chinese pistache) along Villa Street and one tree (London plane) along Castro Street. Construction impacts to the street trees along Villa Street are anticipated to be low to moderate (no impacts anticipated to the London plane tree along Villa Street), with tree protection fencing required during construction. However, one of the four trees (a Chinese pistache) along Villa Street is proposed for removal due to its poor condition and its proximity to the construction and is proposed to be replaced with a new 24" box tree of the same species in the same general location after construction. Refer to Attachment 4 (Arborist Report).

The on-site and street trees were reviewed by the applicant's arborist and the City arborist. Both arborists reviewed the viability of retaining the trees, in and adjacent to the project site, and concur with the reasoning for the proposed removals.

## **Transportation and Parking**

The project site is located within one-half mile of a major transit stop (Mountain View Transit Center) and within the Downtown Parking District. If parking were required on the site, 11 total spaces would be required for the addition. Due to the fact that the project site is within one-half mile of a major transit stop, no minimum general parking spaces are required; however, the applicant must still provide the minimum number of electric vehicle (EV) and accessible spaces that would have otherwise applied to the development, which is a total of 11 spaces (pursuant to Government Code Section 65863.2). Because the project site is within the Downtown Parking District, the applicant is not required to build the parking spaces on-site and can instead pay an in-lieu fee for the required EV and accessible spaces. Therefore, as no parking is proposed on-site, the applicant will pay an in-lieu fee for the eight required EV spaces and one accessible parking space that would be required.

## **Bicycle Parking**

The DTPP requires bicycle parking pursuant to MVCC Section 36.32.50 only when vehicular parking is provided on-site. Although not required, the project is providing five long-term bicycle

parking spaces in conformance with City requirements in a designated bicycle storage/custodial closet on the ground floor.

### Transportation Demand Management

To offset project impacts to the public parking supply, the project applicant has committed to a voluntary Transportation Demand Management (TDM) Program to acknowledge the lack of on-site parking. The project includes a TDM plan with various programs estimated to achieve a 20% peak-hour trip reduction. To achieve the 20% reduction, the TDM plan includes a variety of strategies, including, but not limited to, retaining a commute coordinator, transit passes/subsidies to all employees, a guaranteed ride home program, flexible work schedules, and membership in the Mountain View Transportation Management Association for the life of the project (see Attachment 3 for TDM Program details).

### Construction Parking

Due to the size of the project site, the applicant is requesting use of a portion of the adjacent City Public Parking Lot 1 for staging and storage for the duration of project construction. A license agreement at the fair-market rental rate of land will be required for use of City land for temporary construction staging in Lot 1. The agreement will be coordinated and finalized with the Real Property Division prior to building permit issuance. This will allow for most of the construction staging and activities to be contained at or near the project site and will reduce the number of off-site construction vehicle trips, which will result in fewer impacts on nearby uses and neighborhoods. A final construction parking plan will be reviewed and approved by City staff prior to issuance of a building permit. In reviewing the final construction parking plan, staff will work with the applicant to minimize impacts to traffic, public right-of-way, and public parking areas.

### **ENVIRONMENTAL REVIEW**

Staff recommends finding that this project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15331 (“Historic Resource Restoration/Rehabilitation”). This exemption applies to projects consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. The project is in compliance with all 10 of the Standards for Rehabilitation, and any of the project’s impacts “will generally be considered mitigated below a level of significance and, thus, ... not significant” because the proposed addition will serve to complement the original characteristics of the existing building, and the Jurian Building will continue to express the features and elements that make it culturally and historically significant. None of the exceptions in CEQA Guidelines Section 15300.2 apply.

As a separate and independent basis, staff also recommends finding the project is categorically exempt pursuant to CEQA Guidelines Section 15332 (“In-Fill Development Projects”). This exemption applies to projects consistent with the General Plan Land Use Designation and policies, all zoning regulations and designations, and projects meeting the other criteria described here. The project occurs within the City limits, is located on a project site of no more than five acres, and is substantially surrounded by urban uses. The site has no known habitat for endangered, rare, or threatened species; the project would not result in any significant impacts relating to traffic, noise, air quality, or water quality; and the site can be served by all required utilities and public services. None of the exceptions in CEQA Guidelines Section 15300.2 apply.

The project met the City’s Vehicle Miles Traveled (VMT) Policy screening criteria based on its proximity to transit, local-serving retail land use, FAR higher than 0.75, and consistency with Plan Bay Area 2040, the Bay Area’s Sustainable Communities Strategy, and parking provided does not exceed code requirements. The project was, therefore, presumed to have a “less-than-significant” impact on VMT; the project will be constructed to comply with applicable local, state, and federal noise and water quality regulations as it is conditioned to comply with the Municipal Regional Stormwater Permit (MRP) C3.0 requirements to implement stormwater treatment facilities; and is below the Bay Area Air Quality Management District (BAAQMD) screening levels and is conditioned to implement all the construction-related best management practices (BMPs) required by BAAQMD.

### **FISCAL IMPACT**

The City’s current share of the County of Santa Clara property taxes from the project site totals approximately \$4,400 per year for both the General Operating Fund (GOF) (\$2,000) and Parking District Fund (\$2,400). If the site were redeveloped with the proposed project, the City would receive approximately \$5,100 and \$6,300 in additional GOF and Parking District property tax revenue per year, respectively, for a total additional property tax revenue of \$11,400.

The project is also subject to the City’s Housing Impact fees based on the net new commercial floor area of the project. The estimated fee for the project, which is required to be paid prior to building permit issuance, is \$271,144.

**LEVINE ACT**

California Government Code Section 84308 (also known as the Levine Act) prohibits city officials from participating in any proceeding involving a “license, permit, or other entitlement for use” if the official has received a campaign contribution exceeding \$250 from a party, participant, or agent of a party or participant in the proceeding within the last 12 months. A city official is similarly prohibited from accepting, soliciting, or directing a campaign contribution exceeding \$250 from a party, participant, or agent of a party or participant to any proceeding involving a license, permit, or other entitlement for use for 12 months after a final decision is rendered in said proceeding.

Please refer to the “X” in the checklist below for information about whether the recommended action for this agenda item is subject to or exempt from the Levine Act.

**SUBJECT TO THE LEVINE ACT**

- Land development entitlements
- Other permit, license, or entitlement for use
- Contract or franchise

**EXEMPT FROM THE LEVINE ACT**

- Competitively bid contract
- Labor or personal employment contract
- General policy and legislative actions

For more information about the Levine Act, please see the Fair Political Practices Commission website: [www.fppc.ca.gov/learn/pay-to-play-limits-and-prohibitions.html](http://www.fppc.ca.gov/learn/pay-to-play-limits-and-prohibitions.html).

**CONCLUSION**

The project is consistent with the General Plan policies for upgraded commercial areas, street presence, human-scaled building design, enhanced pedestrian environment, and historic preservation; and complies with the applicable development design standards of the DTPP. The project has been designed to maintain the historic Jurian Building in a manner consistent with the Secretary of the Interior’s Standards for Rehabilitation by retaining the character-defining features of the building while proposing a complementary addition that features an engaging, active ground-floor frontage and retail space to enhance the pedestrian environment, with additional active office uses and a roof deck at the upper levels.

The Zoning Administrator recommends approval of the proposed project as the proposal promotes a well-designed development that is compatible and harmonious with the surrounding uses, and it will create a high-quality addition to the dynamic downtown and would not result in any significant environmental impacts.

## **ALTERNATIVES**

1. Approve the project with modified conditions of approval.
2. Refer the project back to the Zoning Administrator and/or the Development Review Committee for additional consideration.
3. Deny the project and adopt findings for denial.

## **PUBLIC NOTICING**

The City Council's agenda is advertised on Channel 26, and the agenda and this report appear on the City's website. All property owners and tenants within a 750' radius and interested stakeholders were notified of this meeting.

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203988

- Attachments:
1. Resolution for the Provisional Use Permit, Planned Community Permit, Development Review Permit, and Historic Preservation Permit
  2. Project Plans
  3. Historic Resource Assessment Peer Review and SOIS Compliance Analysis
  4. Arborist Report
  5. Transportation Demand Management Plan